

Holst Architecture for Grand Ventures Hotel, LLC

Design Advice Request: Type III Design Review, EA 13-232583 DA

Submitted January 24, 2014

OVERVIEW

C.6 Zoning Map and Site Photos
 C.7 Original Building Photo
 C.8 Site Survey/ ROW Improvements
 C.9 Site Diagram
 C.10 Site Sections and Zoning Data
 C.11 Enlarged Sections

PROJECT

C.12 Basement Floor Plan
 C.13 Site and First Floor Plan
 C.14 Typ 2-5 Floor Plan
 C.15 6th Floor Plan
 C.16 Roof Plan
 C.17 North Elevation
 C.18 West Elevation
 C.19 South Elevation
 C.20 East Elevation
 C.21 Rendering
 C.22 Rendering
 C.23 Rendering
 C.24 Rendering
 C.25 Rendering
 C.26 Aerial Rendering
 C.27 Parking Screen Renderings
 C.28 Parking Screen Elevations
 C.29 Parking Screen Sections and Details
 C.30 Rendering
 C.31 Rendering
 C.32 Rendering
 C.33 Rendering

APPENDIX

C.36 Materials
 C.37 Screen Precedents
 C.38 Trellis Precedents
 C.39 Landscape Concepts
 C.40 Landscape Concepts

INFORMATION

LU#: EA 13-232583 DA
 PROPERTY: 1021 NE Grand Ave
 Portland, OR 97219

RE: Design Advice Request
 ORIGINALLY SUBMITTED: January 24, 2014

ARCHITECT: Holst Architecture
 CONTACT: Kevin Valk, Project Manager
 kvalk@holstarc.com
 503 233 9856

LANDSCAPE: Lango Hansen
 CONTACT: Jane Hansen, Principal
 jane@langohansen.com
 503 295 2437

CIVIL : KPFF Consulting Engineers
 CONTACT: Mark Reuland
 mark.reuland@kpffcivilpdx.com
 503 542 3827

OWNER: Grand Ventures Hotel, LLC
 CONTACT: Desmond Mollendor, Owner
 dmollendor@gmail.com
 503 970 2055

CONTENTS

OVERVIEW

C.6 Original Building Photo
C.7 Zoning Map and Site Photos
C.8 Site Survey
C.9 Site Diagram
C.10 Site Sections and Zoning Data
C.11 Enlarged Sections

DESIGN
ADVICE
REQUEST

01.24.2014

EA 13-232583 DA

Title:

ORIGINAL
BUILDING
PHOTO

Sheet:

C.6



Photo of Original Building Design - 1963



1. View from NE Holladay and NE Grand Ave



2. View from Parking Deck



3. View from NE Holladay and NE MLK Jr Blvd



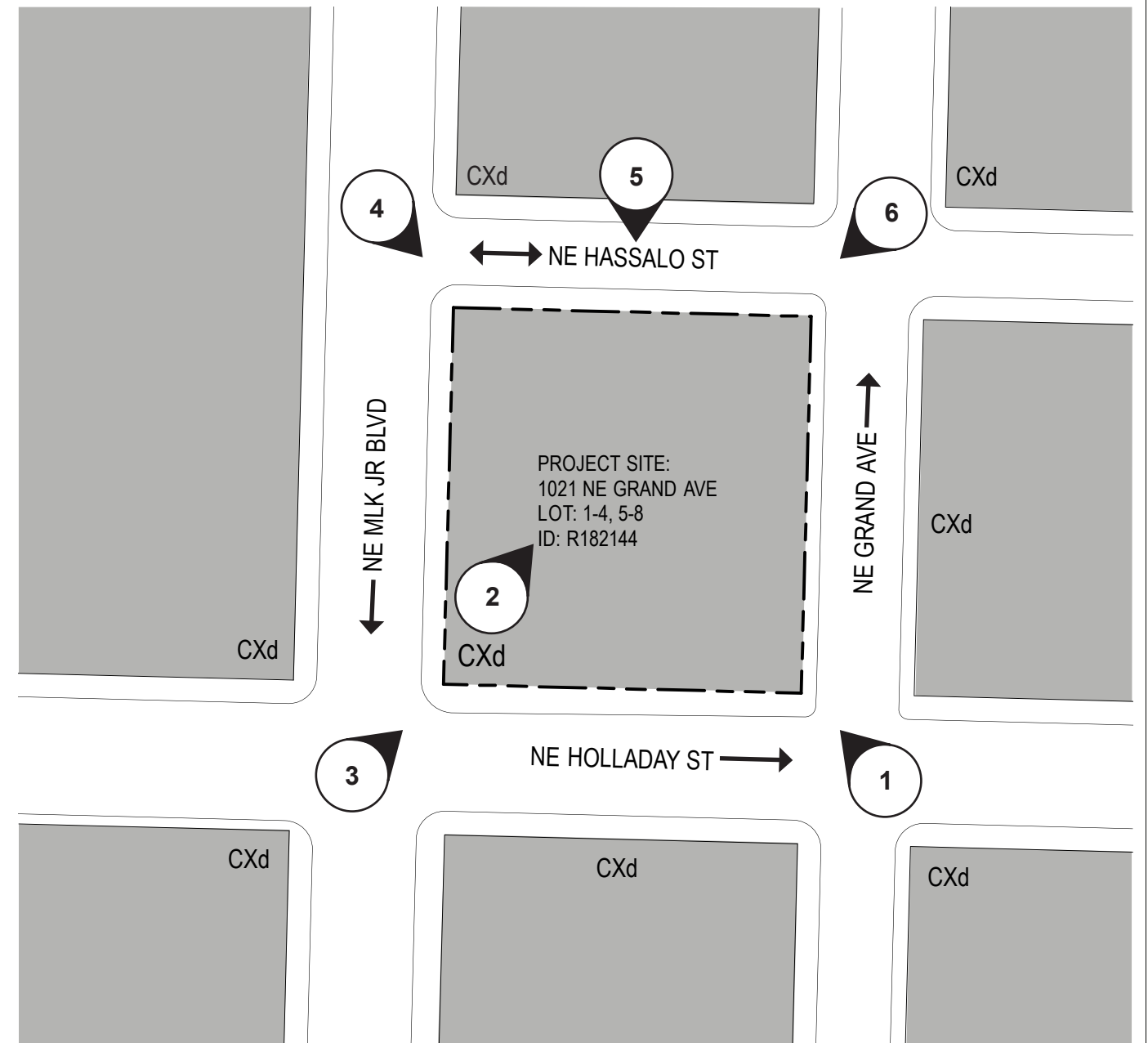
4. View from NE Hassalo and NE MLK Jr Blvd



5. View from NE Hassalo St



6. View from NE Grand Ave



Zoning Map

DESIGN
 ADVICE
 REQUEST

01.24.2014

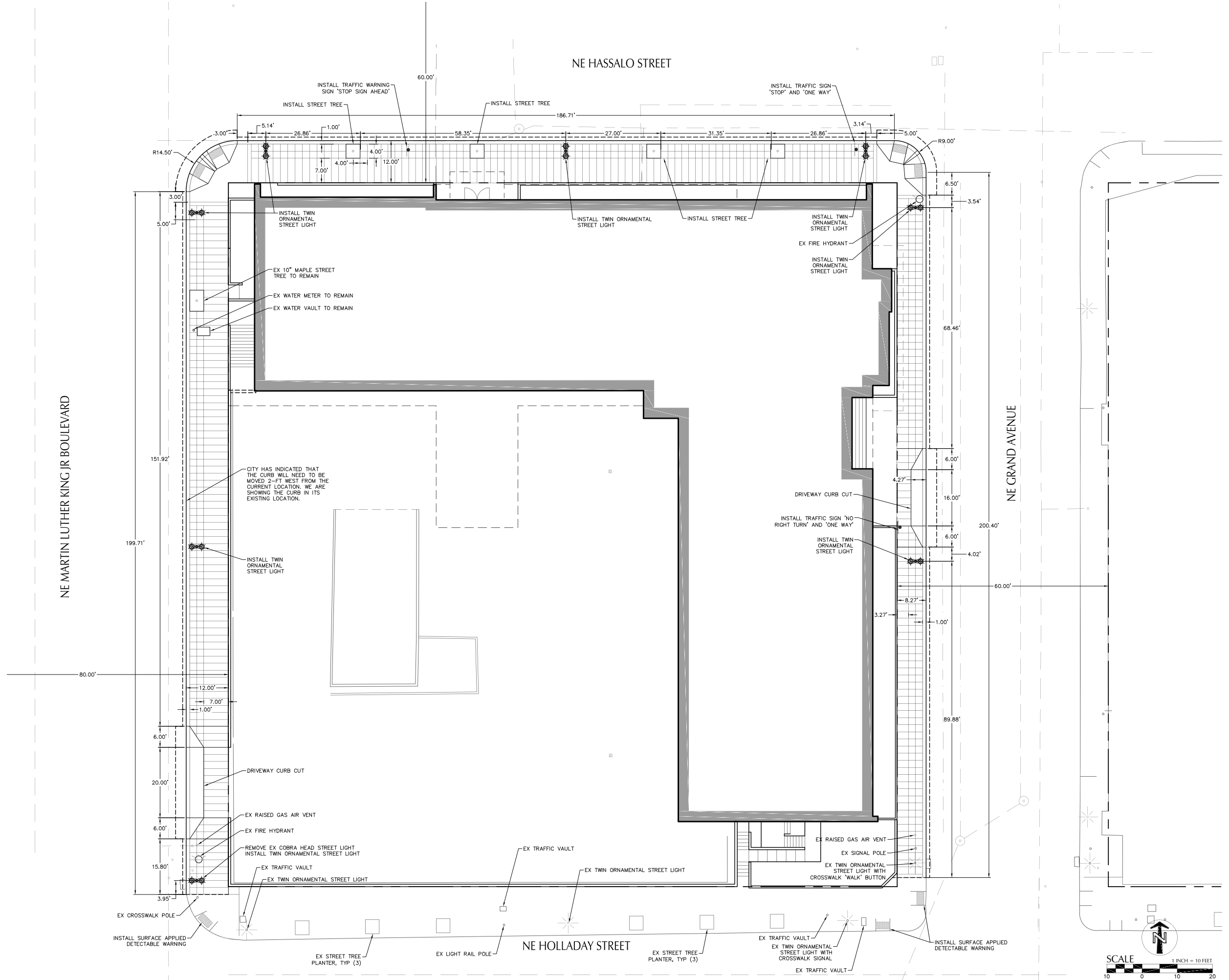
EA 13-232583 DA

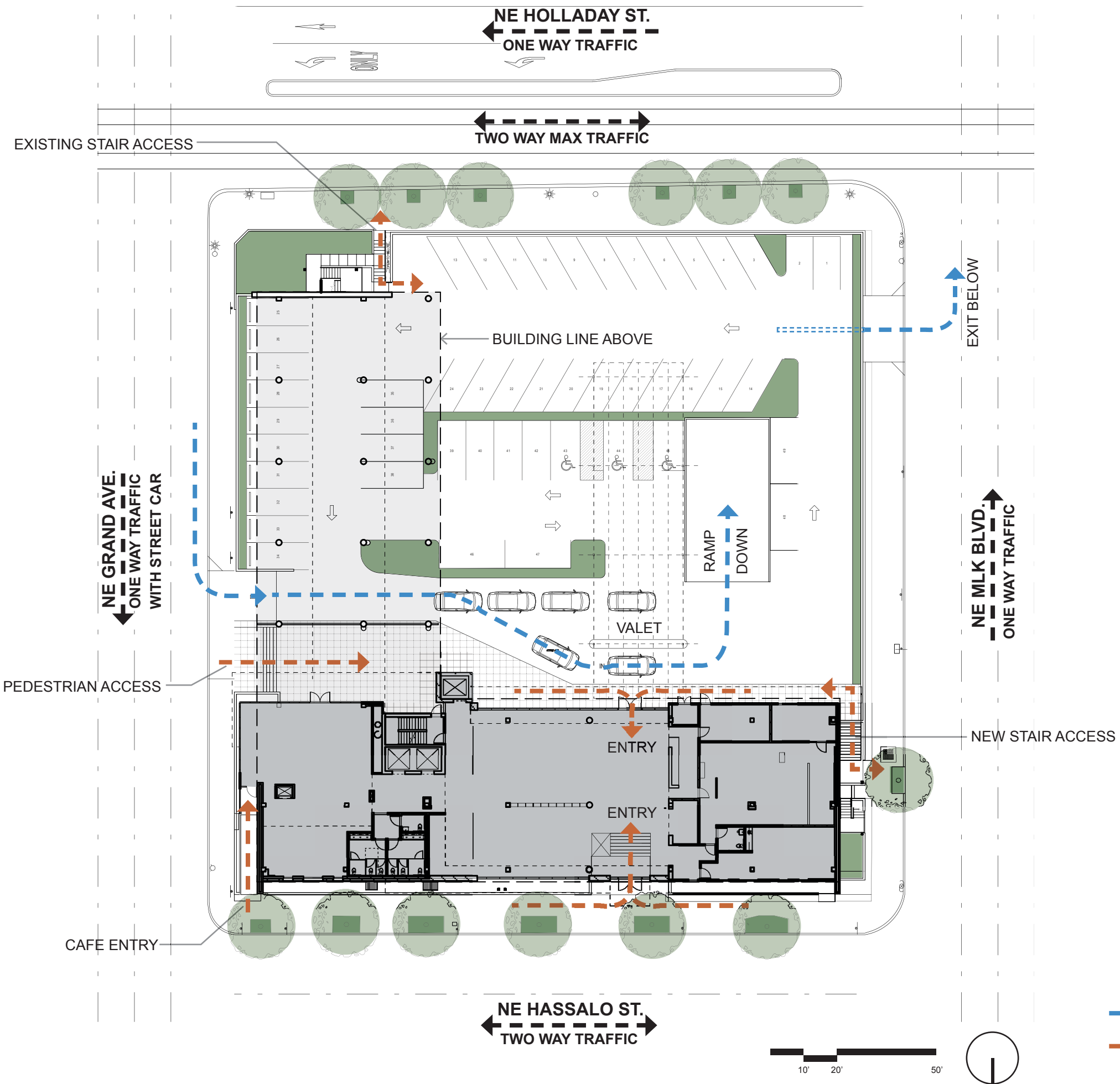
Title:

