

**ALBERTO RINKEVICH**

A R D E S I G N

4810 SW LOWELL CT. PORTLAND, OR 97221  
 (503) 977-1758 FAX (503) 922-2613

MILDRED WHITE, AIA, NCARB  
 BAMA ARCHITECTURE AND DESIGN, LLC

**HAZELWOOD PLAZA**

**62 RESIDENTIAL UNITS**

222-312 NE 102ND. AVE. - PORTLAND OR

N.T.S.

TITLE  
DRAWING

**T1 C**  
**00 01**

01-15-15

LU 14-185350 DZM

# DRAWING INDEX:

TITLE SHEET	T1-00	C-01			
DRAWING INDEX	T1-01	C-02			
SITE	ST-01	C-03			
SITE W/1ST FL PLAN	ST-02	C-04			
SITE + ADJACENT PROPERTIES	ST-03	C-05			
SITE - TREE PLAN	ST-04	C-06			
SITE - TREE PLAN - NOTES	ST-05	C-07			
FIRST FL PLAN	A1-01	C-08			
SECOND FL PLAN	A1-02	C-09			
THIRD TO FIFTH FL PLAN	A1-03	C-10			
ROOF PLAN	A1-04	C-11			
FIRST FL - PLAZA ENLARGED PLAN	A1-05	C-12			
FIRST FL - BIKE PARKING ENLARGED PLAN	A1-06	C-13			
SECOND FL - ROOF GARDEN ENLARGED PLAN	A1-07	C-14			
SECOND FL - CANOPY PL & RENDERING	A1-08	C-15			
ENLARGED VALCONY PL & EXHAUST DETAILS	A1-09	C-16			
RENDERING - SECOND FL ROOF GARDEN	A1-10	C-17			
RENDERING - 1ST + 2ND FL PUBLIC SPACE	A1-11	C-18			
ELEVATIONS W & E (BW)	A2-01	C-19			
ELEVATIONS W & E (COLOR)	A2-02	C-20			
ELEVATION - SOUTH	A2-03	C-21			
ELEVATION - NORTH	A2-04	C-22			
ELEVATION - ENLARGED W	A2-05	C-23			
ELEVATION - ENLARGED SHOP ENTRY + DETAILS	A2-06	C-24			
ELEVATIONS S & N (BW) + RENDERING	A2-07	C-25			
RENDERING	A2-08	C-26			
RENDERING	A2-09	C-27			
RENDERING	A2-10	C-28			
RENDERING	A2-11	C-29			
RENDERING	A2-12	C-30			
TRANSVERSAL SECTION 1	A3-01	C-31			
TRANSVERSAL SECTION 2 (STAIRS)	A3-02	C-32			
SECTION @ PLAZA & ROOF GARDEN	A3-03	C-33			
WALL SECTIONS	A3-04	C-34			
ELEV & WINDOW DETAILS	A4-01	C-35			
WALL & WINDOW DETAILS	A4-02	C-36			
LOBBY STOREFRONT DETAILS	A4-03	C-37			
			SHOP STOREFRONT DETAILS	A4-04	C-38
			LOBBY CANOPY & METAL RAILING DETAILS	A4-05	C-39
			ROOF GARDEN CANOPY & STAIRS RAILING	A4-06	C-40
			FIRST FL PL - MATERIALS	M1-01	C-41
			SECOND FL PL - MATERIALS	M1-02	C-42
			THIRD TO FIFTH FL PL - MATERIALS	M1-03	C-43
			EXIST BUIDINGS - MATERIALS	M1-04	C-44
			FIRST FL PL - LIGHTING	LG-01	C-45
			SECOND FL PL - LIGHTING	LG-02	C-46
			THIRD TO FIFTH FL PL - LIGHTING	LG-03	C-47
			PARKING SECTION & RENDERING	LG-04	C-48
			LANDSCAPE PLAN	L-01	C-49
			LANDSCAPE TREE PLAN	L-02	C-50
			LANDSCAPE DETAILS	L-03	C-51
			LANDSCAPE DETAILS	L-04	C-52
			LANDSCAPE GENERAL DETAILS	L-05	C-53
			SITE FURNISHING	L-06	C-54
			CIVIL - EXISTING CONDITIONS	C-01	C-55
			CIVIL - SITE PLAN	C-02	C-56
			CIVIL - DETAILS	C-03	C-57



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MILDRED WHITE, AIA, NCARB  
BAMA ARCHITECTURE AND DESIGN, LLC

**HAZELWOOD PLAZA**

**62 RESIDENTIAL UNITS**

222-312 NE 102ND. AVE. - PORTLAND OR

N.T.S. DRAWING INDEX

T1 C  
01 02

01-15-15

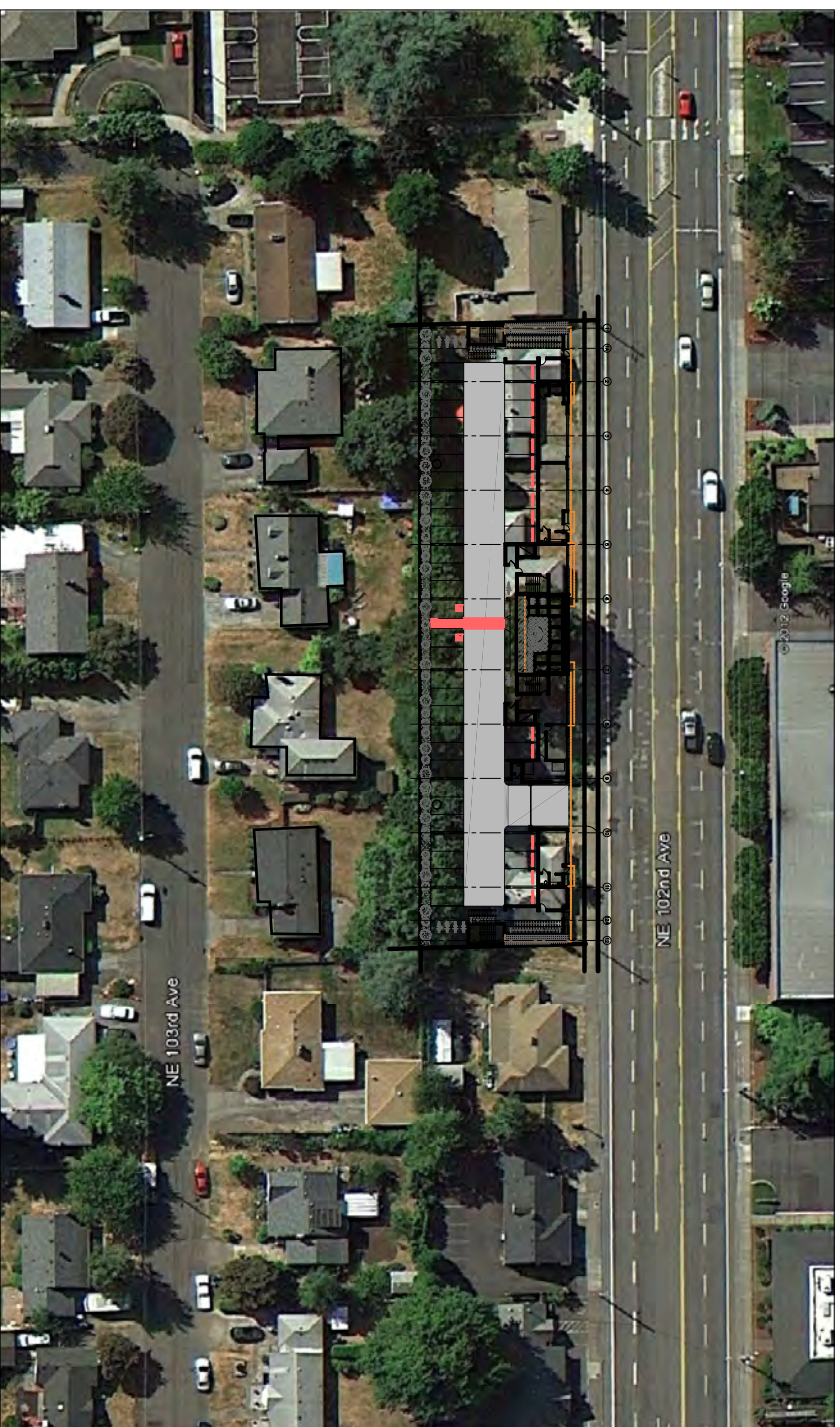
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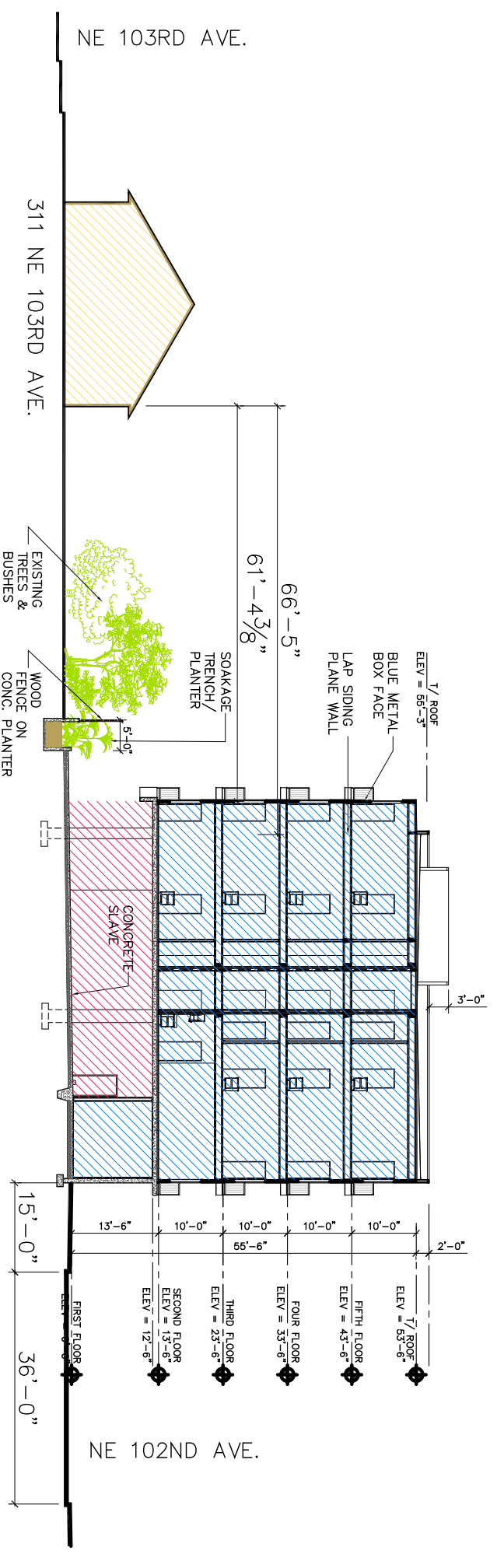
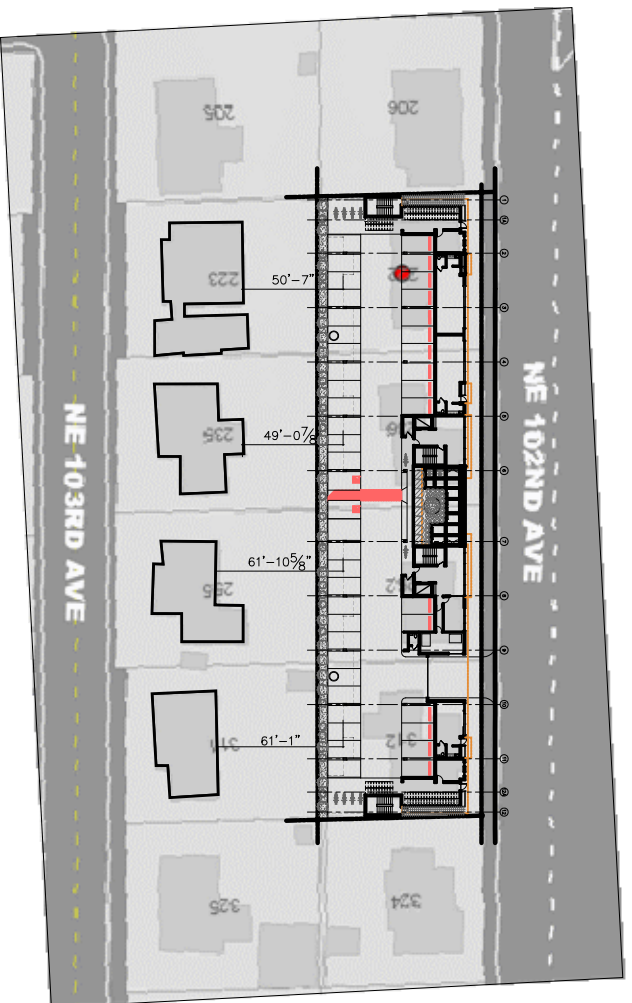




SITE + ADJACENT PROPERTIES  
GROUND FLOOR PLAN



SITE + ADJACENT PROPERTIES  
ROOF PLAN



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N.T.S.

SITE PLAN +  
ADJACENT  
PROPERTIES

S1 C

03 05

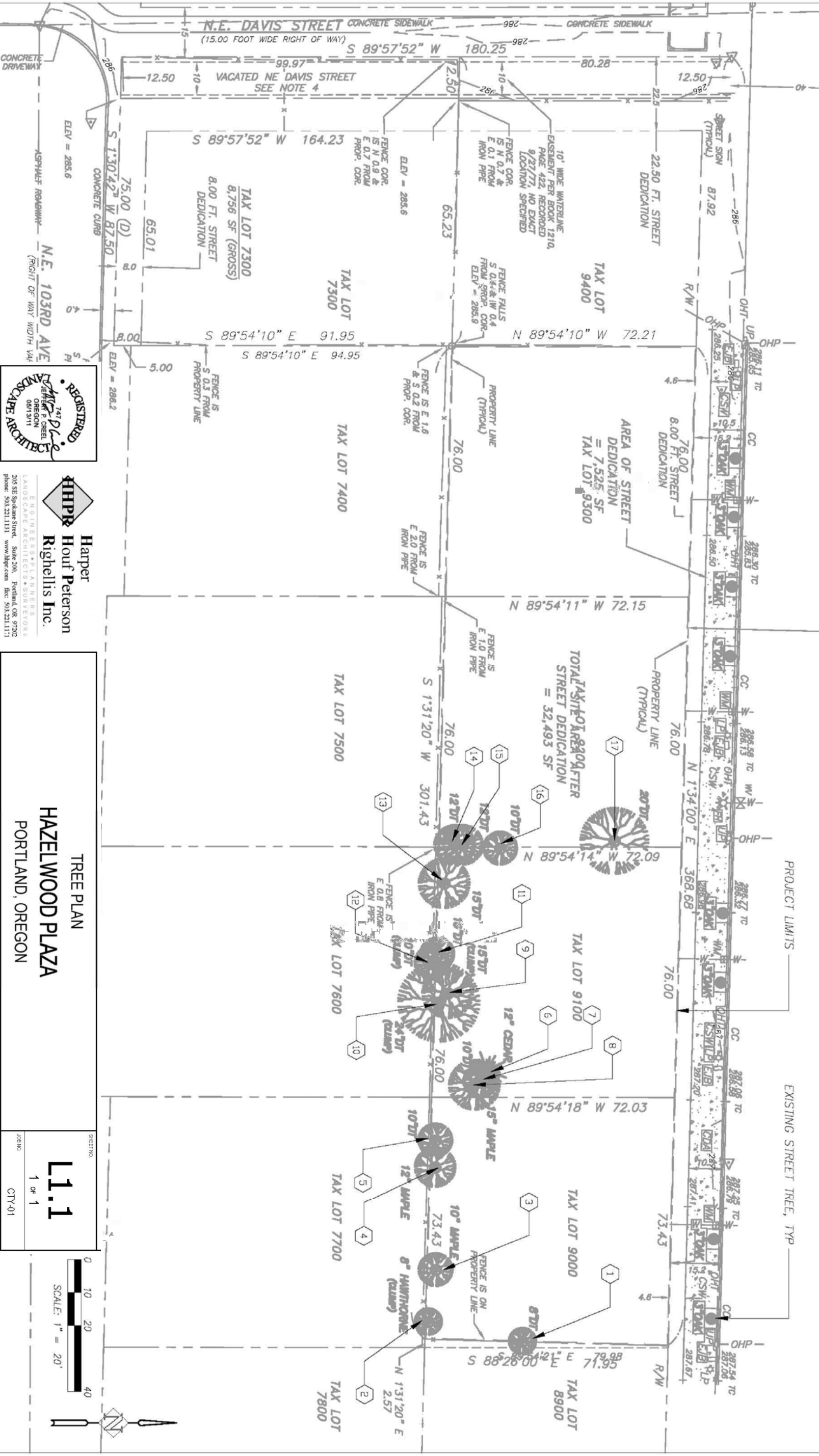
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N.E. 102ND AVENUE

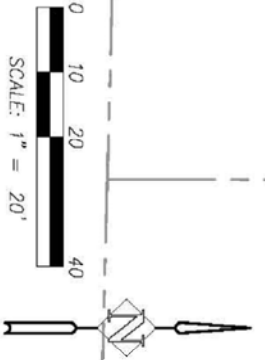
ASPHALT SURFACE



**Harper**  
**Houf Peterson**  
**Righellis Inc.**  
ENGINEERS-ARCHITECTS-SURVEYORS  
LANDSCAPE ARCHITECTS  
206 SE Spokane Street, Suite 200, Portland, OR 97202  
Phone: 503.221.1131 www.harpco.com Fax: 503.221.1171

TREE PLAN  
**HAZELWOOD PLAZA**  
PORTLAND, OREGON

SHEET NO  
**11.1**  
1 OF 1  
JOB NO  
CTV-01



NOTE: REFER TO ST-05 / G-07 FOR DRAWING NOTES

**ALBERTO RINKEVICH**  
A R D E S I G N

**HAZELWOOD PLAZA**  
62 RESIDENTIAL UNITS

N.T.S. TREE PLAN

**ST C**  
**04 06**

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01-15-15

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EXISTING ON-SITE TREES

NO.	SPECIES NAME	DBH	DESCRIPTION	INSTRUCTIONS
①	Acer saccharinum	8"	HEALTHY	REMOVE
②	Crataegus sp.	8"	HEALTHY	REMOVE
③	Acer platanoides	10"	NUISANCE PLANT	REMOVE
④	Acer platanoides	12"	NUISANCE PLANT	REMOVE
⑤	Acer platanoides	10"	NUISANCE PLANT	REMOVE
⑥	Chamaecyparis lawsoniana	12"	MIS-SHAPEN	REMOVE, DANGER OF FALLING
⑦	Acer platanoides	10"	NUISANCE PLANT	REMOVE
⑧	Acer platanoides	15"	NUISANCE PLANT	REMOVE
⑨	Robinia pseudocacia	24"	NUISANCE PLANT	REMOVE
⑩	Robinia pseudocacia	15"	NUISANCE PLANT	REMOVE
⑪	Acer platanoides	10"	NUISANCE PLANT	REMOVE
⑫	Ilex cornuta	10"	HEALTHY	REMOVE
⑬	Acer platanoides	12"	DISEASED/DAMAGED	REMOVE, DANGER OF FALLING
⑭	Acer platanoides	12"	NUISANCE PLANT	REMOVE
⑮	Acer platanoides	12"	DISEASED/DAMAGED	REMOVE
⑯	Koelreuteria paniculata	10"	DEAD & DAMAGED	REMOVE, DANGER OF FALLING
⑰	Koelreuteria paniculata	20"	DEAD & DAMAGED	REMOVE, DANGER OF FALLING
TOTAL TO BE REMOVED		210"		
TOTAL NUISANCE TREES		118"		
TOTAL DEAD, DISFIGURED &/OR DAMAGED		66"		
TOTAL		26"		

PROPOSED TREES  
TO BE PLANTED  
(SEE L1.0) 23 X 1.5" 34"

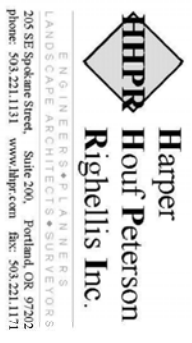
HAZELWOOD PLAZA

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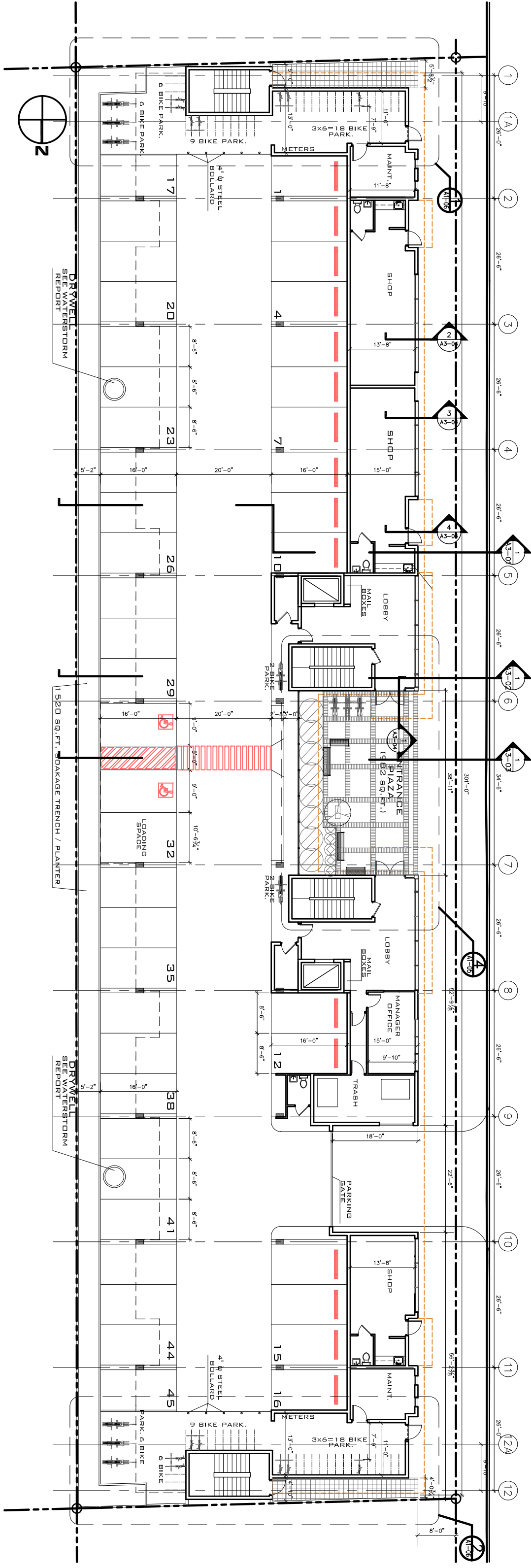
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N.T.S. TREE PLAN NOTES  
ST 05 07  
LU 14-185350 DZM



TREE PLAN  
HAZELWOOD PLAZA  
PORTLAND, OREGON

SHEET NO. **L1.1**  
1 OF 1  
CTY-01



1 FIRST FL PLAN  
SCALE: 1/8" = 1'-0"

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62 RESIDENTIAL UNITS

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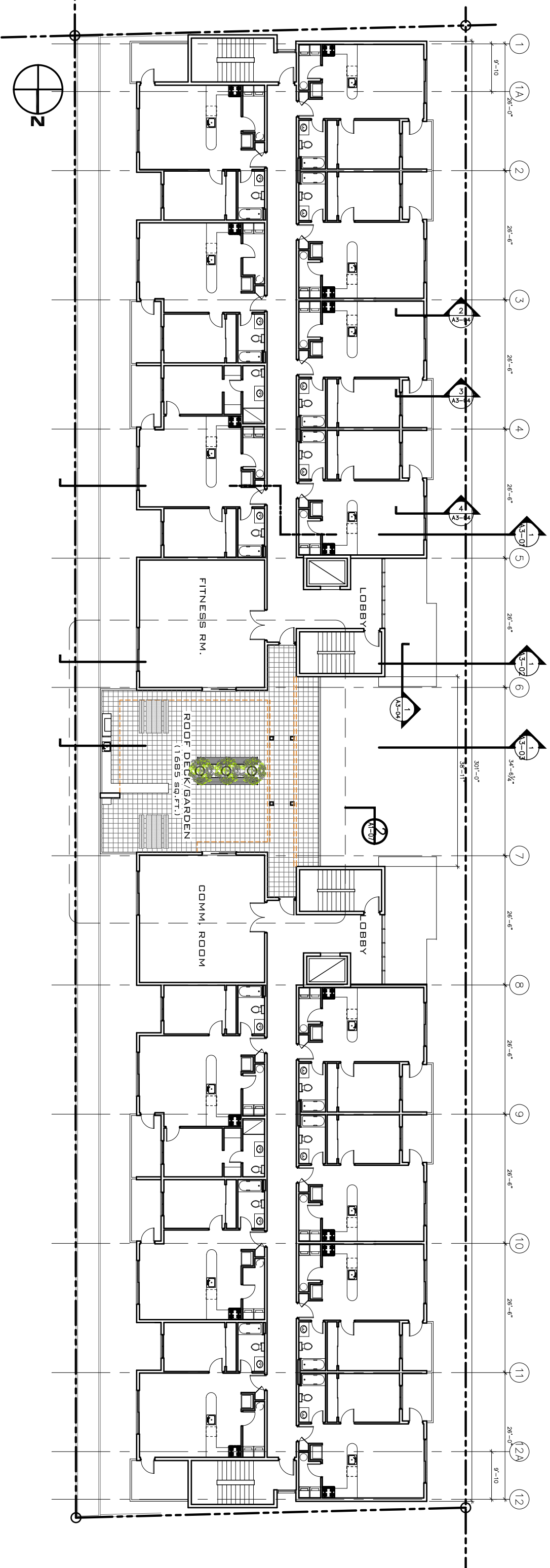
N.T.S.  
FIRST FL.  
PLAN

A1 C  
01 08

01-15-15

LU 14-185350 DZM





1 SECOND FL PLAN  
SCALE: N.T.S.



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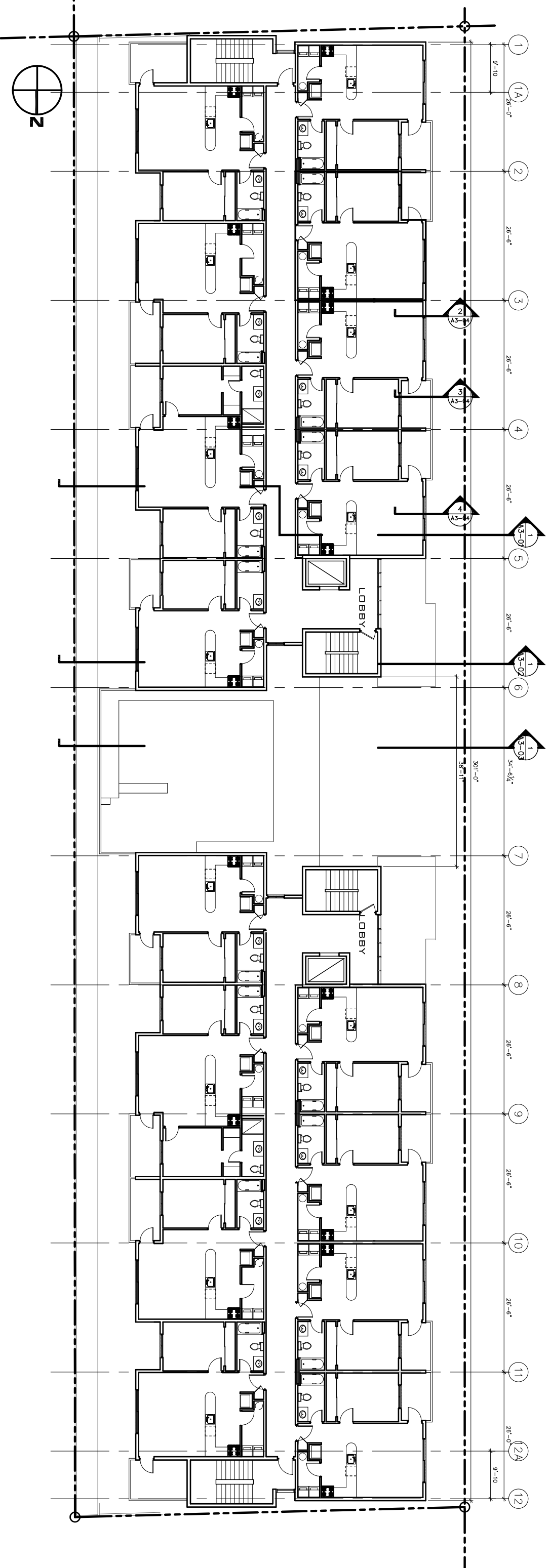
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62 RESIDENTIAL UNITS

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N.T.S.	SECOND FL. PLAN	A1	C
01-15-15		02	09
		LU 14-185350 DZM	



1 THIRD-FIFTH FL PLAN  
 A1-07 SCALE: N.T.S.

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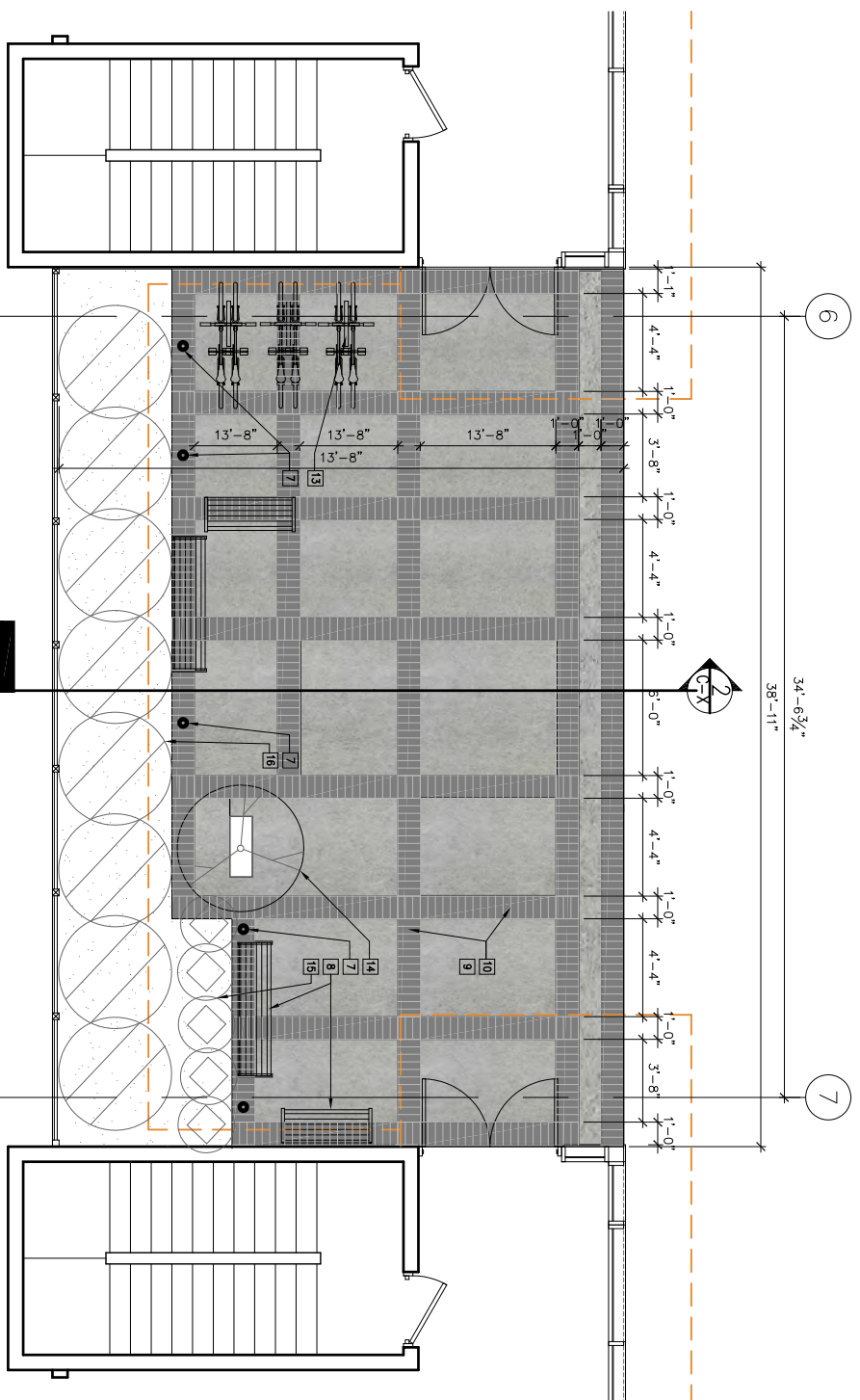
222-312 NE 102ND. AVE. - PORTLAND OR

N.T.S.	THIRD-FIFTH FL. PLAN	A1	C
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		LU 14-185350 DZM	

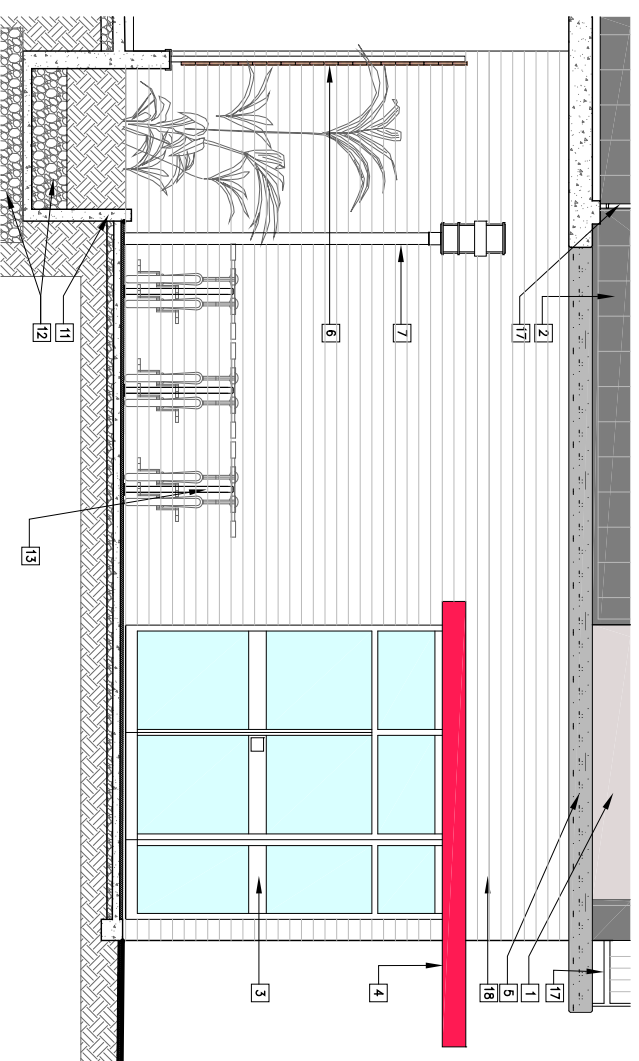








**4** ENTRANCE PLAZA PLAN  
SCALE: 1/8" = 1'-0"



**2** ENTRANCE PLAZA SECTION/ELEV  
SCALE: 3/16" = 1'-0"

- NOTES
- 1 REFINISHED GEMBIT BOARD SHIP LAP JOINTS, JAMESHARDIE OR SIMILAR, 1-COLOR COBBLE STONE IN SERIES OR SIMILAR COLE SLIVER STM
  - 2 METAL CLADDING CENTRIA
  - 3 KANNER, STORERPOINT 45/UT FINISH #14
  - 4 PAINTED METAL CANOPY REFER TO C-X FOR DETAIL
  - 5 EXPOSED SMOOTH CONCRETE W/O/HAMMERED EDGES
  - 6 SOLID WOOD FENCE, PAINTED ON CONCRETE PLANTERWOOD 1X4 P.E. SLAT
  - 7 LIGHT FIXTURE: HINKLEY "SATURN" POLE LIGHT 9' TALL OR WALL SCOURCE BENCH OR SW
  - 8 KENSTON RIDGE STEEL SLATED
  - 9 CONCRETE PAVING
  - 10 BLACK BRICK BANDING, 4"x12" ENDICOTT MANGANESE IRONSPOT
  - 11 4" CONCRETE PLANTER
  - 12 6" MN CRUSHED STONE
  - 13 LOOP STYLE BIKE RACKS 6 BIKE CAPACITY
  - 14 JAPANESE MAPLE, REFER TO LANDSCAPE DRAWINGS
  - 15 OMBISON PLYM, REFER TO LANDSCAPE DRAWINGS
  - 16 GOLDSTRIKE AQIBA, REFER TO LANDSCAPE DRAWINGS
  - 17 PAINTED STEEL RAILING WITH 3/4" X 3/4" POCKET INFILL REFER TO C-X FOR DETAIL
  - 18 BRICK VENEER, HARBOR MIST OR SW (BY MUTUAL MATERIALS)



**3** ENTRANCE PLAZA RENDERING  
SCALE: N.T.S.



**1** ENTRANCE PLAZA RENDERING  
SCALE: N.T.S.

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VARIES

PLAZA ENLARGED FL. PLAN & RENDERING

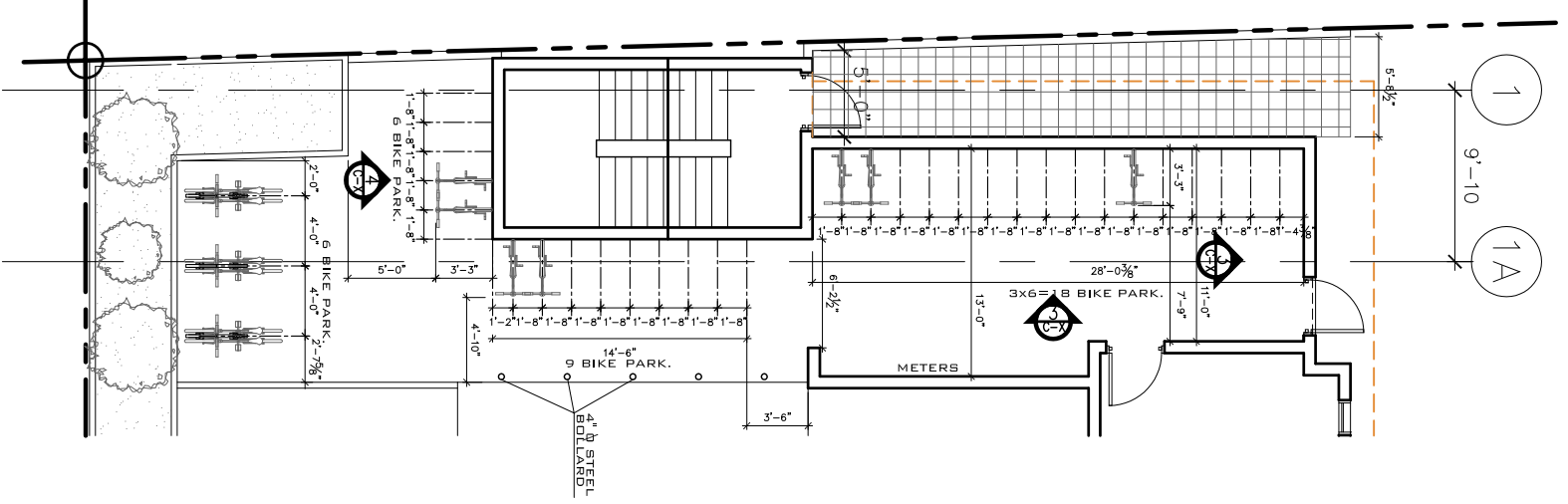
**A1 C**

**05 12**

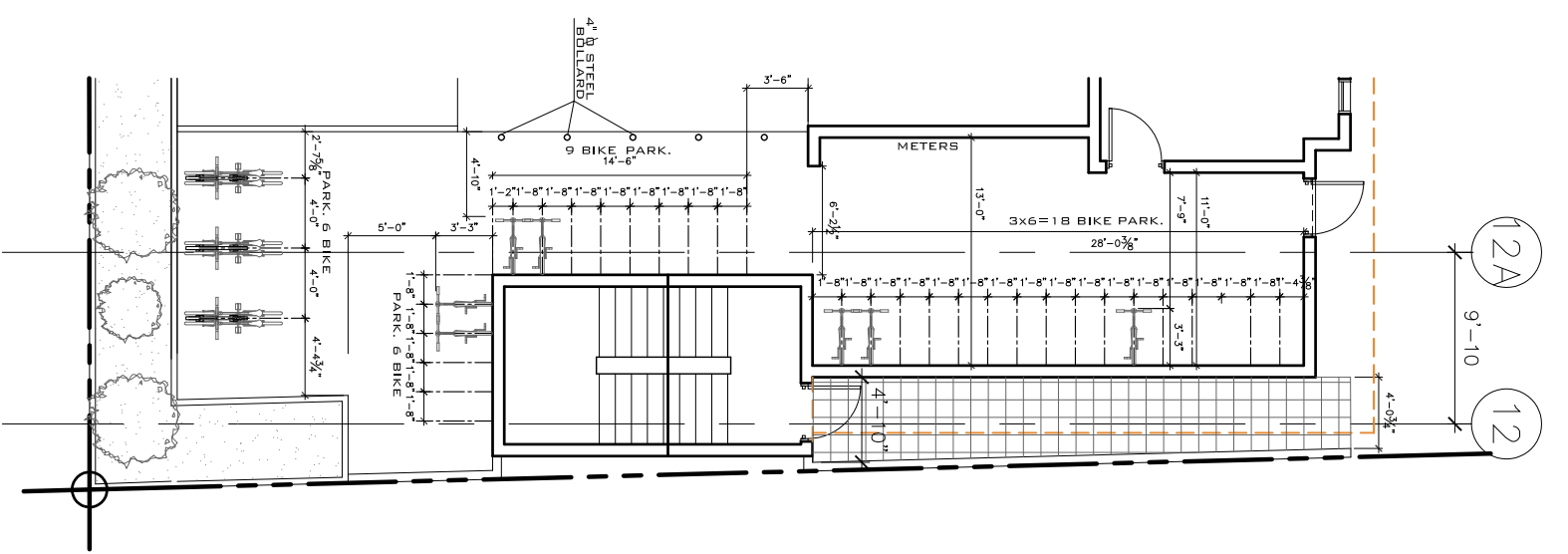
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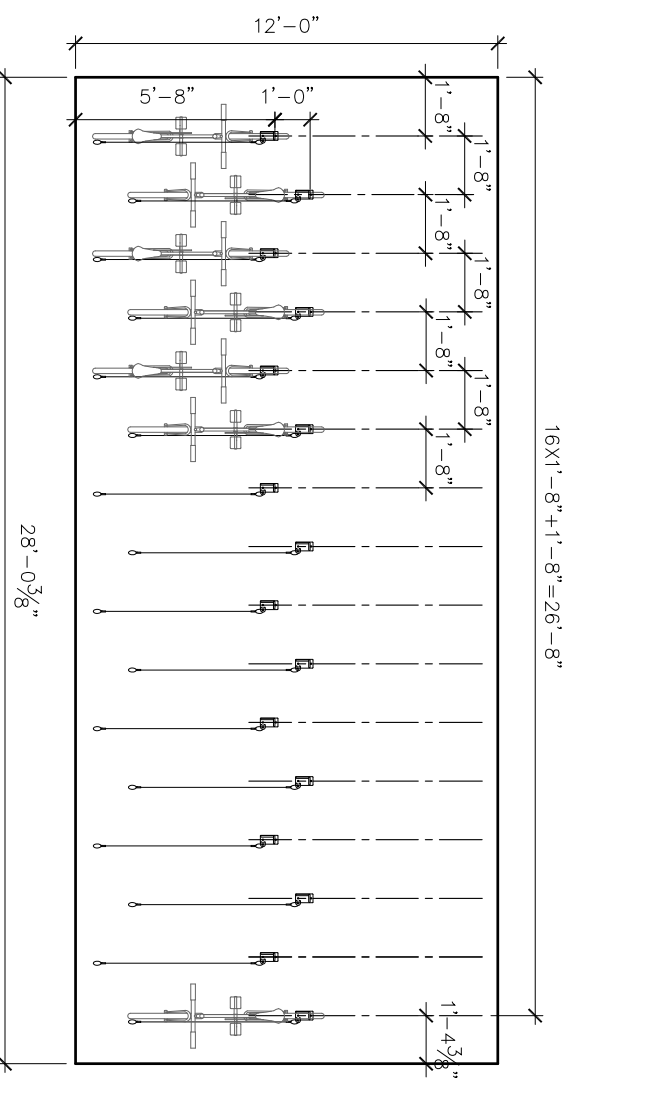




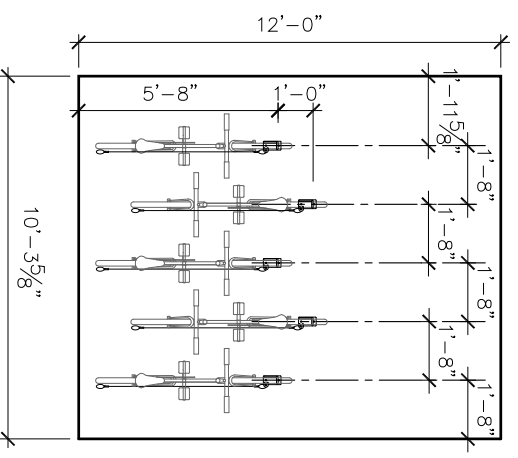
1 FIRST FL PLAN  
SCALE: N.T.S.



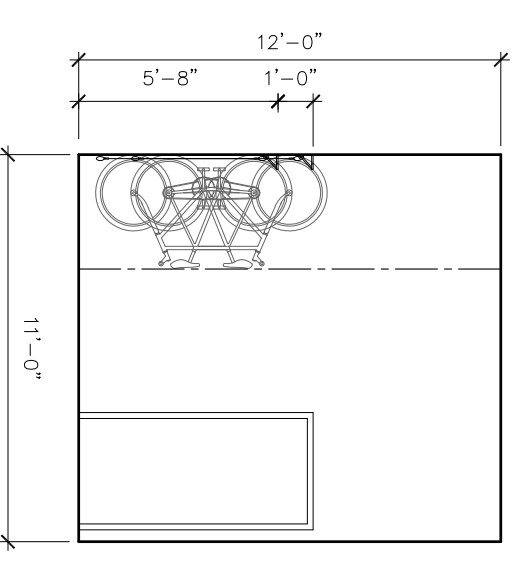
2 FIRST FL PLAN  
SCALE: N.T.S.



3 FIRST FL PLAN  
SCALE: 3/16" = 1'-0"



4 FIRST FL PLAN  
SCALE: 3/16" = 1'-0"



5 FIRST FL PLAN  
SCALE: 3/16" = 1'-0"



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**62 RESIDENTIAL UNITS**

VARIES  
01-15-15

BIKE PARK  
FIRST FL.  
ENLARGED  
PLAN

A1 C  
06 13  
LU 14-185350 DZM





**ENTRANCE PLAZA & 2ND ROOF GARDEN RENDERING**  
SCALE: N.T.S.

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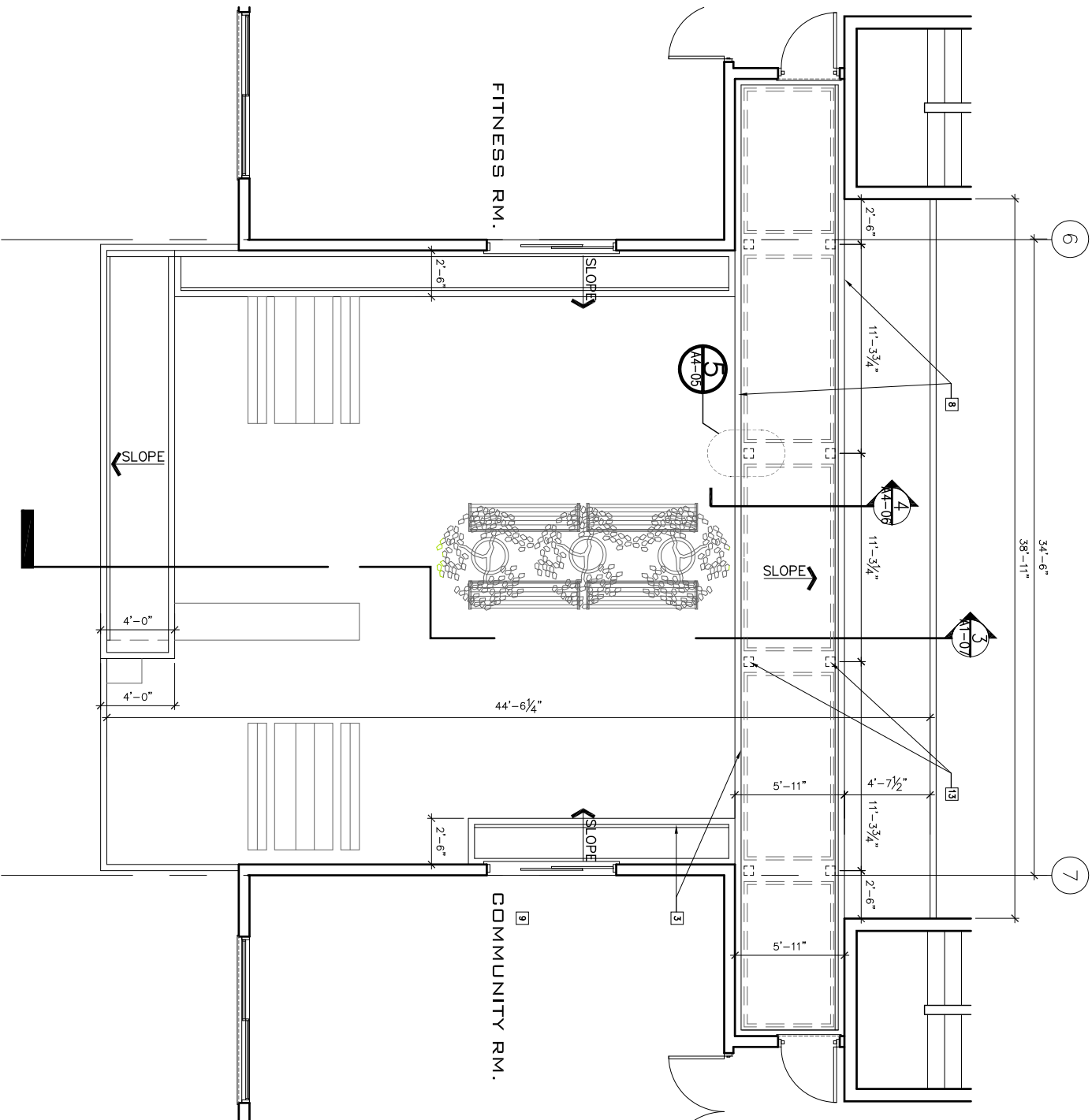
222-312 NE 102ND. AVE. - PORTLAND OR

- NOTES
- 1 PREFINISHED CEMENT BOARD SMOOTH ARTISAN LAP SIDING, JAMESHARVE OR SIMILAR
  - 2 METAL LAMINATED GLASS HW SERIES OR SIMILAR PROFILE 1W-12 COLOR SILVER STYL
  - 3 KAWNEER STOREFRONT 451UT FINISH #14
  - 4 PAINTED METAL CANOPY REFER TO C-X FOR DETAIL
  - 5 EXPOSED SMOOTH CONCRETE W/CHARFERED EDGES
  - 6 SOLID WOOD FENCE MOUNTED ON CONCRETE PLANTER; WOOD
  - 7 LIGHT FIXTURE: HINKLEY "SALTURE" FOR MOUNTING ON WOOD BENCH OR SIM
  - 8 KERNSTON RIDGE STEEL SLATED CONCRETE PAVING
  - 9 CONCRETE PAVING
  - 10 BLACK BRICK BANDING 4"x12" ENDICOTT MANGANESE IRONSHOT
  - 11 4" CONCRETE PLANTER
  - 12 6" MIN CRUSHED STONE
  - 13 LOOP STYLE BIKE RACKS 8 BIKE CAPACITY
  - 14 JAPANESE MAPLE REFER TO LANDSCAPE DRAWINGS
  - 15 GRANISON PLYM. REFER TO LANDSCAPE DRAWINGS
  - 16 GOLDSTRIKE ACIIBA, REFER TO LANDSCAPE DRAWINGS
  - 17 PAINTED STEEL RAILING WITH 3/4" X 4" PICKET INFILL REFER TO C-X FOR DETAIL
  - 18 BRICK VENEER, HARBOR MIST OR SIM (BY MUTUAL MATERIALS)
  - 19 SOLID WOOD FENCE 1 3/4" IPE SLAT

1 4  
3

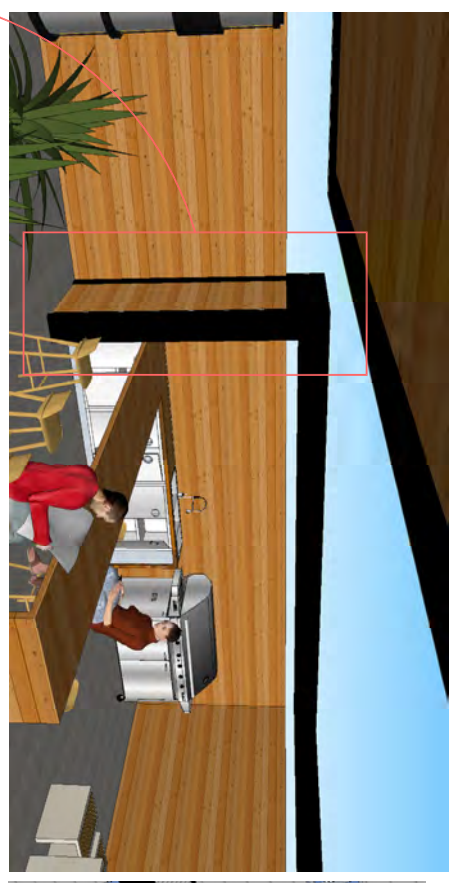
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		LU 14-185350 DZM	



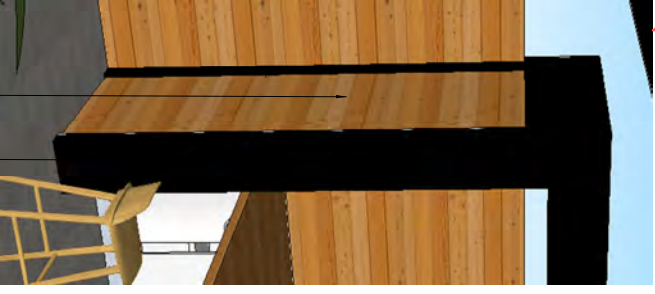


**2** CANOPY ROOF PLAN  
 1-07 SCALE: 1/8" = 1'-0"

NOTES	
1	PREFINISHED CEMENT BOARD, SMOOTH ARTISAN LAP SOUNG, JAMES HARDIE, OR SIMILAR
2	METAL CLADDING CENTRIA IW SERIES OR SIMILAR PROFILE IW-12 SIM
3	PAINTED METAL CANOPY REFER TO C-33 FOR DETAIL
4	EXPOSED SMOOTH CONCRETE W/SHARPEDED EDGES
5	SOLID WOOD FENCE: WOOD 1" X 4" P.E. SAIL
6	LIGHT FIXTURE: HINKLEY "SATURN" WALL SCONCE
7	KENYON RIDGE STEEL SLATED BENCH OR SIM
8	4" X 12" PAINTED STEEL TUBE COLUMN
9	SQUARE PLANTER DARK COLOR SILVER SIM
10	SQUARE TABLE WITH RECYCLED LUMBER
11	PAINTED STEEL RAILING WITH 3/4" X 3/4" PICKET INFILL REFER TO C-32 FOR DETAIL
12	HINKLEY "LUNA" CANOPY LIGHT FIXTURE
13	6" X 6" PAINTED STEEL TUBE COLUMN
14	WOOD CEILING, REFER TO C-33 FOR DETAIL AND C-... FOR PHOTO
15	1" X 4" P.E WOOD INFILL TO MATCH WOOD CEILING



**3** ROOF GARDEN RENDERING - COLUMN VIEW  
 11-0 N.T.S.



**1** ROOF GARDEN RENDERING CANOPY VIEW  
 1-07 N.T.S.

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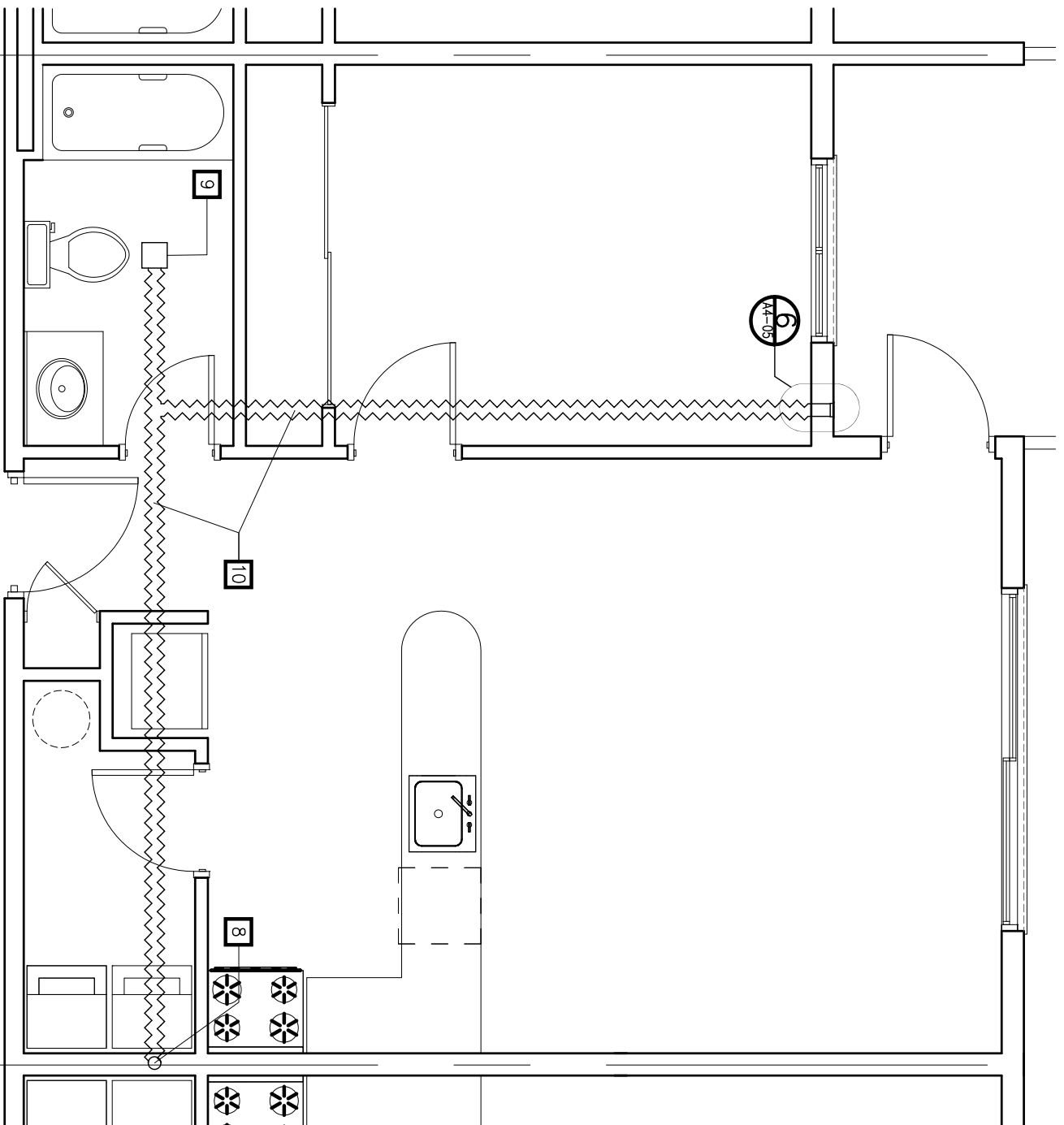
**VARIED**  
 ENLARGED SECOND FL. CANOPY PLAN & RENDERING  
**A1 C**  
**08 15**  
 LU 14-185350 DZM

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01-15-15

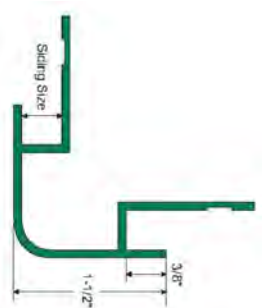
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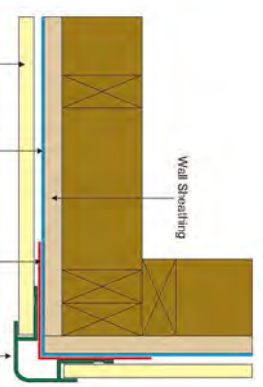
**1** ENLARGED TYPE APARTMENT PLAN – EXHAUST VENT  
SCALE: 1/4" = 1'-0".



