



City of Portland, Oregon - Bureau of Development Services

1900 SW Fourth Avenue • Portland, Oregon 97201 • 503-823-7526 • www.portlandoregon.gov/bds



Early Assistance Application

File Number: 14-242870

Appt Date/Time _____

Qtr Sec Map(s) 2931 Zoning CXd

Plan District Central City - Lloyd

Neighborhood LOYD DISTRICT

District Coalition _____

Business Assoc LOYD DISTRICT COMM. ASSOC

Neighborhood within 400/1000 ft REXENS & SULLIVANS GULCH

FOR INTAKE, STAFF USE ONLY

Date Rec 11/26/14 by K. Waldman

LU Reviews Expected Design Advice

Required Optional

[Y] [N] Unincorporated MC

[Y] [N] Flood Hazard Area (LD & PD only)

[Y] [N] Potential Landslide Hazard Area (LD & PD only)

RELATED: EA 14-230805 PL

APPLICANT: Complete all sections below that apply to the proposal. Please print legibly.

Development Site

Address NE 7th-9th and NE Holladay Cross Street NE Oregon Site Size/Area 120,000 sf

Tax account number(s)

R R182221, R182222 R R182231, R182220
R R182232, R182233 R _____

Adjacent property in same ownership

R R182224
R _____

Project Description - include proposed stormwater disposal methods

The proposed Oregon Square development is a 4 block superblock development on the site of the existing Oregon Square block. The superblock is proposed to be four apartment towers around a publicly accessed pedestrian-only central plaza. The plaza would continue the "water street" design currently under construction in the phase 1 development, Hassalo on 8th. The project is proposing to add 1030 units of apartment housing, 36,000 sf of retail, and 800 below-grade parking stalls. The towers are to be 2 10 story buildings, 1 20 story building, and 1 32 story building.

Design Review (New development: give project valuation. Renovation: give exterior alteration value) \$ 300,000,000

Early Assistance Type	City Reviewers	Meeting & written notes provided	No meeting, written notes provided
<input type="checkbox"/> Pre-application Conference required for Type III and IV land use reviews	BDS Land Use Services, Transportation, Environmental Services, Water, others as needed	\$4,289	
<input checked="" type="checkbox"/> Design Commission Advice Request presentation at Design Commission	BDS Land Use Services, Design Commission	\$2,520	
<input type="checkbox"/> Early Assistance - Zoning and Infrastructure Bureaus	BDS Land Use Services, Transportation, Environmental Services, Water	<input type="checkbox"/> \$1,502	<input type="checkbox"/> \$1,074
<input type="checkbox"/> Early Assistance - Zoning Only	BDS Land Use Services	<input type="checkbox"/> \$500	<input type="checkbox"/> \$400
<input type="checkbox"/> Pre-Permit Zoning Plan Check <input type="checkbox"/> 1-2 housing units <input type="checkbox"/> All other development	BDS Land Use Services		\$200 \$450
<input type="checkbox"/> Public Works Inquiry for 1-2 housing units No land use review or property line adjustment expected	Transportation, Environmental Services, Water		\$150

Note: Public notice (email and internet posting) provided for Pre-application conferences and Design Commission Advice Requests.

Applicant Information

PRIMARY CONTACT, check all that apply Applicant Owner Other _____

Name Kyle Andersen, AIA Company GBD Architects Incorporated

Mailing Address 1120 NW Couch St, Suite 300

City Portland State OR Zip Code 97209

Day Phone 503-224-9656 FAX 503-299-6273 email kyle@gbdarchitects.com

Check all that apply Applicant Owner Other _____

Name Jerry Gammieri, Vice President, Construction Company American Assets Trust

Mailing Address 11455 El Camino Real, Suite 200

City San Diego State California Zip Code 92130

Day Phone 858-350-2613 FAX _____ email _____

Check all that apply Applicant Owner Other _____

Name _____ Company _____

Mailing Address _____

City _____ State _____ Zip Code _____

Day Phone _____ FAX _____ email _____

Submit the following:

- Fee
- Two site plans, to scale, (8.5x11 inches) showing: 1) existing and proposed development; 2) existing and proposed water, sewer and stormwater connections and facilities; 3) lot dimensions, north arrow and ground elevation
- Building elevations
- Additional two site plans, to scale, 11x17 inches or larger in size

NOTE:

1. Estimates for System Development Charges (SDCs) are not be provided at Early Assistance Meetings. Refer to SDC information on the BDS website.
2. Plans examiners do not participate in Early Assistance meetings and they do not provide written comments. For life/safety and building code questions, consult with a plans examiner in the Permit Center or schedule a Life Safety Preliminary Meeting (<http://www.portlandoregon.gov/bds/article/94545>).

Questions to be discussed:

See attached project summary and questions list.

Following a pre-application conference, the summary report with web links to forms and handouts will be e-mailed to you. If you prefer to receive paper copies, please check this box.

OREGON SQUARE - LLOYD BLOCKS PHASE 2 20141900

DESIGN ADVICE REQUEST

PROJECT SUMMARY

Oregon Square is a proposed four block superblock development in the Lloyd District on the site of the existing Oregon Square block.

The site is bounded by NE Holladay Street to the north, by NE 9th Avenue to the East, by NE Oregon Street to the South, and by NE 7th Avenue to the West. Surrounding buildings vary in height and massing. Phase 1, Hassalo on Eighth to the North varies in height from 6 levels at 74 feet high, and 21 stories at 240 feet high, and both are apartments buildings. To the East, are the BPA office buildings, which range in height from 96 feet in the initial northern portion, and up to 127 feet for the newer portion. The state office building to the South is a 142 foot tall building with the top of the dome at 190 feet. To the East is the 4 story parking garage, and the 17 story 250 feet high Liberty Centre office building.

Oregon Square as being proposed will be home to 1,030 market rate for-rent apartments, approximately 36,000 sf of retail, and approximately 800 below grade stalls. The proposal includes four towers and two levels of underground parking for the retail and the apartments. The project is organized around an active pedestrian plaza. The buildings that share this site will be two ten-story towers, a twenty-story tower, and a thirty-two story tower. The towers will be sited around an open public accessible plaza that will include water features, storm and waste-water treatment facilities similar to Hassalo on 8th, stair and elevator pavilions, and will be ringed by retail spaces that spill into the plaza. The retail spaces and the lobbies of each building will be transparent, allowing views from the streets into the central plaza, and the plaza will be accessible from all four sides on axis with the vacated streets, NE 8th in the north-south direction, and NE Pacific in the east-west direction. The vision of the plaza space is that it will be a public amenity that will activated by surrounding retail and diversity of uses. The plaza mixture and scale of spaces will compliment both the neighborhood and the more soft space offered at the Holladay Park to the east.

Our current schedule is to bid this project in Q4 of 2015 and begin construction in Q1 of 2016.

*We would like to discuss with the commission the site planning principles and disposition of height and massing to maximize solar gain in the plaza and preserve views from and between new and existing structures.

*We would like to discuss with the commission the strategy to create a pedestrian only plaza space, although not literally quartering the superblock with vehicular paths, we are creating the openings and access ways aligned with the 200 foot grid.

*We would like to discuss with the commission the scale of the open spaces and their treatment and relationship to the street edges. It is the intent of the design team to create both visual and physical porosity into the center of the site to engage and draw in the neighborhood and community.

*We would like to share and discuss thoughts of the proposed location of the building massing and their orientation as it relates to the district and the skyline.

*We would like to discuss the streetscape and how the buildings meet the ground. Both vehicular and pedestrian access points.

*NE 9th Avenue has been proposed a "Service street" for the development with double-duty for access to below grade parking and for access to the loading service bays for Blocks 102 and 103.