SITE SURVEY /
 ROW IMPRO-
 VEMENTS

Sheet:

C.8





--- VEHICULAR TRAFFIC
 --- PEDESTRIAN TRAFFIC

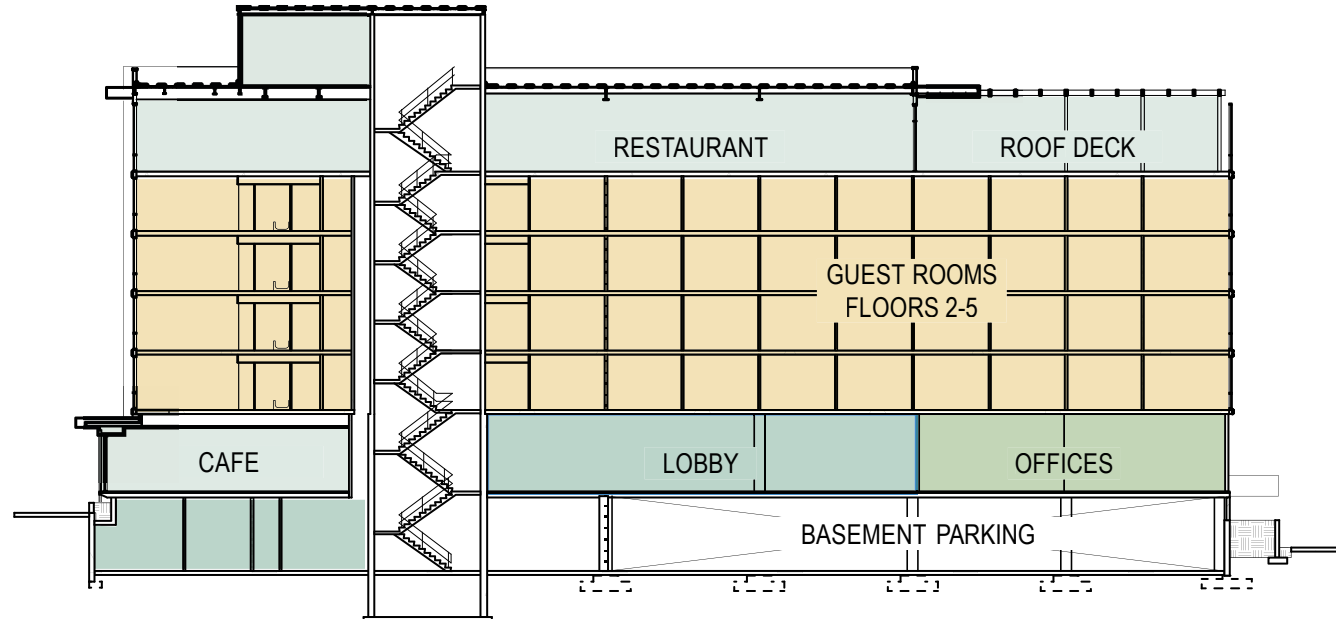
RED LION HOTEL REMODEL

DESIGN
 ADVICE
 REQUEST
 01.24.2014
 EA 13-232583 DA

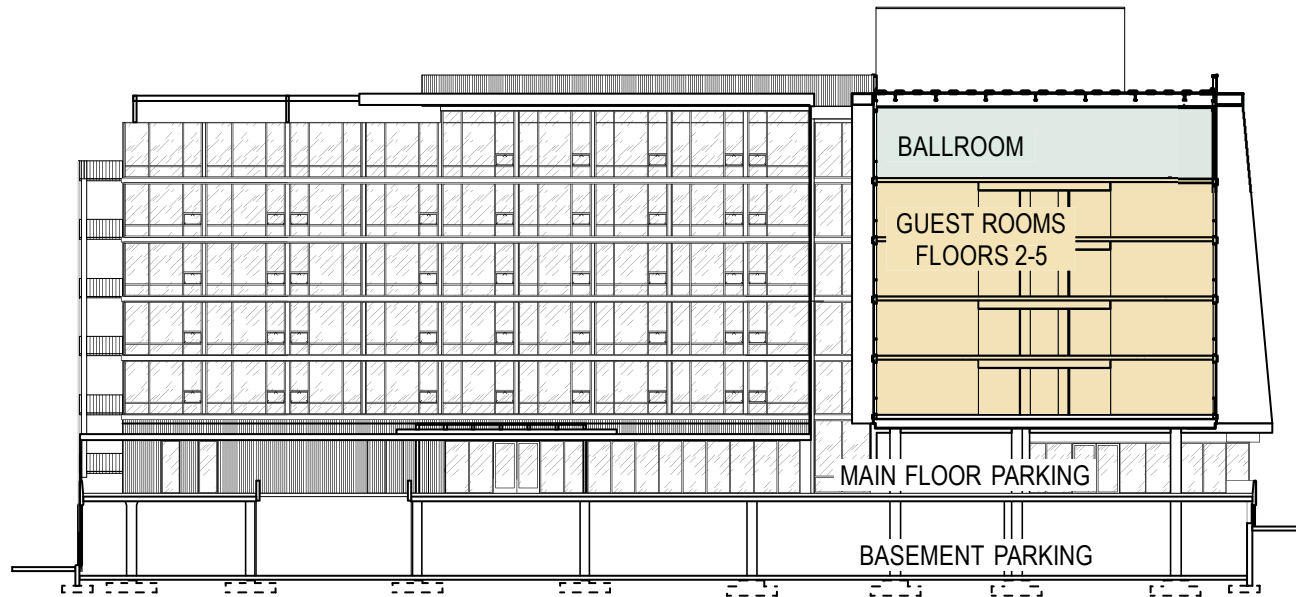
Title:
 SITE
 DIAGRAM

BUILDING REMODEL

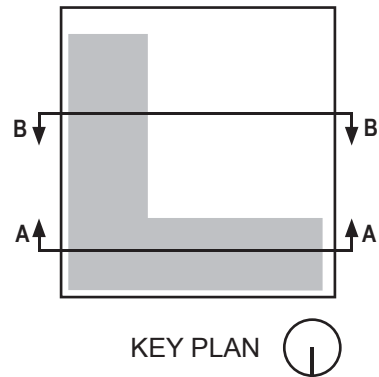
Building Area	125,675 SF
Height Limit	250'-0"
Height	74'-0"
Building Use	34,807 Gross Square Feet of S-2 (Parking) 1,267 Gross Square Feet of B (Office) 12,067 Gross Square Feet of A-2 (Restaurant and Banquet Hall) 77,567 Gross Square Feet of R-1 (Hotel)
Bike Parking	Short Term: 12 required, 12 provided Long Term: 11 required, 11 provided
Vehicle Parking	124 Parking Stalls 4 ADA Parking Stalls 1 ADA Van Accessible Stall
FAR	Building = 125,675 SF Lot = 38,000 SF FAR = 3.3:1



Site Section "A"



Site Section "B"



KEY PLAN



DESIGN
ADVICE
REQUEST

01.24.2014

EA 13-232583 DA

Title:

SITE
SECTIONS
AND ZONING
DATA

Sheet:

PROJECT

C.12	Basement Floor Plan
C.13	Site and First Floor Plan
C.14	Typ 2-5 Floor Plan
C.15	6th Floor Plan
C.16	Roof Plan
C.17	North Elevation
C.18	West Elevation
C.19	South Elevation
C.20	East Elevation
C.21	Rendering
C.22	Rendering
C.23	Rendering
C.24	Rendering
C.25	Rendering
C.26	Aerial Rendering
C.27	Parking Screen Renderings
C.28	Parking Screen Elevations
C.29	Parking Screen Sections and Details
C.30	Rendering
C.31	Rendering
C.32	Rendering
C.33	Rendering

DESIGN
ADVICE
REQUEST

01.24.2014

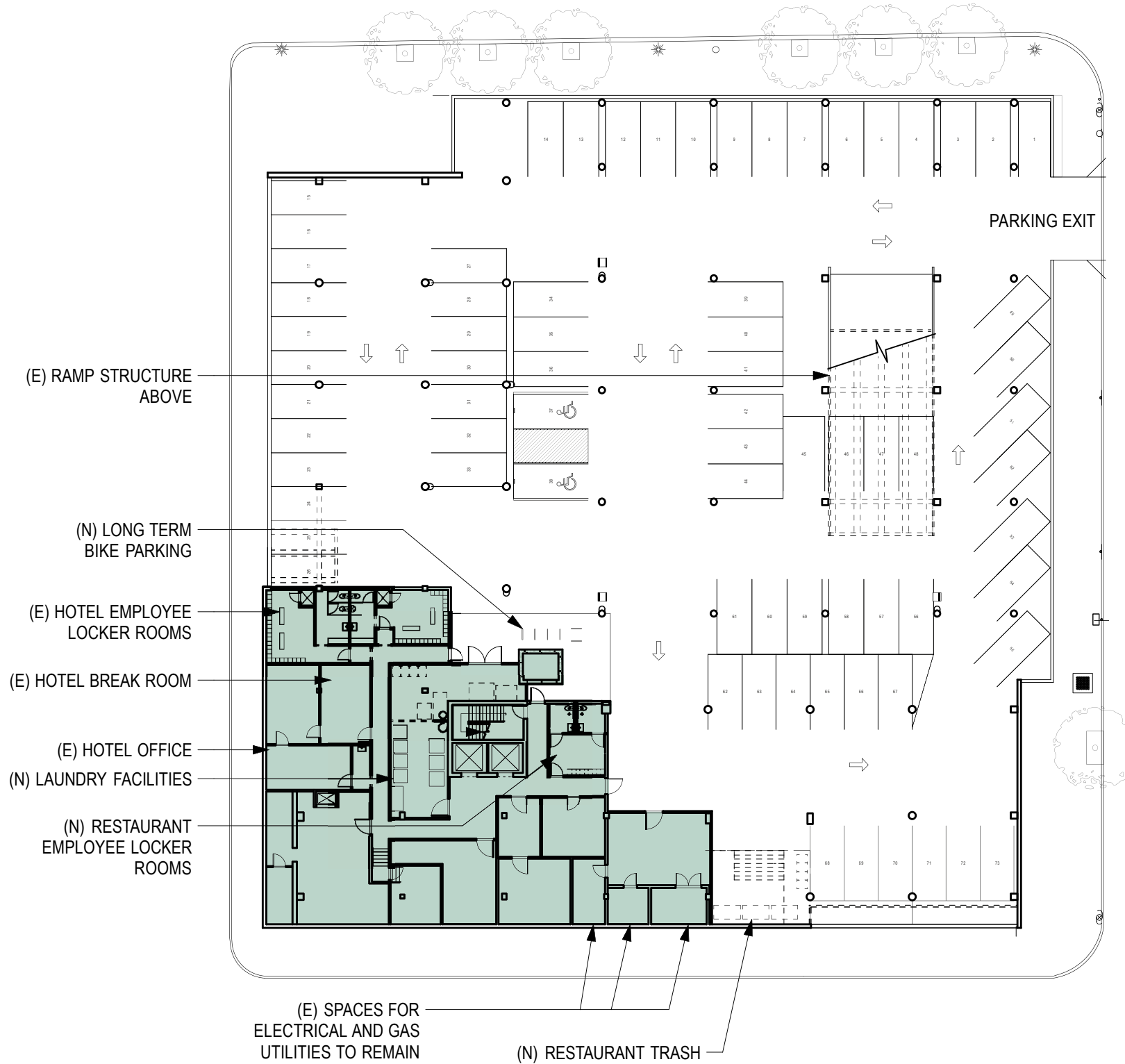
EA 13-232583 DA

Title:

BASEMENT
FLOOR PLAN

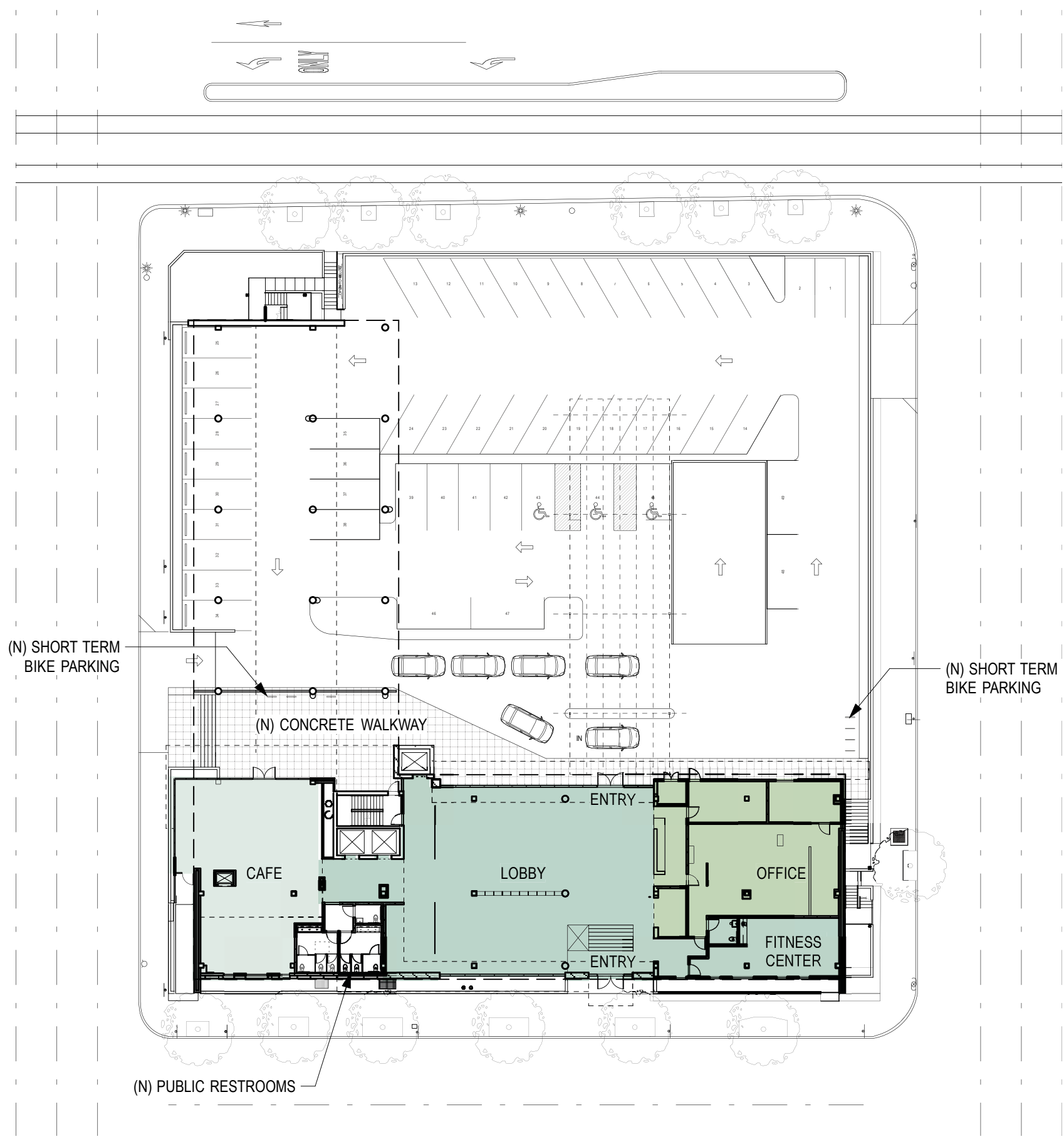
Sheet:

