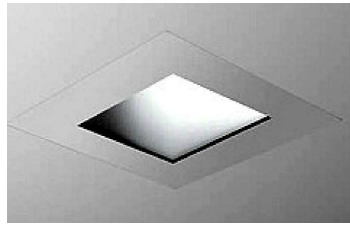


R-1  
RECESSED SQUARE  
DOWNLIGHT



G-10  
WALL SCONCE



G-8  
WATER FEATURE  
LIGHT FIXTURE



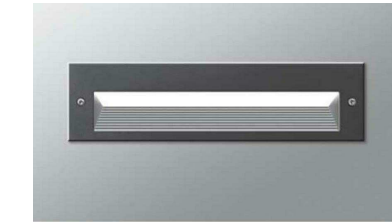
G-6  
LANDSCAPE UPLIGHT  
FIXTURE



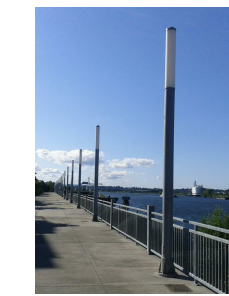
G-1B  
DOWNLIGHT



G-5B  
STEP LIGHT



G-7 (G-9)  
BOLLARD LAMP 12' (8') TALL

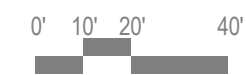


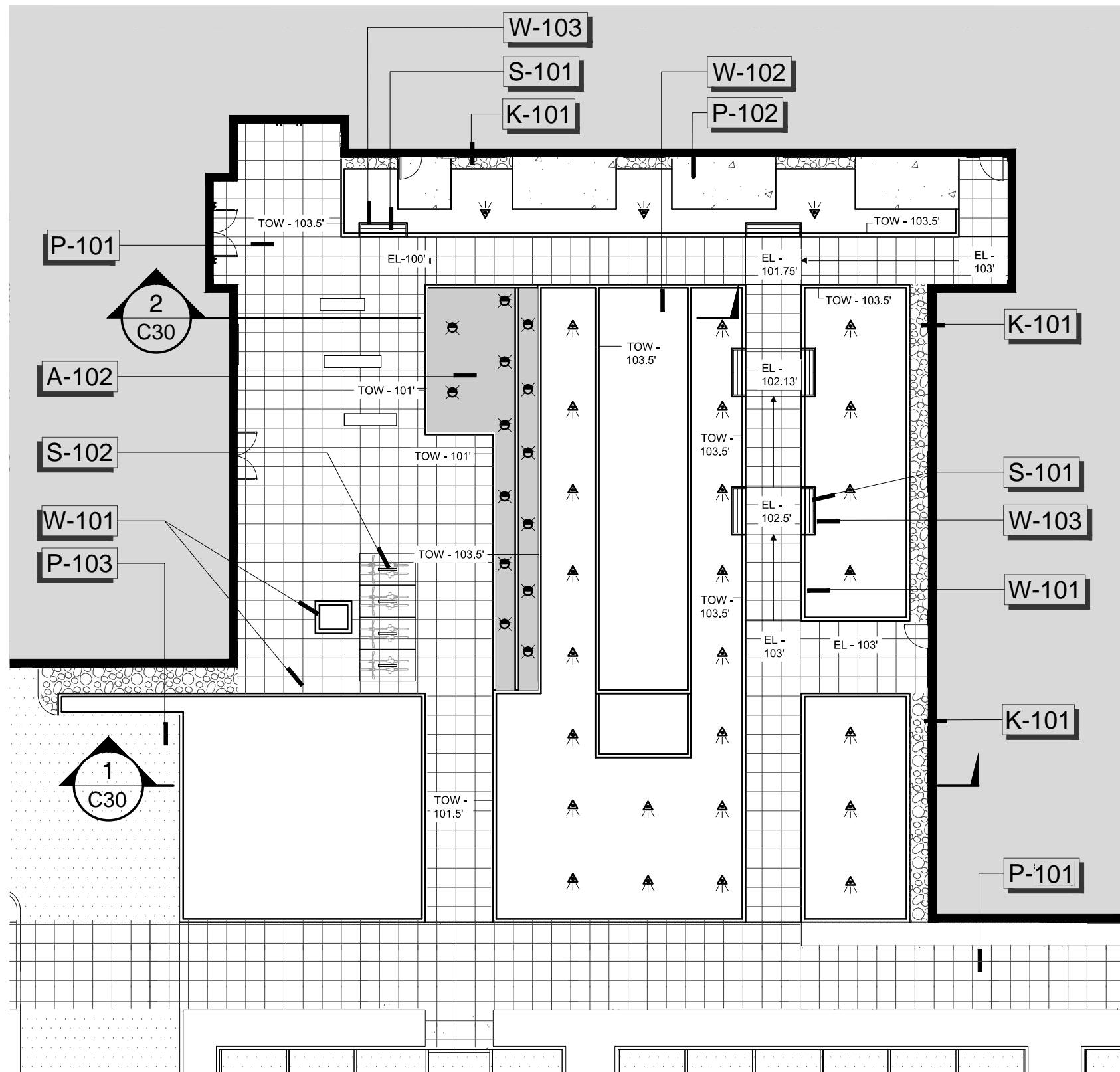
G-4  
POLE-TOP LAMP



EXTERIOR LIGHTING PLAN LEVEL 1 ①

TYPE	COUNT	DESCRIPTION
G-1B	9	SQUARE MOUNTED DOWNLIGHT
G-4	5	EXTERIOR LIGHTING
G-5B	1	STEP LIGHT
G-6	18	LANDSCAPE UPLIGHT FIXTURE
G-7	9	BOLLARD LAMP - 12' TALL
G-8	3	WATER FEATURE LIGHT FIXTURE, UNIT SIDE SHIELD
G-9	8	BOLLARD LAMP - 8' TALL
G-10	2	WALL SCONCE
R-1	14	RECESSED SQUARE DOWNLIGHT





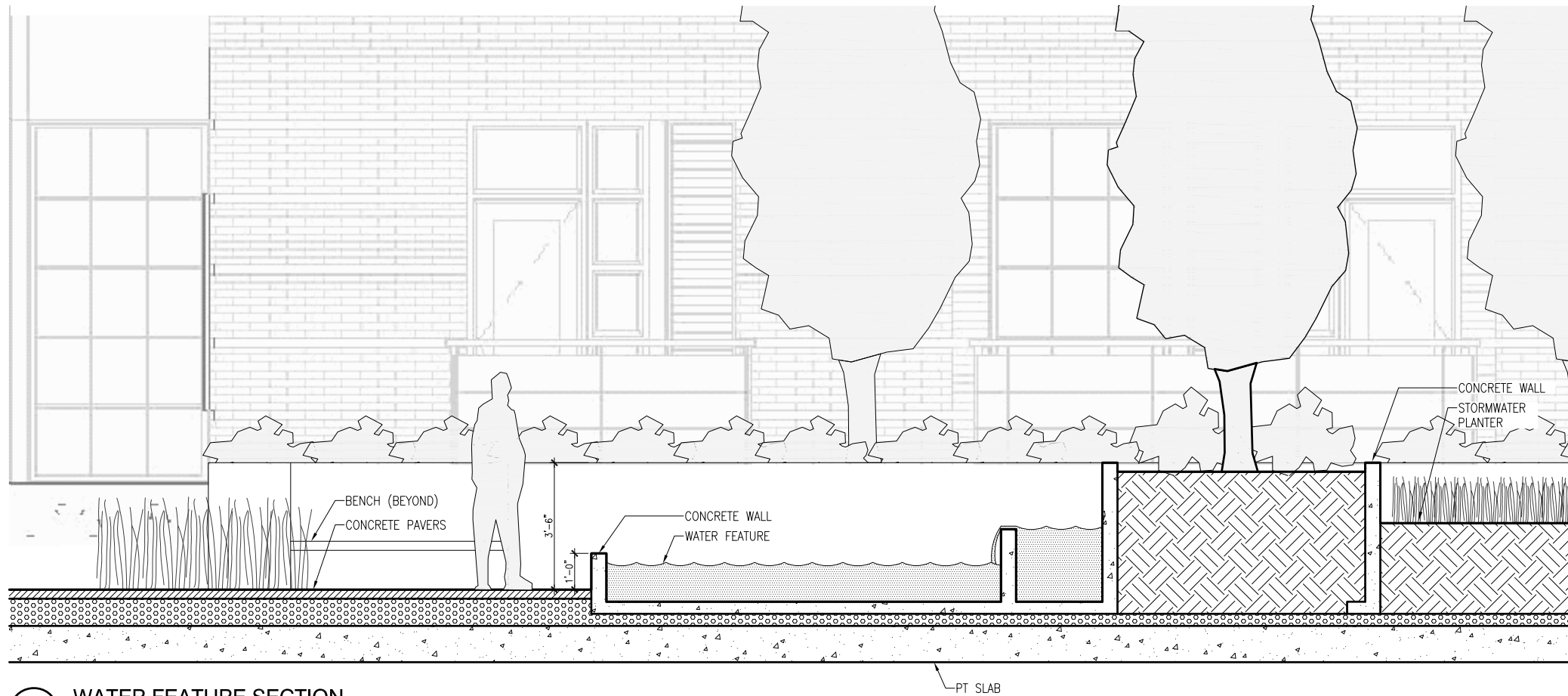
## REFERENCE NOTES SCHEDULE

WATER FEATURE	
SYMBOL	DESCRIPTION
A-102	WATER FEATURE
ROCK	
SYMBOL	DESCRIPTION
K-101	STONE BALLAST, 12" WIDE WITH 3-5" ROCK
CONCRETE	
SYMBOL	DESCRIPTION
P-101	PERMEABLE CONCRETE PAVERS
P-102	CONCRETE PAVING
P-103	ASPHALT SURFACING
SITE FURNISHINGS	
SYMBOL	DESCRIPTION
S-101	BENCH SEATING
S-102	BIKE PARKING
WALL	
SYMBOL	DESCRIPTION
W-101	CONCRETE WALLS
W-102	STORMWATER PLANTER
W-103	STEEL PLANTER WALL BEHIND BENCH

## LIGHTING SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	DETAIL
▽	TREE UPLIGHT	17	
⊗	WATER FEATURE LIGHTING	14	



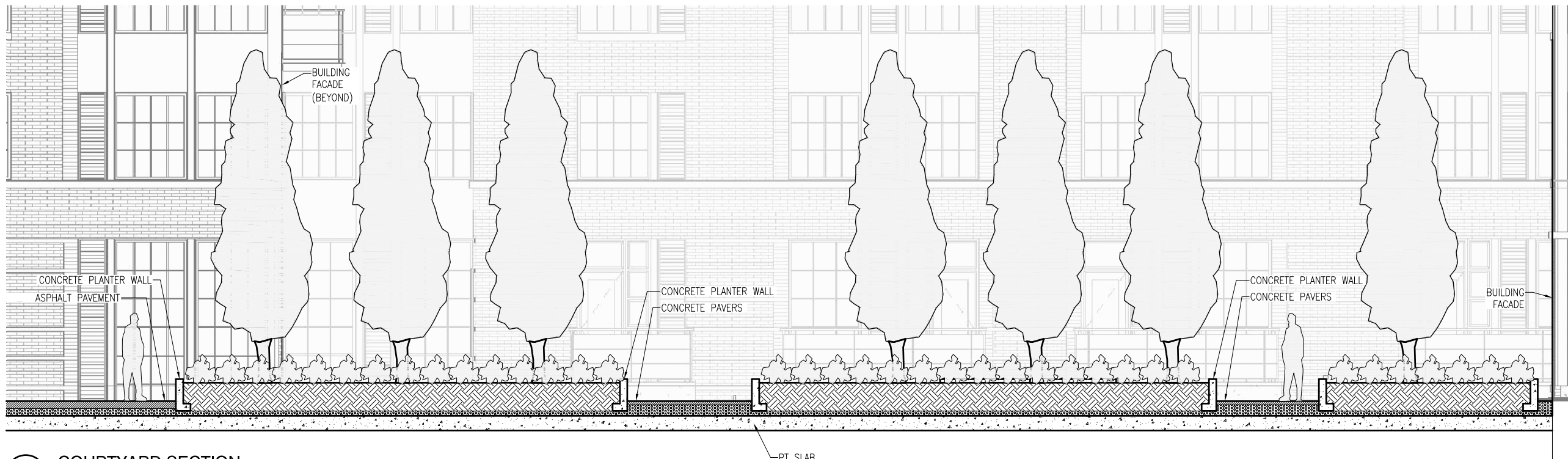


**2 WATER FEATURE SECTION**  
SCALE: 1/4" = 1'-0"

THE INTENT OF THE WATER FEATURE WITHIN THE LOT 1 COURTYARD IS TO CREATE A WHITE NOISE FOR RESIDENTS THAT WILL OFFSET THE SOUNDS COMING FROM THE ADJACENT FREEMONT BRIDGE.

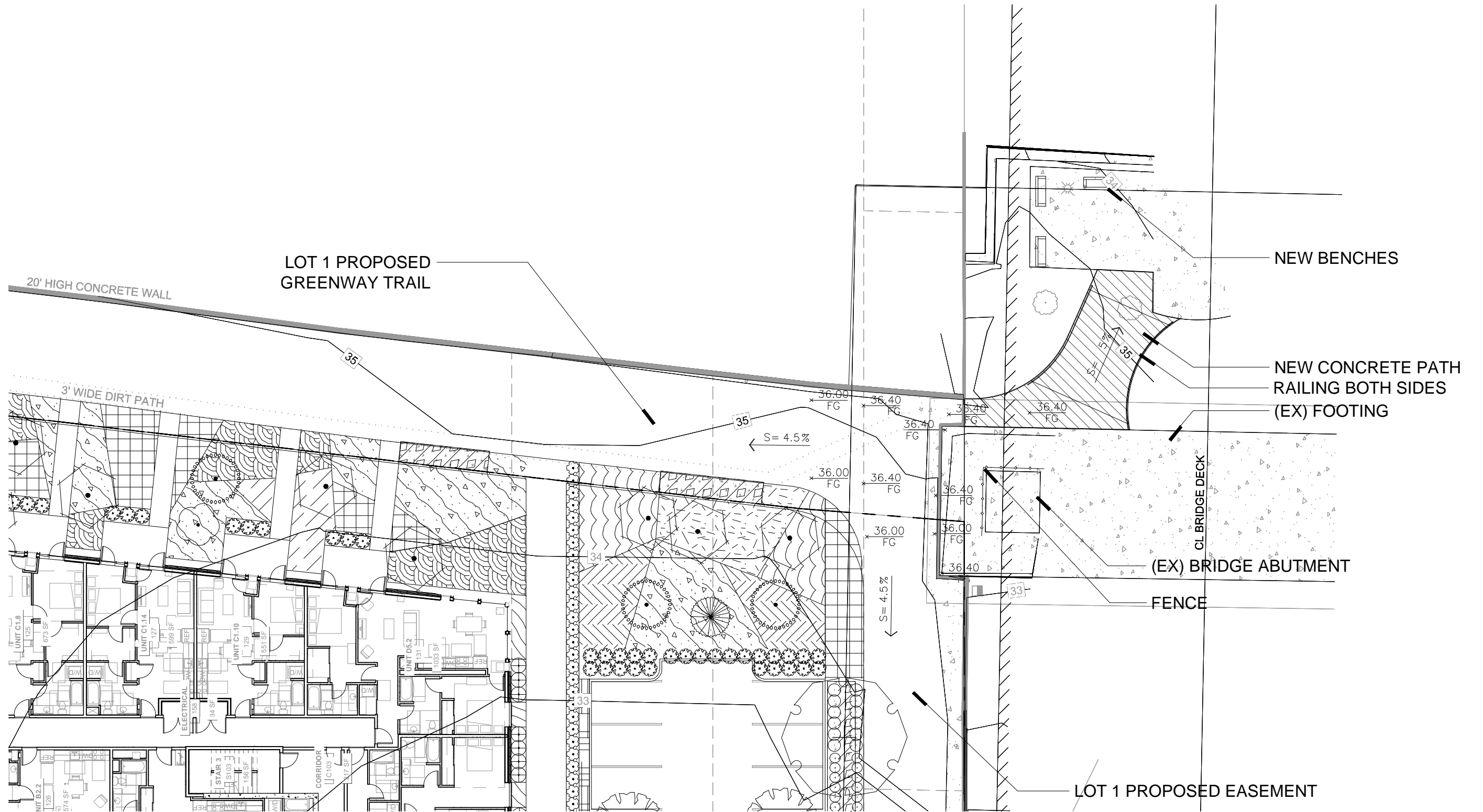
TO ACCOMPLISH THIS GOAL THE WATER FEATURE WILL BE TWO LEVELS WITH A CONTINUOUS STEEL WEIR RUNNING ALONG THE EDGE OF THE UPPER POOL.

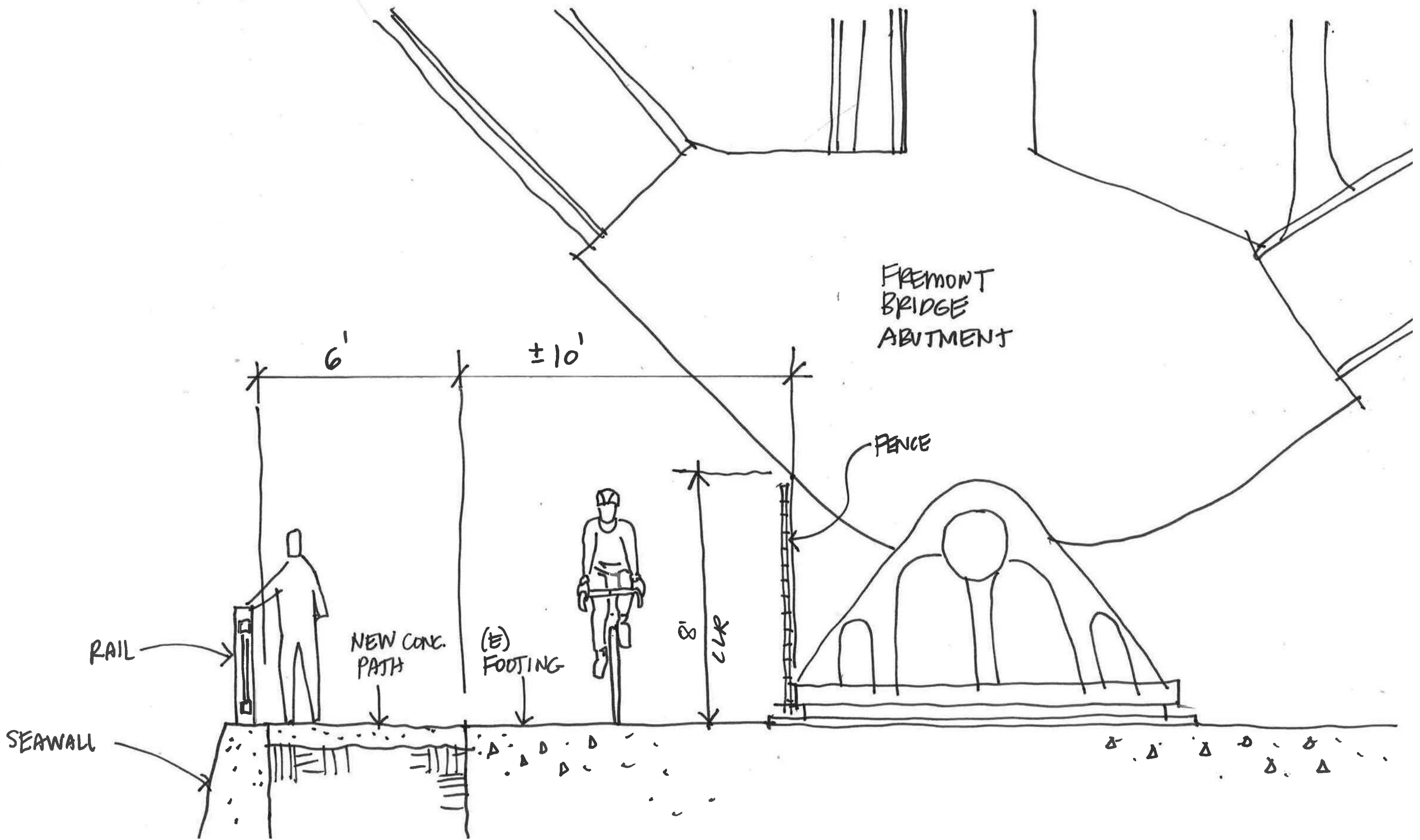
SECTIONS HAVE BEEN PROVIDED THAT IDENTIFY THE HEIGHT OF EACH POOL. THE WATER FEATURE ITSELF IS TRADITIONAL IN THAT IT WILL BE FILTRATED AND DOES NOT INCORPORATE STORM WATER.



**1 COURTYARD SECTION**  
SCALE: 1/8" = 1'-0"







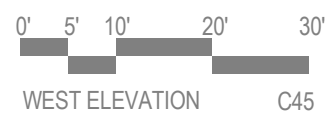


BASE POINT OF HEIGHT MEASUREMENT +36.00' (104.3')

