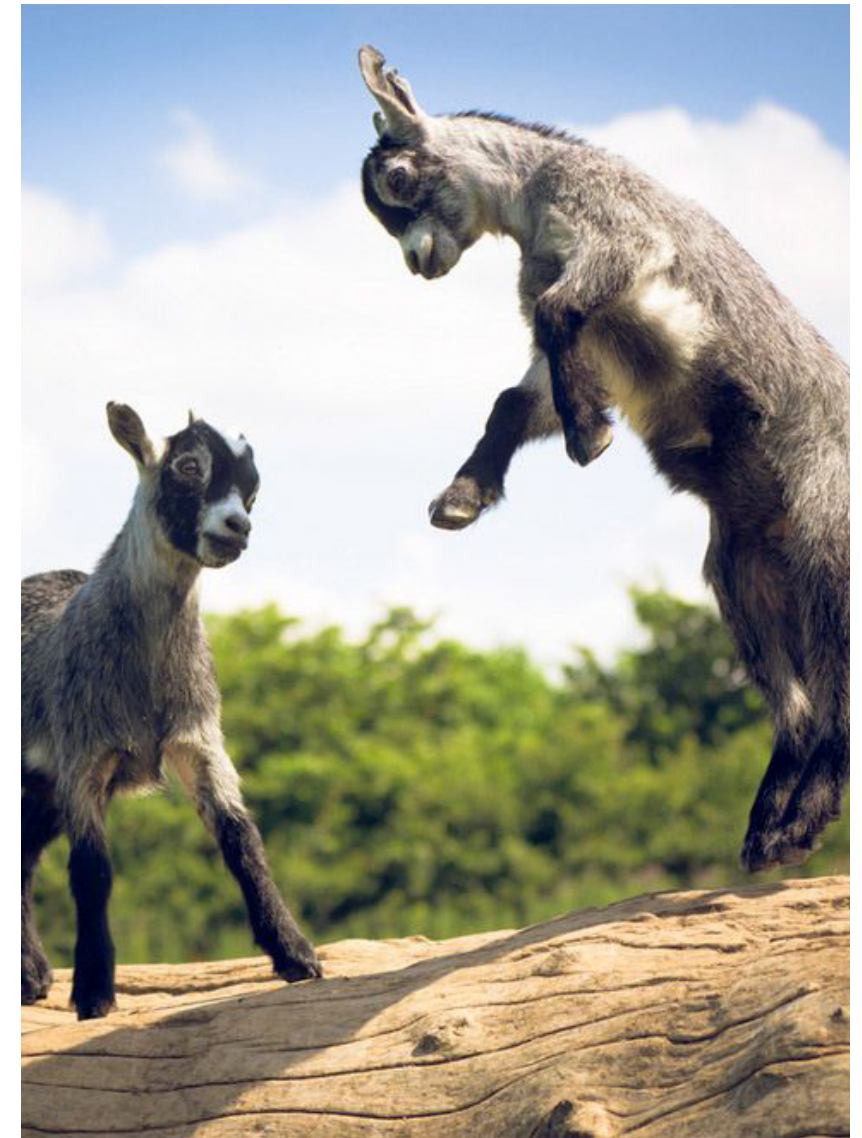


LOCA at 11th and Belmont The Goat Blocks

Design Review Submittal (LU# 14-125908 DZM AD) (DAR# 13-224797) (Pre-Application# EA-203772)

PRESENTED BY: KILLIAN PACIFIC
OWNER: BELMONT INVESTMENT, LLC
ARCHITECT: ANKROM MOISAN ARCHITECTS
06.30.2014



LU# 14-125908 DZM AD

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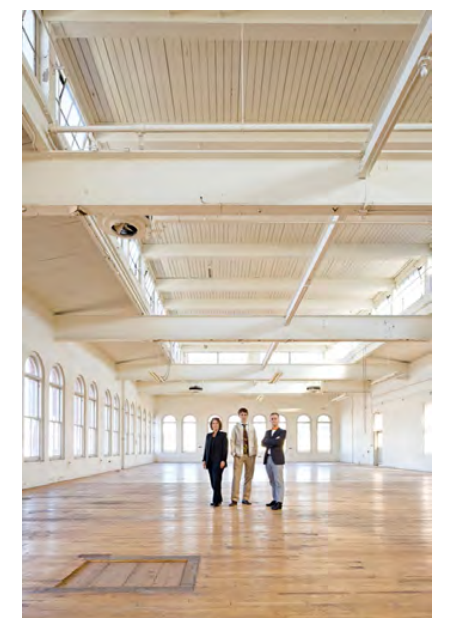
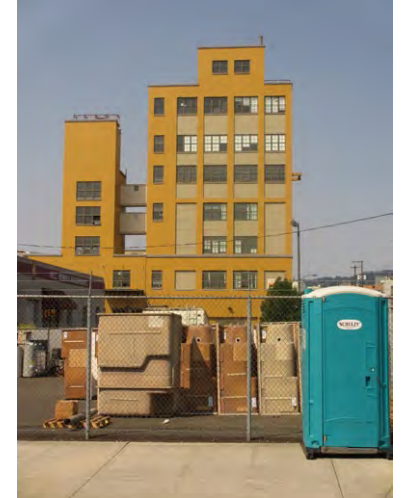
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INSPIRED BY THE HISTORY

Architectural Goals

- Fit into the neighborhood
- collection of unique buildings
- Simple buildings
- larger buildings compared to the existing context
- scale massing to transition between scales

Existing buildings

- simple
- typically one material building
- brick concrete metal



blocks in the Central Eastside Industrial Sanctuary typically consist of multiple buildings on a single block



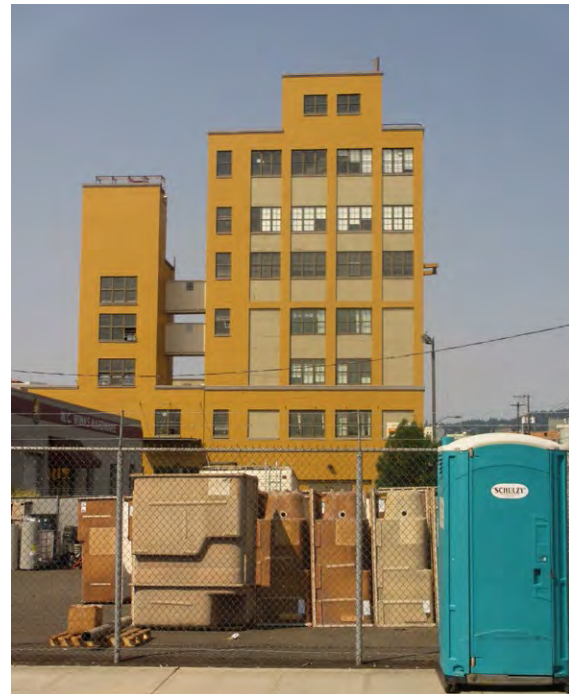
The site is composed of 6 buildings, each with a unique architectural expression to weave the project into the fabric of the neighborhood.

site

**North Block
Grocery Building**

**Design Commission
Comments**

1. Design Concepts
 - Explain design concepts of building
2. Material Palette
 - Simple, too many materials
 - Corten Steel not appropriate
3. 11th and Belmont Grocery entry
 - Too small
 - More bike parking
4. Belmont elevation
 - Add more glazing too meet requirements
 - RACC involvement Unclear
5. Exterior screens at upper housing floors to narrow and questioned horizontal orientation
6. Transom Windows above bays-scale is wrong
7. Hooded exhaust venting not well integrated.



OLYMPIC MILLS BUILDING

Housing bar above differentiates itself from base. Clad in metal panel to lighten visual weight. Bold color to mark the place.

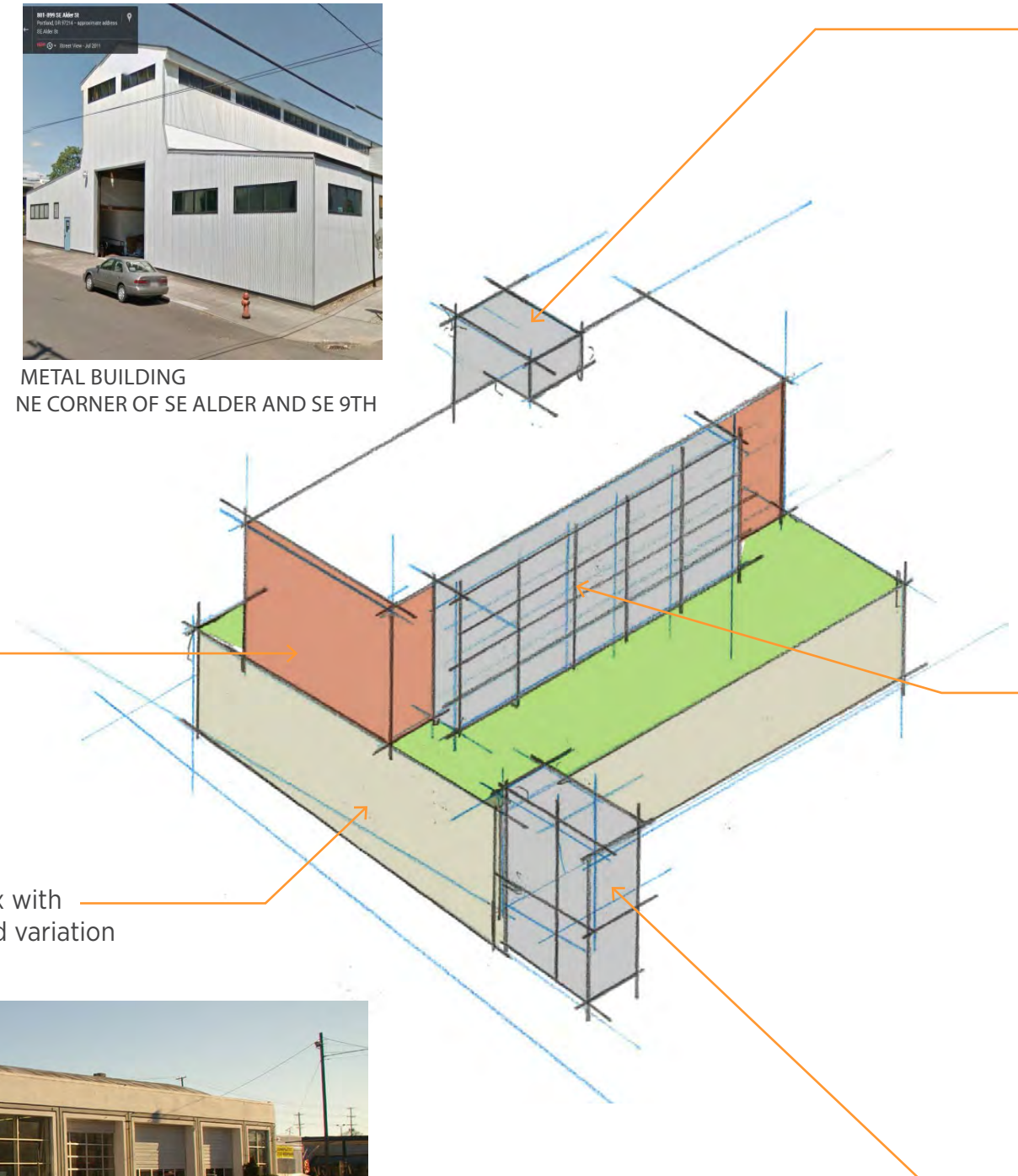


METAL BUILDING
NE CORNER OF SE ALDER AND SE 9TH

Base Building - simple warehouse-like box with repetitive bay structure with hierarchy and variation in the infill of bays



SIMPLE WAREHOUSE WITH REPETITIVE BAYS - SE CORNER OF SE ALDER AND SE 7TH AVE.



Vertical circulation element stitches housing bar to base. Inspired by industrial character of district.



EASTBANK COMMERCE CENTER

Dynamic Decks with sliding panels. Inspired by industrial character of district.



ECOTRUST BUILDING

Iconic vertical element marks public circulation thru site and program. Inspired by industrial character of district.

Steel Plate Panels removed at grocery entry

Corten steel at Elevator removed

Corten steel at steps removed



before (C.19)

Large, Brick Framed opening at grocery entry - simplifies building form

Steel Plate Panels at Elevator- Simplifies Material Palette

Simplified stairs and Simplified material palette at stairs

Bike Parking added near vertical stairs



after (C.19)

see C.19, C.32, C.33, C.40, C.43, C.44, C.57 C.60, C.61, C.67, C.83, C.89, C.90 for more information.

**North Block
Grocery Building**

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Steel Plate Panels removed at both Grocery Entry points

Arriscraft Masonry changed to Brick to simplify material palette



before (C.20)

Brick continues thru corner. Simplifies material palette

Area for retail spill out increased, Depth of recess increased 1.5' to 14.5'

Brick detailed

Corner open up to add additional bike parking added, ribbon racks for (10) bikes

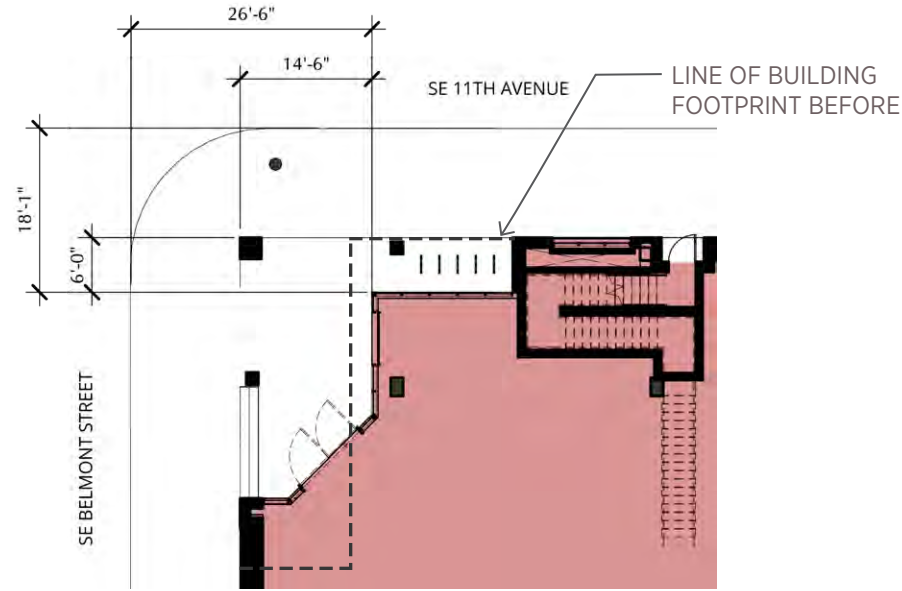
Larger scale opening at corner to express entry, Simplifies building form.

Roll-up garage door to open up store and opportunity for merchandise and activity to spill out.

see C.20, C.33, C.43, C.44, C.59, C.60, C.65, C.67, C.83, C.88, C.90 for more information.



after (C.20)



GROCERY ENTRY PLAN

1/16" = 1'-0"

before



(04.70) LG Retail Ground Floor Base
Arriscraft Renaissance Masonry Units
Olive

after



(04.20) Grocery Ground Floor Base
Economy Brick Veneer
Glacier - Mission

Roll-up garage door to open up store and opportunity for goods to spill out.

Corner opened up to add additional bike parking added, ribbon racks for (10) bikes

Area for retail spill out increased, Depth of recess increased 1.5' to 14.5'



**North Block
Grocery Building**

**Design Commission
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before (C.20)



after (C.20)

Fixed windows at these bays deleted

RACC art panels removed

Transom windows widened and integrated with bay below

Roll-up doors added at all bays

Glazing area increased to meet ground floor window requirements

Rills extended down to step with sidewalk grade

Bays recessed to create seating along sidewalk

see C.19, C.20, C.33, C.60, C.67, for more information.



VIEW FROM GROCERY INTERIOR



CUT-AWAY VIEW AT GROCERY "LOADING DOCK"

PRECEDENT IMAGES



DOCKS CONVERTED TO RESTAURANT SEATING AT CLARK LEWIS IN EASTSIDE COMMERCE CENTER



SECTION THROUGH GROCERY "LOADING DOCK"



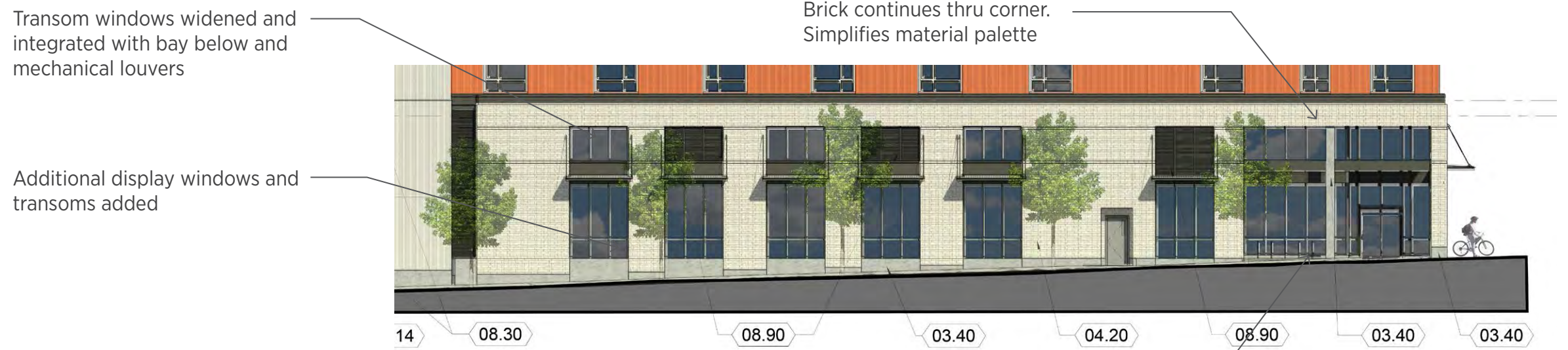
MULTI-LEVEL OUTDOOR EATING/SEATING AT CASCADE BREWING ACROSS BELMONT STREET

**North Block
Grocery Building
Design Commission
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before (C.61)



after (C.61)

Corner opened up to add additional bike parking added, racks for (10) bikes

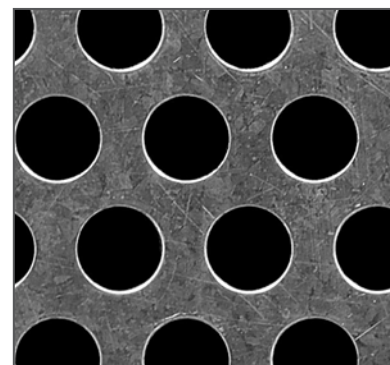
see C.20, C.33, C.59, C.65, C.94 for more information.



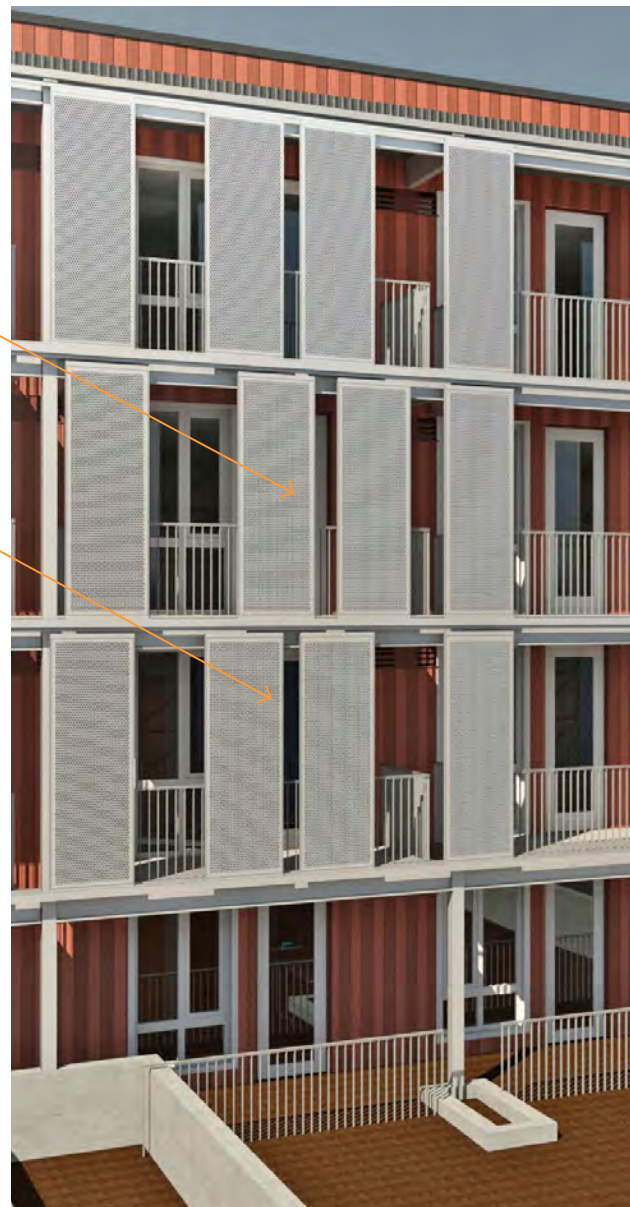
horizontal screen changed

screens widened

perforated screen material

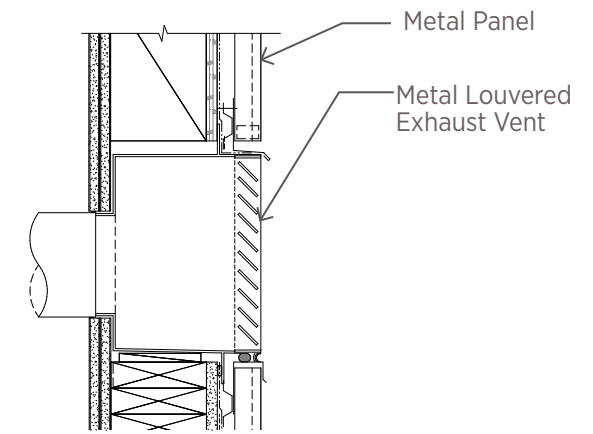


1/2" Holes on 11/16" Staggered Centers
48% Open Area



after (C.93)

see C.15, C.17, C.19, C.57, C.61, C.93 for more information.



3 - Louvered Vent @ Metal Panel - 1" = 1'-0"



after (C.116) changed from vent hood

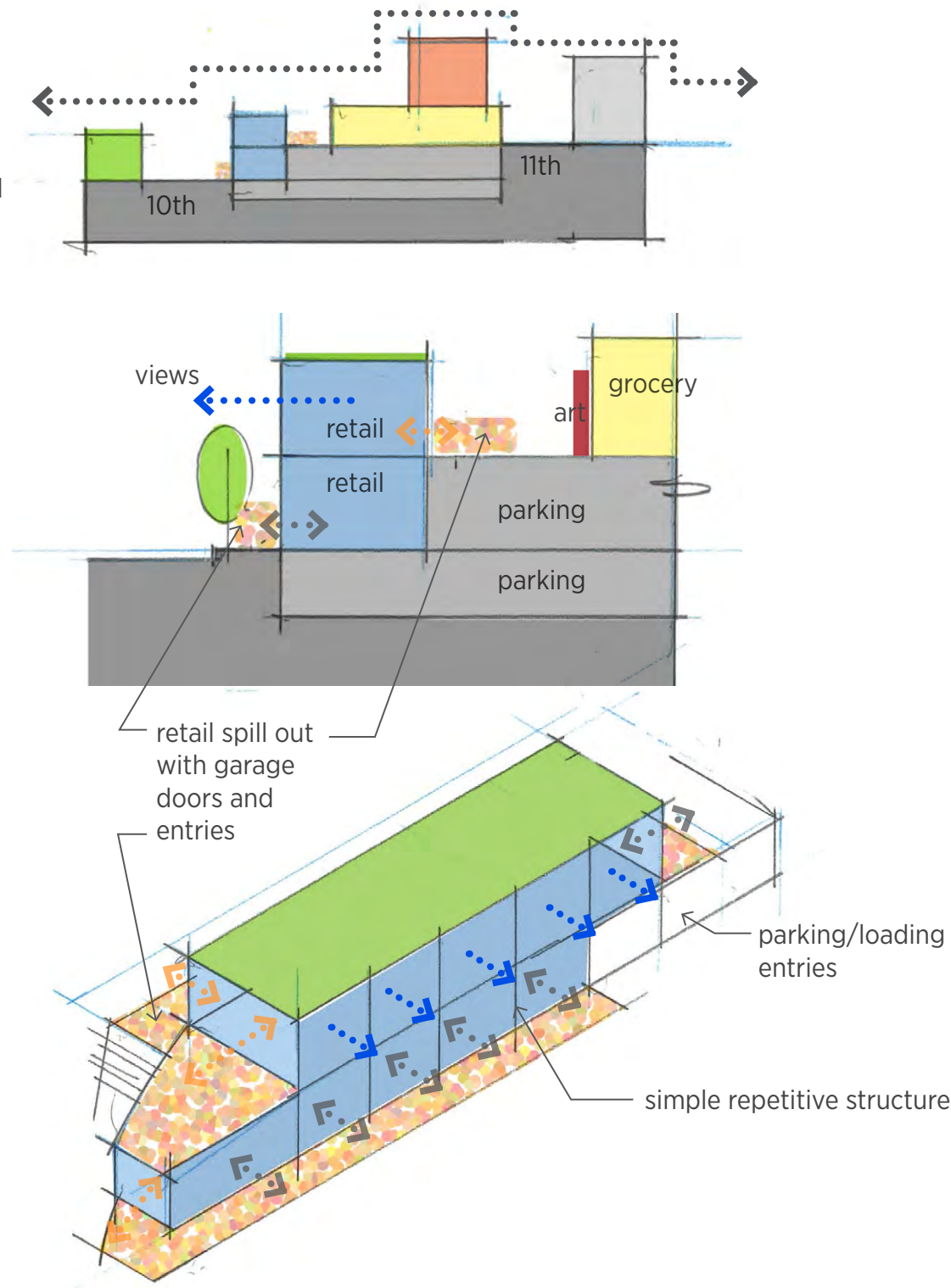
before (C.93)

**North Block
Retail Building
Design Commission
Comments**

1. Design Concepts
 - Explain design concepts of building
2. Material Palette
 - Wood siding, durability issues
 - glass canopies appropriated, hard to keep clean
3. Unify roof at South End
4. Lower retail level too squat

IDEAS:

- 2 story massing transitions from larger mass, East to West.
- Allows views from residential units to city/river.
- 2 story retail activates street along 10th and provides unique
- 2nd story retail spaces with views
- High level of transparency throughout out the building.
- Heavy timber interior
- Flexibility to connect retail in size both horizontally and vertically
- Eames like kit of parts approach to building



heavy timber interior



outdoor seating and retail spill out opportunities



highly glazed, kit of parts - Eames housing

Wood siding and screening removed

Glass at canopies removed



Trellis and retail at South end removed

Step in roof parapet removed

before (C.19)

Horizontal metal siding, simplified materials palette

Metal canopies

Floor to floor at retail 13'-6"



Increased area for public plaza space

Simplified roof line

after (C.19)

see C.15, C.17, C.19, C.27, C.30, C.32, C.33, C.40, C.57, C.60, C.63, C.67, C.81, C.84, .96, C.97, C.98, C.99 for more information.

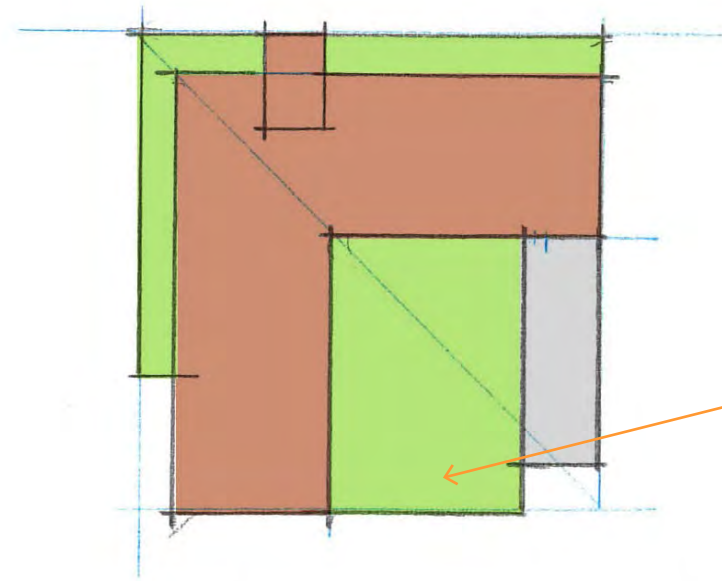
South Building

Design Commission Comments

1. Design Concepts
 - Explain design concepts of building
2. Material Palette
 - Simplify to many materials
 - Wood cladding seems unnecessary
 - Glass canopies, hard to keep clean
3. Garden center
 - Integrate or fully detach
4. Signage truss is confusing without signage

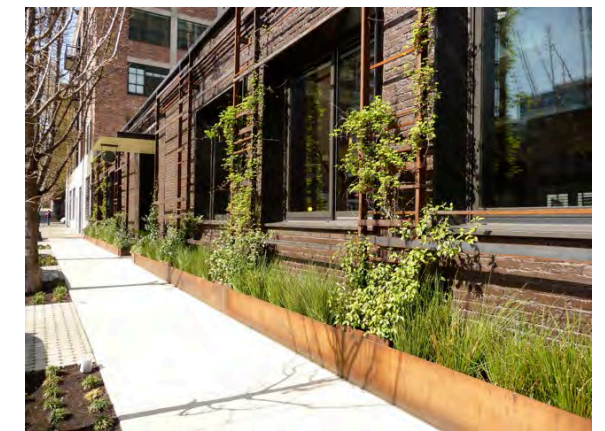
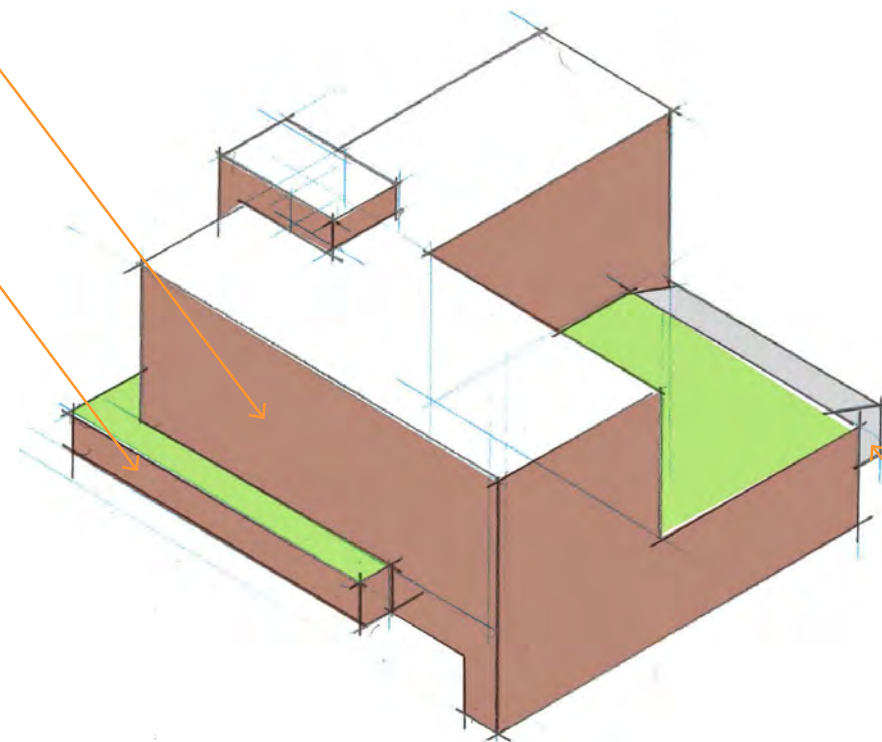


Simple one material (brick) approach to massing, similar to turn of century buildings in district



South orientation of courtyard to provide residential amenities and city views.

North side 1-story "side cars" scale Yamhill to pedestrian scale



Garden center provides unique transition to similar uses in surrounding IG zoning. Oriented for good daylight.

Metal panel at South wing removed

Metal panel at entry removed

Wood at base removed



before (C.22)

Brick at South wing
Simplifies material palette

Brick at entry
Simplifies material palette

Metal panel at base
Simplifies material palette



after (C.22)

see C.22, C.23, C.24, C.57, C.58, C.59, C.69, C.71, C.73, C.86, C.104, C.107, C.108, for more information.

South Building

Design Commission Comments

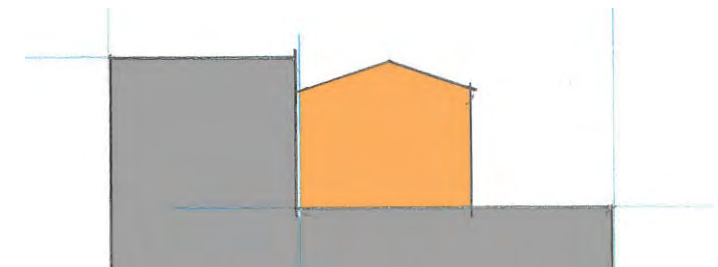
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 - Integrate or fully detach
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Gable roof removed,



before (C.23)

Metal removed



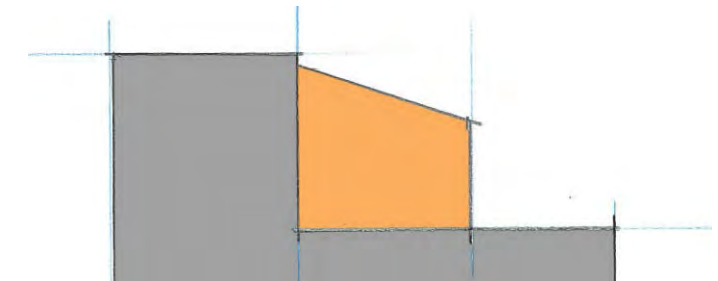
Gable

Shed roof, integrated with structure



after (C.23)

Brick



Simple Shed

see C.23, C.24, C.33, C.40, C.56, C.57, C.58, C.69, C.71, C.87, C.105, for more information.



Truss removed

Wood at base removed

before (C.21)



Metal panel at base
Simplifies material palette

after (C.21)

see C.18, C.19, C.21, C.57, C.69, C.86 for more information.

East Building

Design Commission Comments

1. Decks
 - remove or add more
2. Parking behind building needs to be covered



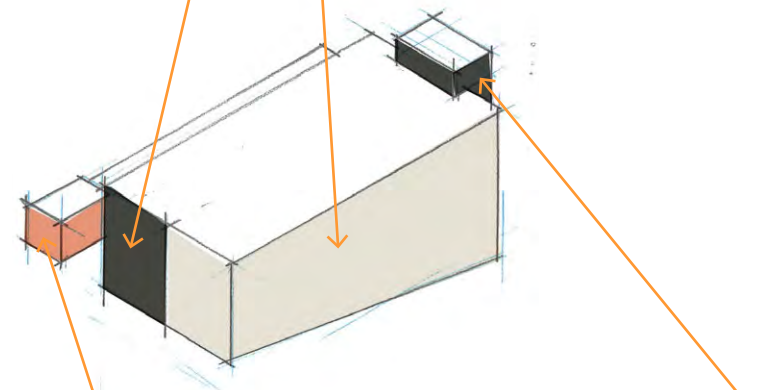
East side is scaled thru window proportions and materials to respond and transition to the Buckman neighborhood to the East



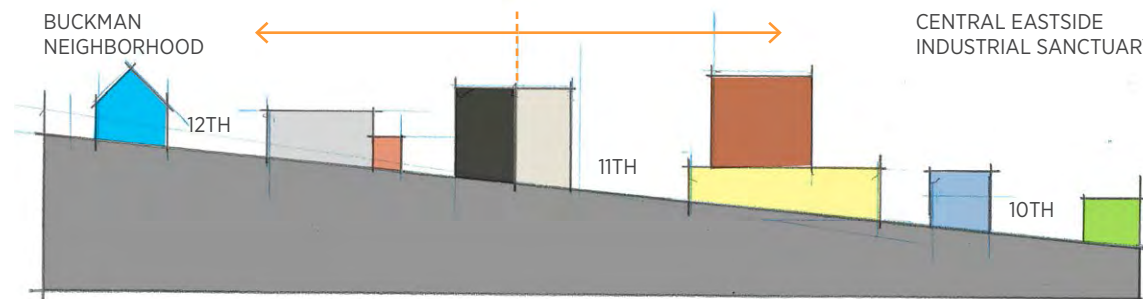
West side responds to the simple industrial character of the Central Eastside Industrial Sanctuary



Retail buildings scaled to neighborhood and visually hide parking beyond



Glazed vertical element distinguishes the residential entry and visually connected to the other residential entries



Decks removed from West elevation



before (C.25)

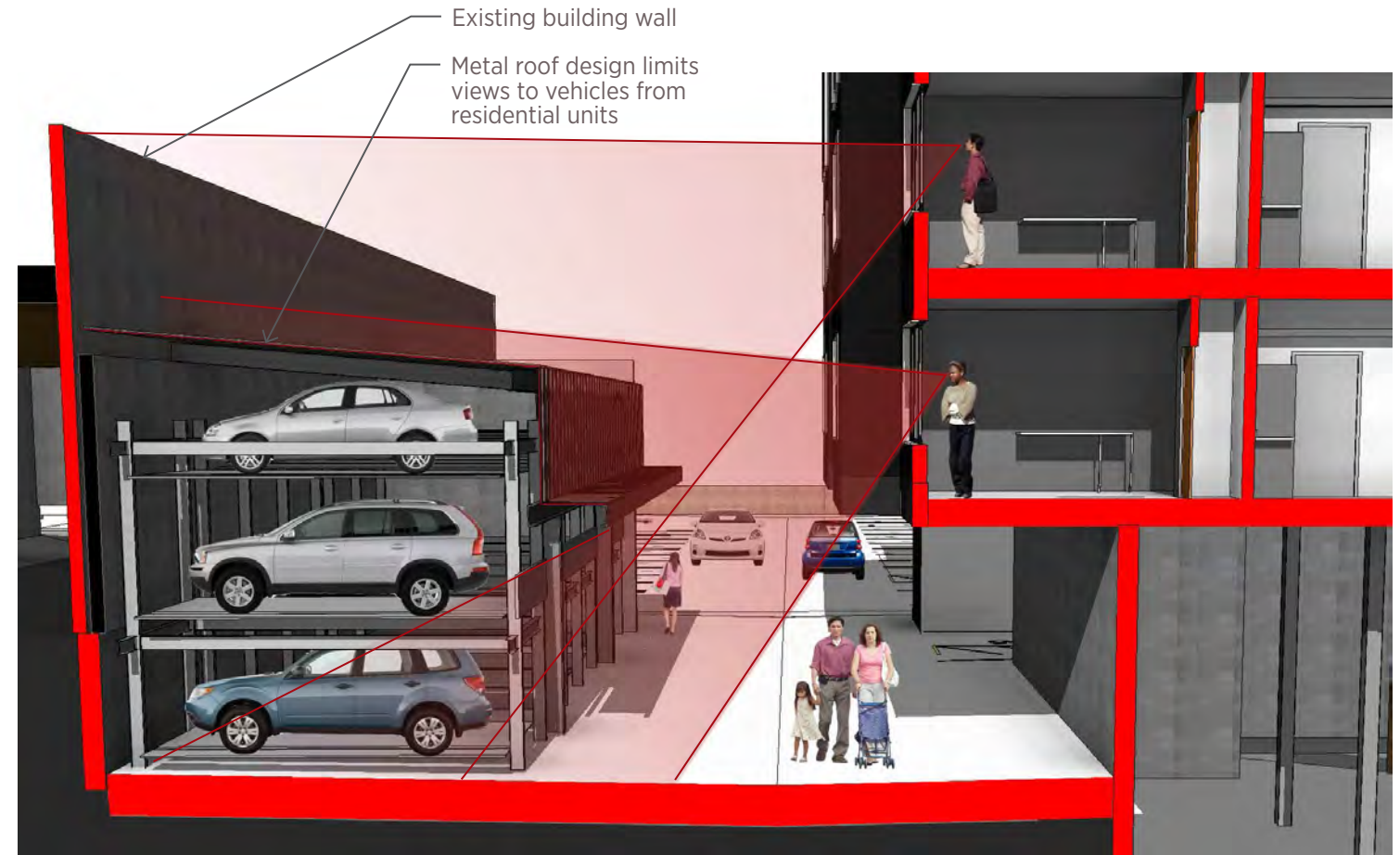


after (C.25)

see C.25, C.26, C.38, C.60, C.77, C.79, C.114, for more information.



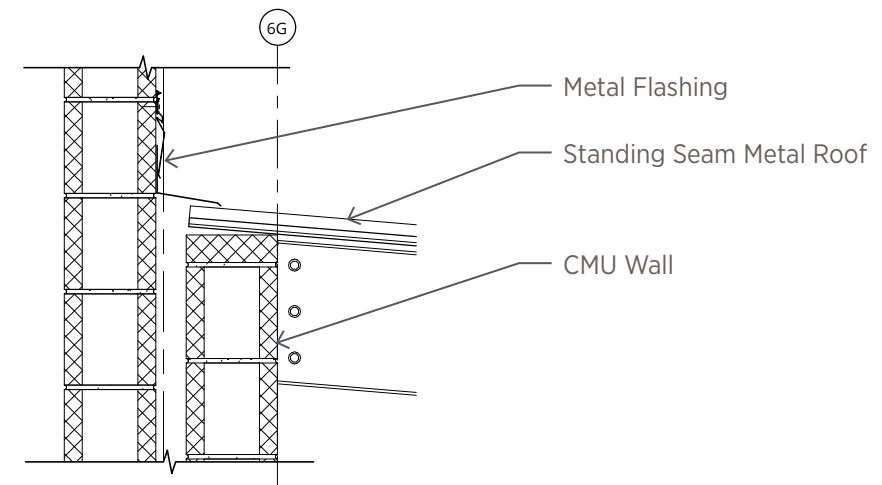
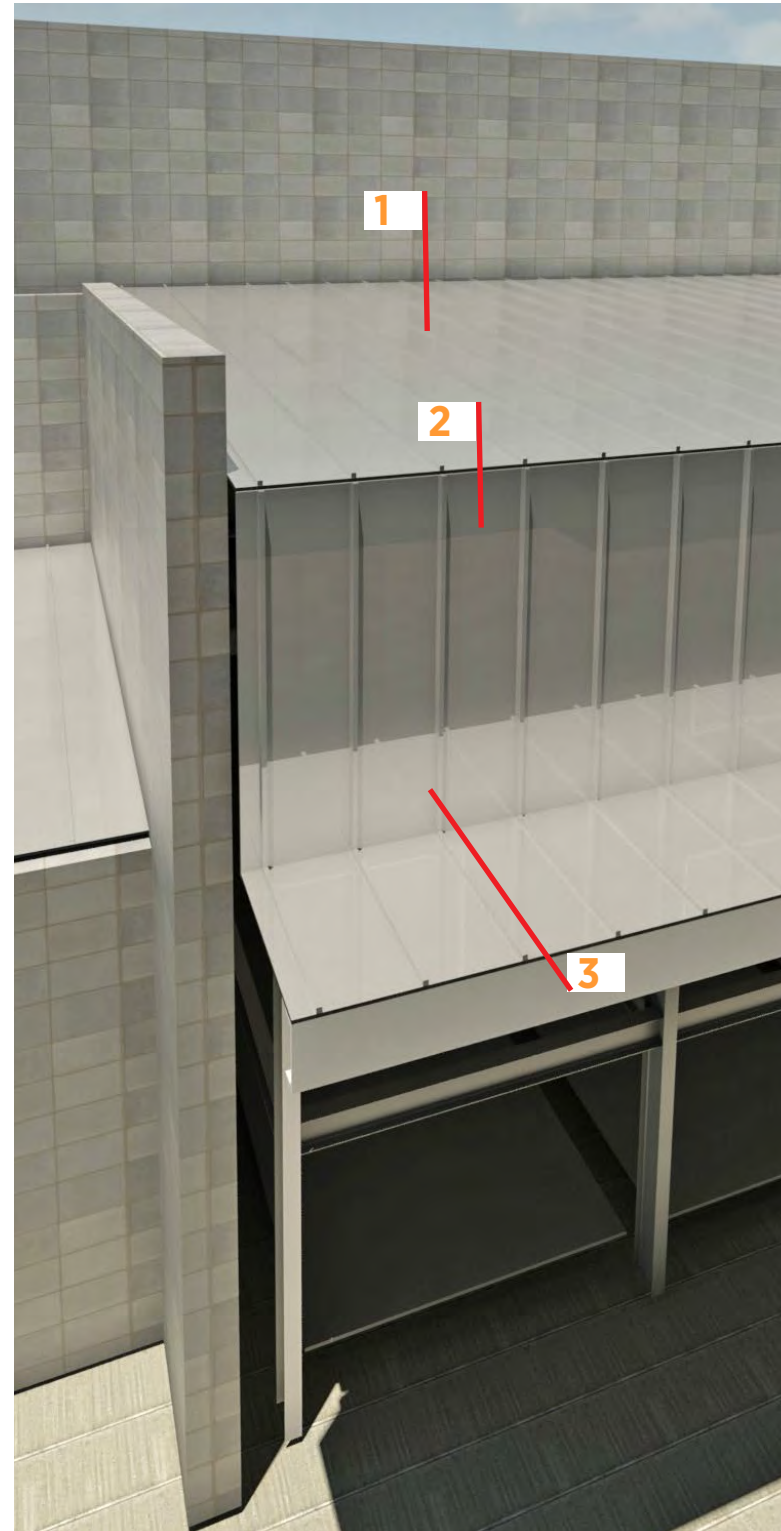
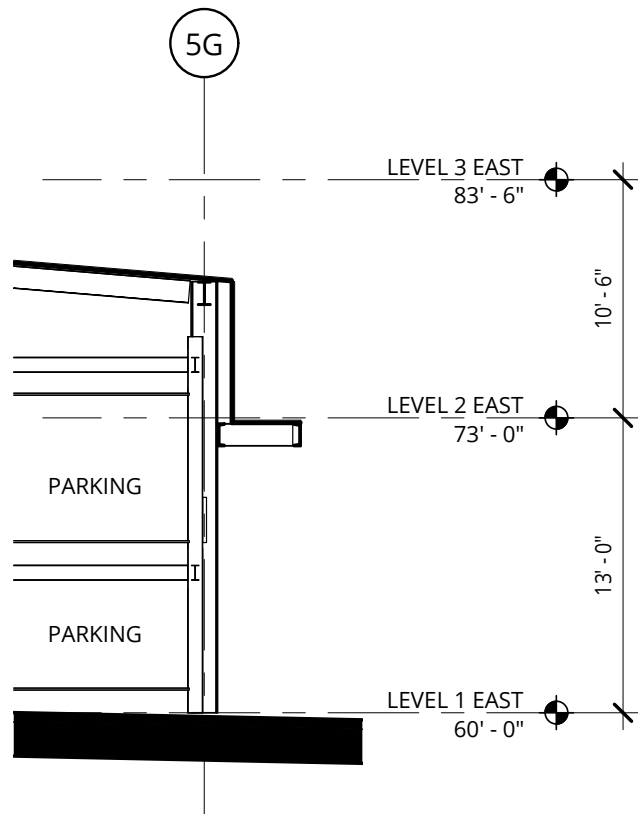
Entry from Belmont



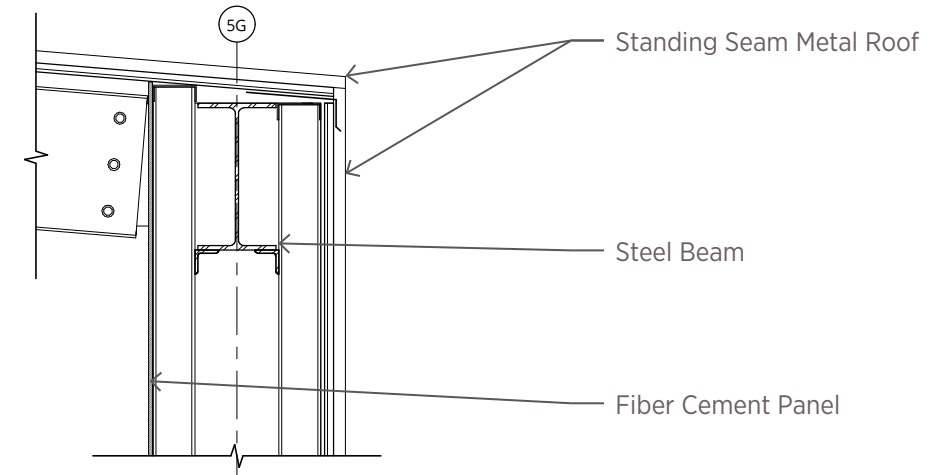
Section Perspective



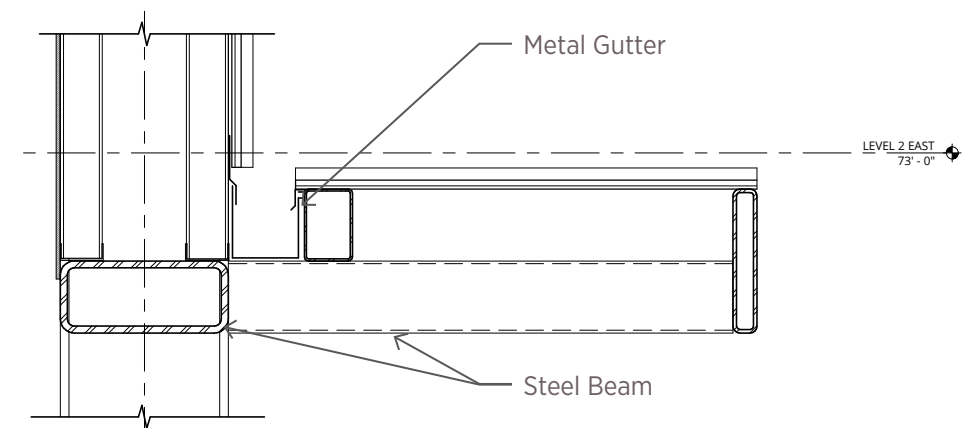
View of Parking From Resident Levels



1 - Metal Roof @ Existing Building - 1/2" = 1'-0"

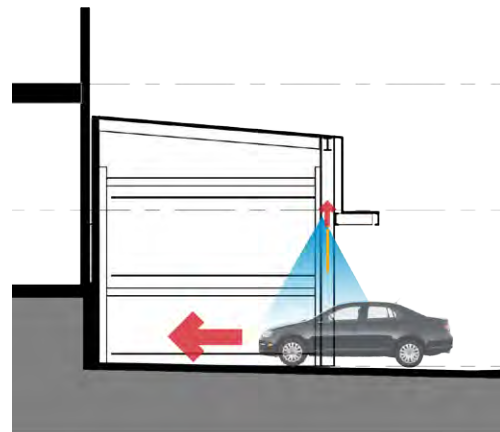


2 - Metal Roof @ Vertical Transition - 1/2" = 1'-0"

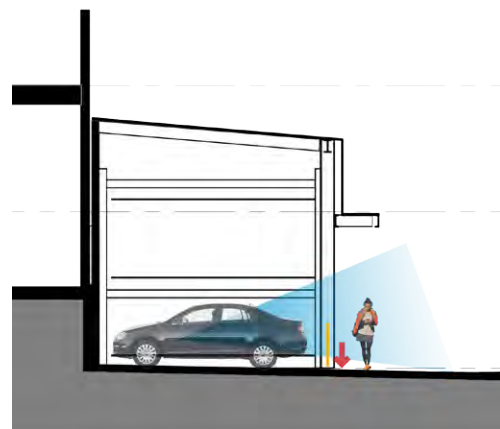


3 - Metal Roof @ Awning - 1/2" = 1'-0"

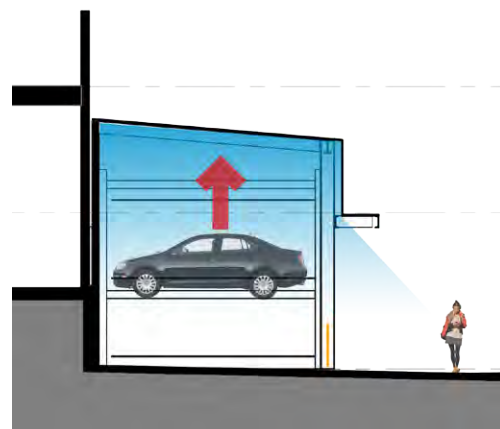
Parking Machine Operation



Step 1
Safety gate of parking structure raises with minimal localized noise. Occupant drives vehicle into designated parking space of structure.

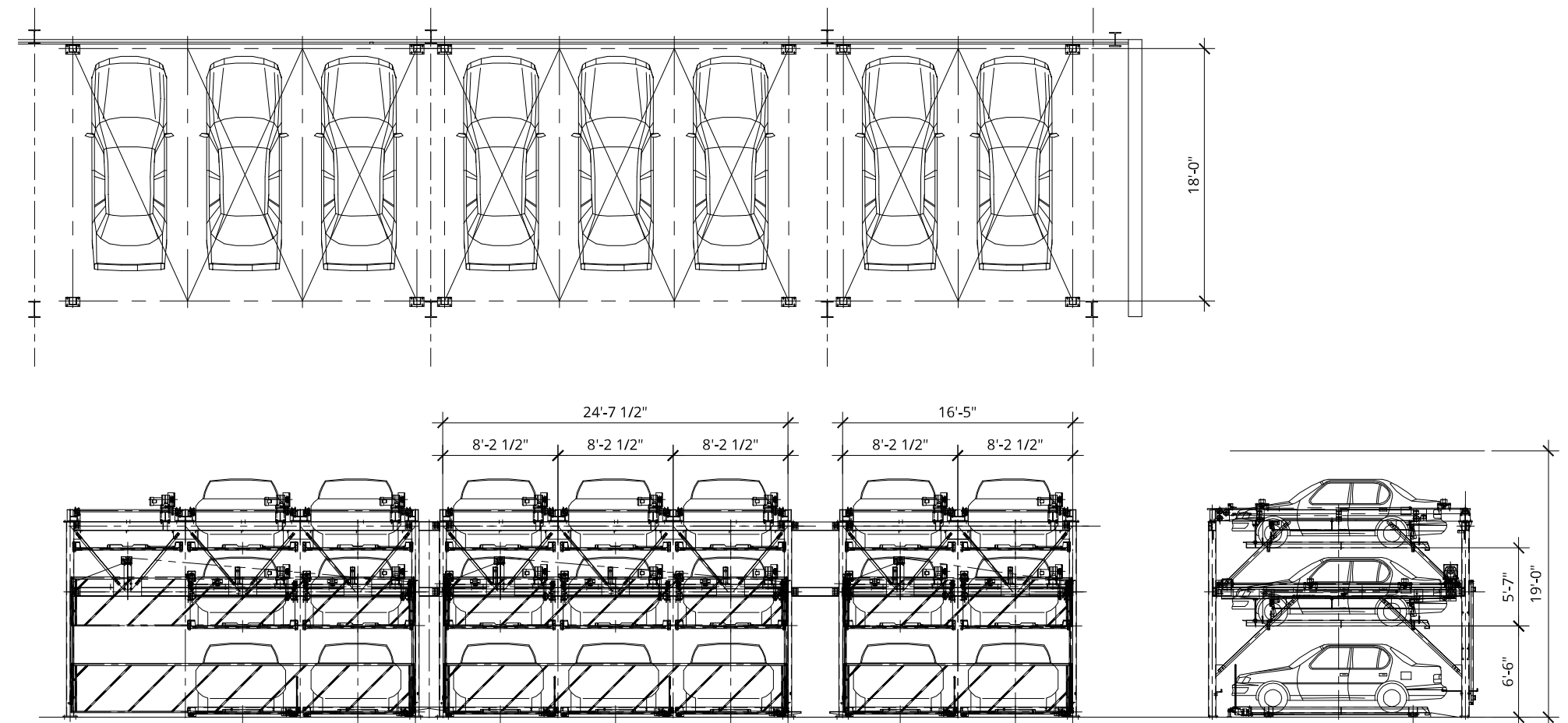


Step 2
Occupant turns vehicle off completely and exits. Safety gate is closed once occupant has cleared the structure.



Step 3
Parking machine re-organizes vehicles within the matrix. Noise of machinery is minimized by roof structure.

Parking Machine Layout and Dimensions



Acoustics And Vibrations

Two independent case studies have demonstrated the acoustic and vibration effects on existing projects in Portland.

The first test was conducted by SSA Acoustics on the 9th and Pine residential project which uses a Carmatrix Parking Lift System. Their study showed a relatively low Ambient Vibration (micrometers/second) in structure directly adjacent to the Lift System. Their conclusion was that the operation of the system would not impart vibration to the structural that will be noticed in apartments above 9th and Pine. It should be noted that the system for LOCA is independent of any residential structure

The second test was to determine the sound level impact of a Harding Steel Car Lift System, like the one designed for LOCA. The test was conducted at 1550 SE 20th Ave. in Portland. While in operation the Car Lift system was recorded making sounds of 59 to 60dB which is roughly equivalent to the sound level of a normal conversation. It can be inferred from this study that operation of the Car Lift system has little to no effect on the ambient sound levels local to the system.

Outdoor Spaces

Design Commission Comments

1. Make spaces dynamic
2. Provide common thread
3. More consistency
4. Spaces feel "small"
5. Spaces feel under designed
6. Re-organize Yamhill Steps
7. Belmont Stair is good
8. Material Palette
 - Simplify, too many materials
 - Don't use Corten steel
 - Too many light fixture types
 - Too many handrails
9. Remove Cylinder light fixtures

see landscape drawings for additional changes



Cylinder lights removed

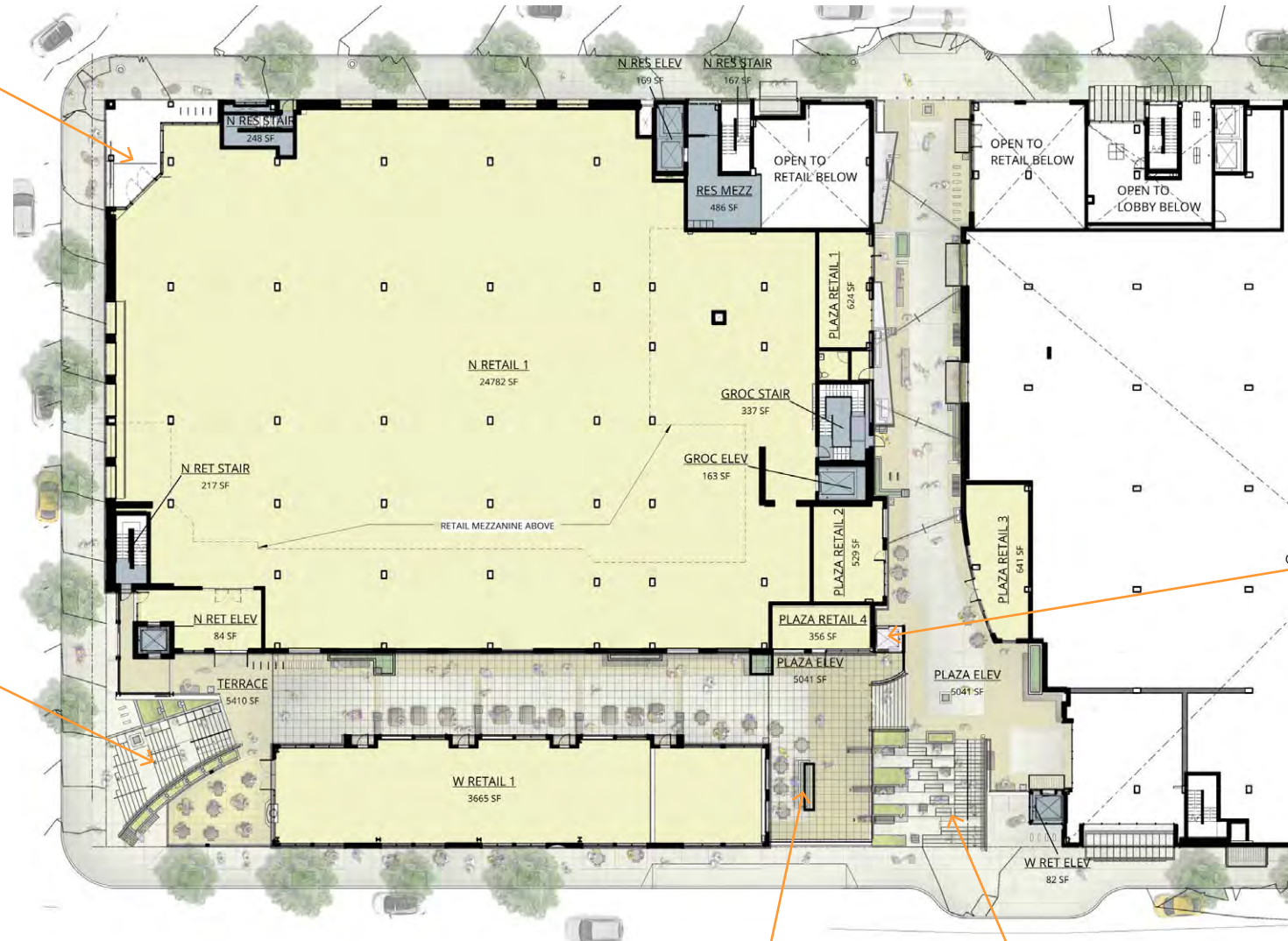
Remove Corten

before (C.33)

Re-organized Yamhill Stairs and increased area of Superblock Plaza

Corner opened up, additional bike parking and retail spill out opportunity added,

10th and Belmont stairs simplified and corten removed, Simplifies Materials Palette



after (C.33)

Retail and trellis removed to create larger more open Superblock Plaza area

Yamhill Stairs widened and simplified

Elevator Lift relocated to Open up plaza more

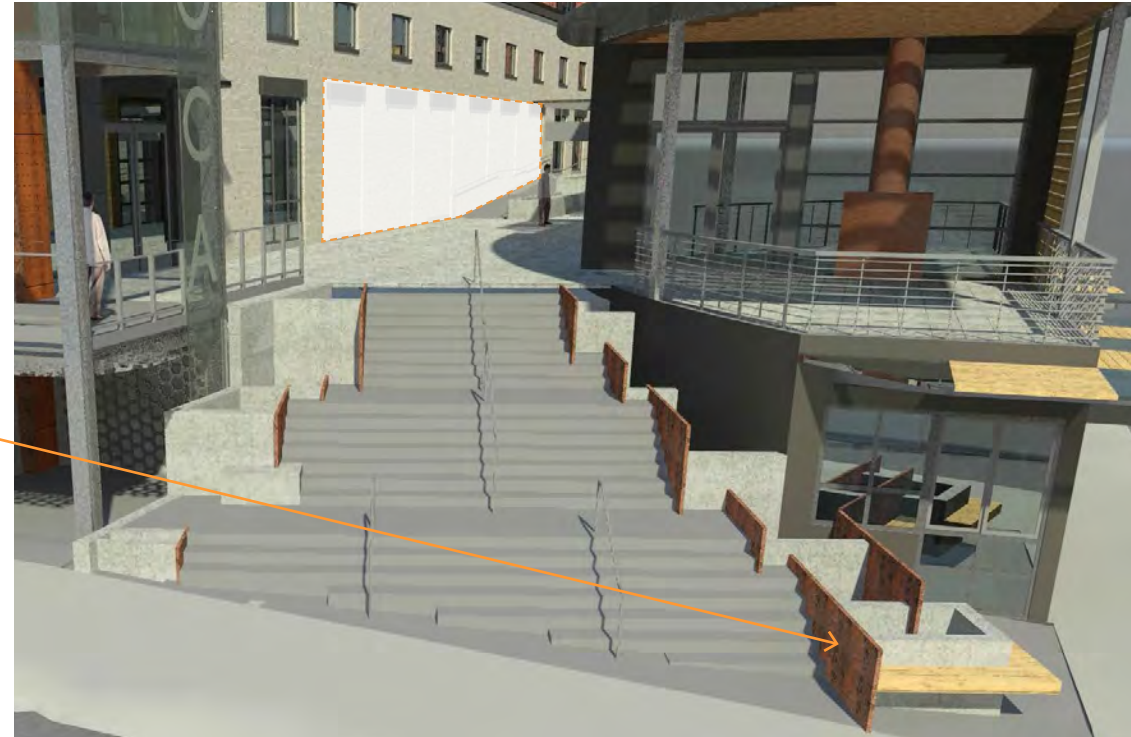
Outdoor Spaces

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Remove Corten

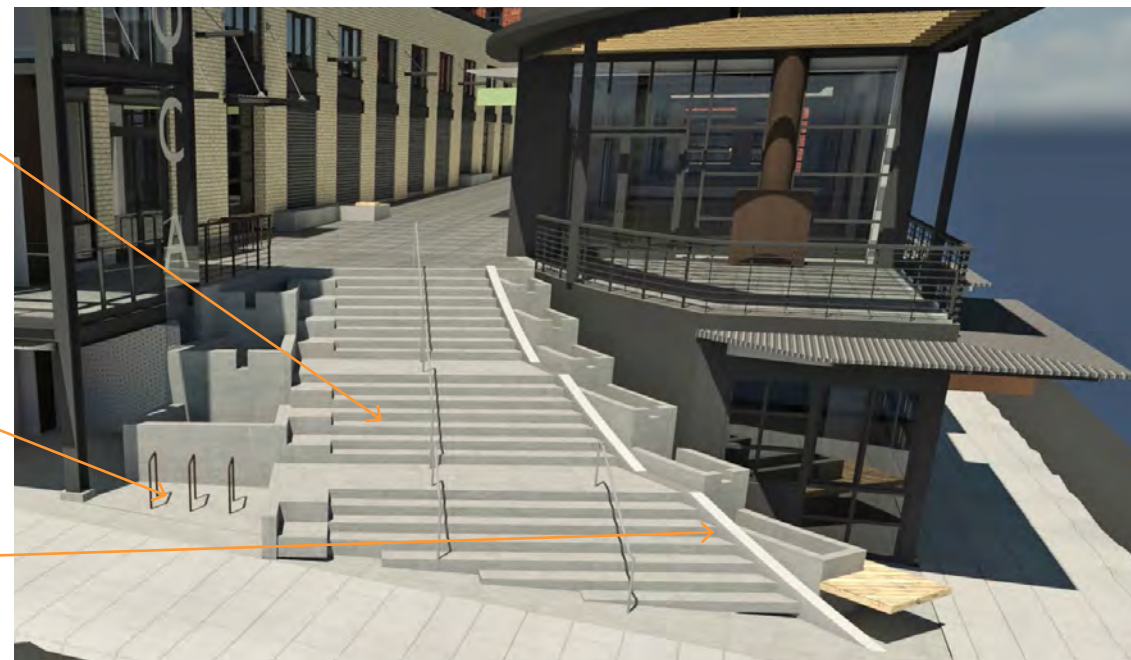


10th and Belmont Stairs before (C.96)

Stairs simplified, Corten removed
Simplifies Materials Palette

Bike Racks added

Bike track added to stairs



10th and Belmont Stairs after (C.96)

see C.19, C.32, C.33, C.40, C.43, C.44, C.67, C.81, C.96, C.97, C.117, C.119, C.131, for more information.

Remove Corten



10th and Belmont Stairs before (C.19)

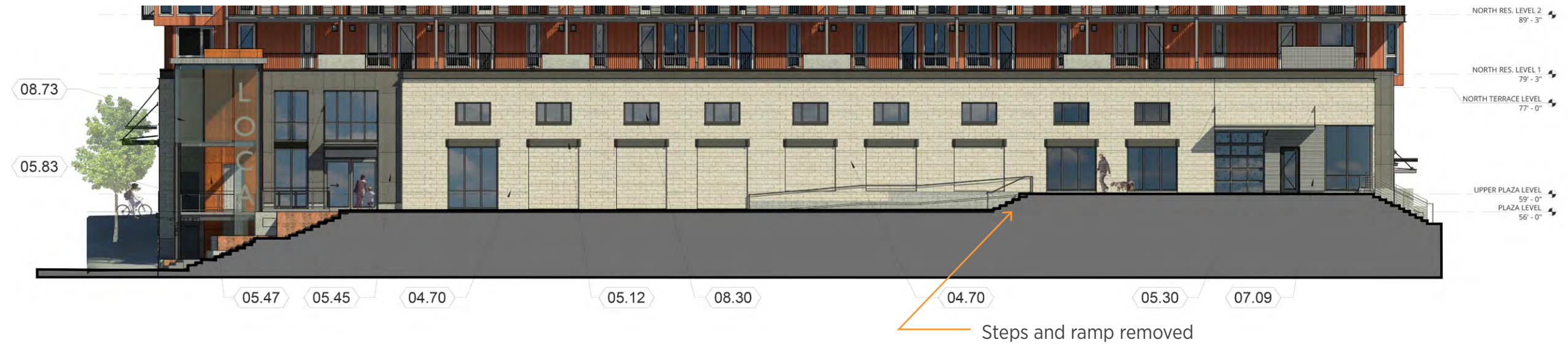
Stairs simplified, Corten removed
Simplifies Materials Palette

Bike Racks added



10th and Belmont Stairs after (C.19)

see C.19, C.32, C.33, C.40, C.43, C.44, C.67, C.81, C.96, C.97, C.117, C.119, C.131, for more information.



North Building West Elevation before (C.61)



North Building West Elevation after (C.61)

see C.19, C.32, C.33, C.40, C.43, C.44, C.67, C.81, C.96, C.97, C.117, C.119, C.131, for more information.



Retail Building East Elevation before (C.81)



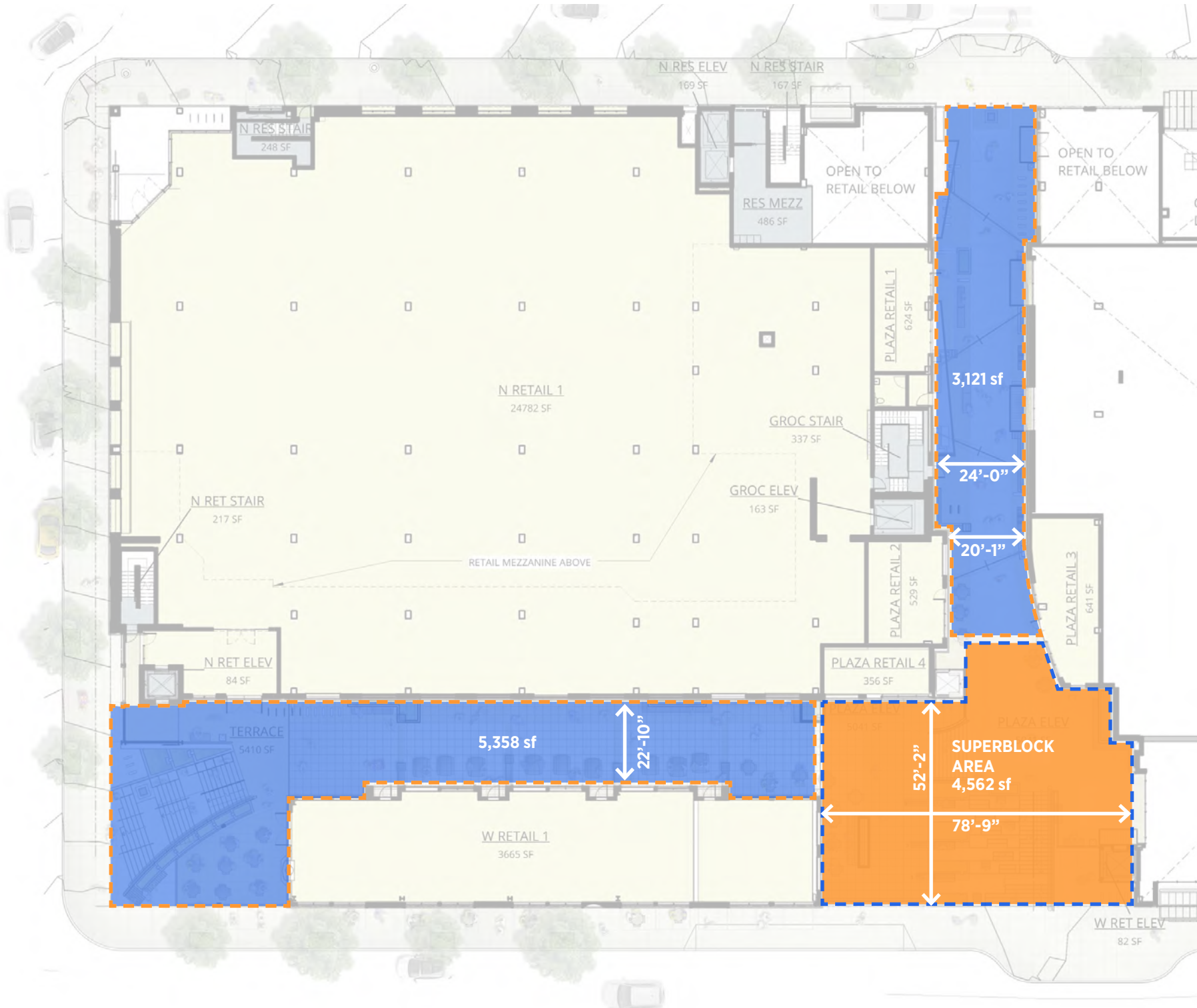
Retail Building East Elevation after (C.81)

Market walk sloped 2.3%

see C.15, C.17, C.19, C.27, C.30, C.61, C.81, C.96, C.99, C.119, for more information.



Yamhill Plaza Overlook - After DR Input

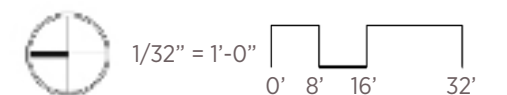


**SUPERBLOCK DEVELOPMENT STANDARDS-
Chapter 33.293**

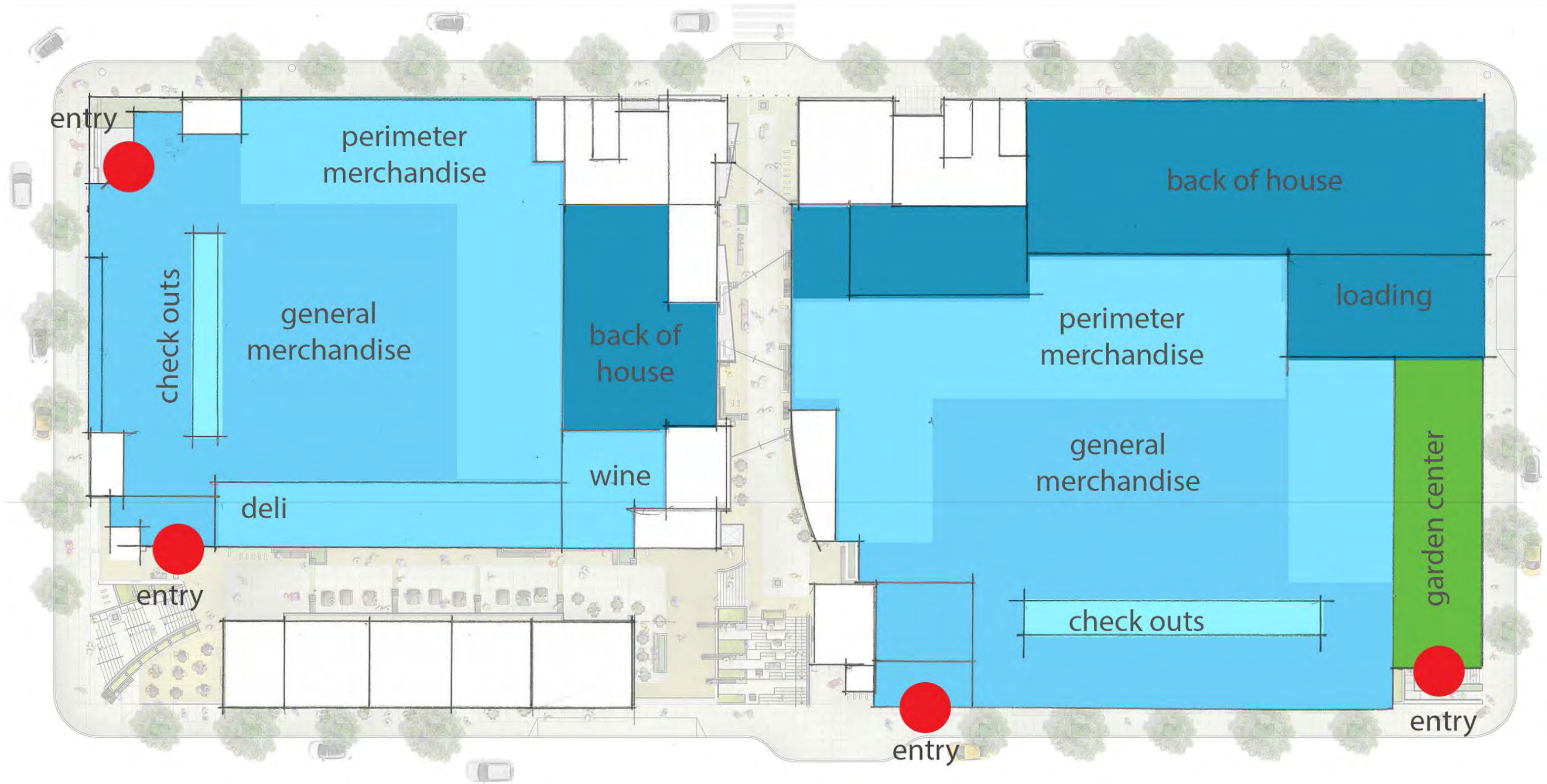
33.293.030 Requirements (REVISED PROPOSAL - 06/02/31)

Proposal: 2x Open space SF for community living room

- a. 12400 sf of public plaza is provided, which exceeds the 5% (91,050 sf x 5% = 4552 sf) required. The public plaza spaces make pedestrian connections That are more characteristic of 2x the width of standard 12' sidewalks. These inherently do not meet the required length to width ratio of 3 to 1, but preserve the familiar pedestrian experience within the context of the Central City plan.
- b. The total area of walkways, landscape areas, public plazas is required to be 50% of the vacated streets within the superblock which would require (12,000sf x 50% = 6000 sf), 12400 sf total is provided.
- c. The walkway system must be hard surfaced and at least 12' wide, unobstructed. These proposed walkways are no less than 20' wide, but are often 24' wide.
- d. The on-site pedestrian and bike circulation system will be lighted for night use.
- e. The walkways are accessible to bikes. They are accessible on grade from SE 11th, and a walkway at near flat grade crosses the site westward to a broad open staircase that drops down to SE 10th. This is visually open from the east with views through to SE Yamhill and downtown to the west.
- f. The preferred 24 hr pedestrian connection measures 4,860 sf and is in alignment with SE Yamhill to the West. See diagram to the left, highlighted in amber. An additional 4,705 sf pedestrian connection is highlighted in blue.-







Central Eastside at the Boundary

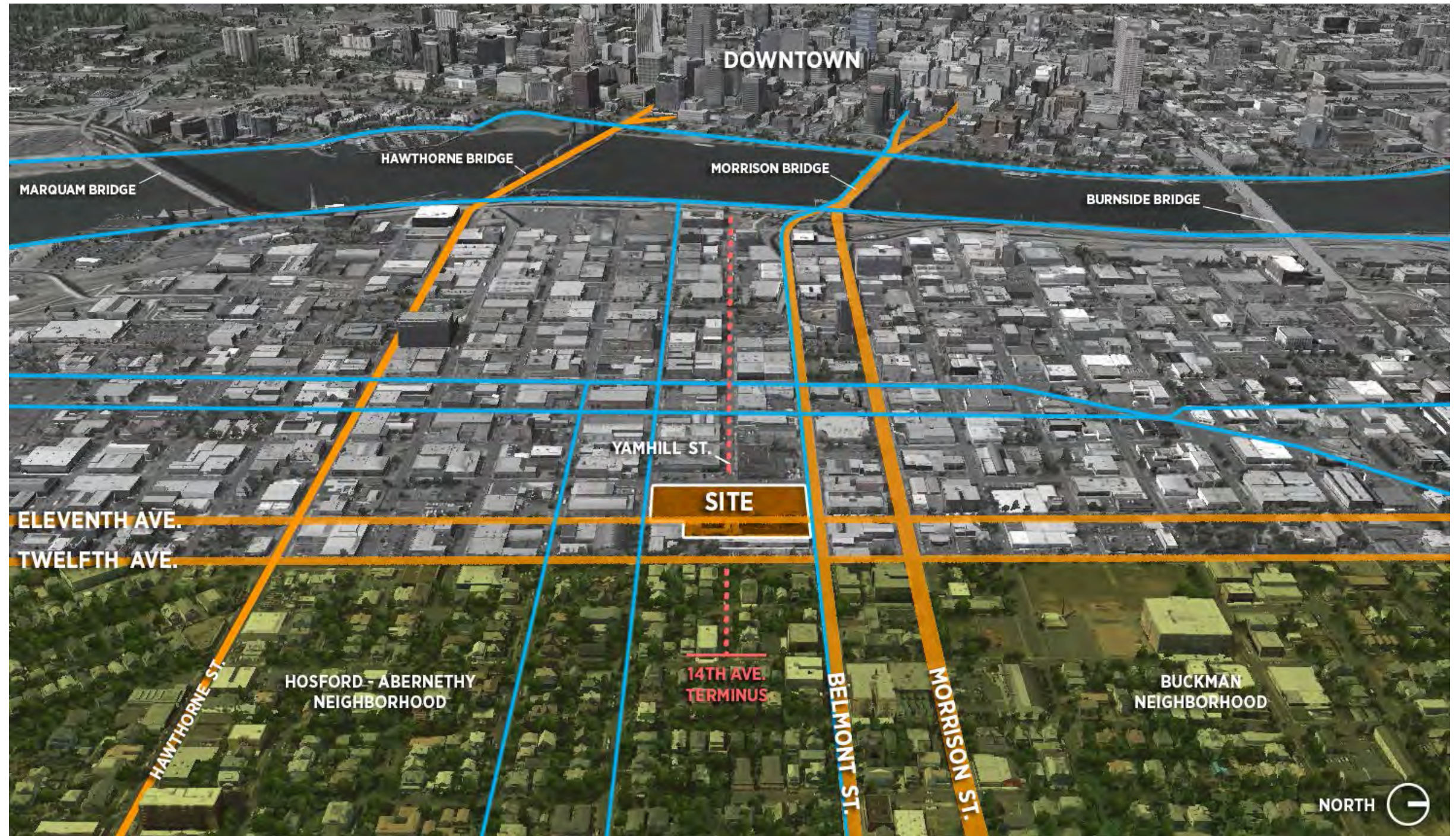
SE 11th and Belmont is one of the most unique sites in Portland. Straddling the Central Eastside's vibrant commercial areas to the west as well as historic residential neighborhoods to the East the site will connect and be fueled by these synergistic forces.

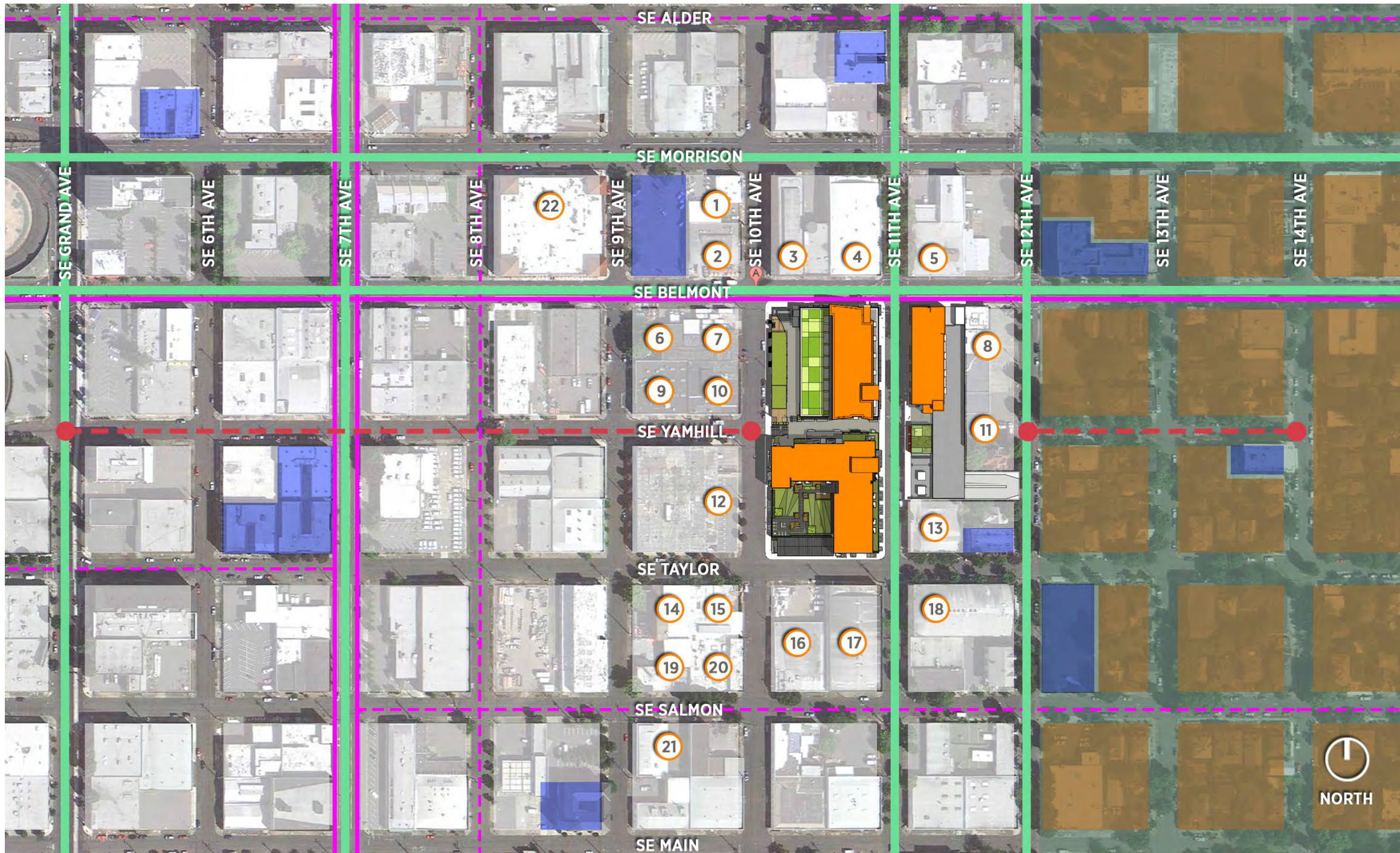
Being located on the crossroads of SE Belmont and SE 11th/12th the site has strong connection through all modes of transportation. The zoning is flexible allowing both residential and commercial development, of a variety of forms, aesthetics and user preferences.

In recent times this area has become the Hub of creative types. It seems like everywhere you look creative things are happening.

We think that understanding and connecting to the creative nature of those that work, live and play in this area has a way of making a meaningful, unique "place."

Our vision connects and interweaves this creative energy within new development, with the goal of furthering the energy already building in the district.





NEARBY BUSINESSES AND ORGANIZATIONS

- 1 Vivo
- 2 Cascade Brewing
- 3 Yale Union
- 4 Multnomah County Elections
- 5 A&S Marketing
- 6 Green Dragon
- 7 Bar Tur Foods
- 8 Bradshaw's Transmissions
- 9 Integrity Spirits
- 10 Gatto & Sons Fruit Co.
- 11 Hawthorne House
- 12 National Builder's Hardware
- 13 GXI Exhibit Design & Fabrication
- 14 Crossfit Magnus
- 15 Dale's Draperies
- 16 Camfil Farr Air Filter Sales
- 17 Creative Woodworking
- 18 Portland Auto Glass
- 19 Dick's Color Center Paint
- 20 Primal Screens
- 21 New Deal Distillery
- 22 Grand Central Bowl

COLOR KEY

- LOCA Housing
- Single Family Residential Blocks
- Main Automotive Arterial Streets
- Nearby Multi-Family Housing
- Bicycle Lane
- Existing Yamhill St. is Interrupted
- Single Family Residential Neighborhood
- Priority Bicycling Streets

PROGRAM SUMMARY

For Design Review Applicable Area

SITE AREA:	
Superblock	91,050 SF
East of SE 11th:	19,567 SF
TOTAL	110,617 SF

EAST BUILDING (EXd zone only) 54,961 SF	
Residential SF	36,536 SF
Residential Units	39 units
Retail SF	8,554 SF
Retail parking SF/count	0 0 stalls
Residential parking SF/count	9,871 50 stalls
*3 level parking stack	

NORTH BUILDINGS 153,701 SF	
Residential SF	72,999 SF (4 floors)
Residential Units	76 (19 units per floor)
Retail SF	54,909 SF
Retail parking SF/count	25,793 SF 59 stalls
Residential parking SF/count	0 SF 0 stalls*

SOUTH BUILDING 248,221 SF	
Residential SF	122,451 SF (5 floors)
Residential Units	132 units
Retail SF	45,361 SF
Retail parking SF/count	61,628 SF 136 stalls
Residential parking SF/count	18,781 SF 102 stalls**

* Common Garage shown

** Does not include building area and parking stalls located in IG zone portion of Site.

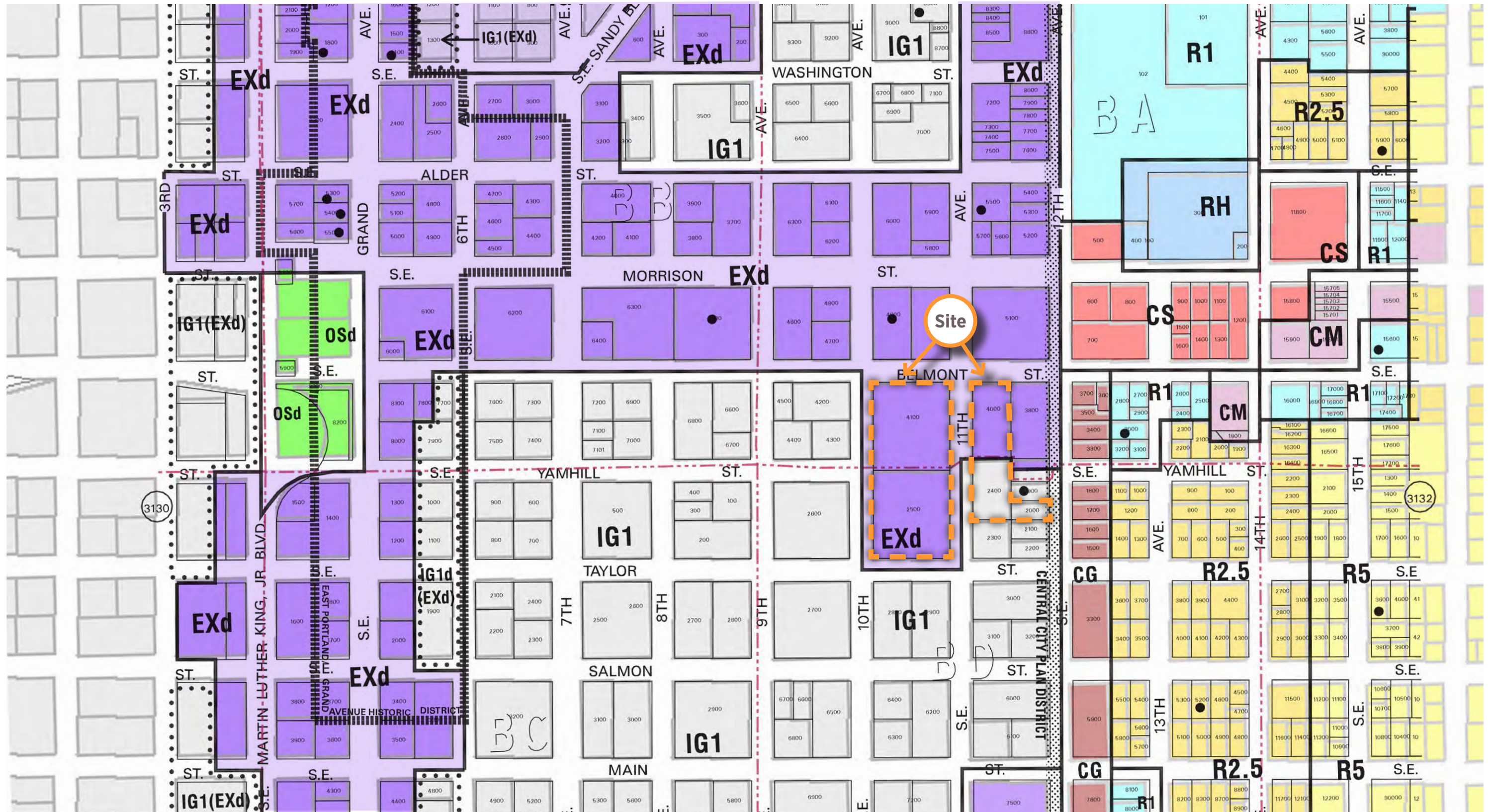
PROJECT SF:	
Residential GSF	231,986 SF
Residential Units	247 Units
Retail GSF	108,824 (Accounts for utility SF)
Retail parking GSF/count	87,421 SF 195 stalls
Residential parking GSF/count	28,652 SF 152 stalls
347 Stalls (Total Not including IG site)	

PROJECT SF:	
Super block	401,922 SF
North OEG	54,961 SF (EXd zone only)

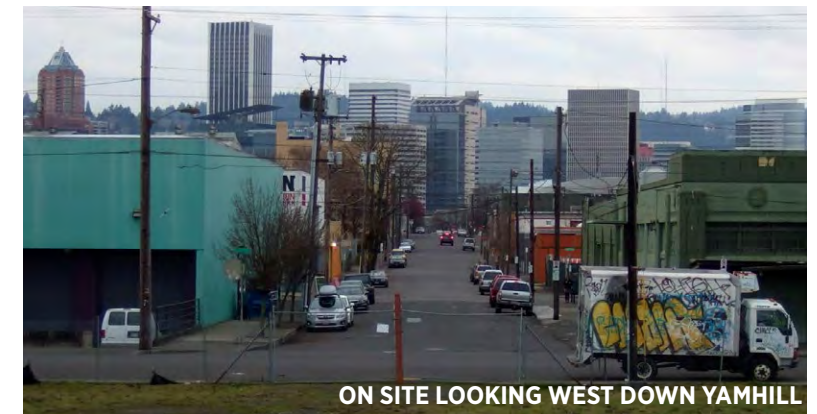
TOTAL PROJECT SF 456,883 SF

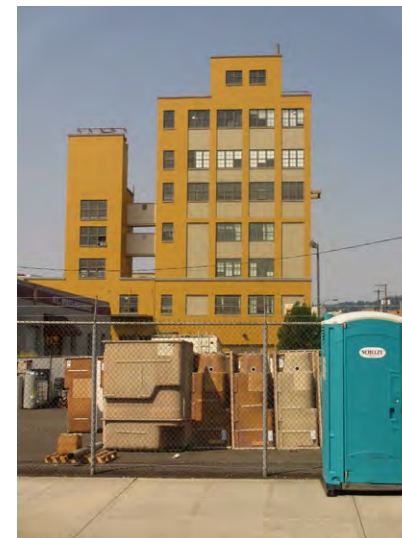
PUBLIC SPACE	
Superblock	12,400 SF (outside space)





...those 'Goat Blocks'

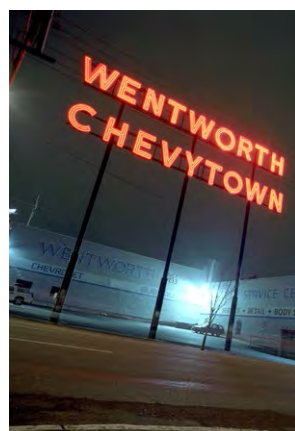
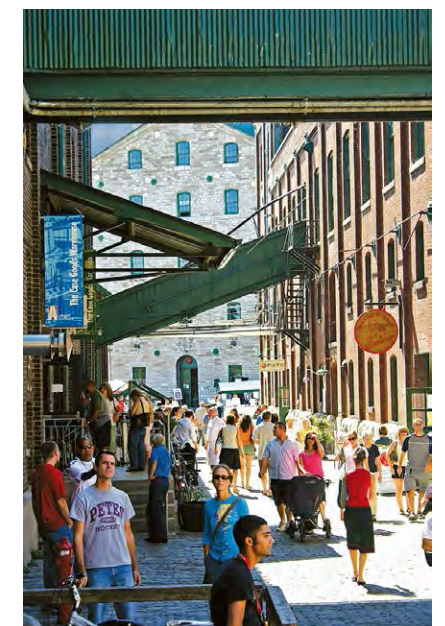




INSPIRED BY THE NEIGHBORHOOD



LOOKING TO THE FUTURE



INSPIRED BY THE HISTORY





Zoning Context

The Peninsula Effect

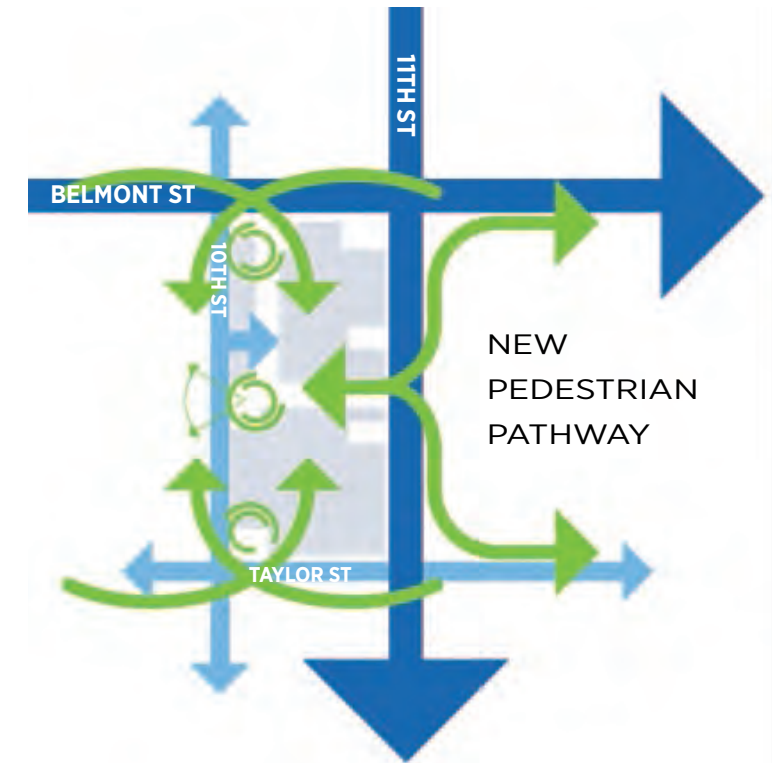
Over two thirds of the project site's frontage (800' of 1,200') borders the adjacent IG1 Zone.



