

St. Francis Park Apartments

PROJECT DESCRIPTION

Location:

Between SE Stark and SE Oak between SE 11th and SE 12th

102 Units:

STUDIOS (73) / 1 BEDROOMS (28) / 2 BEDROOMS (1)

10 units at 30% AMI

92 units at 60% AMI

5 units UNICA, survivors of domestic violence

10 units, homeless transition program

77 units, workforce housing

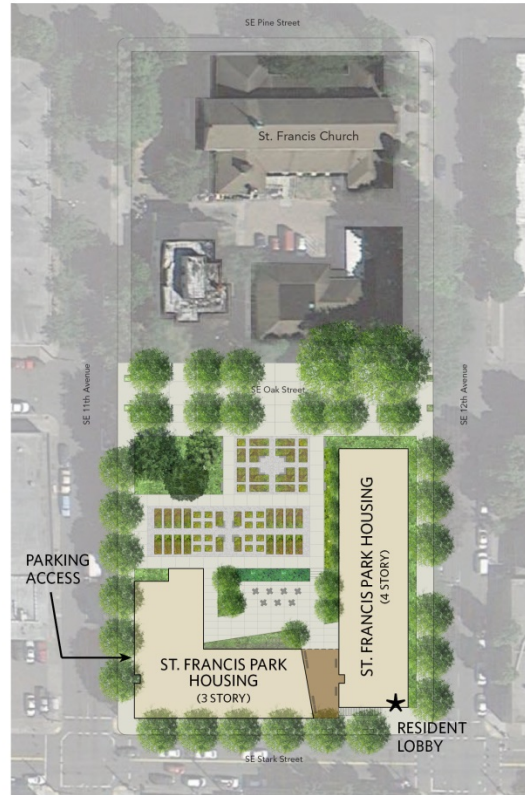
Project Includes:

Central courtyard area open to vacated SE Oak Street, community space, underground parking garage with 33 parking spaces and entrance from SE 11th.

SITE CONNECTIONS DIAGRAM



SITE



GUIDING PRINCIPLES



HOSPITALITY AND RESPECT

- Designed to complement neighborhood
- Shared garden space
- Open courtyard
- Community meeting rooms
- Socializing space on each floor
- Frequent outdoor community events



NATURE AND THE ENVIRONMENT

- Earth Advantage Platinum
- Garden space
- Green landscaping
- Utilizing trees on site for interior furnishings
- Maintaining habitat within the urban core



SOCIAL JUSTICE AND EQUITY

- Established equity goals
- Units for homeless women and domestic violence victims
- Affordable housing for inner eastside workforce
- Employment and training partnerships



- CONTEXT KEY**
- PROJECT SITE
 - HOUSING
 - INDUSTRIAL
 - CIVIC/INSTITUTE



Aerial Photo





Simple forms, large punched openings located where they need to be

Flat street face



Box rib metal siding



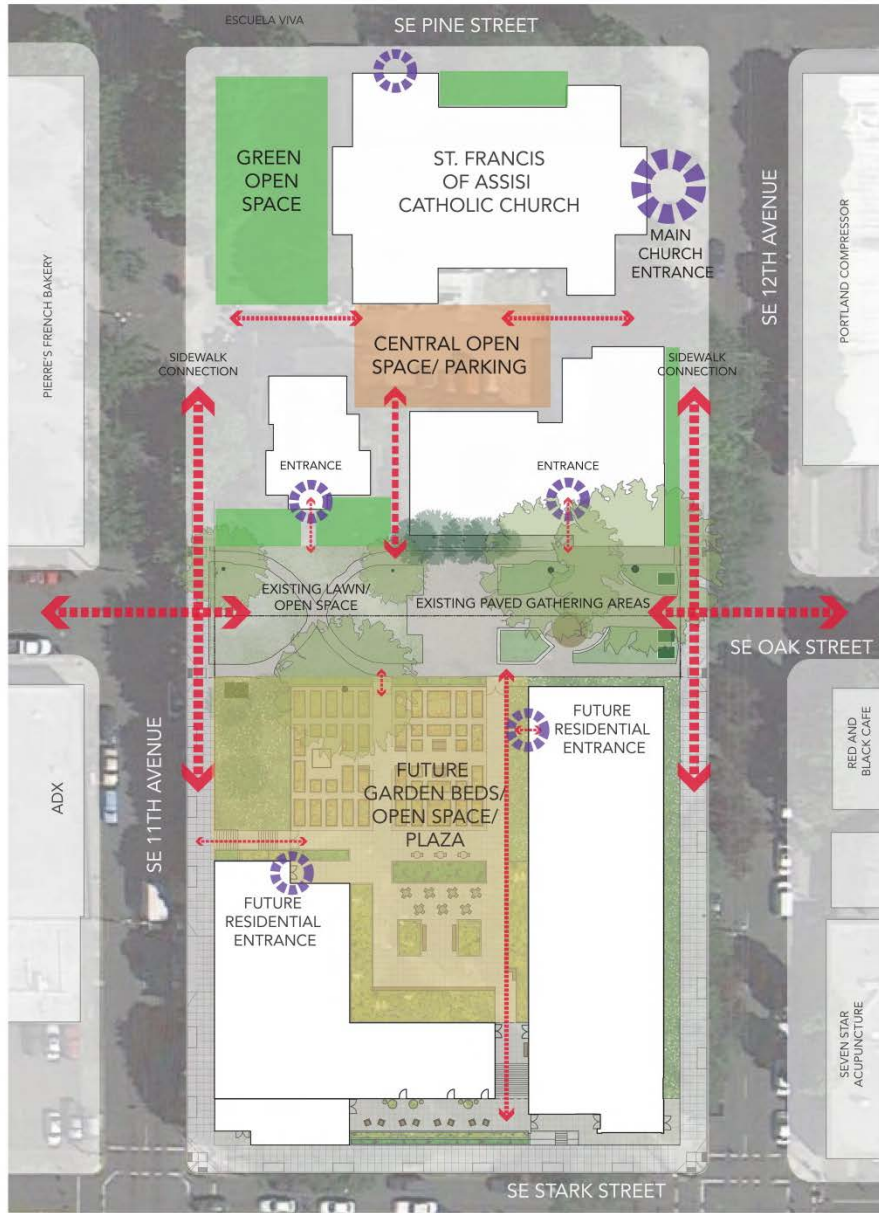
Flat street face with simple protrusions