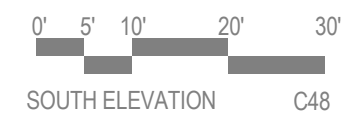
IN-UNIT BICYCLE PARKING



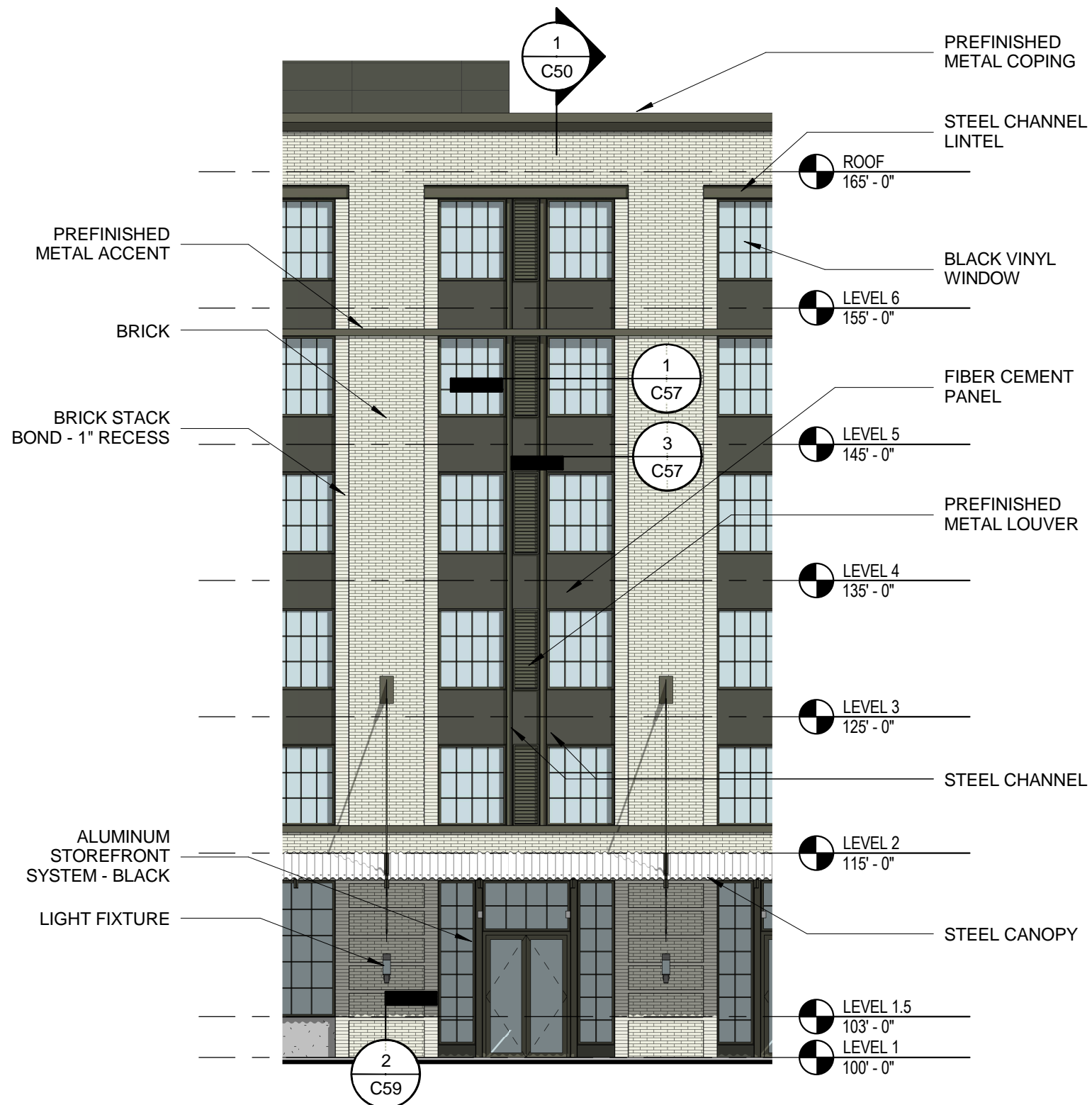
LEVEL 1 C39



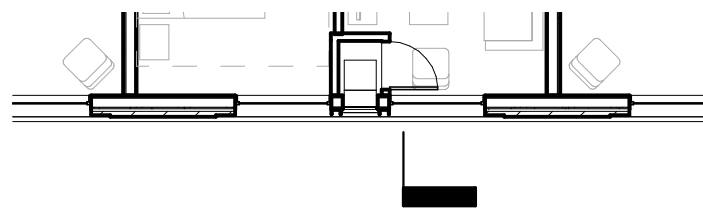




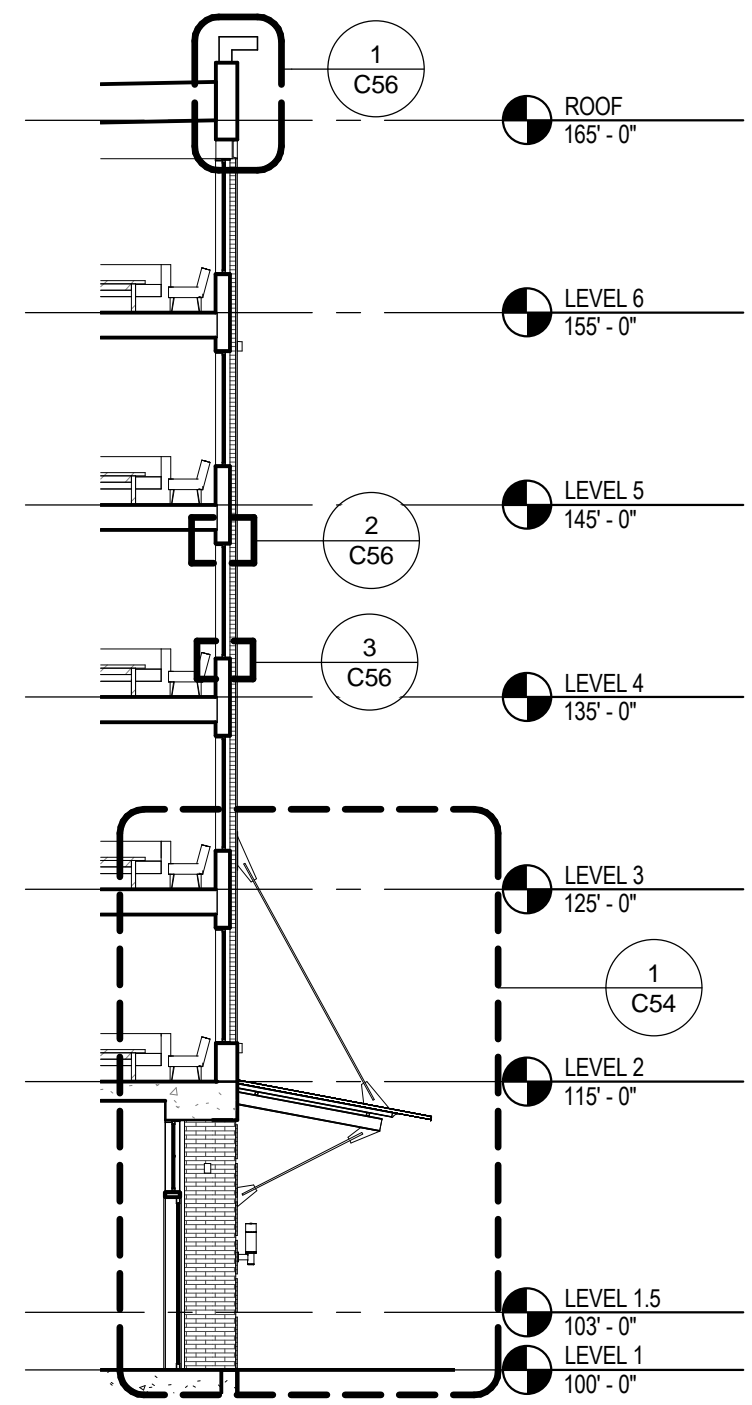




ENLARGED ELEVATION ②

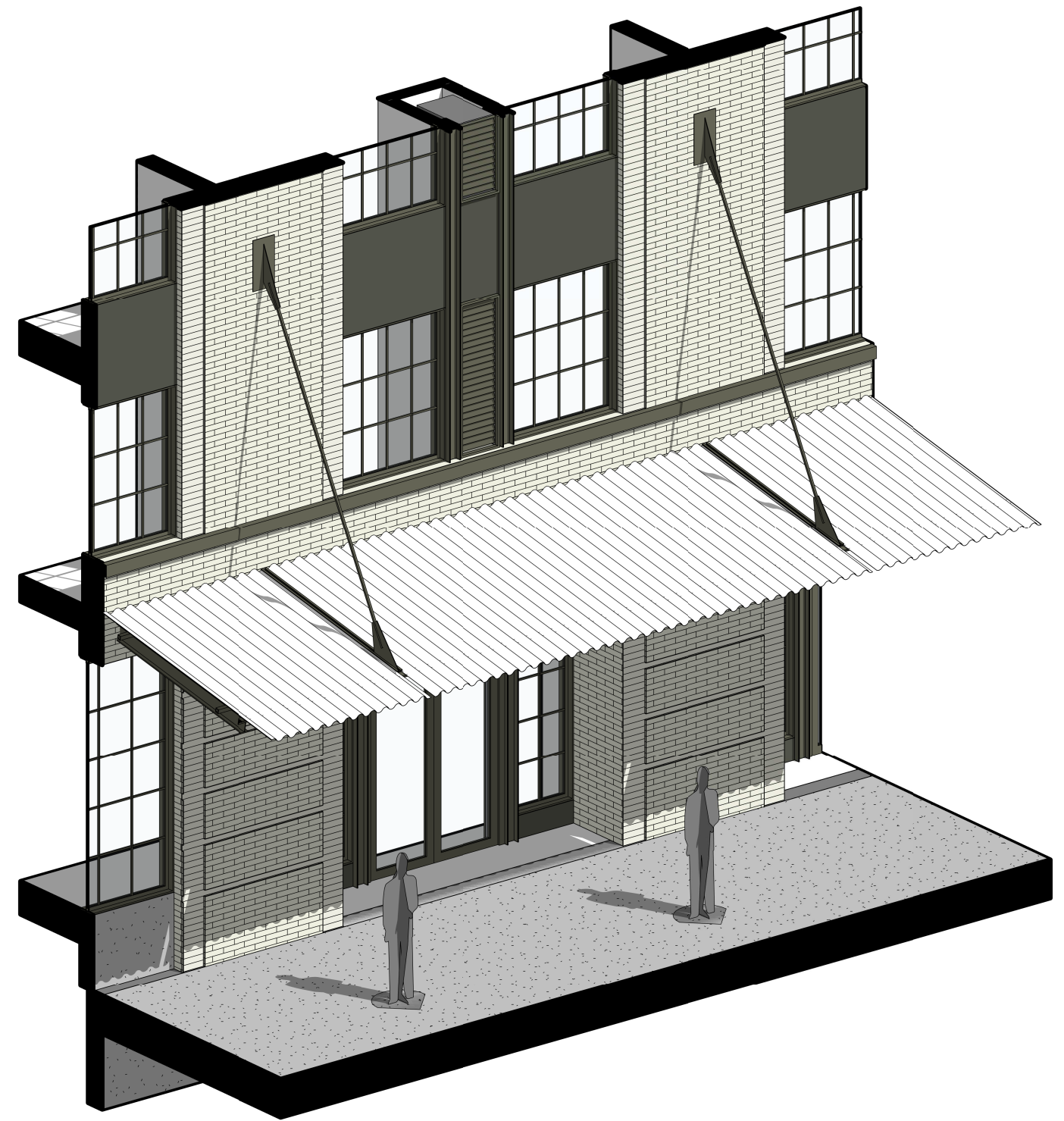
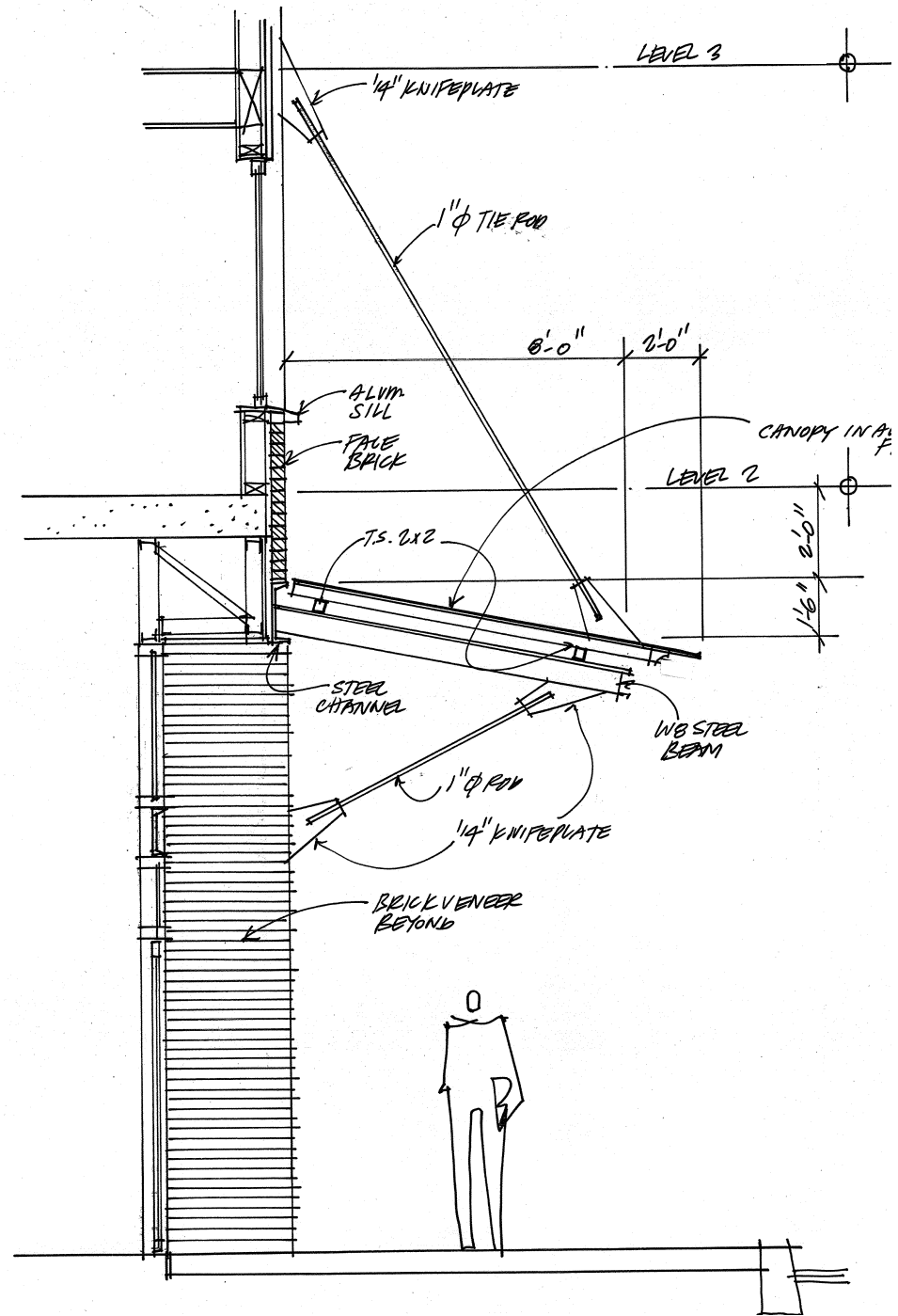


WALL PLAN ③

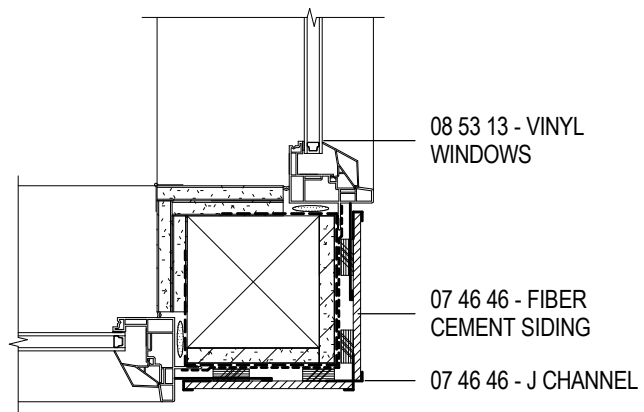


WALL SECTION ①



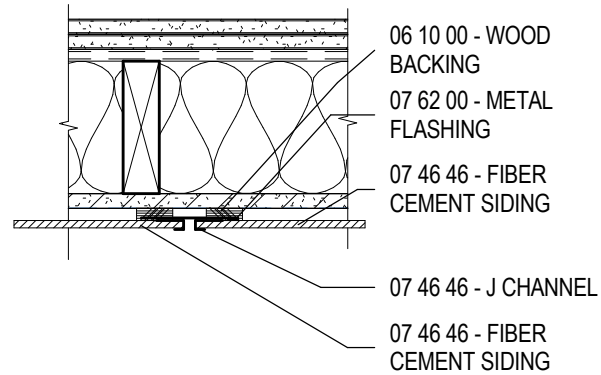


MAIN ENTRY CANOPY 1  
1/4" = 1'-0"



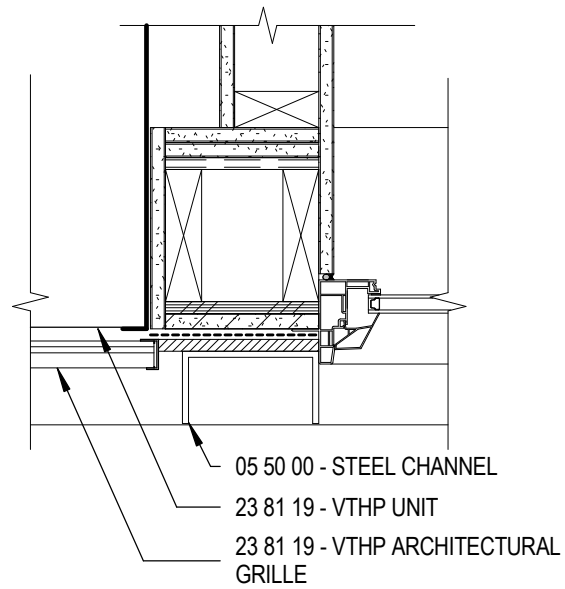
- 08 53 13 - VINYL WINDOWS
- 07 46 46 - FIBER CEMENT SIDING
- 07 46 46 - J CHANNEL

**CORNER WINDOW JAMB** 5  
1 1/2" = 1'-0"



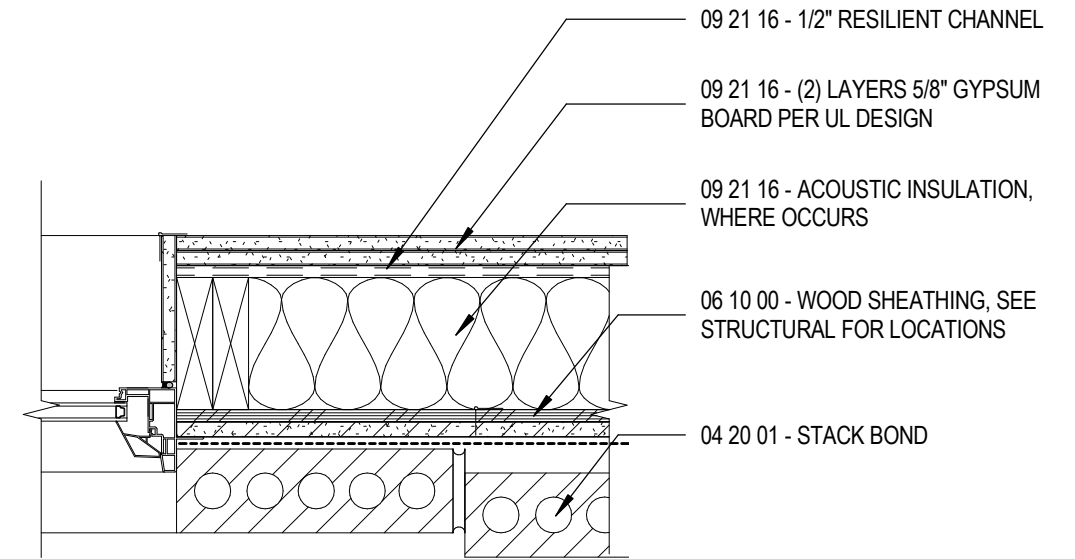
- 06 10 00 - WOOD BACKING
- 07 62 00 - METAL FLASHING
- 07 46 46 - FIBER CEMENT SIDING
- 07 46 46 - J CHANNEL
- 07 46 46 - FIBER CEMENT SIDING

**FCP JOINT VERTICAL** 3  
1 1/2" = 1'-0"

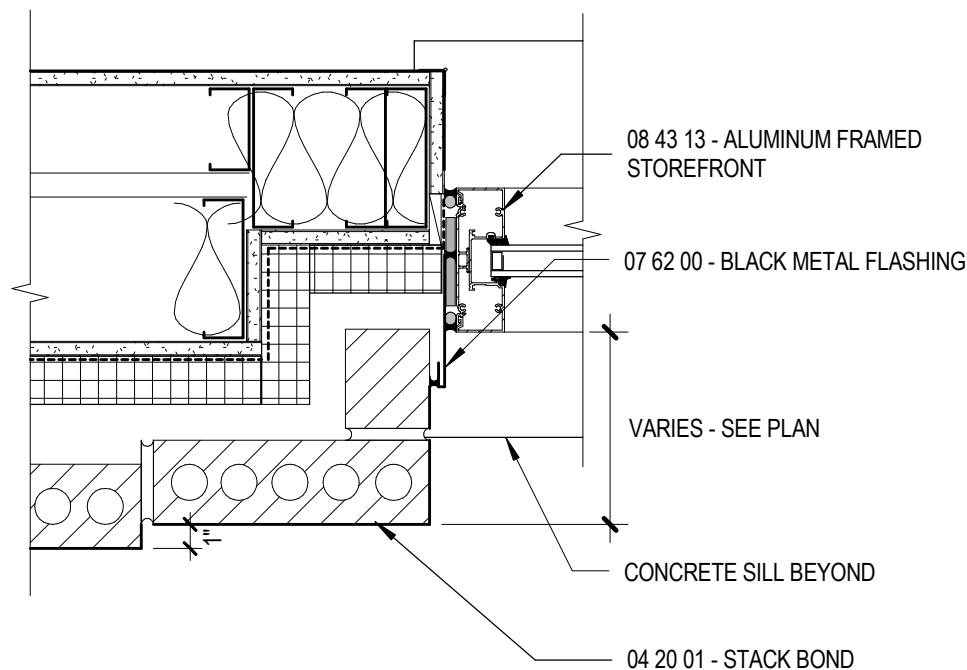


- 05 50 00 - STEEL CHANNEL
- 23 81 19 - VTHP UNIT
- 23 81 19 - VTHP ARCHITECTURAL GRILLE

**WINDOW & VTHP @ WINDOW BAY** 1  
1 1/2" = 1'-0"

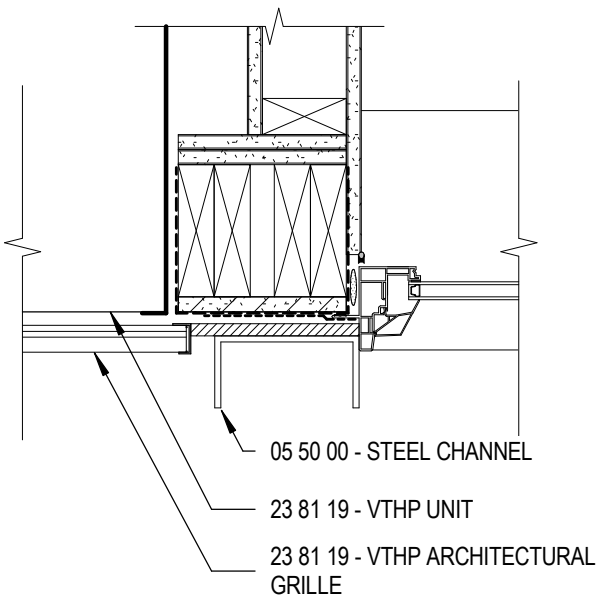


- 09 21 16 - 1/2" RESILIENT CHANNEL
- 09 21 16 - (2) LAYERS 5/8" GYPSUM BOARD PER UL DESIGN
- 09 21 16 - ACOUSTIC INSULATION, WHERE OCCURS
- 06 10 00 - WOOD SHEATHING, SEE STRUCTURAL FOR LOCATIONS
- 04 20 01 - STACK BOND



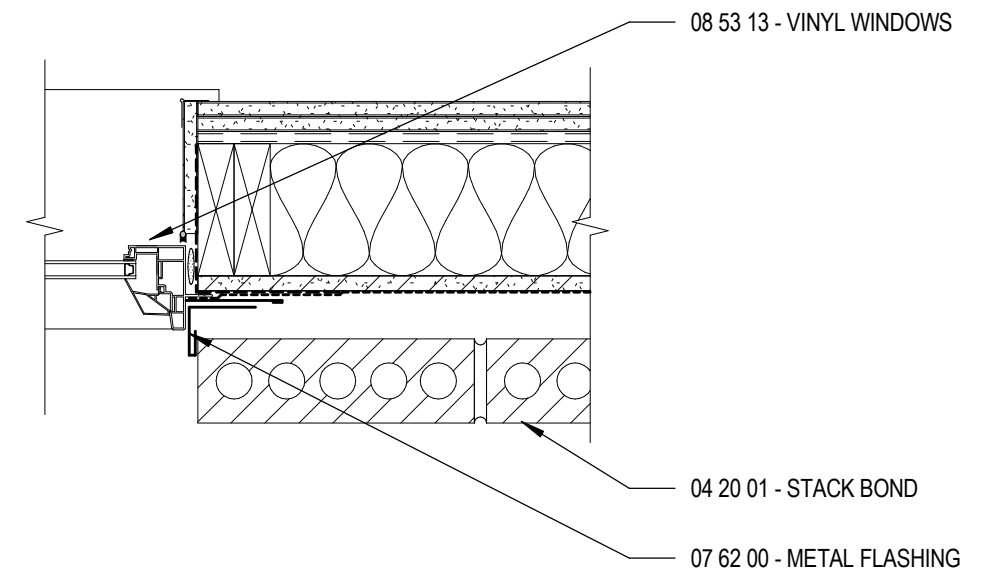
- 08 43 13 - ALUMINUM FRAMED STOREFRONT
- 07 62 00 - BLACK METAL FLASHING
- VARIES - SEE PLAN
- CONCRETE SILL BEYOND
- 04 20 01 - STACK BOND

**STOREFRONT JAMB @ GROUND LEVEL** 4  
1 1/2" = 1'-0"

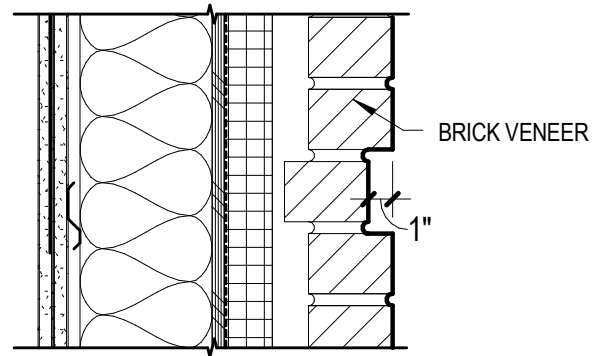


- 05 50 00 - STEEL CHANNEL
- 23 81 19 - VTHP UNIT
- 23 81 19 - VTHP ARCHITECTURAL GRILLE

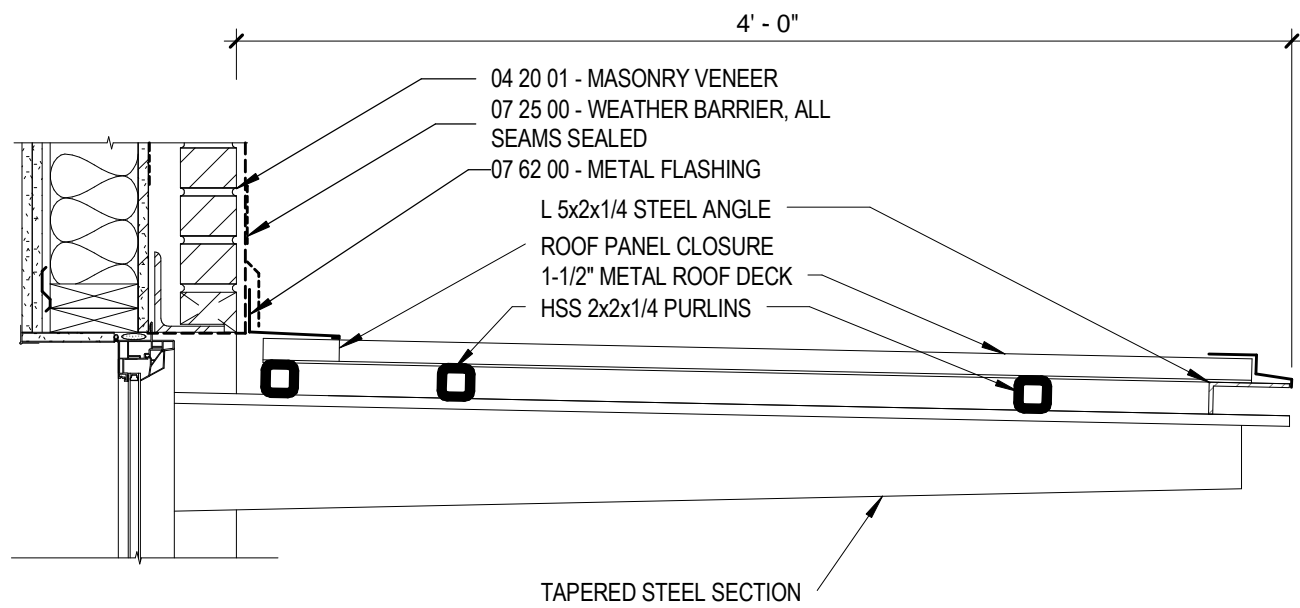
**WINDOW & VTHP JAMB @ FLUSH BRICK** 2  
1 1/2" = 1'-0"



- 08 53 13 - VINYL WINDOWS
- 04 20 01 - STACK BOND
- 07 62 00 - METAL FLASHING



DR - BRICK REVEAL TYPICAL (2)  
1 1/2" = 1'-0"



DR - STOOP CANOPY (1)  
1" = 1'-0"