The IG Wall

One Sided Streets - 10th, Taylor, 11th

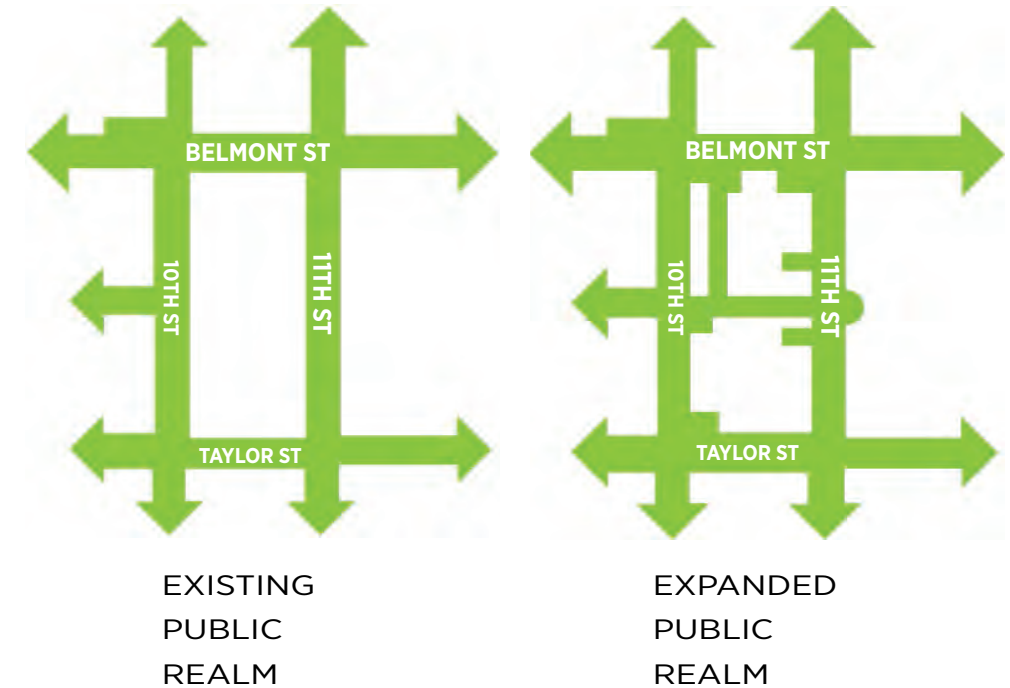
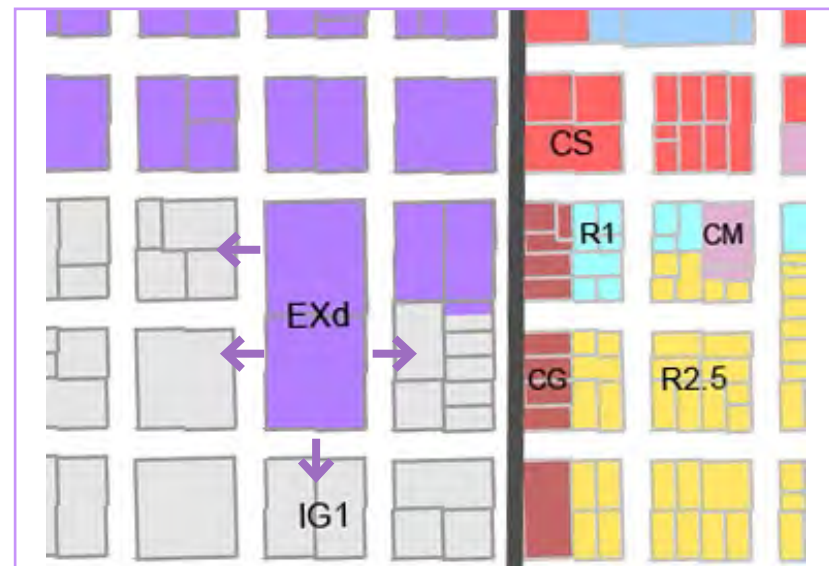
Potential for incompatible use and development standards.

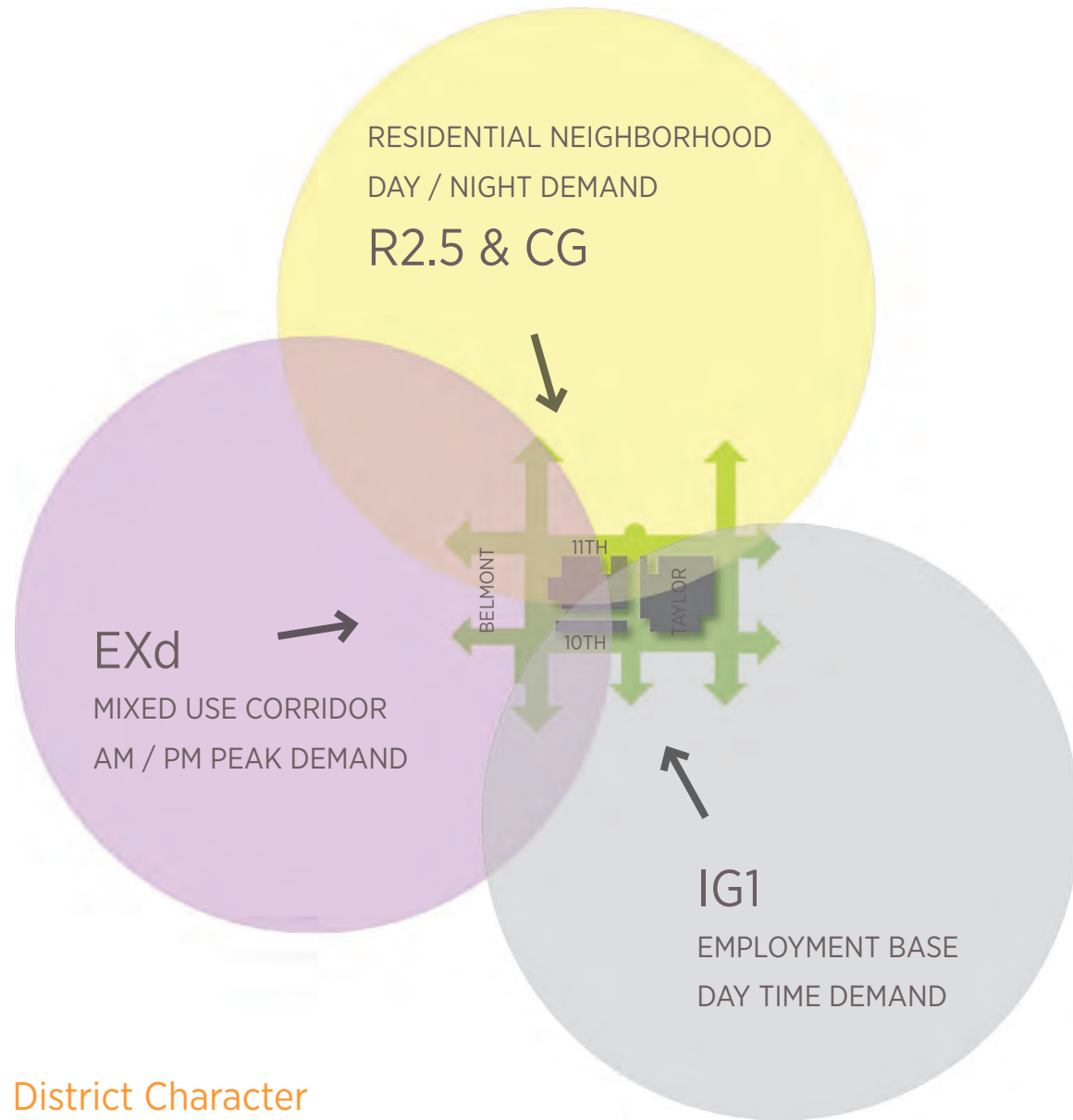


Movement Patterns

New Pathways

Enhance Existing / Create New





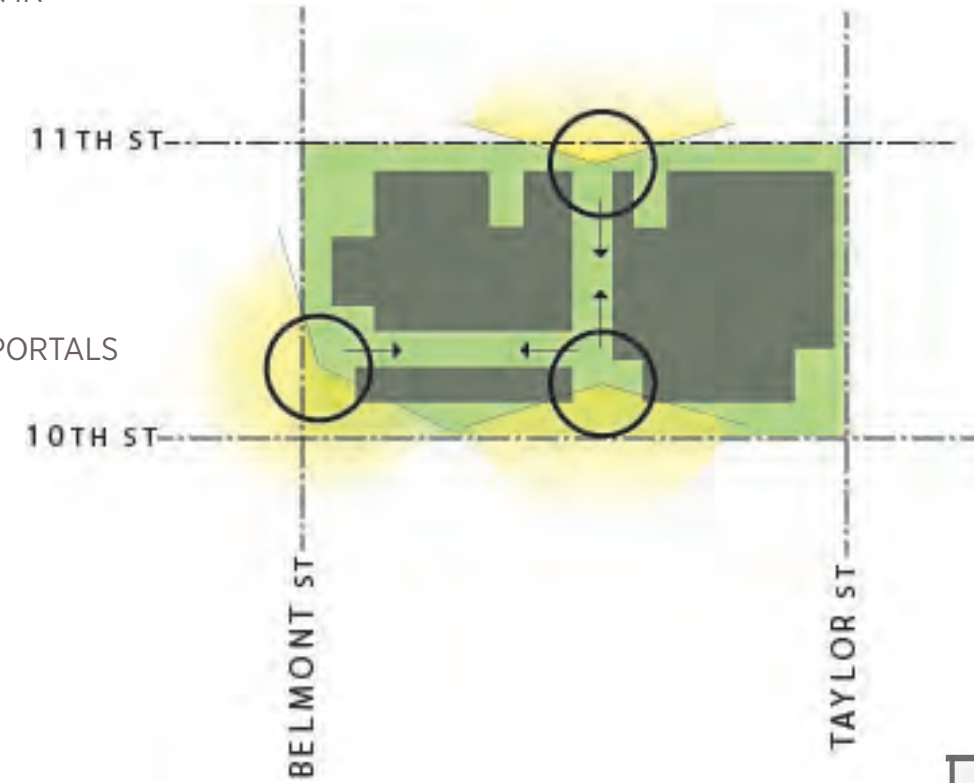
**District Character
Cultural Convergence**

Three distinct neighborhoods converging on the goats represents 24/7 draw potential.

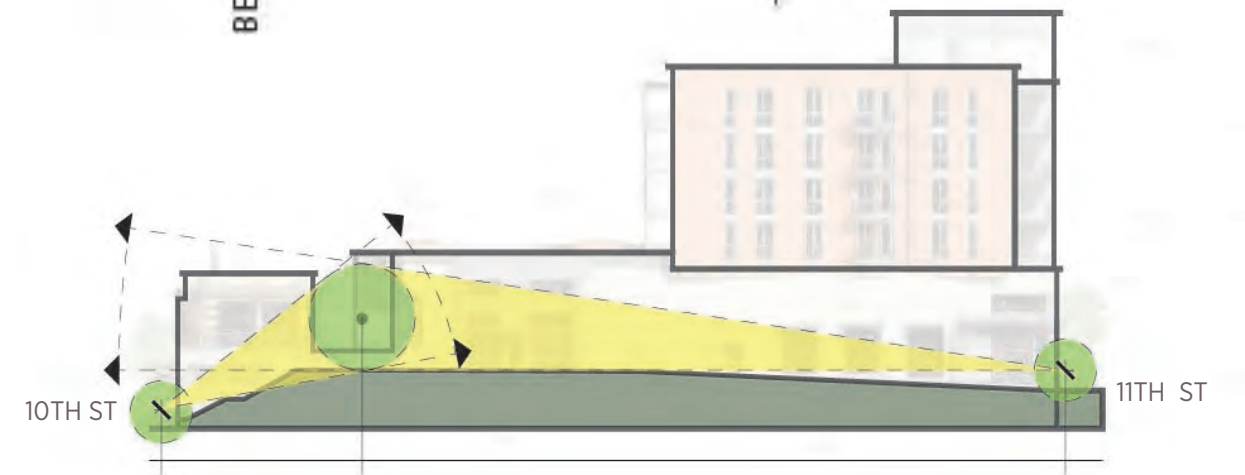
The Importance of Grade - Ascending Views & Uplifted Procession

VERTICAL PLACE-MAKING / UP & IN

EXPANDED PUBLIC
CONNECTIVITY -
VISIBLE, WELCOMING PORTALS

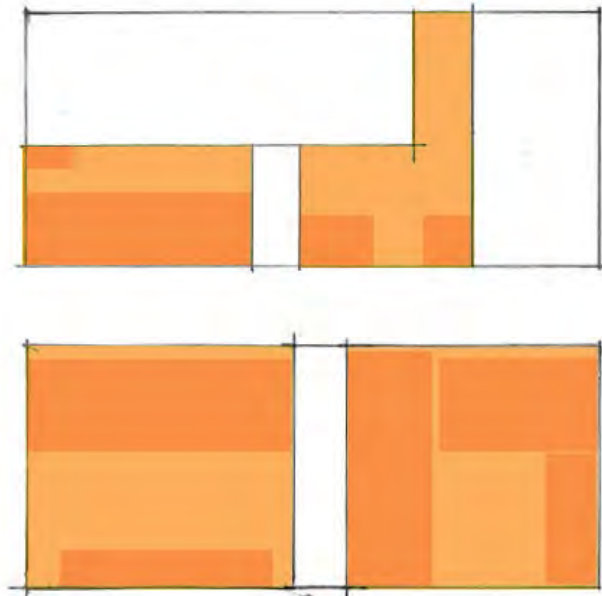


ALLURING VIEWS UP & IN



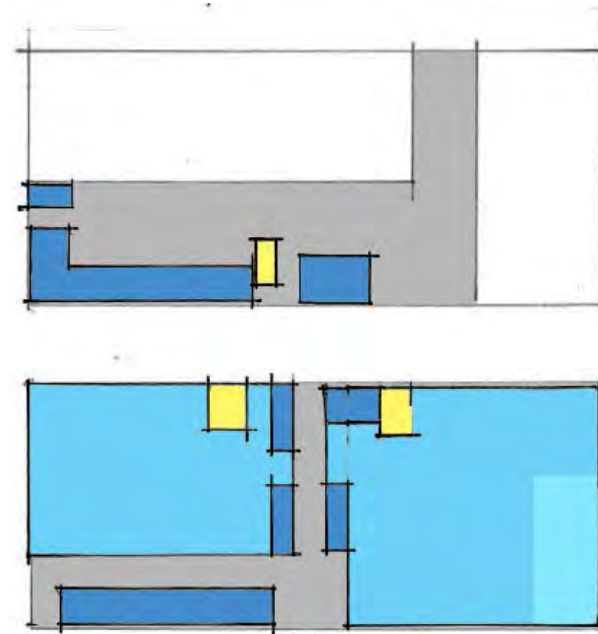
VERTICALLY LAYERED PUBLIC
REALM





Break the Site down into Portland Scaled Blocks

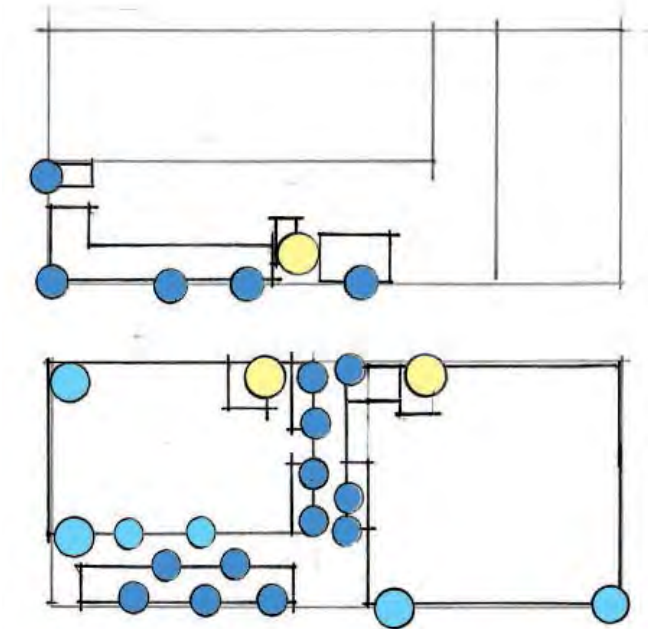
Guideline (A3) Respect the Portland Block Structures



Retail and Residential lobbies throughout project to support vibrant streetscape

Guideline (A8) Contribute to a vibrant streetscape

- Anchor Retail
- Small Retail: Makers & Restaurants, etc.
- Residential Lobbies

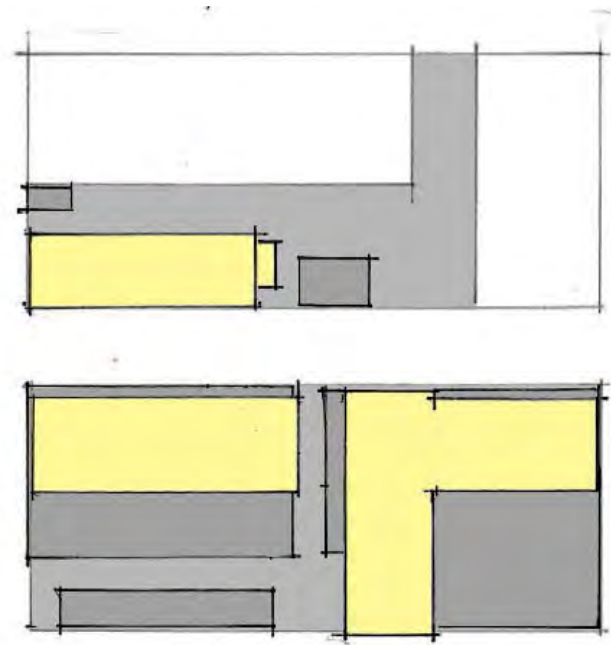


Ground level with multiple uses and entry points create a walkable place.

Guideline (B1) Reinforce and enhance the pedestrian system

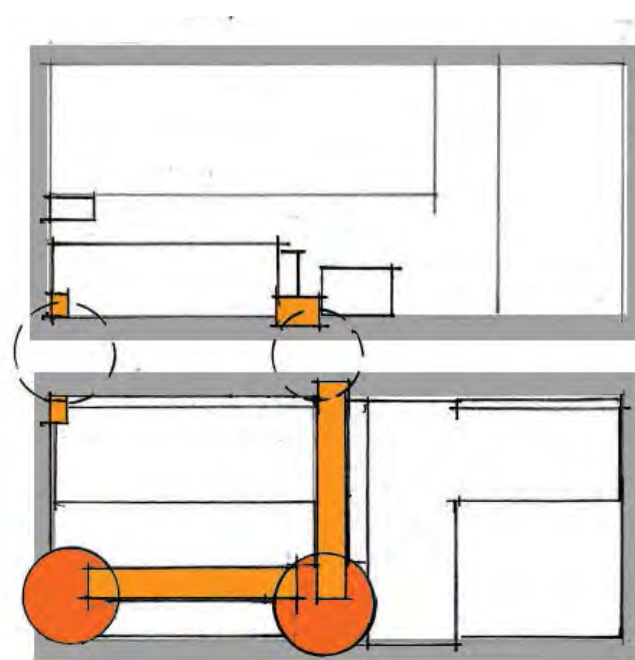
- Anchor Retail
- Small Retail: Makers & Restaurants, etc.
- Residential Lobbies





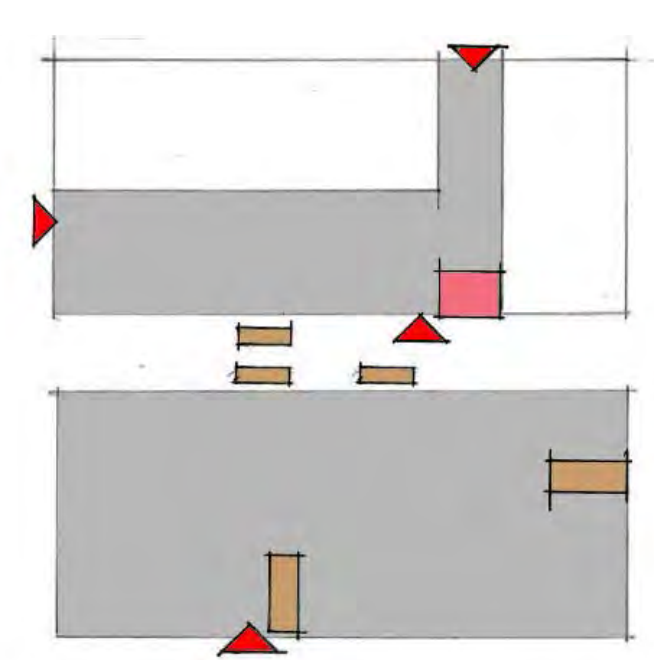
Housing on upper floors contributes to an active 24/7 place.

Guideline (A8) Contribute to a vibrant streetscape



Connected Outdoor Public Urban spaces

Guideline (B5) Make Plazas, Parks, and Open Space Successful



Parking Entries, Building Loading and Mechanical

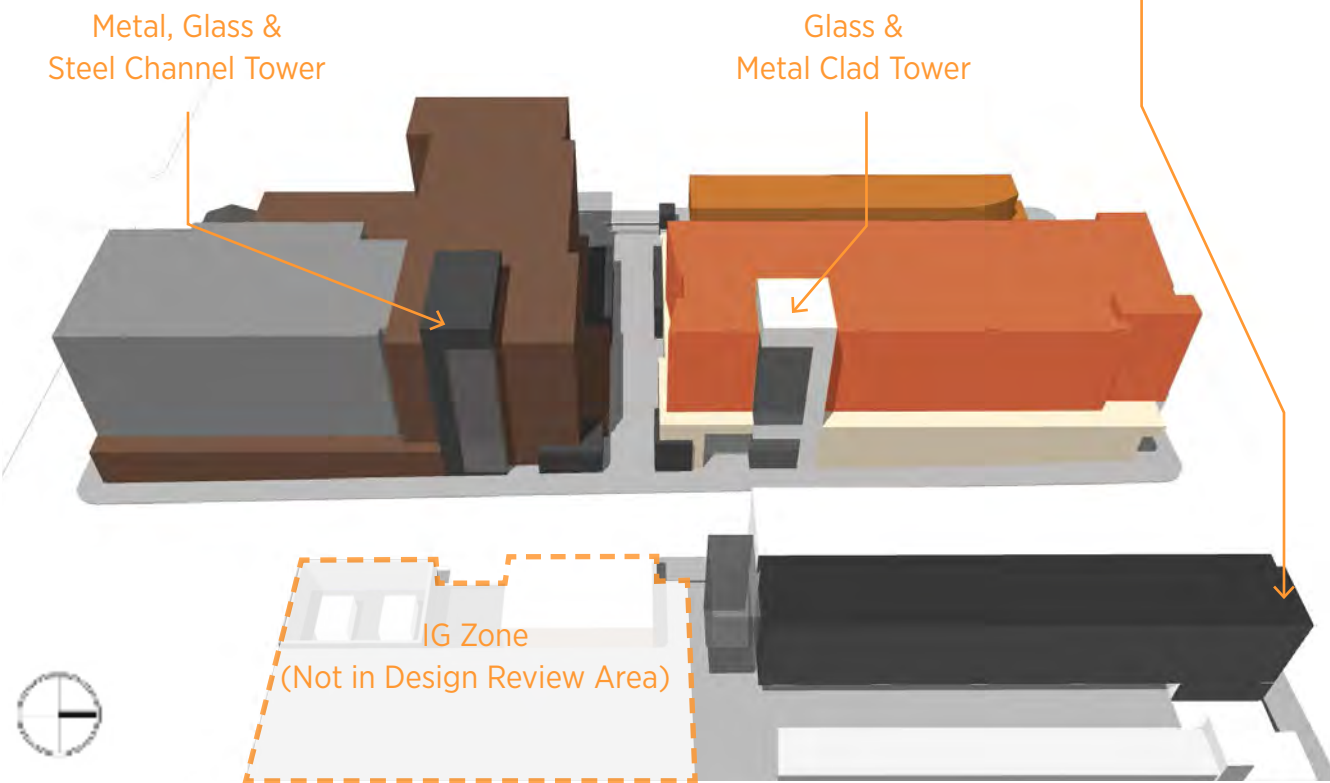
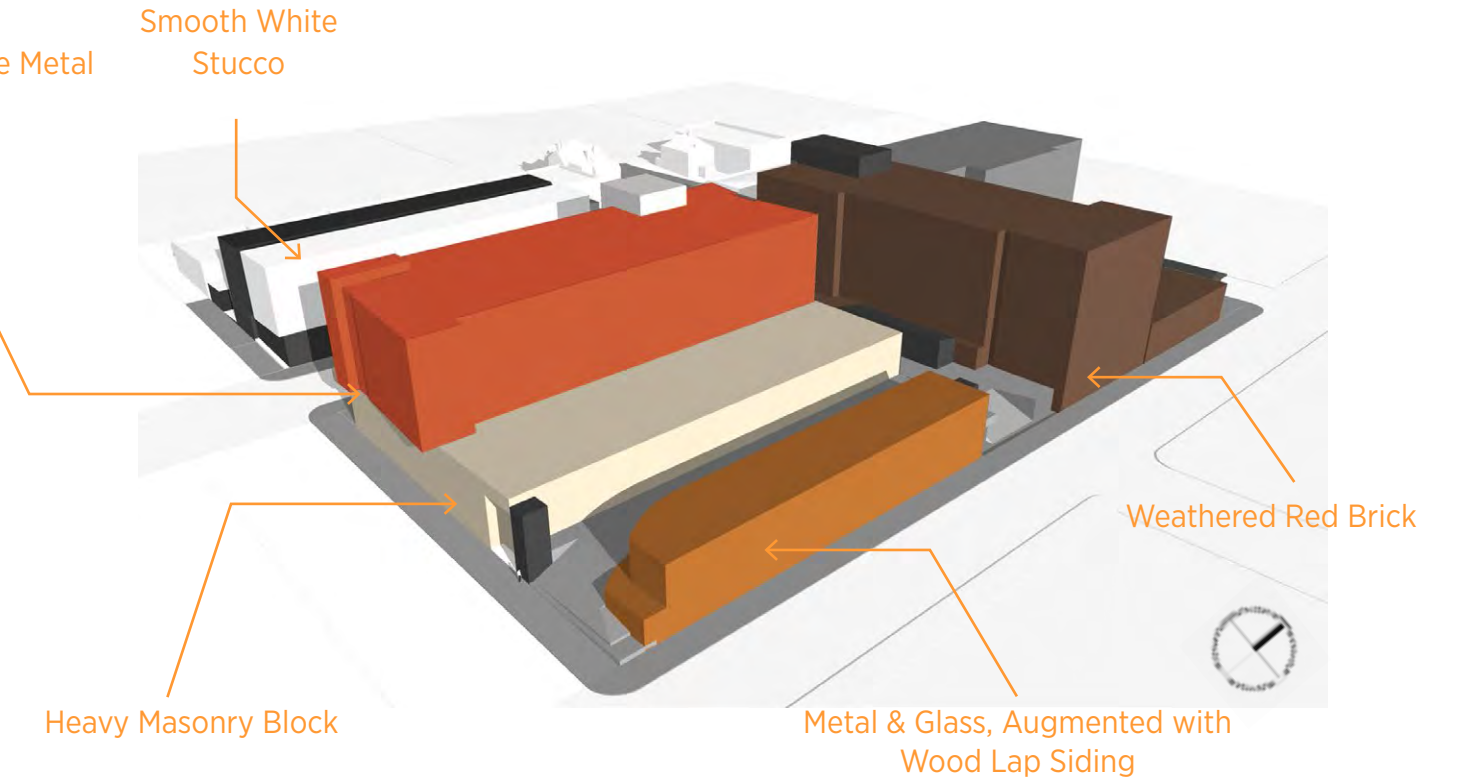
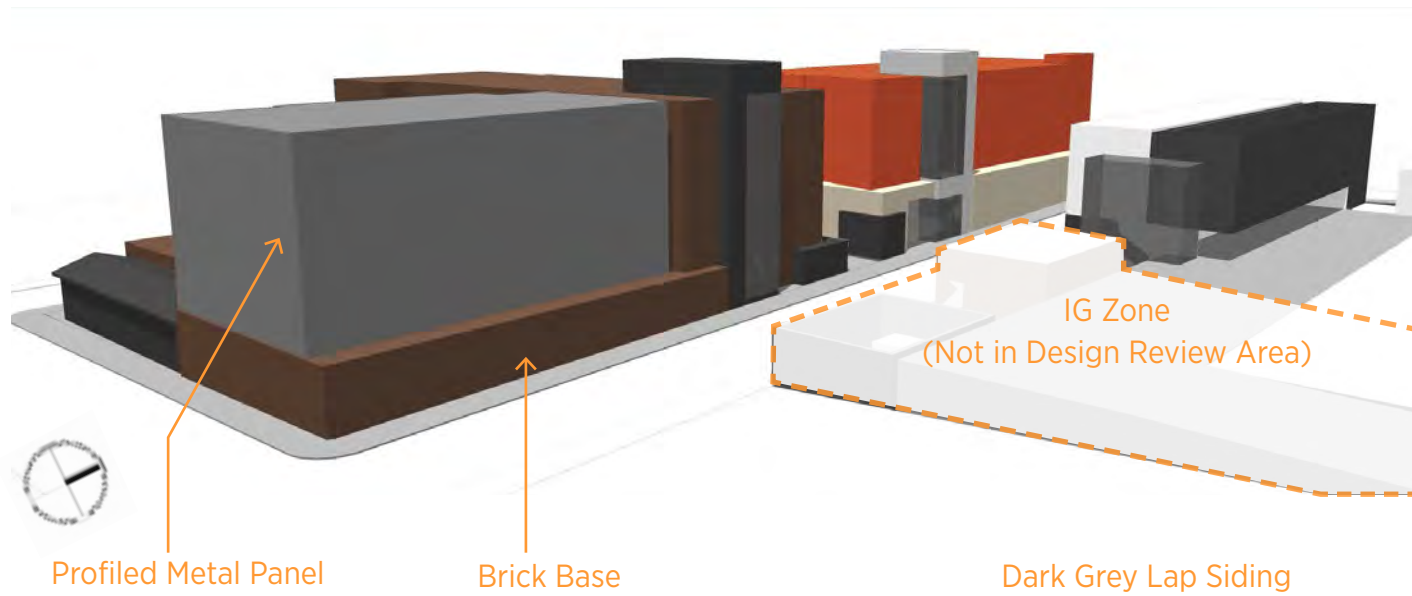
Parking and Building entries have been located to meet (B2) Protect the Pedestrian, (B3) Bridge Pedestrian Obstacles.

- Parking Entries
- Loading



C.11 Cladding Concept Diagrams

Just like the CEID, this development is meant to be a balance of juxtapositions. Contrasts in color, scale and texture are part of what makes the Central Eastside so vibrant. These buildings will be reflective of those balanced contrasts.





DESIGN AS PRESENTED AT D.A.R. HEARING 1



What we heard...

Belmont Frontage

- Provide 12' sidewalk (vs. 8' existing)
- Eliminate building setback. Bring out to lot line.
- Make stairs special

Response

- Remove colonnade bring grocery store out
- Extend retail out to Belmont
- Shape retail and stair to open up market space beyond

Yamhill Alley

- Remove grade difference as much as possible
- Try to remove stairs on 11th (9'-6" vertical travel)
- Be 'authentic' about those spaces
- Activate with retail

Response

- Lower Yamhill; no steps from 11th
- ≈9'-6" stairs with city view from Yamhill to 10th
- Add storefronts to both sides

DESIGN AS PRESENTED AT D.A.R. HEARING 2



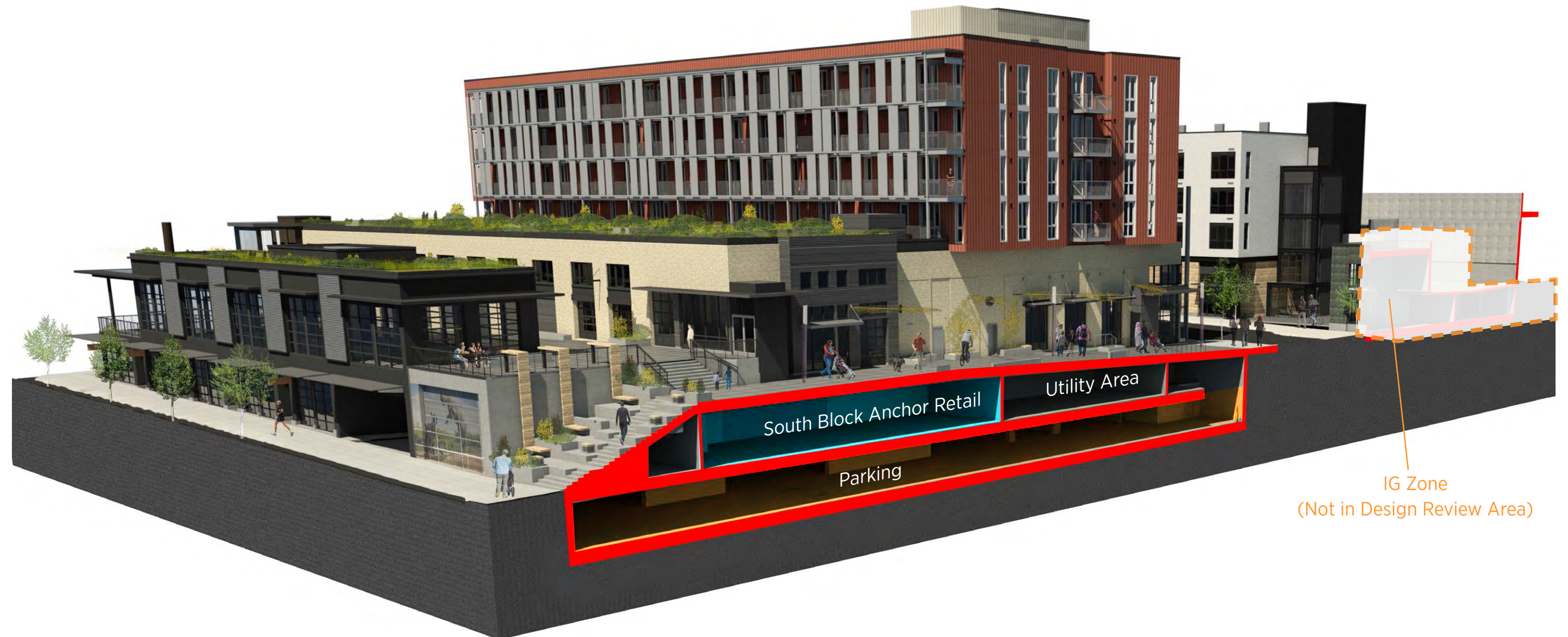
- Add small retail on Belmont
 - Enliven the Stair
- Bring West Building out to Belmont Street
- Change marketing building cladding / wood not durable



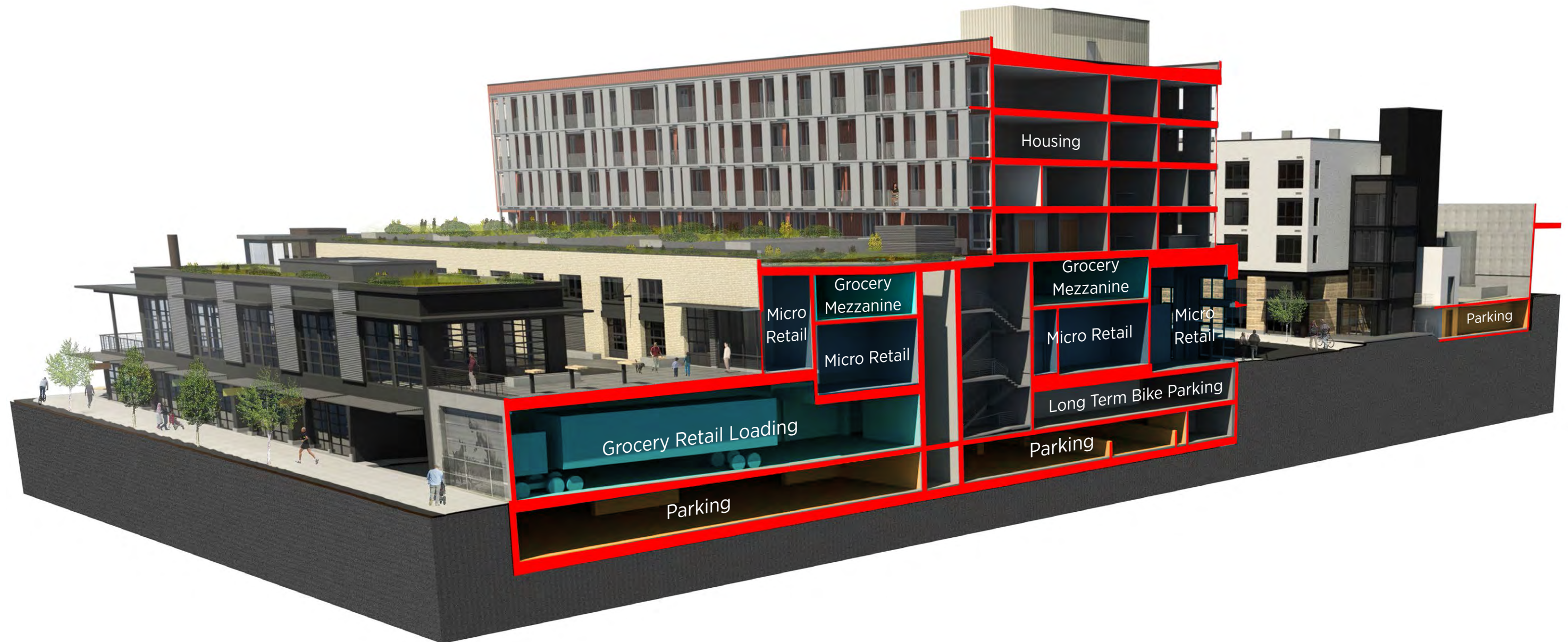
What we heard...

- Cover the eastern site parking
- Study taper window head
- Open up/more inviting entry at 11th/Belmont
- Move Grocery west to SE 10th
- Add small retail on SE 11th
- North Building
- Let north residential use podium
- Change color of north building metal panel
- Explore different window sizes
- Refine SE corner

- Activate SE Taylor Elevation
- Move Grocery Loading south of Yamhill
- Eliminate ramps & stairs where possible
- Eliminate exterior elevators
- Improve garden building or make garden building integrate into main structure













Areas designated for RACC art installation











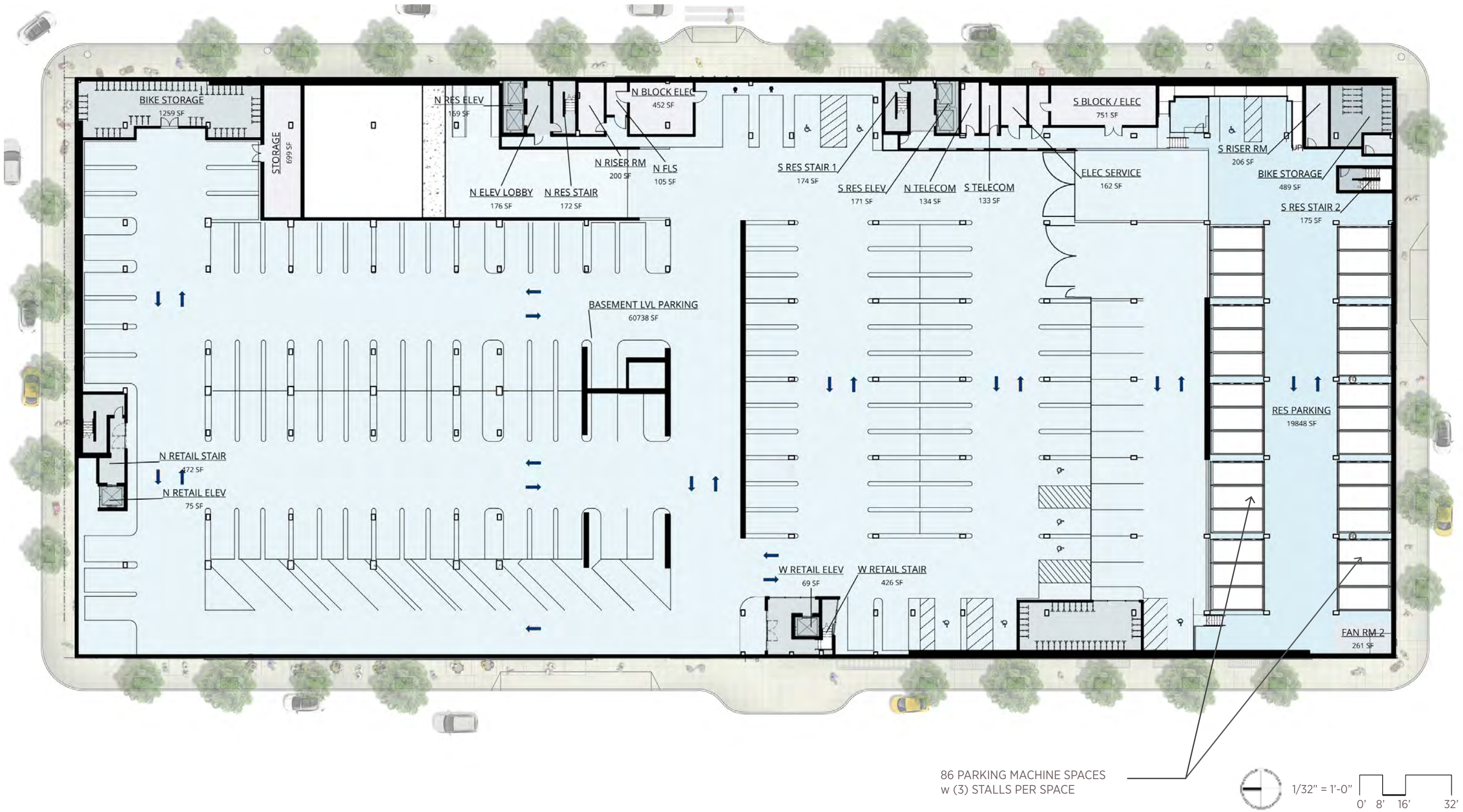




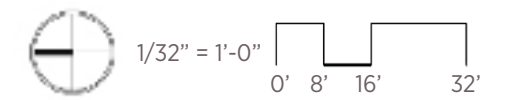


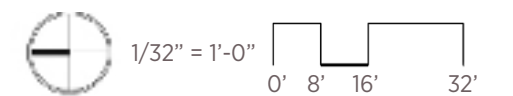


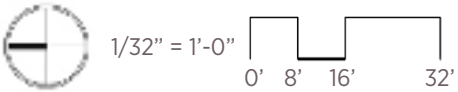
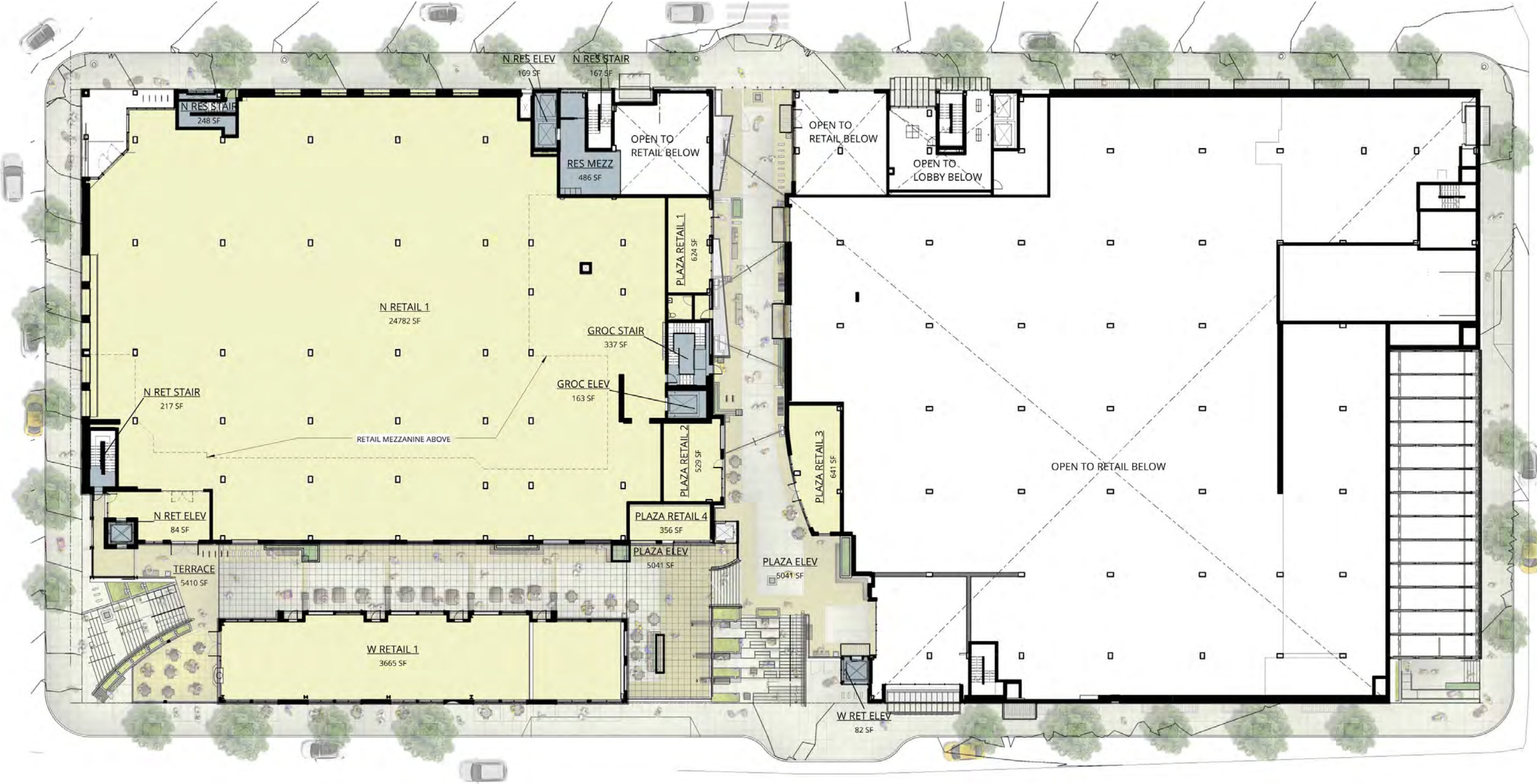


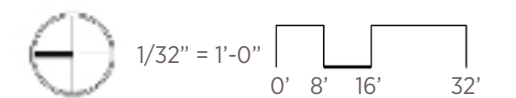
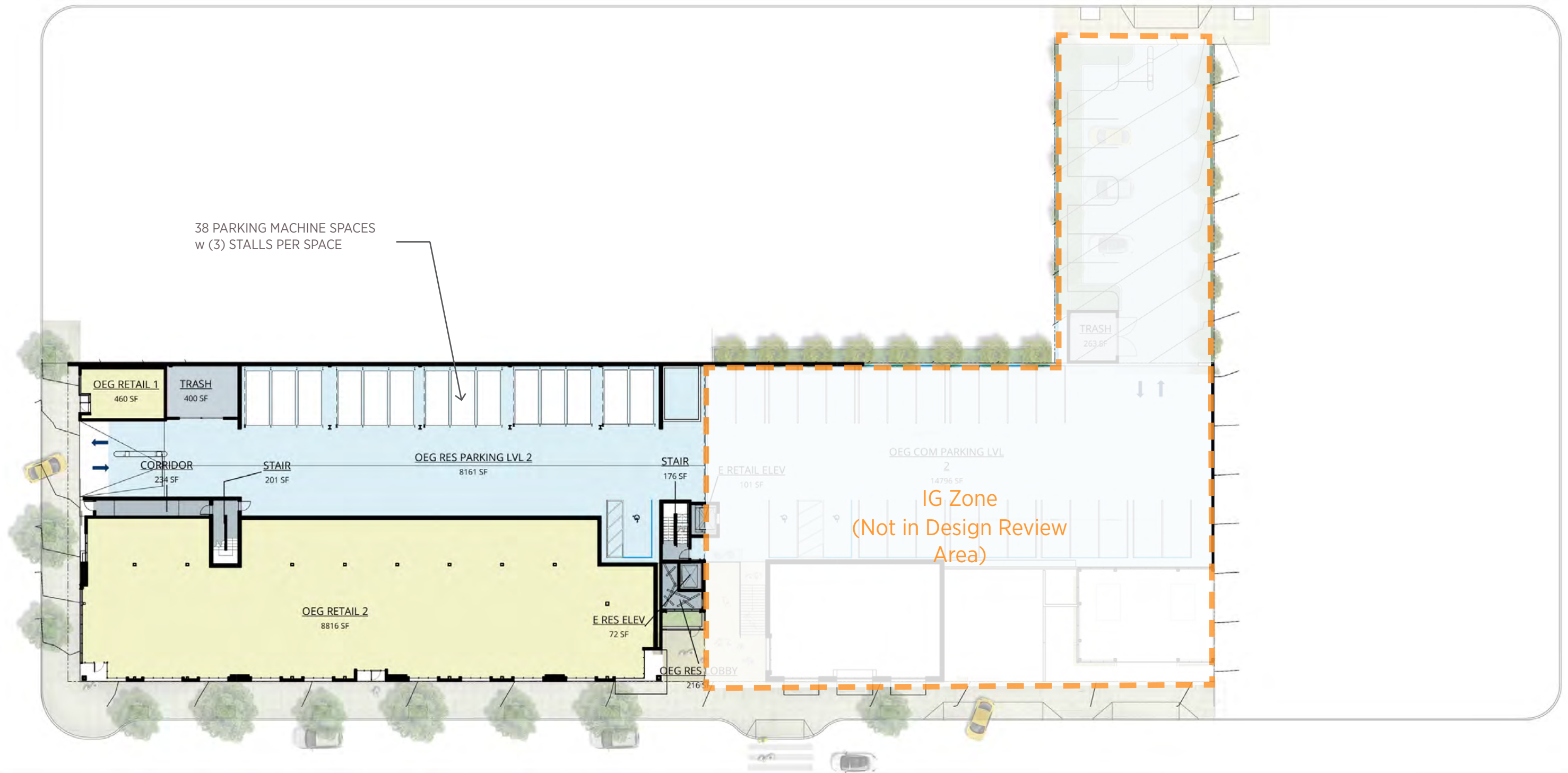


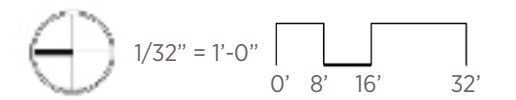
86 PARKING MACHINE SPACES
w (3) STALLS PER SPACE

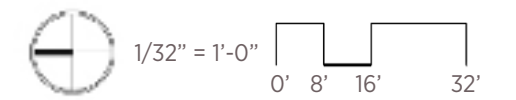
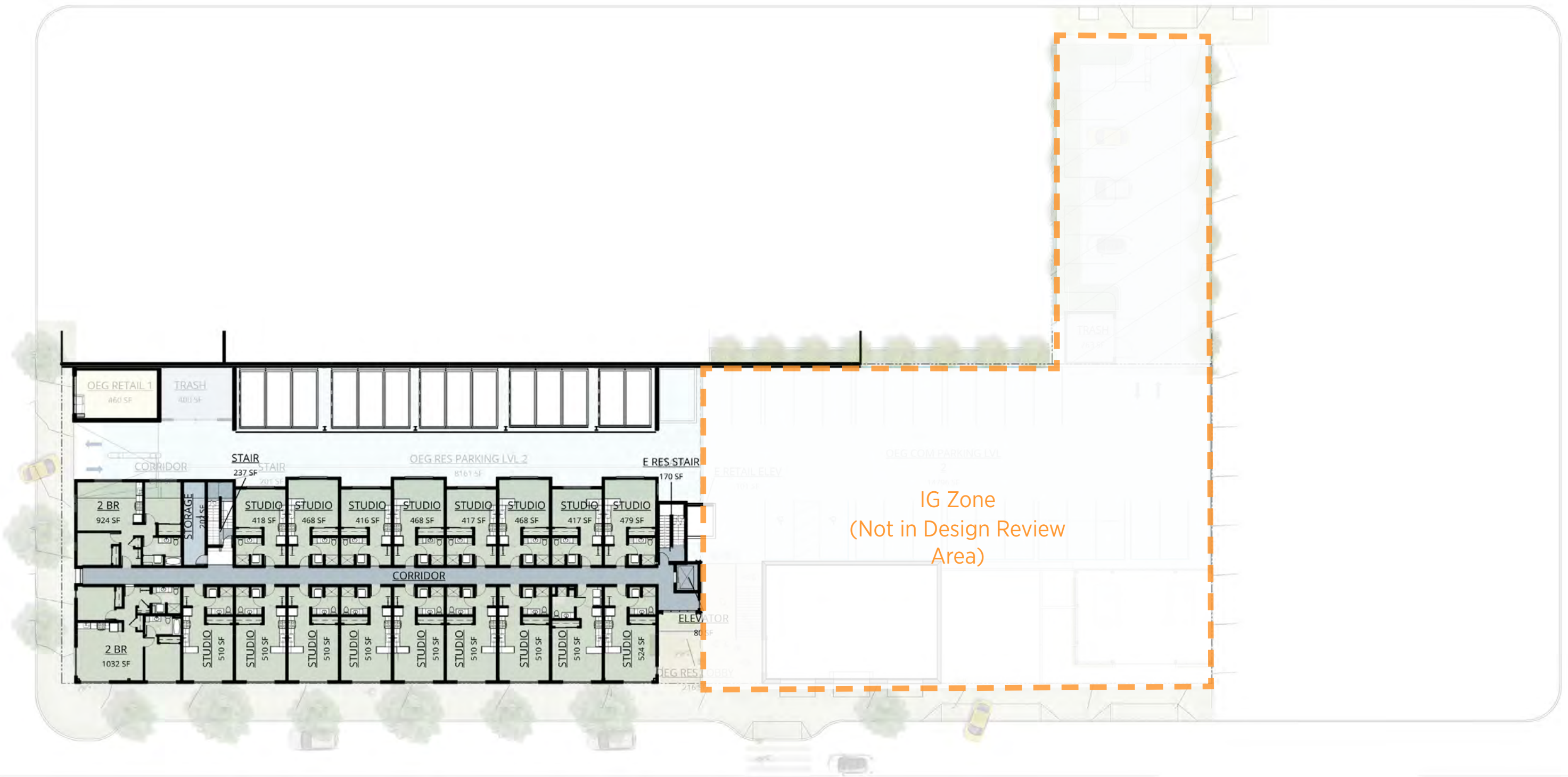


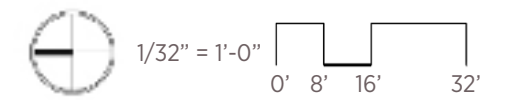


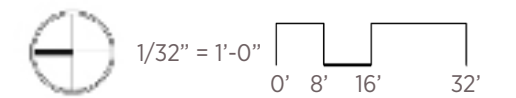
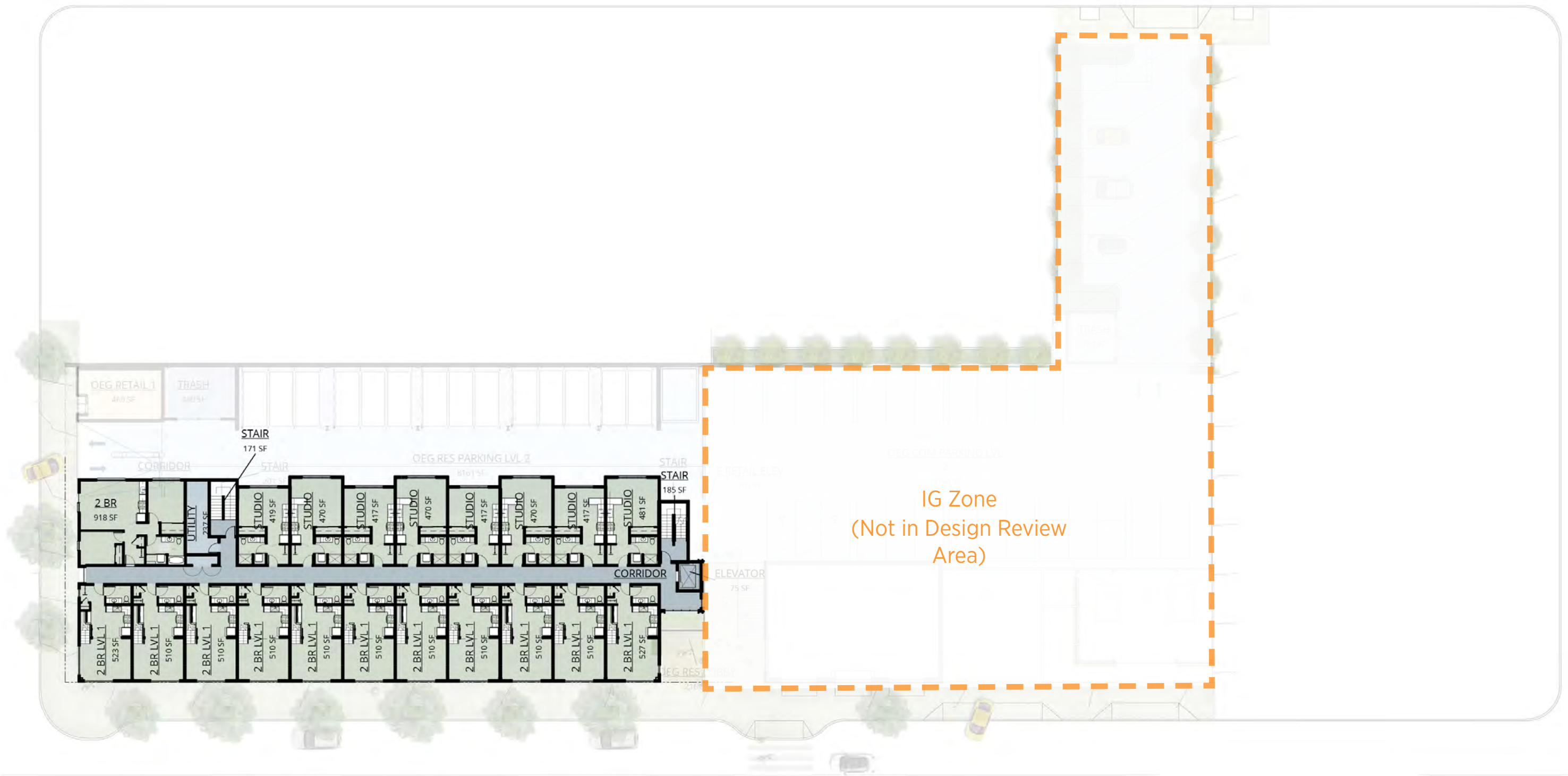


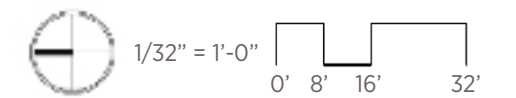
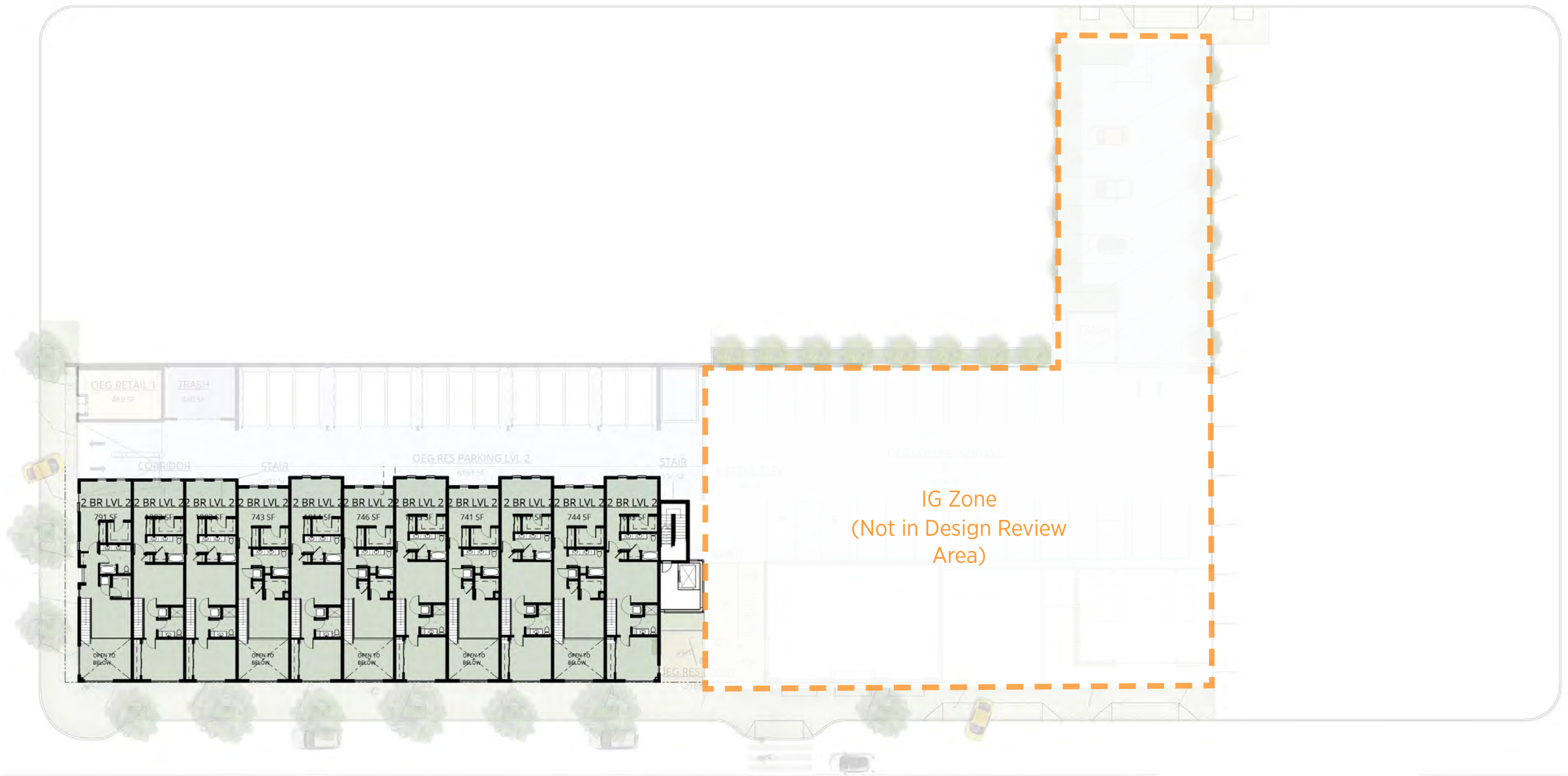


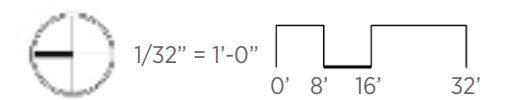
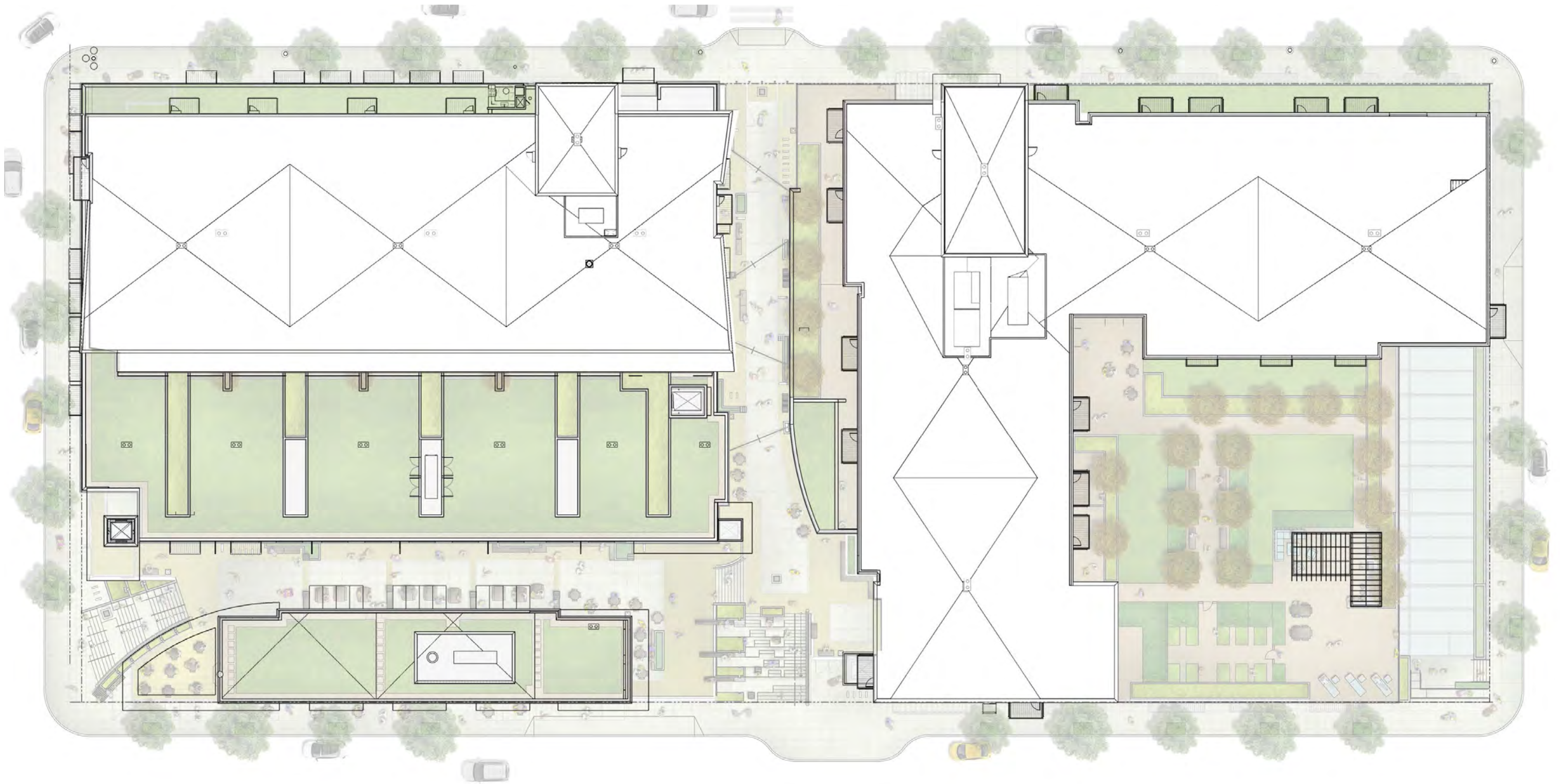


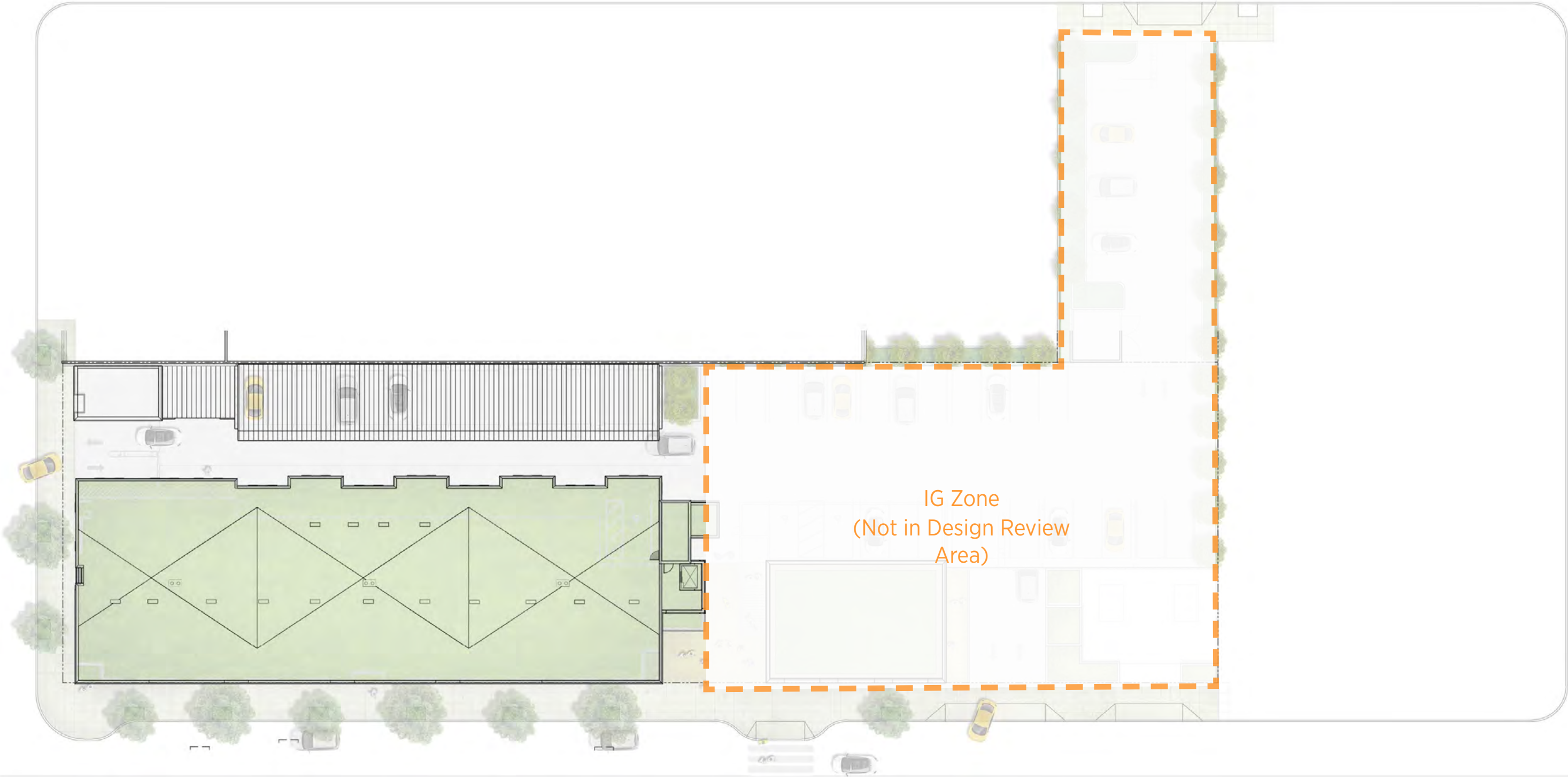




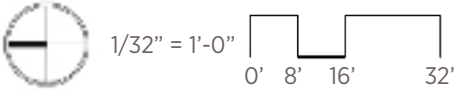




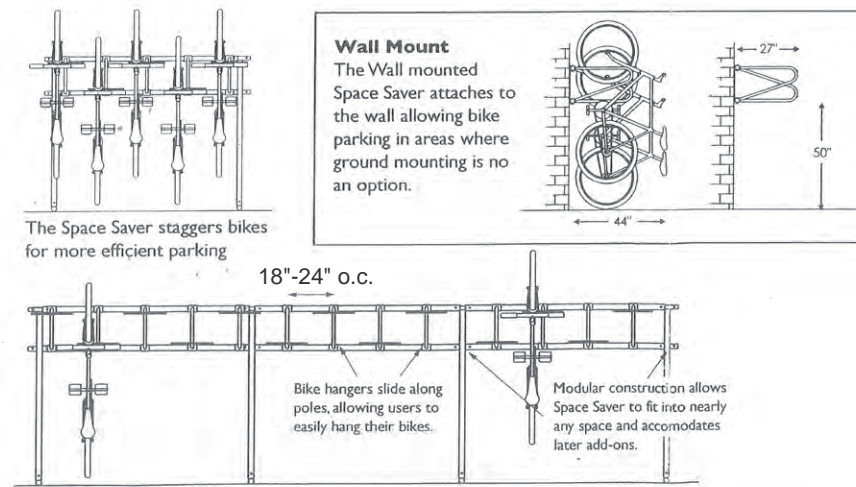
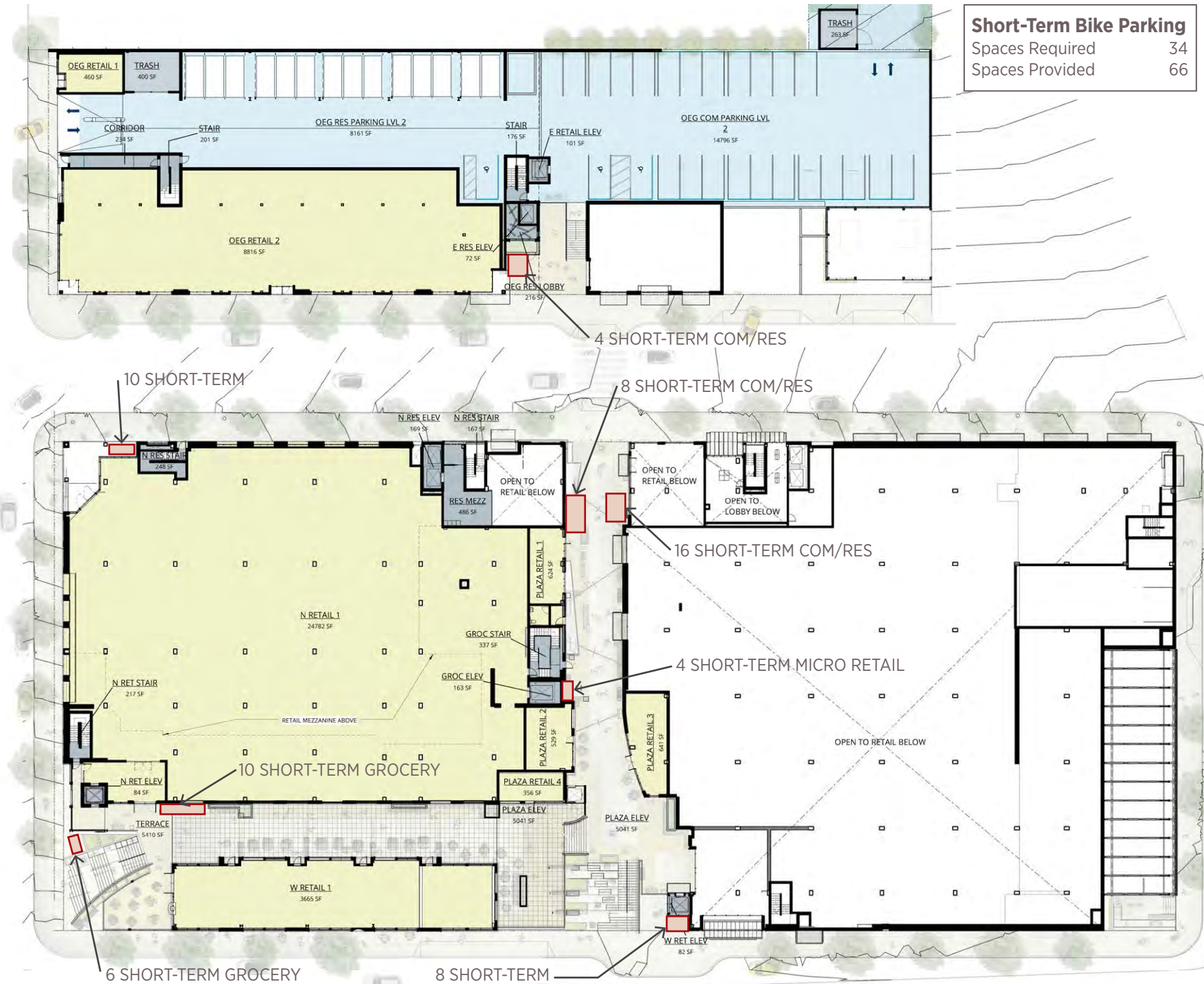




IG Zone
 (Not in Design Review
 Area)



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Standards for Bicycle Parking:

A space 2'-0" by 6'-0" must be provided for each required bicycle parking space.

Required Bicycle Parking:

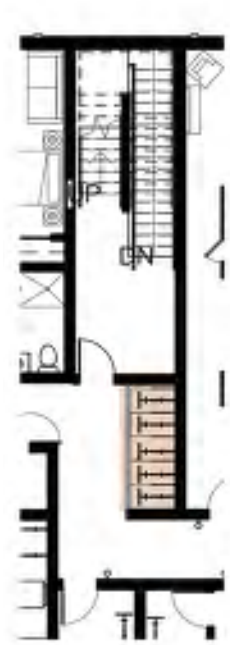
There are 247 apartments in The Goat Blocks. 371 bicycle parking spaces are required. An additional 12 bicycle parking spaces are required for the Retail uses of the site.

The required bicycle can be provided in the space shown by providing:

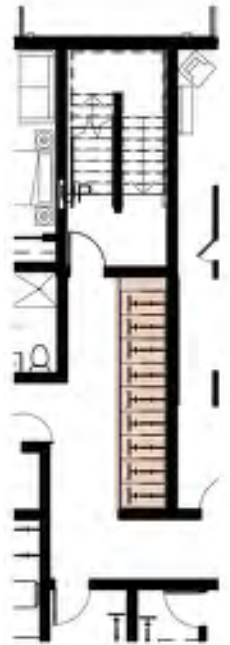
North Residence	Corridor	In Units		
Level 2-4	27	63		
Level 1	9	18		
Total	36	81	=	117
South Residence	Corridor	In Units		
Level 2-5	48	102		
Level 1	--	24		
Total	48	126	=	174
East Residence	Corridor	In Units		
Level 1	--	18		
Level 2	--	20		
Total	--	38	=	38
Mezzanine	75	-		
Basement North (Commercial)	54	-		
Basement South (Commercial)	18	-		
Total	181		=	181
Total Long-Term Bike Parking Provided			=	510

Short Term Bike Parking Plan

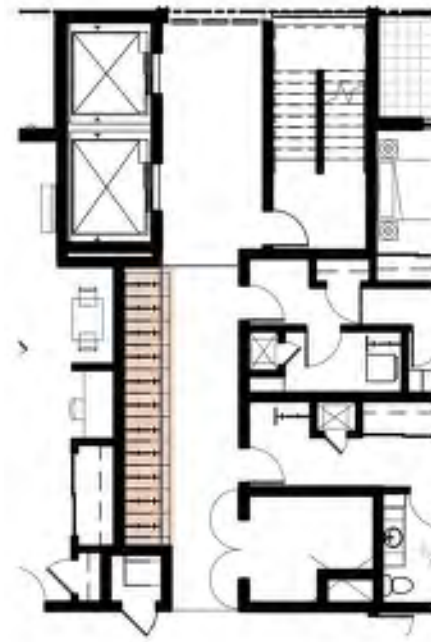
N.T.S.



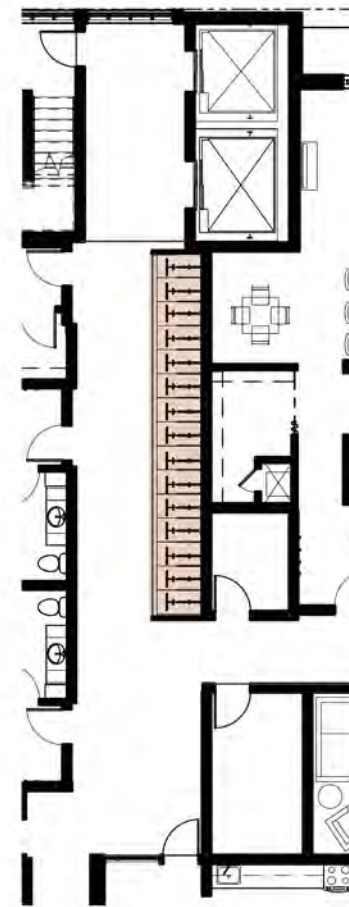
N Bldg, N Stair Resident Lvl 1 - Bike Parking
1/16" = 1'-0"



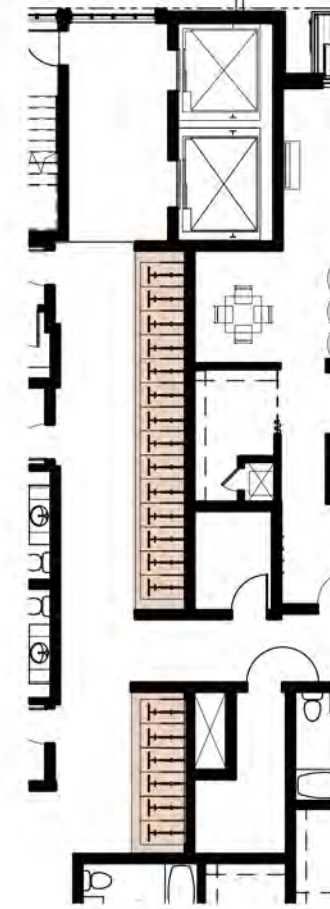
N Bldg, N Stair Typical - Bike Parking
1/16" = 1'-0"



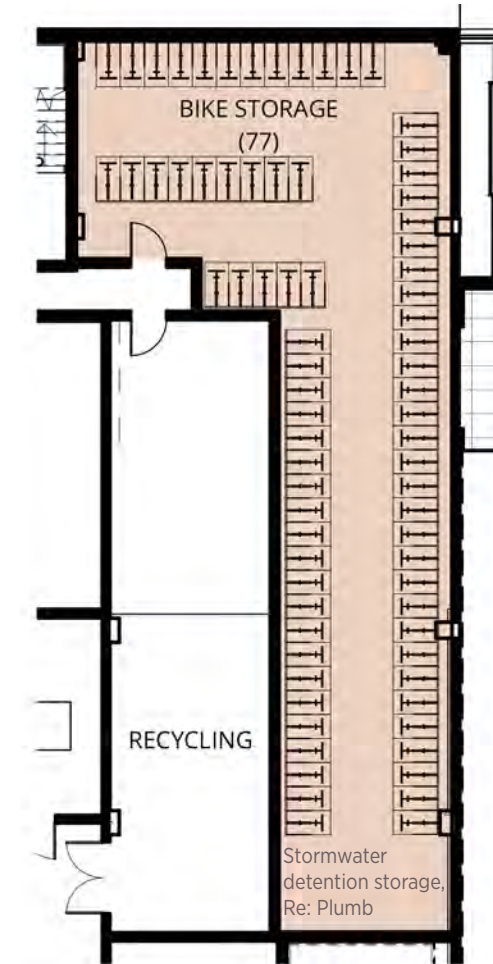
N Bldg, S Stair - Bike Parking
1/16" = 1'-0"



S Bldg, Stair Resident Lvl 1 - Bike Parking
1/16" = 1'-0"



S Bldg, Stair Typical - Bike Parking
1/16" = 1'-0"



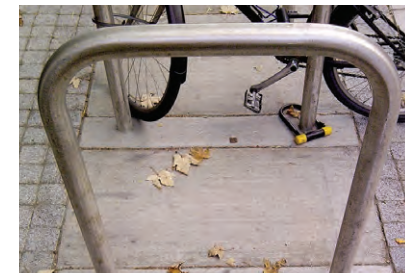
N Bldg Mezzanine Resident - Bike Parking
1/16" = 1'-0"



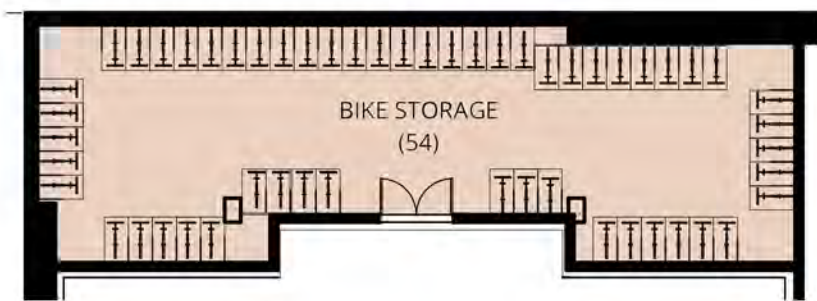
Basement Level Bike Storage



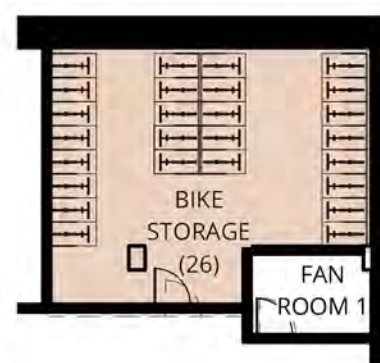
Typical Long-Term Wall Rack



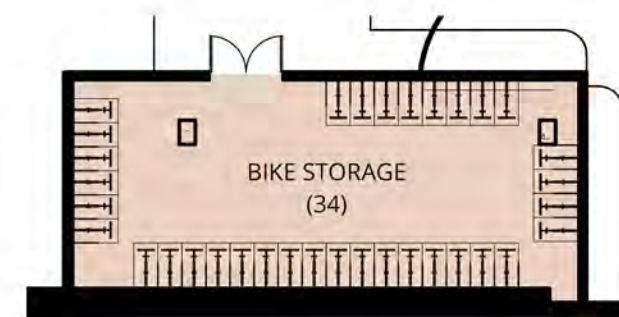
Typical Short-Term Wall Rack



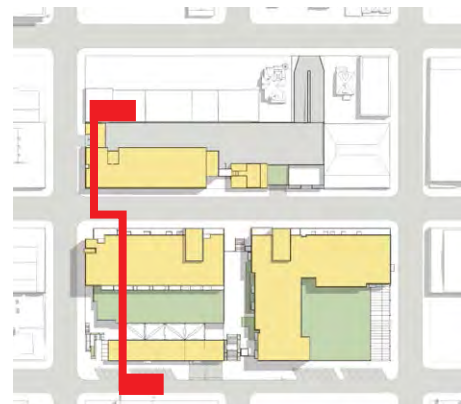
Basement Lvl, N Commercial - Bike Parking
1/16" = 1'-0"



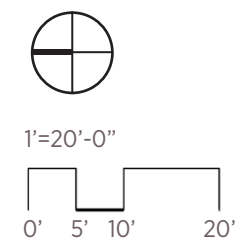
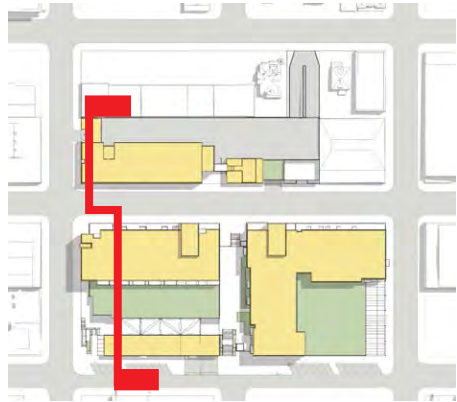
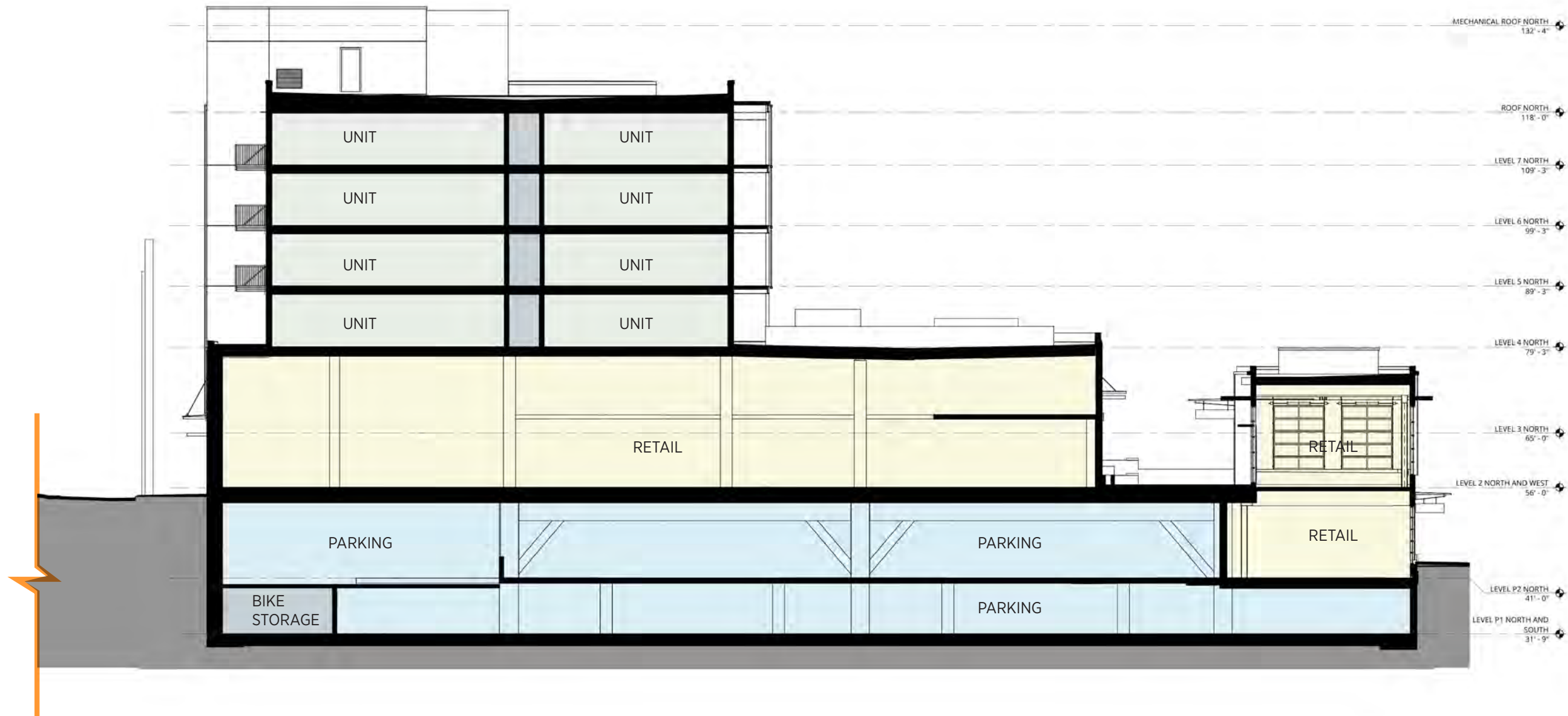
Basement Lvl, SE Resident - Bike Parking
1/16" = 1'-0"



Basement Lvl, SW Commercial - Bike Parking
1/16" = 1'-0"

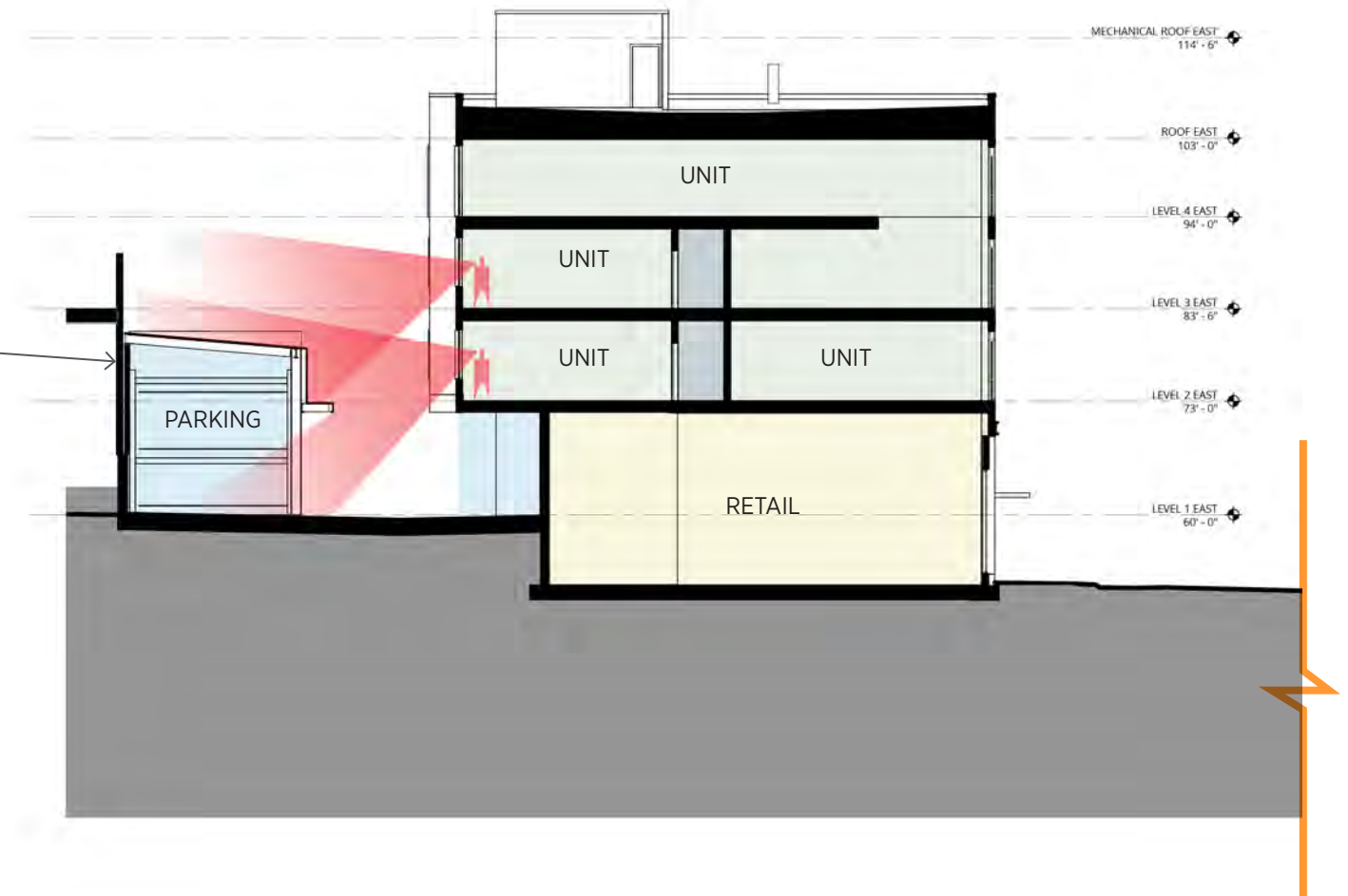


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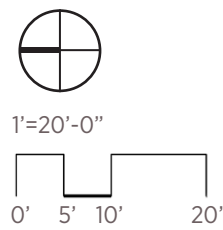