Textural contrast

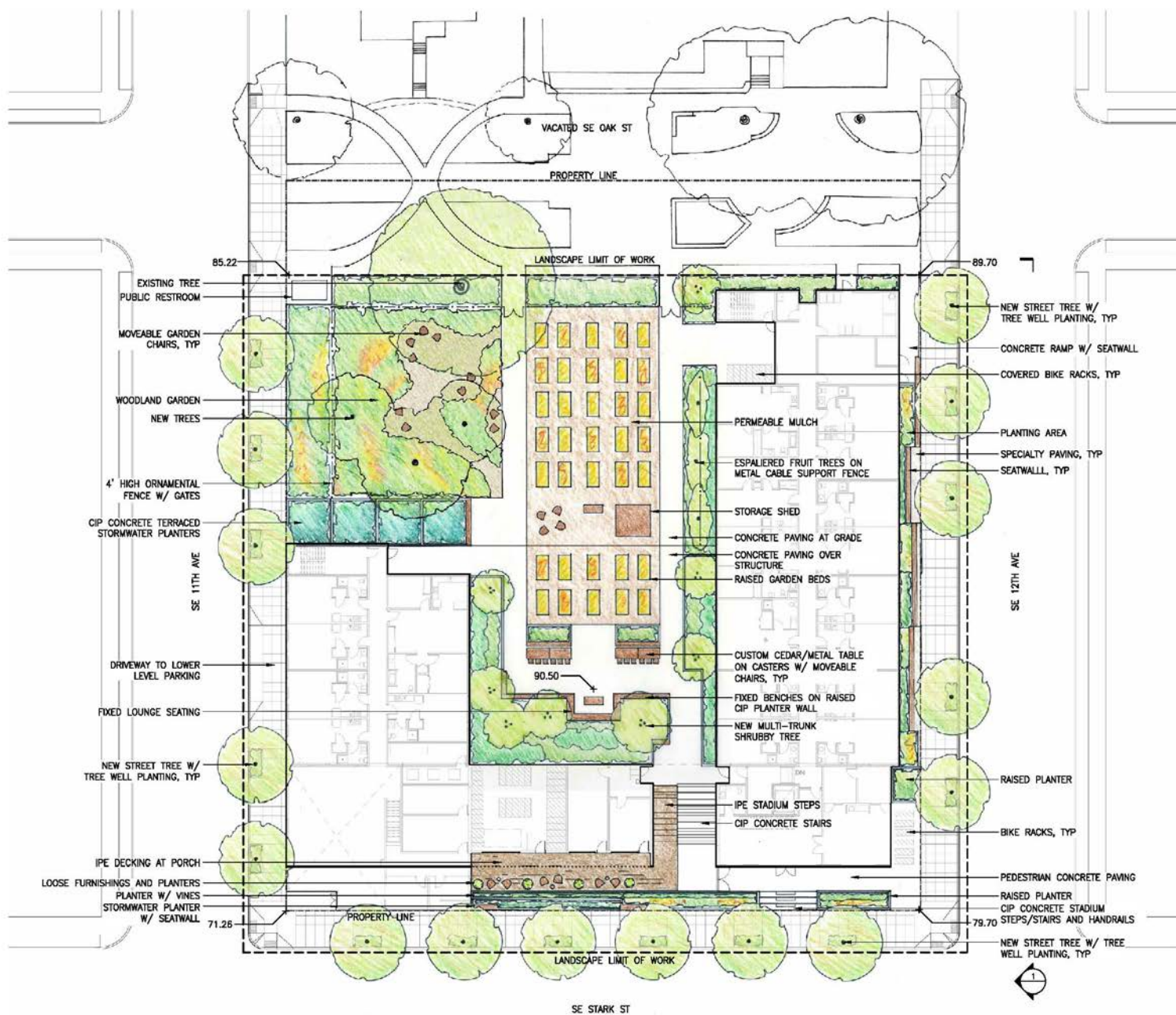


Central Eastside



OAK STREET SITE ANALYSIS

1" = 20'-0"



Site Plan / Landscape Plan

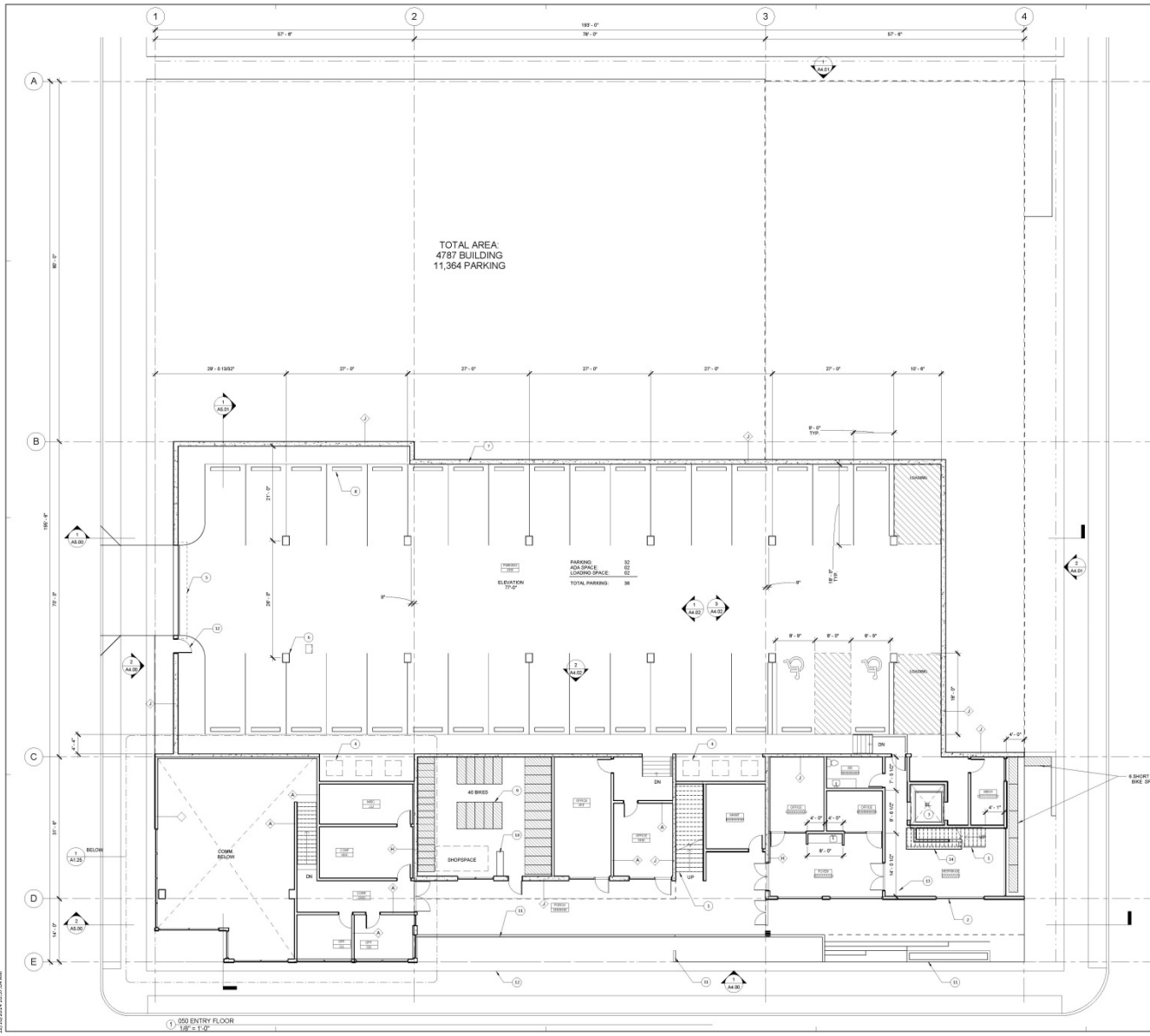
PRELIMINARY

REVISION NO	DATE

ST. FRANCIS PARK APARTMENTS
 1336 SE OAK STREET PORTLAND, OR 97214

HLD PROJECT NUMBER: 23E-31005
 JURISDICTION: SCHEMATIC DESIGN
 DATE: 10/23/2024
 SCALE: As indicated
 PROJECT NUMBER: 202414.00
 DRAWN BY: JF
 DRAWING TITLE: ENTRY LEVEL PLAN

SHEET NUMBER
A1.75



LEGEND

- OVERHEAD
- DOOR
- KEYNOTE
- DOOR TAG
- ROOM TAG (OPTIONAL NAME / NUMBER / SQUARE FOOTAGE)
- WALL TYPE TAG
- ACCESSIBLE UNIT

LOCATION OF DRAFT STOP: DRAFT STOP CONSTRUCTION TO BE SHIP TYPE STEEL BRIM BOARD OR 1" x 1" WOOD. PROVIDE 1" x 1" WOOD STUDS TO BRACE GLASS DOORS WITH SPRING HINGES AND LATCH.