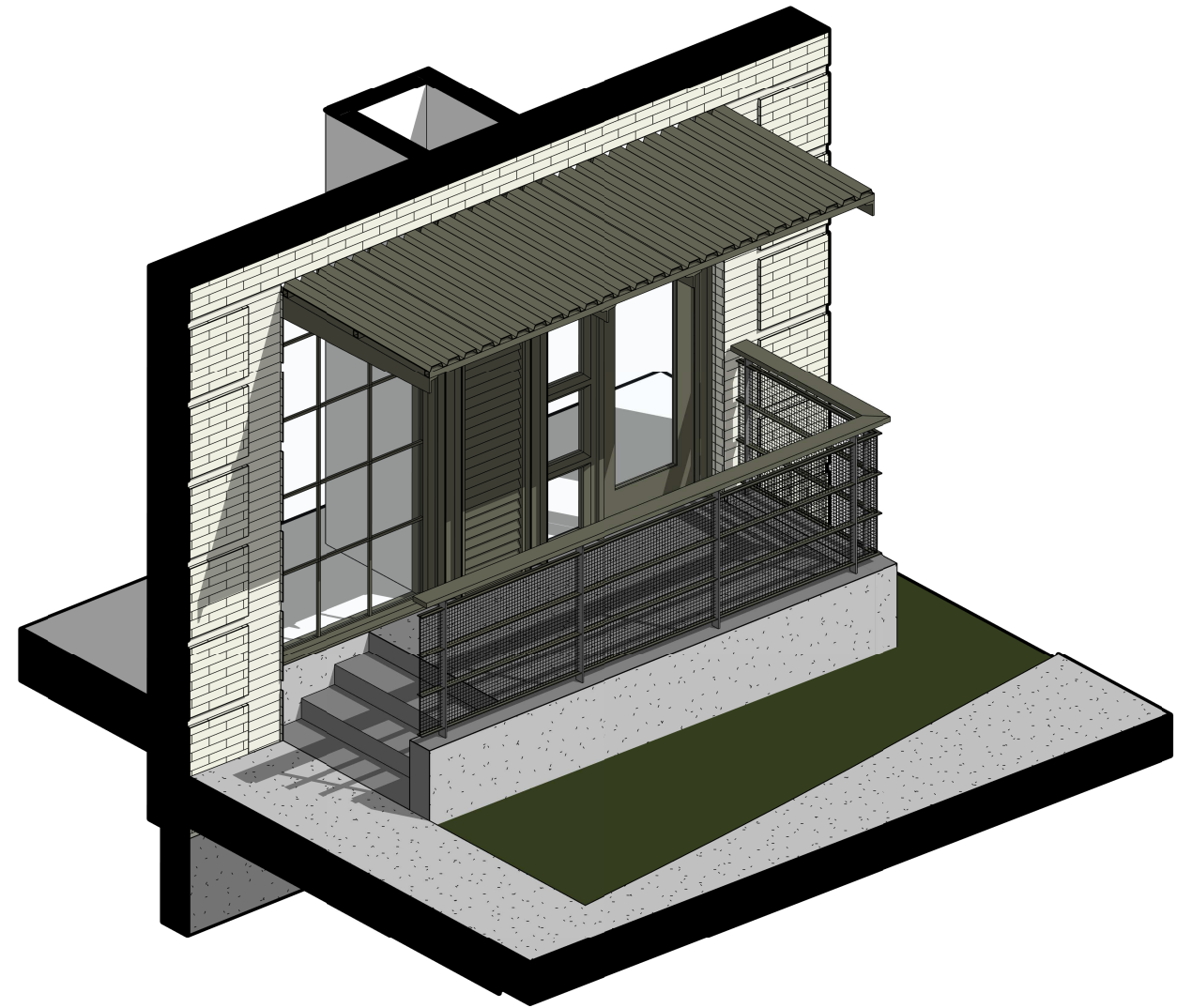




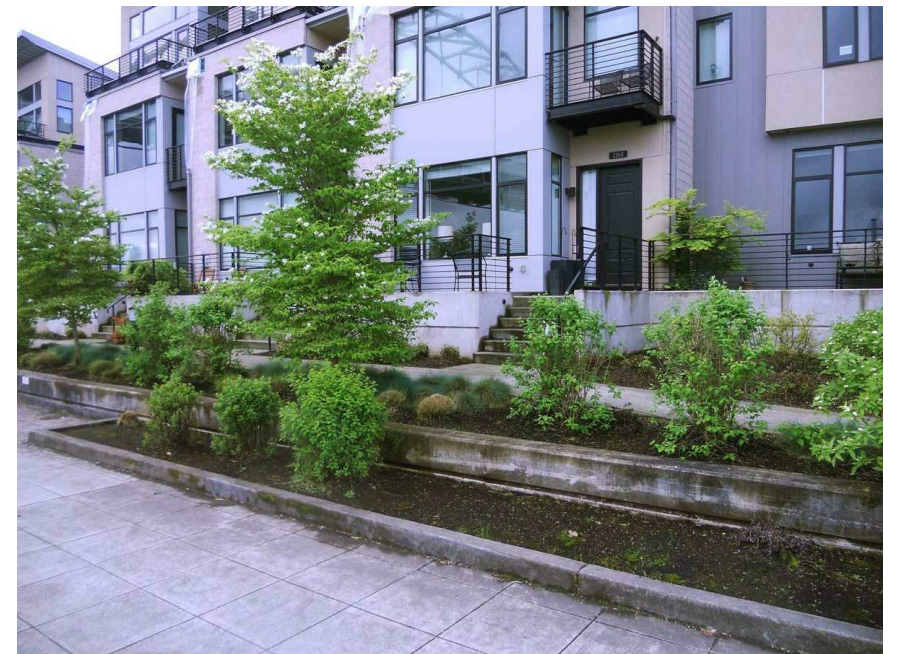
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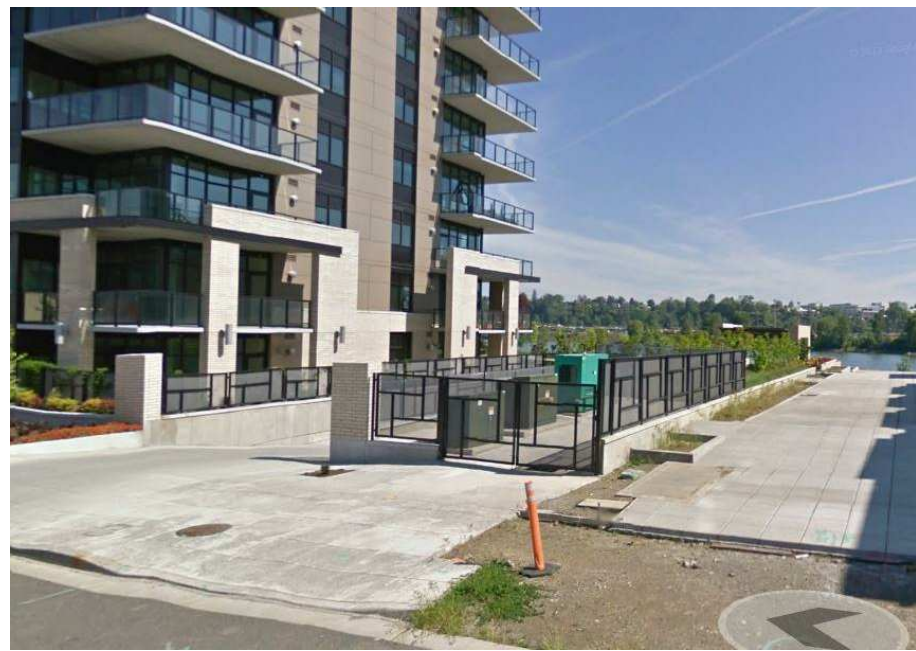
VIEW FROM NORTHWEST	C1	BIKE PARKING	C44
AERIAL VIEW FROM EAST	C2	WEST ELEVATION	C45
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VIEW FROM SOUTHWEST	C4	EAST ELEVATION	C47
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WILLAMETTE GREENWAY	C7	WEST CENTER WINDOW BAY	C50
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LANDSCAPE - ECOROOF PLANTING PLAN	C21		
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PARKING	C38		
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LEVEL 2-3	C40		
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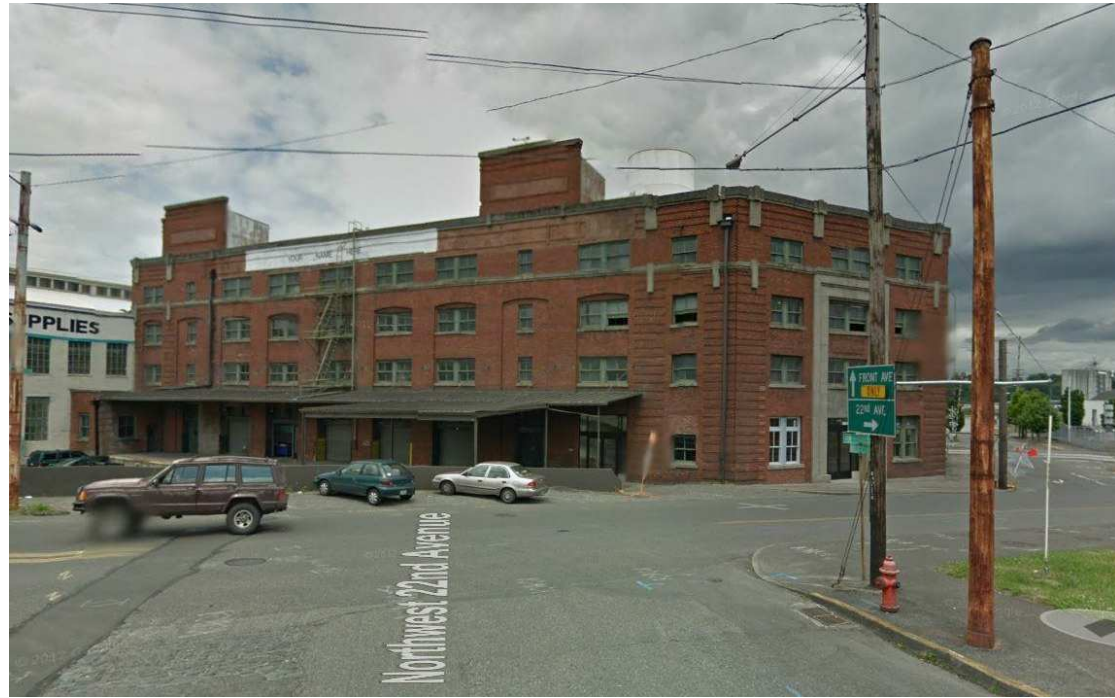


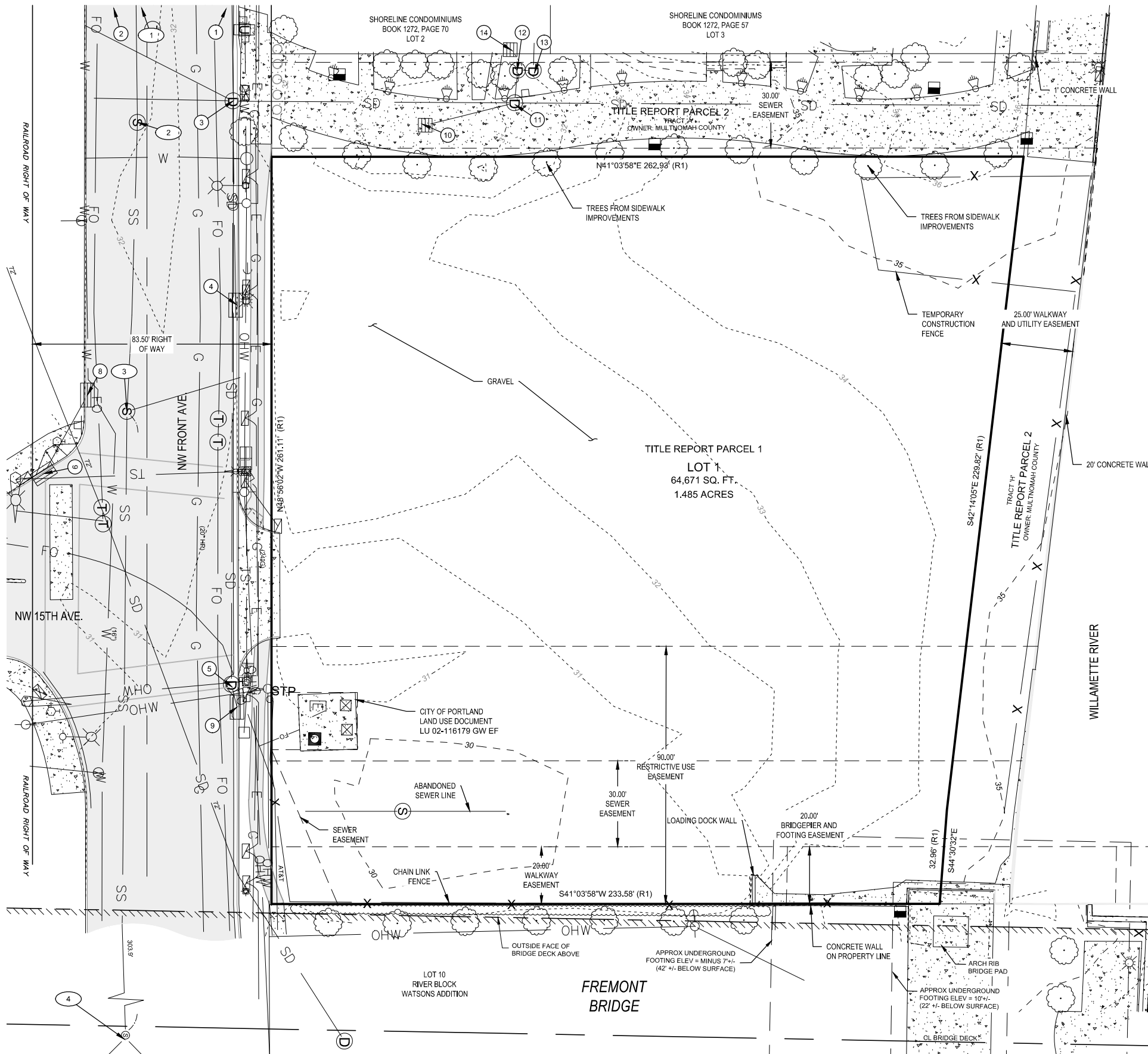












**LEGEND:**

- EXISTING BOUNDARY LINE
- EXISTING CENTERLINE
- EXISTING RIGHT-OF-WAY LINE
- EASEMENT LINE
- FENCE LINE, TYPE AS NOTED
- STORM DRAINAGE LINE
- SANITARY SEWER LINE
- UNDERGROUND WATER LINE
- UNDERGROUND ELECTRICAL LINE
- UNDERGROUND FIBER OPTIC LINE
- UNDERGROUND NATURAL GAS LINE
- OVERHEAD WIRE
- EXISTING ASPHALT SURFACE
- EXISTING CONCRETE SURFACE
- SANITARY SEWER MANHOLE
- STORM DRAIN MANHOLE
- CATCH BASIN
- CATCH BASIN - TRAPPED TYPE
- FIRE HYDRANT
- WATER VALVE
- IRRIGATION CONTROL BOX
- GROUND LIGHT
- ACORN/GLOBE LIGHT
- STREET LIGHT (COBRA ARM)
- STREET LIGHT JUNCTION BOX
- ELECTRIC METER
- ELECTRIC JUNCTION BOX
- UTILITY POLE
- GUY WIRE
- TELEPHONE RISER
- TELEPHONE MANHOLE
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGNAL POLE AND STREET LIGHT
- PEDESTRIAN SIGNAL POLE
- SIGNAL JUNCTION BOX
- STAND PIPE
- UNKNOWN RISER
- UNKNOWN UTILITY VAULT
- BOLLARD
- GATE POST
- SIGN POST
- RAILROAD SIGN
- DECIDUOUS TREE

**BASIS OF BEARINGS:**

BASIS OF BEARING WAS DERIVED FROM THE FOUND AND HELD MONUMENTS MARKING THE NORTHERLY BOUNDARY LINE OF LOT 1 OF THE PLAT OF RIVERNORTH, MULTNOMAH COUNTY SURVEY RECORDS, NORTH 41°03'58" EAST, AS SHOWN HEREON.

**DATUM:**

ELEVATION DATUM: CITY OF PORTLAND  
 BENCHMARK: # 3544  
 LOCATION: - BRASS DISK SET IN TOP OF CURB AT THE NE CORNER OF NW FRONT AVE. AND NW 16TH AVE.  
 ELEVATION: 30.82 FEET

**UTILITY STATEMENT:**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

**LEGAL DESCRIPTION:**

LOT 1 OF THE PLAT OF "RIVERNORTH" LOCATED IN SECTION 28, TOWNSHIP 1 NORTH, RANGE 1 EAST, WILLAMETTE MERIDIAN, CITY OF PORTLAND, MULTNOMAH COUNTY, OREGON

**NOTES:**

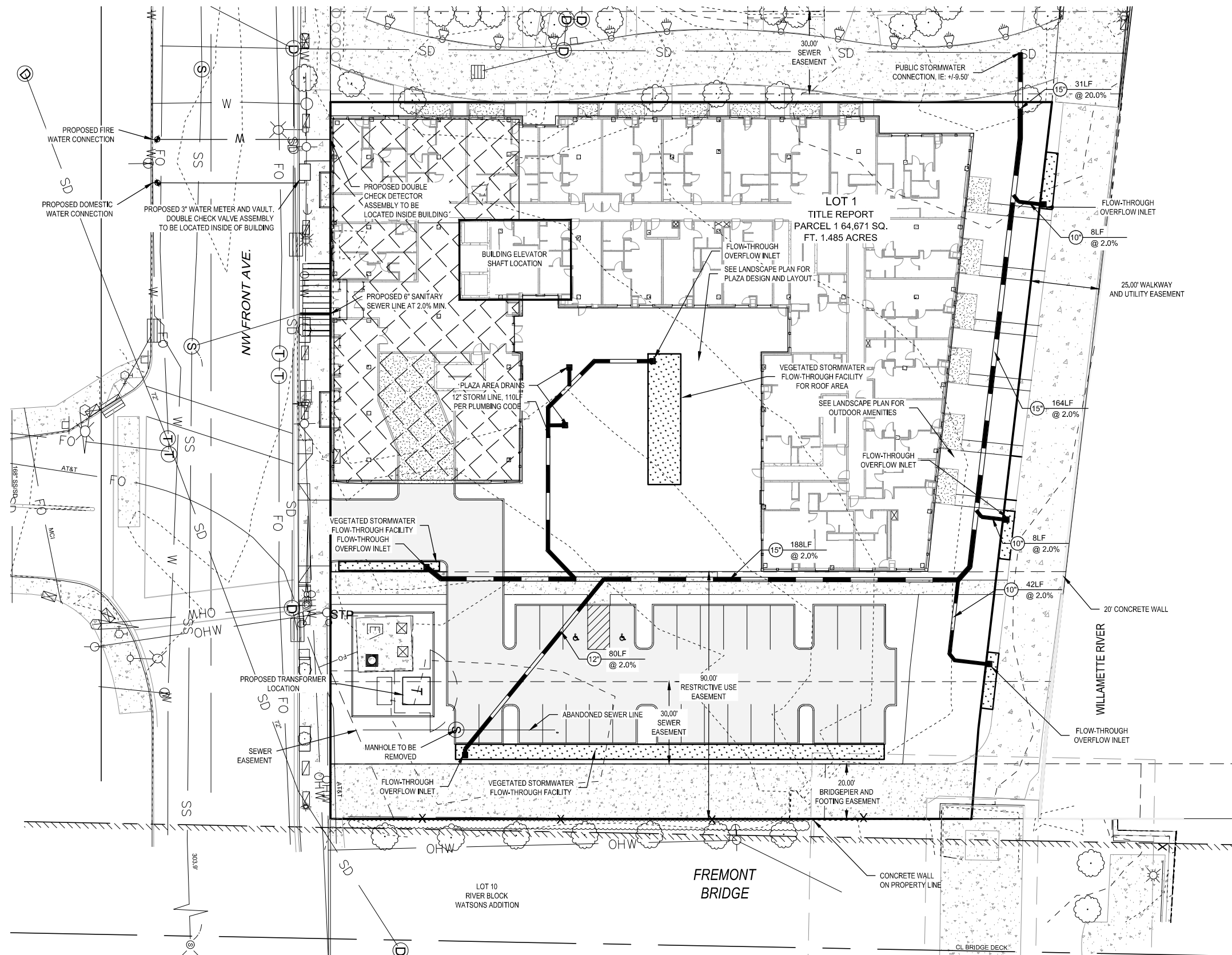
1. THE LEGAL DESCRIPTION AND EXCEPTIONS SHOWN HEREON ARE BASED ON THE PRELIMINARY TITLE REPORT ISSUED BY FIDELITY NATIONAL TITLE INSURANCE CO. ORDER NO. 20130087924-FTPOR01, EFFECTIVE DATE DECEMBER 6, 2013.
2. MANHOLES SHOWN HEREON ARE TO CENTER OF MANHOLE LID, NOT CENTER OF STRUCTURE.
3. GROSS LAND AREA 64,671 SQ. FT. OR 1.485 ACRES.
4. UNDERGROUND UTILITIES SHOWN HEREON ARE FROM READILY IDENTIFIABLE SURFACE INDICATORS AND UTILITY SERVICE PROVIDER PAINT MARKS.

**STORM DRAINAGE TABLE:**

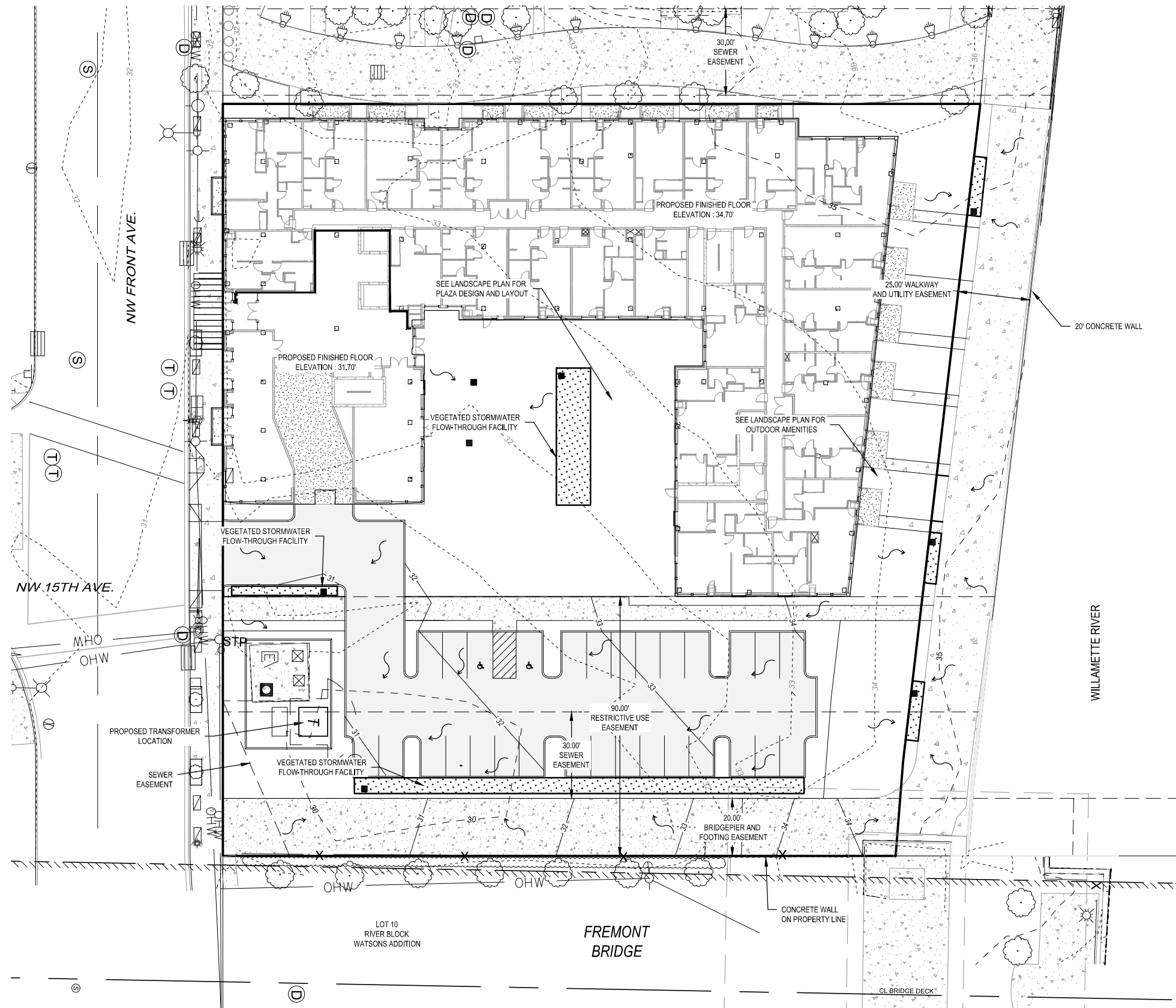
1	STORM DRAINAGE MANHOLE TRAPPED INLET (N) RIM = 31.04' 12" CONC(S) = 18.19' 18" CONC(E) = 18.04' 18" CONC(E) = 18.02'	10	CATCH BASIN TRAPPED INLET (N) RIM = 30.13' SUMP = 26.38'
2	STORM DRAINAGE MANHOLE RIM = 31.14' 12" PVC(N) = 18.80' 12" PVC(S) = 23.86'	11	STORM DRAINAGE MANHOLE RIM = 31.30' 6" PVC(S) = 26.67' 12" PVC(W) = 21.75' CHANNEL (S) = 9.77' CHANNEL (N) = 9.72'
3	STORM DRAINAGE MANHOLE RIM = 31.48' 8" CONC(E) = 25.00' 8" CONC(S/W) = 21.25' 12" CONC(E) = 18.81' 18" CONC(W) = 16.97' 12" CONC(E) = 14.67' 12" CONC(W) = 13.12' 24" CONC(S) = 11.41' 24" CONC(N) = 11.41'	12	STORM DRAINAGE MANHOLE - FILTERRA RIM = 31.92' 12" PVC(E) = 21.64'
4	CATCH BASIN RIM = 31.03' 8" CONC(W) = 26.73'	13	STORM DRAINAGE MANHOLE - FILTERRA RIM = 32.10' 12" PVC(W) = 23.50'
5	STORM DRAINAGE MANHOLE RIM = 31.41' 10" CONC(E) = 26.95' 12" CONC(W) = 22.25'	14	CATCH BASIN TRAPPED INLET (N) RIM = 31.98' SUMP = 27.61'