OREGON SQUARE

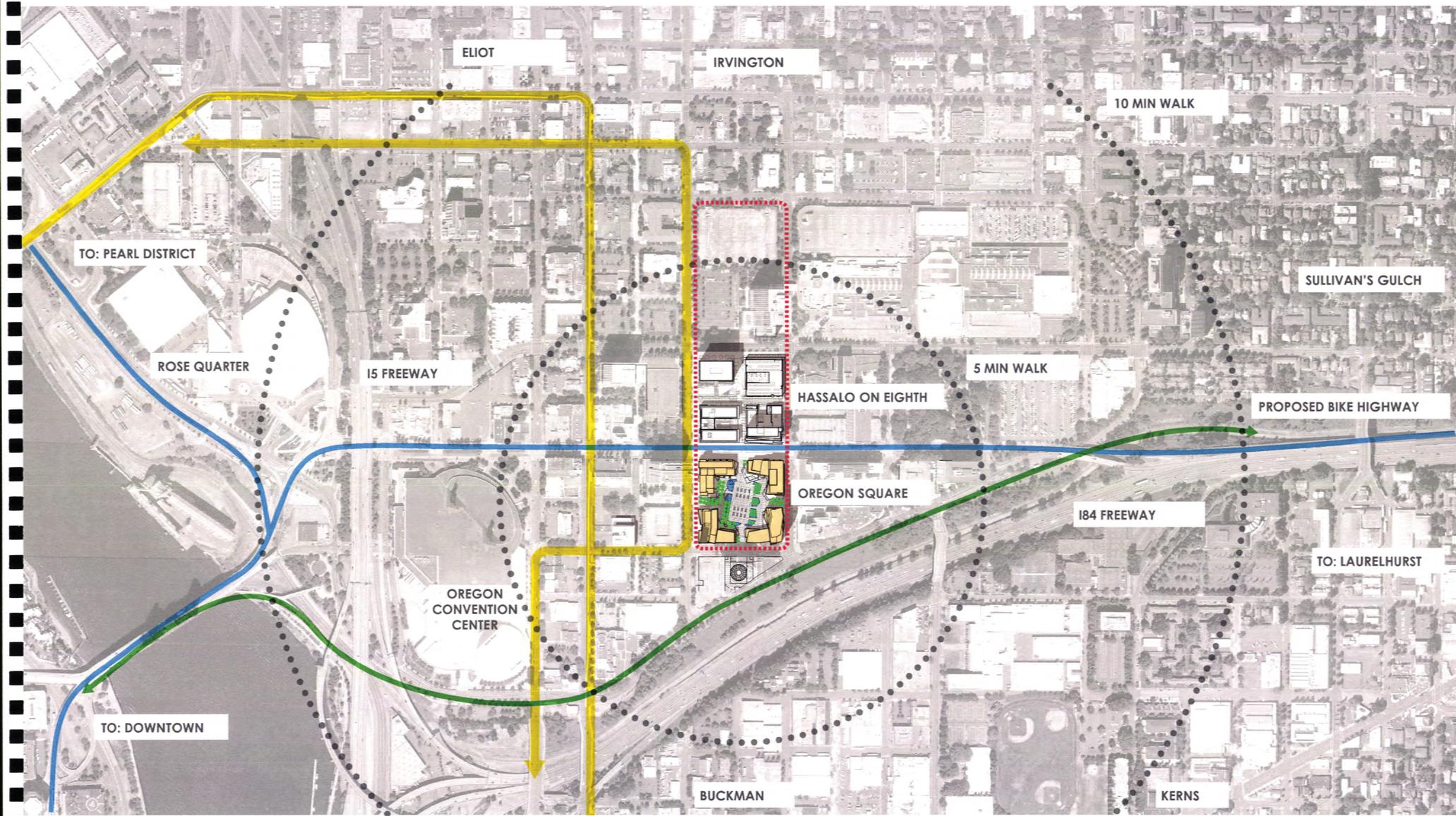
25% SCHEMATIC DESIGN

American Assets Trust
GBD Architects
GLUMAC
Place Studio
KPF
BIOHABITATS
HHPR

November 25, 2014

DESIGN ADVICE REQUEST

EA14-242870 DAR



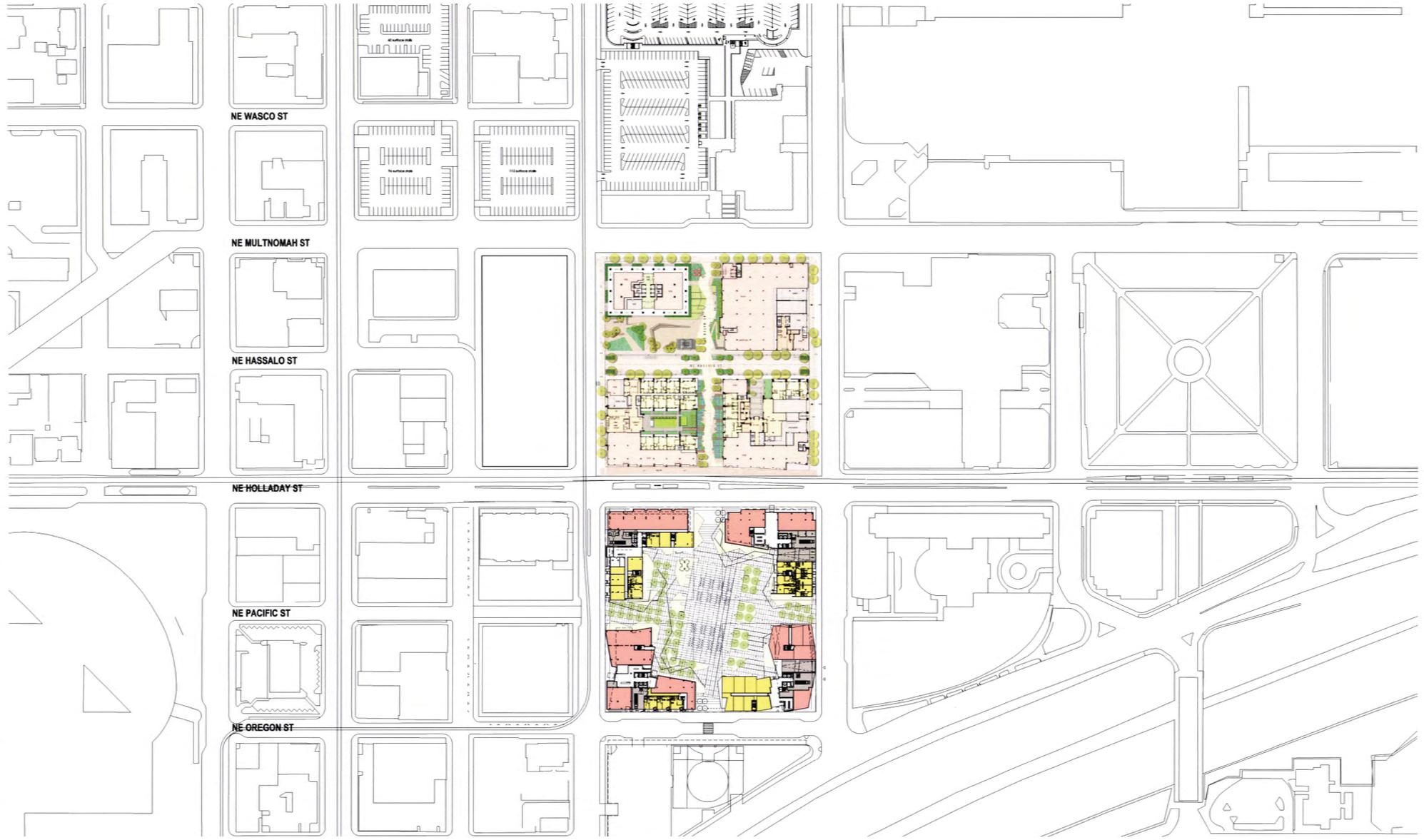
PROJECT
OREGON SQUARE

DATE
OCTOBER 2, 2014
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VICINITY: NORTHEAST PORTLAND

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 EA 14-242870 DAR



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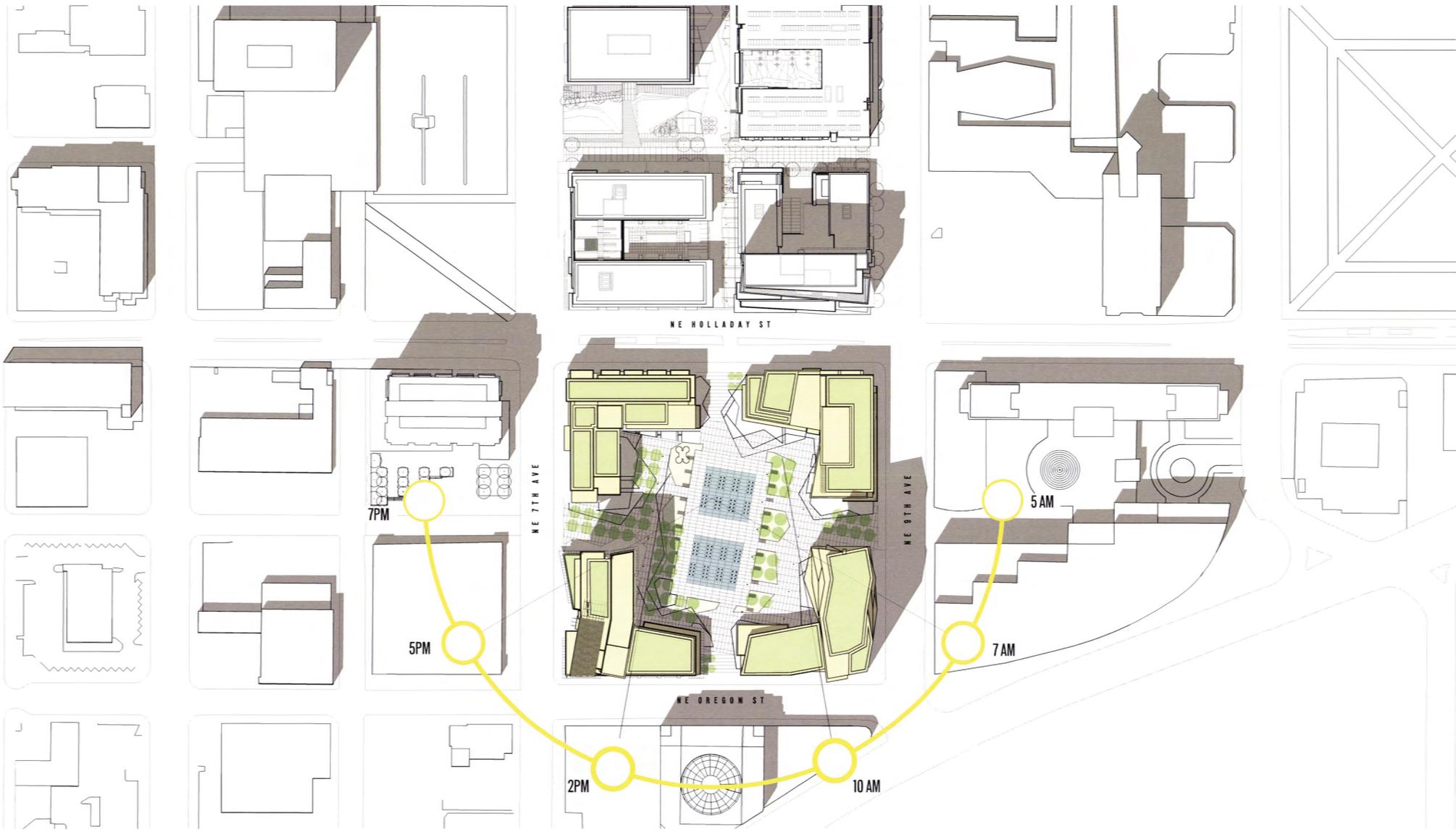
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CONTEXT: DISTRICT SITE PLAN