- SHEET GENERAL NOTES**
- FIELD VERIFY DIMENSIONS.
 - DIMENSIONS ARE TO GRIS, FACE OF STUD, CONCRETE, CMU, AND CENTERLINE OF PARTY WALLS, COLUMNS, DOORS AND WINDOWS, U.A.O.
 - SEE UNIT PLANS FOR ADDITIONAL WALL TYPE, UNIT, DOOR TYPE, AND DIMENSION INFORMATION.
 - SEE ENLARGED ELEVATIONS AND WINDOW SCHEDULE AS SH FOR WINDOW TYPES.
 - SEE ELEVATIONS AND STOREFRONT SCHEDULE AS SH FOR STOREFRONT TYPES.
 - MECHANICAL, ELECTRICAL, AND PLUMBING SUBCONTRACTORS TO COMPLY WITH FIRE BLOCKING AND FIRE STOPPING REQUIREMENTS AT ALL PENETRATIONS OF STRUCTURAL AND FLOORING ASSEMBLIES.
 - NOT ALL WINDOWS OR GLAZING SHALL LOAD ON DECK SHEET.
 - ALL GLAZING NOT IN SLITS WILL BE STOREFRONT GLAZING.
- KEYNOTES**
- STAIR
 - GLAZE
 - CASWORK
 - MESH FENCE
 - COLLAPSE DOOR
 - COLUMN
 - CONCRETE FOUNDATION WALL
 - PERIMETER BARRIER
 - BALE SPACE
 - BENCH
 - PLASTER
 - SOFFIT
 - SHOULDER BENCH WITH STOOLS
 - TRUCK UNDERWALKS

1/23/2024 11:55:04 AM

1.00 ENTRY FLOOR
 1/8" = 1'-0"



11th and Stark

PRELIMINARY

REVISION NO	DATE

ST. FRANCIS PARK APARTMENTS
 1318 SE OAK STREET PORTLAND, OR 97214

HLD PROJECT NUMBER: 128-91005
 ISSUANCE: SCHEMATIC DESIGN
 DATE: 10/25/2024
 SCALE: As indicated
 PROJECT NUMBER: 2024-14-00
 DRAWN BY: JF
 DRAWING TITLE: FIRST FLOOR PLAN

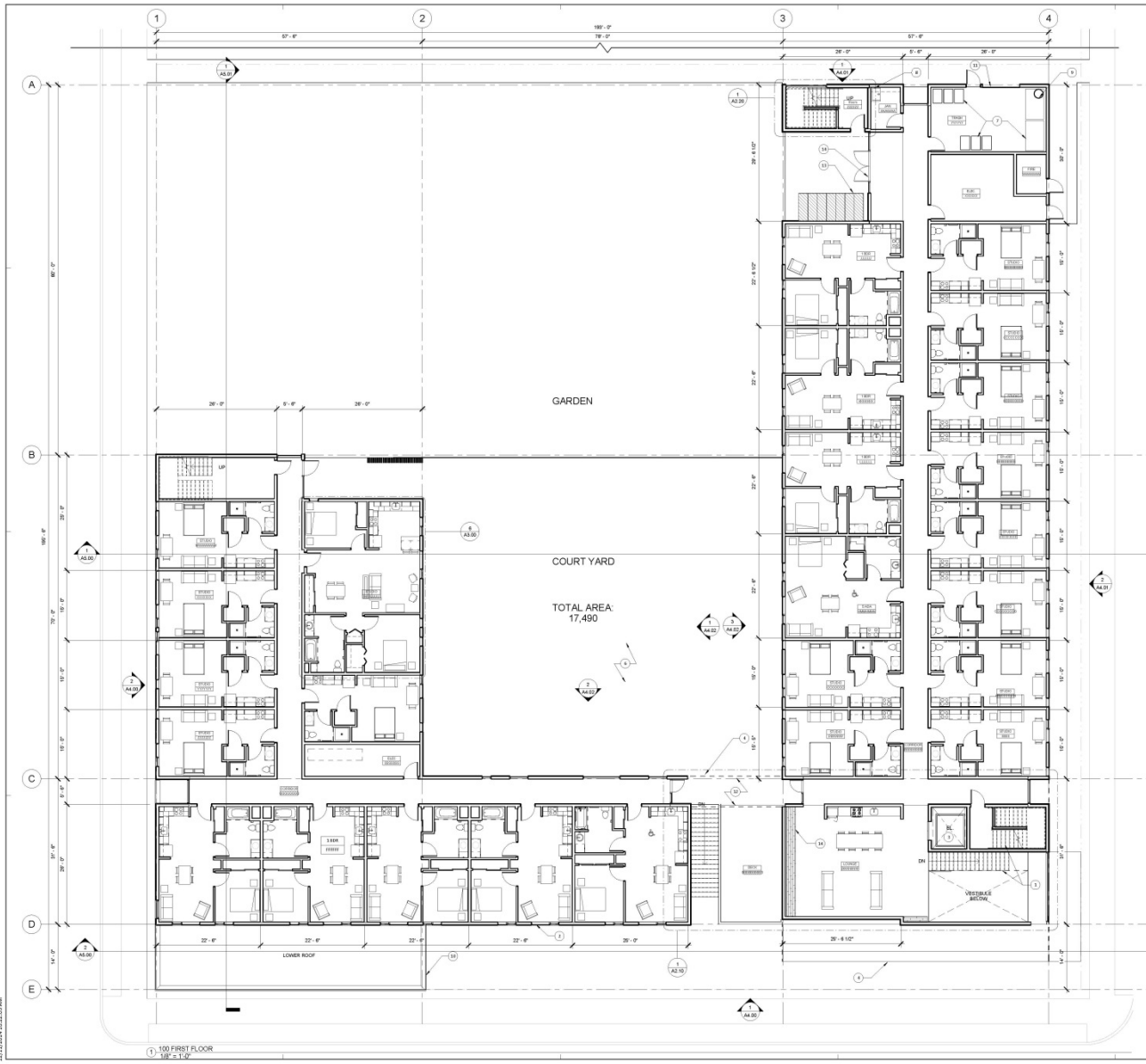
SHEET NUMBER
A2.01

LEGEND

- OVERHEAD
- DOOR
- KEYNOTE
- DOOR TAG
- ROOM TAG (NUMBER / SQUARE FOOTAGE)
OPTIONAL NAME
- SHW
- WALL TYPE TAG
- ACCESSIBLE UNIT

LOCATION OF GRANT STOP: GRANT STOP CONTINUATION TO BE SP TYPE F SYSTEM BOARD OR 1/2" PLYWOOD, MINIMUM 10" PLYWOOD 27" MIN CLEAR ACCESS DOOR WITH SPRING HINGE AND LATCH.

- SHEET GENERAL NOTES**
- FIELD VERIFY DIMENSIONS.
 - DIMENSIONS ARE TO GRID, FACE OF STUD, CONCRETE, CMU, AND CENTERLINE OF PAINT, UNLESS COLLARS, SCANS, AND WINDOWS UNLESS NOTED OTHERWISE.
 - SEE UNIT PLANS FOR ADDITIONAL WALL TYPE, UNIT DOOR TYPE, AND DIMENSION INFORMATION.
 - SEE ENLARGED ELEVATIONS AND WINDOW SCHEDULE AS IS FOR WINDOW TYPES.
 - SEE ELEVATIONS AND STOREFRONT SCHEDULE AS IS FOR STOREFRONT TYPES.
 - MECHANICAL, ELECTRICAL, AND PLUMBING SUBCONTRACTORS TO COMPLY WITH THE REQUIREMENTS AND FIRE STOPPING REQUIREMENT AT ALL PENETRATIONS OF FLOOR, ROOF, CEILING, AND ASSEMBLIES.
 - NOT ALL KEYNOTES OR LEGEND SYMBOLS USED ON EVERY SHEET.
 - ALL GLAZING NOT IN UNITS WILL BE STOREFRONT GLAZING.
- KEYNOTES**
- 1 STAIR
 - 2 GLAZING
 - 3 ELEVATOR
 - 4 COURTYARD
 - 5 OVERHEAD
 - 6 DAMPSTAIN/BICYCLE
 - 7 MOF SIGN
 - 8 TRASH CHUTE
 - 9 BUILDING BELOW
 - 10 OVERHEAD DOOR
 - 11 LOGGIA
 - 12 BIRD SPACE
 - 13 BENCH
 - 14