**SANITARY SEWER TABLE:**

1	SANITARY SEWER MANHOLE RIM = 31.16' 12" STEEL(N) = 22.53' 15" CONC(W) = 21.52' 15" CONC(E) = 21.47'
2	SANITARY SEWER MANHOLE RIM = 31.97' 15" CONC(E) = 24.72' 15" CONC(W) = 11.98'
3	SANITARY SEWER MANHOLE RIM = 31.65' 12" PVC(N/W) = 20.73' 15" CONC(W) = 20.24' 15" CONC(E) = 20.19'
4	SANITARY SEWER MANHOLE RIM = 29.73' 8" PVC(N/E) = 19.72' 15" CONC(W) = 19.01' 15" CONC(SE) = 18.88'



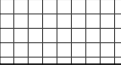


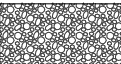
- LEGEND:**
- EXISTING BOUNDARY LINE
  - EXISTING CENTERLINE
  - EXISTING RIGHT-OF-WAY LINE
  - EASEMENT LINE
  - PROPOSED CONCRETE LINE
  - PROPOSED CURB LINE
  - PROPOSED STORM LINE
  - PROPOSED WATER LINE
  - PROPOSED SEWER LINE
  - EXISTING CONCRETE SURFACE
  - PROPOSED CONCRETE SURFACE
  - PROPOSED DRIVE-ABLE SURFACE
  - PROPOSED STORMWATER PLANTER
  - PROPOSED GREEN ROOF
  - PROPOSED AREA DRAIN

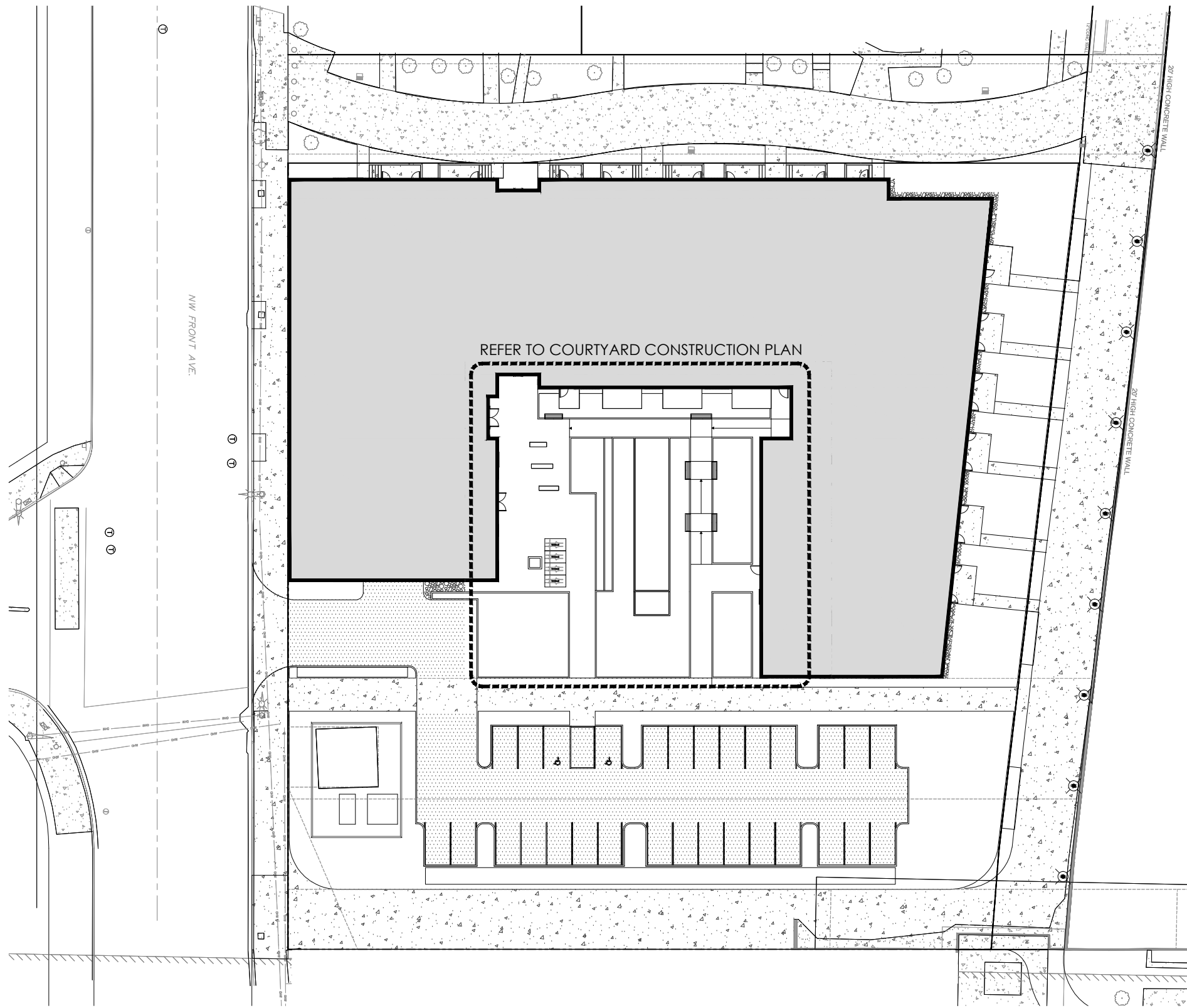


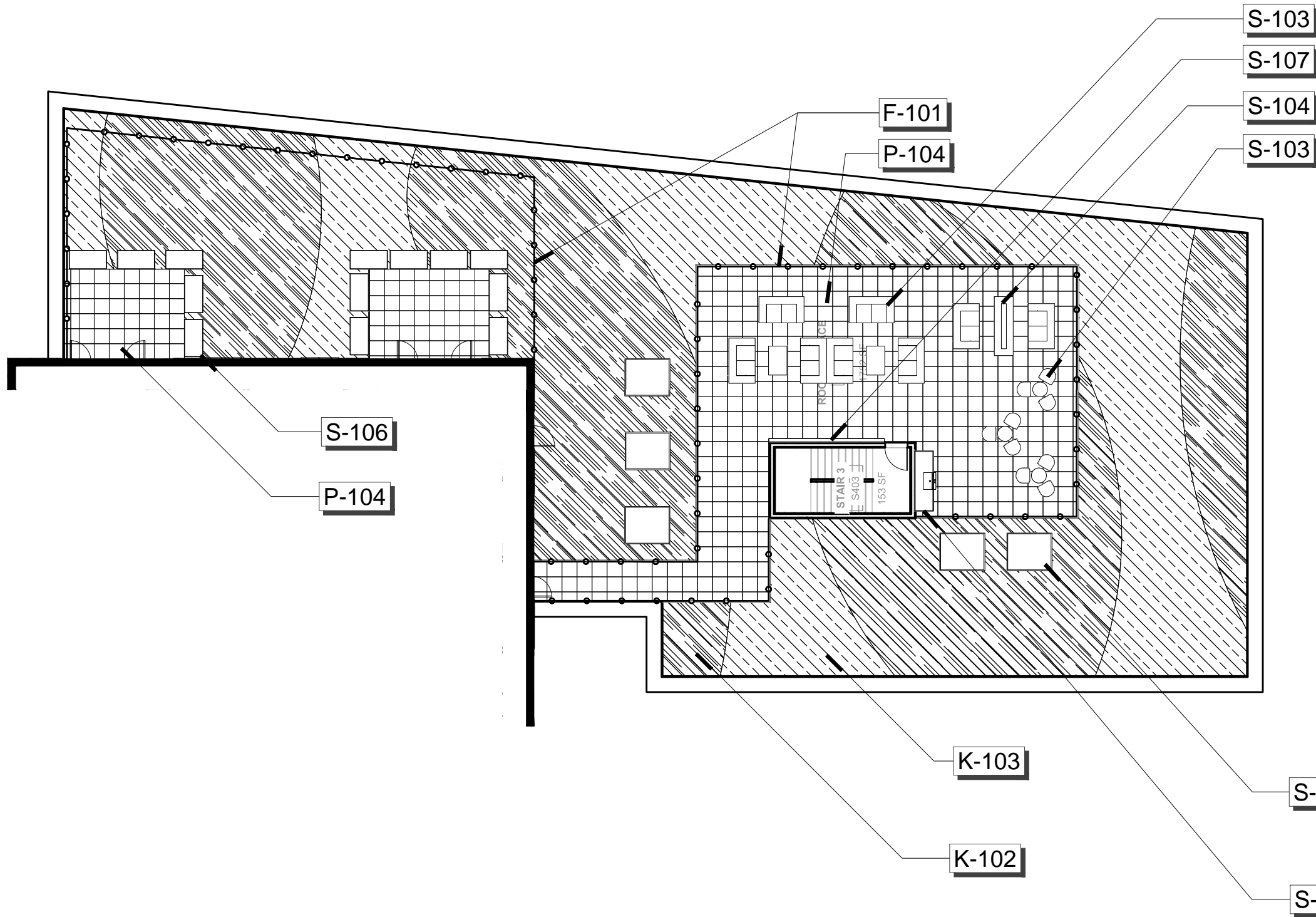
**LEGEND:**

	- EXISTING BOUNDARY LINE
	- EXISTING CENTERLINE
	- EXISTING RIGHT-OF-WAY LINE
	- EASEMENT LINE
	- PROPOSED CONCRETE LINE
	- PROPOSED CURB LINE
	- PROPOSED STORM LINE
	- PROPOSED WATER LINE
	- PROPOSED SEWER LINE
	- PROPOSED MAJOR CONTOUR
	- PROPOSED MINOR CONTOUR
	- EXISTING MAJOR CONTOUR
	- EXISTING MINOR CONTOUR
	- EXISTING CONCRETE SURFACE
	- PROPOSED CONCRETE SURFACE
	- PROPOSED DRIVE-ABLE SURFACE
	- PROPOSED STORMWATER PLANTER
	- PROPOSED DRAINAGE AREA
	- PROPOSED AREA DRAIN

# REFERENCE NOTES SCHEDULE

CONCRETE	
SYMBOL	DESCRIPTION
	PERMEABLE CONCRETE PAVERS
	CONCRETE PAVING
	ASPHALT SURFACING
ROCK	
SYMBOL	DESCRIPTION
	STONE BALLAST, 12" WIDE WITH 3-5" ROCK





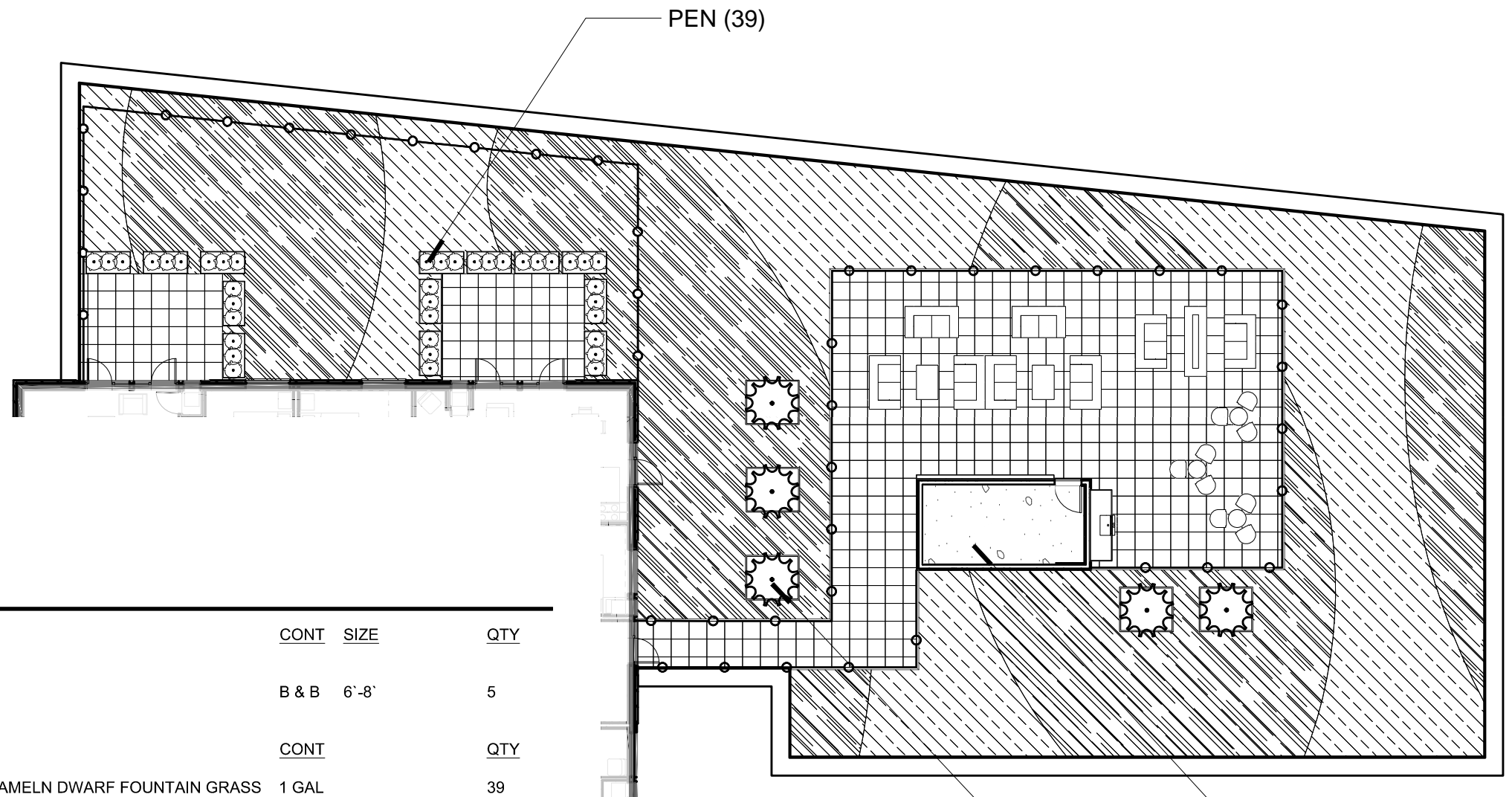
## REFERENCE NOTES SCHEDULE

FENCING	
SYMBOL	DESCRIPTION
F-101	GUARDRAIL
ROCK	
SYMBOL	DESCRIPTION
K-102	TYPE 1 GRAVEL - 1 1/2" SIZE WHITE GRAVEL 4" DEPTH SEPARATED WITH METAL EDGING
K-103	TYPE 2 GRAVEL - 1 1/2" SIZE BLACK GRAVEL 4" DEPTH
CONCRETE	
SYMBOL	DESCRIPTION
P-104	PEDESTAL PAVERS
SITE FURNISHINGS	
SYMBOL	DESCRIPTION
S-103	SEATING
S-104	FIRE TABLE
S-105	BBQ GRILLING STATION
S-106	DECORATIVE PLANT CONTAINERS
S-107	MOVIE SCREEN



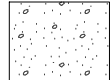


# PLANT SCHEDULE GROUND LEVEL

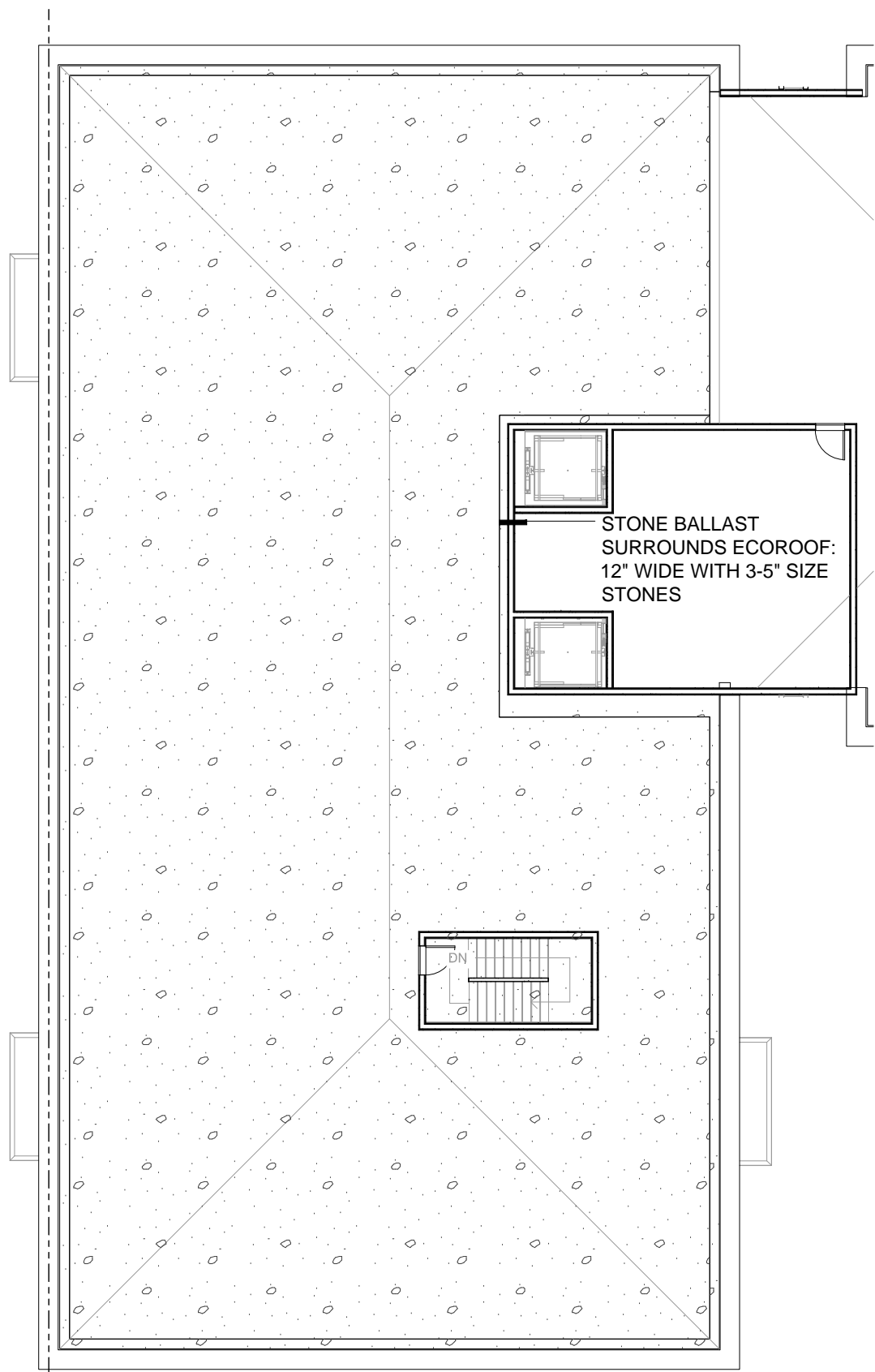
TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY	GROUND COVERS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	AP	ACER CIRCINATUM 'PACIFIC FIRE' / VINE MAPLE	-	1.5" CAL	6'-7'	7		ARCT	ARCTOSTAPHYLOS UVA-URSI / KINNIKINNICK	1 GAL	24" o.c.	112
	AL	ALNUS RUBRA / RED ALDER	B & B	2"		6		CALA	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	24" o.c.	121
	AR	ARBUTUS X 'MARINA' / ARBUTUS MULTI-TRUNK	15 GAL.		8'-10'	5		CARE	CAREX Densa / DENSE SEDGE	1 GAL	12" o.c.	1,154
	IC	CALOCEDRUS DECURRENS / INCENSE CEDAR	-		8'-10'	1		REED	EQUISETUM HYEMALE / HORSETAIL REED GRASS	1 GAL	12" o.c.	32
	EW	CORNUS NUTTALLII 'EDDIE'S WHITE WONDER' / EDDIE'S WHITE WONDER DOGWOOD	B & B	2"	14' - 16'	6		FEST	FESTUCA IDAHOENSIS 'SISKIYOU BLUE' / SISKIYOU BLUE FESCUE	1 GAL	18" o.c.	586
	LA	LAGERSTROEMIA X 'NATCHEZ' / WHITE GRAPE MYRTLE MULTI-TRUNK	-	2"	14' - 16'	4		SALA	GAULTHERIA SHALLON / SALAL	1 GAL	30" o.c.	154
	QR	QUERCUS ROBUR 'REGAL PRINCE' / REGAL PRINCE ENGLISH OAK	B & B	2" CAL	12-15' H	34		MAHC	MAHONIA AQUIFOLIUM 'COMPACTA' / COMPACT OREGON GRAPE	2 GAL	36" o.c.	201
	RE	QUERCUS SHUMARDII / SHUMARD RED OAK	B & B	3.5" CAL	18-20'	5		MEXI	NASSELLA TENUISSIMA / MEXICAN FEATHER GRASS	1 GAL	24" o.c.	500
	RH	RHAMNUS PURSHIANA / CASCARA	B & B	2" CAL	10'-12'	9		POLY	POLYSTICHUM MUNITUM / WESTERN SWORD FERN	1 GAL	24" o.c.	345
SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	QTY	GROUND COVERS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY	
	COR	CORNUS SERICEA 'KELSEYI' / KELSEYI DOGWOOD	2 GAL		117		RIBE	RIBES SANGUINEUM 'KING EDWARD VII' / RED FLOWERING CURRANT	2 GAL	48" o.c.	47	
	DEM	DESCHAMPSIA CESPITOSA 'NORTHERN LIGHTS' / NORTHERN LIGHTS HAIR GRASS	1 GAL.		211		SPIR	SPIRAEA DOUGLASII / WESTERN SPIREA	2 GAL	36" o.c.	32	
	FES	FESTUCA IDAHOENSIS 'SISKIYOU BLUE' / SISKIYOU BLUE FESCUE	1 GAL		80		SNOW	SYMPHORICARPOS ALBUS 'MAGIC BERRY' / COMPACT SNOWBERRY	1 GAL	36" o.c.	112	
	INK	ILEX GLABRA / INKBERRY HOLLY	5 GAL.		36		VACC	VACCINIUM OVATUM / EVERGREEN HUCKLEBERRY	2 GAL	36" o.c.	55	
	ORE	MAHONIA AQUIFOLIUM / OREGON GRAPE	3 GAL		88							
	MAH	MAHONIA AQUIFOLIUM 'COMPACTA' / COMPACT OREGON GRAPE	1 GAL.		80							
	MYR	MYRICA CALIFORNICA / PACIFIC WAX MYRTLE	5 GAL.		28							
	PEN	PENNISETUM ALOPECUROIDES 'HAMELN' / HAMELN DWARF FOUNTAIN GRASS	1 GAL		36							
	RHO	RHODODENDRON YAKUSIMANUM 'PRINCE' / YAKU PRINCE RHODODENDRON	24"		56							
	TAX	TAXUS BACCATA / ENGLISH YEW	5 GAL.		71							



**PLANT SCHEDULE ROOFDECK**

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	QTY
	PC	PINUS CONTORTA / SHORE PINE	B & B	6'-8'	5
SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT		QTY
	PEN	PENNISETUM ALOPECUROIDES 'HAMELN' / HAMELN DWARF FOUNTAIN GRASS	1 GAL		39
GREEN ROOF	CODE	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	SEDU	SEDUM TILES / SEDUM	NONE		156 SF

