



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**

FROM CONCEPT TO CONSTRUCTION

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Fax: (503) 823-5630  
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Date: July 15, 2014

From: Chris Caruso, Land Use Services  
503-823-5747 / [Chris.Caruso@portlandoregon.gov](mailto:Chris.Caruso@portlandoregon.gov)

## **REQUEST FOR RESPONSE**

**Case File: LU 14-162150 DZM GW – Hyatt House**  
**Pre App: PC # 14-149573**

This notice is being sent to all service and technical review agencies for their input on the proposal described below. Neighborhood Associations also receive this advance notice via e-mail. Your timely response, as indicated below, will help the assigned planner determine if applicable approval criteria can be met, or what conditions might be required.

- The approval criteria are listed below. Although we are interested in any comments you may have, please consider your response in terms of these criteria.
- All agencies are encouraged to use this as an opportunity to inform the applicant of any additional requirements that may be imposed by your agency during building permit phase – particularly those that would significantly affect the proposal.
- Please note in your response which requirements are specifically associated with the applicable land use review approval criteria, and which requirements you have the independent authority to impose at time of building permits.
- Neighborhood Associations are encouraged to submit comments by the deadline noted below. To comment, you may write to Chris Caruso at 1900 SW Fourth Ave., Suite 4500, Portland, OR 97201. You can also e-mail your comments to me at my e-mail address identified above. After the staff report is published, please submit your comments to the Design Commission at 1900 SW Fourth Ave., Suite 4500, Portland, OR 97201 and fax them to 503-823-5630.

The Bureau of Development Services recommendation will be published ten days before the scheduled hearing date. You will also receive a Notice of Public Hearing for this proposal, with hearing date and time confirmed, mailed twenty days prior to the hearing.

- **Please send your response to BDS no later than: August 14, 2014 – 30 days after the date of this RFR** (If I receive comments after this date, I may not have enough time to include them in the staff report).
- **We must publish our report by: August 25, 2014**
- **A public hearing before the Design Commission is tentatively scheduled for Thursday September 4, 2014 at 1:30 PM**

**Applicant:** Jon Mcauley, SERA Architects (503-445-7372)  
338 NW 5th Ave./Portland, OR 97209

**Representative:** T.B. Dame, Riverplace Hotel Investors LLC  
1308 NW Everett St./Portland, OR 97209

**Site Address:** 2098 SW River Parkway

**Legal Description:** LOT 2 TL 200, PARTITION PLAT 1994-55  
**Tax Account No.:** R649742180, R649742180  
**State ID No.:** 1S1E03CD 00200, 1S1E03CD 00200  
**Quarter Section:** 3229  
**Neighborhood:** Portland Downtown, contact Jennifer Geske at 503-750-9843.  
**Business District:** None  
**District Coalition:** Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.  
**Plan District:** Central City - Downtown  
**Zoning:** CXdg – Central Commercial with Design and River General overlays  
**Case Type:** DZM GW – Design Review with Modifications and concurrent Greenway Review  
**Procedure:** Type III, with a public hearing before the Design Commission. The decision of the Design Commission can be appealed to City Council.

**Proposal:**

Type III Design Review and concurrent Greenway Review for a new 6-story Hyatt House hotel with ground floor retail, 203 hotel rooms, stacked valet below-grade parking for 48 cars, and ecoroofs. Modifications to ground floor window standard along east facade and to locate the 2 required 'A'-sized loading stalls in the drive aisle of the valet parking area.

A Special Circumstances application has been made to the Bureau of Environmental Services regarding the proposed stormwater system. The previously required Adjustment to loading space numbers is no longer applicable. Instead, a Modification to locate the two required A-sized loading spaces within the valet parking drive aisle is being requested by the applicant.