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1. 100 FIRST FLOOR
 100-2-107



12th and Stark



PRELIMINARY

REVISION NO	DATE

ST. FRANCIS PARK APARTMENTS
 1136 SE OAK STREET PORTLAND, OR 97214

HLD PROJECT NUMBER: 126-01005
 ISSUANCE: SCHEMATIC DESIGN
 DATE: 10/25/2024
 SCALE: As indicated
 PROJECT NUMBER: 2024-14-00
 DRAWN BY: JF
 DRAWING TITLE: SECOND FLOOR PLAN

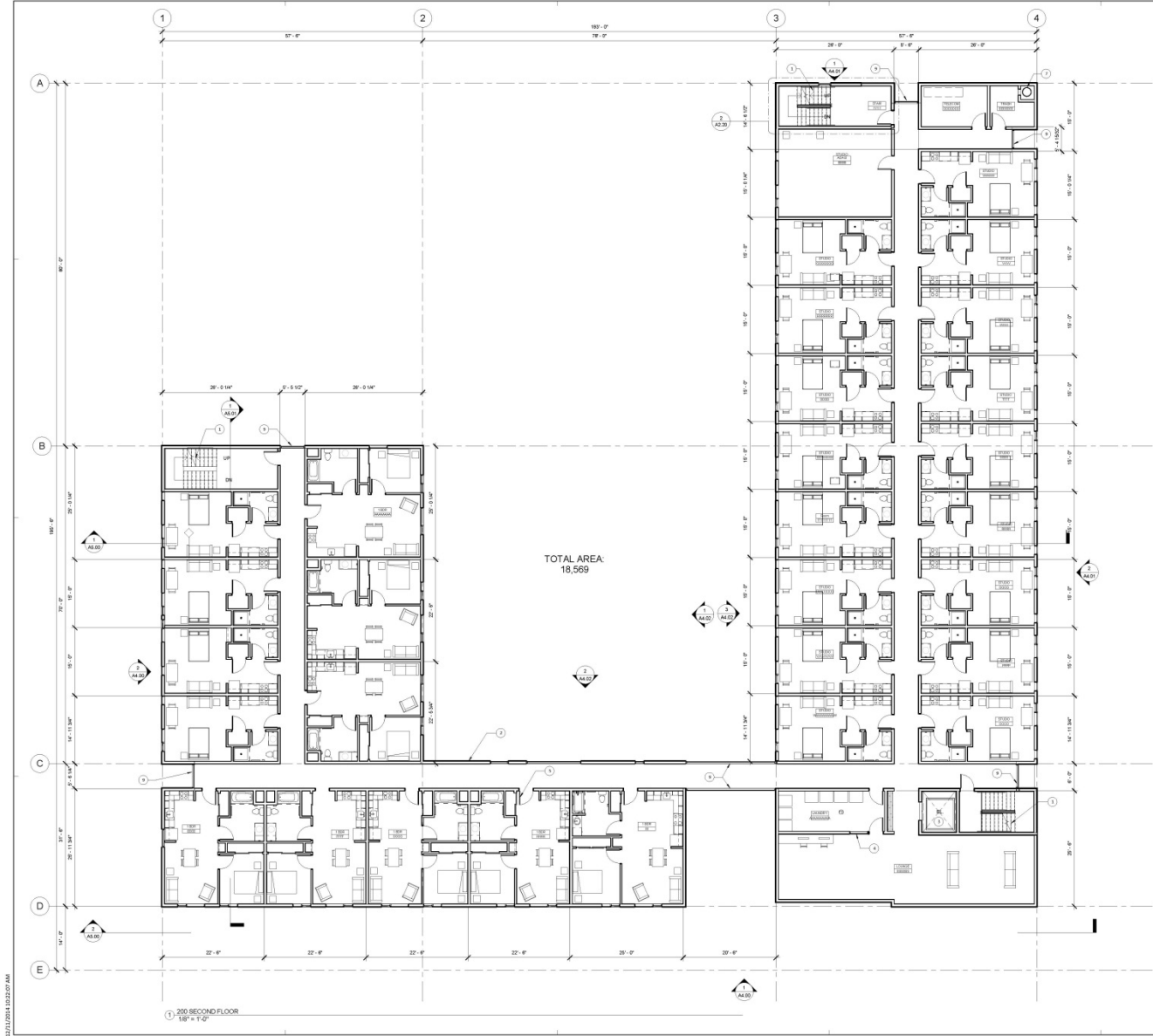
SHEET NUMBER: **A2.02**

LEGEND

- OVERHEAD
- DOOR
- KEYNOTE
- DOOR TAG
- ROOM TAG (OPTIONAL NAME / NUMBER / SQUARE FOOTAGE)
- WALLTYPE TAG
- ACCESSIBLE UNIT

LOCATION OF DRAFT STOP: DRAFT STOP CONSTRUCTION TO BE SWP FRAME & STEEL OR BOARD OR UP IN YAWD. PROVIDE UP FLYPWOOD STAY CLASH ACCESS DOOR WITH SPRING HINGE AND LATCH.

- SHEET GENERAL NOTES**
- FIELD VERIFY DIMENSIONS.
 - DIMENSIONS ARE TO SILL FACE OF STUD, CONCRETE, CURB AND CENTERLINE OF PARTY WALLS, COLUMNS, DOORS AND WINDOWS U.A.O.
 - SEE UNIT PLANS FOR ADDITIONAL WALL TYPE, UNIT DOOR TYPE, AND PENETRATION.
 - SEE ELEVATIONS AND STOREFRONT SCHEDULE A&B FOR WINDOW TYPES.
 - MECHANICAL, ELECTRICAL, AND PLUMBING SUBCONTRACTORS TO COMPLY WITH ALL RECORDING AND FIRE STOPPING REQUIREMENTS AT ALL PENETRATIONS OF WALL, CEILING AND FLOOR/CILING ASSEMBLIES.
 - NOT ALL KEYNOTES OR LEGEND SYMBOLS USED ON EVERY SHEET.
 - ALL GLAZING NOT IN UNITS WILL BE STOREFRONT GLAZING.
- KEYNOTES**
- 1 STAIR
 - 2 GLAZING TYP
 - 3 ELEVATOR
 - 4 EXTENSION GLAZING
 - 5 DOOR TYP
 - 6 GARAGE TYP
 - 7 BALCONY
 - 8 STOREFRONT GLAZING TYP