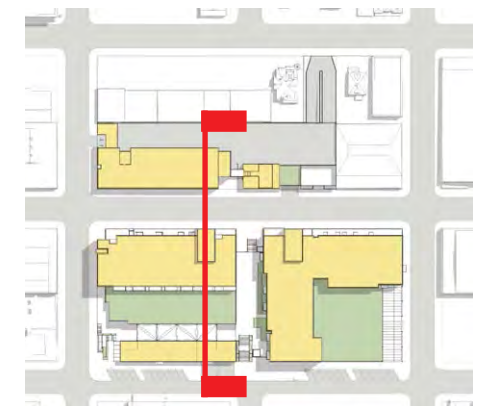
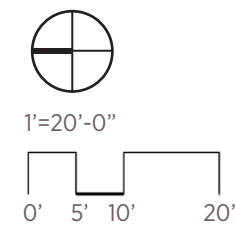
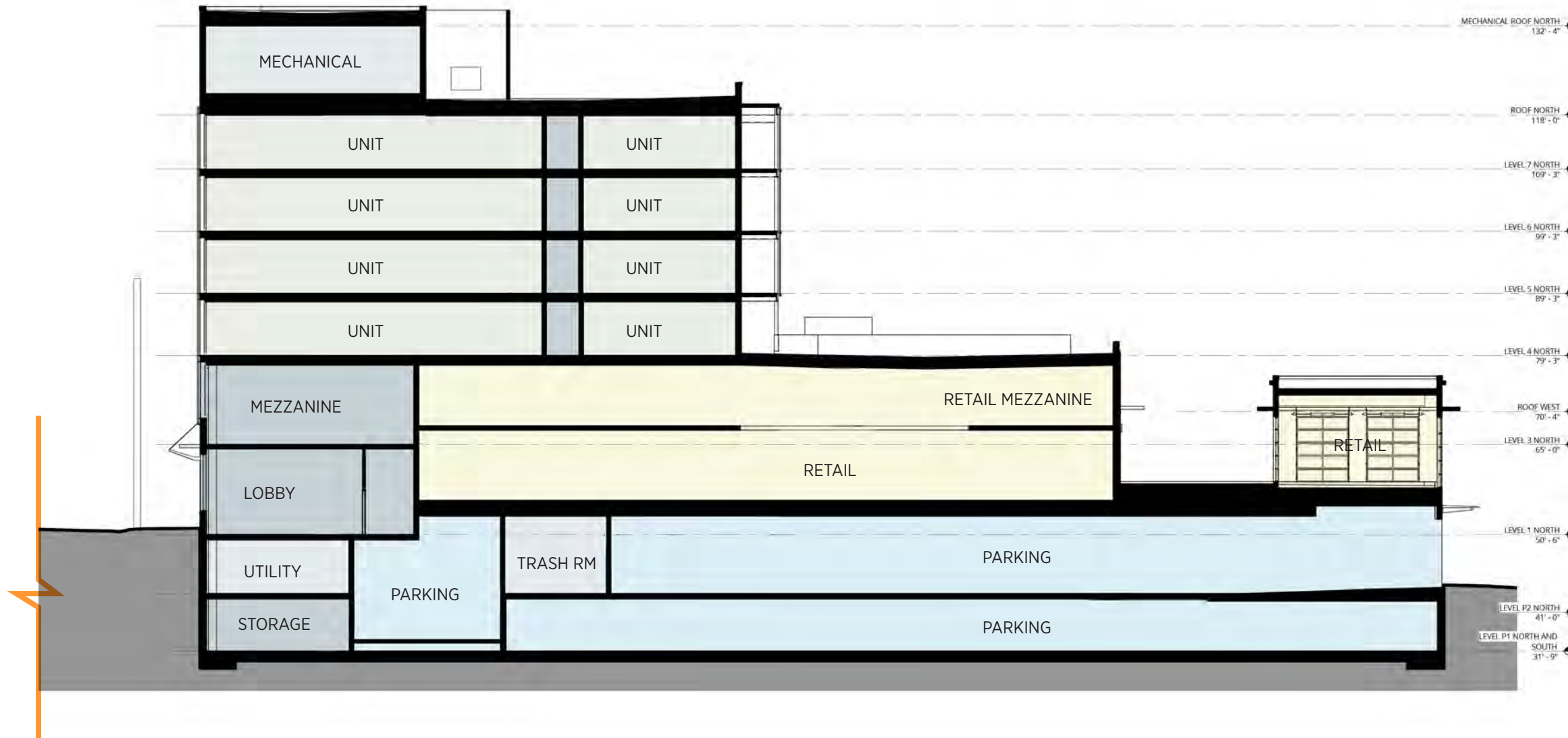
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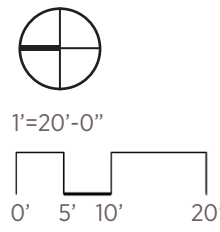
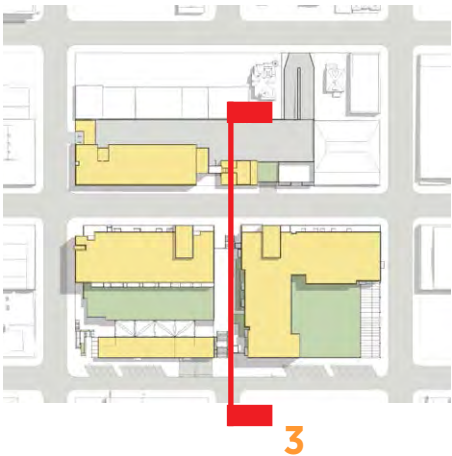
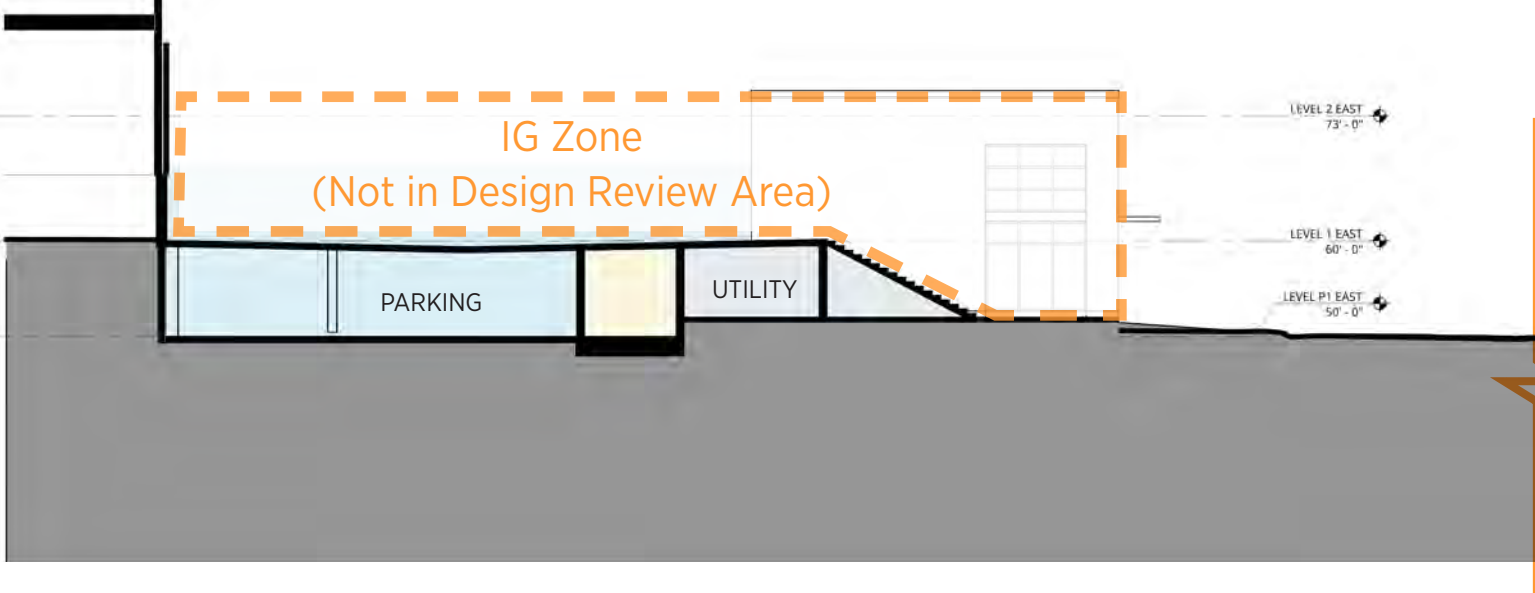
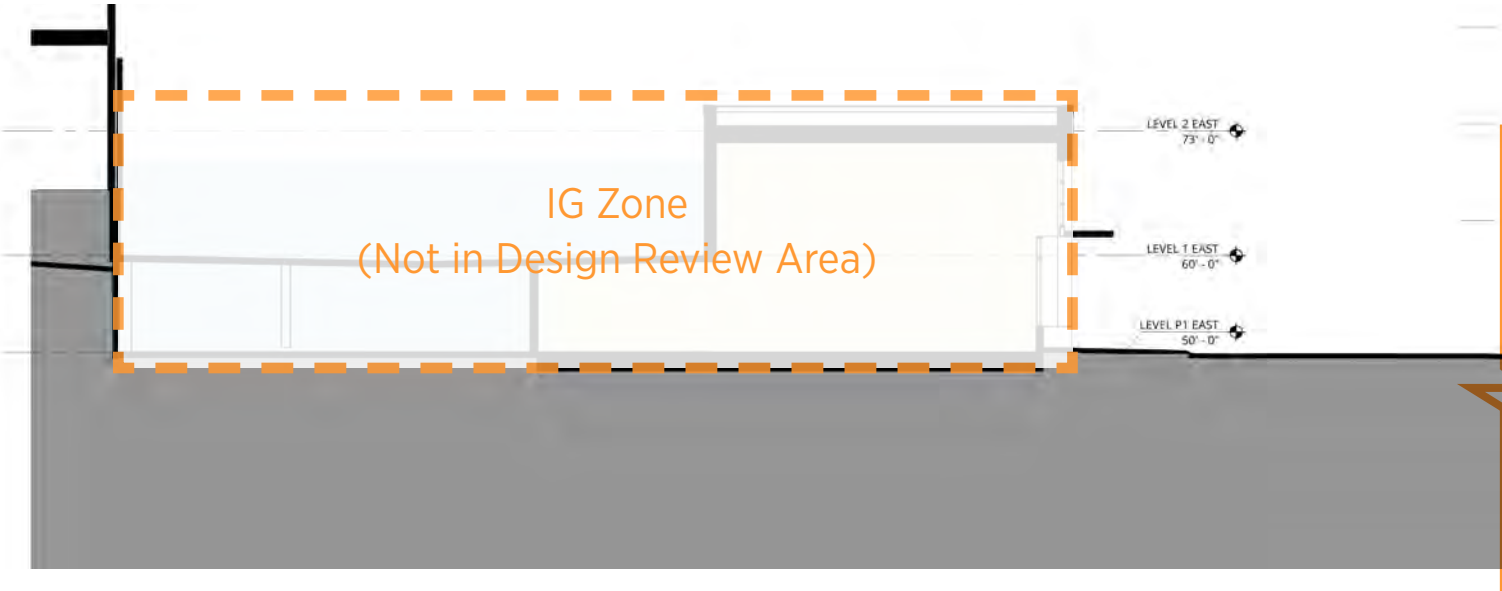
See sheets 21-23 for more information on the vehicle lift system and parking structure

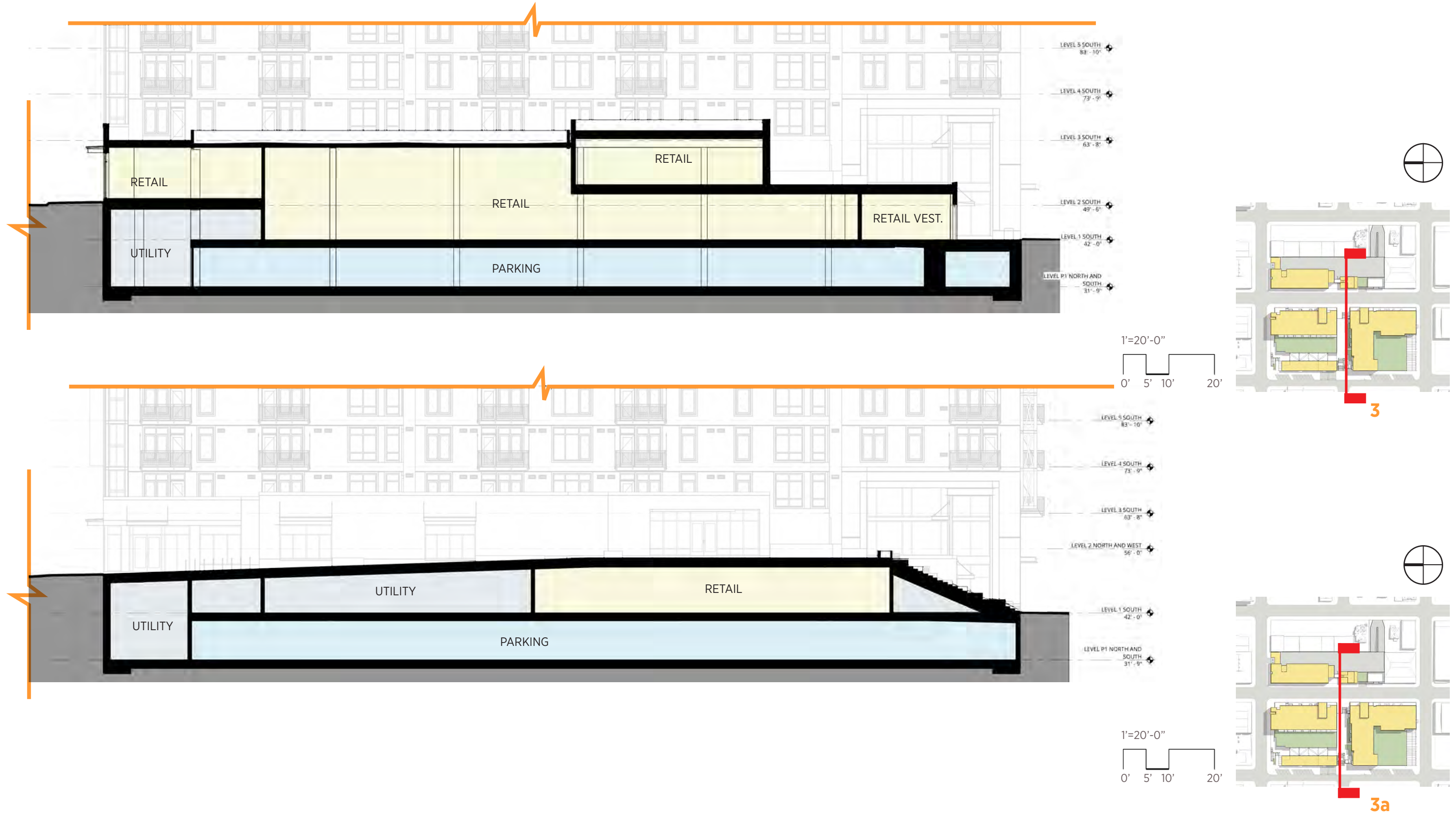


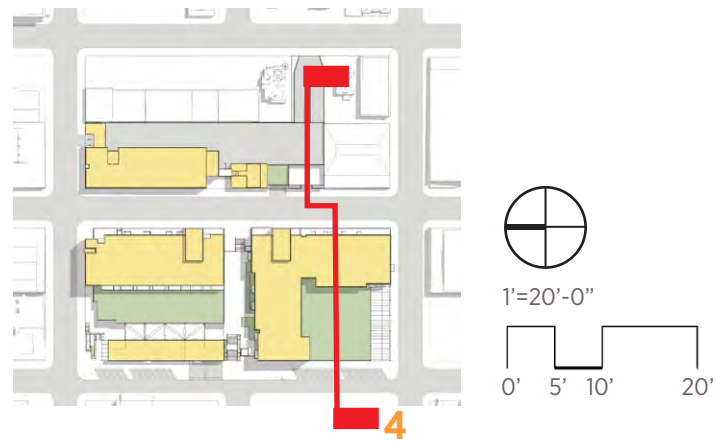
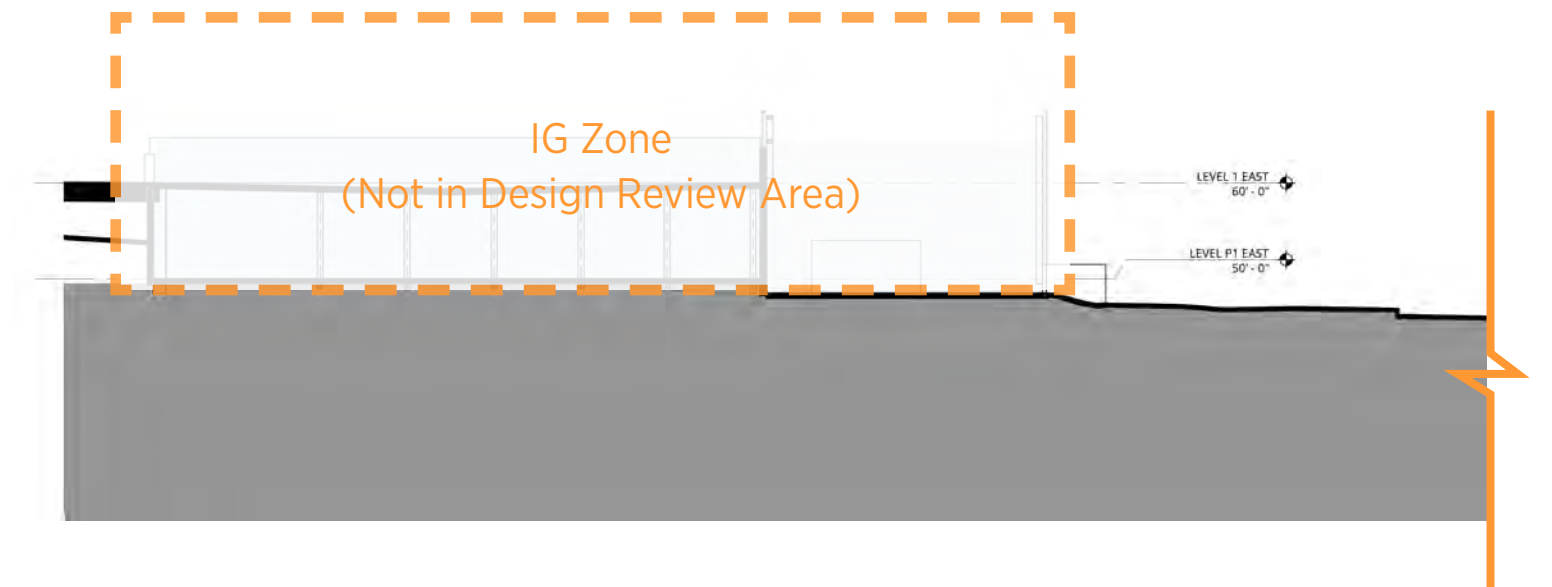
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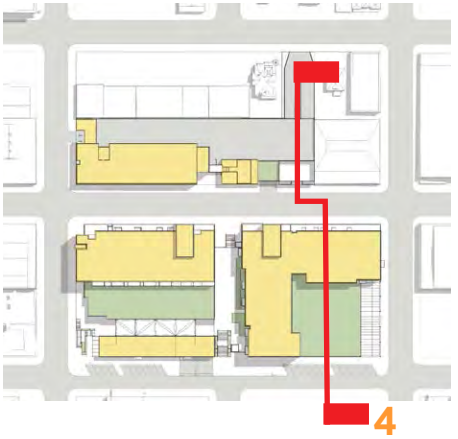
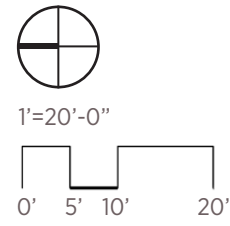
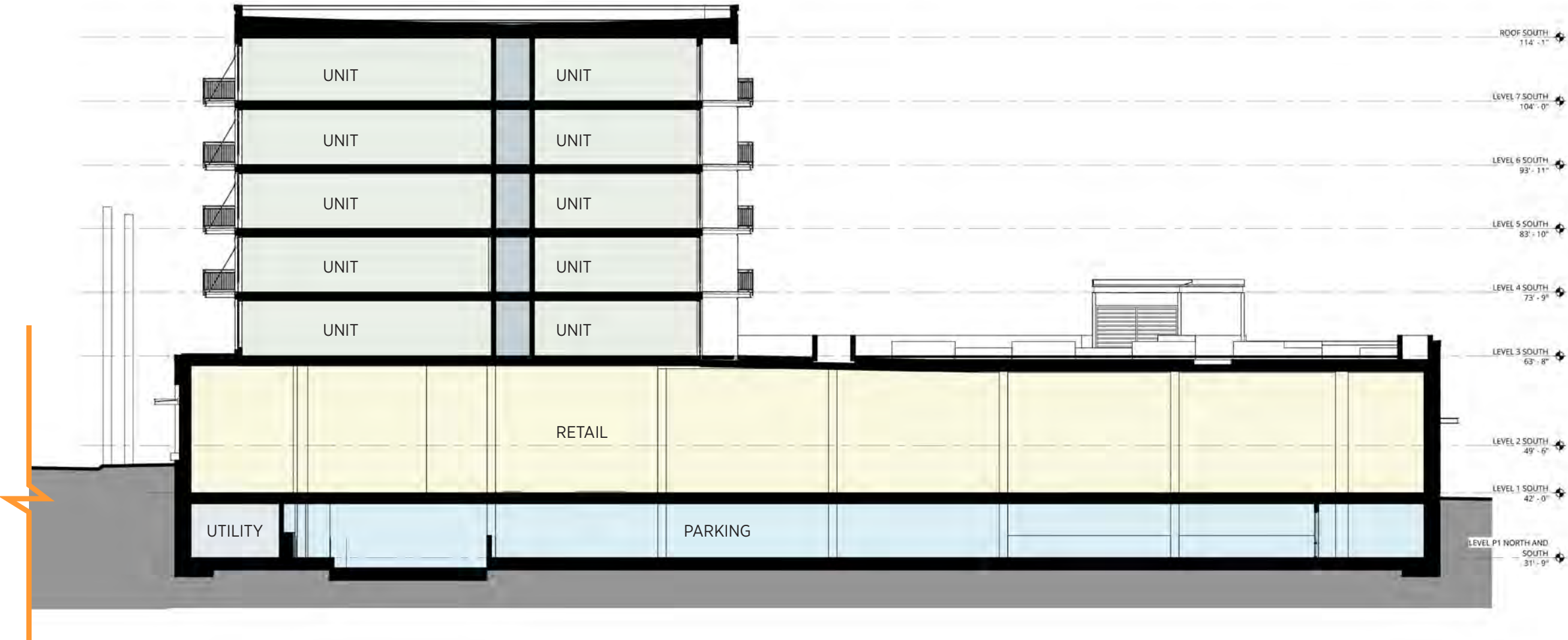


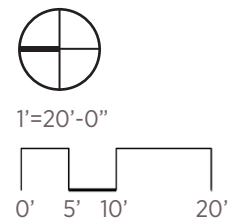
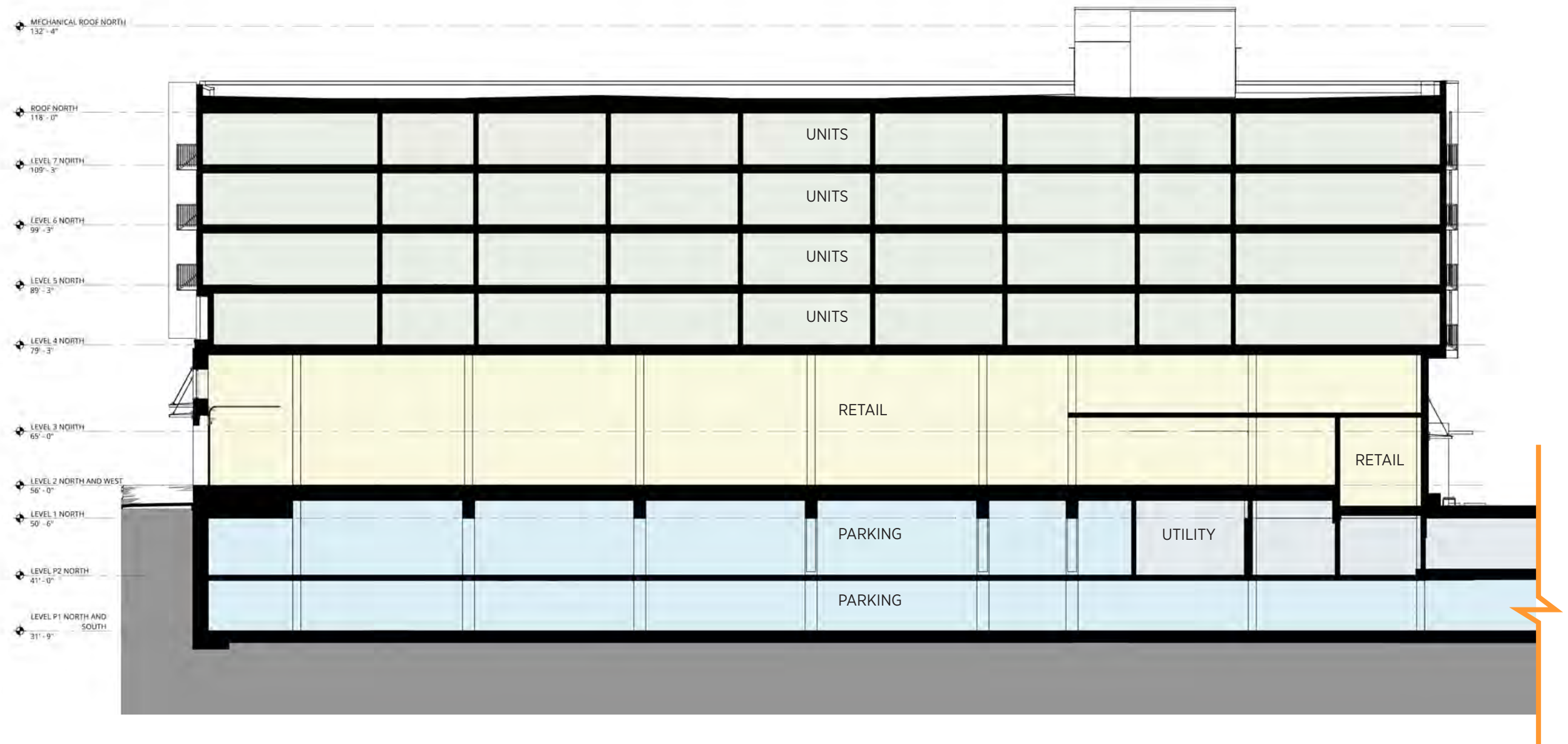


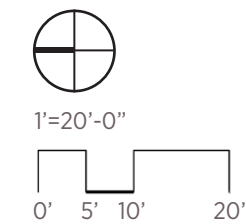
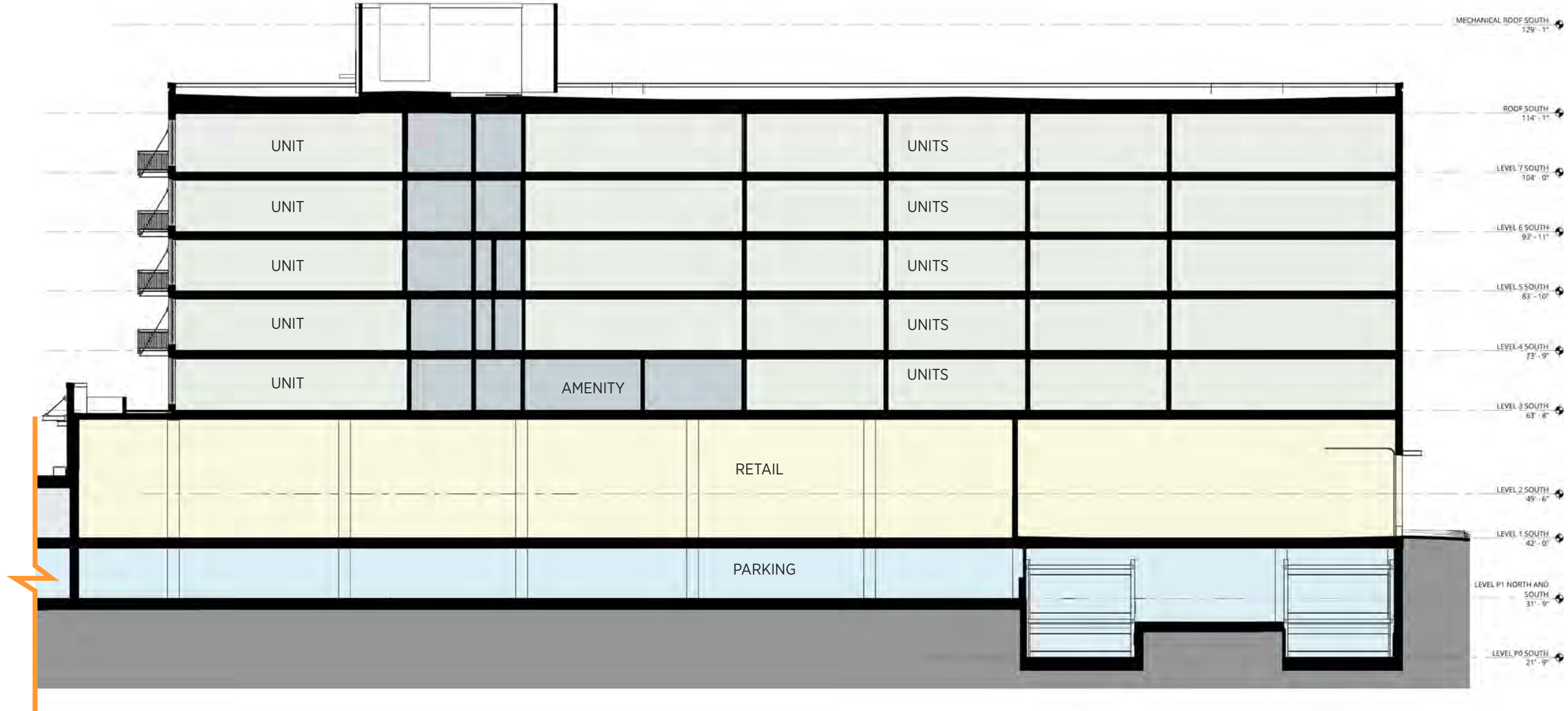


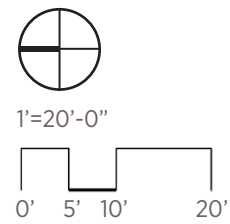
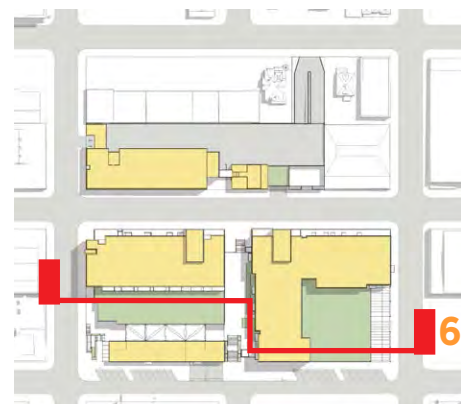
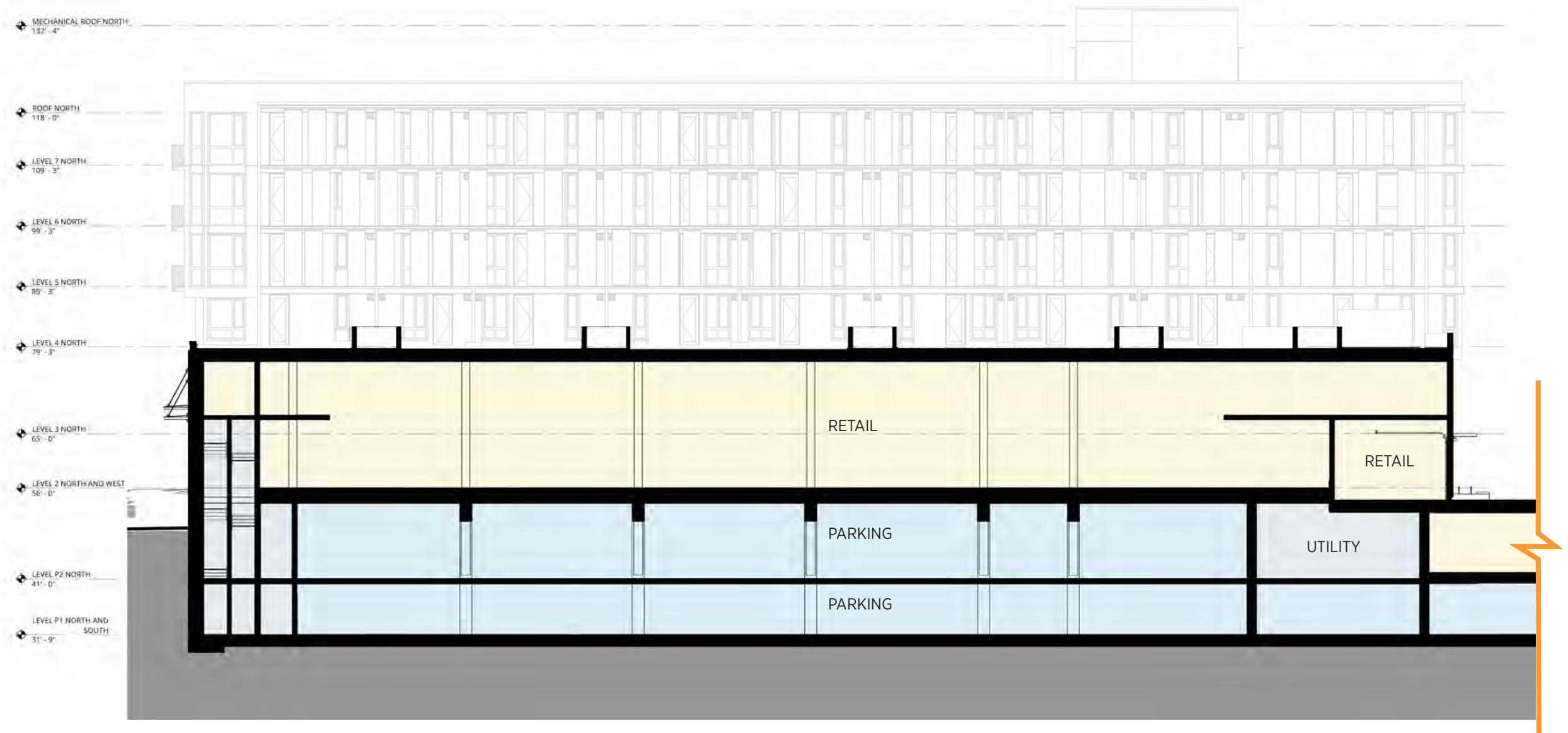


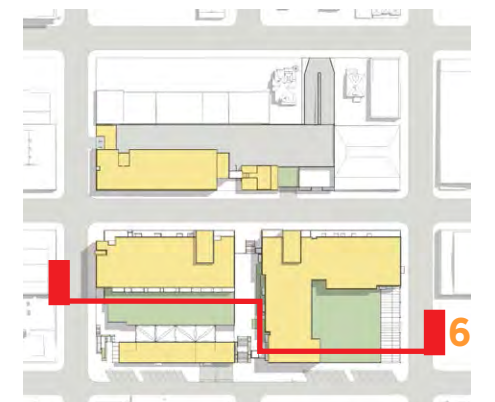
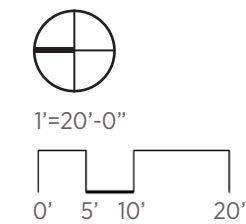
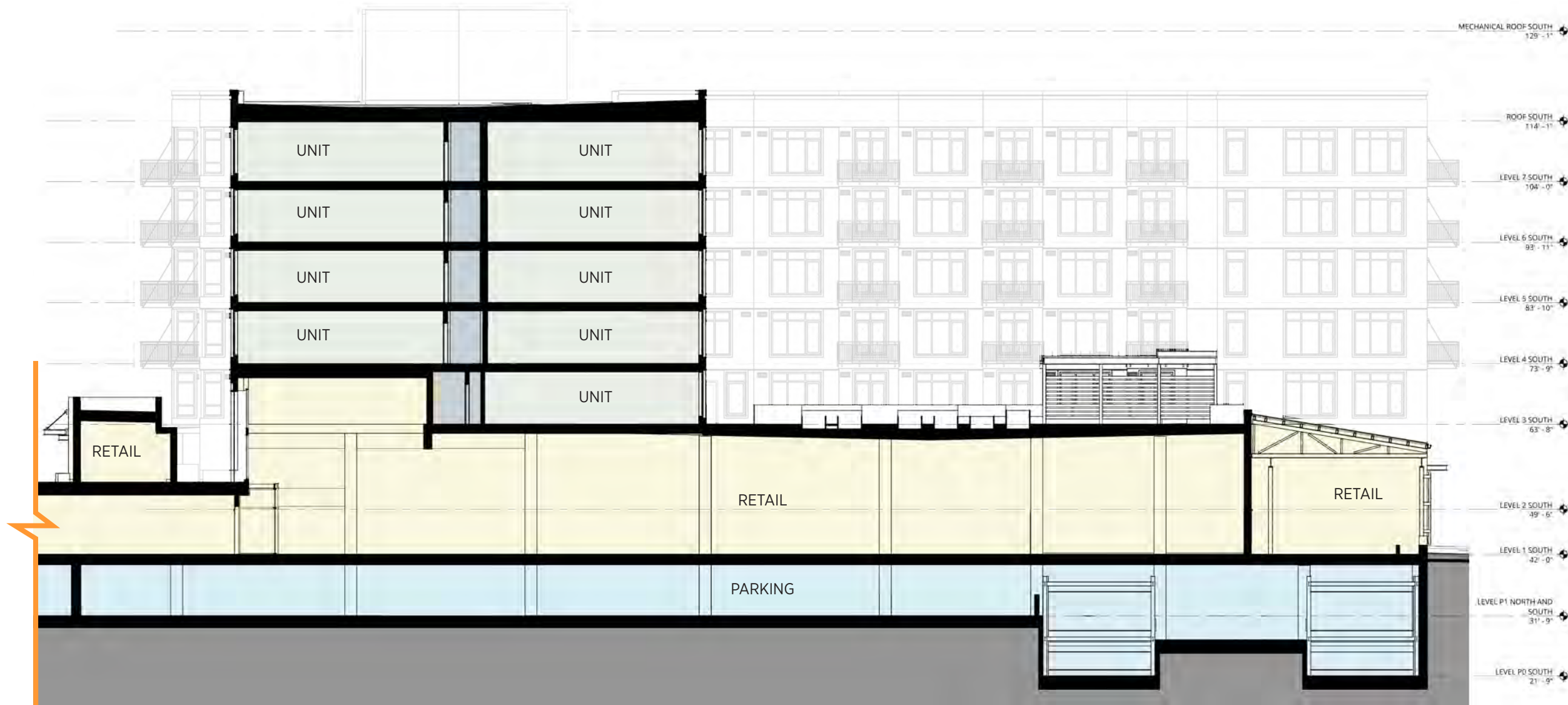














S.E. 10th Ave. Elevation - West Overall 1" = 32'-0"



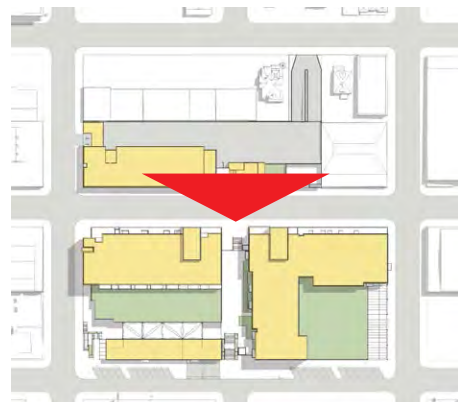


S.E. Taylor St. Elevation - South Overall 1"=32'-0"





S.E. 11th Ave. Elevation - East Overall 1" = 32'-0"





S.E. 11th Ave. Elevation - West OEG Overall 1"=32'-0"



S.E. Belmont St. Elevation - North Overall 1" = 32'-0"



Elevation - North 1"=20'-0"

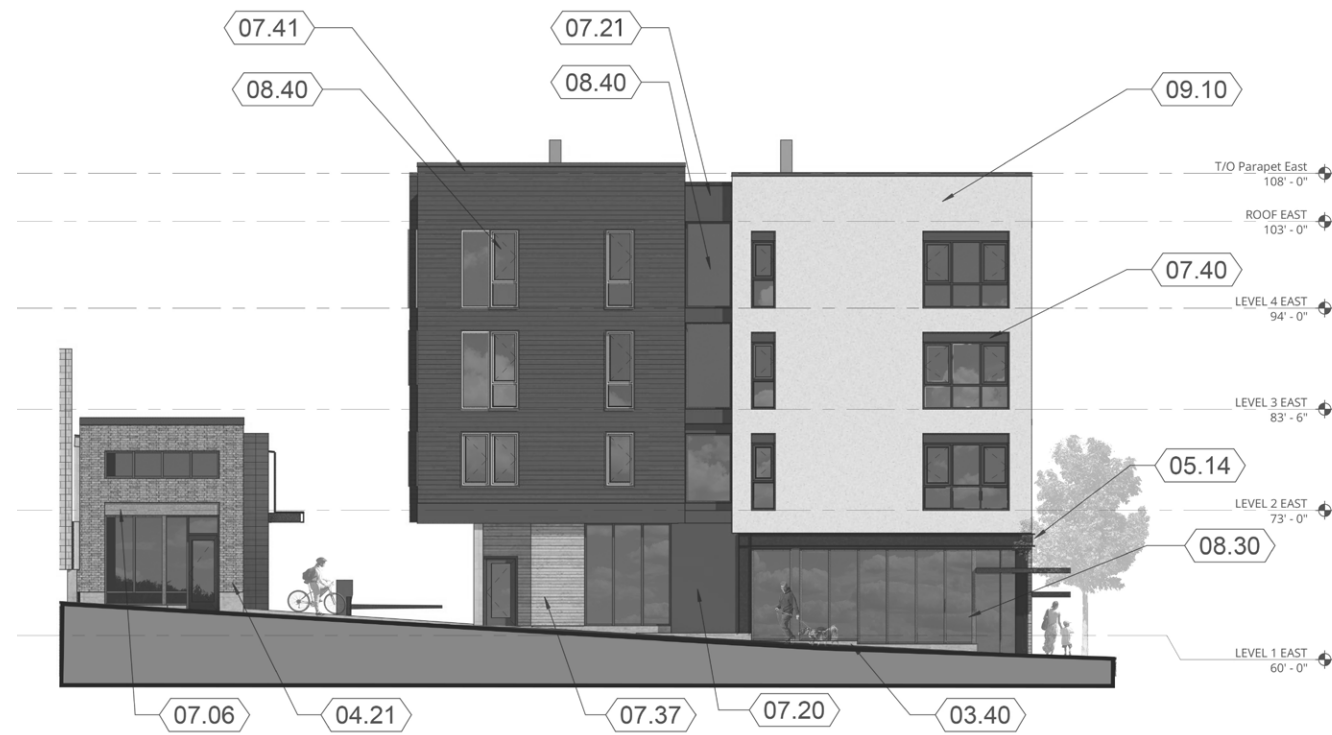


Elevation - South 1"=20'-0"

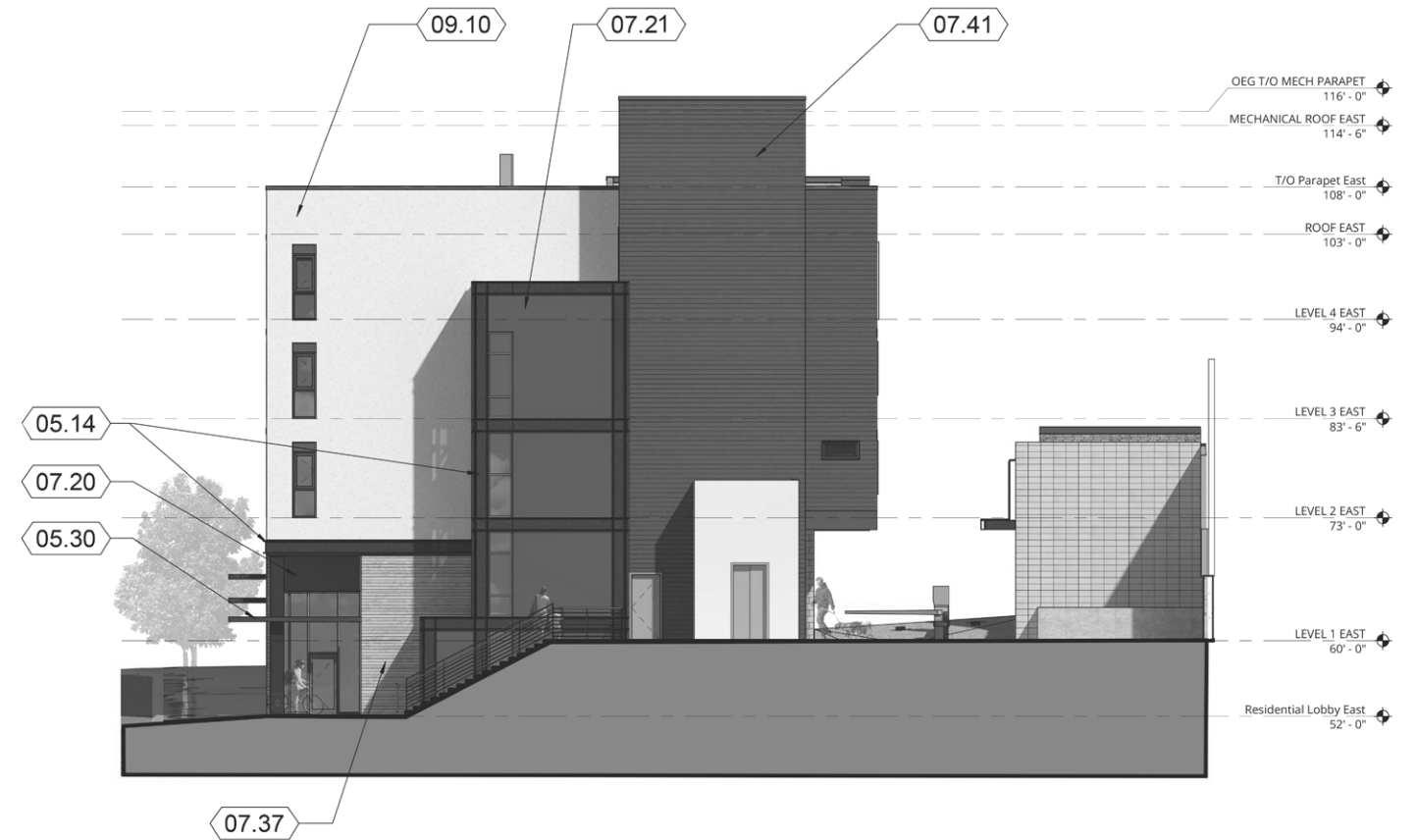
KEYNOTES - ELEVATIONS	
03.01	CAST-IN-PLACE CONCRETE WALL
03.40	PRECAST CONCRETE
04.01	CONCRETE MASONRY UNITS (CMU-1)
04.20	BRICK VENEER
04.21	BRICK VENEER (B-1-SA)
05.01	STEEL COLUMN
05.02	STEEL BEAM
05.05	STEEL GATE
05.14	DECORATIVE BUILT-UP C-SHAPED STEEL CHANNEL
05.30	METAL FRAMED CANOPY
05.81	DECORATIVE METAL GUARDRAIL
07.06	RECESSED PERFORATED METAL WALL PANEL SIDING
07.20	FORMED METAL PANELS (MP-1-EA)
07.22	METAL ROOF PANELS, STANDING SEAM

KEYNOTE	DESCRIPTION
07.37	WOOD SIDING (WD-1-E)
07.40	FIBER CEMENT PANEL SIDING (FCP-2-E)
07.41	FIBER CEMENT PLANK SIDING (FCP-1-E)
08.30	ALUMINUM-FRAMED STOREFRONT
08.40	VINYL WINDOW
08.90	LOUVER - PAINTED TO MATCH ADJACENT MATERIAL
09.10	MODIFIED CEMENT PLASTER, STUCCO (ST-1-E)
14.45	SEMI-AUTOMATIC, VEHICLE LIFT SYSTEM





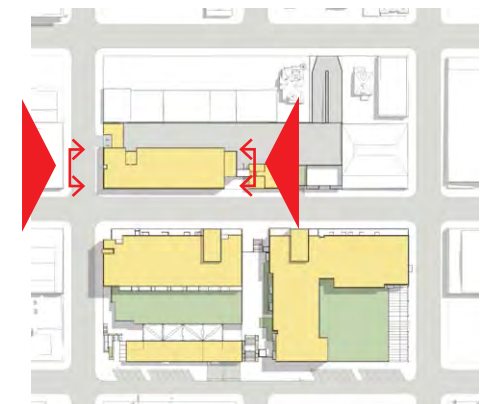
Elevation - North 1"=20'-0"



Elevation - South 1"=20'-0"

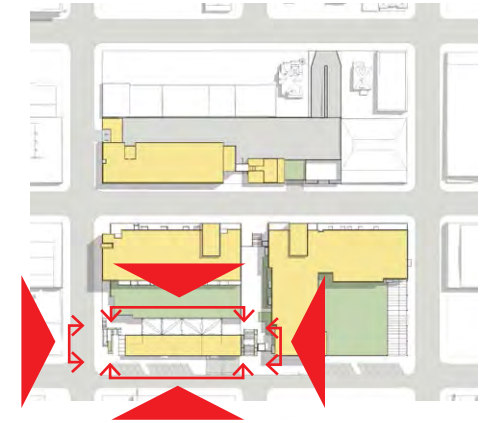
KEYNOTES - ELEVATIONS	
03.01	CAST-IN-PLACE CONCRETE WALL
03.40	PRECAST CONCRETE
04.01	CONCRETE MASONRY UNITS (CMU-1)
04.20	BRICK VENEER
04.21	BRICK VENEER (B-1-SA)
05.01	STEEL COLUMN
05.02	STEEL BEAM
05.05	STEEL GATE
05.14	DECORATIVE BUILT-UP C-SHAPED STEEL CHANNEL
05.30	METAL FRAMED CANOPY
05.81	DECORATIVE METAL GUARDRAIL
07.06	RECESSED PERFORATED METAL WALL PANEL SIDING
07.20	FORMED METAL PANELS (MP-1-EA)
07.22	METAL ROOF PANELS. STANDING SEAM

KEYNOTE	DESCRIPTION
07.37	WOOD SIDING (WD-1-E)
07.40	FIBER CEMENT PANEL SIDING (FCP-2-E)
07.41	FIBER CEMENT PLANK SIDING (FCP-1-E)
08.30	ALUMINUM-FRAMED STOREFRONT
08.40	VINYL WINDOW
08.90	LOUVER - PAINTED TO MATCH ADJACENT MATERIAL
09.10	MODIFIED CEMENT PLASTER, STUCCO (ST-1-E)
14.45	SEMI-AUTOMATIC, VEHICLE LIFT SYSTEM

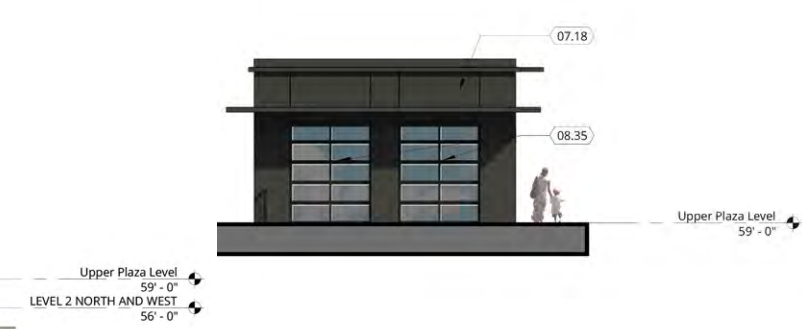


KEYNOTES - ELEVATIONS	
03.40	PRECAST CONCRETE
05.10	STEEL FIREPLACE
05.33	METAL FRAMED CANOPY WITH WOOD PURLINS AND GLASS INSERT
05.34	METAL FRAMED TRELLIS WITH WOOD PURLINS

05.61	METAL PIPE GUARDRAIL
07.14	METAL WALL PANELS (MWP-4-SA)
07.18	METAL WALL PANELS (MWP-12-WA)
08.30	ALUMINUM-FRAMED STOREFRONT
08.35	OVERHEAD SECTIONAL DOOR
08.36	OVERHEAD SECTIONAL DOOR WITH CUSTOM PERFORATED SCREEN OVERLAY



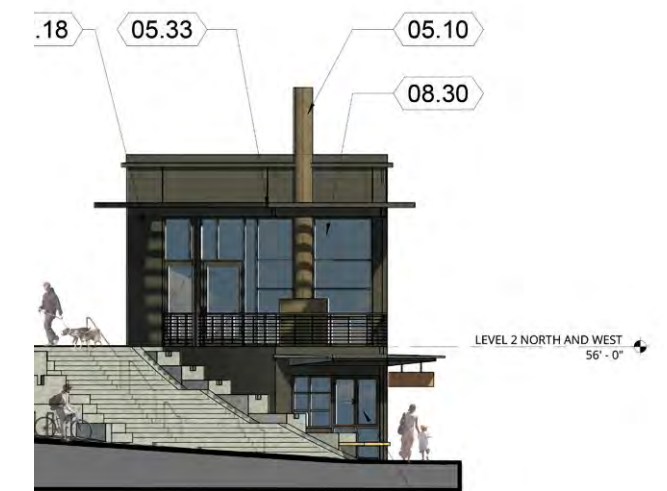
Elevation - West 1"=20'-0"



Elevations - South 1"=20'-0"



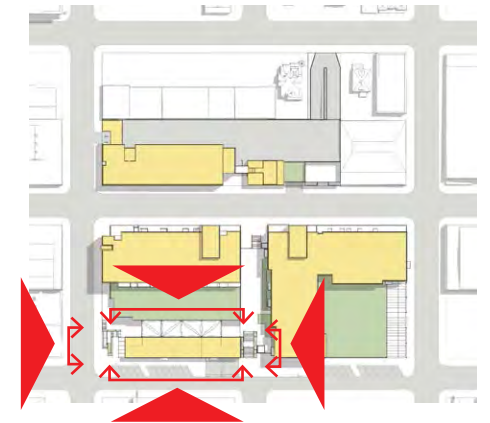
Elevation - East 1"=20'-0"



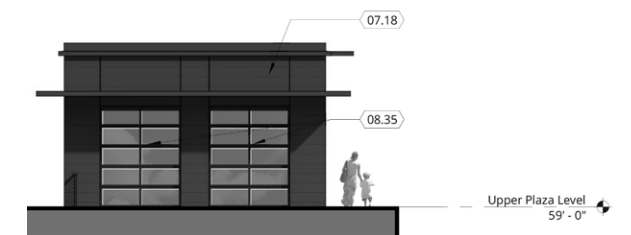
Elevations - North 1"=20'-0"

KEYNOTES - ELEVATIONS	
03.40	PRECAST CONCRETE
05.10	STEEL FIREPLACE
05.33	METAL FRAMED CANOPY WITH WOOD PURLINS AND GLASS INSERT
05.34	METAL FRAMED TRELLIS WITH WOOD PURLINS

05.61	METAL PIPE GUARDRAIL
07.14	METAL WALL PANELS (MWP-4-SA)
07.18	METAL WALL PANELS (MWP-12-WA)
08.30	ALUMINUM-FRAMED STOREFRONT
08.35	OVERHEAD SECTIONAL DOOR
08.36	OVERHEAD SECTIONAL DOOR WITH CUSTOM PERFORATED SCREEN OVERLAY



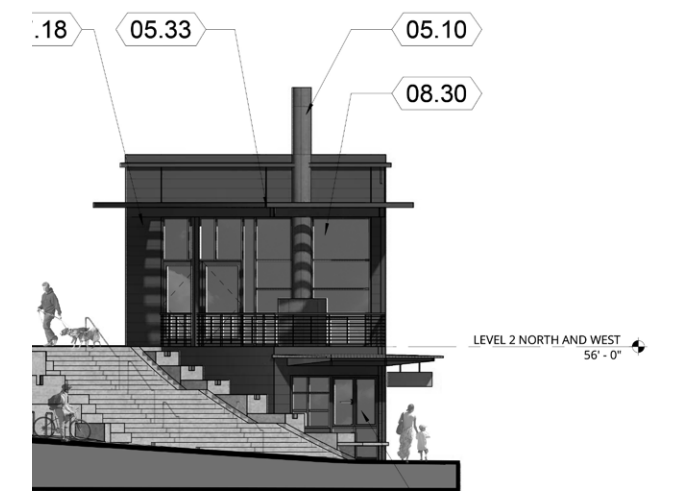
Elevation - West 1"=20'-0"



Elevations - South 1"=20'-0"



Elevation - East 1"=20'-0"



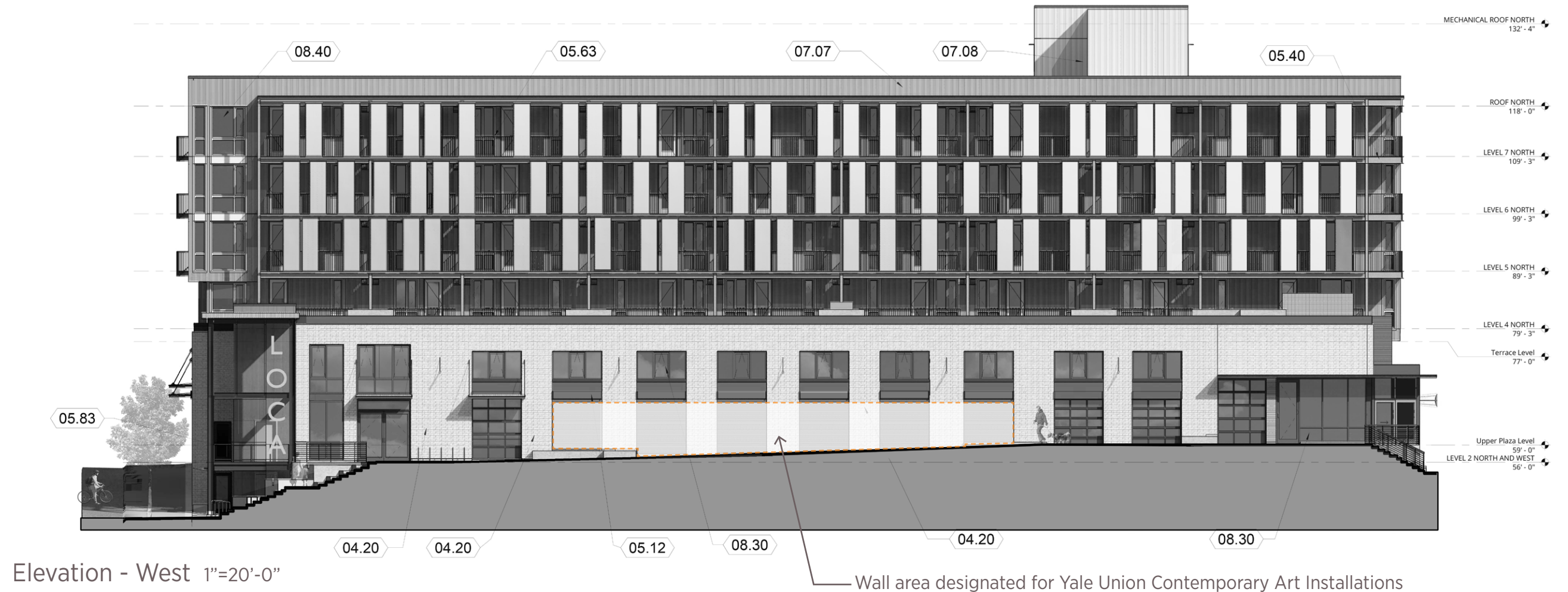
Elevations - North 1"=20'-0"



KEYNOTES - ELEVATIONS	
03.40	PRECAST CONCRETE
04.20	BRICK VENEER
05.03	STEEL FRAME
05.12	DECORATIVE STEEL LINTEL WITH CANOPY ATTACHMENT TABS
05.14	DECORATIVE BUILT-UP C-SHAPED STEEL CHANNEL
05.30	METAL FRAMED CANOPY
05.35	METAL FRAMED CANOPY WITH PERFORATED METAL SOFFIT PANELS
05.40	METAL FRAMED BALCONY
05.63	GALVANIZED METAL PIPE HANDRAIL
05.83	DECORATIVE METAL GUARDRAIL WITH GLASS INFILL PANELS
07.07	METAL WALL PANELS (MWP-1-NA)
07.08	METAL WALL PANELS (MWP-1-NB)

07.09	METAL WALL PANELS (MWP-2-NA)
07.11	METAL WALL PANELS (MWP-3-NA)
07.27	METAL COMPOSITE PANELS (MCM-1-NA)
08.20	FIBERGLASS DOOR AT APARTMENTS - TYPICAL
08.30	ALUMINUM-FRAMED STOREFRONT
08.35	OVERHEAD SECTIONAL DOOR
08.40	VINYL WINDOW
08.90	LOUVER - PAINTED TO MATCH ADJACENT MATERIAL
08.93	GALVANIZED LOUVERS





KEYNOTES - ELEVATIONS	
03.40	PRECAST CONCRETE
04.20	BRICK VENEER
05.03	STEEL FRAME
05.12	DECORATIVE STEEL LINTEL WITH CANOPY ATTACHMENT TABS
05.14	DECORATIVE BUILT-UP C-SHAPED STEEL CHANNEL
05.30	METAL FRAMED CANOPY
05.35	METAL FRAMED CANOPY WITH PERFORATED METAL SOFFIT PANELS
05.40	METAL FRAMED BALCONY
05.63	GALVANIZED METAL PIPE HANDRAIL
05.83	DECORATIVE METAL GUARDRAIL WITH GLASS INFILL PANELS
07.07	METAL WALL PANELS (MWP-1-NA)
07.08	METAL WALL PANELS (MWP-1-NB)

07.09	METAL WALL PANELS (MWP-2-NA)
07.11	METAL WALL PANELS (MWP-3-NA)
07.27	METAL COMPOSITE PANELS (MCM-1-NA)
08.20	FIBERGLASS DOOR AT APARTMENTS - TYPICAL
08.30	ALUMINUM-FRAMED STOREFRONT
08.35	OVERHEAD SECTIONAL DOOR
08.40	VINYL WINDOW
08.90	LOUVER - PAINTED TO MATCH ADJACENT MATERIAL
08.93	GALVANIZED LOUVERS

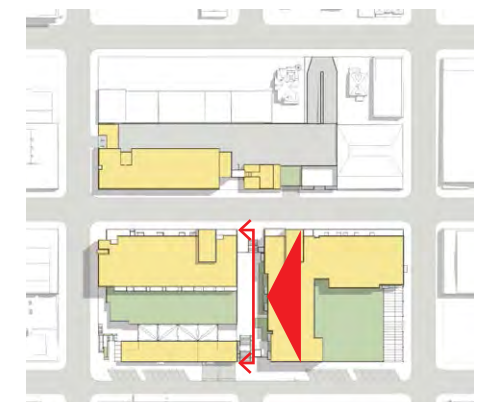




Elevation - South 1"=20'-0"

KEYNOTES - ELEVATIONS	
03.40	PRECAST CONCRETE
04.20	BRICK VENEER
05.03	STEEL FRAME
05.12	DECORATIVE STEEL LINTEL WITH CANOPY ATTACHMENT TABS
05.14	DECORATIVE BUILT-UP C-SHAPED STEEL CHANNEL
05.30	METAL FRAMED CANOPY
05.35	METAL FRAMED CANOPY WITH PERFORATED METAL SOFFIT PANELS
05.40	METAL FRAMED BALCONY
05.63	GALVANIZED METAL PIPE HANDRAIL
05.83	DECORATIVE METAL GUARDRAIL WITH GLASS INFILL PANELS
07.07	METAL WALL PANELS (MWP-1-NA)
07.08	METAL WALL PANELS (MWP-1-NB)

07.09	METAL WALL PANELS (MWP-2-NA)
07.11	METAL WALL PANELS (MWP-3-NA)
07.27	METAL COMPOSITE PANELS (MCM-1-NA)
08.20	FIBERGLASS DOOR AT APARTMENTS - TYPICAL
08.30	ALUMINUM-FRAMED STOREFRONT
08.35	OVERHEAD SECTIONAL DOOR
08.40	VINYL WINDOW
08.90	LOUVER - PAINTED TO MATCH ADJACENT MATERIAL
08.93	GALVANIZED LOUVERS

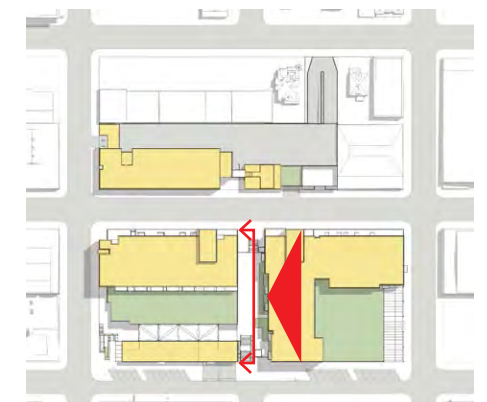




Elevation - South 1"=20'-0"

KEYNOTES - ELEVATIONS	
03.40	PRECAST CONCRETE
04.20	BRICK VENEER
05.03	STEEL FRAME
05.12	DECORATIVE STEEL LINTEL WITH CANOPY ATTACHMENT TABS
05.14	DECORATIVE BUILT-UP C-SHAPED STEEL CHANNEL
05.30	METAL FRAMED CANOPY
05.35	METAL FRAMED CANOPY WITH PERFORATED METAL SOFFIT PANELS
05.40	METAL FRAMED BALCONY
05.63	GALVANIZED METAL PIPE HANDRAIL
05.83	DECORATIVE METAL GUARDRAIL WITH GLASS INFILL PANELS
07.07	METAL WALL PANELS (MWP-1-NA)
07.08	METAL WALL PANELS (MWP-1-NB)

07.09	METAL WALL PANELS (MWP-2-NA)
07.11	METAL WALL PANELS (MWP-3-NA)
07.27	METAL COMPOSITE PANELS (MCM-1-NA)
08.20	FIBERGLASS DOOR AT APARTMENTS - TYPICAL
08.30	ALUMINUM-FRAMED STOREFRONT
08.35	OVERHEAD SECTIONAL DOOR
08.40	VINYL WINDOW
08.90	LOUVER - PAINTED TO MATCH ADJACENT MATERIAL
08.93	GALVANIZED LOUVERS

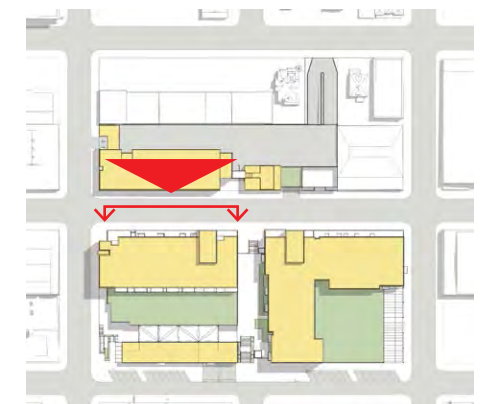




Elevation - East 1"=20'-0"

KEYNOTES - ELEVATIONS	
03.40	PRECAST CONCRETE
04.20	BRICK VENEER
05.03	STEEL FRAME
05.12	DECORATIVE STEEL LINTEL WITH CANOPY ATTACHMENT TABS
05.14	DECORATIVE BUILT-UP C-SHAPED STEEL CHANNEL
05.30	METAL FRAMED CANOPY
05.35	METAL FRAMED CANOPY WITH PERFORATED METAL SOFFIT PANELS
05.40	METAL FRAMED BALCONY
05.63	GALVANIZED METAL PIPE HANDRAIL
05.83	DECORATIVE METAL GUARDRAIL WITH GLASS INFILL PANELS
07.07	METAL WALL PANELS (MWP-1-NA)
07.08	METAL WALL PANELS (MWP-1-NB)

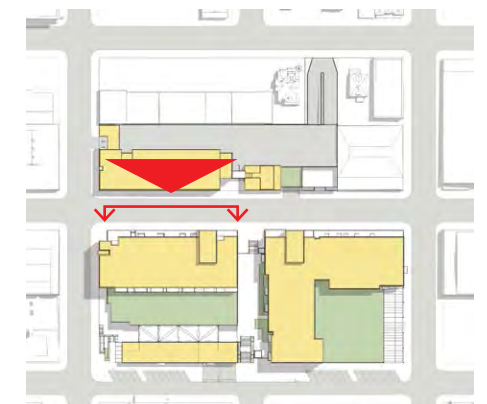
07.09	METAL WALL PANELS (MWP-2-NA)
07.11	METAL WALL PANELS (MWP-3-NA)
07.27	METAL COMPOSITE PANELS (MCM-1-NA)
08.20	FIBERGLASS DOOR AT APARTMENTS - TYPICAL
08.30	ALUMINUM-FRAMED STOREFRONT
08.35	OVERHEAD SECTIONAL DOOR
08.40	VINYL WINDOW
08.90	LOUVER - PAINTED TO MATCH ADJACENT MATERIAL
08.93	GALVANIZED LOUVERS





KEYNOTES - ELEVATIONS	
03.40	PRECAST CONCRETE
04.20	BRICK VENEER
05.03	STEEL FRAME
05.12	DECORATIVE STEEL LINTEL WITH CANOPY ATTACHMENT TABS
05.14	DECORATIVE BUILT-UP C-SHAPED STEEL CHANNEL
05.30	METAL FRAMED CANOPY
05.35	METAL FRAMED CANOPY WITH PERFORATED METAL SOFFIT PANELS
05.40	METAL FRAMED BALCONY
05.63	GALVANIZED METAL PIPE HANDRAIL
05.83	DECORATIVE METAL GUARDRAIL WITH GLASS INFILL PANELS
07.07	METAL WALL PANELS (MWP-1-NA)
07.08	METAL WALL PANELS (MWP-1-NB)

07.09	METAL WALL PANELS (MWP-2-NA)
07.11	METAL WALL PANELS (MWP-3-NA)
07.27	METAL COMPOSITE PANELS (MCM-1-NA)
08.20	FIBERGLASS DOOR AT APARTMENTS - TYPICAL
08.30	ALUMINUM-FRAMED STOREFRONT
08.35	OVERHEAD SECTIONAL DOOR
08.40	VINYL WINDOW
08.90	LOUVER - PAINTED TO MATCH ADJACENT MATERIAL
08.93	GALVANIZED LOUVERS

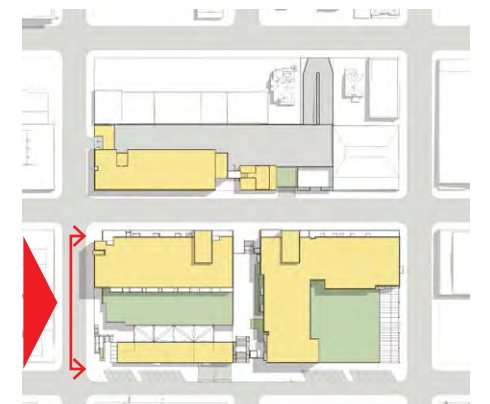




Elevation - North 1"=20'-0"

KEYNOTES - ELEVATIONS	
03.40	PRECAST CONCRETE
04.20	BRICK VENEER
05.03	STEEL FRAME
05.12	DECORATIVE STEEL LINTEL WITH CANOPY ATTACHMENT TABS
05.14	DECORATIVE BUILT-UP C-SHAPED STEEL CHANNEL
05.30	METAL FRAMED CANOPY
05.35	METAL FRAMED CANOPY WITH PERFORATED METAL SOFFIT PANELS
05.40	METAL FRAMED BALCONY
05.63	GALVANIZED METAL PIPE HANDRAIL
05.83	DECORATIVE METAL GUARDRAIL WITH GLASS INFILL PANELS
07.07	METAL WALL PANELS (MWP-1-NA)
07.08	METAL WALL PANELS (MWP-1-NB)

07.09	METAL WALL PANELS (MWP-2-NA)
07.11	METAL WALL PANELS (MWP-3-NA)
07.27	METAL COMPOSITE PANELS (MCM-1-NA)
08.20	FIBERGLASS DOOR AT APARTMENTS - TYPICAL
08.30	ALUMINUM-FRAMED STOREFRONT
08.35	OVERHEAD SECTIONAL DOOR
08.40	VINYL WINDOW
08.90	LOUVER - PAINTED TO MATCH ADJACENT MATERIAL
08.93	GALVANIZED LOUVERS

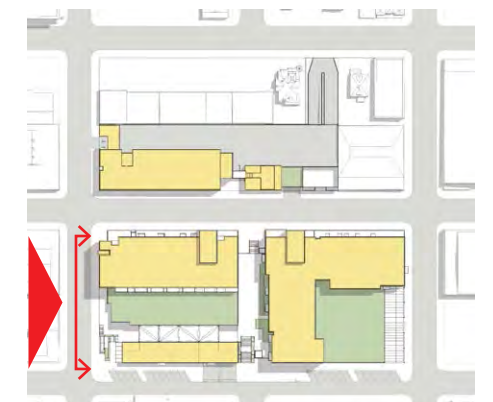




Elevation - North 1"=20'-0"

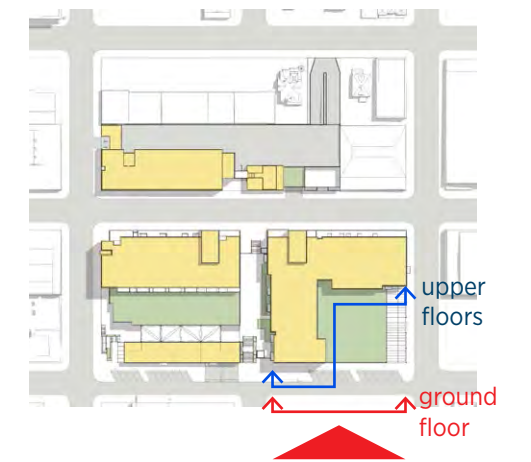
KEYNOTES - ELEVATIONS	
03.40	PRECAST CONCRETE
04.20	BRICK VENEER
05.03	STEEL FRAME
05.12	DECORATIVE STEEL LINTEL WITH CANOPY ATTACHMENT TABS
05.14	DECORATIVE BUILT-UP C-SHAPED STEEL CHANNEL
05.30	METAL FRAMED CANOPY
05.35	METAL FRAMED CANOPY WITH PERFORATED METAL SOFFIT PANELS
05.40	METAL FRAMED BALCONY
05.63	GALVANIZED METAL PIPE HANDRAIL
05.83	DECORATIVE METAL GUARDRAIL WITH GLASS INFILL PANELS
07.07	METAL WALL PANELS (MWP-1-NA)
07.08	METAL WALL PANELS (MWP-1-NB)

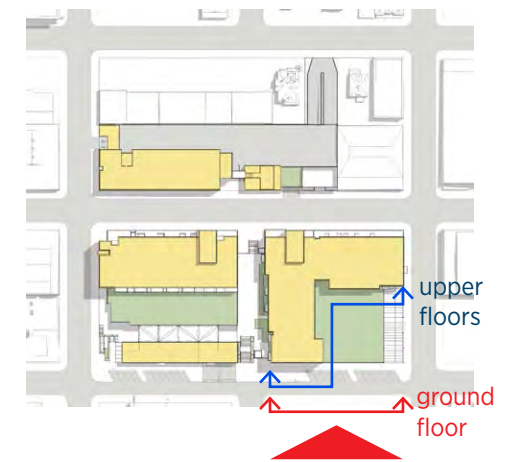
07.09	METAL WALL PANELS (MWP-2-NA)
07.11	METAL WALL PANELS (MWP-3-NA)
07.27	METAL COMPOSITE PANELS (MCM-1-NA)
08.20	FIBERGLASS DOOR AT APARTMENTS - TYPICAL
08.30	ALUMINUM-FRAMED STOREFRONT
08.35	OVERHEAD SECTIONAL DOOR
08.40	VINYL WINDOW
08.90	LOUVER - PAINTED TO MATCH ADJACENT MATERIAL
08.93	GALVANIZED LOUVERS





Elevation - West 1"=20'-0"



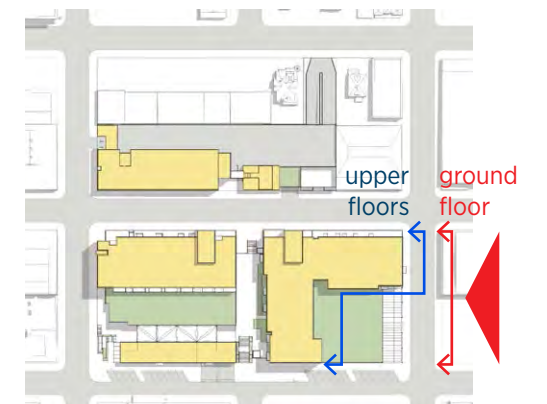




Elevation - South 1"=20'-0"

KEYNOTES - ELEVATIONS	
03.01	CAST-IN-PLACE CONCRETE WALL
03.40	PRECAST CONCRETE
03.44	PRECAST CONCRETE LINTEL
04.21	BRICK VENEER (B-1-SA)
05.02	STEEL BEAM
05.03	STEEL FRAME
05.05	STEEL GATE
05.09	METAL CLAD STEEL FRAMED ARCHITECTURAL FIN
05.14	DECORATIVE BUILT-UP C-SHAPED STEEL CHANNEL
05.30	METAL FRAMED CANOPY
05.31	METAL FRAMED CANOPY WITH GLAZING
05.41	METAL FRAMED BALCONY WITH WOOD DECKING AND TRAFFIC COATING
05.80	DECORATIVE METAL RAILING

07.13	MORIN X-12 PROFILE METAL PANEL
07.14	MORIN A-12 PROFILE METAL PANEL
08.30	ALUMINUM-FRAMED STOREFRONT
08.35	OVERHEAD SECTIONAL DOOR
08.40	VINYL WINDOW AT APARTMENTS - TYPICAL
08.90	LOUVER - PAINTED TO MATCH ADJACENT MATERIAL

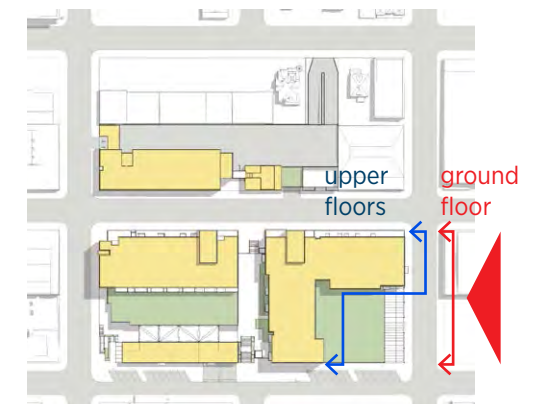




Elevation - South 1"=20'-0"

KEYNOTES - ELEVATIONS	
03.01	CAST-IN-PLACE CONCRETE WALL
03.40	PRECAST CONCRETE
03.44	PRECAST CONCRETE LINTEL
04.21	BRICK VENEER (B-1-SA)
05.02	STEEL BEAM
05.03	STEEL FRAME
05.05	STEEL GATE
05.09	METAL CLAD STEEL FRAMED ARCHITECTURAL FIN
05.14	DECORATIVE BUILT-UP C-SHAPED STEEL CHANNEL
05.30	METAL FRAMED CANOPY
05.31	METAL FRAMED CANOPY WITH GLAZING
05.41	METAL FRAMED BALCONY WITH WOOD DECKING AND TRAFFIC COATING
05.80	DECORATIVE METAL RAILING

07.13	MORIN X-12 PROFILE METAL PANEL
07.14	MORIN A-12 PROFILE METAL PANEL
08.30	ALUMINUM-FRAMED STOREFRONT
08.35	OVERHEAD SECTIONAL DOOR
08.40	VINYL WINDOW AT APARTMENTS - TYPICAL
08.90	LOUVER - PAINTED TO MATCH ADJACENT MATERIAL

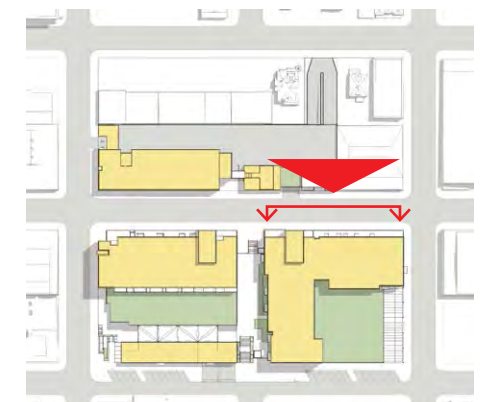




Elevation - East 1"=20'-0"

KEYNOTES - ELEVATIONS	
03.01	CAST-IN-PLACE CONCRETE WALL
03.40	PRECAST CONCRETE
03.44	PRECAST CONCRETE LINTEL
04.21	BRICK VENEER (B-1-SA)
05.02	STEEL BEAM
05.03	STEEL FRAME
05.05	STEEL GATE
05.09	METAL CLAD STEEL FRAMED ARCHITECTURAL FIN
05.14	DECORATIVE BUILT-UP C-SHAPED STEEL CHANNEL
05.30	METAL FRAMED CANOPY
05.31	METAL FRAMED CANOPY WITH GLAZING
05.41	METAL FRAMED BALCONY WITH WOOD DECKING AND TRAFFIC COATING
05.80	DECORATIVE METAL RAILING

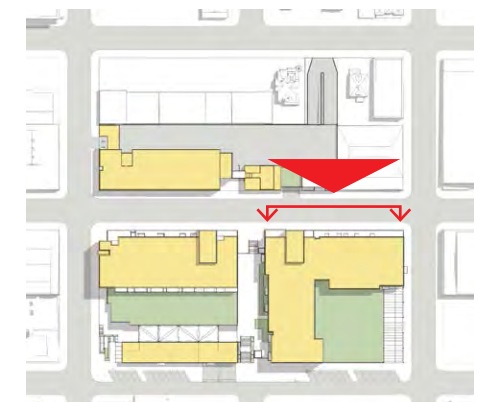
07.13	MORIN X-12 PROFILE METAL PANEL
07.14	MORIN A-12 PROFILE METAL PANEL
08.30	ALUMINUM-FRAMED STOREFRONT
08.35	OVERHEAD SECTIONAL DOOR
08.40	VINYL WINDOW AT APARTMENTS - TYPICAL
08.90	LOUVER - PAINTED TO MATCH ADJACENT MATERIAL





KEYNOTES - ELEVATIONS	
03.01	CAST-IN-PLACE CONCRETE WALL
03.40	PRECAST CONCRETE
03.44	PRECAST CONCRETE LINTEL
04.21	BRICK VENEER (B-1-SA)
05.02	STEEL BEAM
05.03	STEEL FRAME
05.05	STEEL GATE
05.09	METAL CLAD STEEL FRAMED ARCHITECTURAL FIN
05.14	DECORATIVE BUILT-UP C-SHAPED STEEL CHANNEL
05.30	METAL FRAMED CANOPY
05.31	METAL FRAMED CANOPY WITH GLAZING
05.41	METAL FRAMED BALCONY WITH WOOD DECKING AND TRAFFIC COATING
05.80	DECORATIVE METAL RAILING

07.13	MORIN X-12 PROFILE METAL PANEL
07.14	MORIN A-12 PROFILE METAL PANEL
08.30	ALUMINUM-FRAMED STOREFRONT
08.35	OVERHEAD SECTIONAL DOOR
08.40	VINYL WINDOW AT APARTMENTS - TYPICAL
08.90	LOUVER - PAINTED TO MATCH ADJACENT MATERIAL





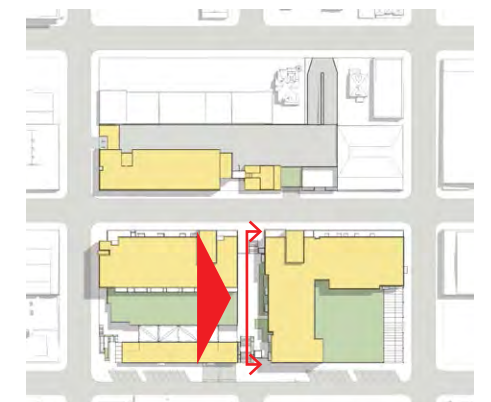
Elevation - North 1"=20'-0"

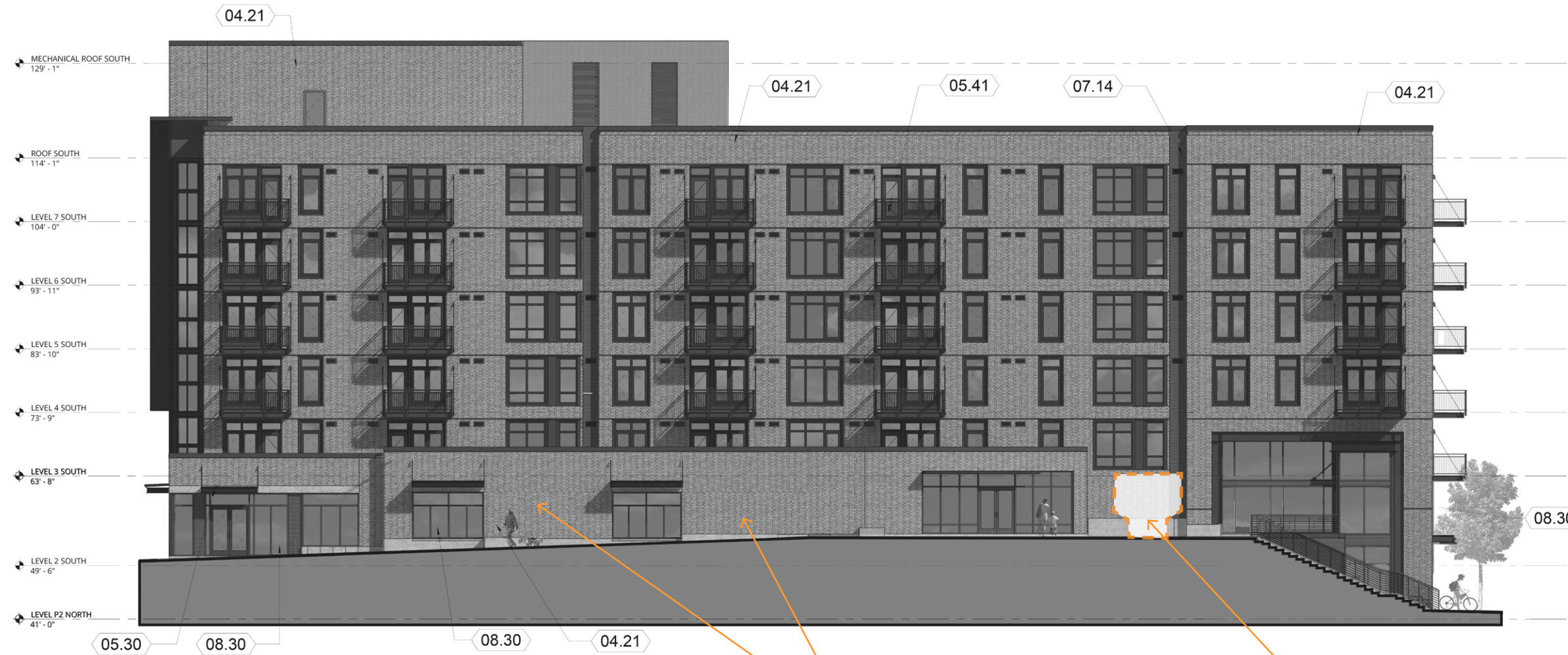
Green wall per Landscape

Area designated for permanent public art installation

KEYNOTES - ELEVATIONS	
03.01	CAST-IN-PLACE CONCRETE WALL
03.40	PRECAST CONCRETE
03.44	PRECAST CONCRETE LINTEL
04.21	BRICK VENEER (B-1-SA)
05.02	STEEL BEAM
05.03	STEEL FRAME
05.05	STEEL GATE
05.09	METAL CLAD STEEL FRAMED ARCHITECTURAL FIN
05.14	DECORATIVE BUILT-UP C-SHAPED STEEL CHANNEL
05.30	METAL FRAMED CANOPY
05.31	METAL FRAMED CANOPY WITH GLAZING
05.41	METAL FRAMED BALCONY WITH WOOD DECKING AND TRAFFIC COATING
05.80	DECORATIVE METAL RAILING

07.13	MORIN X-12 PROFILE METAL PANEL
07.14	MORIN A-12 PROFILE METAL PANEL
08.30	ALUMINUM-FRAMED STOREFRONT
08.35	OVERHEAD SECTIONAL DOOR
08.40	VINYL WINDOW AT APARTMENTS - TYPICAL
08.90	LOUVER - PAINTED TO MATCH ADJACENT MATERIAL





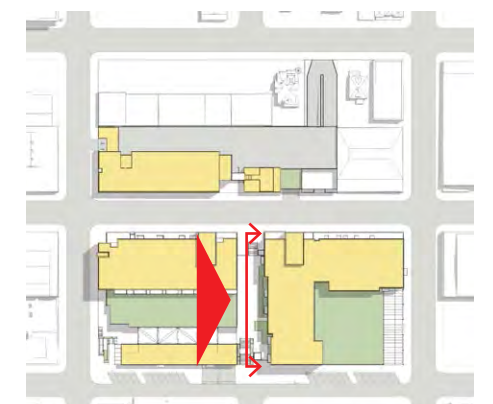
Elevation - North 1"=20'-0"

Green wall per Landscape

Area designated for permanent public art installation

KEYNOTES - ELEVATIONS	
03.01	CAST-IN-PLACE CONCRETE WALL
03.40	PRECAST CONCRETE
03.44	PRECAST CONCRETE LINTEL
04.21	BRICK VENEER (B-1-SA)
05.02	STEEL BEAM
05.03	STEEL FRAME
05.05	STEEL GATE
05.09	METAL CLAD STEEL FRAMED ARCHITECTURAL FIN
05.14	DECORATIVE BUILT-UP C-SHAPED STEEL CHANNEL
05.30	METAL FRAMED CANOPY
05.31	METAL FRAMED CANOPY WITH GLAZING
05.41	METAL FRAMED BALCONY WITH WOOD DECKING AND TRAFFIC COATING
05.80	DECORATIVE METAL RAILING

07.13	MORIN X-12 PROFILE METAL PANEL
07.14	MORIN A-12 PROFILE METAL PANEL
08.30	ALUMINUM-FRAMED STOREFRONT
08.35	OVERHEAD SECTIONAL DOOR
08.40	VINYL WINDOW AT APARTMENTS - TYPICAL
08.90	LOUVER - PAINTED TO MATCH ADJACENT MATERIAL



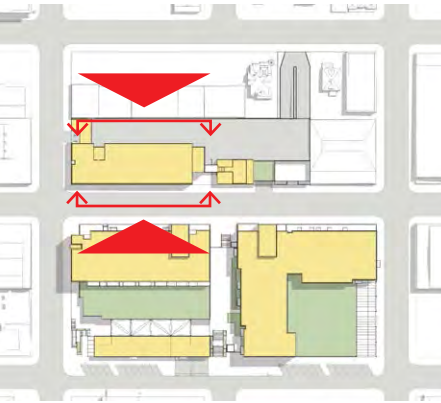


Elevation - West 1"=20'-0"

KEYNOTES - ELEVATIONS	
03.01	CAST-IN-PLACE CONCRETE WALL
03.40	PRECAST CONCRETE
04.01	CONCRETE MASONRY UNITS
04.20	BRICK VENEER
05.01	STEEL COLUMN
05.02	STEEL BEAM
05.05	STEEL GATE
05.14	DECORATIVE BUILT-UP C-SHAPED STEEL CHANNEL
05.30	METAL FRAMED CANOPY
05.81	DECORATIVE METAL GUARDRAIL
07.06	RECESSED PERFORATED METAL WALL PANEL SIDING
07.20	FORMED METAL PANELS
07.21	MORIN F-12 PROFILE METAL PANEL
07.22	METAL ROOF PANELS, STANDING SEAM
07.37	WOOD SIDING
07.40	FIBER CEMENT PANEL SIDING
07.41	FIBER CEMENT PLANK SIDING
08.30	ALUMINUM-FRAMED STOREFRONT
08.40	VINYL WINDOW AT APARTMENTS - TYPICAL
08.90	LOUVER - PAINTED TO MATCH ADJACENT MATERIAL
09.10	MODIFIED CEMENT PLASTER, STUCCO
14.45	SEMI-AUTOMATIC, VEHICLE LIFT SYSTEM



Elevation - East 1"=20'-0"



Elevation - West 1"=20'-0"

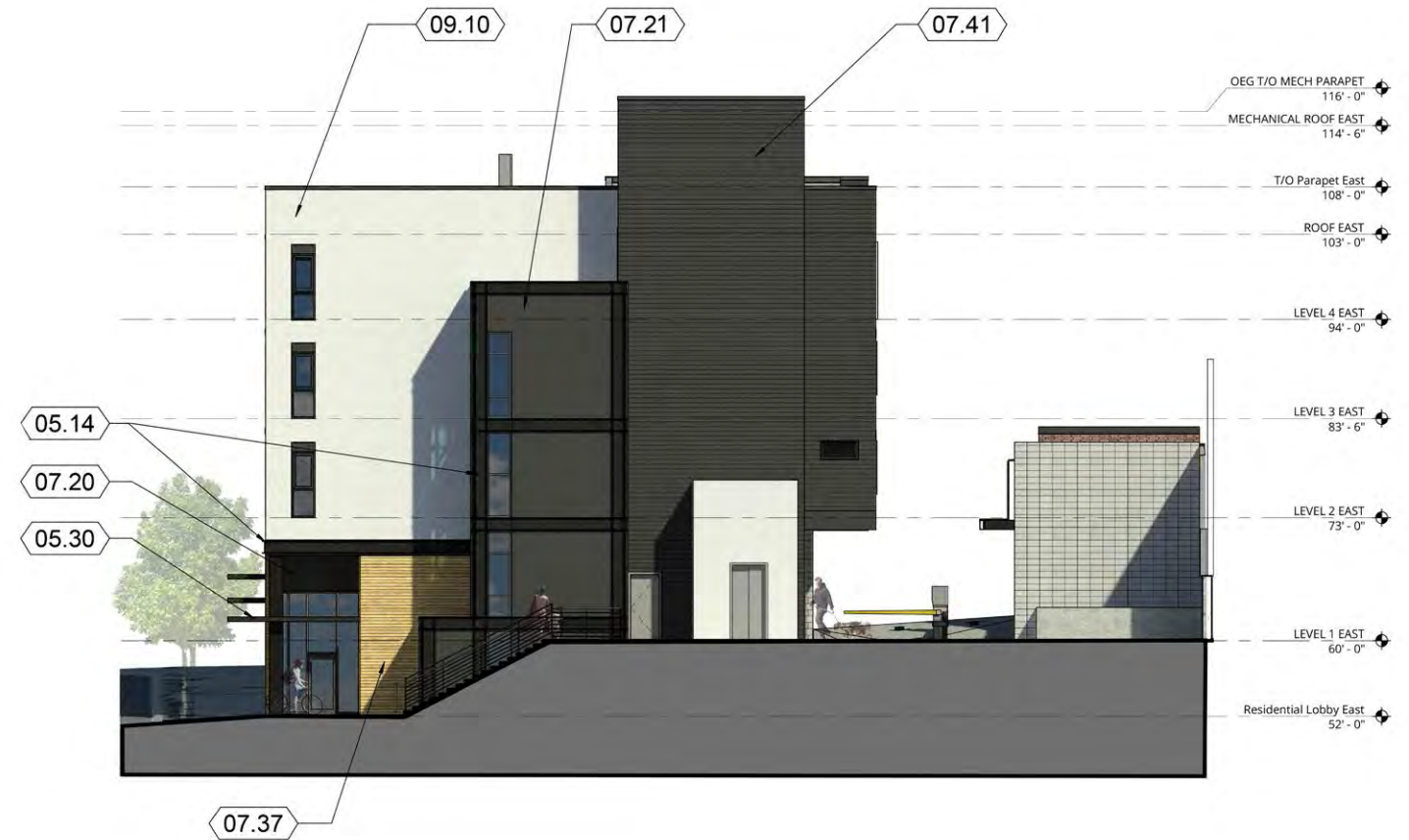
KEYNOTES - ELEVATIONS	
03.01	CAST-IN-PLACE CONCRETE WALL
03.40	PRECAST CONCRETE
04.01	CONCRETE MASONRY UNITS
04.20	BRICK VENEER
05.01	STEEL COLUMN
05.02	STEEL BEAM
05.05	STEEL GATE
05.14	DECORATIVE BUILT-UP C-SHAPED STEEL CHANNEL
05.30	METAL FRAMED CANOPY
05.81	DECORATIVE METAL GUARDRAIL
07.06	RECESSED PERFORATED METAL WALL PANEL SIDING
07.20	FORMED METAL PANELS
07.21	MORIN F-12 PROFILE METAL PANEL
07.22	METAL ROOF PANELS, STANDING SEAM
07.37	WOOD SIDING
07.40	FIBER CEMENT PANEL SIDING
07.41	FIBER CEMENT PLANK SIDING
08.30	ALUMINUM-FRAMED STOREFRONT
08.40	VINYL WINDOW AT APARTMENTS - TYPICAL
08.90	LOUVER - PAINTED TO MATCH ADJACENT MATERIAL
09.10	MODIFIED CEMENT PLASTER, STUCCO
14.45	SEMI-AUTOMATIC, VEHICLE LIFT SYSTEM



Elevation - East 1"=20'-0"