C.12



Floor Plan at Basement Level





Floor Plan at Level 1



RED LION HOTEL REMODEL

DESIGN
ADVICE
REQUEST

01.24.2014

EA 13-232583 DA

Title:

SITE AND
FIRST FLOOR
PLAN

Sheet:

C.13

DESIGN
ADVICE
REQUEST

01.24.2014

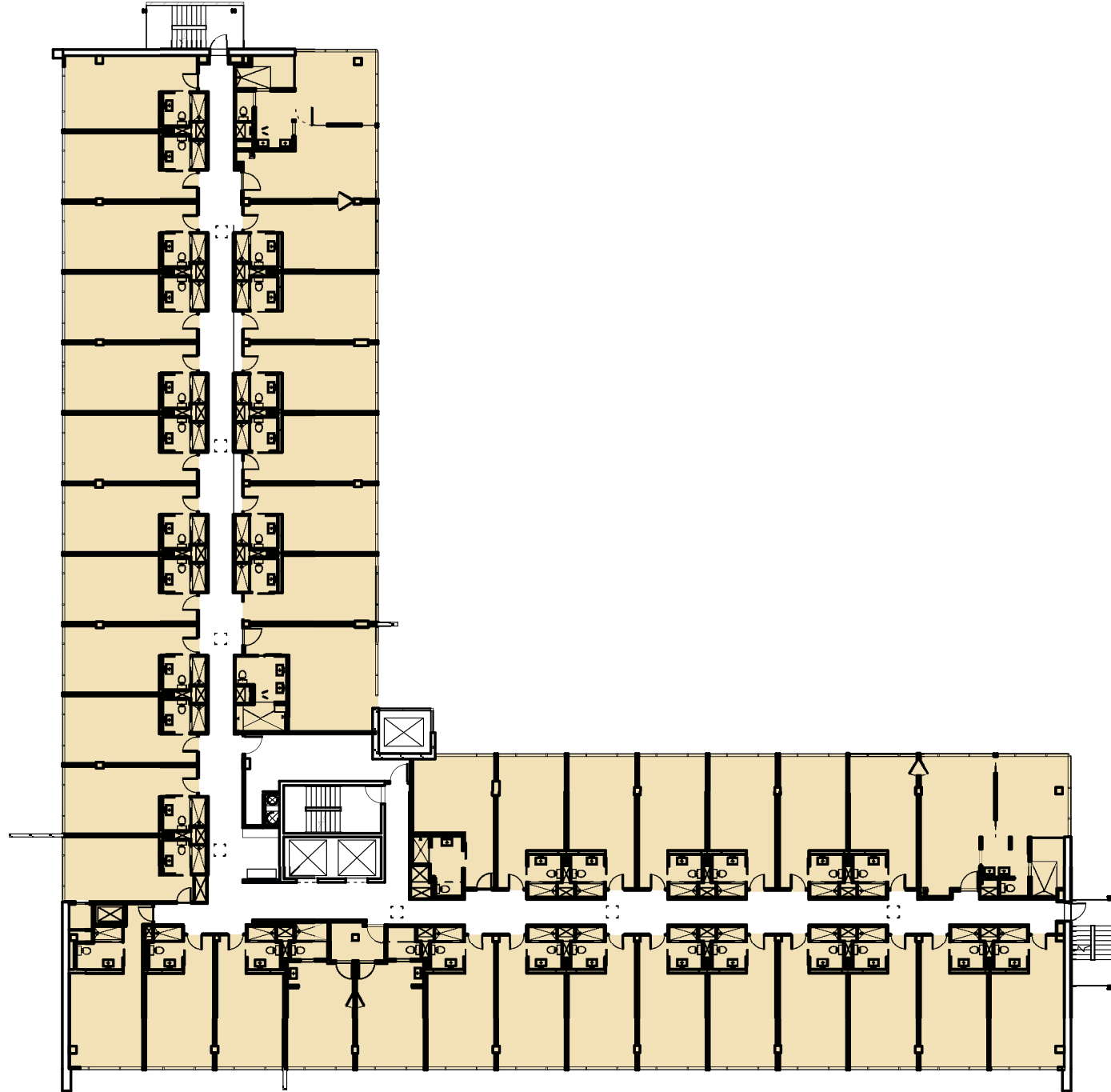
EA 13-232583 DA

Title:

TYP 2-5
FLOOR PLAN

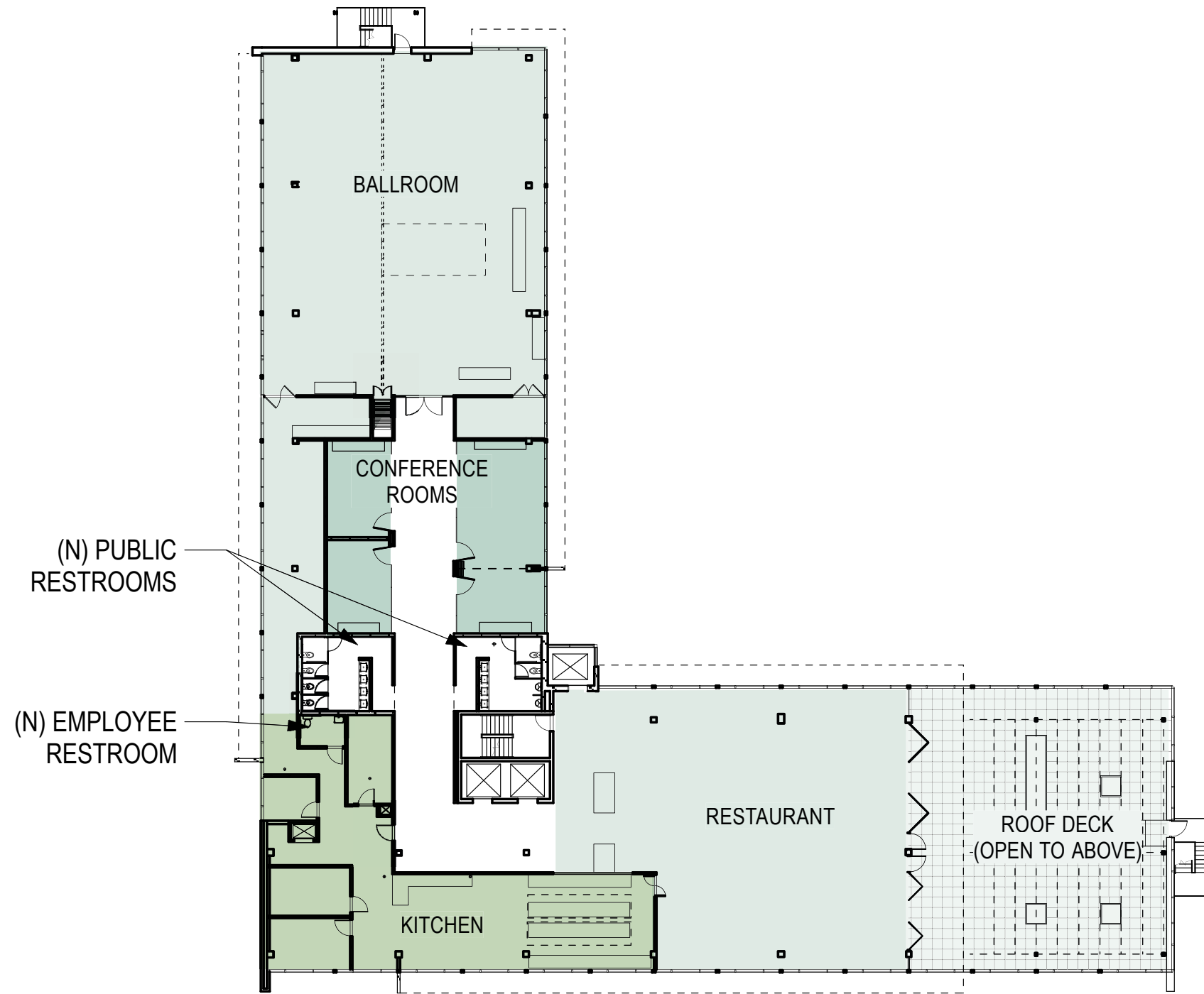
Sheet:

C.14



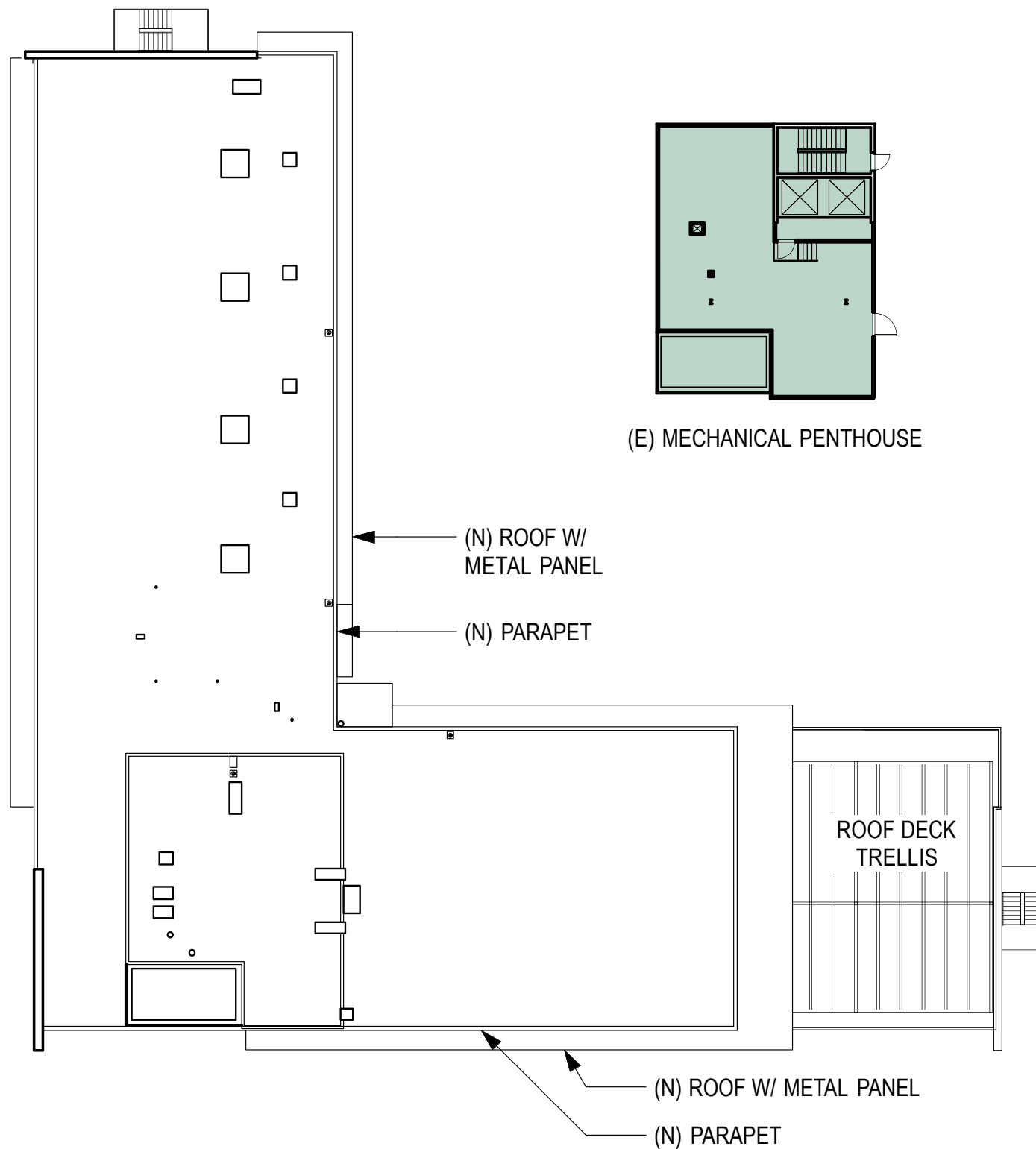
Floor Plan at Levels 2-5 (Typical Guest Room Floor)