**Approval Criteria:**

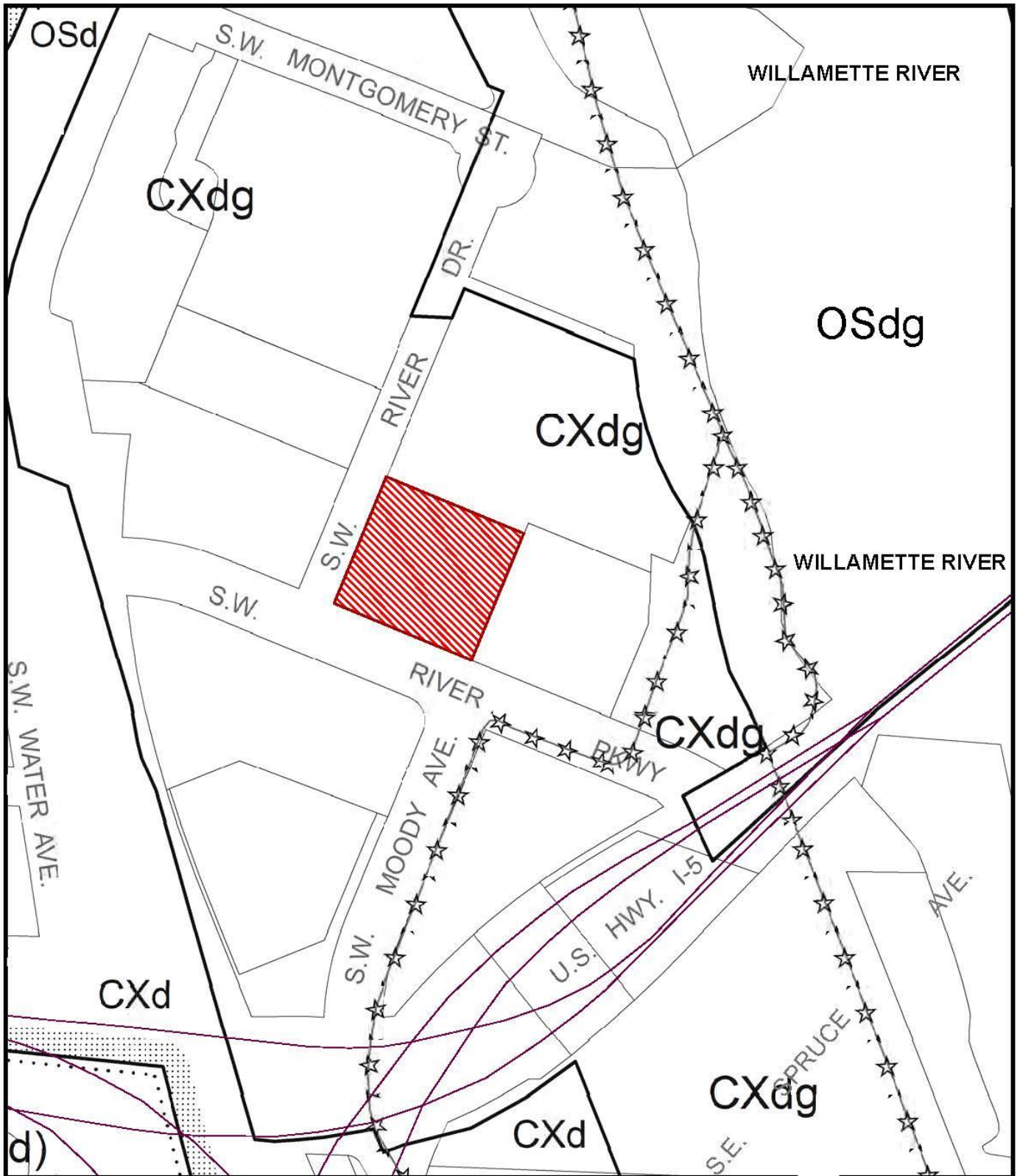
In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The applicable approval criteria are:

- 33.825 Design Review
- 33.825.040 Modifications Approved thru Design Review
- 33.440.350 Greenway Approval Criteria
- Central City Fundamental Design Guidelines

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was filed, provided that the application is complete at the time of filing or complete within 180 days. This application was filed on May 28, 2014 and determined to be complete on July 11, 2014.