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EA 14 - 242870 DAK



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OREGON SQUARE

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ROOF

BLOCK
OREGON SQUARE

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 EA14-242870DR



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OREGON SQUARE

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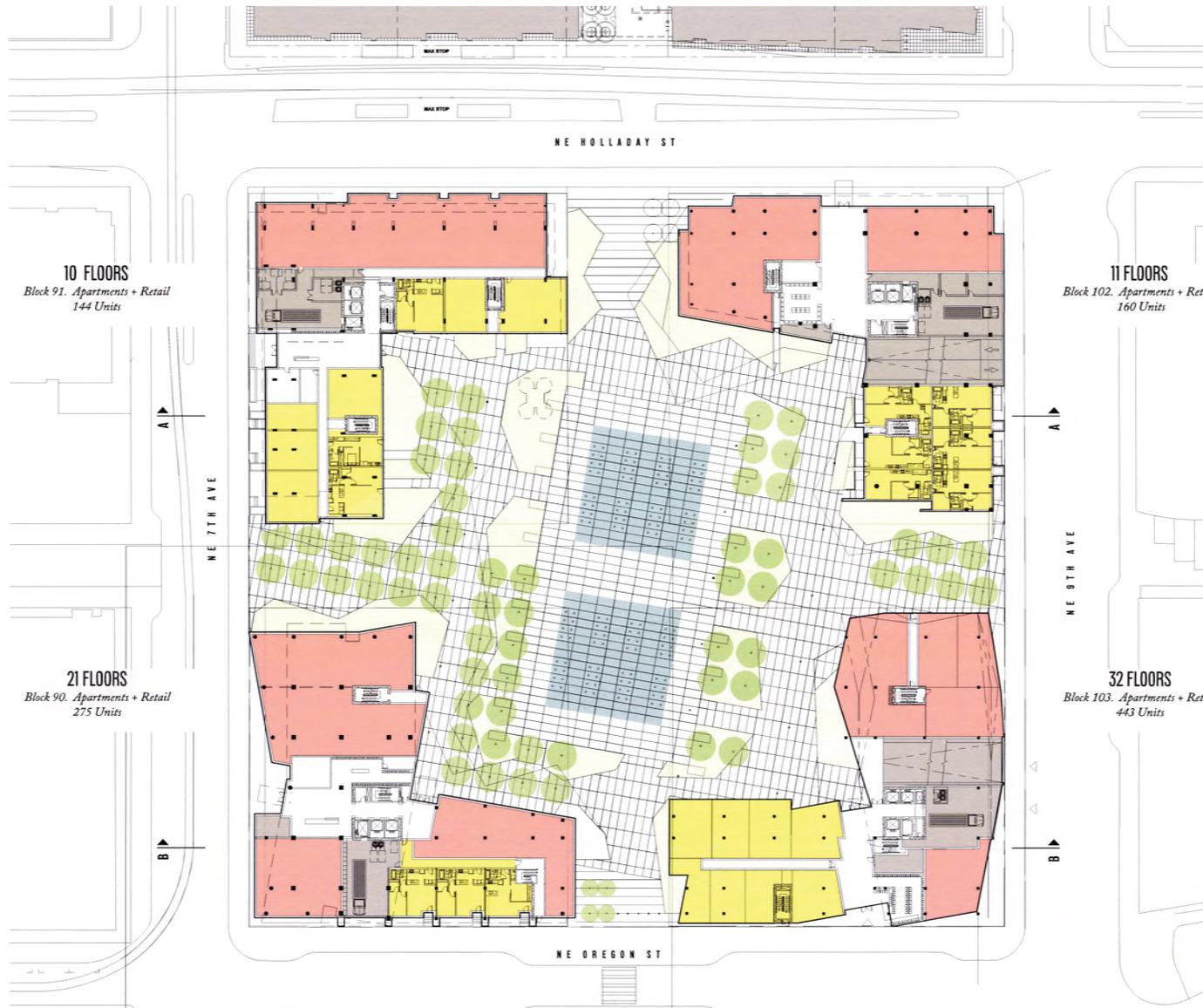
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CONTEXT: SITE DESIGN APPROACH

PREPARED BY

GBD ARCHITECTS

EA 14 - 2428700AR



10 FLOORS
 Block 91. Apartments + Retail
 144 Units

11 FLOORS
 Block 102. Apartments + Retail
 160 Units

21 FLOORS
 Block 90. Apartments + Retail
 275 Units

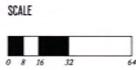
32 FLOORS
 Block 103. Apartments + Retail
 443 Units

APARTMENTS - PUBLIC AREA
APARTMENTS
RETAIL
ACCESS
SERVICE / SUPPORT
BUILDING SERVICES

PROJECT
OREGON SQUARE

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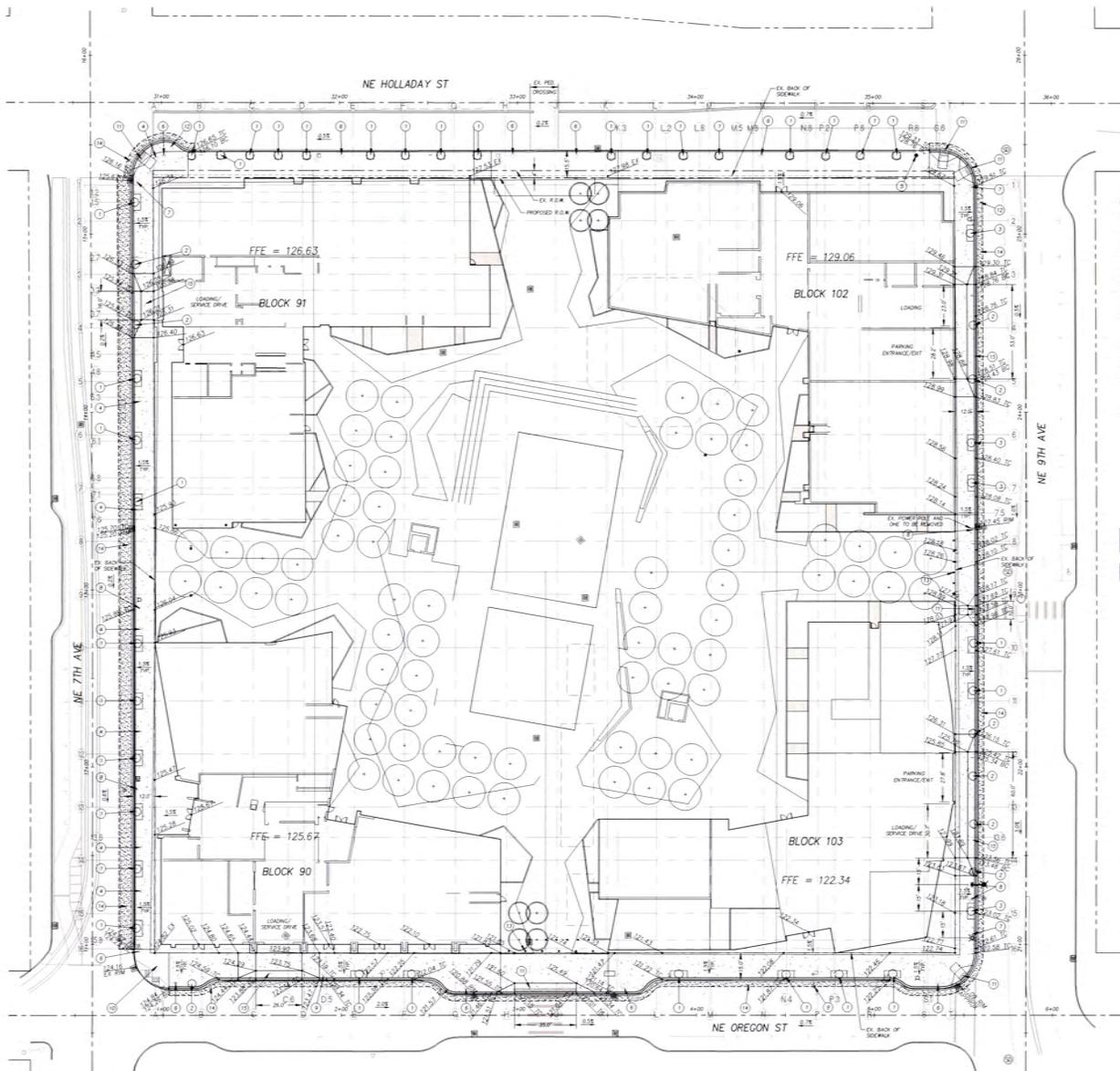
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BLOCK

GROUND OREGON SQUARE

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EA14 - 242870 DAR



GENERAL NOTES

WORK SHALL CONFORM WITH THE CITY OF PORTLAND STANDARDS, THE INTERNATIONAL BUILDING CODE (IBC), AND THE UNIFORM FIRE CODE (UFC).

THE LOCATION AND DESCRIPTIONS OF EXISTING UTILITIES SHOWN ARE COMPILED FROM AVAILABLE RECORDS AND AIR PHOTO SURVEYS. THE CITY OF PORTLAND COMPARES DO NOT GUARANTEE THE ACCURACY FOR THE COMPLETION OF WORK DESCRIBED BY EXISTING TOPOGRAPHIC INFORMATION SHOWN IS BASED ON SURVEY INFORMATION BY HARTLEY HOUPT PETERSON PROWELL, INC.

THE CONTRACTOR SHALL VERIFY WITH ALL REQUIREMENTS OF THE CITY OF PORTLAND TO OBTAIN THE CONSTRUCTION PERMIT. VERIFY EACH UNDERGROUND UTILITY AT LEAST 48 HOURS BEFORE EXCAVATION. EXCAVATION OF EXISTING UTILITIES SHALL BE STOPPED IMMEDIATELY IF NECESSARY PRIOR TO EXCAVATING OR BORING TO ALLOW THE CONTRACTOR TO DETERMINE GRADE OF ALIGNMENT CONTACT.