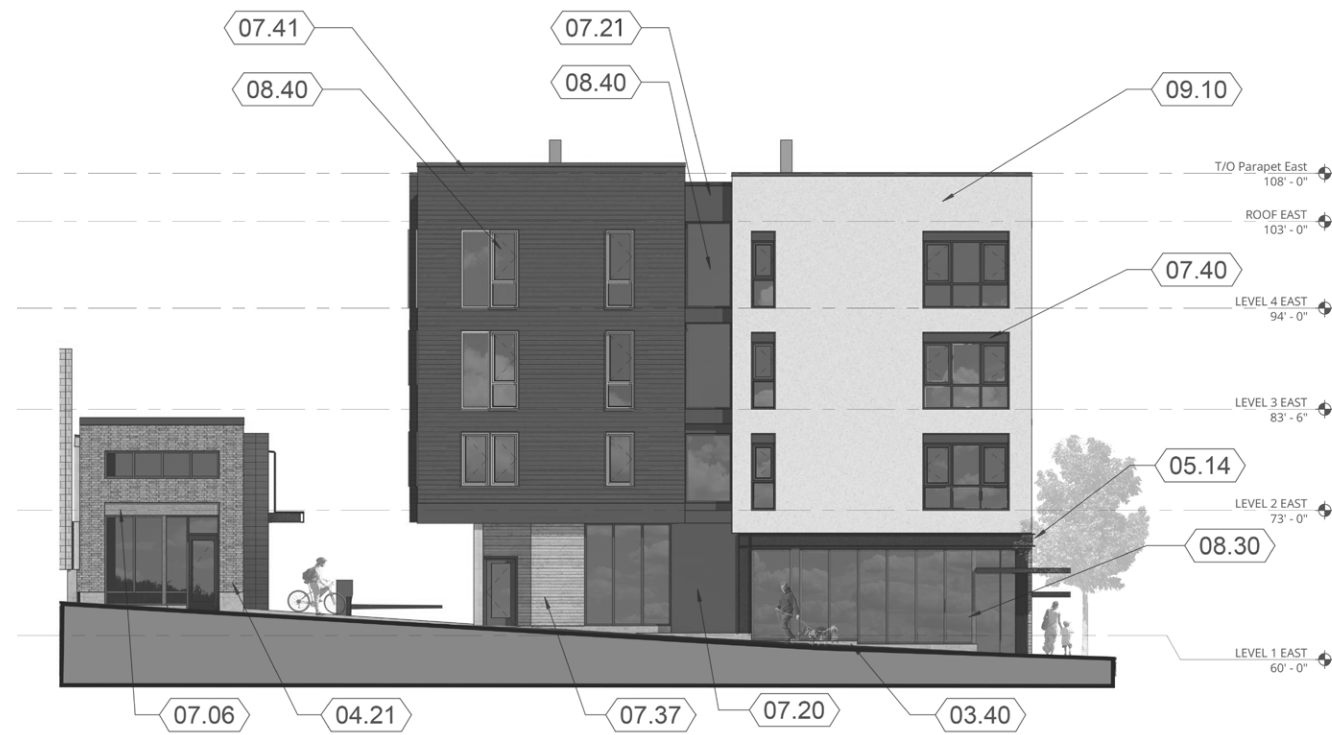


Elevation - North 1"=20'-0"

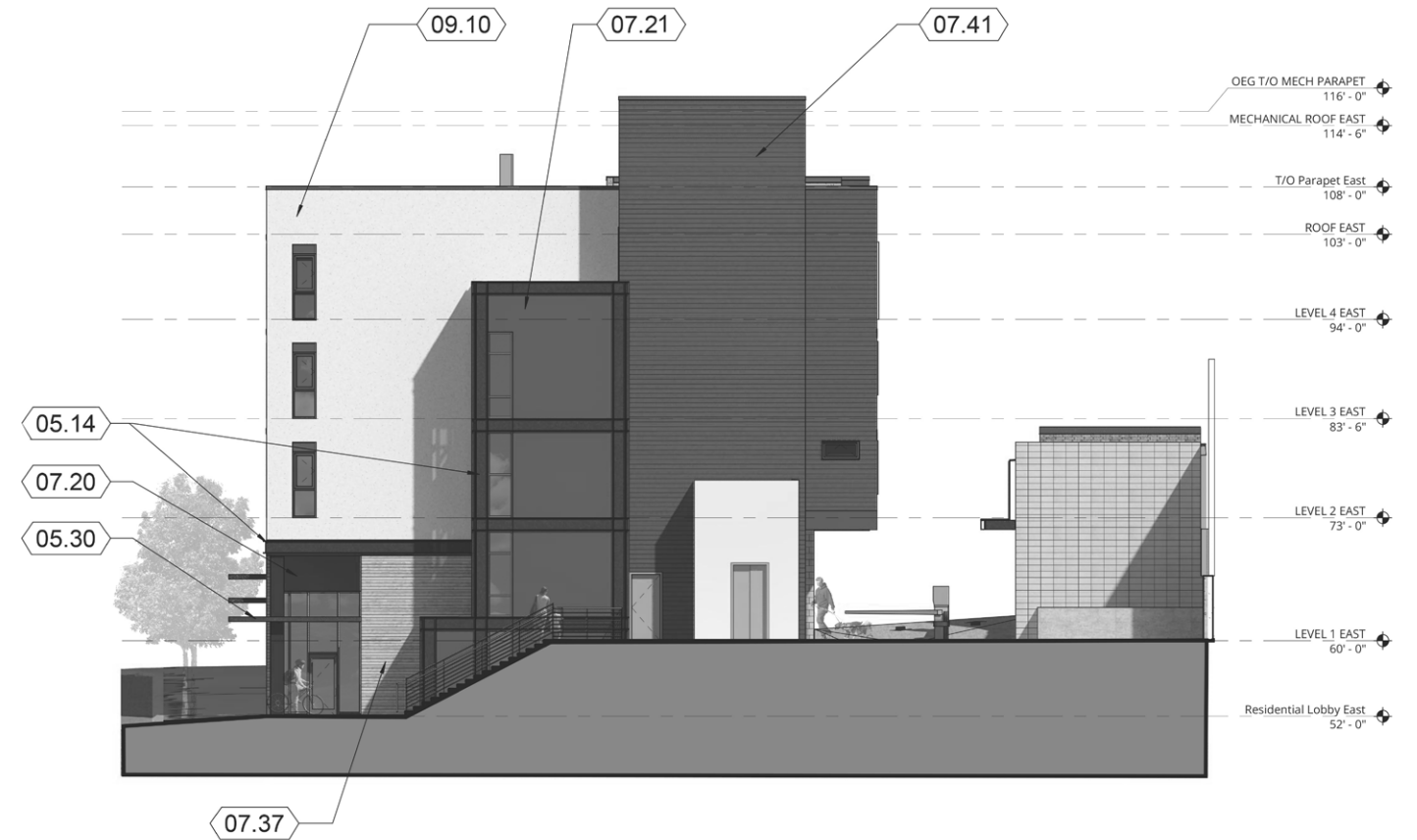


Elevation - South 1"=20'-0"

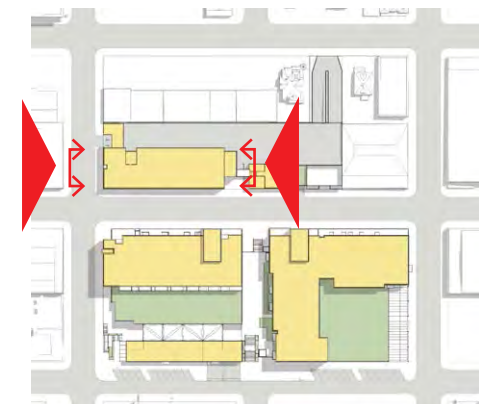
KEYNOTES - ELEVATIONS	
03.01	CAST-IN-PLACE CONCRETE WALL
03.40	PRECAST CONCRETE
04.01	CONCRETE MASONRY UNITS
04.20	BRICK VENEER
05.01	STEEL COLUMN
05.02	STEEL BEAM
05.05	STEEL GATE
05.14	DECORATIVE BUILT-UP C-SHAPED STEEL CHANNEL
05.30	METAL FRAMED CANOPY
05.81	DECORATIVE METAL GUARDRAIL
07.06	RECESSED PERFORATED METAL WALL PANEL SIDING
07.20	FORMED METAL PANELS
07.21	MORIN F-12 PROFILE METAL PANEL
07.22	METAL ROOF PANELS, STANDING SEAM
07.37	WOOD SIDING
07.40	FIBER CEMENT PANEL SIDING
07.41	FIBER CEMENT PLANK SIDING
08.30	ALUMINUM-FRAMED STOREFRONT
08.40	VINYL WINDOW AT APARTMENTS - TYPICAL
08.90	LOUVER - PAINTED TO MATCH ADJACENT MATERIAL
09.10	MODIFIED CEMENT PLASTER, STUCCO
14.45	SEMI-AUTOMATIC, VEHICLE LIFT SYSTEM



Elevation - North 1"=20'-0"

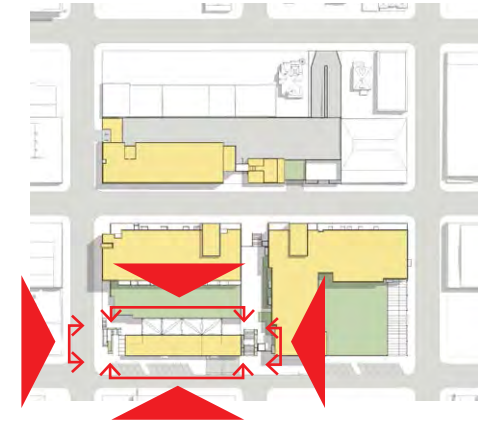


Elevation - South 1"=20'-0"

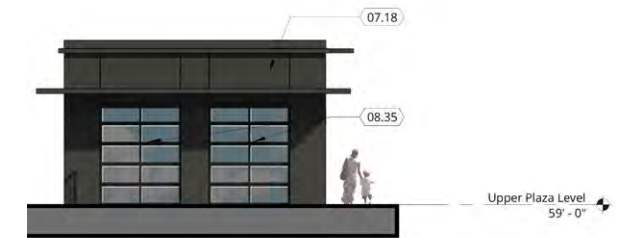


KEYNOTES - ELEVATIONS	
03.40	PRECAST CONCRETE
05.10	STEEL FIREPLACE
05.33	METAL FRAMED CANOPY WITH WOOD PURLINS AND GLASS INSERT
05.34	METAL FRAMED TRELLIS WITH WOOD PURLINS

05.61	METAL PIPE GUARDRAIL
07.14	MORIN MX-1 PROFILE
07.18	MORIN F-12 PROFILE
08.30	ALUMINUM-FRAMED STOREFRONT
08.35	OVERHEAD SECTIONAL DOOR
08.36	OVERHEAD SECTIONAL DOOR WITH CUSTOM PERFORATED SCREEN OVERLAY



Elevation - West 1"=20'-0"



Elevation - South 1"=20'-0"



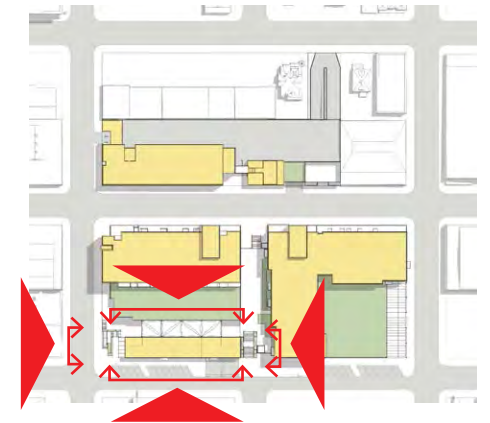
Elevation - East 1"=20'-0"



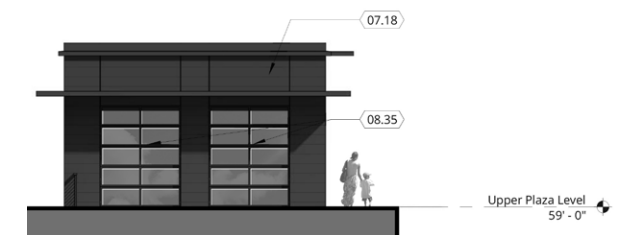
Elevation - North 1"=20'-0"

KEYNOTES - ELEVATIONS	
03.40	PRECAST CONCRETE
05.10	STEEL FIREPLACE
05.33	METAL FRAMED CANOPY WITH WOOD PURLINS AND GLASS INSERT
05.34	METAL FRAMED TRELLIS WITH WOOD PURLINS

05.61	METAL PIPE GUARDRAIL
07.14	MORIN MX-1 PROFILE
07.18	MORIN F-12 PROFILE
08.30	ALUMINUM-FRAMED STOREFRONT
08.35	OVERHEAD SECTIONAL DOOR
08.36	OVERHEAD SECTIONAL DOOR WITH CUSTOM PERFORATED SCREEN OVERLAY



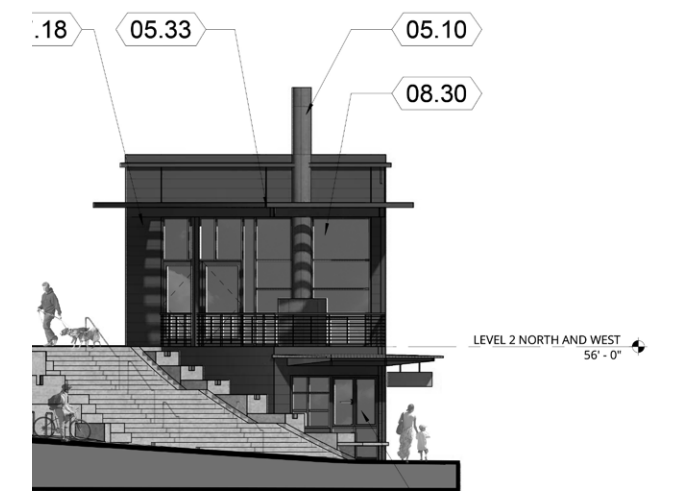
Elevation - West 1"=20'-0"



Elevations - South 1"=20'-0"



Elevation - East 1"=20'-0"



Elevations - North 1"=20'-0"



04.20

(04.20) Grocery Base
Economy Brick Veneer
Glacier - Mission



Aluminum Storefront and Garage Doors
Kawneer Dark Bronze



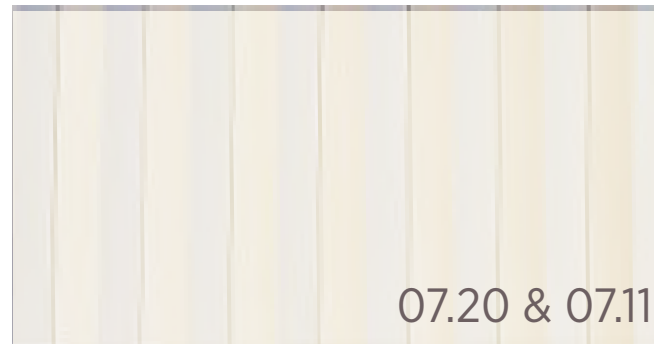
05.45

(05.45) NW Elevator Tower
Steel Plate Panels w/ Exposed Fasteners



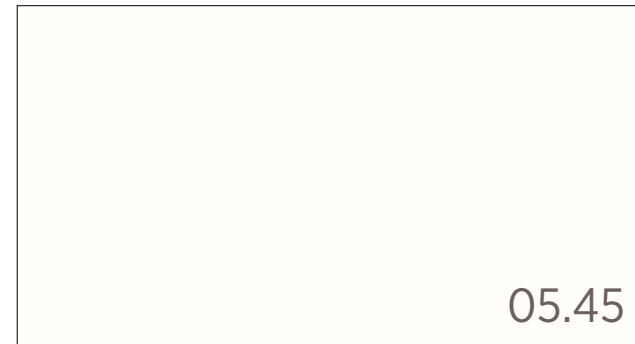
07.07

(07.07) Color 1 Redwood
Morin W-12 Profile Metal Panel



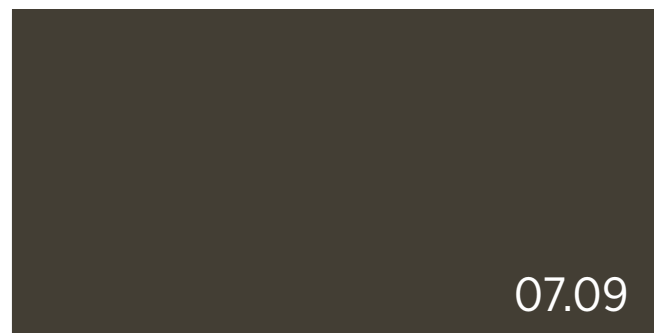
07.20 & 07.11

(07.20) Color 2 - Sandstone
Morin W-12 Profile Metal Panel
(07.11) Perforated W-12 Profile



05.45

(07.27) Color 3 - Off White
Larson Composite Panel
(Between window groupings)



07.09

(07.09) Color 4 Dark Bronze
Morin X-12 Profile Metal Panel



05.63

(05.63) Balcony Pipe Guardrails
Galvanized Finish



05.30

(05.30) Ground Floor Canopies
Exposed Roof Decking
Galvanized Steel Finish





05.10

Weathering Steel Plate Fire place



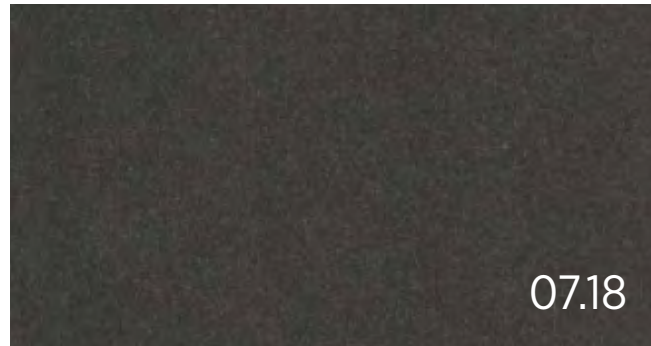
07.14

Morin MX-1 Profile - 22 Ga. Minimum



03.40

Concrete



07.18

Morin F-12 Profile Metal Panels - 22 Ga. Metallic Grey



08.30

Aluminum Storefront and Roll-up Doors
Anodize Black finish



Flat Composite Metal Panels - Various colors at retail entries





09.10

White Stucco



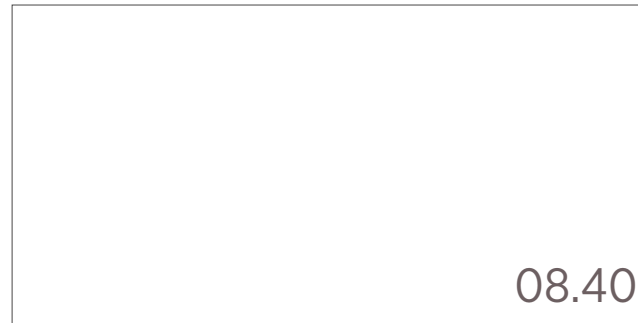
07.41

Horizontal Cement Board Siding
Charcoal Color



07.37

Squared Lap Wood Rainscreen System w/ 10 Ga.
Minimum Metal Furring



08.40

VPI High Performance Vinyl Windows - White



08.40

VPI High Performance Vinyl Windows - Black



07.20

Color 1 Dark Bronze
Aluminum Plate 0.080" Minimum Thickness



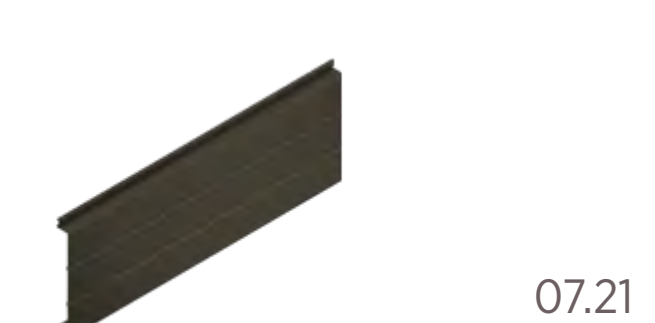
8.30

Aluminum Storefront and Roll-up Doors
Anodize Black finish



03.40

Cast In Place Concrete Base



07.21

Morin F-12 Profile
22 Ga. Minimum Thickness



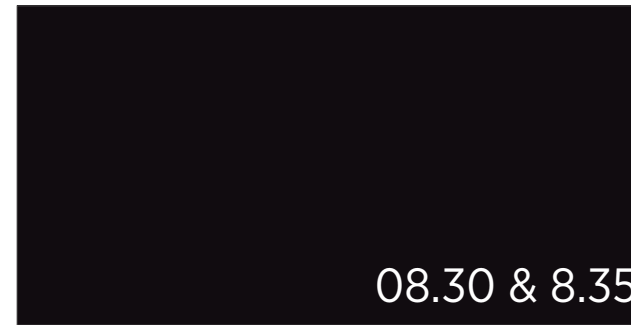


04.21

Brick Veneer - Mutual Materials
Classic Used / Tumbled



Prefinished Metal Trim &
Painted Steel Channel - Black



08.30 & 8.35

Aluminum Storefront and Roll-up Doors
Anodized Black finish



07.14

Morin A12-1



07.13

Morin X12-1

Morin CF & XF Series Concealed Fastener
Metal Panel



Medium Grey Metallic / Black
Morin Metal Panel Color System



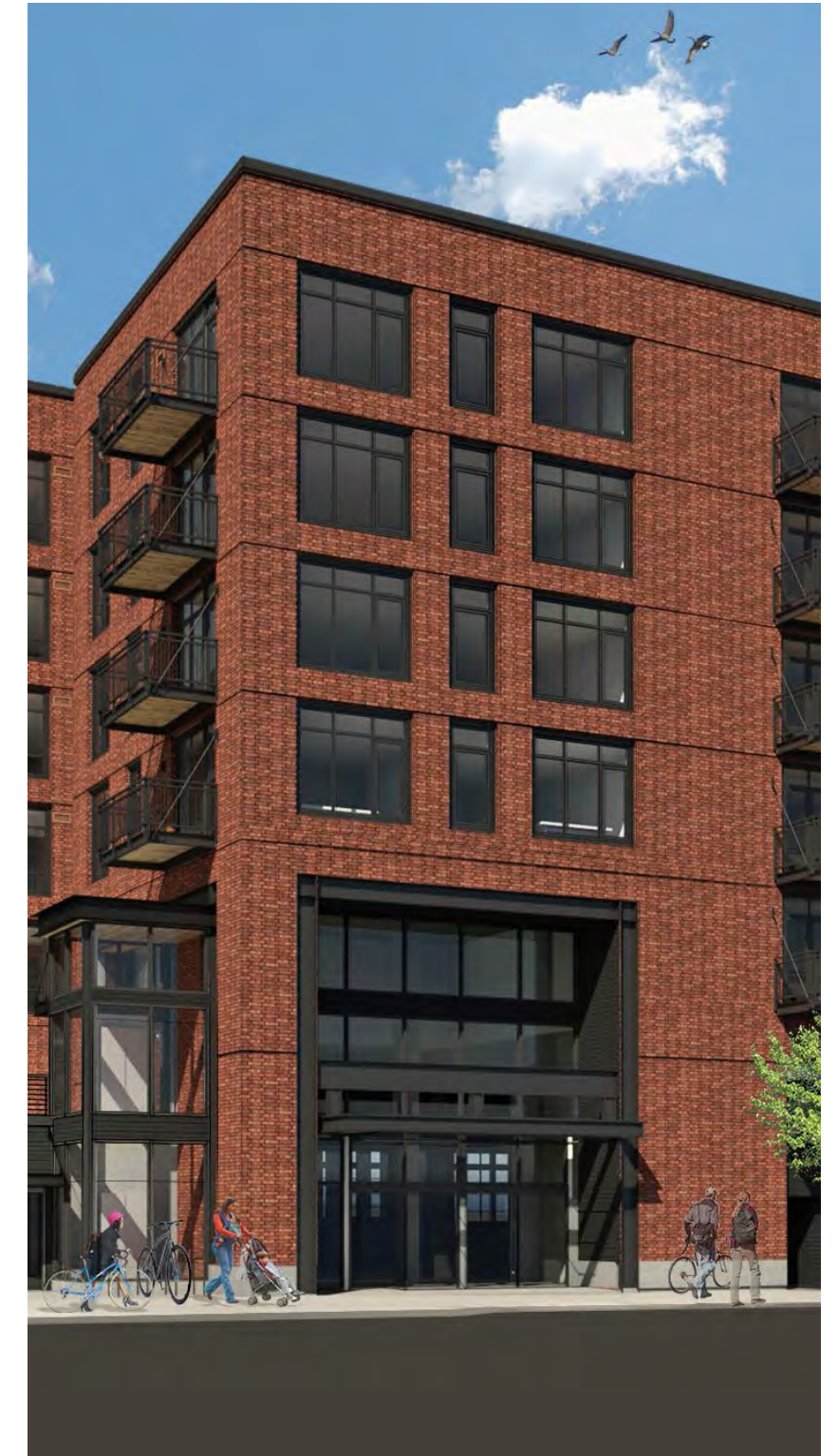
08.40

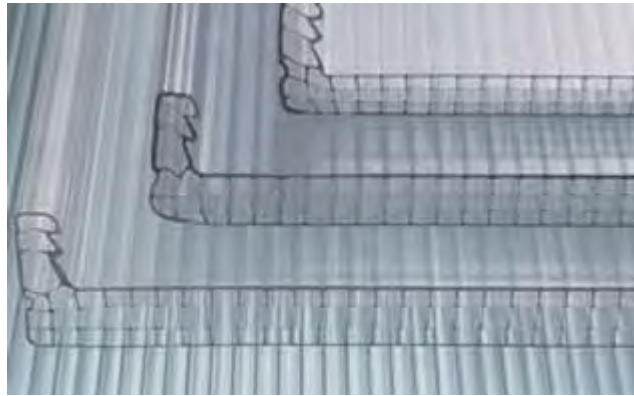
VPI High Performance Vinyl Windows - Black



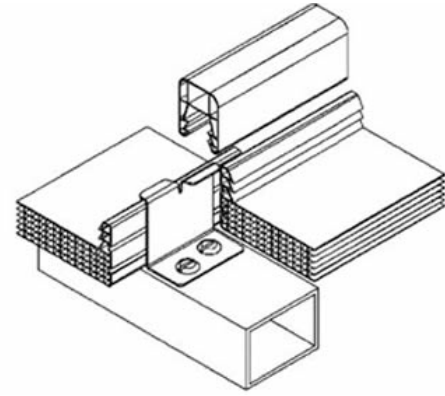
03.40

Cast In Place Concrete Base





DP16 Multicell Roof Panel - Clear

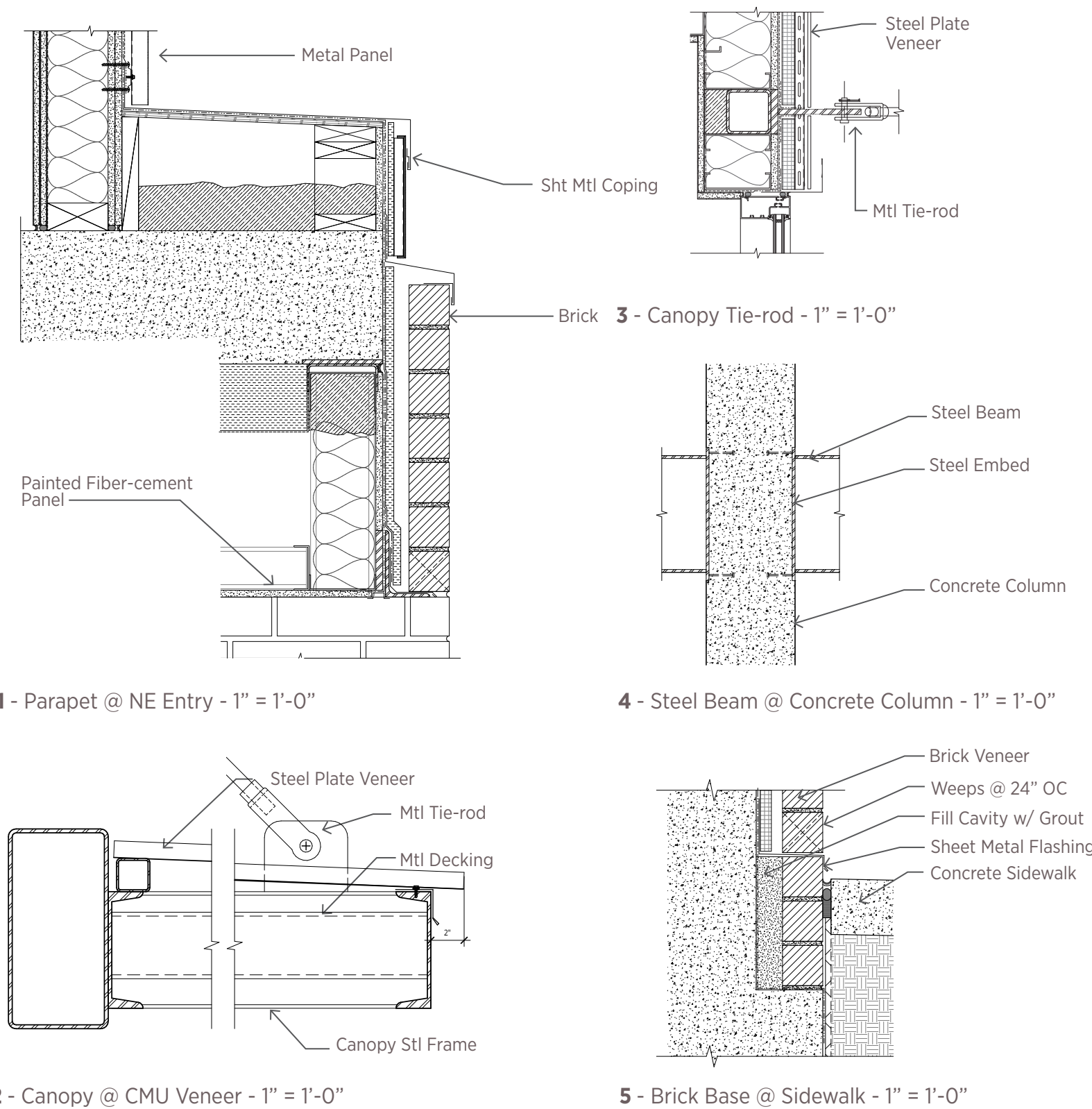
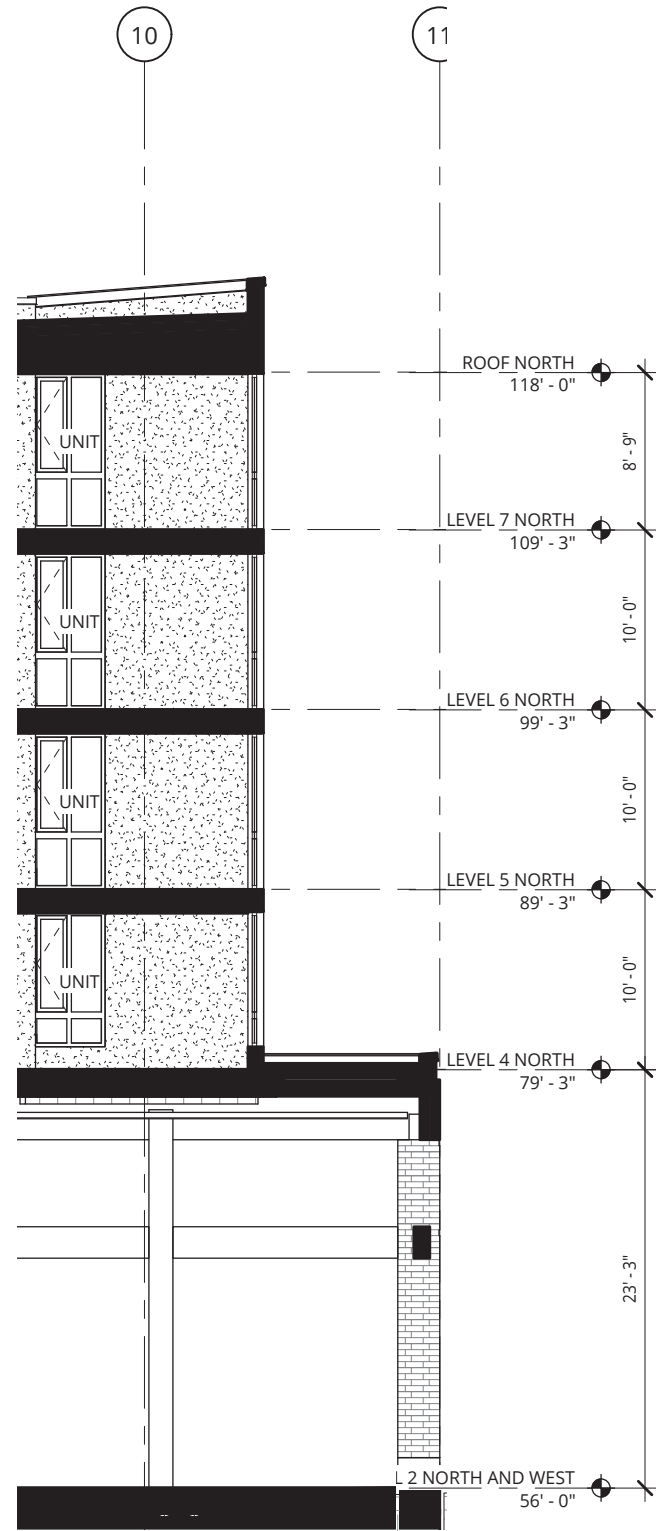


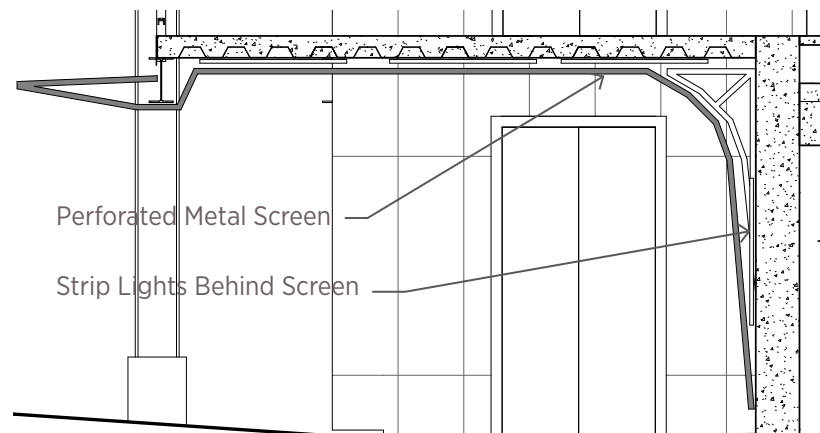
Painted Steel Channel, Painted Structural Steel & Prefinished Metal Trim - Black



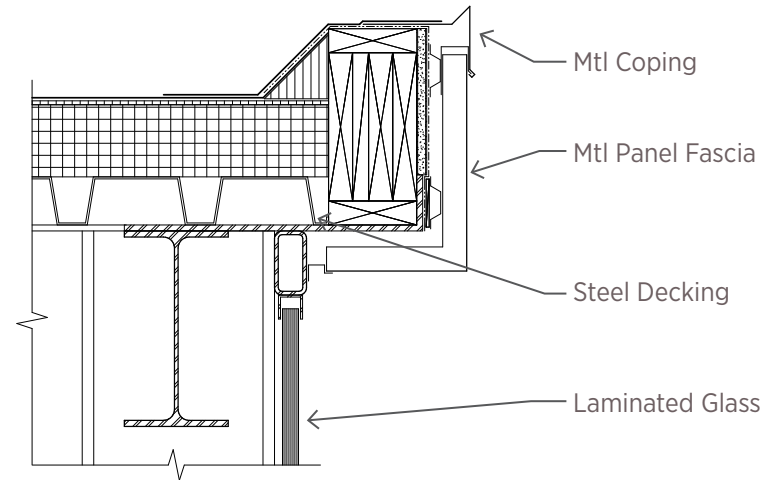
Cast In Place Concrete Base & Planter Walls



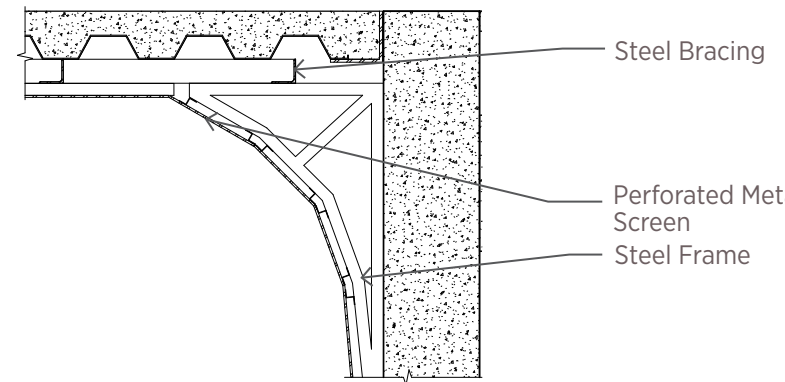




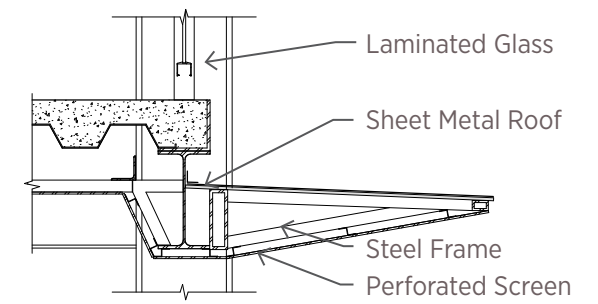
Perforated Panel Entry Section



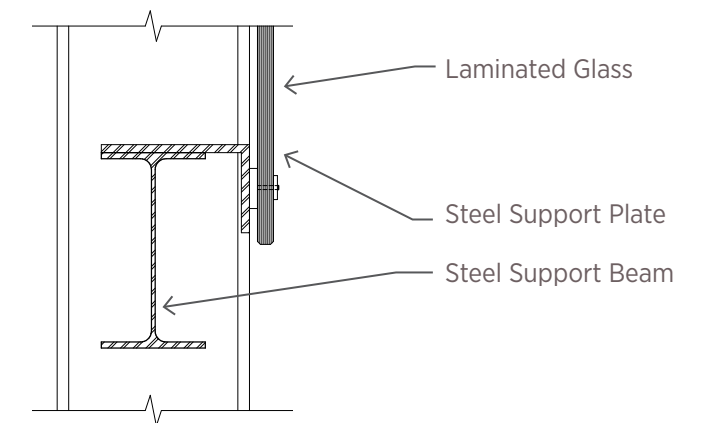
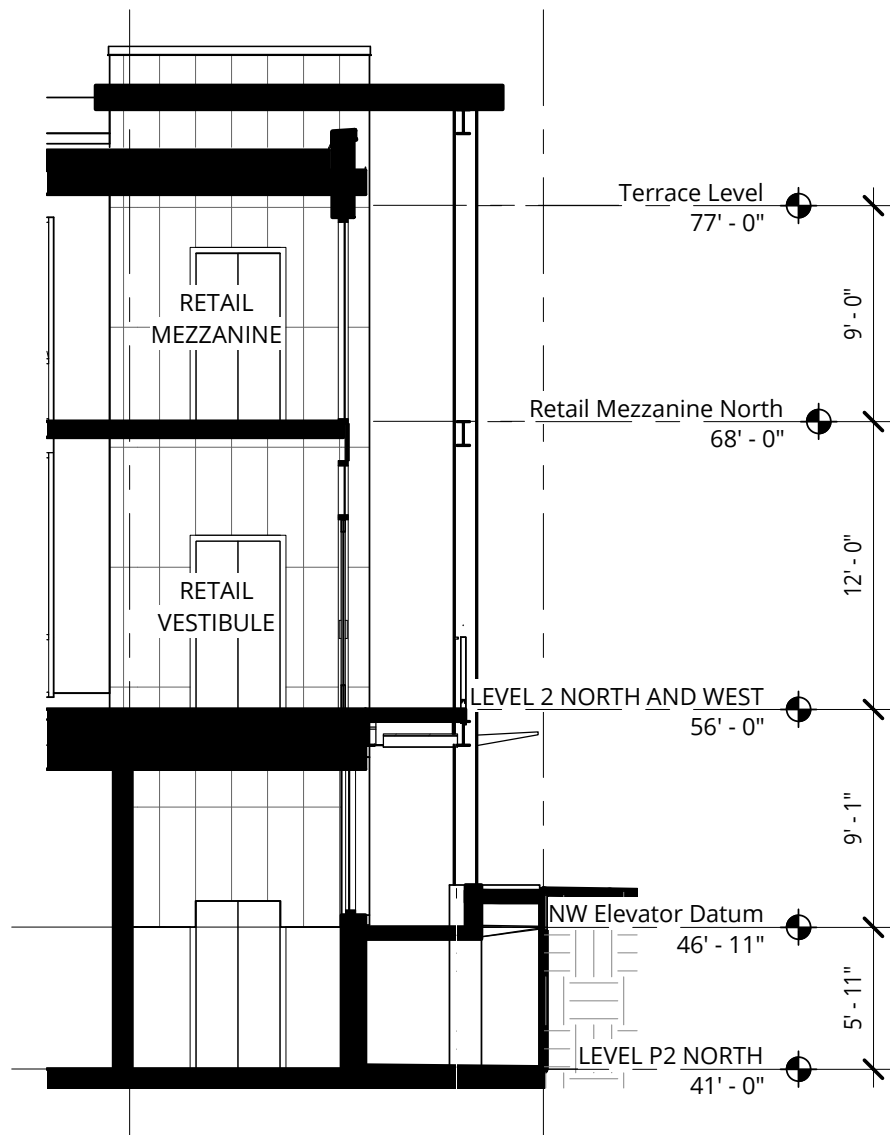
1 - Roof Coping - 1" = 1'-0"



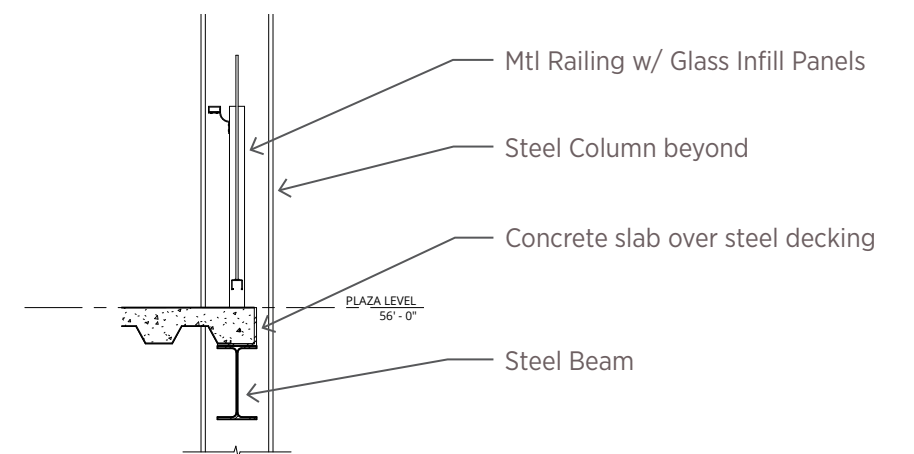
2 - Perforated Panel @ Building Edge - 1" = 1'-0"



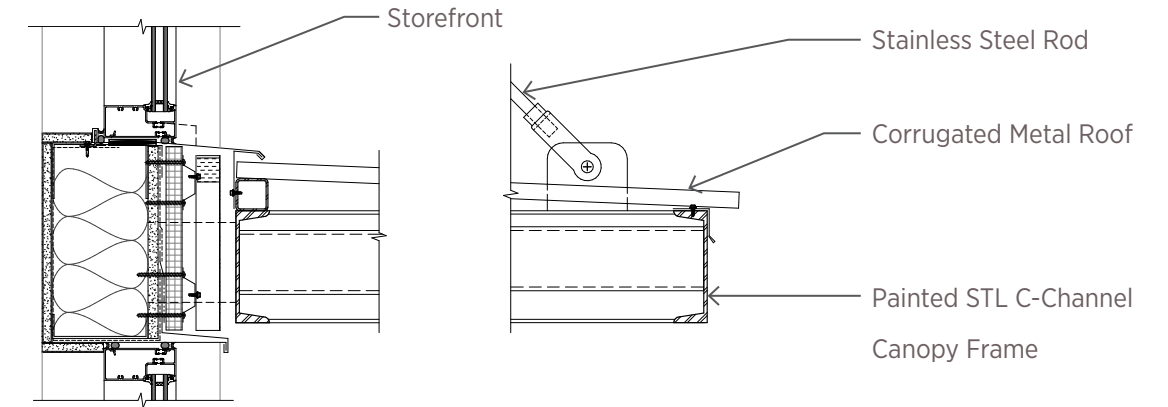
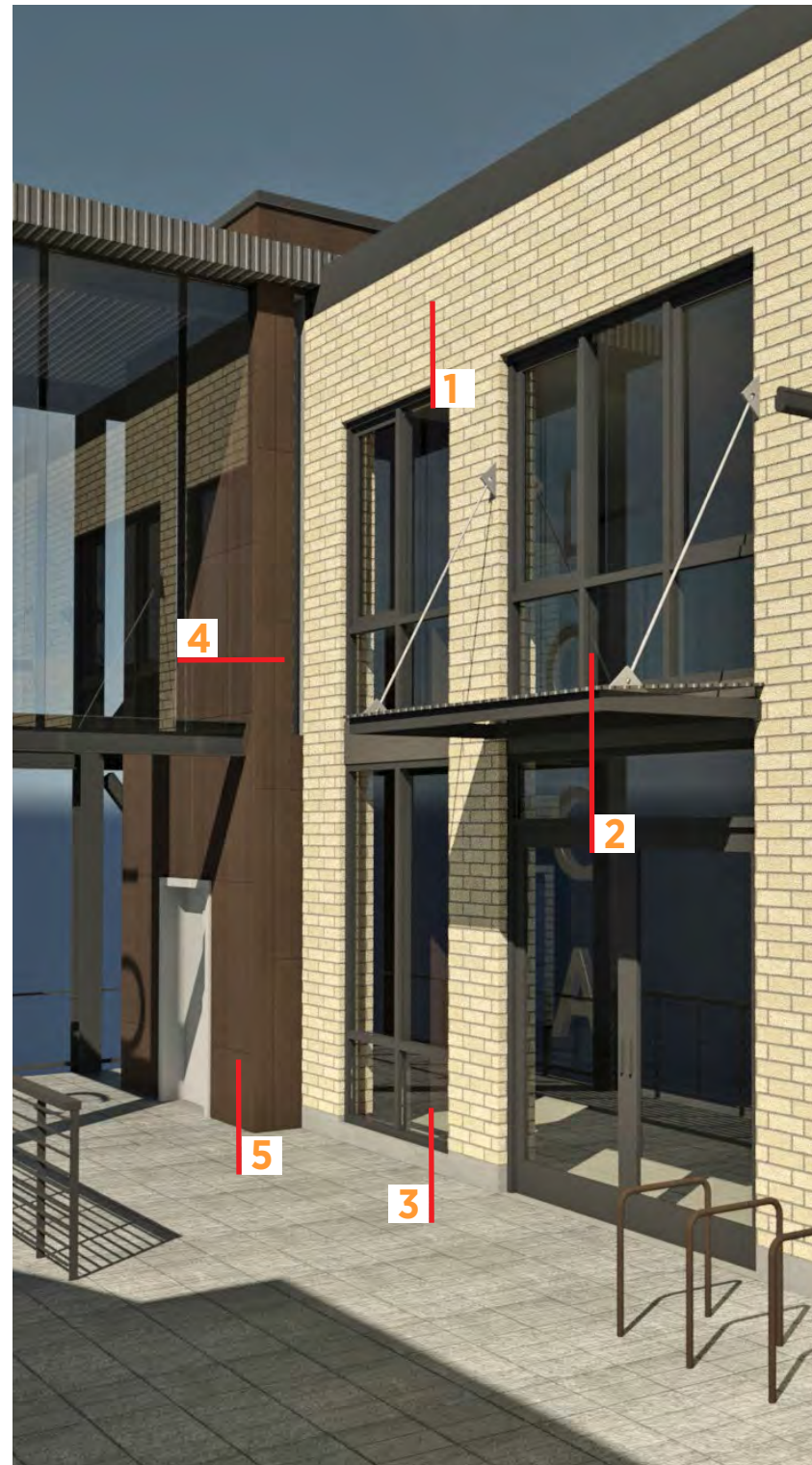
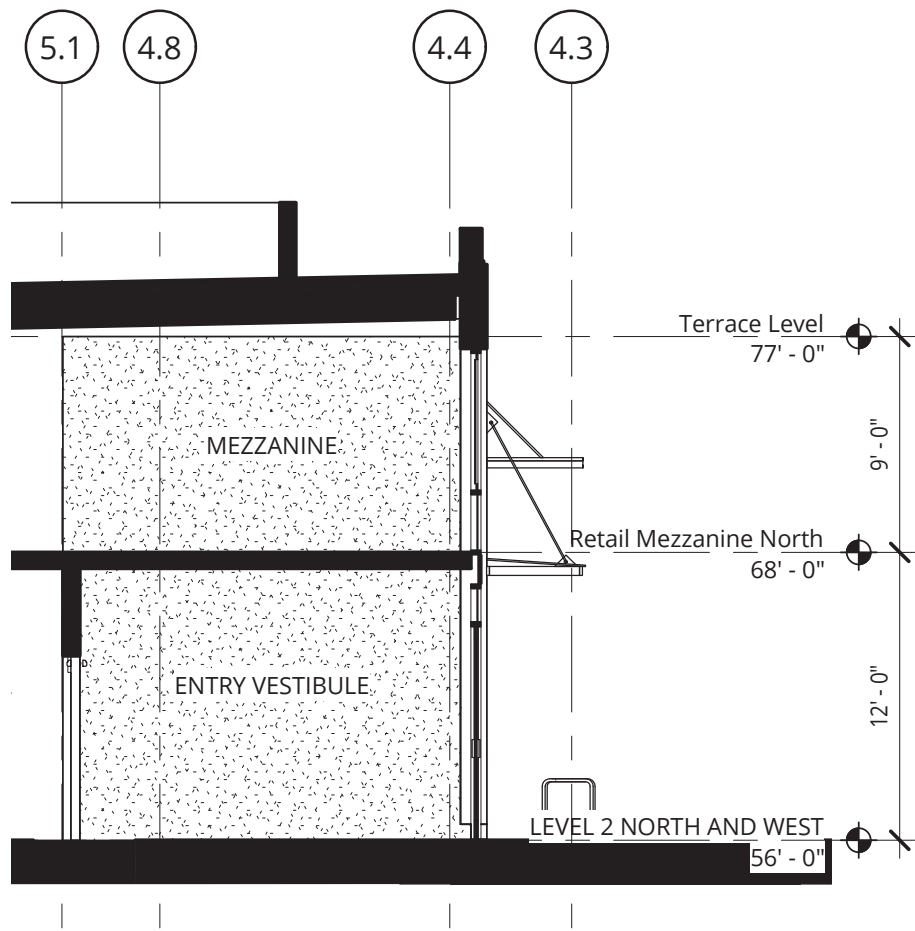
3 - Perforated Panel @ Back Wall - 1" = 1'-0"



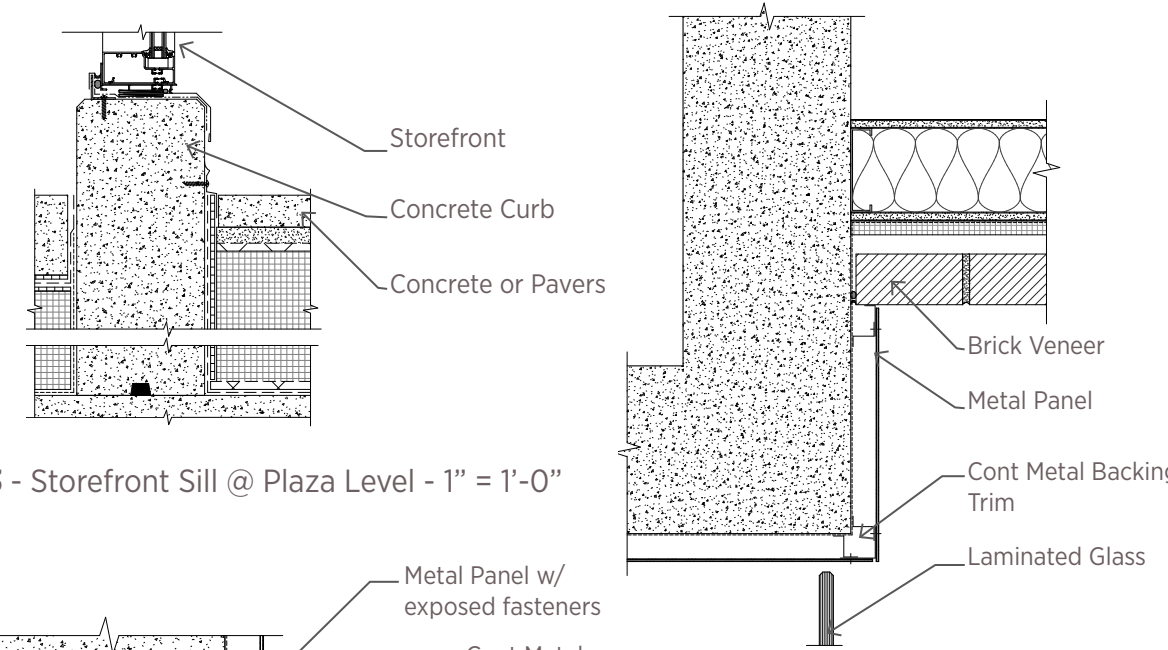
4 - Glass Connection @ Beam - 1" = 1'-0"



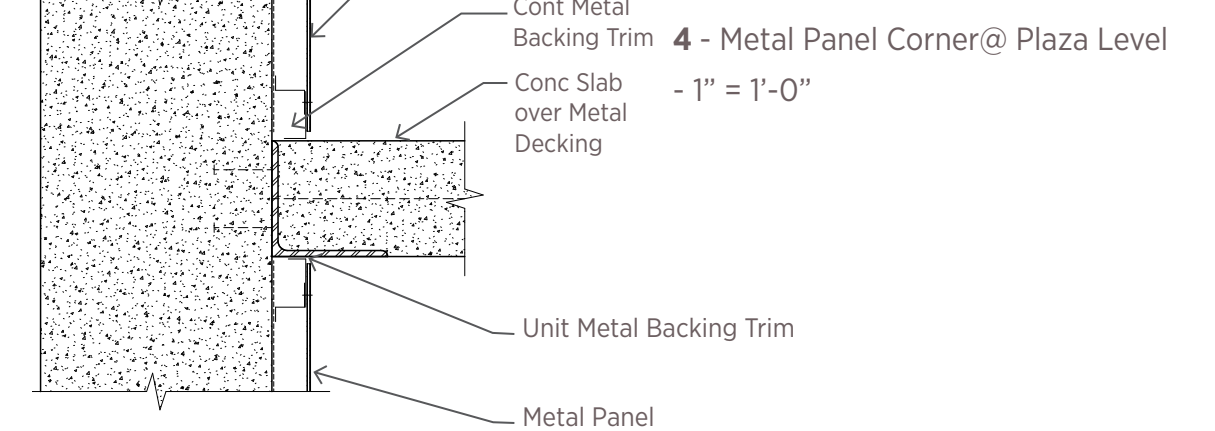
5 - Railing @ Plaza Level - 1" = 1'-0"



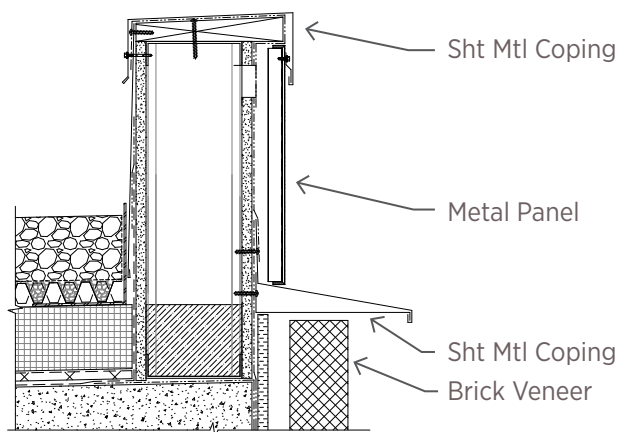
2 - Storefront Canopy @ Steel Plate Veneer - 1" = 1'-0"



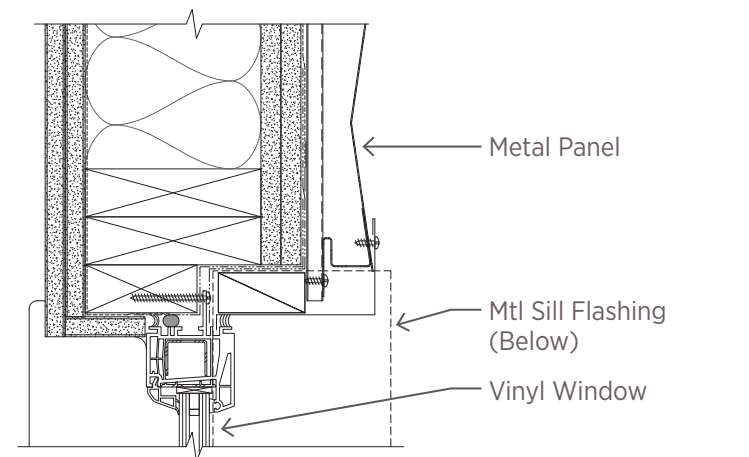
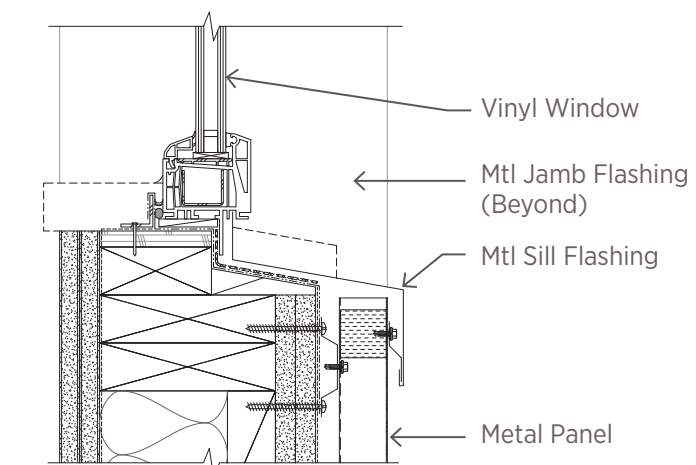
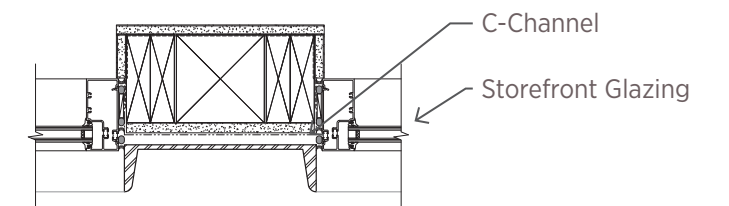
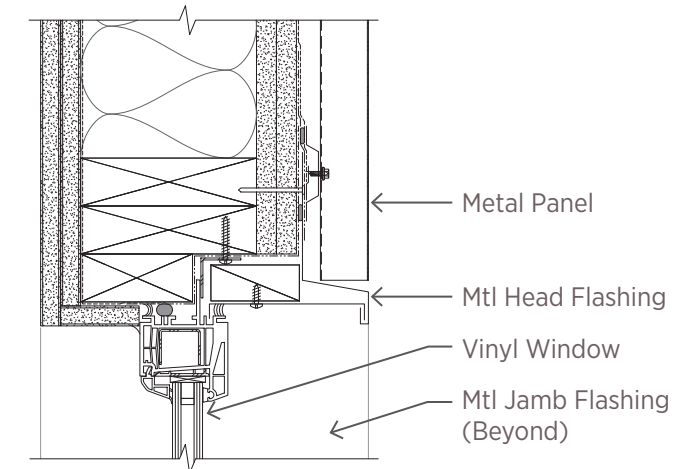
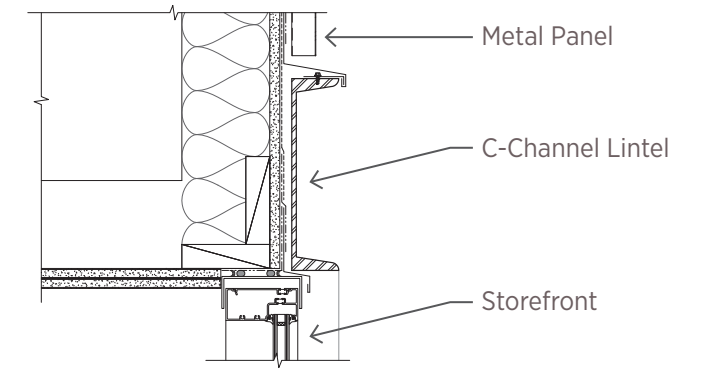
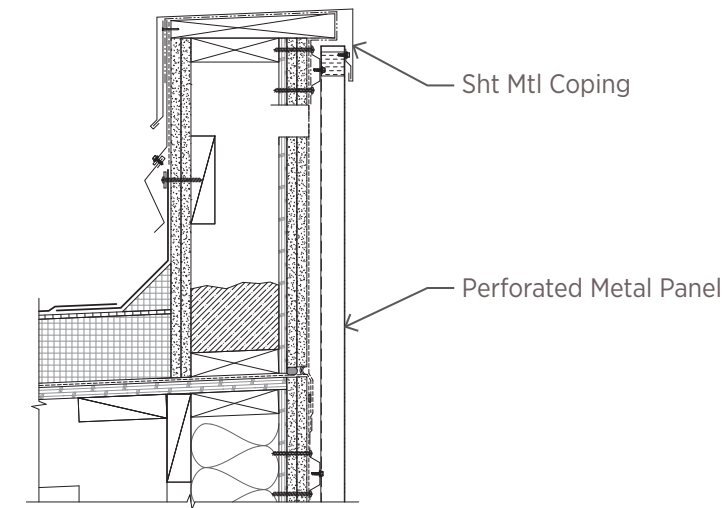
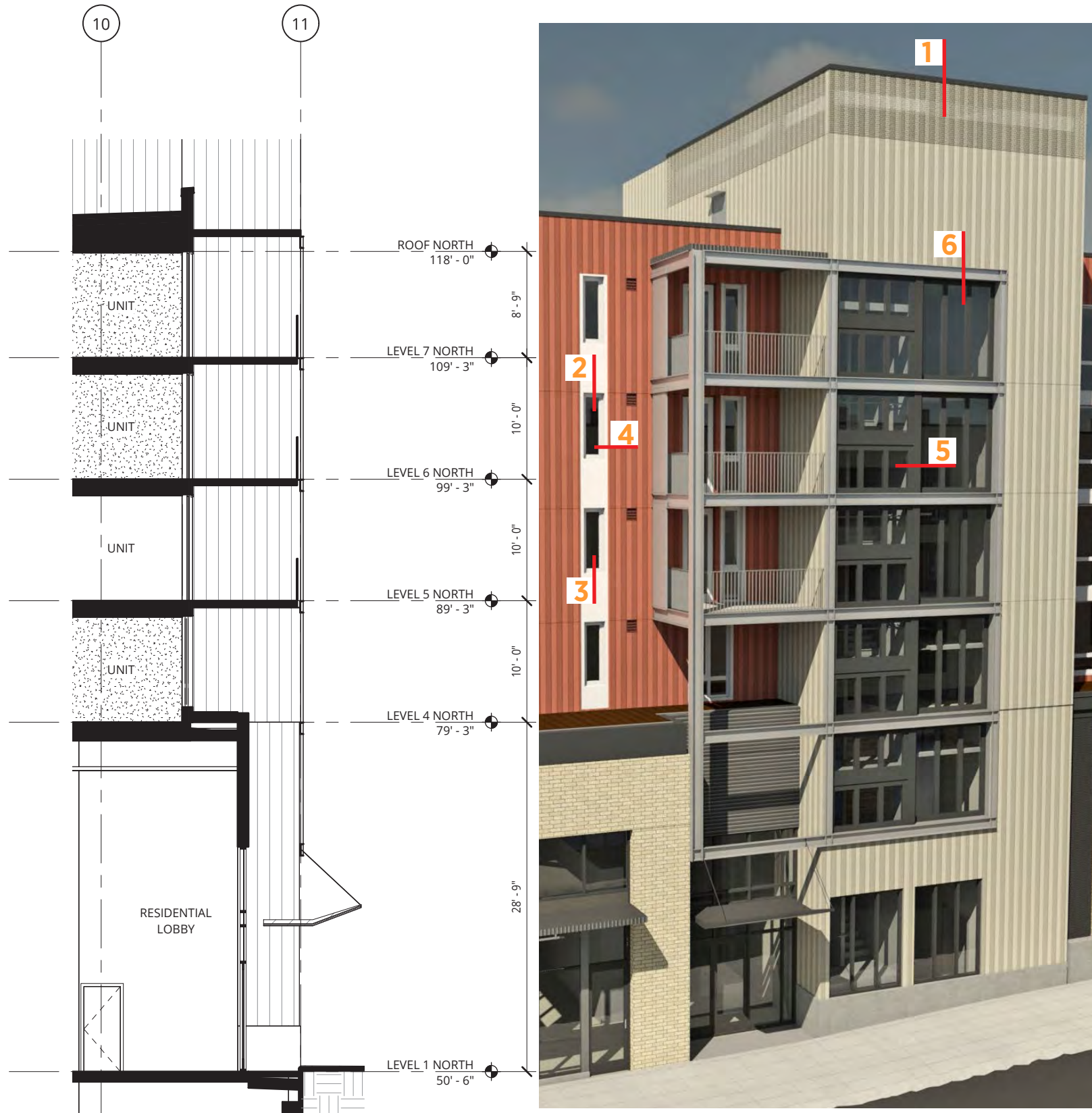
3 - Storefront Sill @ Plaza Level - 1" = 1'-0"

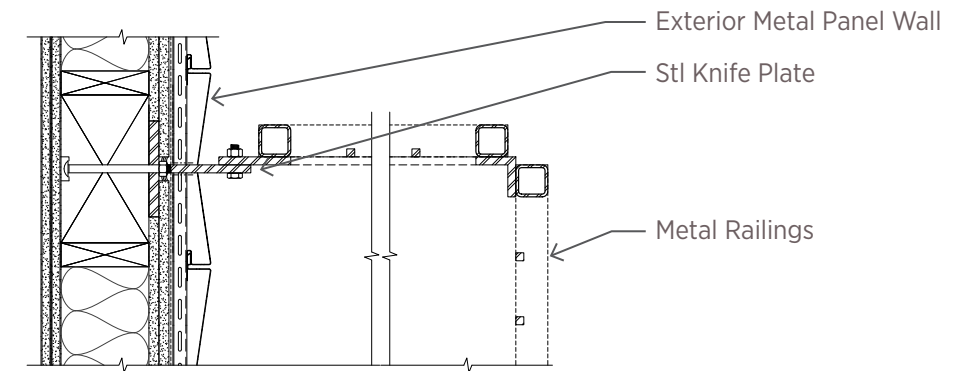
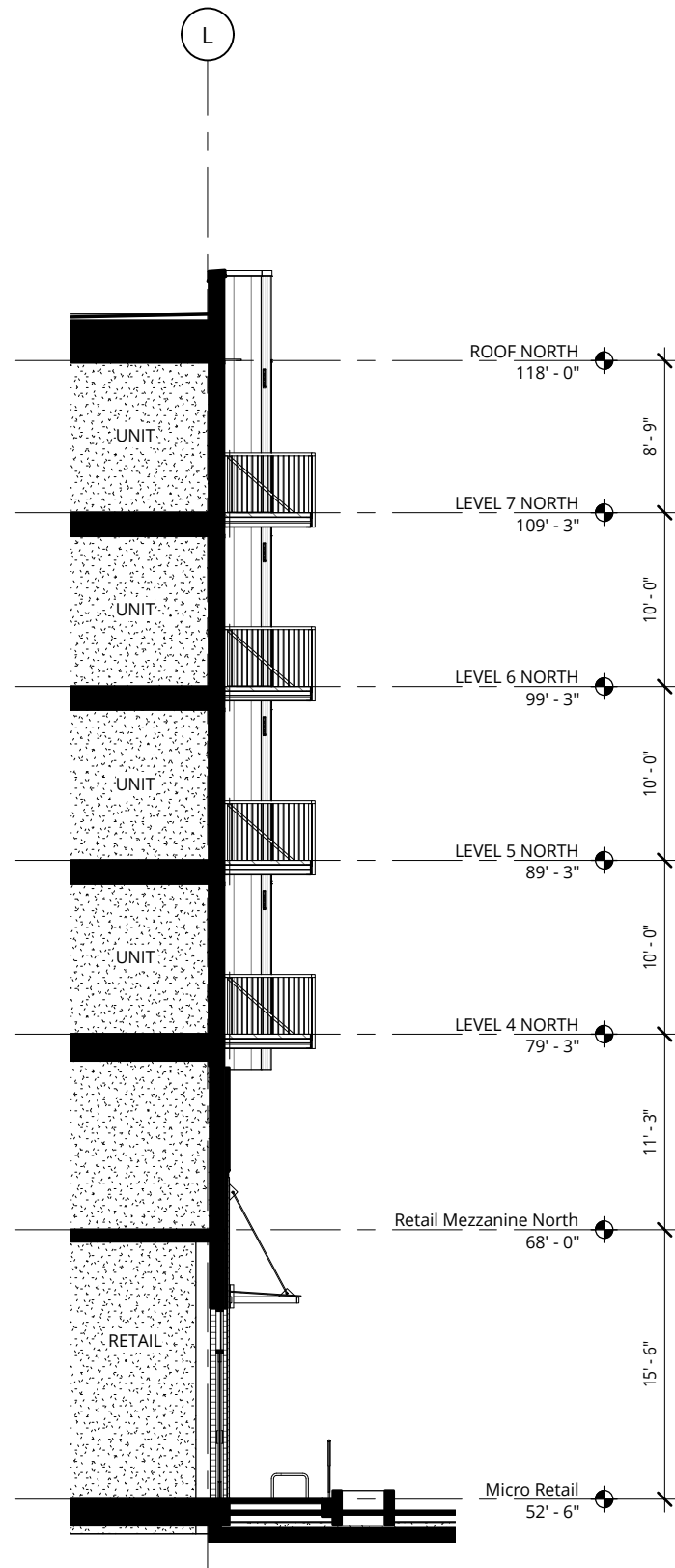


5 - Metal Panel Elevation @ Plaza Level - 1" = 1'-0"

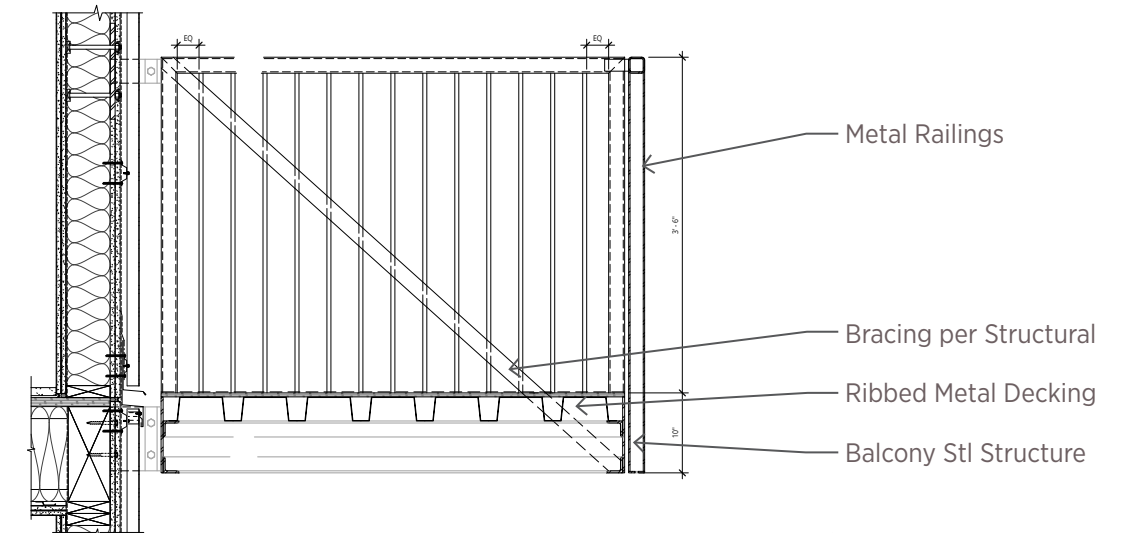


1- Metal Panel @ Retail Frieze - 1/2" = 1'-0"

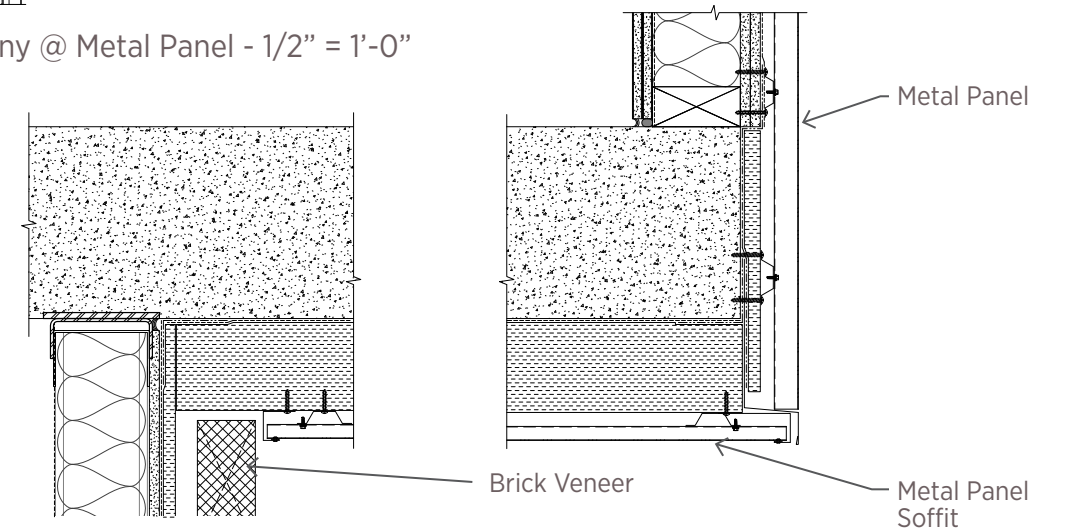




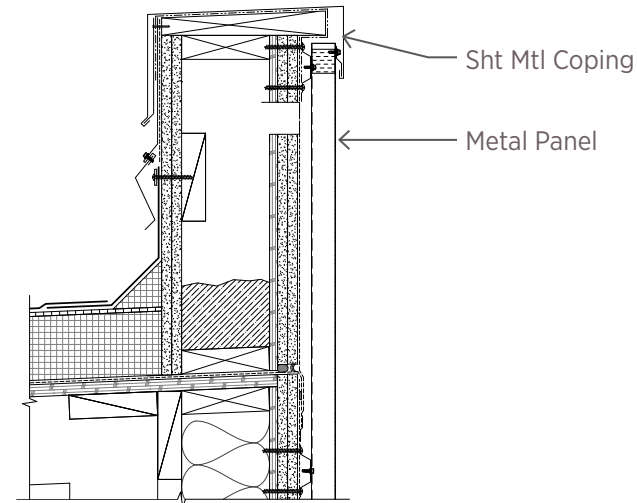
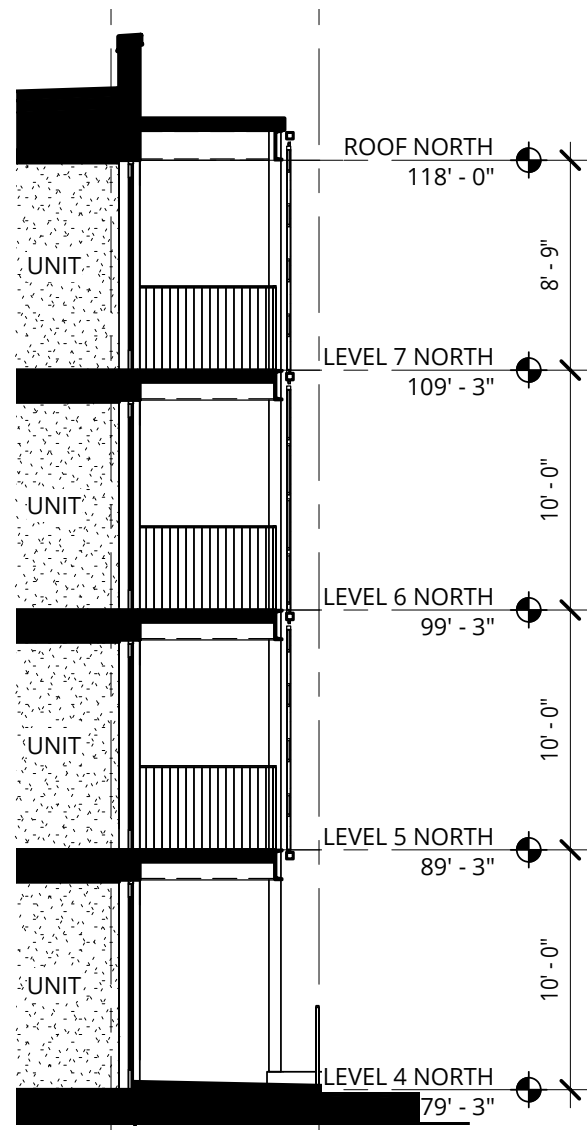
1 - Balcony Connection @ Metal Panel - 1" = 1'-0"



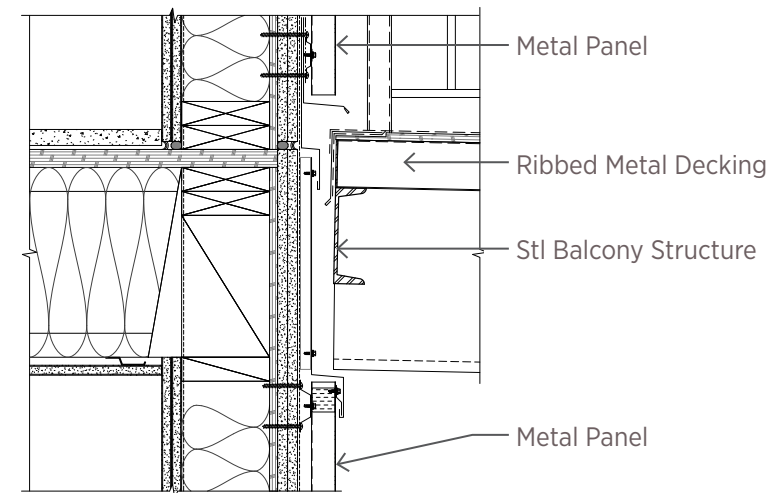
2 - Balcony @ Metal Panel - 1/2" = 1'-0"



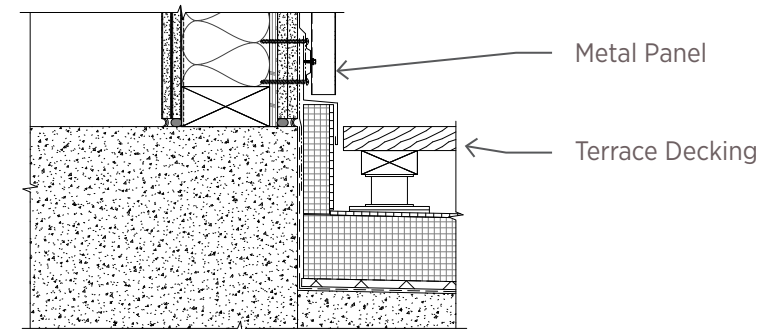
3 - Terrace @ CMU Parapet - 1" = 1'-0"



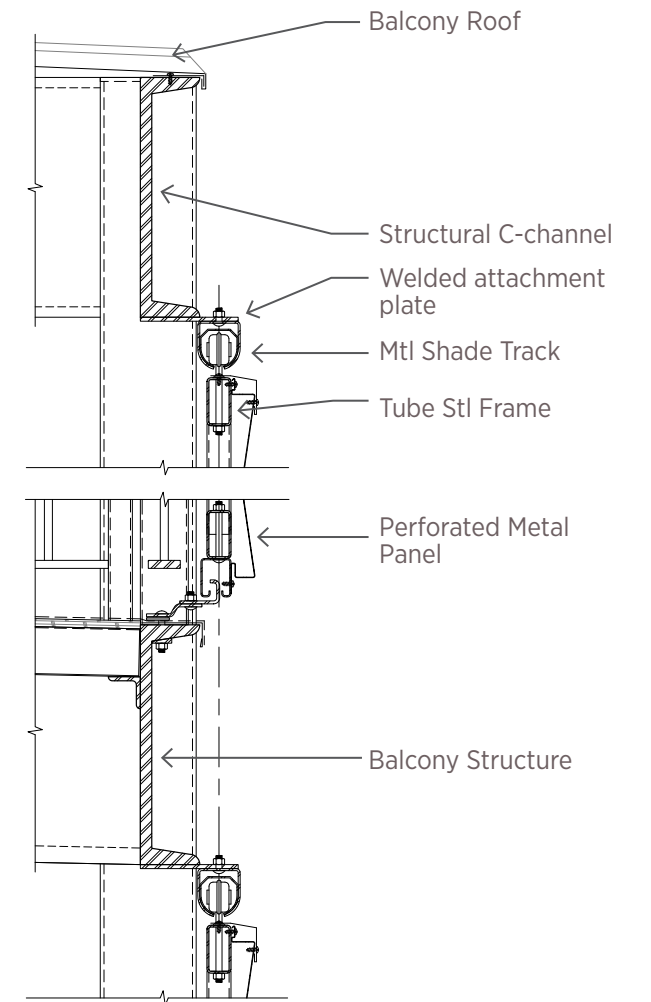
1 - Parapet @ Metal Panel - 1" = 1'-0"



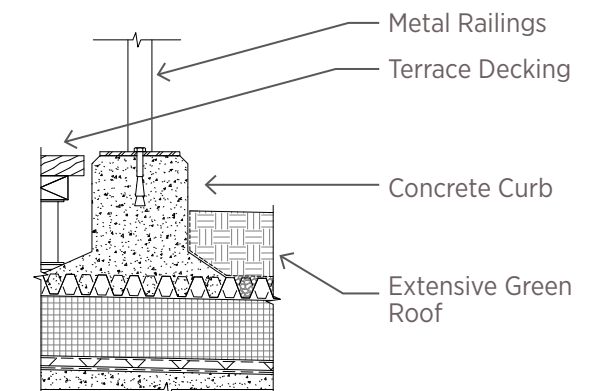
2 - Deck Connection @ Metal Panel - 1" = 1'-0"



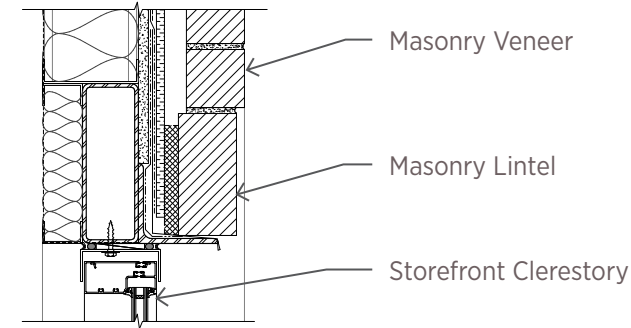
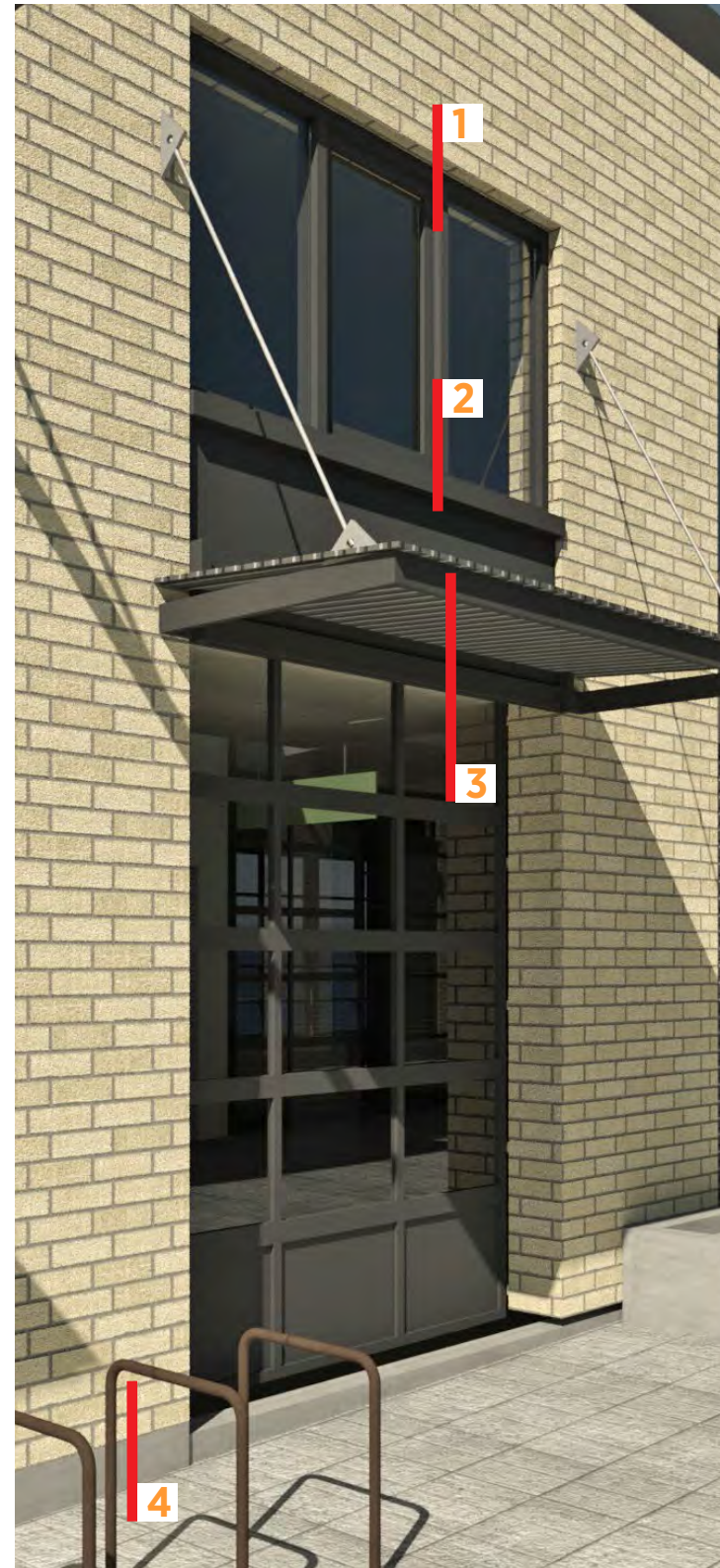
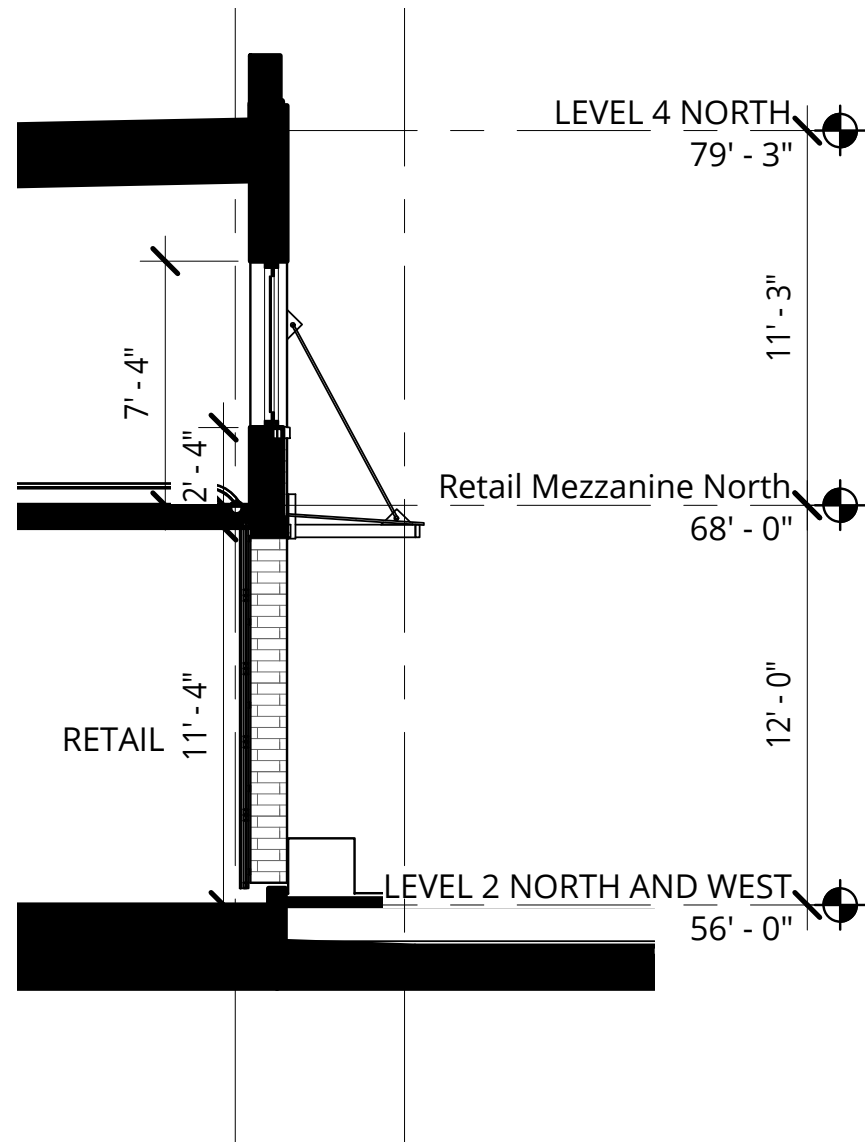
4 - Terrace Curb @ Metal Panel - 1" = 1'-0"



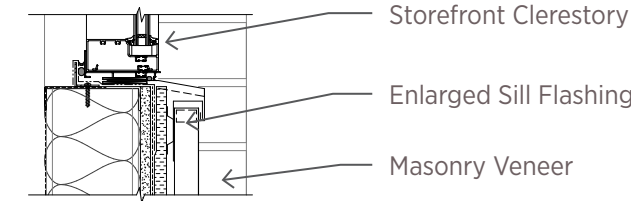
3 - Sliding Panels @ Balcony - 1" = 1'-0"



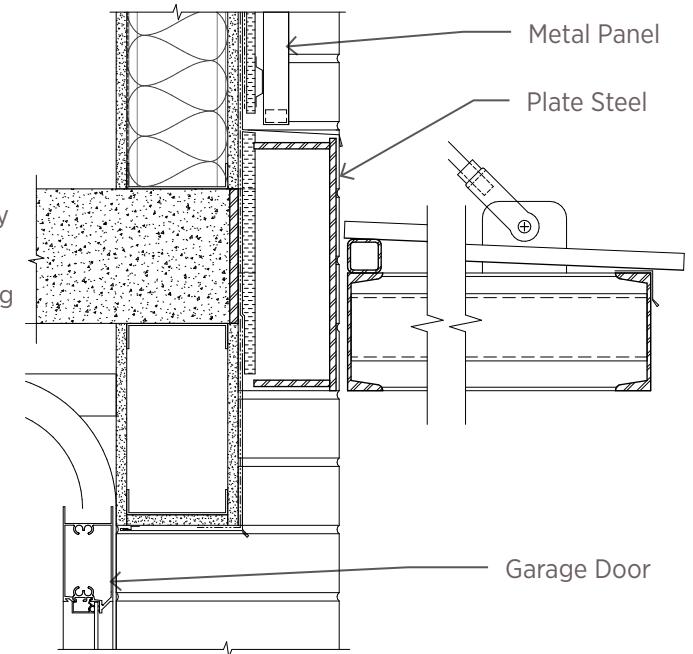
5 - Terrace Edge - 1" = 1'-0"



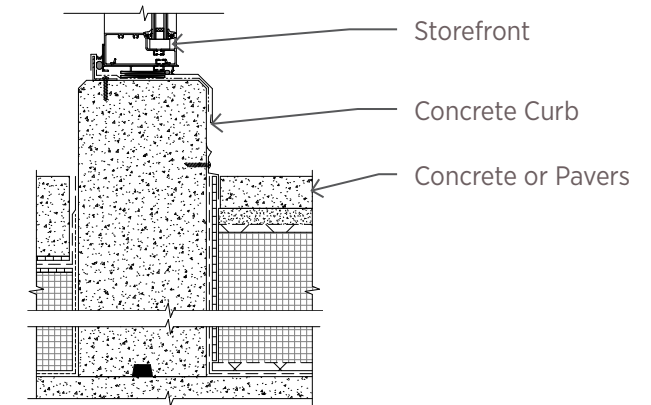
1 - Masonry Lintel @ Storefront Head - 1" = 1'-0"



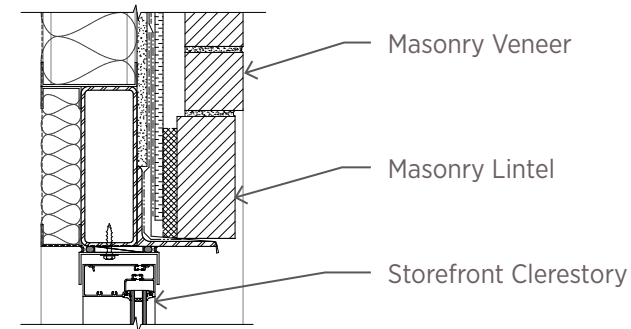
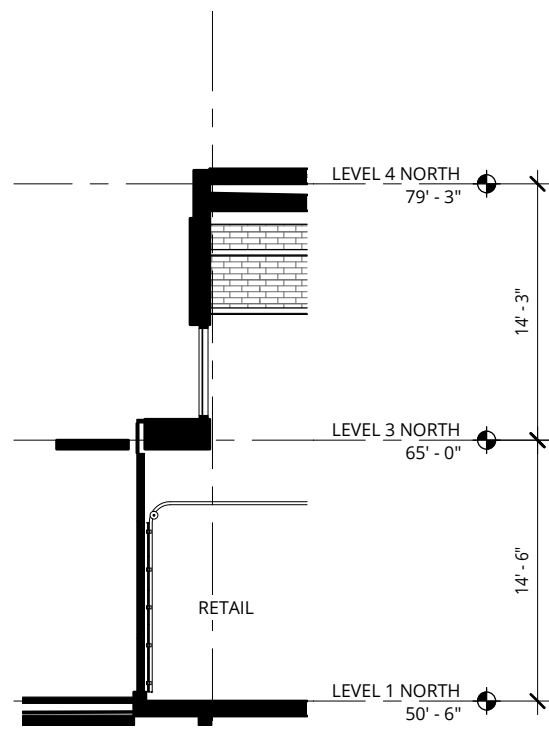
2 - Enlarged Sill @ Masonry - 1" = 1'-0"



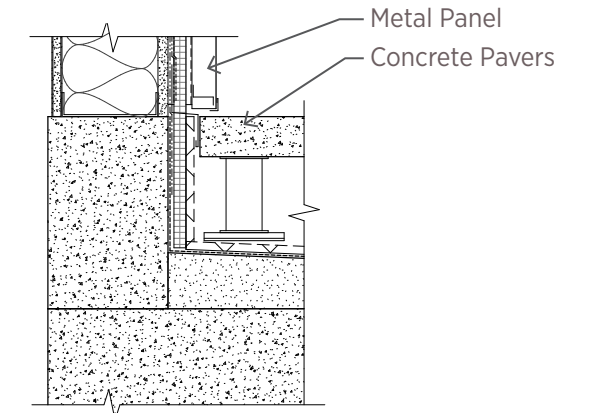
3 - Steel Lintel @ Garage Door Head - 1" = 1'-0"



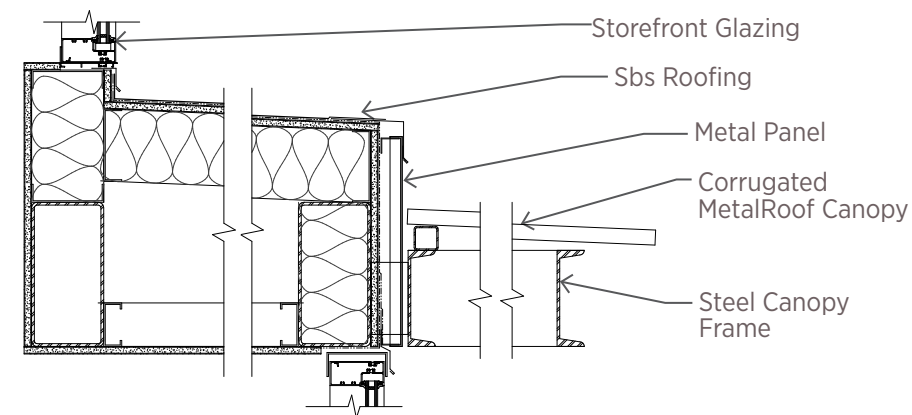
4 - Concrete Curb @ Storefront Sill - 1" = 1'-0"