It is important to submit all evidence to the Design Commission. City Council will not accept additional evidence if there is an appeal of this proposal.

Enclosures: Zoning Map, Site Plan, Elevations



# ZONING



Site



Recreational Trail



This site lies within the:  
CENTRAL CITY PLAN DISTRICT

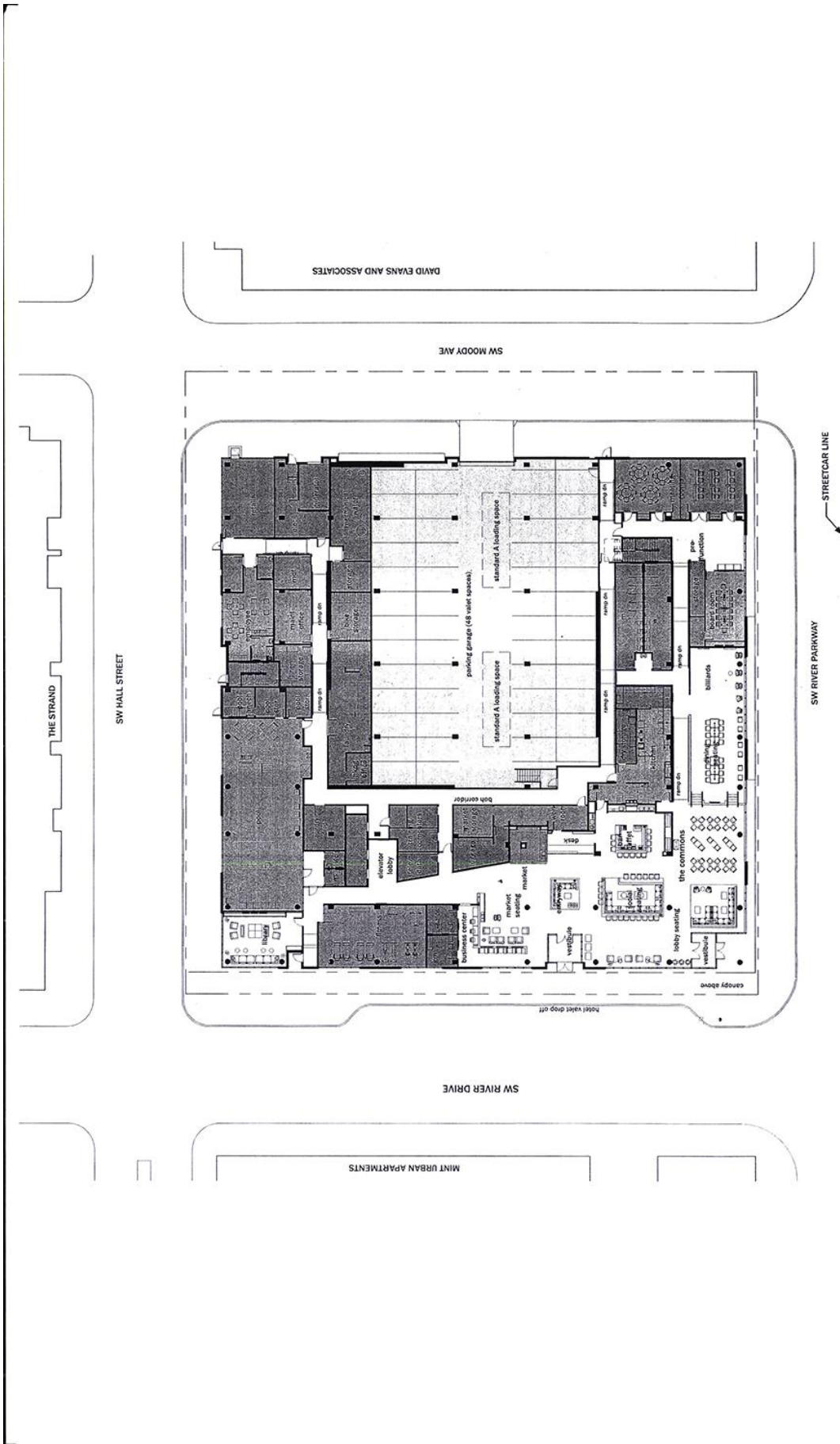
File No. LU 14-162150 DZM, GW, AD

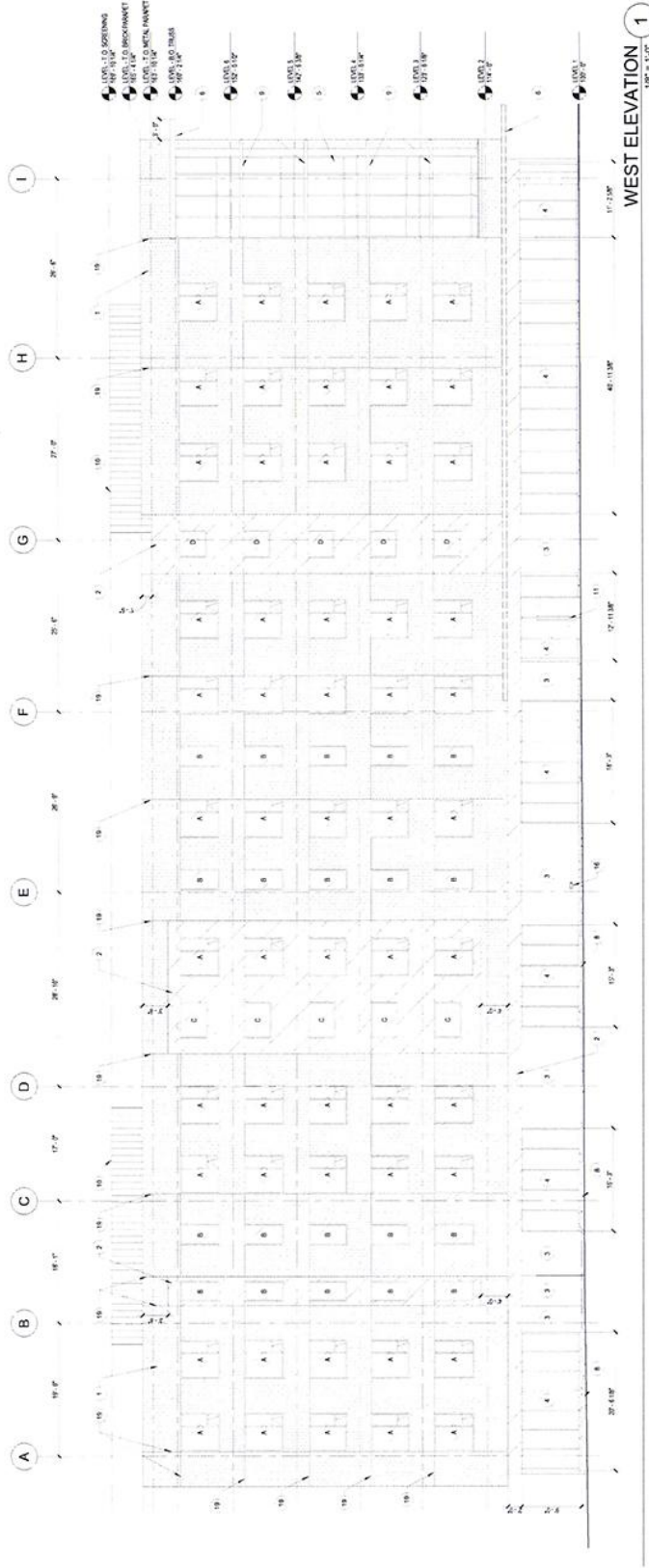
1/4 Section 3229

Scale 1 inch = 200 feet

State\_Id 1S1E03CD 200

Exhibit B (May 29, 2014)