PROVISIONS SHALL BE MADE BY THE CONTRACTOR TO KEEP ALL EXISTING UTILITIES IN SERVICE AND PROTECT THEM DURING CONSTRUCTION. COORDINATE WITH ENGINEER/ARCHITECT.

GRADING NOTES

STRAIGHT GRADES SHALL BE RUN BETWEEN ALL FINISH GRADE ELEVATIONS UNLESS OTHERWISE NOTED.

CONTRACTOR SHALL ADJUST ALL CATCH BASINS, SEWER/STORM VALVES, ETC. THAT ARE AFFECTED BY CONSTRUCTION AND/OR FILL TO FINISH GRADE.

LEGEND & ABBREVIATIONS

32.00 FINISH GRADE

2.0% APPROXIMATE SLOPE

BC = BOTTOM OF CURB

TC = TOP OF CURB

WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHOWN FOR INFORMATION ONLY & REFER TO PUBLIC IMPROVEMENT PLANS AND PERMIT REQUIREMENTS.

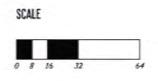
SEE LANDSCAPE PLANS FOR PLANTER DETAILS AND ELEVATIONS.

- CONSTRUCTION NOTES:**
- ① EXISTING TREE TO BE PROTECTED
 - ② EXISTING TREE TO BE REMOVED
 - ③ PROPOSED TREE
 - ④ EXISTING SIGN POLE TO BE PROTECTED
 - ⑤ EXISTING DRINKING FOUNTAIN TO BE PROTECTED
 - ⑥ EXISTING TRIM ORNAMENTAL LIGHT POLE TO BE REPAIRED AND REFINISHED TO L&L
 - ⑦ EXISTING TRIM ORNAMENTAL LIGHT POLE TO BE REMOVED, REPAIRED, AND REINSTALLED. LUMINAIRE TO BE UPGRADED TO L&L
 - ⑧ EXISTING CORNER POLE TO BE REMOVED AND REPLACED WITH NEW METAL POLE, FOUNDATION, AND L&L LUMINAIRE
 - ⑨ EXISTING CORNER POLE TO BE REMOVED, REPAIRED, AND REINSTALLED WITH NEW FOUNDATION AND L&L LUMINAIRE
 - ⑩ EXISTING SIDEWALK AND RAMP TO BE PROTECTED
 - ⑪ METAL SIDEWALK RAMP WITH TRUNCATED DOMES
 - ⑫ EXISTING SIGN POLE TO BE PROTECTED
 - ⑬ METAL REMOVABLE BOLLARDS
 - ⑭ REMOVE EXISTING ASPHALT TO LIMITS AT SANIT LINE. CONSTRUCT ASPHALT PAVEMENT.
 - ⑮ CONSTRUCT DRIVEWAY

PROJECT
OREGON SQUARE

DATE
OCTOBER 2, 2014
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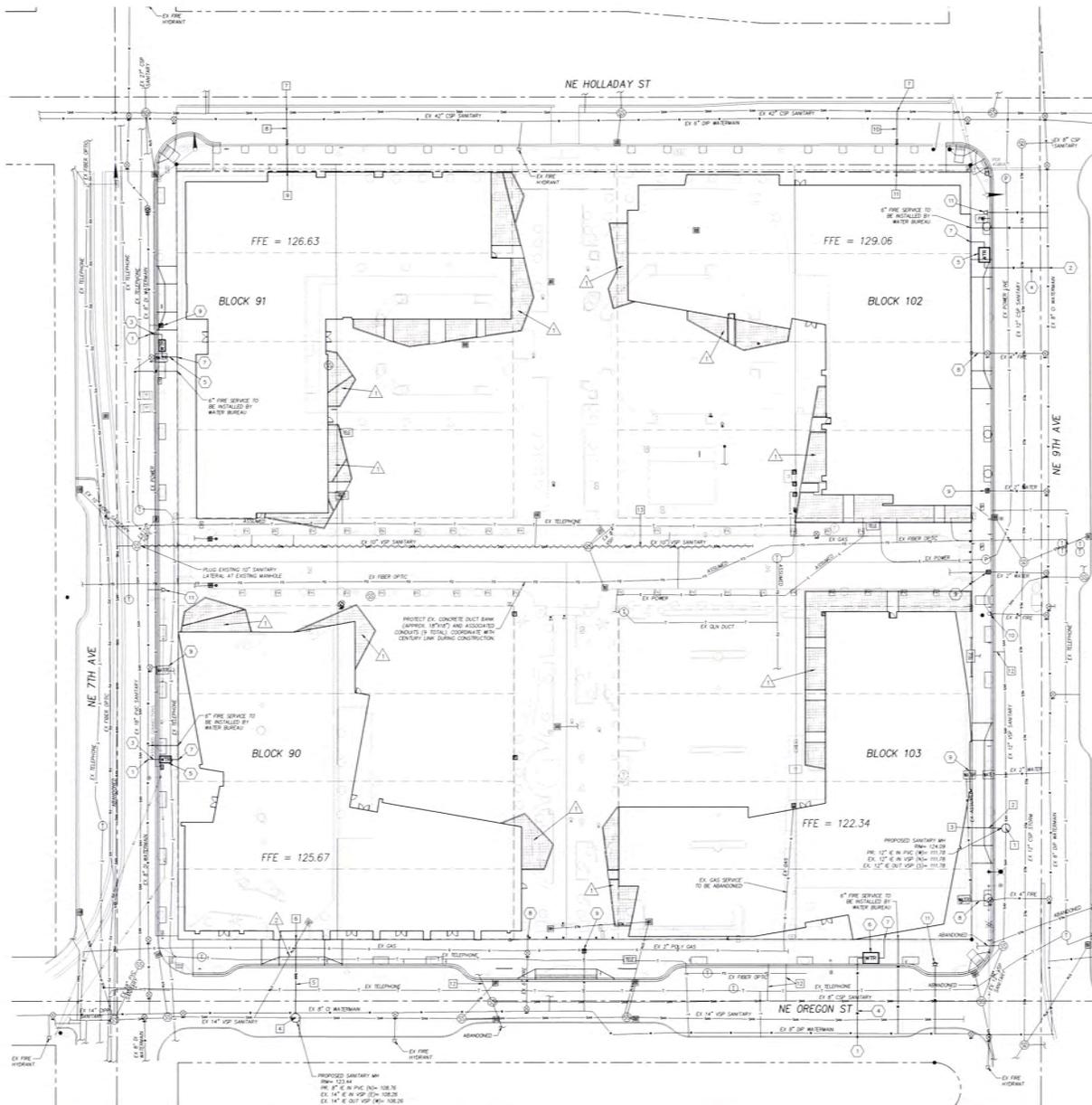
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BLOCK