PC (5) SEDU 158 SF

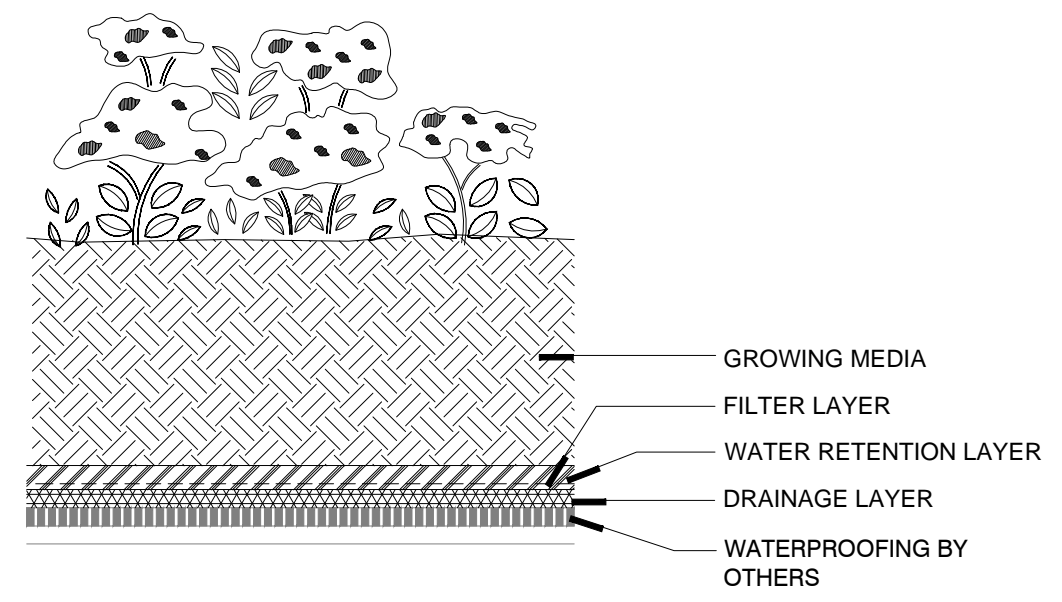


**1** ECO-ROOF  
SCALE: 1/16" = 1'-0"



# PLANT SCHEDULE ECOROOF

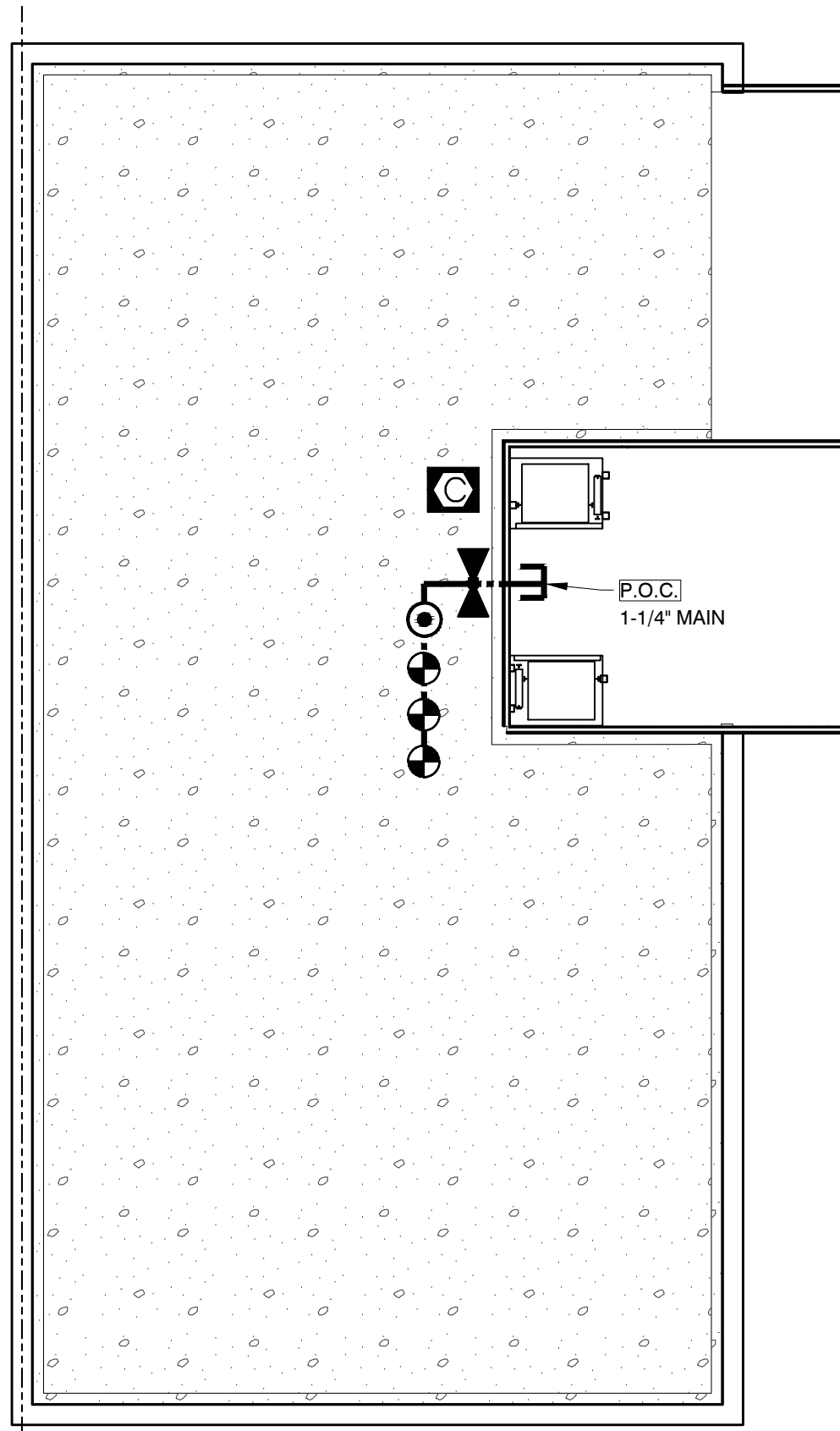
GREEN ROOF	BOTANICAL NAME / COMMON NAME	QTY
	SEDUM TILES / SEDUM PREGROWN SEDUM TILES BY "COLUMBIA GREEN" - "ALL SEASON" SEDUM MIX	8,466 SF
1. SEDUM ALBUM 'CORAL CARPET' / WHITE STONECROP	CREECH CAUCASIAN STONECROP	
2. SEDUM HISPANICUM 'IMMERGRUNCHEN' / SPANISH STONECROP	9. SEDUM SPURIUM 'RED CARPET' / RED CARPET CAUCASIAN STONECROP	
3. SEDUM FLORIFERUM / ORANGE STONECROP	10. SEDUM SPURIUM 'ROSEUM' / 'ROSEUM' CAUCASIAN STONECROP	
4. SEDUM MIDDENDORFFIANUM DIFFUSUM / CHINESE MOUNTAIN STONECROP	11. SEDUM STEFCO / STEFANOV STONECROP	
5. SEDUM REFLEXUM 'GREEN SPRUCE' / SPRUCE STONECROP	12. SEDUM TAKESIMENSIS 'GOLDEN CARPET' / GOLDEN CARPET SEDUM	
6. SEDUM SPURIUM 'COCCINEUM' / RED CAUCASIAN STONECROP	13. SEDUM TETRACTINUM 'CORAL REEF' / FISH SCALE SEDUM	
7. SEDUM SPURIUM 'FULDAALUT' / CAUCASIAN STONECROP		
8. SEDUM SPURIUM 'JOHN CREECH' / JOHN		



NOTE:  
1. SYSTEM COMPONENTS ARE SHOWN AT NOMINAL SIZE, COMPRESSION WILL OCCUR AT RETENTION LAYER BASED ON AMOUNT (HEIGHT/VOLUME) OF GROWING MEDIA PLACED ON SYSTEM. MAXIMUM COMPRESSION 1/4" ±.

**2** ECO-ROOF DETAIL  
SCALE: NTS





### IRRIGATION LEGEND

- PROPOSED IRRIGATION MAINLINE
- P.O.C. POINT OF CONNECTION
- AUTOMATIC CONTROL VALVE
- QUICK COUPLER
- AUTOMATIC "SMART" CONTROLLER FINAL LOCATION TO BE DETERMINED



Ensure that all components are properly installed and maintained according to the manufacturer's instructions. Regular inspections should be conducted to identify any issues early on.

Seasonal maintenance is crucial for the longevity of the ecoroof system. In winter, focus on snow removal and ice prevention. In summer, ensure proper drainage and check for any leaks or damage to the waterproofing.

Spring maintenance includes inspecting the roof for any damage from winter weather and ensuring that the drainage system is clear of debris.

- **General:** Inspect the roof surface for any signs of wear, damage, or debris. Clean the roof surface as needed to maintain its integrity.
- **Drainage:** Ensure that all drainage channels and pipes are clear of any blockages. Test the drainage system to ensure it is functioning properly.
- **Waterproofing:** Check for any signs of leaks or water penetration. Repair any damaged areas immediately to prevent water damage to the building structure.

Emergency procedures should be followed in the event of a major leak or structural damage. Contact the manufacturer or a professional contractor immediately for assistance.

- **Leakage:** If a leak is discovered, immediately locate the source and stop the flow of water. Contact a professional to repair the leak.
- **Structural Damage:** If there is any structural damage to the roof, evacuate the building and contact the manufacturer or a professional contractor immediately.
- **Weather:** In the event of severe weather, ensure that the roof is properly secured and that all components are protected.

Vegetation management is essential for the health of the ecoroof system. Regular maintenance of the plants and soil is required.

- **Drainage:** Ensure that the drainage system is clear of any debris and that the plants are not blocking the drainage channels.
- **Plant Health:** Regularly inspect the plants for any signs of disease or pest infestation. Prune the plants as needed to maintain their health.
- **Soil:** Monitor the soil moisture levels and ensure that the soil is properly aerated. Add fertilizer as needed to maintain the soil's fertility.
- **Watering:** Water the plants regularly, but avoid overwatering. Use a drip irrigation system if possible to ensure even watering.

Insulation and energy efficiency are important considerations for the ecoroof system. Proper insulation can help reduce energy costs and improve the building's performance.

- **Drainage:** Ensure that the drainage system is properly insulated to prevent heat loss. Use high-quality insulation materials that are suitable for outdoor use.
- **Plant Health:** Regularly inspect the plants for any signs of disease or pest infestation. Prune the plants as needed to maintain their health.
- **Soil:** Monitor the soil moisture levels and ensure that the soil is properly aerated. Add fertilizer as needed to maintain the soil's fertility.
- **Watering:** Water the plants regularly, but avoid overwatering. Use a drip irrigation system if possible to ensure even watering.

Seasonal maintenance is crucial for the longevity of the ecoroof system. In winter, focus on snow removal and ice prevention. In summer, ensure proper drainage and check for any leaks or damage to the waterproofing.

- **Roofing:** Inspect the roof surface for any signs of wear, damage, or debris. Clean the roof surface as needed to maintain its integrity.
- **Drainage:** Ensure that all drainage channels and pipes are clear of any blockages. Test the drainage system to ensure it is functioning properly.

Temperature fluctuations can cause expansion and contraction of the roof materials, leading to potential damage if not properly managed.

- **Air Quality:** Monitor the air quality around the roof to ensure that there are no harmful pollutants or gases that could damage the roof materials.
- **Moisture:** Check for any signs of moisture or water penetration. Repair any damaged areas immediately to prevent water damage to the building structure.

Annual maintenance is essential for the ecoroof system. Regular inspections and cleaning can help prevent major issues and extend the life of the system.

- **North:** Inspect the roof surface for any signs of wear, damage, or debris. Clean the roof surface as needed to maintain its integrity.
- **South:** Monitor the soil moisture levels and ensure that the soil is properly aerated. Add fertilizer as needed to maintain the soil's fertility.

Annual maintenance is essential for the ecoroof system. Regular inspections and cleaning can help prevent major issues and extend the life of the system.

- **East:** Inspect the roof surface for any signs of wear, damage, or debris. Clean the roof surface as needed to maintain its integrity.
- **West:** Monitor the soil moisture levels and ensure that the soil is properly aerated. Add fertilizer as needed to maintain the soil's fertility.

Insulation and energy efficiency are important considerations for the ecoroof system. Proper insulation can help reduce energy costs and improve the building's performance.

- **Summer:** Inspect the roof surface for any signs of wear, damage, or debris. Clean the roof surface as needed to maintain its integrity.
- **Winter:** Monitor the soil moisture levels and ensure that the soil is properly aerated. Add fertilizer as needed to maintain the soil's fertility.

Annual maintenance is essential for the ecoroof system. Regular inspections and cleaning can help prevent major issues and extend the life of the system.

**Summer:** Inspect the roof surface for any signs of wear, damage, or debris. Clean the roof surface as needed to maintain its integrity.

**Fall:** Remove any debris from the roof surface and ensure that the drainage system is clear. Prune the plants as needed to maintain their health.

**Winter:** Monitor the soil moisture levels and ensure that the soil is properly aerated. Add fertilizer as needed to maintain the soil's fertility.

**Spring:** Inspect the roof surface for any signs of wear, damage, or debris. Clean the roof surface as needed to maintain its integrity.

**All Seasons:** Monitor the soil moisture levels and ensure that the soil is properly aerated. Add fertilizer as needed to maintain the soil's fertility.

Plant Palette - Shrubs



Kinnickinnick



California Wax Myrtle



'Yaku Princess' Rhododendron-  
spring blooms



Oregon Grape



Compact Oregon Grape



Dwarf Salal



Douglas Spirea



Red-flowering Currant



Kelsey Redtwig Dogwood



Compact Snowberry



Inkberry Holly



Evergreen Huckleberry



Western Sword Fern

# Plant Palette - Trees, Grasses & Sedums



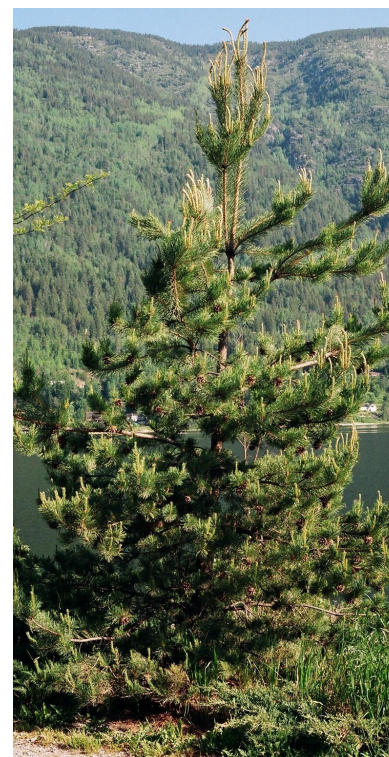
Pacific Fire Vine Maple



White Crape Myrtle



Incense Cedar



Shore Pine



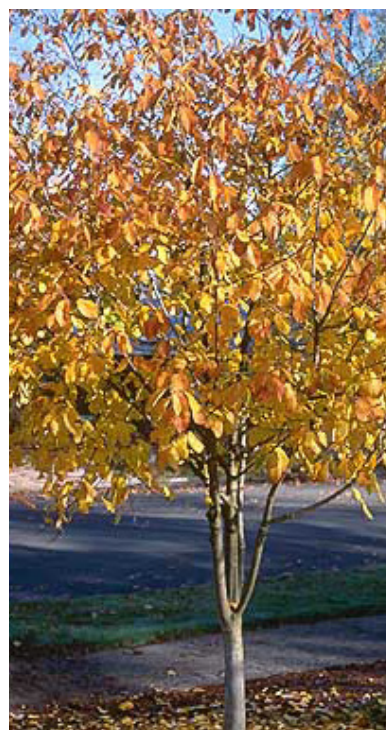
Northern Lights Hair Grass



Feather Reed Grass



Siskyou Blue Fescue



Casacara (fall color shown)



Regal Prince Oak



Shumard Oak



Eddie's White Wonder Dogwood



Dwarf Fountaingrass



Horsetail Grass



Dense Sedge



Mexican Feathergrass

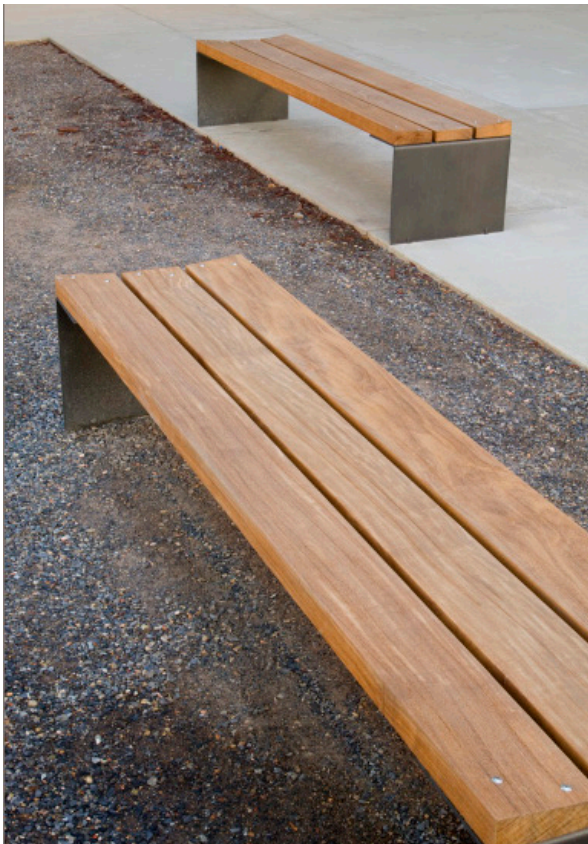


Mixed Sedums- greenroof

# Ground Level Furnishings & Materials



Permeable concrete pavers: Mutual Materials Eco-Prioria



Courtyard Bench



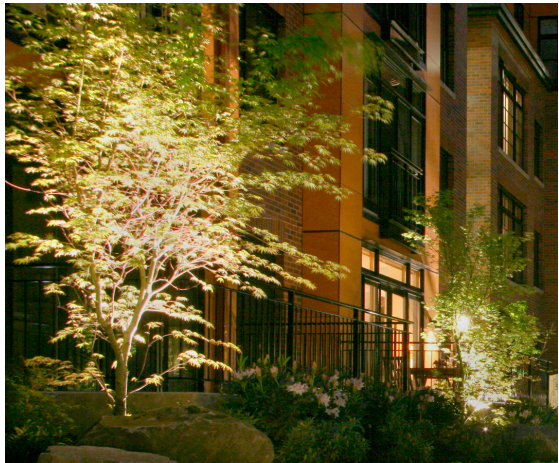
Greenway light fixture



Underwater light for courtyard water feature



Uplight fixtures



Uplighting on trees



Bike racks



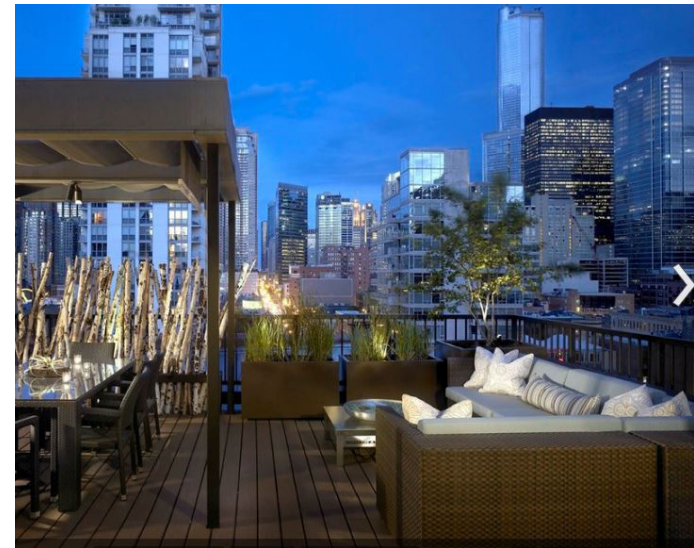
# Roof Deck Furnishings & Materials



Outdoor movie screen



Steel planter boxes



Furniture



Steel fire table



White gravel



Black gravel



Concrete pedestal pavers

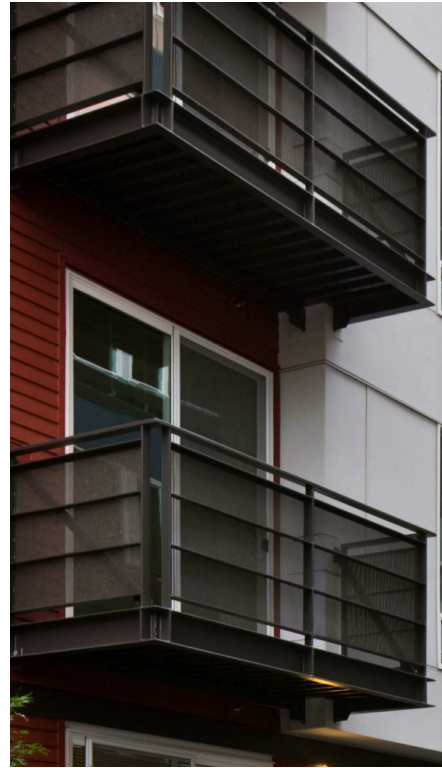




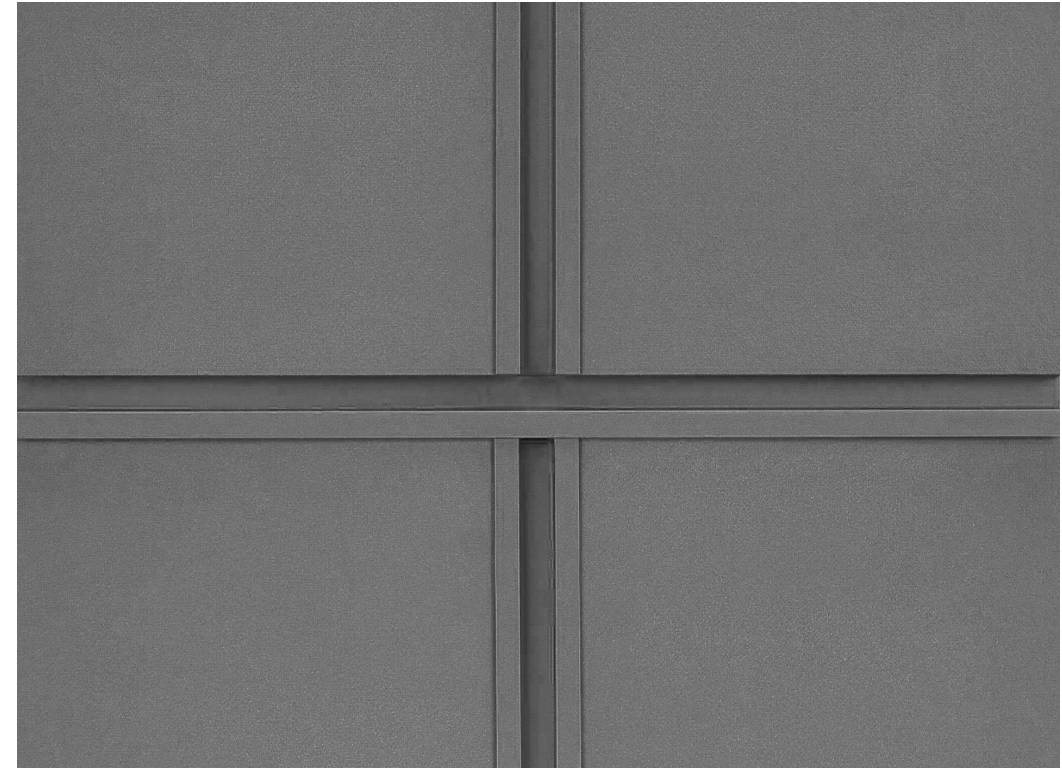
VTAC LOUVERED COVER



VPI VINYL WINDOW - ENDURANCE



MESH RAILING BALCONY



FIBER CEMENT BOARD INFILL BETWEEN WINDOWS



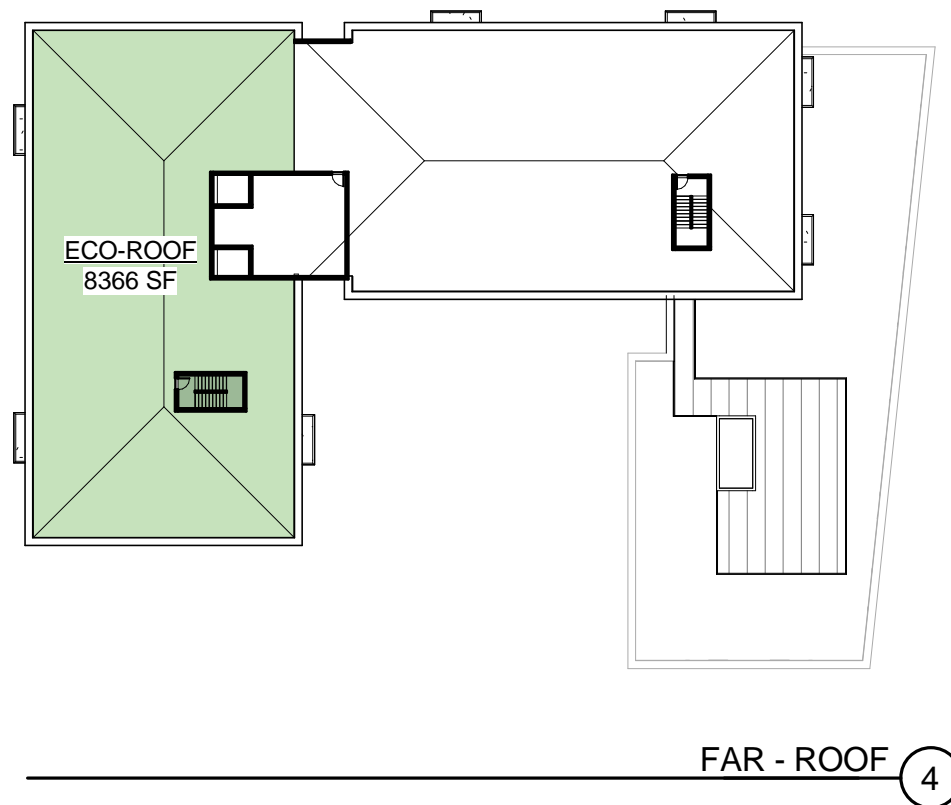
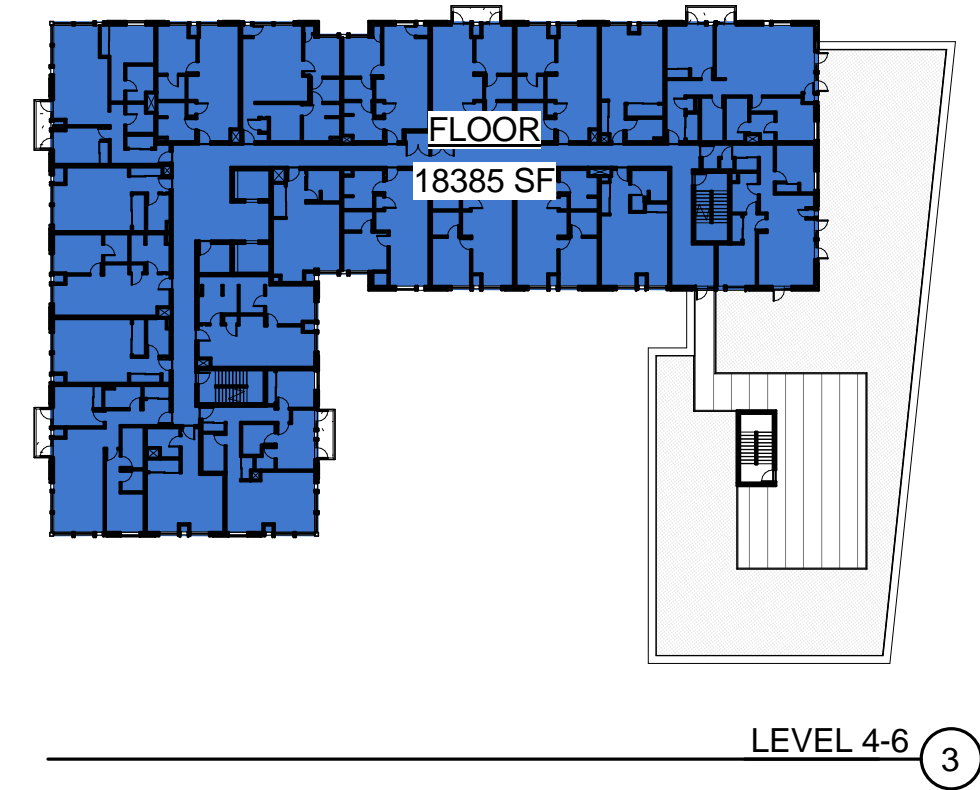
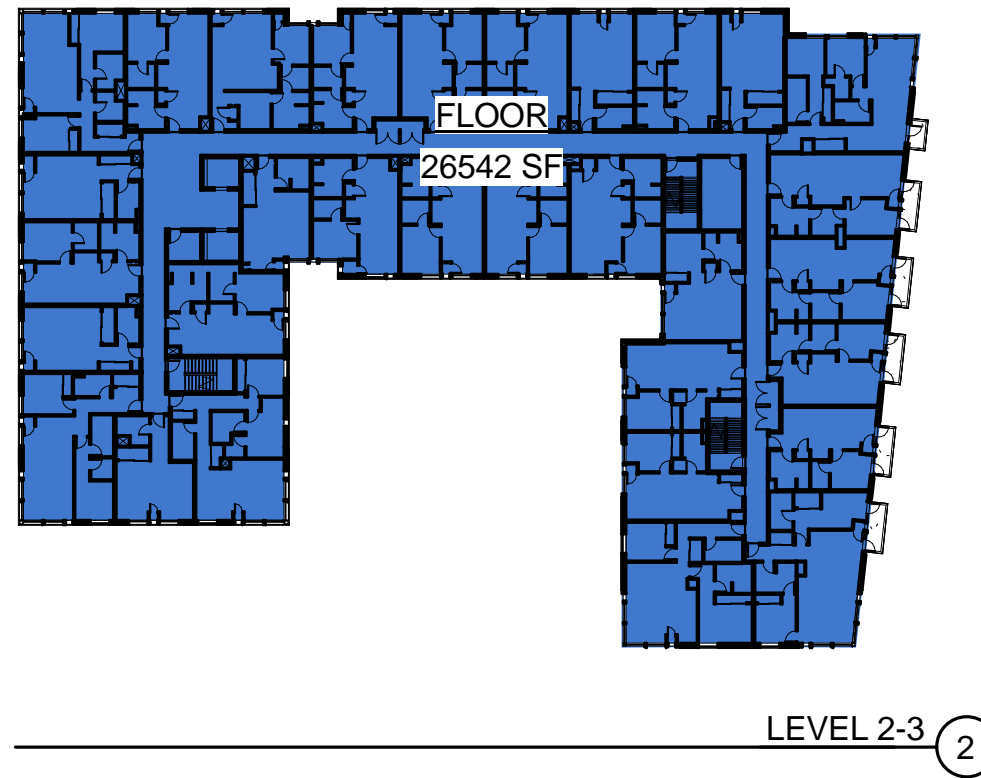
BLACK METAL TRIM