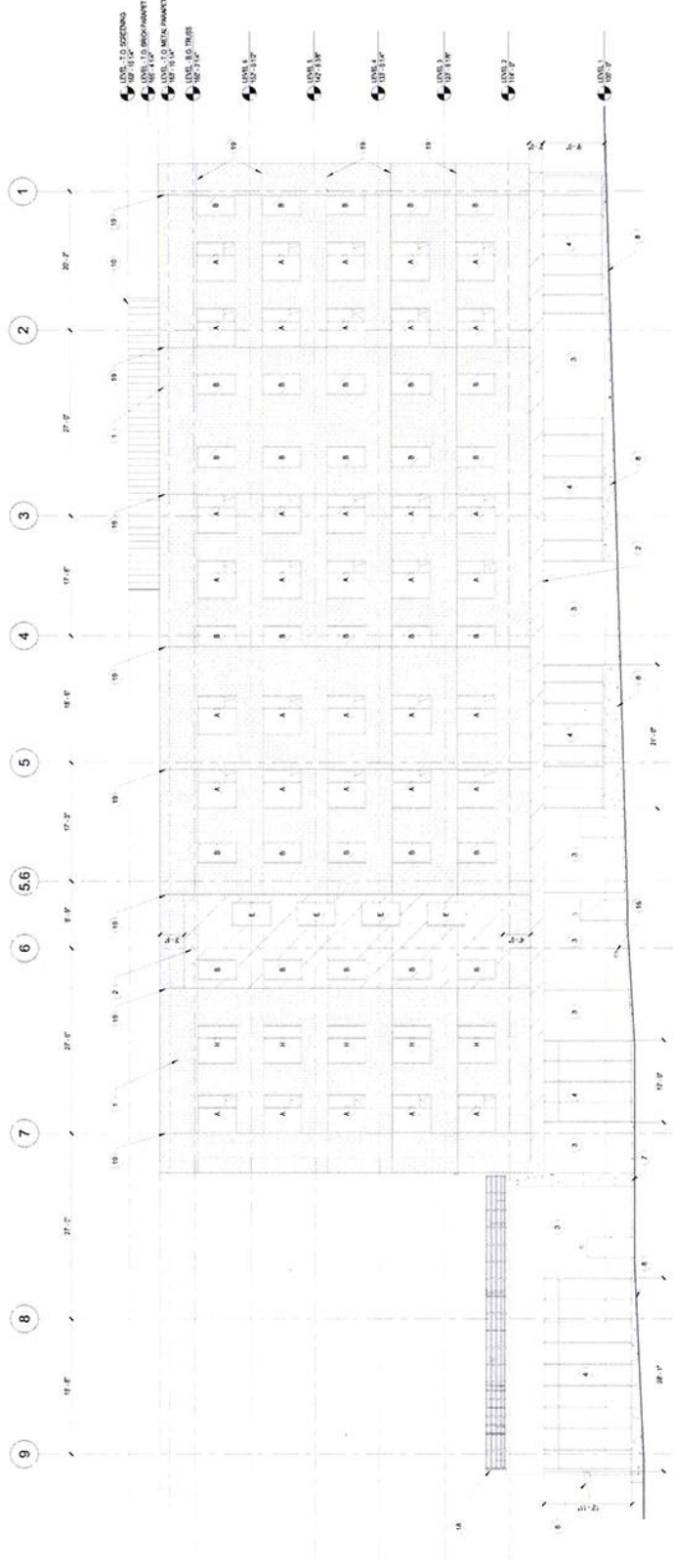
**WEST ELEVATION**  
1  
1/8" = 1'-0"