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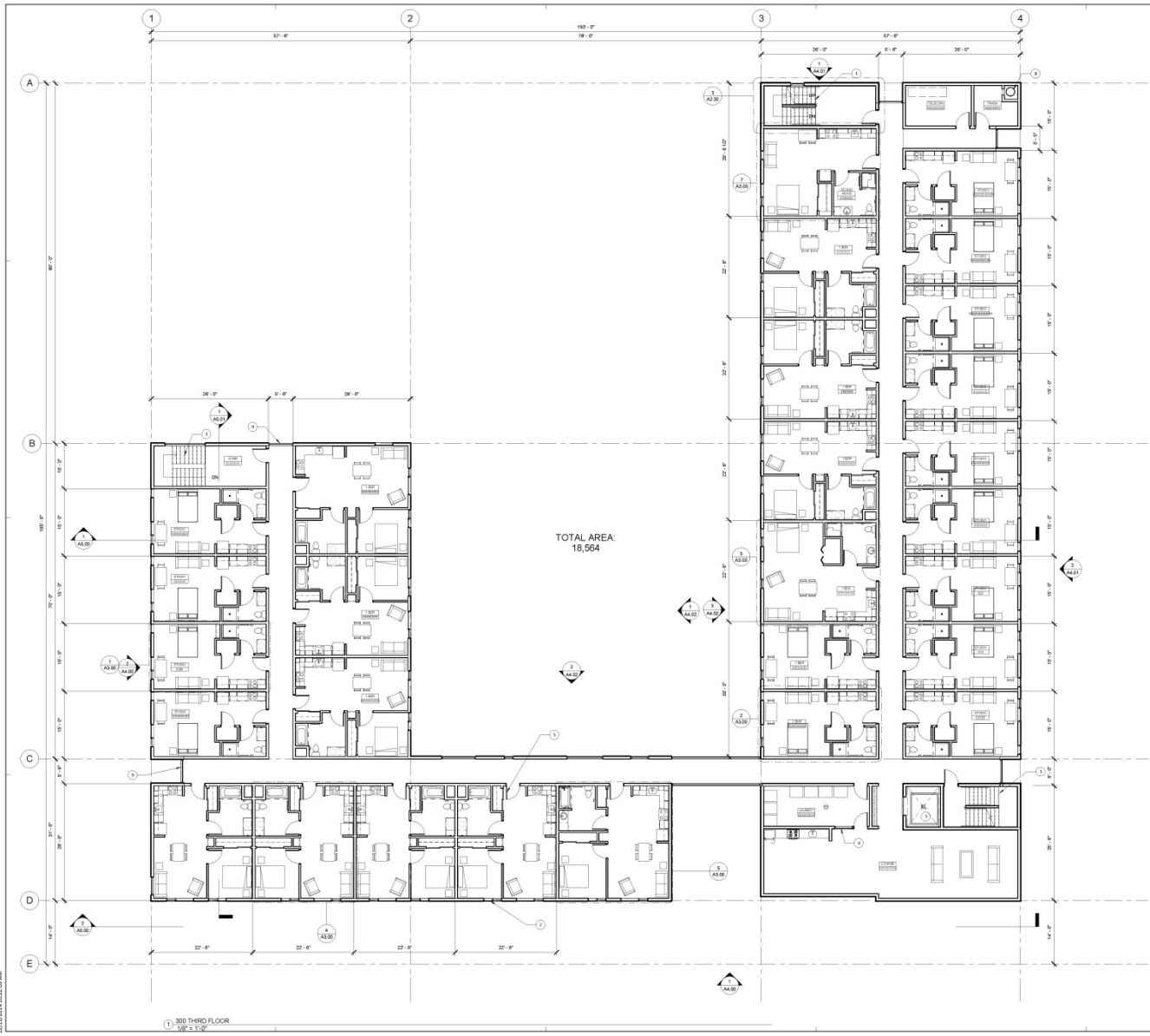
PRELIMINARY

REVISION NO	DATE

**ST. FRANCIS
 PARK
 APARTMENTS**
 1316 SE OAK STREET PORTLAND,
 OR 97214

HLD PROJECT NUMBER:
 23E-01005
 ISSUANCE:
 SCHEMATIC DESIGN
 DATE:
 10/25/2024
 SCALE:
 As indicated
 PROJECT NUMBER:
 2024-1-00
 DRAWN BY:
 JF
 DRAWING TITLE:
THIRD FLOOR PLAN

SHEET NUMBER
A2.03



- LEGEND**
- OVERHEAD
 - DOOR
 - KEYNOTE
 - DOOR TAG
 - ROOM TAG
(OPTIONAL NAME / NUMBER / SQUARE FOOTAGE)
 - WALL TYPE TAG
 - ACCESSIBLE LIFT
- LOCATION OF DRAFT STOP: DRAFT STOP
 CONSTRUCTION TO BE 5/8" PLYWOOD OR EQUIVALENT
 BOARD OR 1/2" PLYWOOD PROVIDED UP
 PLYWOOD TO BE CLEAR ACCESS DOOR WITH
 SPRING HINGES AND LATCH

- SHEET GENERAL NOTES**
1. FIELD VERIFY DIMENSIONS.
 2. DIMENSIONS ARE TO GRID, FACE OF STUD, CONCRETE, GRI, AND CENTERLINE OF PARTY WALLS, COLUMNS, DOORS AND WINDOW U.A.O.
 3. SEE LIFT PLANS FOR ADDITIONAL WALL TYPE, LIFT DOOR TYPE, AND ROOMSCHEDULE.
 4. SEE ENLARGED ELEVATIONS AND WINDOW SCHEDULE AS IS FOR WINDOW TYPES.
 5. SEE ELEVATIONS AND STOREFRONT SCHEDULE AS IS FOR STOREFRONT TYPES.
 6. MECHANICAL, ELECTRICAL, AND PLUMBING SUBCONTRACTORS TO COMPLY WITH ALL MECHANICAL AND FIRE STOPPING REQUIREMENTS AT ALL PENETRATIONS OF WALLS, FLOORS, AND CEILING ASSEMBLIES.
 7. NOT ALL KEYNOTES OR LEGEND SYMBOLS USED ON EVERY SHEET.
 8. ALL GLAZEMENT IN UNITS WILL BE STOREFRONT GLAZING.

- KEYNOTES**
- 1 STAIR
 - 2 GLAZING, TYP
 - 3 ELEVATOR
 - 4 INTERIOR GLAZING
 - 5 DOOR, TYP
 - 6 JAN WIPER SINK
 - 7 BALCONY
 - 8 STOREFRONT GLAZING, TYP

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(1) 300 THIRD FLOOR
 SHEET A2.03