Floor Plan at Level 6





Roof Plan



RED LION HOTEL REMODEL

KEY

- ① EXISTING BRICK PATTERN, REMOVE PAINT
- ② NEW ALUMINUM CURTAIN WALL
- ③ NEW ALUMINUM STOREFRONT
- ④ NEW CONCRETE PANEL OR METAL PANEL
- ⑤ NEW WHITE PAINTED METAL PANEL WITH CONCEALED FASTENERS
- ⑥ NEW PERFORATED METAL SCREEN
- ⑦ NEW METAL LINEAR CEILING
- ⑧ NEW PAINTED TUBE STEEL TRELLIS
- ⑨ NEW ROOF
- ⑩ NEW TRAFFIC COATING
- ⑪ NEW SIDEWALK
- ⑫ NEW ON-SITE PEDESTRIAN WALKWAY
- ⑬ NEW STAIR
- ⑭ NEW STREET TREES
- ⑮ REMOVE EXISTING SIGN
- ⑯ NEW LANDSCAPING
- ⑰ NEW ELEVATOR



North Elevation at NE Hassalo St

DESIGN
ADVICE
REQUEST

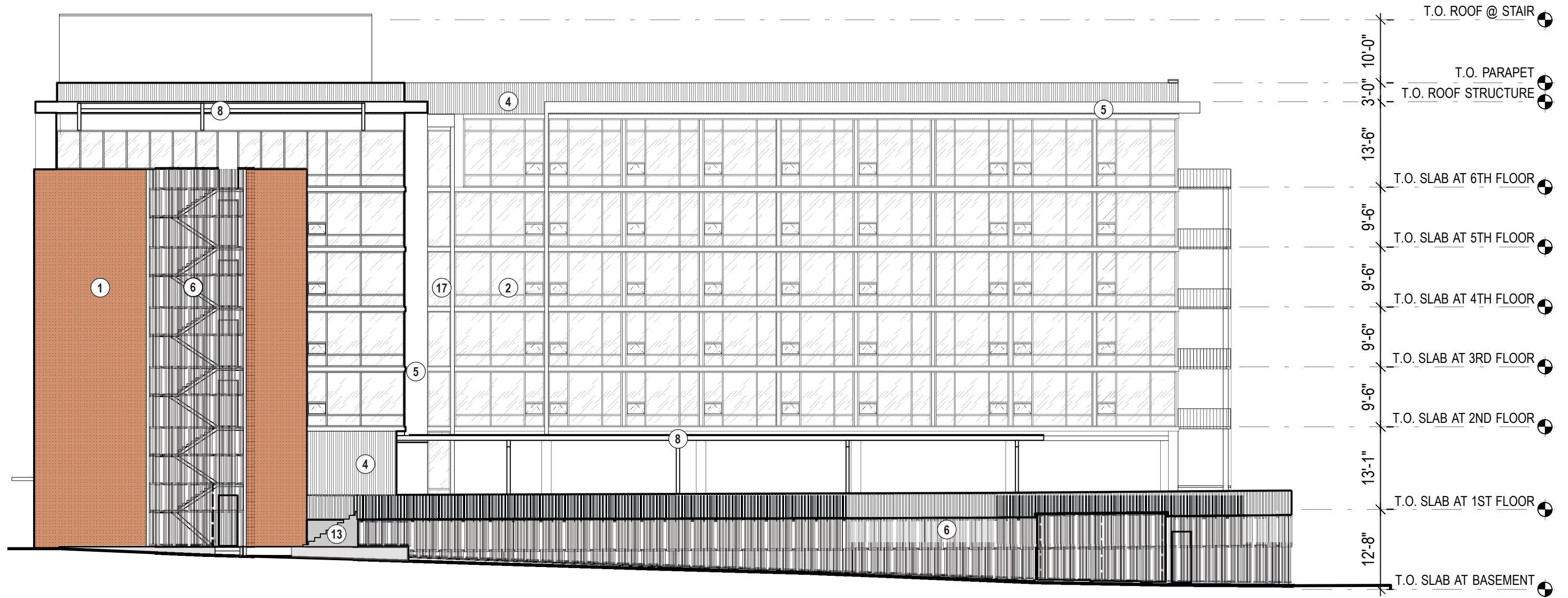
01.24.2014
EA 13-232583 DA

Title:
NORTH
ELEVATION

Sheet:

KEY

- ① EXISTING BRICK PATTERN, REMOVE PAINT
- ② NEW ALUMINUM CURTAIN WALL
- ③ NEW ALUMINUM STOREFRONT
- ④ NEW CONCRETE PANEL OR METAL PANEL
- ⑤ NEW WHITE PAINTED METAL PANEL WITH CONCEALED FASTENERS
- ⑥ NEW PERFORATED METAL SCREEN
- ⑦ NEW METAL LINEAR CEILING
- ⑧ NEW PAINTED TUBE STEEL TRELLIS
- ⑨ NEW ROOF
- ⑩ NEW TRAFFIC COATING
- ⑪ NEW SIDEWALK
- ⑫ NEW ON-SITE PEDESTRIAN WALKWAY
- ⑬ NEW STAIR
- ⑭ NEW STREET TREES
- ⑮ REMOVE EXISTING SIGN
- ⑯ NEW LANDSCAPING
- ⑰ NEW ELEVATOR



DESIGN
ADVICE
REQUEST

01.24.2014
EA 13-232583 DA

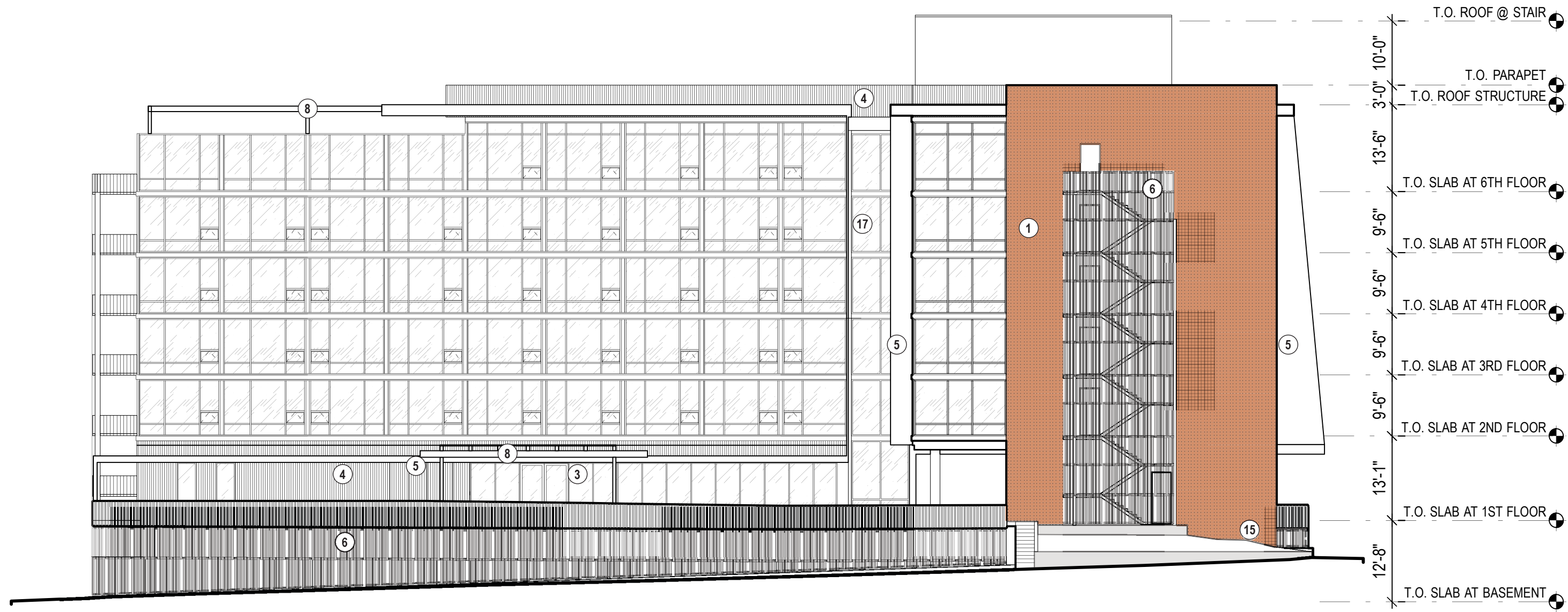
Title:
WEST
ELEVATION

West Elevation at NE MLK Jr Blvd



KEY

- ① EXISTING BRICK PATTERN, REMOVE PAINT
- ② NEW ALUMINUM CURTAIN WALL
- ③ NEW ALUMINUM STOREFRONT
- ④ NEW CONCRETE PANEL OR METAL PANEL
- ⑤ NEW WHITE PAINTED METAL PANEL WITH CONCEALED FASTENERS
- ⑥ NEW PERFORATED METAL SCREEN
- ⑦ NEW METAL LINEAR CEILING
- ⑧ NEW PAINTED TUBE STEEL TRELLIS
- ⑨ NEW ROOF
- ⑩ NEW TRAFFIC COATING
- ⑪ NEW SIDEWALK
- ⑫ NEW ON-SITE PEDESTRIAN WALKWAY
- ⑬ NEW STAIR
- ⑭ NEW STREET TREES
- ⑮ REMOVE EXISTING SIGN
- ⑯ NEW LANDSCAPING
- ⑰ NEW ELEVATOR



- T.O. ROOF @ STAIR ●
- 3'-0" 10'-0" T.O. PARAPET ●
- T.O. ROOF STRUCTURE ●
- 13'-6" T.O. SLAB AT 6TH FLOOR ●
- 9'-6" T.O. SLAB AT 5TH FLOOR ●
- 9'-6" T.O. SLAB AT 4TH FLOOR ●
- 9'-6" T.O. SLAB AT 3RD FLOOR ●
- 9'-6" T.O. SLAB AT 2ND FLOOR ●
- 13'-1" T.O. SLAB AT 1ST FLOOR ●
- 12'-8" T.O. SLAB AT BASEMENT ●

South Elevation at NE Holladay St



RED LION HOTEL REMODEL

DESIGN
ADVICE
REQUEST

01.24.2014

EA 13-232583 DA

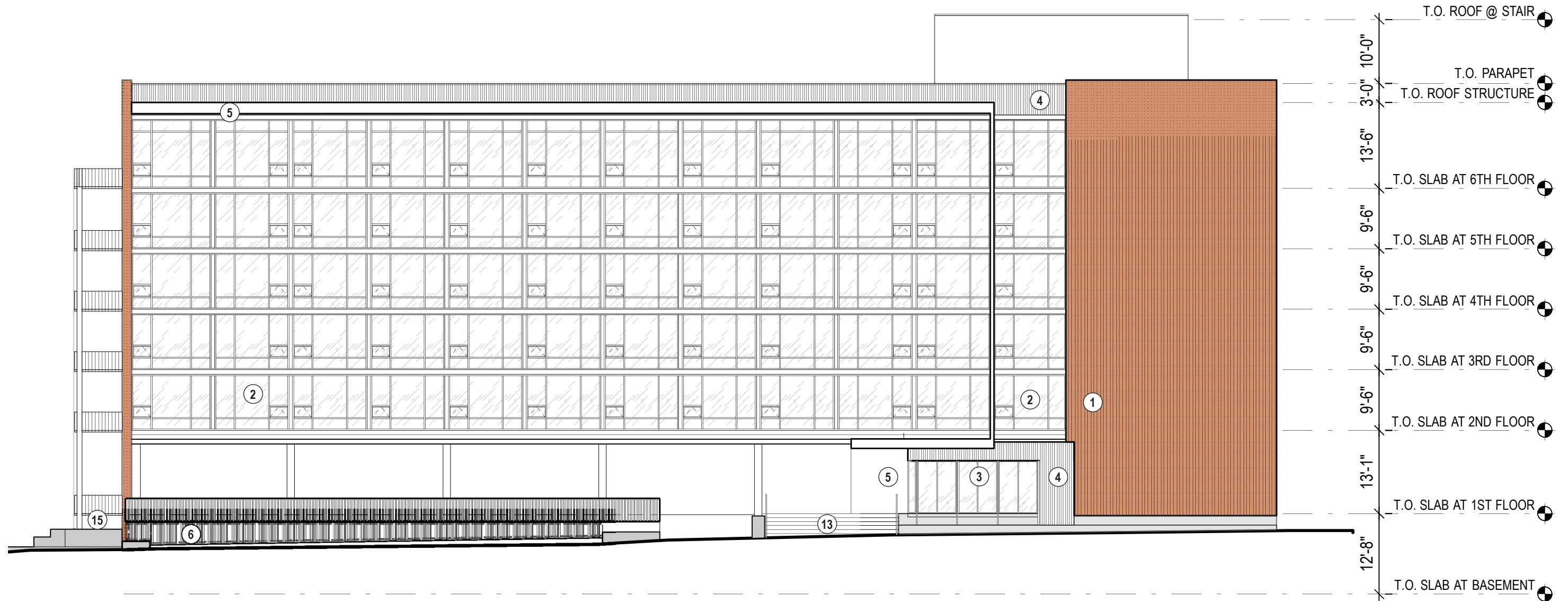
Title:

SOUTH
ELEVATION

Sheet:

KEY

- ① EXISTING BRICK PATTERN, REMOVE PAINT
- ② NEW ALUMINUM CURTAIN WALL
- ③ NEW ALUMINUM STOREFRONT
- ④ NEW CONCRETE PANEL OR METAL PANEL
- ⑤ NEW WHITE PAINTED METAL PANEL WITH CONCEALED FASTENERS
- ⑥ NEW PERFORATED METAL SCREEN
- ⑦ NEW METAL LINEAR CEILING
- ⑧ NEW PAINTED TUBE STEEL TRELLIS
- ⑨ NEW ROOF
- ⑩ NEW TRAFFIC COATING
- ⑪ NEW SIDEWALK
- ⑫ NEW ON-SITE PEDESTRIAN WALKWAY
- ⑬ NEW STAIR
- ⑭ NEW STREET TREES
- ⑮ REMOVE EXISTING SIGN
- ⑯ NEW LANDSCAPING
- ⑰ NEW ELEVATOR