**KEYNOTES - EXTERIOR ELEVATIONS**

- 1 NORMAL SET BRICK, COURSED BRICK
- 2 FLAT LUMBER PANEL SYSTEM
- 3 STAINLESS STEEL PANEL SYSTEM
- 4 STAINLESS STEEL PANEL SYSTEM
- 5 STAINLESS STEEL PANEL SYSTEM
- 6 STAINLESS STEEL PANEL SYSTEM
- 7 STAINLESS STEEL PANEL SYSTEM
- 8 STAINLESS STEEL PANEL SYSTEM
- 9 STAINLESS STEEL PANEL SYSTEM
- 10 STAINLESS STEEL PANEL SYSTEM
- 11 STAINLESS STEEL PANEL SYSTEM
- 12 STAINLESS STEEL PANEL SYSTEM
- 13 STAINLESS STEEL PANEL SYSTEM
- 14 STAINLESS STEEL PANEL SYSTEM
- 15 STAINLESS STEEL PANEL SYSTEM
- 16 STAINLESS STEEL PANEL SYSTEM
- 17 STAINLESS STEEL PANEL SYSTEM
- 18 STAINLESS STEEL PANEL SYSTEM

**LEGEND - EXTERIOR ELEVATIONS**

- FLAT LUMBER PANEL
- GLASS
- BRICK
- CONCRETE



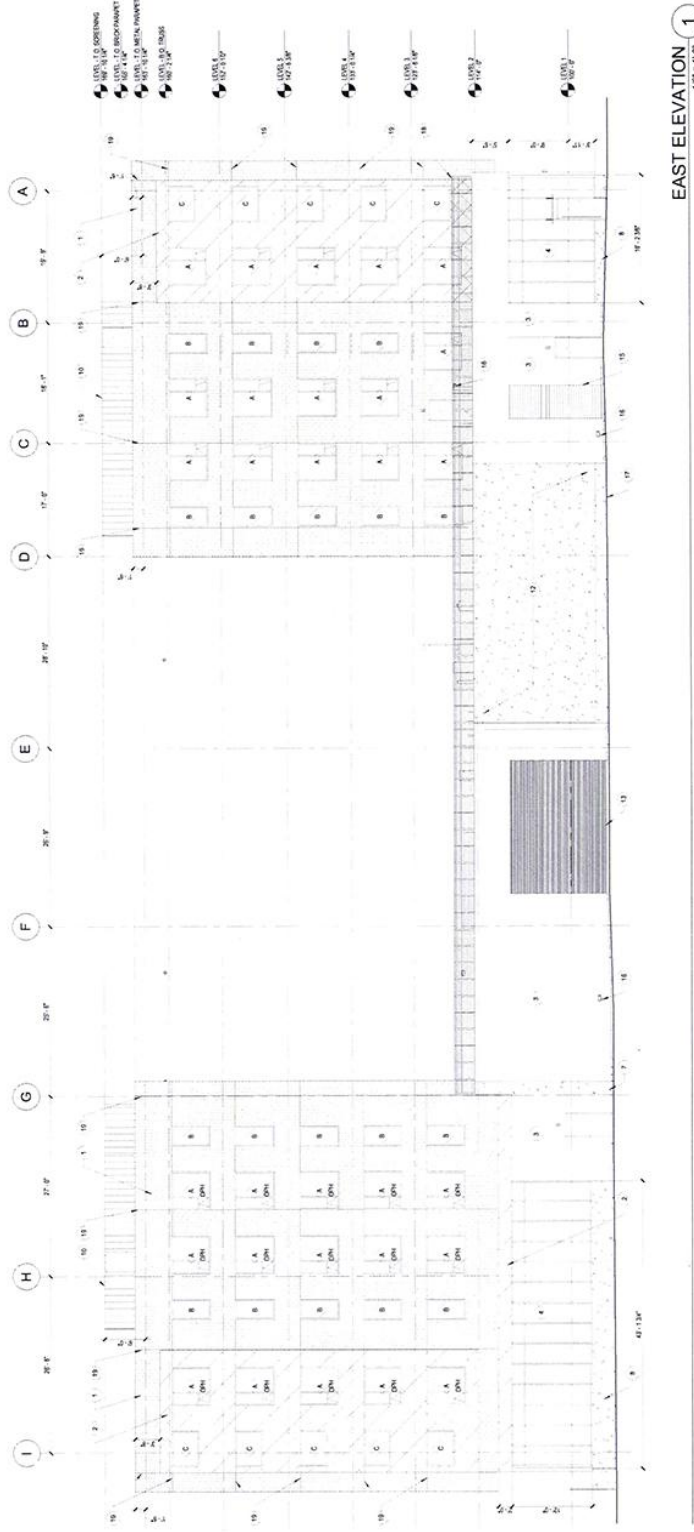
**NORTH ELEVATION 2**  
1/8" = 1'-0"