PRELIMINARY

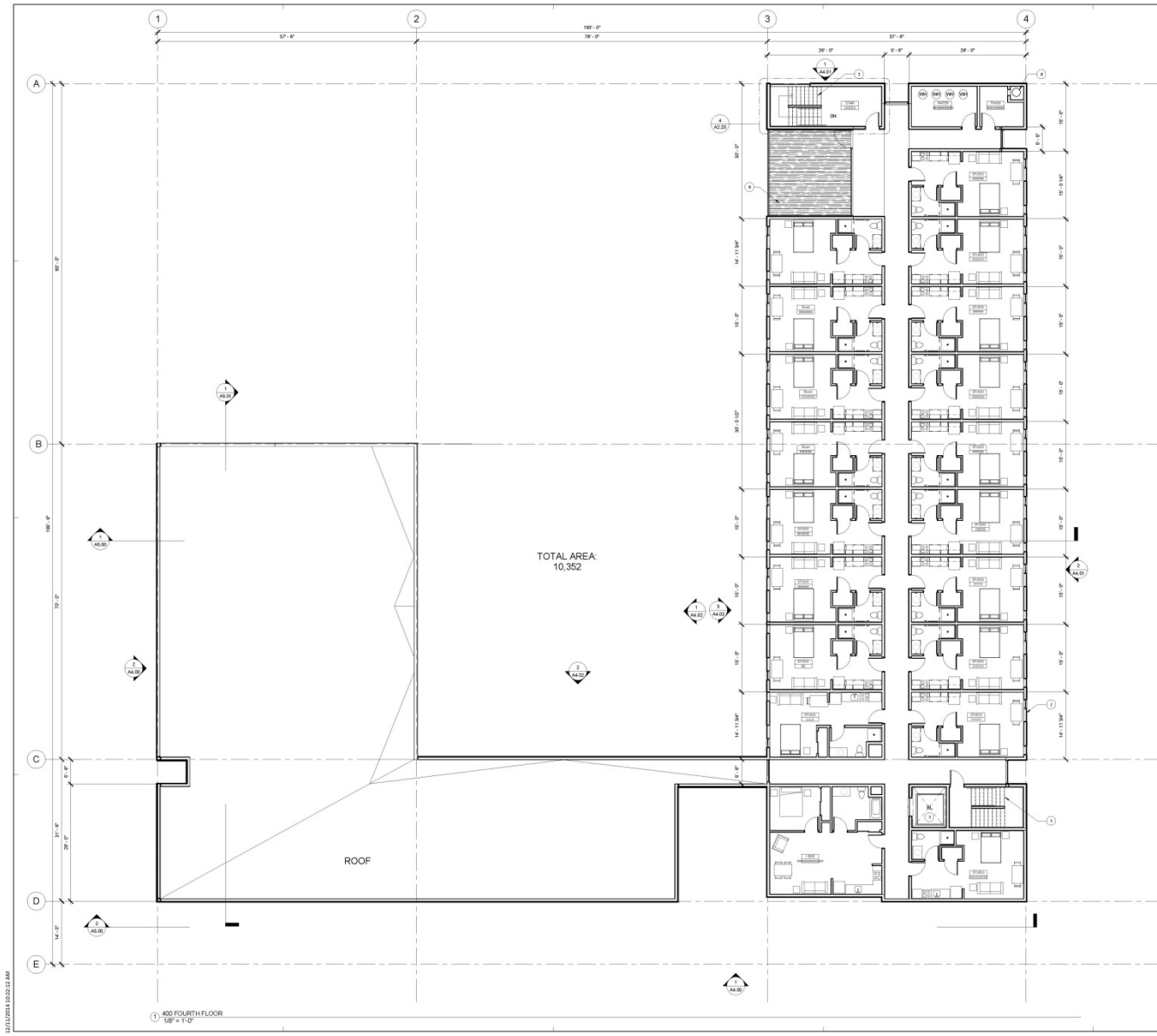
REVISION NO	DATE

ST. FRANCIS PARK APARTMENTS
 113W 18th OAK STREET PORTLAND, OR 97214

HL0 PROJECT NUMBER: 128-01005
 ISSUANCE: SCHEMATIC DESIGN
 DATE: 10/25/2024
 SCALE: As indicated
 PROJECT NUMBER: 2024-14-00
 DRAWN BY: JF

DRAWING TITLE: **FOURTH FLOOR PLAN**

SHEET NUMBER: **A2.04**



LEGEND

- OVERHEAD
- DOOR
- KEYNOTE
- DOOR TAG
- ROOM TAG
OPTIONAL NAME / NUMBER / SQUARE FOOTAGE
- WALLTYPE TAG
- ACCESSIBLE UNIT

LOCATION OF SMART STOP, DRAFT STOP, CONTRACTION TO BE 5/8" TYPE 3 CURBUM BOARD OR 1/2" W/ VARIOUS PROVIDER 1/2" FLYWOOD 27" W/ CLEAR ACCESS DOOR WITH SPRING HINGED AND LATCH.

- SHEET GENERAL NOTES**
1. FIELD VERIFY DIMENSIONS
 2. DIMENSIONS ARE TO GRID, FACE OF STUD, CONCRETE, CMU, AND CENTERLINE OF PARTY WALL, COLUMN, DOORS AND WINDOWS, U.A.O.
 3. SEE UNIT PLANS FOR ADDITIONAL WALL, TYPE, UNIT DOOR TYPE, AND INFORMATION.
 4. SEE ENLARGED ELEVATIONS AND WINDOW SCHEDULE AS IS FOR WINDOW TYPES.
 5. SEE ELEVATIONS AND STOREFRONT SCHEDULE AS IS FOR STOREFRONT TYPES.
 6. MECHANICAL, ELECTRICAL, AND PLUMBING SUBCONTRACTORS TO COMPLY WITH BUILDING AND FIRE STOPPING REQUIREMENTS AT ALL PENETRATIONS OF WALL, FLOOR, AND FLOORS/CEILING ASSEMBLIES.
 7. NOT ALL RETENOS OR LEAKED PHOSPHORUS ON EVERY SHEET.
 8. ALL GLAZING NOT IN UNITS WILL BE STOREFRONT GLAZING.

- KEYNOTES**
1. STAIR
 2. GLAZING, TYP.
 3. ELEVATOR
 4. INTERIOR GLAZING
 5. DOOR, TYP.
 6. JAIL/POD BUNK
 7. BALCONY
 8. STOREFRONT GLAZING, TYP.

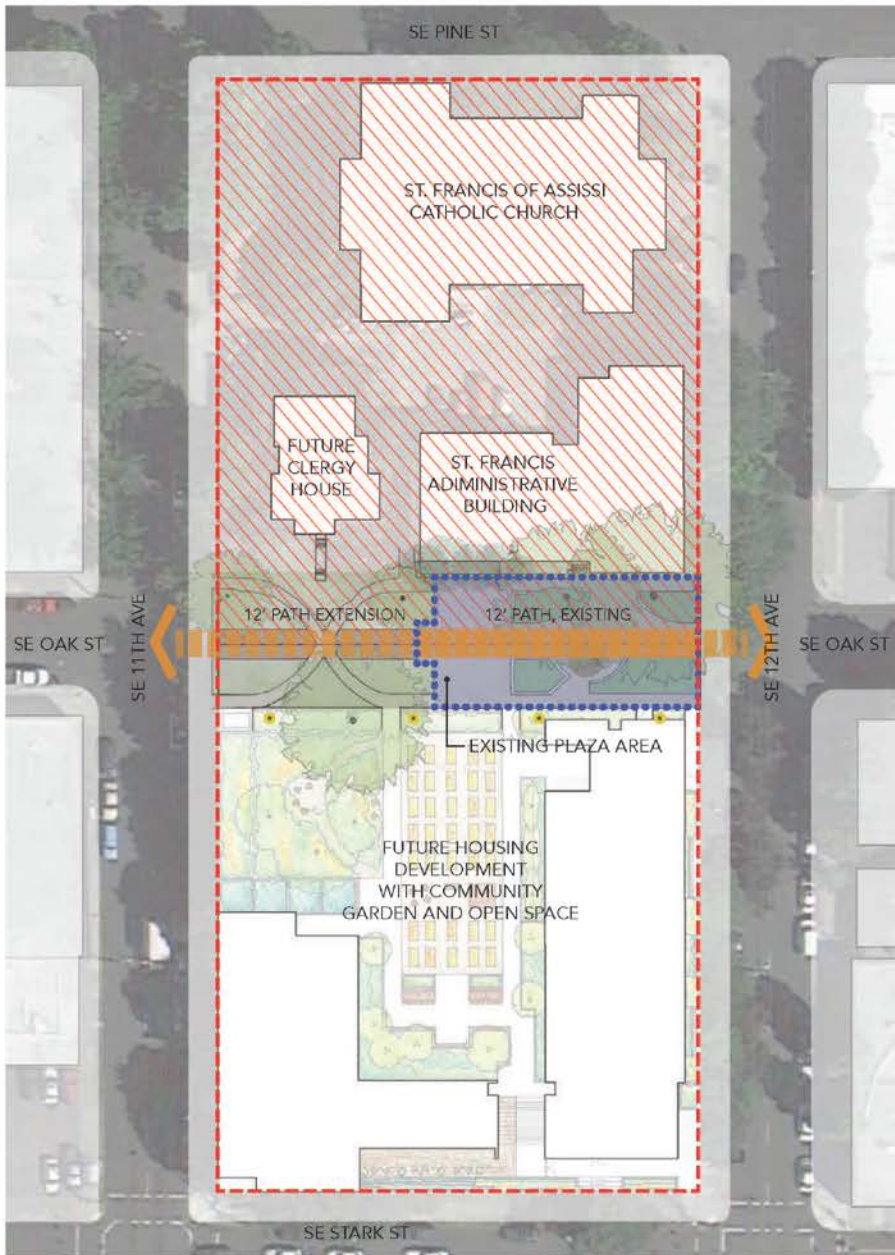
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1 400 FOURTH FLOOR
 1/8" = 1'-0"





11th and Oak



SUPERBLOCK ANALYSIS:

REQUIRED: At least 5% of total superblock area to be plaza.