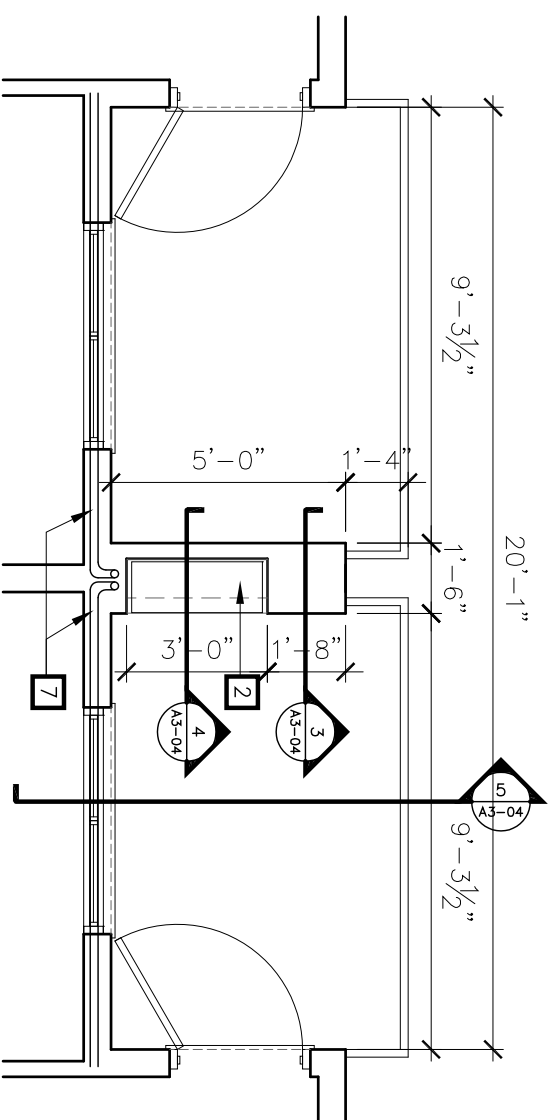
**6** EXHAUST LOUVER  
SCALE: 1/4" = 1'-0".  
SEE CUTSHEET



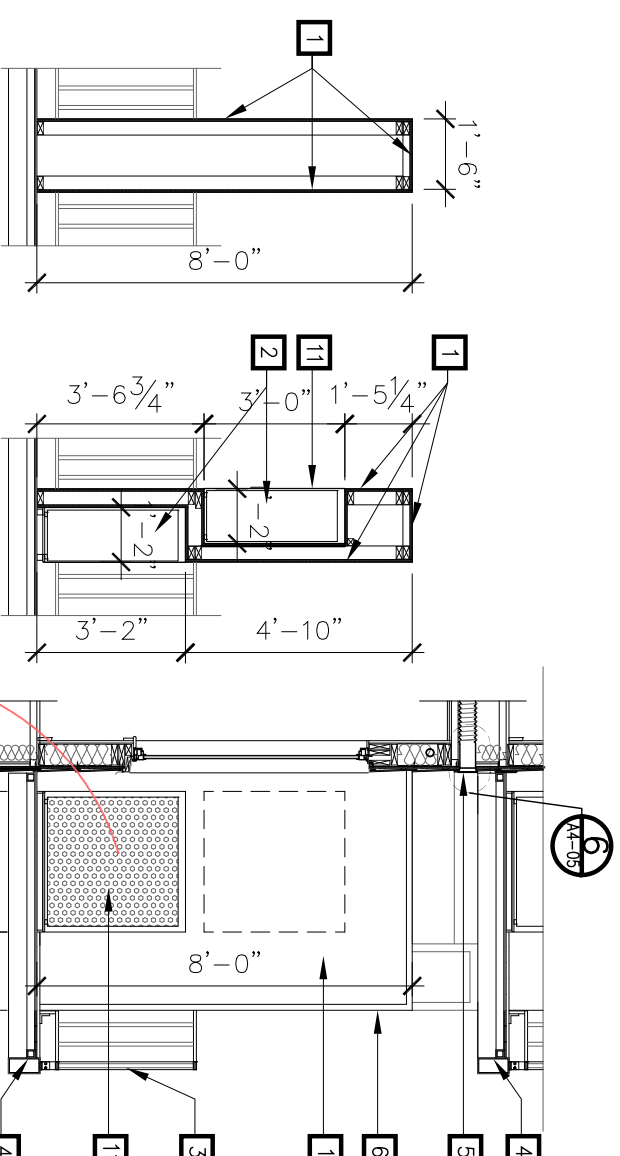
**7** BULLNOSE METAL CORNER  
SCALE: 1/4" = 1'-0".  
SEE CUTSHEET



SEE CUTSHEET



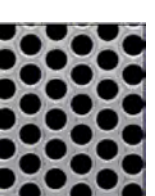
**2** ENLARGED VALCONY PLAN – PRIVACY WALL  
SCALE: 1/4" = 1'-0".



**3** SECTION  
SCALE: 1/4" = 1'-0".

**4** SECTION  
SCALE: 1/4" = 1'-0".

**5** SECTION – ELEVATION  
SCALE: 1/4" = 1'-0".



- NOTES**
- 1** PREFINISHED CEMENT BOARD SMOOTH REVL 2.0, JAMESHARDIE OR SIMILAR COLOR TUSCAN GOLD
  - 2** MITSUBISHI AC AIR HANDLING UNIT
  - 3** PAINTED STEEL RAILING WITH 3/4" X 3/4" PICKET INFILL REFER TO C-32 FOR DETAIL
  - 4** PAINTED METAL VALCONY STRUCTURE REFER TO C-32 FOR DETAIL
  - 5** EXHAUST VENT LOUVER BY GAF SEE 6/A1-XX & CUTSHEETS
  - 6** BULLNOSE METAL CORNER BY XTREME-TRIM SEE 7/A1-XX & CUTSHEETS
  - 7** "WIN-TUBE" LINESET W/INSULATION DRYER VENT
  - 8** BATHROOM VENT
  - 9** 4"Ø FLEXIBLE DUCT, THROUGH CLG.
  - 10** PAINTED PERFORATED METAL SCREEN, COLOR TO MATCH PRIVACY WALL
  - 11**

**ALBERTO RINKEVICH**  
ARCHITECT

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MILDRED WHITE, AIA, NCARB  
BAMA ARCHITECTURE AND DESIGN, LLC

**HAZELWOOD PLAZA**  
**62 RESIDENTIAL UNITS**

222-312 NE 102ND. AVE. - PORTLAND OR

1/4" = 1'-0"

01-15-15

**ENLARGED VALCONY & EXHAUST DETAILS**

**A1 C**  
**09 16**

LU 14-185350 DZM





**ALBERTO RINKEVICH**

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**HAZELWOOD PLAZA**

**62 RESIDENTIAL UNITS**

222-312 NE 102ND. AVE. - PORTLAND OR

N.T.S.

01-15-15

SECOND FL.  
 ROOF  
 GARDEN  
 RENDERING

**A1** | **G**

**10** | **17**

LU 14-185350 DZM





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 BAMA ARCHITECTURE AND DESIGN, LLC

**HAZELWOOD PLAZA  
 62 RESIDENTIAL UNITS**

222-312 NE 102ND. AVE. - PORTLAND OR

N.T.S. RENDERING

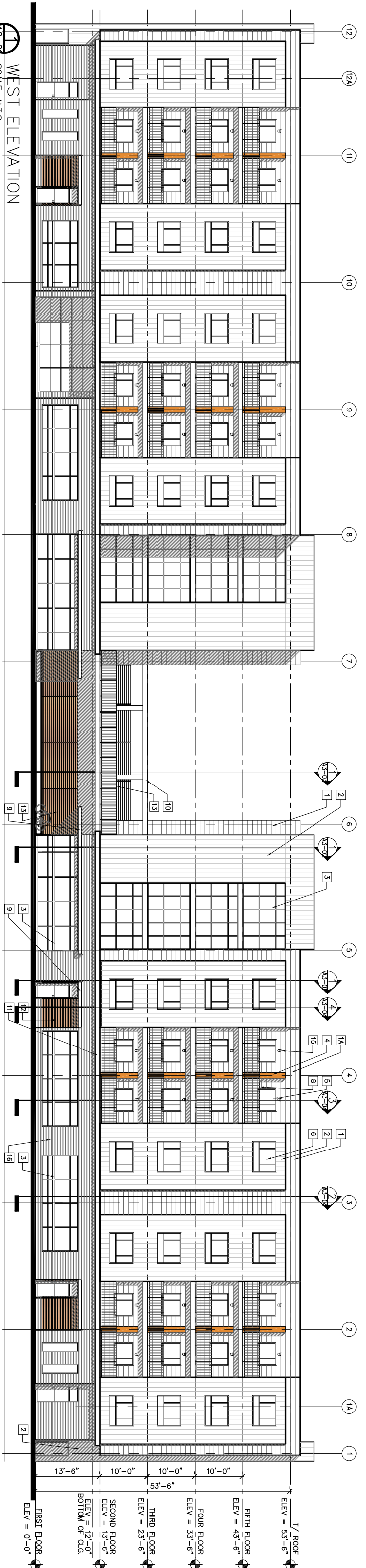
**A1 C**

**11 18**

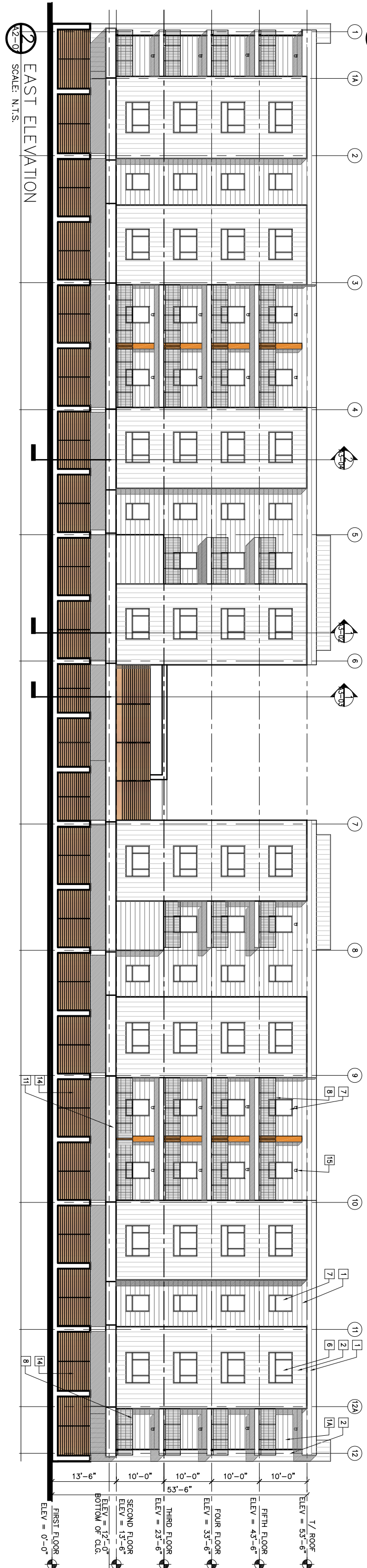
01-15-15

LU 14-185350 DZM





**1 WEST ELEVATION**  
SCALE: N.T.S.



**2 EAST ELEVATION**  
SCALE: N.T.S.

NOTES	
1	PREFINISHED CEMENT BOARD SMOOTH ARTISAN LAP SIDING, JAMESHARDE OR SIMILAR 1-COLOR COBBLE STONE 1A-COLOR HARRIS CREAM
2	METAL CLADDING CENTRA IW STRIPS OR SIMILAR COLOR SILVER STM
3	KAWNEER STOREFRONT 451UT FINISH #14
4	AC UNIT NICHE COLOR TO MATCH ARTISAN LAP SIDING IRON GRATE
5	4'-10"x4'-0" RECESSED VINYL DOUBLE CASEMENT WINDOW BY CASCADE WINDOWS COLOR WHITE
6	6'-6"x5'-0" RECESSED VINYL DOUBLE CASEMENT WINDOW BY CASCADE WINDOWS COLOR WHITE
7	3'-6"x2'-0" RECESSED VINYL DOUBLE CASEMENT WINDOW BY CASCADE WINDOWS COLOR WHITE
8	PAINTED STEEL RAILING WITH 3/4" X 3/4" PICKET INFILL REFER TO C-32 FOR DETAIL
9	PAINTED METAL CANOPY REFER TO C-32 FOR DETAIL
10	PAINTED METAL CANOPY REFER TO C-33 FOR DETAIL
11	EXPOSED SMOOTH CONCRECT W/CHAMFERED EDGES
12	WOOD ACCENT MOUNTED ON CONCRETE WALL 1X4 IPE SLAT ON CONCRETE PLANTER.WOOD TO MATCH ACCENT
13	SOLID WOOD FENCE MOUNTED ON CONCRETE COLUMN @ 13'-3" OC 1X4 IPE SLAT
14	8'-0" HEIGHT SOLID WOOD FENCE MOUNTED ON CONCRETE PLANTER W/CONCRETE COLUMN @ 13'-3" OC 1X4 IPE SLAT. REFER TO DETAIL
15	LIGHT FIXTURE: BLACK BRACKET WALL MOUNTED W/ WHITE ACRYLIC GLOBE.
16	BRICK VENEER, HARBOR MIST OR SW (BY MUTUAL MATERIALS)

**ALBERTO RINKEVICH**  
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**HAZELWOOD PLAZA**  
62 RESIDENTIAL UNITS

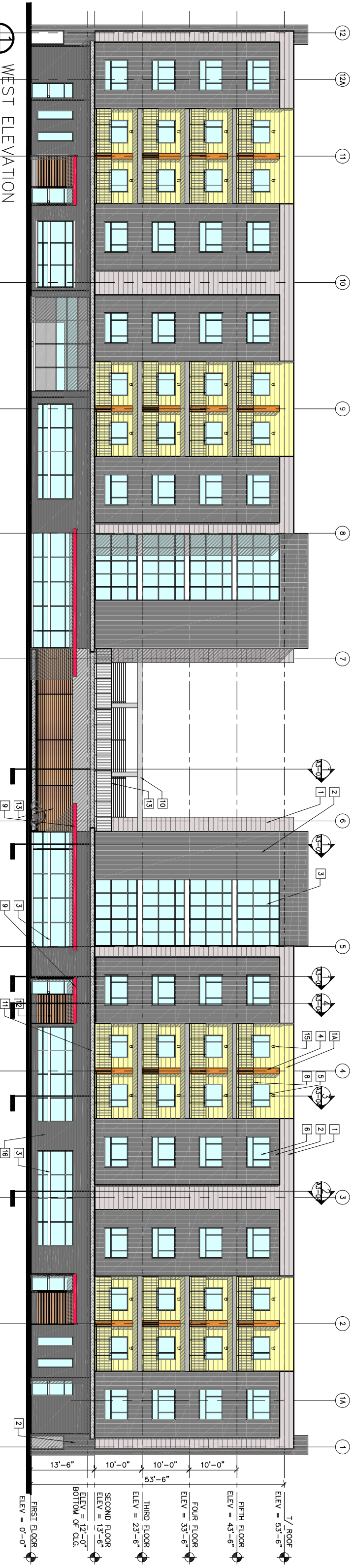
MILDRED WHITE, AIA, NCARB  
BAMA ARCHITECTURE AND DESIGN, LLC

N.T.S. WEST-EAST ELEVATIONS

**A2 C**  
**01 19**

222-312 NE 102ND. AVE. - PORTLAND OR

01-15-15 LU 14-185350 DZM



**NOTES**

1	PREFINISHED CEMENT BOARD SMOOTH ARTISAN LAP SIDING, JAMESHARDE OR SIMILAR 1-COLOR COBBLE STONE	3	KAWNEER STOREFRONT 451UT FINISH #14	6	6'-6"x5'-0" RECESSED VINYL DOUBLE CASEMENT WINDOW BY CASCADE WINDOWS COLOR: WHITE	8	PAINTED STEEL RAILING WITH 3/4" X 3/4" PICKET INFILL REFER TO C-32 FOR DETAIL	12	WOOD ACCENT MOUNTED ON CONCRETE WALL. 1X4 IPE SLAT ON CONCRETE PLANTER. WOOD TO MATCH ACCENT 1X4 IPE SLAT	15	LIGHT FIXTURE: BLACK BRACKET WALL MOUNTED W/ WHITE ACRYLIC GLOBE.
2	METAL CLADDING CENTRA I/W STRIPS OR SIMILAR PROFILE IW-12 COLOR: SILVER STM	4	AC UNIT NICHE COLOR TO MATCH ARTISAN LAP SIDING IRON GREY	7	3'-6"x2'-0" RECESSED VINYL DOUBLE CASEMENT WINDOW BY CASCADE WINDOWS COLOR: WHITE	9	PAINTED METAL CANOPY REFER TO C-32 FOR DETAIL	13	SOLID WOOD FENCE MOUNTED TO MATCH ACCENT 1X4 IPE SLAT	16	BRICK VENEER, HARBOR MIST OR SW (BY MUTUAL MATERIALS)
		5	4'-10"x4'-0" RECESSED VINYL DOUBLE CASEMENT WINDOW BY CASCADE WINDOWS COLOR: WHITE	10	PAINTED METAL CANOPY REFER TO C-33 FOR DETAIL W/HAMMERED EDGES	11	WOOD ACCENT MOUNTED ON CONCRETE COLUMN @ 13'-3" OC 1X4 IPE SLAT. REFER TO DETAIL				

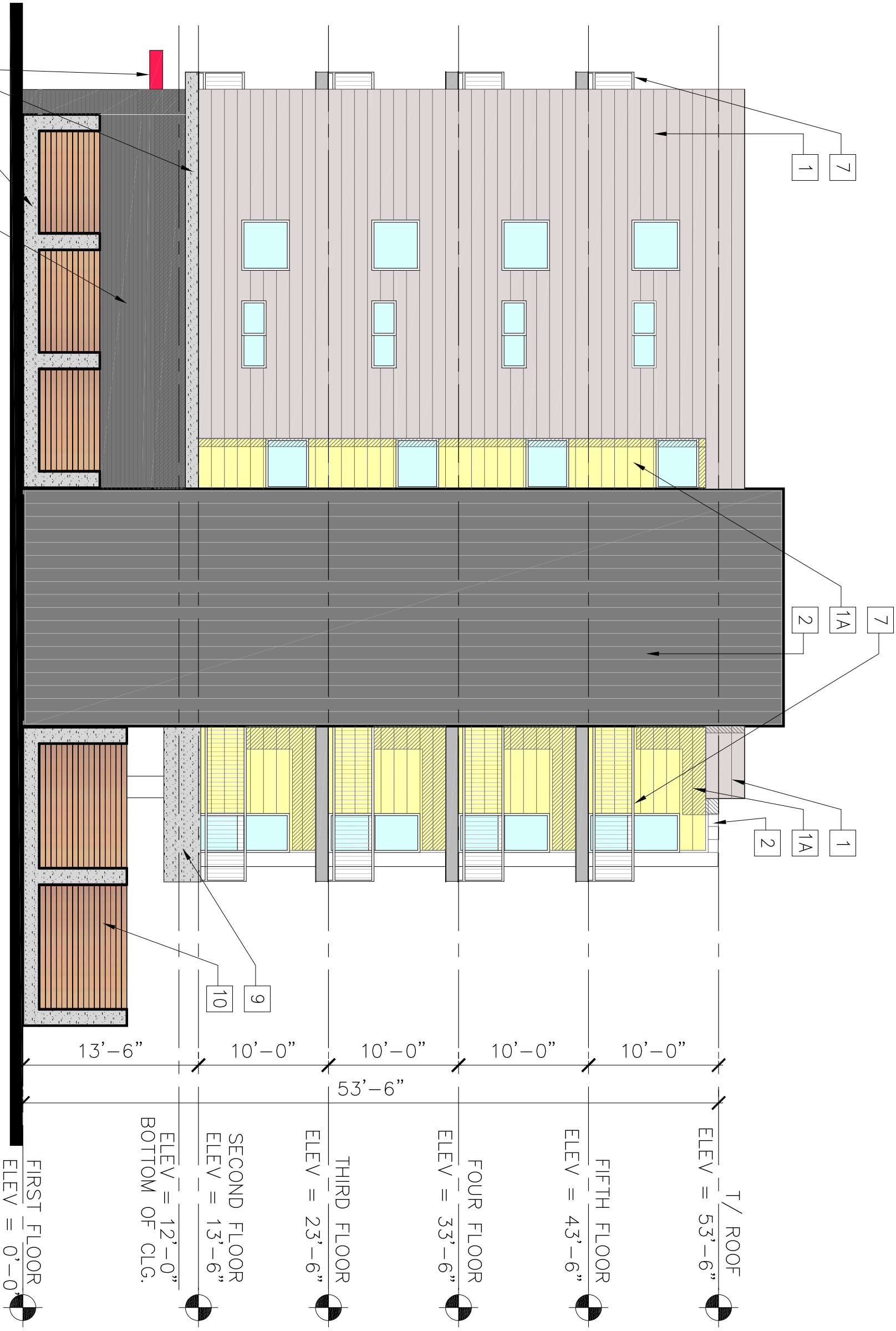
**2** EAST ELEVATION  
SCALE: N.T.S.

**1** WEST ELEVATION  
SCALE: N.T.S.

NOTE: SEE AX-XX/CX FOR MATERIALS

<b>ALBERTO RINKEVICH</b> A R D E S I G N		<b>HAZELWOOD PLAZA</b> 62 RESIDENTIAL UNITS	
4810 SW LOWELL CT. PORTLAND, OR 97221 (503) 977-1758		222-312 NE 102ND. AVE. - PORTLAND OR	
MILDRED WHITE, AIA, NCARB BAMA ARCHITECTURE AND DESIGN, LLC		N.T.S. WEST-EAST ELEVATIONS	
01-15-15		<b>A2 C</b> <b>02 20</b>	
LU 14-185350 DZM			





1 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

T / ROOF  
ELEV = 53'-6"

FIFTH FLOOR  
ELEV = 43'-6"

FOUR FLOOR  
ELEV = 33'-6"

THIRD FLOOR  
ELEV = 23'-6"

SECOND FLOOR  
ELEV = 13'-6"  
BOTTOM OF CLG.

FIRST FLOOR  
ELEV = 0'-0"

Dimensions: 10'-0", 10'-0", 10'-0", 10'-0", 10'-0", 53'-6", 13'-6"

NOTES

- 1 PREFINISHED CEMENT BOARD SMOOTH ARTISAN LAP SIDING, JAMESHARDIE OR SIMILAR 1-COLOR COBBLE STONE 1A-COLOR HARRIS CREAM
- 2 METAL CLADDING CENTRIA IW SERIES OR SIMILAR PROFILE IW-12 COLOR SILVER STM
- 7 PAINTED STEEL RAILING WITH 3/4" X 3/4" PICKET INFILL REFER TO C-32 FOR DETAIL
- 8 PAINTED METAL CANOPY
- 9 EXPOSED SMOOTH CONCRET W/CHAMFERED EDGES
- 10 8'-0" HEIGHT SOLID WOOD FENCE MOUNTED ON CONCRETE PLANTER W/CONCRETE COLUMN @ 13'-3" OC 1X4 IPE SLAT. REFER TO DETAIL
- 11 6'-0" HEIGHT SOLID WOOD FENCE MOUNTED ON CONCRETE WALL W/CONCRETE COLUMN @ 9'-1" OC 1X4 IPE SLAT. REFER TO DETAIL
- 15 BRICK VENEER, HARBOR MIST OR SIM (BY MUTUAL MATERIALS)

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MILDRED WHITE, AIA, NCARB  
BAMA ARCHITECTURE AND DESIGN, LLC

**HAZELWOOD PLAZA**  
**62 RESIDENTIAL UNITS**

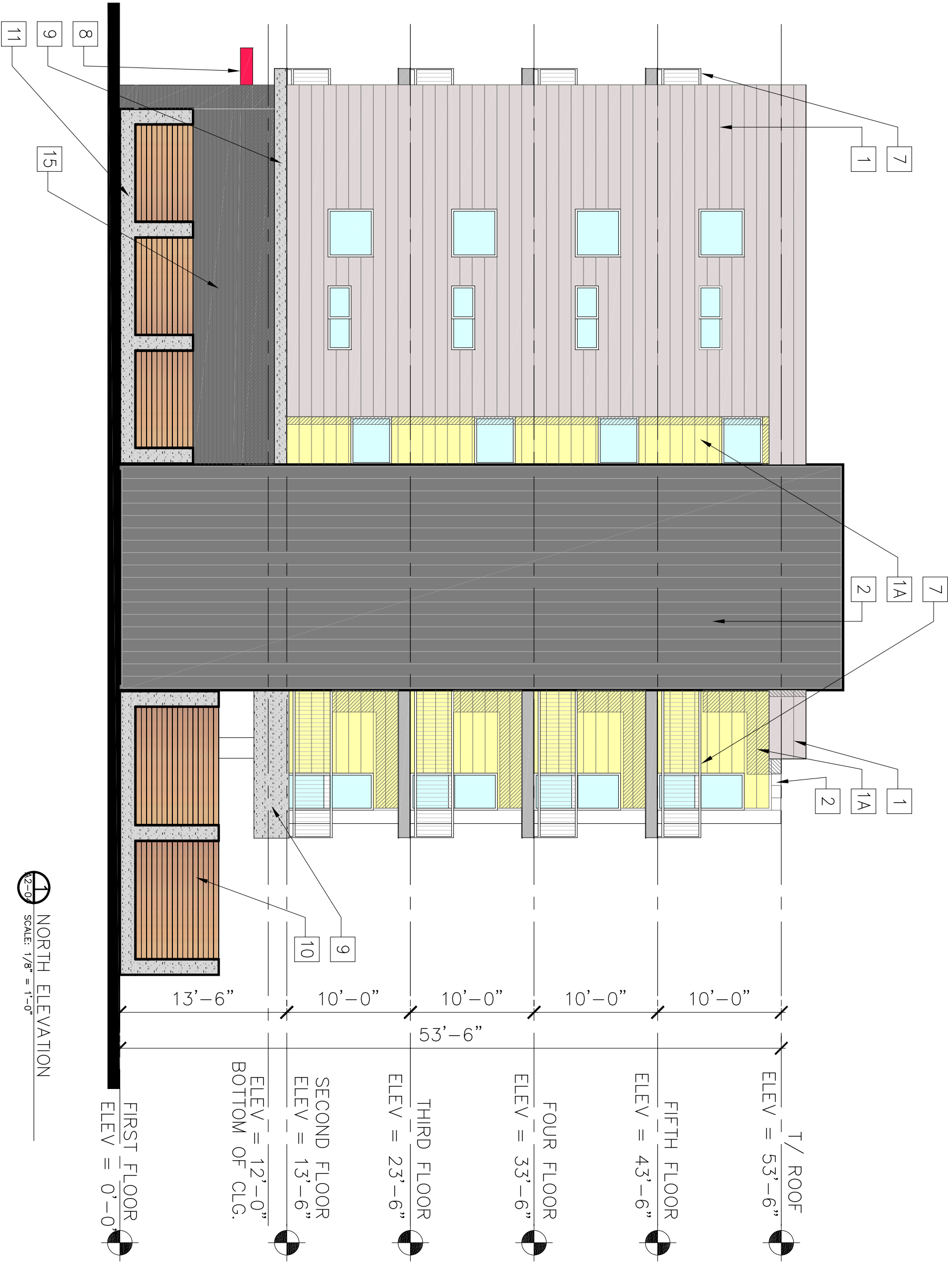
222-312 NE 102ND. AVE. - PORTLAND OR

1/8" = 1'-0"  
01-15-15

**SOUTH ELEVATION**

**A2 C**  
**03 21**

LU 14-185350 DZM



NOTES

- 1 PREFINISHED CEMENT BOARD SMOOTH ARTISAN LAP SIDING, JAMESHARDIE OR SIMILAR 1-COLOR COBBLE STONE 1A-COLOR HARRIS CREAM
- 2 METAL CLADDING CENTRIA IW SERIES OR SIMILAR PROFILE IW-12 COLOR SILVER STM
- 7 PAINTED STEEL RAILING WITH 3/4" X 3/4" PICKET INFILL REFER TO C-32 FOR DETAIL
- 8 PAINTED METAL CANOPY
- 9 EXPOSED SMOOTH CONCRET W/CHAMFERED EDGES
- 10 8'-0" HEIGHT SOLID WOOD FENCE MOUNTED ON CONCRETE PLANTER W/CONCRETE COLUMN @ 13'-3" OC 1X4 IPE SLAT. REFER TO DETAIL
- 11 6'-0" HEIGHT SOLID WOOD FENCE MOUNTED ON CONCRETE WALL W/CONCRETE COLUMN @ 9'-1" OC 1X4 IPE SLAT. REFER TO DETAIL
- 15 BRICK VENEER, HARBOR MIST OR SIM (BY MUTUAL MATERIALS)

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**HAZELWOOD PLAZA**  
**62 RESIDENTIAL UNITS**

222-312 NE 102ND. AVE. - PORTLAND OR

**1** NORTH ELEVATION  
 SCALE: 1/8" = 1'-0"

T / ROOF ELEV = 53'-6"

FIFTH FLOOR ELEV = 43'-6"

FOUR FLOOR ELEV = 33'-6"

THIRD FLOOR ELEV = 23'-6"

SECOND FLOOR ELEV = 13'-6"

ELEV = 12'-0" BOTTOM OF CLG.

FIRST FLOOR ELEV = 0'-0"

13'-6" 10'-0" 10'-0" 10'-0" 10'-0" 53'-6"

1/8" = 1'-0"

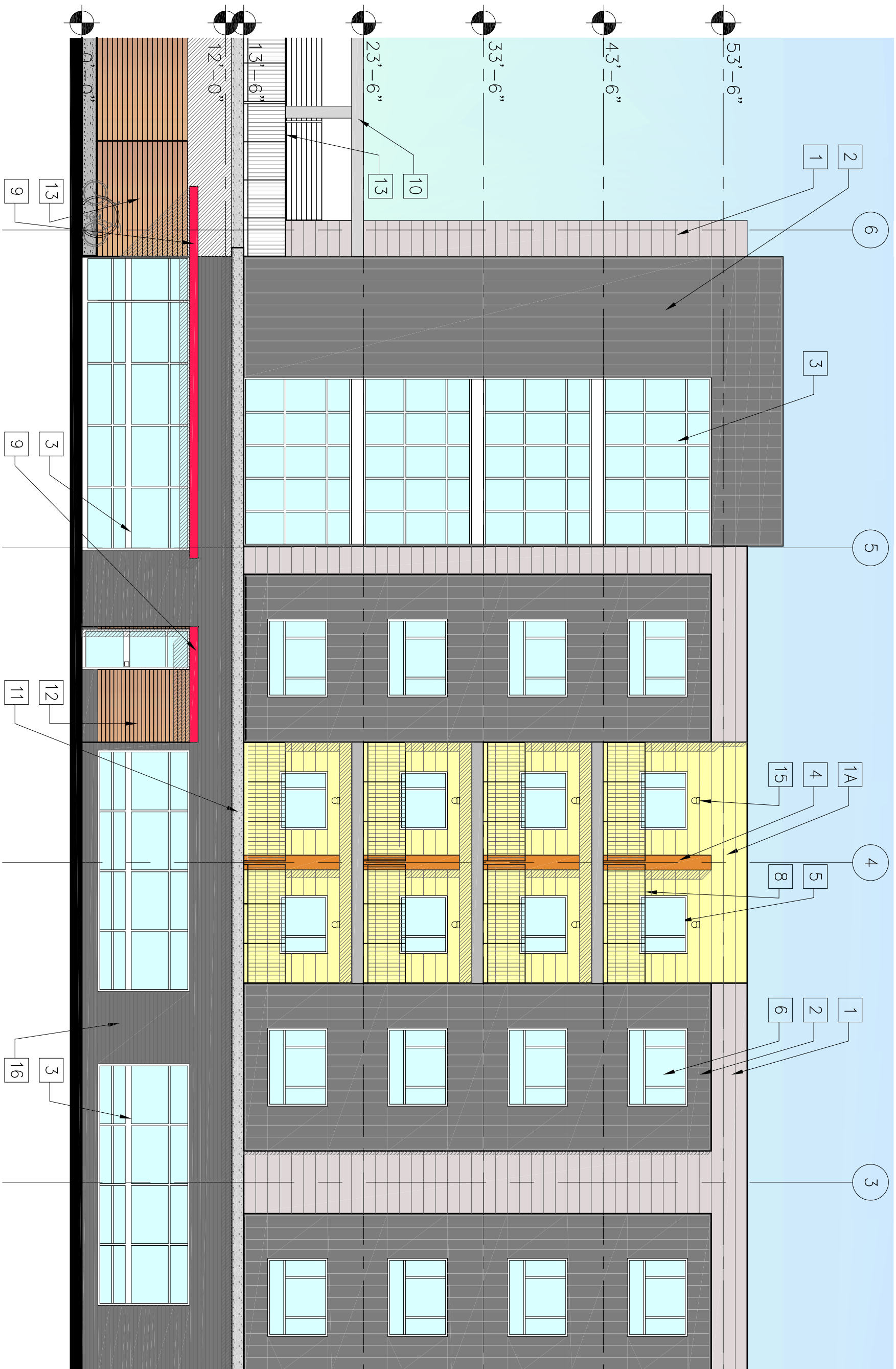
01-15-15

**NORTH ELEVATION**

**A2 C**  
**04 22**

LU 14-185350 DZM





NOTES

- 1 PREFINISHED CEMENT BOARD SMOOTH ARTISAN LAP SIDING, JAMESHARDIE OR SIMILAR
- 2 METAL CLADDING CENTRIA IW SERIES OR SIMILAR PROFILE IW-12 COLOR SILVER STM
- 3 KAWNEER STOREFRONT 451UT FINISH #14
- 4 AC UNIT NICHE COLOR TO MATCH ARTISAN LAP SIDING IRON GREY
- 5 4'-10"x4'-0" RECESSED VINYL DOUBLE CASEMENT WINDOW BY CASCADE WINDOWS COLOR WHITE
- 6 6'-6"x5'-0" RECESSED VINYL DOUBLE CASEMENT WINDOW BY CASCADE WINDOWS COLOR WHITE
- 7 3'-6"x5'-0" RECESSED VINYL DOUBLE CASEMENT WINDOW BY CASCADE WINDOWS COLOR WHITE
- 8 PAINTED STEEL RAILING WITH 3/4" X 3/4" PICKET INFILL REFER TO C-X FOR DETAIL
- 9 PAINTED METAL CANOPY REFER TO C-32 FOR DETAIL
- 10 PAINTED METAL CANOPY REFER TO C-33 FOR DETAIL
- 11 EXPOSED SMOOTH CONCRET W/CHAMFERED EDGES
- 12 WOOD ACCENT MOUNTED ON CONCRETE WALL. 1X4 IPE SLAT ON CONCRETE PLANTER. WOOD TO MATCH ACCENT
- 13 SOLID WOOD FENCE MOUNTED ON CONCRETE PLANTER. WOOD TO MATCH ACCENT
- 14 8'-0" HEIGHT SOLID WOOD FENCE MOUNTED ON CONCRETE PLANTER W/CONCRETE COLUMN @ 13'-3" OC. 1X4 IPE SLAT. REFER TO DETAIL
- 15 LIGHT FIXTURE. BLACK BRACKET WALL MOUNTED W/ WHITE ACRYLIC GLOBE.
- 16 BRICK VENEER, HARBOR MIST OR SIM (BY MUTUAL MATERIALS)

**ALBERTO RINKEVICH**  
A R C H I T E C T S

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MILDRED WHITE, AIA, NCARB  
BAMA ARCHITECTURE AND DESIGN, LLC

**HAZELWOOD PLAZA**  
**62 RESIDENTIAL UNITS**

N.T.S.

WEST ELEV.  
NORTH WING  
ENLARGED  
ELEVATION

**A2 C**

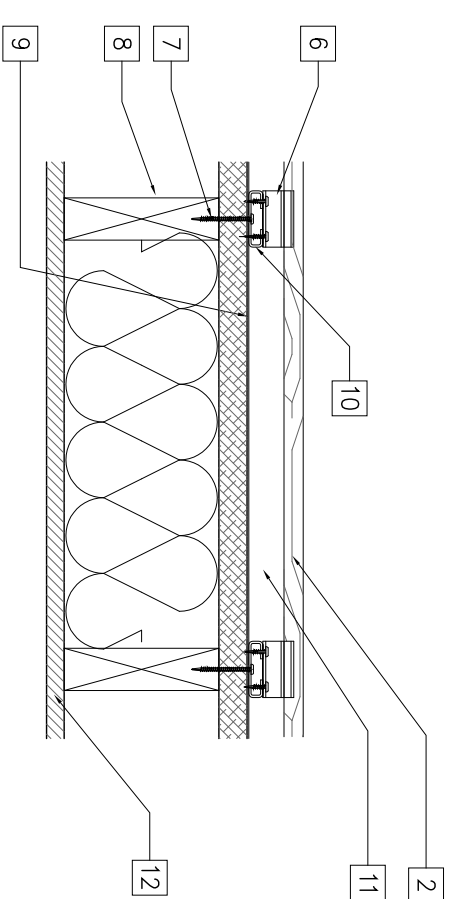
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222-312 NE 102ND. AVE. - PORTLAND OR

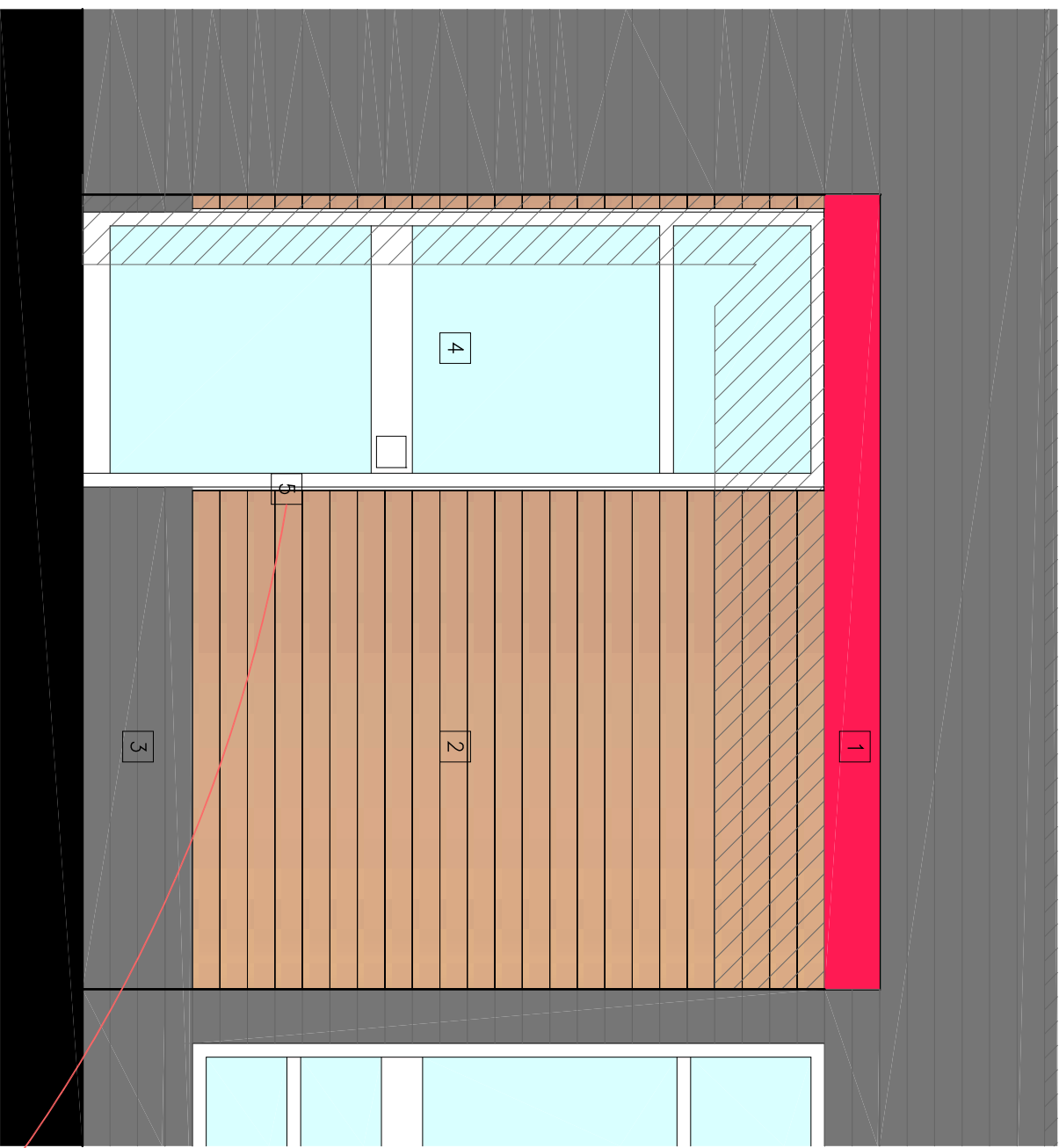
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LU 14-185350 DZM

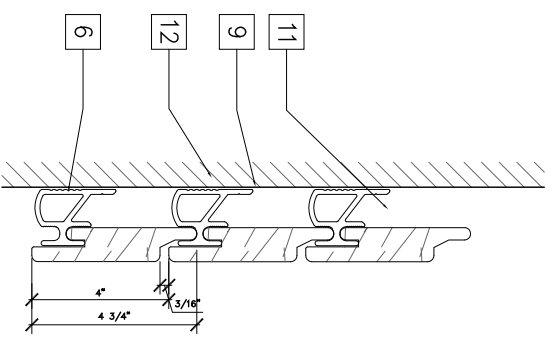
- 1 PAINTED METAL CANOPY  
REFER TO C-32 FOR DETAIL
- 2 WOOD ACCENT 1X4 IPE SLAT
- 3 BRICK VENEER, HARBOR MIST OR  
SIM (BY MUTUAL MATERIALS)
- 4 KAWNEER DOOR-STORFRONT  
451UT FINISH #14
- 5 ALUMINUM CORNER TO MATCH  
STORFRONT FINISH
- 6 RAIN SCREEN CLIP
- 7 WOOD SCREW
- 8 WOOD STUD
- 9 TYVEK ON 1/2" CD-X PLYWD ON  
2X4 STUDS @ 16" O.C.
- 10 ATTACHMENT CHANNEL
- 11 1 1/2" WALL CAVITY
- 12 5/8" INTERIOR GYP BOARD



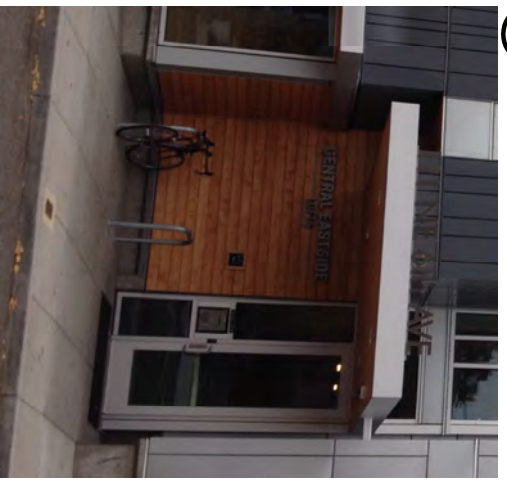
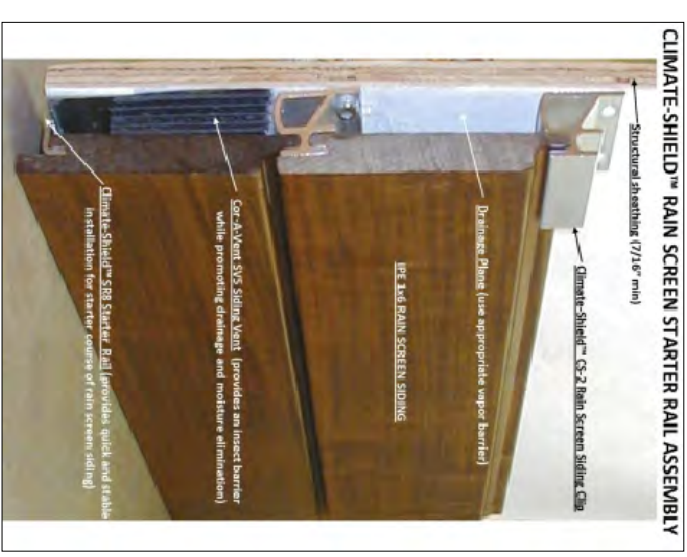
3 DETAIL - PLAN  
SCALE: N.T.S.



4 ENLARGED - ELEVATION  
SCALE: 1/2" = 1'-0"

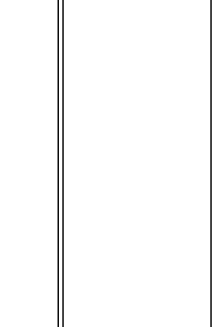


2 DETAIL - SECTION  
SCALE: N.T.S.



1 DETAIL - ALUM CORNER  
SCALE: N.T.S.

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62 RESIDENTIAL UNITS

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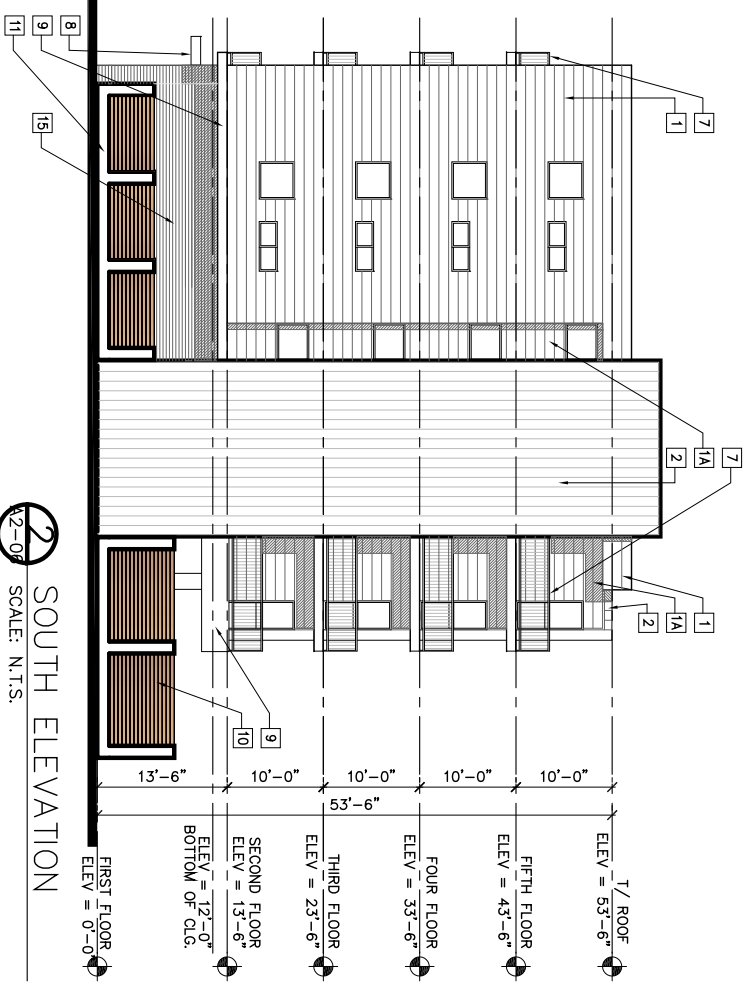
N.T.S.  
01-15-15

WEST ELEV.  
SHOP ENTRY  
ENLARGED  
ELEVATION

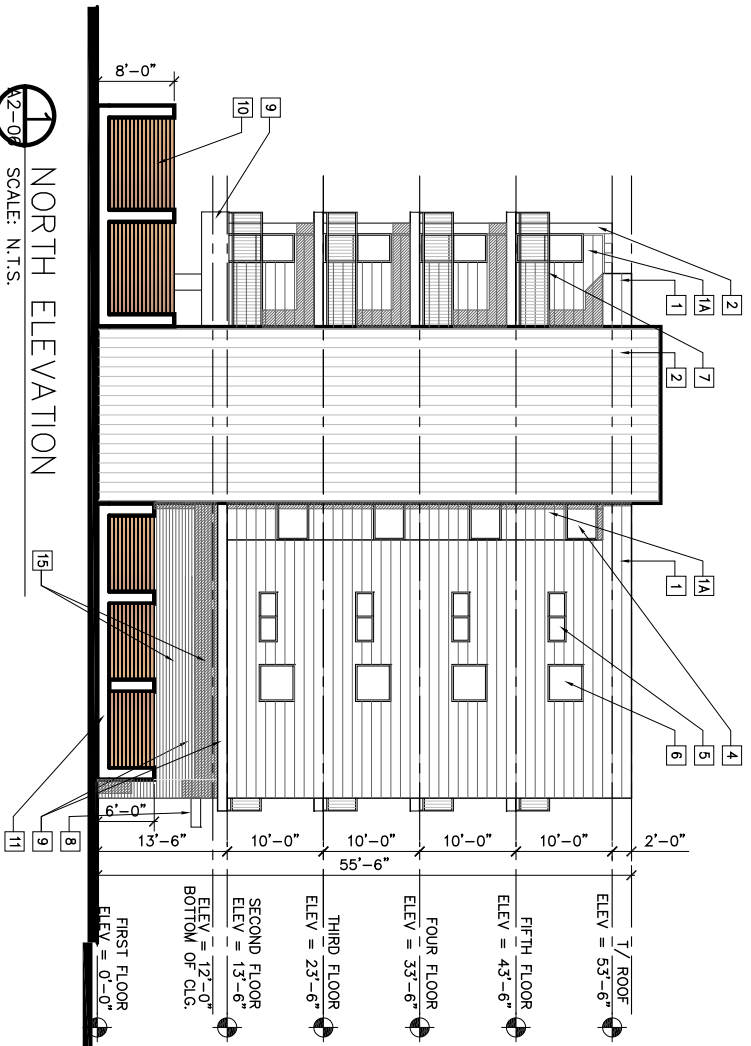
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BAMA ARCHITECTURE AND DESIGN, LLC

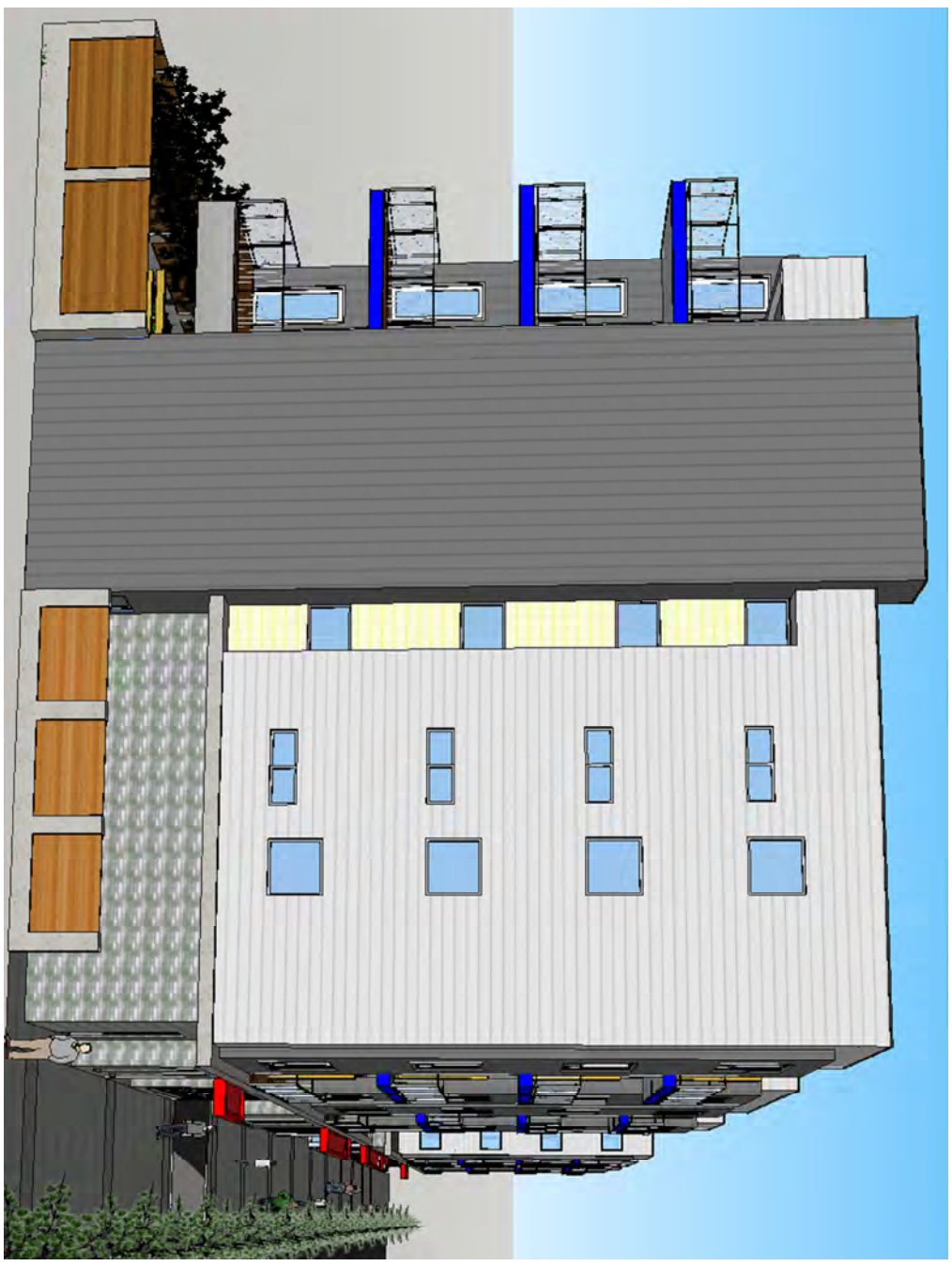




2 SOUTH ELEVATION  
SCALE: N.T.S.



1 NORTH ELEVATION  
SCALE: N.T.S.



NOTES

- 1 PREFINISHED CEMENT BOARD SMOOTH ARTISAN LAP SIDING, JAMESHARDIE OR SIMILAR
- 1-COLOR COBBLE STONE
- 1A-COLOR HARRIS CREAM
- 2 METAL CLADDING CENTRIA IW SERIES OR SIMILAR
- 2 COLOR SILVER STM
- 7 PAINTED STEEL RAILING WITH 3/4" X 3/4" PICKET INFILL. REFER TO C-32 FOR DETAIL
- 8 PAINTED METAL CANOPY
- 9 EXPOSED SMOOTH CONCRETE W/CHAMFERED EDGES
- 10 8'-0" HEIGHT SOLID WOOD FENCE MOUNTED ON CONCRETE PLANTER W/CONCRETE COLUMN @ 13'-3" OC. 1X4 IPE SLAT. REFER TO DETAIL
- 11 6'-0" HEIGHT SOLID WOOD FENCE MOUNTED ON CONCRETE WALL W/CONCRETE COLUMN @ 9'-1" OC. 1X4 IPE SLAT. REFER TO DETAIL
- 15 BRICK VENEER, HARBOR MIST OR SIM (BY MUTUAL MATERIALS)

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BAMA ARCHITECTURE AND DESIGN, LLC

HAZELWOOD PLAZA  
62 RESIDENTIAL UNITS

N.T.S.

SOUTH  
NORTH  
ELEVATIONS  
RENDERINGS

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07 25

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01-15-15

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## HAZELWOOD PLAZA

### 62 RESIDENTIAL UNITS

222-312 NE 102ND. AVE. - PORTLAND OR

N.T.S.

RENDERING

**A2 C**  
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01-15-15

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**HAZELWOOD PLAZA**

**62 RESIDENTIAL UNITS**

222-312 NE 102ND. AVE. - PORTLAND OR

N.T.S.

RENDERING

01-15-15

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LU 14-185350 DZM





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222-312 NE 102ND. AVE. - PORTLAND OR

N.T.S.

RENDERING

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01-15-15

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N.T.S.