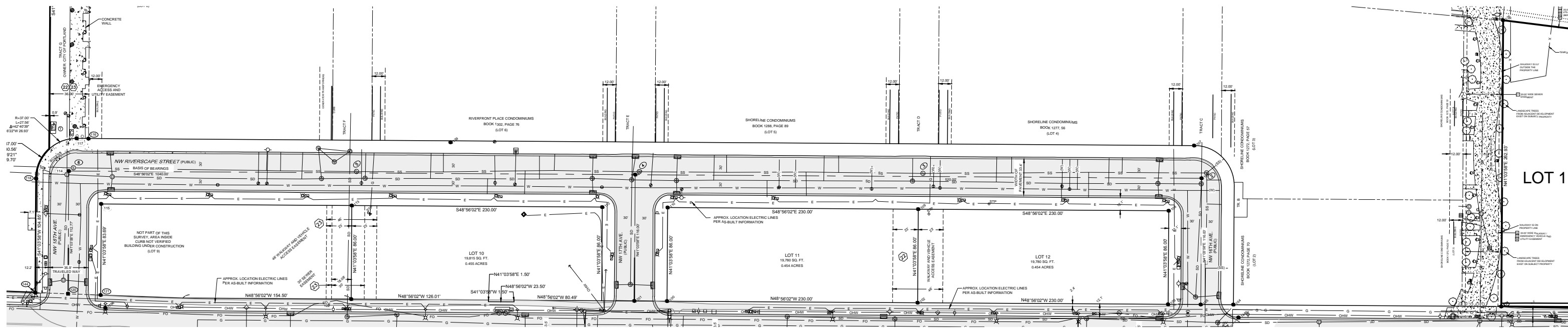
BRICK - MUTUAL MATERIALS "MODIFIED GRANITE" - NORMAN SIZE



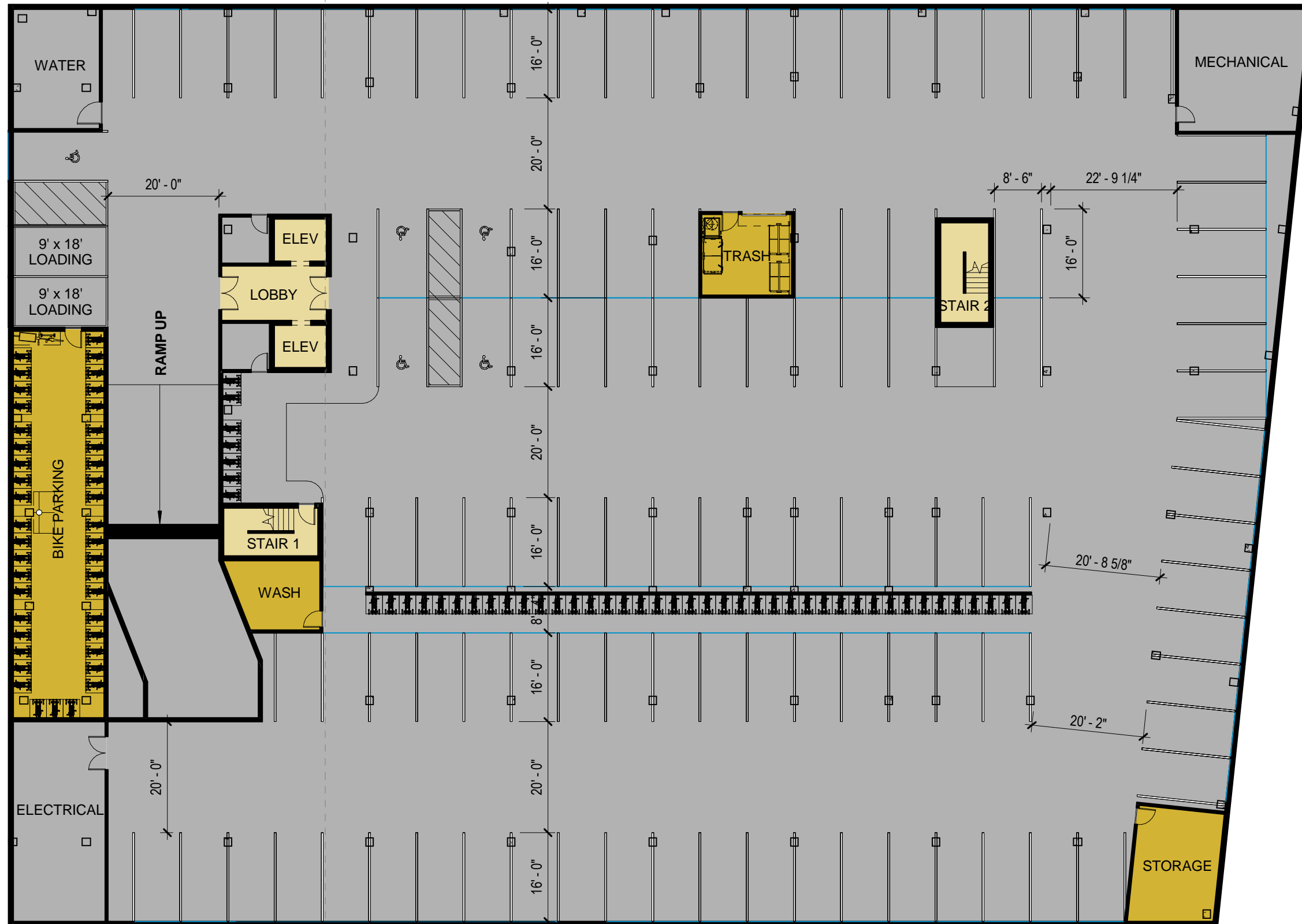
STEEL C-CHANNEL LINTEL ABOVE WINDOWS



26,389 SF	LEVEL 1
26,542 SF	LEVEL 2
26,542 SF	LEVEL 3
18,385 SF	LEVEL 4
18,385 SF	LEVEL 5
18,385 SF	LEVEL 6
<hr/>	
134,628 SF	FAR TOTAL
129,342 SF	BASE FAR ALLOWABLE (no bonuses)
<hr/>	
8,366 SF	ECO-ROOF BONUS
137,708 SF	FAR TOTAL ALLOWED



LOT 1



VEHICLE COUNT	
LEVEL	COUNT

PARKING LEVEL	111
LEVEL 1	28
Grand total	139

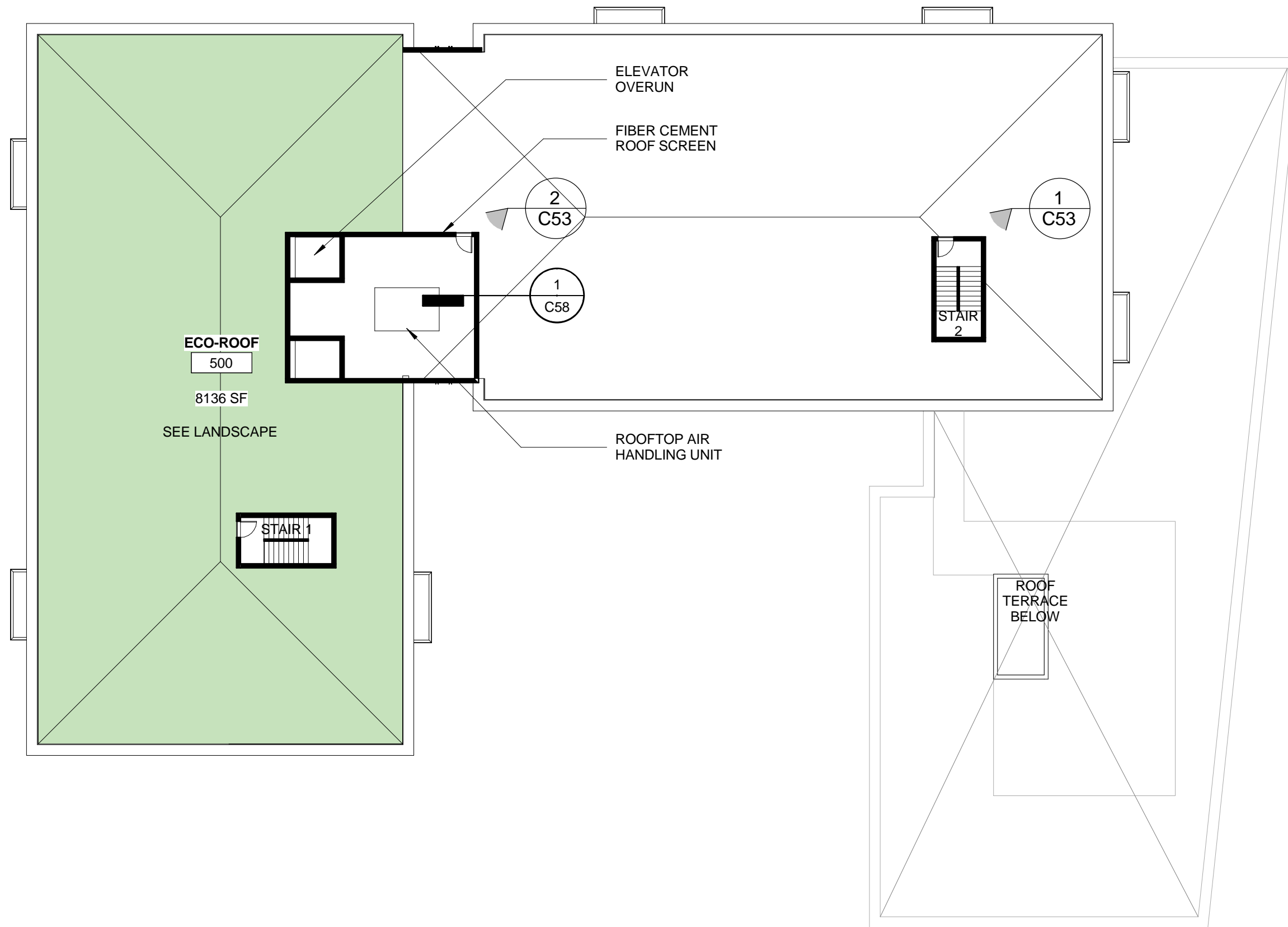


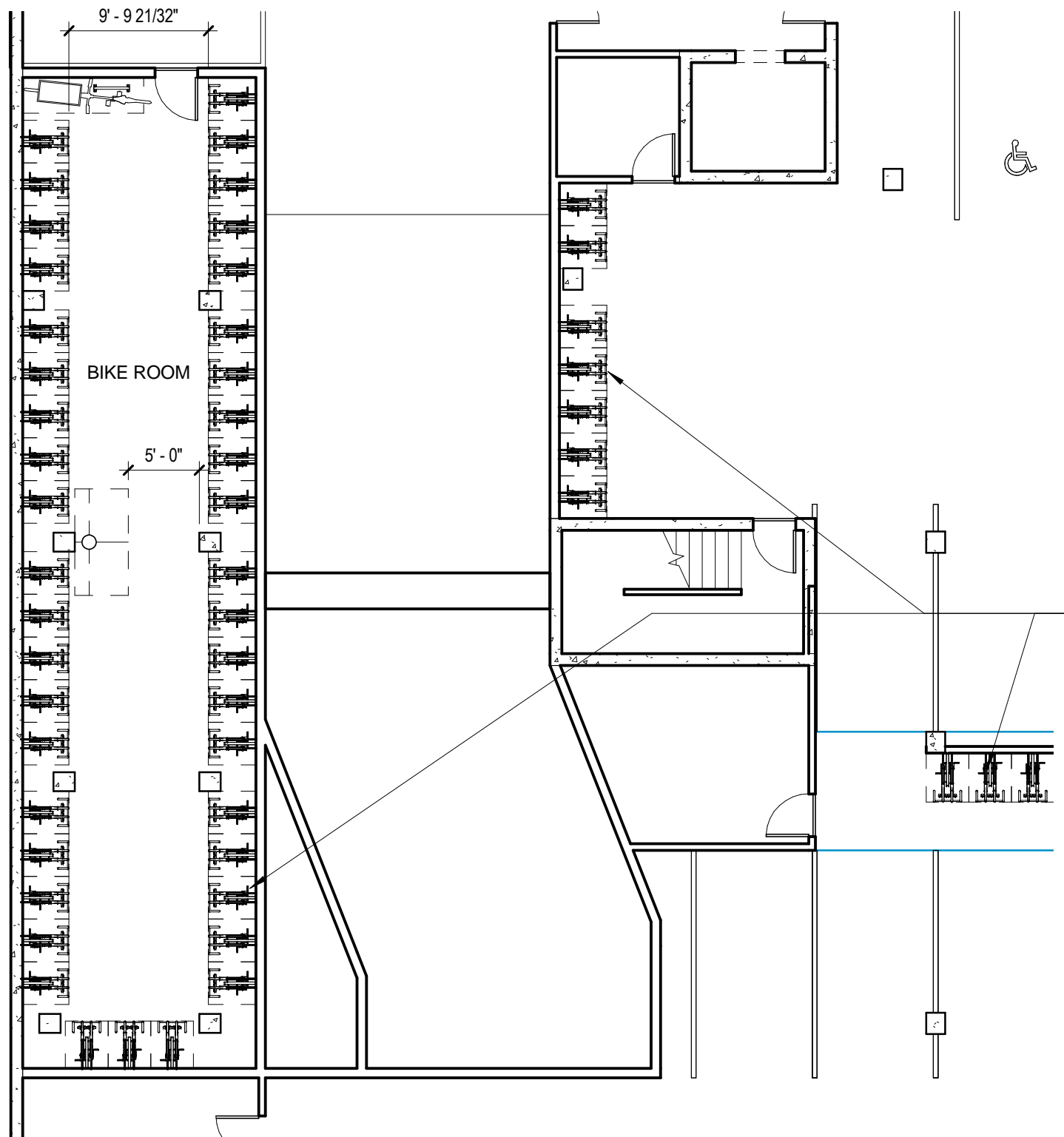
IN-UNIT BICYCLE PARKING











WALL MOUNT RACKS

BASEMENT BIKE ROOM 1

## BICYCLE PARKING

PER CITY OF PORTLAND PLANNING AND ZONING CODE -  
CHAPTER 33.266, TABLE 266-6

**LONG TERM BIKE PARKING REQUIREMENT:**  
RESIDENTIAL: 1.5 SPACES PER UNIT ∴ 149 UNITS X  
1.5 = 224 SPACES REQUIRED  
(NOTE: 1.5 SPACES PER UNIT IN CENTRAL CITY PLAN  
DISTRICT)

**SHORT TERM BIKE PARKING REQUIREMENT:**  
RESIDENTIAL : 1 SPACE PER 20 UNITS ∴ 149 UNITS/  
20 = 8 SPACES REQUIRED

BIKE PARKING - LONG TERM - BASEMENT	
TYPE	BIKE COUNT
LONG TERM - CARGO FLOOR MOUNT	1
LONG TERM - WALL MOUNT	178
	179

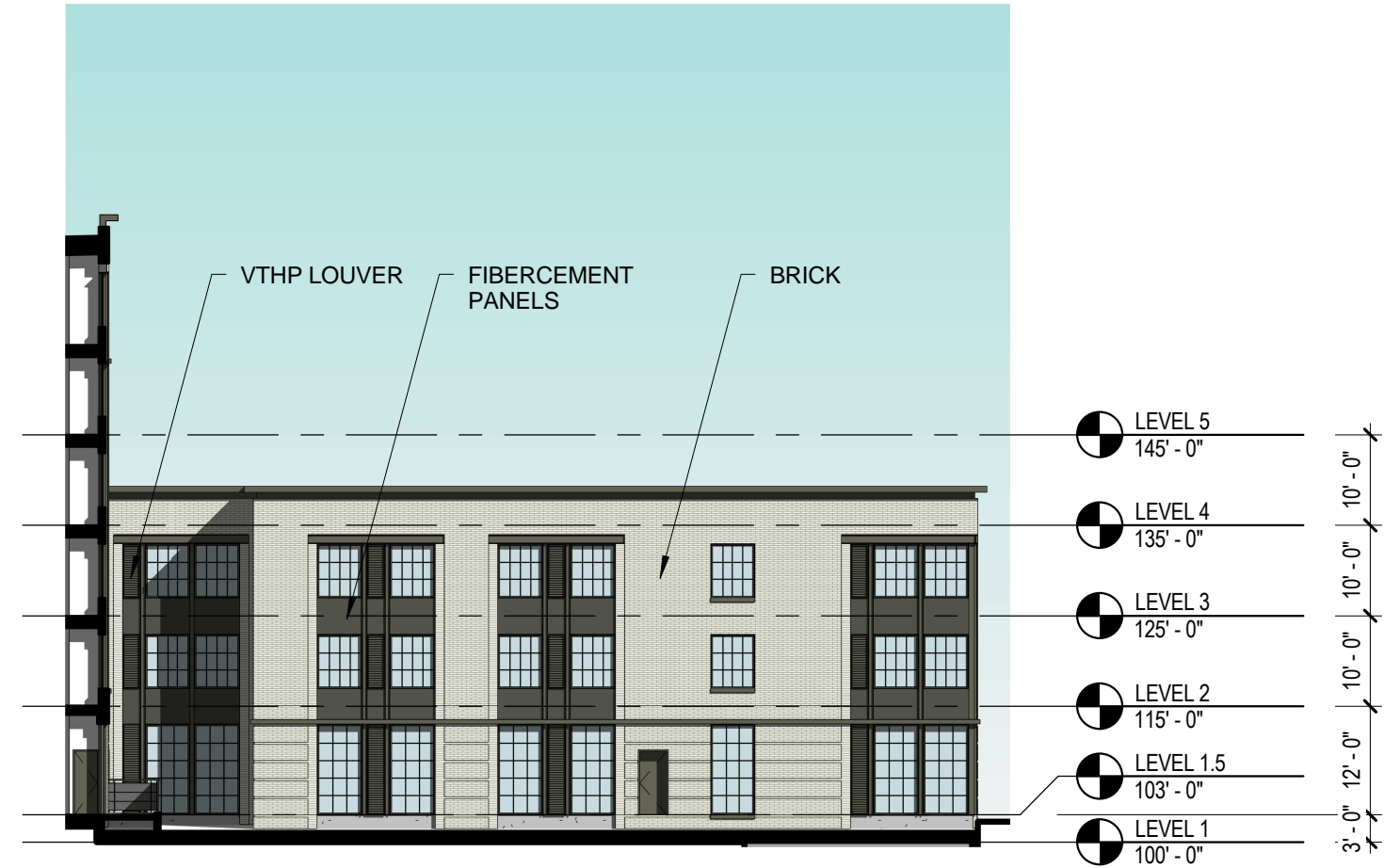
BIKE PARKING - LONG TERM - UNITS	
TYPE	BIKE COUNT
LONG TERM - SINGLE	76
	76

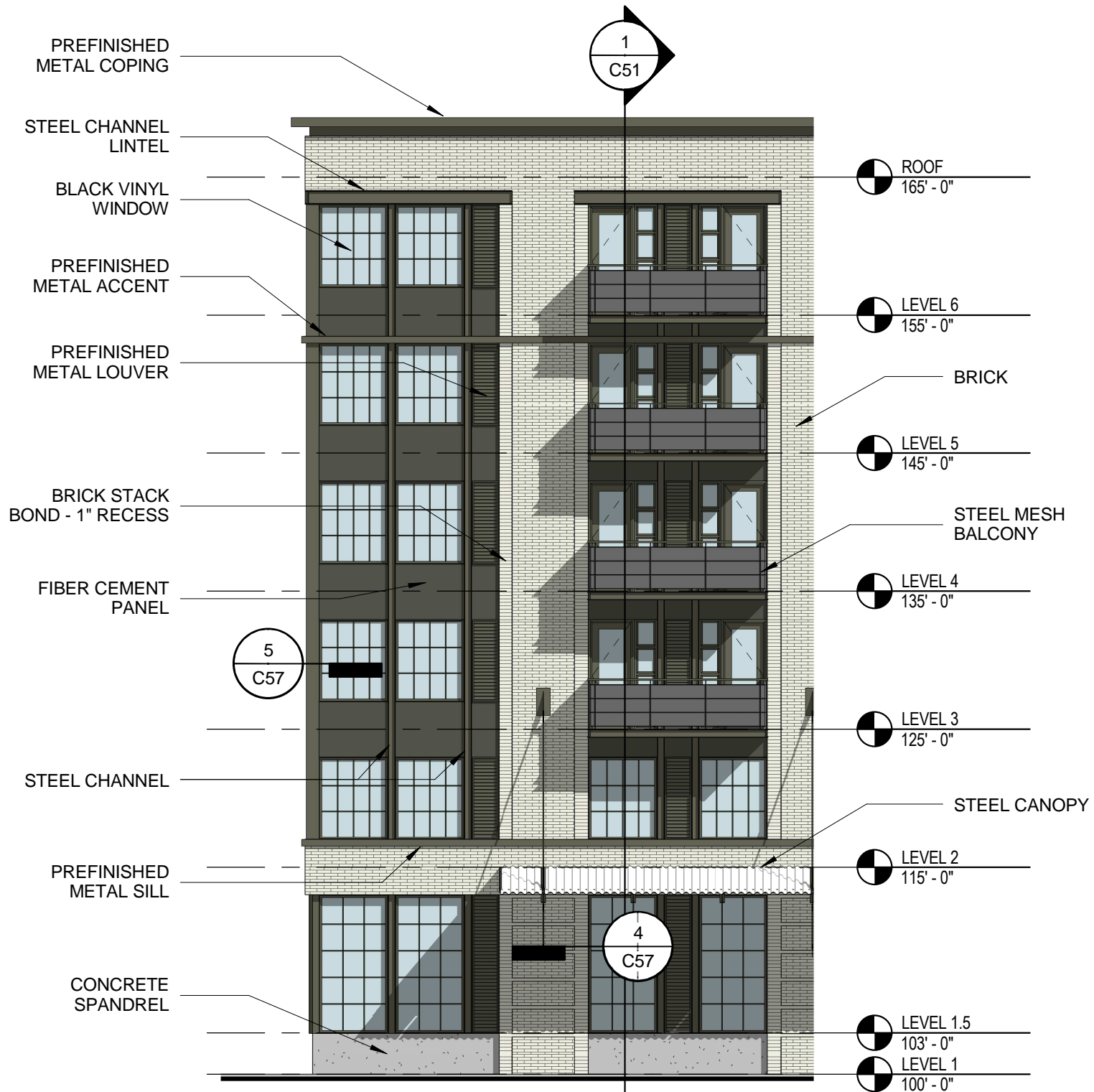
TOTAL LONG TERM BIKE PARKING 255

BIKE PARKING - SHORT TERM - COURTYARD	
TYPE	BIKE COUNT
SHORT TERM - U-RACK	8
	8

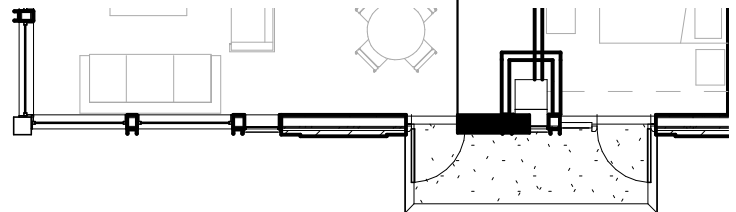
SEE LANDSCAPE PLANS FOR  
SHORT TERM PARKING