-  Superblock Area: 92,000sf
-  5% of Superblock Area: 4600sf
-  Existing Oak St. Plaza Area: 6300sf

REQUIRED: At least 50% of vacated street area within superblock to be walkway, landscaped area, and/or plaza.

Existing Oak St. Percentage: 100%

REQUIRED: Minimum 12' wide, hardsurfaced and accessible walkway.



Existing Oak St. Path: Hardsurfaced walkway exists on east side of SE Oak St. New 12' permeable and accessible walkway to be installed on west side.

REQUIRED: On-site lighting required so space can be used at night.



New light poles will be installed on the site of the new housing development, which light SE Oak St.



ST. FRANCIS PARISH PROPERTY
(Not included in project)



PARISH BUILDING



ACCESS TO PARISH



LARGE MAPLE AT ENTRANCE



EXISTING CONCRETE



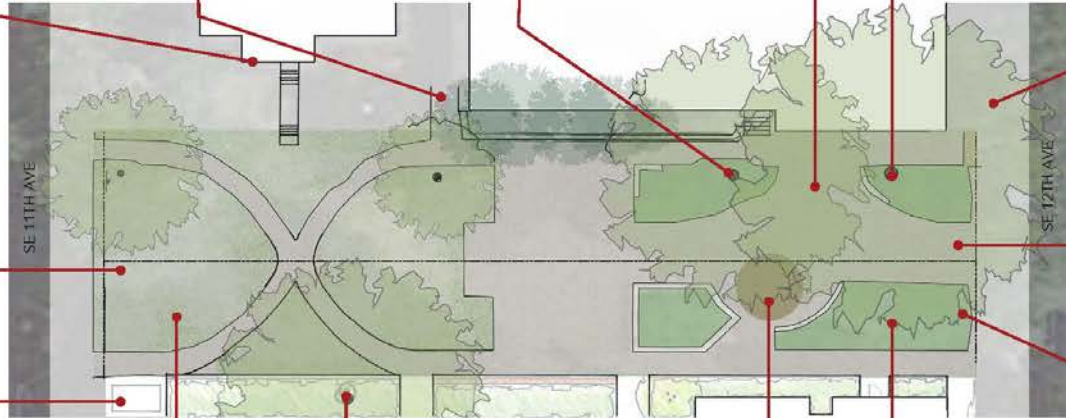
LARGE OAK



UTILITIES



WEST ENTRY



EAST ENTRY



PORTABLE RESTROOMS



GRASS PAVERS



LARGE OAK



MOSAIC



ROSE GARDEN



GARDEN BEDS

SE OAK ST VACATION - EXISTING CONDITIONS



GARDEN SHED



RAISED BEDS / MOVABLE TABLE AND CHAIRS



ESPALIERED FRUIT TREES



SEATWALL WITH PLANTING



AT-GRADE GARDEN BEDS



GARDEN BEDS WITH SEATING



SEATWALL WITH TABLE

PRECEDENT IMAGES



TERRACED CONCRETE STORMWATER PLANTER



LOOSE FURNITURE IN WOODLAND



WOODEN "PORCH"



CONCRETE STADIUM STEPS

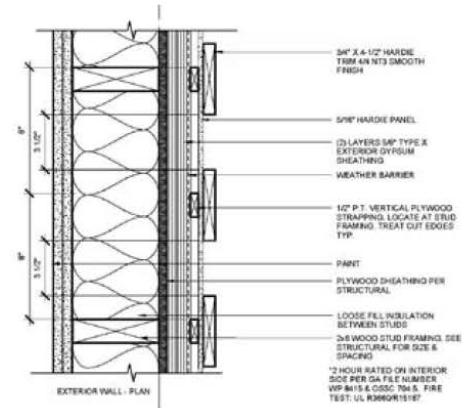


WOODEN STADIUM STEPS

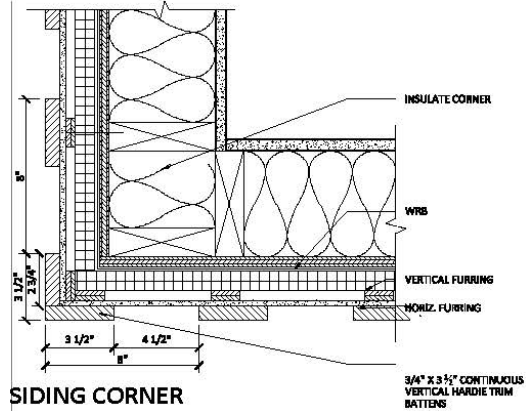


FENCE WITH PLANTING

PRECEDENT IMAGES



TYPICAL SIDING



Hardie panel with batten siding

Nichiha Illumination Siding panels



Siding Inspiration



Resysta Siding



PRELIMINARY

LEGEND

- ⊙ KEYNOTE
- ⌬ DOOR TAG
- Room Name
Room Tag
OPTIONAL NAME / NUMBER / SQUARE FOOTAGE
- 100 W
- ◇ WALLTYPE TAG
- ♿ ACCESSIBLE UNIT

SHEET GENERAL NOTES

1. FIELD VERIFY DIMENSIONS.
2. DIMENSIONS ARE TO GRID. FACE OF STUD, CONCRETE, CMU, AND EXTERIOR FACE OF FINITE WALLS, CURBLINE, CURBS AND WINDOWS, UNLESS NOTED OTHERWISE.
3. SEE UNIT PLANS FOR ADDITIONAL WALL TYPE, UNIT DOOR TYPE, AND DIMENSION INFORMATION.
4. SEE ENLARGED ELEVATIONS AND WINDOW SCHEDULE AS IS FOR WINDOW TYPES.
5. SEE ELEVATIONS AND STOREFRONT SCHEDULE AS IS FOR STOREFRONT TYPES.
6. MECHANICAL, ELECTRICAL, AND PLUMBING SUBCONTRACTORS TO VERIFY FIRE BLOCKING AND FIRE STOPPING REQUIREMENTS AT ALL PENETRATIONS OF RATED WALLS.
7. NOT ALL KEYNOTES OR LEGEND SYMBOLS USED ON EVERY SHEET.