RENDERING

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**HAZELWOOD PLAZA  
 62 RESIDENTIAL UNITS**

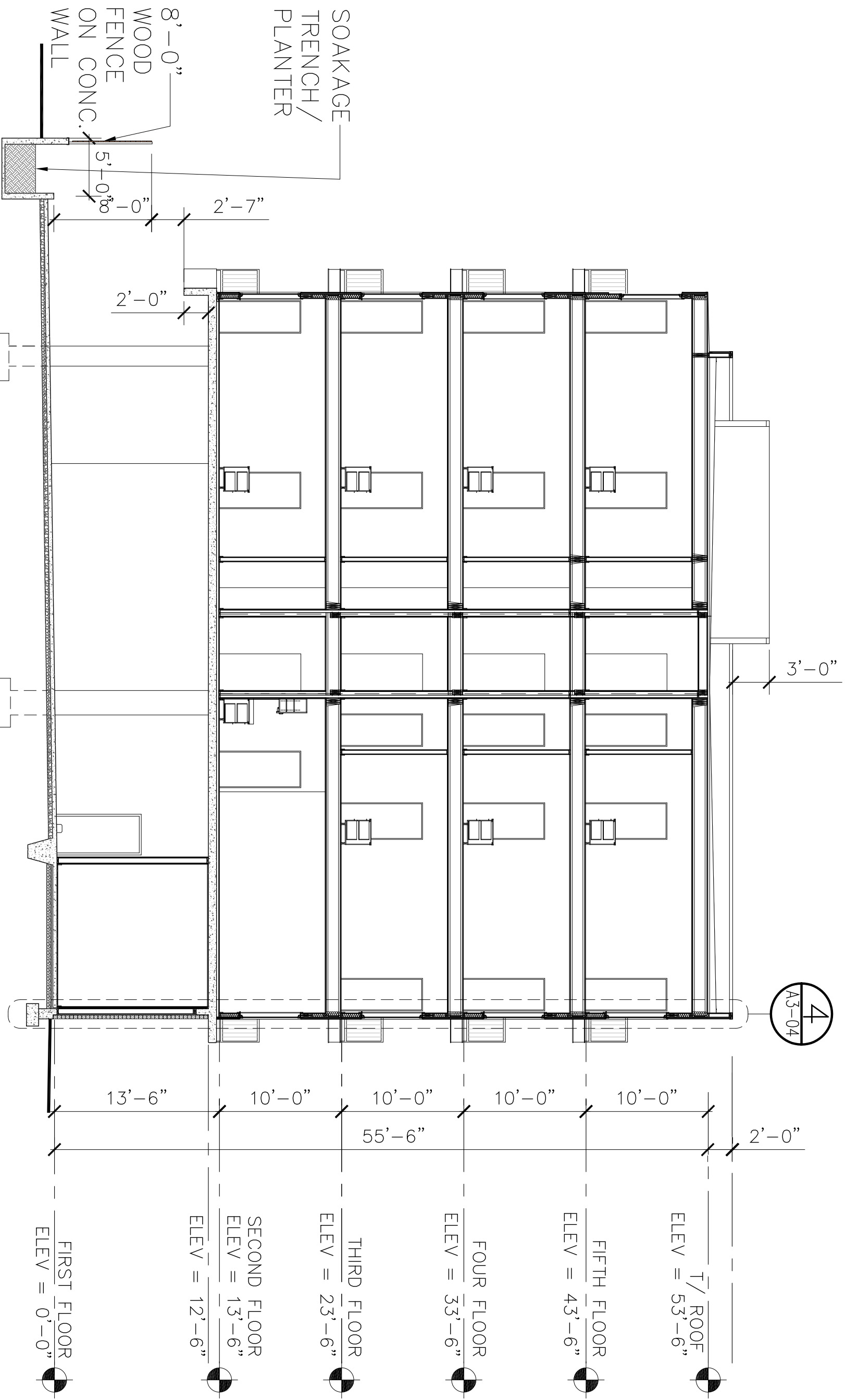
222-312 NE 102ND. AVE. - PORTLAND OR

N.T.S. RENDERING

01-15-15

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LU 14-185350 DZM



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HAZELWOOD PLAZA  
62 RESIDENTIAL UNITS

222-312 NE 102ND. AVE. - PORTLAND OR

1/8" = 1'-0"

SECTION - 1

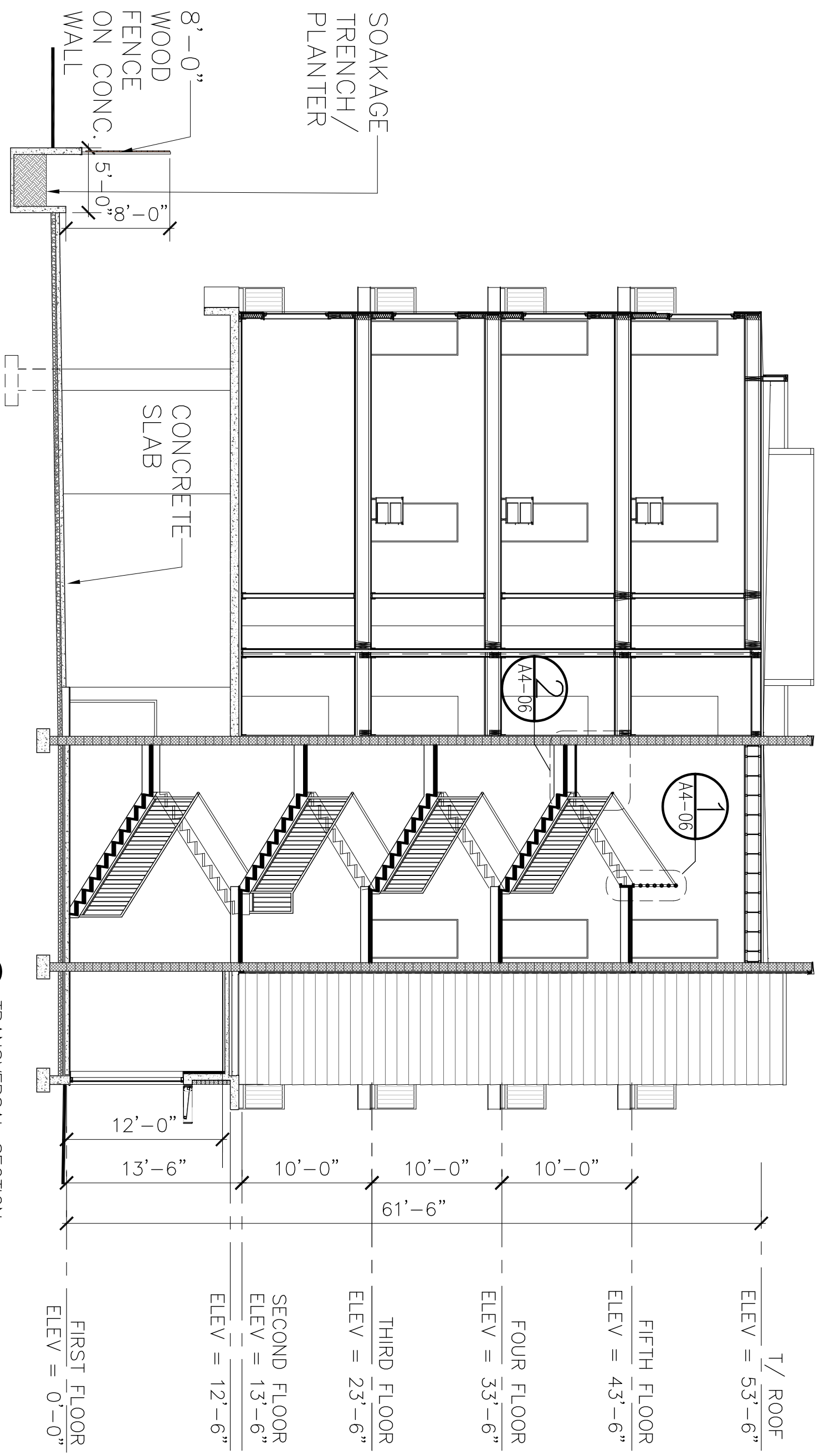
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01 31

01-15-15

LU 14-185350 DZM





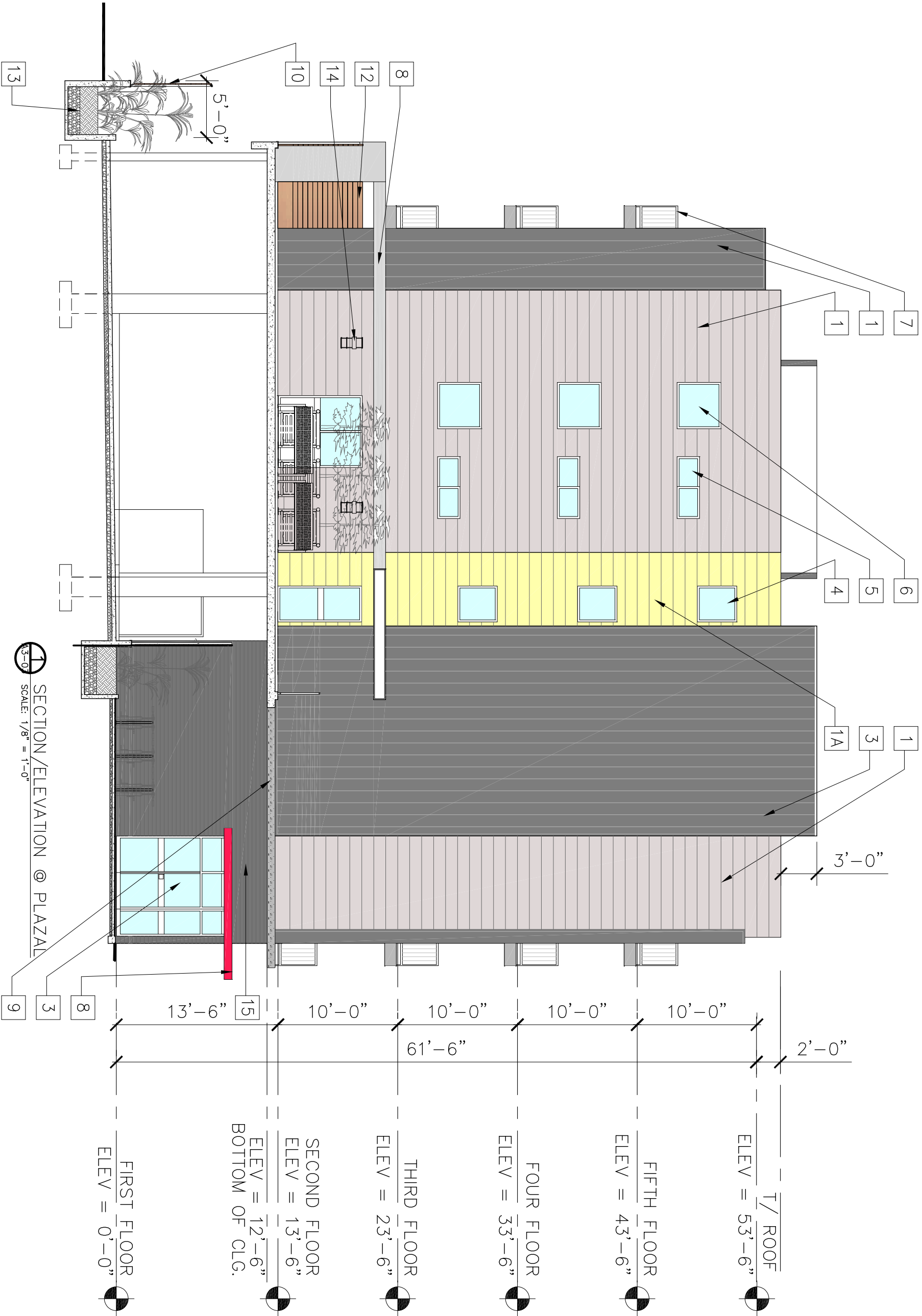
1-3-07 TRANSVERSAL SECTION  
SCALE: 1/8" = 1'-0"

**ALBERTO RINKEVICH**  
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4810 SW LOWELL CT. PORTLAND, OR 97221  
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BAMA ARCHITECTURE AND DESIGN, LLC

**HAZELWOOD PLAZA**  
**62 RESIDENTIAL UNITS**

222-312 NE 102ND. AVE. - PORTLAND OR

01-15-15	1/8" = 1'-0"	SECTION - 2	A3	C
			02	32
			LU 14-185350	DZM



SECTION/ELEVATION @ PLAZA  
SCALE: 1/8" = 1'-0"

2'-0"	T / ROOF	ELEV = 53'-6"
10'-0"	FIFTH FLOOR	ELEV = 43'-6"
10'-0"	FOUR FLOOR	ELEV = 33'-6"
10'-0"	THIRD FLOOR	ELEV = 23'-6"
10'-0"	SECOND FLOOR	ELEV = 13'-6"
13'-6"	BOTTOM OF CLG.	ELEV = 12'-6"
8'	FIRST FLOOR	ELEV = 0'-0"

NOTES

- 1 PREFINISHED CEMENT BOARD SMOOTH ARTISAN LAP SIDING, JAMESHARDIE OR SIMILAR 1-COLOR COBBLE STONE 1A-COLOR HARRIS CREAM
- 2 METAL CLADDING CENTRIA IW SERIES OR SIMILAR PROFILE IW-12 COLOR SILVER STM
- 3 KAWNEER STOREFRONT 451UT FINISH #14
- 4 3'-10"x3'-3" RECESSED VINYL DOUBLE CASEMENT WINDOW BY CASCADE WINDOWS COLOR WHITE
- 5 5'-2"x1'-6" RECESSED VINYL SIDING KITCHEN WINDOW BY CASCADE WINDOWS COLOR WHITE
- 6 3'-6"x3'-6" RECESSED VINYL DOUBLE CASEMENT WINDOW BY CASCADE WINDOWS COLOR WHITE
- 7 PAINTED STEEL RAILING WITH 3/4" X 3/4" PICKET INFILL REFER TO C-32 FOR DETAIL
- 8 PAINTED METAL CANOPY
- 9 EXPOSED SMOOTH CONCRET W/CHAMFERED EDGES
- 10 8'-0" HEIGHT SOLID WOOD FENCE MOUNTED ON CONCRETE PLANTER W/CONCRETE COLUMN @ 13'-3" OC 1X4 IPE SLAT. REFER TO DETAIL
- 11 6'-0" HEIGHT SOLID WOOD FENCE MOUNTED ON CONCRETE WALL W/CONCRETE COLUMN @ 9'-1" OC 1X4 IPE SLAT. REFER TO DETAIL
- 12 7'-0" HEIGHT SOLID WOOD FENCE 1X4 IPE SLAT.
- 13 SOAKAGE TRENCH/PLANTER.
- 14 LIGHT FIXTURE: HINKLEY "SATURN" 12" HEIGHT WALL SCONE.
- 15 BRICK VENEER, HARBOR MIST OR SIM. (BY MUTUAL MATERIALS)

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BAMA ARCHITECTURE AND DESIGN, LLC

**HAZELWOOD PLAZA**  
62 RESIDENTIAL UNITS  
222-312 NE 102ND. AVE. - PORTLAND OR

1/8" = 1'-0"  
01-15-15

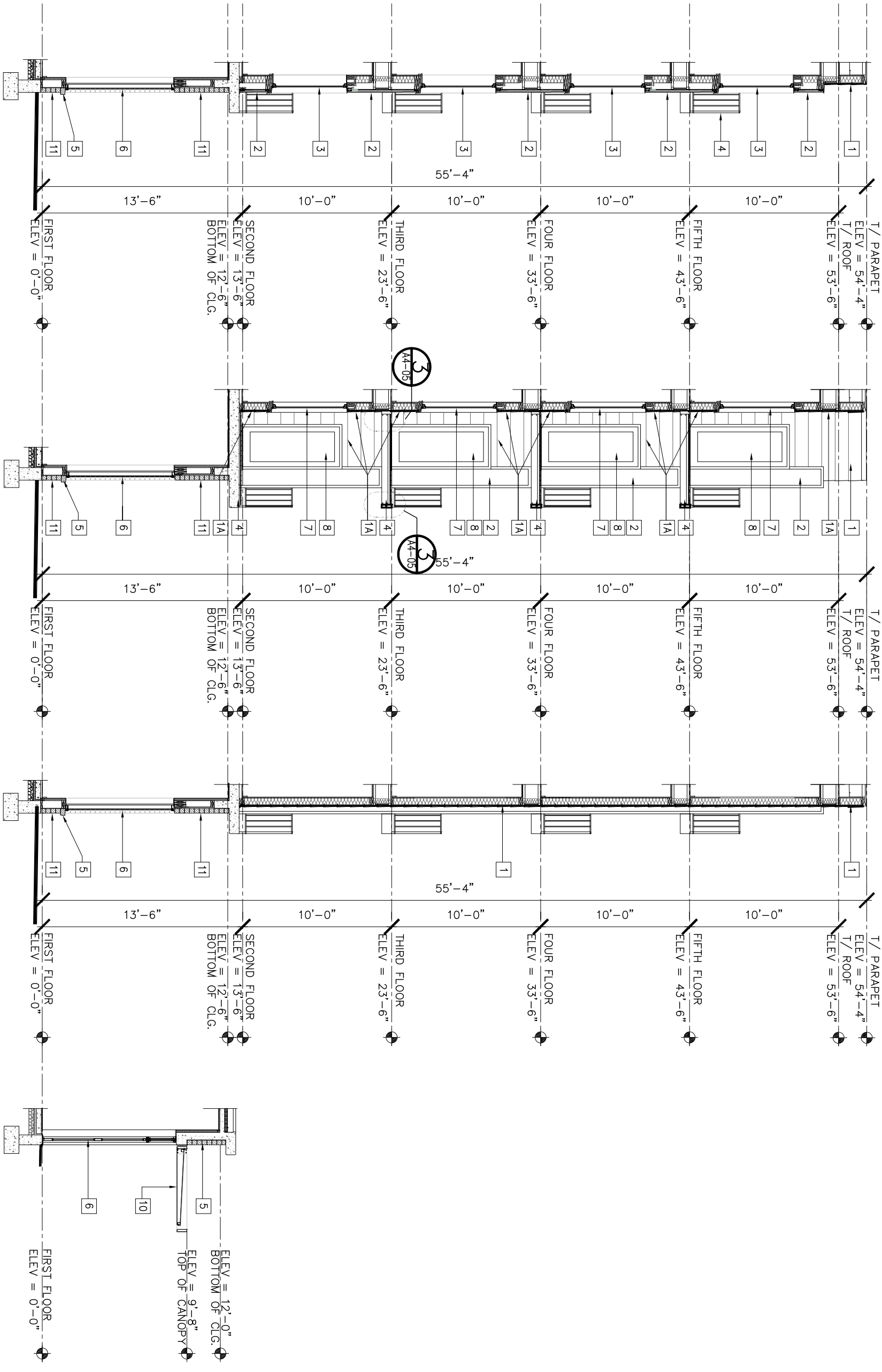
SECTION-ELEVATION @ PLAZA/R-GARDEN

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03 33  
LU 14-185350 DZM



NOTES

- 1 PREFINISHED CEMENT BOARD SMOOTH ARTISAN LAP SIDING, JAMESHARDIE OR SIMILAR
- 2 1-COLOR COBBLE STONE 1A-COLOR HARRIS CREAM
- 3 METAL CLADING CENTRIA IW SERIES OR SIMILAR PROFILE IW-12 COLOR SILVER STM
- 4 6'-6"X5'-0" RECESSED VINYL DOUBLE CASEMENT WINDOW BY CASCADE WINDOWS COLOR WHITE
- 5 PAINTED STEEL RAILING WITH 3/4"X 3/4" PICKET INFILL REFER TO C-32 FOR DETAIL
- 6 ROWLOCK SILL
- 7 KAWNEER STOREFRONT 451UT FINISH #14
- 8 4'-10"X4'-0" RECESSED VINYL DOUBLE CASEMENT WINDOW BY CASCADE WINDOWS COLOR WHITE
- 9 FIBERGLASS EXTERIOR DOOR WITH GLASS PANEL AURORA A5001 BY JELD WEN COLOR WHITE
- 10 PAINTED METAL CANOPY REFER TO C-32 FOR DETAIL
- 11 BRICK VENEER, ENDICOTT MANGANESE IRONSPOT OR SIM.



WALL SECTION  
④ @ METAL PANEL  
N.T.S.

WALL SECTION  
③ @ BALCONIES  
N.T.S.

WALL SECTION  
② @ LAP SIDING  
N.T.S.

WALL SECTION  
① @ LOBBY ENTRANCE  
N.T.S.

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HAZELWOOD PLAZA

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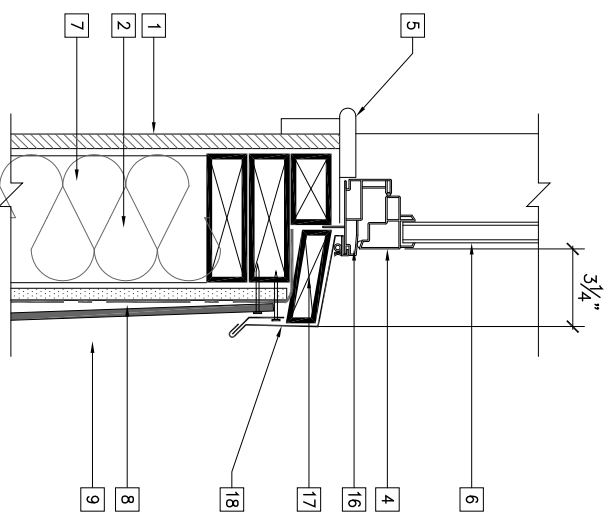
WALL SECTIONS

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04 34

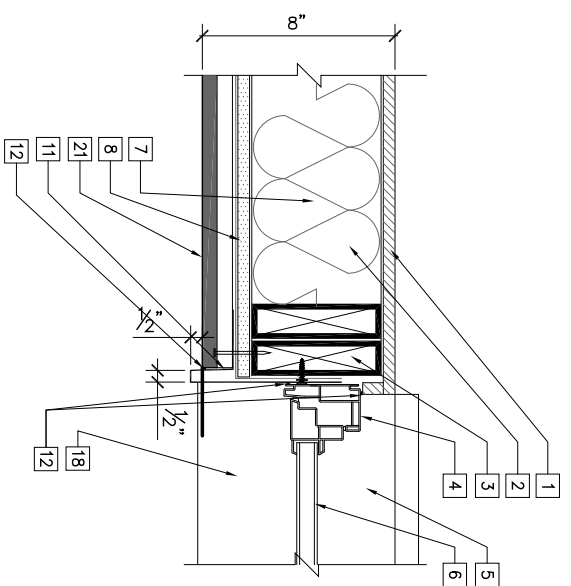
D1-15-15

LU 14-185350 DZM

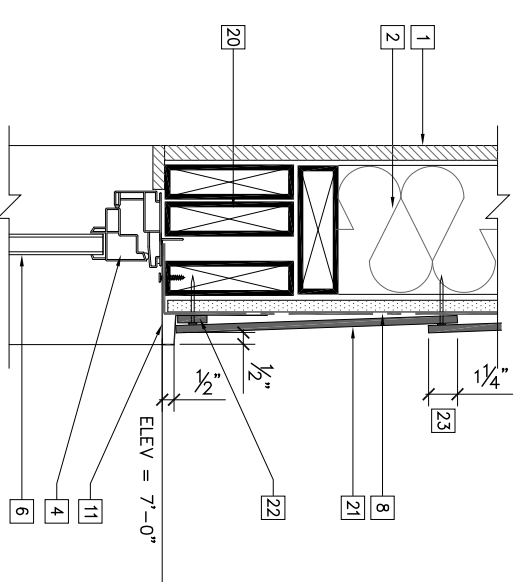




**4** WINDOW SILL @ LAP SIDING  
SCALE: 1 1/2" = 1'-0"



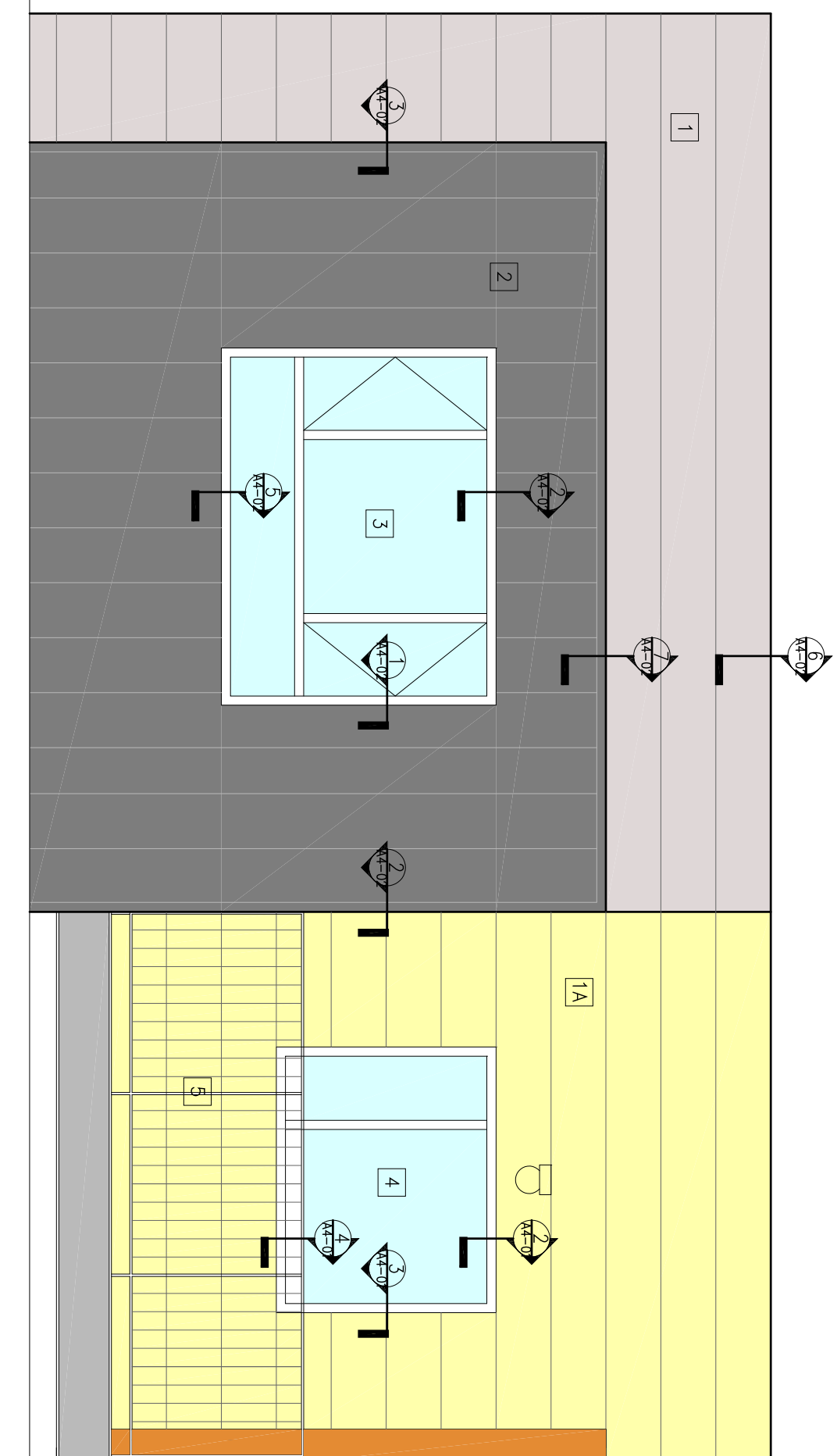
**3** JAMB DETAIL @ LAP SIDING  
SCALE: 1 1/2" = 1'-0"



**2** WINDOW HEADER @ LAP SIDING  
SCALE: 1 1/2" = 1'-0"

- 1** PREFINISHED CEMENT BOARD
- 1A** SMOOTH ARTISAN LAP SIDING, JAMESHARDIE OR SIMILAR
- 2** 1-COLOR COBBLE STONE 1A-COLOR HARRIS CREAM
- 3** METAL CLADDING CENTRIA IW SERIES OR SIMILAR PROFILE IW-12 COLOR SILVER STM
- 4** 6'-6"x5'-0" RECESSED VINYL DOUBLE CASEMENT WINDOW BY CASCADE WINDOWS COLOR WHITE
- 5** 4'-10"x4'-0" RECESSED VINYL DOUBLE CASEMENT WINDOW BY CASCADE WINDOWS COLOR WHITE

**1** ENLARGED ELEVATION  
SCALE: 3/8" = 1'-0"



- DETAILS NOTES**
- 1** 5/8" TYPE "X" GYP BD
  - 2** R-13 BATT INSUL
  - 3** (2) 2X6 WD STUD AT 16" OC
  - 4** PREMIUM GRADE CSMT. VINYL WINDOW
  - 5** 3/4" HARD WD SILL & APRON
  - 6** INSULATED GLASS
  - 7** 2X6 WD STUD @ 16" O.C.
  - 8** 3/4" EXT PLYWD SHEATHING W/ WEATHER RESISTANT BARRIER
  - 9** 18 GAUGES GALVANIZED METAL PANEL (CENTRIA IW-10)
  - 10** 1 1/2" DEEP VERT SUBSIRT
  - 11** METAL FLASHING
  - 12** SEALANT-TYP
  - 13** 3/4" DEEP HORIZ SUBSIRT
  - 14** (5) 2X9 HEADER
  - 15** SELF ADHERING BUTYL FLASHING TAPE
  - 16** BACKER ROD AND SEALANT
  - 17** WD SUBSILL
  - 18** METAL SILL
  - 19** METAL CLOSURE
  - 20** (3) 2X6 HEADER
  - 21** PREFINISHED CEMENT BOARD SMOOTH ARTISAN LAP SIDING.
  - 22** STARTER STRIP
  - 23** 1/4" MINIMUM OVERLAP
  - 24** (3)2X6 WD STUD.
  - 25** 4"x4" METAL FLASHING TO MATCH MET PANEL COLOR
  - 26** 3/16"x3"x3" SHM UNDER MALE LEG OF PANEL AT EACH FASTENING POINT TO MAINTAIN ALIGNMENT OF PANEL FACE
  - 27** 2X4 WD STUD.
  - 28** 6"x4" METAL FLASHING TO MATCH MET PANEL COLOR
  - 29** PREFINISHED METAL COPING
  - 30** SLOPED 2X WOOD CAP MEMBRANE - WRAP OVER PARAPET TO EXTERIOR FACE
  - 31** 8" MIN TO TOP OF DECK
  - 32** ROOF INSUL - MIN 1" THICK AT LOW POINT
  - 33** FULLY ADHERED SINGLE PLY ROOF MEMBRANE
  - 34** LAP OR IN-LINE SEALANT
  - 35** 9" R-30 BATT INSUL.
  - 36** TJI BLOCKING.
  - 37** 3" THICK EXT GRADE PLYWD
  - 38** 3" THICK EXT GRADE PLYWD

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**62 RESIDENTIAL UNITS**

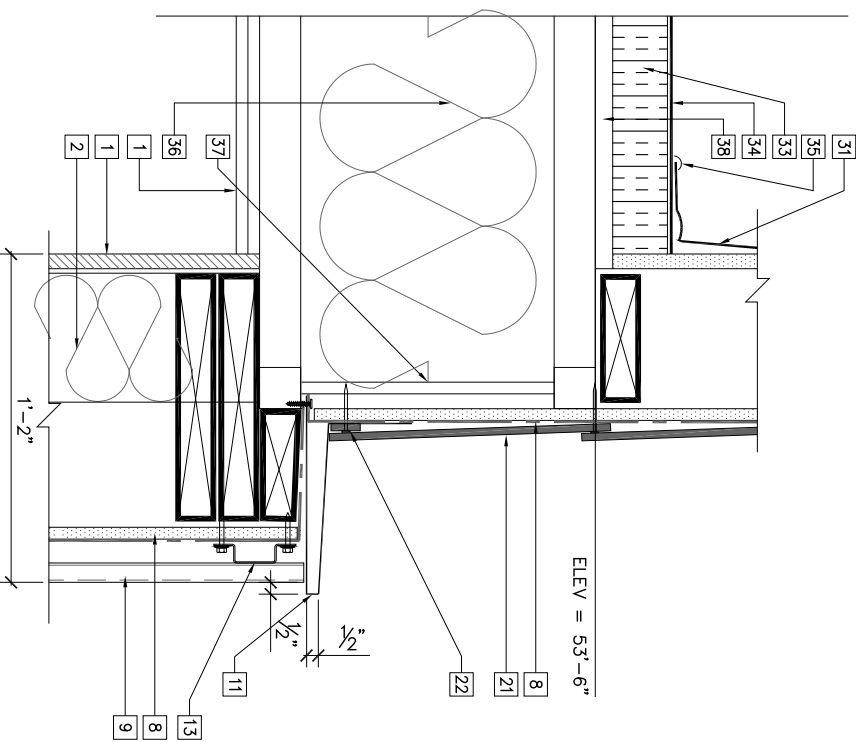
VARIES

ENLARGED WINDOW DETAILS

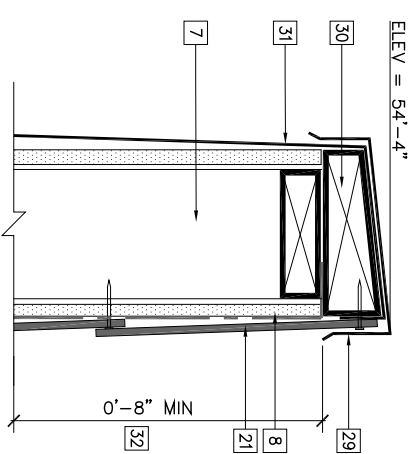
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BAMA ARCHITECTURE AND DESIGN, LLC

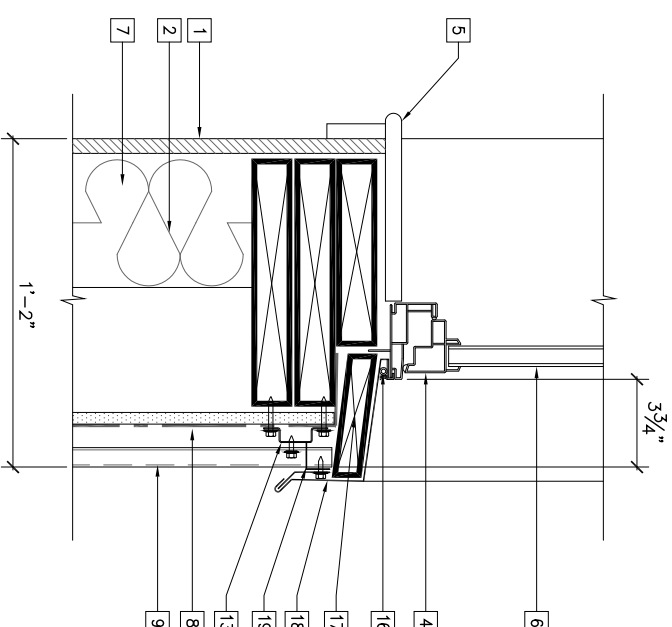
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01-15-15 LU 14-185350 DZM



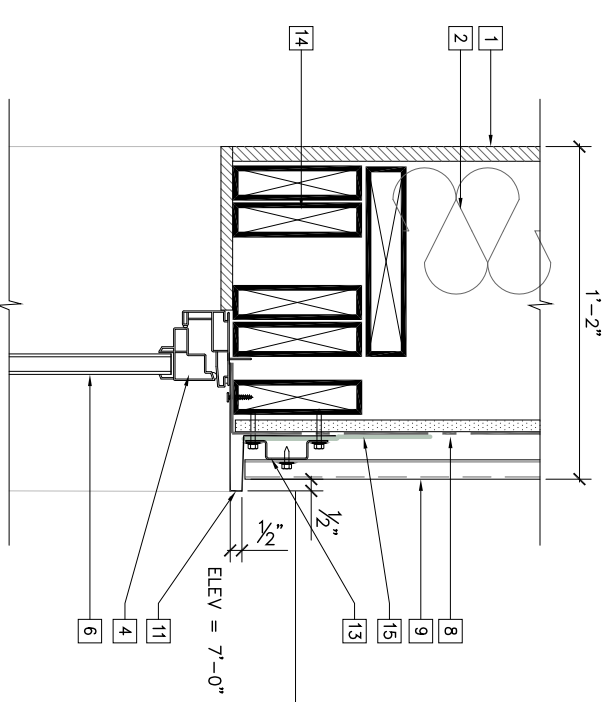
SECTION DETAIL @ SIDING & METAL PANEL  
SCALE: 1 1/2" = 1'-0"



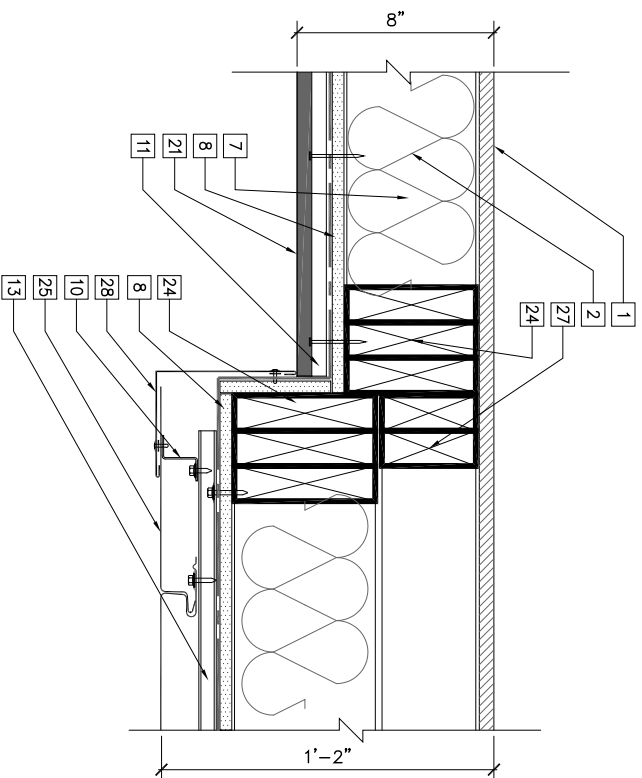
PARAPET CAP DETAIL  
SCALE: 1 1/2" = 1'-0"



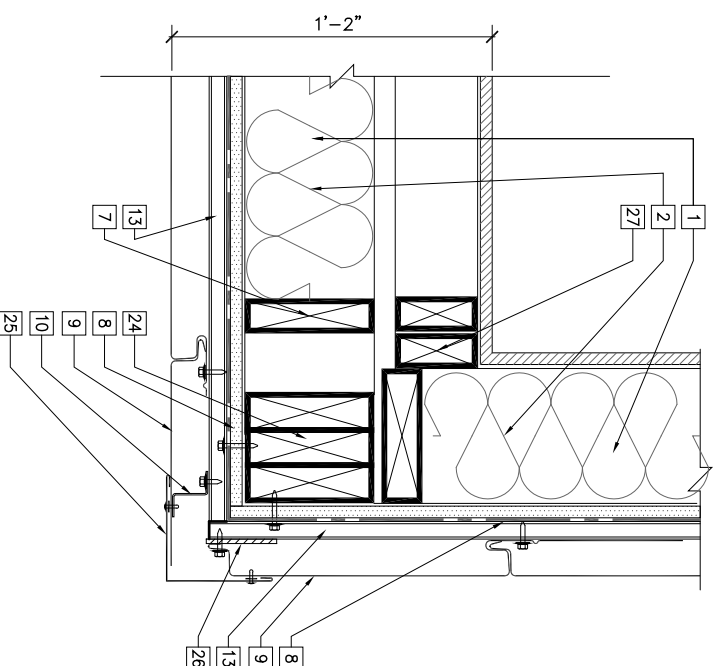
WINDOW SILL @ METAL PANEL  
SCALE: 1 1/2" = 1'-0"



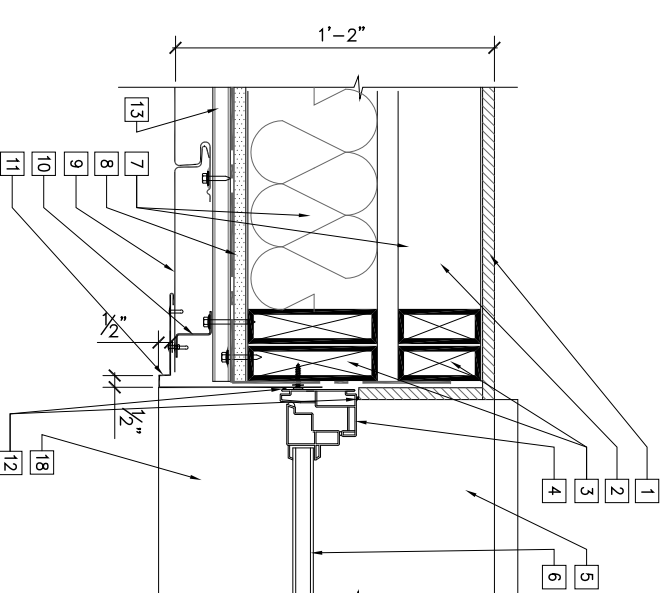
WINDOW HEADER @ METAL PANEL  
SCALE: 1 1/2" = 1'-0"



WALL DETAIL @ SIDING & METAL PANEL  
SCALE: 1 1/2" = 1'-0"



WALL DET. OUTSIDE CORNER @ METAL PANEL  
SCALE: 1 1/2" = 1'-0"



JAMB DETAIL @ METAL PANEL  
SCALE: 1 1/2" = 1'-0"

- DETAILS NOTES
- 1 5/8" TYPE GYP BD
  - 2 R-13 BATT INSUL
  - 3 (2) 2X6 WD STUD AT 16" OC
  - 4 PREMIUM GRADE CSMT. VINYL WINDOW
  - 5 3/4" HARD WD SILL & APRON
  - 6 INSULATED GLASS
  - 7 2X6 WD STUD @ 16" O.C.
  - 8 3/4" EXT PLYWD SHEATHING W/ WEATHER RESISTANT BARRIER
  - 9 18 GAGES GALVANIZED METAL PANEL (CENTRIA IW-10)
  - 10 1 1/2" DEEP VERT SUBGIRT
  - 11 METAL FLASHING
  - 12 SEALANT-TYP
  - 13 3/4" DEEP HORIZ SUBGIRT
  - 14 (5) 2X9 HEADER
  - 15 SELF ADHERING BUTYL FLASHING TAPE
  - 16 BACKER ROD AND SEALANT
  - 17 WD SUBSILL
  - 18 METAL SILL
  - 19 METAL CLOSURE
  - 20 (3) 2X6 HEADER
  - 21 PREFINISHED CEMENT BOARD SMOOTH ARTISAN LAP SIDING.
  - 22 STARTER STRIP
  - 23 1/4" MINIMUM OVERLAP
  - 24 (3)2X6 WD STUD.
  - 25 4"x4" METAL FLASHING TO MATCH MET PANEL COLOR
  - 26 3/16"x3"x3" SHIM UNDER MALE LEG OF PANEL AT EACH FASTENING POINT TO MAINTAIN ALIGNMENT OF PANEL FACE
  - 27 2X4 WD STUD.
  - 28 6"x4" METAL FLASHING TO MATCH MET PANEL COLOR
  - 29 PREFINISHED METAL COPING
  - 30 SLOPED 2X WOOD CAP
  - 31 MEMBRANE - WRAP OVER PARAPET TO EXTERIOR FACE
  - 32 8" MIN TO TOP OF DECK
  - 33 ROOF INSUL - MIN 1" THICK AT LOW POINT
  - 34 FULLY ADHERED SINGLE PLY ROOF MEMBRANE
  - 35 LAP OR IN-LINE SEALANT
  - 36 9" R-30 BATT INSUL.
  - 37 TJI BLOCKING.
  - 38 3/4" THICK EXT GRADE PLYWD

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N.T.S.  
WALL & WINDOW DETAILS

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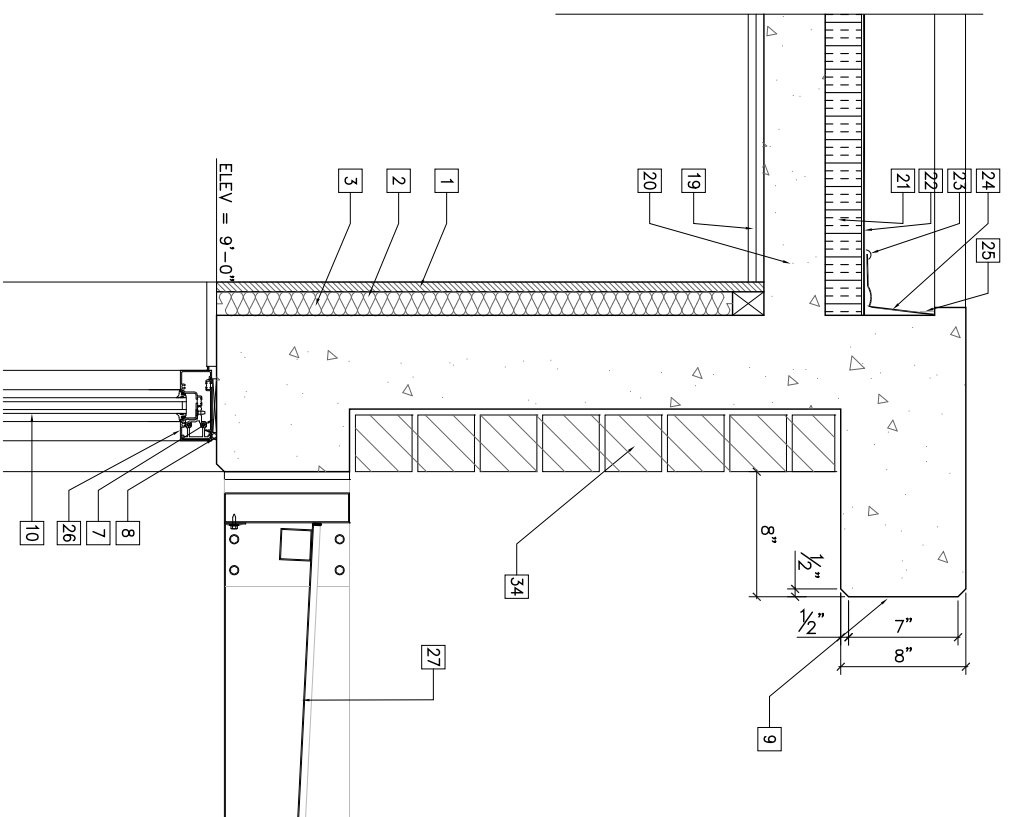
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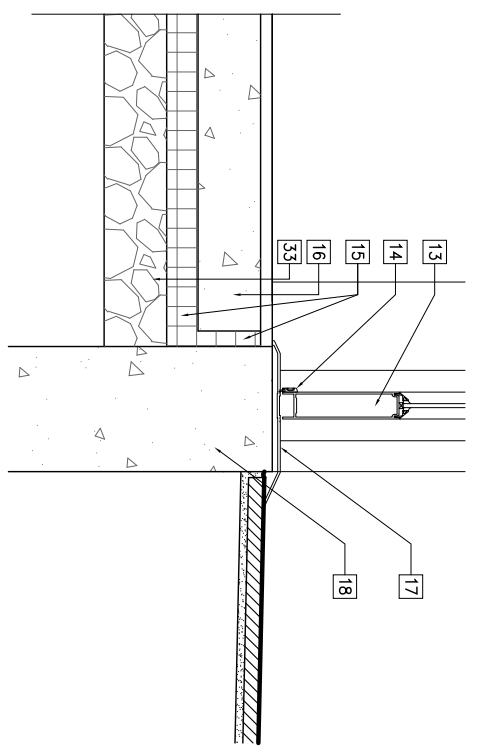
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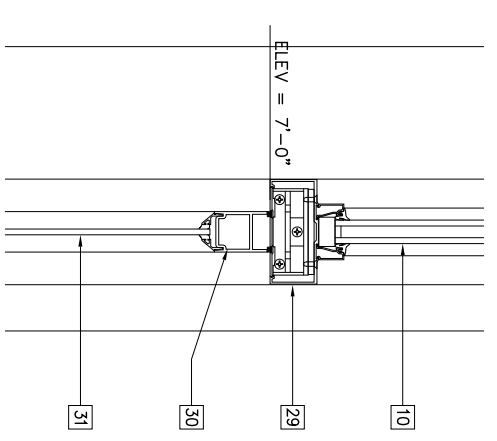




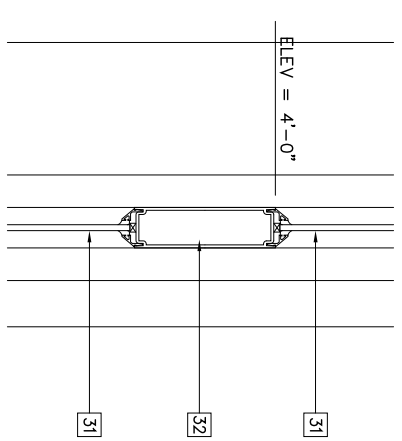
**6** STOREFRONT HEAD DETAIL  
SCALE: 1" = 1'-0"



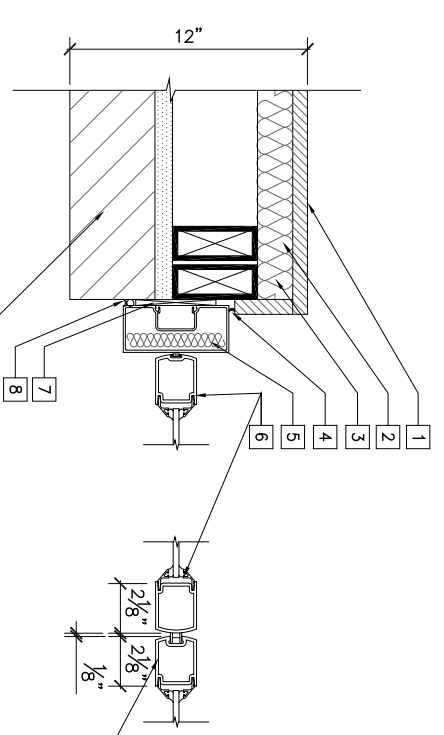
**4** STOREFRONT DOOR SILL DETAIL  
SCALE: 1" = 1'-0"



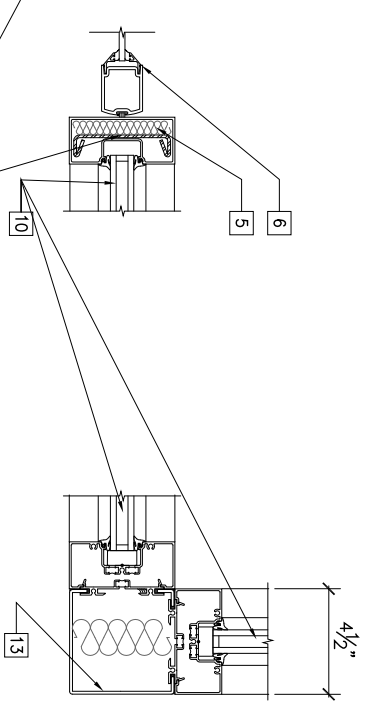
**7** STOREFRONT TRANSOM & DOOR HEAD DETAIL  
SCALE: 1 1/2" = 1'-0"



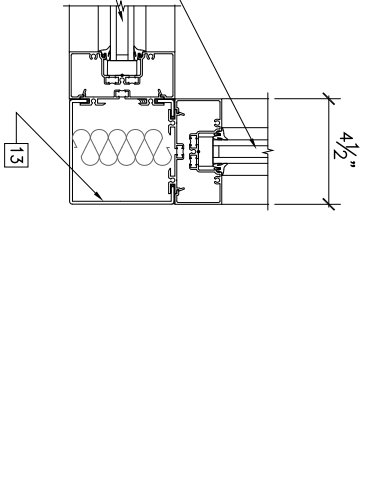
**5** STOREFRONT DOOR HORIZ TUBEDETAIL  
SCALE: 1 1/2" = 1'-0"



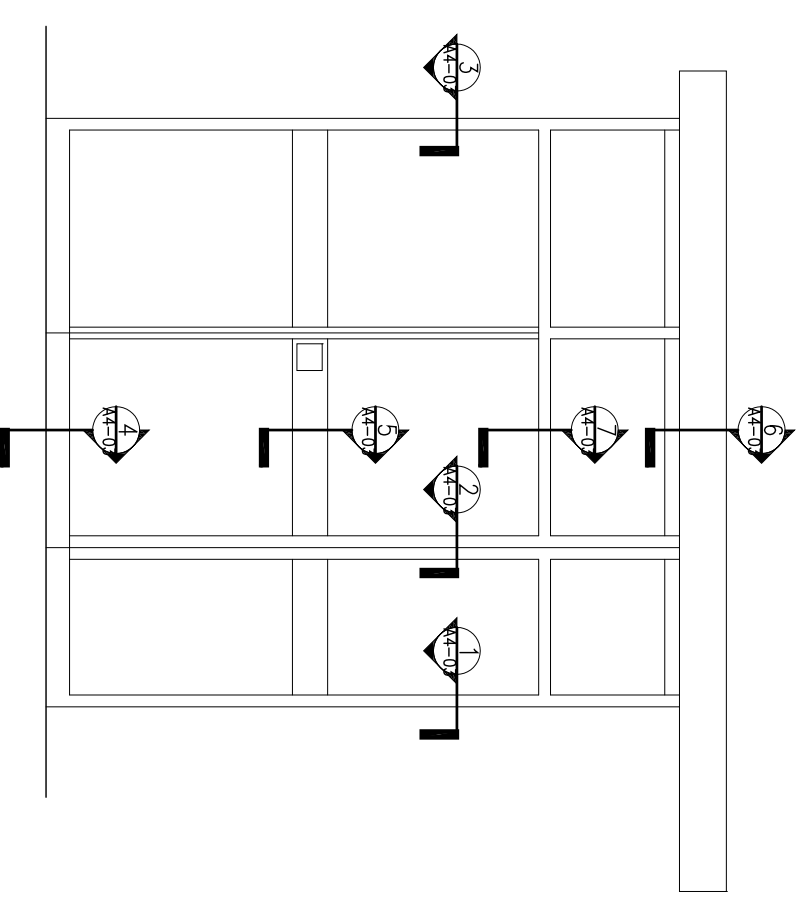
**3** STOREFRONT DOOR JAMB DETAILS  
SCALE: 1 1/2" = 1'-0"



**2** STOREFRONT DOOR / SIDE LIGHT JAMB  
SCALE: 1 1/2" = 1'-0"



**1** STOREFRONT @ OUTSIDE CORNER  
SCALE: 1 1/2" = 1'-0"



**NOTE:**  
ALL STOREFRONT AND DOORS SHALL BE 1" IGU SET-IN A TRIFAB 451 UT (CENTER MOUNTED) ALUM FRAMING SYSTEM FINISHED IN #14 BY KAWNEER OR EQUAL.

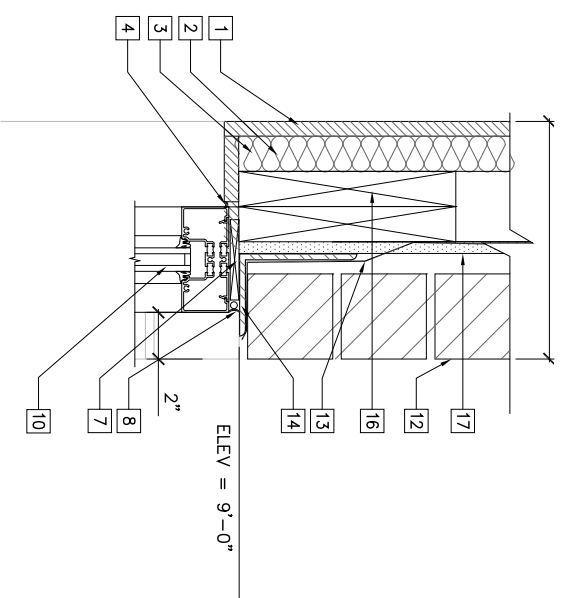
- NOTES**
- 1 5/8" TYPE
  - 2 1/2" GYP BD
  - 3 1 1/2" FURRING STUD AT 16" OC
  - 4 INSULATION AS REQUIRED
  - 5 SEALANT-TYP
  - 6 FILL W/ INSUL AS REQUIRED
  - 7 STOREFRONT DOOR
  - 8 WD BLOCKING
  - 9 BACKER ROD AND SEALANT
  - 10 EXPOSED SMOOTH CONCRETE
  - 11 W/CHAMFERED EDGES INSULATED GLASS AS REQUIRED
  - 12 STEEL REINFORCING AS REQUIRED
  - 13 MEETING STILES
  - 14 7-1/2" BOTTOM RAIL
  - 15 BOTTOM DOOR SWEEP
  - 16 PERIMETER INSUL 24" WIDE
  - 17 4" CONC WITH 6X6-W/1.4XW/1.4 W/F OVER 6 MIL POLYETH. V.B. OVER 4" COMPACTED GRAVEL
  - 18 1/2" HIGH ALUMRESHOLD
  - 19 REINF CONTINUOUS CONC FOOTING
  - 20 2 LAYERS 1/2" TYPE "X" GYP BD
  - 21 REFER TO STRUCTURAL DRAWINGS FOR CONC SLAB
  - 22 ROOF INSUL - MIN 1" THICK AT LOW POINT
  - 23 FULLY ADHERED SINGLE PLY ROOF MEMBRANE LAP OR IN-LINE SEALANT
  - 24 PRE MOLDED PIPE SEAL
  - 25 SS CLAMPING RING
  - 26 TRANSOM HEAD
  - 27 REFER TO C-X DWG FOR CANOPY DETAILS
  - 28 NOT USED
  - 29 TRANSOM BAR (1" INFILL)
  - 30 DOOR TOP RAIL
  - 31 INSULATED GLASS
  - 32 6" ALUM HORIZONTAL TUBE
  - 33 CRUSHED STONE
  - 34 OVERSIZED BRICK VENEER W/GALV TIES AT 16" O.C. EA. WAY

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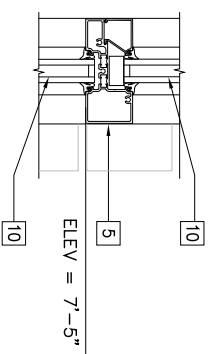
**HAZELWOOD PLAZA**  
62 RESIDENTIAL UNITS  
222-312 NE 102ND. AVE. - PORTLAND OR

N.T.S.  
LOBBY STOREFRONT DETAILS  
01-15-15

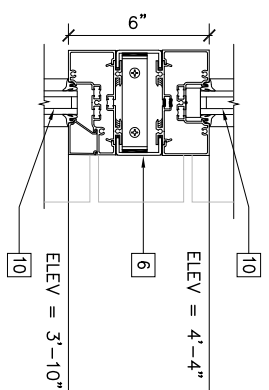
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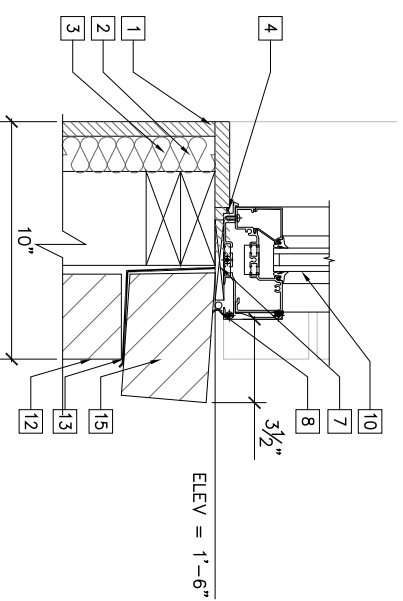
**5**  
4-0  
STOREFRONT  
HEAD DETAIL  
SCALE: 1 1/2" = 1'-0"



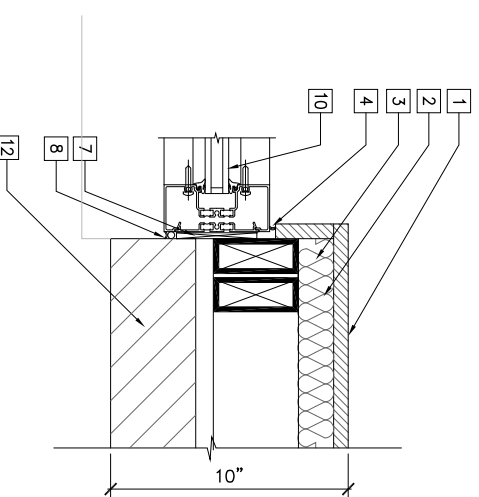
**6**  
4-0  
STOREFRONT TRANSOM  
DETAIL  
SCALE: 1 1/2" = 1'-0"



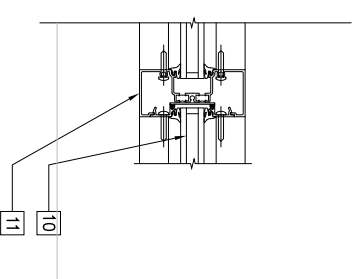
**4**  
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STOREFRONT  
TRANSOM BAR  
SCALE: 1 1/2" = 1'-0"



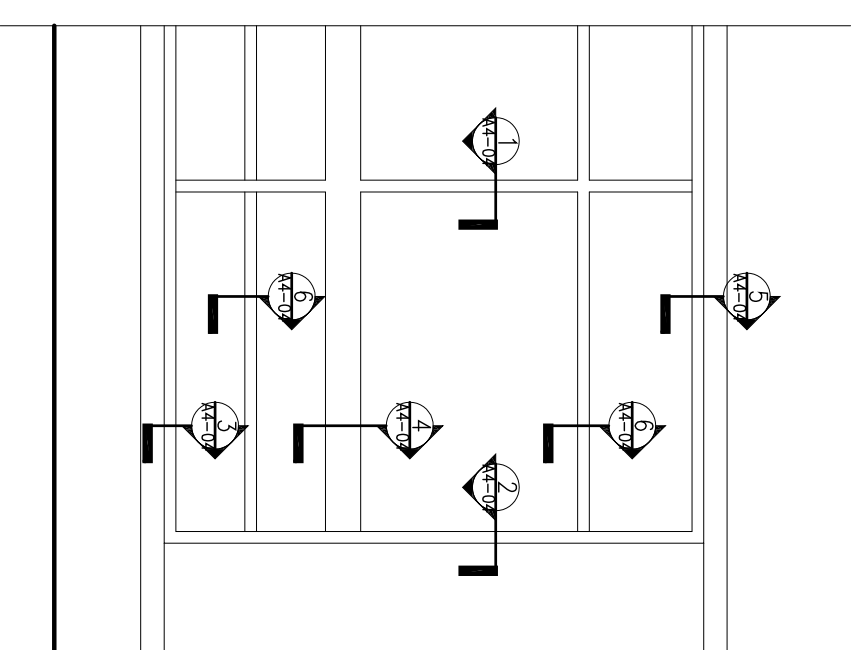
**3**  
4-0  
STOREFRONT  
SILL DETAIL  
SCALE: 1 1/2" = 1'-0"



**2**  
4-0  
STOREFRONT  
JAMB DETAIL  
SCALE: 1 1/2" = 1'-0"



**1**  
4-0  
STOREFRONT  
MULLION DETAIL  
SCALE: 1 1/2" = 1'-0"



NOTE:  
ALL STOREFRONT AND DOORS SHALL BE 1" IGU SET-IN A TRIFAB 451 UT (CENTER MOUNTED) ALUM FRAMING SYSTEM FINISHED IN #14 BY KAWNEER OR EQUAL.