SITE PLAN OREGON SQUARE



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14-242870-0AR



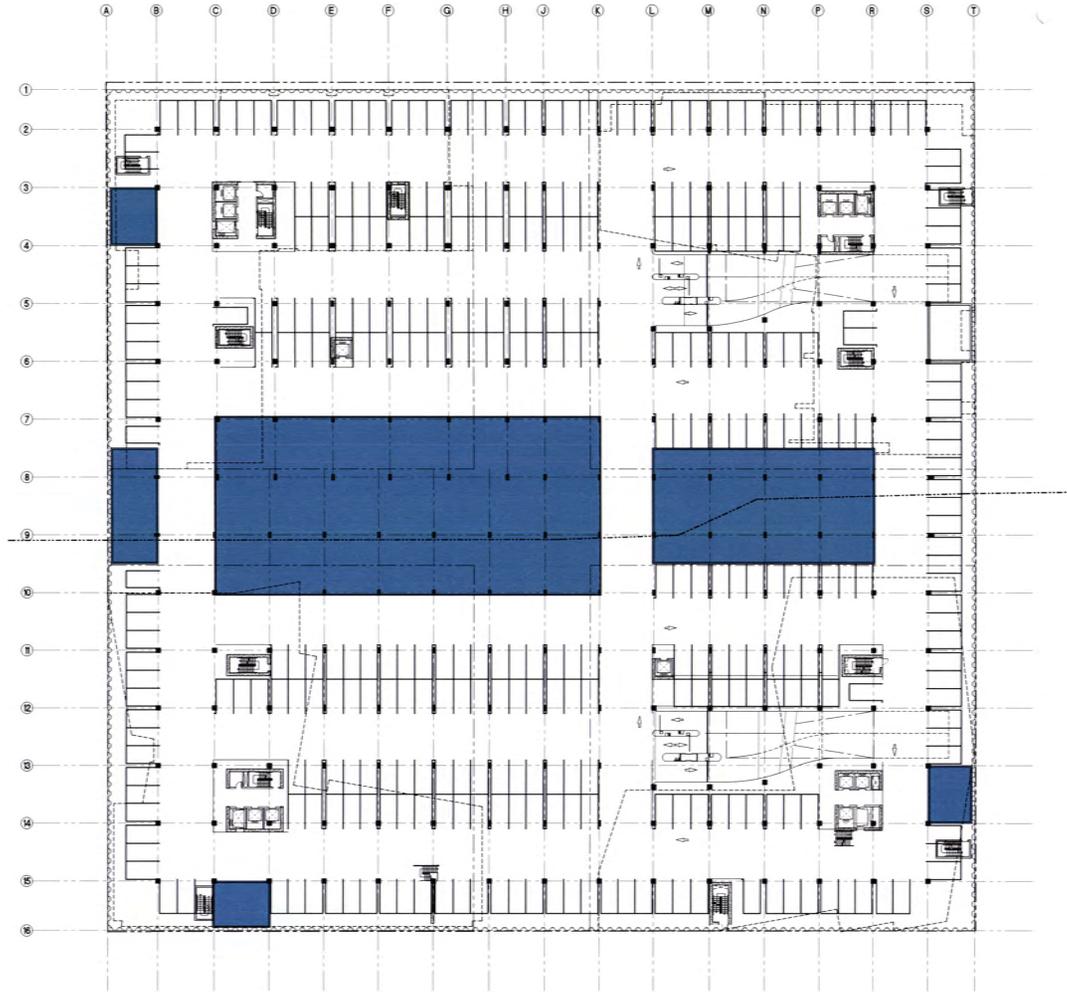
- GENERAL NOTES**
- WORK SHALL COMPLY WITH THE CITY OF PORTLAND STANDARDS, THE INTERNATIONAL BUILDING CODE (IBC), AND THE UNIFORM PLUMBING CODE (UPC).
- THE LOCATION AND DESCRIPTIONS OF EXISTING UTILITIES SHOWN ARE COMPILED FROM AVAILABLE RECORDS AND FIELD SURVEY. THE CITY OF PORTLAND CANNOT GUARANTEE THE ACCURACY OF THE RECORDS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. EXISTING TOPOGRAPHIC INFORMATION SHOWN IS BASED ON DATA PROVIDED BY PORTLAND PLANNING DEPARTMENT.
- THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF ORS 15.241 TO 15.247. THE CONTRACTOR SHALL NOTIFY EACH UNDERGROUND UTILITY AT LEAST 48 HOURS BEFORE ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF PORTLAND TO EXCAVATE OR BURY TO ALLOW THE CONTRACTOR TO PRESENT GRADE OF ALLOWED CONTACTS.
- PROVISIONS SHALL BE MADE BY THE CONTRACTOR TO KEEP ALL EXISTING UTILITIES IN SERVICE AND PROTECT THEM DURING CONSTRUCTION. COORDINATE WITH ENGINEER/ARCHITECT.
- STORM DRAINAGE**
- STORM DRAIN PIPE, BENDS AND FITTINGS SHALL BE PVC (ASTM D3035) OR 4" CLASS OF SMOOTH WIRELESS HIGH DENSITY POLYETHYLENE COMPOUNDED PIPE AS PRODUCED AND SPECIFIED BY AIAI. PRODUCT NAME WITHIN 10' OF EXISTING CONCRETE PIPE OR EQUIVALENT UNLESS OTHERWISE SPECIFIED ON PLANS.
- BEFORE TESTING AND INSPECTION OF THE STORM SYSTEM, ALL PARTS OF THE SYSTEM SHALL BE CLEANED OF ALL DEBRIS.
- TESTING OF STORM PIPELINE SHALL BE IN ACCORDANCE WITH CITY OF PORTLAND REQUIREMENTS.
- WATER NOTES**
- ALL PIPE SHALL HAVE 36" MINIMUM COVER MEASURED FROM FINISH GRADE.
- ALL WATER LINE WORK IN PUBLIC RIGHT-OF-WAY INCLUDING METER BUILT EXCAVATION WORK ON THE PROPERTY OF THE CONTRACTOR SHALL BE COMPLETED UPON COMPLETION OF THE INSTALLATION OF THE WATER SYSTEM. ALL LINES SHALL BE FLOWED AND COVERED TO COMPLY WITH HEALTH DIVISION CHARGES AND CITY REQUIREMENTS. THE CONTRACTOR SHALL TEST ALL LINES PER THE CITY REQUIREMENTS.
- PRIVATE DOMESTIC AND FIRE SERVICE LINES 1 1/2" OR LARGER TO BE 10' MINIMUM COVER OR SCHEDULE 40 PVC LINES 4" OR LARGER TO BE CLASSED 30.0. ALL WATER PIPE SHALL COMPLY WITH CITY OF PORTLAND ANNA AND DL STANDARDS.
- SANITARY SEWER**
- SANITARY SEWER PIPE SHALL BE PVC (ASTM D3035) CONCRETE (ASTM C14) OR APPROVED EQUAL. ALL SANITARY SEWER CONNECTIONS SHALL BE IN ACCORDANCE WITH CITY OF PORTLAND CHARGES. SPECIFICATIONS ADJUST MANHOLE AND CLEANOUT PIPS TO FINISH GRADE.
- MISC. UTILITIES**
- ELECTRICAL, TELEPHONE, GAS AND TV SERVICE SHALL BE COORDINATED BY THE CONTRACTOR WITH THE APPROPRIATE UTILITY COMPANY. APPROXIMATE LOCATION OF PORTLAND FACILITIES SHOWN FOR REFERENCE ONLY. COORDINATE LOCATION WITH OWNER.
- WATER LINE CONSTRUCTION NOTES**
- PROPOSED CONNECTION TO EXISTING 8" DUCTILE IRON WATER LINE.
 - PROPOSED CONNECTION TO EXISTING 8" CAST IRON WATER LINE.
 - 4" DOMESTIC WATER LINE TO BE INSTALLED BY WATER BUREAU.
 - 4" DOMESTIC WATER LINE TO BE INSTALLED BY WATER BUREAU.
 - 4" WATER METER IN 30" VAULT WITH 3.5' SQUARE ACCESS DOOR TO BE INSTALLED BY THE WATER BUREAU. CONTRACTOR TO COORDINATE WITH WATER BUREAU.
 - 4" WATER METER IN 48" UTILITY VAULT WITH 36" MANHOLE ACCESS TO BE INSTALLED BY THE WATER BUREAU. CONTRACTOR TO COORDINATE WITH WATER BUREAU.
 - COORDINATE LOCATION OF WATER LINES AT BUILDING WITH PLUMBING PLANS. SEE EXISTING PLANS FOR CONNECTION SCHEDULES LOCATED INSIDE THE BUILDING.
 - EXISTING FIRE SERVICE WATER LINE TO BE FILLED BY WATER BUREAU.
 - EXISTING WATER SERVICE AND METER TO BE FILLED BY WATER BUREAU. CONTRACTOR TO COORDINATE WITH WATER BUREAU.
 - EXISTING HYDRANT TO BE PROTECTED IN PLACE AND ADJUSTED HORIZONTALLY AS NECESSARY BY WATER BUREAU.
 - INSTALL NEW HYDRANT.
- SANITARY SEWER CONSTRUCTION NOTES**
- CONNECT TO PROPOSED 48" SANITARY MANHOLE.
 - INSTALL 18" OF 12" SANITARY SEWER LATERAL, S = 2.0%
 - 12" AT BUILDING = 110.16. COORDINATE LOCATION AND ELEVATION WITH PLUMBING PLANS.
 - CONNECT TO EXISTING 14" VSP SANITARY SEWER MAIN.
 - INSTALL 45' OF 8" SANITARY SEWER LATERAL, S = 2.0%
 - 8" AT BUILDING = 109.86. COORDINATE LOCATION AND ELEVATION WITH PLUMBING PLANS.
 - CONNECT TO EXISTING 42" VSP SANITARY SEWER MAIN.
 - INSTALL 33' OF 8" SANITARY SEWER LATERAL, S = 2.0%
 - 8" AT BUILDING = 110.46. COORDINATE LOCATION AND ELEVATION WITH PLUMBING PLANS.
 - INSTALL 33' OF 10" SANITARY SEWER LATERAL, S = 2.0%
 - 10" AT BUILDING = 110.36. COORDINATE LOCATION AND ELEVATION WITH PLUMBING PLANS.
 - CONTRACTOR TO VERIFY LOCATION OF EXISTING SANITARY SERVICE, CAP AND REMOVAL IN PLACE.
 - EXISTING 10" SANITARY, ASSOCIATED SERVICES AND CATCH BASINS TO BE REMOVED.
- STORM DRAINAGE CONSTRUCTION NOTES**
- PROPOSED STORM DRAIN PLANS FOR SITE STORMWATER. SEE LANDSCAPE PLANS FOR DETAILS.
 - CONTRACTOR TO VERIFY LOCATION OF EXISTING STORM SEWER LATERAL AND REMOVAL IN PLACE.