KEYNOTES

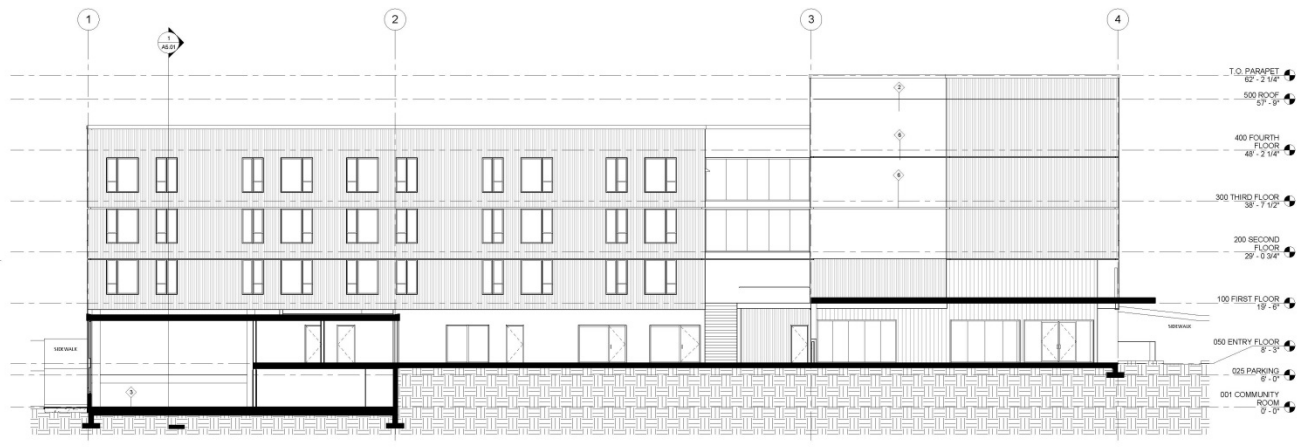
SYMBOL ⊙

REVISION NO. DATE

REVISION NO.	DATE



① -EW COURTYARD SECTION
1/8" = 1'-0"



② -EW PORCH SECTION
1/8" = 1'-0"

ST. FRANCIS PARK APARTMENTS

1136 SE OAK STREET PORTLAND, OR 97214

HUD PROJECT NUMBER:
 128-09029
 SOURCE:
 SCHEMATIC DESIGN
 DATE:
 10/22/2014
 SCALE:
 AS SHOWN
 PROJECT NUMBER:
 2014.4.00
 DRAWN BY:
 JF
 DRAWING TITLE:
BUILDING SECTIONS

SHEET NUMBER

A5.00

PRELIMINARY

REVISION NO.	DATE



S.E. 12TH AND STARK ST.



S.E. 11TH AND STARK ST.



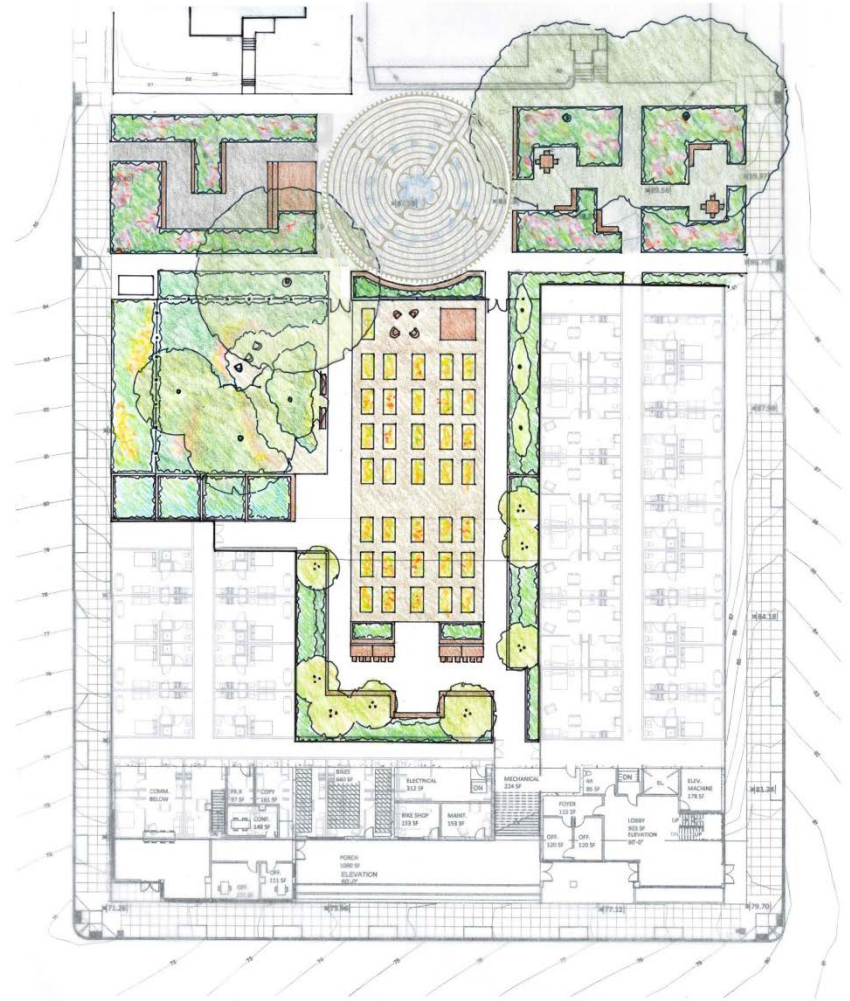
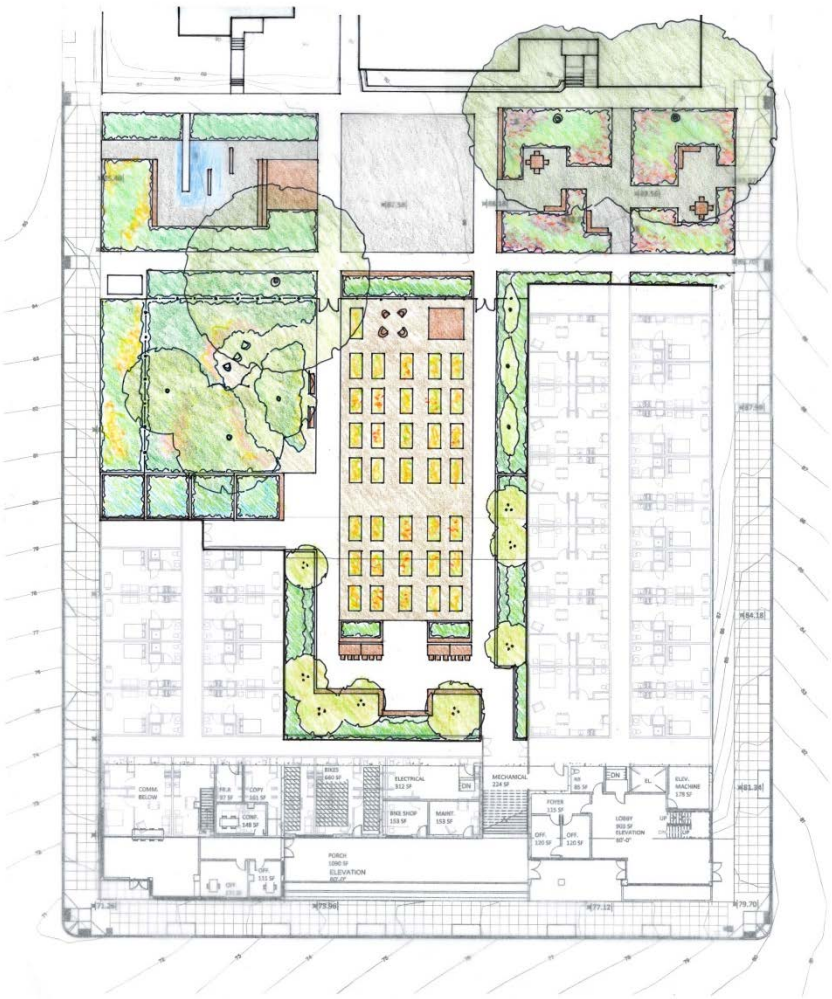
CORNER OF S.E. 11TH AND STARK ST.

S.E. STARK ST.

**ST. FRANCIS
 PARK
 APARTMENTS**
 1136 SE OAK STREET PORTLAND,
 OR 97214

HUD PROJECT NUMBER:
 125-50029
 ISSUANCE
 SCHEMATIC DESIGN
 DATE
 3/27/2014
 SCALE
 1/4" = 1'-0"
 PROJECT NUMBER
 201434.00
 DRAWN BY
 Author
 DRAWING TITLE
PERSPECTIVES

SHEET NUMBER
A10.00



Oak Street – Potential Future Design Concepts