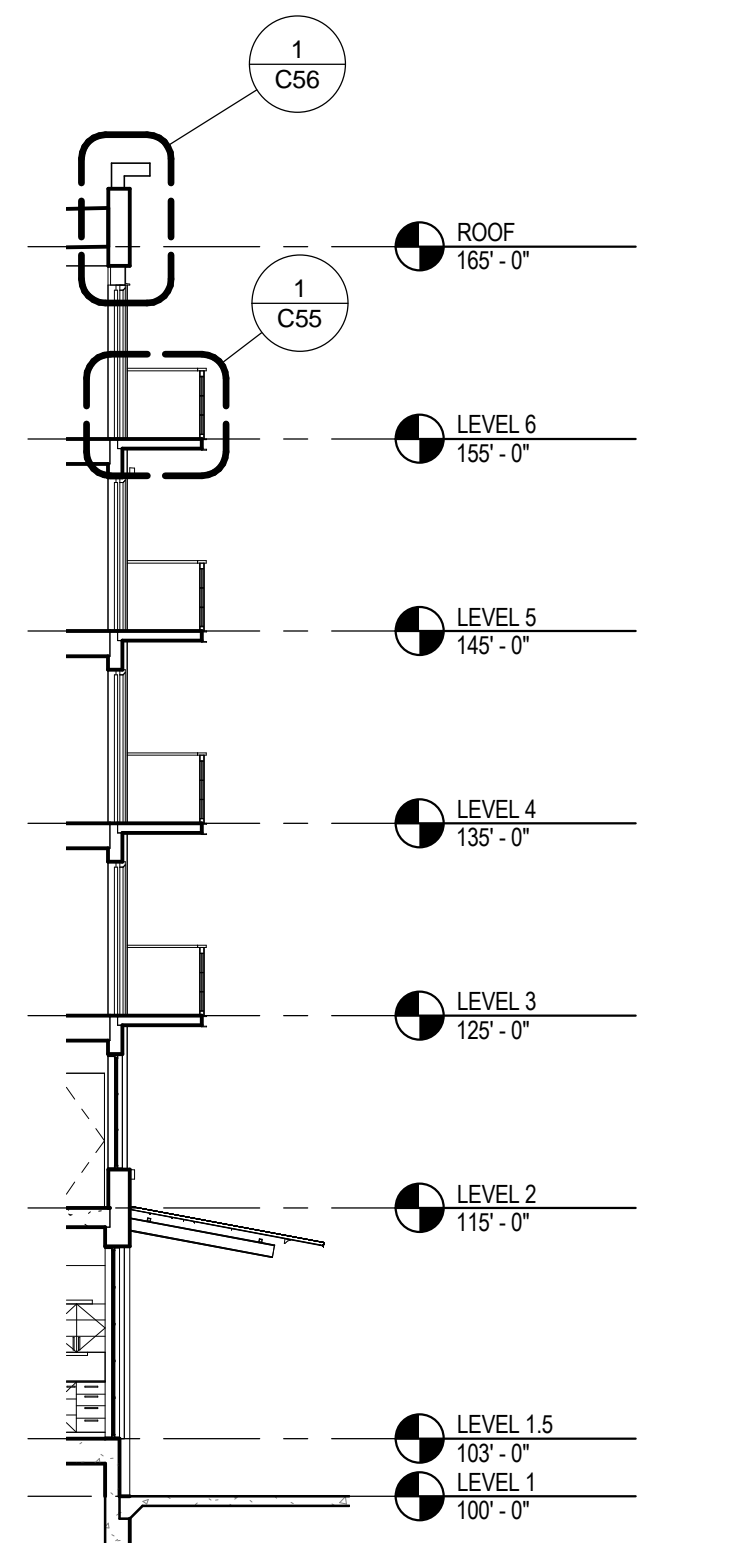




ENLARGED ELEVATION ②



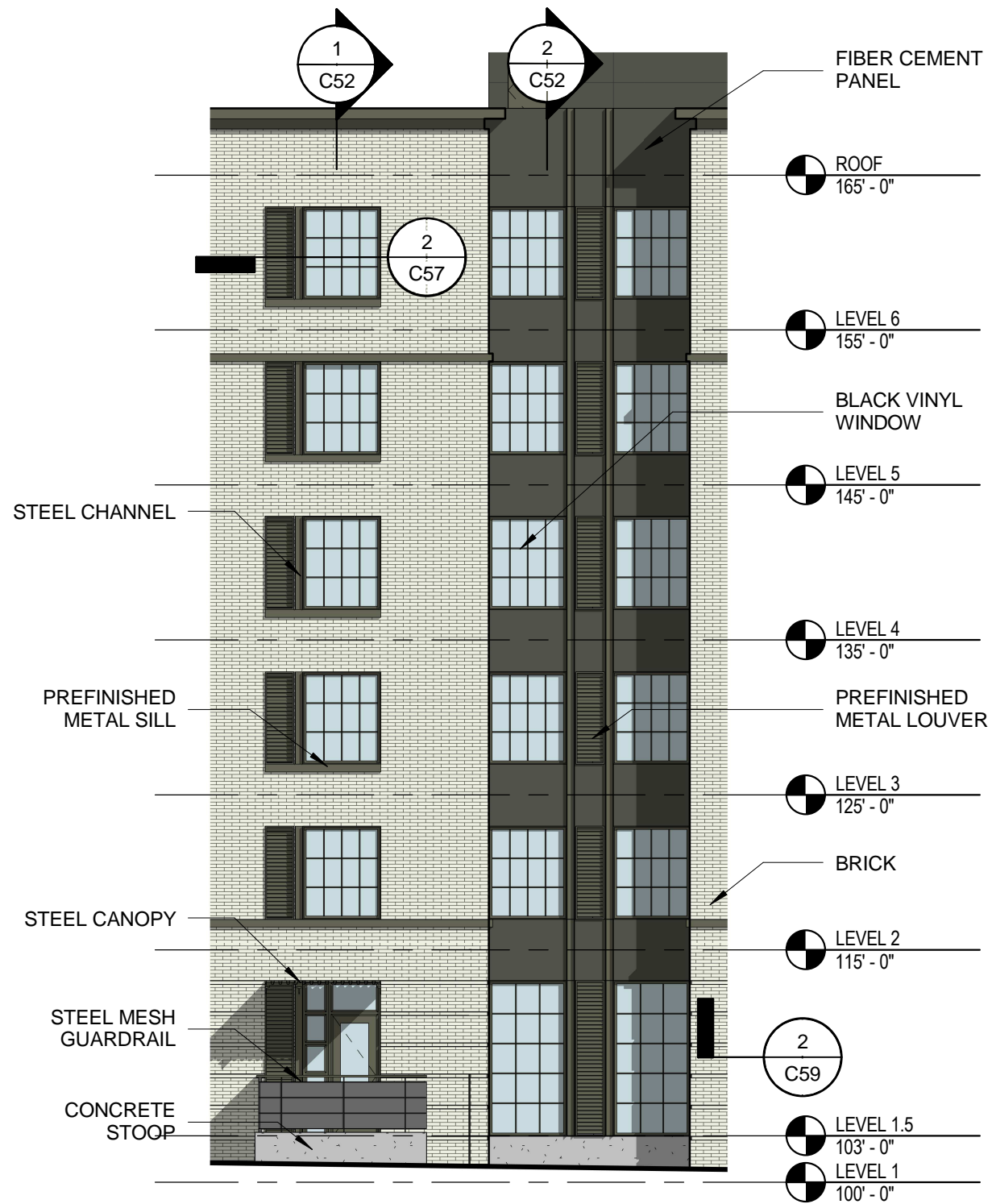
WALL PLAN ③



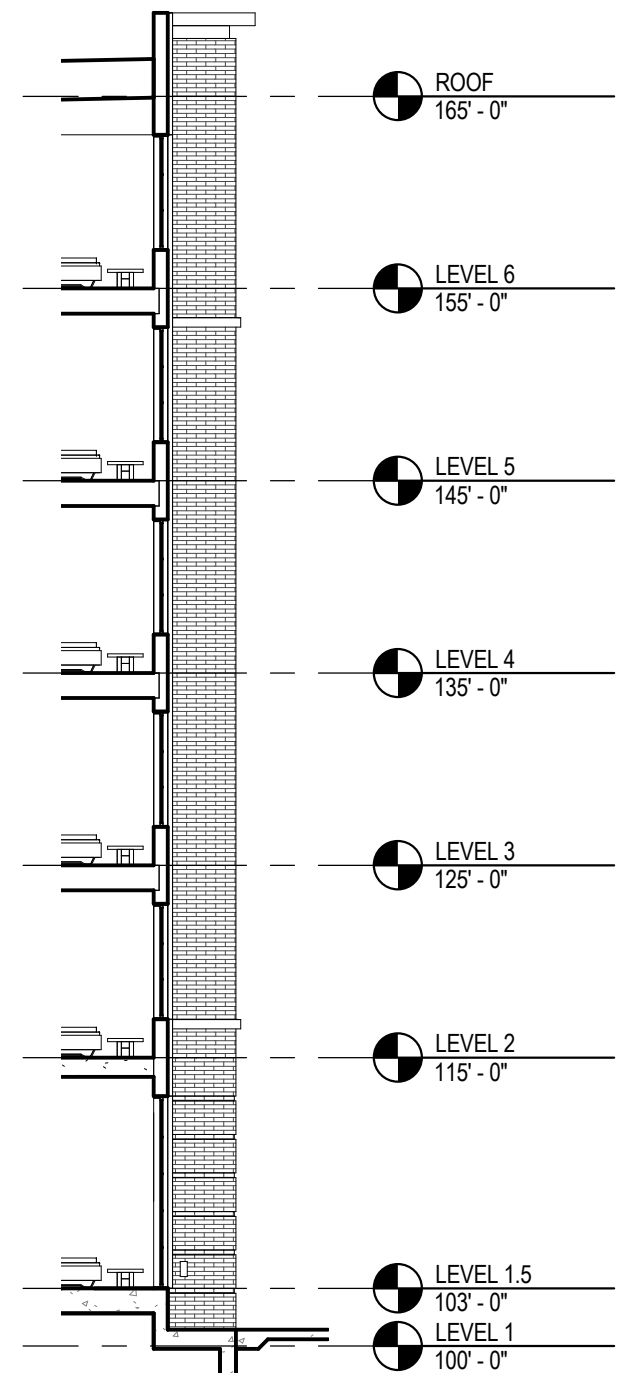
WALL SECTION ①



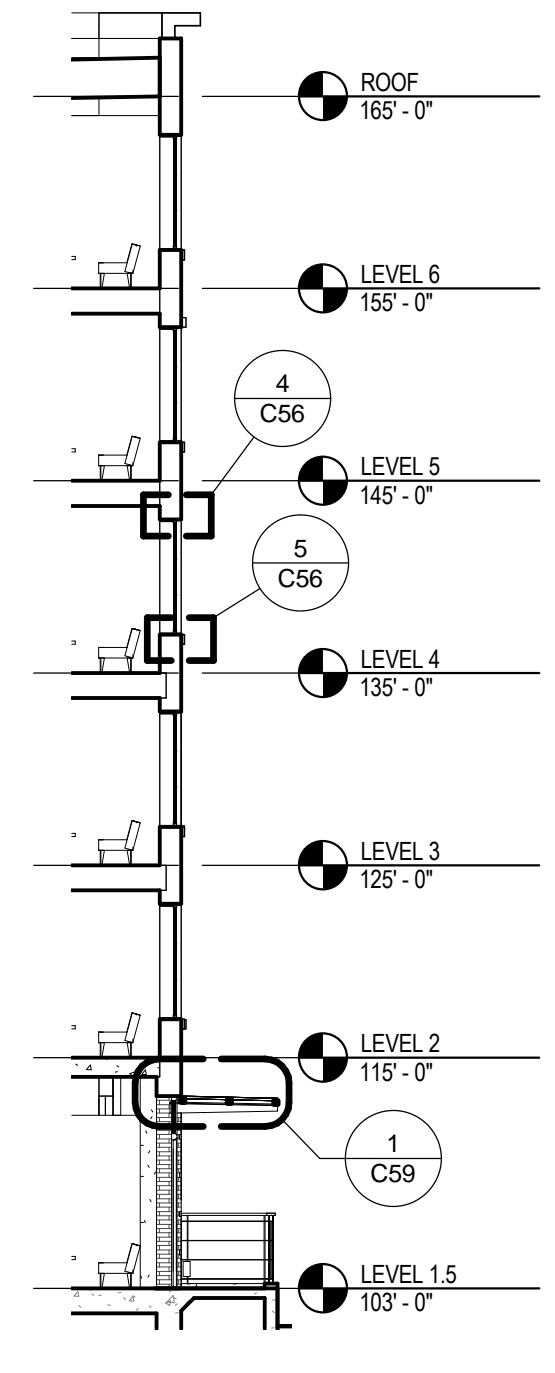
CORNER WINDOW BAY C51



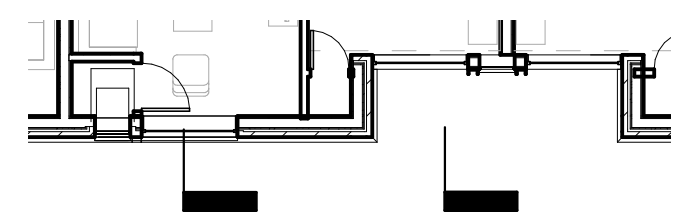
ENLARGED ELEVATION 3



WALL SECTION AT SPLIT 2



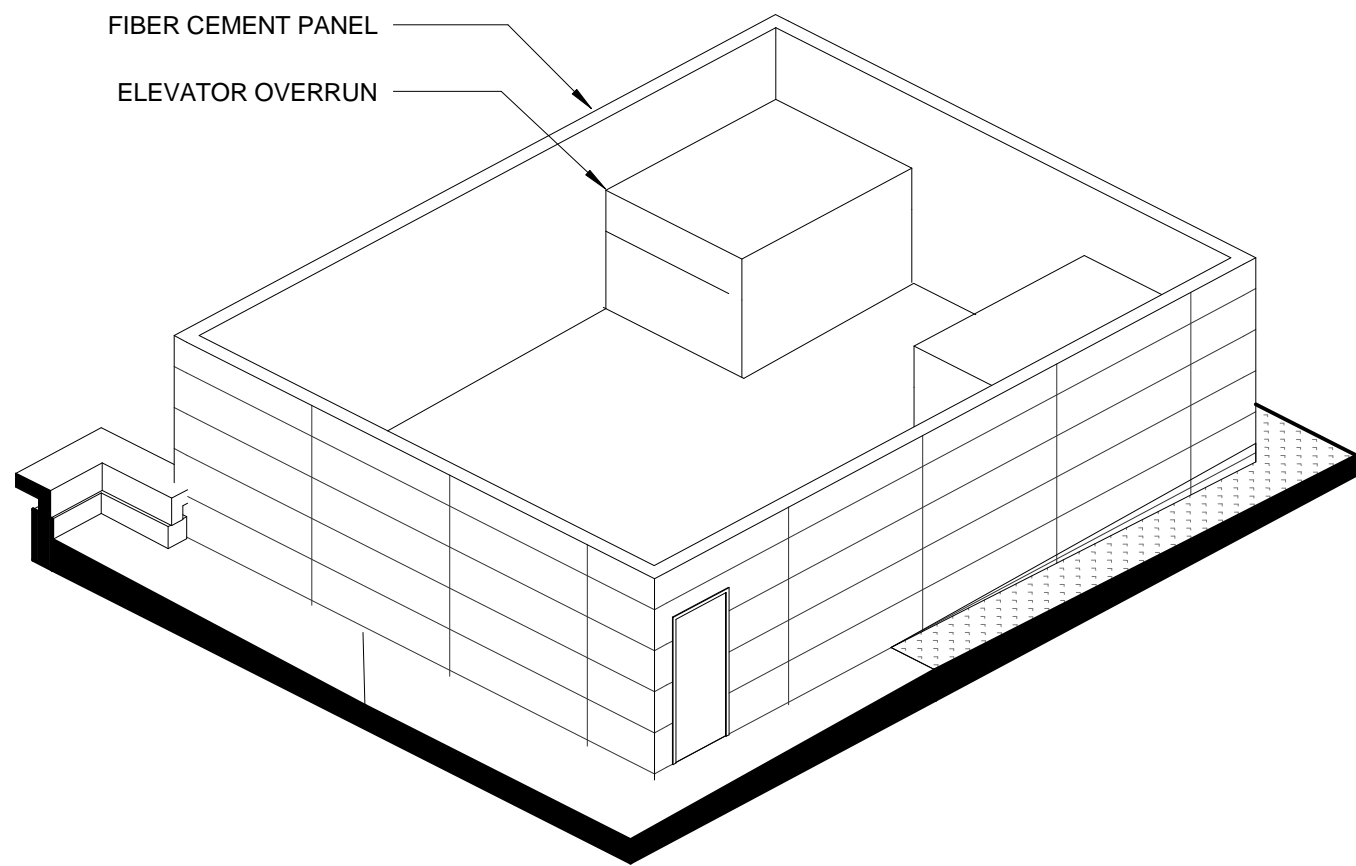
WALL SECTION AT BRICK 1



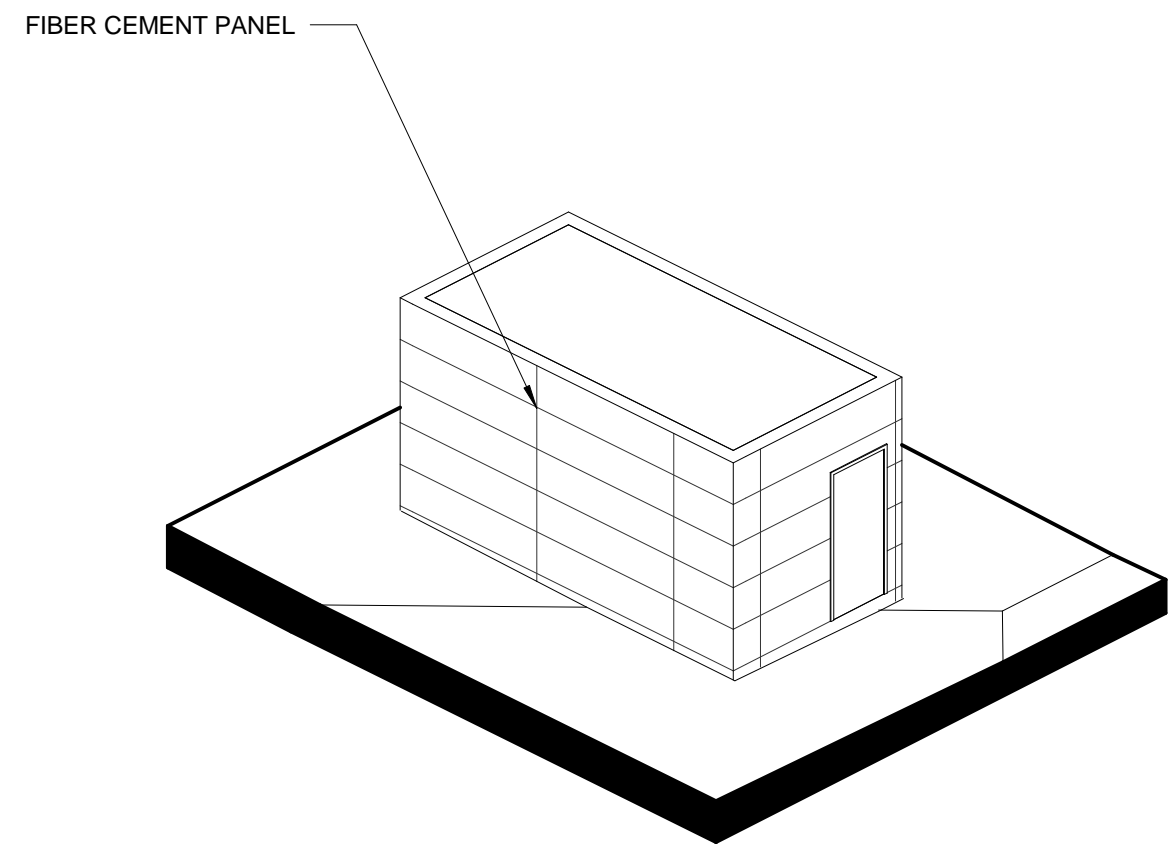
WALL PLAN 4



NORTH BUILDING SPLIT C52

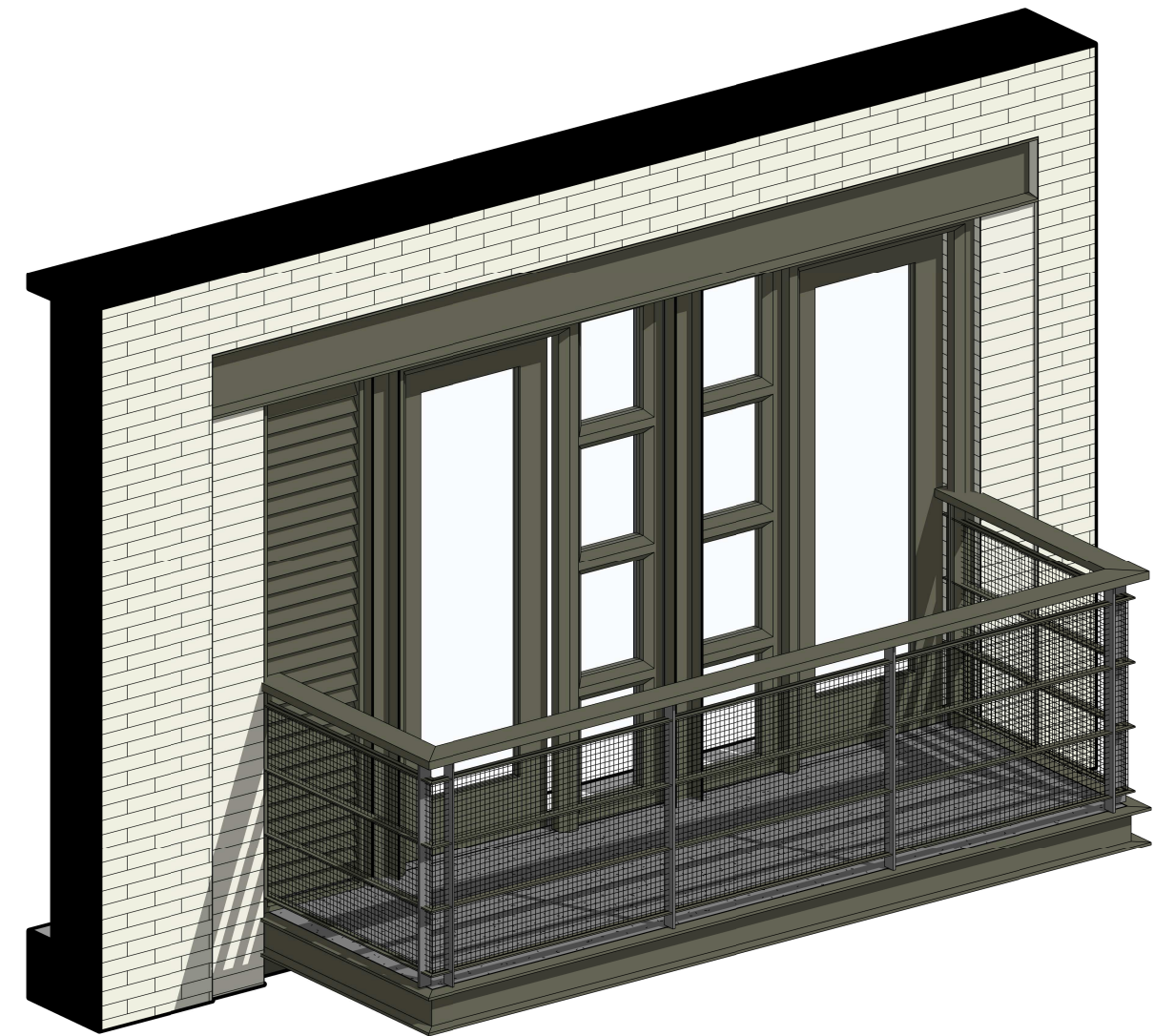
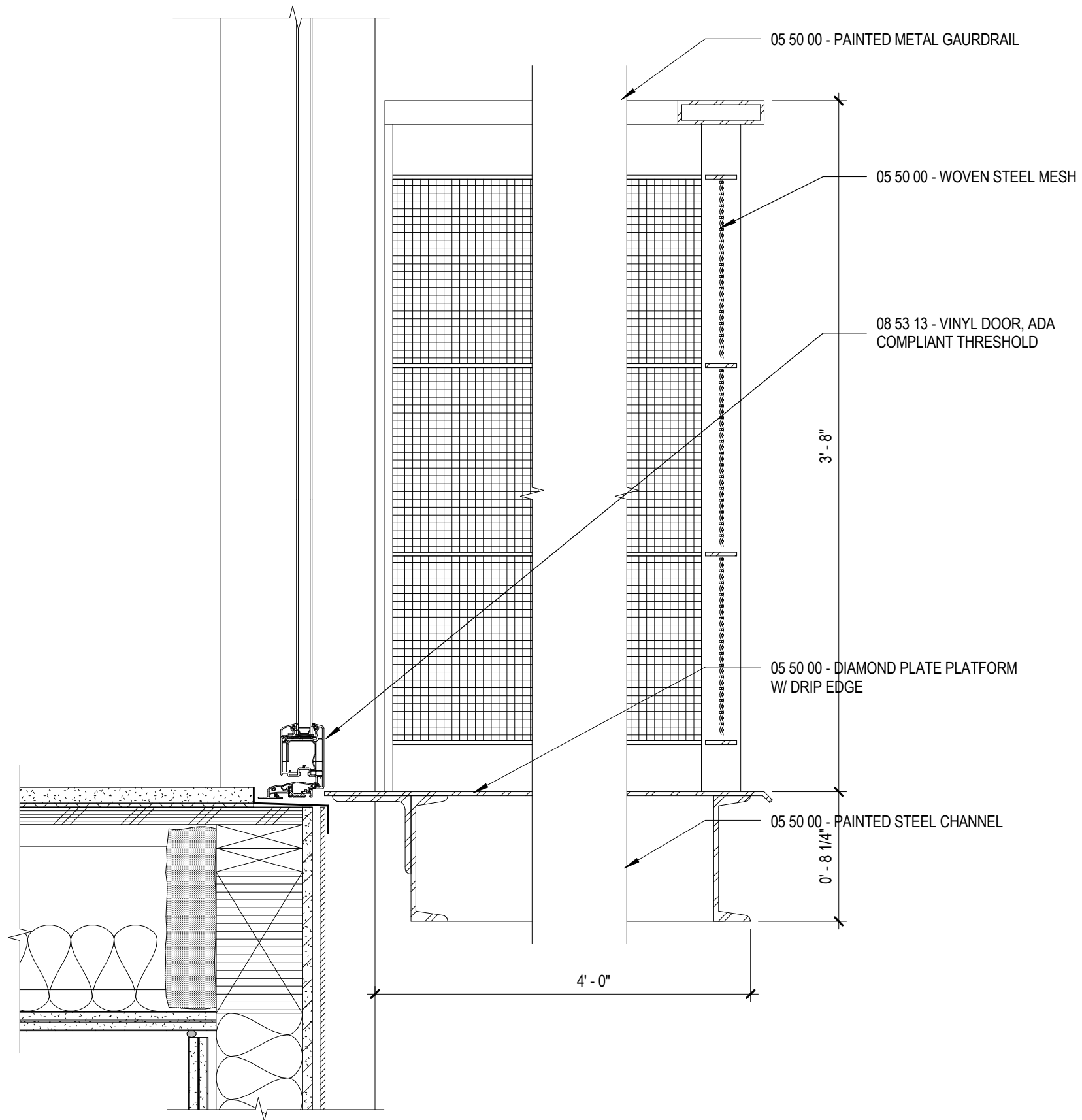