- NOTES
- 1 5/8" TYPE BD
  - 2 1 1/2" FURRING STUD AT 16" OC
  - 3 INSULATION AS REQUIRED
  - 4 SEALANT-TYP
  - 5 ALUM TRANSOM
  - 6 TRANSOM BAR (1" INFILL)
  - 7 WD BLOCKING
  - 8 BACKER ROD AND SEALANT
  - 9 EXPOSED SMOOTH CONCRETE W/CHAMFERED EDGES
  - 10 INSULATED GLASS
  - 11 ALUM MULLION

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**62 RESIDENTIAL UNITS**

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1 1/2" = 1'-0"

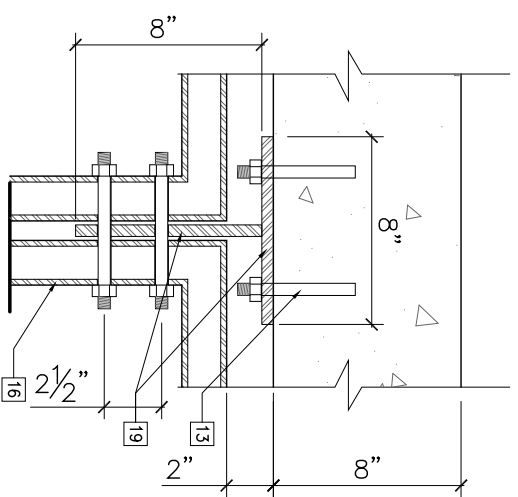
**SHOP  
STOREFRONT  
DETAILS**

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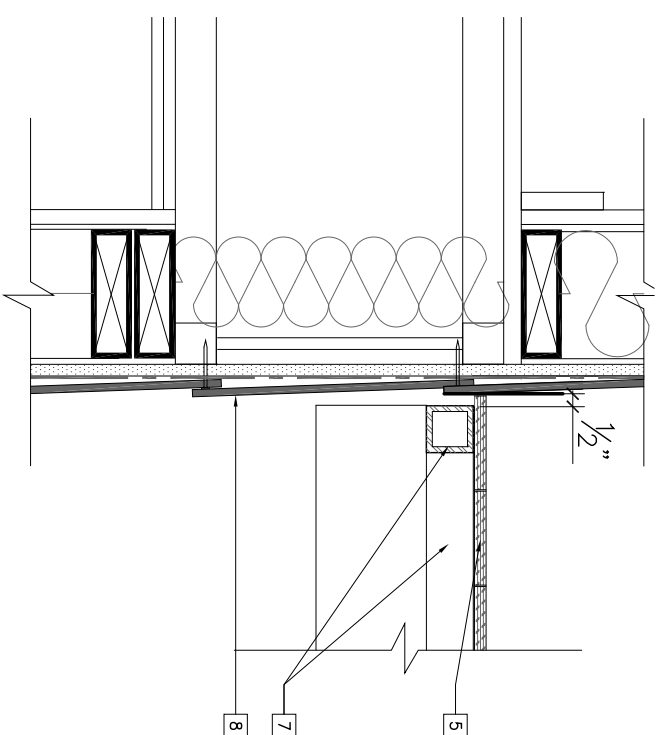
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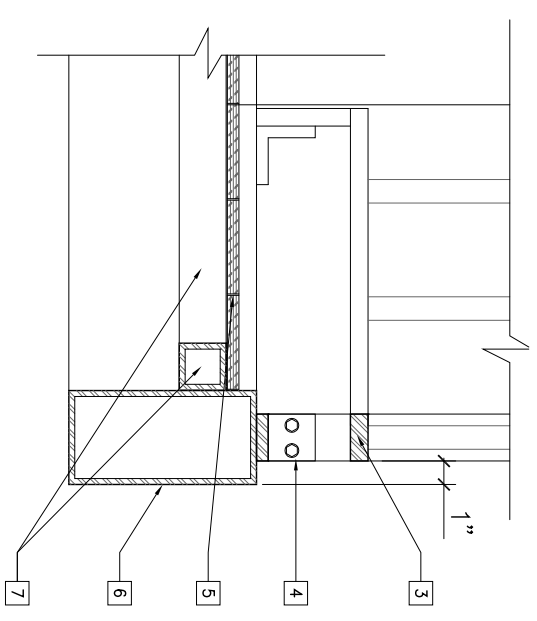




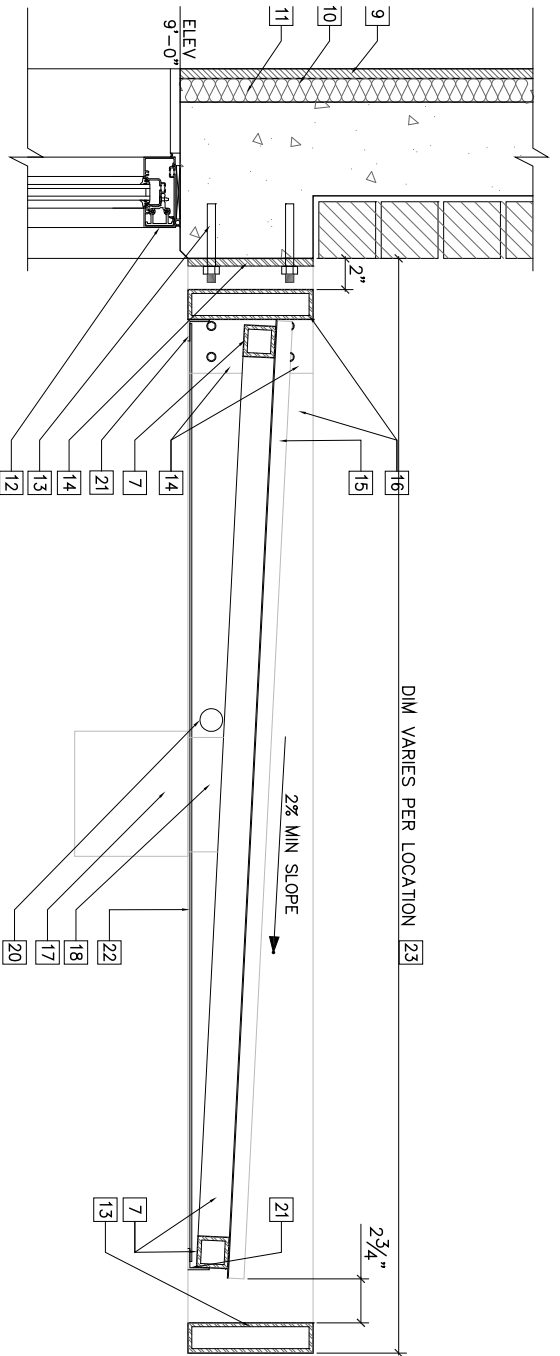
**5** METAL CANOPY ANCHOR DETAIL PLAN  
SCALE: 1 1/2" = 1'-0"



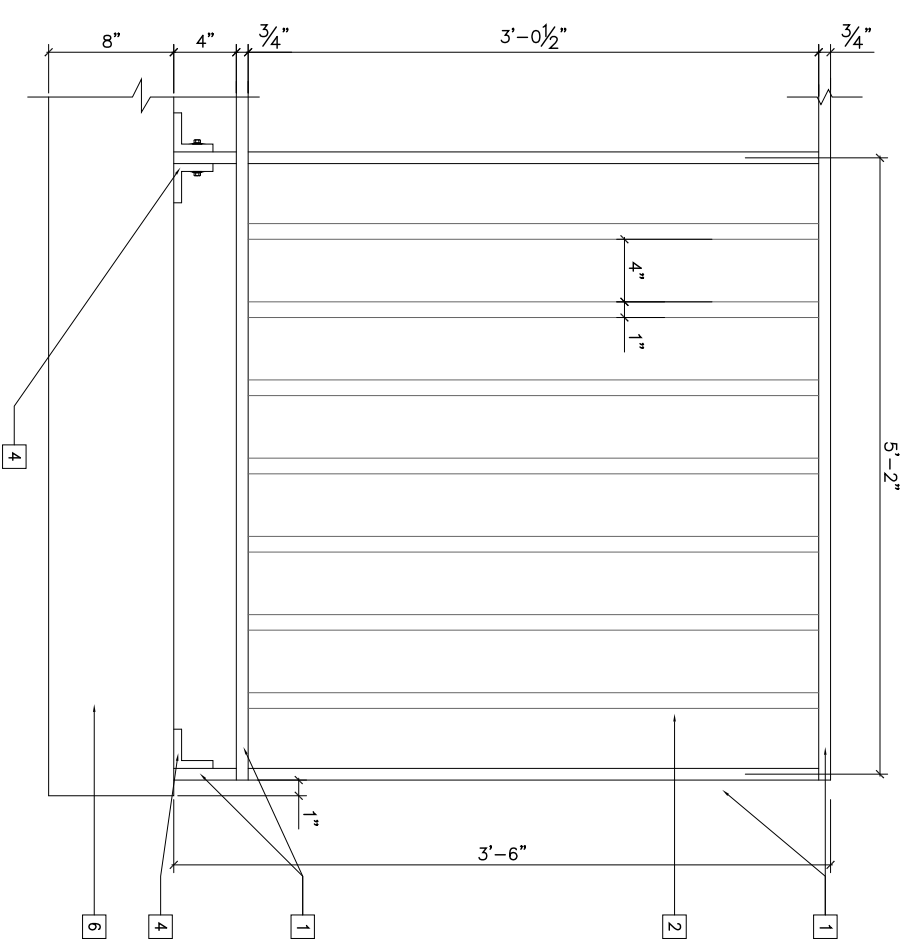
**4** BALCONY @ EXTERIOR WALL  
SCALE: 1 1/2" = 1'-0"



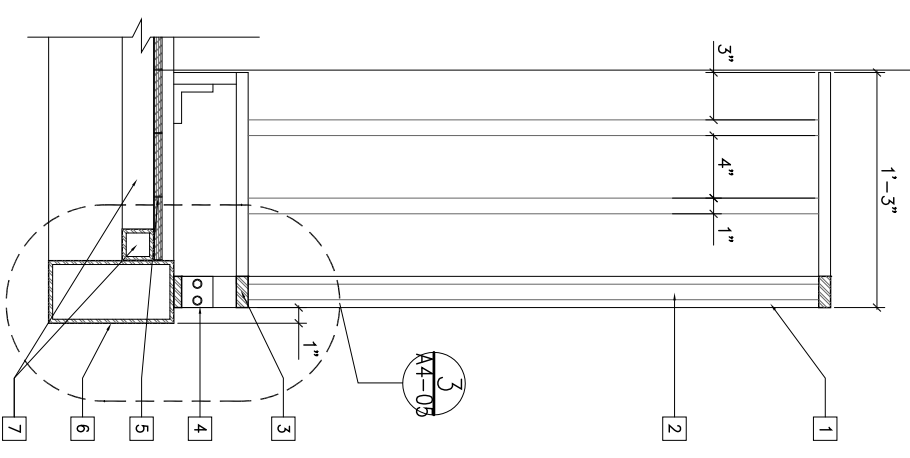
**3** METAL RAILING & STRUCTURE @ BALCONY  
SCALE: 1 1/2" = 1'-0"



**2** METAL CANOPY @ LOBBY - SECTION (TYP)  
SCALE: 1" = 1'-0"



**1** METAL RAILING - ELEVATION & SECTION  
SCALE: 1" = 1'-0"



- NOTES**
- 1 RAILING POST, 3/4" X 2" PAINTED STEEL PLATE
  - 2 2" X 2" PAINTED STEEL PICKET
  - 3 HORIZONTAL 3/4" X 2" PAINTED STEEL PLATE
  - 4 2" X 2" X 1/2" "L" SHAPE PAINTED STEEL ANCHORE WELDED TO BEAM, BOLTED TO RAIL POST
  - 5 BALCONY WOOD FLOOR 3/4" X 4" IPE SLAT.
  - 6 4" X 8" X 1/2" PAINTED STEEL TUBE RAILING BEAM
  - 7 2" X 2" X 1/2" "L" PAINTED STEEL TUBE FLOOR/METAL ROOF SUPPORT FRAME
  - 8 EXTERIOR WALL CEMENT BOARD LAP SIDING
  - 9 5/8" TYPE "X" GYP BD
  - 10 1 1/2" FURRING STUD AT 16" OC
  - 11 INSULATION AS REQUIRED
  - 12 STOREFRONT
  - 13 M14, 1/2" CHEMICAL BOLT
  - 14 1/2" STEEL ANCHOR PLATES
  - 15 CORRUGATED METAL PANEL ROOF
  - 16 2" X 8" X 1/2" PAINTED STEEL TUBE
  - 17 HINKLEY "LUNA" CANOPY LIGHT FIXTURE
  - 18 CANOPY LIGHT FIXTURE ANCHOR
  - 19 1/2" STEEL "T" 8" X 8" ANCHOR PLATES
  - 20 ELECTRICAL CONDUIT
  - 21 1 1/2" X 1 1/2" X 1/8" "L" SHAPE PAINTED STEEL FRAME WELDED TO BEAM, PAINTED METAL CLG. SUPPORT
  - 22 PAINTED METAL PANEL CEILING
  - 23 MAIN ENTRANCE ON PLAZA: 6'-0" STOREFRONT ON 102ND AVE.: 4'-0" RETAIL ENTRANCE: 6'-0"

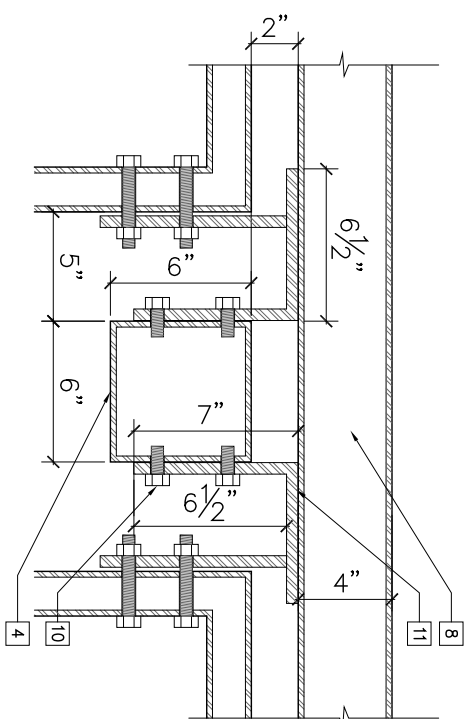
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BAMA ARCHITECTURE AND DESIGN, LLC

**HAZELWOOD PLAZA**  
62 RESIDENTIAL UNITS  
222-312 NE 102ND. AVE. - PORTLAND OR

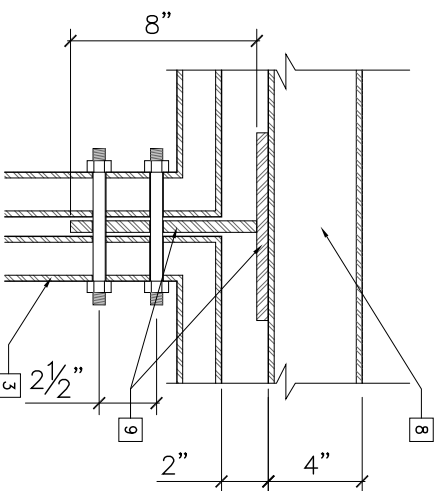
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01-15-15

RAILING &  
LOBBY  
CANOPY  
DETAILS

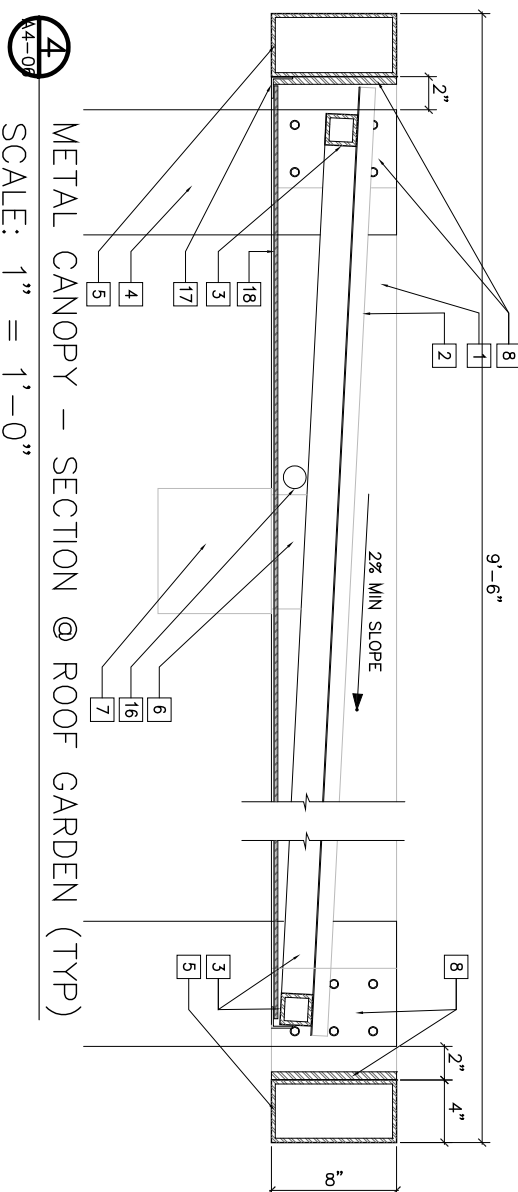
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**05 39**  
LU 14-185350 DZM



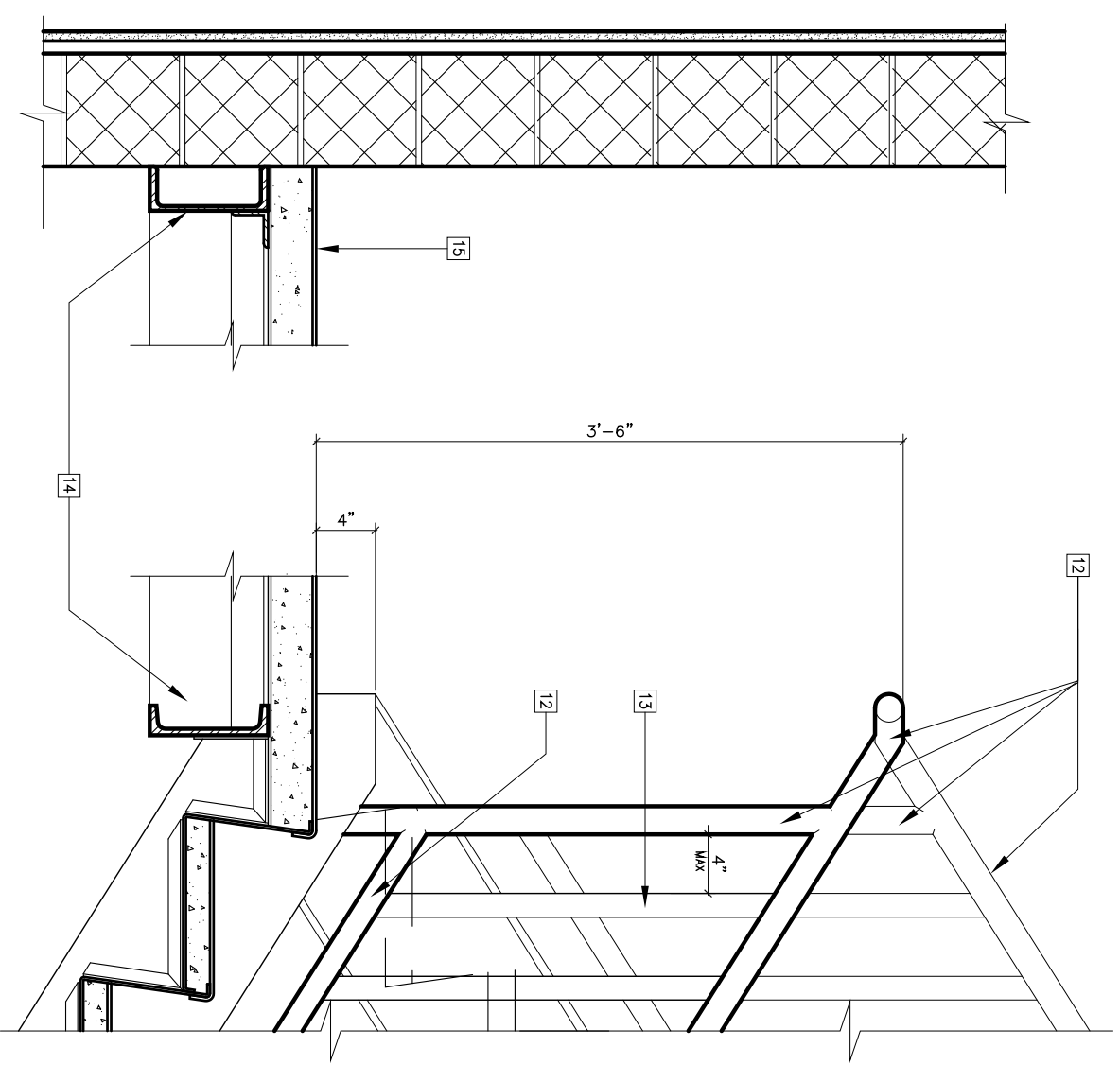
**5** METAL CANOPY ANCHOR  
@ CONG. COLUMN - PLAN DET.  
SCALE: 1' 1/2" = 1'-0"



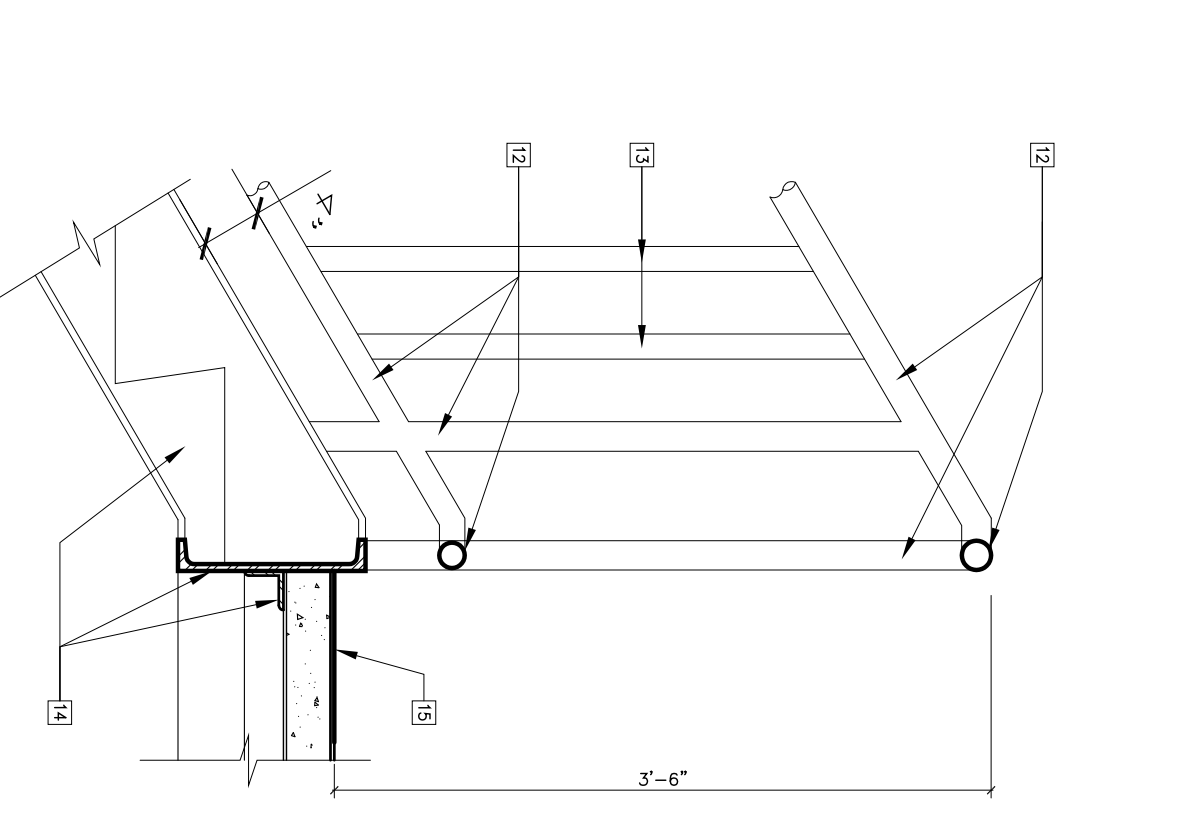
**3** METAL CANOPY PLAN DET.  
SECONDARY STRUCTURE ANCHOR  
SCALE: 1' 1/2" = 1'-0"



**4** METAL CANOPY - SECTION @ ROOF GARDEN (TYP)  
SCALE: 1" = 1'-0"



**2** METAL RAILING - SECTION @ STAIR LANDING  
SCALE: 1" = 1'-0"



**1** METAL RAILING - SEC. @ STAIR UPPER LANDING  
SCALE: 1" = 1'-0"

- NOTES**
- 1 2" X 8" X 1/2" PAINTED STEEL TUBE
  - 2 CORRUGATED METAL PANEL ROOF
  - 3 1" X 1" X 1/2" PAINTED STEEL TUBE METAL ROOF SUPPORT FRAME
  - 4 6" X 6" X 1/4" PAINTED STEEL TUBE COLUMN
  - 5 4" X 8" X 1/4" PAINTED STEEL TUBE
  - 6 CANOPY LIGHT FIXTURE ANCHOR
  - 7 HINKLEY "LUNA" CANOPY LIGHT FIXTURE
  - 8 1/2" STEEL ANCHOR PLATES
  - 9 1/2" STEEL "1" X 8" X 8" ANCHOR PLATES
  - 10 BOLT
  - 11 7" X 7" X 1/2" "1" SHAPE PAINTED STEEL ANCHORE WELDED TO BEAM, BOLTED COLUMN
  - 12 1/4" NOM STEEL PIPE HANDRAIL, POSTE AND BOTTOM RAIL.
  - 13 1" NOM PICKETTS.
  - 14 CHANNELS, STRINGERS CLIPS AND FASTENERS BY STEEL PAN STAIR FABRICATOR.
  - 15 STEEL PAN CONCRETE FILLED LANDINGS AND TREADS BY STAIR FABRICATOR.
  - 16 ELECTRICAL CONDUIT.
  - 17 1 1/2" X 1 1/2" X 1/2" "1" SHAPE PAINTED STEEL FRAME WELDED TO BEAM, WOOD CLG. SUPPORT
  - 18 1/2" X 4" IPE SLAT CLIG. TO MATCH WOOD FENCE

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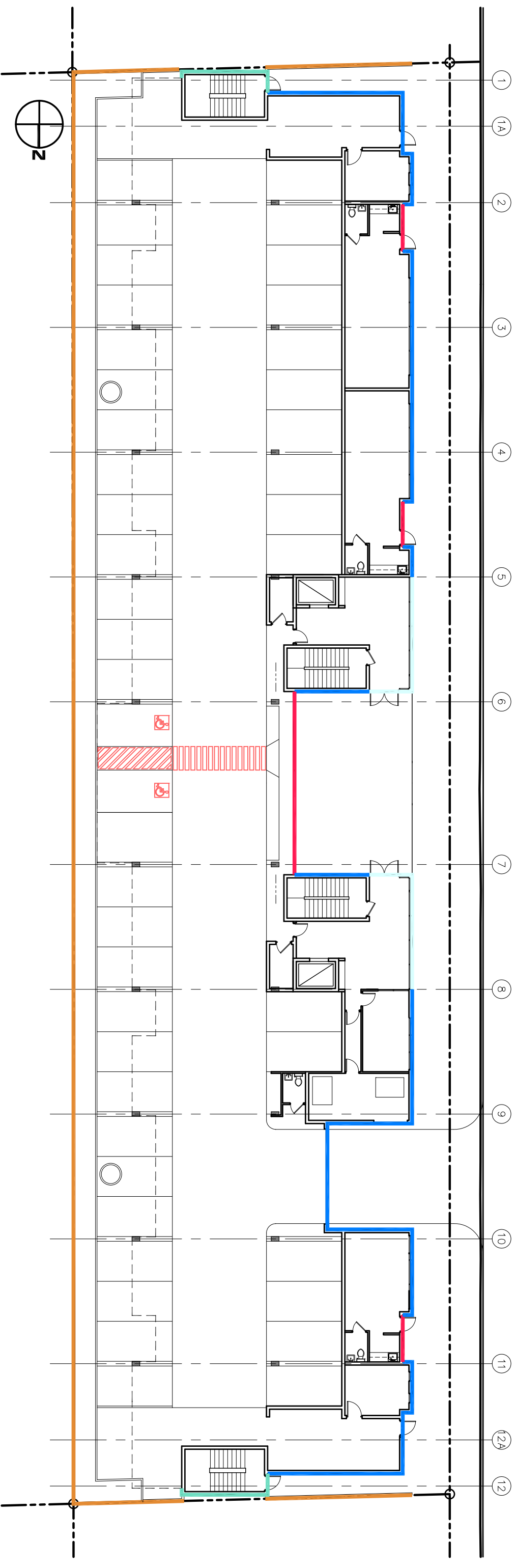
**N.T.S.**  
**RAILING & CANOPY DETAILS**

**A4 C**  
**06 40**






01-15-15

LU 14-185350 DZM





**1** FIRST FL MATERIALS LEGEND  
SCALE: N.T.S.

MATERIAL LEGEND	
	METAL CLADING CENTRIA IW SERIES OR SIMILAR PROFILE IW-12 COLOR SILVER STM
	BRICK VENEER, HARBOR MIST OR SIM. (BY MUTUAL MATERIALS)
	KAWNEER STOREFRONT 45IUT FINISH #14
	WOOD ACCENT MOUNTED ON CONCRETE WALL OR WOOD FENCE MOUNTED ON SMOOTH CONCRETE PLANTER 1X4 IPE SLAT
	8'-0" HEIGHT SOLID WOOD FENCE MOUNTED ON CONCRETE PLANTER W/CONCRETE COLUMN @ 13'-3" OC 1X4 IPE SLAT. REFER TO DETAIL

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**62 RESIDENTIAL UNITS**

222-312 NE 102ND. AVE. - PORTLAND OR

N.T.S.

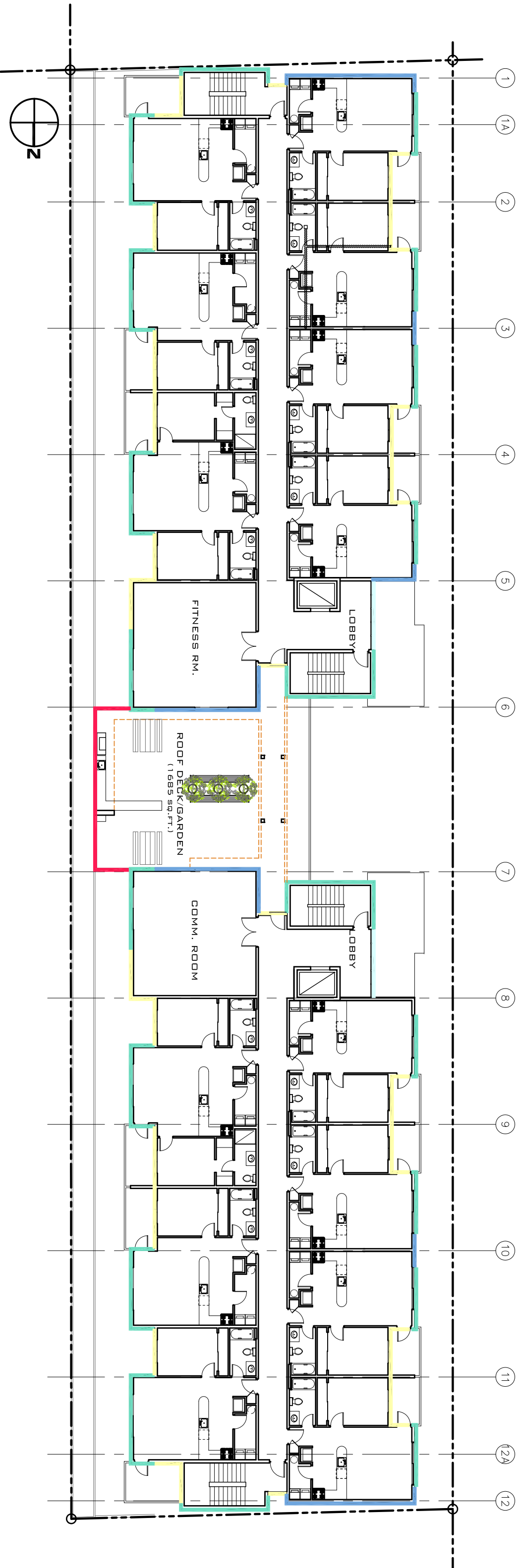
FIRST FL.  
PLAN  
MATERIAL  
LEGEND

01-15-15

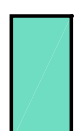
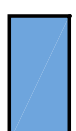
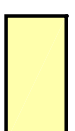
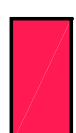
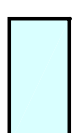
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**01** | **41**

LU 14-185350 DZM



1 SECOND FL MATERIALS LEGEND  
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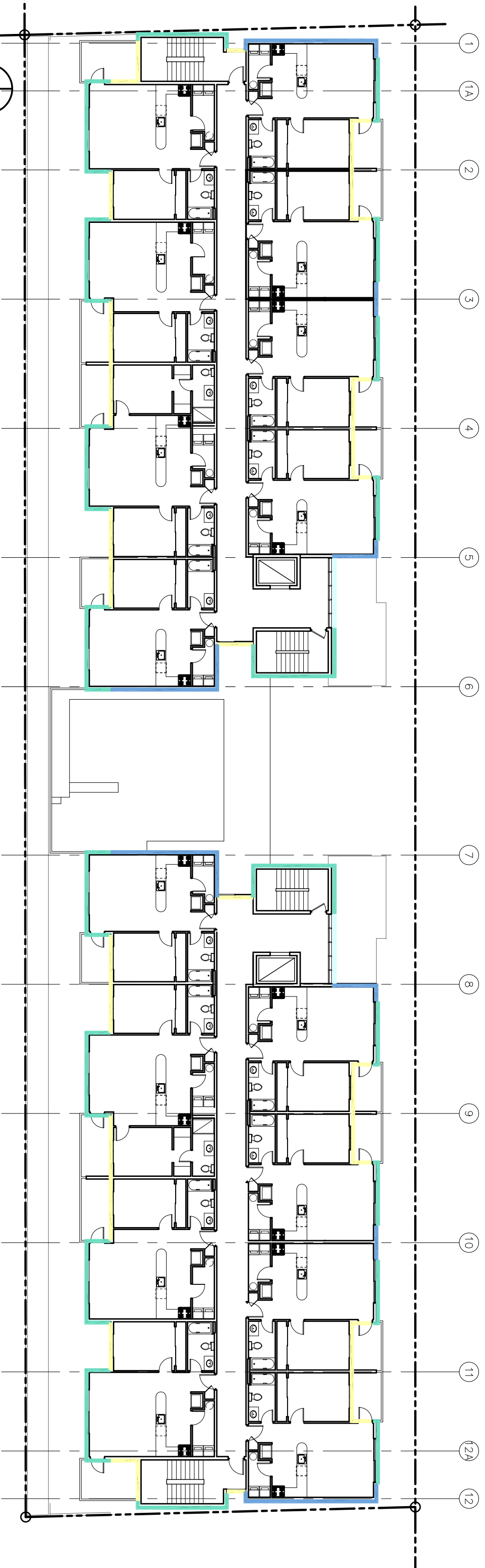
MATERIAL LEGEND	
	METAL CLADDING CENTRIA IW SERIES OR SIMILAR PROFILE IW-12 COLOR SILVER STM
	PREFINISHED CEMENT BOARD, SMOOTH ARTISAN LAP SIDING, JAMESHARDIE OR SIMILAR 1-COLOR COBBLE STONE
	PREFINISHED CEMENT BOARD, SMOOTH ARTISAN LAP SIDING, JAMESHARDIE OR SIMILAR 1B-COLOR HARRIS CREAM
	WOOD ACCENT MOUNTED ON FENCIBLE WALL OR WOOD FENCIBLE MOUNTED ON SMOOTH CONCRETE FINISH
	1X4 TYPICAL SLAT KAWNEER STOREFRONT 451UT FINISH #14

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N.T.S.  
SECOND FL. PLAN MATERIAL LEGEND  
M1 C  
02 42  
LU 14-185350 DZM





11-07  
 1 THIRD-FIFTH FL MATERIAL LEGEND  
 SCALE: N.T.S.

MATERIAL LEGEND	
	METAL CLADDING CENTRIA IW SERIES OR SIMILAR PROFILE IW-12 COLOR SILVER STM
	PREFINISHED CEMENT BOARD SMOOTH ARTISAN LAP SIDING, JAMESHARDIE OR SIMILAR 1-COLOR COBBLE STONE
	PREFINISHED CEMENT BOARD SMOOTH ARTISAN LAP SIDING, JAMESHARDIE OR SIMILAR 1B-COLOR HARRIS CREAM
	WOOD ACCENT MOUNTED ON CONCRETE WALL OR WOOD CONCRETE PATTERN 1X4 IPE SLAT KAWNEER STOREFRONT 4S1UT FINISH #14
	

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N.T.S. THIRD-FIFTH FL. PLAN  
 01-15-15 MATERIAL LEGEND  
 M1 C  
 03 43  
 LU 14-185350 DZM

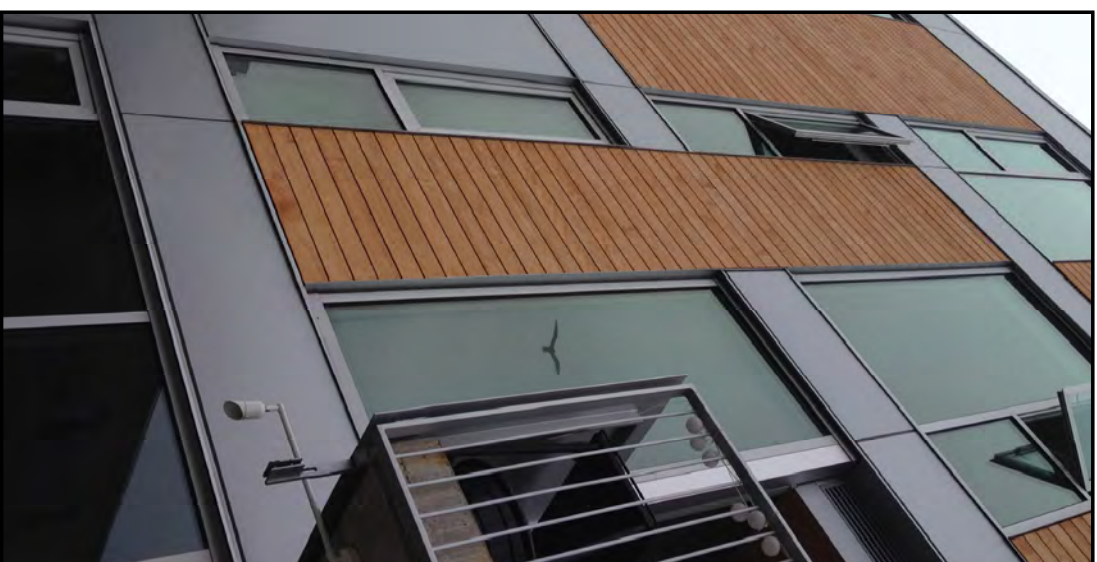
1



2



3



4

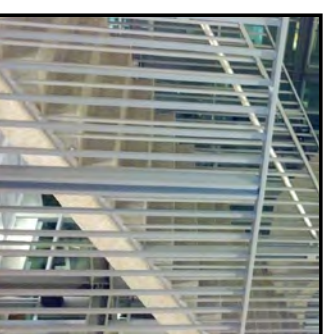


- 1 PREFINISHED CEMENT BOARD SMOOTH ARTISAN LAP SIDING, JAMESHARDIE
- 2 WOOD ACCENT 1X4 IPE SLAT
- 3
- 4 METAL CLADDING CENTRIA IW SERIES OR SIMILAR PROFILE IW-12 COLOR SILVER STM
- 5 PAINTED STEEL RAILING WITH 3/4" X 3/4" PICKET INFILL REFER TO C-X FOR DETAIL
- 6 PAINTED METAL CANOPY WITH WOOD CEILING REFER TO C-32 FOR DETAIL
- 7 EXPOSED SMOOTH CONCRETE W/CHAMFERED EDGES
- 8 BRICK VENEER, HARBOR MIST OR SIM (BY MUTUAL MATERIALS)

1



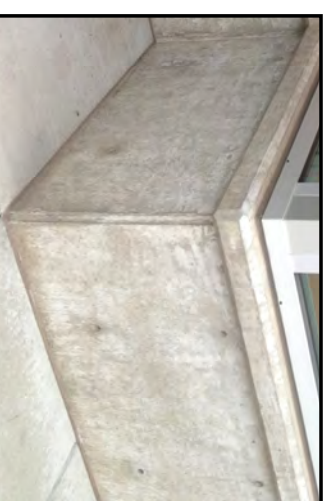
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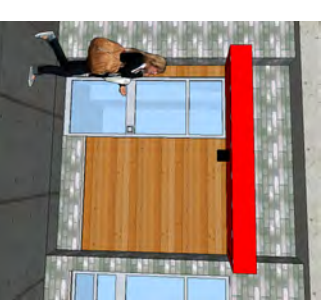
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7



8



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# HAZELWOOD PLAZA

## 62 RESIDENTIAL UNITS

222-312 NE 102ND. AVE. - PORTLAND OR

N.T.S.

MATERIALS  
PHOTOS

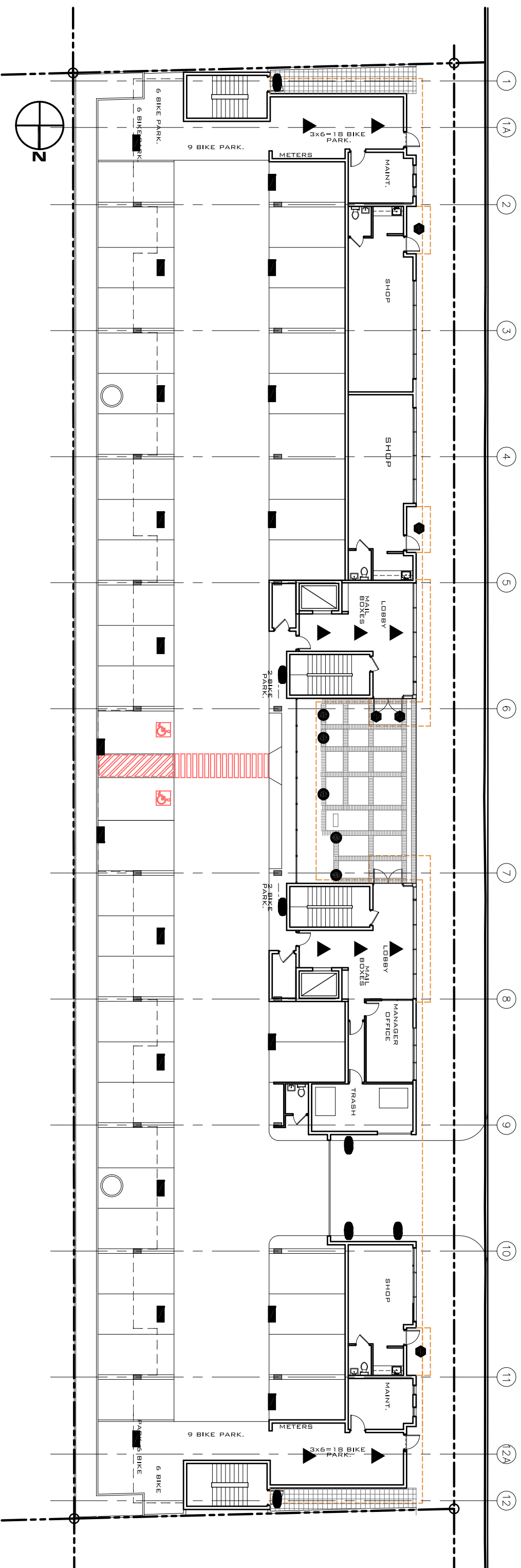
01-15-15

M1 C

04 44

LU 14-185350 DZM





**2** FIRST FL MATERIALS LEGEND  
 SCALE: N.T.S.

LIGHTING LEGEND	
	HINKLEY "SATURN" POLE LIGHT - 9' TALL
	HINKLEY "LUNA" CANOPY LIGHT FIXTURE
	ATLAS WLD18 WALL LIGHT FIXTURE
	ATLAS WLG11 WALL LIGHT FIXTURE
	LITHONIA LB FLUORESCENT LIGHT FIXTURE
NOTE: REFER TO EXHIBITS FOR LIGHT FIXTURES CUT SHEETS	

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**HAZELWOOD PLAZA**  
**62 RESIDENTIAL UNITS**

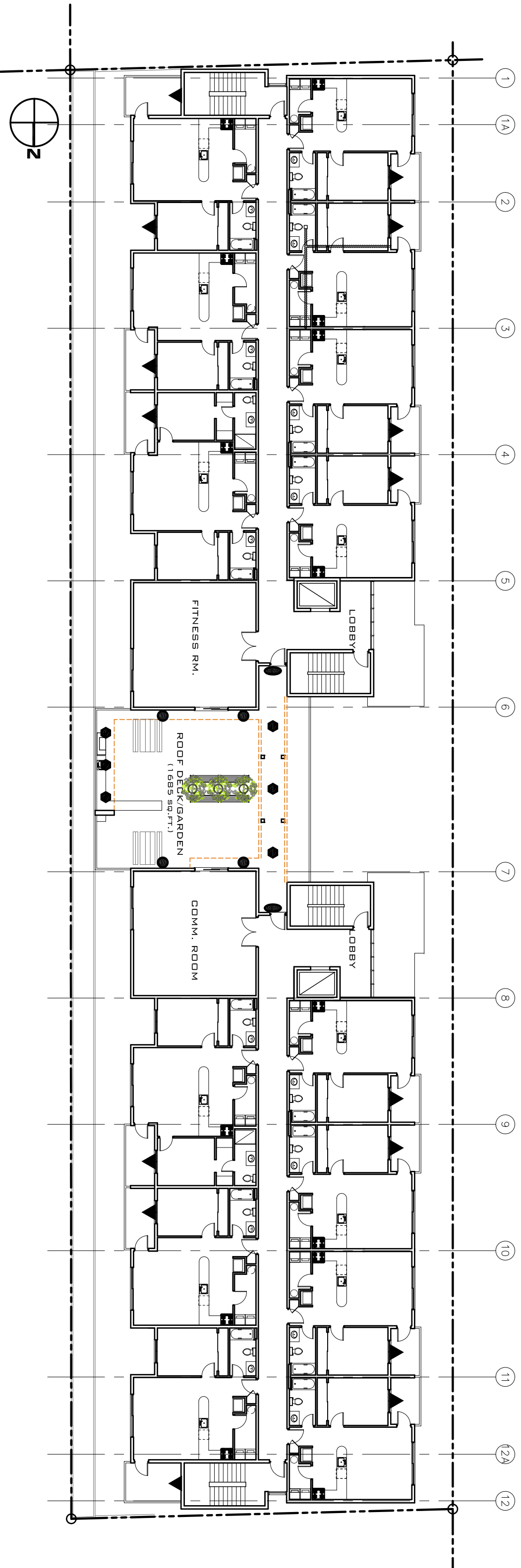
N.T.S.  
 01-15-15

FIRST FL.  
 LIGHTING  
 PLAN

**LG C**  
**01 45**  
 LU 14-185350 DZM

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 BAMA ARCHITECTURE AND DESIGN, LLC

222-312 NE 102ND. AVE. - PORTLAND OR



1 SECOND FL MATERIALS LEGEND  
 SCALE: N.T.S.

LIGHTING LEGEND	
	LIGHT FIXTURE: HINKLEY "SATURN"
	12" HEIGHT WALL SCONCE: HINKLEY "LUNA" CANOPY LIGHT FIXTURE
	ATLAS WLG11 WALL LIGHT FIXTURE
	LIGHT FIXTURE: BLACK BRACKET WALL MOUNTED W/ WHITE ACRYLIC GLOBE.
NOTE: REFER TO EXHIBITS FOR LIGHT FIXTURES CUT SHEETS	

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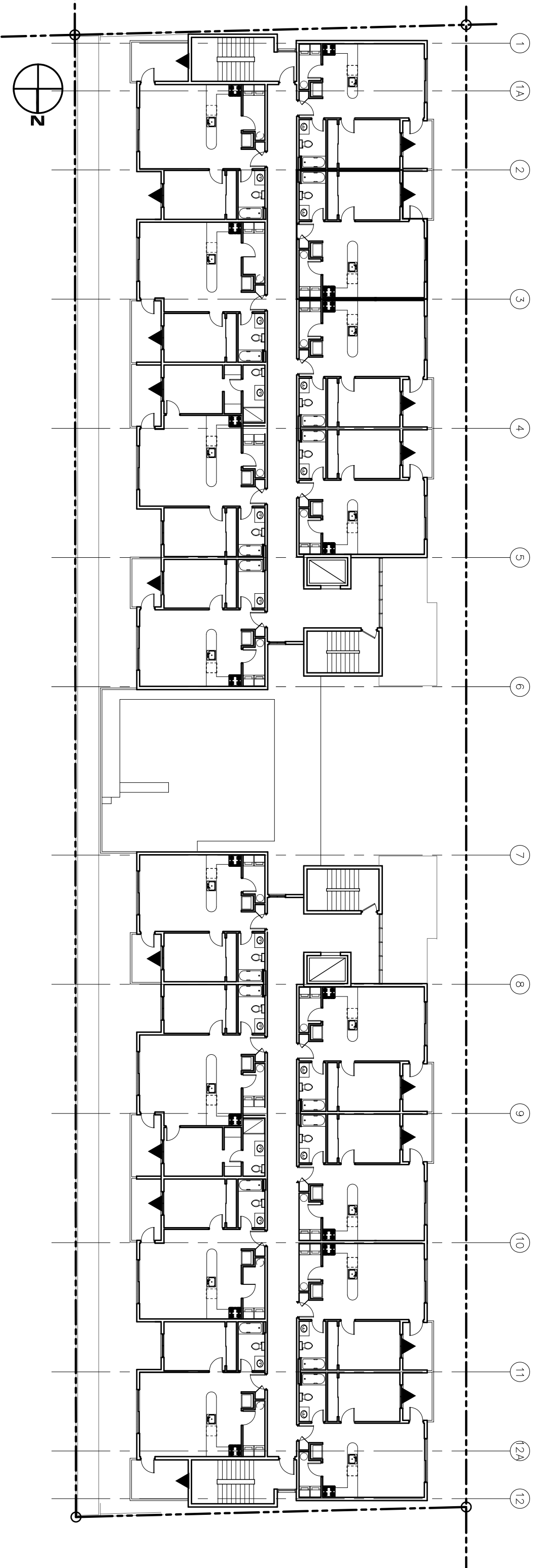
**HAZELWOOD PLAZA**  
 62 RESIDENTIAL UNITS  
 222-312 NE 102ND. AVE. - PORTLAND OR

N.T.S.  
 01-15-15

SECOND FL.  
 LIGHTING  
 PLAN

LG C  
 02 46  
 LU 14-185350 DZM





**1** THIRD-FIFTH FL LIGHTING  
 G-0 SCALE: N.T.S.

LIGHTING LEGEND	
▲	LIGHT FIXTURE: PROGRESS BLACK BRACKET WALL MOUNTED W/ WHITE ACRYLIC GLOBE.
	NOTE: REFER TO EXHIBITS FOR LIGHT FIXTURES CUT SHEETS

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**HAZELWOOD PLAZA**  
**62 RESIDENTIAL UNITS**

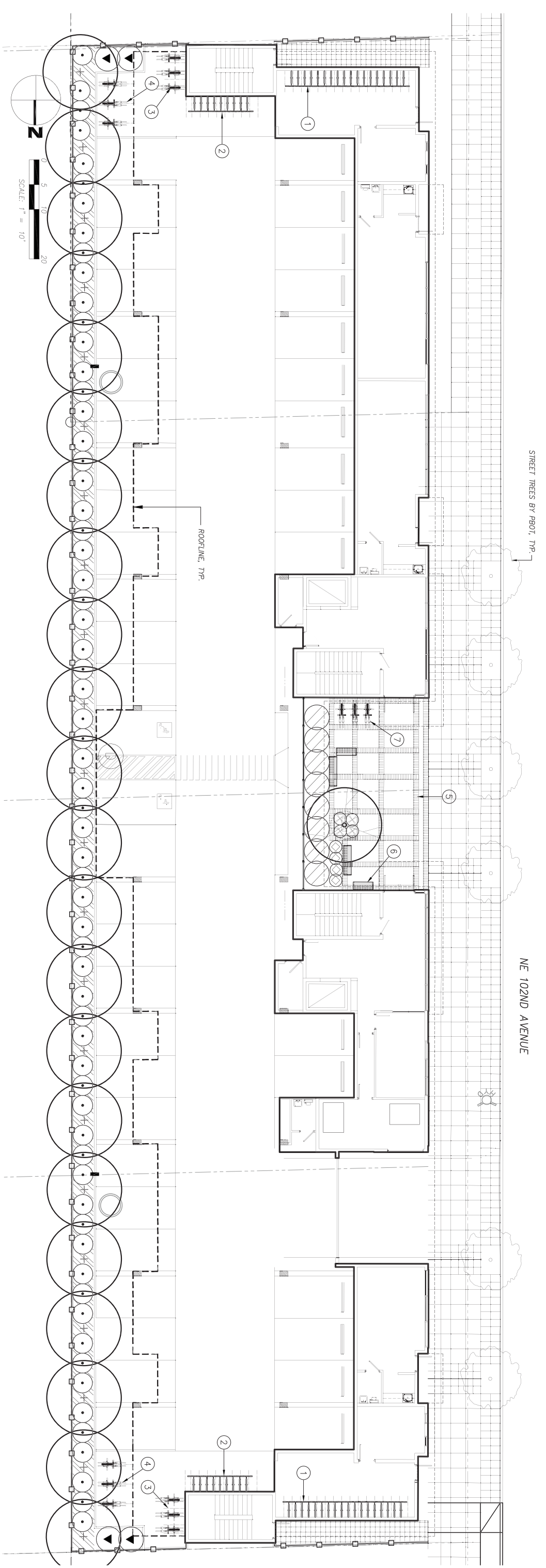
222-312 NE 102ND. AVE. - PORTLAND OR

N.T.S. THIRD-FIFTH  
 LIGHTING FL. PLAN  
**LG 03** **CG 47**

01-15-15 LU 14-185350 DZM







STREET TREES BY PROJ. TRP.

NE 102ND AVENUE

PLANT SCHEDULE

TREES	1	L2	L2	2
22 Acer dasycarpus - Dwarf Maple				
1.5" GAL BAR, WELL BRANCHED UNBDED 10 6"				
1 Acer palmatum 'Nagasaki' - Japanese Maple				
1" GAL BAR, WELL BRANCHED				
SHRUBS	3	5	L2	L2
64 Viburnum tinus 'Compositum' - Spring Bouquet Laurustinus				
5 GAL CONT., FULL PLANTS, SPACING 4' O.C.				
4 Buxus sempervirens - English Boxwood				
5 GAL CONT., FULL PLANTS, SPACING AS SHOWN				
4 Hemerocallis 'Spooky Fingers' - Evergreen Daylily				
1 GAL CONT., FULL PLANTS, SPACING AS SHOWN				
4 Berberis thunbergii 'Comson. Purity'				
1 GAL CONT., FULL PLANTS, SPACING AS SHOWN				
8 Aucuba japonica 'M. Goldstrike' - Goldstrike Aucuba				
1 GAL CONT., FULL PLANTS, SPACING AS SHOWN				

GROUNDCOVER	4	L2	5	L2
476 Juncaus Patens 'Eik Blue' - California Gray Rush				
1 GAL CONT., FULL PLANTS, 12 O.C.				

MSC. 6' HIGH WOOD FENCE

CODE COMPLIANCE NOTES

SECTION 33.266 PARKING AND LOADING REQUIRES L2 SCREENING FOR PARKING LOT ABUTTING CM ZONING.  
 -REQUIRES 5' WIDE LANDSCAPE STRIP WITH 3' TALL EVERGREEN SCREEN.  
 -REQUIRES OCCIDENTALIS 'DEGRORTS SPIRE' PROVIDED  
 -REQUIRES LARGE/ 30 LF, 1 MEDIUM/ 22 LF OR 1 SMALL TREE/ 15 LF  
 340 LINEAR FEET = 22 SMALL TREES REQUIRED, 22 ACER DAVIDII PROVIDED  
 SECTION 33.130.225 MIN. LANDSCAPING = NONE FOR CM ZONE

GENERAL PLANTING NOTES

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT CITY OF PORTLAND STANDARDS AND THE OREGON UNIFORM BUILDING CODES.
- INSTALL EROSION CONTROL SYSTEMS IN ACCORDANCE WITH CITY OF PORTLAND STANDARDS PRIOR TO SITE WORK AND LANDSCAPE INSTALLATION.
- MARK AND PROTECT ALL UTILITIES, SITE FEATURES, AND VEGETATION TO REMAIN IN PLACE.
- REMOVE EXISTING PLANTING BED SOILS AND REPLACE AND/OR AMEND SOILS IN BEDS IN ACCORDANCE WITH LANDSCAPE PLANS AND SPECIFICATIONS.
- LANDSCAPE INSTALLATION SHALL INCLUDE PROVISION OF AN AUTOMATIC IRRIGATION SYSTEM DESIGNED TO COMPLIMENT A LANDSCAPE PLANTING SYSTEM FOR BEDS IN THE PLANS MEETING LOCAL AND STATE BUILDING CODES.
- PLANT MATERIAL INSTALLED SHALL CONFORM IN SIZE AND GRADE TO THE "AMERICAN STANDARD FOR NURSERY STOCK" CURRENT EDITION.
- THE QUANTITIES OF PLANT MATERIALS SHALL BE AS DETERMINED BY THE CONTRACTOR IN ACCORDANCE WITH THE SPECIFIED SPACING OR LOCATION ON THE PLAN. MATERIAL QUANTITIES SHOWN ON PLAN ARE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO INSTALLATION AND SUPPLIES OF SHORTAGES OF PLANT QUANTITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTINGS TO BE ALIVE AND IN SATISFACTORY HEALTH FOR THE DURATION OF THE 1 YEAR WARRANTY PERIOD.