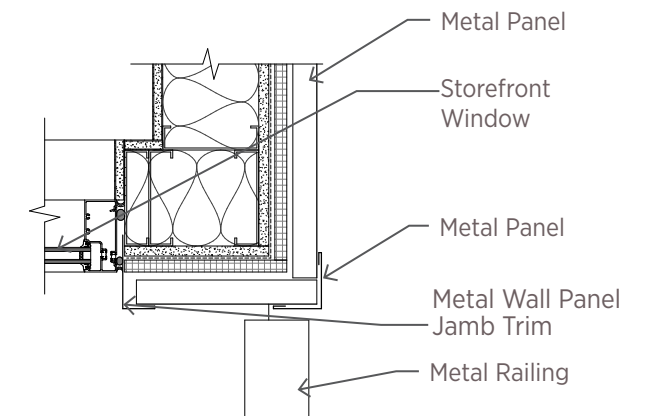
1 - Masonry Lintel @ Storefront Head - 1" = 1'-0"



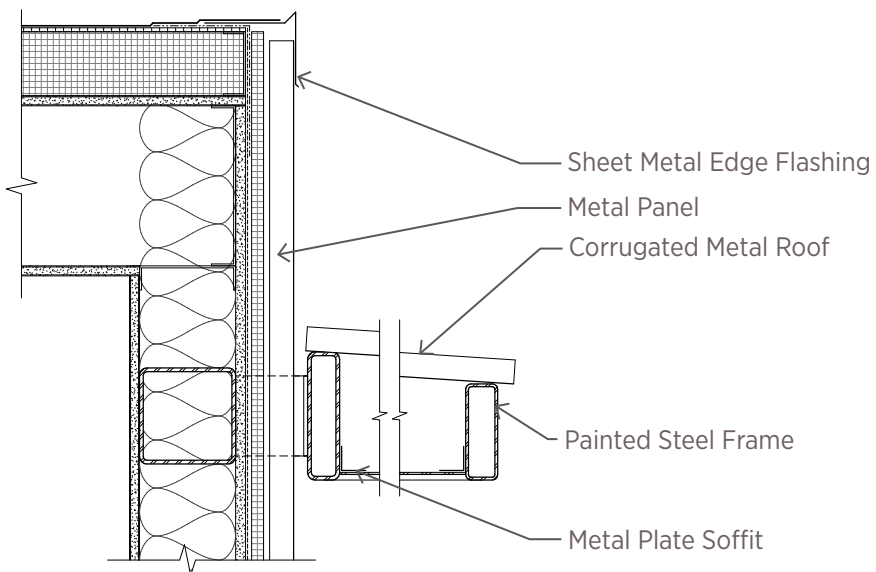
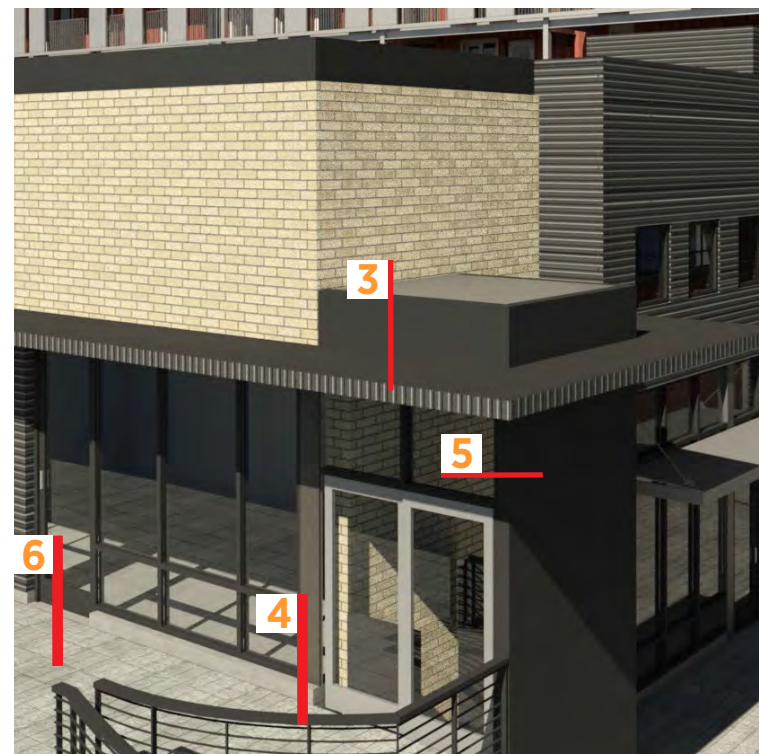
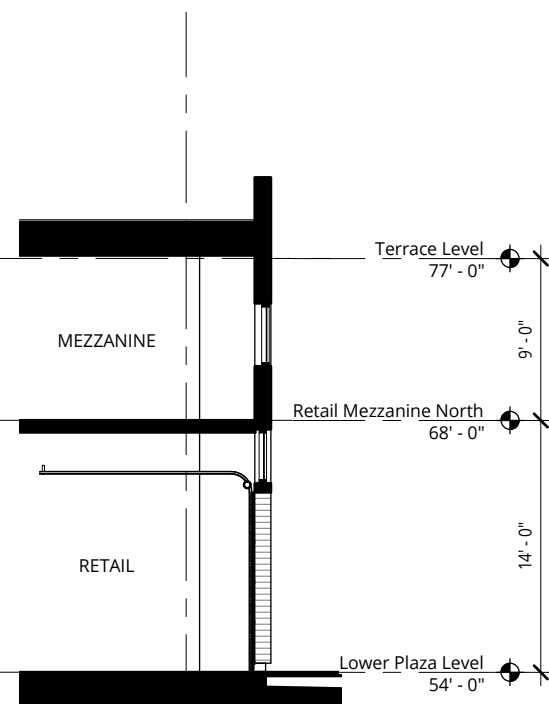
4 - Elevator Wall @ Plaza - 1" = 1'-0"



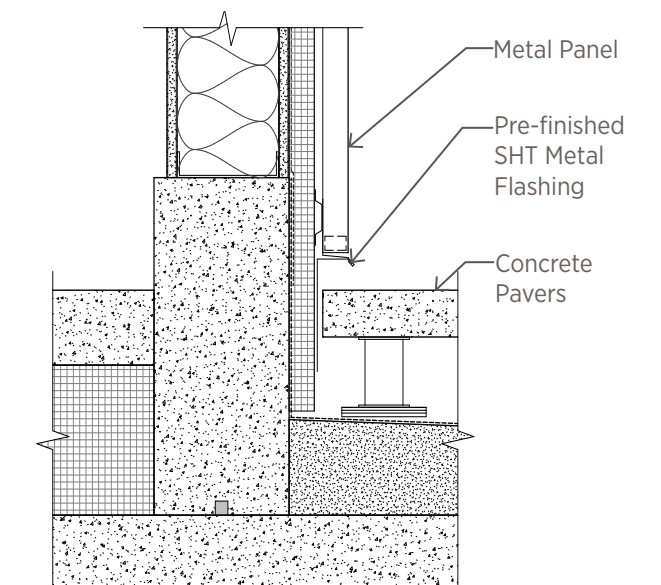
2 - Terrace @ Micro Retail - 1" = 1'-0"



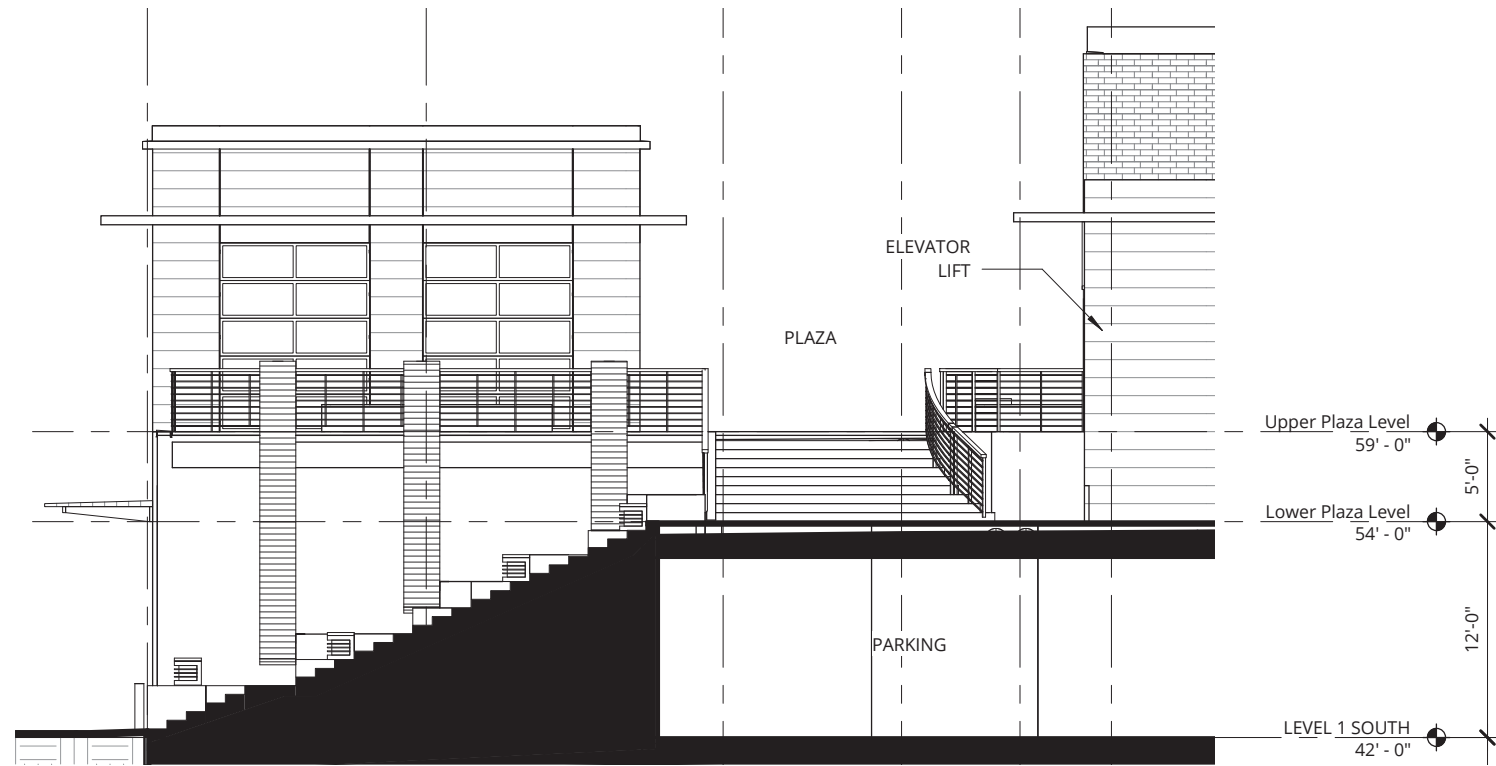
5 - Elevator Wall @ Corner - 1" = 1'-0"



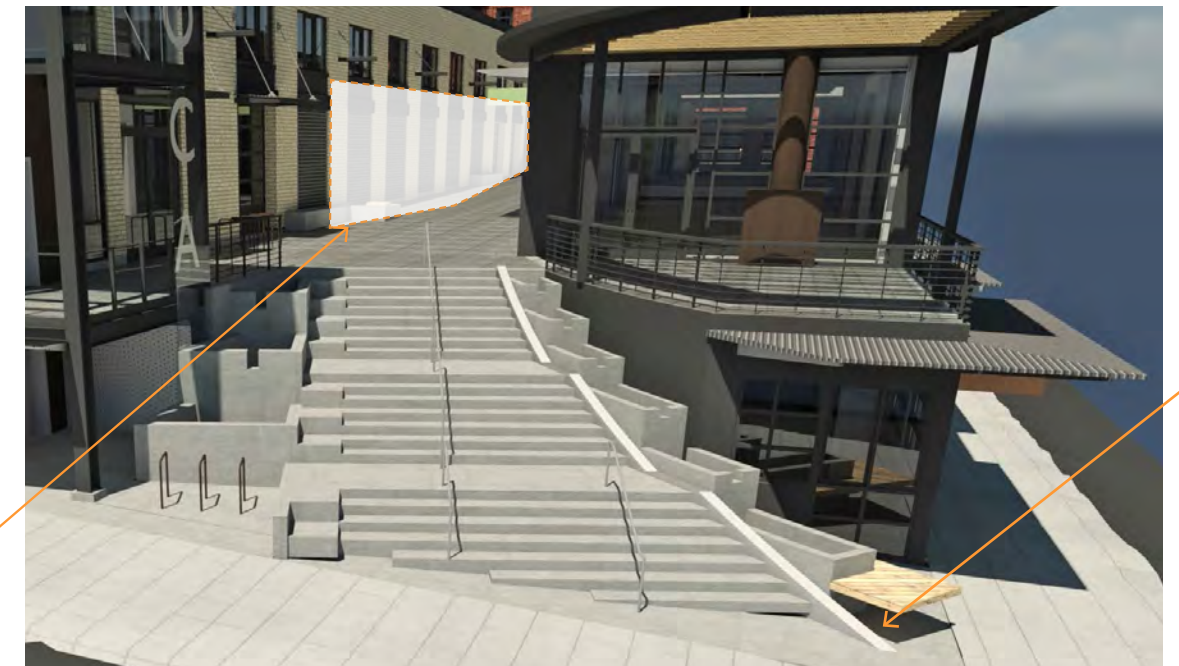
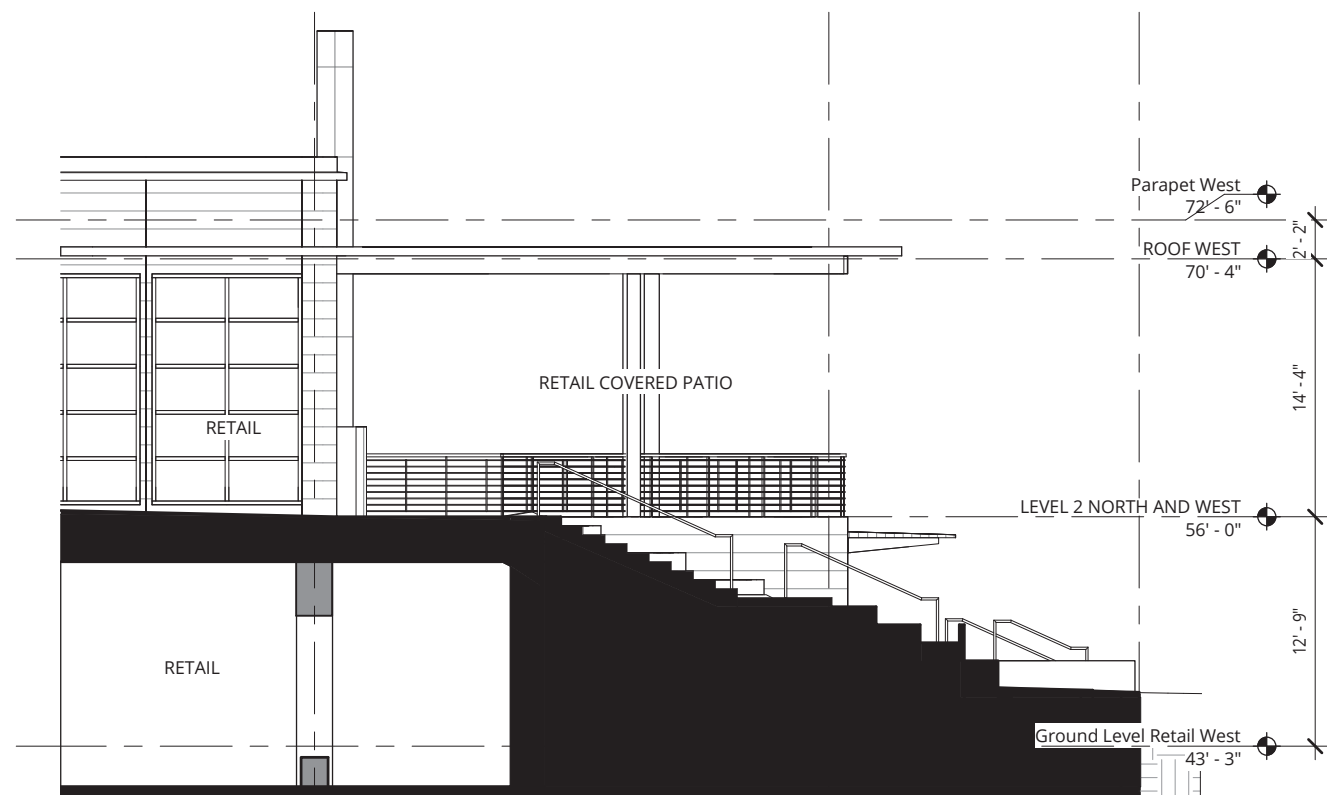
3 - Canopy @ Elevator - 1" = 1'-0"



6 - Metal Panel @ Plaza - 1/2" = 1'-0"



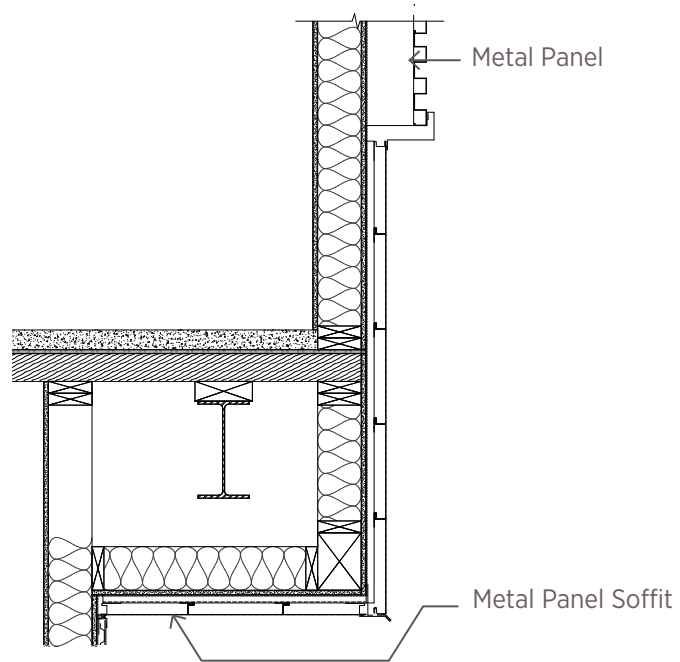
Refer to Landscape



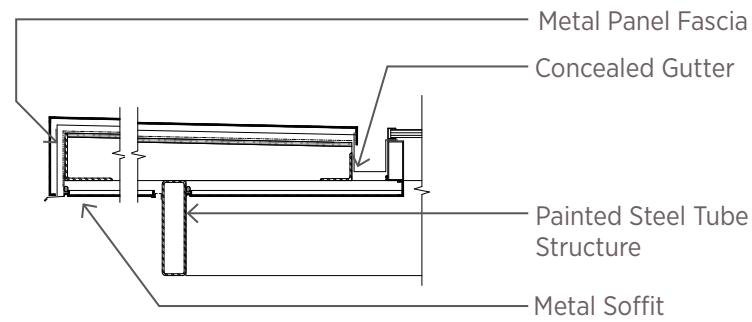
Area designated for public art installation

C.101 Enlarged Section / Details - Market Retail A (10th Ave. Level)

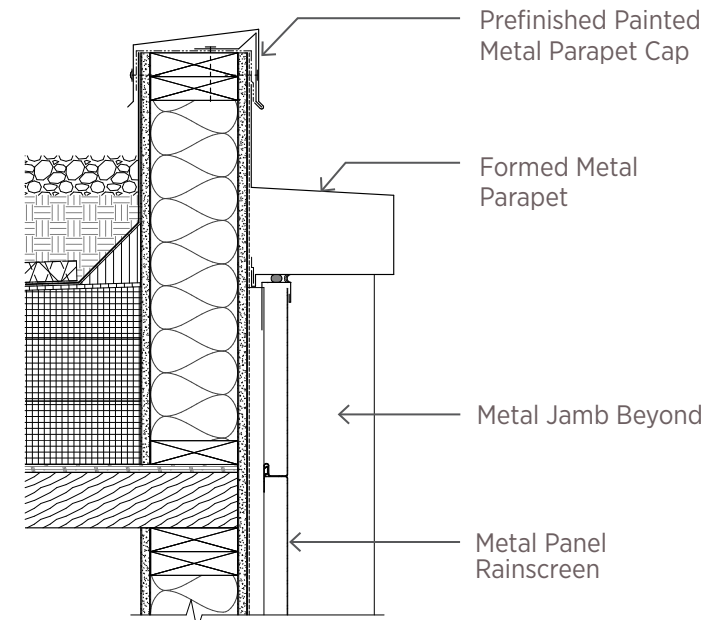
LOCA - THE GOAT BLOCKS / CENTRAL EASTSIDE - PORTLAND, OR



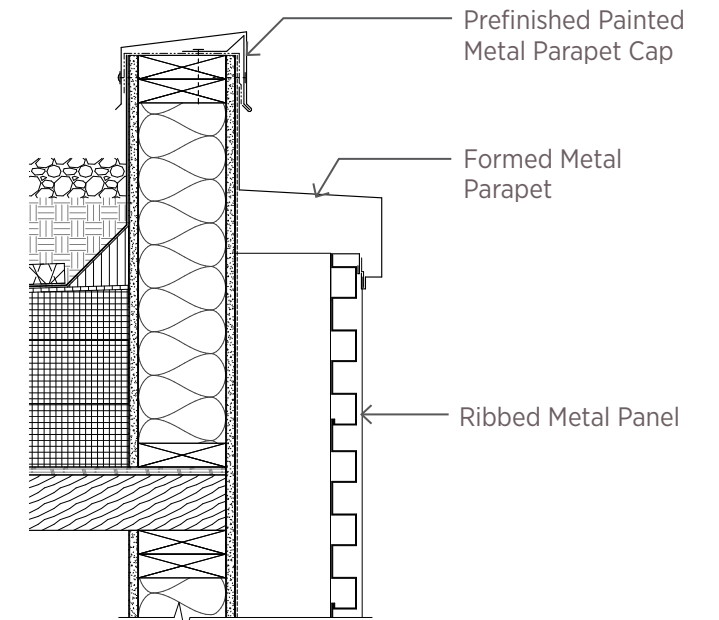
1 - Metal Soffit @ Ground Level Retail - 1/2" = 1'-0"



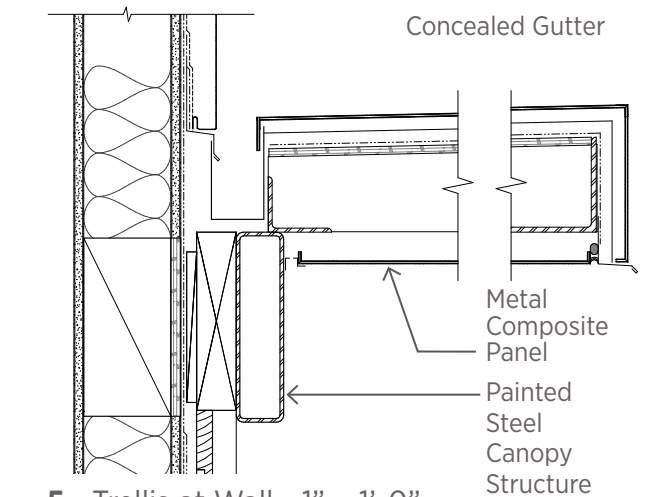
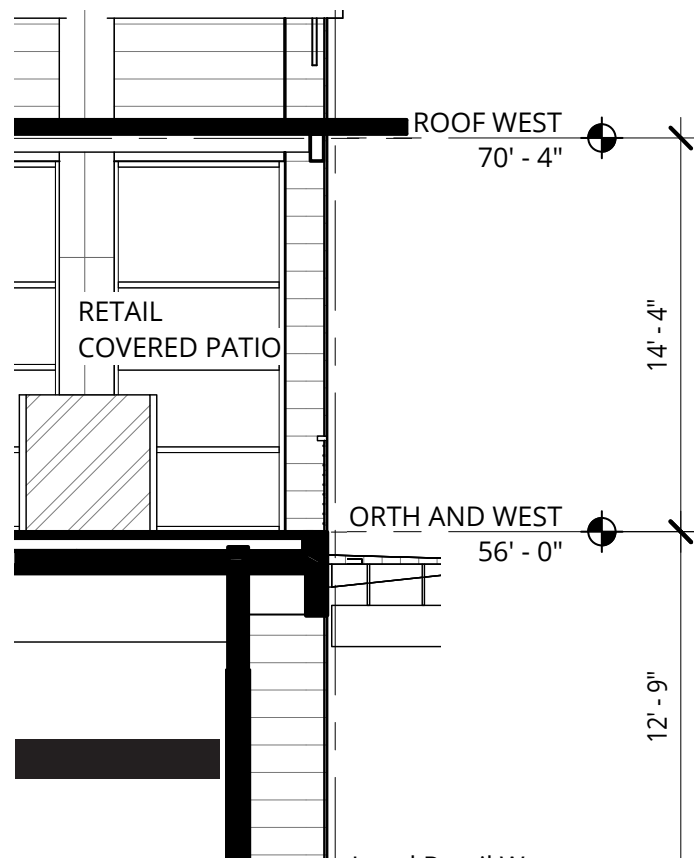
2 - Fascia @ Trellis - 1/2" = 1'-0"



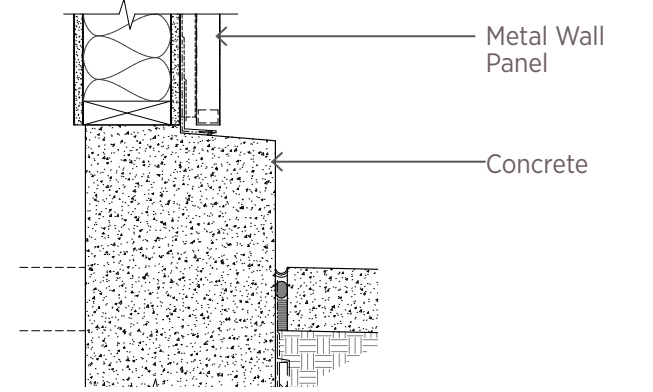
3 - Parapet @ Metal Siding - 1" = 1'-0"



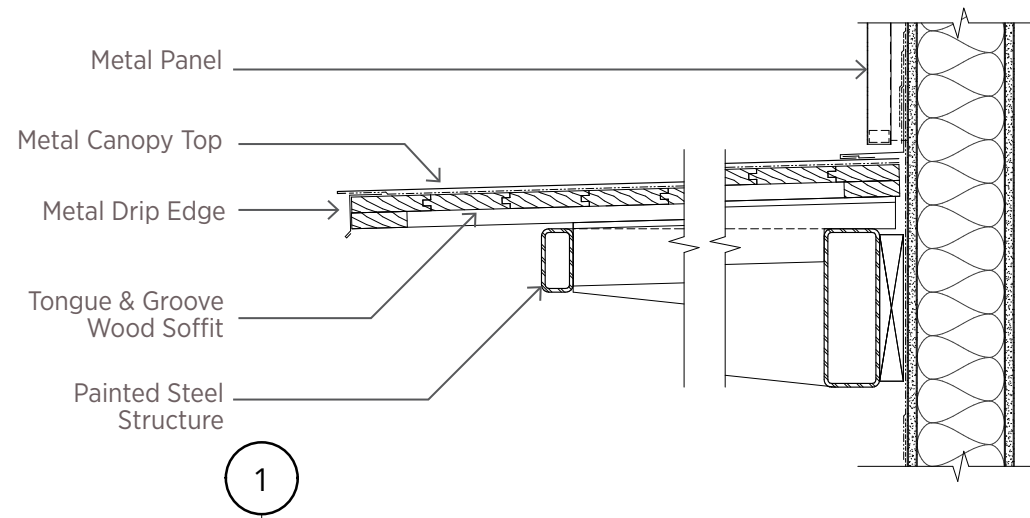
4 - Parapet @ Wood Siding - 1" = 1'-0"



5 - Trellis at Wall - 1" = 1'-0"

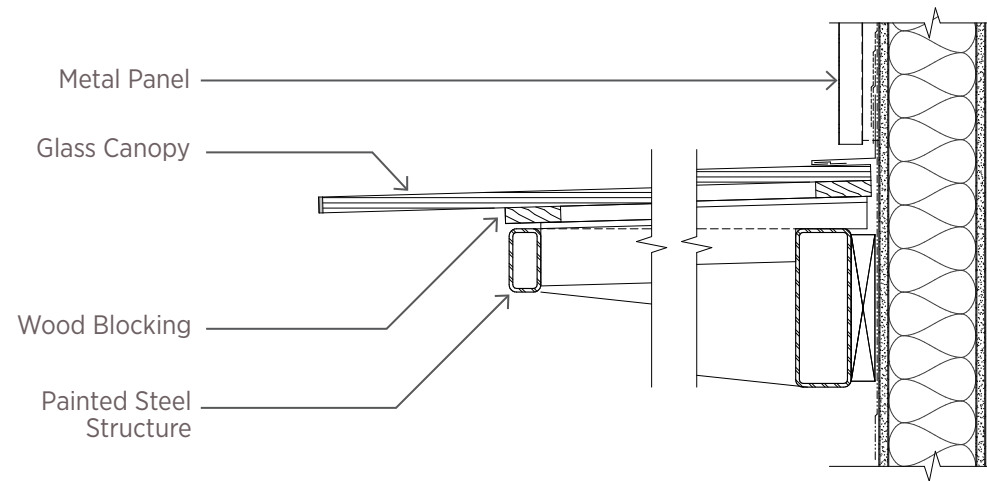


6 - Metal Panel @ Concrete Wall - 1" = 1'-0"

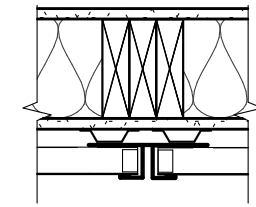


1

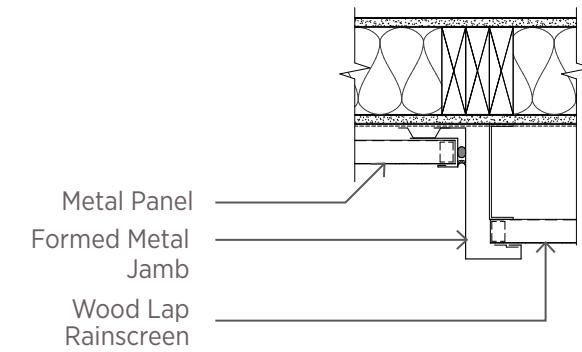
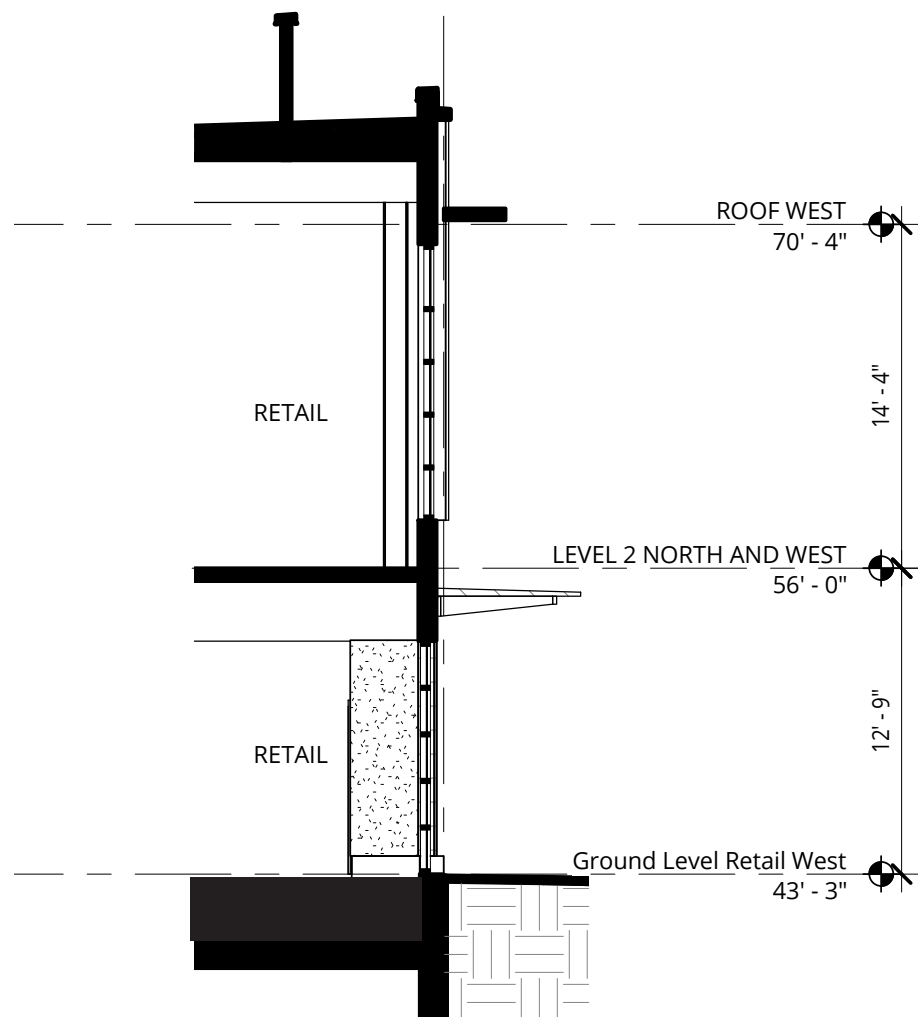
1 - Canopy (Wood) at Retail - 1" = 1'-0"



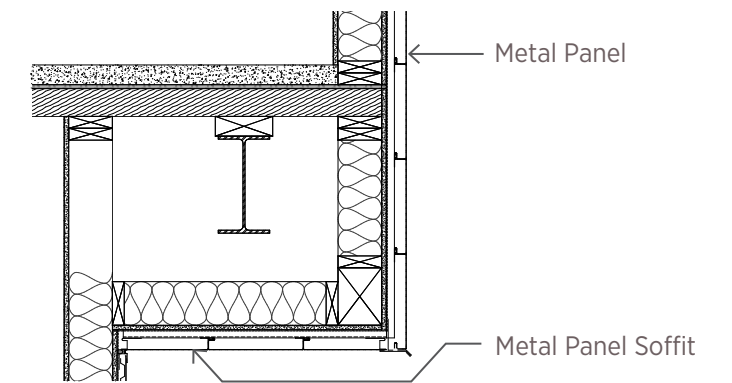
2 - Canopy (Glass) at Retail - 1" = 1'-0"



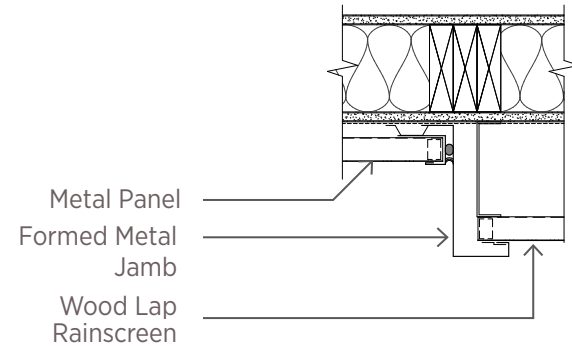
3 - Joint at Metal Panel - 1" = 1'-0"



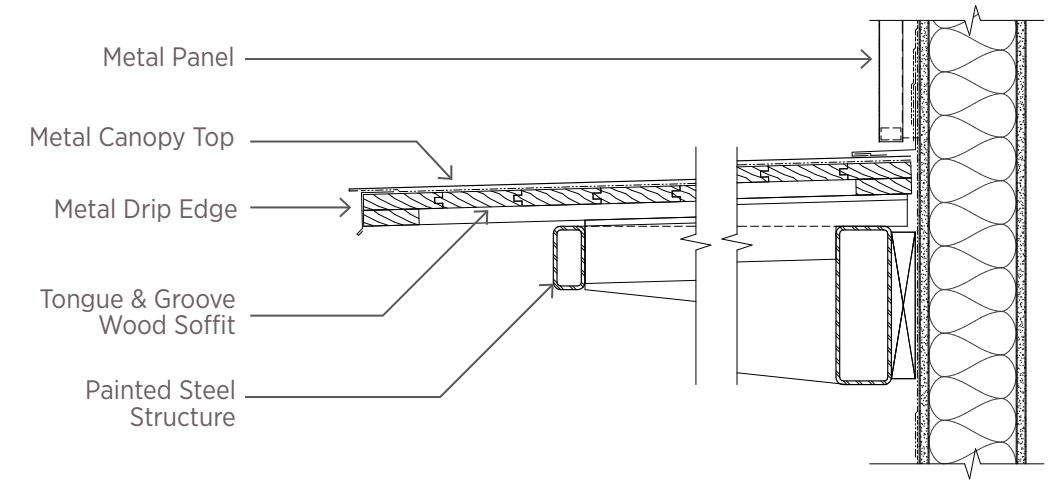
4 - Metal Jamb @ Wood Siding - 1" = 1'-0"



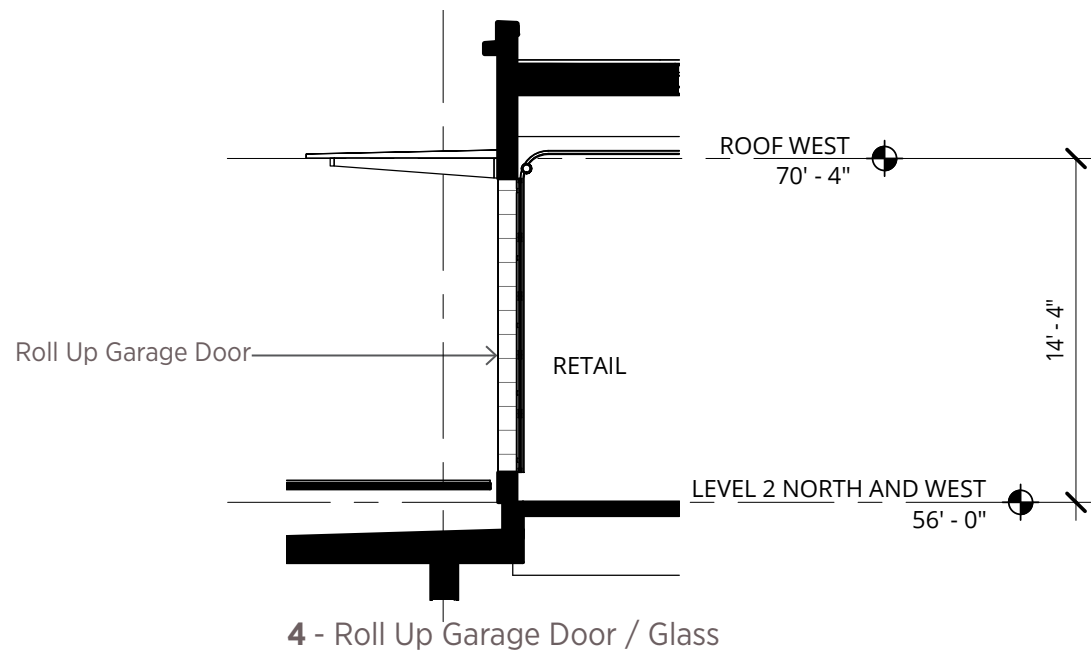
5 - Metal Soffit @ Ground Level Retail - 1/2" = 1'-0"



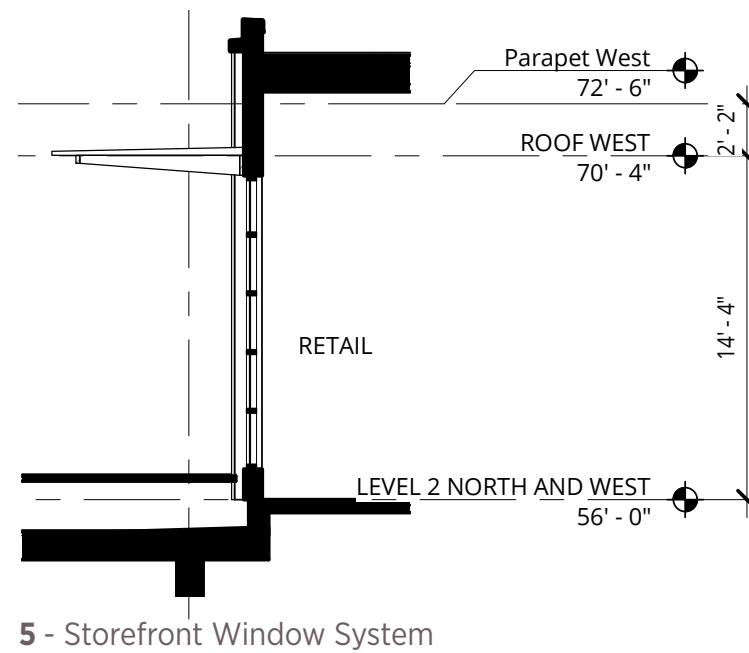
1 - Metal Jamb @ Wood Siding - 1" = 1'-0"



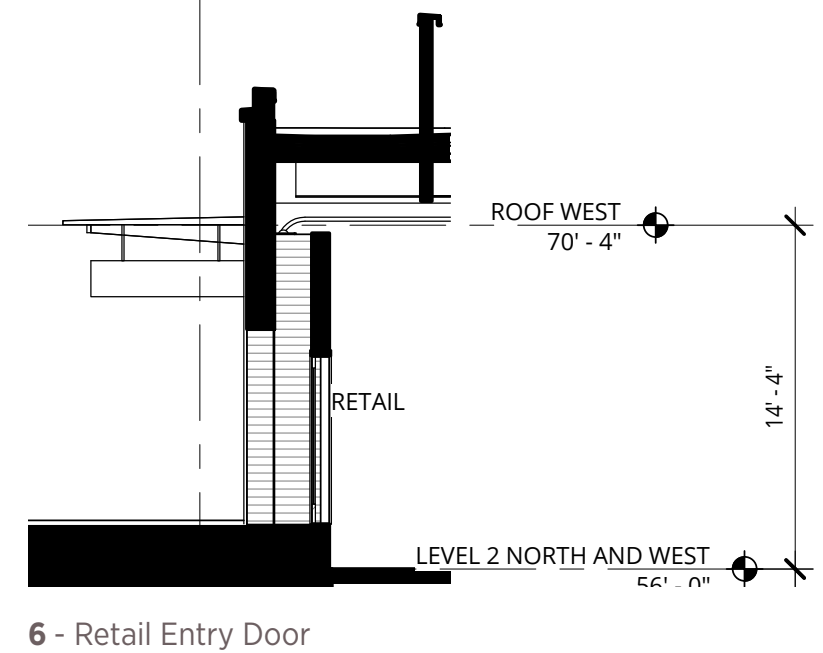
2 - Canopy (Wood) at Retail - 1" = 1'-0"



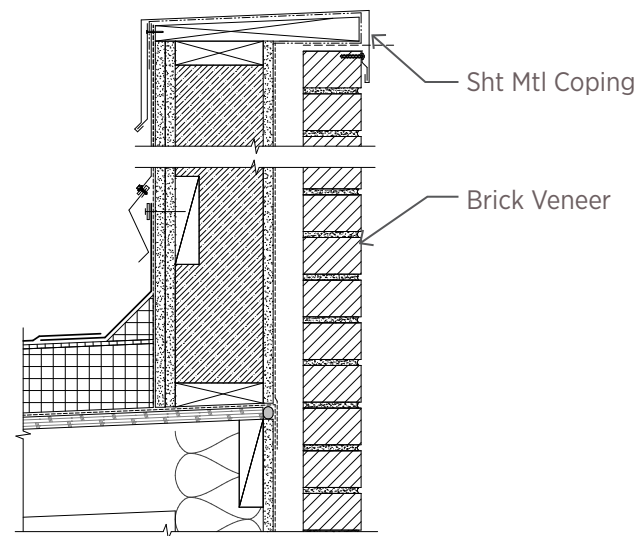
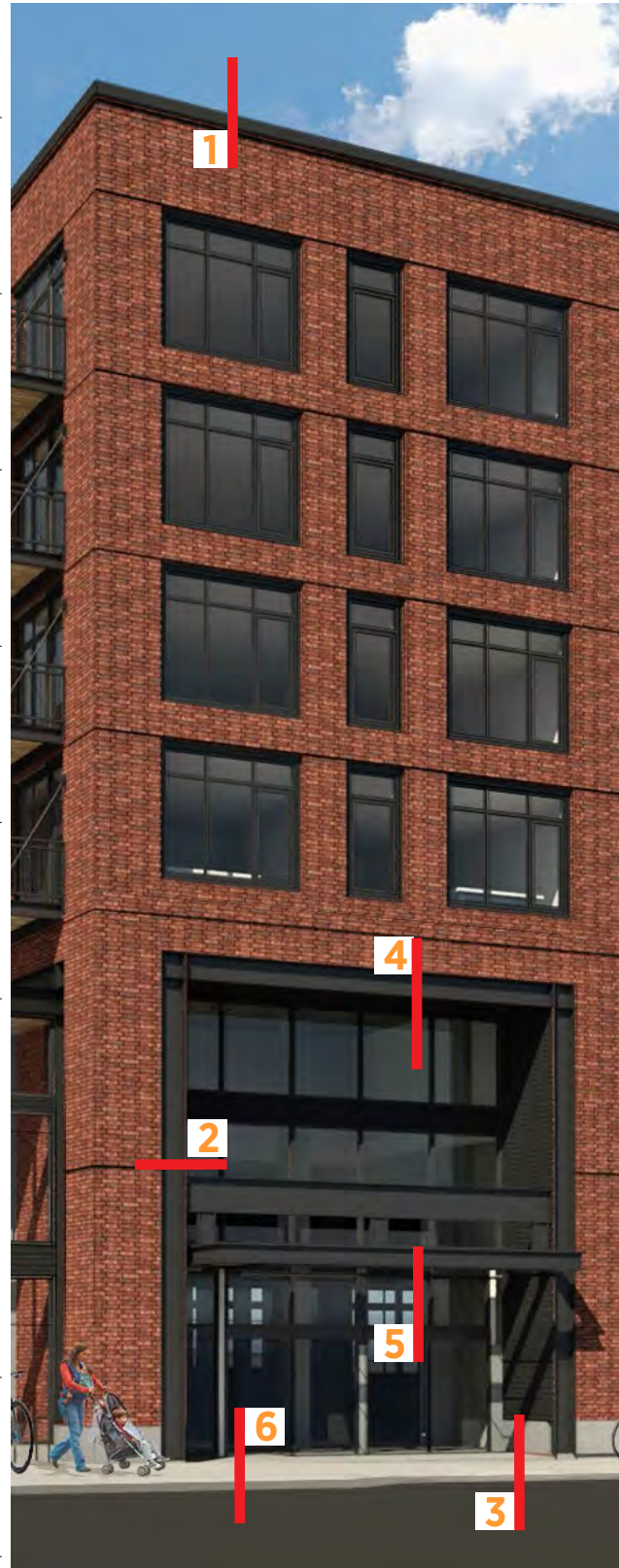
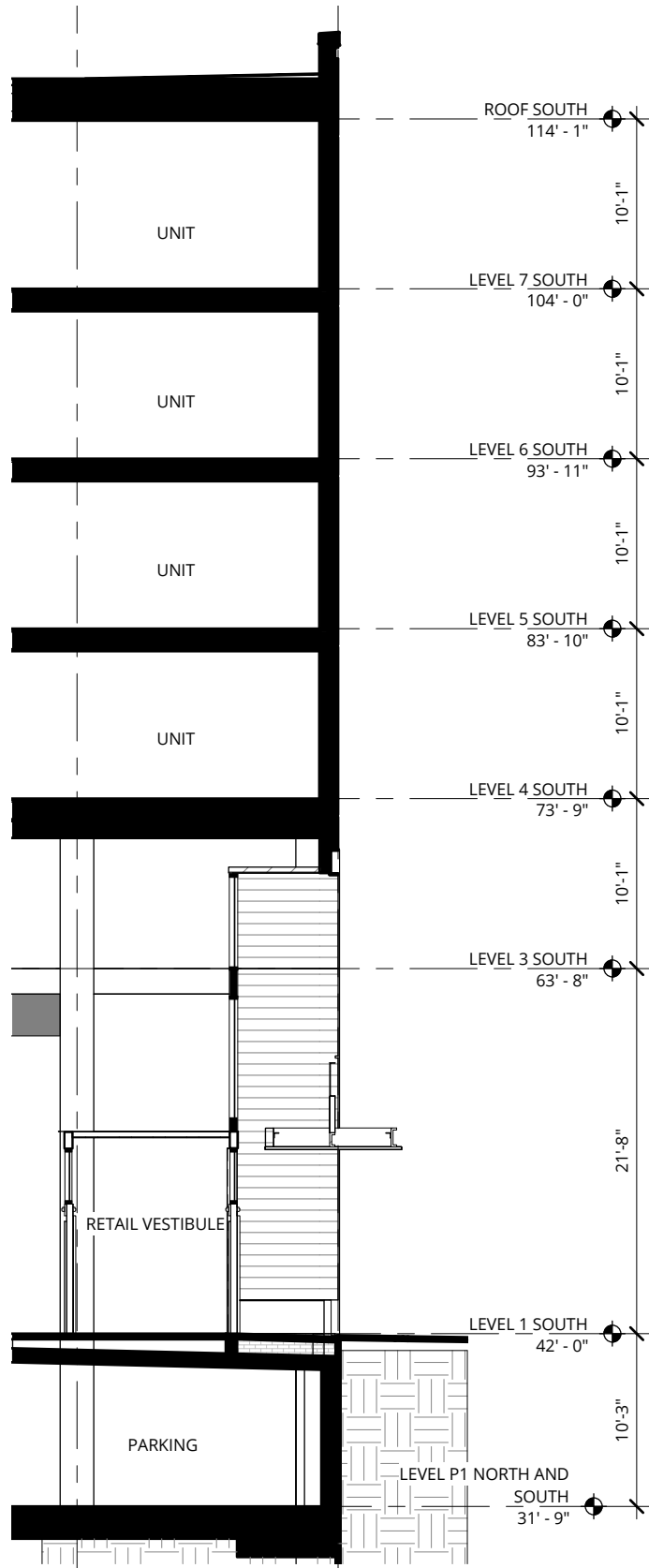
4 - Roll Up Garage Door / Glass



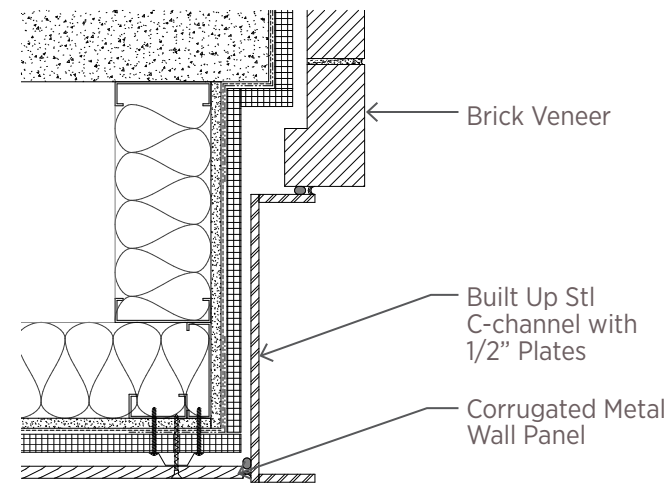
5 - Storefront Window System



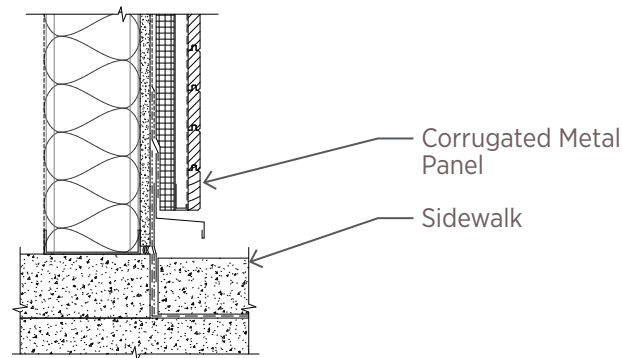
6 - Retail Entry Door



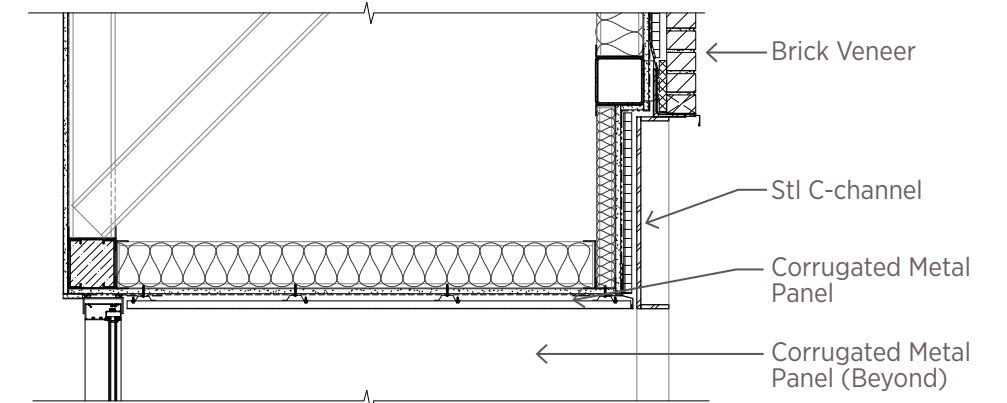
1 - Parapet @ Brick Veneer - 1" = 1'-0"



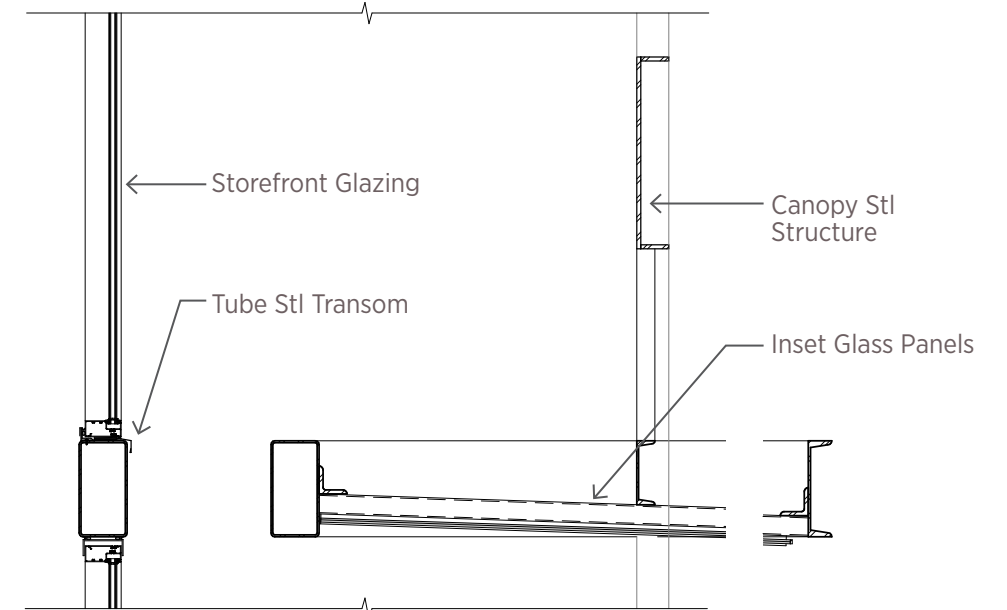
2 - Steel Column @ Retail Entry - 1" = 1'-0"



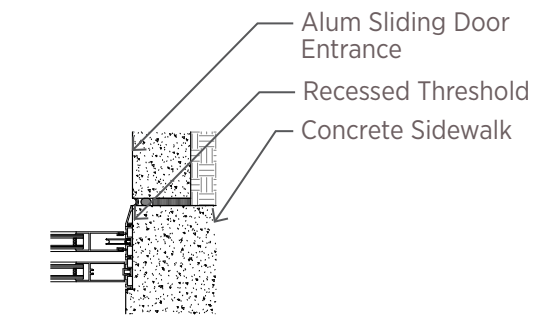
3 - Wood Paneling @ Grade - 1" = 1'-0"



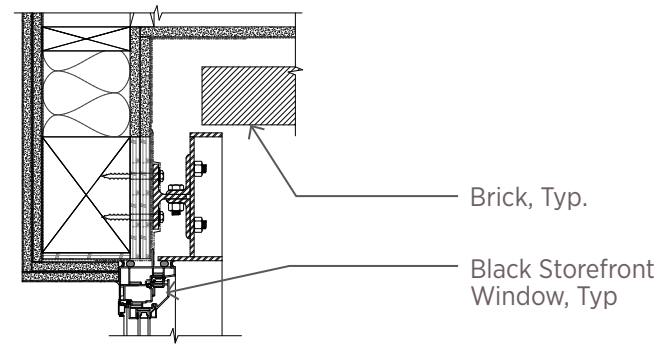
4 - Soffit @ Retail Entry - 1/2" = 1'-0"



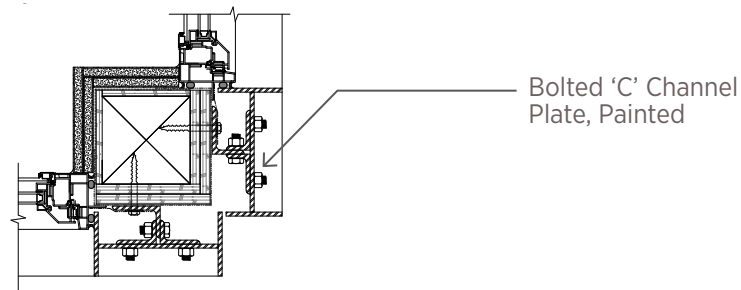
5 - Glass Canopy @ Retail Entry - 1/2" = 1'-0"



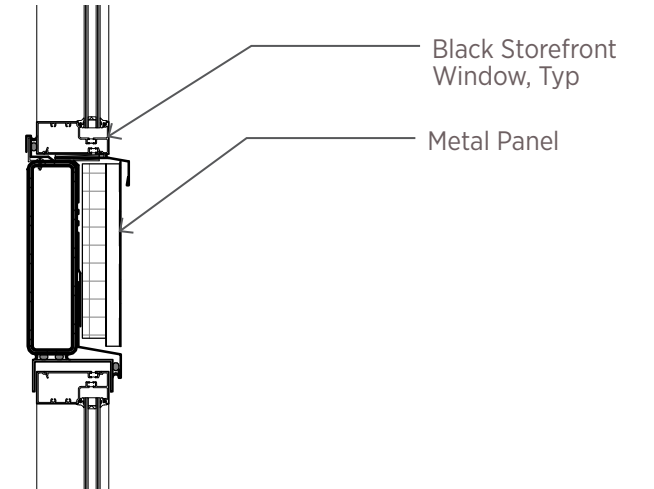
6 - Sliding Door Threshold @ Retail Entry - 1" = 1'-0"



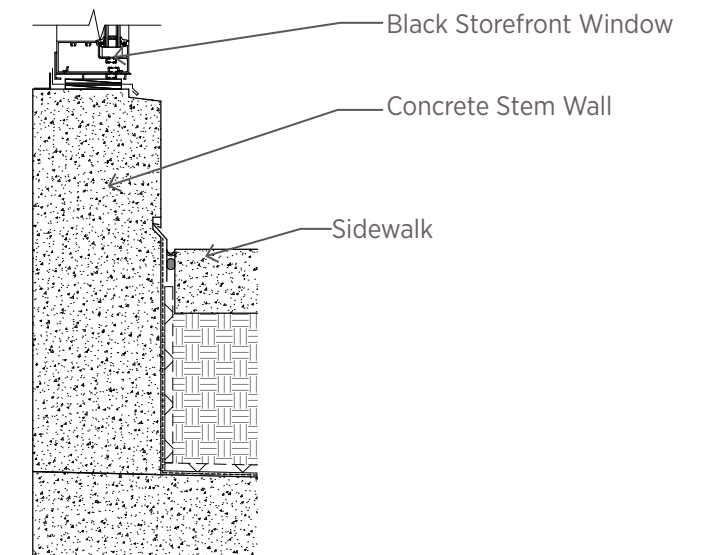
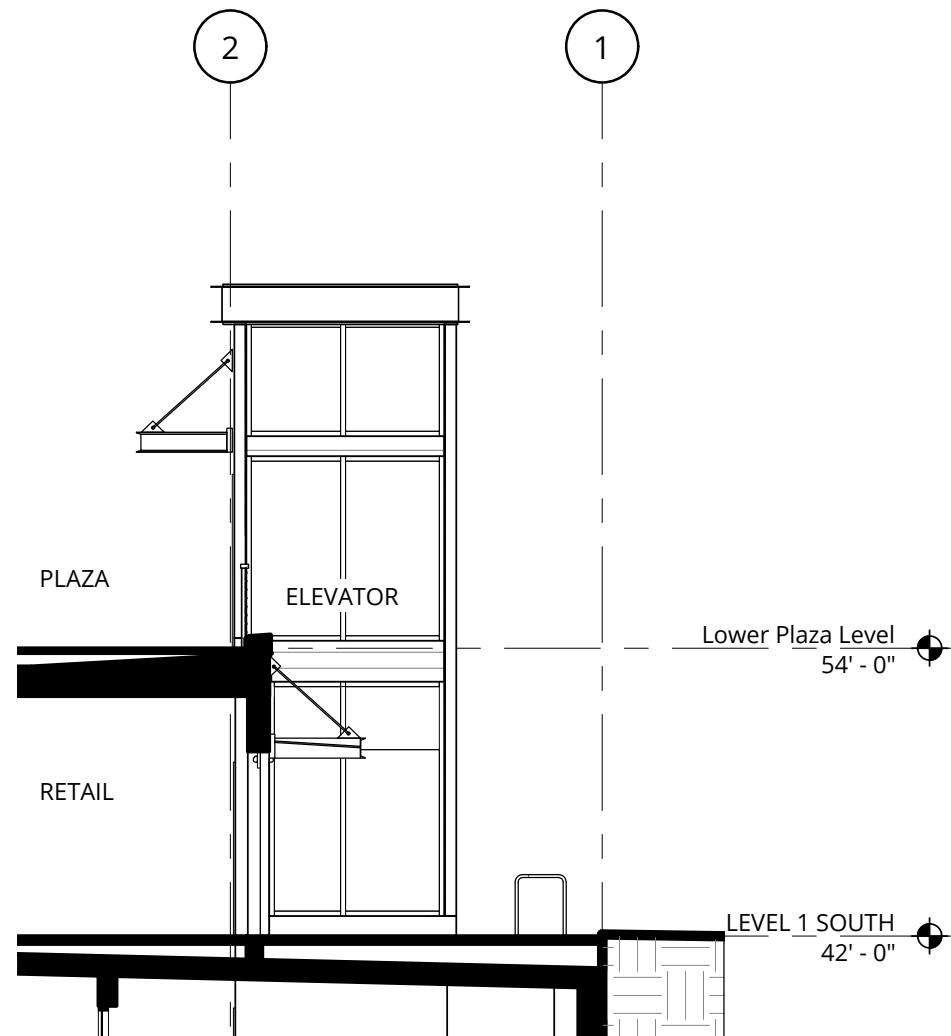
1 - 'C' Channel @ Brick - 1" = 1'-0"



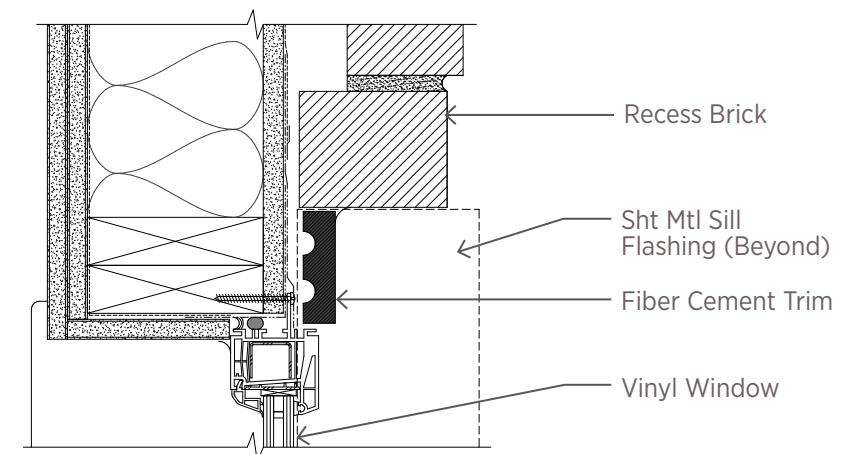
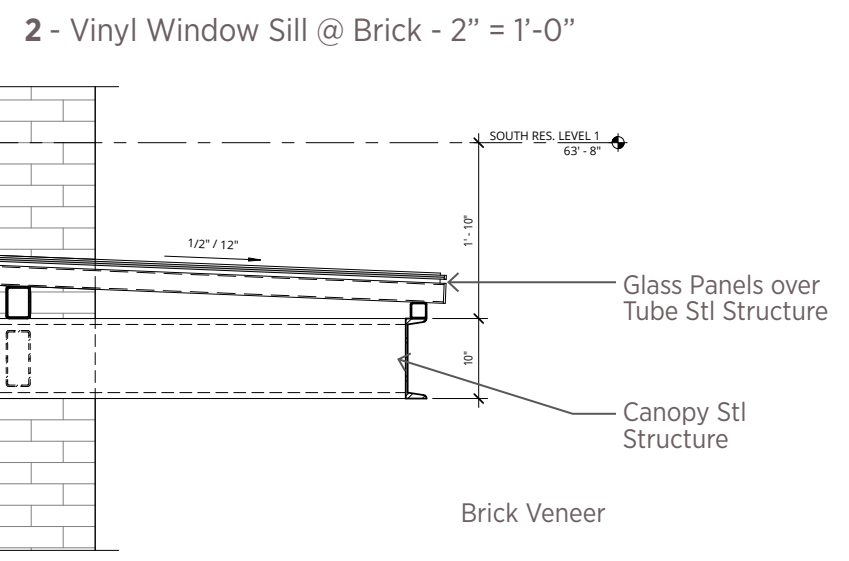
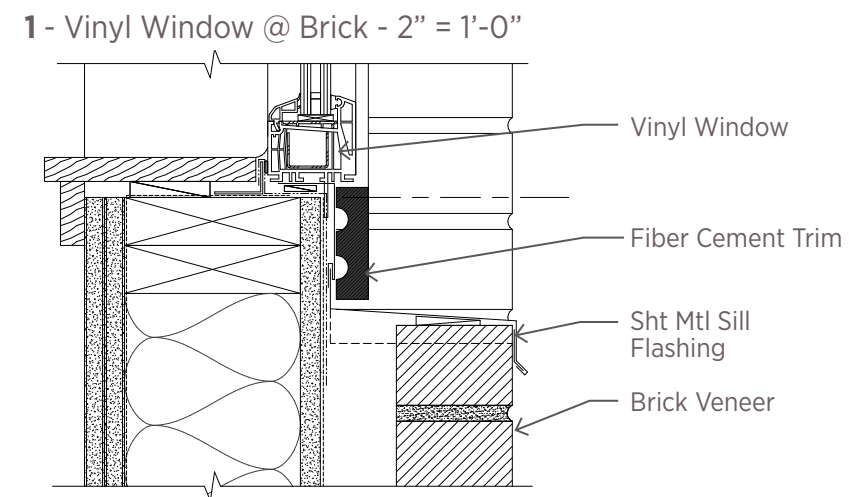
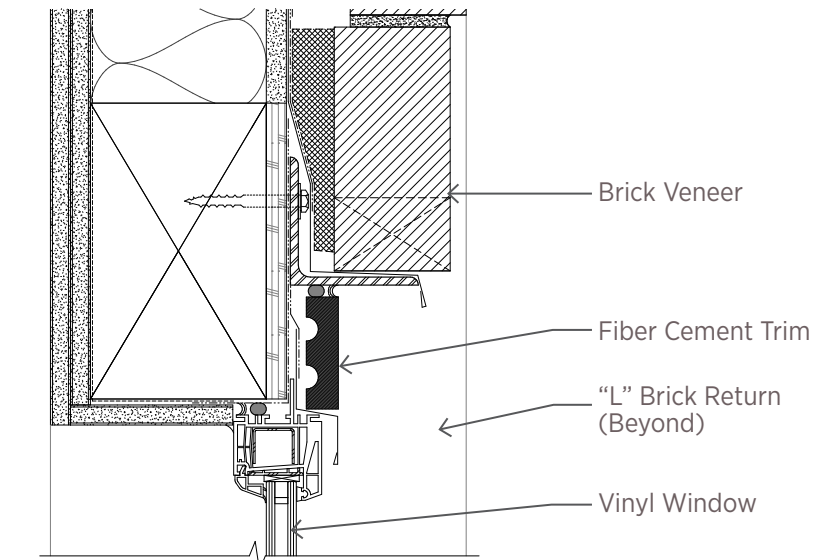
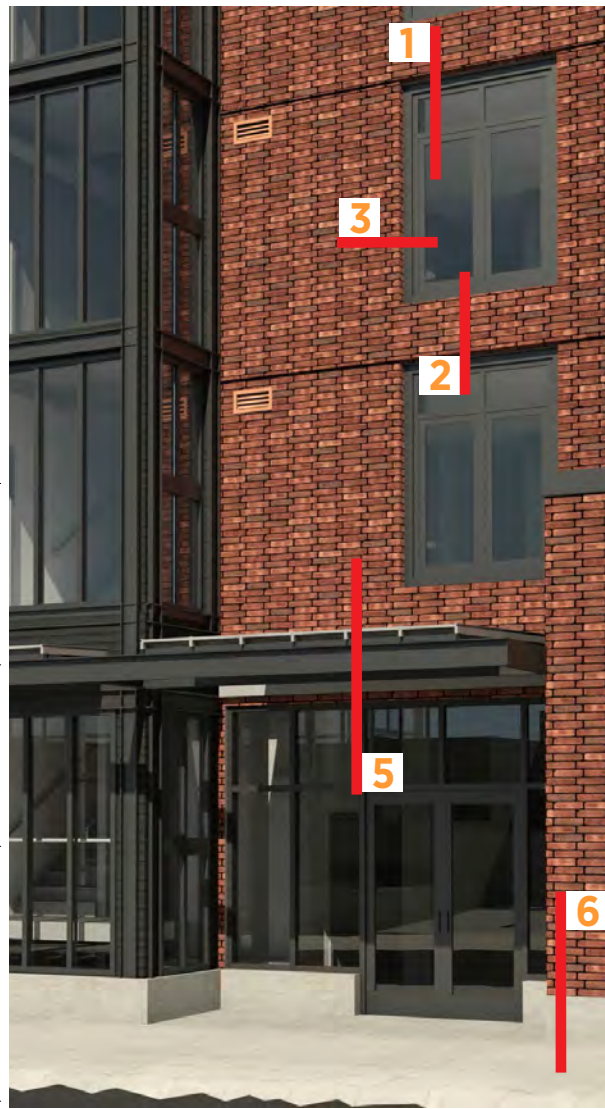
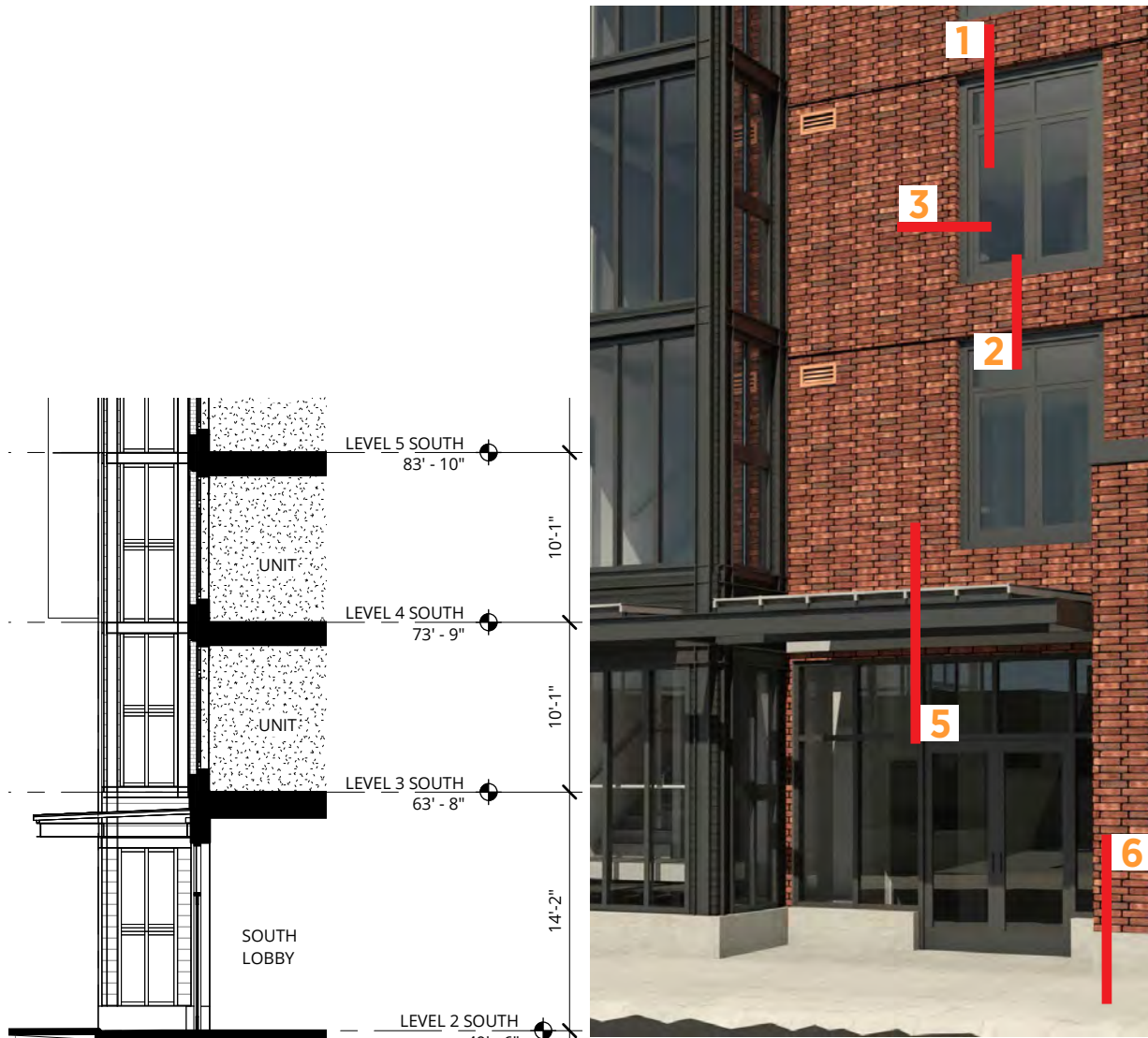
2 - Corner @ 'C' Channel - 1" = 1'-0"



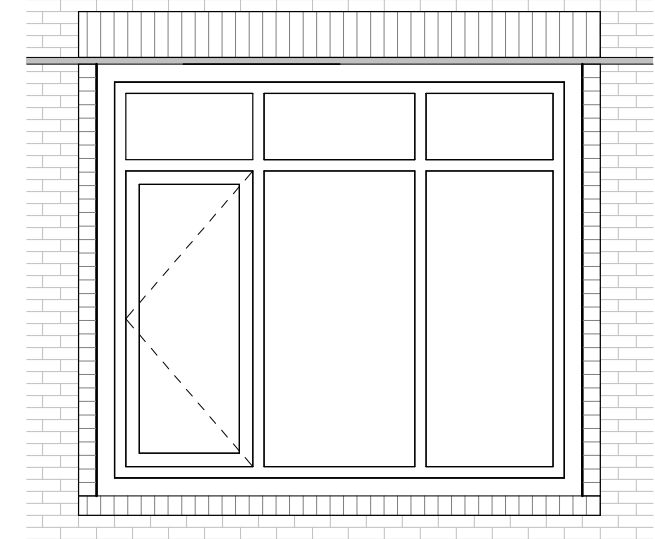
3 - Storefront Sill/Head @ Elevator - 1" = 1'-0"



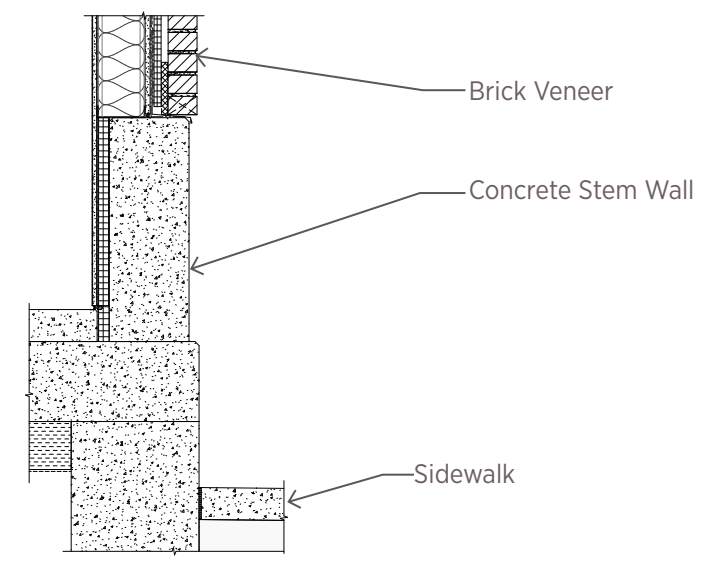
4 - Elevator Base @ Sidewalk - 1" = 1'-0"



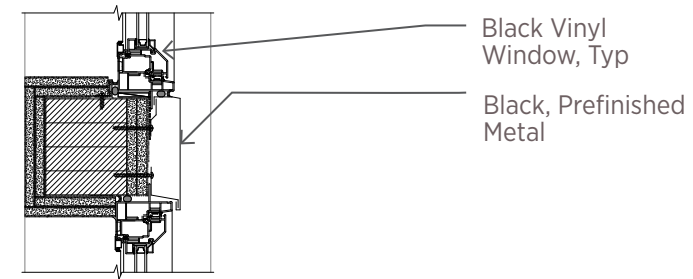
3 - Vinyl Window Jamb @ Brick - 2" = 1'-0"



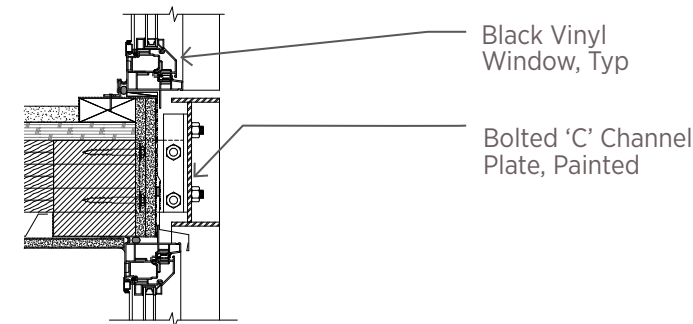
4 - ENLARGED WINDOW ELEVATION



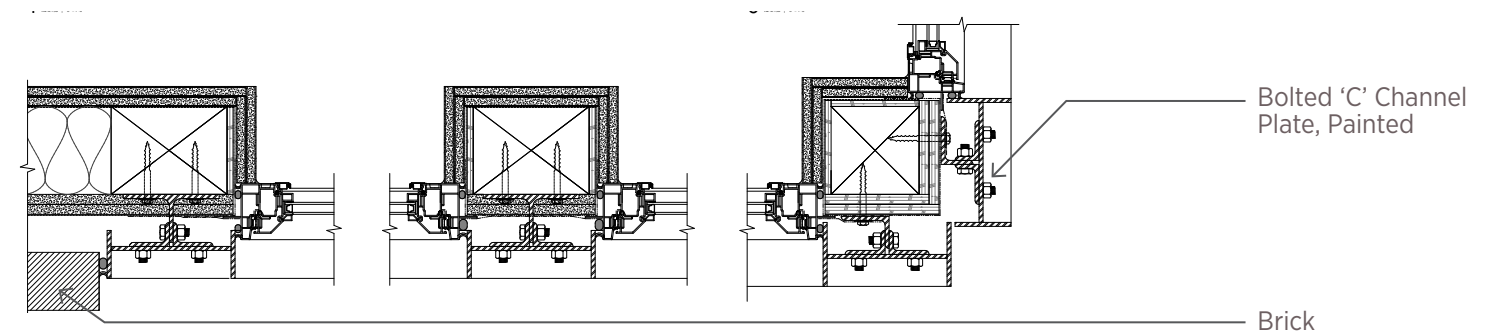
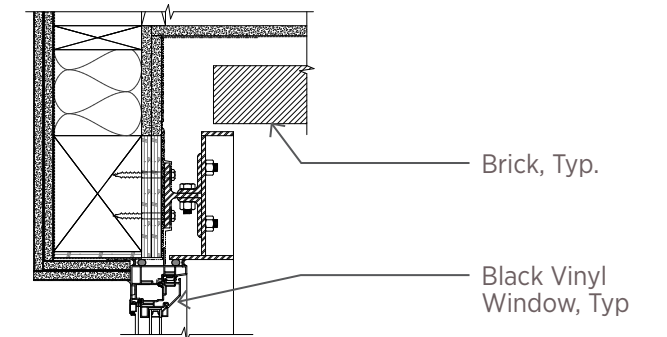
6 - Concrete Base @ Brick - 1/2" = 1'-0"



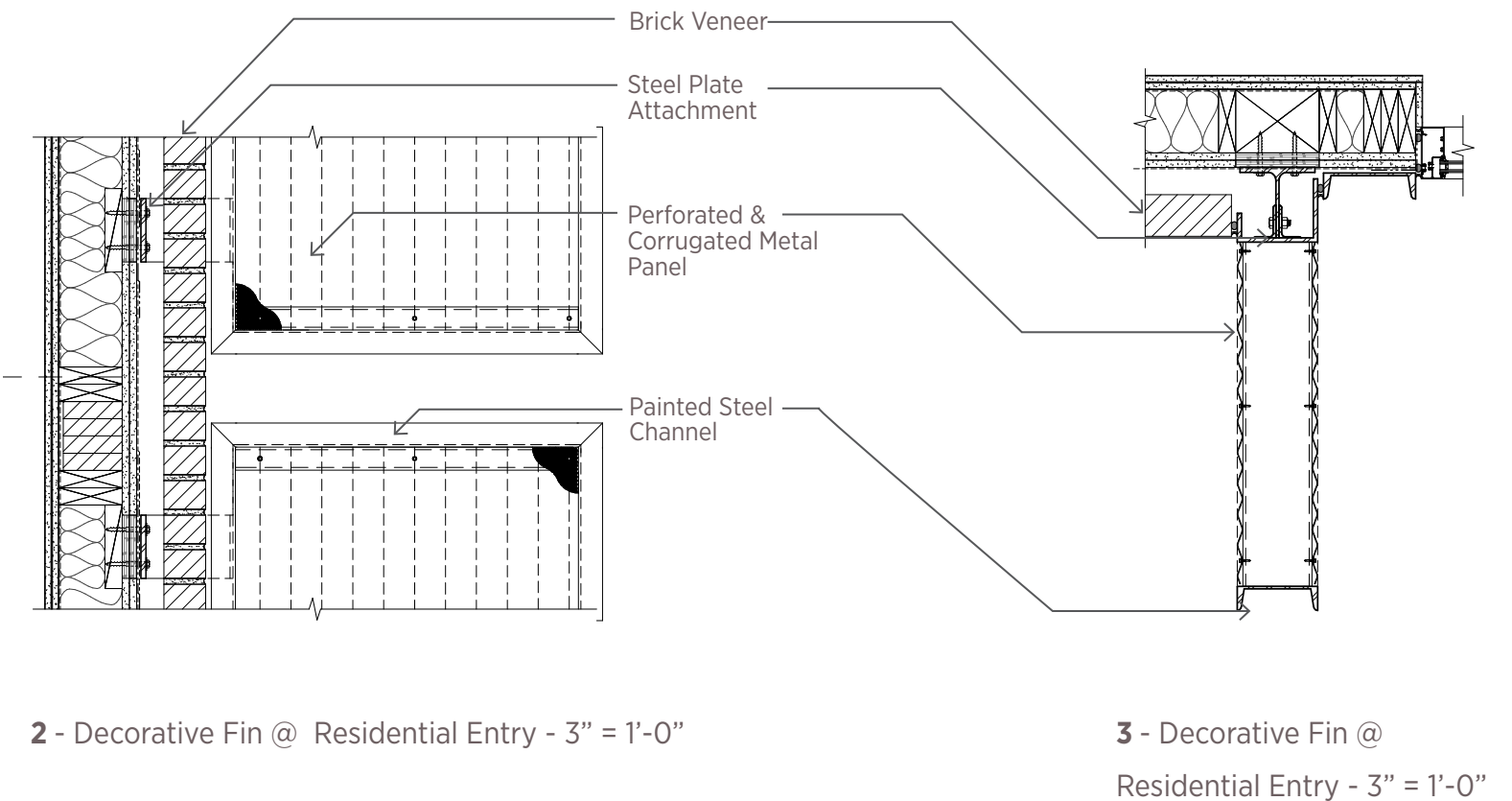
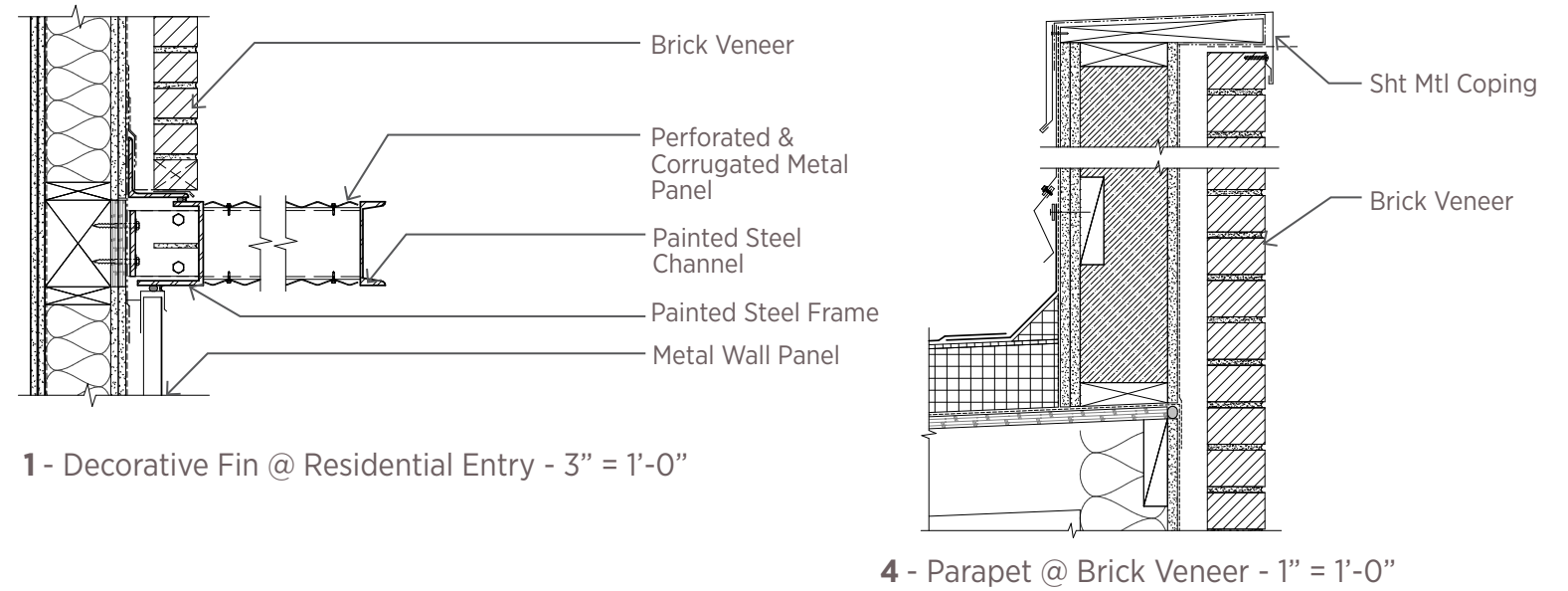
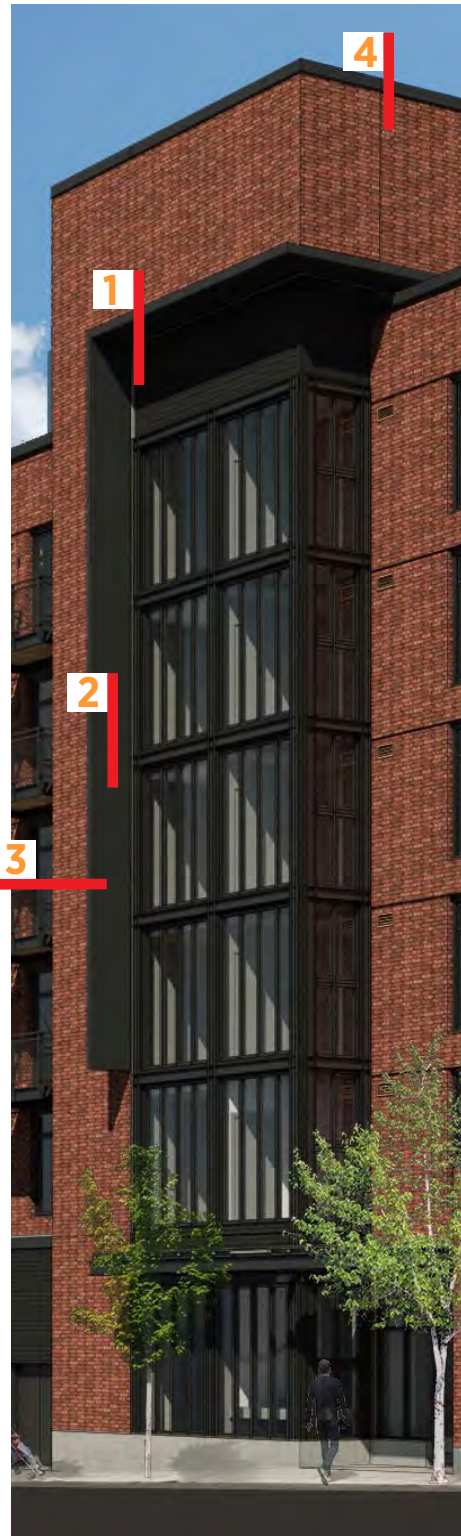
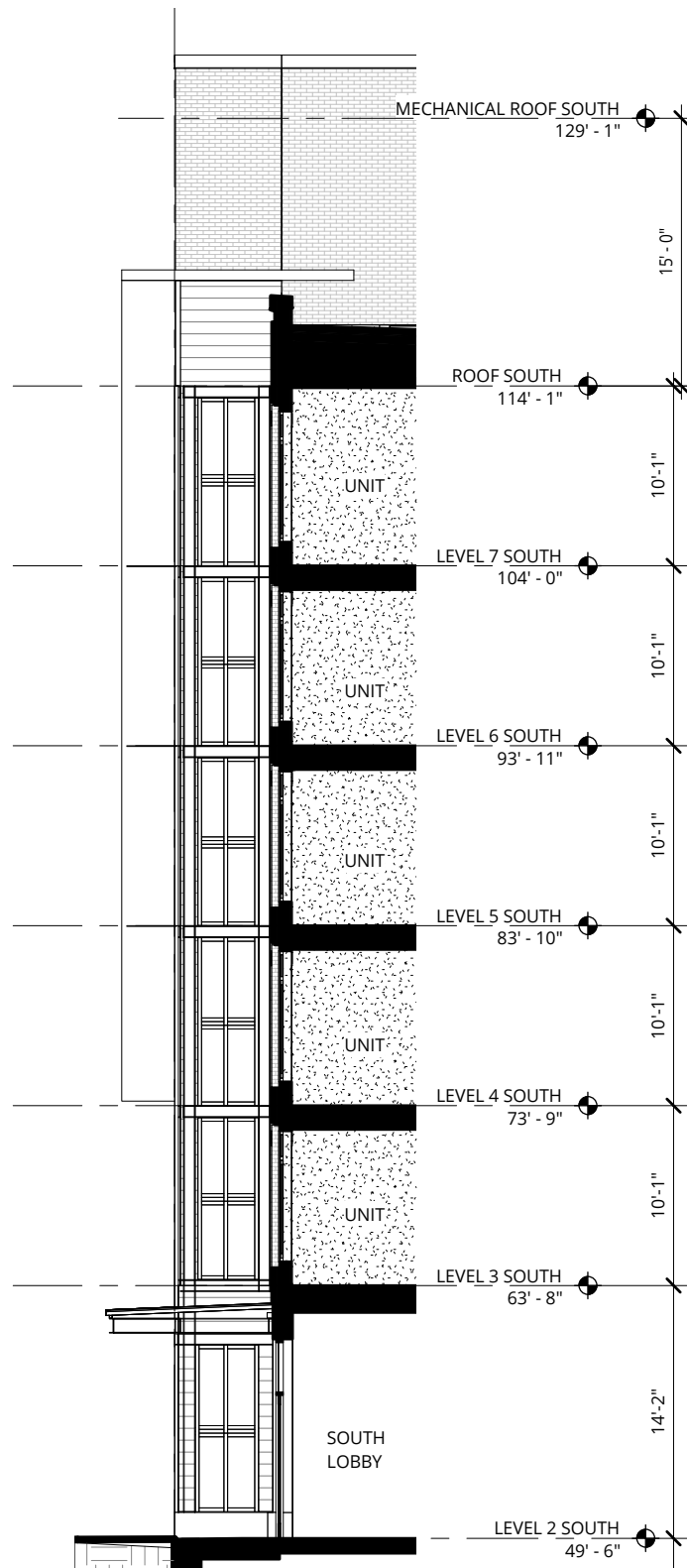
1 - Storefront Window Transom @ Residential Entry - 3" = 1'-0"

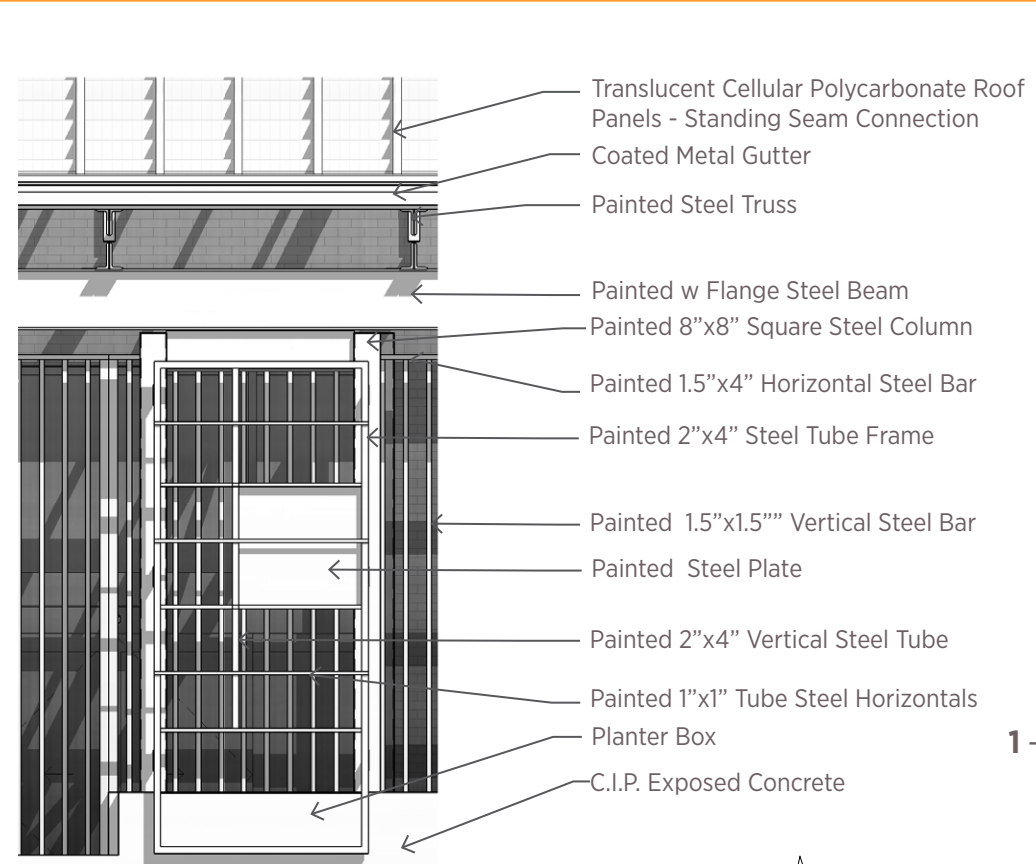


2 - Storefront Window Head @ Floor / Residential Entry - 3" = 1'-0"