PROJECT: OREGON SQUARE
 DATE: OCTOBER 2, 2014
 CLIENT: AMERICAN ASSETS TRUST
 SCALE: 1" = 32'
 DRAWING: BLOCK

SITE PLAN OREGON SQUARE

PREPARED BY: GBD ARCHITECTS
 EA14-242870 PAR

PARKING LEVEL ONE
524 Parking Stalls



APARTMENTS - PUBLIC AREA
APARTMENTS
RETAIL
OFFICE
RENDER / SUPPLY
BUILDING SERVICES

PROJECT
OREGON SQUARE

DATE
OCTOBER 2, 2014
25% SCHEMATIC DESIGN

CLIENT
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ASSETS TRUST**

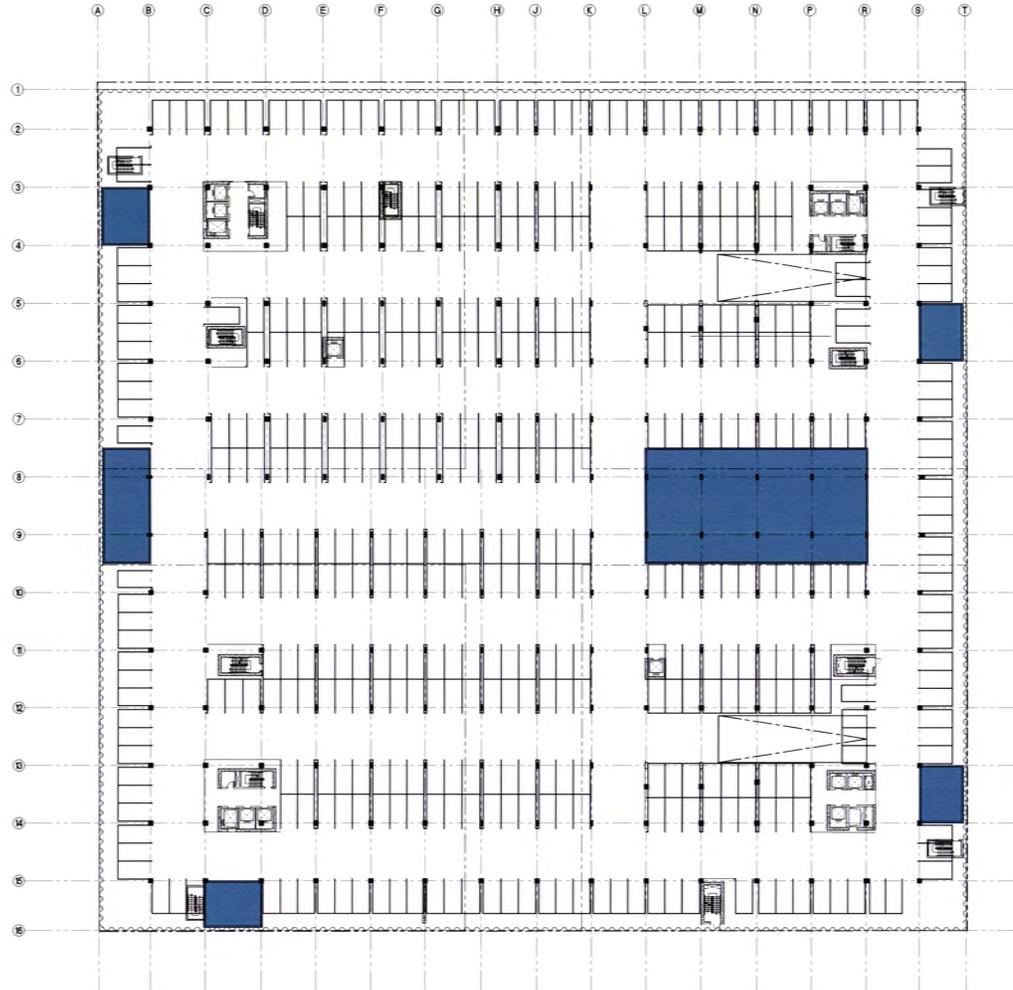


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P-1

BLOCK
OREGON SQUARE

PREPARED BY
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EA 14 - 242870 DAR

PARKING LEVEL THREE
445 Parking Stalls



APARTMENTS - PUBLIC AREA
APARTMENTS
RETAIL
SOCIETY
SERVICES / SUPPORT
BUILDING SERVICES

PROJECT
OREGON SQUARE

DATE
OCTOBER 15, 2014
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P-2

BLOCK
OREGON SQUARE

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GA14-242870 *dar*



PROJECT
OREGON SQUARE

DATE
OCTOBER 2, 2014
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BLOCK
91/ BL102

PREPARED BY
GBD ARCHITECTS
EA14-242870 OAK



21 FLOORS
Block 90. Apartments + Retail
 275 Units

32 FLOORS
Block 103. Apartments + Retail
 443 Units

PROJECT
OREGON SQUARE

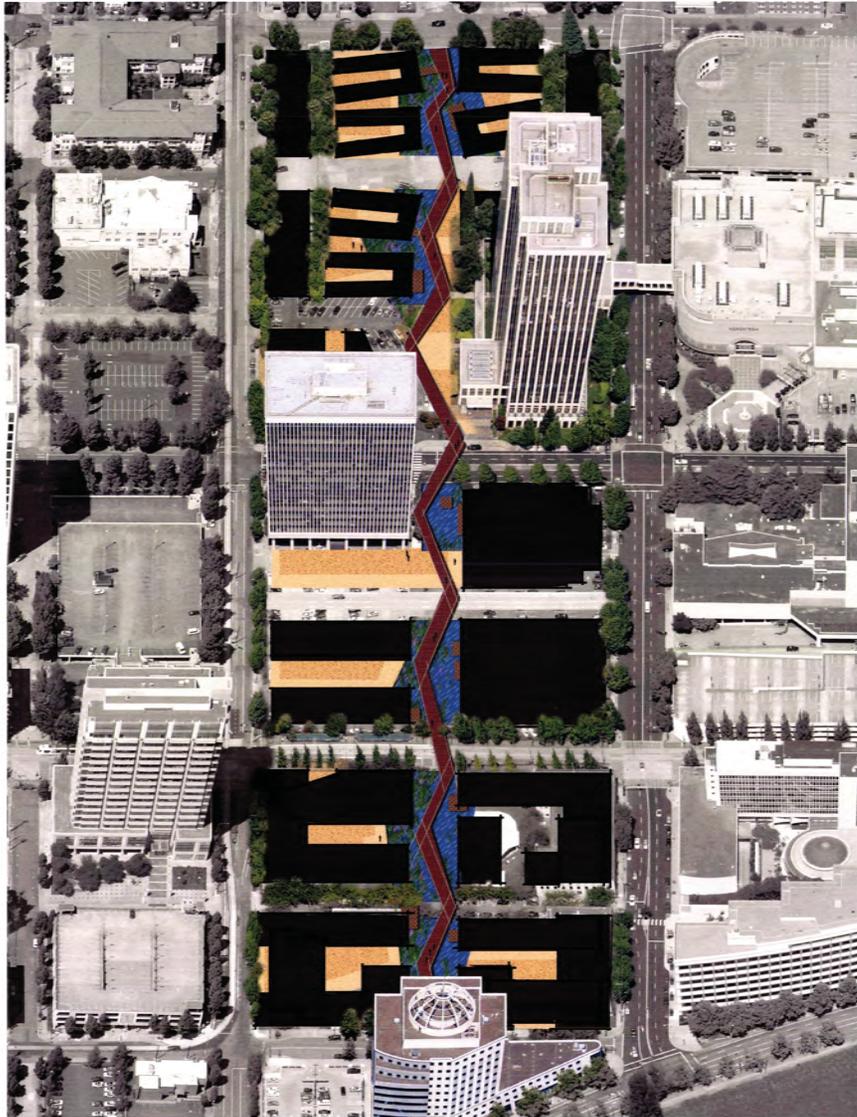
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DRAWING
SEC B-B

BLOCK
BL 90 / BL 103

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 EA14-242870 DAR



PROJECT

OREGON SQUARE

DATE

OCTOBER 2, 2014
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CLIENT

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1 RESPOND TO SURROUNDING URBAN FABRIC.

The understanding of existing and future contextual urban form, scale, mass, and movement will allow for greater integration. Addressing District needs will give visibility and increase value for the developer's new goals.



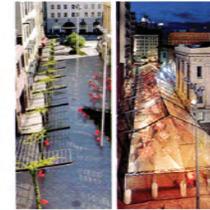
6 ADDRESS PUBLIC-PRIVATE ZONES.

Even though under private ownership, the Lloyd Bluffs development will create a welcoming public environment. Sharing the same structure private and communal space. Physical elements, visual cues and signage will work together to make a suitable atmosphere of pedestrian access while providing the necessary privacy for residents at events and parties.



4 PROVIDE OUTDOOR COMFORT.

Spaces should be inviting and comfortable featuring adequate shade, weather, water access, shade and lighting, promoting year-round activity for a variety of users and activities. Consider the urban fabric to support a 24-hour annual environment, extending opportunities past the end of the work day and work week.



2 DEVELOP HIGHLY FLEXIBLE & PROGRAMMABLE PLACES.

Promote markets, events, celebrations, music, dining with space that are varied, dynamic and adaptable, allowing for multiple uses and uses for food, housing, utility infrastructure and structure for seasonal lighting, street furniture and art installations.



7 CREATE A DISTINCT THREE DIMENSIONAL LANDSCAPE.

Create varied landscape typologies that wrap the site and buildings to maximize terrace, refuge, and green walls. Acknowledge the 5th Avenue environment.



5 ARTICULATE THE SIDEWALK-BUILDING INTERFACE.

Utilize the integrity of building facade and structure to maximize existing outdoor space and welcoming building exterior. Intentional masses have the ability to offer comfort and protection for outdoor dining, social interaction, visual visibility and environmental interest.



3 CREATE A VIBRANT STREETScape.

Attractable streets that are a scale and quality that bring people out of their homes to socialize and dine by creating attractive seating, lighting and planting art. Density the 5th Avenue corridor as a high-pedestrian street to create park amenity to be enjoyed by both residents and the surrounding District.



8 INTEGRATE THE LANDSCAPE MACHINE.

Sustainable landscapes are functional components of our urban infrastructure. This infrastructure should be tested and optimized and work in concert with other site elements to enhance the experience of the landscape - it should not be a liability.



9 PROMOTE AWARENESS OF URBAN ECOLOGY.

Acknowledge the site as part of the larger urban landscape ecosystem. Consider habitat for birds and insects making connections to the larger landscape. Focus on resident creation while being aware of issues related to migratory species.



10 IDENTIFY OPPORTUNITIES FOR ART IMPLEMENTATION.

As a defining characteristic of Portland's urban environment art and publicly funded public space enhances their surroundings. A holistic approach to art in the development has the potential to establish a precedent for a landmark of the Lloyd Bluffs.