KEY NOTES

- WALL MOUNTED SPACE SAVER BIKE RACK - 18 BIKE CAPACITY
- WALL MOUNTED SPACE SAVER BIKE RACK - 9 BIKE CAPACITY
- LOOP STYLE BIKE RACKS - 6 BIKE CAPACITY
- LOOP STYLE BIKE RACKS - 6 BIKE CAPACITY
- CONCRETE PAVING WITH BRICK BANDING (BRICK TO MATCH BUILDING FACADE)
- KEYSTONE RIDGE (OR APPROVED EQUAL) STEEL SLATED BENCH (POWDER COAT BLACK) TRP.
- LOOP STYLE BIKE RACKS - 6 BIKE CAPACITY

DESIGNED:	JPC
DRAWN:	JPC
CHECKED:	JPC
DATE:	11/28/2014

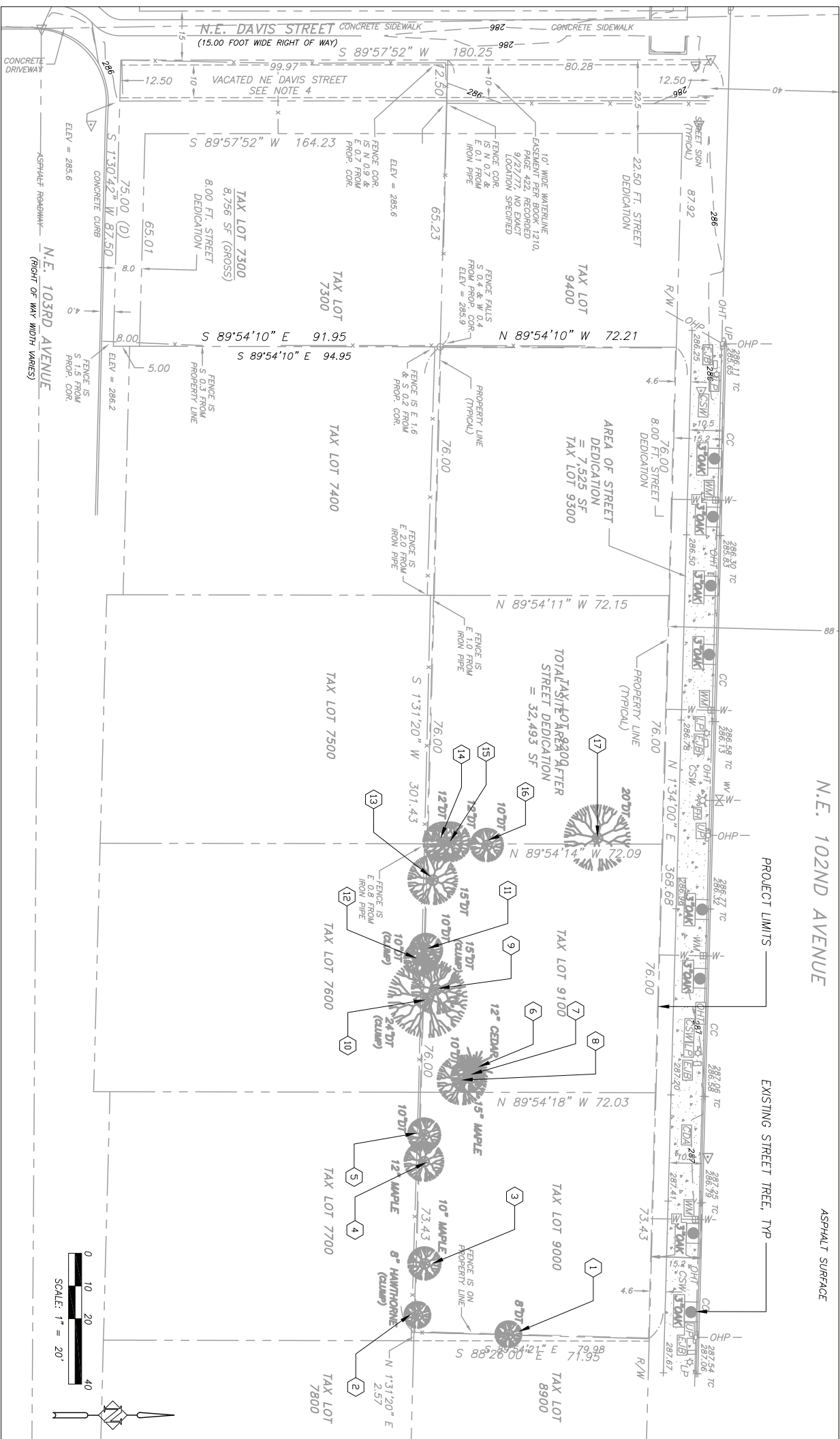


**Harper Houf Peterson Righellis Inc.**  
 ENGINEERS\*PLANNERS  
 LANDSCAPE ARCHITECTS\*SURVEYORS  
 206 SE Spokane Street, Suite 200, Portland, OR 97202  
 phone: 503.221.1131 www.hjpr.com fax: 503.221.1171

LANDSCAPE PLAN  
**HAZELWOOD PLAZA**  
 PORTLAND, OREGON

**FOR REVIEW**

SHEET NO.	1	OF	2
JOB NO.	CTY-01		

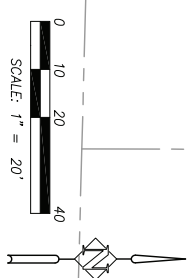


N.E. 102ND AVENUE

ASPHALT SURFACE

EXISTING ON-SITE TREES

NO.	SPECIES NAME	DBH	DESCRIPTION	INSTRUCTIONS
1	Acer saccharinum	8"	HEALTHY	REMOVE
2	Crategeus sp.	8"	HEALTHY	REMOVE
3	Acer platanoides	10"	NUISANCE PLANT	REMOVE
4	Acer platanoides	12"	NUISANCE PLANT	REMOVE
5	Acer platanoides	10"	NUISANCE PLANT	REMOVE
6	Chamaecyparis lawsoniana	12"	MIS-SHAPEN	REMOVE, DANGER OF FALLING
7	Acer platanoides	10"	NUISANCE PLANT	REMOVE
8	Acer platanoides	15"	NUISANCE PLANT	REMOVE
9	Robinia pseudacacia	24"	NUISANCE PLANT	REMOVE
10	Robinia pseudacacia	15"	NUISANCE PLANT	REMOVE
11	Acer platanoides	10"	NUISANCE PLANT	REMOVE
12	Ilex cornuta	10"	HEALTHY	REMOVE
13	Acer platanoides	12"	DISEASED/DAMAGED	REMOVE, DANGER OF FALLING
14	Acer platanoides	12"	NUISANCE PLANT	REMOVE
15	Acer platanoides	12"	DISEASED/DAMAGED	REMOVE
16	Koeleruteria paniculata	10"	DEAD & DAMAGED	REMOVE, DANGER OF FALLING
17	Koeleruteria paniculata	20"	DEAD & DAMAGED	REMOVE, DANGER OF FALLING
TOTAL TO BE REMOVED		210"		
TOTAL NUISANCE TREES		118"		
TOTAL DEAD, DISFIGURED &/OR DAMAGED		66"		
TOTAL		26"		
PROPOSED TREES TO BE PLANTED (SEE L1.0) 23 X 1.5"		34"		



NO.	DESCRIPTION	DATE
DESIGNED:	JPC	
DRAWN:	JPC	
CHECKED:	JPC	
DATE		12/31/2014



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**TREE PLAN**

**HAZELWOOD PLAZA**

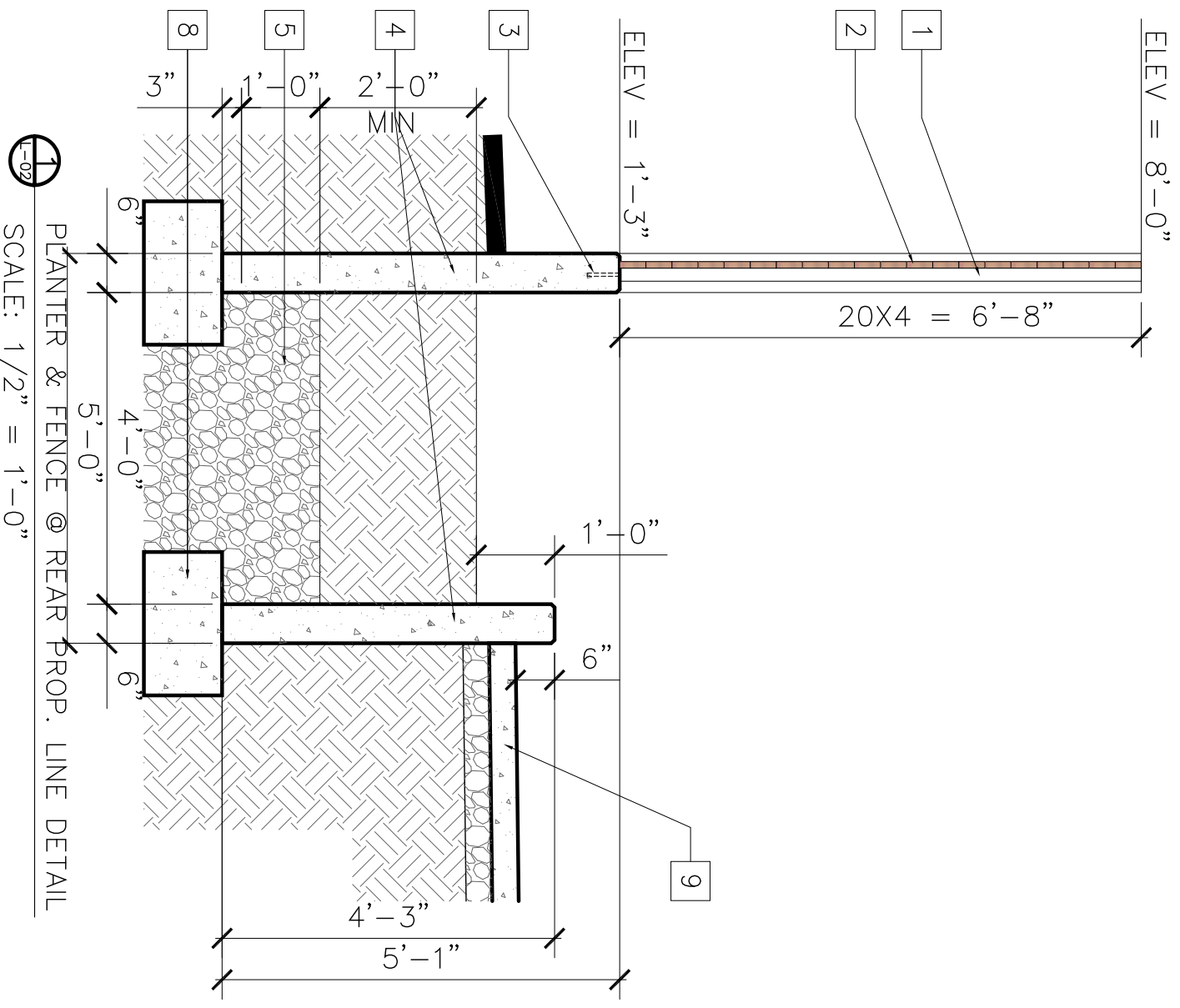
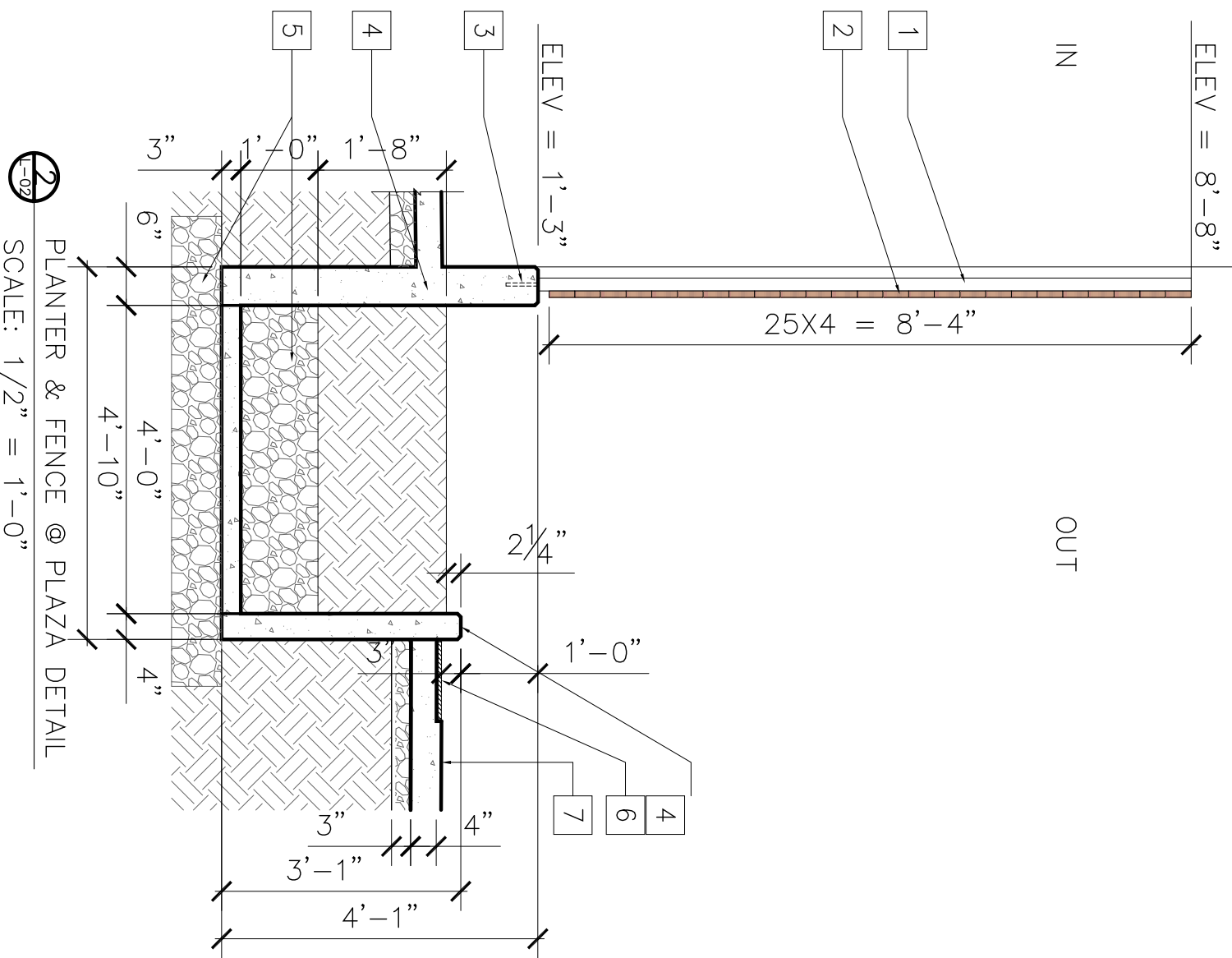
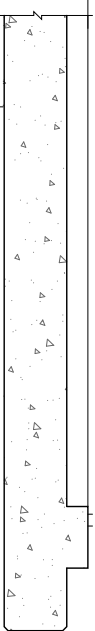
**PORTLAND, OREGON**

**FOR REVIEW**

SHEET NO.  
**L1.1**  
1 OF 1

JOB NO.  
CTY-01





- NOTES**
- 1 3X3 IPE POST
  - 2 1X4 IPE HORIZONTAL SLAT, FLUSH W/ TOP OF POST
  - 3 STEEL FENCE POST BRACKET EMBEDDED IN CONCRETE.
  - 4 CONCRETE PLANTER. REFER TO STRUCTURAL
  - 5 CRUSHED STONE.
  - 6 BLACK BRICK BANDING: 4"X12"
  - 7 CONCRETE PAVING.
  - 8 CONCRETE FOOTING. REFER TO STRUCTURAL
  - 8 PARKING CONCRETE SLAB. REFER TO STRUCTURAL

**2** PLANTER & FENCE @ PLAZA DETAIL  
SCALE: 1/2" = 1'-0"

**1** PLANTER & FENCE @ REAR PROP. LINE DETAIL  
SCALE: 1/2" = 1'-0"

**ALBERTO RINKEVICH**  
A R D E S I G N  
4810 SW LOWELL CT. PORTLAND, OR 97221  
(503) 977-1758 FAX (503) 922-2613

**HAZELWOOD PLAZA**  
**62 RESIDENTIAL UNITS**

PLANTER & FENCE DETAILS  
1 1/2" = 1'-0"

**L C**  
**03 51**  
LU 14-185350 DZM

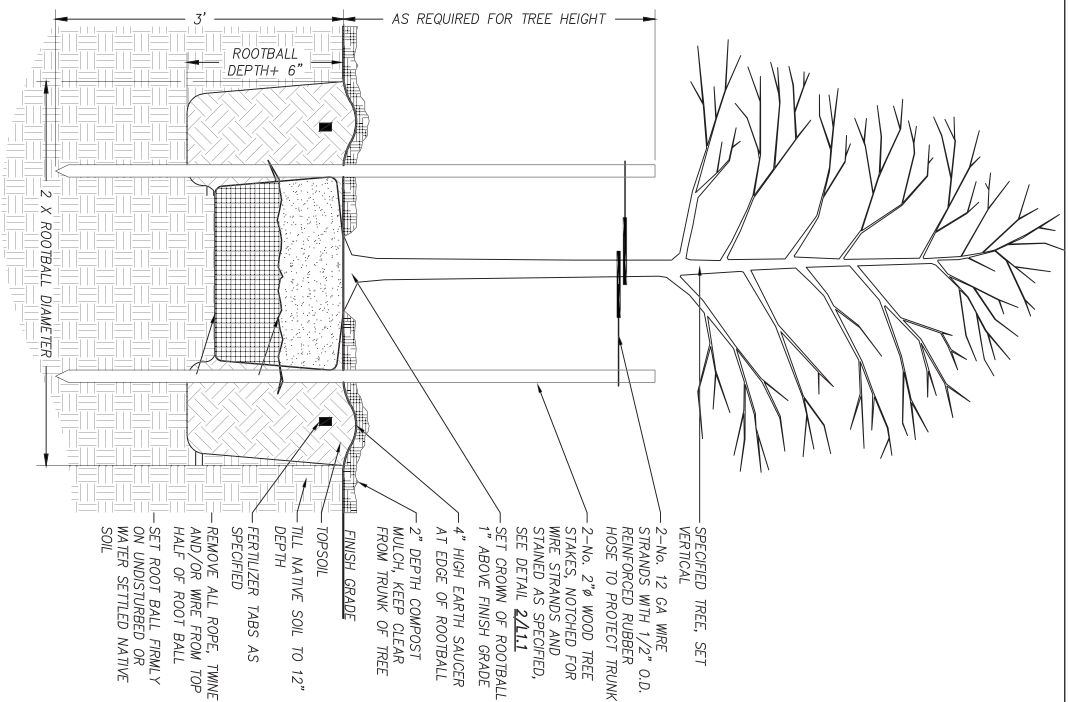
MILDRED WHITE, AIA, NCARB  
BAMA ARCHITECTURE AND DESIGN, LLC

222-312 NE 102ND. AVE. - PORTLAND OR

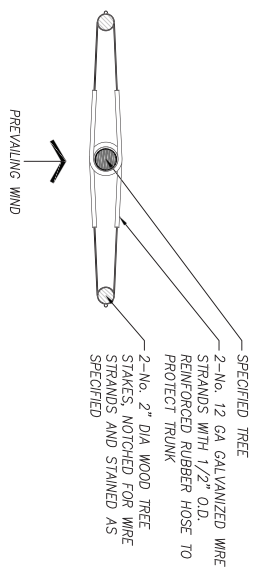
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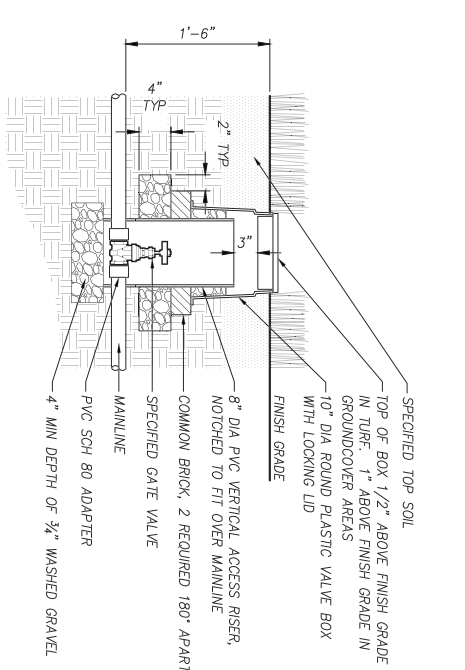
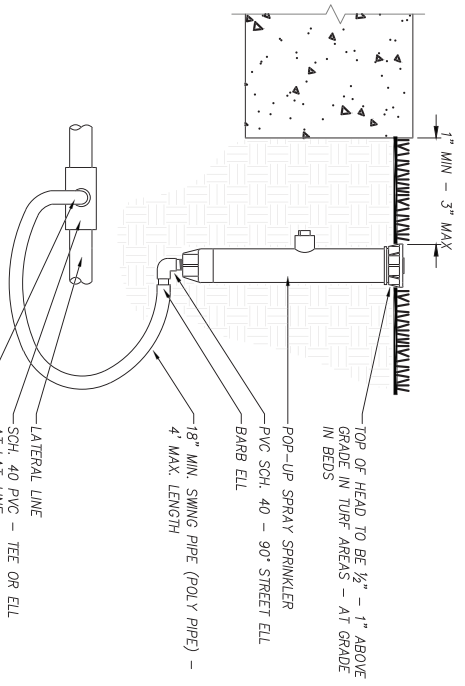
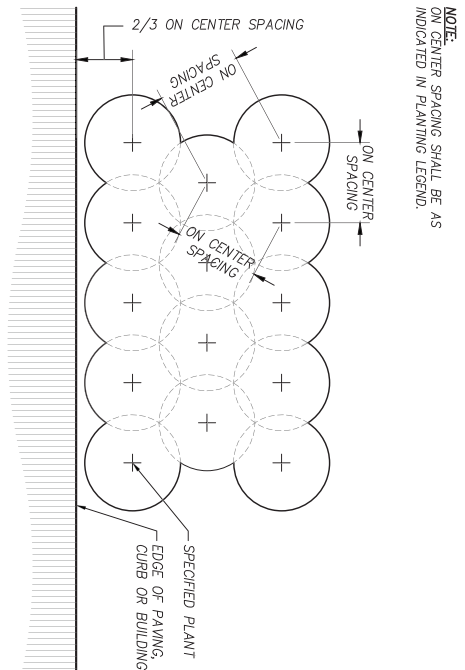
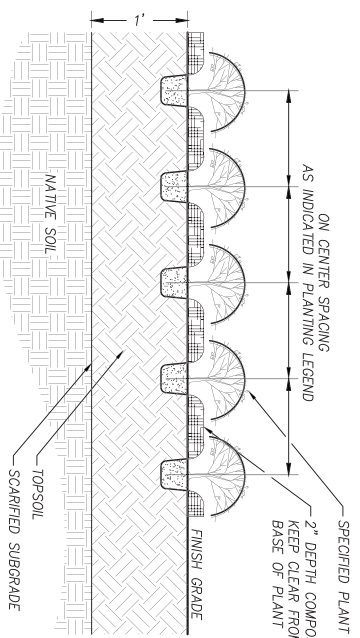
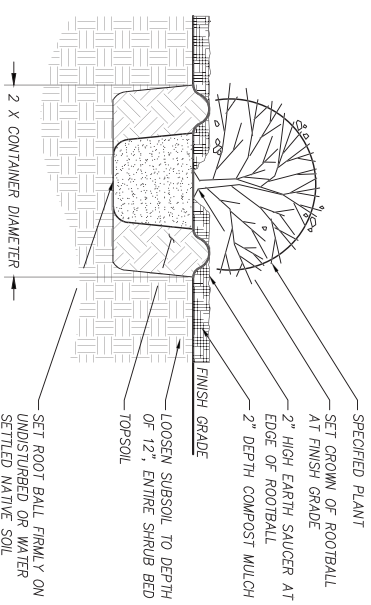




**NOTE:**  
WRAP WIRE STRAND AROUND NOTCHED STAKE AND TRUNK ENDS TO SECURE (FOLLOWING TRUNK TO MOVE 3" IN ALL DIRECTIONS). POUND THE ENDS INTO STAKE TO CONCEAL SHARP WIRE EDGES.



**NOTE:**  
PROVIDE 36" DIAMETER MULCH OR COMPOST RING, AS SPECIFIED.

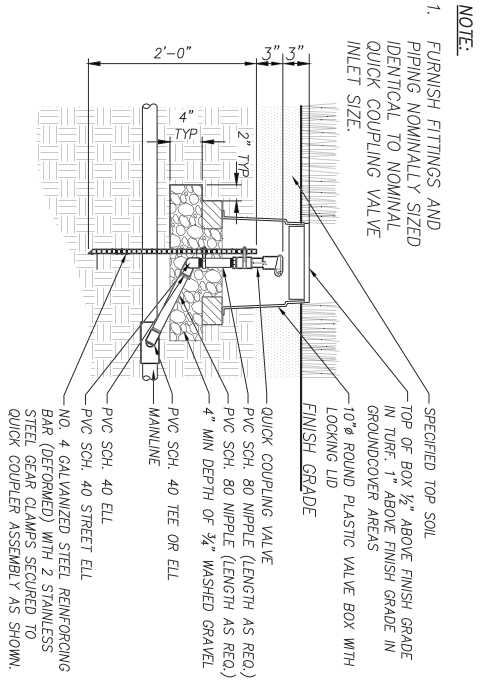


**2** DECIDUOUS TREE PLANTING  
Section  
NOT TO SCALE

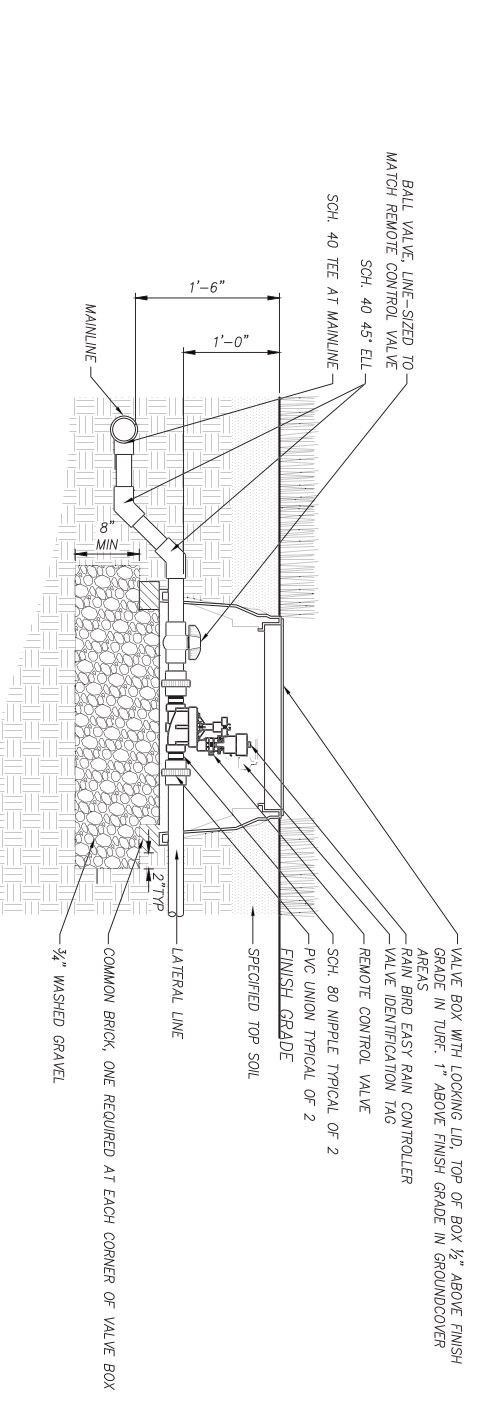
**5** TRIANGULAR SPACING  
Section  
NOT TO SCALE

**6** 12" POP-UP SPRAY SPRINKLER  
Section  
NOT TO SCALE

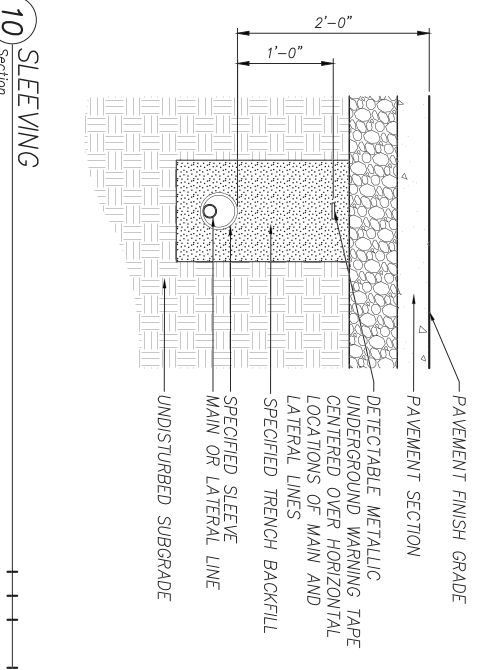
**7** ISOLATION VALVE  
Section  
NOT TO SCALE



**8** QUICK COUPLER  
Section  
NOT TO SCALE



**9** REMOTE CONTROL VALVE  
Section  
NOT TO SCALE



**10** SLEEVING  
Section  
NOT TO SCALE

**1. NOTE:**  
FURNISH FITTINGS AND PIPING NOMINALLY SIZED IDENTICAL TO NOMINAL QUICK COUPLING VALVE INLET SIZE.

DATE	NO.	DESCRIPTION
		R E V I S I O N S

DESIGNED:	JPC
DRAWN:	JPC
CHECKED:	JPC
DATE:	11/28/2014



LANSCAPEDETAILS  
**HAZELWOOD PLAZA**  
PORTLAND, OREGON

**FOR REVIEW**



SHORT TERM BIKE RACK  
LOOP RACK

4  
1-05

SCALE: N.T.S.



SQUARE PLANTER  
(DARK TERRACOTA FINISH)

3  
1-05

SCALE: N.T.S.



BENCH SEATING

2  
1-05

SCALE: N.T.S.



PICNIC TABLE  
W/RECYCLED LUMBER

1  
1-05

SCALE: N.T.S.

ALBERTO RINKEVICH

A R D E S I G N

4810 SW LOWELL CT. PORTLAND, OR 97221  
(503) 977-1758 FAX (503) 922-2613

MILDRED WHITE, AIA, NCARB  
BAMA ARCHITECTURE AND DESIGN, LLC

HAZELWOOD PLAZA

62 RESIDENTIAL UNITS

N.T.S.

SITE  
FURNISHING

L C

06 54

222-312 NE 102ND. AVE. - PORTLAND OR

01-15-15

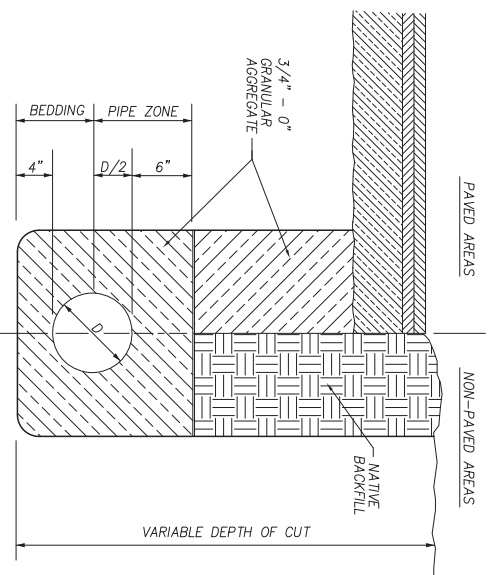
LU 14-185350 DZM



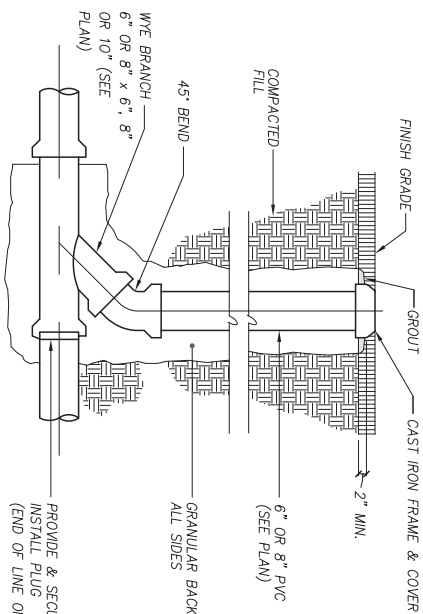






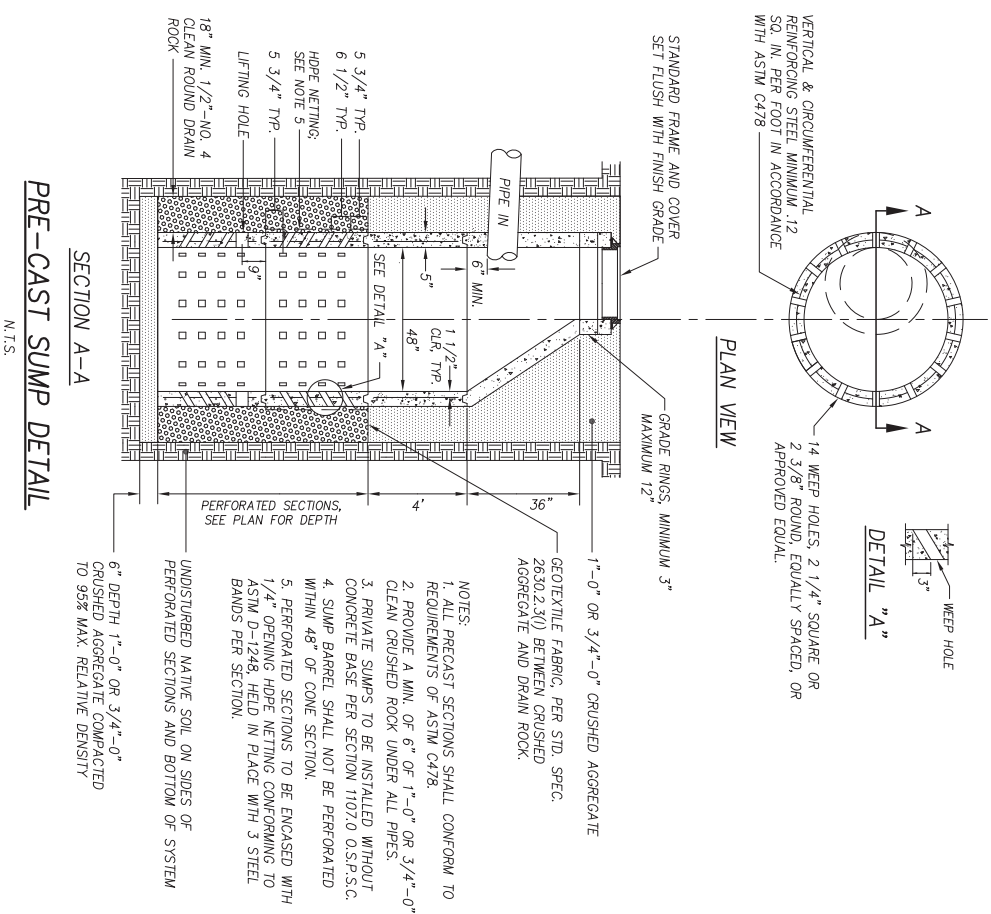


**PIPE BEDDING AND BACKFILL TYPICAL SECTION**  
FOR ON-SITE, PRIVATE USE ONLY  
N.T.S.



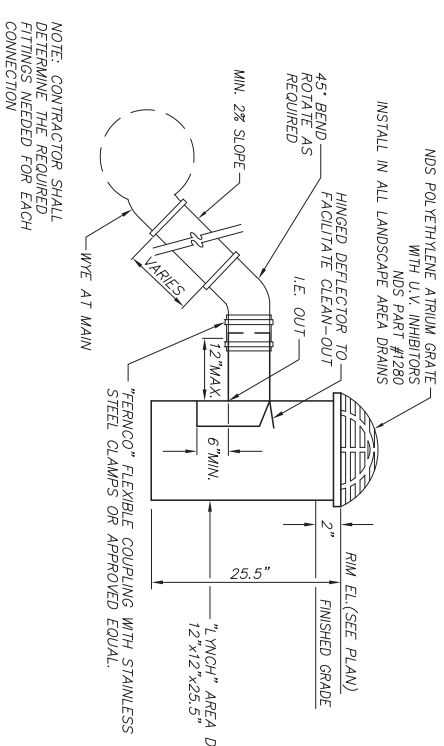
NOTE: CAST IRON FRAME AND COVER SHALL BE VALLEY IRON & STEEL CO. NO. S 202 (6") OR 203 (8") OR APPROVED EQUAL.

**STANDARD CLEANOUT DETAIL**  
N.T.S.



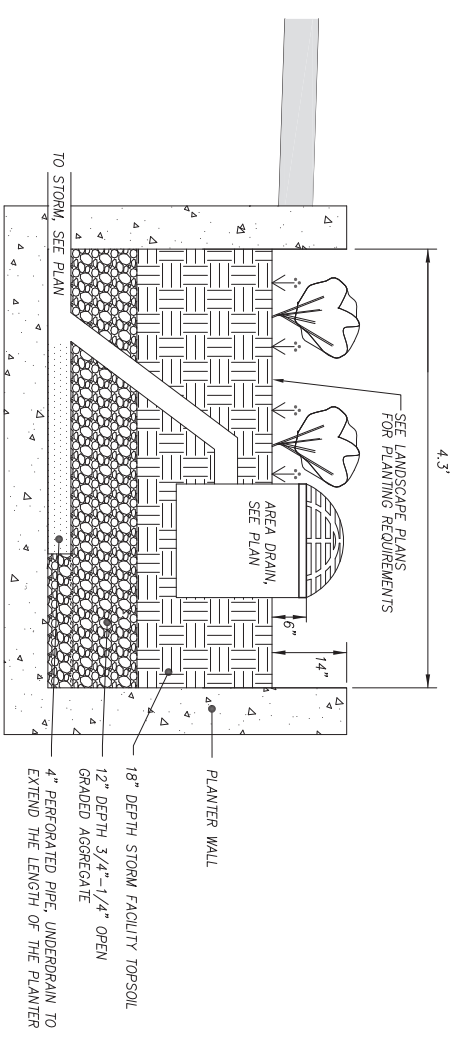
- NOTES:
1. ALL PRECAST SECTIONS SHALL CONFORM TO REQUIREMENTS OF ASTM C478.
  2. PROVIDE A MIN. OF 6" OF 1"-0" OR 3/4"-0" CLEAN GRUSHED ROCK UNDER ALL PIPES.
  3. PRIVATE SUMPS TO BE INSTALLED WITHOUT CONCRETE BASE PER SECTION 1107.0 O.S.P.S.C.
  4. SUMP BARREL SHALL NOT BE PERFORATED WITHIN 48" OF CONE SECTION.
  5. PERFORATED SECTIONS TO BE ENCASED WITH 1/4" OPENING HOPE NETTING CONFORMING TO ASTM D-1248, HELD IN PLACE WITH 3 STEEL BANDS PER SECTION.
- UNDISTURBED NATIVE SOIL ON SIDES OF PERFORATED SECTIONS AND BOTTOM OF SYSTEM
- 6" DEPTH, 1"-0" OR 3/4"-0" GRUSHED AGGREGATE COMPACTED TO 95% MAX. RELATIVE DENSITY

**PRE-CAST SUMP DETAIL**  
N.T.S.



NOTE: CONTRACTOR SHALL DETERMINE THE REQUIRED FITTINGS NEEDED FOR EACH CONNECTION

**"LYNCH" AREA DRAIN DETAIL**  
FOR USE IN LANDSCAPE AREAS ONLY  
N.T.S.



**STORMWATER PLANTER TYPICAL SECTION**  
N.T.S.

DESIGNED:	HHPR
DRAWN:	HHPR
CHECKED:	JLB
DATE:	JULY 2014

**Harper Houf Peterson**  
**Righellis Inc.**  
ENGINEERS+PLANNERS  
LANDSCAPE ARCHITECTS+SURVEYORS  
205 SE Spokane Street, Suite 200, Portland, OR 97202  
phone: 503.221.1131 www.hhpri.com fax: 503.221.1171

**PRELIMINARY**

DETAILS  
**HAZELWOOD PLAZA**  
PORTLAND, OREGON

SHEET NO. **3** OF **3**  
JOB NO. CTY-01

# HAZELWOOD PLAZA, 62 RESIDENTIAL UNITS

222 NE 102<sup>nd</sup> Ave. Portland, OR



**RICARDO BERDICHEVSKY**

**C E N T U R Y 18 Llc.**

3570 RIVER PARKWAY, PORTLAND, OR 9729

503-477-4587 FAX 503-954-2612

**ALBERTO RINKEVICH**

**A R D E S I G N, Llc.**

4810 SW LOWELL CT. PORTLAND, OR 97221

503-927-1758 FAX 503-922-2613

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CASE NUMBER: LU 14-185350 DZM



## PROJECT DESCRIPTION

The Hazelwood Plaza is a 62 unit affordable housing apartments and 3 small shops new development, comprised of two 5 story wood framed buildings, with elevator served each one and a common tuck-under parking.

These one and two bedrooms residences will serve seniors, one and two person households, special needs individuals, and low income young families.

Located in the NE of Portland the site is well connected with all parts of the city by public transportation as explained below in the neighborhood and transportation analysis.

The intention is to insert in the urban surrounding a two building complex that will be easily identifiable by the end users. The utilization of architectural elements will adjust the ground floor to the human scale and the addition of some components like planters and short term bicycle parking will create a friendly pedestrian environment as well as the entrance plaza. The combination of a ground brick wall with wood elements, as fences, panels near the shop entries and the mentioned benches and planters, glazed storefronts and the public/privet plaza will add a strong community filling to the pedestrian environment.

The ground floor is an active area composed by a manager office, three small shops, support rooms and the two entrance lobbies. The two glazed lobbies are open to the street and to the entrance plaza between the two buildings. The lobbies located in each floor are open to 102nd. Ave. through curtain walls that make clear the function behind them and distinguish the main access. Each building has also a secondary entrance located at the end of each one. At the second floor, near the two floor' lobbies were located a community and fitness rooms opened to a 1,658 sf roof garden for both buildings' common use.

The common parking located in the ground floor behind the active and support areas is hidden from the street. A wood fence and a planter all along the rear property line, works as a barrier in order to avoid visual contact from de neighboring properties. As required by PBOT the parking garage has only one entry /exit gate. This entrance was recently coordinated with PBOT to introduce the driveway in the ongoing walkway construction along NE 102nd. Ave as well the required 8'-0" dedication requested for the same purpose.

The creation of two buildings with the in-between plaza, in addition to an articulated front elevation intent to break down a long uninterrupted mass on 102nd. Ave. As well the 2 foot recessed areas, the deep parking entrance and the plaza in the ground floor. This volumetric treatments combined with the color panels, the different material and the metal balconies results in a more sculptural and modulated building.

Our goal is to comply and certify for Enterprise Green Communities' criteria for affordable housing, emphasizing in the use of sustainable green materials and water and energy treatment in order to reduce the consume and the waste. Low energy appliances and Energy star lighting products, double glazed windows, composition shingles with a lifetime warranty, development and Implementation of an Erosion Control Site Plan, onsite Infiltration system for roof drains, R-21 insulation for walls and Tyvec sheeting, local materials within 500 miles as much as possible, shower heads limiting water flow, efficient lavatory and kitchen faucets, high efficient toilets, are part of the projected material and appliances to be used in order to comply with the required green certification for affordable housing.

- Property Address                      222 NE 102nd Avenue
- No. Residential Units                62
- Nonresidential Units                3 small shops
- Car Parking                             45 parking spots

- Bike Parking 6 short term - 78 long term
- Gross Building Area 59,018 sq. ft.
- No. Buildings 2
- No. of Floors 5 floors w/ tuck under parking
- Site Area 24,338 sq. ft.
- Building Construction First Fl. concrete structure and concrete block walls, and wood framing in floors 2 to 5.
- Roof Type Low Pitch Seamed Metal or Green Shingles
- Building Exterior In factory Prefinished metal cladding (Centria Profile Series) prefinished cement board lap siding (Artisan, James Hardie) Exposed concrete walls at ground floor (smooth finish) metal balcony railings, vinyl windows.
- HVAC System Split Air conditioning

## APARTMENT TYPES

Unit Type	Quantity
Shops	3
1 BR	54
2 BR	8

## ZONING

Base Zone: CM; mixed Commercial / residential  
Gateway Plan District

## DESIGN GUIDELINES

Gateway Regional District Design Guidelines

## MODIFICATION REQUESTS

### Ground Floor Active Use Requirement (33.526.280 D.2)

The Ground Floor Active Use requires that 50% of the ground floor of walls that front a sidewalk, the building must contain 25'-0" deep interior spaces.

**Request:** in order to allow a better screening of the parking garage from the 102nd. street and a more efficient design and operation of the parking garage we request to reduce to 13'-8" deep of the live / work units located at the front of the building.

### Loading Parking Standards (33.266.319 D.b)

Size of loading spaces. Required loading spaces must meet the standards of this subsection.

b. Standard B: The loading space must be at least 18 feet long, 9 feet wide, and have a clearance of 10 feet.

**Request:** A 16 foot deep loading space instead of the 18 feet required with 5 feet clearance.



Long-term Bicycle Parking Racks (33.266.220 B.2a)

Long-term bicycle parking must be provided in racks or lockers that meet the standards of Subsection 33.266.220.C (Standards for short-term bicycle parking. Each required short-term bicycle parking space must be at least 2 feet).

**Request:** Long-term bicycle parking racks to be spaced at 18" instead of the required 24".

Entrances (33.526.270 A)

Purpose. These regulations ensure that at least one main entrance into a building, and each tenant space in a building that faces a street, be oriented to public streets...

Request: Since the common plaza is the main entrance to the two buildings and the two lobbies are fully glazed and easily identifiable from 102nd. Ave, our request is to allow the lobby doors to face the plaza will help to activate the space.

## SITE IDENTIFICATION

The site is composed by four parcels located in 222, 236, 252, and 312 NE 102nd. Ave, Portland OR.

The parcels were acquired by Century 18 Llc. in which Oscar and Ricardo Berdichevsky are Managing members in 2011 to develop this project.

The following is the tax identification for the four properties that will be consolidated for permit and construction purposes:

222 NE 102. Ave - Multnomah County

Section 34 1N 2E, TL 9300

Account # R319880

236 NE 102nd. Ave - Multnomah County

Section 34 1N 2E, TL 9200

Account # R319879

2352 NE 102nd. Ave - Multnomah County

Section 34 1N 2E, TL 9200

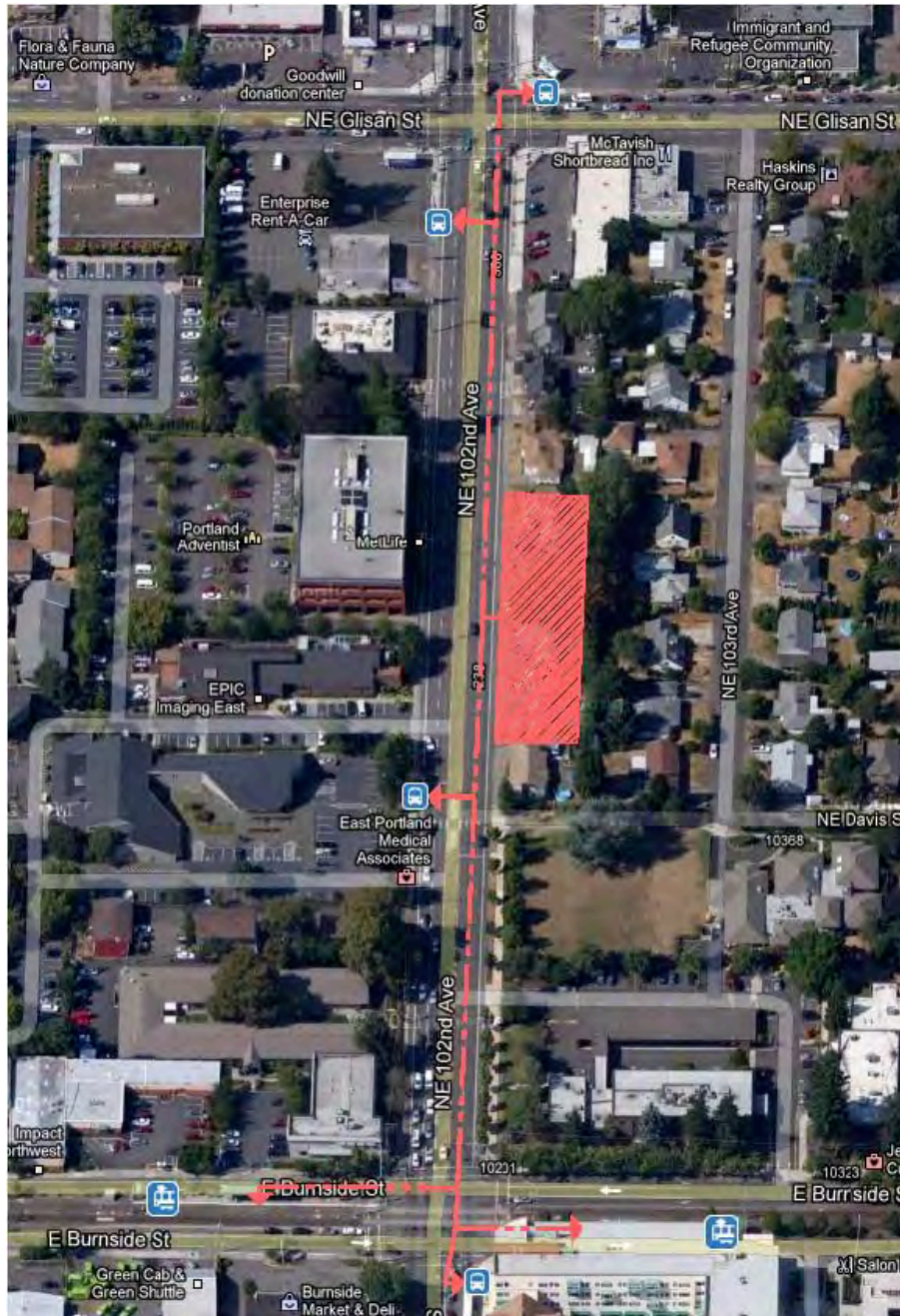
Account # R319878

312 NE 102nd. Ave - Multnomah County

Section 34 1N 2E, TL 9000

Account # R319877

## IMMEDIATE VICINITY PUBLIC TRANSPORTATION STOPS GATEWAY REGIONAL CENTER DESIGN GUIDELINES



Incorporating stormwater management systems into surface parking areas

New development adjacent to 102nd should support the improved street by incorporating a setback with landscape plantings and trees between the building and sidewalk

Orienting larger building volumes to the street, creating a multistory built edge, increases opportunities for the development of quieter private

Integrating building setback areas that function as extensions of the sidewalk along main streets

Incorporating landscape plantings and/or trees along 102nd or high volume streets

Developing a strong street orientation along residential or commercial streets

Incorporating large ground floor windows facing the sidewalk

Orient semi-public building spaces to the sidewalk and street

Orienting main entrances and/or lobbies to the sidewalk

Incorporate building mechanical equipment and/or service areas in a manner that does not detract from the pedestrian environment

Consolidating motor vehicle access points

Use design principles and building materials that convey quality and permanence

Developing residential buildings that provide foundations for new communities

Making design decisions involving the building's exterior that increase the building's "visual texture"

Integrate the different ground-level building elements with the building's architecture

Using integrated systems of building elements to provide a human scale at the ground level



## HAZELWOOD

**Hazelwood** is a large neighborhood (2,587 acres, about 4 square miles), but not the largest in Portland, Oregon. However, it has the most residents, with 23,332 people\*.

The Hazelwood neighborhood includes the **Gateway Urban Renewal Area** (658.5 acres), Gateway Transit Center (served by three light rail lines and six bus lines), Mall 205 Shopping Center, Adventist Medical Center (hospital), several smaller shopping centers (Gateway Shopping Center, Plaza 205, 205 Place and Menlo Park Plaza), and more than 800 businesses. Much of the neighborhood falls within the boundaries of the Gateway Area Business Association.

There are several parks in the neighborhood -- Cherry Park, Cherry Blossom Park, East Holladay Park, Lincoln Park, North Powellhurst Park, Ventura Park, Hazelwood HydroPark and Community Garden, the Stark Street Triangle and the Glendoveer Golf Course and Fitness Trail. Some of them are very small; others are undeveloped.

Schools in Hazelwood include the David Douglas High School campus & district offices, Menlo Park Elementary, Cherry Park Elementary, Ventura Park Elementary, Lincoln Park Elementary, Reynold's Four Corners Elementary, St. Therese School, Harmony Montessori, Portland Adventist Academy, Arthur Academy, and the Portland campus of the Walla Walla School of Nursing. The Parkrose School District also serves part of the neighborhood, although none of its schools are located in Hazelwood.

The MAX Green Line runs north-south along the western boundary of the neighborhood and the original MAX Blue Line runs eastward through the middle. MAX stops at four locations in Hazelwood: Gateway Transit Center (Red, Blue, & Green Lines), Main Street (Green), 102nd & 122nd Avenue (Blue), and two locations on the neighborhood edge, 148th Avenue (Blue) & Division Street (Green).

The Hazelwood **boundaries** are roughly NE Halsey on the north; NE/SE 148th Ave on the east; SE Division on the south and the I-205 freeway on the west. The Mill Park neighborhood is also within these general boundaries, surrounded on three sides by the Hazelwood neighborhood. The Mill Park neighborhood is roughly bounded by SE Stark on the north, SE 130th on the east, SE Division on the south and SE 112<sup>th</sup> on the west.

## GATEWAY NEIGHBORHOOD

### GENERAL

The subject market area is in northeast Portland in Multnomah County and is near the Interstate-205 freeway. This area is generally known as the Gateway neighborhood and is approximately five miles east of Portland's city center. The general boundaries are NE Division Street on the south, NE Glisan Street on the north, SE 162<sup>nd</sup> Avenue on the east, and Interstate-205 on the west. Single and multi-family residential are the dominating land uses in the immediate market area, with significant commercial development along major arterials.

### RESIDENTIAL DEVELOPMENT

Residential development within the neighborhood has been steady over the past 30 years. The residential development is primarily single family oriented, and constructed between 1950 and 1980. The single family residential development is primarily on 5,000 to 10,000 sq. ft. lots and is comprised of fair to good quality homes. Given the built-up nature of the neighborhood, most of the newer housing stock has occurred east of the subject neighborhood. However, "in-fill" construction continues in the

immediate area on under-utilized parcels with a majority of homes built since 1990 priced within an “affordable” range from \$175,000 to \$300,000. Residential land is mostly developed, and future residential development is anticipated on the vacant small or under-utilized sites, scattered throughout the neighborhood, similar to the subject development. The housing stock throughout the neighborhood has historically been in the low to mid-range with regard to quality and appeal.

## COMMERCIAL DEVELOPMENT

There is a significant commercial development along major arterials in the subject market area. The major east/west arterials are SE Stark, SE Washington, SE Division, and E Burnside; and the major north/south arterials are SE 82<sup>nd</sup> Avenue, SE 122<sup>nd</sup> Avenue, and SE 162<sup>nd</sup> Avenue. Most intersections have retail centers with a variety of service-related commercial developments. The I-205 shopping mall is located on SE Stark Street near the Interstate-205 freeway.

Office development in the area ranges from older, fair quality buildings to newer, average quality structures. Office development typically consists of two to three-story buildings, of wood frame or masonry construction, ranging in size from 10,000 to 30,000 sq. ft. Overall, the market area is well served by commercial development.

## INDUSTRIAL DEVELOPMENT

The subject market is near the Columbia Corridor, which is in the vicinity of Interstate 84 and the Columbia River, and one of Portland’s major industrial centers. This area benefits from good access to major freeways, local arterials, and the Portland International Airport. Most development in this area has occurred northeast of the subject market in the vicinity of NE 181<sup>st</sup> Avenue and includes the Rockwood Industrial Park, Banfield Corporate Park, and Albertson’s Corporate Distribution Center. Other uses in the area include the Boeing parts manufacturing facility, light, and general industrial facilities, and office park development.

The I-84 Corporate Center is located in Troutdale near the airport, between I-84 and NE Marine Drive. Other notable industrial developments in the area include the Clear Creek Industrial Park near the intersection of NE Glisan Street and NW Fairview/NE 223<sup>rd</sup> Avenue, and the Reynolds Metals Company aluminum facility. The aluminum plant has been closed and is in the process of being dismantled and site contamination remediate. This action will result in 300 to 400 acres of usable land for future development. Catellus Development is holding 426 acres of industrial land on the south side of NE Marine Drive, west and east of NE 185<sup>th</sup> Avenue, for future industrial development. The extensive industrial development near the subject market provides a stable base for the area.

## TRANSPORTATION

The neighborhood is well served by major road systems, I-205 and I-84. There is good access to both of these freeway systems from the neighborhood, and both provide access to I-5. The major east/west corridors are SE Stark Street, SE Powell, SE Division, E Burnside Street, NE Halsey, and NE Glisan Street, all of which lead to the central business district of the City of Portland to the west and to the commercial core of Gresham and outlying communities to the east.

Tri-Met (Tri-County Metropolitan Transportation District) provides public bus service throughout the neighborhood. The Banfield Light Rail system, part of the Metropolitan Area Express (MAX), serves



the area with a trolley-type rail system that follows E Burnside. The rail line has a positive impact on the area in terms of improved accessibility to and from the Portland central business district. Air transportation services are provided by the Portland International Airport located approximately five miles north of the neighborhood. The light rail system has been extended to the airport which has also benefited the neighborhood.

## DEVELOPMENT TEAM

**Ricardo Berdichevsky**

Century 18 Llc.

**Alberto Rinkevich**, Intl. AIA Associate

Project Manager, Project Design

**Mildred White**, AIA. NCARB

Architect of Record

**Harper Houf Peterson Righellis Inc. (HHPR), Engineering Services**

**Ken Valentine**, P.E. - Associate Principal

Civil Engineer

**Janelle Brannan**, P.E. - Associate

Civil Engineer

**Steve Entenman**, P.E., S.E. - Associate

Structural Manager - Structural design

**Jeff Creel**, R.L.A.

Landscape Architect

**Stephen J. McHugh**, MCH Construction Company

Construction Manager



Harper  
Houf Peterson  
Righellis Inc.

# Hazelwood Plaza

CTY-01

## Preliminary Stormwater Management Report

Prepared For:

ARDesign LLC  
4810 SW Lowell Ct  
Portland Oregon 97221

July 8, 2014

Prepared By:

Harper Houf Peterson Righellis Inc.  
205 SE Spokane Street, Suite 200  
Portland, OR 97202  
P: 503-221-1131 F: 503-221-1171

Janelle Brannan, P.E.



HHPR

ENGINEERS ♦ PLANNERS  
LANDSCAPE ARCHITECTS ♦ SURVEYORS



## **Designer's Certification Statement**

I hereby certify that this Stormwater Management Report for the Hazelwood Plaza has been prepared by me or under my supervision and meets minimum standards of the City of Portland and normal standards of engineering practice. I hereby acknowledge and agree that the jurisdiction does not and will not assume liability for the sufficiency, suitability, or performance of the drainage facilities designed by me.

## **Table of Contents**

Project Description	page 1
Existing Site Conditions	page 1
Proposed Site Improvements	page 1
Conclusion	page 2
Appendix	
Existing Conditions Map	
Proposed Conditions Map	
Infiltration Results	
Drywell Calculations	
Stormwater Planter Calculations	



## **Project Description**

The Hazelwood Plaza project is located at the intersection of NE 102<sup>nd</sup> Avenue and NE Davis Street. A 60 unit residential building with parking area will be constructed. Stormwater management for the site will be with combination of flow-thru planter and a drywells for on-site infiltration.

## **Existing Site Conditions**

The existing site was developed as four single family home sites. The homes have been demolished and the sites cleared of all debris. There is no evidence the previous homes were connected to a storm sewer system. The project fronts to NE 102<sup>nd</sup> Avenue. The storm system within 102<sup>nd</sup> Avenue is a series of catch basins flowing to sediment manholes and ultimately to sumps.

## **Proposed Site Improvements**

The proposed building covers nearly 100% of the available space. The bottom floor will include parking and a few living spaces along the 102<sup>nd</sup> Avenue frontage. Water quality will be provided by a flow through planter located along the easterly property line and disposal will be provided by two drywell sumps located on the east side of the building in the parking lot.

The site impervious surfaces will be managed per the 2008 City of Portland Stormwater Management Manual (SWMM). Per the SWMM, the Stormwater Infiltration and Discharge Hierarchy is to be used to determine the feasibility of the stormwater option to be used for the site.

The following addresses each category in the Hierarchy;

Category 1: Requires total onsite infiltration with vegetated infiltration facilities.

The proposed impervious area will flow to a stormwater planter and then to drywells to infiltrate all stormwater from the site.

Category 2: Requires total onsite infiltration with a vegetated facility that overflows to a subsurface infiltration facility.

The proposed impervious area will flow to a stormwater planter and then to drywells to infiltrate all stormwater from the site.

Category 3: Requires onsite detention with vegetated facilities that overflow to a drainage way, river, or storm-only pipe.

This category is not applicable, a drainage way, river, or storm-only pipe is not available to this site

Category 4: Required onsite detention with vegetated facilities that overflow to the combined sewer system.

This category is not applicable, a combined sewer is not available to this site.

## Conclusion

The proposed stormwater management for the site falls under Category 2 of the Stormwater Infiltration and Discharge Hierarchy.