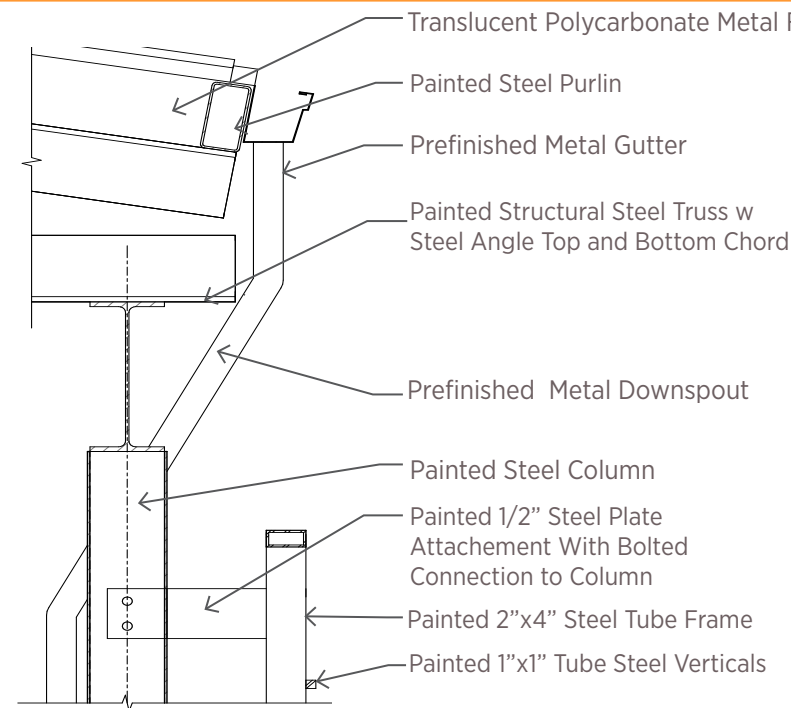
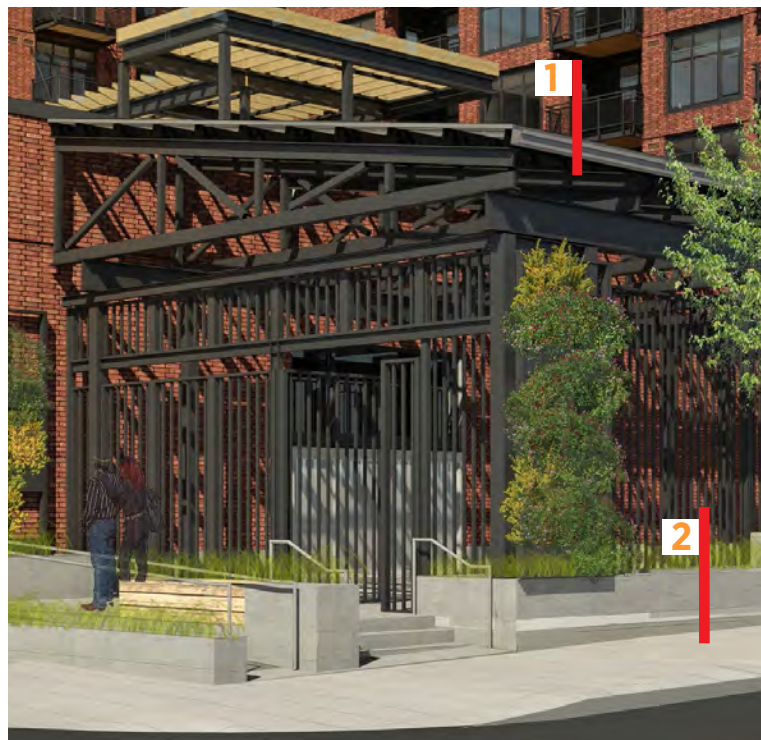


3 / 4 / 5 / 6 - Storefront Window Jambs @ 'C' Channel - 3" = 1'-0"

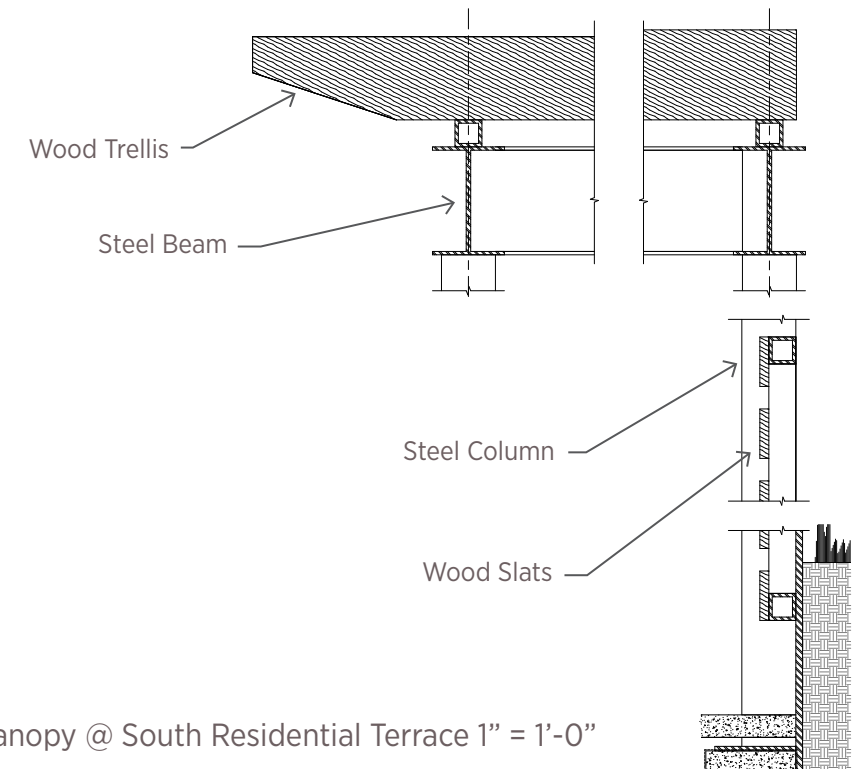




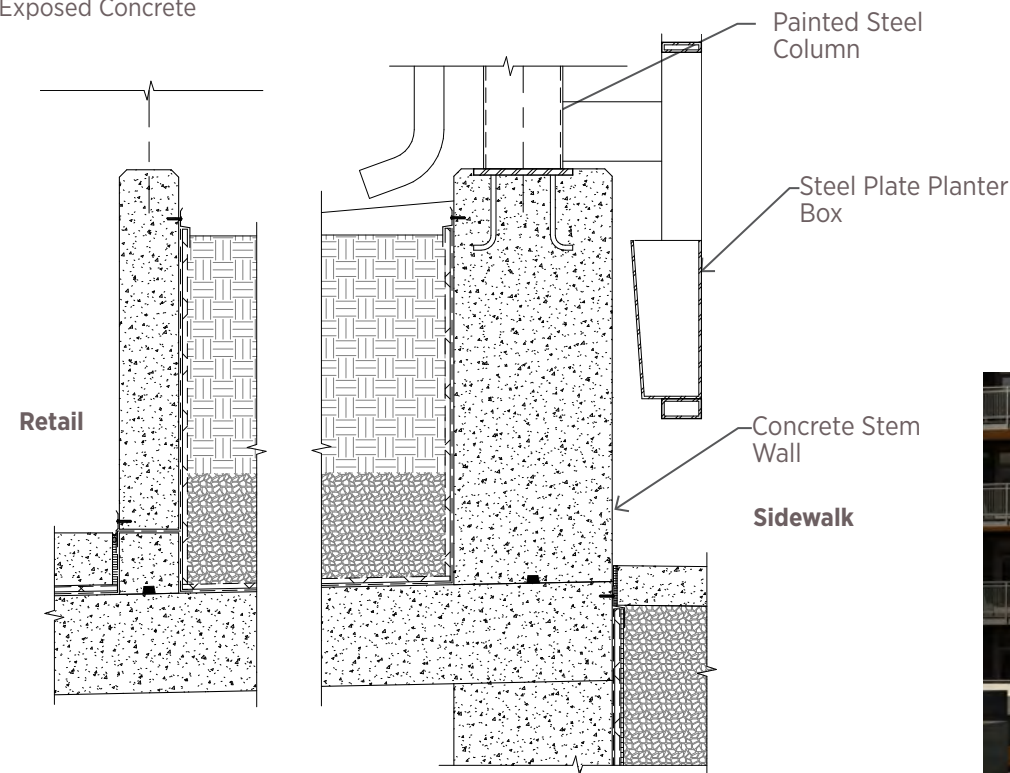
Partial South Elevation @ Garden Center Roof



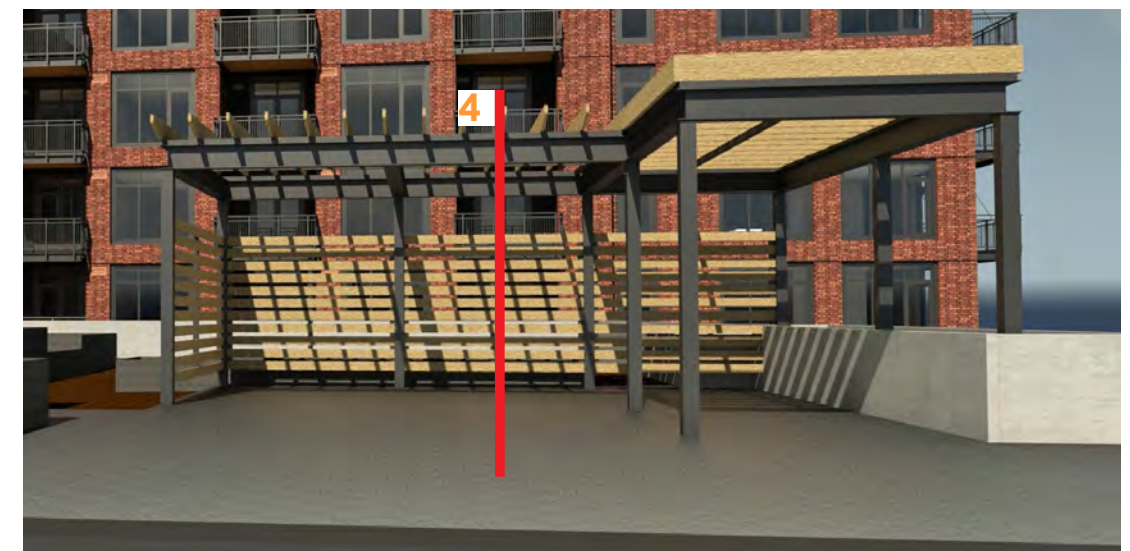
1 - Roof Eave @ Garden Center 1" = 1'-0"

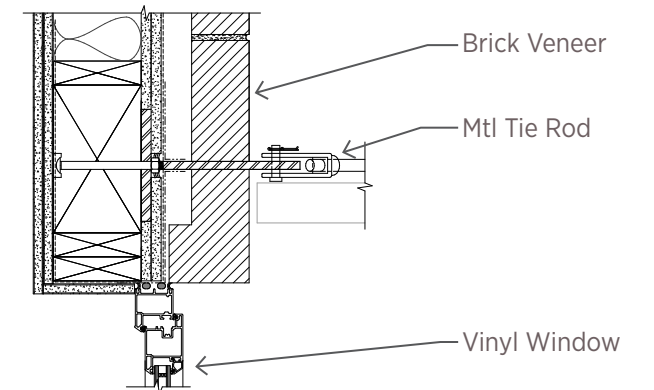
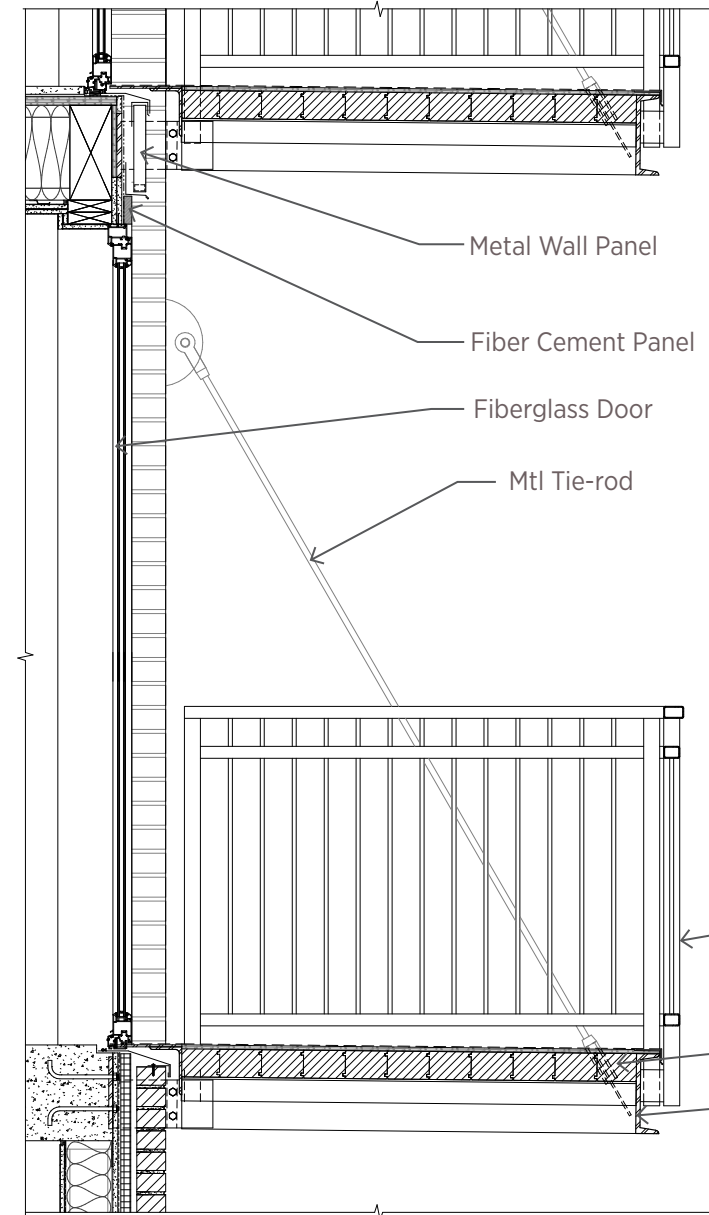
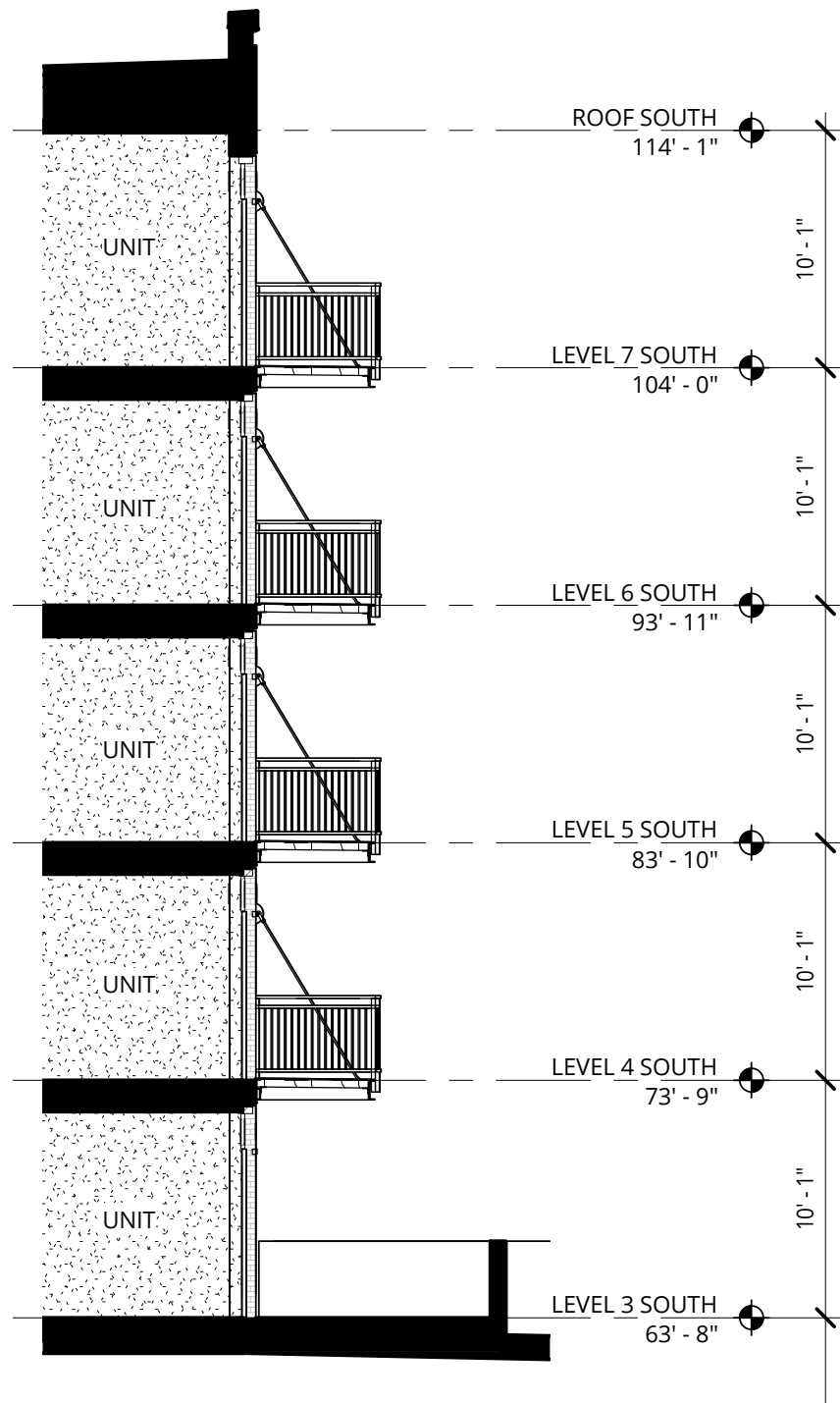


4 - Trellis Canopy @ South Residential Terrace 1" = 1'-0"



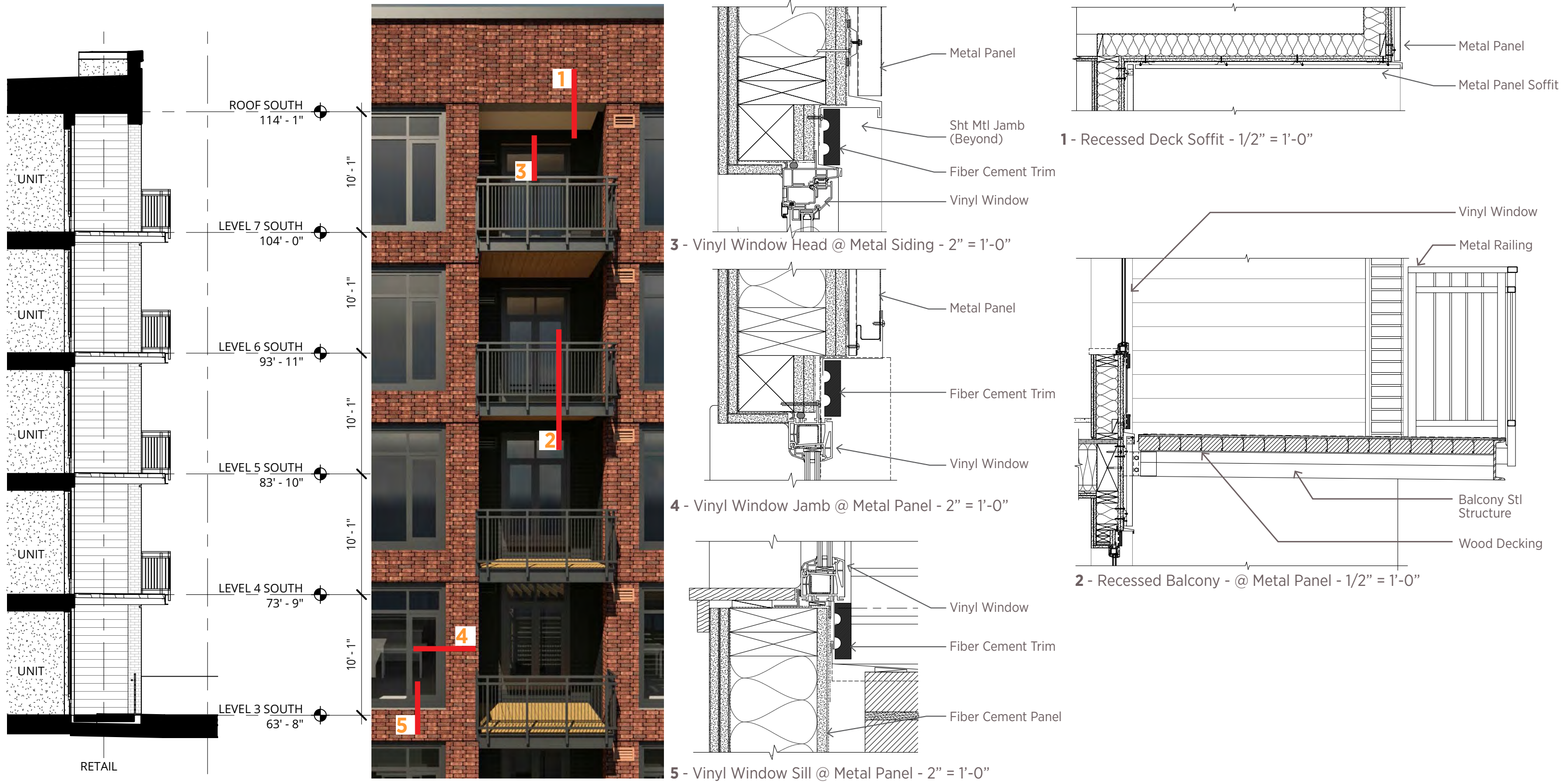
2 - Stormwater Planter @ Garden Center 1" = 1'-0"

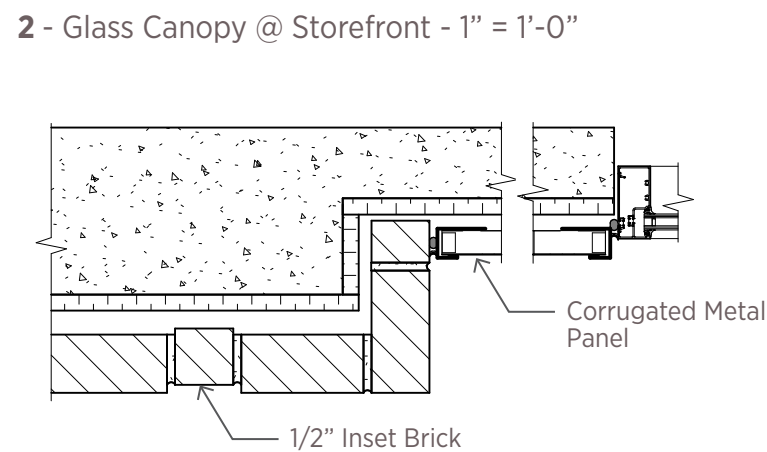
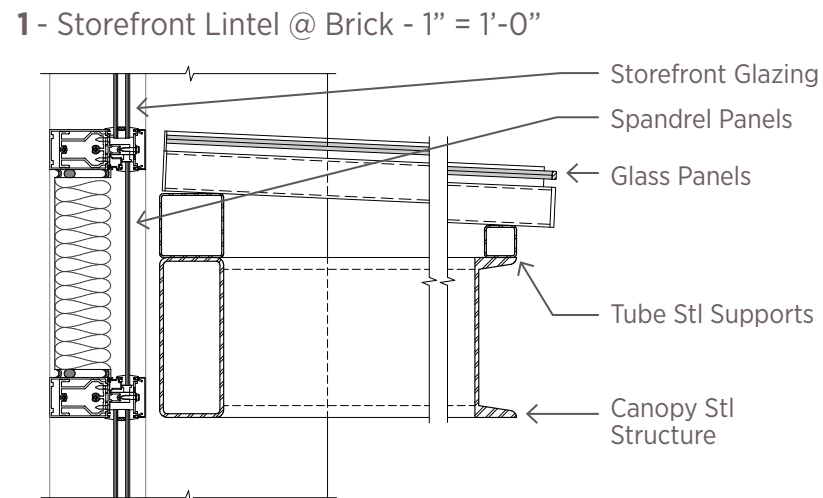
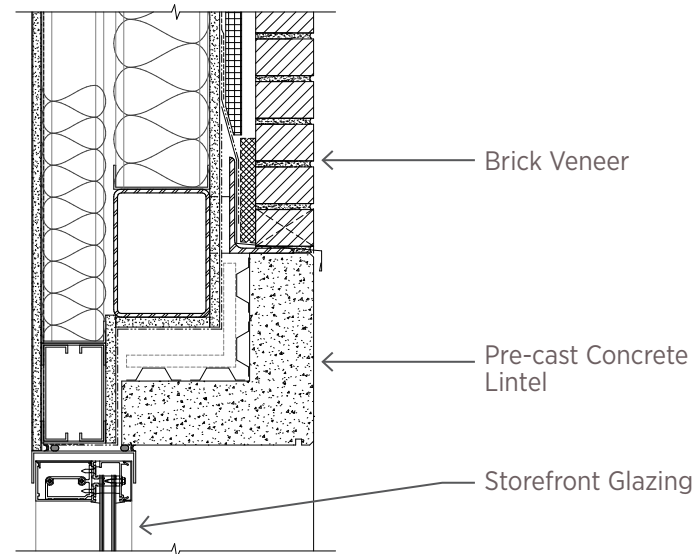




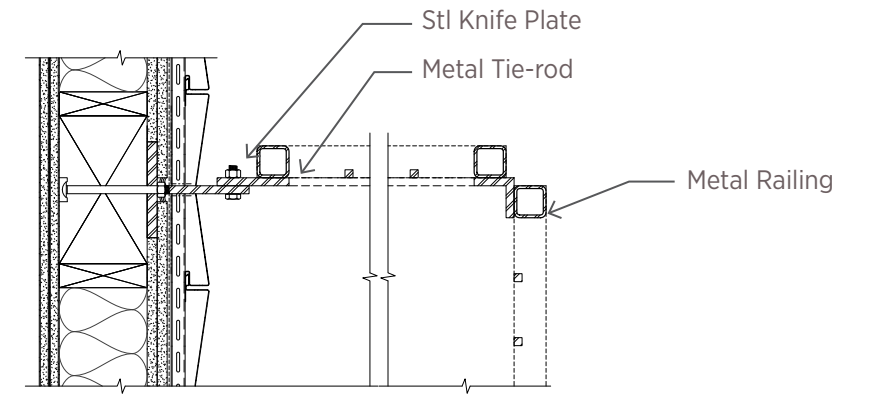
2- Clevis Attachment - 1" = 1'-0"

1 - Deck Connection @ Wood Studs - 1/2" = 1'-0"

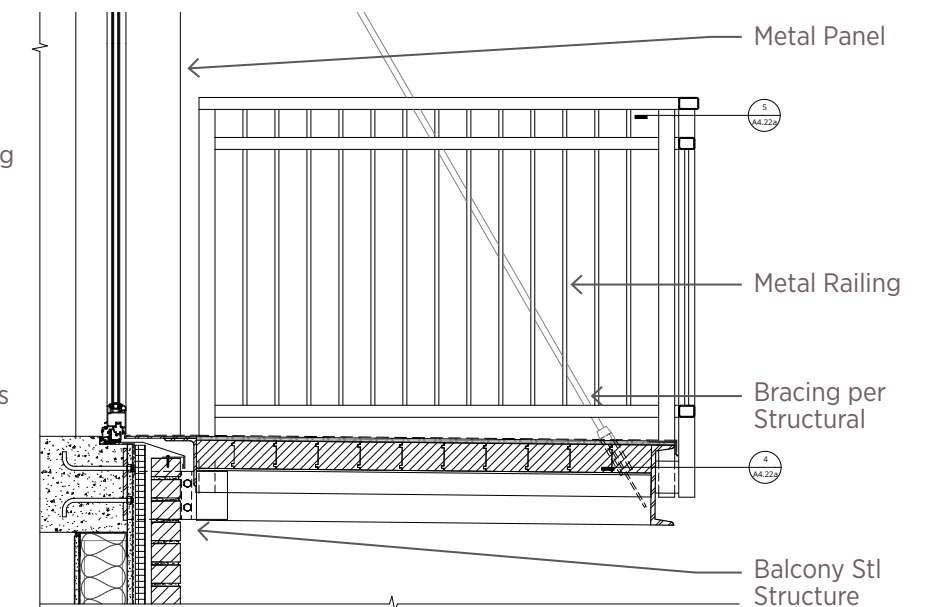




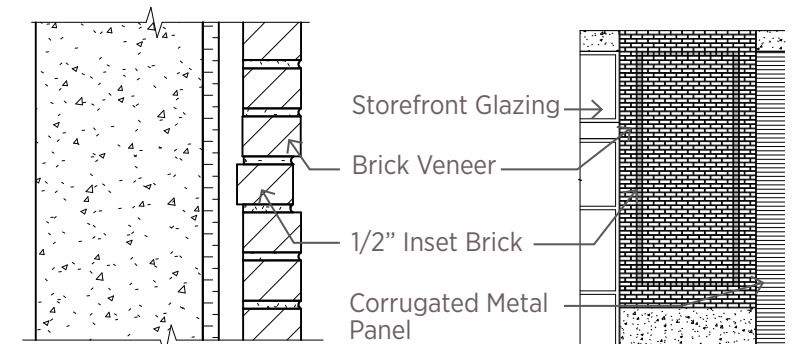
5 - Corrugated Metal Inset - 1" = 1'-0"



3 - Balcony Connection @ Metal Panel (SIM to North B.) - 1" = 1'-0"



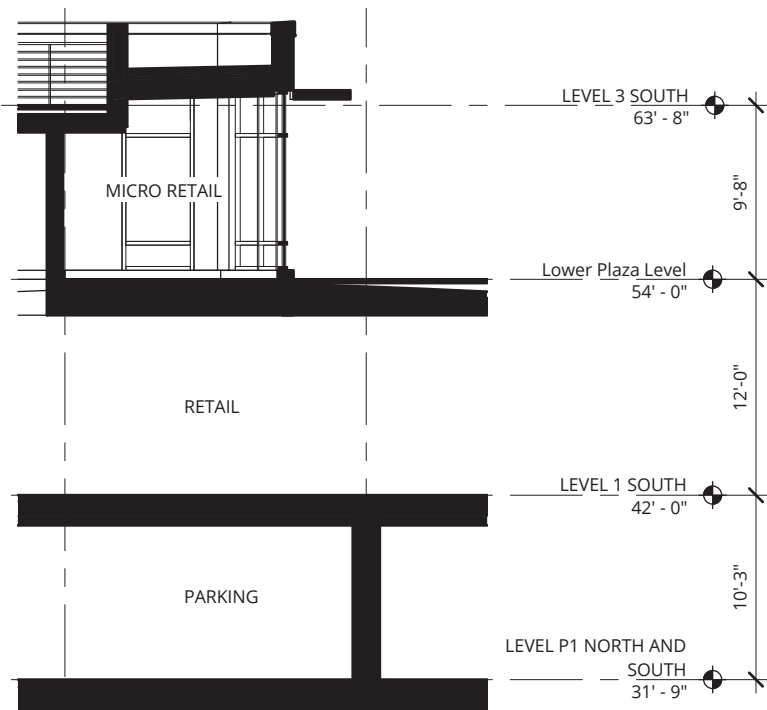
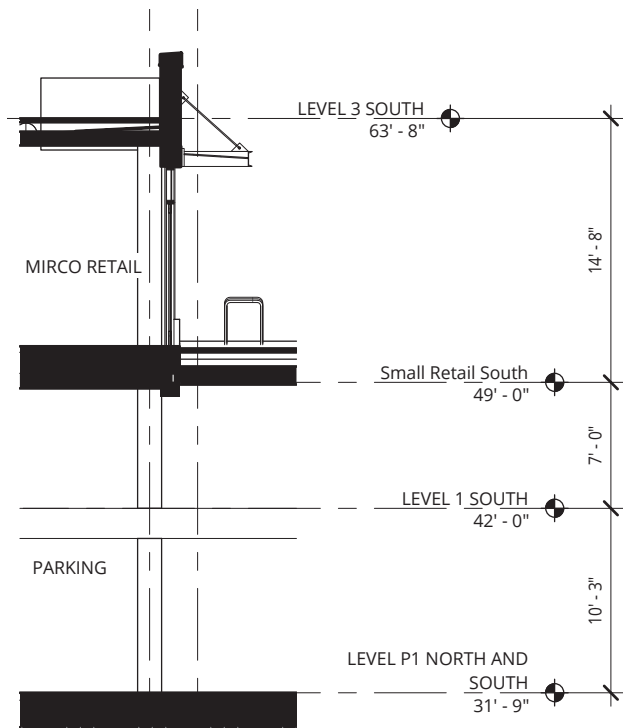
4 - Attached Balcony @ Metal Panel (SIM w/ Metal Panel Cladding) - 1/2" = 1'-0"



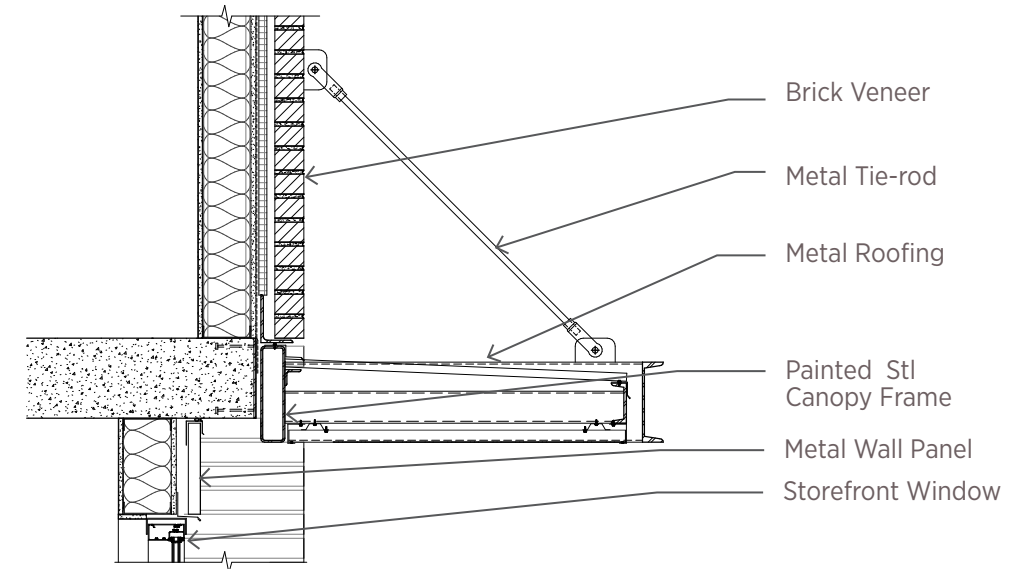
6 - Brick Recess Section - 1" = 1'-0" Brick Recess Elevation

C.113 Enlarged Section / Details - South Micro Retail 1 and 2

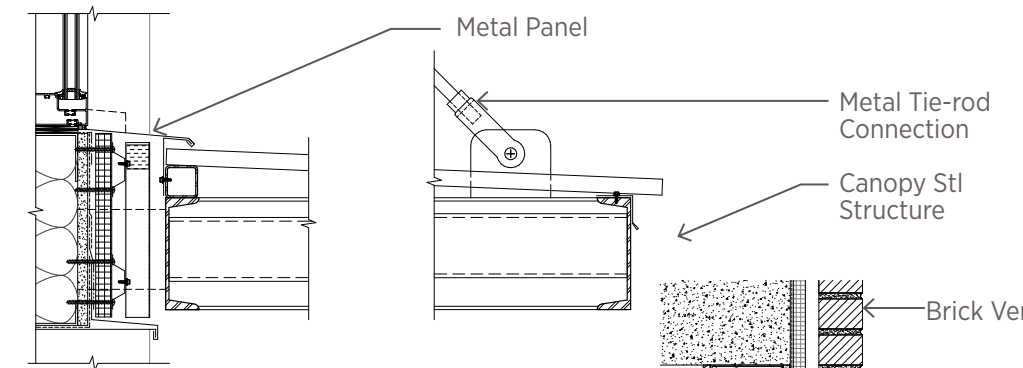
LOCA - THE GOAT BLOCKS / CENTRAL EASTSIDE - PORTLAND, OR



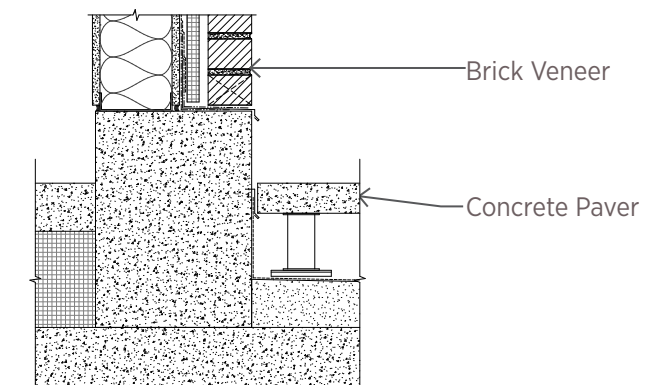
Area designated for permanent public art installation



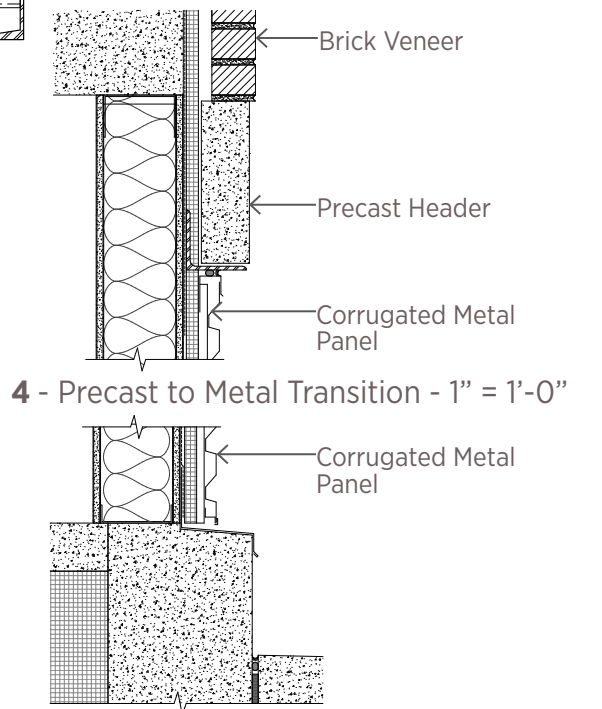
1 - Steel Canopy @ Brick - 1/2" = 1'-0"



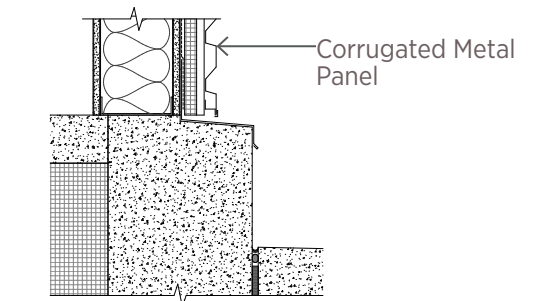
2 - Steel Canopy @ Metal Panel - 1" = 1'-0"



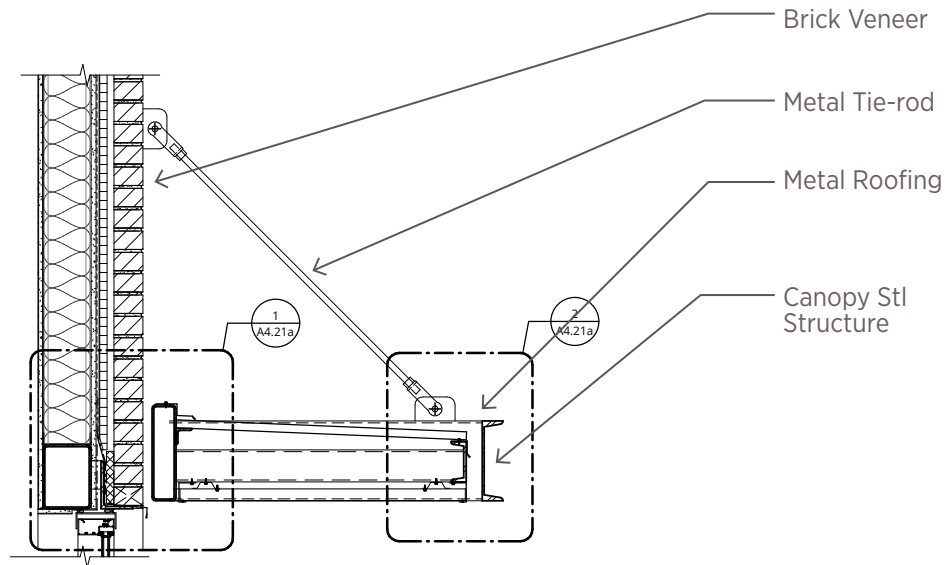
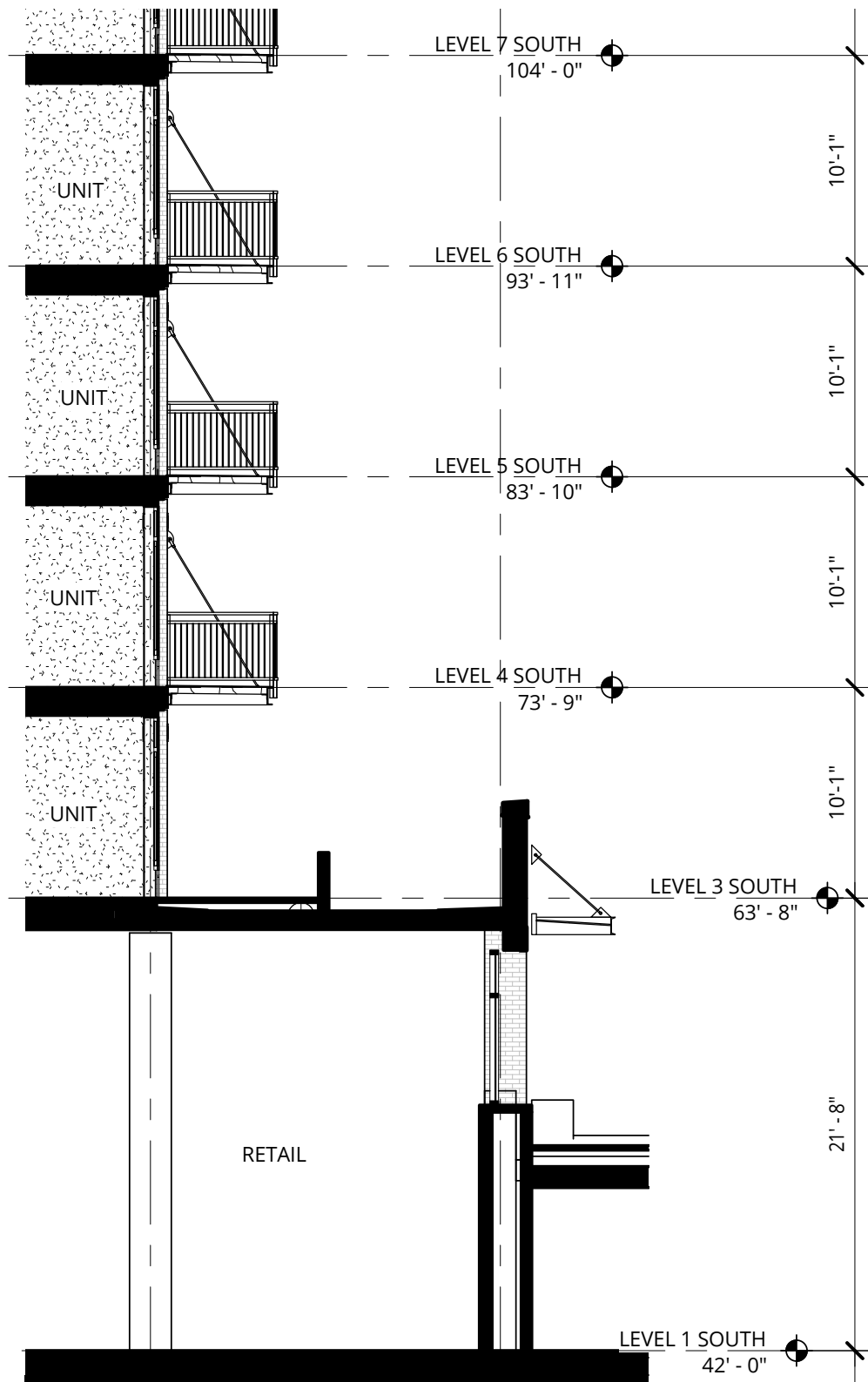
3 - Micro Retail Base - 1" = 1'-0"



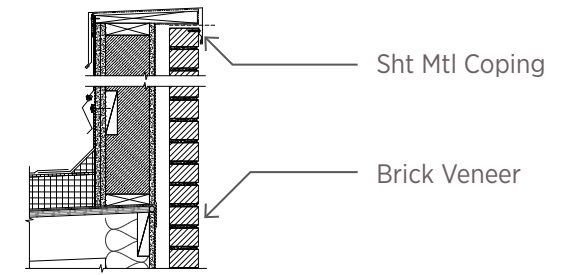
4 - Precast to Metal Transition - 1" = 1'-0"



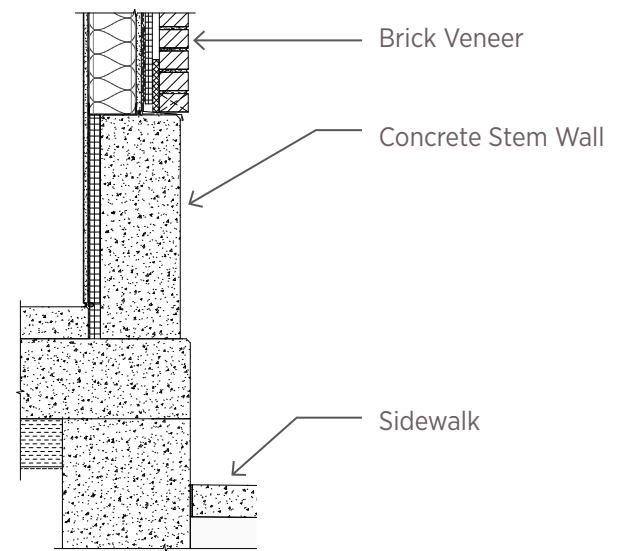
5 - Metal to Conc. Transition - 1" = 1'-0"



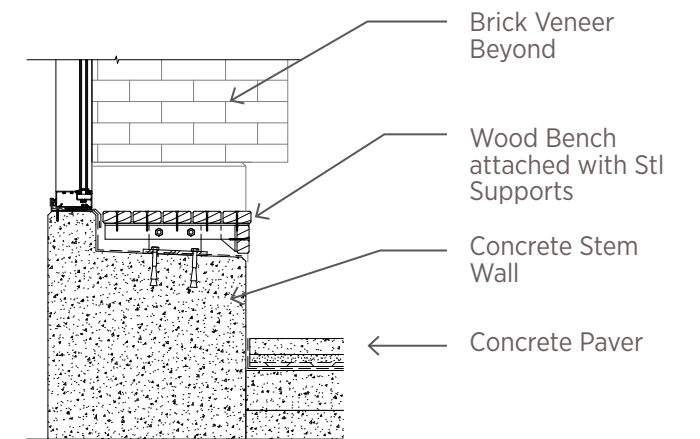
1 - Steel Canopy @ Brick - 1/2" = 1'-0"



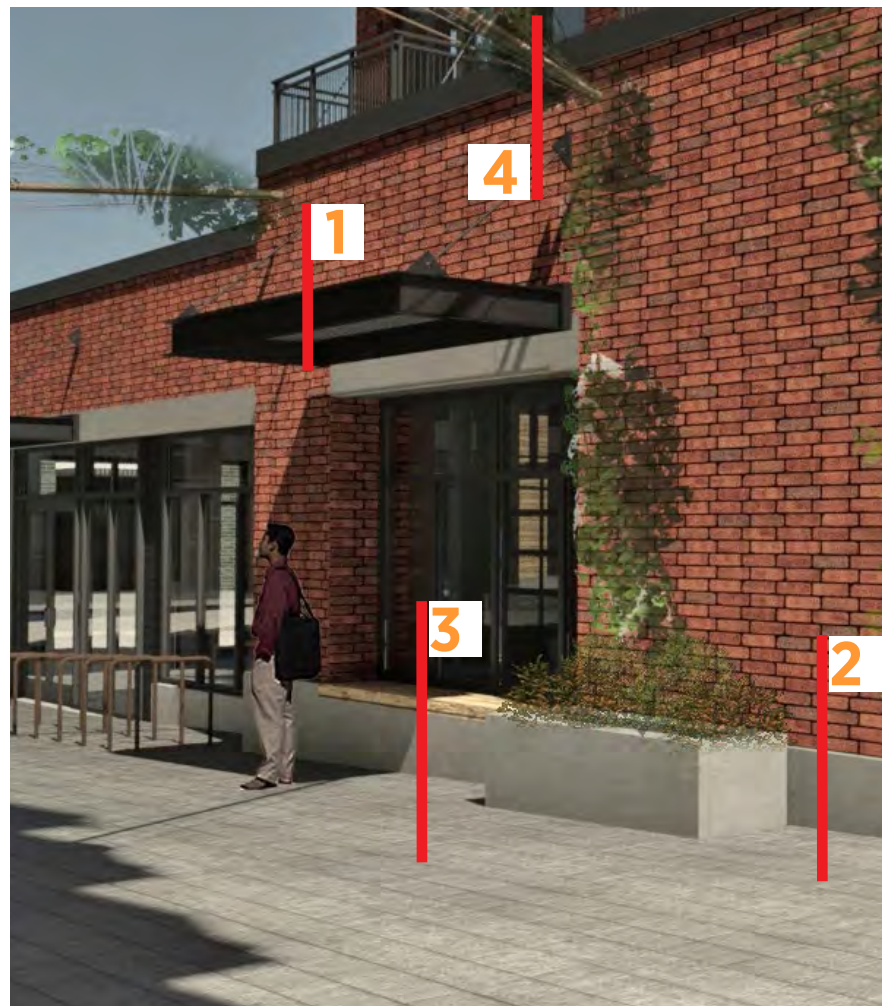
4 - Parapet @ Brick Veneer - 1/2" = 1'-0"

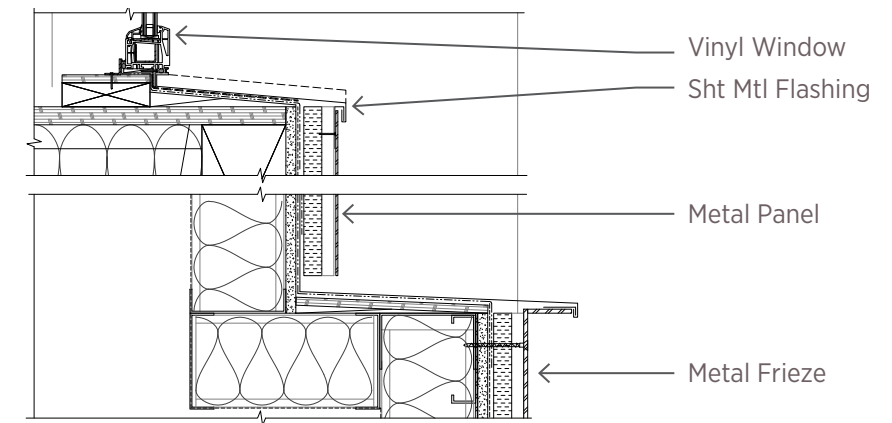
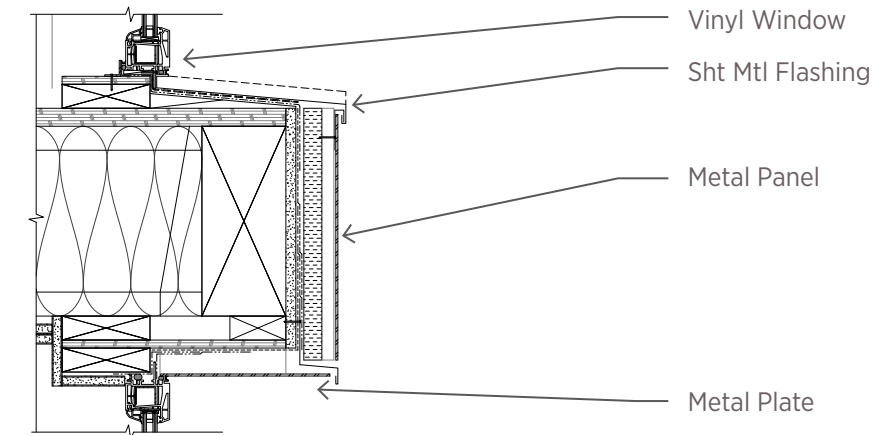
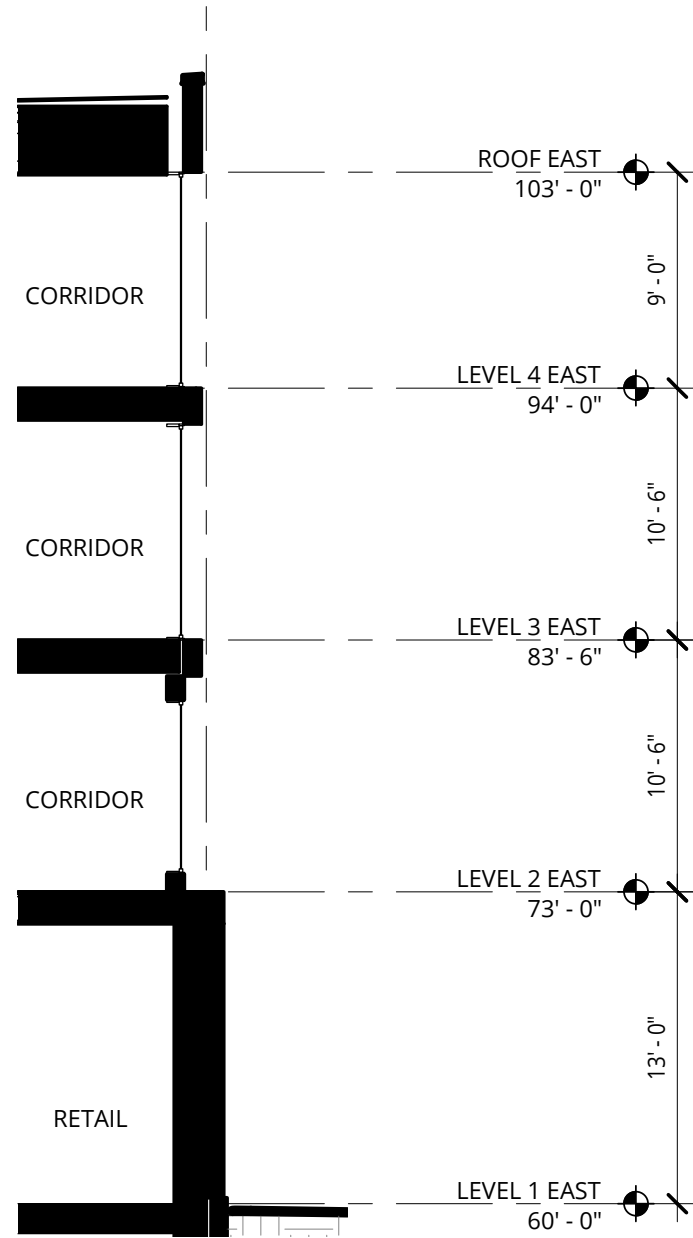


2 - Concrete Base @ Brick - 1/2" = 1'-0"

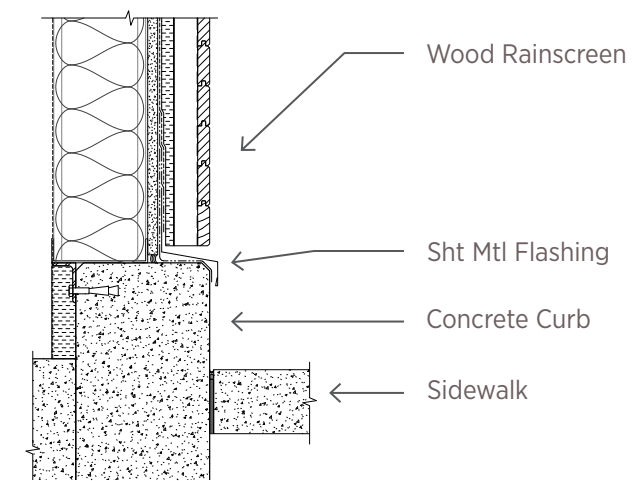


3 - Wood Bench @ Concrete Base - 1/2" = 1'-0"

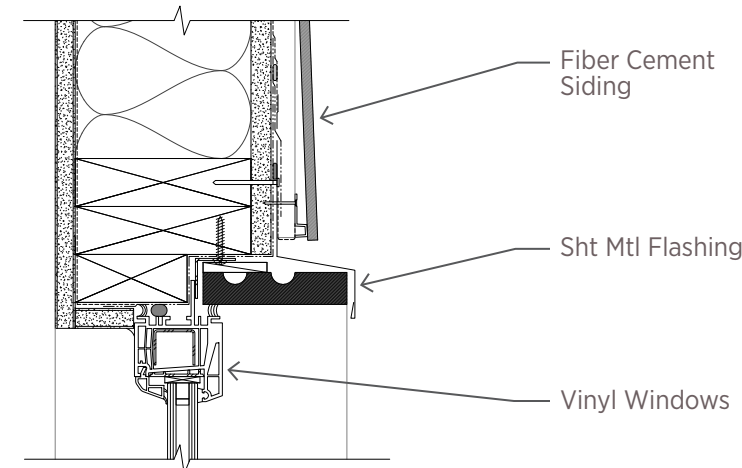
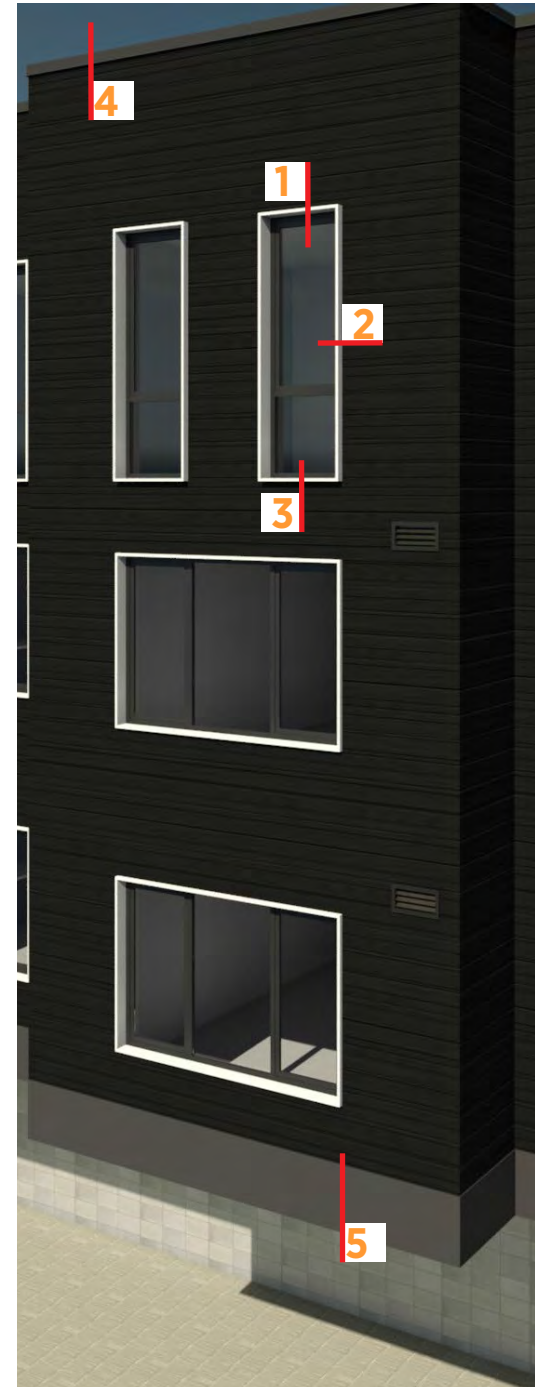
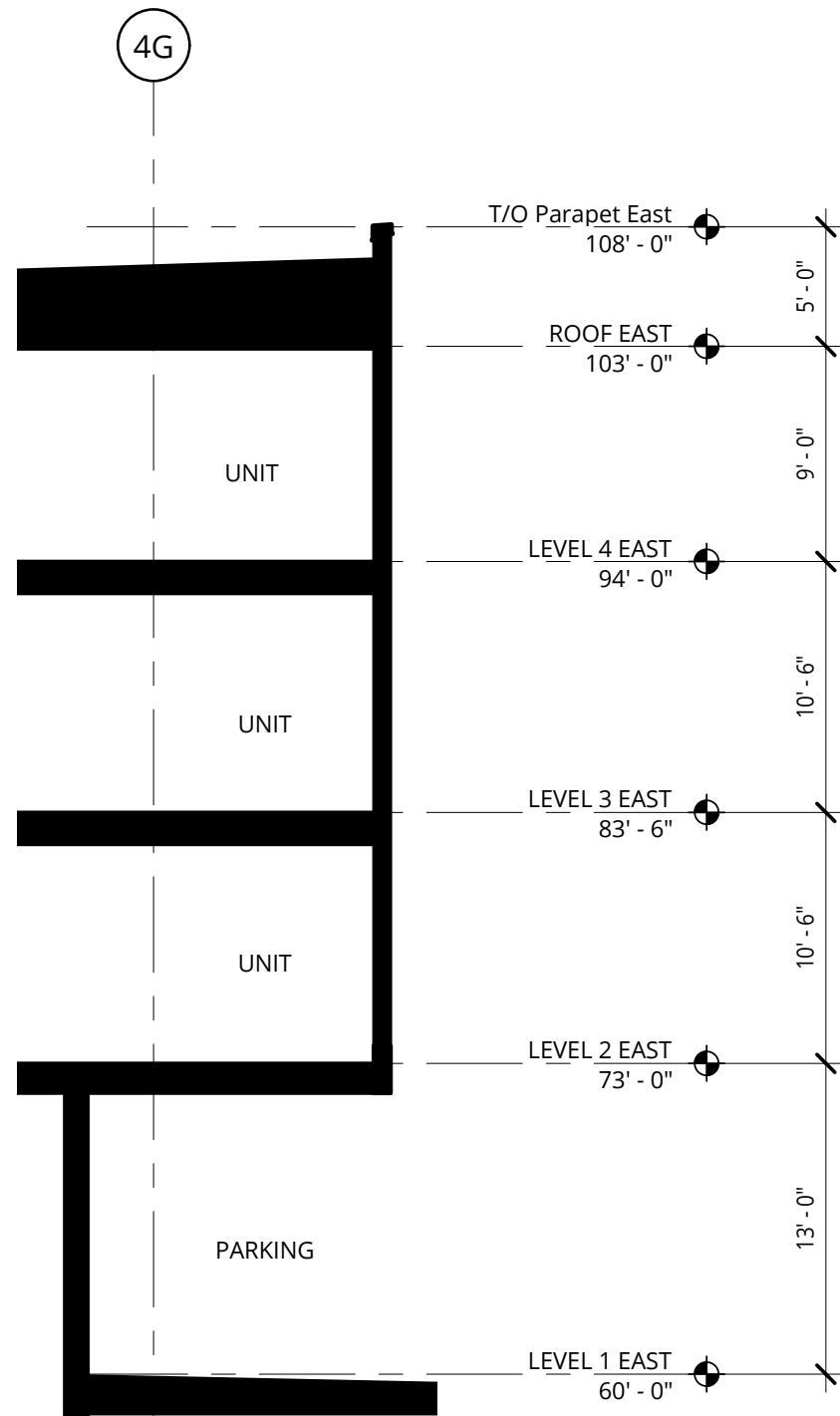




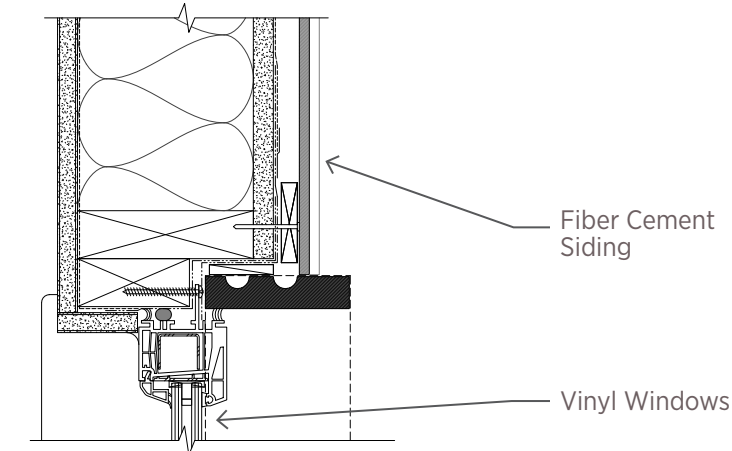
1- Metal Panels @ Vinyl Windows - 1" = 1'-0"



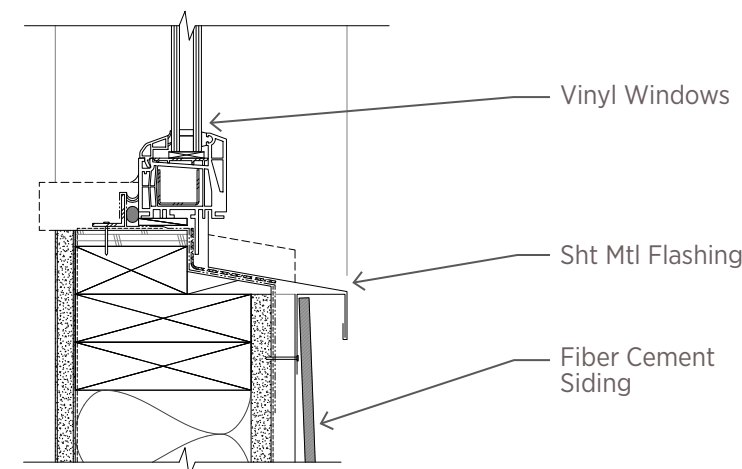
2- Wood Siding @ Concrete Curb - 1" = 1'-0"



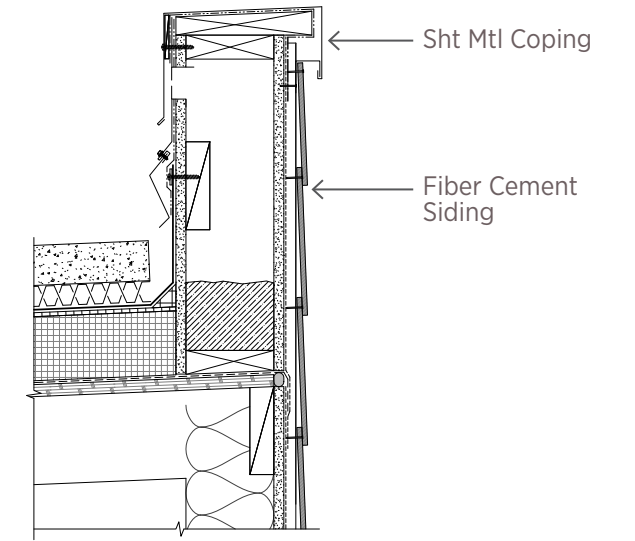
1 - Vinyl Window Head @ FCP Plank - 2" = 1'-0"



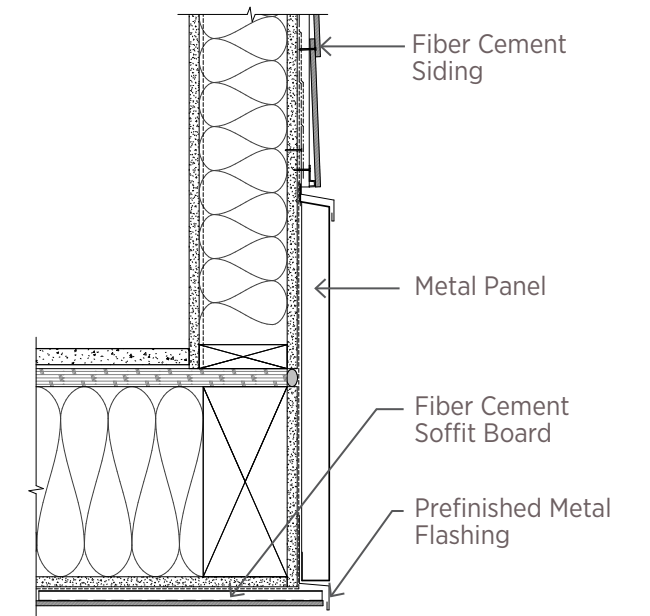
2 - Vinyl Window Jamb @ FCP Plank - 2" = 1'-0"



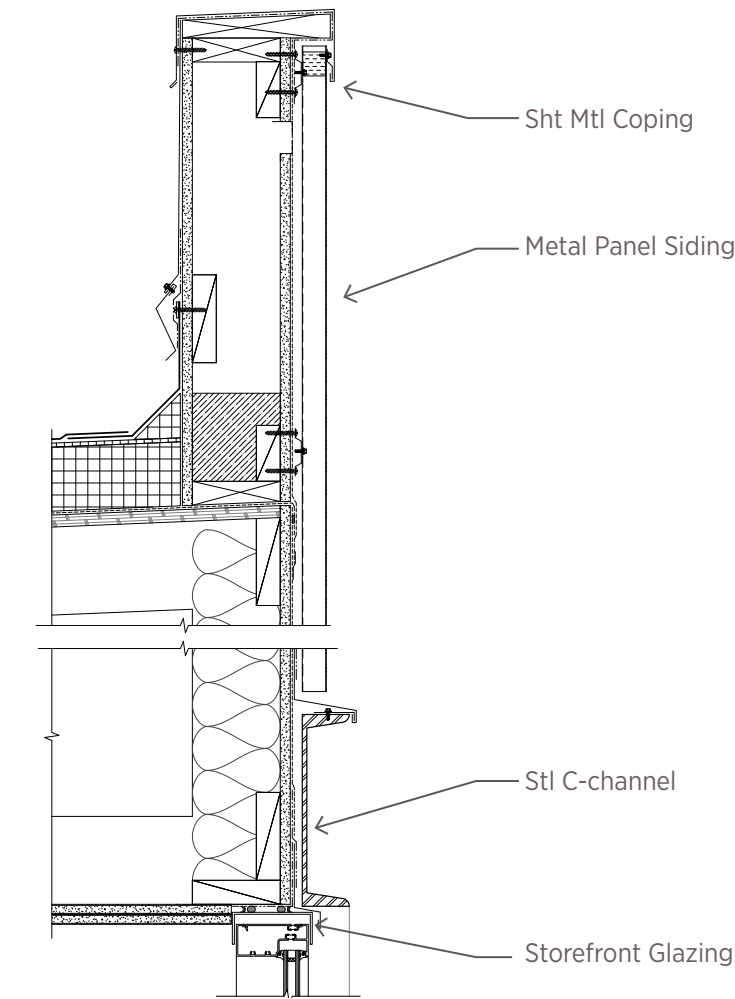
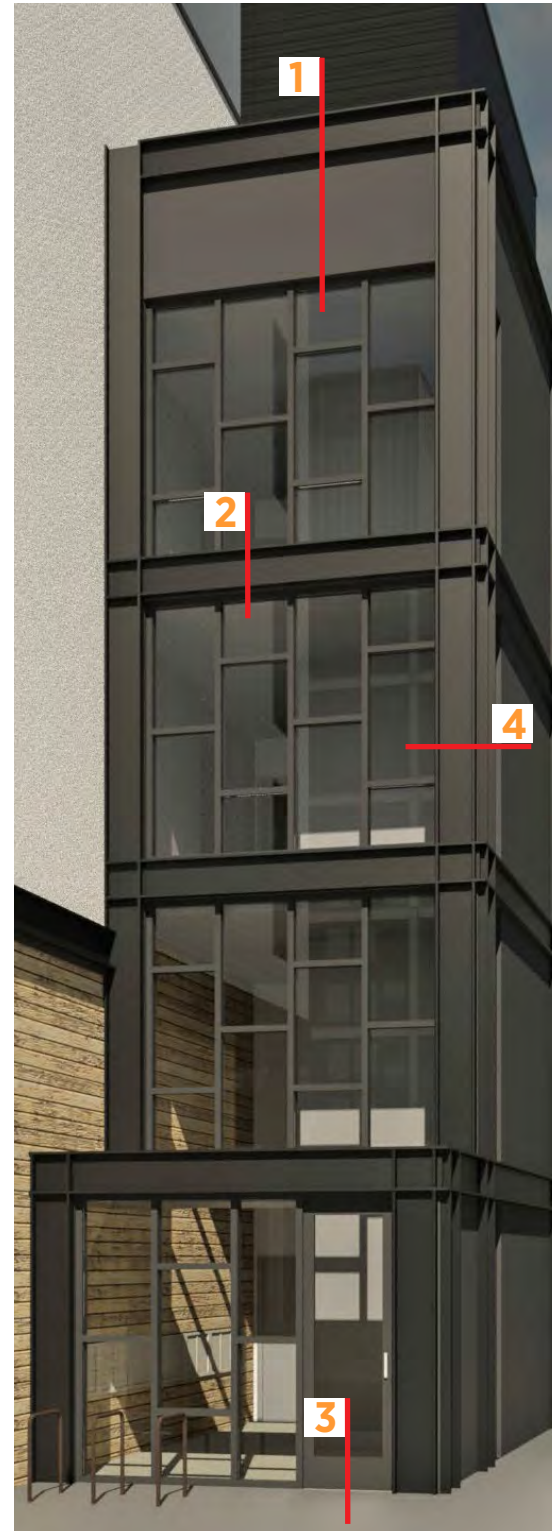
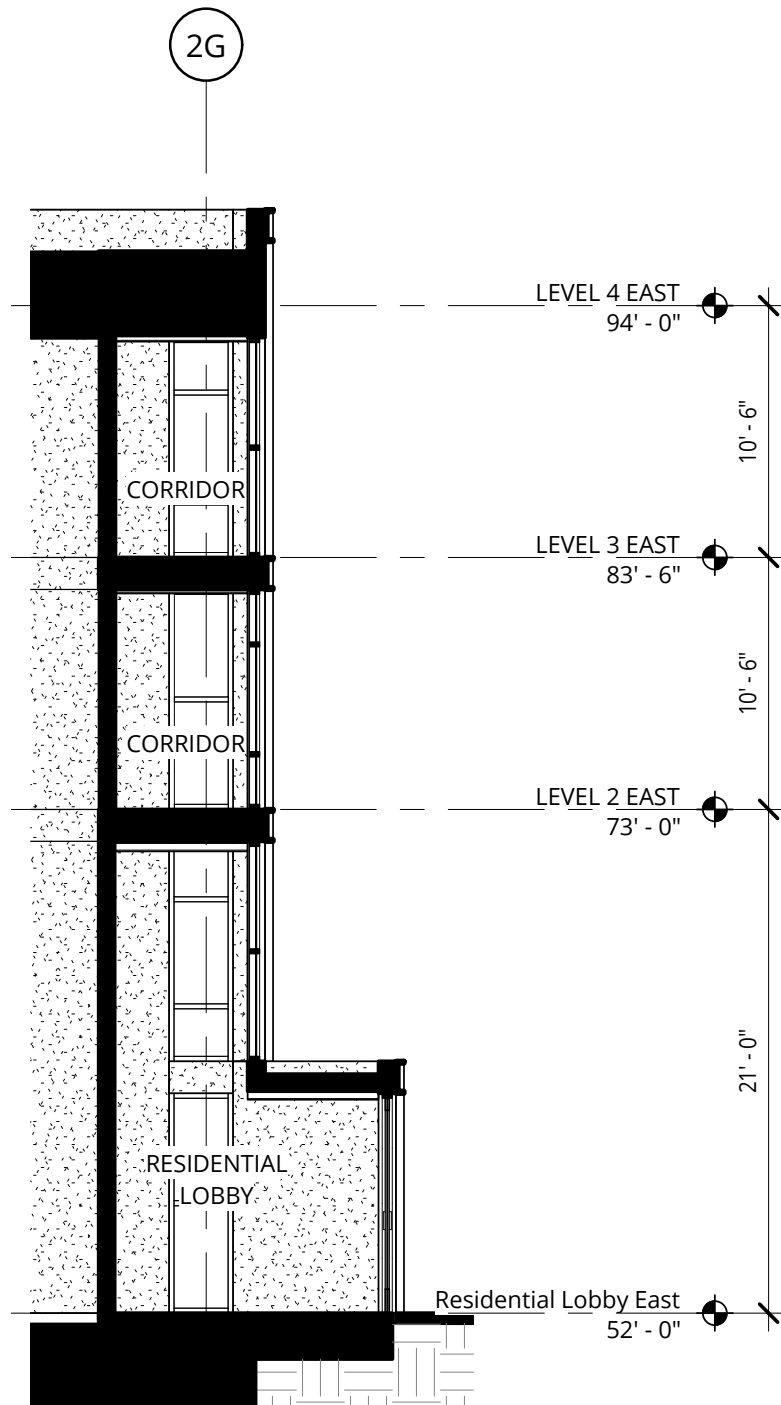
3 - Vinyl Window Sill @ FCP Plank - 2" = 1'-0"



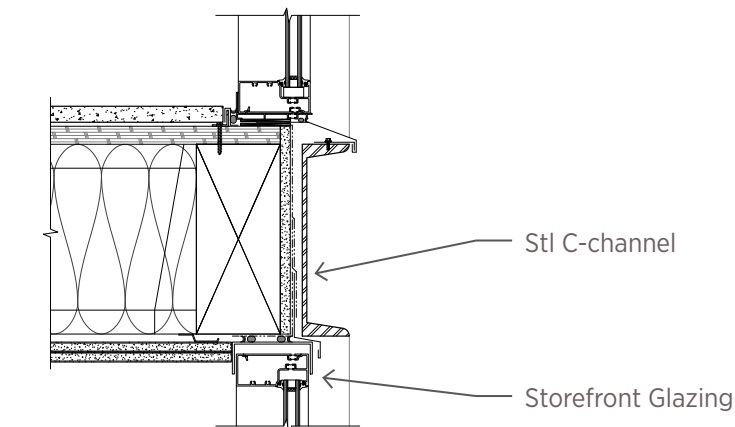
4 - Parapet @ FCP Plank - 1" = 1'-0"



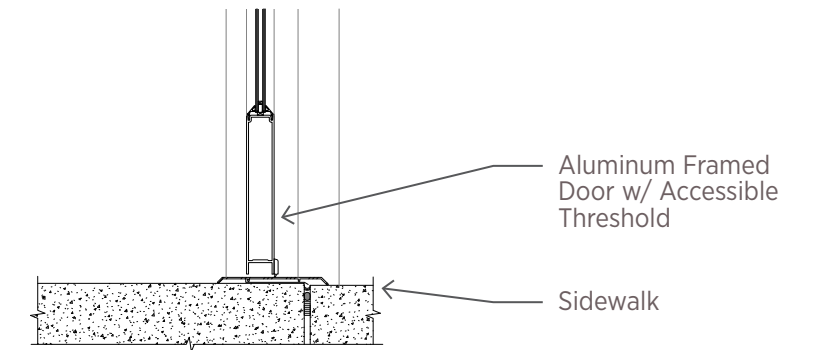
5 - Metal to FC Soffit Transition - 1" = 1'-0"



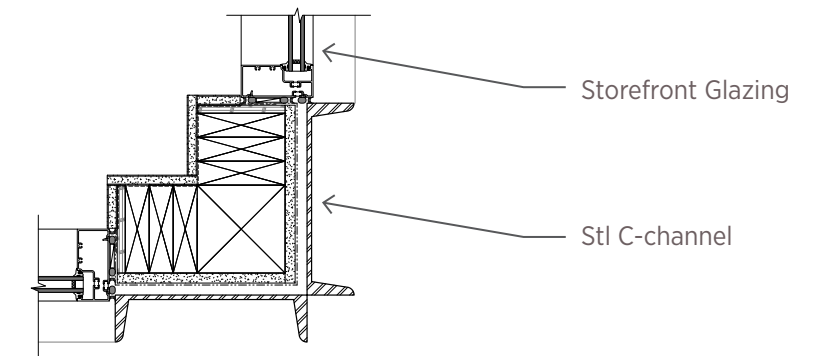
1 - Metal Panels @ Elevator Lobby - 1" = 1'-0"



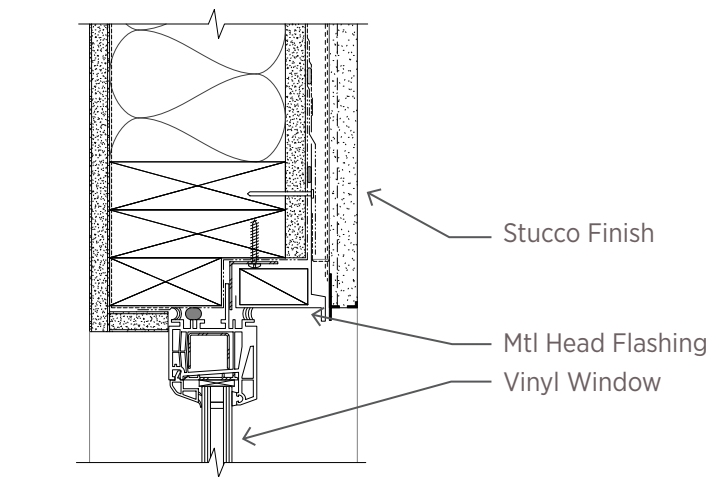
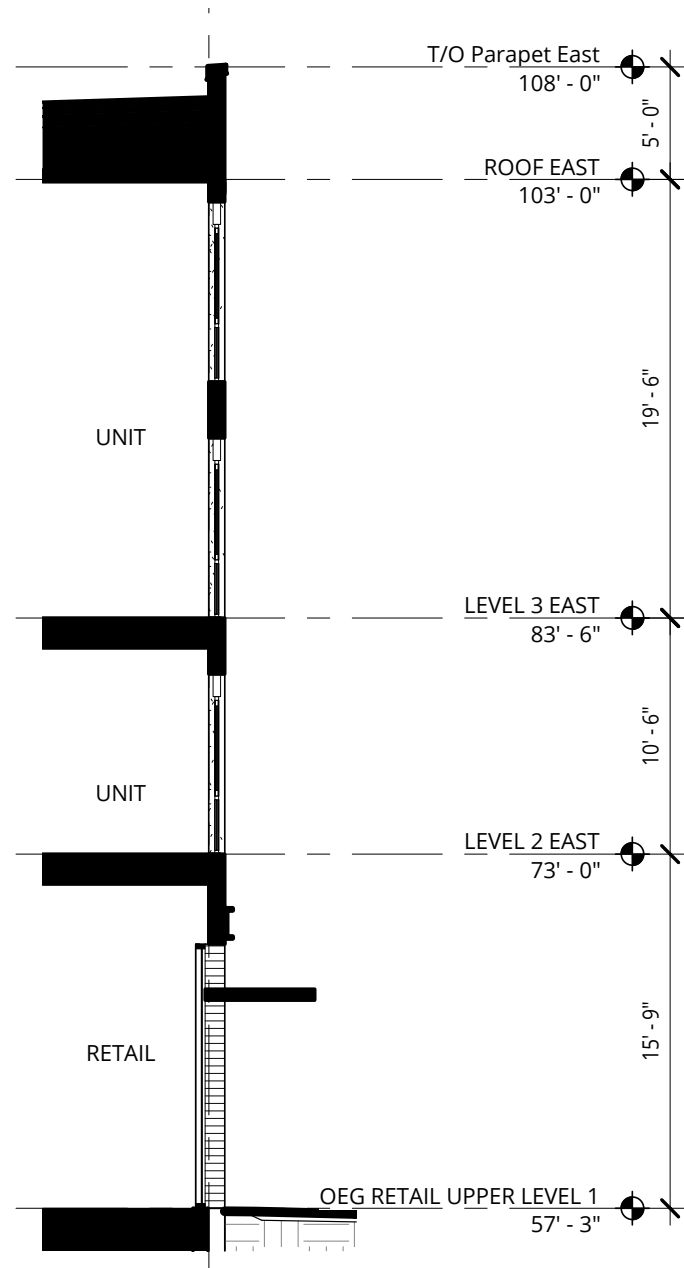
2 - Steel Channels @ Elevator Lobby - 1" = 1'-0"



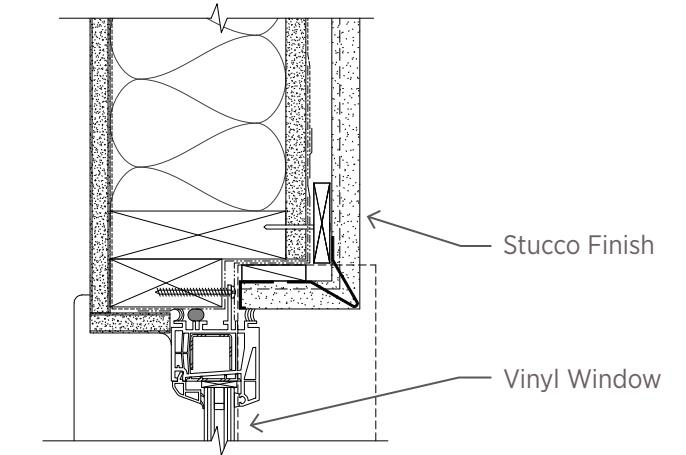
3 - Door Threshold @ Elevator Lobby - 1" = 1'-0"



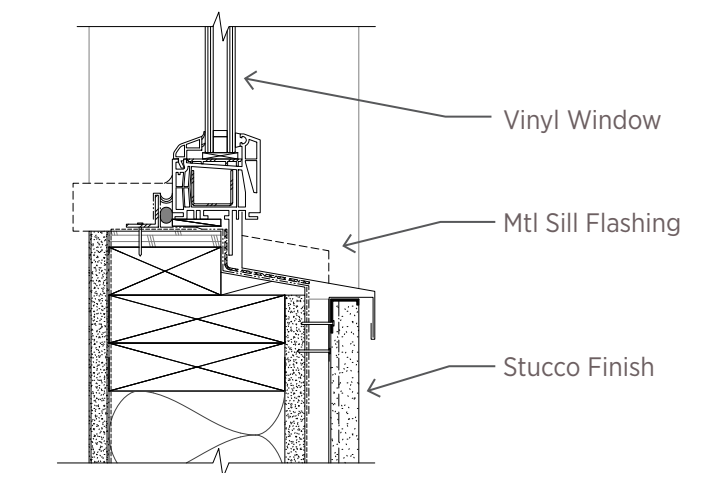
4 - Corner Column @ Elevator Lobby - 1" = 1'-0"



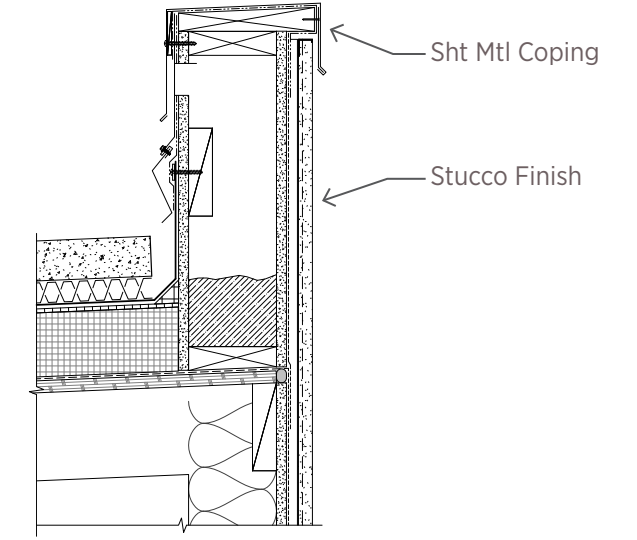
1 - Vinyl Window Head @ Stucco - 2" = 1'-0"



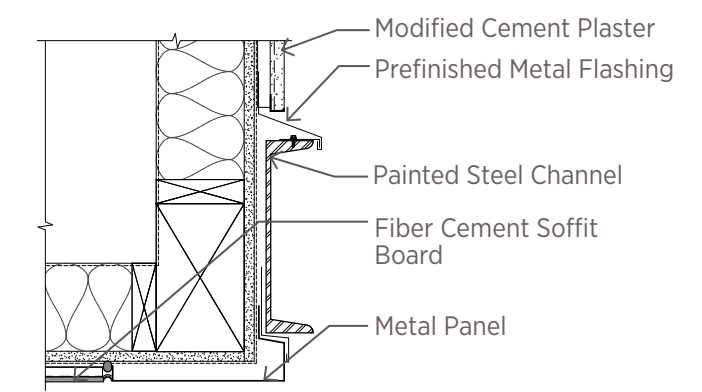
2 - Vinyl Window Jamb @ Stucco - 2" = 1'-0"



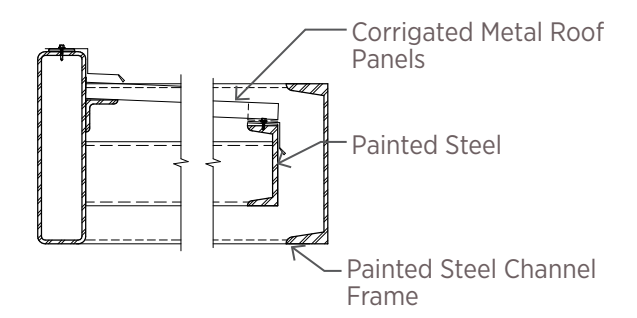
3 - Vinyl Window Sill @ Stucco - 2" = 1'-0"



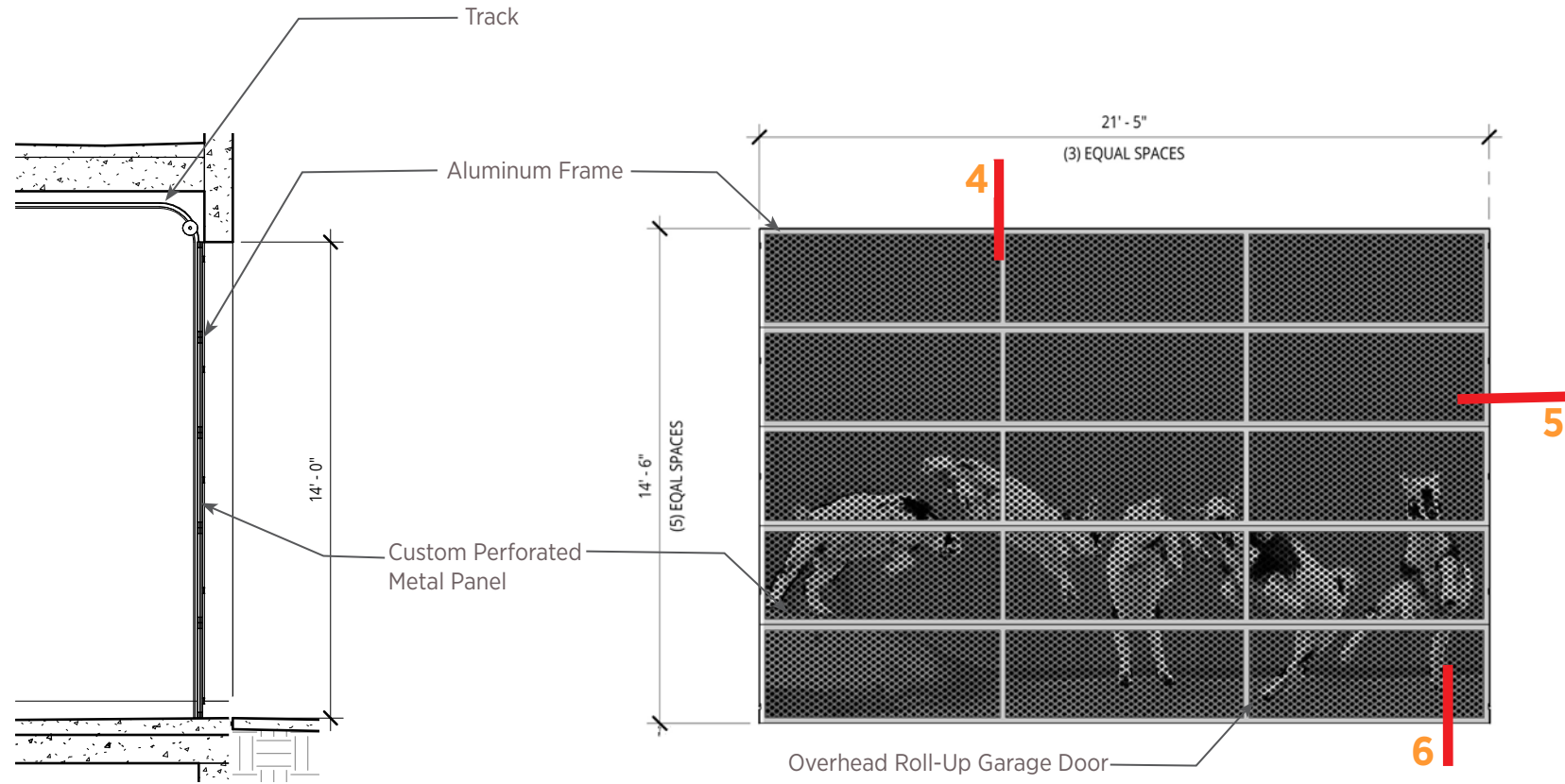
4 - Parapet @ Stucco - 1" = 1'-0"



5 - Canopy @ East Building - 1" = 1'-0"

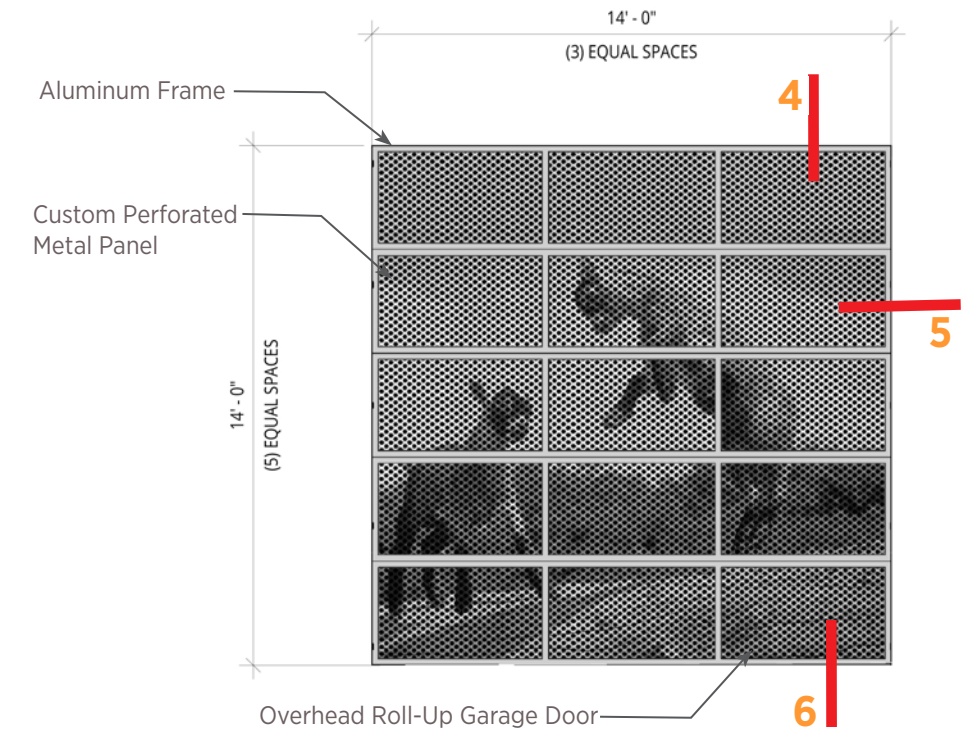


6 - East Building Soffit @ Entry - 1" = 1'-0"

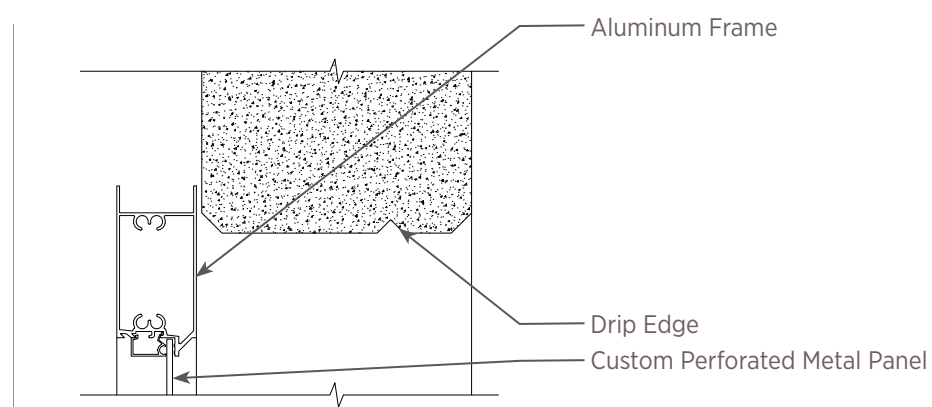


1 - Garage Gate Section

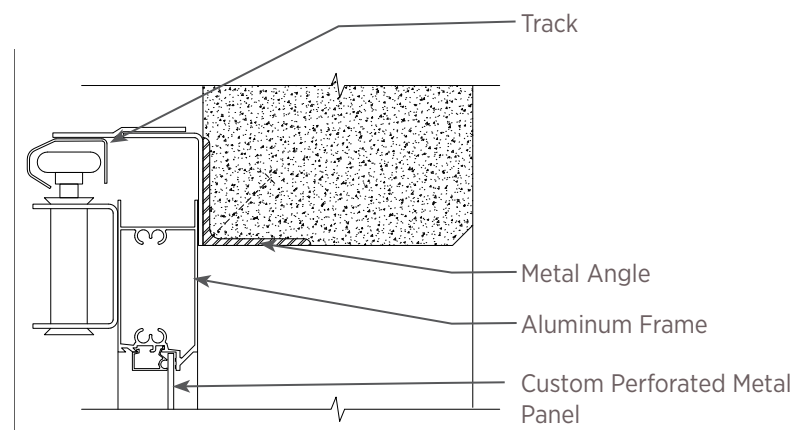
2 - Garage Gate Elevation - West Building



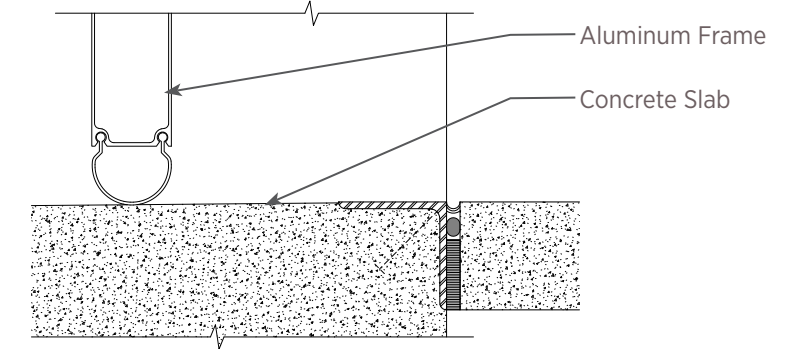
3 - Garage Gate Elevation - South Building



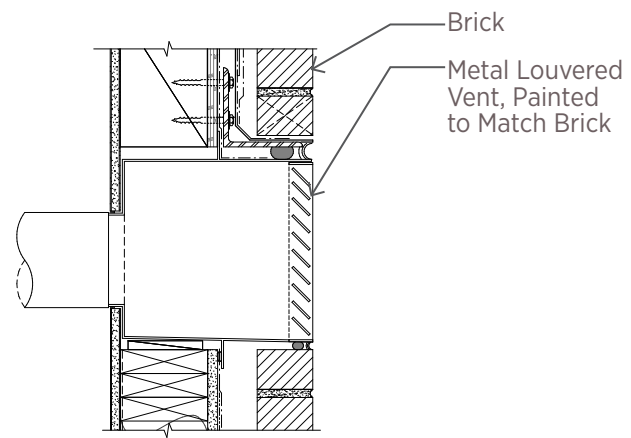
4 - Garage Gate Head Detail



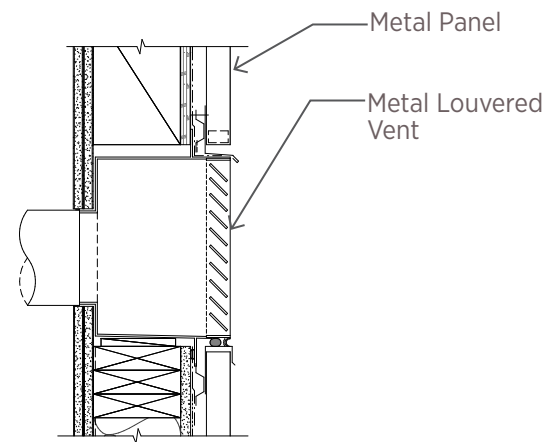
5 - Garage Gate Jamb Detail



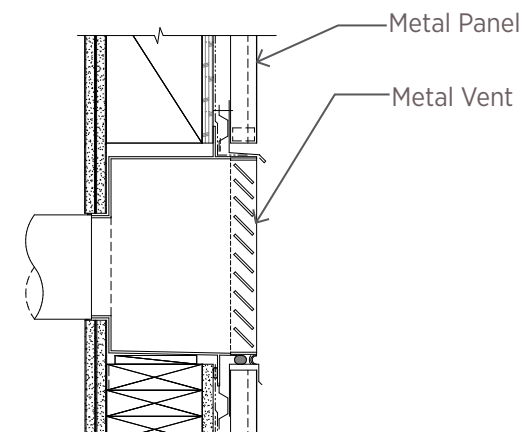
6 - Garage Gate Sill Detail



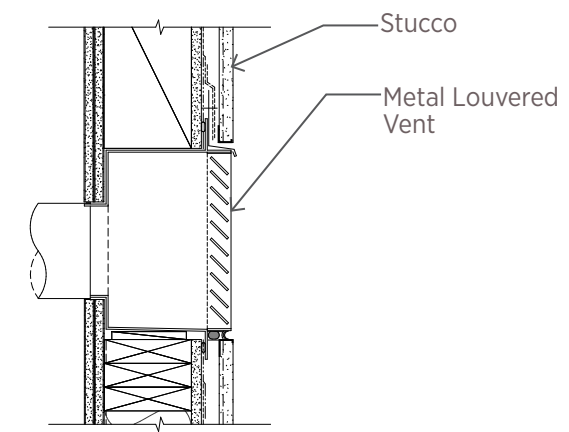
1 - Louvered Vent @
Brick - 1" = 1'-0"



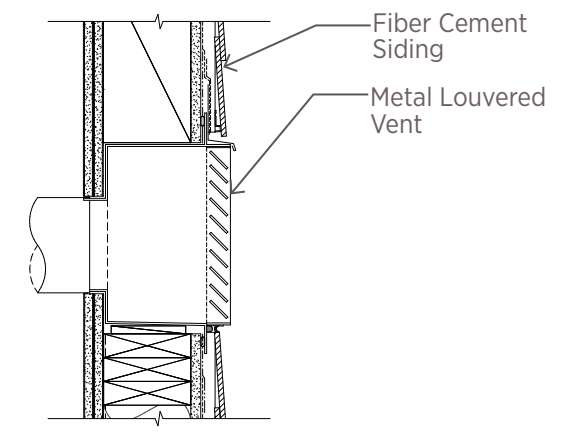
2 - Louvered Vent @
Metal Panel - 1" = 1'-0"



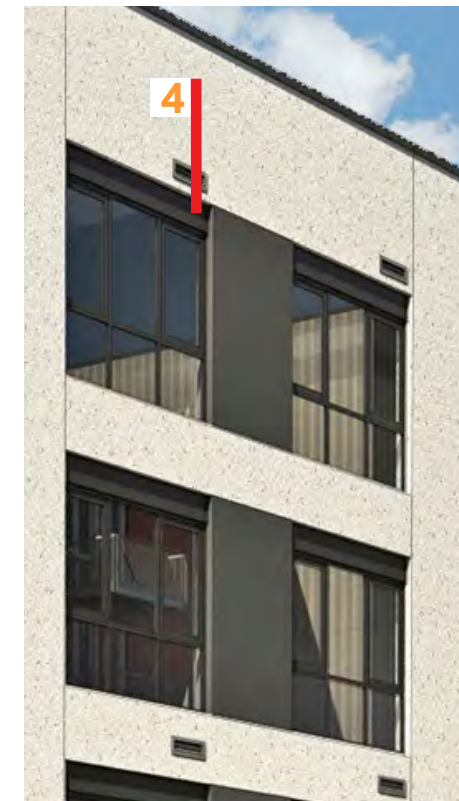
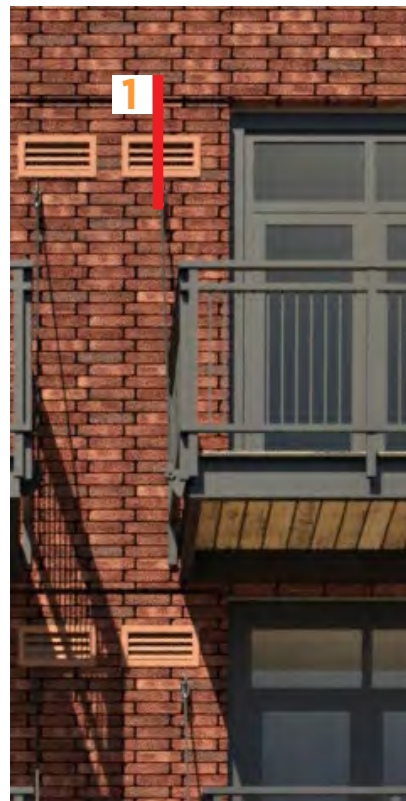
3 - Hooded Vent @
Metal Panel - 1" = 1'-0"



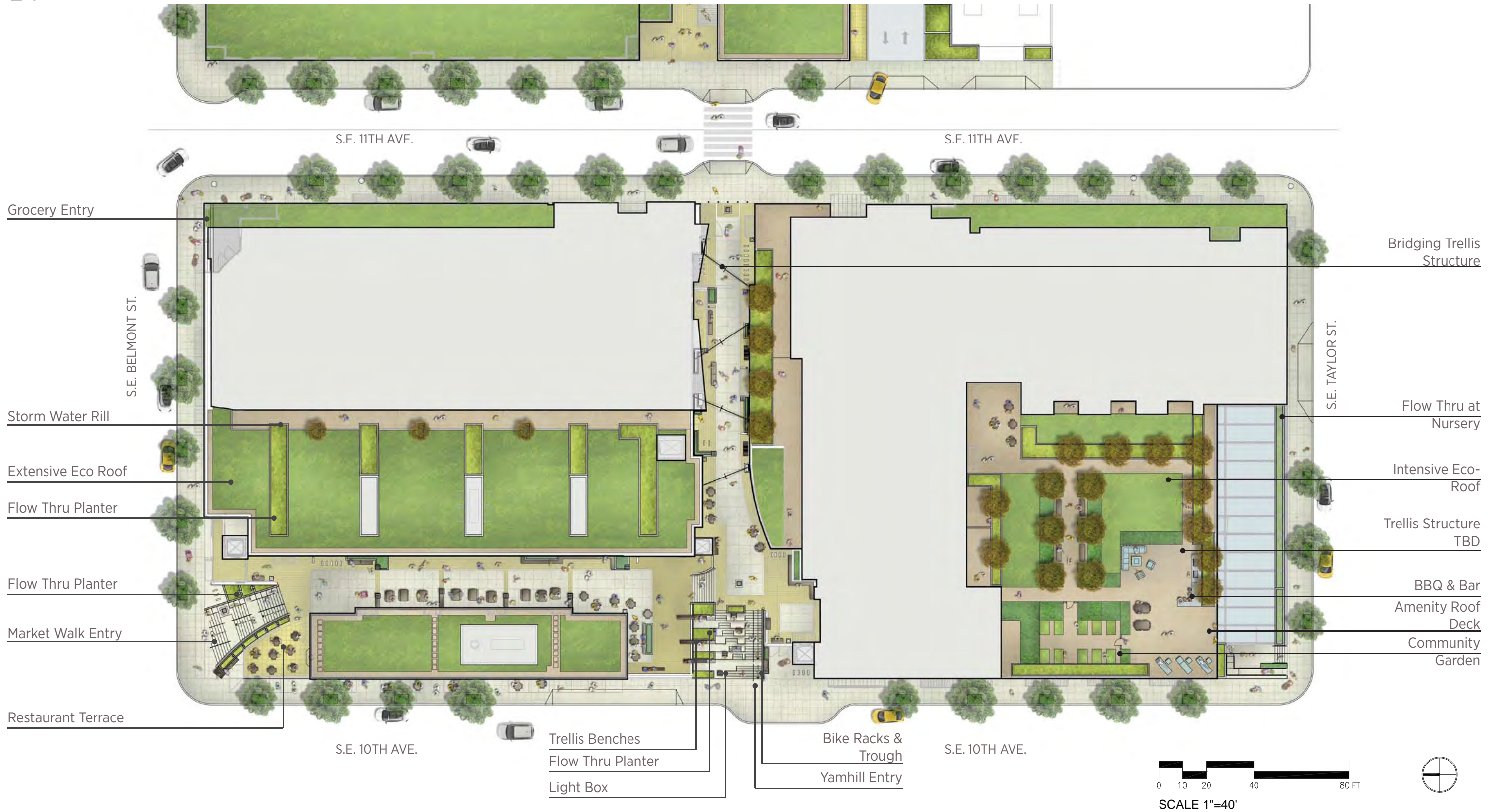
4 - Louvered Vent @
Stucco - 1" = 1'-0"



5 - Louvered Vent @ Fiber
Cement Siding - 1" = 1'-0"



L4



Grocery Entry

S.E. BELMONT ST.