ELEVATOR OVERRUN PERSPECTIVE ②

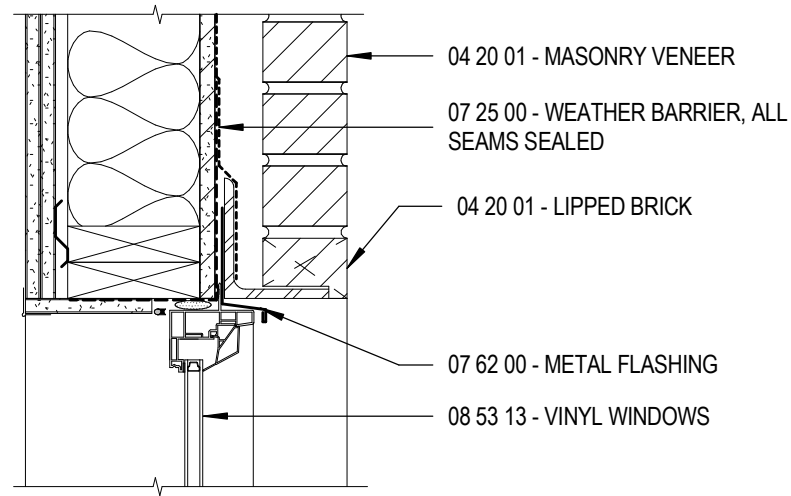


STAIR TOWER PERSPECTIVE ①

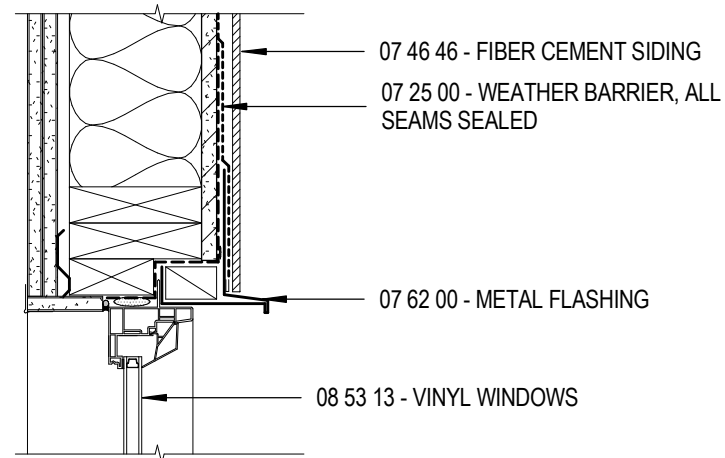




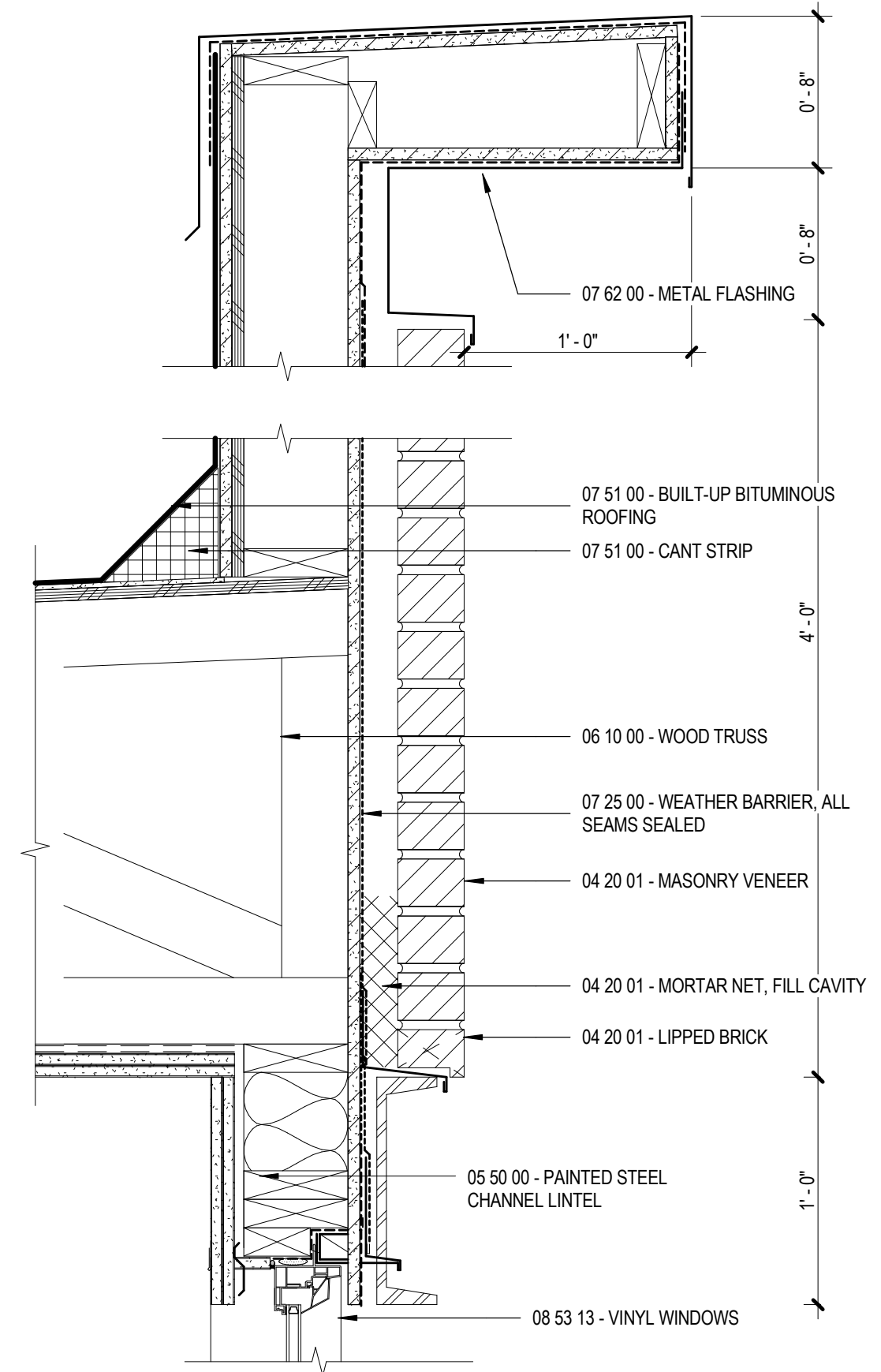
BALCONY SECTION 1  
 1 1/2" = 1'-0"



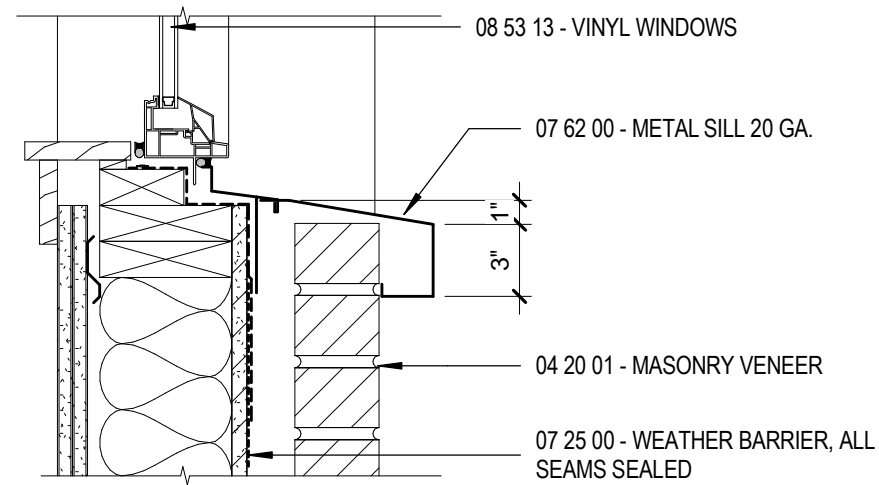
WINDOW HEAD AT BRICK ④  
1 1/2" = 1'-0"



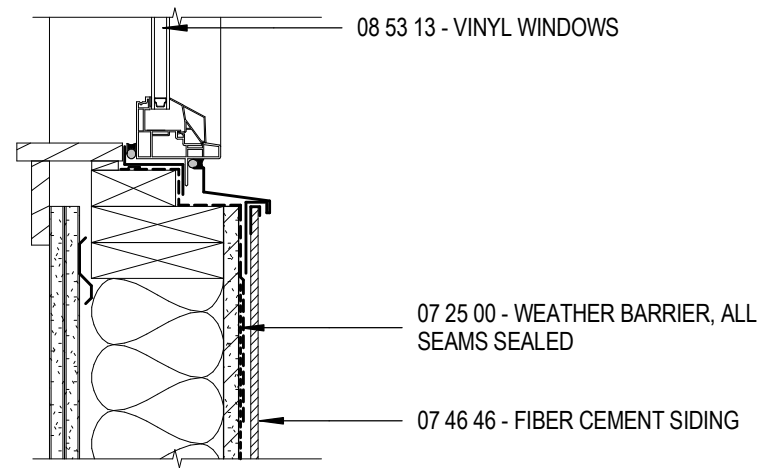
WINDOW HEAD ②  
1 1/2" = 1'-0"



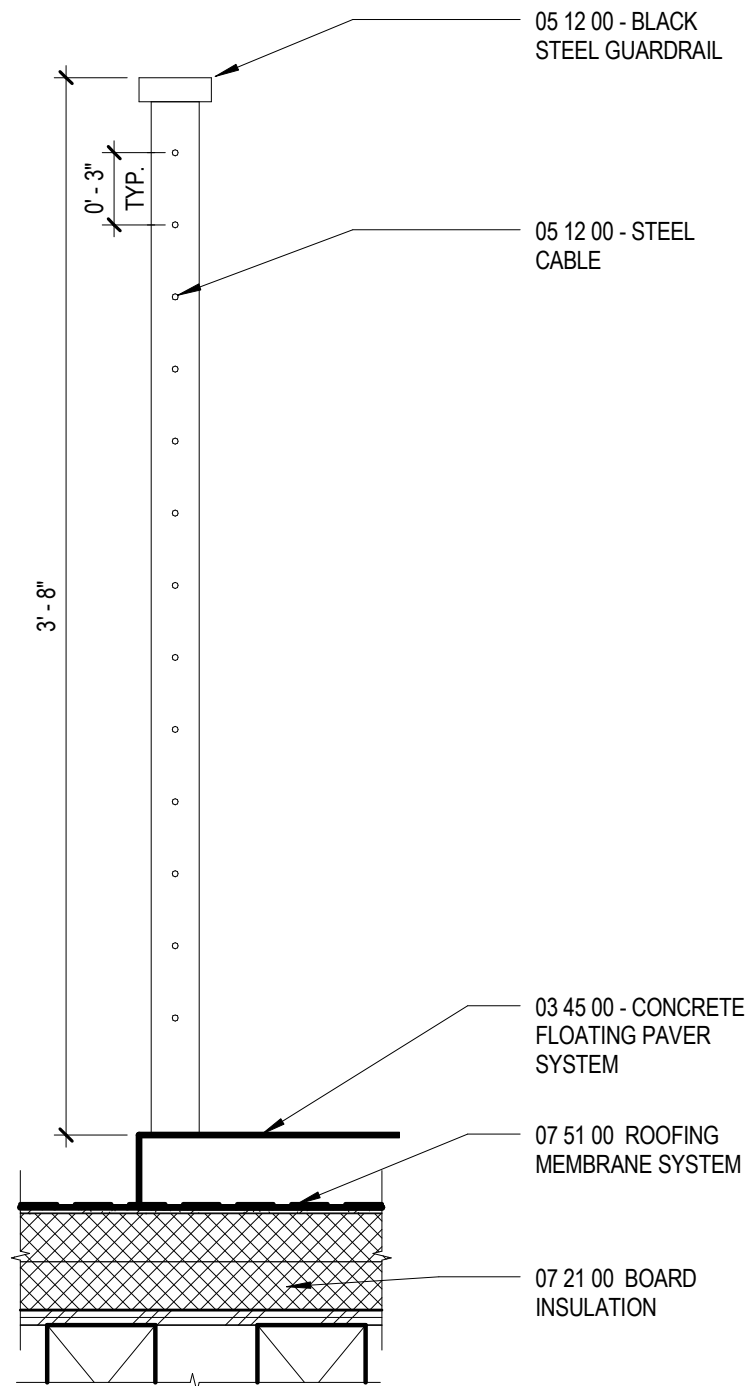
PARAPET ①  
1 1/2" = 1'-0"



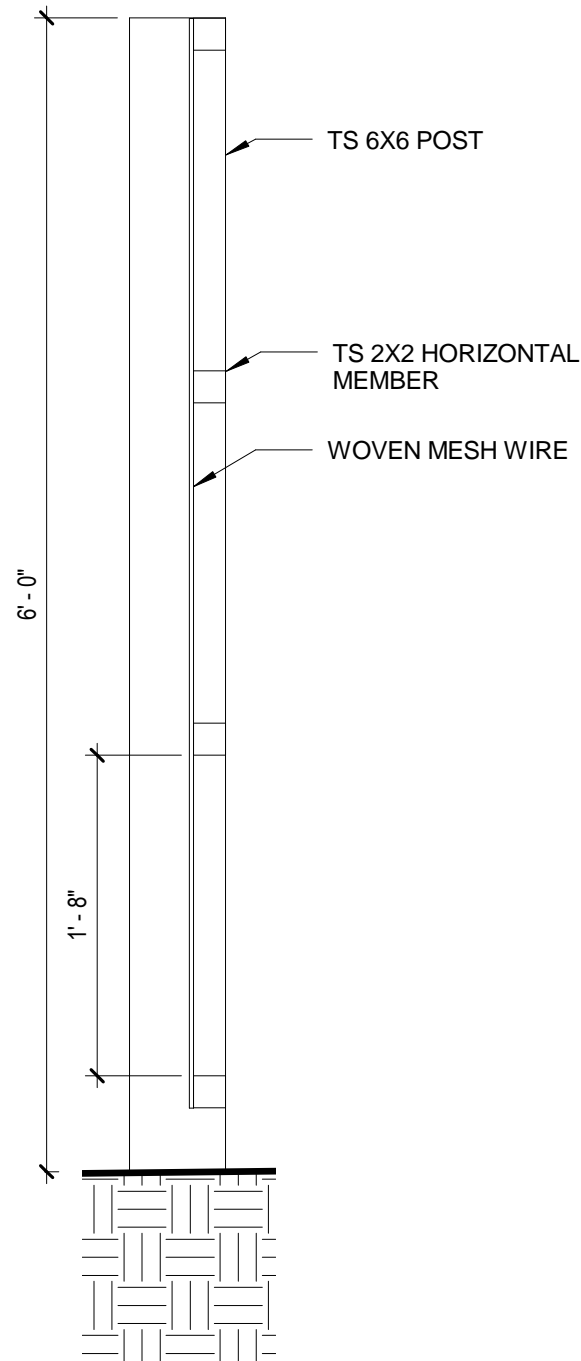
WINDOW SILL AT BRICK ⑤  
1 1/2" = 1'-0"



WINDOW SILL ③  
1 1/2" = 1'-0"

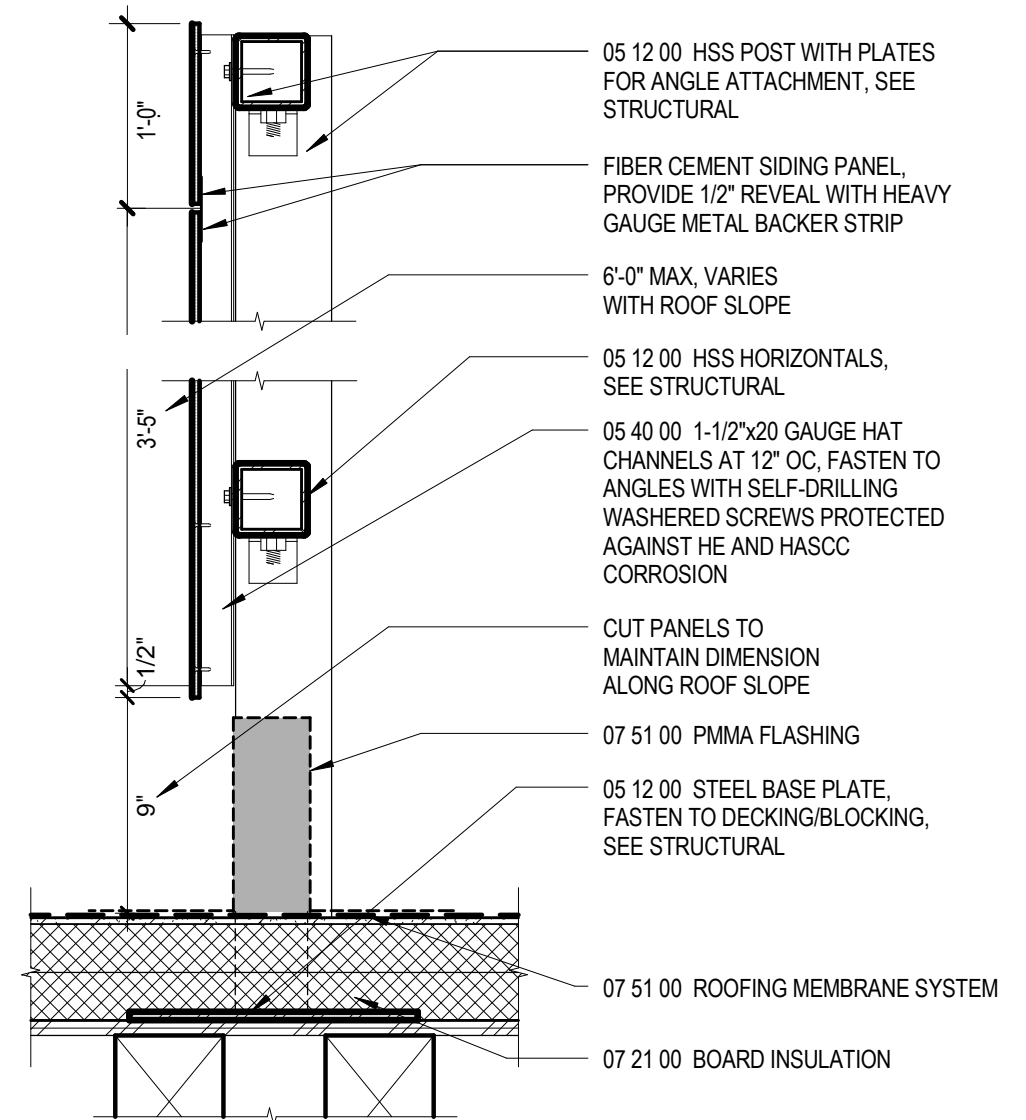


**RAILINGS AT ROOF DECK** 3  
1 1/2" = 1'-0"

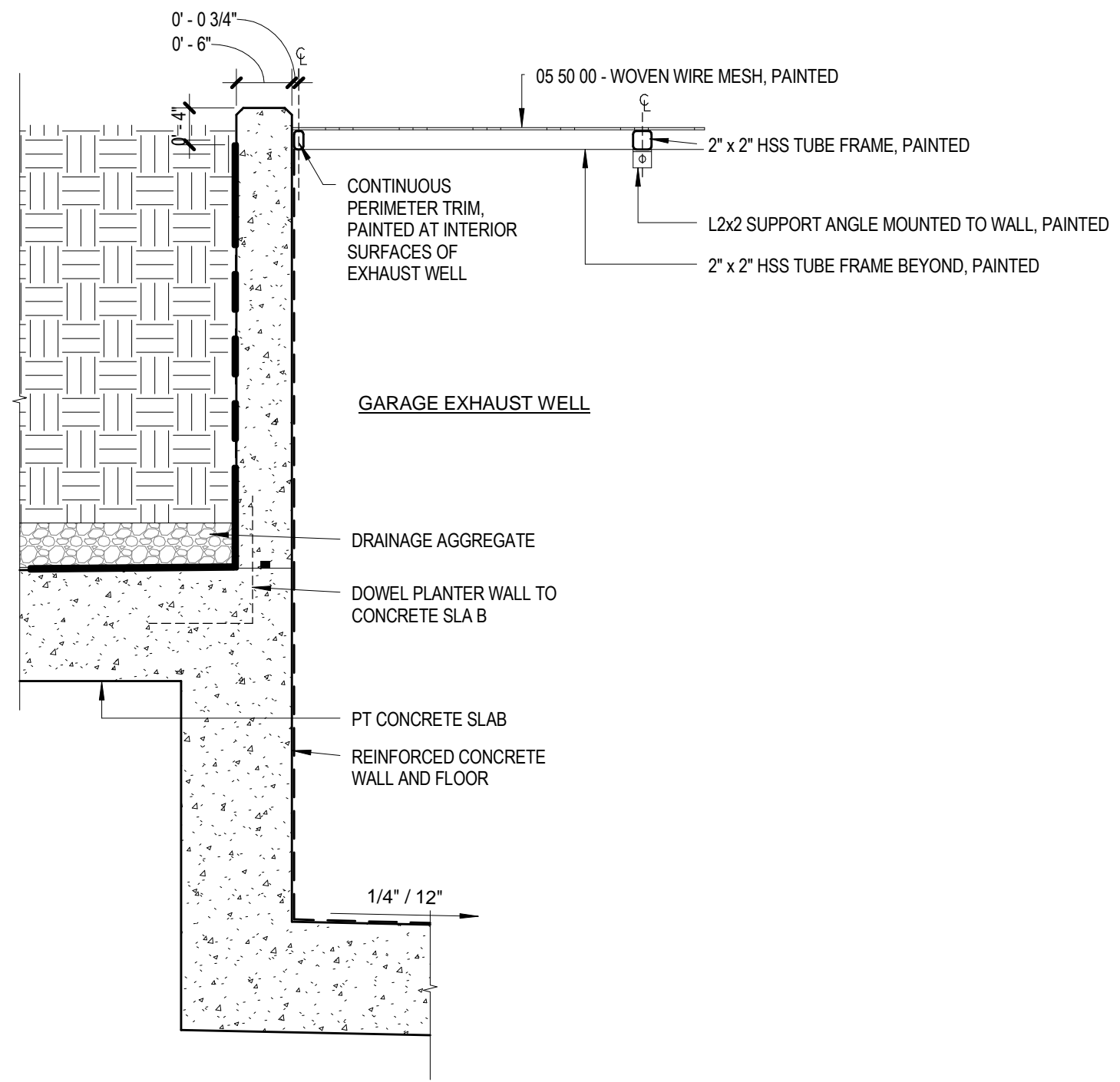


**TRANSFORMER SCREEN** 2  
1" = 1'-0"

- NOTES:
- 1.) SCREW ATTACH TO HAT CHANNELS 1-1/2" FROM PANEL EDGE AND AT 12" OC ACROSS FACE (ALIGN FASTENERS HORIZONTALLY)
  - 2.) PAINT BACK OF PANELS PRIOR TO INSTALLATION, PAINT FRONT, FASTENERS AND EDGE TRIM FOLLOWING INSTALLATION
  - 3.) PROVIDE 26 GA SHEET METAL 'J' TRIM AT TOP OF ALL PANELS AND 20 GA 'U' CLOSURE AROUND END POST AND CAPTURE PANEL, PAINT TO MATCH PANELS



**ROOF SCREEN** 1  
1 1/2" = 1'-0"



GARAGE VENTING SECTION 1  
 3/4" = 1'-0"