Sizing calculations for the stormwater planter and drywell can be found in the Appendix of this report. Below is a summary table;

	Area	Treatment	Discharge
Roof/Building/Parking	21,794sf	Flow-thru planter (100%)	Drywell

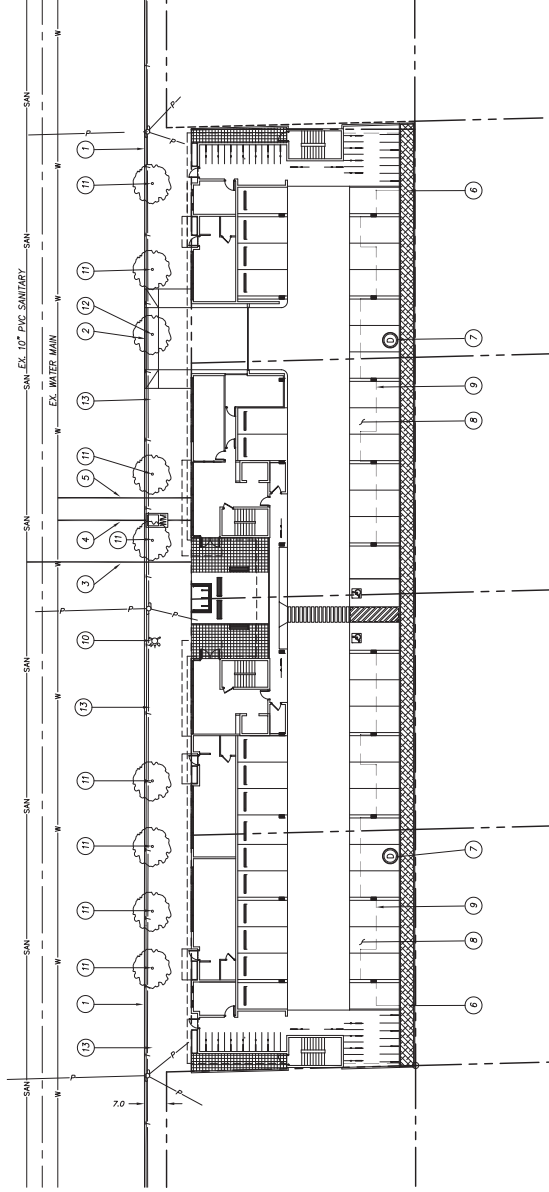
## **Appendix**

### Maps and Calculations

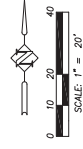




NE 102ND AVENUE



- 1 NE 102ND AVENUE FRONTAGE IMPROVEMENTS BY PORTLAND BUREAU OF TRANSPORTATION
- 2 CONSTRUCT 20FT WIDE DRIVEWAY PER CITY OF PORTLAND STANDARD DETAIL P-226.
- 3 6" SANITARY SEWER LATERAL
- 4 3" DOMESTIC WATER SERVICE, 3" WATER METER IN 575' VAULT. ACCESS TO VAULT TO BE INSTALLED WITH NE 102ND AVENUE FRONTAGE IMPROVEMENTS BY PORTLAND BUREAU OF TRANSPORTATION. SEPARATE WATER BUREAU PERMITS TO BE INSTALLED WITH NE 102ND AVENUE FRONTAGE IMPROVEMENTS BY PORTLAND BUREAU OF TRANSPORTATION.
- 5 6" FIRE SERVICE, SEPARATE WATER BUREAU UNDER SEPARATE WATER BUREAU PERMITS TO BE INSTALLED WITH NE 102ND AVENUE FRONTAGE IMPROVEMENTS BY PORTLAND BUREAU OF TRANSPORTATION.
- 6 CONSTRUCT FLOW-THRU STORMWATER PLANTER, CONNECT PLANTER OUTLET TO DRYWELL. SEE DETAIL ON SHEET 3.
- 7 INSTALL DRYWELL, SUMP DEPTH 4FT
- 8 PARKING AREA, STALL DIMENSION 8.5' X 16', SLOPE TO STORMWATER PLANTER
- 9 UPPER FLOOR LINE
- 10 PROTECT EXISTING FIRE HYDRANT
- 11 PROTECT EXISTING STREET TREE TO BE INSTALLED WITH NE 102ND AVENUE FRONTAGE IMPROVEMENTS BY PORTLAND BUREAU OF TRANSPORTATION
- 12 REMOVE EXISTING STREET TREE
- 13 PROTECT EXISTING STREET LIGHT TO BE INSTALLED WITH NE 102ND AVENUE FRONTAGE IMPROVEMENTS BY PORTLAND BUREAU OF TRANSPORTATION

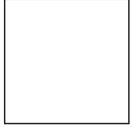


**PRELIMINARY**

SHEET NO. **2** OF **3**  
 PER. NO. CITY.01

**SITE PLAN**  
**HAZELWOOD PLAZA**  
**PORTLAND, OREGON**

**Harper Houff Peterson**  
**Righellis Inc.**  
 ENGINEERS-PLANNERS-ARCHITECTS  
 374 SE Spokane Street, Suite 200, Portland, OR 97205  
 phone: 503.221.1131 www.hhp.com fax: 503.221.1171



DATE	NO.	DESCRIPTION

DESIGNED:	HHPR
DRAWN:	HHPR
CHECKED:	JLB
DATE:	JULY 2014

R E V I S I O N S

## Infiltration Test Results

From Report of Geotechnical Engineering  
By Geotech Solutions Inch  
Dated May 17, 2013

*Infiltration Testing* – We completed a constant head, constant flow rate infiltration test in test pit TP-2 near the eastern side of the property in gravelly medium to coarse sand with trace silt to clean (fines content of 1.2%). The rate was very high, typical of low fines content sands and gravels in this area.

<u>Test Pit/Depth</u>	<u>Soil Tested</u>	<u>Unfactored rate (in<sup>3</sup>/hr/in<sup>2</sup>) *</u>
TP-1/6 feet	Sand with some gr.	1,780*

\* these values are unfactored and not to be used for design

*Groundwater* – We did not observe ground water seepage, and ground water is mapped as deep in this area.



## Drywell Calculations

Assuming 100% of the site would be routed to the drywell system.  
Total to Drywell = 0.48cfs (25-yr peak)

The geotechnical report has given an infiltration rate of 1200 inches per hour and a design rate of 500 in/hr was used.

Groundwater was not encountered.

### Infiltration Calculations:

Q (25-year peak flow)      0.51 cfs

Design Infiltration Rate      500 in/hr      (FACTOR OF SAFETY APPLIED)

Drywell Design (side and bottom area)	Depth (ft)	Diameter (ft)	Wetted Area (sf)
	<u>4</u>	<u>6</u>	<u>75</u>

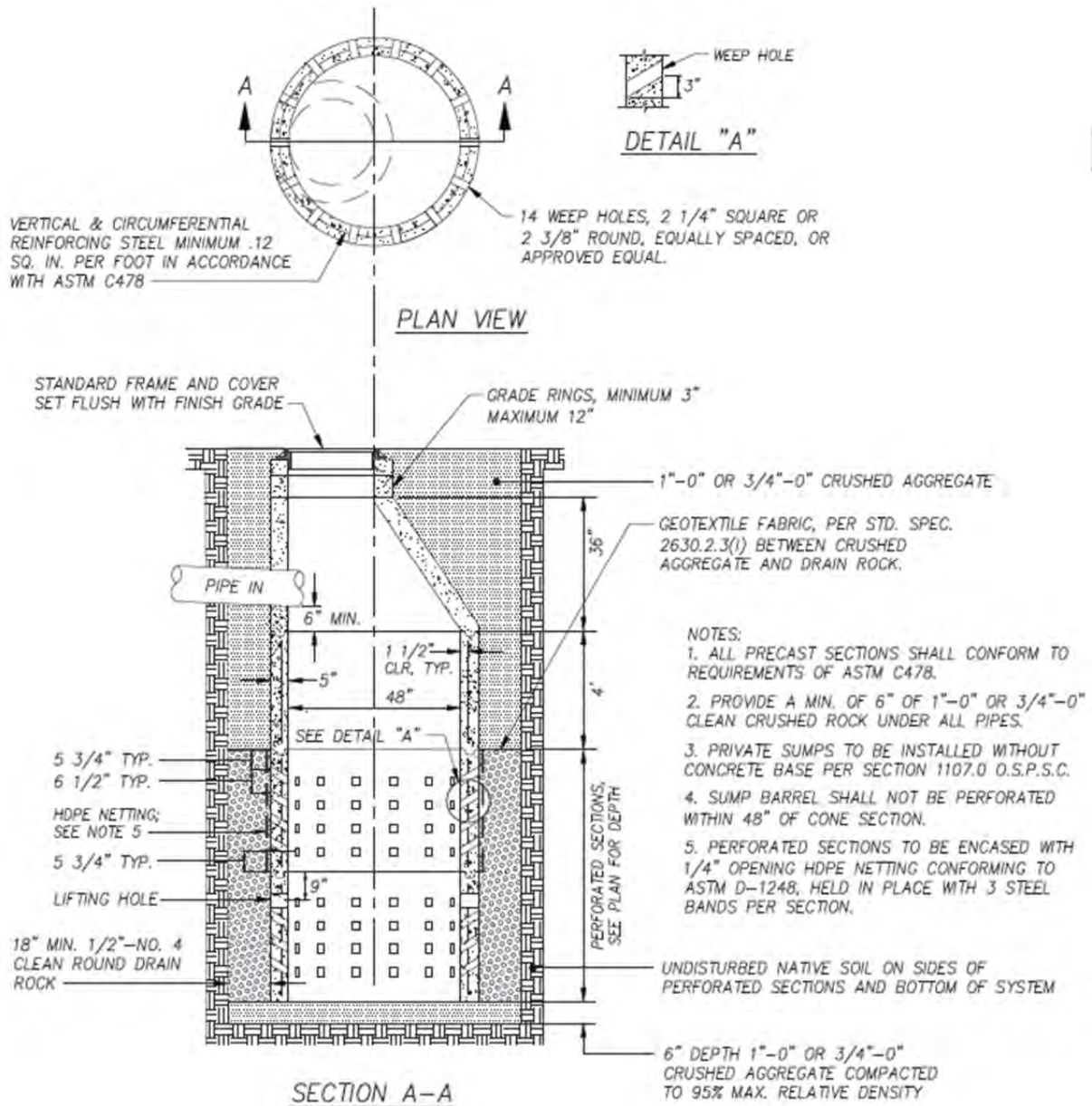
Q<sub>inf</sub> (Maximum infiltration rate per drywell)      0.58 cfs/drywell

Number of Drywells      2

Total Infiltration Capacity      1.16 cfs

Note: Drywell diameter is effective diameter of drain rock surrounding a standard 48" perforated section

# Drywell Detail



### Stormwater Planter Calculations

A 1300sf flow through planter is located along the easterly property line.

Facility Name	Size (sf)	Storage Depth (inch)*	Area Treated	Impervious Area Treated	Discharge Point
Planter	1300	8	Roof Area	21,794	Drywell

The following pages are results from PAC.





# Presumptive Approach Calculator ver. 1.2

Catchment Data

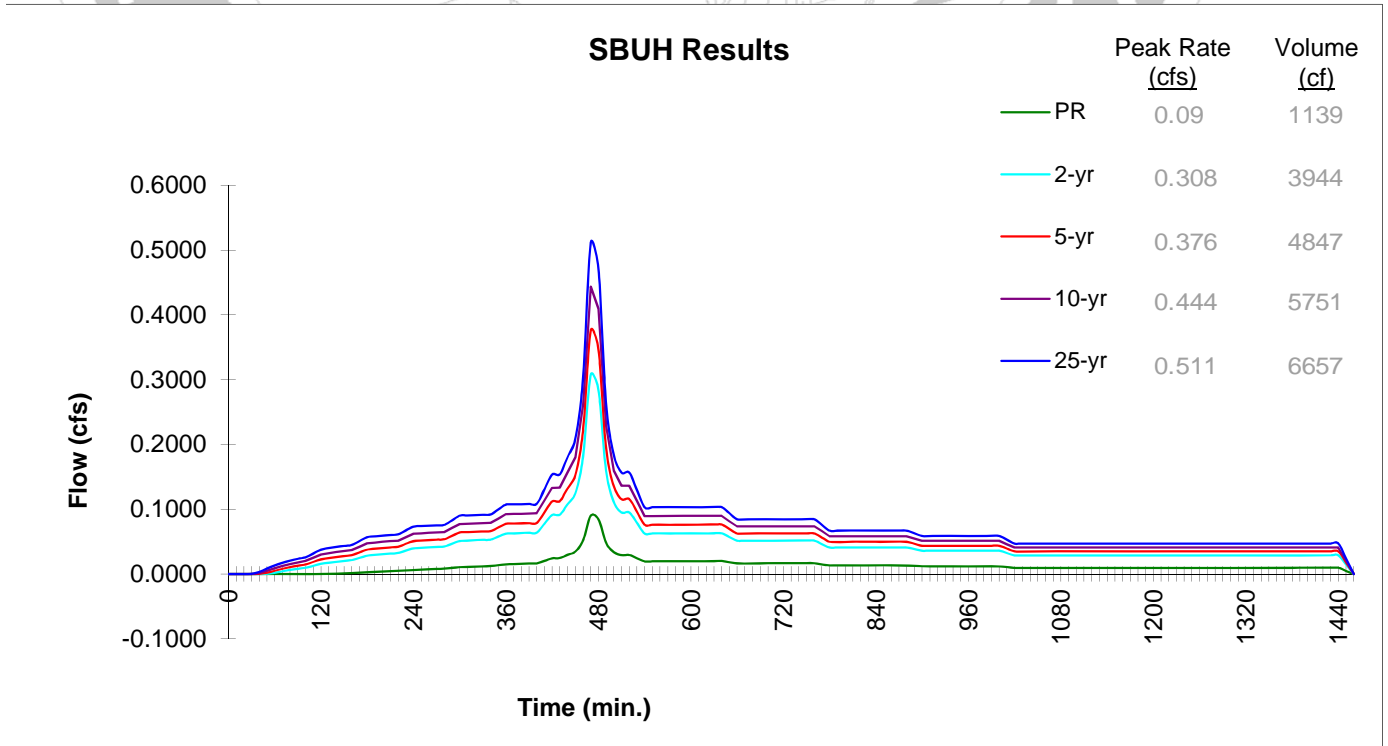
**Project Name:** Hazelwood Plaza  
**Project Address:** 222-312 NE 102nd Ave  
 Portland OR  
**Designer:** JLB  
**Company:** HHPR

**Catchment ID:** A  
**Date:** 07/08/14  
**Permit Number:** 0

Run Time 7/7/2014 4:29:44 PM

Drainage Catchment Information	
Catchment ID	A
<b>Catchment Area</b>	
Impervious Area	21,794 SF
Impervious Area	0.50 ac
Impervious Area Curve Number, $CN_{imp}$	98
Time of Concentration, $T_c$ , minutes	5 min.
Site Soils & Infiltration Testing Data	
Infiltration Testing Procedure:	Open Pit Falling Head
Native Soil Field Tested Infiltration Rate ( $I_{test}$ ):	10 in/hr
Bottom of Facility Meets Required Separation From High Groundwater Per BES SWMM Section 1.4:	Yes
Correction Factor Component	
$CF_{test}$ (ranges from 1 to 3)	2
Design Infiltration Rates	
$I_{dsgn}$ for Native ( $I_{test} / CF_{test}$ ):	5.00 in/hr
$I_{dsgn}$ for Imported Growing Medium:	2.00 in/hr

Execute SBUH





**Presumptive Approach Calculator ver. 1.2**

Catchment ID: **A**

Run Time 7/7/2014 4:29:44 PM

Project Name: Hazelwood Plaza

Catchment ID: A

Date: 7/8/2014

**Instructions:**

1. Identify which Stormwater Hierarchy Category the facility.
2. Select Facility Type.
3. Identify facility shape of surface facility to more accurately estimate surface volume, except for Swales and sloped planters that use the PAC Sloped Facility Worksheet to enter data.
4. Select type of facility configuration.
5. Complete data entry for all highlighted cells.

Catchment facility will meet Hierarchy Category: **2**

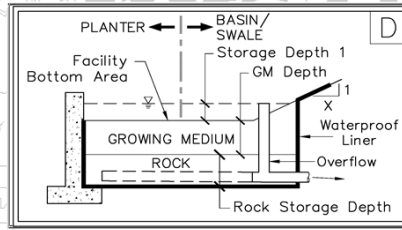
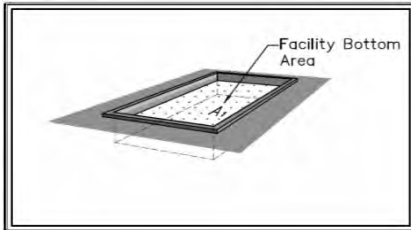
Goal Summary:

Hierarchy Category	SWMM Requirement	RESULTS box below needs to display...	
		Pollution Reduction as a	10-yr (aka disposal) as a
2	On-site infiltration through use of approved UIC facility (e.g. below grade rock storage, public infiltration sump system, private drywell or soakage trench.)	PASS	PASS or if FAIL, check box for disposal through separate approved UIC

Facility Type = **Planter (Flat)**

Facility Shape: **Rectangle/Square**

Facility Configuration: **D**



Calculation Guide  
Max. Rock Stor.  
Bottom Area  
**1,300 SF**

**DATA FOR ABOVE GRADE STORAGE COMPONENT**

Facility Bottom Area = **1,300** sf  
 Bottom Width = **4.3** ft  
 Facility Side Slope = **0** to 1  
 Storage Depth 1 = **8** in  
 Growing Medium Depth = **18** in  
 Freeboard Depth = **N/A** in

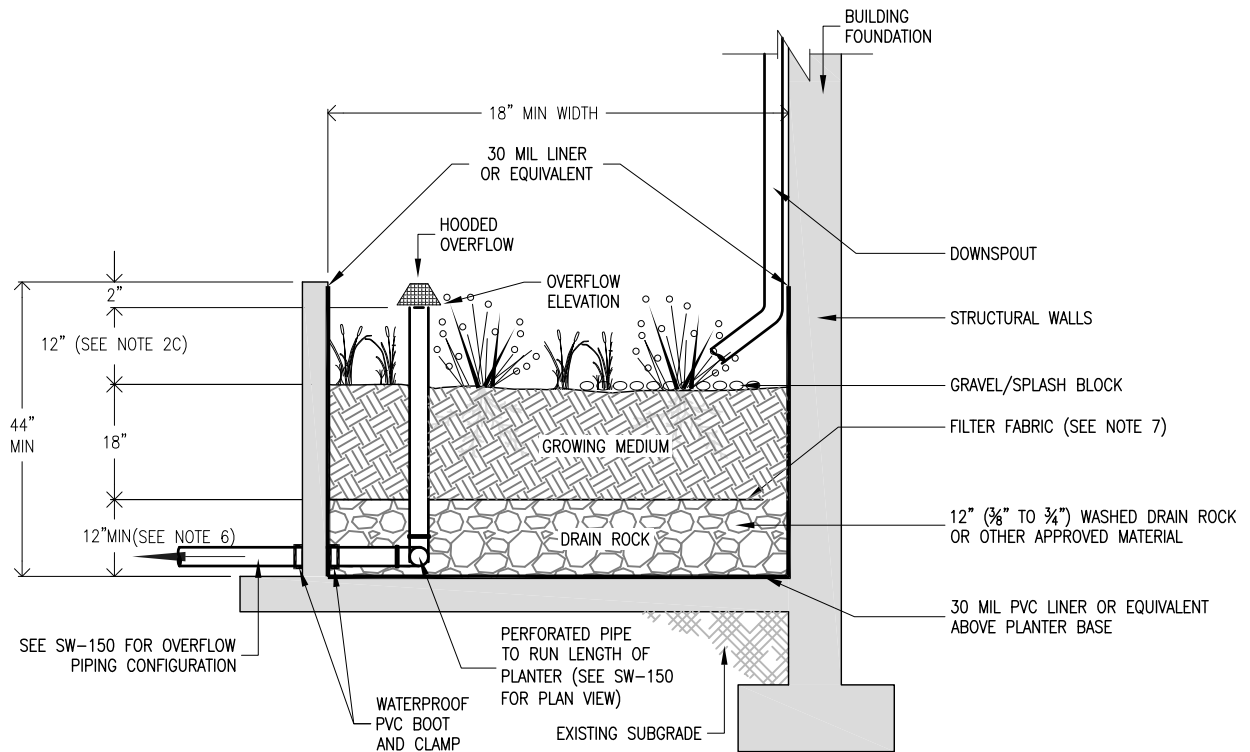
**BELOW GRADE STORAGE**

Surface Capacity at Depth 1 = **867** cf  
 GM Design Infiltration Rate = **2.00** in/hr  
 Infiltration Capacity = **0.060** cfs

Rock Storage Capacity = \_\_\_\_\_ cf  
 Native Design Infiltration Rate = \_\_\_\_\_ in/hr  
 Infiltration Capacity = \_\_\_\_\_ cfs

<b>RESULTS</b>	Overflow Volume		
	Pollution Reduction	<b>PASS</b>	0 CF <b>4%</b> Surf. Cap. Used <span style="float: right;">Run PAC</span>
<input checked="" type="checkbox"/> Disposal occurs in separate approved UIC. Refer to Storm Report for more information.			

<b>FACILITY FACTS</b>	
Total Facility Area Including Freeboard =	<b>1,300 SF</b>
Sizing Ratio (Total Facility Area / Catchment Area) =	<b>0.060</b>



1. Provide protection from all vehicle traffic, equipment staging, and foot traffic in proposed infiltration areas prior to, during, and after construction.
2. Dimensions:
  - a. Width of flow-through planter: 18" minimum.
  - b. Width of infiltration planter: 30" minimum.
  - c. Depth of planter (from top of growing medium to overflow elevation). Simplified: 12"; Presumptive: 6"- 18".
  - d. Slope of planter: 0.5% or less.
3. Setbacks (from centerline of facility):
  - a. Infiltration planters must be 10' from foundations and 5' from property lines.
  - b. Flow-through planters must be less than 30" in height above surrounding area if within 5 feet of property line.
4. Overflow:
  - a. Overflow required for Simplified Approach.
  - b. Inlet elevation must allow for 2" of freeboard, minimum.
  - c. Protect from debris and sediment with strainer or grate.
5. Piping: shall be ABS Sch.40, cast iron, or PVS Sch.40. 3" pipe required for up to 1,500 sq ft of impervious area, otherwise 4" min. Piping must have 1% grade and follow the Uniform Plumbing Code.
6. Drain rock:
  - a. Size for infiltration planter: 1½" - ¾" washed
  - b. Size for flow-through planter: ¾" washed
  - c. Depth for Simplified: 12"
  - d. Depth for Presumptive: 0-48", see calcs.
7. Separation between drain rock and growing medium: Use filter fabric (see SWMM Exhibit 2-4 Geotextile table) or a gravel lens (¾ - ¼ inch washed, crushed rock 2 to 3 inches deep).
8. Growing medium:
  - a. 18" minimum
  - b. See Appendix F.3 for specification or use sand/loam/compost 3-way mix.
9. Vegetation: Follow landscape plans otherwise refer to plant list in SWMM Appendix F. Minimum container size is 1 gallon. # of plantings per 100sf of facility area:
  - a. Zone A (wet) 115 herbaceous plants, OR
  - b. Zone A (wet) 100 herbaceous plants and 4 small shrubs.
10. Planter walls:
  - a. Material shall be stone, brick, concrete, wood, or other durable material (no chemically treated wood).
  - b. Concrete, brick, or stone walls shall be included on foundation plans.
11. Waterproof liner: Shall be 30 mil PVC or equivalent, for flow-through facilities.
12. Install washed pea gravel or river rock to transition from inlet or splash pad to growing medium.
13. Inspections: Call BDS IVR Inspection Line, (503) 823-7000, for appropriate inspections.

- DRAWING NOT TO SCALE -

## STORMWATER MANAGEMENT MANUAL TYPICAL DETAILS

- Simplified / Presumptive Design Approach -

### Planter

NUMBER

SW-130



Bureau of Environmental Services





# CUTSHEETS



## INDEX

CENTRIA - IW12 PROFILE

JAMES HARDIE - ARTISAN LAP SIDING

JELD-WEN - CASEMENT PREMIUM VINYL WINDOWS

JELD-WEN - PATIO FIBERGLASS DOOR

KAWNEER - TRIFAB 415 UT STOREFRONT

BP GLASS GARAGE DOORS

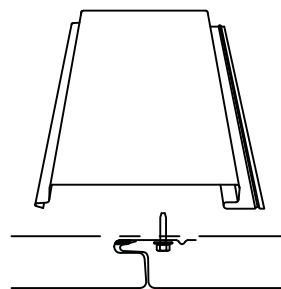
GAF VENTS

LIGHTING

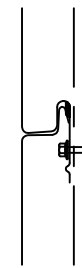
### Description

Six interesting configurations are offered by IW-10A, IW-11A, IW-12A, IW-13A, IW-14A and IW-15A. All IW panels share a common lock-joint design which makes them interchangeable on a project. The lock also permits the placement of concealed fasteners, and minimizes moisture intrusion.

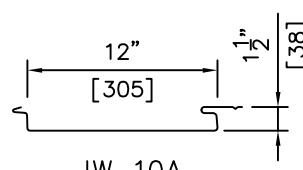
All IW Series wall panels may be installed in a variety of rainscreen applications to form a complete wall system. Systems may vary from an uninsulated screen wall to MetalWrap™ Series, an insulated composite backup panel system with Advanced Thermal and Moisture Protection (ATMP®). Refer to CENTRIA Technical bulletin TB-05-10 for all rainscreen applications.



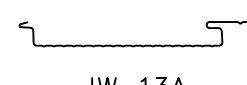
VERTICAL JOINT DETAIL



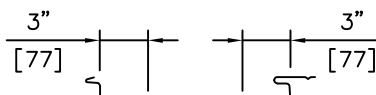
HORIZONTAL JOINT DETAIL



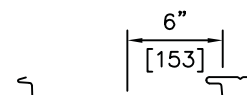
IW-10A



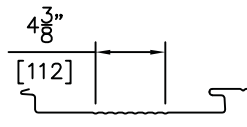
IW-13A



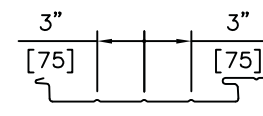
IW-11A



IW-14A



IW-12A



IW-15A

### Notes

- A. For information on special applications, contact your local CENTRIA Sales Representative.
- B. All IW panels may be used on walls & soffits but not on roofs.
- C. Panel length tolerance is  $\pm 1/4"$  [6mm].
- D. For protective coatings - see CENTRIA color chart.
- E. Oil canning within mill tolerances will not be cause for rejection.
- F. Panels must be ordered as "horizontal" when used in a horizontal application.
- G. Horizontal panels must be erected from top to bottom.

### Panel Availability

	GALVANIZED <sup>1</sup> (G90)	STAINLESS STEEL <sup>1</sup> (304)	ALUMINUM <sup>1</sup> (3003-H14)
PANEL THICKNESS	1 1/2" [38mm]	1 1/2" [38mm]	1 1/2" [38mm]
PANEL COVERAGE	12" [305mm]	12" [305mm]	12" [305mm]
LAPS (SIDE)	Interlocking	Interlocking	Interlocking
LAPS (VERTICAL END)	Swage <sup>4,5</sup> or Flash	Swage <sup>4</sup> or Flash	Swage <sup>4,5</sup> or Flash
LAPS (HORIZONTAL END)	Swage <sup>4,5</sup> , Flash, MicroLine Extrusion <sup>6</sup>	Flash, MicroLine Extrusion <sup>6</sup>	Swage <sup>4,5</sup> , Flash, MicroLine Extrusion <sup>6</sup>
GAGES (STANDARD)	20 [.91mm], 22 [.76mm]	22 [.76mm]	.040 [1.02mm], .050 [1.27mm]
GAGES (OPTIONAL)	18 [1.19mm] <sup>3</sup>	N/A	N/A
LENGTH (STANDARD)	5 [1.524m] - 30 ft. [9.144m] <sup>3</sup>	5 [1.524m] - 30 ft. [9.144m]	5 [1.524m] - 20 ft. [6.096m]
LENGTH (OPTIONAL)	1 [.305m] - 5 ft. [1.524m]	1 [.305m] - 5 ft. [1.524m]	1 [.305m] - 5 ft. [1.524m]
STANDARD TEXTURE	Smooth	Smooth	Smooth
OPTIONAL TEXTURE	Embossed <sup>2</sup> (20 [.91mm] - 22 [.76mm] gage only)	Embossed <sup>2</sup>	N/A
FINISHES	See CENTRIA Color Chart	#4 Brushed	See CENTRIA Color Chart

1. Alternate base material, panel lengths and gages may also be available. Contact CENTRIA.  
 2. Embossing is non-directional.  
 3. IW-12A & IW-13A are not available in 18 gage.  
 Max length is 35'-0 for 18 gage  
 Max length is 30'-0 for 20 and 22 gages  
 Max length is 24'-0 for 24 gage  
 4. Shop swaged ends are not available for IW-12A, IW-14A, IW-15A  
 5. Shop swaged ends are not available for 18 gage or .050 panels  
 6. MicroLine Extrusions can be used with horizontally installed panels only

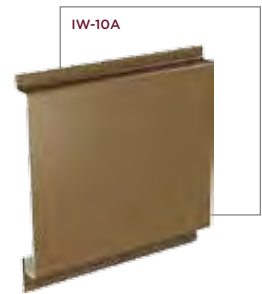
PROFILE SERIES

# IW SERIES

## Concealed Fastener Profiles

IW Series panels have no exposed fasteners for a clean, unbroken aesthetic in a variety of finishes. The panels also feature a common lock-joint design that makes interesting visual effects possible.

For product profile options refer to page 27.



Mazda Dealership  
Elk Grove, CA  
Martin Consulting Group

### FEATURES & BENEFITS

- No exposed panel fasteners
- Cost effective, with a clean, unbroken appearance
- All panels are interchangeable because of the common lock-joint design which allows for interesting visual effects
- Excellent for new construction and retrofit projects
- All-weather installation capability shortens installation time; permits fast-track scheduling
- May be insulated to meet many levels of thermal protection
- Panels are available with stucco-embossed or smooth finishes and in flush, ribbed, striated and stepped profiles

NOTE: Swaged ends of 2" [51mm] length are available in 20 and 22 gages only. Not available in IW-12A, IW-14A, and IW-15A.

### DESCRIPTION

#### SUBSTRATE

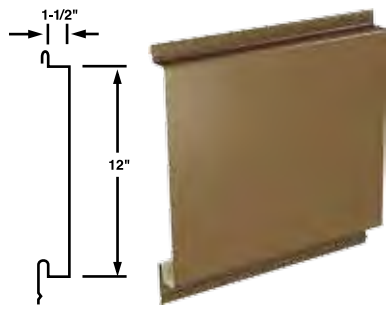
- Standard 22-18 gage G-90 galvanized steel
- Galvalume® steel, aluminum or stainless steel – optional
- Smooth or embossed surface textures

#### IW SERIES PROFILES

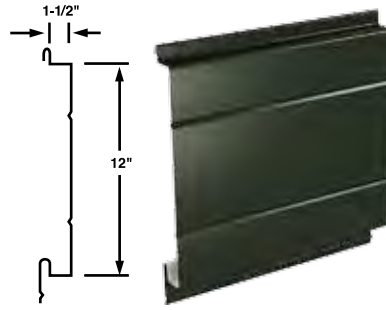
- Lengths up to 30' [9.14m]
- Horizontal or vertical wall installation
- Lock-joint design of IW-10A through IW-41A makes panels interchangeable
- Horizontal applications require a backup with exterior sheathing and a weather-resistant air barrier
- Now available with MicroSeam® corners



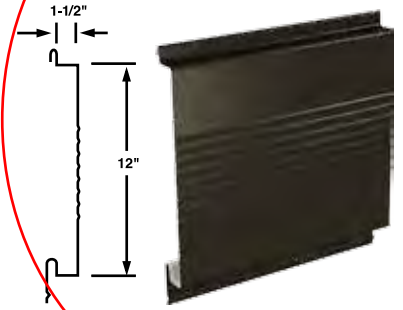
IW-10A



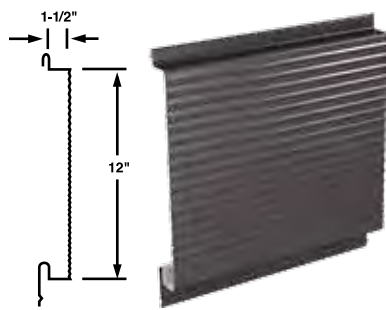
IW-11A



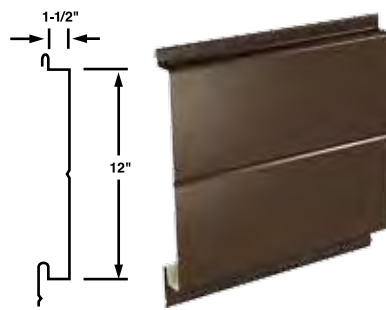
IW-12A



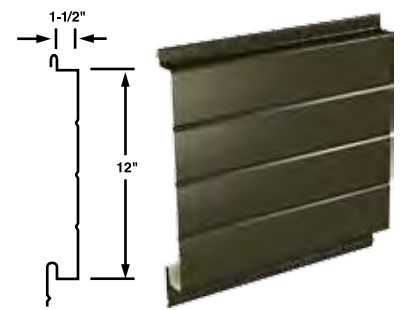
IW-13A



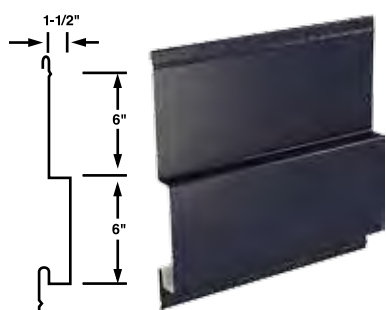
IW-14A



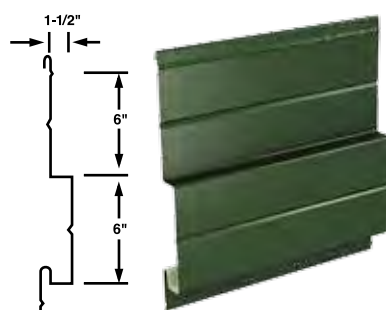
IW-15A



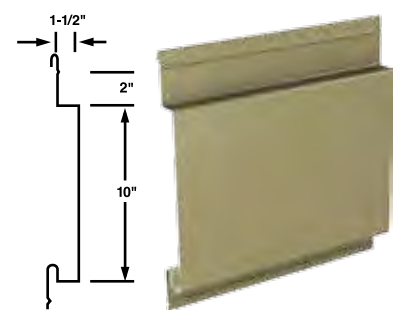
IW-20A



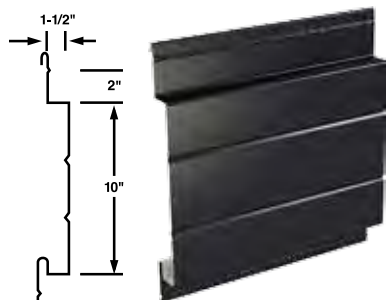
IW-21A



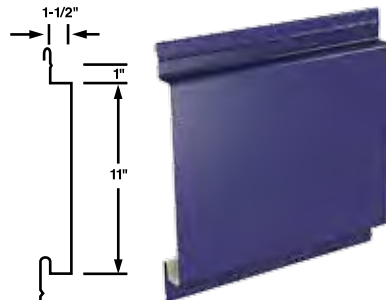
IW-30A



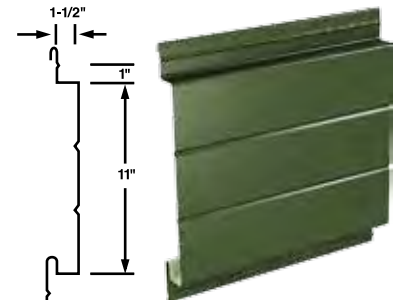
IW-31A



IW-40A



IW-41A

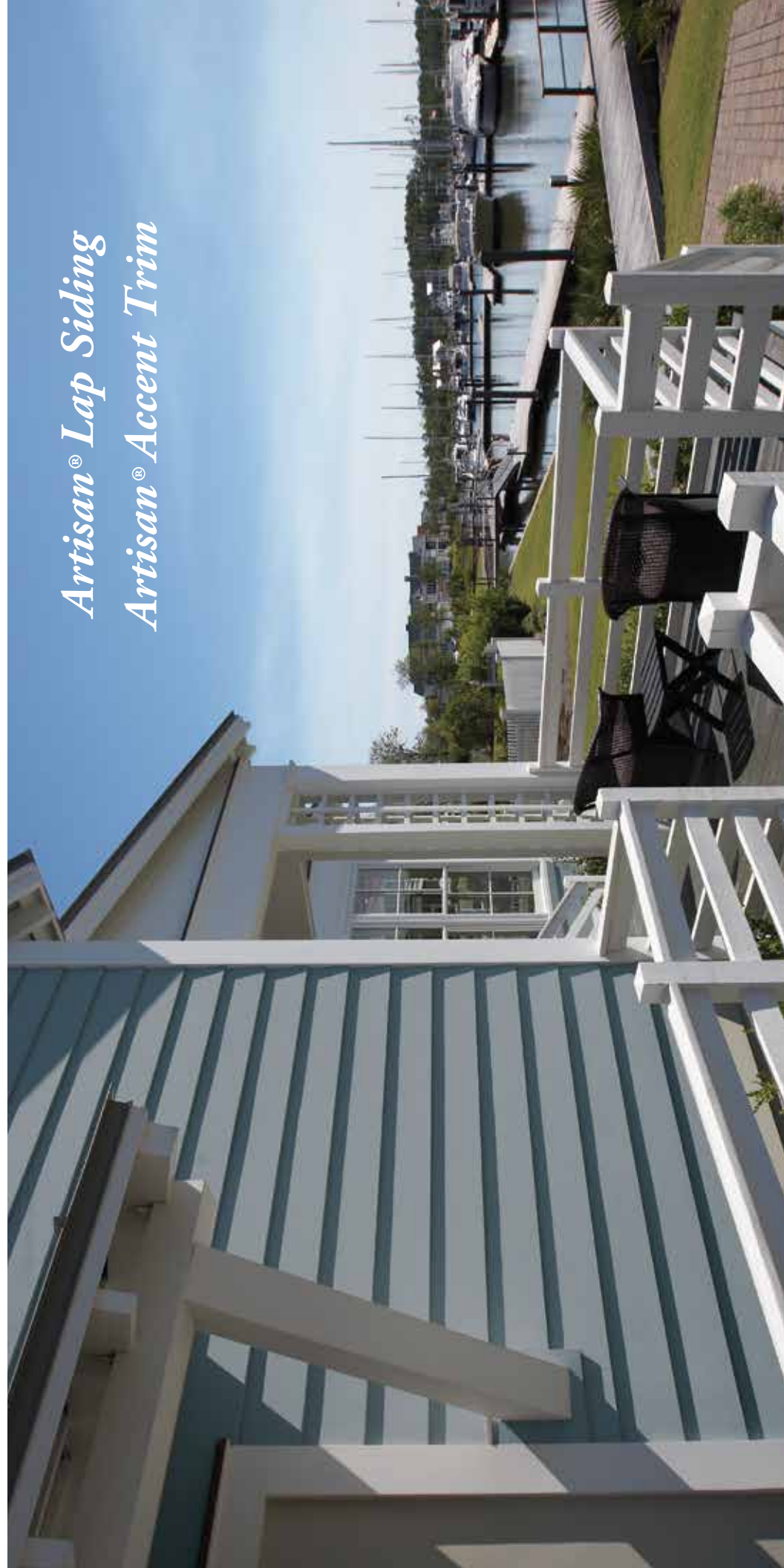


For information about product width in metric, please consult CENTRIA or visit [CENTRIA.com](http://CENTRIA.com).

DESIGN THAT  
ENDURES

*artisan*<sup>™</sup>  
**JamesHardie**

*Artisan® Lap Siding*  
*Artisan® Accent Trim*



# VISUALLY INSPIRING

## Artisan Lap Siding

Artisan lap siding is a premium exterior product that combines elegant aesthetics with the unrivaled durability of James Hardie® siding. This unique product line opens the door to unlimited possibilities giving architects, builders and homeowners alike the opportunity to express themselves through the highest standards in design.

### Details

- Distinctively deep shadow lines
- Ability to miter corners
- Tongue and groove joints provide low profile seams



## PRODUCT SPECIFICATIONS

### Finish

- Ready to Paint
- When painting product, use 100% acrylic paint

### Size/Weight/Texture

Length: 12'

Thickness: 5/8"

Width: 5-1/4" (4" exposure)

7-1/4" (6" exposure)

8-1/4" (7" exposure)

Weight: 4.55 lbs./sq. ft.

Texture: Smooth and Woodgrain

Nail line is 1" from the top edge of the board

### Warranty

Artisan lap siding is protected by a 30-year limited non-prorated warranty. This product replacement warranty is the best in the industry.



*Artisan lap siding is manufactured with a unique tongue and groove joint design for precise fit and finish*

## LONG-LASTING BEAUTY

Artisan lap siding is at the forefront of innovation and is backed by over 15 years of research and development. Boasting absolute precision in its symmetry and engineered for your local climate, Artisan resists flame spread, hurricane-force winds, pests, as well as damage from moisture and rot, snow, ice and hail.



## ARTISAN® LAP SIDING WITH COLORPLUS® TECHNOLOGY COLOR SELECTION

Artisan® lap siding is now even more advanced with the introduction of ColorPlus® Technology. Along with all the features and unlimited design possibilities that Artisan lap siding delivers, you get the benefits of our proprietary ColorPlus Technology. ColorPlus Technology is a consistent, multi-coat, baked-on finish created especially for the demands placed on a home's exterior.

Your zip code has been saved as: 97221

Change your location:



The above HardieZone products are suited for your local climate. [Learn more.](#)

### Artisan® Lap Siding Textured



**Thickness: 5/8"**  
**Weight: 4.55 lbs./sq. ft.**  
**Length: 12' planks**

WIDTHS	5.250"	7.250"	8.250"
EXPOSURE	4.0"	6.0"	7.0"
PRIMED	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

This product is not available in ColorPlus® colors in this area.

### Artisan® Lap Siding Smooth



**Thickness: 5/8"**  
**Weight: 4.55 lbs./sq. ft.**  
**Length: 12' planks**

WIDTHS	5.250"	7.250"	8.250"
EXPOSURE	4.0"	6.0"	7.0"
COLORPLUS®	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
PRIMED	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

### Color Palette



Harris Cream



Shown: Artisan® Lap Siding in Khaki Brown

## Introducing Artisan® Lap Siding with ColorPlus® Technology

---

Artisan® lap siding is now even more advanced with the introduction of ColorPlus® Technology. Along with all the features and unlimited design possibilities that Artisan lap siding delivers, you get the benefits of our proprietary ColorPlus Technology. ColorPlus Technology is a consistent, multi-coat, baked-on finish created especially for the demands placed on a home's exterior.

### **ColorPlus Technology:**

- Eliminates the need to field coat
- Resists chipping, cracking and peeling
- Consistent finish that lasts up to two times longer\*
- ColorPlus Technology finishes are warranted for 15 years

**artisan**<sup>™</sup>  
**JamesHardie**

**ColorPlus**® Technology

\*James Hardie accelerated weathering tests compared with brush-applied national paint in lab environment

ColorPlus® Technology is available in the Midwest and Northeast Regions only.

Artisan Lap Siding is recommended to be used with Artisan Accent Trim. Artisan projects with a mitered corner application should be installed primed and top coated in the field for best results.

Additional installation information, warranties and warnings are available at [www.ArtisanLuxury.com](http://www.ArtisanLuxury.com)

# Artisan® Lap Siding and Artisan™ Accent Trim with ColorPlus® Technology Color Selection

## Artisan® Lap Siding

Length: 12'

Thickness: 5/8"

Width: 5-1/4" (4" exposure)

7-1/4" (6" exposure)

8-1/4" (7" exposure)

Weight: 4.55 lbs./sq. ft.

Texture: Available in Smooth only



## Artisan™ Accent Trim

Length: 12'

Thickness: 1 1/2"

Width: 4" (3.5" actual) and 6" (5.5" actual)

Weight: 8 lbs./sq. ft.

Texture: Available in Smooth only



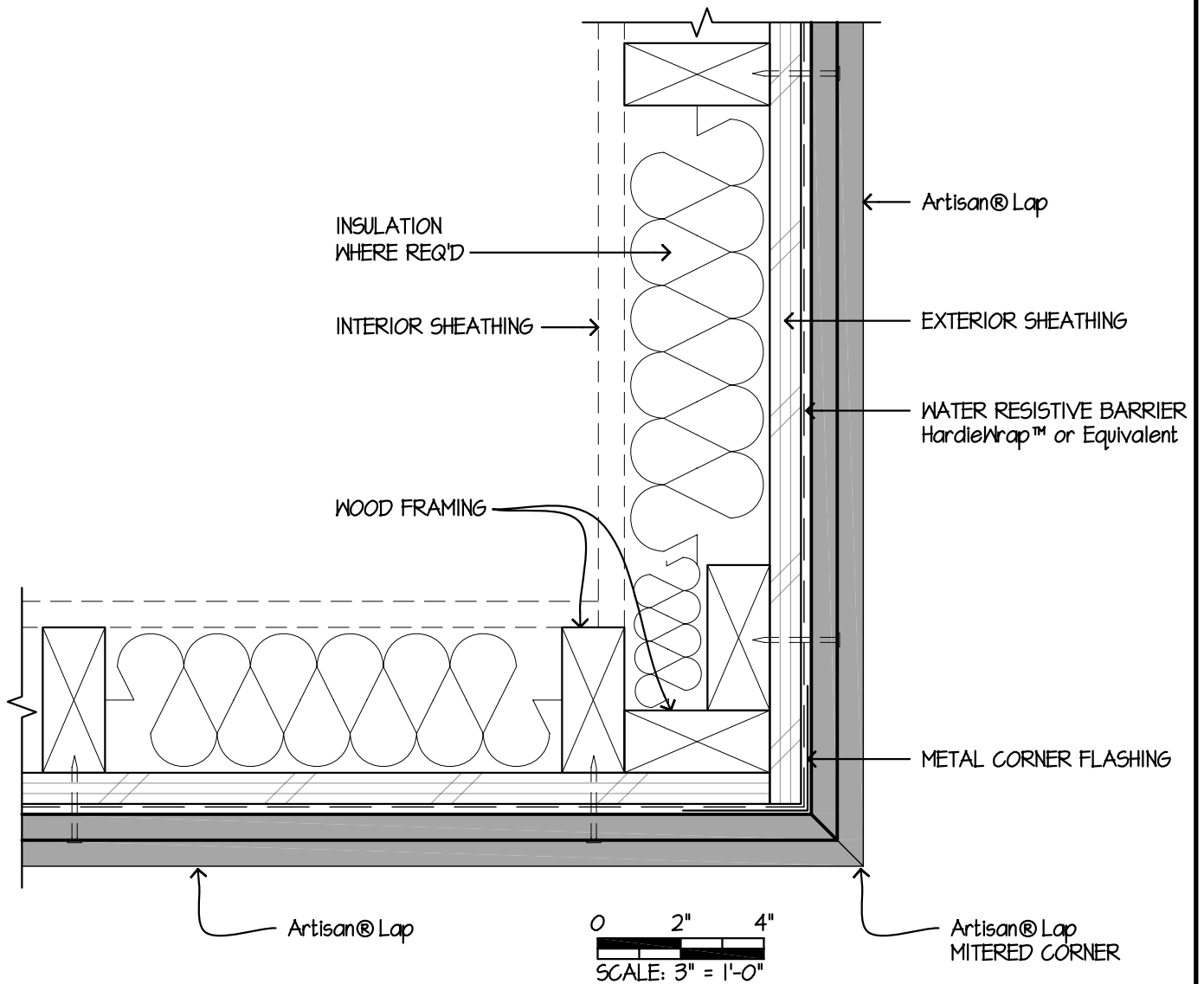
\*Not available in the Northeast Region.

Note: Colors shown are as accurate as printing methods will permit. Please see actual product sample for true color. Product and color availability vary by region and are subject to change. Check with your representative or call 1-866-4-HARDIE for availability in your area.

www.ArtisanLuxury.com • 888.800.7864

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## OUTSIDE CORNER - MITERED LAP SIDING

These drawings are published as an information guide only. These CAD drawings are intended as templates to assist the designer. They do not contain the full details required for construction and must be read in conjunction with the installation instructions on [www.jameshardie.com](http://www.jameshardie.com). You should obtain architectural, engineering or other technical advice to assess the suitability of these drawings to the requirements of your particular project. James Hardie accepts no liability in respect to the use of these drawings.

For fastener specifications and complete installation instructions refer to appropriate documentation at [www.JamesHardie.com](http://www.JamesHardie.com)

### DETAIL:

**ARTISAN  
112**

### Artisan® Lap Siding Details

- Wood Framing
- OSB or Plywood Sheathing
- Shown with Siding Nails Blind Fastened into Framing

*artisan*<sup>™</sup>  
**JamesHardie**









**artisan**  
**JamesHardie**

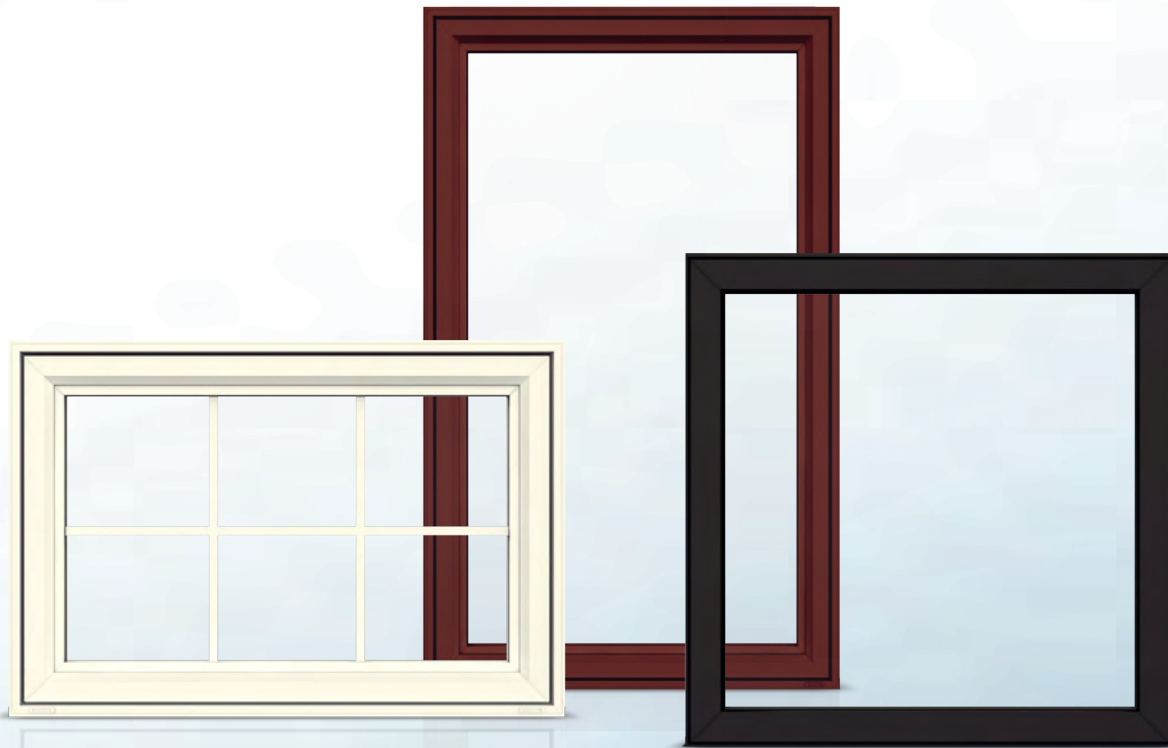
[ArtisanLuxury.com](http://ArtisanLuxury.com)

888.800.7864

Additional installation information, warranties and warnings are available at [ArtisanLuxury.com](http://ArtisanLuxury.com).

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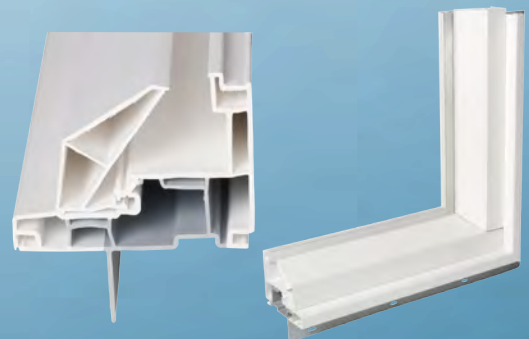
## Premium Windows Enhanced with European Technology



- » Innovative European engineering uses up to 15% more recycled material
- » Co-extruded material
- » More sizes and configurations available
- » Expanded continuous head and sill (CHS) configurations
- » Now tested to PG20, 35, and 50
- » New 1-1/8" Triple Glaze Option to meet R-5; ENERGY STAR® Most Efficient for 2014
- » Multiple fixed options
- » Improved sightlines
- » Available with awning, casement and fixed windows



New construction **operating casement**



Direct set with simulated sash bead

# SUSTAINABLE CONSTRUCTION

## JELD-WEN® Premium Vinyl Windows now utilize colored vinyl recycled from the manufacturing process

Through an innovative dual extrusion process, the regrind from colored vinyl is now able to be utilized. The colored vinyl regrind, with a bit of gray tinting, is used in portions of the window that are unseen after installation.

This doesn't affect the window's performance and the tinted gray coloring is proof of the responsible use of materials.

## Window Frame Styles



Nail Fin Frame



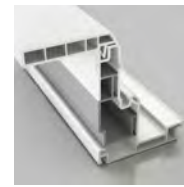
Brickmould



Flat Casing



Pocket/Block Frame

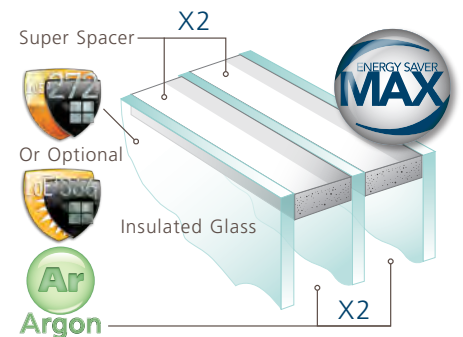


Flush Fin Frame

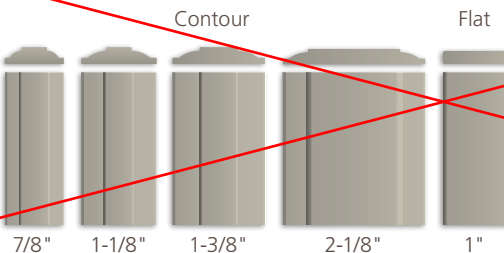
## Energy Saver® Max—REDUCE HEAT LOSS UP TO 50%

For maximum energy protection, select Energy Saver Max. This insulating glass package contains three panes of glass, both with argon filled chambers and Super Spacer. The new Premium Vinyl Casement and Awning windows can be outfitted with a 1-1/8" triple pane insulated glass.

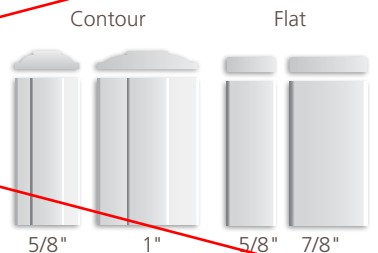
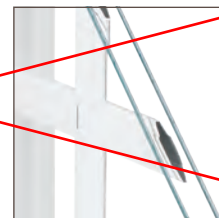
Coated with LoE<sup>2</sup>-272 or optional triple-coated LoE<sup>3</sup>-366, you can rest comfortably even in the harshest weather. Energy Saver Max reduces heat loss by 50% compared to clear insulating glass and is qualified to the Department of Energy Most Efficient rating.



## ~~Simulated Divided Lites (SDL)~~



## ~~Grilles Between the Glass (GBG)~~



## Window Opening Control Device (WOCD)

Factory-installed Window Opening Control Devices (WOCD) from JELD-WEN are designed to meet the ASTM F2090-10 standard intended to prevent accidental falls from windows by children five years of age and younger. Available on casement windows.

## ADA-Compliant Handleset

ADA-Compliant handle options now offered on our Premium Vinyl casement and awning windows.



## Multipoint Lock Casement / Awning



## Nesting Handle Casement / Awning





The JELD-WEN website is your ultimate resource for learning about our reliable windows and doors. It has all the product information and design advice you need. Visit us at [jeld-wen.com](http://jeld-wen.com) today.



**Standard Vinyl Colors\***



White



Desert Sand



Almond

**Woodgrain Colors\*†**



Light Oak



Dark Oak



Cherry



**Exterior Color Finishes\***



Chestnut Bronze



Mesa Red



Hartford Green



French Vanilla



Dark Chocolate



Black



Arctic Silver



Desert Sand

*Variances in photography and printing may cause finish colors shown to vary from the actual finish.*

*\*Actual colors may vary from samples displayed. †Regional availability.*



Official window and door provider of Major League Soccer



JELD-WEN is proud to support a better way to build!



Made in the USA



INSERT FSC LOGO HERE

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JELD-WEN reserves the right to change product specifications without notice. Please check our website, [www.jeld-wen.com](http://www.jeld-wen.com), for current information.

11-92138 05/14 (05/14 HPS 120M)



# CASEMENT WINDOWS

An ideal choice for a contemporary home, our Premium Vinyl casement windows are available with hinges on either the left or right side, facilitating the sash as it opens outward in a swinging motion. In addition, the hinged side of the sash moves away from the jamb, which makes it possible to reach between the sash and the window frame for easy cleaning.

## Standard features

- Color: White
- All frames are assembled utilizing fusion-welded technology for added strength and durability
- Frames come standard with integral nailing fin that can be easily removed for replacement purposes
- Sash is 2-1/4" thick
- Insulating clear glass
- Finpile weatherstrip applied along full perimeter of operating sash
- Double row of nylon-encased, closed-cell foam weatherstrip along full perimeter of the frame
- Casements utilize dual-arm operators with corrosion-resistant coating and a multipoint lock with a single actuating handle. Some smaller units utilize a single-arm dyad operator.
- Fiberglass Charcoal-color insect screen in aluminum frame to match the color of the unit\*
- R20-DP rated

## Optional features

- Color: Desert Sand
- An integral dual-wall flush fin is available for some retrofit applications
- Simulated divided lites—7/8", 1-1/8", 1-3/8" or 2-1/8" contour grilles
- Grilles between the glass—5/8" flat or 1" contour grilles
- Insulating glass available in Low-E, Tinted, Obscure, or other specialty glass as specified
- Tempered glass; up to 1" insulating
- Even sight lines
- C35-DP rated (optional glazing required)



Interior, shown in Desert Sand

*For complete specifications, see page 19.*

*\*Insect screens are intended to allow air and light in and to keep insects out. They are not intended to stop children from falling through an open door or window. For safety screens or other security devices, contact your local building supply retailer.*

## Thermal performance ratings

Glazing	U-factor	SHGC (no grids)	VT (no grids)	SHGC(< 1" grids)	VT (< 1" grids)	SHGC (≥ 1" grids)	VT (≥ 1" grids)
Clear	0.42	0.51	0.53	0.46	0.47	0.41	0.42
Low-E	0.31	0.27	0.46	0.25	0.41	0.22	0.37
Low-E/Arg.	0.3	0.27	0.46	0.25	0.41	0.22	0.37

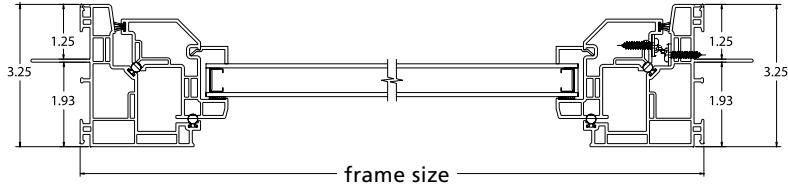
This chart is for reference only. Thermal values are subject to change with glass thickness. Options such as grids may affect Solar Heat Gain (SHGC) and Visible Light Transmittance (VT) values.

**SHGC:** Solar Heat Gain Coefficient; the measurement of the amount of radiant energy through the window. The lower the number the better (the more UV rays are blocked), which translates to less fading on the interior.

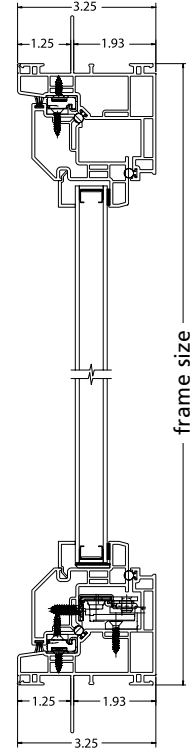
**U-factor:** a measurement of heat flow through the window

**VT (Visible Light):** a direct percentage of available light passing through the glass

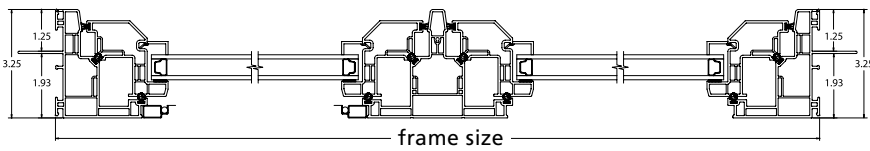
CASEMENT  
HORIZONTAL SECTION



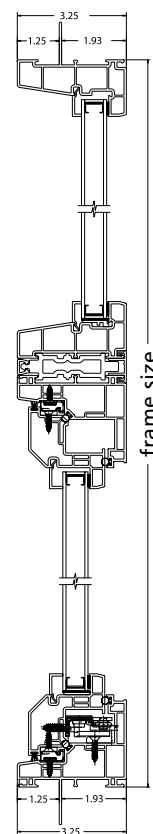
CASEMENT  
VERTICAL SECTION



2-WIDE CASEMENT  
HORIZONTAL SECTION



CASEMENT WITH TRANSOM  
VERTICAL SECTION







# IWP® Aurora® Custom Fiberglass

Exterior Doors

Estate Collection | Craftsman Collection

Classic Collection | Decorative Grille Doors | **Patio Doors**







**A5001 Door and A5701 Sidelight**  
Mahogany Woodgrain, Caramel Finish, Clear IG Glass



**A5001 Door and A5701 Sidelight**  
Paint Surface, Custom Finish, Clear IG Glass



**A5010 SDL Door and A5705 SDL Sidelight**  
Mahogany Woodgrain, Caramel Finish, Clear IG Glass



**A5010 SDL Door and A5705 SDL Sidelight**  
Paint Surface, Khaki Finish, Clear IG Glass



## Paint Surface Colors

For a versatile appearance, select one of our paint surface colors. These options are available for any IWP® Aurora Custom Fiberglass door design. Along with the standard paint surface colors shown here, we can match any JELD-WEN® IWP® Custom Wood window clad color or whatever paint color you select; simply provide us with a 4" x 4" paint sample.