Storm Water Rill

Extensive Eco Roof

Flow Thru Planter

Flow Thru Planter

Market Walk Entry

Restaurant Terrace

S.E. 11TH AVE.

S.E. 11TH AVE.

S.E. 10TH AVE.

S.E. 10TH AVE.

S.E. TAYLOR ST.

Bridging Trellis Structure

Flow Thru at Nursery

Intensive Eco-Roof

Trellis Structure TBD

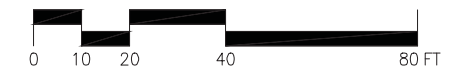
BBQ & Bar

Amenity Roof Deck

Community Garden

Trellis Benches
Flow Thru Planter
Light Box

Bike Racks & Trough
Yamhill Entry



SCALE 1"=40'

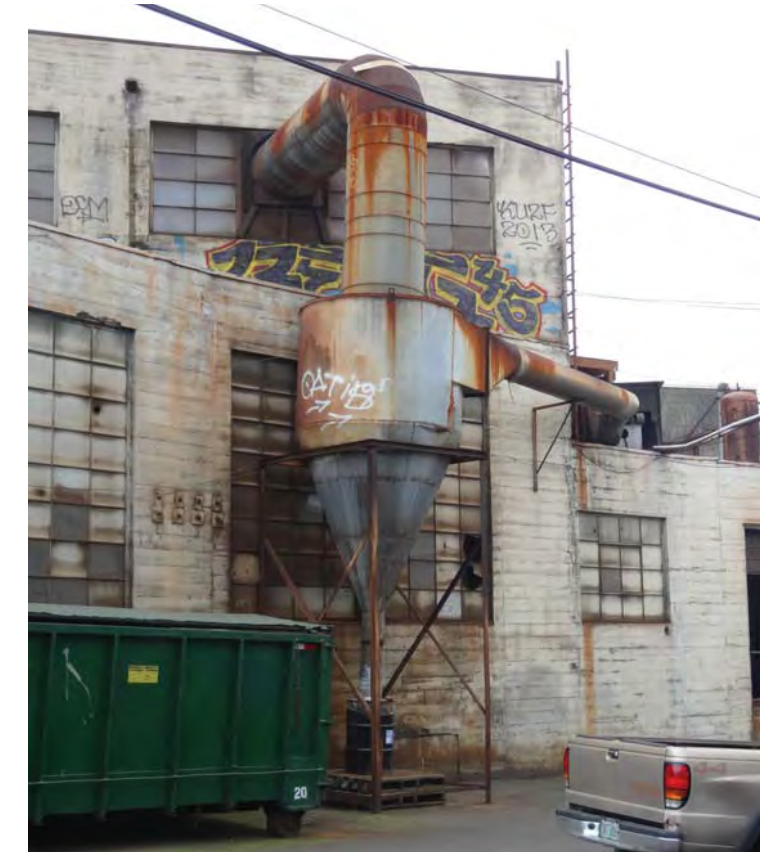




L6



SW Third and Main



Silos and Product Elevators



Utility Bridge Structure



Window Bay Movies

Make Spaces Dynamic

Simple Strong Inviting
simplify, too many materials
don't use corten steel

Provide Common Thread

more Consistency

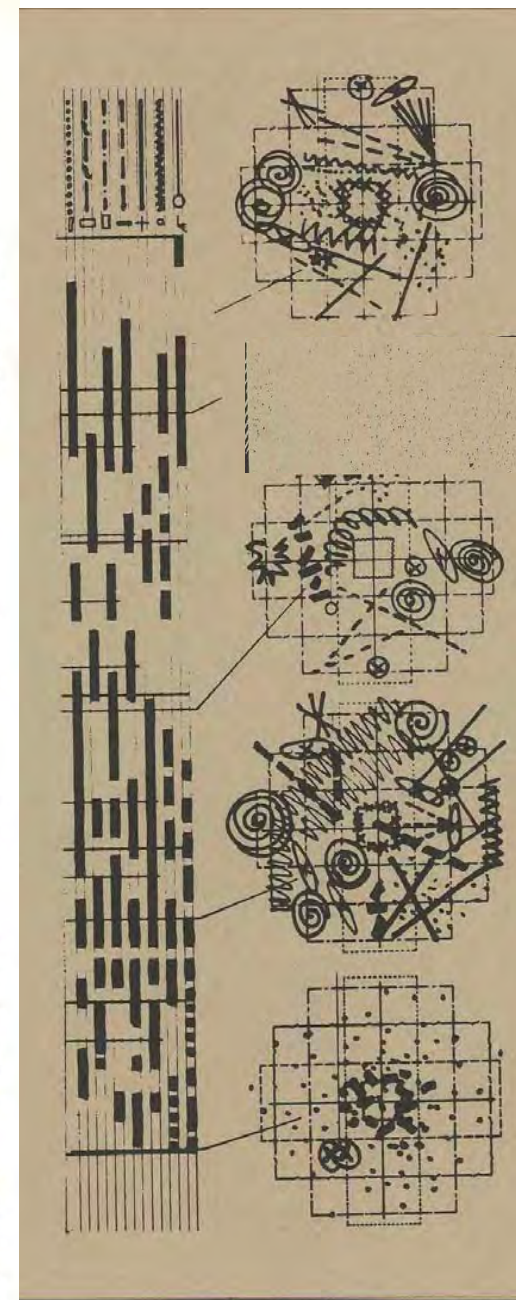
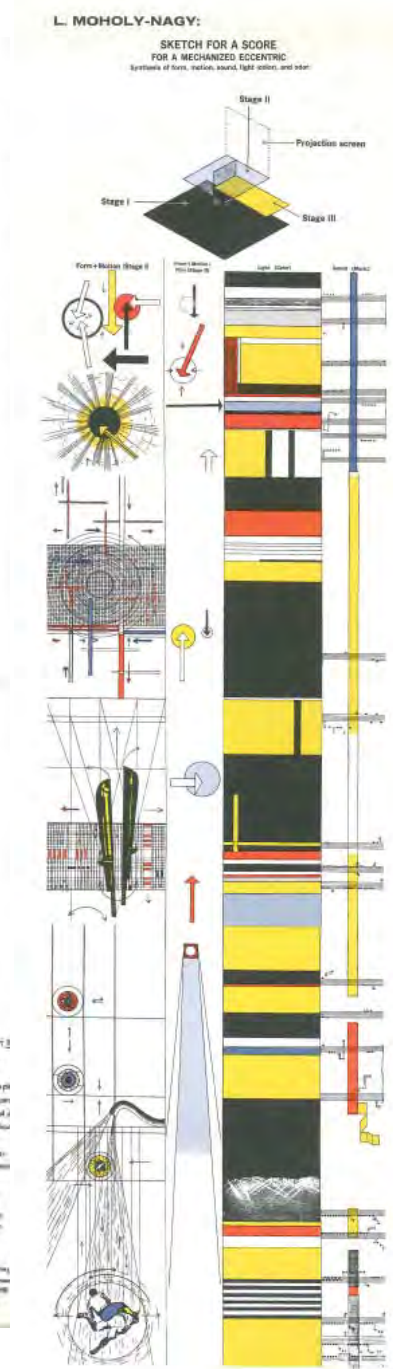
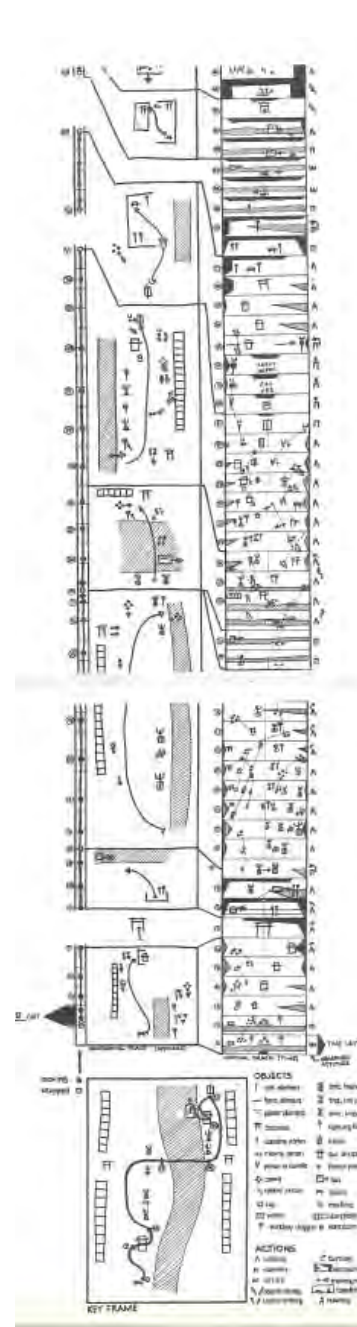
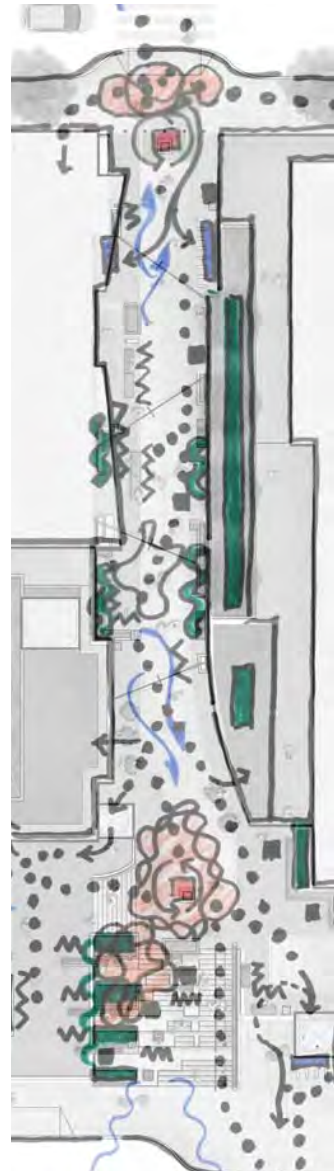
Feels "small"

Underdesigned

Create Hang out space

Material Palette

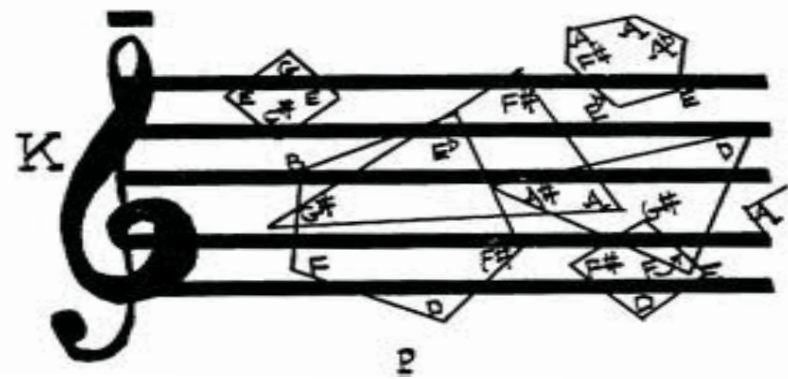
too many light fixture types
too many handrails
remove cylinder light columns.



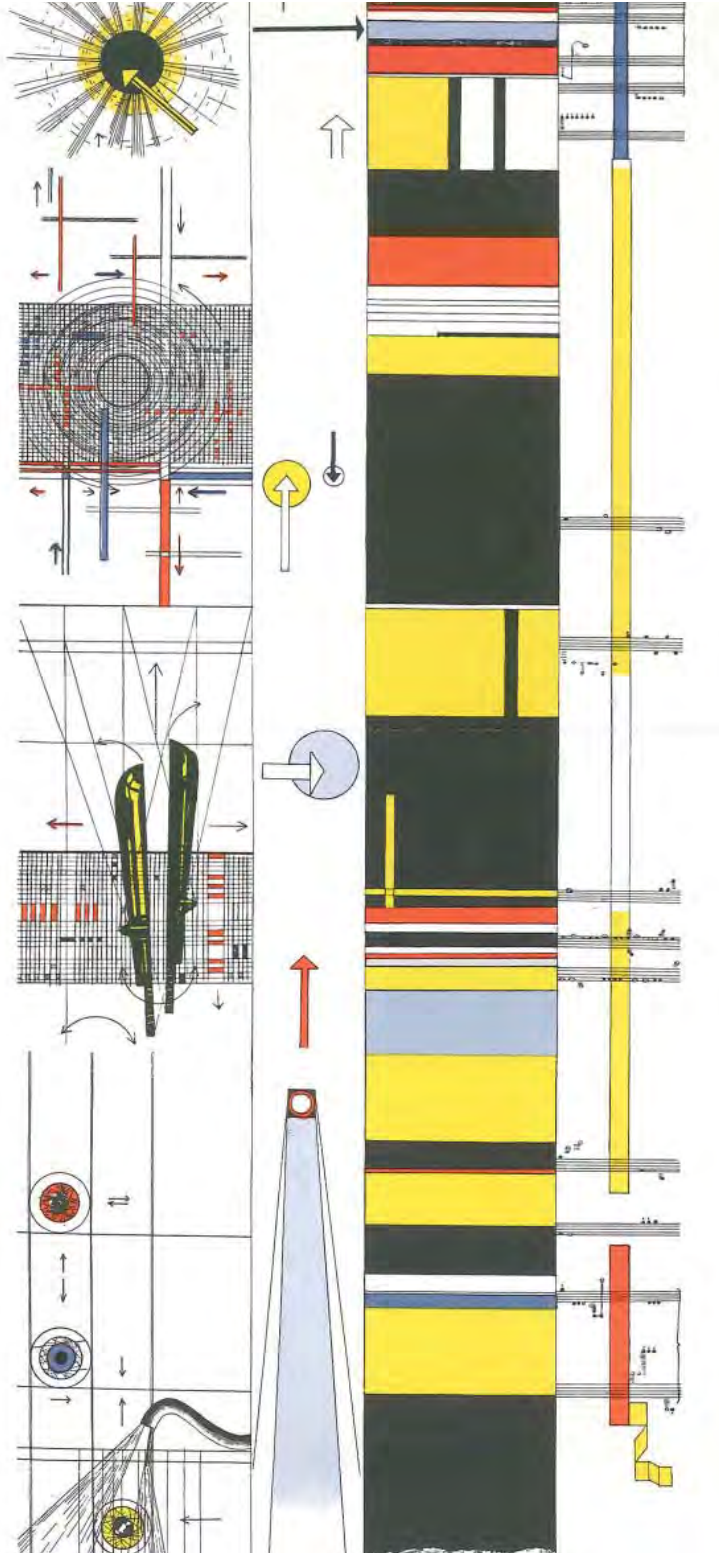
Lawrence Halprin
Nicollette Mall
Minnneapolis, MN

Moholy Nagy
Sketch From a Score

Lawrence Halprin
Choreography of Waterfeature
Seattle, 1968



L8





The Mint Plaza, San Francisco, CA



Public Market, Granville Market, CA



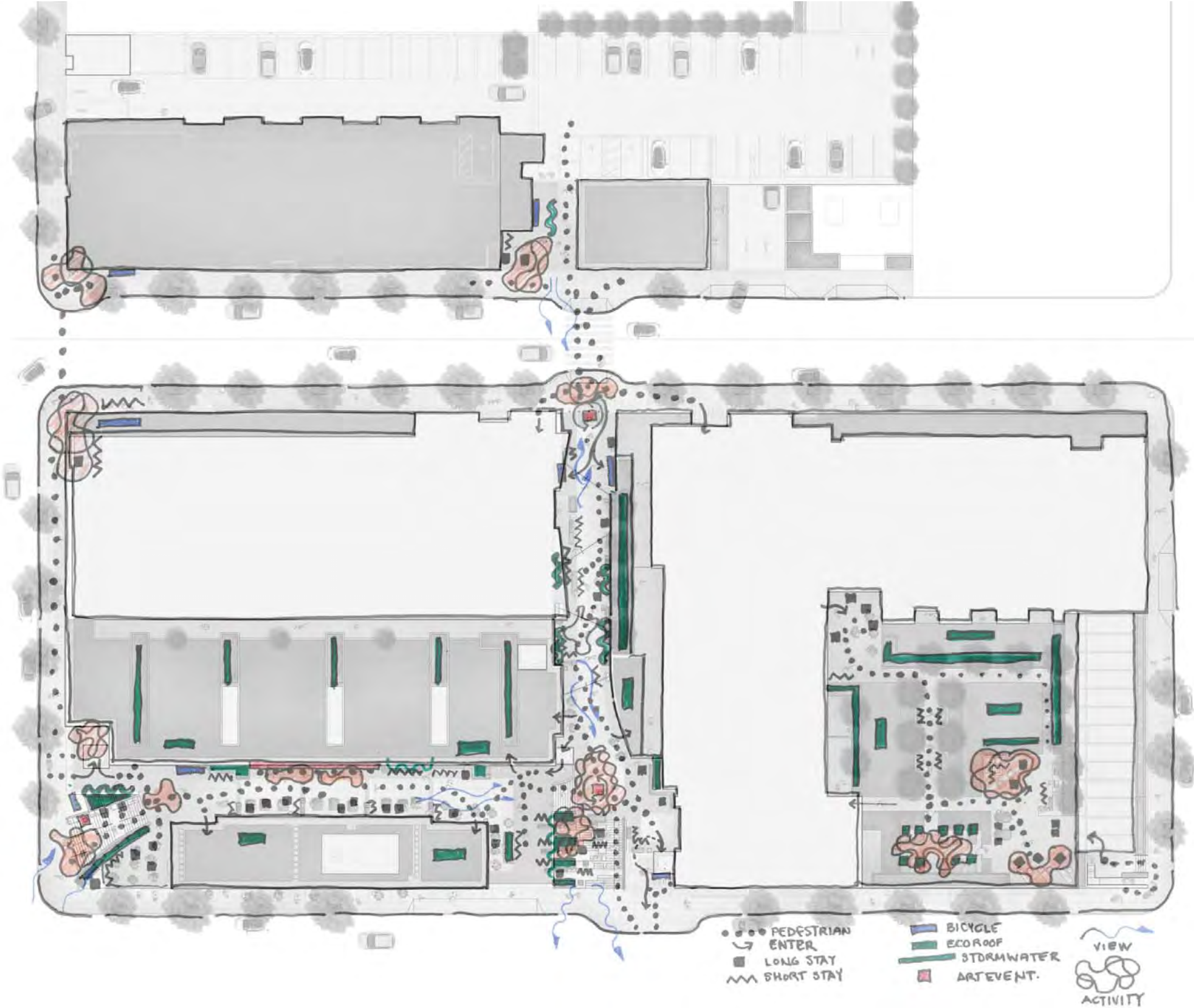
Chelsea Market, New York, NY

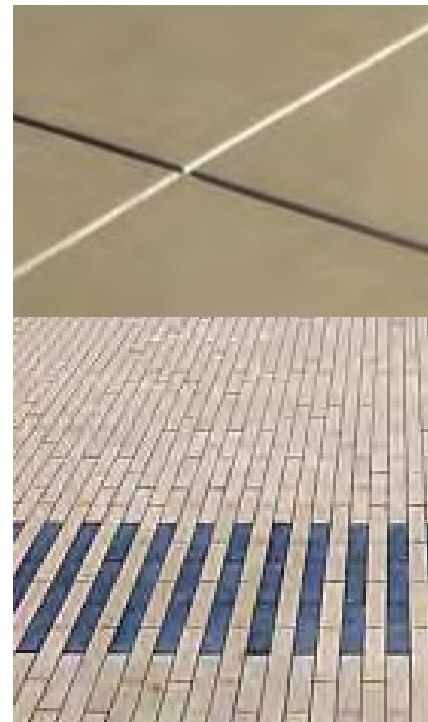
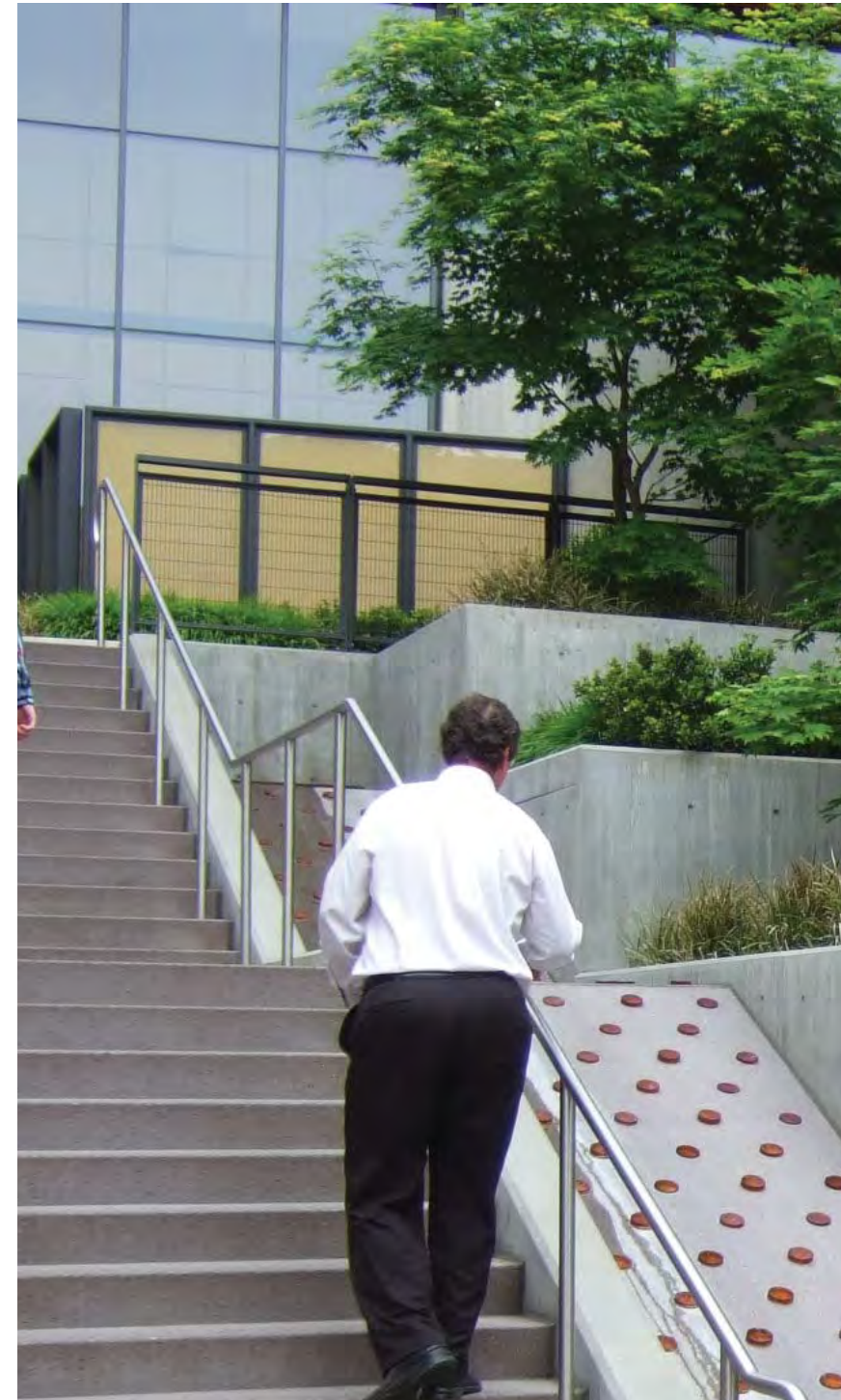


Angel Place, Sydney, Australia

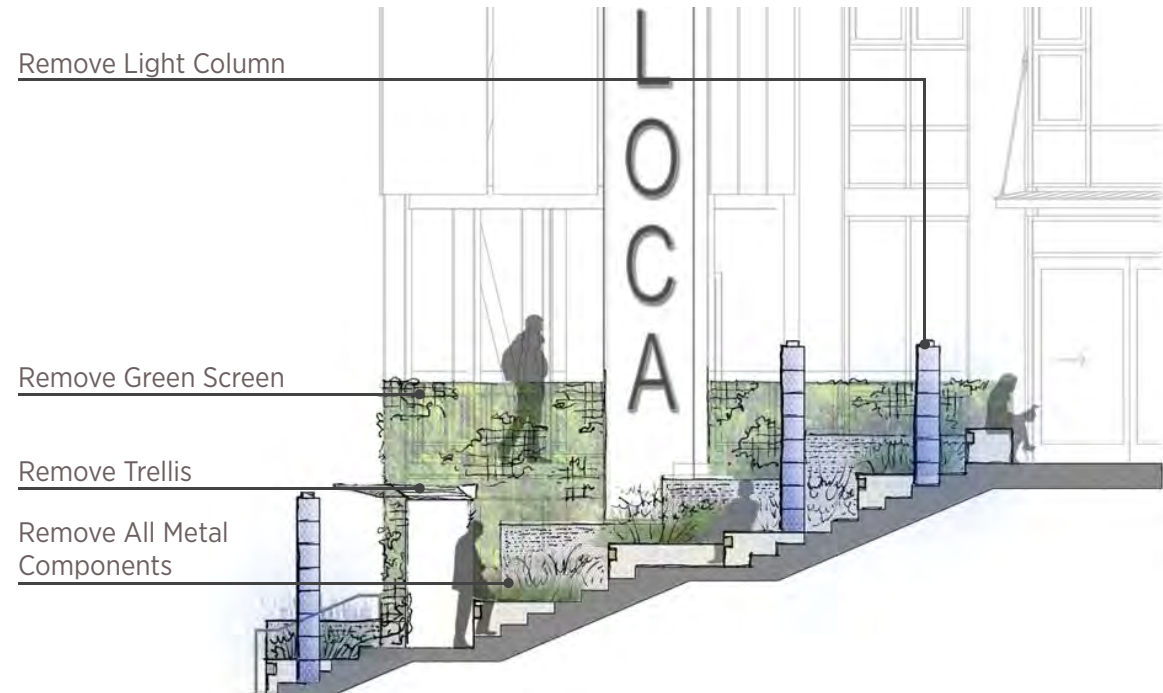


L10

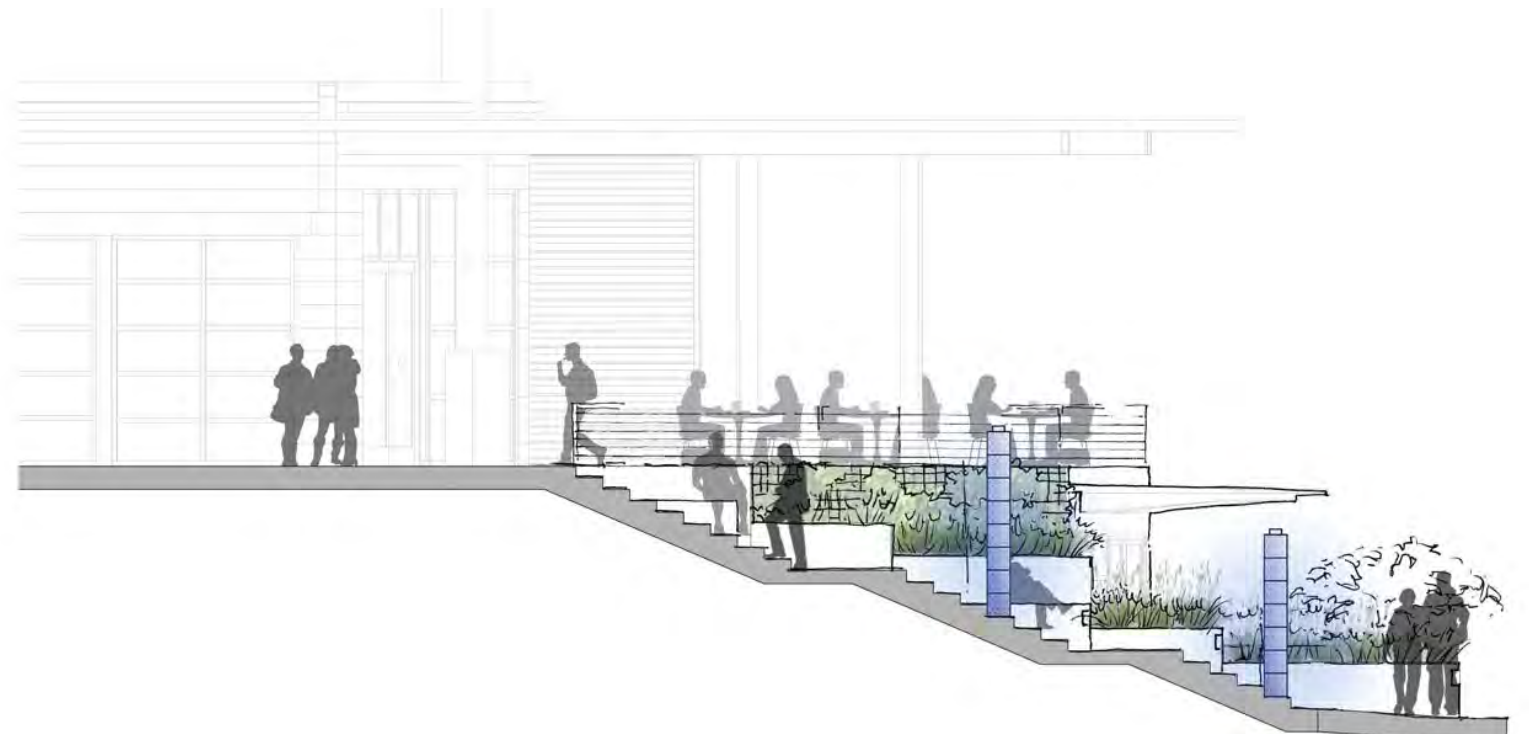




L12



Market Entry Looking East - Before 1/8" = 1'



Market Entry Looking West - Before 1/8" = 1'



Market Entry Looking East - After 1/8" = 1'



Market Entry Looking West - After 1/8" = 1'



Market Entry Elevation - Before

1/8" = 1'

Increased Visibility into Elevator Entry

Bike Racks

Bike Trough



Market Entry Elevation - After

1/8" = 1'

L14

Make Spaces Dynamic

Simple Strong Inviting

Simplify, too many materials

Don't use corten steel

Provide Common Thread

More Consistency

Feels "small"

underdesigned

Create Hang out space

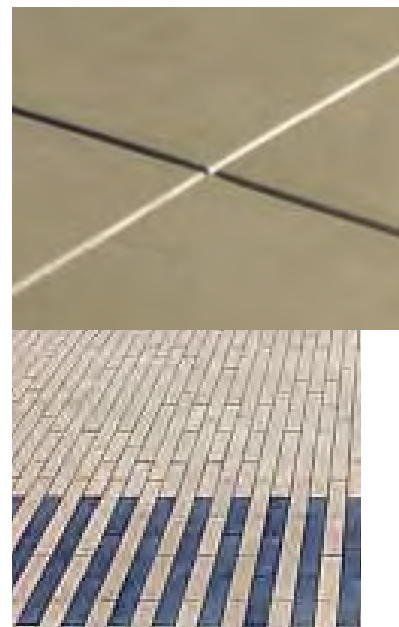
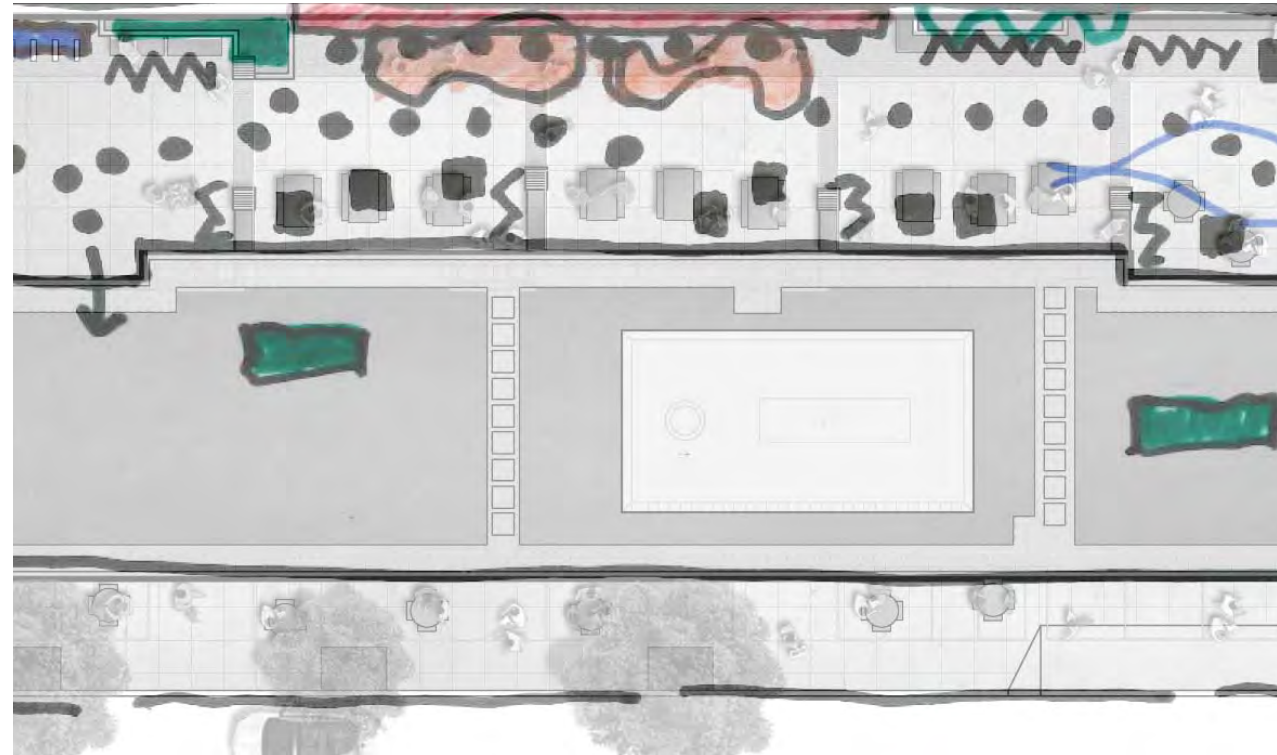
Belmont Stair is Good

Material Palette

too many light fixture types

too many handrails

remove cylinder light





Market Walk Section Looking South - Before 1/8" = 1'

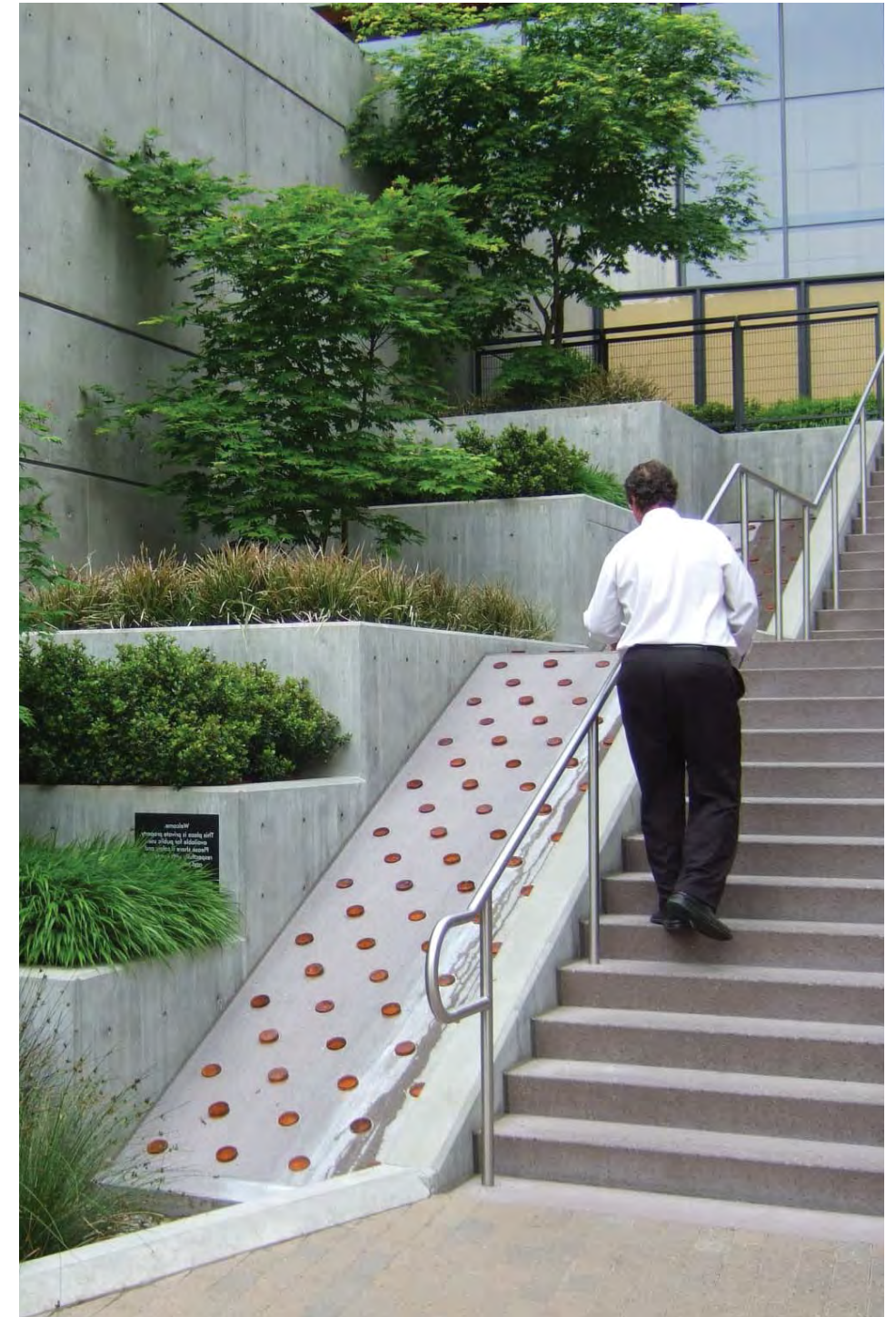


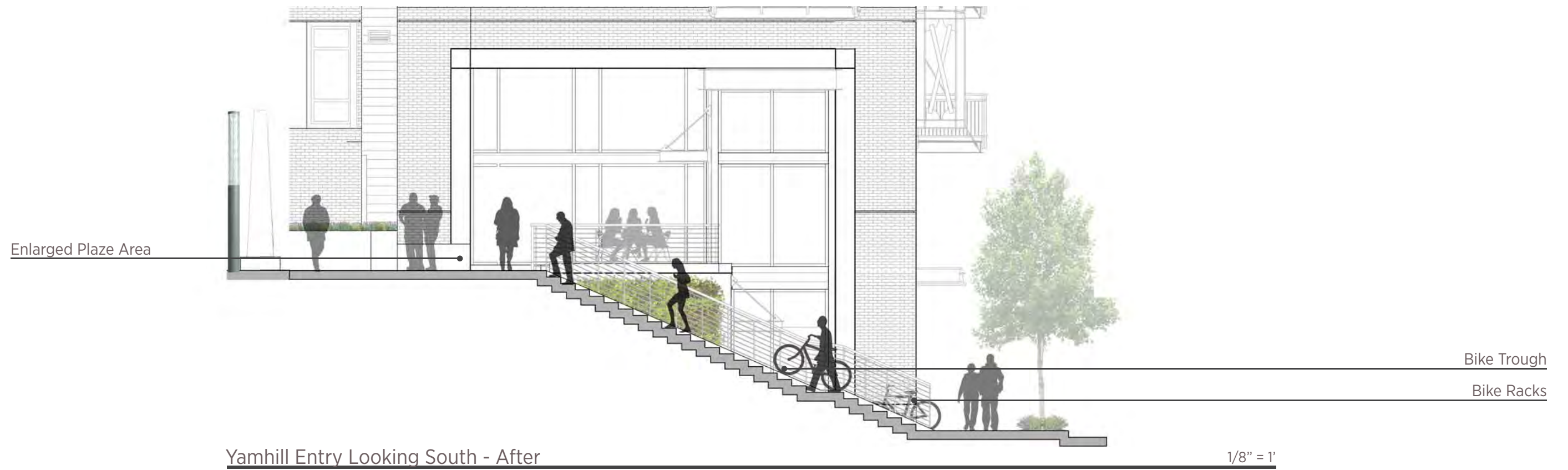
Market Walk Section Looking South - After 1/8" = 1'



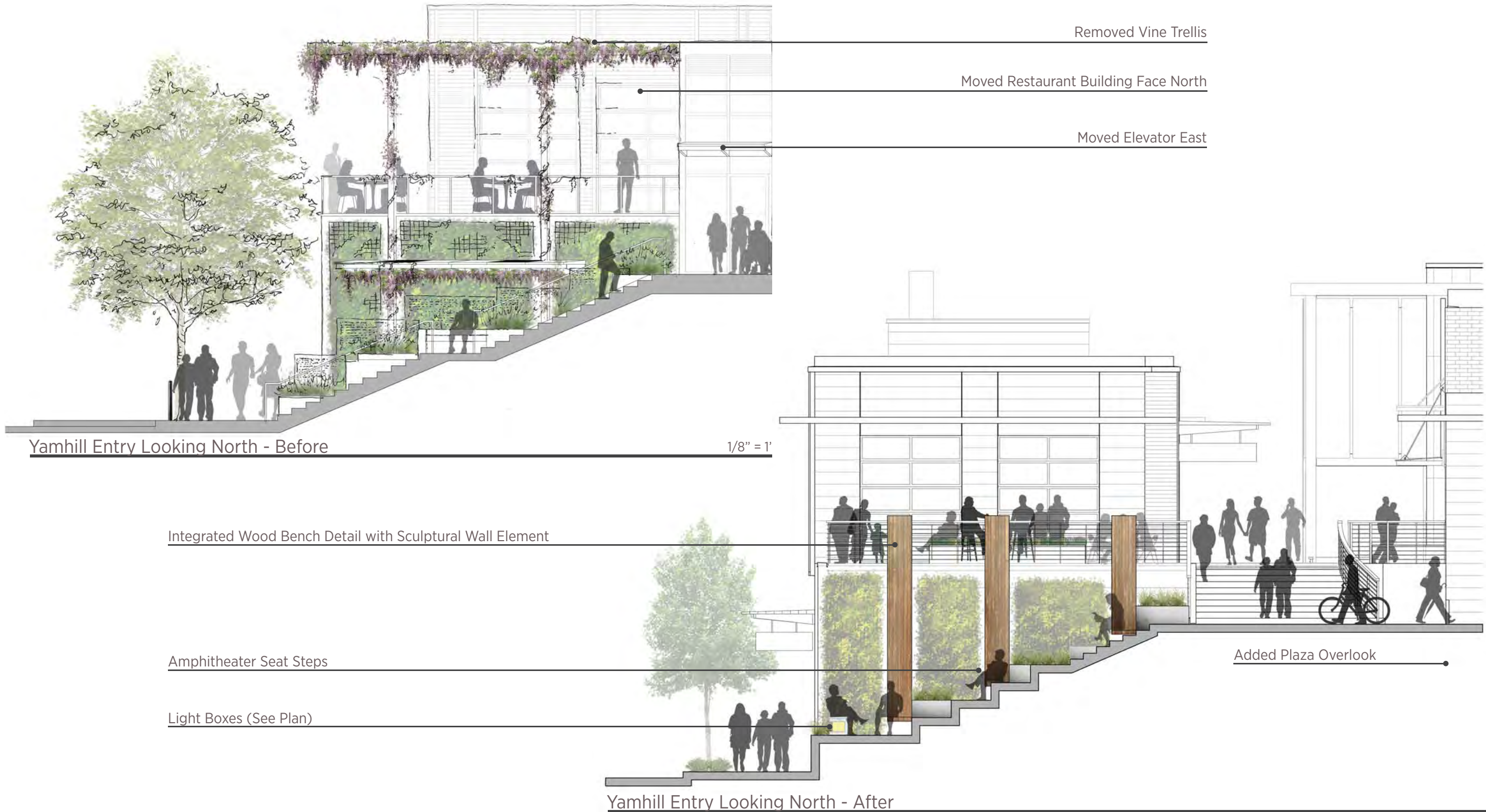
Market Walk Section Looking East - After 1/8" = 1'

L16





L18





Yamhill Entry Elevation - Before

1/8" = 1'

Removed Curve in Staircase
Removed Stormwater Feature

Added Plaza Overlook

Simplified Flow Thru Planters

Light Boxes

Moved Bike Racks



Yamhill Entry Elevation - After

1/8" = 1'

L20



Yamhill Alley Looking South - After

1/16" = 1'



Yamhill Alley Looking East - Before

1/8" = 1'



Yamhill Alley Looking East - Before

1/8" = 1'

Abandoned Trellis Design

Replaced Acorn Lighting

Removed Egg Seating



Yamhill Alley Looking East - After

1/8" = 1'



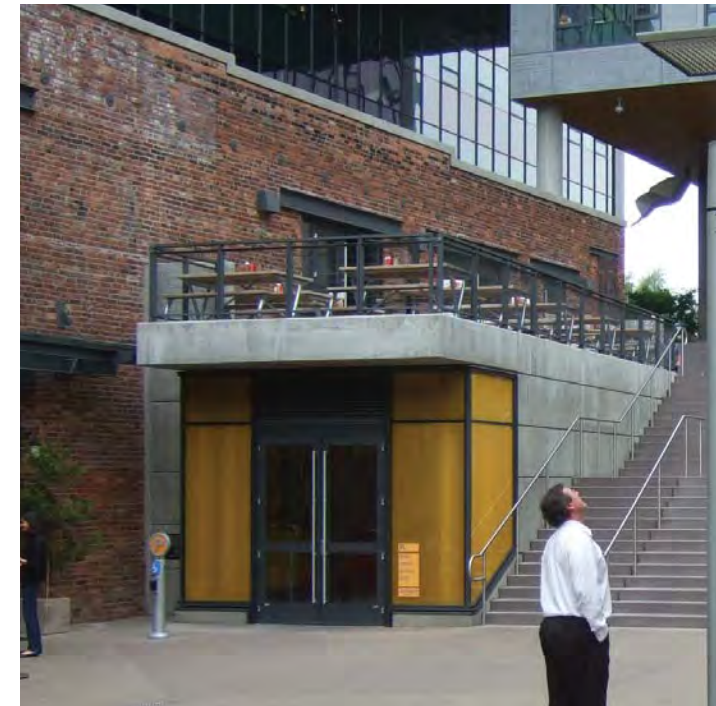
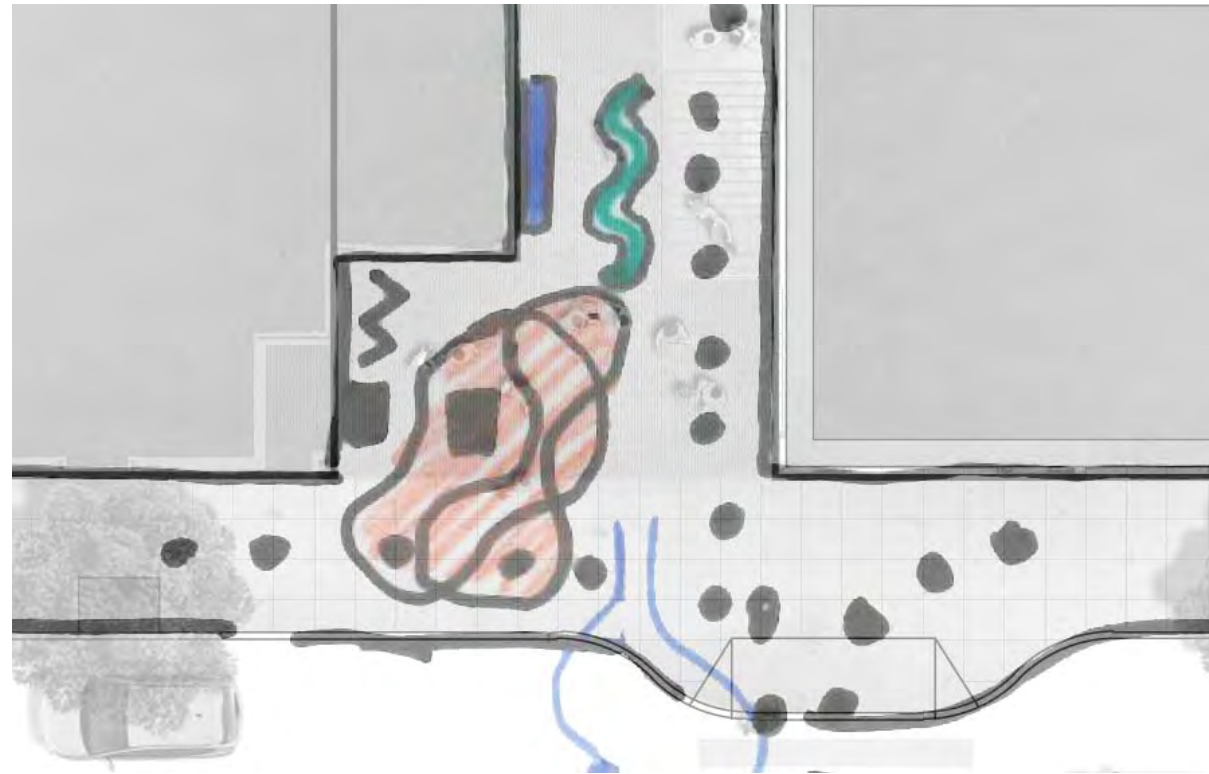
Yamhill Alley Looking East - After

1/8" = 1'

Integrated Planter and Seat Elements

Light Boxes

L22





SE 11th Looking South

1/8" = 1'



SE 11th Looking East

1/8" = 1'

L24

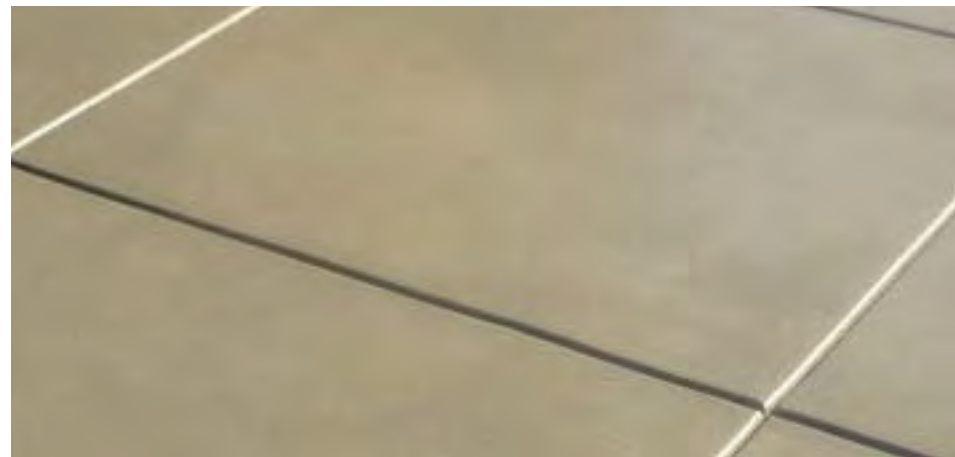
Paving

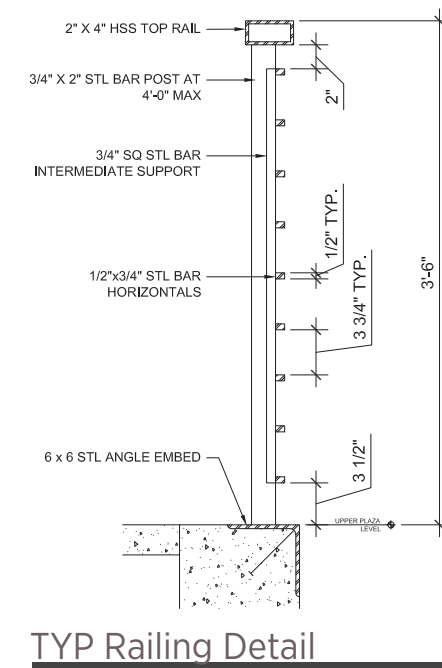
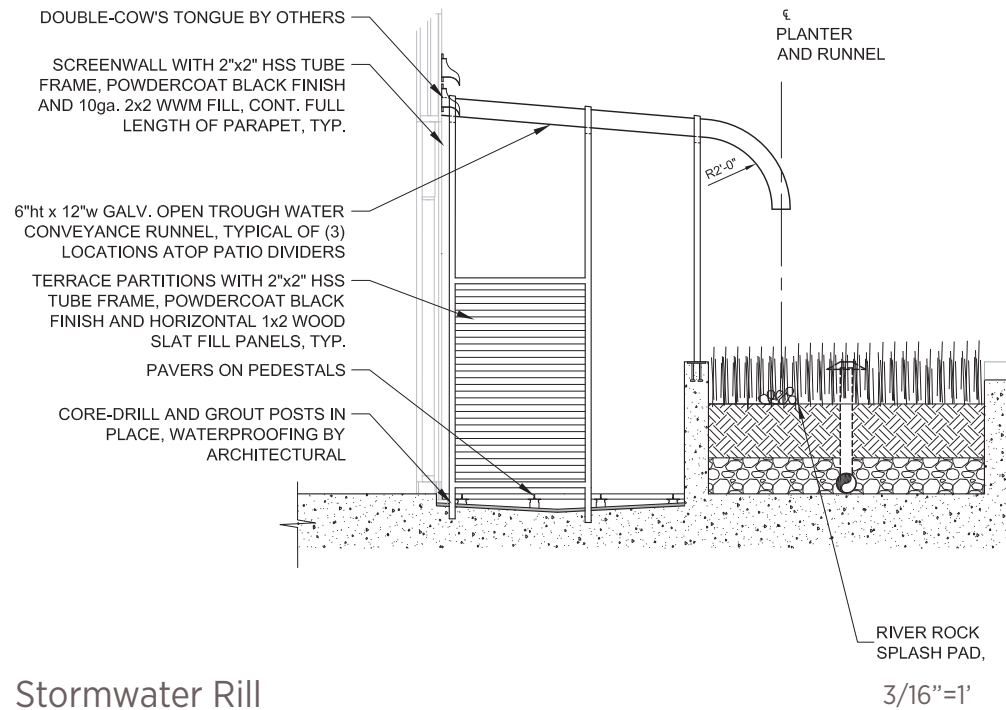


Railings & Steps

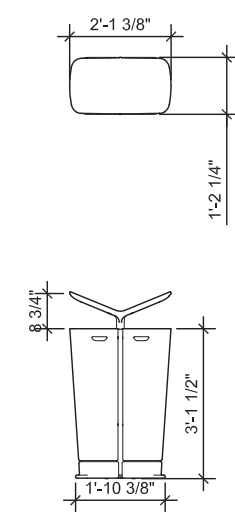
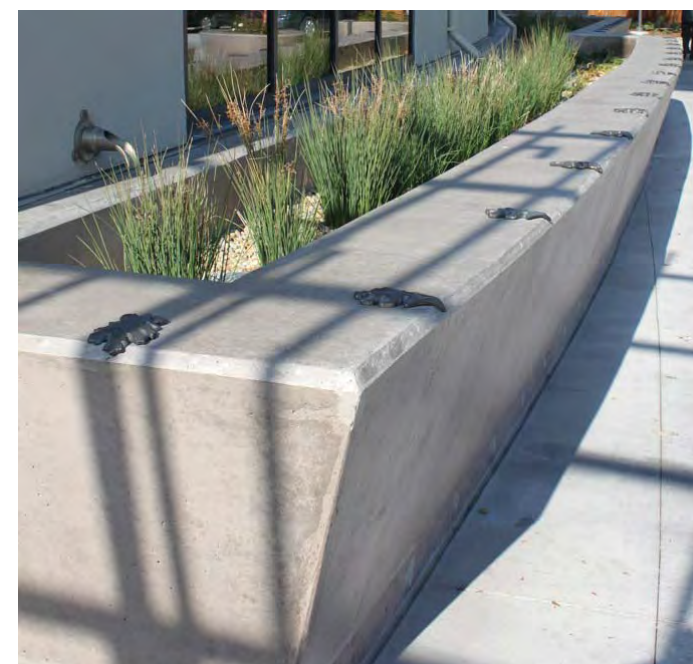
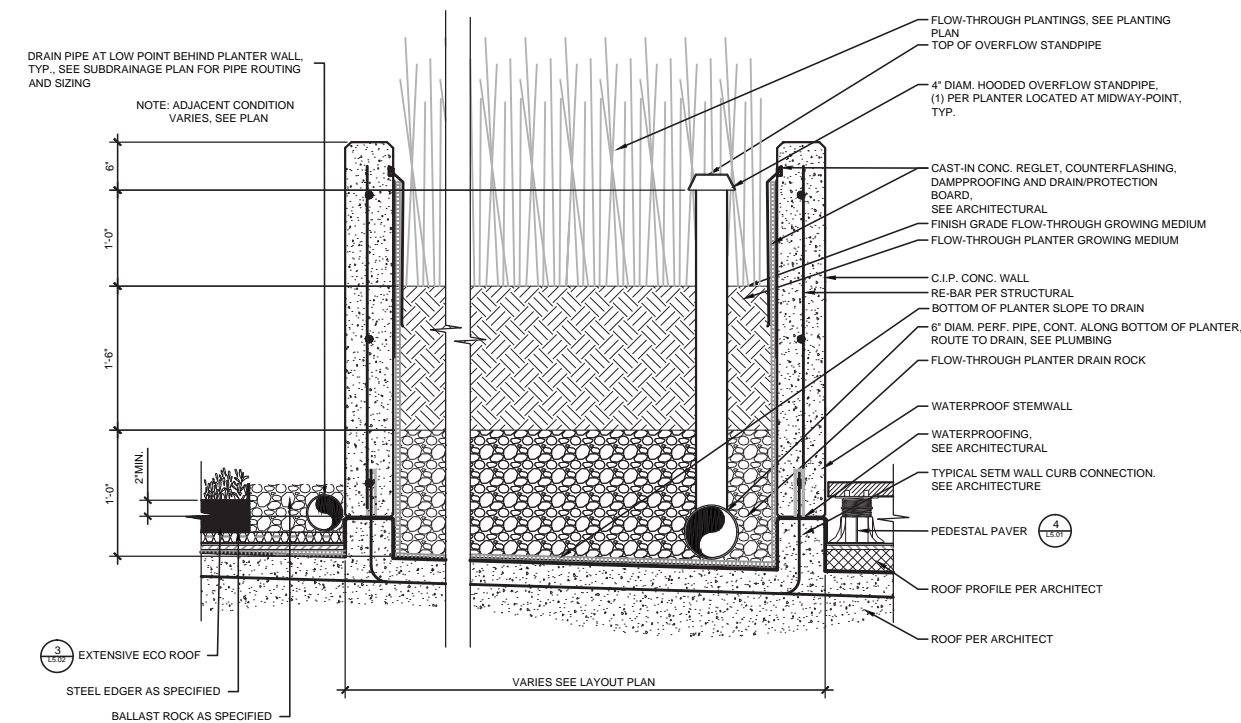


Furnishings





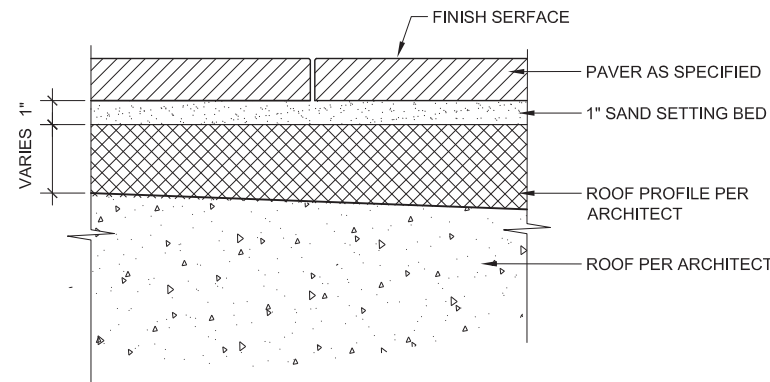
Stormwater Rill



TYP Flow Thru Planter

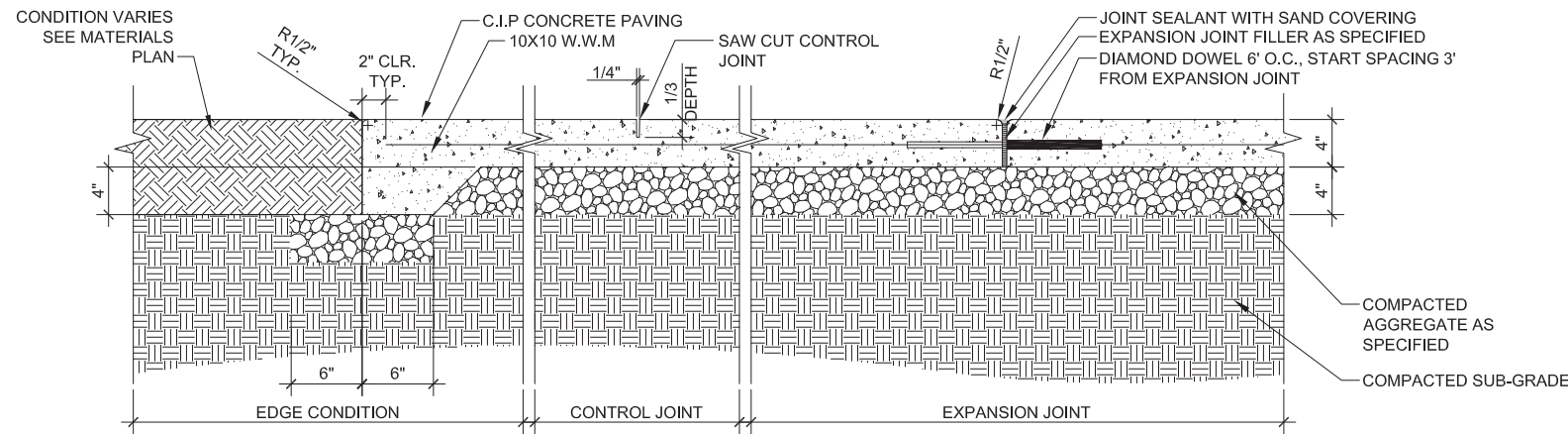
TYP Litter Detail

L26



TYP Sand Set Paving Detail

1 1/2" = 1'

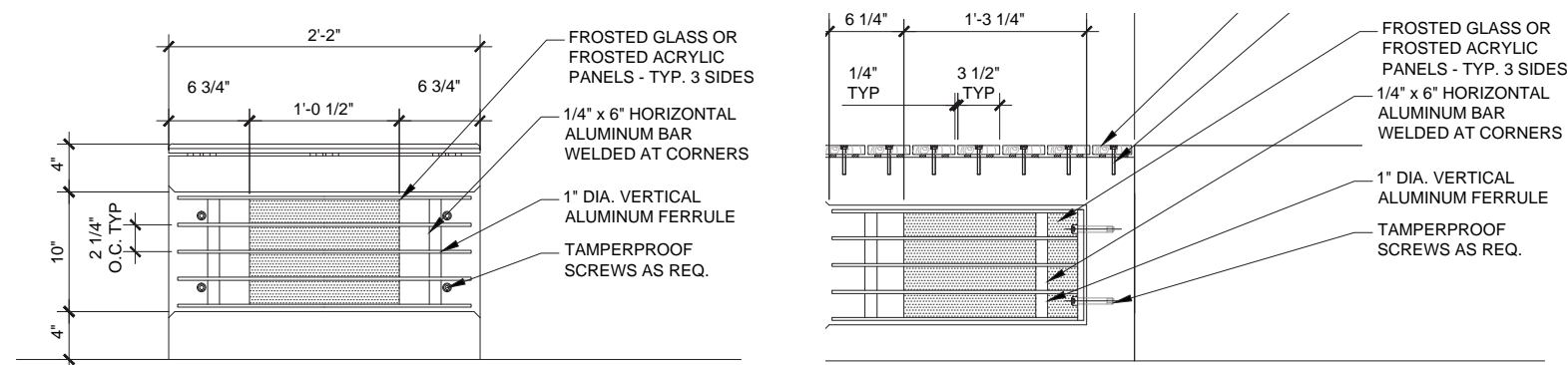


- NOTES:
1. SEE CONSTRUCTION PLAN FOR JOINT PLACEMENT.
 2. NO SHINERS ON TOOLED EDGES OR RADII.
 3. EXPANSION JOINTS SHALL BE PLACED WHERE CONCRETE MEETS ALL VERTICAL FACES/ELEMENTS AND AS SHOWN ON PLANS
 4. CONCRETE TO RECEIVE NO COLOR.
 5. LIGHT BROOM FINISH PERPENDICULAR TO DIRECTION OF TRAVEL.



TYP Concrete Paving Detail

1 1/2" = 1'



Light Box Detail

1/4" = 1'





PLANTING PLAN LEGEND

- 

STREET TREE TYPE I
 BOTANICAL NAME: FRAXINUS EXCELSIOR 'AUREAFOLIA'
 COMMON NAME: GOLDENDESERT ASH
 SIZE: 3" CALIPER MIN.
 SPACING: AS SHOWN ON PLAN
- 

STREET TREE TYPE II
 BOTANICAL NAME: PYRUS CALLERYANA
 NAME: CALLERY PEAR
 SIZE: 3" CALIPER MIN.
 SPACING: AS SHOWN ON PLAN
- 

EXISTING TREE
 SEE SURVEY FOR SPECIES
- 

STORMWATER TREE CREDIT
 BOTANICAL NAME: PINUS CONTORTA VAR. CONTORTA
 NAME: CONTORTED SHORE PINE
 SIZE: 3" CALIPER MIN.
 SPACING: AS SHOWN ON PLAN
- 

ROOF DECK TREE
 BOTANICAL NAME ACER PALMATUM var. DISSECTUM 'SEIRYU'
 JAPANESE MAPLE 'SEIRYU'
 SIZE: 1" CALIPER
 SPACING: AS SHOWN ON PLAN



Fraxinus excelsior "Auriefolia"



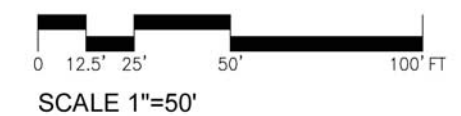
Pyrus caleryana "Capital"



Pinus contorta var. contorta



Acer palmatum "Seiryu"



L28



INTERIOR SHRUBS AND PERENNIALS

ABBREVIATION	BOTANICAL NAME / COMMON NAME	SIZE	SPACING
	AZALEA 'GUMPO WHITE' GUMPO WHITE AZALEA	2 GAL	30" O.C.
	ABELIA X 'ROSE CREEK' ROSE CREEK ABELIA	2 GAL	36" O.C.
	AQUILEGIA VULGARIS VAR. STELLATA BLACK BLACK BARLOW COLUMBINE	1 GAL	18" O.C.
	BLECHNUM SPICANT DEER FERN	1 GAL	18" O.C.
	CAREX DIVULSA BERKELEY SEDGE	1 GAL	18" O.C.
	ECHINACEA PURPUREA PURPLE CONE FLOWER	1 GAL	18" O.C.
	FATSIA JAPONICA JAPANESE ARLALIA	5 GAL	60" O.C.
	HOSTA NIAGARA FALLS NIAGARA PLANTAIN LILY	2 GAL	36" O.C.
	HYDRANGEA MACROPHYLLA 'LACECAP' BIG LEAF HYDRANGEA	5 GAL	60" O.C.
	HEMEROCALLIS X 'STELLA DE ORO' DWARF DAYLILY	2 GAL	12" O.C.
	ILEX CRENATA 'NORTHERN BEUATY' JAPANESE HOLLY	BB 24 Ø	30" O.C.
	LAVANDULA ANGUSTIFOLIA BLUE LAVENDAR	1 GAL	24" O.C.
	LIRIOPE SPICATA LILY TURF	1 GAL	20" O.C.
	MAINTHEMUM STELLATUM STAR-FLOWERED SOLOMON SEAL	1 GAL	16" O.C.
	PRUNUS LAUROCERASUS 'OTTO LUYKEN' OTTO LUYKEN LAUREL	BB 24 Ø	48" O.C.
	POLYSTICHUM POLYBEPHARUM TASSEL FERN	1 GAL	18" O.C.
	PHORMIUM TENAX 'RAINBOW WARRIOR' RAINBOW WARRIOR NEW ZEALAND FLAX	5 GAL	36" O.C.
	RHODODENDRON 'UNIQUE' UNIQUE RHODODENDRON	BB 24 Ø	36" O.C.
	SARCOCOCCA CONFUSA FRAGRANT SWEETBOX	2 GAL	30" O.C.
	TAXUS X MEDIA 'DENSIFORMIS' DENSE YEW	BB 24 Ø	48" O.C.
	VIBURNUM TINUS 'SPRING BOUQUET' SPRING BOUQUET LAURUSTINUS	BB 24 Ø	42" O.C.
	VIBURNUM DAVIDII DAVID VIBURNUM	3 GAL	36"

GROUNDCOVERS

ABBREVIATION	BOTANICAL NAME / COMMON NAME	SIZE	SPACING
	PACHYSANDRA TERMINALIS JAPANESE SPURGE	1 GAL	12" O.C.
	RUBUS CALYCINOIDES CREEPING BRAMBLE	1 GAL	12" O.C.

R.O.W SHRUBS

ABBREVIATION	BOTANICAL NAME / COMMON NAME	SIZE	SPACING
	MAHONIA NERVOSA DWARF OREGON GRAPE	2 GAL	30" O.C.
	VIBURNUM DAVIDII DAVID VIBURNUM	3 GAL	30" O.C.



Abelia x. 'Rose Creek'



Blechnum spicant



Lavandula angustifolia



Liriope



Pachysandra



FLOW THROUGH PLANTS

ABBREVIATION	BOTANICAL NAME / COMMON NAME	SIZE	SPACING
AF	CORNUS STOLONIFERA 'ARTIC FIRE' ARTIC FIRE RED-OSIER DOGWOOD	1 GAL	36" O.C.
JP	JUNCUS PACIFICUS PACIFIC RUSH	1 GAL	12" O.C.
IT	IRIS TENAX OREGON IRIS	1 GAL	6" O.C.
CD	CAREX DIVULSA BERKELEY SEDGE	1 GAL	18" O.C.

VINES

ABBREVIATION	BOTANICAL NAME / COMMON NAME	SIZE	SPACING
TJ	TRACHELOSPERNUM JASMINOIDES STAR JAZMINE	5 GAL	AS SHOWN
CL	CLEMATIS X. 'BLUE RAVINE' BLUE RAVINE CLEMATIS	5 GAL	AS SHOWN
CL	AKEBIA QUINATA FIVELEAF AKEBIA	5 GAL	AS SHOWN

GREEN ROOF PLANTS

ABBREVIATION	BOTANICAL NAME / COMMON NAME	SIZE	SPACING
AT	ARTEMISIA TRIDENTATA BIG SAGEBRUSH	4" POTS	AS SHOWN
EC	ERIOGONUM COMPOSITUM VAR. 'COMPOSITUM' HEARTLEAF BUCKWEAT	4" POTS	AS SHOWN
ES	ERIOGONUM STRICTUM VAR. PROLIFERUM STRICT BUCKWEAT	4" POTS	AS SHOWN
FR	FESTUCA RUBRA RED FESCUE	FROM SEED	-
SA	SEDUM 'AUTUMN JOY' AUTUMN JOY SEDUM	1 GAL	AS SHOWN
SO	SEDUM OREGANUM OREGON STONECROP	4" POTS	12" O.C.
RO	ROSMARINUS 'TUSCAN BLUE' TUSCAN BLUE ROSEMARY	4" POTS	48" O.C.



Cornus stolonifera 'Artic Fire'



Juncus pacificus



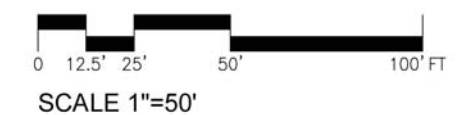
Iris tenax

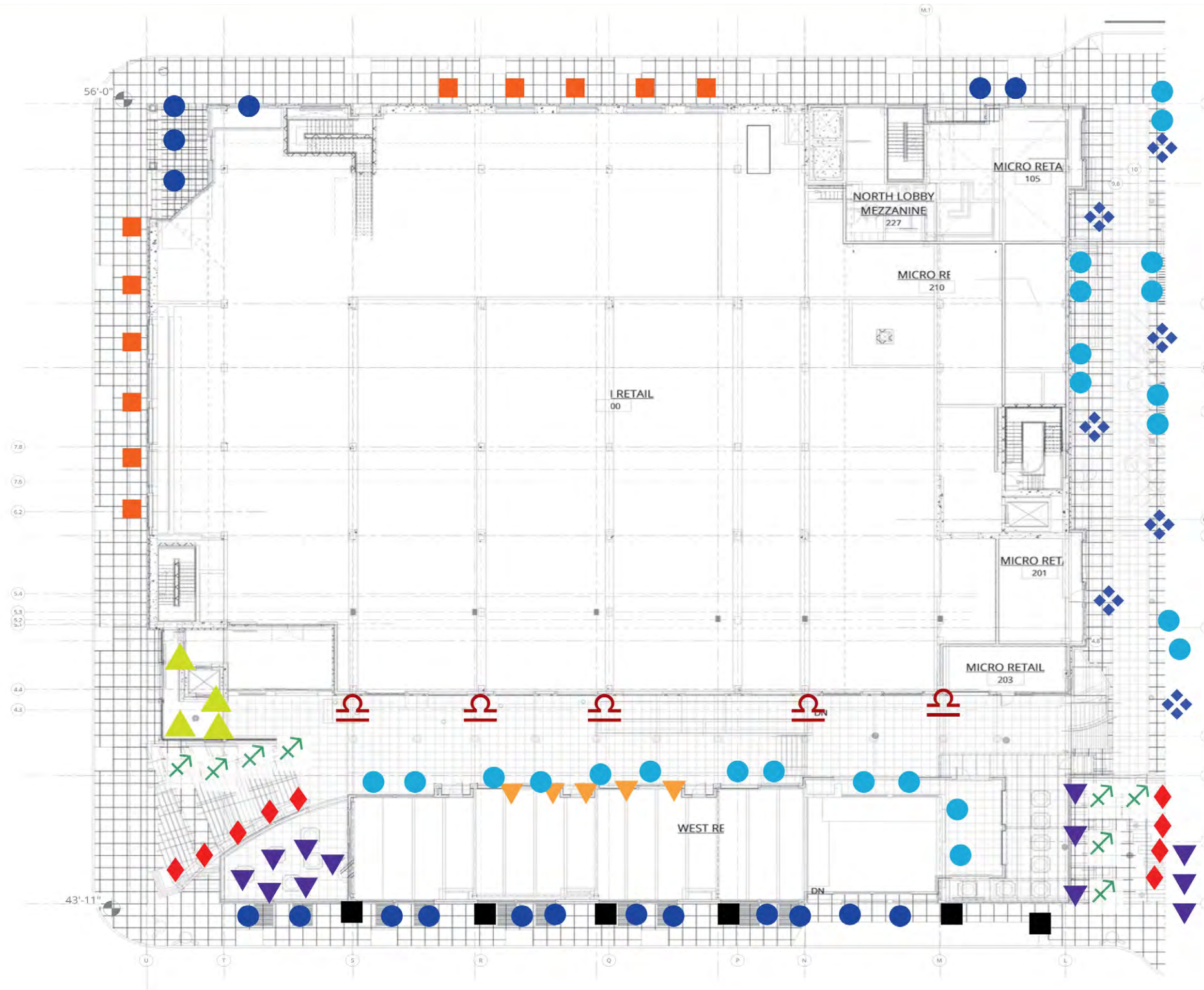


Akebia quinata



Clematis sp.