**KEYNOTES - EXTERIOR ELEVATIONS**

- 1 NORMAL WEIGHT BRICK, 8" x 8" x 16"
- 2 GLASS FIBER REINFORCED CONCRETE (FRP)
- 3 CONCRETE
- 4 WINDOW WALL GLAZING SYSTEM
- 5 PAINTED ALUMINUM FRAME INSULATED PANEL CURTAIN WALL SYSTEM
- 6 CONCRETE CORE
- 7 SUBGRADE
- 8 1/2" POLYURETHANE INSULATION
- 9 1/2" POLYURETHANE INSULATION
- 10 ALUMINUM ENTRY DOOR, AUTOMATIC SLAM SHUT
- 11 ALUMINUM ENTRY DOOR, AUTOMATIC SLAM SHUT
- 12 ALUMINUM ENTRY DOOR, AUTOMATIC SLAM SHUT
- 13 ALUMINUM ENTRY DOOR, AUTOMATIC SLAM SHUT
- 14 ALUMINUM ENTRY DOOR, AUTOMATIC SLAM SHUT
- 15 ALUMINUM ENTRY DOOR, AUTOMATIC SLAM SHUT
- 16 ALUMINUM ENTRY DOOR, AUTOMATIC SLAM SHUT
- 17 ALUMINUM ENTRY DOOR, AUTOMATIC SLAM SHUT
- 18 ALUMINUM ENTRY DOOR, AUTOMATIC SLAM SHUT
- 19 CONCRETE JOINT