DESIGN
ADVICE
REQUEST

01.24.2014
EA 13-232583 DA

Title:
EAST
ELEVATION

East Elevation at NE Grand Ave





Perspective of North-East Corner at NE Grand Ave and NE Hassalo St

KEY

- ① EXISTING BRICK PATTERN, REMOVE PAINT
- ② NEW ALUMINUM CURTAIN WALL
- ③ NEW ALUMINUM STOREFRONT
- ④ NEW CONCRETE PANEL OR METAL PANEL
- ⑤ NEW WHITE PAINTED METAL PANEL WITH CONCEALED FASTENERS
- ⑥ NEW PERFORATED METAL SCREEN
- ⑦ NEW METAL LINEAR CEILING
- ⑧ NEW PAINTED TUBE STEEL TRELLIS
- ⑨ NEW ROOF
- ⑩ NEW TRAFFIC COATING
- ⑪ NEW SIDEWALK
- ⑫ NEW ON-SITE PEDESTRIAN WALKWAY
- ⑬ NEW STAIR
- ⑭ NEW STREET TREES
- ⑮ REMOVE EXISTING SIGN
- ⑯ NEW LANDSCAPING
- ⑰ NEW ELEVATOR



Existing Conditions

KEY

- ① EXISTING BRICK PATTERN, REMOVE PAINT
- ② NEW ALUMINUM CURTAIN WALL
- ③ NEW ALUMINUM STOREFRONT
- ④ NEW CONCRETE PANEL OR METAL PANEL
- ⑤ NEW WHITE PAINTED METAL PANEL WITH CONCEALED FASTENERS
- ⑥ NEW PERFORATED METAL SCREEN
- ⑦ NEW METAL LINEAR CEILING
- ⑧ NEW PAINTED TUBE STEEL TRELLIS
- ⑨ NEW ROOF
- ⑩ NEW TRAFFIC COATING
- ⑪ NEW SIDEWALK
- ⑫ NEW ON-SITE PEDESTRIAN WALKWAY
- ⑬ NEW STAIR
- ⑭ NEW STREET TREES
- ⑮ REMOVE EXISTING SIGN
- ⑯ NEW LANDSCAPING
- ⑰ NEW ELEVATOR



Existing Conditions



Perspective of South-East Corner at NE Grand Ave and NE Holladay St

**DESIGN
ADVICE
REQUEST**

01.24.2014

EA 13-232583 DA

Title:

RENDERING

Sheet:

C.22

RED LION HOTEL REMODEL



Perspective of South-East Corner at NE Grand Ave and NE Holladay St

KEY

- ① EXISTING BRICK PATTERN, REMOVE PAINT
- ② NEW ALUMINUM CURTAIN WALL
- ③ NEW ALUMINUM STOREFRONT
- ④ NEW CONCRETE PANEL OR METAL PANEL
- ⑤ NEW WHITE PAINTED METAL PANEL WITH CONCEALED FASTENERS
- ⑥ NEW PERFORATED METAL SCREEN
- ⑦ NEW METAL LINEAR CEILING
- ⑧ NEW PAINTED TUBE STEEL TRELLIS
- ⑨ NEW ROOF
- ⑩ NEW TRAFFIC COATING
- ⑪ NEW SIDEWALK
- ⑫ NEW ON-SITE PEDESTRIAN WALKWAY
- ⑬ NEW STAIR
- ⑭ NEW STREET TREES
- ⑮ REMOVE EXISTING SIGN
- ⑯ NEW LANDSCAPING
- ⑰ NEW ELEVATOR

DESIGN
ADVICE
REQUEST

01.24.2014

EA 13-232583 DA

Title:

RENDERING

Sheet:

KEY

- ① EXISTING BRICK PATTERN, REMOVE PAINT
- ② NEW ALUMINUM CURTAIN WALL
- ③ NEW ALUMINUM STOREFRONT
- ④ NEW CONCRETE PANEL OR METAL PANEL
- ⑤ NEW WHITE PAINTED METAL PANEL WITH CONCEALED FASTENERS
- ⑥ NEW PERFORATED METAL SCREEN
- ⑦ NEW METAL LINEAR CEILING
- ⑧ NEW PAINTED TUBE STEEL TRELLIS
- ⑨ NEW ROOF
- ⑩ NEW TRAFFIC COATING
- ⑪ NEW SIDEWALK
- ⑫ NEW ON-SITE PEDESTRIAN WALKWAY
- ⑬ NEW STAIR
- ⑭ NEW STREET TREES
- ⑮ REMOVE EXISTING SIGN
- ⑯ NEW LANDSCAPING
- ⑰ NEW ELEVATOR



Existing Conditions



Perspective of North-West Corner at NE MLK Jr Blvd and NE Hassalo St

**DESIGN
ADVICE
REQUEST**

01.24.2014

EA 13-232583 DA

Title:

RENDERING

Sheet:

RED LION HOTEL REMODEL



Perspective of North-West Corner at NE MLK Jr Blvd and NE Hassalo St

KEY

- ① EXISTING BRICK PATTERN, REMOVE PAINT
- ② NEW ALUMINUM CURTAIN WALL
- ③ NEW ALUMINUM STOREFRONT
- ④ NEW CONCRETE PANEL OR METAL PANEL
- ⑤ NEW WHITE PAINTED METAL PANEL WITH CONCEALED FASTENERS
- ⑥ NEW PERFORATED METAL SCREEN
- ⑦ NEW METAL LINEAR CEILING
- ⑧ NEW PAINTED TUBE STEEL TRELLIS
- ⑨ NEW ROOF
- ⑩ NEW TRAFFIC COATING
- ⑪ NEW SIDEWALK
- ⑫ NEW ON-SITE PEDESTRIAN WALKWAY
- ⑬ NEW STAIR
- ⑭ NEW STREET TREES
- ⑮ REMOVE EXISTING SIGN
- ⑯ NEW LANDSCAPING
- ⑰ NEW ELEVATOR

DESIGN
ADVICE
REQUEST

01.24.2014

EA 13-232583 DA

Title:

RENDERING

Sheet:

C.25

KEY

- ① EXISTING BRICK PATTERN, REMOVE PAINT
- ② NEW ALUMINUM CURTAIN WALL
- ③ NEW ALUMINUM STOREFRONT
- ④ NEW CONCRETE PANEL OR METAL PANEL
- ⑤ NEW WHITE PAINTED METAL PANEL WITH CONCEALED FASTENERS
- ⑥ NEW PERFORATED METAL SCREEN
- ⑦ NEW METAL LINEAR CEILING
- ⑧ NEW PAINTED TUBE STEEL TRELLIS
- ⑨ NEW ROOF
- ⑩ NEW TRAFFIC COATING
- ⑪ NEW SIDEWALK
- ⑫ NEW ON-SITE PEDESTRIAN WALKWAY
- ⑬ NEW STAIR
- ⑭ NEW STREET TREES
- ⑮ REMOVE EXISTING SIGN
- ⑯ NEW LANDSCAPING
- ⑰ NEW ELEVATOR



Aerial view from the South-West

DESIGN
ADVICE
REQUEST

01.24.2014

EA 13-232583 DA

Title:

RENDERING

Sheet:

C.26



Perspective of South-West Corner of Lot

KEY

- ① EXISTING BRICK PATTERN, REMOVE PAINT
- ② NEW ALUMINUM CURTAIN WALL
- ③ NEW ALUMINUM STOREFRONT
- ④ NEW CONCRETE PANEL OR METAL PANEL
- ⑤ NEW WHITE PAINTED METAL PANEL WITH CONCEALED FASTENERS
- ⑥ NEW PERFORATED METAL SCREEN
- ⑦ NEW METAL LINEAR CEILING
- ⑧ NEW PAINTED TUBE STEEL TRELLIS
- ⑨ NEW ROOF
- ⑩ NEW TRAFFIC COATING
- ⑪ NEW SIDEWALK
- ⑫ NEW ON-SITE PEDESTRIAN WALKWAY
- ⑬ NEW STAIR
- ⑭ NEW STREET TREES
- ⑮ REMOVE EXISTING SIGN
- ⑯ NEW LANDSCAPING
- ⑰ NEW ELEVATOR



Parking Screen at NE Holladay St



South-West Corner of Parking Screen



Existing Conditions

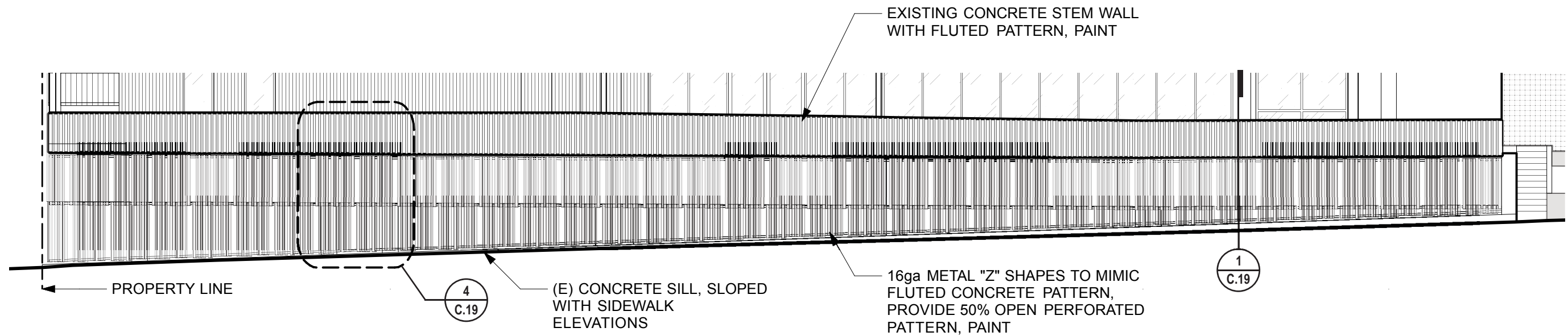
OPEN PARKING AREA:

Exterior Wall Area: 8,931sf
20% of the exterior wall area must remain open to be considered "open parking"

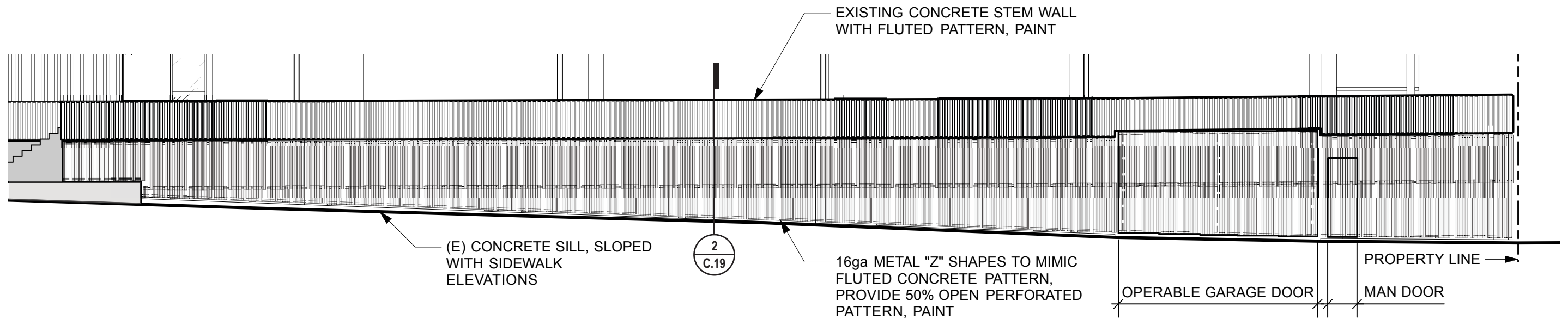
Required open area: 1,786sf
Existing open area: 3,050sf

The proposed screening would reduce the existing open area by no more than 40%.