## Antique Finishes

We offer antique finish colors for our door designs. This look is achieved through a multistep process that begins with applying a base stain for basic, overall color. Next, a dark brown or black stain (depending on the base color) is applied between the mouldings, panels and character marks to highlight these areas.

## Distressed Texture

Doors in our Estate Series are available with a distressed surface texture, which gives the doors an aged appearance. To create this texture, we simulate random wormholes and apply character marks to the door's stiles, rails, panels and mouldings. To accentuate these marks, we recommend Knotty Alder woodgrain and an antique finish.



### Hinge Options

Our solid brass concealed-bearing hinges are available in four different finishes, so you can choose one to match or complement the other hardware on your door. If you select Oil-Rubbed Bronze, please note that its appearance will change over time.



Brass

Chrome

Satin Nickel

Oil-Rubbed Bronze

### Decorative Tips

For added character, select our decorative hinge tips. They're available in three shapes, and each shape comes in any of our hinge finish colors.



Steeple

Urn

Ball

### Entry Locksets\*

Visually appealing lock hardware is available for any of our entry doors. This hardware is created with only the finest materials, and it's available in a range of styles for either right-hand or left-hand doors. Each lockset includes an exterior escutcheon plate, mortise lock, interior escutcheon plate and your choice of knob or lever for the interior (depending on the model).

\*Additional Entry Locksets available.



Contemporary Baldwin Seattle, Satin Nickel

Rocky Mountain Contemporary, Light Bronze Patina

Mission, Dark Bronze Patina

### Sills

To help you create a cohesive look for your entrance, we offer sills to match or coordinate with the door's woodgrain and stain color combination.



Aluminum with Bright Brass Finish

Aluminum with Brite Dip Chrome Finish

Aluminum with Bronze Finish

# Trifab® VG (VersaGlaze®)

Trifab® VG 450, 451 & 451T (Thermal) Framing Systems &  
Trifab® 451UT (Ultra Thermal) Framing System

Design + Performance  
Versatility with Unmatched  
Fabrication Flexibility



Preston Pointe, Louisville, KY  
Architect: Potter & Associates Architects PLLC, Louisville, KY  
Glazing Contractor: Kentucky Mirror & Plate Glass Company, Louisville, KY

Trifab® VG (VersaGlaze®) is built on the proven and successful Trifab® platform – with all the versatility its name implies. There are enough framing system choices, fabrication methods, design options and performance levels to please the most discerning building owner, architect and installer. The Trifab® VG family's newest addition, Trifab® 451UT (Ultra Thermal) framing system, is designed for the most demanding thermal performance and employs a “dual” Isolock® Thermal Break.

## Aesthetics

Trifab® VG framing systems offer designers a choice of front-, center-, back- or multi-plane glass applications. Structural silicone glazing (SSG) and Weatherseal glazing options further expand the designers' choices, allowing for a greater range of design possibilities for specific project requirements and architectural styles. All systems have a 4-1/2" frame depth – Trifab® VG 450 has 1-3/4" sightlines, while Trifab® VG 451/451T and Trifab® 451UT have 2" sightlines.



With seamless incorporation of Kawneer entrances or windows, including GLASSvent® visually frameless ventilators, Trifab® VG can be used on almost any project. These framing systems can also be packaged with Kawneer curtain walls and overhead glazing, thereby providing a full range of proven, and tested, quality products for the owner, architect and installer from a single source supplier.

### Economy

Trifab® VG 450, 451 and 451T framing systems offer four fabrication choices to suit your project (Trifab® 451UT available as screw spline fabrication only):

- **Screw Spline** – for economical continuous runs utilizing two piece vertical members that provide the option to pre-assemble units with controlled shop labor costs and smaller field crews for handling and installation.
- **Shear Block** – for punched openings or continuous runs using tubular moldings with shear block clips that provide tight joints for transporting large pre-assembled multi-lite units.
- **Stick** – for fast, easy field fabrication. Field measurements and material cuts can be done when metal is on the job.
- **Type B** – Same fabrication benefits as shear block except head and sill run through.

All systems can be flush glazed from either the inside or outside. The Weatherseal option provides an alternative to SSG vertical



Brighton Landing, Cambridge, MA  
Architects: ADD Inc., Cambridge, MA  
Glazing Contractors: Ipswich Bay Glass Company, Inc., Rowley, MA

mullions for Trifab® VG 450, 451 and 451T. This ABS/ASA rigid polymer extrusion allows complete inside glazing and creates a flush glass appearance on the building exterior without the added labor of scaffolding or swing stages. Additionally, High-Performance (HP) Flashing options are engineered to eliminate perimeter sill fasteners and associated blind seals.

### Finishes

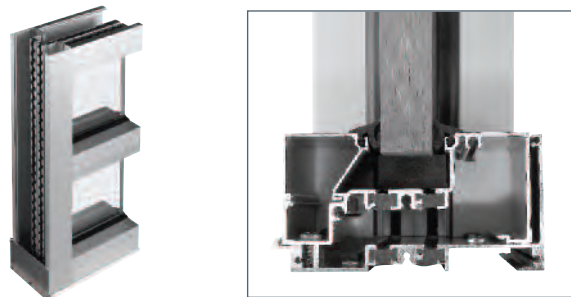
Architectural Class I anodized aluminum finishes are available in clear and Permanodic® color choices.

Painted finishes, including fluoropolymer that meet or exceed AAMA 2605, are offered in many standard choices and an unlimited number of specially-designed colors.

Solvent-free powder coatings add the “green” element with high performance, durability and scratch resistance that meet the standards of AAMA 2604.

### Performance

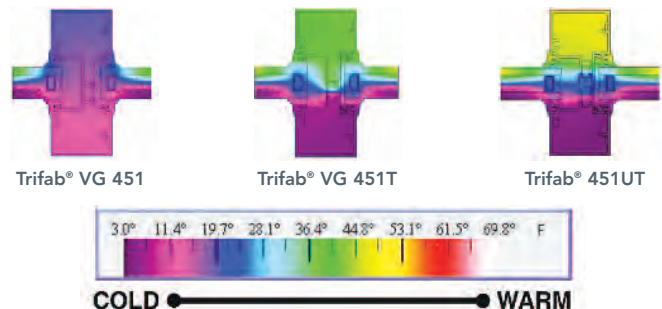
Kawneer’s Isolock® Thermal Break process creates a composite section, prevents dry shrinkage and is available on Trifab® VG 451T. For even greater thermal performance, a “dual” Isolock® Thermal Break is used on Trifab® 451UT.



Trifab® 451UT uses a “dual” Isolock® Thermal Break (right) and features a new HP (High Performance) sill design, which incorporates a screw-applied end dam (left), ensuring positive engagement and tight joints between the sill flashing and end dam.

U-factor, CRF values and STC ratings for Trifab® VG vary depending upon the glass plane application. Project specific U-factors can be determined for each individual project. (See the Kawneer Architectural Manual or Kawneer.com for additional information).

Thermal simulations showing temperature variations from exterior/cold side to interior/warm side.

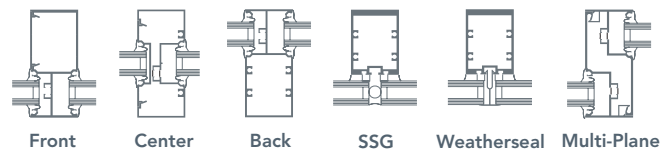


### Performance Test Standards

Air Performance	ASTM E 283
Water	AAMA 501 and ASTM E 331
Structural	ASTM E 330
Thermal	AAMA 1503
Thermal Break	AAMA 505 and AAMA TIR-A8
Acoustical	AAMA 1801 and ASTM E 1425

### Trifab® VG 450, 451 and 451T glazing options

(note: Trifab® 451UT available as center set glass plane only).



Kawneer Company, Inc.  
Technology Park / Atlanta  
555 Guthridge Court  
Norcross, GA 30092

[kawneer.com](http://kawneer.com)  
770 . 449 . 5555



Kawneer Company recognizes the Aluminum Association Designation System, DAF-45 as the standard of the industry. However, for maintenance of internal records, it has been necessary to assign two digit numbers for identification of our standard finishes. Kawneer offers the following standard anodic finishes.

### ANODIZED MATERIAL/FINISH CODE IDENTIFICATION

KAWNEER NO.	COLOR	PROCESS DESCRIPTION & MATERIAL	ALUMINUM ASSOCIATION SPECIFICATION	OTHER COMMENTS
<b>CLEAR ANODIZED FINISHES</b>				
#14	CLEAR	Anodized Aluminum	AA-M10C22A41	Architectural Class I (.7 mils minimum)
#17	CLEAR	Anodized Aluminum	AA-M10C22A31	Architectural Class II (.4 mils minimum)
<b>PERMANODIC™ COLOR FINISHES</b>				
#18	CHAMPAGNE	Anodized Aluminum	AA-M10C22A44	Architectural Class I (.7 mils minimum)
#26	LIGHT BRONZE	Anodized Aluminum	AA-M10C22A44	Architectural Class I (.7 mils minimum)
#28	MEDIUM BRONZE	Anodized Aluminum	AA-M10C22A44	Architectural Class I (.7 mils minimum)
#29	BLACK	Anodized Aluminum	AA-M10C22A44	Architectural Class I (.7 mils minimum)
#40	DARK BRONZE	Anodized Aluminum	AA-M10C22A44	Architectural Class I (.7 mils minimum)
<b>ARCHITECTURAL METALS</b>				
#106	LIGHT SATIN	Anodized Aluminum	AA-M30C12C30A41	Architectural Class I (.7 mils minimum)

All anodic finishes by Kawneer meet the requirements of the Aluminum Association DAF-45 and AAMA 611 for anodized architectural aluminum.

### INSULATING COATINGS

When aluminum is attached directly to steel or other metal, some coating should be applied to serve as a galvanic insulator between dissimilar metals. The most common coating used is zinc primer. This can be any one of several formulations depending on the vehicle and solvent system. Zinc provides cathodic protection for coated metal. The primer should be applied to the steel or metal other than aluminum.

Where aluminum is applied in direct contact with concrete, plaster or other alkaline material, it is advisable to apply a coating to the aluminum to protect it from attack. Frequently, bituminous paint is specified for this purpose. This is an economical asphalt or coal tar derivative that has an excellent water resistance. It also has good resistance to materials such as salts, acids and alkalis that depend upon water as a carrier for ionization purposes. The low cost encourages users to put it on thick as an insulating barrier against galvanic action. Bituminous paint is readily dissolved by almost any organic solvent such as gasoline, lacquer thinner, turpentine, kerosene, etc. It is also influenced by temperature variations which cause it to become soft and sticky in heat, or become hard and brittle in cold weather.

Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.  
© Kawneer Company, Inc., 2014





**GLASS GARAGE DOORS AND ENTRY SYSTEMS**  
**Factory Direct • Worldwide Shipping**

## LIFETIME WARRANTY

*Title 24 Compliant | NFRC Certified | LEED | Wind-Impact-NOA Rated | Lami.-Temp.-IGU | Insulated Frames & Panels*

**bp** glass garage doors are constructed from extruded aluminum alloy frames of superior strength and durability. Our tensile strength is a minimum of 38 ksi, and approximately double the strength of standard 6063-T6 aluminum alloy.

**bp** doors are designed and installed to operate year after year under salt air, moisture and extremely harsh conditions; requiring very low maintenance.

Our Lifetime Door Frame Warranty includes: stainless steel hinges, stainless steel rollers (sealed for life), door frames, tracks and miscellaneous hardware.

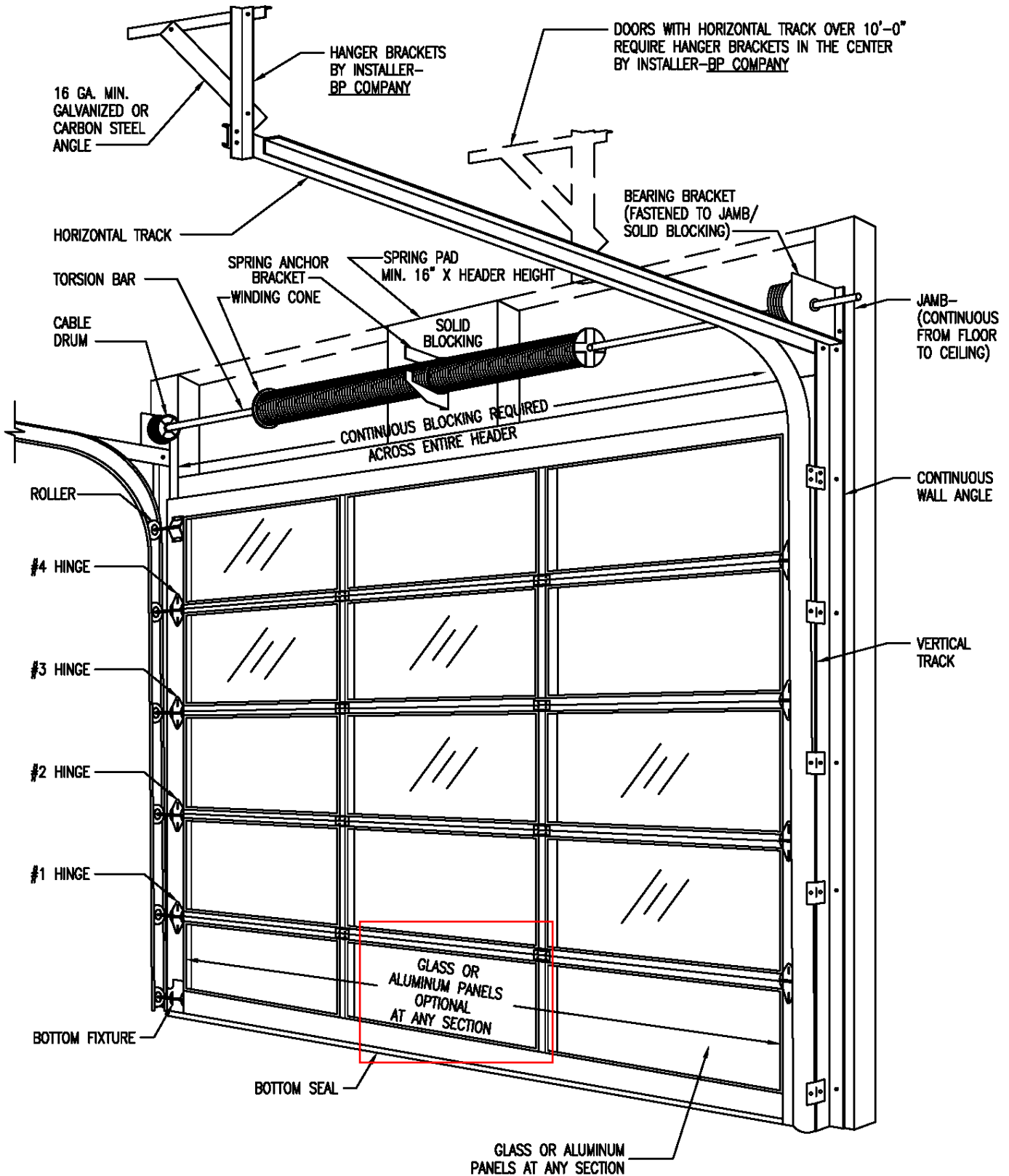


9412 Gidley Street, Temple City, California 91780 • Phone: 877.442.1716 • Fax: 626.579.5320

[www.GlassGarageDoors.com](http://www.GlassGarageDoors.com)

Lic. 750084





INTERIOR ELEVATION



BRYCE PARKER COMPANY  
 9412 GIDLEY STREET  
 TEMPLE CITY, CA 91780  
 (877) 442-1716

DRAWING  
 1 OF 5



### Bathroom Eave Vents



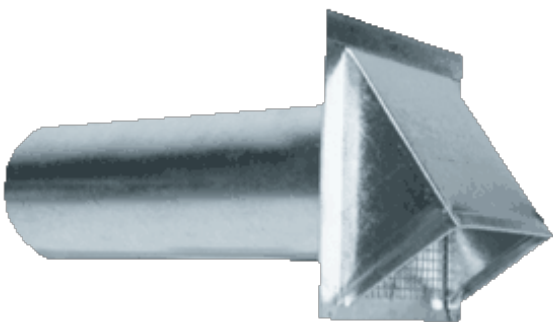
Proudly Designed, Fabricated,  
and Assembled in the U.S.A.

The Bathroom Eave Vent from Master Flow vents bathroom exhaust outside through the undereaves. Features include a white louver to match most undereaves.

- Easy installation with a router saw
- White plastic louver to blend in with eaves
- Wedged sides of louver makes installation easy
- Easily attaches insulated flexible duct or pipe

**Buy at Home Depot**

([http://www.homedepot.com/h\\_d1/N-25ecodZ5yc1v/R-100396926/h\\_d2/ProductDisplay?catalogId=10053&langId=-1&keyword=master+flow+vents&storeId=10051](http://www.homedepot.com/h_d1/N-25ecodZ5yc1v/R-100396926/h_d2/ProductDisplay?catalogId=10053&langId=-1&keyword=master+flow+vents&storeId=10051))





CATALOG NUMBER:	
JOB NAME:	
CUSTOMER NAME:	
NOTES:	TYPE:
	DATE:

**FEATURES AND SPECIFICATIONS**

**WALL LIGHTING**  
**WLD18 SERIES**  
**18" DIE CAST WALL LIGHT**

**Wattages:**

Pulse Start: 200w - 250w Ⓢ  
 High Pressure Sodium: 250w

**Construction:**

Die Cast Aluminum Housing  
 High Output Full Reflector  
 Face Frame Opens to the Side  
 Shallow Back Design  
 Threaded Apertures for Conduit & Photo Control

**Optics:**

Borosilicate Glass Lens

**Electrical:**

UL Listed for Wet Locations

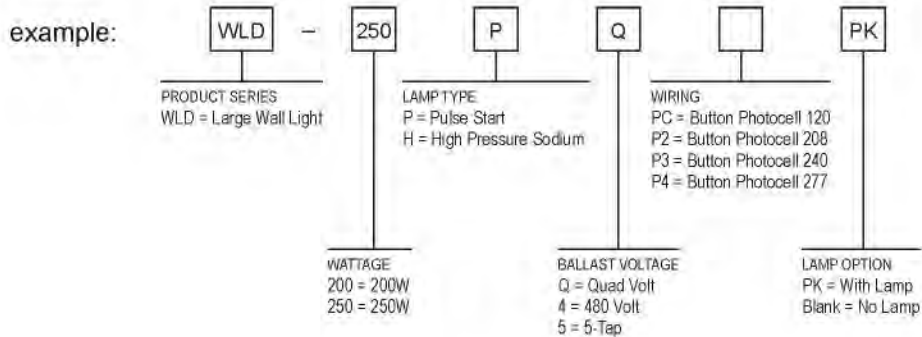
**Specifications:**

Overall height: 9.01" (22.88 cm)  
 Width: 18.2" (46.21 cm)  
 Depth: 9.78" (24.8412 cm)  
 Weight: 32 lbs / 14.51 kg.



**ORDERING INFORMATION**

Order accessories as separate catalog numbers (shipped separately).



Actual performance can vary depending on operating conditions. Specifications are subject to change without notice.

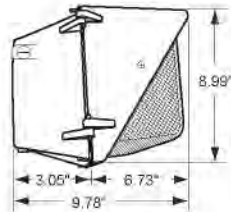
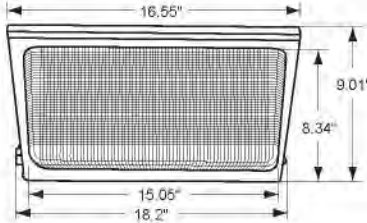


### DIMENSIONS

**Specifications:**

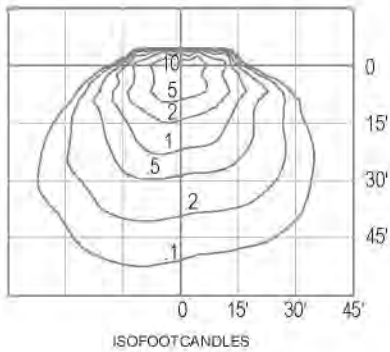
**Overall height:**  
9.01" (22.88 cm)

**Width:**  
18.2" (46.21 cm)

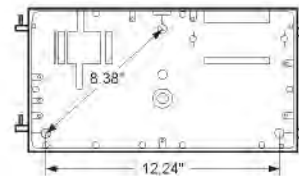


### PHOTOMETRICS

250W PS @ 15' Mounting Height



### MOUNTING DETAILS



Actual performance can vary depending on operating conditions. Specifications are subject to change without notice.

**ATLAS LIGHTING PRODUCTS, INC.**

PO BOX 2348 | BURLINGTON, NC 27216

800-849-8485 | FAX: 336-227-0110 | [www.atlaslightingproducts.com](http://www.atlaslightingproducts.com)



CATALOG NUMBER:	
JOB NAME:	
CUSTOMER NAME:	
NOTES:	TYPE:
	DATE:

**FEATURES AND SPECIFICATIONS**

**WALL LIGHTING**

**WLG11 SERIES**

**11" WALL LIGHT WITH GLASS LENS**

**Wattages:**

Pulse Start: 50w - 100w

High Pressure Sodium: 50w - 100w

Fluorescent: 52w - 84w

**Construction:**

Die Cast Aluminum Housing

Aluminum Base Plate with Conduit Access

**Optics:**

Borosilicate Glass Lens

**Electrical:**

UL Listed for Wet Locations

**Specifications:**

Overall height: 12.94" (32.86 cm)

Width: 7.85" (19.94 cm)

Weight: 13 lbs. / 5.89 kg.



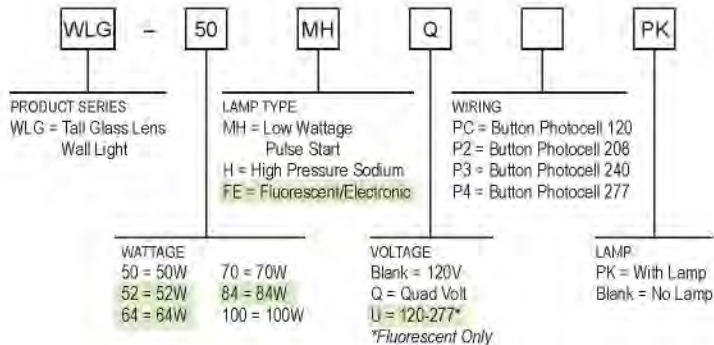
**ACCESSORIES**

- 130-004** WLG Lens with Gasket
- 230-002** Button 120V Photo Control
- 230-008** Button 208-277V Photo Control

**ORDERING INFORMATION**

Order accessories as separate catalog numbers (shipped separately).

example:



Actual performance can vary depending on operating conditions. Specifications are subject to change without notice.

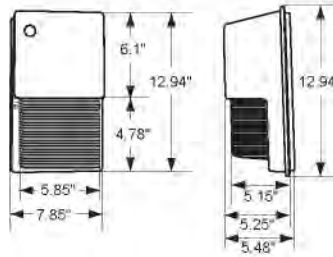
## DIMENSIONS

### Specifications:

**Overall height:**  
12.94" (32.86 cm)

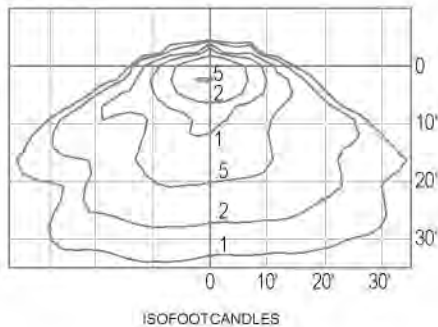
**Width:**  
7.85" (19.94 cm)

**Weight:**  
13 lbs. / 5.89 kg.

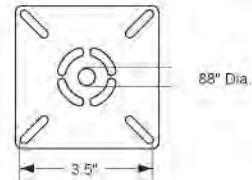


## PHOTOMETRICS

100W PS @ 10' Mounting Height



## MOUNTING DETAILS



Actual performance can vary depending on operating conditions. Specifications are subject to change without notice.

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800-849-8485 | FAX: 336-227-0110 | [www.atlaslightingproducts.com](http://www.atlaslightingproducts.com)



# LB



**Intended Use**

For surface ceiling-mount applications requiring a clean, decorative appearance. Provides high vertical illumination and brightness control.

**Construction**

Acrylic prismatic diffuser with sonic-welded, injection-molded, luminous ends. Matches CB Series in appearance.

White enamel end plates.

Linear side prisms control brightness; pyramidal bottom prisms minimize lamp image.

Continuous, interlocking-diffuser support prevents accidental opening and simplifies cleaning and service.

For surface or stem mounting, unit or row installation. Snap-in aligners permit row mounting without tools.

For surface ceiling-mount, two stems required. For row installation, one stem accessory per fixture plus one per row required. Three-lamp models not available for stem mounting. Stem mounting not available on TLB.

**Electrical**

Ballast disconnect provided standard where required to comply with U.S. and Canadian electrical codes.

**Listings**

UL Listed. CUL Listed or CSA Certified to Canadian standards—optional. NOM Certified—optional.



**ORDERING INFORMATION**

For shortest lead times, configure products using **bolded options**.

**Example:** LB 2 32 MVOLT GEB10IS

Series <sup>1</sup>	Number of lamps	Lamp type	Voltage	Ballast configuration
<b>LB</b> Standard width	<b>2</b>	14T5 14W T5 (22")	<b>MVOLT</b>	<b>(blank)</b> 1- and/or 2- lamp ballasts per Lithonia Lighting standards
<b>2LB</b> Two lamps in wide housing	<b>3<sup>2</sup></b>	17 17W T8 (24")	<b>347<sup>4</sup></b>	1/3 One 3-lamp ballast
	<b>4</b>	28T5 28W T5 (46")		1/4 One 4-lamp ballast
	Not included.	<b>32</b> 32W T8 (48")		
		54T5HO 54W T5 (46") <sup>3</sup>		

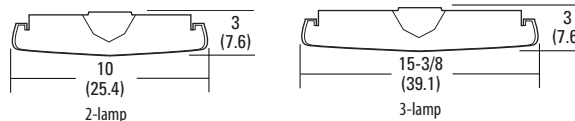
Ballast	Options
<b>GEB10IS</b> T8 electronic ballast, ≤10% THD, instant start <sup>3</sup>	EL Emergency battery pack <sup>6</sup>
GEB10RS T8 electronic ballast, ≤10% THD, programmed rapid start	LSC Lens-securing clips for wall-mount fixtures; two per fixture
GEB10PS T5 electronic ballast, ≤ 10% THD, programmed rapid start <sup>3</sup>	NOM Meets Mexican standards
BINP T8 high-performance ballast, normal ballast factor (.88), instant start <sup>3</sup>	CSA Meets Canadian standards

**ADDITIONAL INFORMATION**

For additional product information, visit [www.lithonia.com](http://www.lithonia.com).

SERIES	CONFIGURATIONS					
	LAMPS PER CROSS SECTION	LAMPS PER FIXTURE	LAMP TYPE	LENGTH IN. (CM)	WIDTH IN. (CM)	HEIGHT IN. (CM)
LB	2	2	17	24 (61.0)	10 (25.4)	3 (7.6)
LB	2	2	14T5	22 (55.9)	10 (25.4)	3 (7.6)
LB	4	4	17	24 (61.0)	15-3/8 (39.1)	3 (7.6)
LB	4	4	14T5	22 (55.9)	15-3/8 (39.1)	3 (7.6)
LB	2	2	32	48 (121.9)	10 (25.4)	3 (7.6)
LB	2	2	28T5, 54T5HO	46 (116.8)	10 (25.4)	3 (7.6)
LB	3	3	32	48 (121.9)	15-3/8 (39.1)	3 (7.6)
LB	3	3	28T5	46 (116.8)	15-3/8 (39.1)	3 (7.6)
LB	4	4	32	48 (121.9)	15-3/8 (39.1)	3 (7.6)
LB	4	4	28T5	46 (116.8)	15-3/8 (39.1)	3 (7.6)
2LB	2	2	32	48 (121.9)	15-3/8 (39.1)	3 (7.6)
2LB	2	2	28T5, 54T5HO	46 (116.8)	15-3/8 (39.1)	3 (7.6)
TLB	2	4	32	96 (243.8)	10 (25.4)	3 (7.6)
TLB	2	4	28T5, 54T5HO	92 (233.7)	10 (25.4)	3 (7.6)
TLB	3	6	32	96 (243.8)	15-3/8 (39.1)	3 (7.6)
TLB	3	6	28T5	92 (233.7)	15-3/8 (39.1)	3 (7.6)
TLB	4	8	32	96 (243.8)	15-3/8 (39.1)	3 (7.6)
TLB	4	8	28T5	92 (233.7)	15-3/8 (39.1)	3 (7.6)
T2LB	2	4	32	96 (243.8)	15-3/8 (39.1)	3 (7.6)
T2LB	2	4	28T5, 54T5HO	92 (233.7)	15-3/8 (39.1)	3 (7.6)

Drawings are for dimensional detail only and may not represent actual mechanical configuration. Dimensions are shown in inches (centimeters) unless otherwise noted.

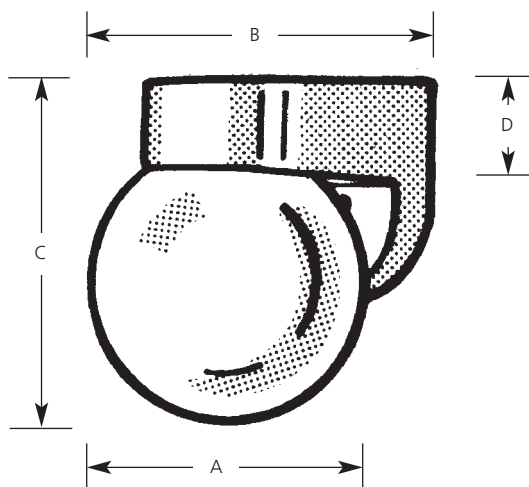


**Notes**

- For tandem double-length unit, add prefix T. Example: TLB.
- Available with 28T5 and 32 only.
- Not available in three- and four-lamp configurations.
- Available only with CSA options.
- Consult [www.lithonia.com](http://www.lithonia.com) for additional high-performance ballast options.
- Consult [www.lithonia.com](http://www.lithonia.com) for available options.

Type \_\_\_\_\_  
 -30 -31  
 P5813

Catalog No.	Finish		Lamping	Dimensions (Inches)			
	White	Black		A	B	C	D
P5813	-30	-31	1-60w A19	6	6-1/2	7-3/4	2-1/2



**Specifications:**

General

- Black or White finish
- Polycarbonate wall bracket
- 6" acrylic globe
- Globe held in place with a thumbscrew

Electrical

- Medium based ceramic socket with nickel-plated brass screw shell

Labeling

- UL-CUL wet location listed

Mounting

- Wall mount
- Covers outlet box
- Outlet box strap with center lock-up furnished
- Back plate 4-3/8" W., 4-3/4" ht.





- **Compatible Bulb Types:** Nearly all bulb types can be found for the E26 Medium Base, options include Incandescent, Fluorescent, LED, Halogen, and Xenon / Krypton.

**Specifications:**

- Bulb Base: Medium (E26)
- Bulb Included: No
- Bulb Type: Compact Fluorescent, Incandescent
- Dark Sky: Yes
- Energy Star: No
- Height: 7.25
- Includes Glass Guard: No
- Light Direction: Down Lighting
- Location Rating: Damp Location
- Material: Aluminum
- Number of Bulbs: 1
- Product Weight: 5
- Shade: Yes
- Shade Color: White
- Shade Material: Glass
- Shade Shape: Round
- Voltage: 120
- Wattage: 75
- Watts Per Bulb: 75
- Width: 8

**Compliance:**

- **Dark Sky Lighting:** Known as Cut Off Lighting, or Friendly Lighting, Dark Sky refers to lighting fixtures that reduce excess lighting and reduces sky glow to eliminate wasted energy allowing the night sky to shine.

Since 1922, Hinkley Lighting has been driven by a passion to blend design and function in creating quality products that enhance your life. Hinkley is continually recommended by interior and exterior designers, and is available to you through premier lighting showrooms across the country. They pride themselves in delivering superior customer service that is second to none. They know that you have goals when it comes to your home's décor, and they care about helping you achieve the final outcome you are looking for in every aspect.

**Additional Information**

[Installation Guide](#)

**Additional Hinkley Lighting Links**

- [View Manufacturer Warranty](#)
- [Shop All Hinkley Lighting Products](#)
- [Shop All Hinkley Lighting Luna Collection Products](#)

**Our SKU: Hinkley Lighting 1663**

This product is listed under the following manufacturer number(s):

[Hinkley Lighting 1663BZ](#)   [Hinkley Lighting 1663SK](#)   [Hinkley Lighting 1663TT](#)  
 Bronze                      Satin Black                      Titanium

\*Denotes a finish or option that has been discontinued



[Progress Lighting P5741](#)  
\$89.64



[Hinkley Lighting 1763](#)  
\$199.00



[Kichler 9244](#)  
★★★★★(5)  
\$75.65

Hinkley Lighting 1663 Technical Specs

<b>Base Color</b>	Black, Bronze, Silver
<b>Bulb Base</b>	Medium (E26)
<b>Bulb Included</b>	No
<b>Bulb Type</b>	Compact Fluorescent, Incandescent
<b>Collection</b>	Luna
<b>Dark Sky</b>	Yes
<b>Diameter</b>	8
<b>Energy Star</b>	No
<b>Finish Application</b>	Satin
<b>Genre</b>	Contemporary
<b>Height</b>	7.25
<b>Includes Glass Guard</b>	No
<b>Light Direction</b>	Down Lighting
<b>Location Rating</b>	Damp Location
<b>Material</b>	Aluminum
<b>Number of Bulbs</b>	1
<b>Product Weight</b>	5
<b>Shade</b>	Yes
<b>Shade Color</b>	White
<b>Shade Material</b>	Glass
<b>Shade Shape</b>	Round
<b>Suggested Room Fit</b>	Outdoor
<b>UL Listed</b>	Yes
<b>UL Rating</b>	Damp Location
<b>Voltage</b>	120
<b>Wattage</b>	75
<b>Watts Per Bulb</b>	75
<b>Width</b>	8

1 Question from the Community



- Stainless Steel finish made of stainless steel
- Metro Bronze finish made of solid brass
- Designed to cast a soft ambient light over a wide area
- Suitable for wet locations

**Lamping Technologies:**

- **Bulb Base - Medium (E26):** The E26 (Edison 26mm), Medium Edison Screw, is the standard bulb used in 120-Volt applications in North America. E26 is the most common bulb type and is generally interchangeable with E27 bulbs.
- **Compatible Bulb Types:** Nearly all bulb types can be found for the E26 Medium Base, options include Incandescent, Fluorescent, LED, Halogen, and Xenon / Krypton.

**Specifications:**

- ADA: No
- Backplate Height: 9"
- Backplate Width: 4.75"
- Bulb Base: Medium (E26)
- Bulb Included: No
- Bulb Type: Compact Fluorescent, Incandescent
- Dark Sky: No
- Energy Star: No
- Extension: 7.5" (measured from mounting surface to furthest protruding point on fixture)
- HCO: 7.5" (height from center of outlet)
- Height: 12"
- Location Rating: Wet Location
- Material: Brass, Stainless Steel
- Number of Bulbs: 1
- Product Weight: 6 lbs
- Shade Material: Glass
- Shade Type: Etched
- Voltage: 120v
- Wattage: 60
- Watts Per Bulb: 60

**About Hinkley Lighting:**

Since 1922, Hinkley Lighting has been driven by a passion to blend design and function in creating quality products that enhance your life. Hinkley is continually recommended by interior and exterior designers, and is available to you through premier lighting showrooms across the country. They pride themselves in delivering superior customer service that is second to none. They know that you have goals when it comes to your home's décor, and they care about helping you achieve the final outcome you are looking for in every aspect. Hinkley Lighting provide outdoor wall lights that increase security and peace of mind, as well as adding a complementary welcoming style and appeal to the exterior of a home.

**Additional Information**

- [Specification Sheet \(Stainless Steel\)](#)
- [Installation Guide](#)

**Additional Hinkley Lighting Links**

- [View Manufacturer Warranty](#)
- [Shop All Hinkley Lighting Products](#)
- [Shop All Hinkley Lighting Saturn Collection Products](#)

**Our SKU: Hinkley Lighting H1900**

This product is listed under the following manufacturer number(s):

- [Hinkley Lighting 1900MT](#)
- [Hinkley Lighting 1900O1\\*](#)
- [Hinkley Lighting 1900SS](#)



[The Great Outdoors GO 9801](#)  
 ★★★★★ (8)  
 \$109.90



[Hinkley Lighting 1900-GU24](#)  
 \$219.00



[Hinkley Lighting H1904](#)  
 ★★★★★ (1)  
 \$329.00

Accessories

[Related Items](#)



[Hinkley Lighting H1579](#)  
 12v 18w Stainless Steel Pathlight from the Saturn Collection  
 \$129.00

Hinkley Lighting H1900 Technical Specs

<b>ADA</b>	No
<b>Backplate Height</b>	9
<b>Backplate Width</b>	4.75
<b>Base Color</b>	Bronze, Stainless Steel
<b>Bulb Base</b>	Medium (E26)
<b>Bulb Included</b>	No
<b>Bulb Type</b>	Compact Fluorescent, Incandescent
<b>Collection</b>	Saturn
<b>Dark Sky</b>	No
<b>Energy Star</b>	No
<b>Extension</b>	7.5
<b>Genre</b>	Contemporary
<b>HCO</b>	7.5
<b>Height</b>	12
<b>Light Direction</b>	Ambient Lighting
<b>Location Rating</b>	Wet Location
<b>Material</b>	Brass, Stainless Steel
<b>Motion Sensor</b>	No
<b>Number of Bulbs</b>	1
<b>Photocell</b>	No
<b>Product Weight</b>	6
<b>Shade</b>	Yes
<b>Shade Color</b>	White



Metro Bronze Olde Iron Stainless Steel  
[Hinkley Lighting 1900VK\\*](#)  
Vintage Black

\*Denotes a finish or option that has been discontinued

0 Questions from the Community

<b>Shade Material</b>	Glass
<b>Shade Shape</b>	Cylinder
<b>Shade Type</b>	Etched
<b>Solar</b>	No
<b>Suggested Room Fit</b>	Outdoor
<b>UL Listed</b>	Yes
<b>UL Rating</b>	Wet Location
<b>Voltage</b>	120
<b>Wattage</b>	60
<b>Watts Per Bulb</b>	60
<b>Width</b>	6

Buy the Hinkley Lighting 1900MT in Metro Bronze at [LightingDirect.com](#). Research Hinkley Lighting 1900MT in Metro Bronze online. Find Hinkley Lighting 1900MT in Metro Bronze features and specifications. Get the best deal by comparing the Hinkley Lighting 1900MT in Metro Bronze today.

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1 Light 21.75" Height Post Light from the Saturn Col...

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1 Light Fluorescent Post Light from the Saturn Colle...

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## Hinkley Lighting 1900MT Metro Bronze 12" Height 1 Light Outdoor Wall Sconce from the

Item #: RCI310768



### Features:

- Etched Opal glass cylinder shade
- Etched glass shades offer creative patterns and designs
- Stainless Steel finish made of stainless steel
- Metro Bronze finish made of solid brass
- Designed to cast a soft ambient light over a wide area
- Suitable for wet locations

### Lamping Technologies:

- **Bulb Base - Medium (E26):** The E26 (Edison 26mm), Medium Edison Screw, is the standard bulb used in 120-Volt applications in North America. E26 is the most common bulb type and is generally interchangeable with E27 bulbs.
- **Compatible Bulb Types:** Nearly all bulb types can be found for the E26 Medium Base,





Features:

- Cased Opal-Etched glass cylinder shape included with the Metro Bronze finish
- Etched Opal glass cylinder shape included with the Stainless Steel finish
- Etched glass shades offer creative patterns and designs
- Lantern style shades offer a timeless and appealing look
- Stainless Steel finish made of stainless steel
- Metro Bronze finish made of solid brass
- Designed to cast a soft ambient light over a wide area
- Suitable for wet locations

Lamping Technologies:

- **Bulb Base - Medium (E26):** The E26 (Edison 26mm), Medium Edison Screw, is the standard bulb used in 120-Volt applications in North America. E26 is the most common bulb type and is generally interchangeable with E27 bulbs.
- **Compatible Bulb Types:** Nearly all bulb types can be found for the E26 Medium Base, options include Incandescent, Fluorescent, LED, Halogen, and Xenon / Krypton.

Specifications:

- Bulb Base: Medium (E26)
- Bulb Included: No
- Bulb Type: Compact Fluorescent, Incandescent







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## Hinkley Lighting 1901MT Metro Bronze 1 Light 21.75" Height Post Light fro

Item #: BCI310770

View the entire [Saturn Collection](#)

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### Product Details for the Hinkley Lighting 1901MT in Metro Bronze

This product has additional required/recommended options. To configure, add to your cart.



### Single Light 21.75" Height Post Light from the Saturn Collection

#### Features:

- Cased Opal-Etched glass cylinder shape included with the Metro Bronze finish
- Etched Opal glass cylinder shape included with the Stainless Steel finish
- Etched glass shades offer creative patterns and designs
- Lantern style shades offer a timeless and appealing look
- Stainless Steel finish made of stainless steel
- Metro Bronze finish made of solid brass
- Designed to cast a soft ambient light over a wide area
- Suitable for wet locations

#### Lamping Technologies:

- **Bulb Base - Medium (E26):** The E26 (Edison 26mm), Medium Edison Screw, is the standard bulb used in 120-Volt applications in North America. E26 is the most common bulb type and is generally interchangeable with E27 bulbs.
- **Compatible Bulb Types:** Nearly all bulb types can be found for the E26 Medium Base, options include Incandescent, Fluorescent, LED, Halogen, and Xenon / Krypton.

**Specifications:**

- Bulb Base: Medium (E26)
- Bulb Included: No
- Bulb Type: Compact Fluorescent, Incandescent
- Dark Sky: No
- Energy Star: No
- Height: 21.75"
- Location Rating: Wet Location
- Material: Brass, Stainless Steel
- Number of Bulbs: 1
- Post Included: No
- Product Weight: 13 lbs, 14 lbs
- Shade Material: Glass
- Shade Type: Etched
- Voltage: 120v
- Wattage: 100
- Watts Per Bulb: 100
- Width: 10" (measured from furthest point left to furthest point right on fixture)

**About Hinkley Lighting:**

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**Additional Information**

- [Specification Sheet \(Stainless Steel\)](#)
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**Our SKU: Hinkley Lighting H1901**

This product is listed under the following manufacturer number(s):

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- [Hinkley Lighting 1901OI\\*](#) Olde Iron
- [Hinkley Lighting 1901SS](#) Stainless Steel
- [Hinkley Lighting 1901VK\\*](#) Vintage Black

\*Denotes a finish or option that has been discontinued

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# PROCESS

DAR1

DAR2

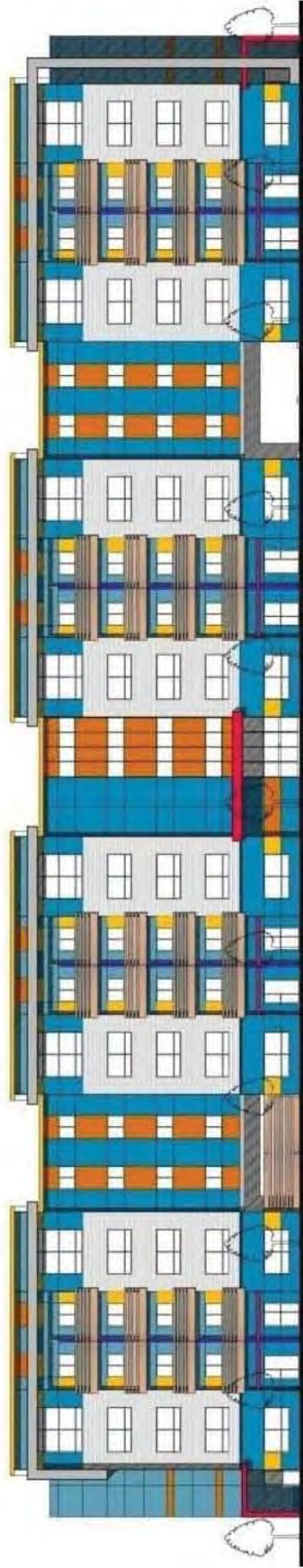
DAR3

DAR4

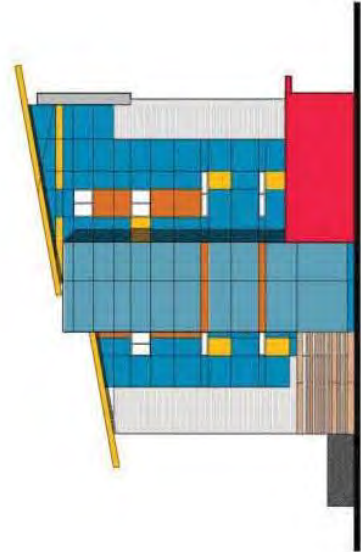




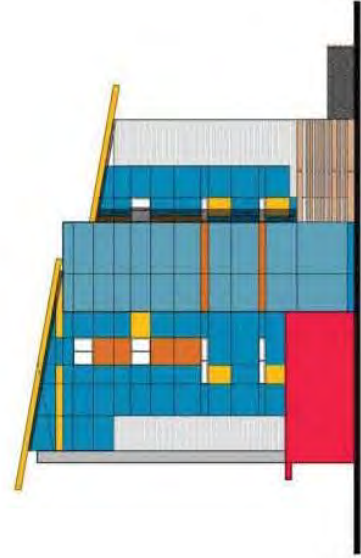
EAST ELEVATION



WEST ELEVATION (NE 102nd AVE.)



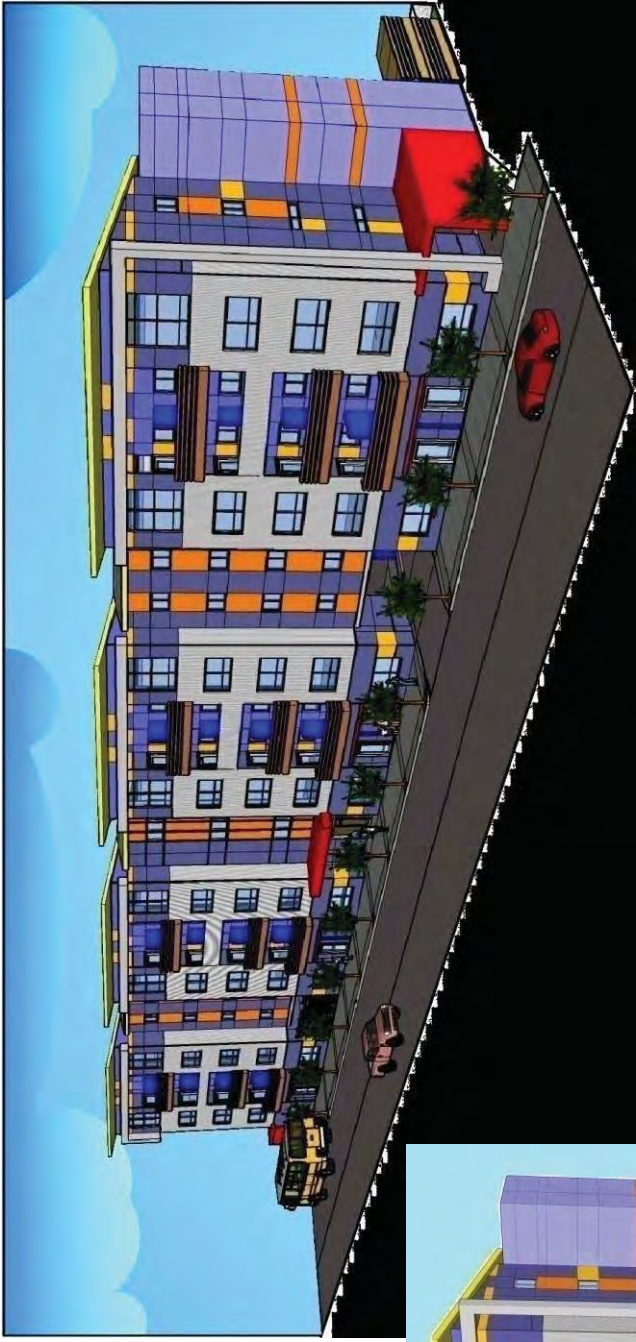
NORTH ELEVATION



SOUTH ELEVATION

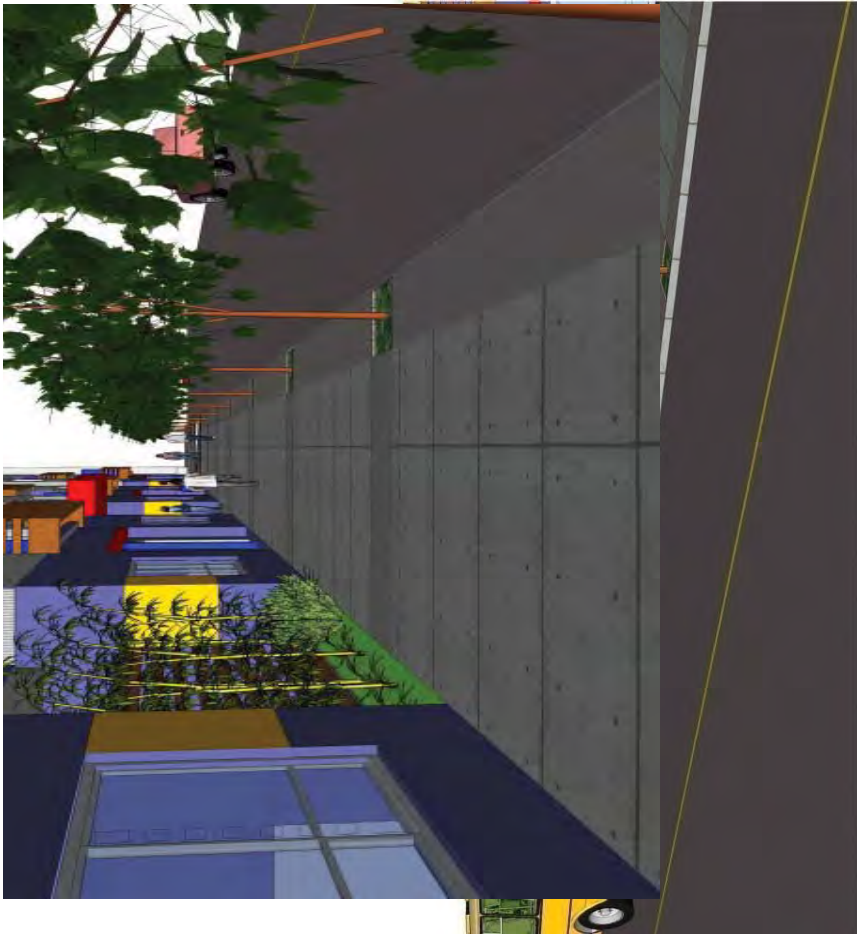
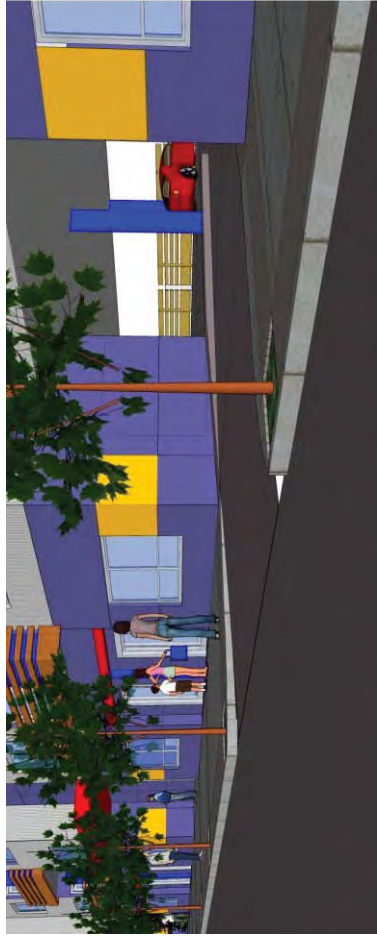
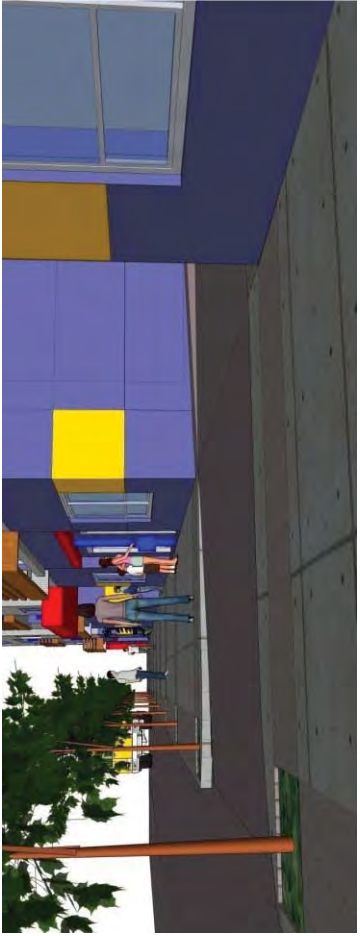


# General Images





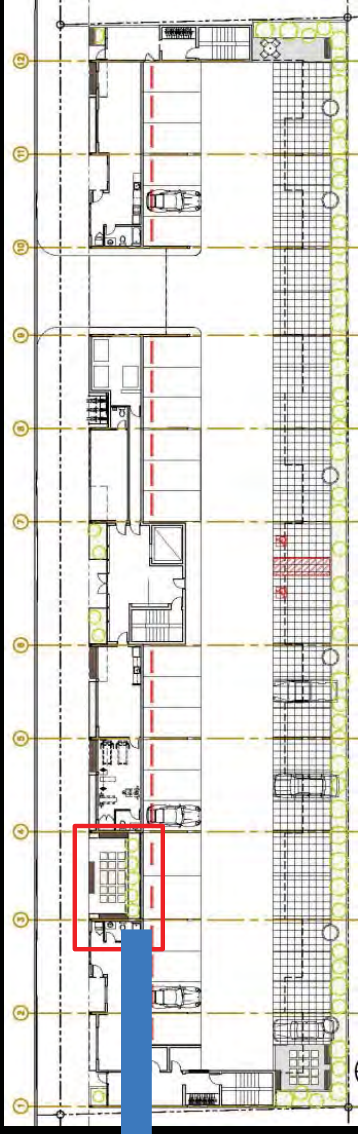
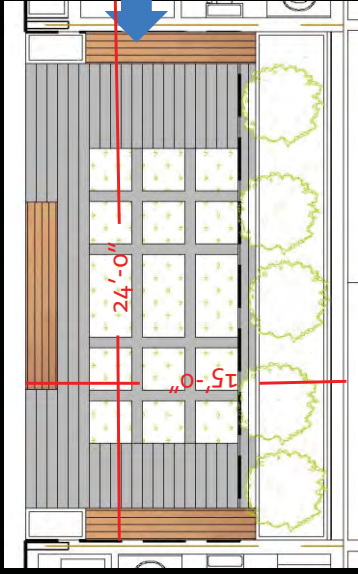
# Pedestrian Images



# Exterior Landscape Areas

Offer something in order to get modifications  
Provide some space for residents to do something outside

- Community plaza
- Public / private use
- 360 sq. ft.