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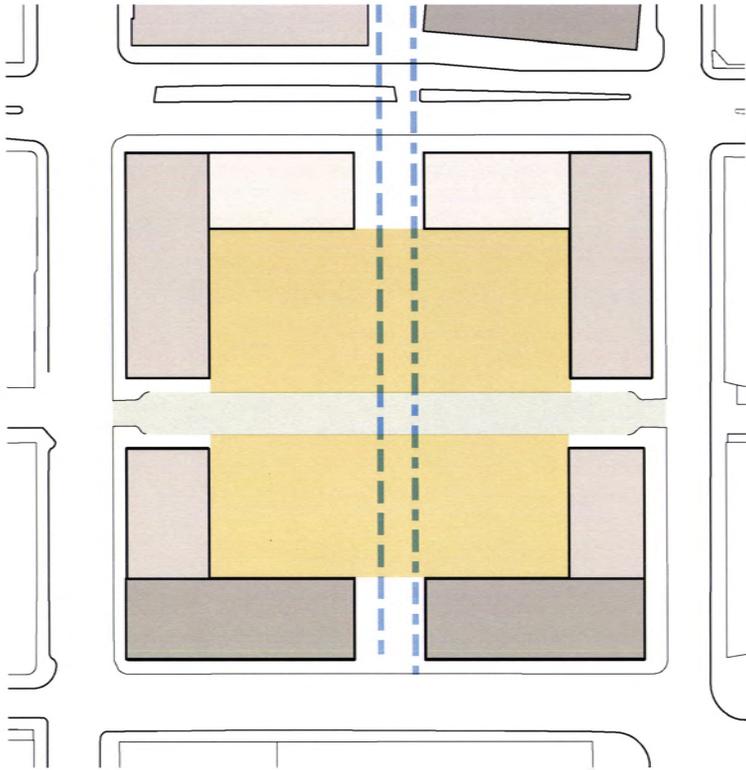
MASTER PLAN: GOALS



PREPARED BY

GBD ARCHITECTS
PLACE

EA14-242870 OAK



Plaza Santa Ana, Madrid

- DISTRICT PLAZA SPACE
- BUILDINGS DEFINE EDGES
- FLEXIBILITY - FESTIVALS, MARKETS, EVENTS



1 ACRE

PROJECT: OREGON SQUARE
 DATE: OCTOBER 2, 2014
 25% SCHEMATIC DESIGN
 CLIENT: AMERICAN ASSETS TRUST

DRAWING

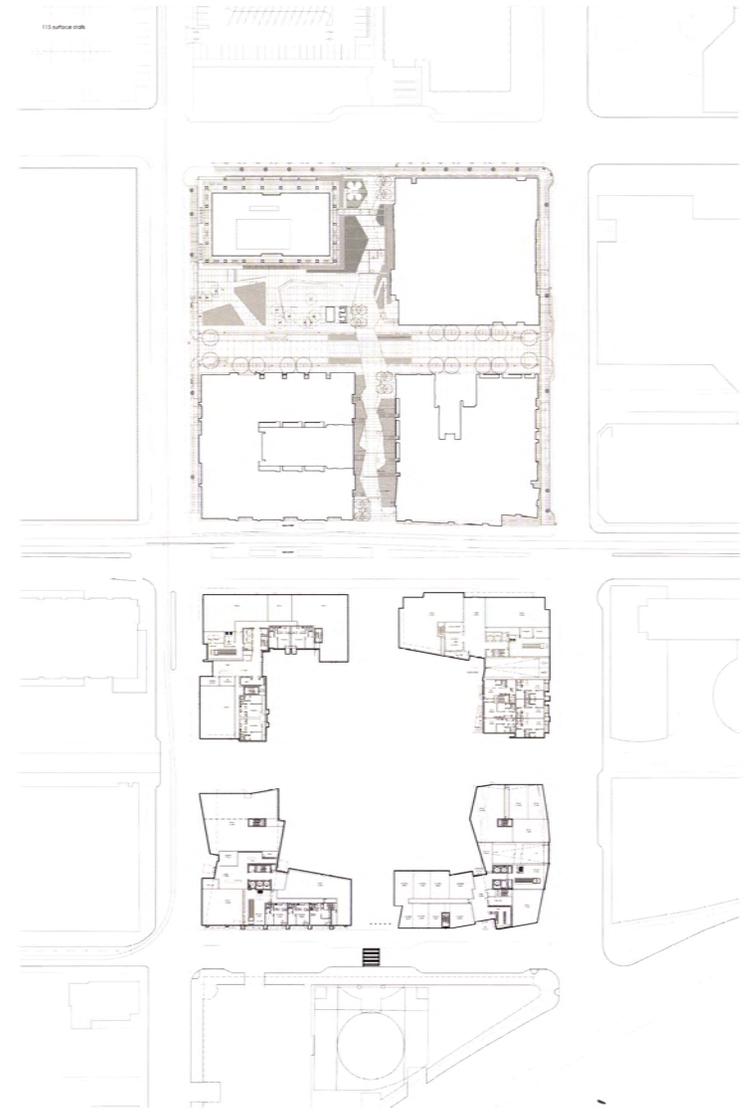
MASTER PLAN:

SCALE / TYPOLOGY

EA14 - 2428700AR



PREPARED BY
 GBD ARCHITECTS
 PLACE



PROJECT
OREGON SQUARE

DATE
OCTOBER 2, 2014
25% SCHEMATIC DESIGN

CLIENT
AMERICAN
ASSETS TRUST

DRAWING
PHASE 1: HASSALO ON EIGHTH



EA14-242870 DAR

PREPARED BY
GBD ARCHITECTS
PLACE



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OREGON SQUARE

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OCTOBER 2, 2014
25% SCHEMATIC DESIGN

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ASSETS TRUST

DRAWING

SCHEMATIC DESIGN: PLAN VIEW
EX 4 - 242870 *bx*



PREPARED BY
GBD ARCHITECTS
PLACE



PROJECT
OREGON SQUARE

DATE
OCTOBER 2, 2014
 25% SCHEMATIC DESIGN

CLIENT
**AMERICAN
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DRAWING
SCHEMATIC DESIGN: AERIAL VIEW
 4 - 24287004

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 PLACE**



- PLANTING AREAS
- MARKET
- SEASONAL ICE RINK
- BEER GARDEN
- SEASONAL HAMMOCKS
- FESTIVAL/ MUSIC
- MOVIES
- FASHION SHOW
- CAR SHOW
- FOOD CARTS
- STREET-FOOD ALLEY
- RODEO EVENT
- BMX COMPETITION
- BEACH VOLLEYBALL

PROJECT

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PLAZA PROGRAM 14-242870 PLACE
FA
DAR



HIGH QUALITY PAVING
 WATER FEATURE
 MOVEABLE TABLES/CHAIRS
 GARDENS
 SCULPTURAL LIGHTING ELEMENT
 UMBRELLAS
 RETAIL ALLEY
 PERGOLA/RAIN CANOPY
 SCULPTURE
 LOUNGE SEATING
 SCULPTURE

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SCHEMATIC DESIGN: PLAZA ELEMENTS 14-242870
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EX 14-242870 ORR



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SCHEMATIC DESIGN: PLAZA ELEMENTS - 242870 PAK
CA 14 - 242870 PAK

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PLACE**



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SCHEMATIC DESIGN: PLAZA ELEMENTS 1 - 2 4 2 8 7 0

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PLACE

DAK



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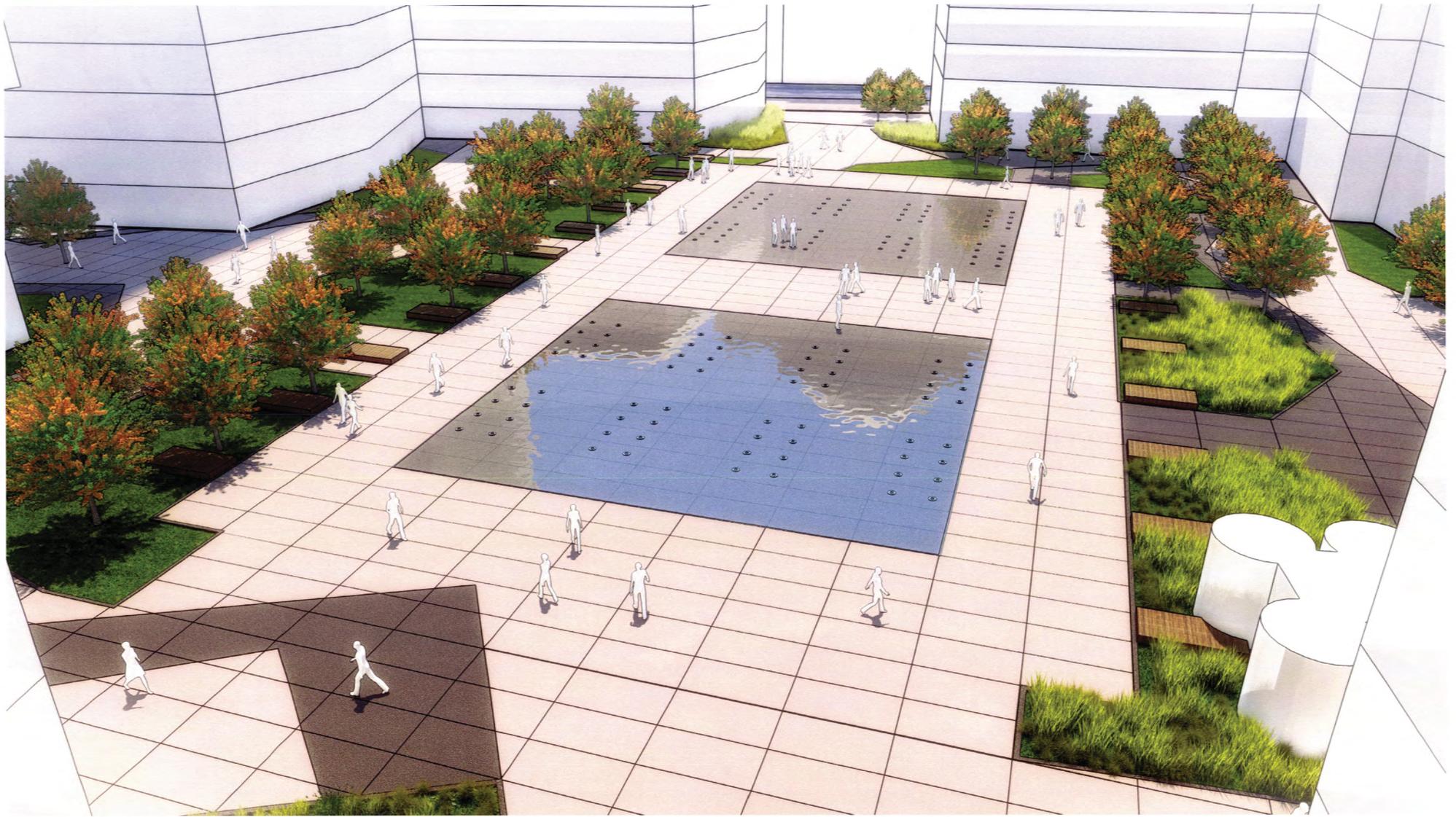
DRAWING