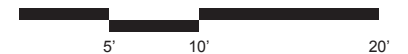
Proposed open area: ±1,850sf

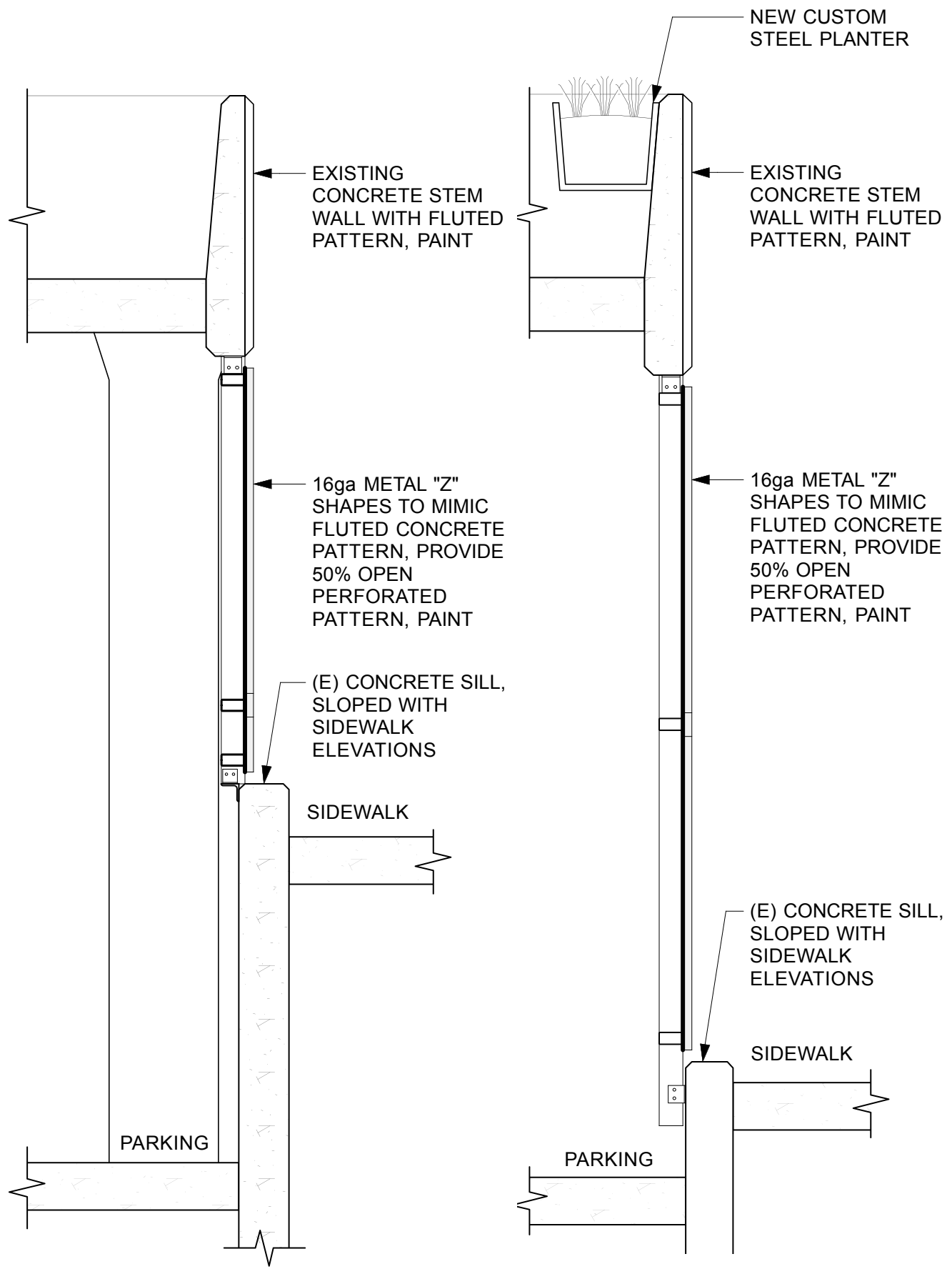


1. South Screen Elevation - NE Holladay St



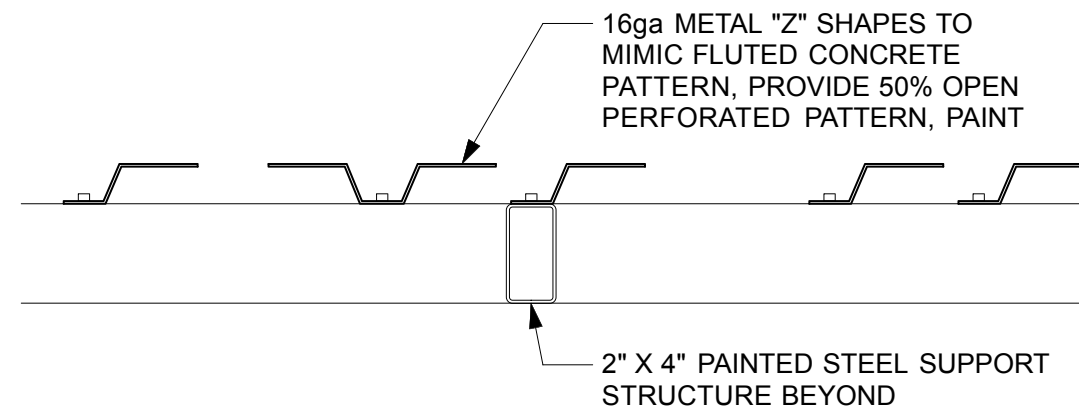
2. West Screen Elevation - NE MLK Jr Blvd



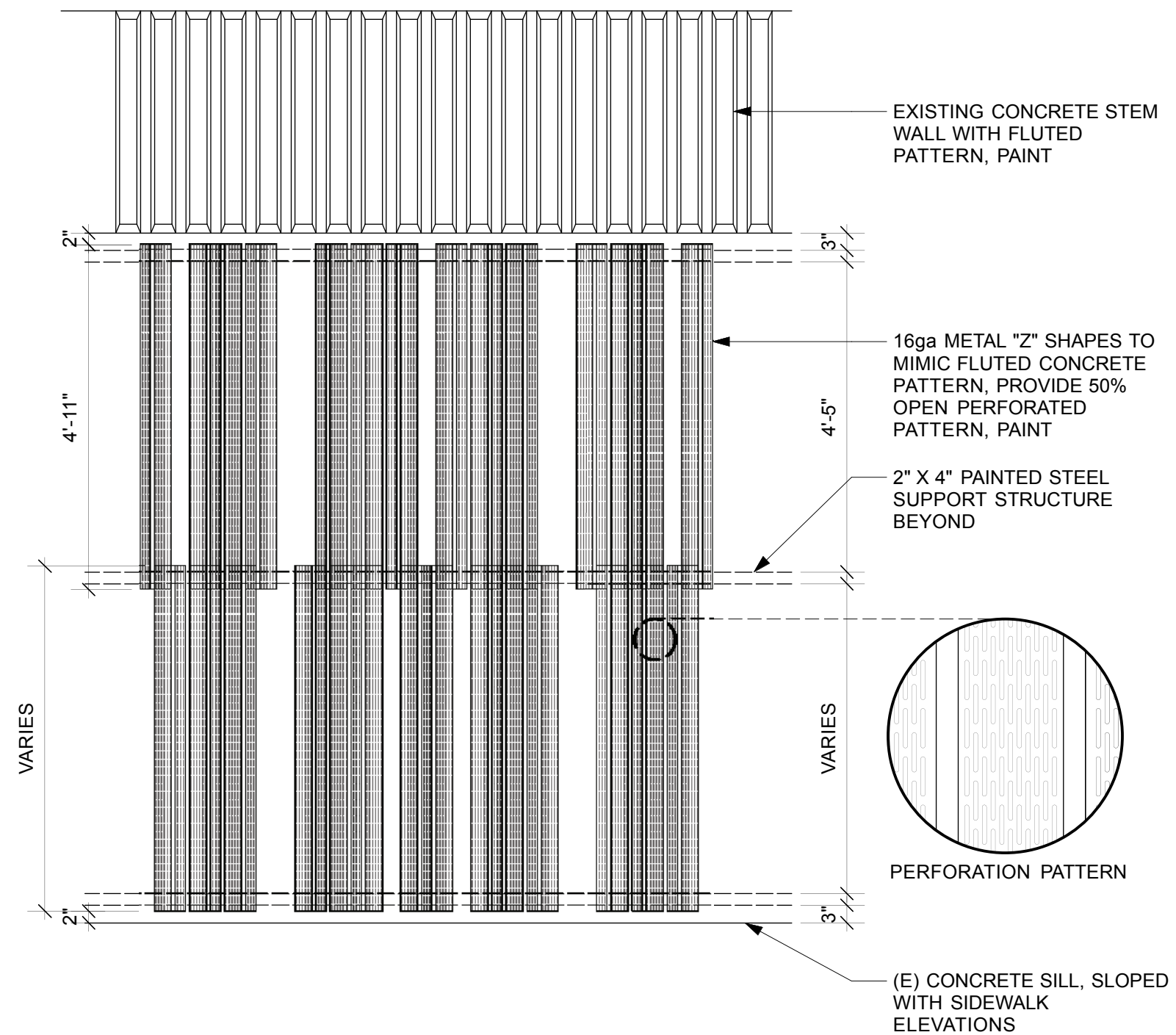


1. Section at South Elevation

2. Section at West Elevation



3. Screen Detail (plan)



4. Screen Detail (elevation)

KEY

- ① EXISTING BRICK PATTERN, REMOVE PAINT
- ② NEW ALUMINUM CURTAIN WALL
- ③ NEW ALUMINUM STOREFRONT
- ④ NEW CONCRETE PANEL OR METAL PANEL
- ⑤ NEW WHITE PAINTED METAL PANEL WITH CONCEALED FASTENERS
- ⑥ NEW PERFORATED METAL SCREEN
- ⑦ NEW METAL LINEAR CEILING
- ⑧ NEW PAINTED TUBE STEEL TRELLIS
- ⑨ NEW ROOF
- ⑩ NEW TRAFFIC COATING
- ⑪ NEW SIDEWALK
- ⑫ NEW ON-SITE PEDESTRIAN WALKWAY
- ⑬ NEW STAIR
- ⑭ NEW STREET TREES
- ⑮ REMOVE EXISTING SIGN
- ⑯ NEW LANDSCAPING
- ⑰ NEW ELEVATOR



Existing Conditions



Pedestrian Entry at NE Grand Ave

DESIGN
ADVICE
REQUEST

01.24.2014

EA 13-232583 DA

Title:

RENDERING

Sheet:



Pedestrian Entry into Lobby at NE Hassalo St

KEY

- ① EXISTING BRICK PATTERN, REMOVE PAINT
- ② NEW ALUMINUM CURTAIN WALL
- ③ NEW ALUMINUM STOREFRONT
- ④ NEW CONCRETE PANEL OR METAL PANEL
- ⑤ NEW WHITE PAINTED METAL PANEL WITH CONCEALED FASTENERS
- ⑥ NEW PERFORATED METAL SCREEN
- ⑦ NEW METAL LINEAR CEILING
- ⑧ NEW PAINTED TUBE STEEL TRELLIS
- ⑨ NEW ROOF
- ⑩ NEW TRAFFIC COATING
- ⑪ NEW SIDEWALK
- ⑫ NEW ON-SITE PEDESTRIAN WALKWAY
- ⑬ NEW STAIR
- ⑭ NEW STREET TREES
- ⑮ REMOVE EXISTING SIGN
- ⑯ NEW LANDSCAPING
- ⑰ NEW ELEVATOR



Existing Conditions

KEY

- ① EXISTING BRICK PATTERN, REMOVE PAINT
- ② NEW ALUMINUM CURTAIN WALL
- ③ NEW ALUMINUM STOREFRONT
- ④ NEW CONCRETE PANEL OR METAL PANEL
- ⑤ NEW WHITE PAINTED METAL PANEL WITH CONCEALED FASTENERS
- ⑥ NEW PERFORATED METAL SCREEN
- ⑦ NEW METAL LINEAR CEILING
- ⑧ NEW PAINTED TUBE STEEL TRELLIS
- ⑨ NEW ROOF
- ⑩ NEW TRAFFIC COATING
- ⑪ NEW SIDEWALK
- ⑫ NEW ON-SITE PEDESTRIAN WALKWAY
- ⑬ NEW STAIR
- ⑭ NEW STREET TREES
- ⑮ REMOVE EXISTING SIGN
- ⑯ NEW LANDSCAPING
- ⑰ NEW ELEVATOR



Perspective at Corner of NE Grand Ave and NE Hassalo St

DESIGN
ADVICE
REQUEST

01.24.2014

EA 13-232583 DA

Title:

RENDERING

Sheet:

C.32



Perspective of Lobby Entry at Parking Deck

KEY

- ① EXISTING BRICK PATTERN, REMOVE PAINT
- ② NEW ALUMINUM CURTAIN WALL
- ③ NEW ALUMINUM STOREFRONT
- ④ NEW CONCRETE PANEL OR METAL PANEL
- ⑤ NEW WHITE PAINTED METAL PANEL WITH CONCEALED FASTENERS
- ⑥ NEW PERFORATED METAL SCREEN
- ⑦ NEW METAL LINEAR CEILING
- ⑧ NEW PAINTED TUBE STEEL TRELLIS
- ⑨ NEW ROOF
- ⑩ NEW TRAFFIC COATING
- ⑪ NEW SIDEWALK
- ⑫ NEW ON-SITE PEDESTRIAN WALKWAY
- ⑬ NEW STAIR
- ⑭ NEW STREET TREES
- ⑮ REMOVE EXISTING SIGN
- ⑯ NEW LANDSCAPING
- ⑰ NEW ELEVATOR

APPENDIX

C.36
C.37
C.38
C.39
C.40

Materials
Screen Precedents
Trellis Precedents
Landscape Concepts
Landscape Concepts



Berridge Thin-Line

Versatile, maintenance-free, prefinished metal fascia, facade, wall or soffit panels for open spans.



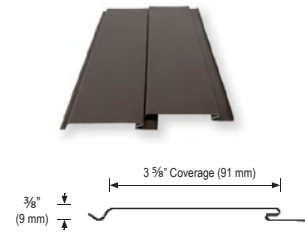
Berridge Thin Line is a multipurpose wall, soffit, liner, ceiling and fascia panel.



Berridge Thin Line panel provides smooth, narrow lines.



- 24 gauge steel
- Concealed fasteners
- Channel drain interlock
- Narrow panel with smooth appearance
- Optional wood grain or stucco embossed texture
- Use vertically for fascia or wall
- Open framing or solid sheathing
- Florida Product Approval



Thin Line Panels can be site-formed in continuous lengths using Berridge's TL-6 portable roll former.

Berridge Manufacturing Company
6515 Fratt Road
San Antonio, Texas 78218
(800) 669-0009 • www.berridge.com

See www.berridge.com for Details and Specifications



As beautiful as wood, as sustainable as concrete!

- Maintenance** | Facades clad with Öko Skin slat wall panels require minimum maintenance. Unlike wooden claddings, glassfiber reinforced concrete needs neither be abraded nor painted at regular intervals. Besides that single elements can be replaced easily.
- Easy to install** | The slat wall panels have a very convenient size and can be mounted and processed on site - both by professionals and skilled do-it-yourselfers.
- Flexible applications** | Öko Skin can be used for large-scale facades as well as for small projects such as porches, conservatories, patios, garden sheds, garages, fences and many more.
- Fire resistance** | Absolute fire resistance thanks to fire protection class A1 (incombustible) - a safe alternative to traditional wood paneling.
- Durability** | Proven long-term durability for numerous applications as a result of optimum product quality.
- Quality and Environmental Standards** | ISO 14001 ensures a systematic recording of the environmental impact of the product and its constant minimization. Rieder sets itself high standards in the protection of the environment and uses innovative technologies with ecological responsibility.
- Sustainability** | The use of high-grade raw materials consisting of mineral substances and glassfibres guarantees optimum product quality. As Öko Skin is based on natural substances the material can be completely recycled. The European Product Declaration EPD provides detailed figures of its eco-balance (according to ISO 14025 and EN 15804).
- Energy-conscious** | The production of glassfiber reinforced concrete causes 40% less global warming potential than fibre cement or aluminum sheets. Because of its excellent eco-profile, it spends 78% less primary energy than the production of HPV panels (Def. ISO Product Test 06/2006).