1 NORTH SITE PLAN - LIGHTING
1/8" = 1'-0"

▲ Surface LED linear flood
Finish: Silver
Lamp: LED, 10.52 watts per foot



▲ Flood Light - small
Finish: Silver
Lamp: LED, 8 watt



◆ Light Column
Finish: Silver
Lamp: LED, 48 watts



▲ Flood Light - Medium
Finish: Silver
Lamp: LED, 24 watts

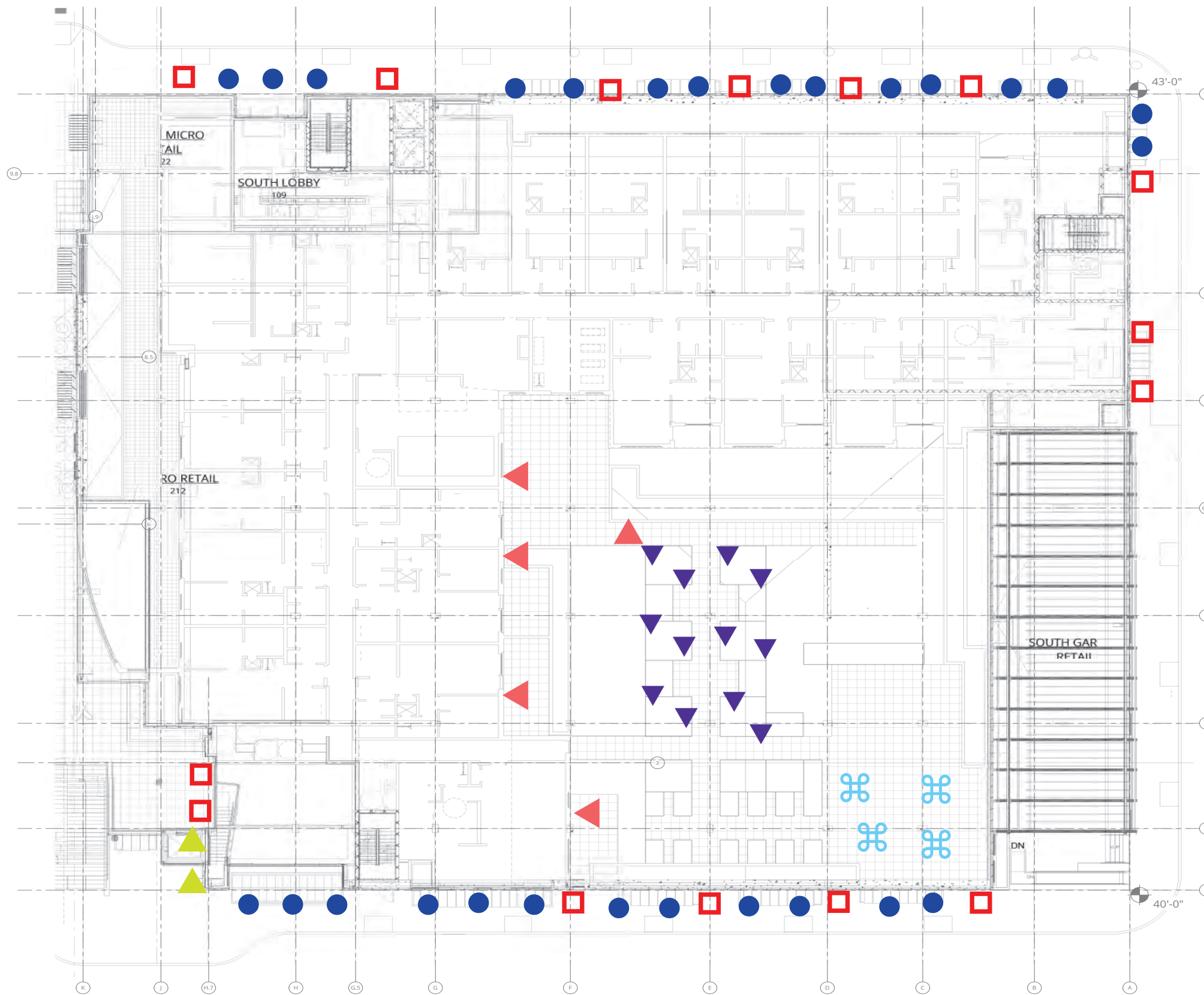


■ Linear LED Slot
Finish: Silver
Lamp: LED, 26 watts



⌒ Wall mount LED arm
Finish: Silver
Lamp: LED, 32 watts





↗ Custom Light Box
Finish: Silver / Black
Lamp: LED, 18 watts



□ Wall Sconce
Finish: Silver / Black
Lamp: LED, 26 watts

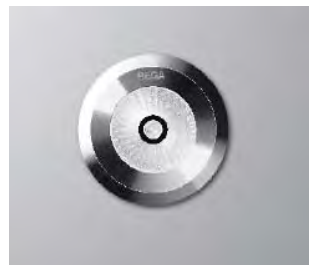


● Surface Cylinder Downlight
Finish: Black
Lamp: LED, 20 watts



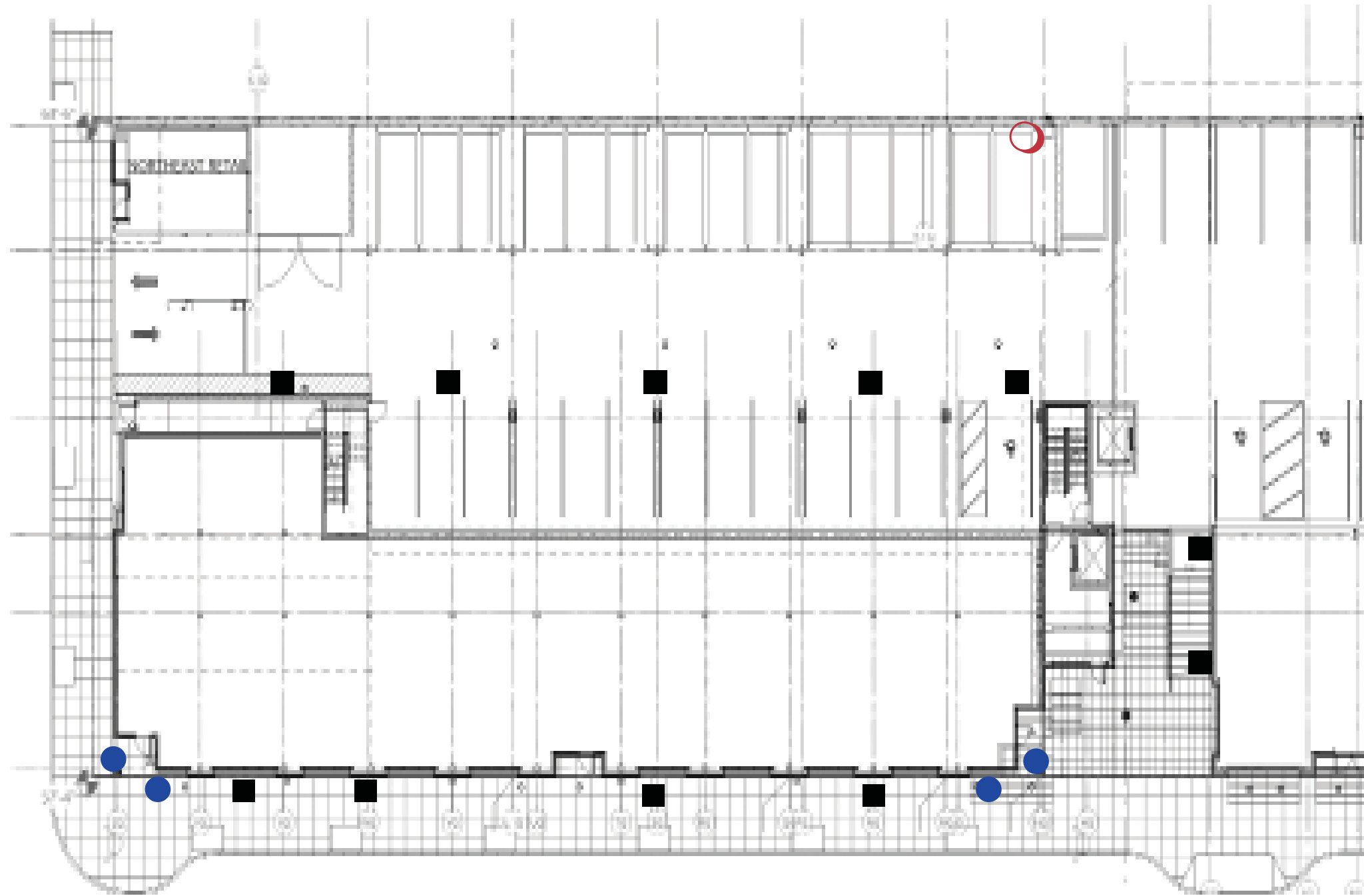
● Surface Cylinder Downlight Small
Finish: Black
Lamp: LED, 12 watts

◆ Recessed Step Light
Finish: Stainless
Lamp: LED, 4 watts



▲ Flood Light - large
Finish: Silver
Lamp: LED, 36 watts





Lamp: LED, 70 watts



Wall Sconce
Finish: Silver / Black
Lamp: CFL, 18 watts



Outdoor Floor Lamp
Finish: Silver
Lamp: LED, 20 watts



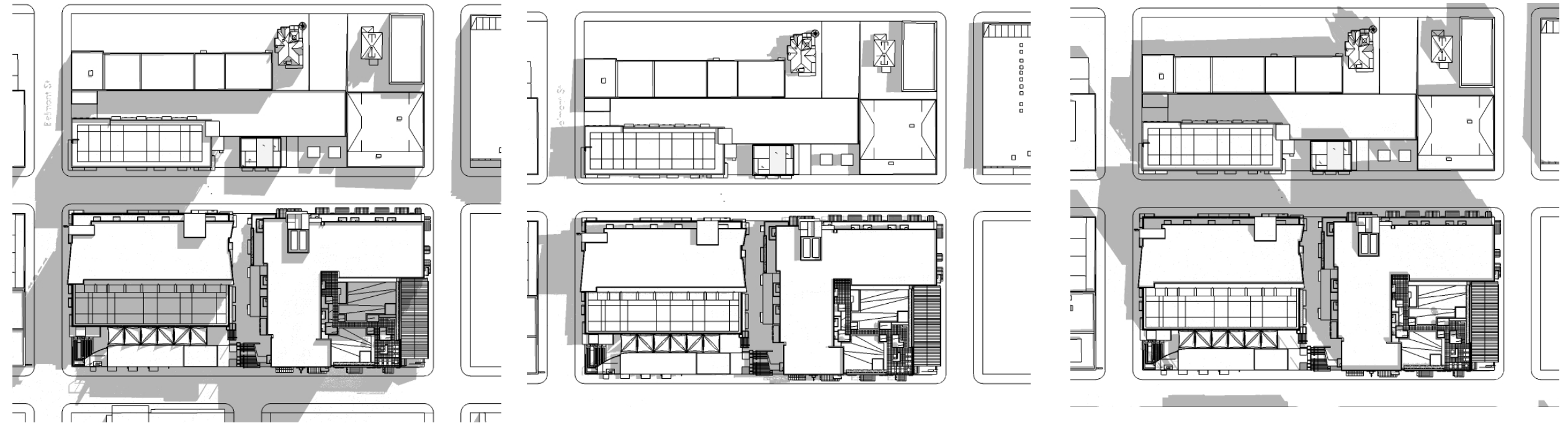
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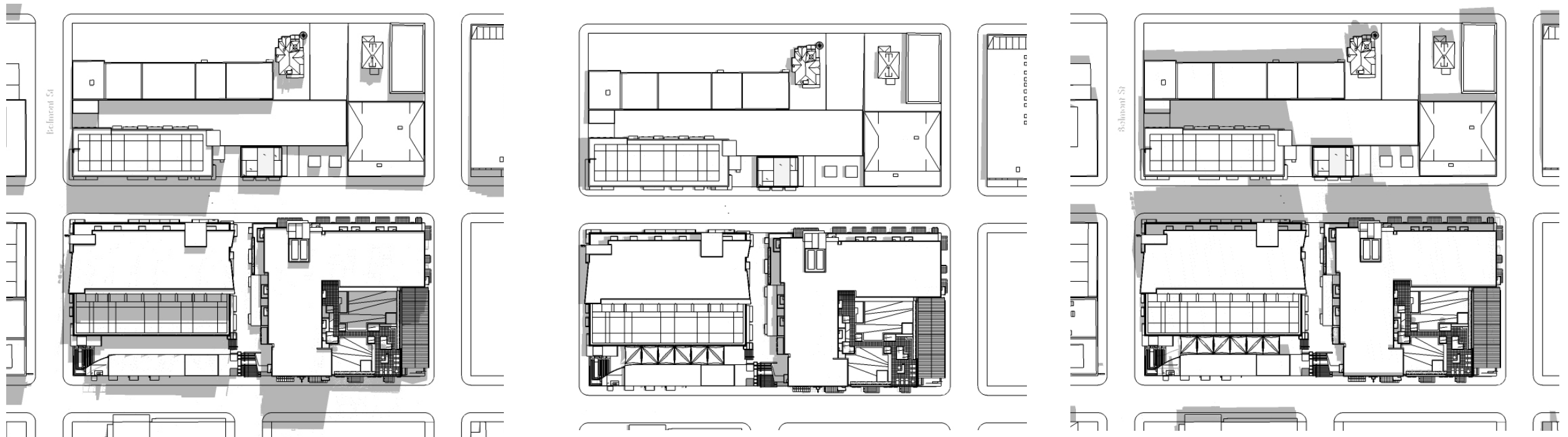
12:00 PM

3:00 PM

SPRING
EQUINOX



SUMMER SOLSTICE

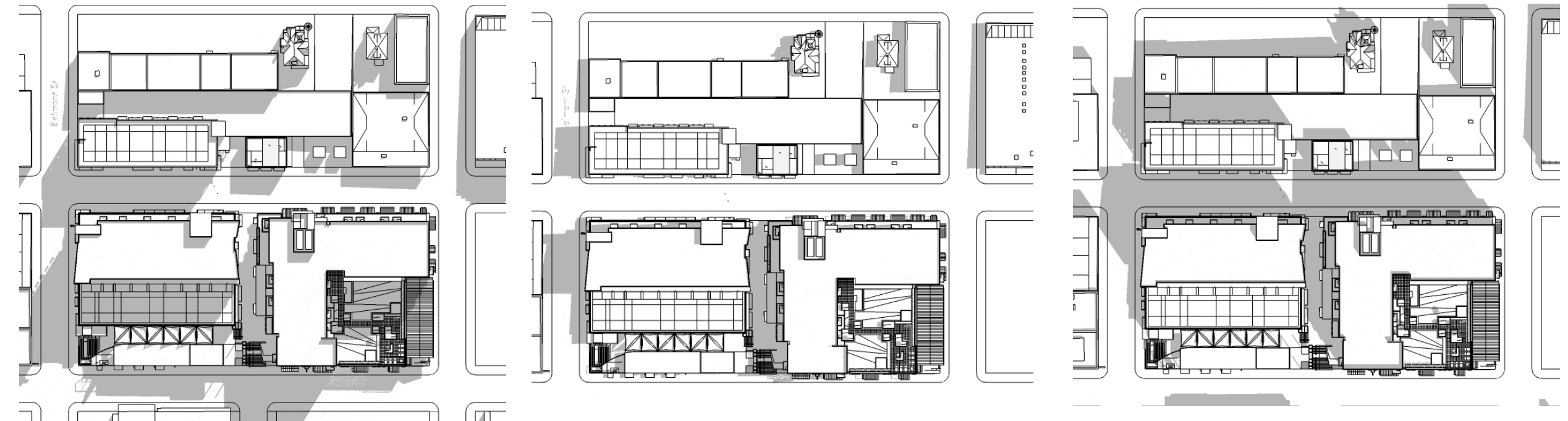


9:00 AM

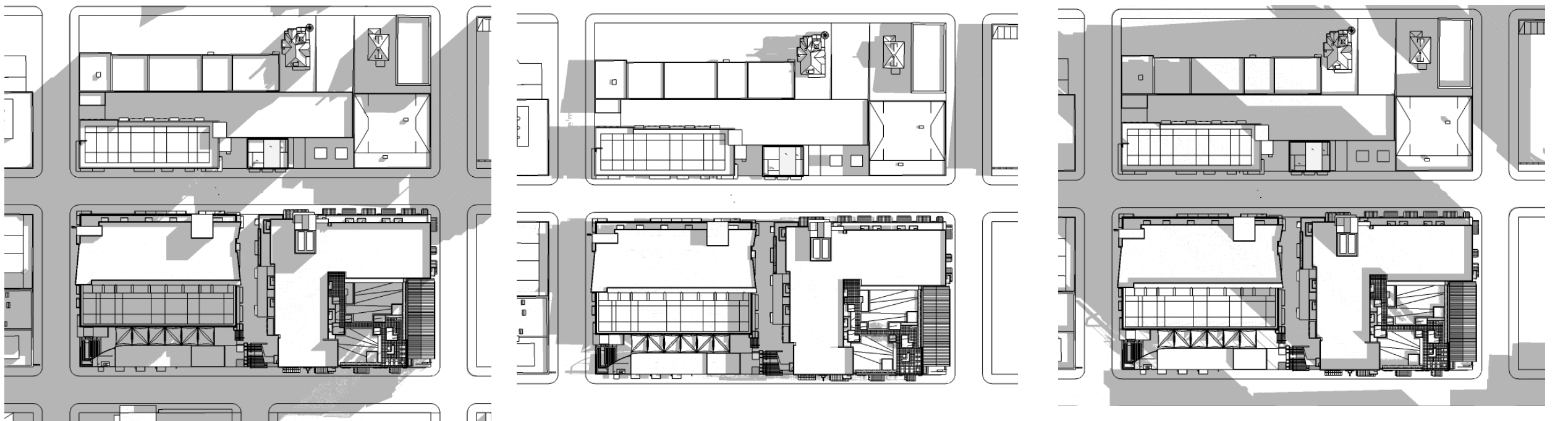
12:00 PM

3:00 PM

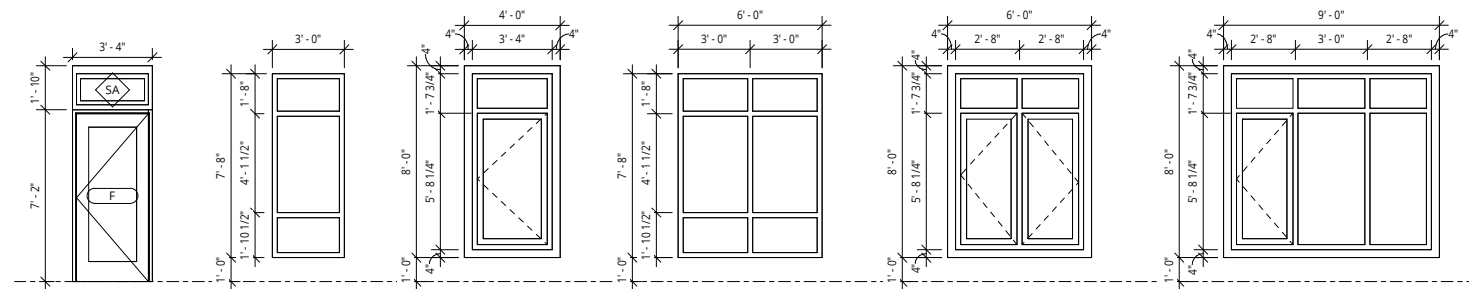
FALL
EQUINOX



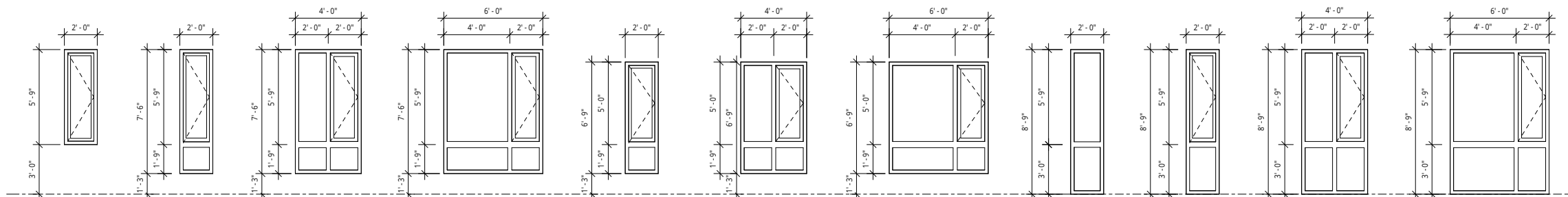
WINTER SOLSTICE



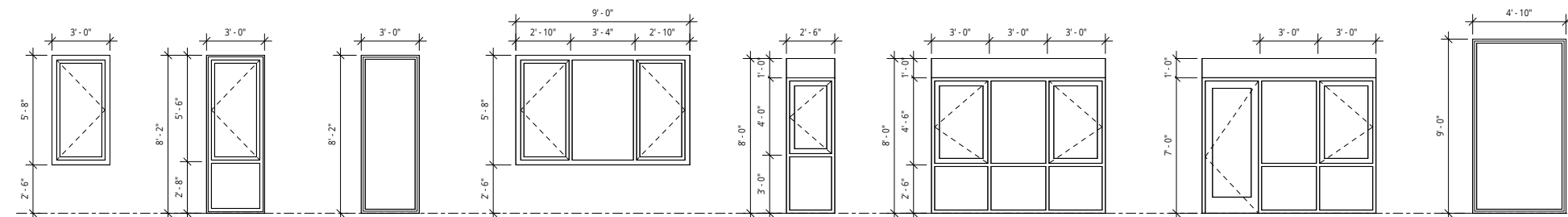
VPI Vinyl Windows



South Building Residential Window Types

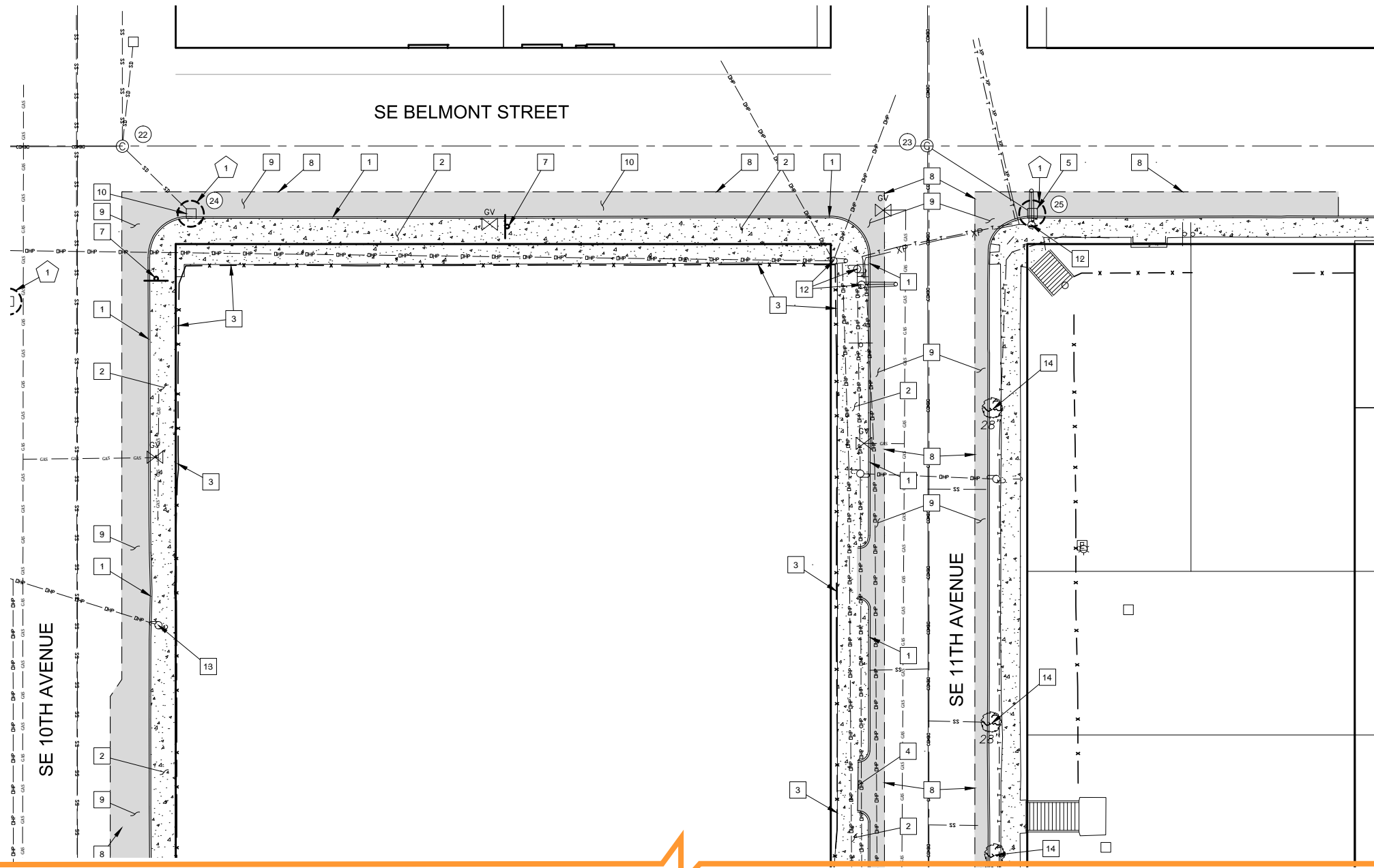


North Building Residential Window Types



OEG Building Residential Window Types

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COMBINED SANITARY AND STORM TABLE

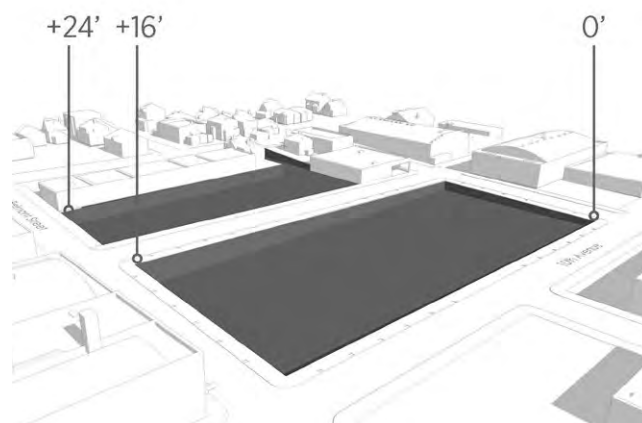
21 COMBINED SEWER MANHOLE RIM: 43.16 IE IN (8" N): 28.2 IE OUT (8" SE): 28.1	22 COMBO MANHOLE RIM: 43.97 IE IN (10" E): 28.63 IE OUT (8" N): 28.53	23 COMBO MANHOLE RIM: 57.28 IE (10" S): 45.20
24 STORM DRAIN CATCH BASIN RIM: 43.79 IE IN (10" E): 28.63 IE IN (8" N): 28.53 IE OUT (8" W): UNKNOWN	25 STORM DRAIN CATCH BASIN RIM: 56.96 IE OUT (8" NW): 55.20	

DEMOLITION NOTES

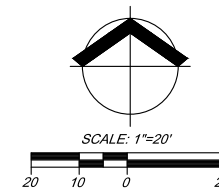
- 1 REMOVE EXISTING CURB
- 2 REMOVE EXISTING CONCRETE
- 3 EXISTING FENCE TO BE REMOVED AS A PART OF ONSITE CONSTRUCTION ACTIVITIES.
- 4 REMOVE EXISTING DRIVEWAY
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- 9 REMOVE EXISTING ASPHALT PAVEMENT
- 10 PROTECT EXISTING CATCH BASIN IN PLACE
- 11 EXISTING UTILITY POLE TO REMAIN IN PLACE
- 12 EXISTING UTILITY POLE TO BE RELOCATED. CONTRACTOR TO COORDINATE RELOCATION WITH PGE AND FRANCHISE UTILITIES.
- 13 EXISTING UTILITY POLE TO BE REMOVED. CONTRACTOR TO COORDINATE REMOVAL WITH PGE AND FRANCHISE UTILITIES.
- 14 EXISTING TREE TO BE REMOVED.

EROSION CONTROL NOTES

- 1 PROPOSED INLET PROTECTION. REFER TO DETAIL SHEET #### FOR MORE INFORMATION.

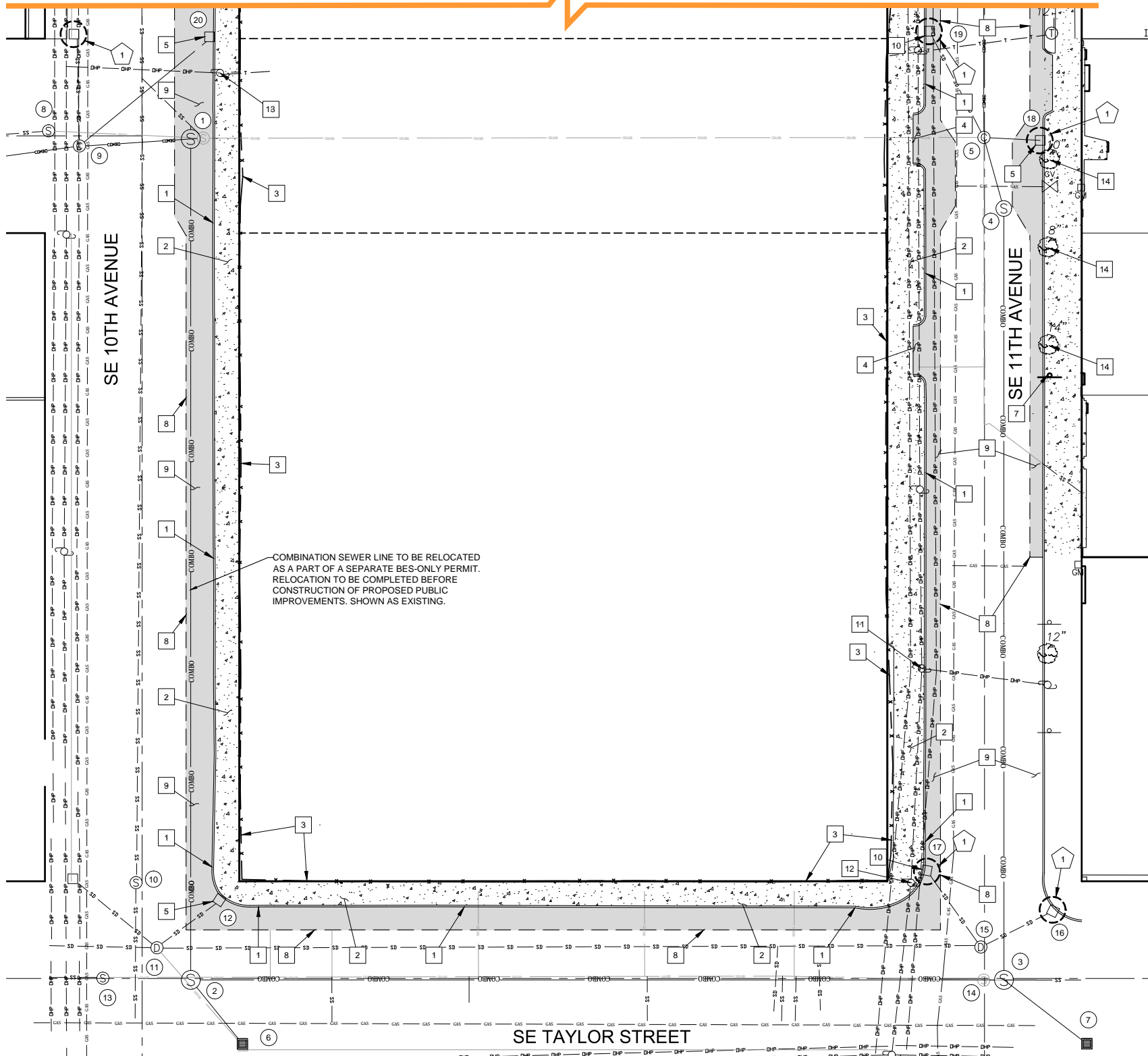


AERIAL PERSPECTIVE OF GRADE CHANGE



OREGON UTILITY NOTIFICATION CENTER
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COMBINED SANITARY AND STORM TABLE

1	COMBINED SEWER MANHOLE RIM: 41.35 IE IN (12" E): 28.42 IE IN (8" NW): 28.60 IE OUT (18" W): 28.60	COMBINED SEWER 60" DIVERSION MANHOLE* RIM: 41.45 IE IN (10" S): 27.65 IE OUT (8" N): 27.65 IE OUT (18" W): 28.45	2	COMBINED SEWER MANHOLE* RIM: 40.58 IE IN (21" E): 29.24 IE OUT (21" N): 28.94	3	COMBINED SEWER MANHOLE* RIM: 43.80 IE IN (12" N): 31.58 IE IN (8" E): 31.93 IE OUT (21" W): 30.83	4	COMBINED SEWER MANHOLE RIM: 49.60 IE IN (12" N): 35.25 IE OUT (12" S): 35.15	
5	COMBINED SEWER MANHOLE RIM: 50.01 IE IN (10" N): 35.87 IE IN (10" E): UNKNOWN IE IN (8" S): 35.87 IE OUT (12" W): 35.77	COMBINED SEWER MANHOLE* RIM: 50.01 IE IN (10" N): 35.87 IE IN (10" E): UNKNOWN IE IN (8" SE): ABANDON IE OUT (12" W): ABANDON IE OUT (12" S): FIELD FIT	6	STORM DRAIN CATCH BASIN* RIM: MATCH EXISTING IE OUT (8" NW): MATCH EXISTING	7	STORM DRAIN CATCH BASIN* RIM: MATCH EXISTING IE OUT (8" NW): MATCH EXISTING			
8	SANITARY SEWER MANHOLE RIM: 41.59 IE IN (8" E): 27.10 IE OUT (8" W): 27.00	9	COMBINED SEWER MANHOLE RIM: 41.73 IE IN (18" E): 27.08 IE IN (8" N): 31.93 IE IN (8" E): 31.98 IE OUT (12" W): 26.04	10	SANITARY SEWER MANHOLE RIM: 40.45 IE IN (78" N): 21.41 IE OUT (78" S): 21.31	11	STORM DRAIN MANHOLE RIM: 40.56 IE IN (8" NE): 34.50 IE IN (8" NW): 34.50 IE IN (10" E): 34.16 IE OUT (12" S): 34.06	12	STORM DRAIN CATCH BASIN RIM: 39.6 IE OUT (8" SW): 37.10
13	SANITARY SEWER MANHOLE RIM: 40.57 IE IN (10" E): 28.63 IE OUT (12" W): 28.53	SANITARY SEWER MANHOLE* RIM: 40.57 IE IN (10" E): ABANDON IE OUT (12" W): 28.53	14	STORM DRAIN MANHOLE RIM: 43.74 IE IN (8" E): 31.91 IE OUT (10" W): 31.81		STORM DRAIN MANHOLE* MANHOLE TO BE REMOVED	15	STORM DRAIN MANHOLE RIM: 43.85 IE IN (8" NE): 37.81 IE IN (8" NW): 38.70 IE OUT (8" W): 37.71	
16	STORM DRAIN CATCH BASIN RIM: 42.97 IE OUT (8" SW): 41.02	17	STORM DRAIN CATCH BASIN RIM: 42.95 IE OUT (8" SE): 41.27	18	STORM DRAIN CATCH BASIN RIM: 49.34 IE OUT (8" W): UNKNOWN	19	STORM DRAIN CATCH BASIN RIM: 49.32 IE OUT (6" SE): 47.20	20	STORM DRAIN CATCH BASIN RIM: 41.20 IE OUT (8" SW): 39.30

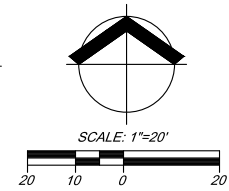
*RIM, INVERT, AND SIZE INFORMATION PER HHPR S.E. 10TH AVE. & S.E. BELMONT ST. SANITARY SEWER EXTENSION PROJECT 60% PLANS

DEMOLITION NOTES

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EROSION CONTROL NOTES

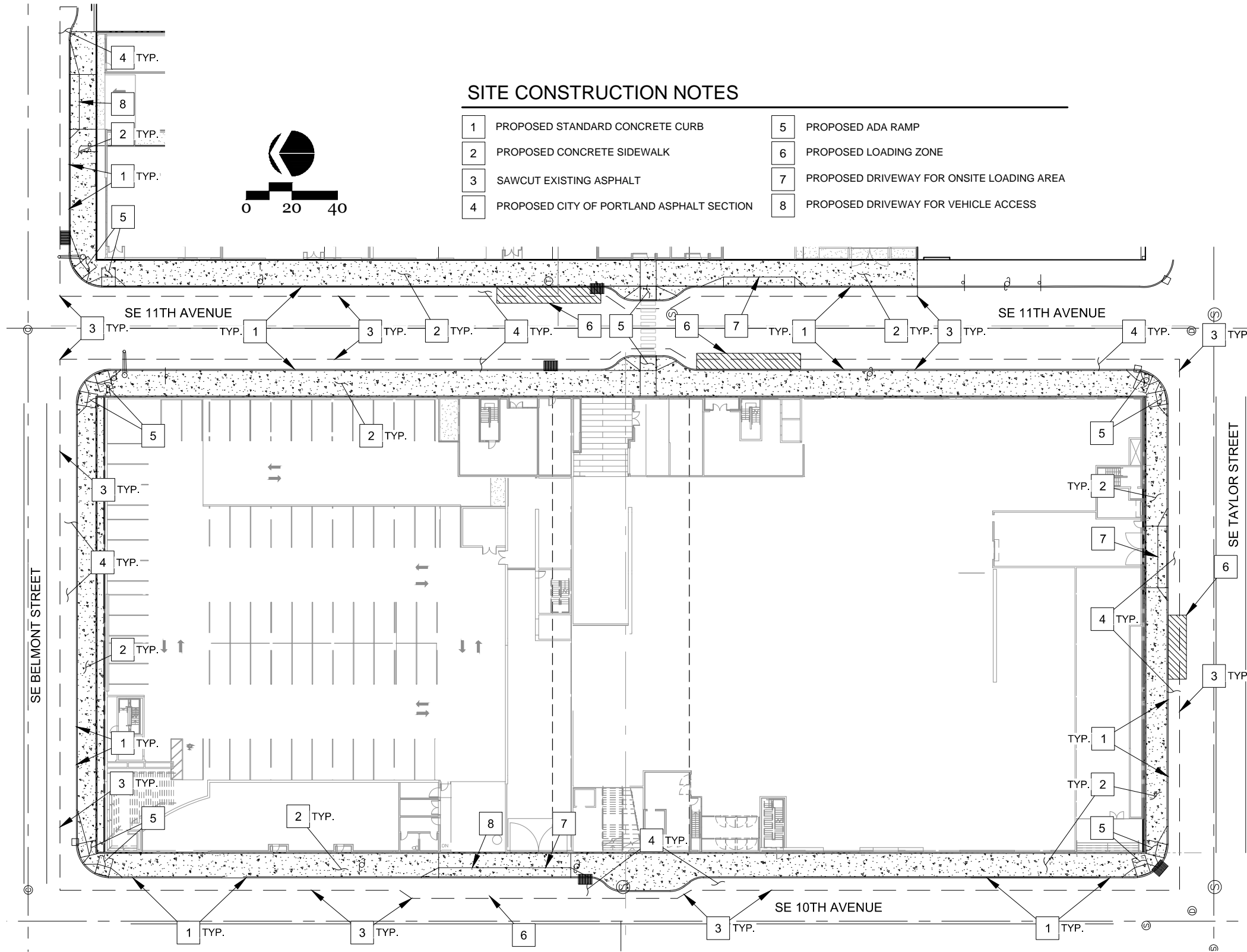
- 1 PROPOSED INLET PROTECTION. REFER TO DETAIL SHEET #### FOR MORE INFORMATION.

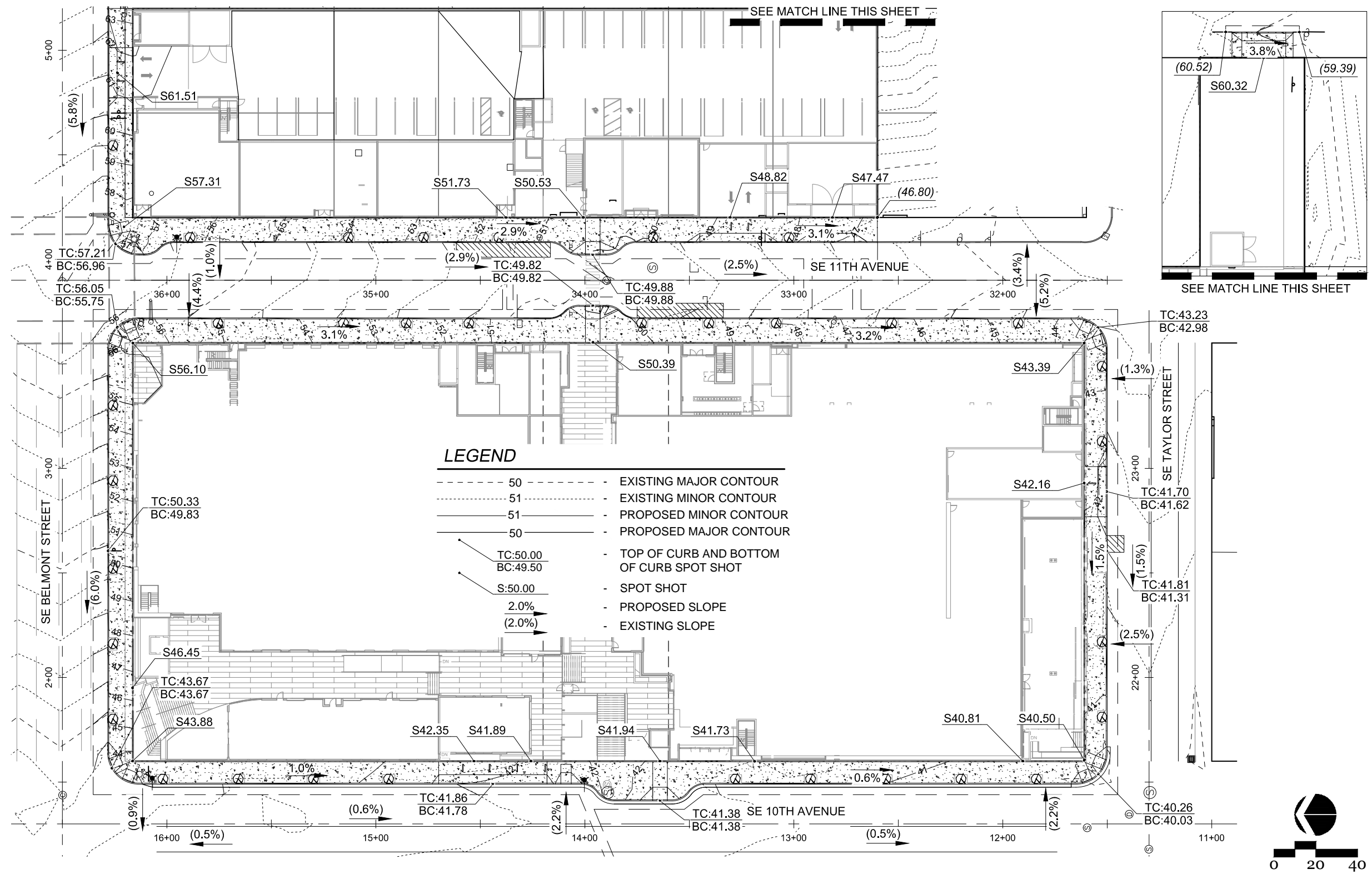


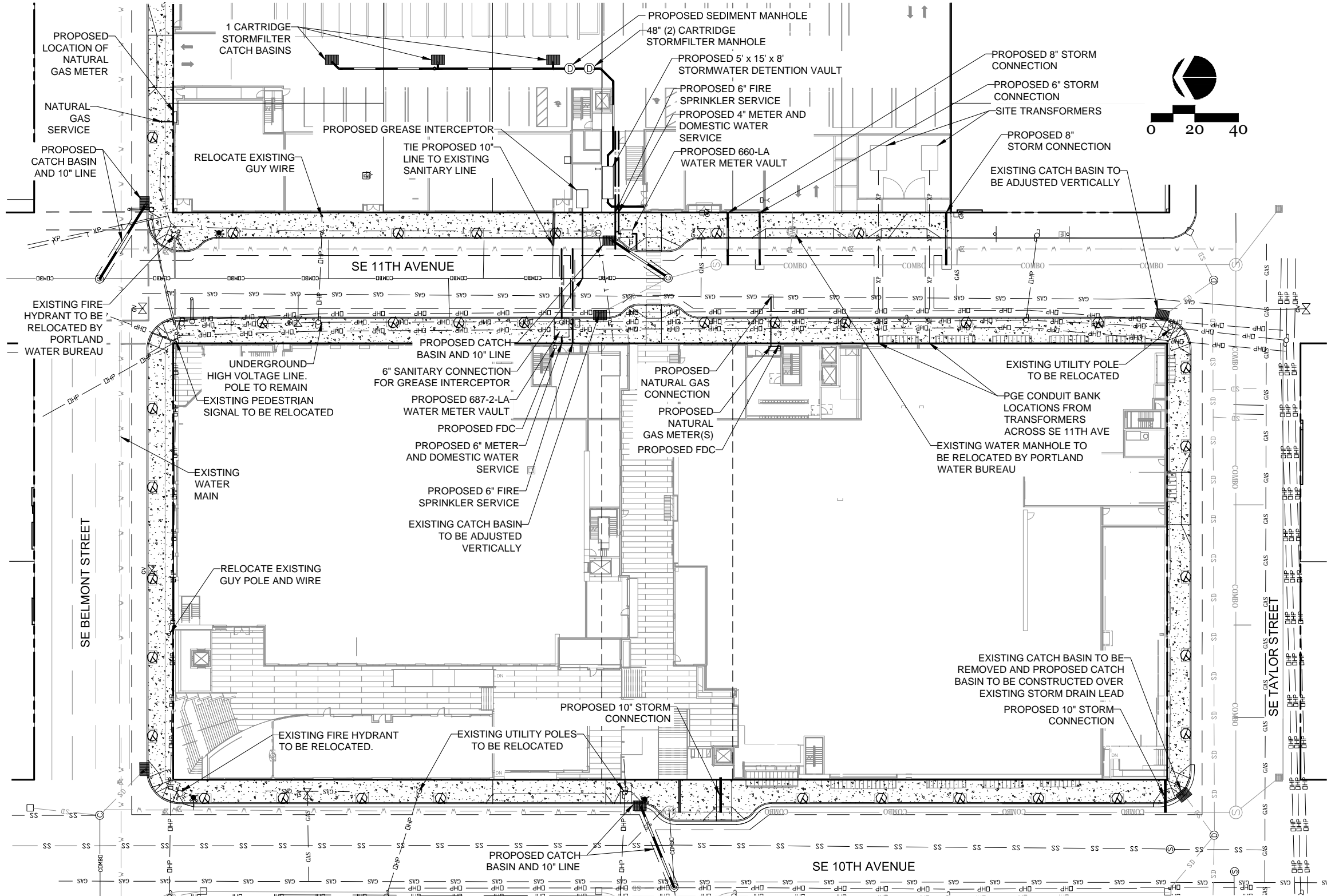
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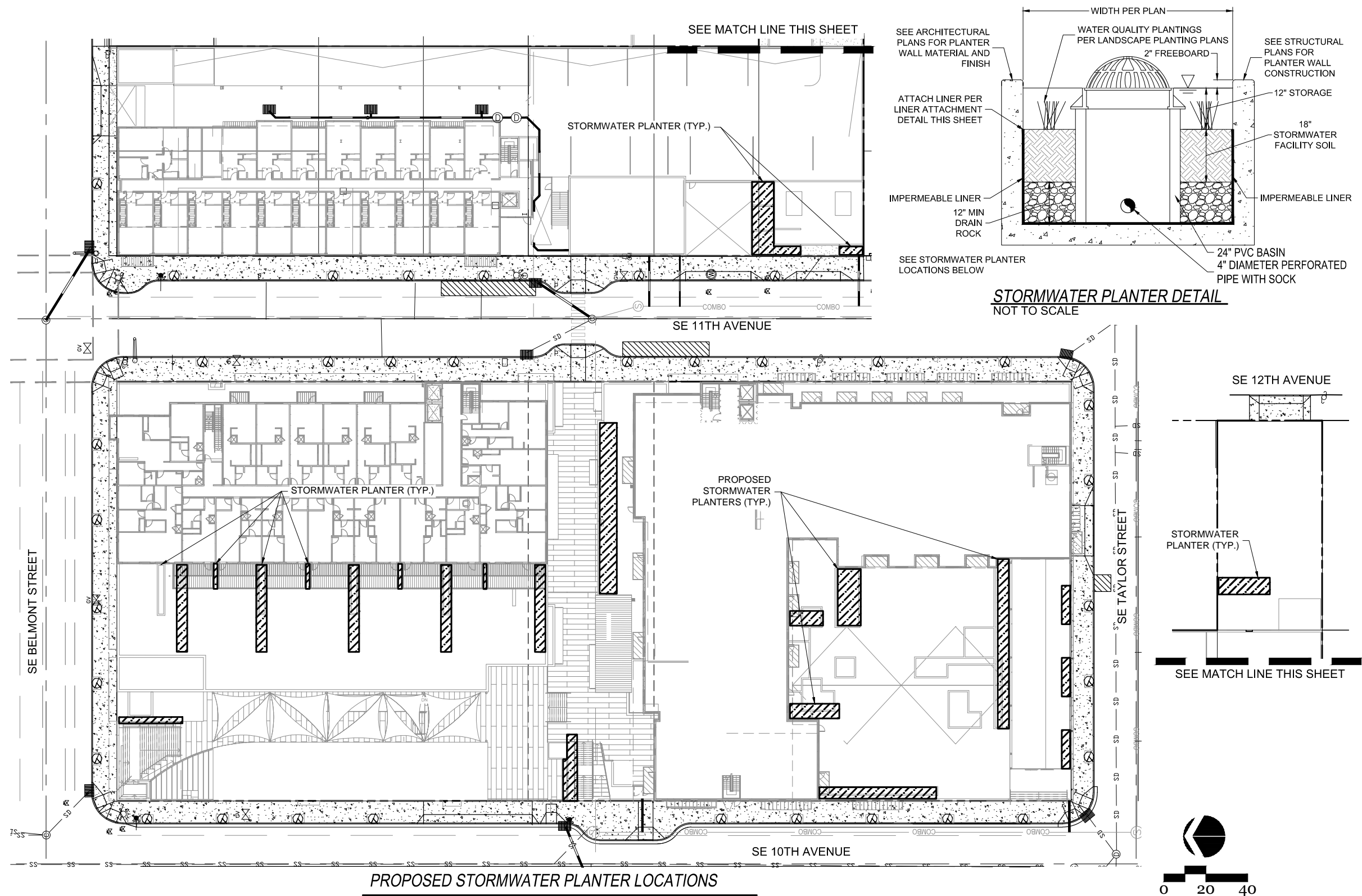


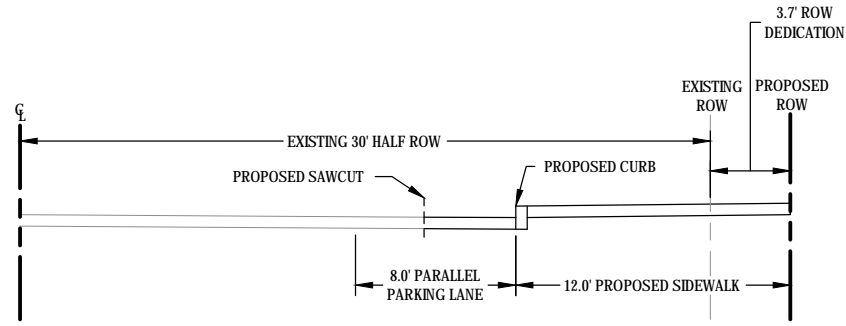
200% SET



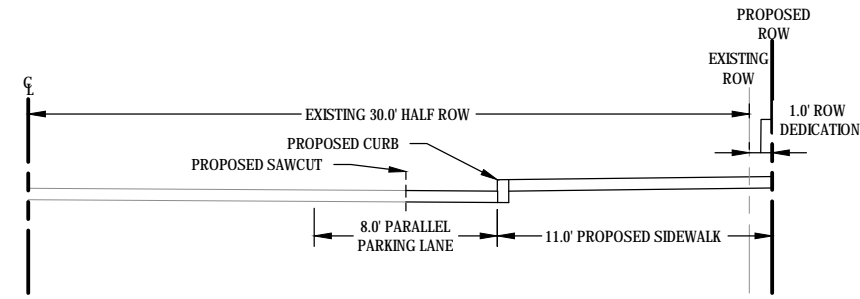




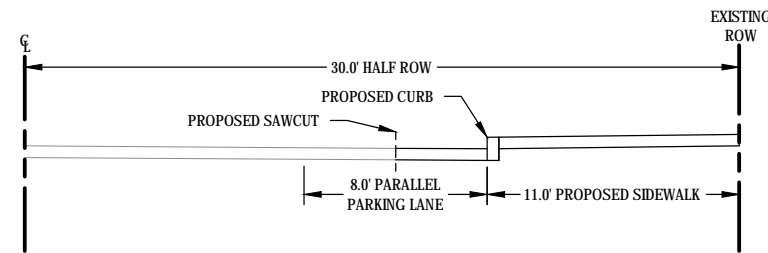




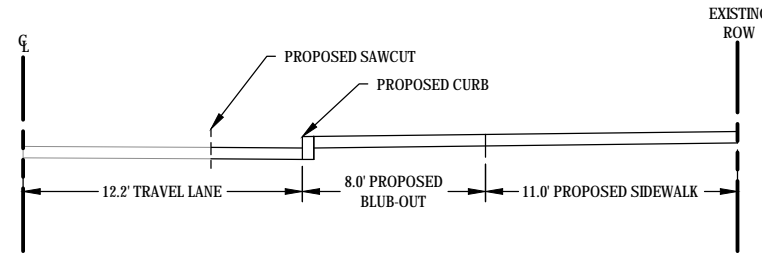
SECTION A-A: SE BELMONT STREET
NOT TO SCALE



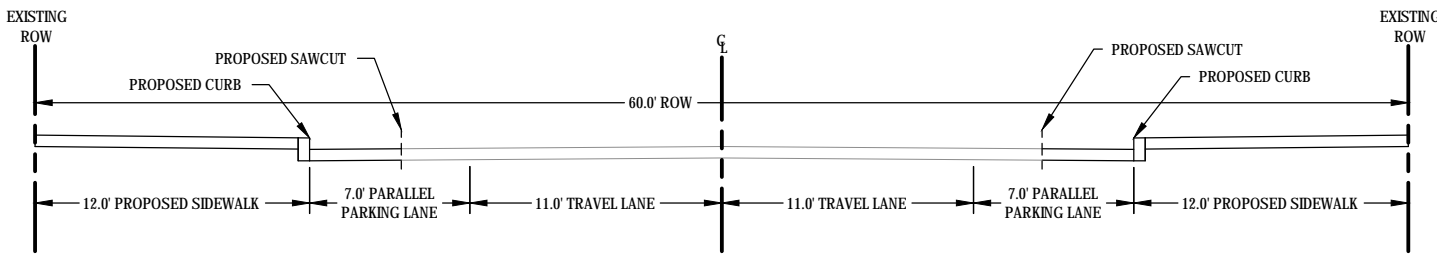
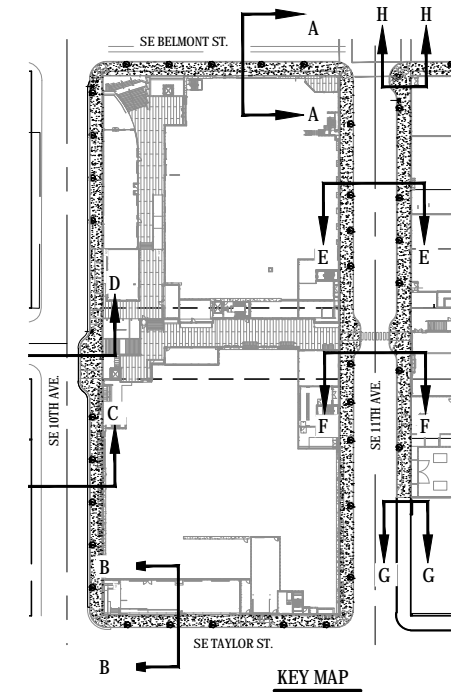
SECTION B-B: SE TAYLOR STREET
NOT TO SCALE



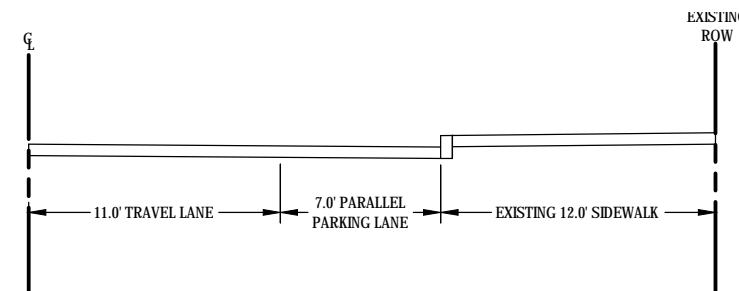
SECTION C-C: SE 10TH AVENUE WITH NO BULB-OUT
NOT TO SCALE



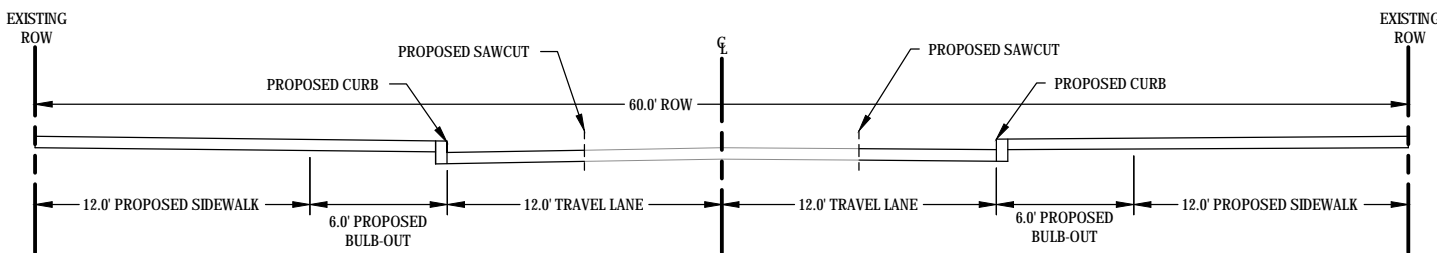
SECTION D-D: SE 10TH AVENUE WITH BULB-OUT
NOT TO SCALE



SECTION E-E: SE 11TH AVENUE WITH SIDEWALK IMPROVEMENTS
NOT TO SCALE



SECTION G-G: SE 11TH AVENUE WITHOUT SIDEWALK IMPROVEMENTS
NOT TO SCALE



SECTION F-F: SE 11TH AVENUE WITH SIDEWALK IMPROVEMENTS AND BULB-OUTS
NOT TO SCALE



Split System Heat Pump - East Building



RN Series

Rooftop Water Source Heat - North and South Buildings



RQ Series



Acoustic Louvers at Cooling Towers

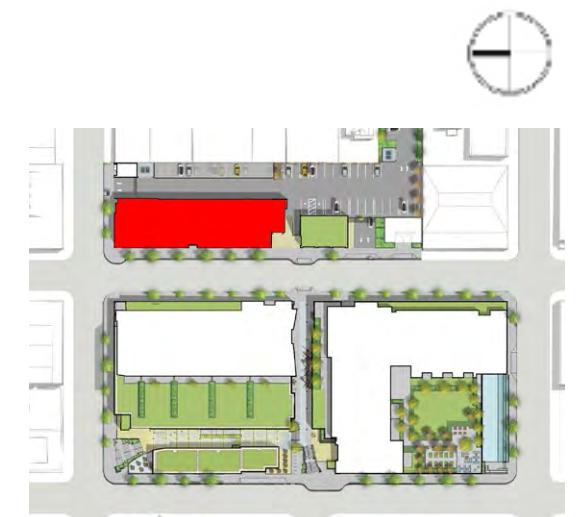
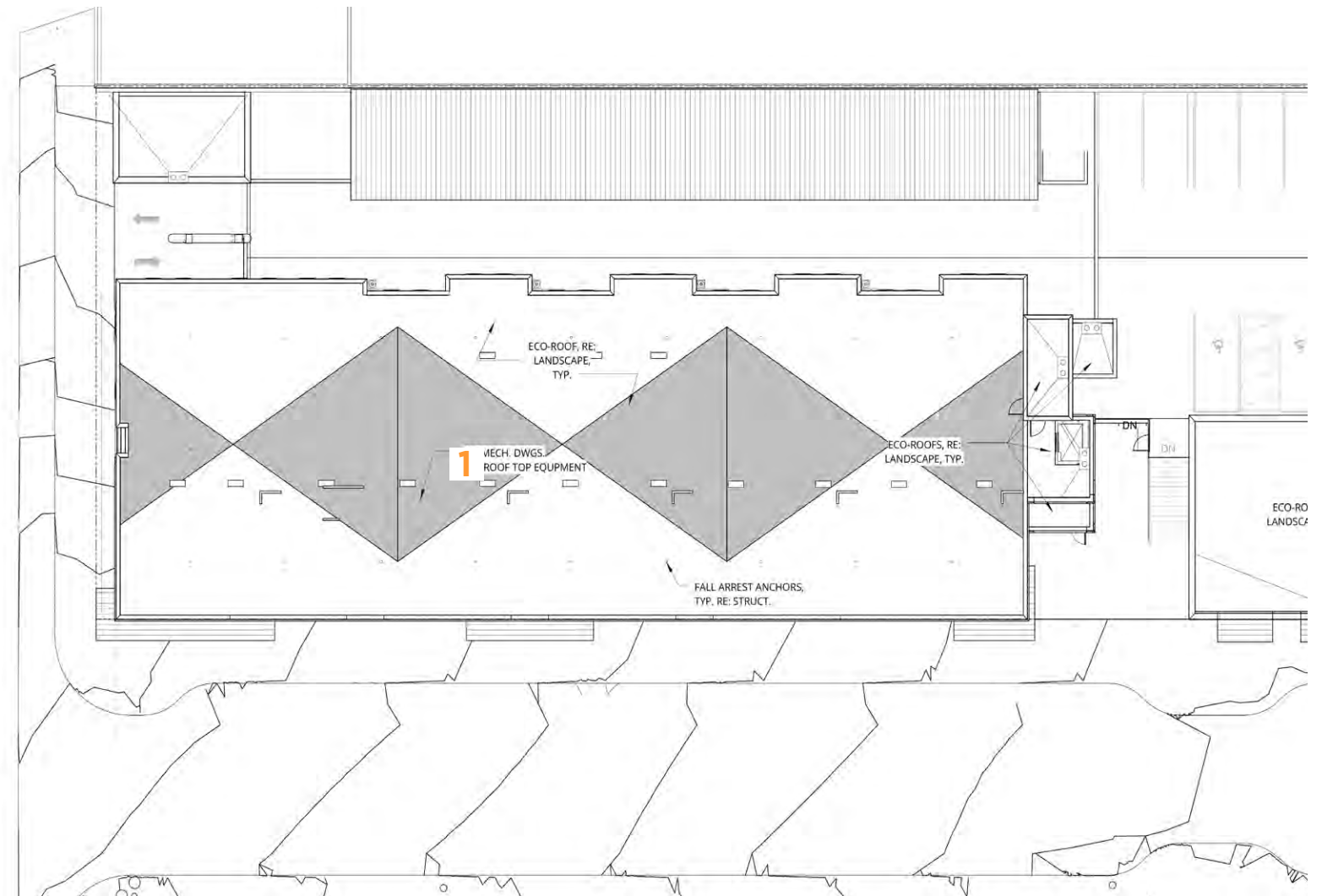


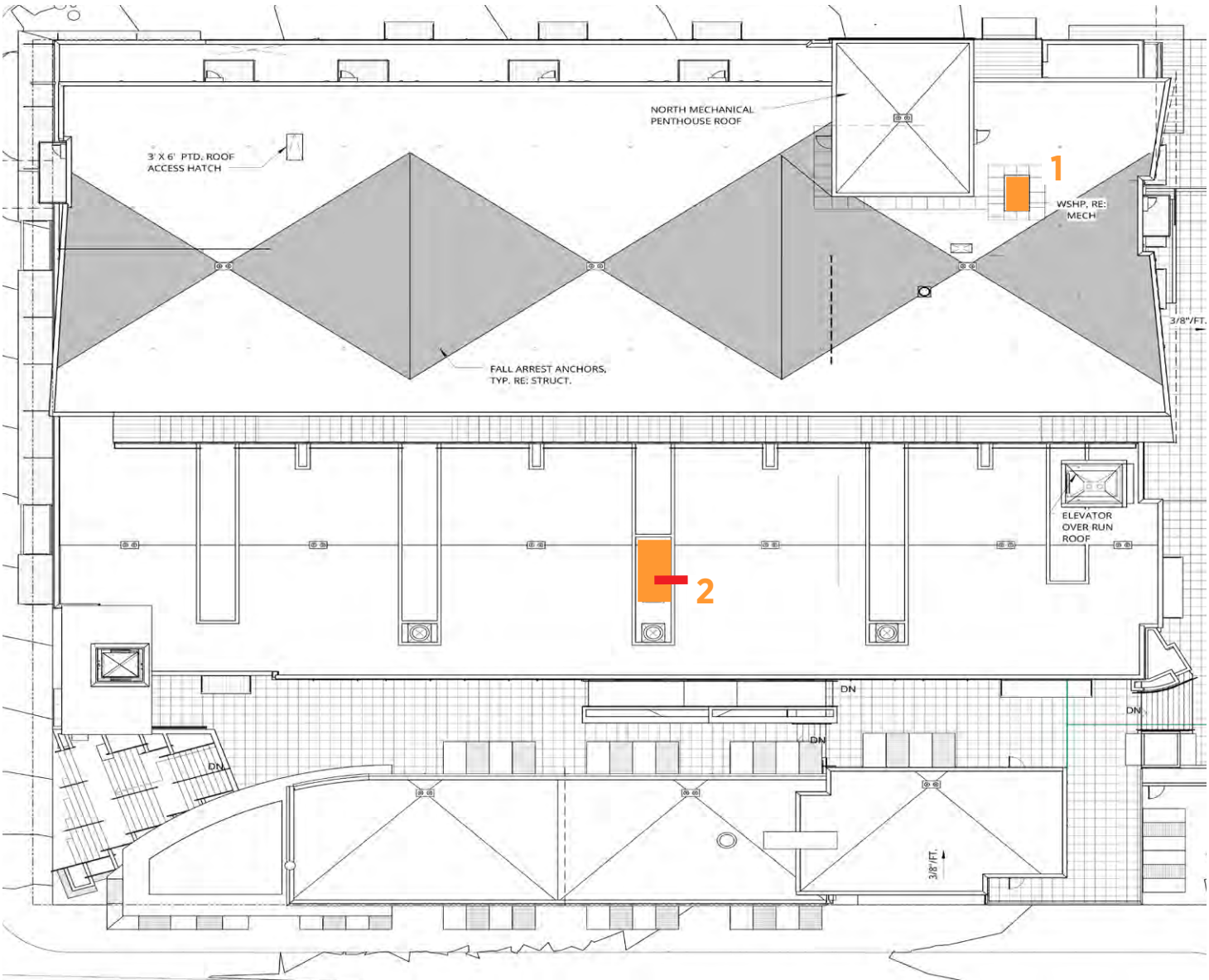
Cooling Tower Type

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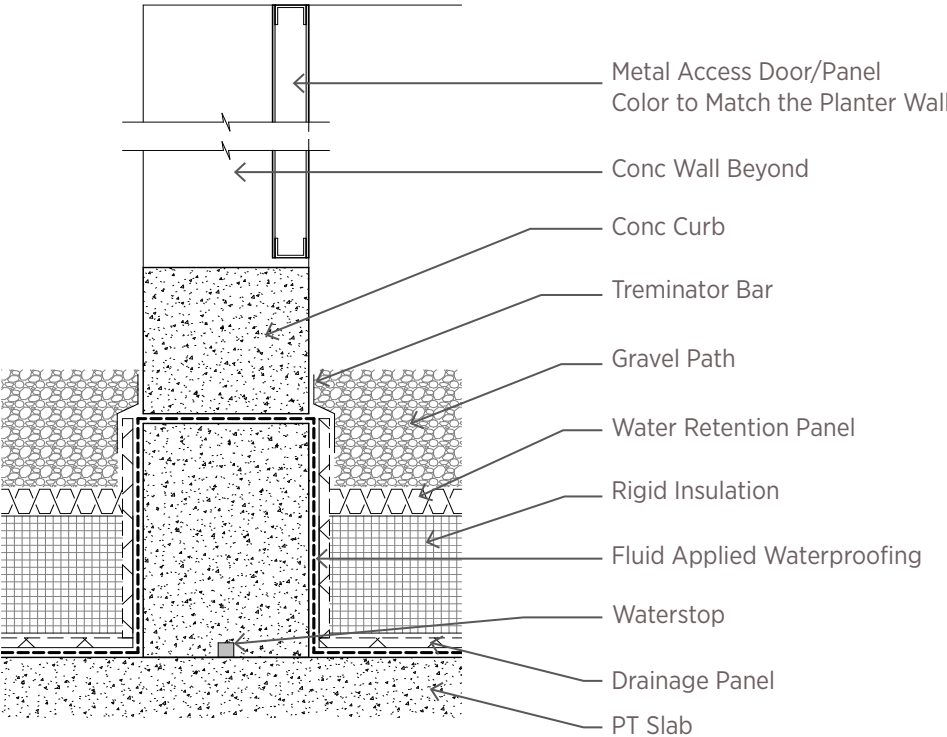


1- SPLIT SYSTEM HP @ ECO ROOF
37.5"W x 13"D x 66" T (with roof support)



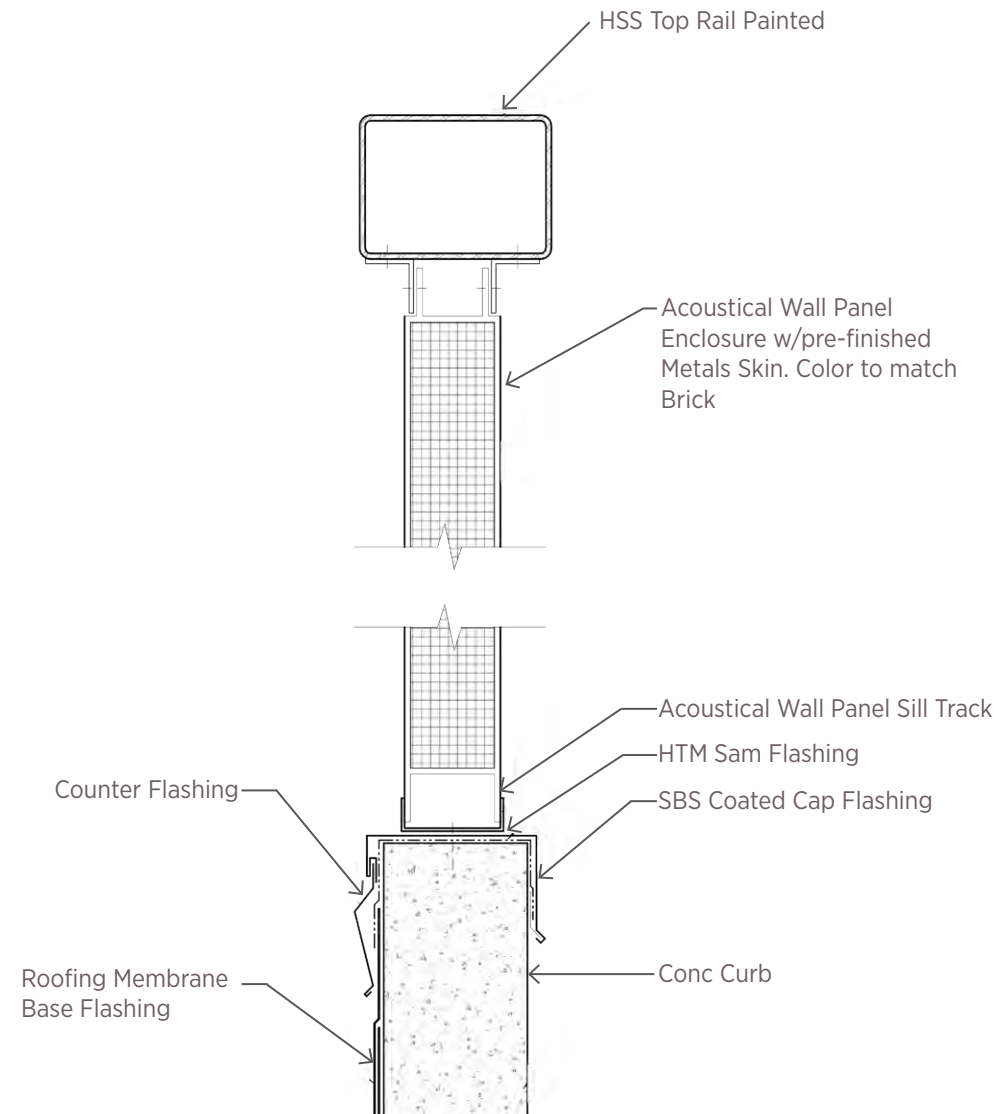


1- RQ - Series

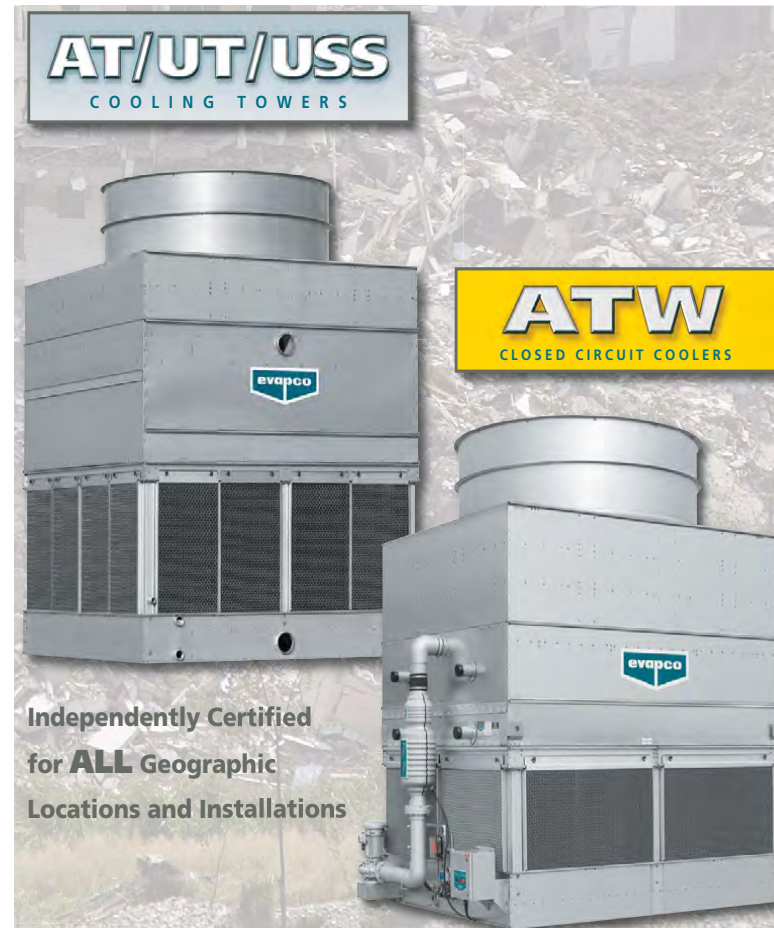


2- MECH SCREEN ACCESS @ ECO ROOF





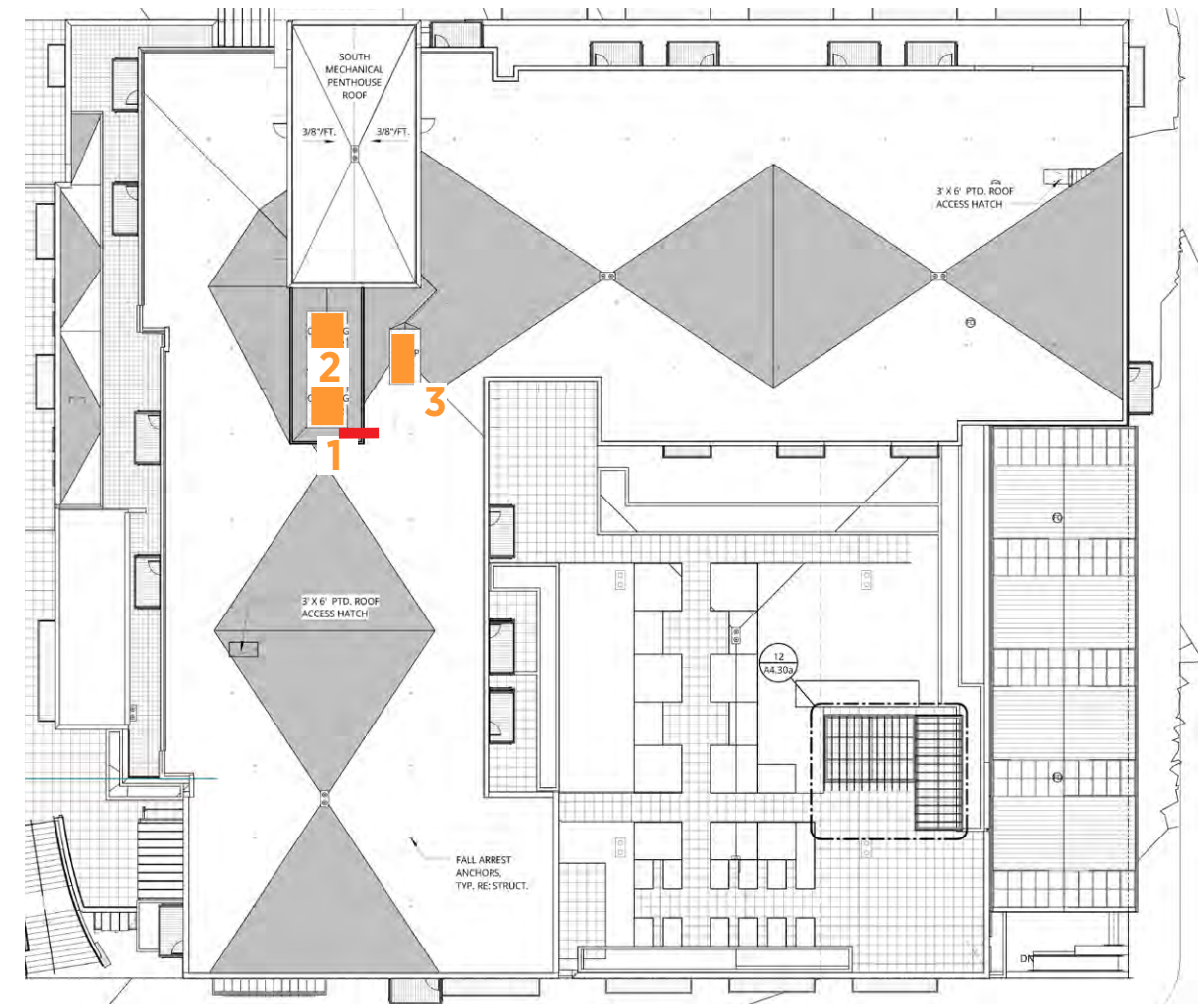
1- MECHANICAL ENCLOSURE @ PENTHOUSE



2-COOLING TOWER @ PENTHOUSE
10'-6"W (w/ access ladder) x 24'-2" L x 15'-3/4" (w/ support structure)

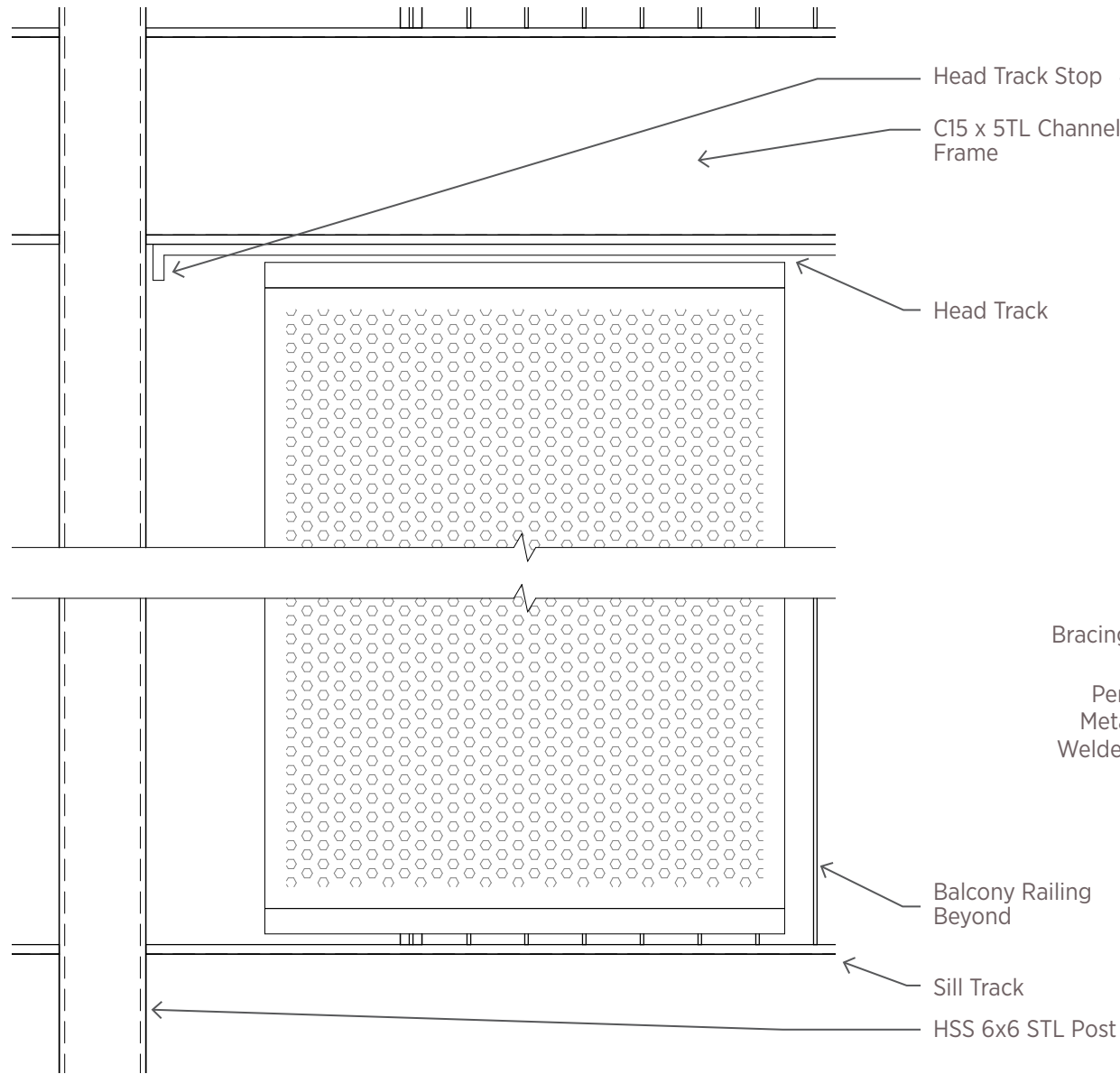


ACOUSTICS LOUVERS @ COOLING TOWERS

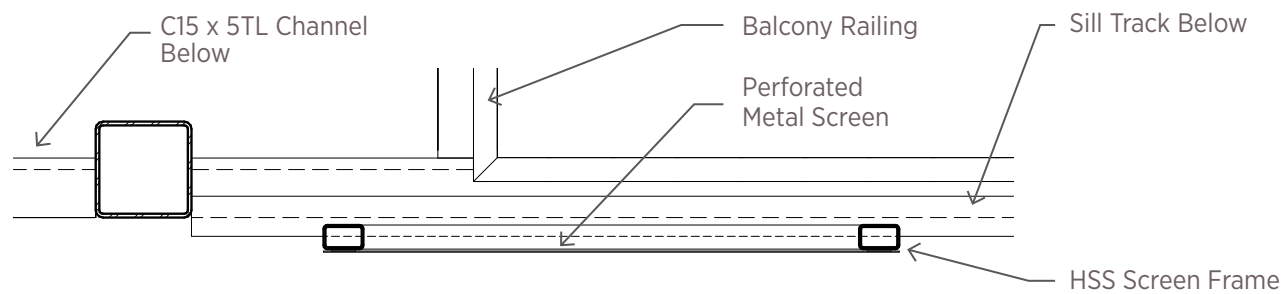


3- RN SERIES @ PENTHOUSE

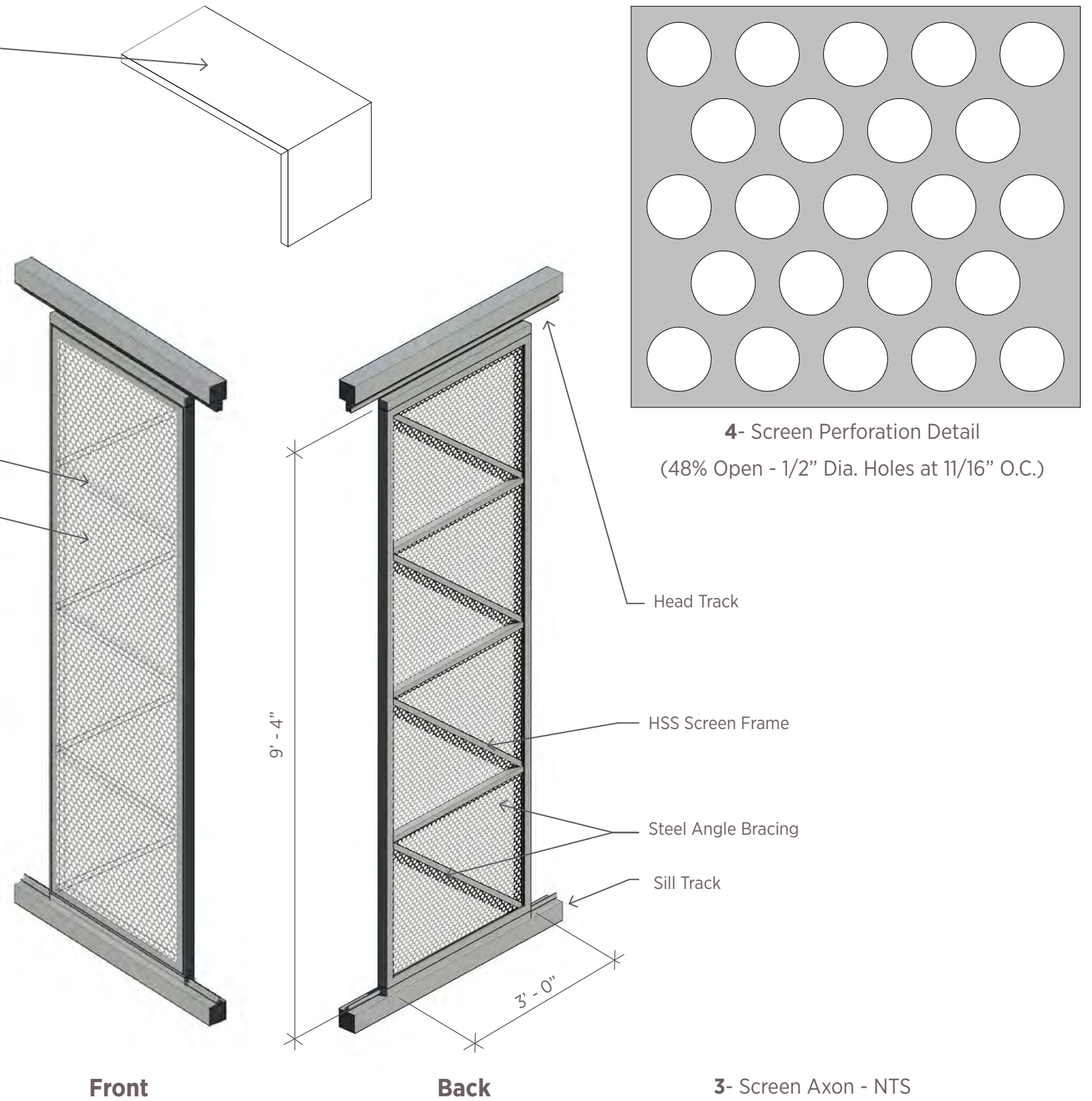




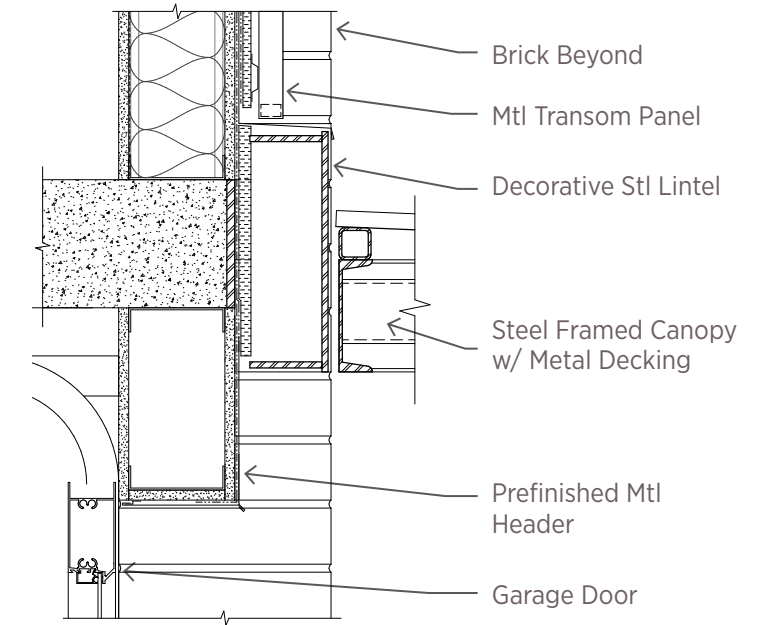
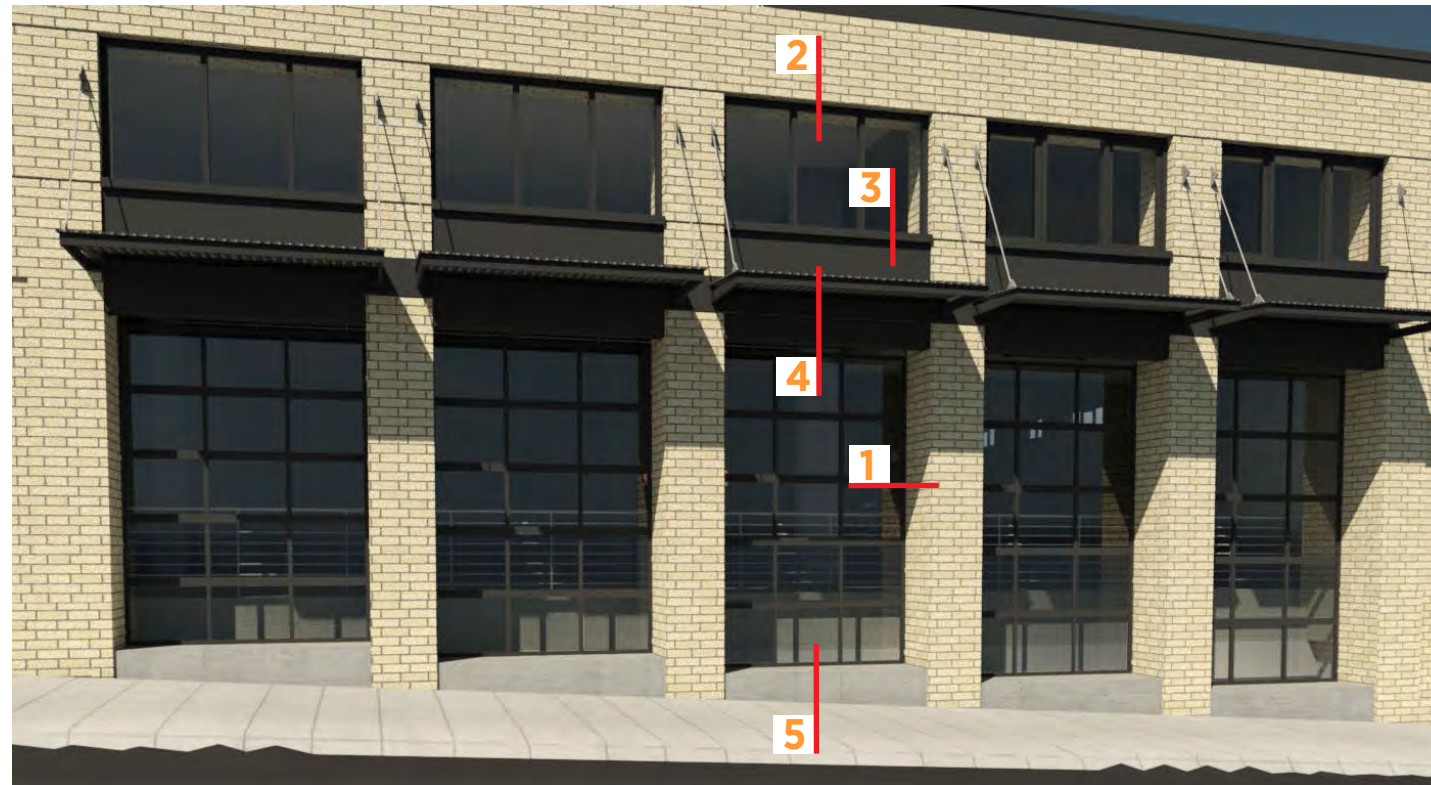
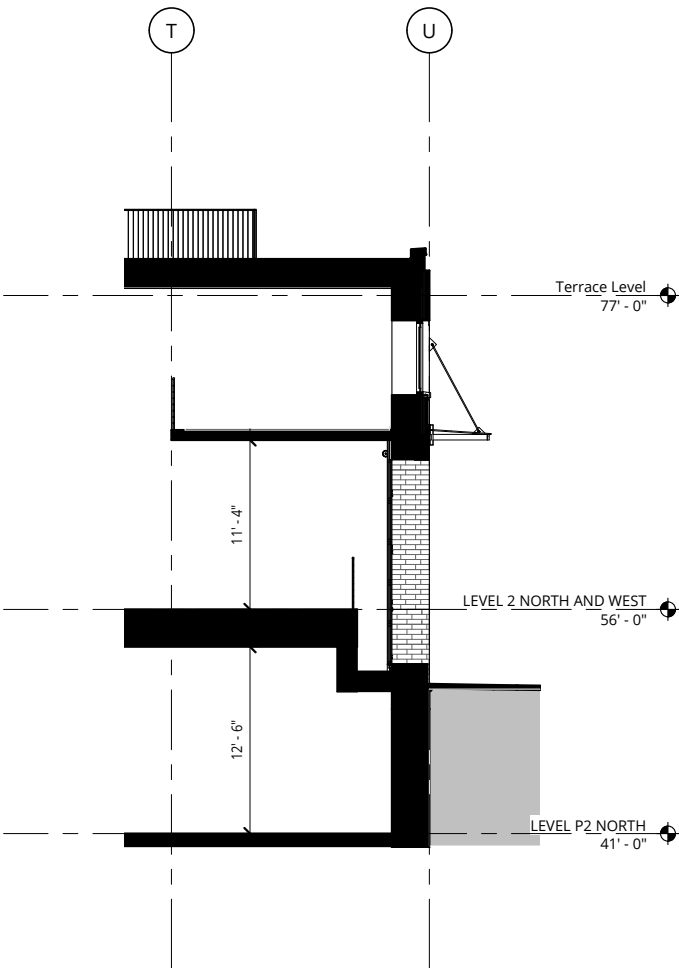
1- Elevation Detail of Sliding Screens - 1" = 1'-0"



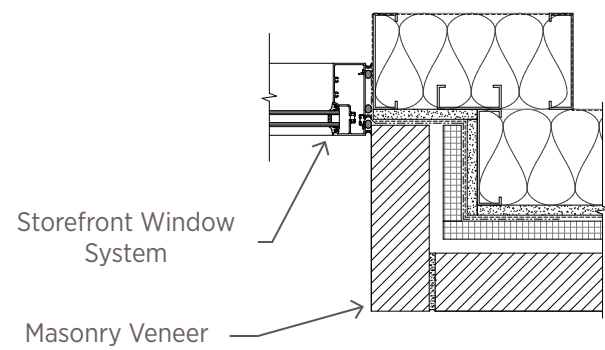
2- Plan Detail of Sliding Screens - 1" = 1'-0"



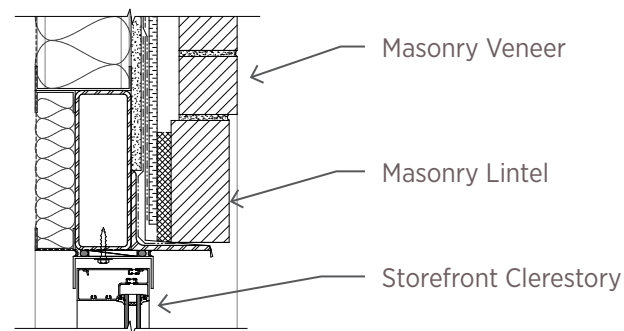
3- Screen Axon - NTS



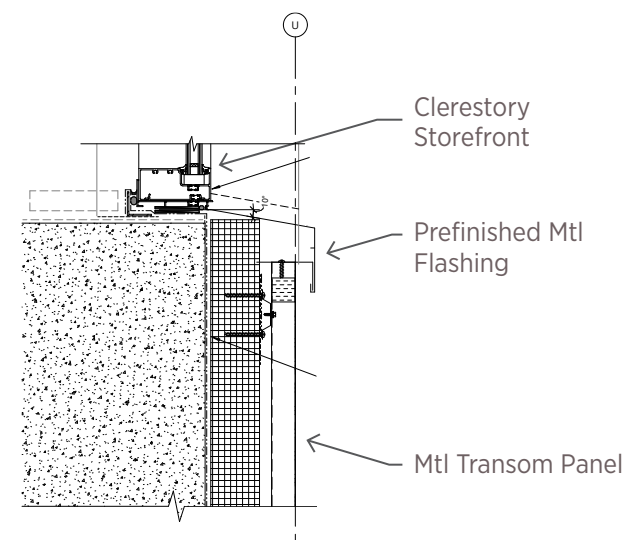
4- Canopy Connection @ Window Transom - 1" = 1'-0"



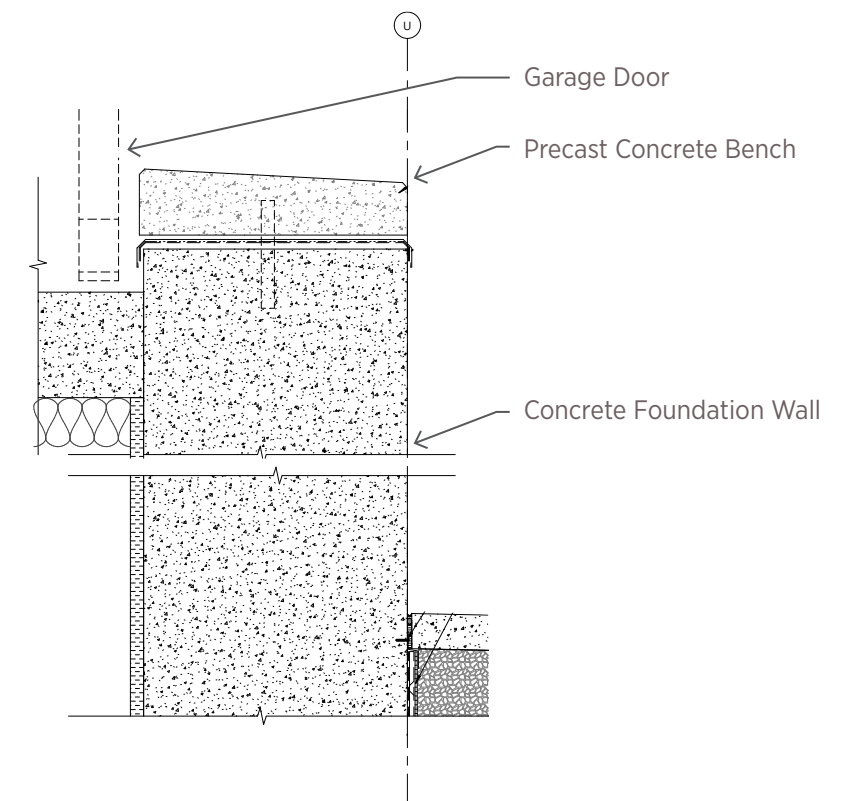
1 - SIM - Brick Return @ Garage Door Jamb - 1" = 1'-0"



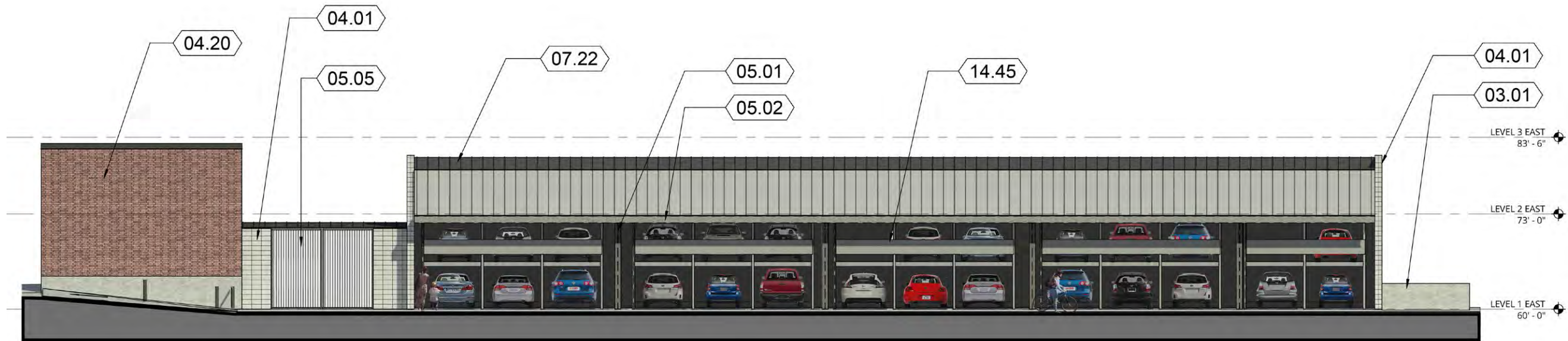
2 - Masonry Lintel @ Storefront Head - 1" = 1'-0"



3 - Window Sill @ Window Transom - 1" = 1'-0"

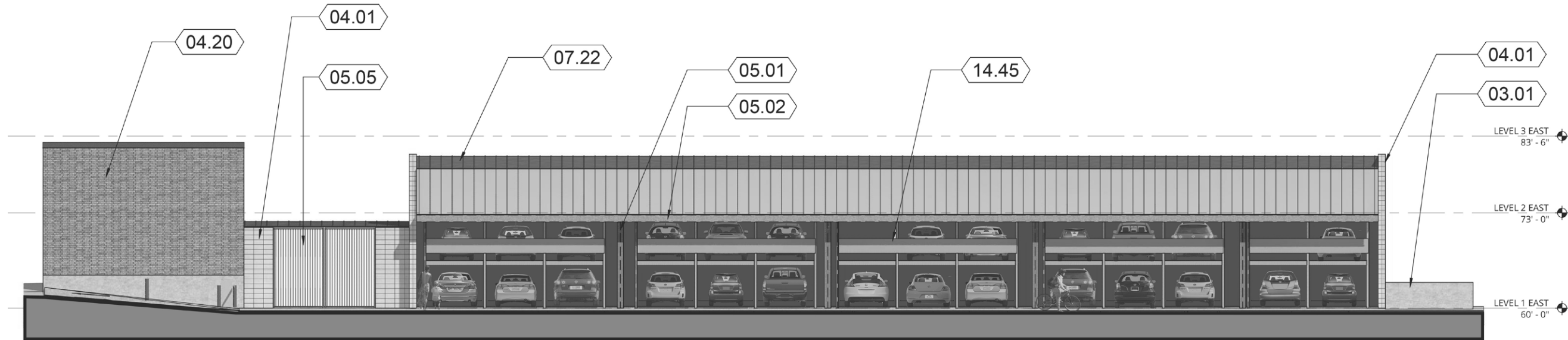


5- Sill Detail @ Concrete Benches - 1" = 1'-0"



KEYNOTES - ELEVATIONS	
03.01	CAST-IN-PLACE CONCRETE WALL
03.40	PRECAST CONCRETE
04.01	CONCRETE MASONRY UNITS
04.20	BRICK VENEER
05.01	STEEL COLUMN
05.02	STEEL BEAM
05.05	STEEL GATE
05.14	DECORATIVE BUILT-UP C-SHAPED STEEL CHANNEL
05.30	METAL FRAMED CANOPY
05.81	DECORATIVE METAL GUARDRAIL
07.06	RECESSED PERFORATED METAL WALL PANEL SIDING
07.20	FORMED METAL PANELS
07.21	MORIN F-12 PROFILE METAL PANEL
07.22	METAL ROOF PANELS, STANDING SEAM
07.37	WOOD SIDING
07.40	FIBER CEMENT PANEL SIDING
07.41	FIBER CEMENT PLANK SIDING
08.30	ALUMINUM-FRAMED STOREFRONT
08.40	VINYL WINDOW AT APARTMENTS - TYPICAL
08.90	LOUVER - PAINTED TO MATCH ADJACENT MATERIAL
09.10	MODIFIED CEMENT PLASTER, STUCCO
14.45	SEMI-AUTOMATIC, VEHICLE LIFT SYSTEM





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