SCHEMATIC DESIGN: VIEW TO NORTH

PREPARED BY

GBD ARCHITECTS
PLACE

CA 1 A - 2 4 2 8 7 0



PROJECT
OREGON SQUARE

DATE
OCTOBER 2, 2014
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SCHEMATIC DESIGN:

VIEW TO SOUTH

014 - 242870

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PLACE

AERIAL OF OREGON SQUARE

Looking northwest towards Rose Quarter



1,022
For-rent housing units

1,108,080
GSF of housing

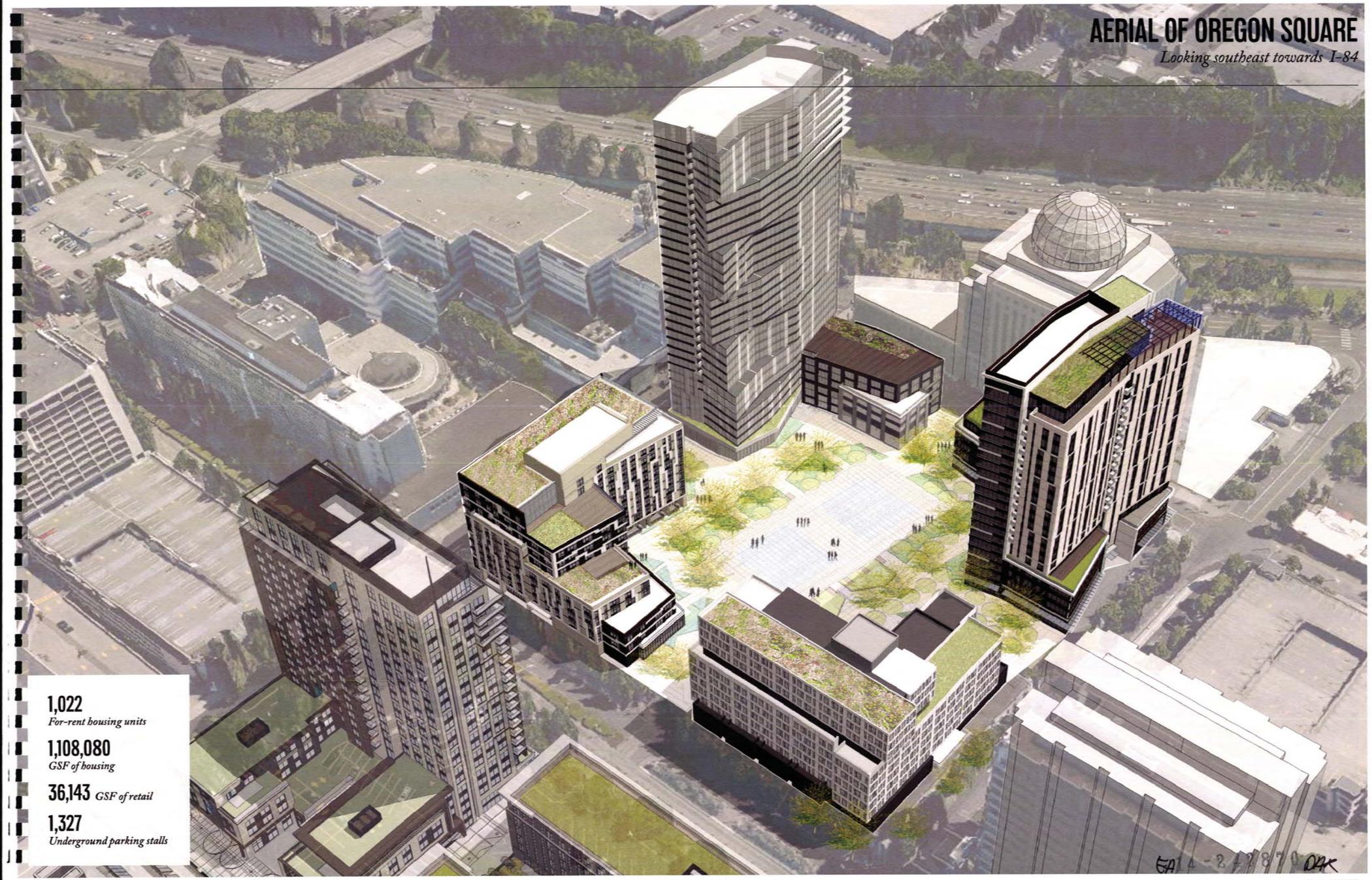
36,143 *GSF of retail*

1,327
Underground parking stalls

EA 11-242870122

AERIAL OF OREGON SQUARE

Looking southeast towards I-84



1,022
For-rent housing units

1,108,080
GSF of housing

36,143 *GSF of retail*

1,327
Underground parking stalls

EA - 2.7.2017 OK

AERIAL OF OREGON SQUARE

Looking south west towards Willamette River



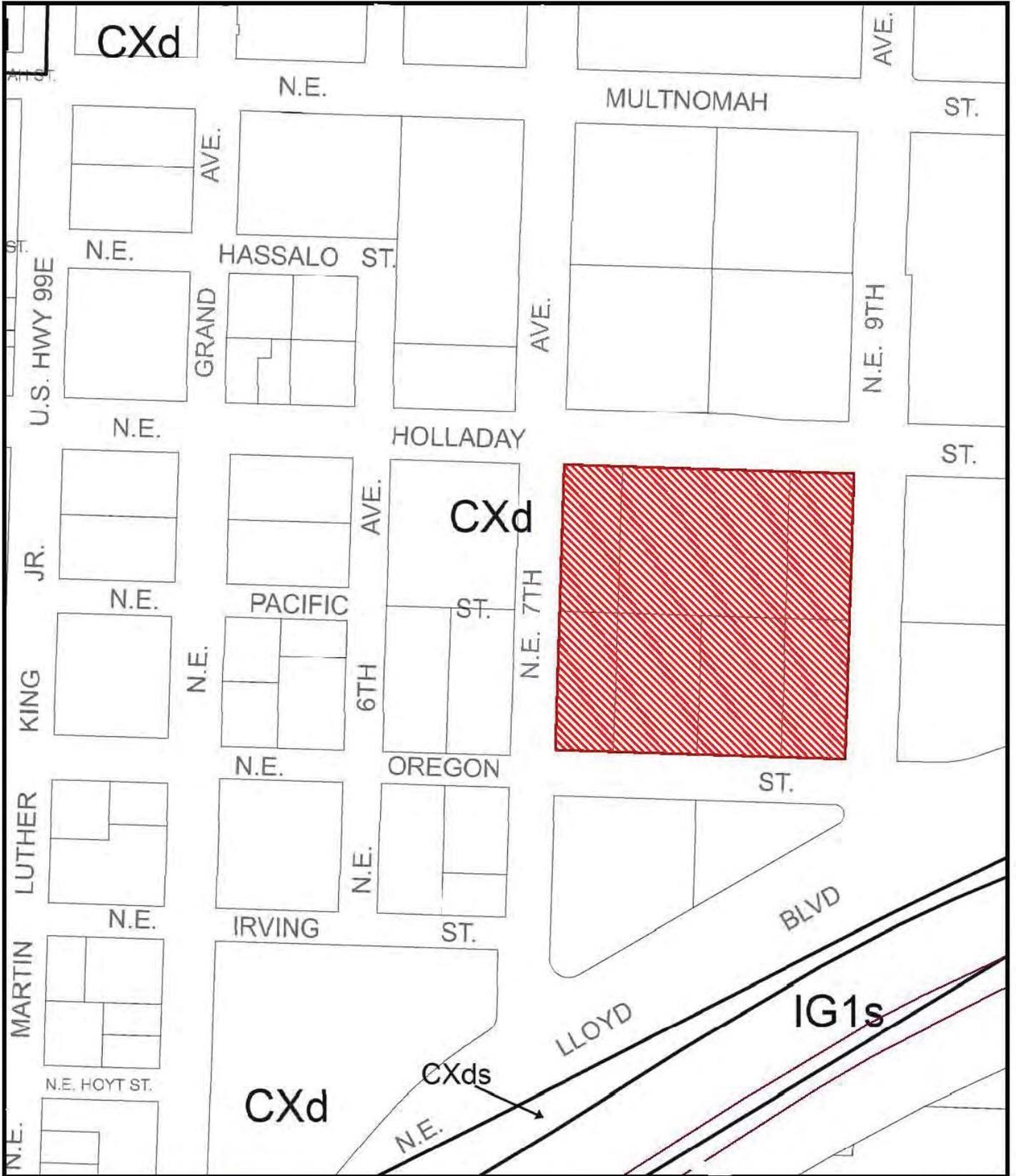
1,022
For-rent housing units

1,108,080
GSF of housing

36,143 *GSF of retail*

1,327
Underground parking stalls

EA 2010 04



ZONING



Site



NORTH

This site lies within the:
CENTRAL CITY PLAN DISTRICT

File No. LU 14-242870 DAR
 1/4 Section 2931
 Scale 1 inch = 200 feet
 State_Id 1N1E35BC 300
 Exhibit B (Dec. 2, 2014)