Product specifications

Material: glassfiber reinforced concrete
Material class: A1 - incombustible according to DIN 4102
Dead load: 7.9 resp. 15.8 kg/slat or ca. 29 kg/m²
17.4 resp. 34.4 lbs/slat or ca. 68.2 lbs/sq ft

Please refer to "Öko Skin Characteristics" on www.rieder.co for more details.

Sizes

1800 x 147 x 13 mm (0.26 m²) 70.87" x 5.79" x 1/2" (2.85 sq ft)

1800 x 202 x 13 mm (0.54 m²) 70.87" x 11.89" x 1/2" (5.85 sq ft) **NEW**

The slats can be cut to size and holes can be drilled by the craftsmen directly on site. Edges don't require sealing after cutting the slats.

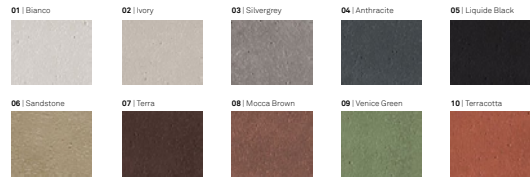
Ö
öko skin

ö is a character used in several Latin alphabets. It consists of the letter o with umlaut. It represents the unautofed form of o, resulting in [œ] or [ø].

The pronunciation of ö is like „j“ in „Jin“ - ö can be transcribed as „je“.

ö is a typical character of Austria. The ö of Öko Skin stands for Österreich (Austria), ökologisch (ecological) and ökonomisch (economical).

Colors



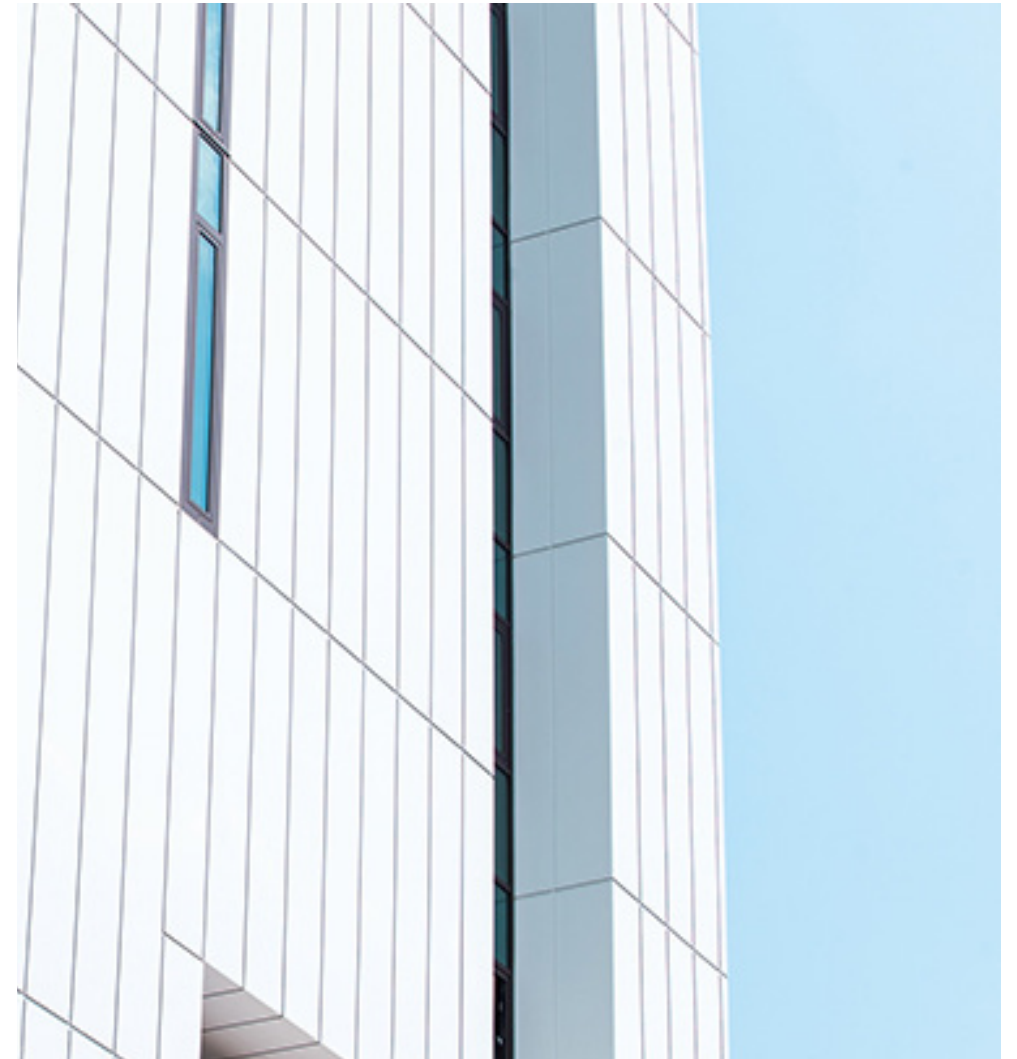
Öko Skin is colored throughout with iron oxide and natural supplements. The natural, authentic colors of Öko Skin fit well in landscapes and blend with nature and the environment. The surface of Öko Skin is sandblasted with varied pressure and creates a vivid surface.

Glassfiber reinforced concrete is a natural material. The raw materials used for the production of Öko Skin create a specific surface appearance which is typical for concrete. This play of colors within a certain color shade is intentional and enhances the vivid character of concrete.

Due to technical reasons printed colors may differ from the original panel shades.



METAL LINEAR CEILING



WHITE PAINTED METAL PANEL WITH CONCEALED FASTENERS

DESIGN
ADVICE
REQUEST

01.24.2014

EA 13-232583 DA

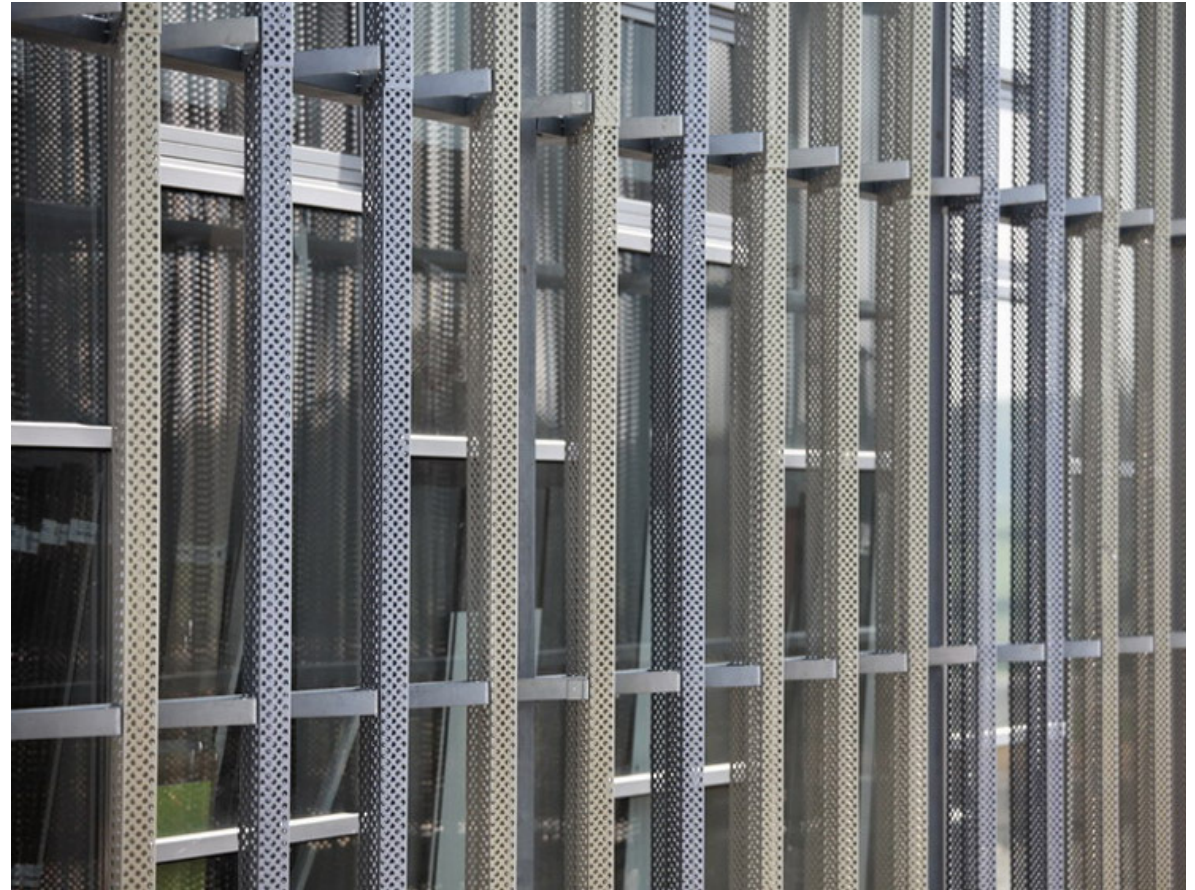
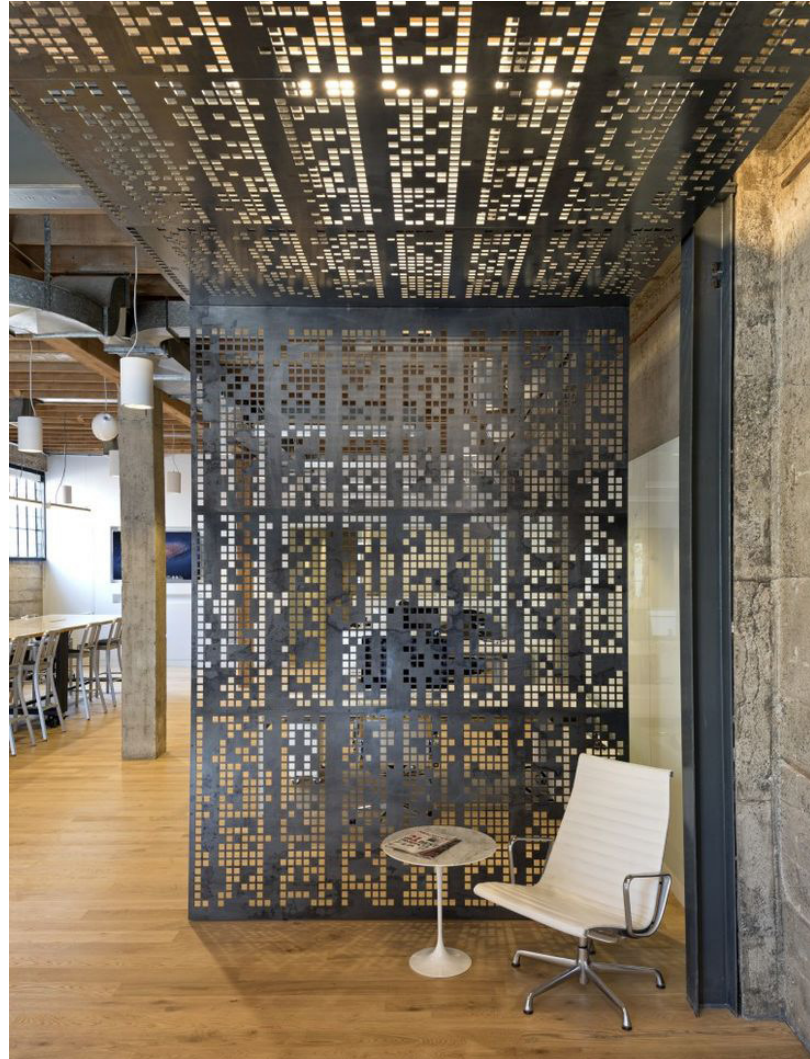
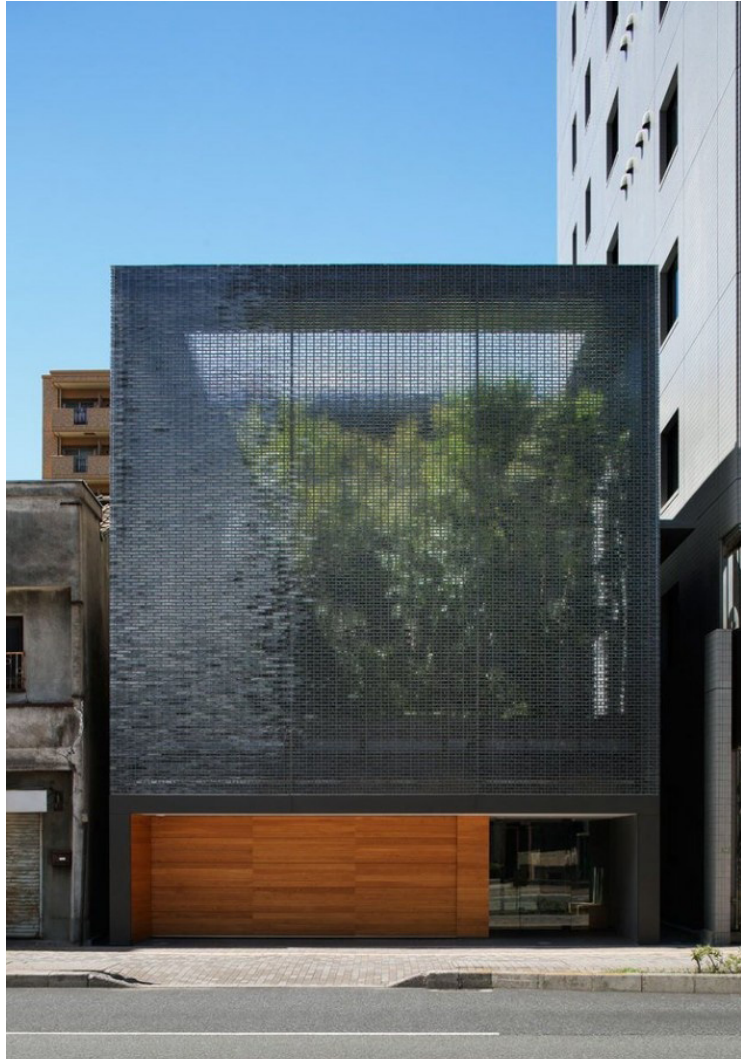
Title:

MATERIALS

Sheet:

C.36

METAL PANEL OR CONCRETE PANEL



SCREEN PRECEDENTS

RED LION HOTEL REMODEL

DESIGN
ADVICE
REQUEST

01.24.2014

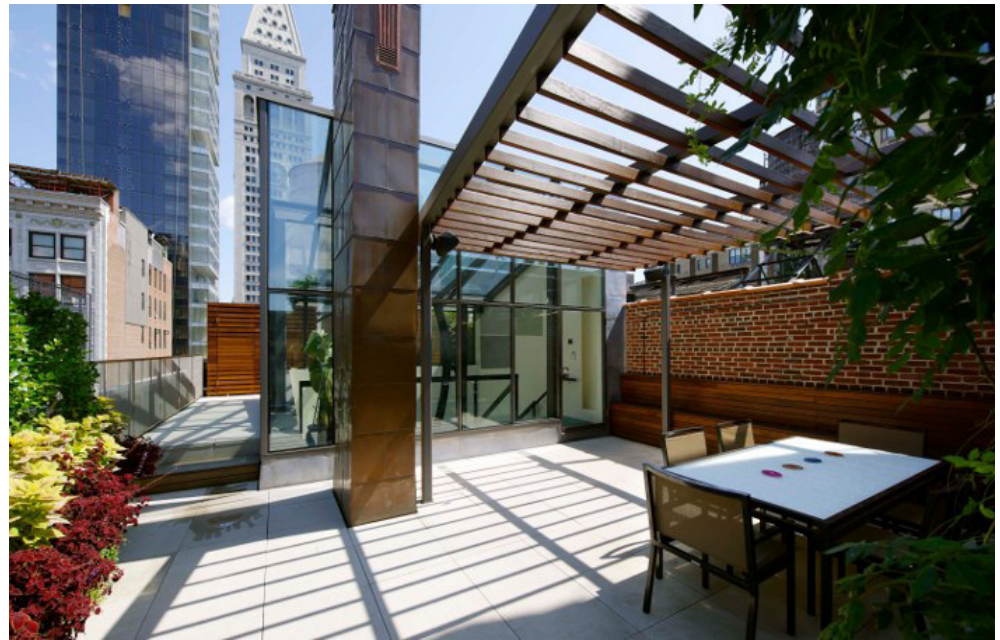
EA 13-232583 DA

Title:

SCREEN
PRECEDENTS

Sheet:

RED LION HOTEL REMODEL



TRELLIS PRECEDENTS

DESIGN
ADVICE
REQUEST

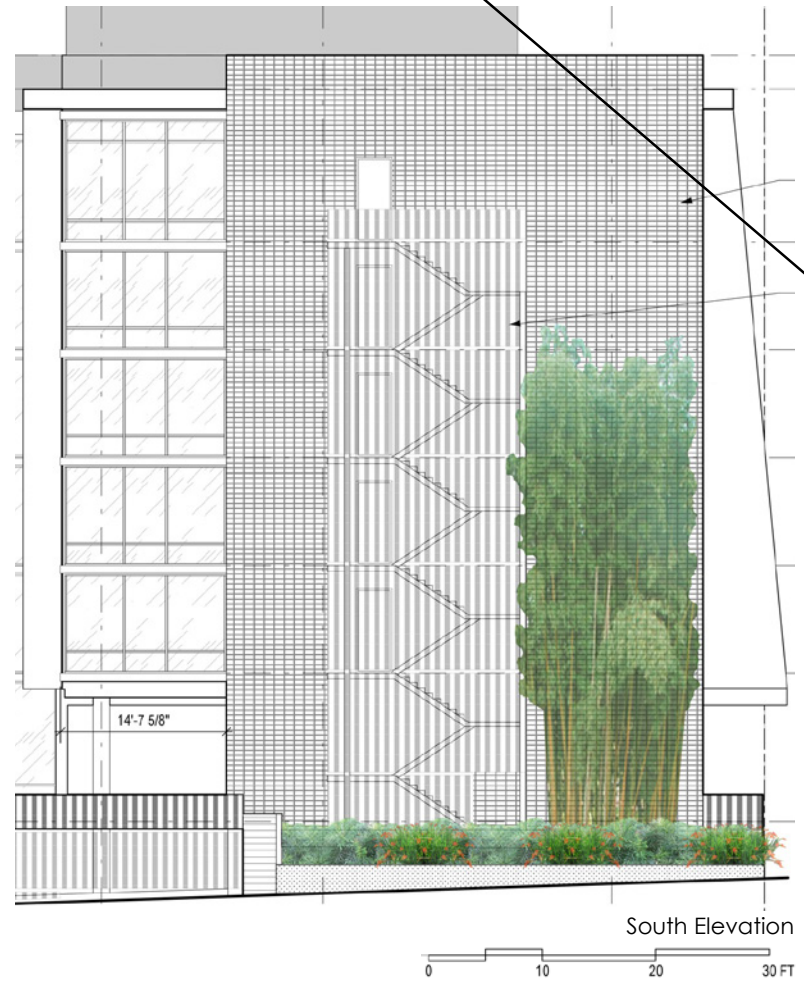
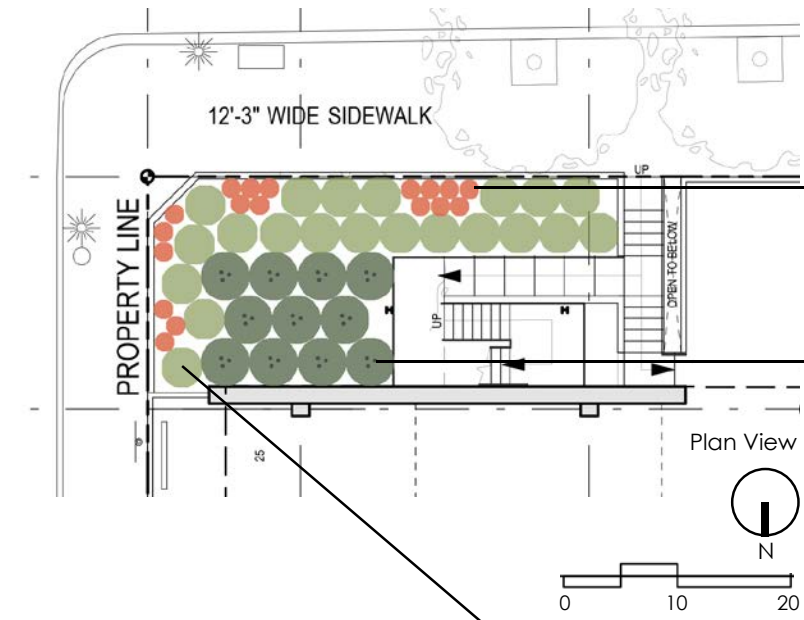
01.24.2014

EA 13-232583 DA

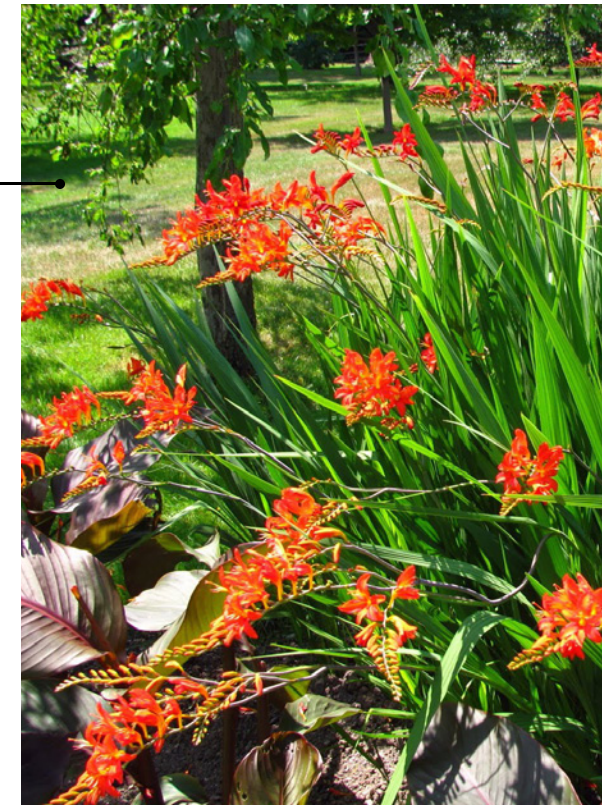
Title:

TRELLIS
PRECEDENTS

Sheet:



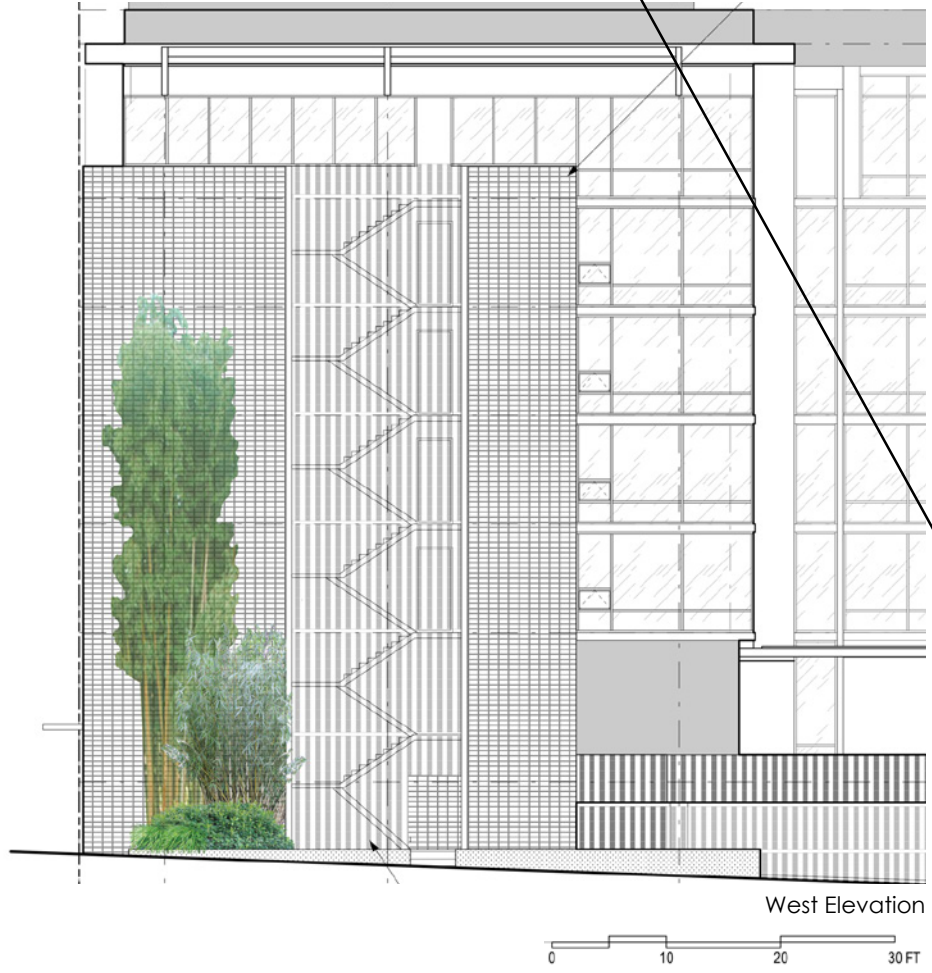
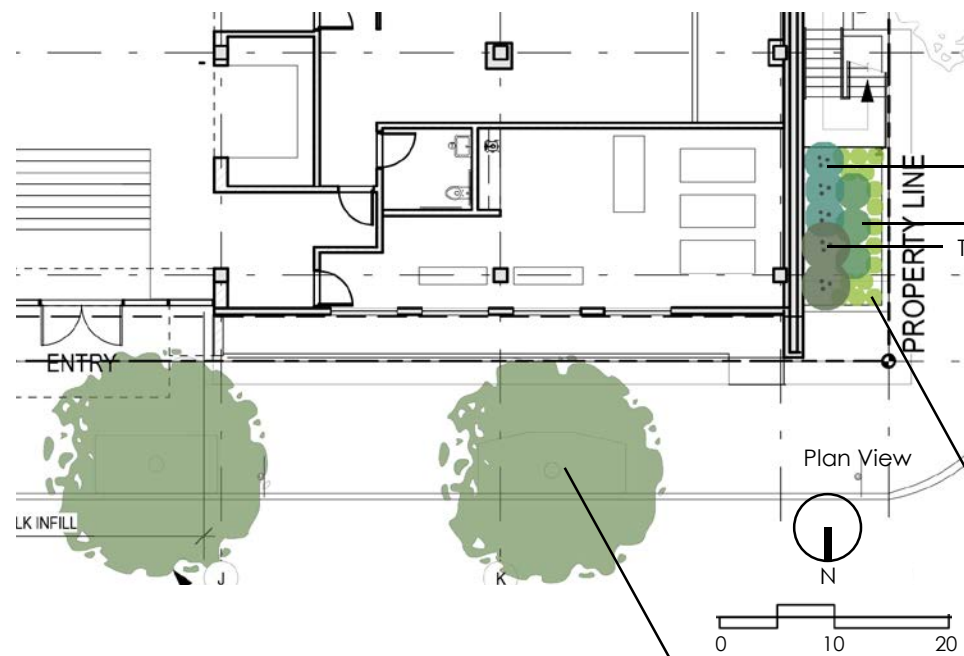
Timber Bamboo
Phyllostachys vivax



Lucifer Crocosmia
Crocosmia lucifer



'Soft Caress' Mahonia
Mahonia eurybracteata 'Soft Caress'



Green Screen Bamboo
Fargesia robusta 'Green Screen'



Wheeler's Dwarf Japanese Mock Orange
Pittosporum tobira 'Wheeler's Dwarf'



Japanese Forest Grass
Hakonechloa macra



Japanese Pagoda Tree
Sophora japonica



DESIGN
ADVICE
REQUEST

01.24.2014

EA 13-232583 DA

Title:
LANDSCAPE
CONCEPTS

Northwest Corner

Red Lion

Planting Concept