**LEGEND - EXTERIOR ELEVATIONS**

- FLAT LOCKER PANEL
- FRP
- BRICK
- CONCRETE



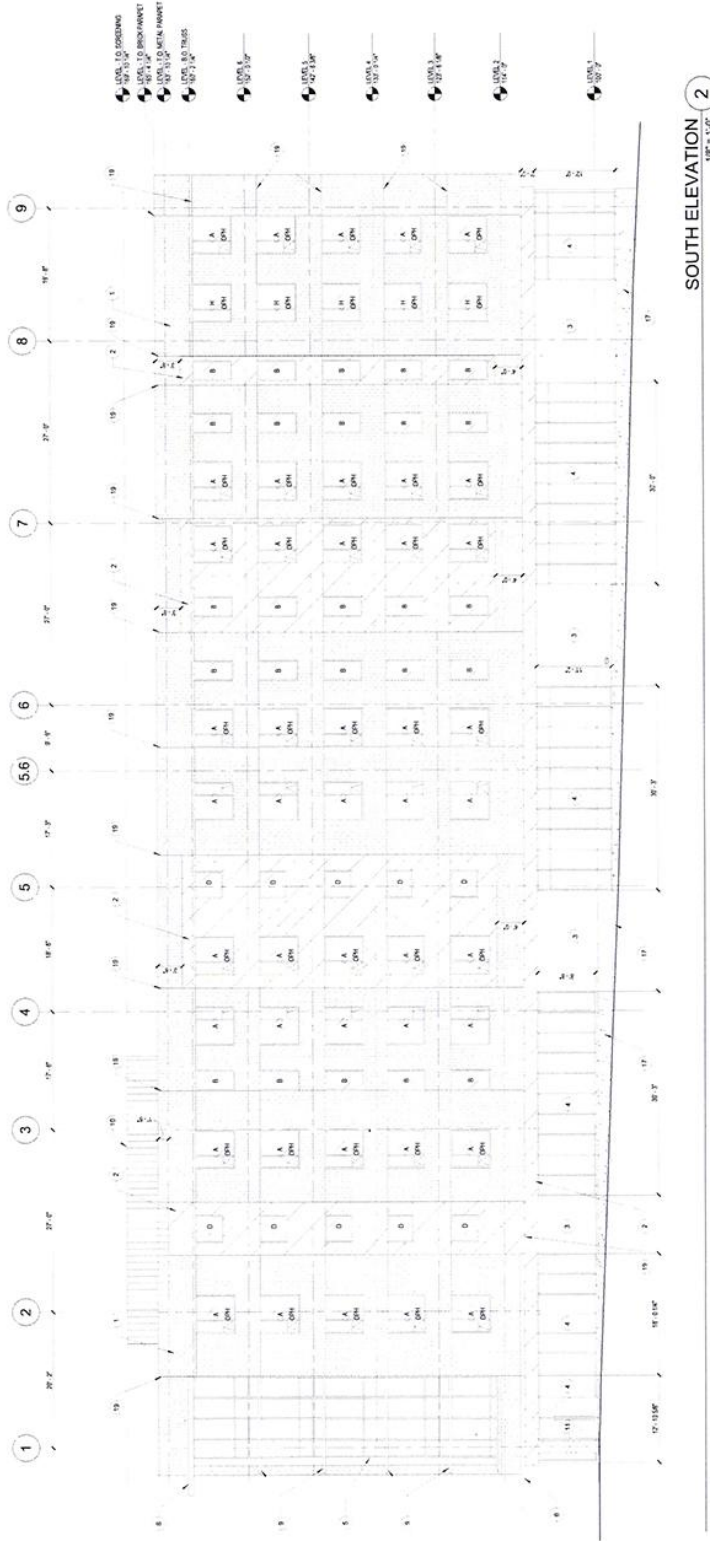
EAST ELEVATION 1  
1/8" = 1'-0"

KEYNOTES - EXTERIOR ELEVATIONS

- 1 NOMINAL 1/2" BRICK, 13 BURNING BRICK
- 2 1/2" SPAN RAINSCREEN
- 3 1/2" AIR SPACE
- 4 1/2" POLYURETHANE INSULATION (PIR)
- 5 STAFFPORT GLAZING SYSTEM
- 6 1/2" POLYURETHANE INSULATION (PIR)
- 7 PAINTED ALUMINUM FINISH AND METAL FINISH CANOPY
- 8 1/2" POLYURETHANE INSULATION (PIR)
- 9 CONCRETE CURB
- 10 SPANNING GRANITE TILE MECHANICAL SYSTEMING
- 11 ALUMINUM CURB
- 12 ALUMINUM CURB
- 13 ALUMINUM CURB
- 14 ALUMINUM CURB
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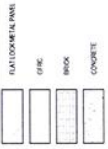
LEGEND - EXTERIOR ELEVATIONS

- FLAT LOOK METAL PANEL
- GLAZING
- BRICK
- CONCRETE



**SOUTH ELEVATION** 2  
 1/8" = 1'-0"

**LEGEND - EXTERIOR ELEVATIONS**



**KEYNOTES - EXTERIOR ELEVATIONS**

- 1 WINDOW FRAME AND GLASS
- 2 FLAT LOUVERED PANEL SYSTEM
- 3 WINDOW FRAME AND GLASS SYSTEM
- 4 WINDOW FRAME AND GLASS SYSTEM
- 5 WINDOW FRAME AND GLASS SYSTEM
- 6 WINDOW FRAME AND GLASS SYSTEM
- 7 WINDOW FRAME AND GLASS SYSTEM
- 8 WINDOW FRAME AND GLASS SYSTEM
- 9 WINDOW FRAME AND GLASS SYSTEM
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