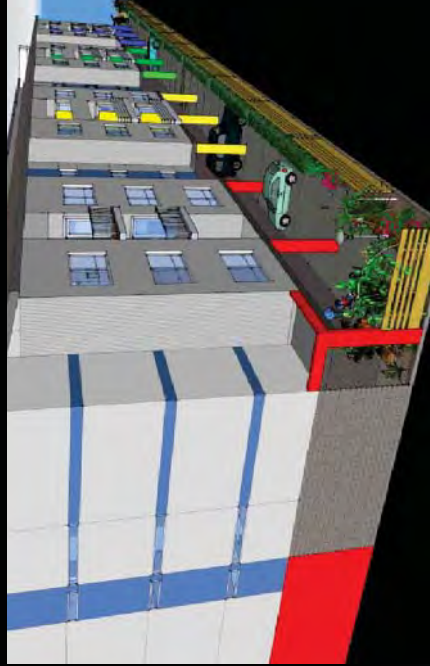
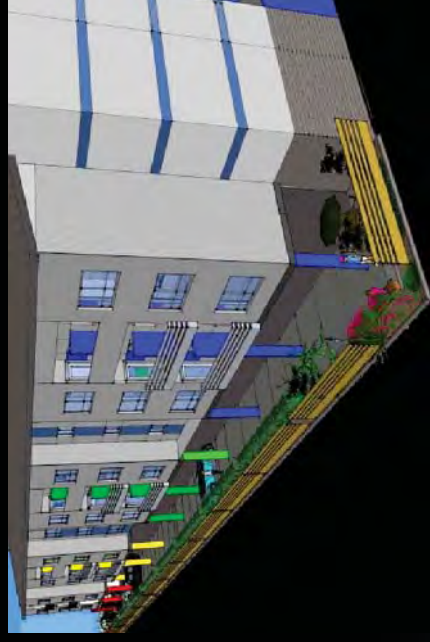


# General Images



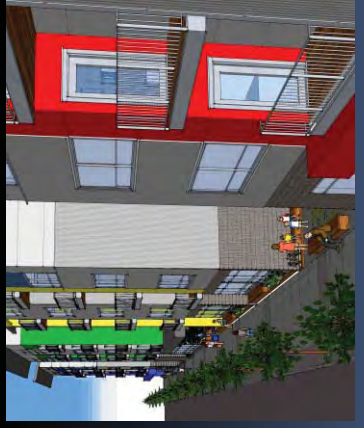


# General Images





# Pedestrian Images





# Elevations Comparison

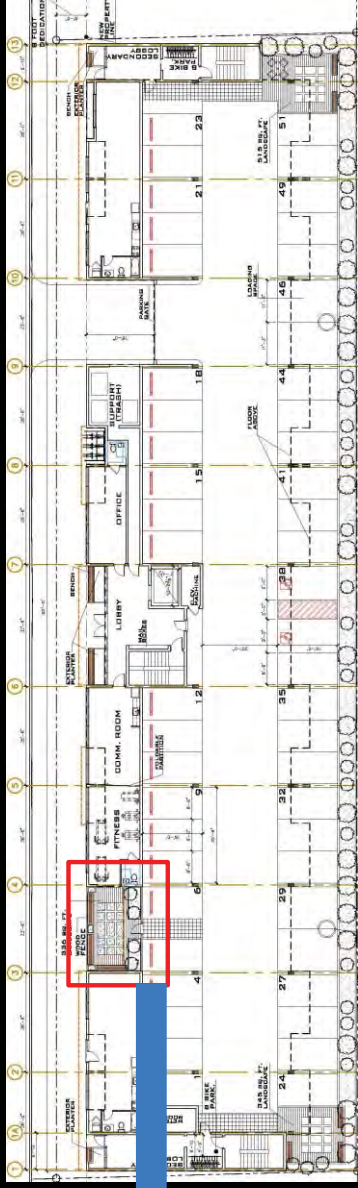
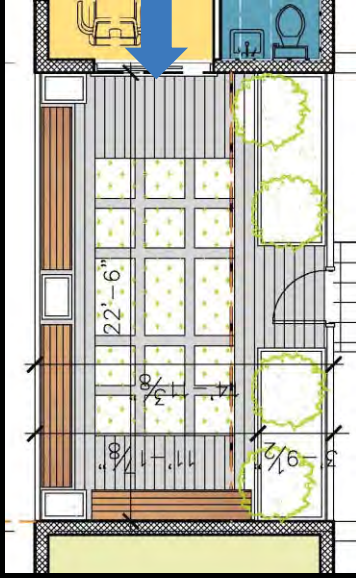


The bold exterior colors reflect the design strategy of identification and composition, the long west façade engages in a fluent dialog with the surrounding and make a friendly pedestrian environment



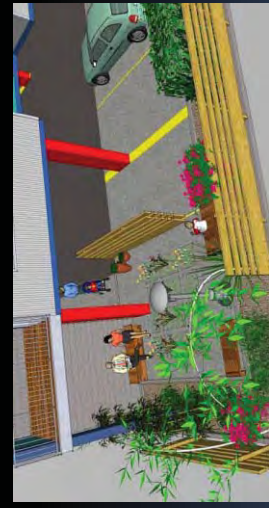
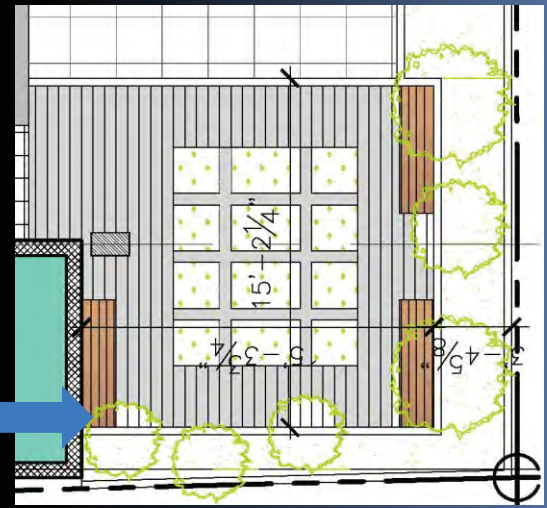
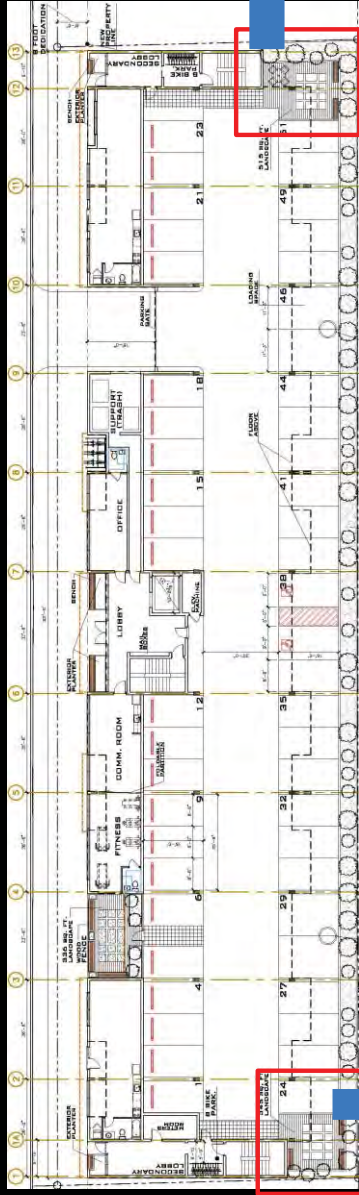
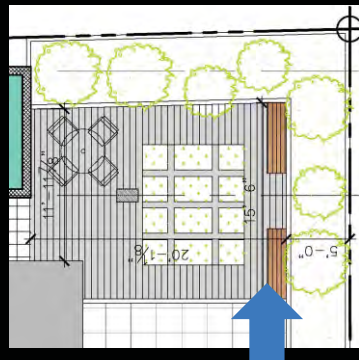
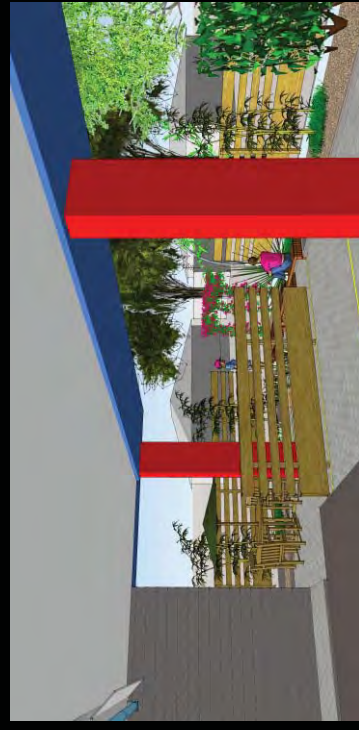
# Exterior Landscape Areas

- Community piazza
- Public / private use
- 336 sq. ft.





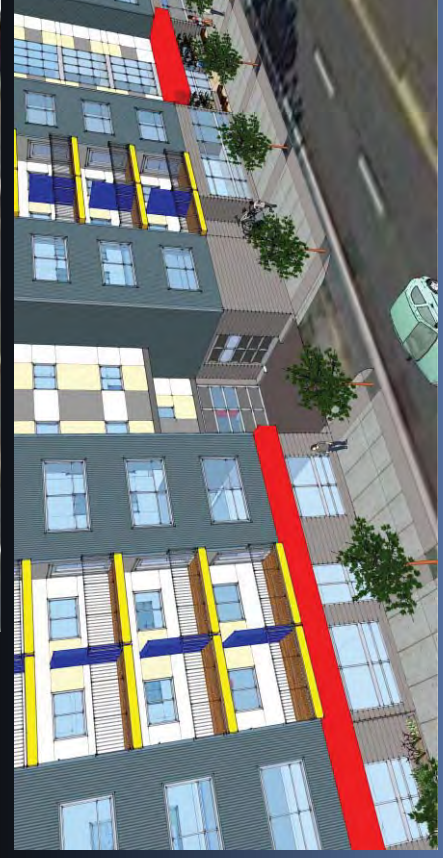
# Interior Landscape Areas



- 2 interior landscape areas
- private use
- 345 sq. ft. N area
- 515 sq. ft. S area

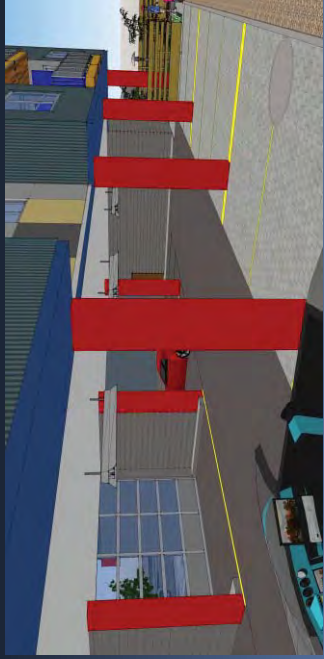
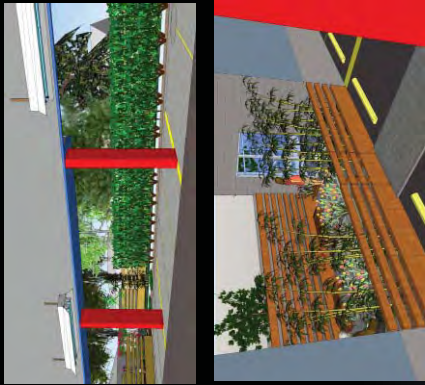


# General Images



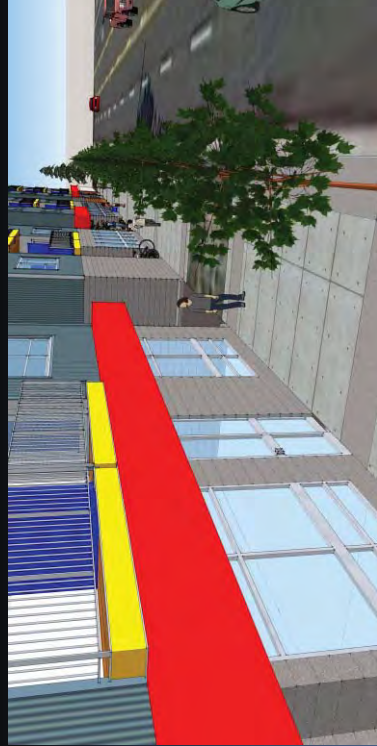


# General Images





# Pedestrian Images





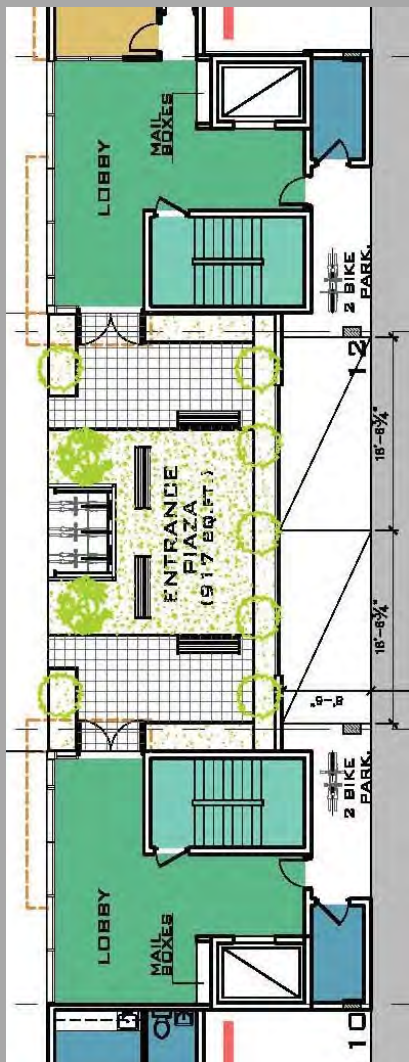
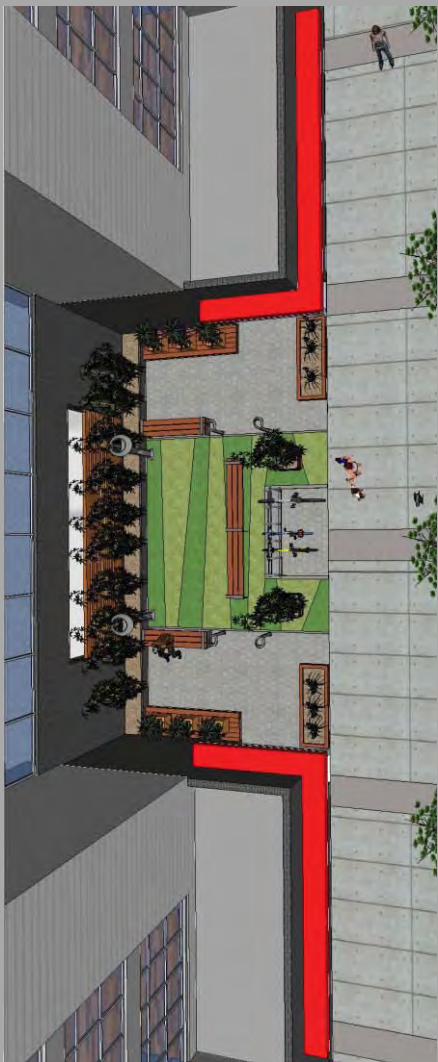
# Elevations Comparison





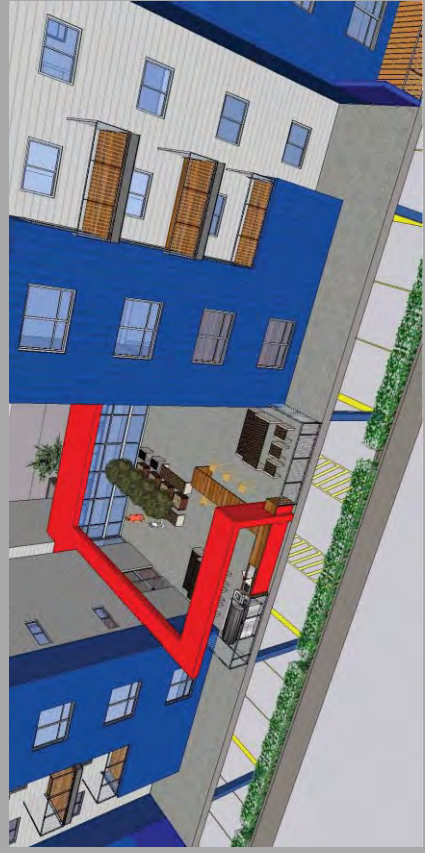
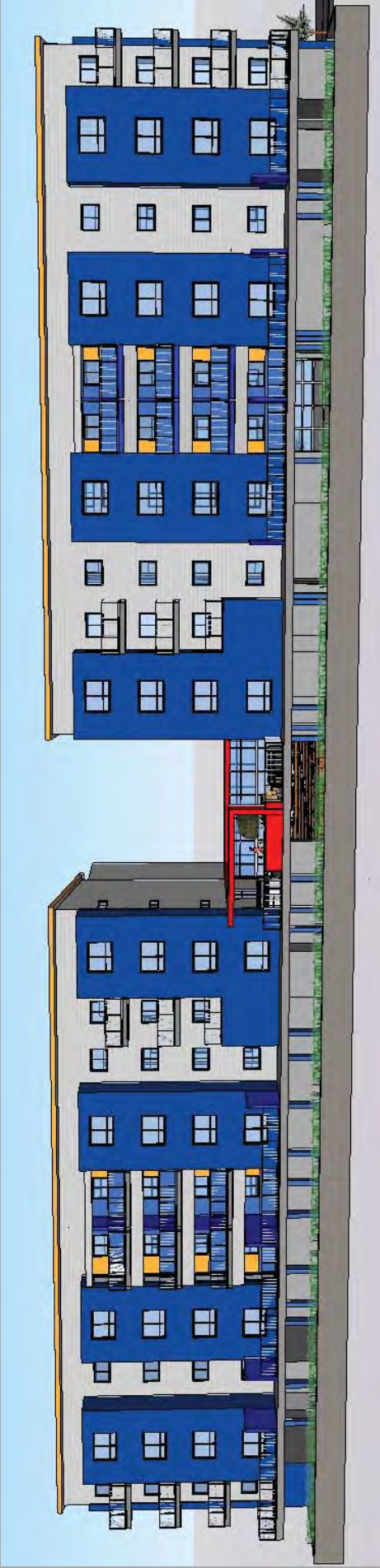
# Entry plaza – access to the 2 buildings

DAR4





# General Images





# Pedestrian Images





# Elevations Comparison





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July 31, 2012

Alberto Rinkevich  
Alberto Rinkevich Architects LT  
4810 SW Lowell Ct  
Portland, OR 97221

RE: Early Assistance Appointment for 222 NE 102<sup>nd</sup> Ave Housing  
**EA 12-155948**

Dear Mr. Rinkevich,

You attended a design appointment with me on July 18, 2012 at 4:00 PM. At that appointment, you showed me drawings and other preliminary information for a development scenario for the subject site. This letter serves as a summary of the information we discussed at the appointment, and is intended to highlight preliminary issues and next steps. *This summary is advisory and preliminary in nature, and is neither a complete review nor a final decision regarding the project.* This summary is based on the preliminary information you discussed with staff. This information has not been supplemented or independently verified. Additionally, notice was not provided to neighbors and a full plan check of applicable development standards was not completed. Any future formal land use review applications for your proposed project must include the necessary plans, elevations, detail drawings, a narrative addressing the design guidelines, and modification or adjustment materials (narrative, fees) for any development standards not met.

**PROJECT:** New apartment development.

**ZONING:** CMd – Medium-density Commercial with design overlay.

**DESIGN GUIDELINES:** The site is within the Gateway Plan District and would use the *Gateway Design Guidelines* if it went through design review. Guideline documents are available online at [www.portlandonline.com/designguidelines](http://www.portlandonline.com/designguidelines).

**KEY ISSUES:**

- **Design Advice Request** – As this project will be a visually significant new development in the neighborhood, seeking preliminary feedback from the Design Commission through a Design Advice Request (DAR) is strongly encouraged. DAR's are voluntary meetings with the Design Commission and do require an application and fee. You may find this information on the Bureau of Development Services website.
- **Modifications & Adjustments** – Any code standards that cannot be met by the proposed design will need to apply for either a Modification or Adjustment, pay the additional fee per request, and provide mitigation so proposal equally meets the code purpose statements and better meets the applicable design guidelines.
- **Building Materials** – The quality of exterior materials, windows, and doors is very important for design review approval. The building as presented has a number of color treatments that help break down the overall scale and add interest to the composition. The building materials need to respond to these patterns in such a way that they cannot be painted over in the future, particularly if the color changes are the main way that the



building is broken down into disparate parts. Consider using other materials such as pre-finished metal panels, different wood species, tile, masonry, or pre-finished acrylic panels to make the color differences rather than relying solely on paint.

Also create a thematic rationale for the use of wood at the balconies and curtainwall in other areas. These materials should be part of a consistent composition, working their way around the building to unify it in some way.

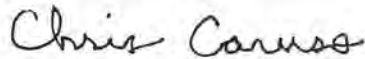
- **Stormwater Management** – Stormwater management information will be required as part of the design review application.

Zoning Code Chapters are available online at [www.portlandonline.com/zoningcode](http://www.portlandonline.com/zoningcode).

When you are ready to submit an application, you may do so in the Development Services Center. The Development Services Center is open Tuesday through Friday 7:30 am to 12:00 noon for applications and from 12:00 noon to 3:00 pm for general questions.

Please contact one of the staff members listed below with questions regarding this letter, or if we can be of further assistance as you move forward with the project.

Sincerely,



Chris Caruso, City Planner  
503-823-5747

[Chris.Caruso@portlandoregon.gov](mailto:Chris.Caruso@portlandoregon.gov)

cc: Richard Berdichevsky



**City of Portland, Oregon**  
**Bureau of Development Services**  
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## MEMORANDUM

**Date:** October 5, 2012  
**To:** Alberto Rinkevich; Richardo Berdichevsky  
**From:** Chris Caruso, Development Review, 503-823-5747  
**Re:** EA 12-155948 DA – Hazelwood Plaza at NE 102<sup>nd</sup> Avenue  
Design Advice Request Summary Memo

Thank you for taking advantage of the opportunity to hold a Design Advice Request regarding your project. I hope you find it informative and valuable as you continue with your project development. Attached is a summary of the comments provided by the Design Commission at the October 4, 2012 Design Advice Request. This summary was generated from notes taken at the public meeting and a subsequent review of the public meeting recordings. For a small fee we can provide you with copies of those recordings; to request copies, please call 503-823-7814.

These **Design Commission** comments are intended to guide you in further design exploration of your project. These comments may also inform City staff when giving guidance over the course of future related land use reviews. It should be understood that these comments address the project as presented on October 4, 2012. As the project design evolves, the comments, too, may evolve or may no longer be pertinent.

Design Advice Requests are not intended to substitute for other Code-required land use or legislative procedures. Please keep in mind that the formal Type III land use review process [which includes a pre-application, a land use review application, public notification, a Staff Report and a public hearing] must be followed once the Design Advice Request meetings are complete, if formal approval for specific elements of your project is desired.

At the end of the hearing, it was understood that you would not return for a second Design Advice Request. Please continue to coordinate with me as you prepare your formal Type III Design Review application.

### **Code Clarifications**

The Gateway Plan District 33.526.280 requires that 50% of any ground floor area that faces and Enhanced Ped Street (NE 102<sup>nd</sup>) be built for Active Uses (lobbies, meeting rooms, offices, living areas, fitness centers, etc), and that these areas be at least 25 feet deep. That is only 50% of the frontage so this project could conceivably do the 25 foot deep spaces for half of the length and have parking or service walls for the remainder. This may negate the need for a modification.

Pulling the front wall back for more than 25% of its length to provide entry patios or landscape buffers at residential units may require another modification to the active use standard.

Parking spaces can be 16 feet deep, except for ADA spaces which must meet other criteria outside of the zoning code.

### **Colors**

- Are the colors trendy and will the building be dated in a few years or will it date the neighborhood?
- Project out 25-50 years when selecting colors.

- Maybe there should be fewer colors, just the corrugated metal with one field color and one accent color.
- Maybe it should have a more stately palette.
- It is nice to have a pop of color in this area as it is very beige and bland along 102<sup>nd</sup>. Really want to see a rational exuberance in the design that may require some editing.
- The exuberance of color is a welcome vitality in this neighborhood but we need to see a more conceptual thinking about the pattern.

### **Materials**

- Prefer standing seam metal roofing since you are using such hard materials already.
- Could look at using two different types of roofing, one for each of the rear roofs.
- A metal roof seems more fitting for this design.
- A dark composite shingle roof is not very green as they absorb a lot of heat. Look at how this will affect your energy usage.
- There is too much corrugated metal for me.
- Corrugated metal is the lowest common denominator and can indicate low-budget, but if done well, it can be appropriate on this building.
- The amount of corrugated metal is fine, just be thoughtful in how you use it.
- Concerned that the corrugated metal may be too shiny and reflective, causing glare for the neighbors to the east and west. Look at other finishes for the metal, perhaps a color.

### **Form and Scale**

- Stepping down to the east neighbors is a nice gesture.
- You basically have a building that is too big for the site.
- The site is packed to the limit. Could trade more height for ground level amenity spaces.
- You really need to provide some space for residents to do something outside. This would humanize the tough parking area.
- If you wanted to go taller with the building in order to pull it in and get some outdoor space, that would be fine.
- The broken beam seems unresolved. It is a pretty bold dimension and needs more thought.
- Not convinced about the beam's design. It seems unresolved and needs more work.
- The overall massing and breaking up of the facade works really well as a design but the overall length with the proposed height is too much. Pull the building in at the ends, or at least one end and get some outdoor space which will provide a relief from the length.
- An asymmetrical design with a shorter length building and outdoor amenities would help break up the massing.

### **Ground Floor**

- Need taller windows and more of them along the ground floor to really differentiate this from the upper floors and to anchor the building onto the site.
- Consider making the units live/work units and having more storefront, commercial type windows along 102<sup>nd</sup>.
- Look at creating loft spaces in the ground floor units with stairs connecting an upper level.
- Pull the glass down to the ground along 102<sup>nd</sup>.
- Get some depth back into the ground level units with parallel parking. This may allow for some on-site useable open space for residents, some interior parking lot landscaping, and other ground level active areas.
- An active ground floor is preferred.
- The ground floor units are awkward and the entries are difficult.
- Look at pulling the front building line back a few feet, if these remain apartments, for some sort of front buffer between the units and the street.
- Great work in providing something on the 1<sup>st</sup> floor. Would support modifications to allow it.
- Is the main entry significant enough?
- Maybe the beam works into the main entry somehow.

### **Modifications**

- You need to offer something in order to convince us that the modifications you are asking for are justified.
- Do not see any justification with this proposal for allowing the modifications.
- Cannot support zero interior parking lot landscaping.



**Requests for Future DAR's**

- Bring details of the cement board and corrugated metal fasteners. Images and real mock-ups would be okay as well.

*Encl:*

Summary Memo

Cc: Design Commission  
Respondents



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**Land Use Services**

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## MEMORANDUM

**Date:** December 13, 2013  
**To:** Alberto Rinkevich  
**From:** Chris Caruso, Development Review, 503-823-5747, *Chris Caruso*  
**Re:** Hazelwood Apartments, Additional design comments  
EA 13-196078 DA/EA 12-172519 DA

Thank you for your recent submission of façade revisions since our most recent Design Advice Request [DAR] meeting on October 24, 2013. I sat down with our two senior planners on the Design and Historic Review Section, Tim Heron and Kara Fioravanti on December 10<sup>th</sup> to take a look at the new ideas for the Hazelwood Apartments. Both are familiar with the most recent DARs, as well as the previous Land Use history and challenges this site has had in previous development proposals. The notes below are our comments based on these proposals and the history of DAR comments from the Design Commission.

This site, and different versions of it, has been a challenge for new development by various factors such as the busy NE 102<sup>nd</sup> Avenue frontage, a 6 to 7 story height allowance adjacent to existing single story single family residences, a comparatively long and narrow site area given the maximum density, and strong opposition from the neighborhood, particularly the adjacent neighbors that share the rear property line to the east since 2006. Knowing this, we appreciate the challenges for development on this site, and ultimately are providing comments that should lead to a project that we feel can meet the required approval criteria, but also still be supportable if appealed to City Council.

The project has changed materials, colors, and other outside architectural details during the past year of Design Advice Requests, but has not yet fully responded to the core of the Commission's concerns about the proposal. These include dissatisfaction with the size, location, and quality of the outdoor areas at the back of the building; apprehension about the 300 foot long expanse of massing both along the street and at the rear lot line; the shallow ground floor spaces that are driven by the layout of the ground floor parking; and general desire for high-quality, durable materials as this building will set the stage for other infill projects that follow.

Staff's suggestions for this project include the following:

1. Given the long history to develop this site, it appears the 300-foot long building design with the majority ground floor dedicated to non-required parking is the real stumbling block. A more productive approach would be to take a serious look at significantly reducing the size, width and/or scope of the project. Commission has said a number of times that the building is too big (long & wide, not tall) for the site and there needs to be more space around the building itself. The Commission suggested increasing the overall building height, pulling the sides in to create viable open spaces (if open spaces are desired), and even breaking the development into two buildings with a driveway in between. Eliminating parking from the project, or putting it underground, would also open the door to a number of other ground floor activating uses, walk-up porches, and additional units that could replace the upper story unit count, retaining the current building height, and maintaining the number of units desired.

2. Reduce the length of the building mass by recessing the entry lobby piece even farther, creating a deeper front court so the building reads more like 2 separate structures. Also increase the depth of the ground floor rooms. You would have to lose a few parking spaces. Even rotating a few into parallel spaces may offer some options for better ground floor active use space planning. I myself feel that the open space along the street with the fence in front of it is the least inviting area. You have to walk down the drive aisle and out between two parking spaces to get to it. While a rather specific detail relative to the pedestrian experience, it is within the purview and scope of the design review approval criteria.
3. If ground level open spaces are not possible, perhaps a roof deck/garden on top with a community room attached to it would be a better resident amenity. This again requires redesigning the building and the parking lot landscaping Modification is still an issue. Maybe the 2<sup>nd</sup> floor deck has to come all the way out to the rear property line to cover all the parking, giving more space to the 2<sup>nd</sup> floor units? This could also avoid the Modification Request.
4. The shallow ground floor spaces will not be as functional as they should be; they are simply not deep enough. You should look at turning some parking spaces parallel, or removing the entire row behind the ground floor rooms so that these spaces can be viable areas. While parking may be desirable for this development, it is not required in the Gateway Plan District and should not determine the success of the ground floor active spaces. Parking could be located below-ground as well. The ground level could be entirely redesigned with a different lobby, connected common areas, and a nice outdoor area. The Modification for less depth in the ground floor spaces depends upon them being truly useable.
5. The long rear wall and roof line must be broken up. The latest designs indicate a butterfly roof in place of the lower roof line along the rear. Without a rear elevation, I cannot comment on if this is a more approvable solution to the massing issue. If there is more wall area, it needs to be broken down by pushing and pulling the building wall. The Commission has called this rear wall relentless a few times. This east elevation is certainly the most challenged, and one of the most challenging aspects of the proposal since 2007.
6. Ground face block going up several stories may feel too hard and industrial. The Commission was also not feeling comfortable about the corrugated metal so I understand the desire to change materials. A more common smaller brick is probably the best material to consider as an option. Stepping back the mass from these end walls is certainly also an option as well; it would provide additional views and terrace opportunities, which would make these units more desirable, as well as reducing the scale and mass of uniquely tall end walls in this area.
7. A new concern I have myself, is the usability of some of the bike rack areas, particularly the ones that are in stairwell corridors, close to doors on the ground level. I am certain the Commission will not accept the wall racks in these locations. They seem cramped and getting a bike in and out will be difficult, particularly if someone is walking through the corridor. Bike parking and ease of use has been a particularly hot topic for new development and the Commission of late. Were this project to embrace a large bike parking storage area, it could be another amenity to users, particularly given the close proximity of light right transit to the south.
8. Lastly, the Modification requests for the shallower ground floor spaces and the parking lot landscaping are also in question. The outdoor areas were the mitigation for the parking lot landscaping. If the outdoor areas are not approvable, neither is the Modification. The Modification Request, by definition, must equally or better meet the standard being modified, and must also fulfill the related design guidelines.

I am sure this list of comments is not what you were expecting to receive based on the façade studies you sent me last week. Staff feels very strongly, after listening to the Design Commission DAR meeting tapes again, and being present at several other Design Commission hearings in this area and similarly challenged sites throughout the City, that you are being given sound advice on how to move forward and receive approval from this review body.

If your team decides to move forward with the project you have now, without façade changes or significant program and massing shifts in the overall design, you should bring your Type III



application to the Permit Center so we can proceed with the Land Use Review process and get you back before the Design Commission as early as possible.



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## MEMORANDUM

**Date:** January 27, 2014  
**To:** Alberto Rinkevich  
**From:** Chris Caruso, Development Review, 503-823-5747, *Chris Caruso*  
**Re:** Hazelwood Apartments - additional design comments  
EA 13-196078 DA

Thank you for your recent submission of proposed design revisions dated January 10, 2014. I have reviewed them as you asked me to do and have a number of comments based on the new design and the history of DAR comments from the Design Commission.

This site, and different versions of it, has been a challenge for new development since 2006 due to various factors including the busy NE 102<sup>nd</sup> Avenue frontage, a 6 to 7-story height allowance adjacent to existing single story single family residences, a comparatively long and narrow site area given the maximum density, and opposition from the neighborhood, particularly the adjacent neighbors that share the rear property line to the east. Knowing this, we appreciate the challenges for development on this site, and ultimately are providing comments that should lead to a project that we feel can meet the required approval criteria, but also still be supportable if appealed to City Council.

This most recent design of two separate buildings linked by outdoor areas is moving in the right direction by dramatically reducing the length and mass of the previous building and creating generous and attractive outdoor areas for residents and their guests. The use of brick along the ground floor and a quality metal panel system in place of masonry block and corrugated metal panels responds to Commission concerns about material quality and setting the stage for other infill projects that will follow. While all these are very positive changes, there are still several Commission concerns that need to be addressed.

Staff's suggestions for this project include the following:

1. The Commission did indicate that they would support two separate and taller buildings. The butterfly roofs are an interesting shape but staff is concerned that having the taller roof facing the rear yards of single-family homes may not satisfy the neighborhood. If there is a way to maintain the butterfly shape but lower the overall roof height at the rear property line - this should be explored. Another option may be to have a flat or shed roof shape at the rear facade.
2. A new Modification to allow the front lobby doors to be 90 degrees turned from the street would be required for this new lobby-entry plaza arrangement. This Modification may be supportable if the entries are well marked, visible from the sidewalk, the entry plaza is very well designed, and the other ground level spaces are functional. You may need to rotate the lobby entry door 90 degrees so they face the street and relocate the stair towers.
3. Staff still believes that the ground floor rooms need to be deeper in order to be truly functional and have the strongest potential to contribute to an active streetscape. Rotating a few of the parking spaces into parallel spaces may offer some options for better ground floor active use space planning or it may allow you to have less bike parking facing the street. While vehicle parking may be desirable for this development, it is not required in the Gateway Plan District

and should not determine the success of the ground floor active spaces. Bicycle parking rooms and stair towers do not count as active ground floor spaces and the current layout may not meet the ground floor active spaces 50% of façade length requirement. This would require a Modification that I feel the Commission would not support if the Modification for shallower ground floor spaces is also being requested.

4. The Commission recently reviewed another project in Gateway that had parking exposed along a rear lot line, abutting residential uses. They required that all the parking be covered by the building slab above and that there be a nicely textured solid concrete wall along the lot line. Your project should extend the parking ceiling slab to completely cover the parking spaces. This will negate the need for a Modification to interior parking lot landscaping, will reduce the impact of parked cars on the neighbors, and could also provide larger patios to the 2<sup>nd</sup> floor units. Parking could be located below-ground as well.
5. The new design is much less architecturally cohesive than the earlier designs. There are a number of patterns and window types vying for prominence on the current proposal. You should consider using one of the earlier designs such as the 10-11-13 or 7-20-13 proposals as a starting point for this latest version. You could easily break the earlier designs into two buildings with the plaza/roof deck link in between them, provide a large amount of storefront glazing along the street, maintain the basic window, balcony, and material patterning. If you substituted metal panels for corrugated metal, lap siding for cement panels, and brick for block, the two buildings would be much closer to meeting the Gateway Design Guidelines.

If these design changes were made, you could apply for the Type III Design Review process and not come back for a 4<sup>th</sup> Design Advice Request. If you do want to have another Design Advice Request, you will need to pay a \$430.00 Re-notification fee for a new posting of the site and I could schedule you for a DAR no earlier than March 20<sup>th</sup>. The new proposal is certainly moving in the right direction. Please let me know how you wish to proceed.





**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**

1900 SW 4th Avenue, Suite 5000  
Portland, Oregon 97201  
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Fax 503-823-5630  
TTY 503-823-6868  
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## MEMORANDUM

**Date:** April 15, 2014  
**To:** Alberto Rinkevich  
**From:** Chris Caruso, Development Review, 503-823-5747  
**Re:** EA 13-196078 DA – Hazelwood Apartments  
Design Advice Request #4 - Summary Memo

Thank you for taking advantage of the opportunity to hold a second Design Advice Request regarding your project. I hope you find it informative and valuable as you continue with your project development. Attached is a summary of the comments provided by the Design Commission at the April 3, 2014 Design Advice Request. This summary was generated from notes taken at the public meeting and a subsequent review of the public meeting recordings. To review those recordings, please visit:

[http://efiles.portlandoregon.gov/webdrawer/search/rec?sm\\_class=uri\\_7547&count&rows=50](http://efiles.portlandoregon.gov/webdrawer/search/rec?sm_class=uri_7547&count&rows=50)

These Design Commission comments are intended to guide you in further design exploration of your project. These comments may also inform City staff when giving guidance over the course of future related land use reviews. It should be understood that these comments address the project as presented on April 3, 2014. As the project design evolves, the comments, too, may evolve or may no longer be pertinent.

Design Advice Requests are not intended to substitute for other Code-required land use or legislative procedures. Please keep in mind that the formal Type III land use review process [which includes a pre-application conference, a land use review application, public notification, a Staff Report and a public hearing] must be followed once the Design Advice Request meetings are complete, if formal approval for specific elements of your project is desired.

Please continue to coordinate with me as you prepare your formal land use application. It was understood at the April 3, 2014 Design Advice Request meeting that you will not return for another one.

*Encl:*  
Summary Memo

*Cc:* Design Commission  
Respondents



This memo summarizes **Design Commission** design direction provided on **April 3, 2014**.

Commissioners in attendance on March 20, 2014: Gwen Millius, David Wark, David Keltner, Tad Savinar, Jane Hansen, Jeff Simpson, and Ben Kaiser.

### **Land Use Drawing Submittal**

- When the project moves forward, provide landscape plans for the on-site plantings and provide examples of the metal panels system installed on real buildings.

### **NE 102<sup>nd</sup> Avenue**

- Staff checked in with PBOT staff after the DA meeting and was told that there are no immediate plans to rebuild or redesign NE 102<sup>nd</sup> Avenue. There is currently no on-street parking on either side of the street. This condition will remain in place for the foreseeable future.

### **Building Massing & Design**

1. The Commission all support splitting the building into two masses connected with a ground level plaza and a second level roof terrace. This is a nice way to break the building mass down. The goal of the design changes should continue making this new building a good neighbor and breaking it up into separate forms helps do this.
2. The hurdle of building in Gateway is appreciated by the Commission. There are projects that come in for reviews or advice and are then never built due to the area's financial reality. Not every quadrant of the city should be treated in the same way as part of this process.
3. Bring back the original design idea of creating pairs of forms that break the building down into smaller and smaller segments. Breaking the building length into a pair of buildings is a start, and pairing the balconies in between two projecting bays continues that theme. Right now the buildings have lost the clarity of the earlier iterations. Bring back that way of ordering things instead of breaking the building down to the interior corner. Playing with the idea of pairs could unify the whole design. The L-shaped blue areas on the rear façade are distracting and do not work with the paired forms concept.
4. Asymmetry is okay if it is logical. Right now, the buildings do not feel coherent. The buildings do not have to be identical but they do need to be logical, including the end walls and plaza end walls. This has to be a whole building idea that is composed and thought through.
5. There should be some sort of hierarchy of roof forms from front to back and this should reduce the height of the roof facing the rear lot line. The butterfly shape could remain at the front along NE 102<sup>nd</sup>, as a way to identify the building, and the rear portion could have a flat roof. One Commissioner was of the opinion that the entire building could have flat roofs and could be a successful design.
6. The windows in the transoms and the lap siding areas seem ungenerous. They should all be larger, more in keeping with the windows in the blue areas and at the balconies.
7. Some of the balconies near the ends of the building seem tacked on because there are no windows behind them and because they are not following the pattern of balconies framed by blue masses that happens along the front façade. The parti needs to work its way around the entire building in a consistent and logical manner.
8. The building wall above the garage door seems really insignificant. It needs more finishing and attention. There is a disconnect here from the design concept.
9. Decrease the impact of the rear building edge in color and massing. The blue could be toned down on this façade, a bit more neutral. There needs to be a cohesive design for the rear area from the ground to the 2<sup>nd</sup> floor, for the benefit of the neighbors.

### **Materials and Colors**

1. Detailing of the finishes will be very important in getting the project approved. Having a well detailed building is a great benefit to the neighborhood and to the building itself. Good detailing and installation can be achieved with any type of material and does not require expensive finishes.
2. Metal siding must be of sufficient thickness so there is no oil-canning.
3. The Commission wants to see depth and shadow around the building. Windows cannot be flat against the front façade. Using lap siding with some depth is preferable to having large expanses of flat cement panels, so the areas of lap siding shown are okay. Having the cement



panels as insets behind the balconies is also okay as long as they are surrounded by other materials.

4. The blue color could be more neutral in tone, not as bright blue. The color will be much more intense than can be experienced in the hearing room with the small samples because the field of blue will be much larger on the building. Blue as a color is not inherently problematic and can be used to help make the building recognizable, but it should be toned down.
5. There is concern about the use of thin brick around the building corners. Thin brick could be okay if it is bounded with something and not trying to wrap the corners. You may need to use real brick if the entire base is wrapped in it. If you want volumes covered in brick, then do not use thin brick.

### **Ground Level Activation & Parking Area**

1. The parking area seems very cramped with every nook and cranny filled with some use. It seems to need more breathing room, and the spaces need to be studied to make sure they are all going to function as desired.
2. The project is trying to provide a lot of parking in a very narrow area. Decide what the minimum parking that can be lived with is for this project and provide those spaces. The expectation of the Commission is that there will be fewer parking spaces underneath the building so that the Trash area can be adequately sized, that the maneuvering area for vehicles will be safe for cars, people, and parked bicycles.
3. It appears that the two parallel parking spaces will block the required striped pathway from the ADA spaces to the main entry doors. The 2 parallel parking spaces should be removed and the entry plaza area should be expanded to allow more open space as well as ADA access.
4. Some Commissioners stated that bike parking at both corners is a good solution and one Commissioner stated that it may provide a better parking situation for everyone if all the bikes were together at one end.
5. There are three areas of concern about the parking along the rear lot line – lights, noise, and visual impact of the wall. All of these need to be addressed in some manner. Lighting must be shielded and the wall must be visually nice to look at. Lighting could also be put on motion detectors. Noise was a point of discussion among the Commissioners. Some thought that the new building would benefit the rear neighbors since it would cut down on the traffic noise they are currently experiencing from NE 102nd, and the noise from the parking area would be incidental. Some thought that efforts should be made to retain the rear concrete wall to cut down on the parking area noise.
6. There was some discussion about the possibility of pulling the 2<sup>nd</sup> floor slab edge back from the rear property line, uncovering a portion of the parked cars and requesting the Modification to Interior Parking Lot Landscaping. The Commission did not make suggestions about a possible solution but did seem amenable to the idea if it was done well.
7. The stormwater planter needs to have a variety of plants in it to provide layers and different heights to help screen the parking area.
8. The ground floor live/work units will never function as living units. Be honest about what is really viable here and call them retail spaces. The proposed depths seem workable for small-scale retail. Look at how you enter the spaces from the street. These will most likely need recessed 3 foot wide swinging doors, not sliding doors. And provide a canopy over every street-level entry.
9. The Modification to the depth of the ground level spaces is supportable by the Commission because it allows for activation of the entire length of the ground floor along NE 102<sup>nd</sup>. The lack of existing on-street parking will not support retail spaces that are much larger than this since the customers will most likely be walking by, not pulling over in front.

### **New Front Entry Modification**

1. The Commission would support this Modification request. Having the lobby doors face the plaza helps to activate the space.
2. Provide deeper canopies at the lobby entries.

### **Outdoor Areas**

1. The Commission likes the idea of having portions of the second floor available for all the residents and their guests to use. The connection between the two open spaces should be visually stronger. This could be accomplished by providing a wood covered breezeway trellis of some sort at the 2<sup>nd</sup> floor. This would provide some weather protection between the

- buildings and could also match wood materials at the ground level. It could also provide a 2<sup>nd</sup> floor outdoor covered area for people to use in inclement weather.
2. The entry plaza needs to be more generous in its open spaces. It needs to be more of a shared space that allows for people to easily move from the sidewalk to the doors. If it is possible, flip the stairs and elevators to allow for more glazing at the interior plaza walls.
  3. The tall glass corridor wall should be diminished and if there is a way to provide a covered connection to the 2<sup>nd</sup> floor at the ground floor, that should be explored.
  4. The ground level plaza rear wall should be designed as a feature that visually activates this area, not just as a plain wall in front of cars.
  5. Provide some sort of screening at the rear of the 2<sup>nd</sup> floor terrace. This will help the project be a better neighbor to the adjacent residential rear yards to the east.

### **Bike Rack Modification**

1. This is supported by the Commission but all the bike spaces need to function in the parking area. It appears that several spaces may need to be removed. Attention was called to car spaces 19 and 47 as points of conflict with bikes.

### **End Walls**

1. The flat blue metal panels at the stair towers should be 3-dimensional forms like all the other blue areas of the building, or a different pattern should be found to tie these end walls into the overall concept.

### **Wood Fencing**

1. Well designed wood fencing would be a nice feature along the rear lot line. It could be wood or wood over a concrete wall. The Commission was split on whether or not a concrete wall is necessary along the rear lot line but they did agree that the parking did not have to be completely closed off from the adjacent properties.
2. Wood at the street façade could be okay if it is done very well and it could also work with the 2<sup>nd</sup> level trellis and rear lot line fence as a cohesive finish around the building.

## **Exhibit List**

- A. Applicant Information
  1. Narrative
- B. Zoning Map
- C.
  1. 07-20-13 Drawing Set
  2. 10-11-13 Drawing Set
  3. 12-11-13 Drawing Set
  4. 1-10-14 Drawing Set
  5. 02-20-14 Drawing Set
- D.
  1. Posting Letter
  2. Request for Response
  3. Second Posting Letter
  4. Posting Notice
  5. Mailing list
  6. Mailed notice
- E.
  1. Application form
  2. Staff Memo, October 14, 2013
  3. Summary Notes, October 18, 2013
  4. Summary Notes, October 31, 2013
  5. Summary Notes, November 29, 2012
  6. Staff Memo, January 27, 2014
  7. Staff Memo, March 24, 2014
  8. Staff PowerPoint presentation, April 3, 2014
  9. Early Assistance information



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
FROM CONCEPT TO CONSTRUCTION

Amanda Fritz, Commissioner  
Paul L. Scarlett, Director  
Phone: (503) 823-7300  
Fax: (503) 823-5630  
TTY: (503) 823-6868  
[www.portlandoregon.gov/bds](http://www.portlandoregon.gov/bds)

August 7, 2014

Alberto Rinkevich  
ARDesign  
4810 SW Lowell Ct.  
Portland, OR 97221

Re: Land Use Review LU 14-185350 DZM – Hazelwood Plaza

Dear Alberto Rinkevich:

The Bureau of Development Services received your application for a Design Review w/ Modifications located at 312 NE 102ND AVE on July 17, 2014. Your case has been assigned to me, Chris Caruso. In order to continue to review your application, additional information is needed. Once you submit this information, your application will be considered complete, and I will proceed with a full review of your proposal. Up to this point, your application has been reviewed only to determine if all required information has been submitted. The application has not been fully reviewed to determine if it meets the relevant approval criteria, however some issues you may want to consider are identified in Section II below.

**I. Information Necessary to Complete Application**

Provide 4 sets of drawings for further review. The following information must be submitted before your proposal can be evaluated:

1. Bicycle Rack System & Parking Lot Landscaping Modifications – It has been determined that the Modification for Interior Parking Lot Landscaping is not required so the fee for this will be transferred to the Modification required for long-term bicycle parking racks spaced at 18” apart instead of the required 24” apart. Please provide an enlarged plan and elevation showing one of the bike parking areas on the ground floor with dimensions between the racks so we can confirm that they are at least 18” apart with a minimum 6” vertical stagger.
2. Sections/Enlarged Plans/Models/Details/Enlarged Elevations – Provide many more additional sections, enlarged plans, enlarged elevations, 3-d models as required, and details to fully describe the project’s construction and finish detailing. This should include enlarged views of balcony railings, sections thru balconies, canopies, window heads/jambs/sills, doors heads/jambs, sections thru exterior soffits, elevations and details of the red element at the roof deck (models suggests a roof and a series of beams), sections thru the plaza pavers and the rear wall, sections thru the 2<sup>nd</sup> floor roof deck flooring, sections thru the various eaves and rakes at the roof parapets, enlarged elevations of the interior plaza walls and the recessed balcony walls with vents, sections thru vents, and elevations of the recessed garage door walls. Illustrate how different materials come together such as siding to metal. Show joint lines and flashing lines at runs of metal on the elevations.
3. Lighting – Show exterior lighting on the elevations. Provide a lighting plan of the parking area and 2<sup>nd</sup> floor roof deck. Provide cutsheets of exterior light fixtures.



4. Cutsheets – Provide one set of cutsheets of windows, doors, storefront systems, curtainwall systems, metal, lap siding, pavers, brick, light fixtures, and any pre-fabricated railings. Indicate the selected color of the materials.

## II. Issues to Consider

While not necessary to determine the application complete, additional information may be needed to show that your proposal meets the applicable approval criteria. You are encouraged to address the following issues regarding the approvability of your proposal:

- **Entry Plaza** – The entry plaza should be as open and welcoming at the street as the square footage allows. The wrought iron fence and low walls should be removed to provide a wider, more connected entry from the street. The central landscaping bump-out with the tree should be removed to allow for a larger gathering space for residents and guests. There could be a nice line of plants at the back wall. A water feature could also be considered along the back wall if desired. The benches are a nice feature. If you wanted to request a Modification to provide no short-term bike parking in the plaza, that could be supported if it meant a more open plaza area. That would be an additional \$945.00 fee.

The entry plaza should be finished with the highest quality materials. Wrapping the brick into the plaza is a nice feature. The use of wood on this project seems to not be a cohesive material and should be removed. The rear wall of the plaza could be a mosaic, a series of art panels, the dark brick, something red, or another decorative finish.

All of this would help support the Modification requested for allowing the front doors to be turned 90 degrees from the street.

- **Materials** – The building materials need to be applied to the various masses in a very logical manner. A diagram of each floor plan that shows where each material stops and starts would help staff understand how each material wraps around each form. Please provide these diagrams.

The blue end panels that wrap around only a few inches are not substantial enough to feel like a complete mass. The metal should wrap around further to the insides of the balconies or be changed to another material.

The wood fencing and accent panels should be removed from the project. The project generally has one too many materials on it and the wood does not work well with the overall composition. The rear parking lot wall could be solid concrete, the accent panels at the ground level planters could simply be recessed brick, or an accent color, and the roof deck and plaza fencing could be metal, cable or glass, or something red to pick up on the accent color.

The lap siding needs to be a type that has a real depth, not a flat siding. Artisan Hardie siding is one product we have seen that has this desired quality and there may be others. Another option that could result in a very nice finish would be to abandon lap siding and install true stucco instead. This could be broken up into smaller sections that would impart a secondary pattern on the building.

The dark brick at the ground floor could continue across the top of the entire floor and not be broken up at the garage door and above the lobby canopies. This would help pull the building together and create a nice solid base. Or the transom windows could be located above every section of ground floor storefront for consistency. The Commission did not like the idea of thin brick wrapping corners. They suggested using full brick or terminating the thin brick into another material at the corners. Details are needed to explain the outer corner conditions.

Consider finishing the sides of the walls above the entry lobbies in the metal siding to reduce the amount of lap siding.

The Commission thought that the blue color should be less intense, more toned down, particularly on the rear elevation. They cited the blue and almond building across from the permit center as an example of a color scheme that is not successful.

The rear balcony railings may need to be more solid for privacy at the neighboring yards. Frosted glass and metal mesh or perforated metal have been used on other projects.

Call out the yellow panels on the elevations and indicate the material. Are they applied to the top floor of the rear elevation to be consistent?

- **Windows** – The window operations need to be shown on the elevations. There should be no vinyl sliders windows. In our experience, this type of window does not appear as durable or high-quality as required in design review. Casement windows are an option.

The small pairs of windows on the upper floors, rear elevation are too small in proportion to the wall area. The Commission also commented on this. Look at maximizing the sizes of these upper floor unit windows.

The previous design had windows in the upper portion of the top floor, above the blue bays. The wall section seems to still show these windows. If this remains a fully open space inside the units, windows should be provided at the upper area for more natural light, and to break up the expanse of lap siding running across the top of the building.

- **Parking Lot Fence and Landscaping** – Since the parking abuts back yards, the fence should be a solid wall to completely shield headlights, and the plantings should be placed on the outside of the wall, adjacent to the neighbors' yards.
- **Lighting** – The light fixtures in the parking lot and any at the 2<sup>nd</sup> level roof deck need to be shielded fixtures that will not shine onto the neighbors' rear yards and will not allow views of the bulbs themselves.

### III. Time to Complete Application

The Portland Zoning Code allows you up to 180 days to complete your application. Since the 180-day period began on the day we received the application, the deadline to make your application complete is **Tuesday, January 13, 2015**.

### IV. Determination of a Complete Application

The application will be determined complete when you have submitted:

1. All of the requested information included in Section I, above. If you cannot provide all of the requested information at one time and intend to submit additional information, please include a written statement with each separate submittal indicating that you still intend to provide the additional missing information by the **Tuesday, January 13, 2015** deadline, **or**
2. Some of the requested information included in Section I, above, and a written statement that no additional information will be provided; **or**
3. A written statement that none of the requested information included in Section I, above, will be provided.

Please be aware that not submitting the requested information may result in your application being denied. The information is needed to demonstrate the approval criteria are met. Once the application is deemed complete, review of your application can proceed using the information you have provided.

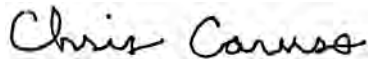
Your application will be approved if it meets the relevant land use review approval criteria. It is your responsibility to document how the approval criteria are met. The items listed above will help provide that documentation.

**Voiding of Application**

If your application is not complete by **Tuesday, January 13, 2015**, it will be voided, and the application fee will not be refunded. The City's land use review procedures are outlined in Chapter 33.730 of the Portland Zoning Code.

Please contact me if you have any questions about this letter. My telephone number is **503-823-5747**, and my e-mail address is [Chris.Caruso@portlandoregon.gov](mailto:Chris.Caruso@portlandoregon.gov). You may mail correspondence to me at the Bureau of Development Services, Suite 5000, 1900 SW Fourth Avenue, Portland, OR 97201. If you deliver the requested material in person, please bring it to the **fifth** floor receptionist at 1900 SW Fourth Avenue. Please label all correspondence and materials you submit with the case number LU 14-185350 DZM.

Sincerely,

A handwritten signature in black ink that reads "Chris Caruso". The signature is written in a cursive, slightly slanted style.

Chris Caruso, Planner  
Land Use Services Division

cc: Century 18 LLC  
Application Case File





**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**

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## MEMORANDUM

**Date:** October 31, 2013  
**To:** Alberto Rinkevich  
**From:** Chris Caruso, Development Review, 503-823-5747  
**Re:** EA 13-196078 DA - Hazelwood Apartments  
Design Advice Request Summary Memo

Thank you for taking advantage of the opportunity to hold a Design Advice Request regarding your project. I hope you find it informative and valuable as you continue with your project development. Attached is a summary of the comments provided by the Design Commission at the October 24, 2013 Design Advice Request. This summary was generated from notes taken at the public meeting and a subsequent review of the public meeting recordings.

These **Design Commission** comments are intended to guide you in further design exploration of your project. These comments may also inform City staff when giving guidance over the course of future related land use reviews. It should be understood that these comments address the project as presented on October 24, 2013. As the project design evolves, the comments, too, may evolve or may no longer be pertinent.

Design Advice Requests are not intended to substitute for other Code-required land use or legislative procedures. Please keep in mind that the formal Type III land use review process [which includes a pre-application, a land use review application, public notification, a Staff Report and a public hearing] must be followed once the Design Advice Request meetings are complete, if formal approval for specific elements of your project is desired.

Please continue to coordinate with me if you would like to return for another DAR or as you prepare your formal Type III Design Review application.

### **Drawing Submittal**

- When the project moves forward, a tree survey should be provided so a clear understanding can be had of trees that may be impacted by the development.
- The Drawings should be numbered in some way for easy reference.
- Drawings need to have matching colors on the renderings so it is clear what the colors actually are.

### **Site Layout/Parking/Outdoor Areas**

- The 3 courts have plants in the center and benches around the edges, making the spaces less flexible in use than they should be. Switch this around with seating and use areas in the center and plants around the edges.
- Having the 2 small courts at the back edges of the site, fenced off from view sets up a place for bad behavior, places that people may just take over as their own. They are not open and inviting places as designed.
- Commission again asked if there was a way to create two larger open areas instead of three smaller ones.
- Combine the outdoor spaces and pull them all together at the front of the site, near the lobby with access from the Community Room. The uses all along the ground level should be revisited and moved around or resized to accommodate this change.

**Ground Level**

- The Live/Work units are too narrow and will not be nice places to live. They should be changed out to other active uses. Gang uses together for a larger Community Room, larger Fitness Room, etc, and create true communal spaces. Create a true community.
- The wooden fence along SE 102<sup>nd</sup> is a warmer, more tactile material that is okay in this location only because wood is also used along the ground level furnishings and planters. If this was the only wooden element along the street, it would seem out of place. It is also okay to fence the outdoor area from the street as long as there is still some ability to see into the court.
- There is serious concern about the usability of the small outdoor areas.

**Building Composition**

- Consider designing two buildings split by an entry drive with flanking outdoor areas. This would break up the overall building mass along the street.
- The center recess at the main lobby should be a darker color overall so that is visually recedes from the street even more, so that the building has a clear center and clear end pieces. The flanking recesses could also be darker. This would help break up the building's overall length. Then the four housing sections could stand out as more separate.
- There is a mixture of vocabularies here. The design needs to be refined and more quality-of-materials based. There is a lot going on right now.
- The rear of the building is where it will have its most immediate impact. You cannot rely on the existing trees to make this building a good neighbor. The rear elevation needs to be less relentless.

**Materials**

- There should be no cement board or metal panels at the ground level. The selected material; should be very durable, able to take the amount of use it will get at the street level.
- Brick may be a good option for the building base and would draw from the nearby building's context.
- Corrugated metal in blue seems to be a very odd color, and feels cold. A different palette of colors that are richer and warmer would be nice.
- 300 feet of asphalt shingles is too relentless for this material. The roofing should be metal if the building exterior is mostly metal.
- Corrugated metal does not feel like a permanent, quality material for this area. These infill buildings are sending the message about what is expected in the way of substance and permanence for future development.
- Look at other non-corrugated metal systems that can be easily executed in the field.
- Right now, the building – corrugated metal, cement panels, ground face block – is bare bones at every level. If the ground floor was dressed up with nicer materials, perhaps corrugated metal could be used up above.

**Future DAR**

- The Commission thought it would be a good idea for the applicant to return for a 2<sup>nd</sup> Design Advice Request once the design of the buildings themselves is more developed.
- Provide additional shadow studies for a time like now, end of October and perhaps end of April. We all know that is really dark in December, but what is the experience during the non-solstice times?

*Encl:*  
Summary Memo

*Cc:*     *Design Commission*  
          *Respondents*

**Exhibit List**

- A. Applicant Information
  - 1. Narrative
- B. Zoning Map



Alberto Rinkevich &lt;rinkevich1@gmail.com&gt;

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## Hazelwood Plaza review comments

4 messages

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**Caruso, Christine (BDS)** <Christine.Caruso@portlandoregon.gov>

Wed, Dec 10, 2014 at 3:23 PM

To: Alberto Rinkevich &lt;rinkevich1@gmail.com&gt;, Ricardo Berdichevsky &lt;ricberd@gmail.com&gt;

Alberto &amp; Ricardo,

I have briefly reviewed the new drawing package with the senior planners and received the following feedback:

The concrete base is a concern because there is so much of it and the execution of this material has not been great in Portland. Most exposed concrete ends up being painted at some point because it spalls, stains, has pits in it, etc. It's just never executed as nicely as the renderings show. While I did ask you to consider removing the brick from the design, after looking at this new base and the previous brick base, the real issue was the color of the brick, not the brick itself. That's why it seemed like the brick did not fit into the design scheme – the color.

I know Alberto did not want to do a concrete base and we would approve putting a brick veneer back around the building base if the color matched one of the grays, perhaps the metal panels? The darker gray may give the building a nice solid feel to the base. You could even get a larger brick size and do an interesting bond pattern like a stack bond or something that would work with the modernism of the design.

I know that this is a 180-degree shift from my previous comments. It is one of those cases of not knowing the result until a new design is presented. I hope it is a positive thing for you and that you want to have a brick base. We support it.

I will have more specific comments in another week as I go through the drawings more in-depth, looking at details, etc. Generally, the drawings look good and I appreciate the level of detail you have put into them so far. I will probably ask for a few additional sections/details of specific elements.

Chris Caruso | LEED AP | city planner  
Design Review | Historic Design Review  
City of Portland Bureau of Development Services  
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Please consider the environment before printing this e-mail.



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**Alberto Rinkevich** <rinkevich1@gmail.com>

Wed, Dec 10, 2014 at 5:04 PM

To: "Caruso, Christine (BDS)" <Christine.Caruso@portlandoregon.gov>

Cc: Ricardo Berdichevsky <ricberd@gmail.com>, tim.heron@portlandoregon.gov

Chris

When we met with with Tim Heron the conclusion was: "follow this comments and recommendations and you can go to the Commission pretty sure to get the project approved".

I transferred 95% of the comments, including a new meeting with the neighbors as recommended, and did a huge change to the project in order to accelerate the process in which we are stacked for so long. All the variations have a cost in time and money, every time we make a change we need to make new calculations of the project's feasibility and also to add the cost of the work and presentations, that as you know, is not marginal. The concrete replacement by a brick veneer represent a huge change in the drawings since every elevation, section, detail and 3D model have to be updated. Going back to something that you wrote is "not approvable" make me wonder if you (the planners) are not crossing a red line. Recognizing "**that this is a 180-degree shift from my previous comments**" demonstrate that at some point I'm wright on this assumption.

What kind of warranty can I have that the next time the reviewers or the commissioners will not change their mind again?

All this situation is not only disappointing is also infinitely frustrating. You should accept that we are working on this project for a long time in which we could have done with the construction, and having an income from this building.

Is still January 13th the dead line for the completion of the work? Will this change the Design Commission schedule?

Since I'm going on vacation from 12/19 to 01/03 I will appreciate to know which additional info you request before the end of this week. I have to make my own work plan and schedule. As well as request samples for the new

materials. I looked after different brick manufacturers and didn't find a light gray. I still thinking that even the proposed

"Manganese Ironspot" is almost black it matches the other material's color. Please advice

Thank you

[Alberto Rinkevich Intl. Assoc. AIA](#)

[ARDesign Llc.](#)

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**Caruso, Christine (BDS)** <Christine.Caruso@portlandoregon.gov>

Thu, Dec 11, 2014 at 8:27 AM

To: Alberto Rinkevich <rinkevich1@gmail.com>

I will get you comments tomorrow as requested.

**Chris Caruso, city planner**

**City of Portland Bureau of Development Services**

1900 SW 4th Avenue | Suite 5000 | Portland, OR 97201

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