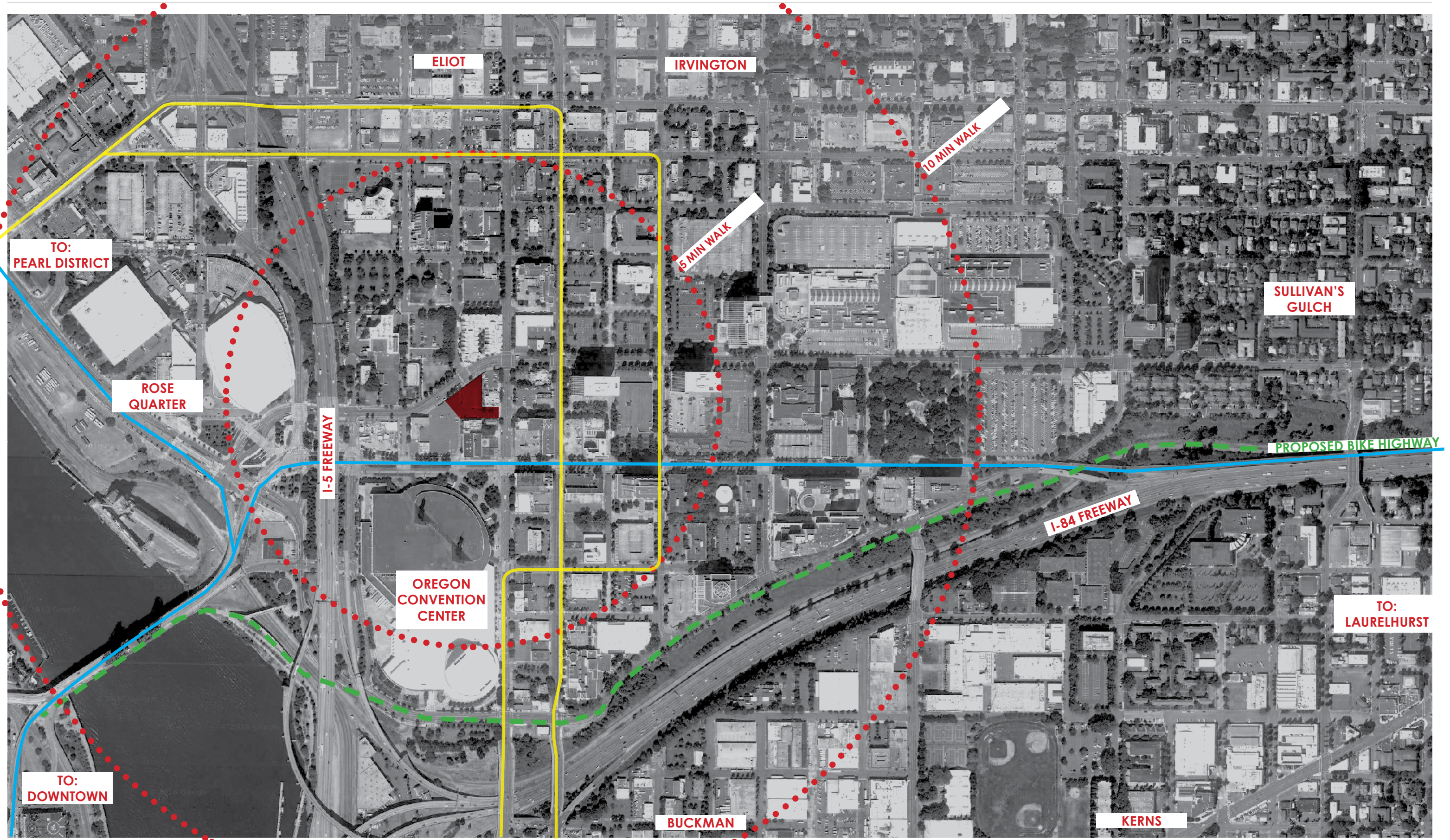


APPENDIX C

DESIGN PLANS AND ELEVATIONS

Block-A Apartments

UPDATES: June 28th, 2013



VICINITY PLAN





SOUTHEAST PERSPECTIVE VIEW AT NE M.L.K. BLVD.





PERSPECTIVE VIEW LOOKING AT COURTYARD











NORTHWEST ELEVATION-PERSPECTIVE



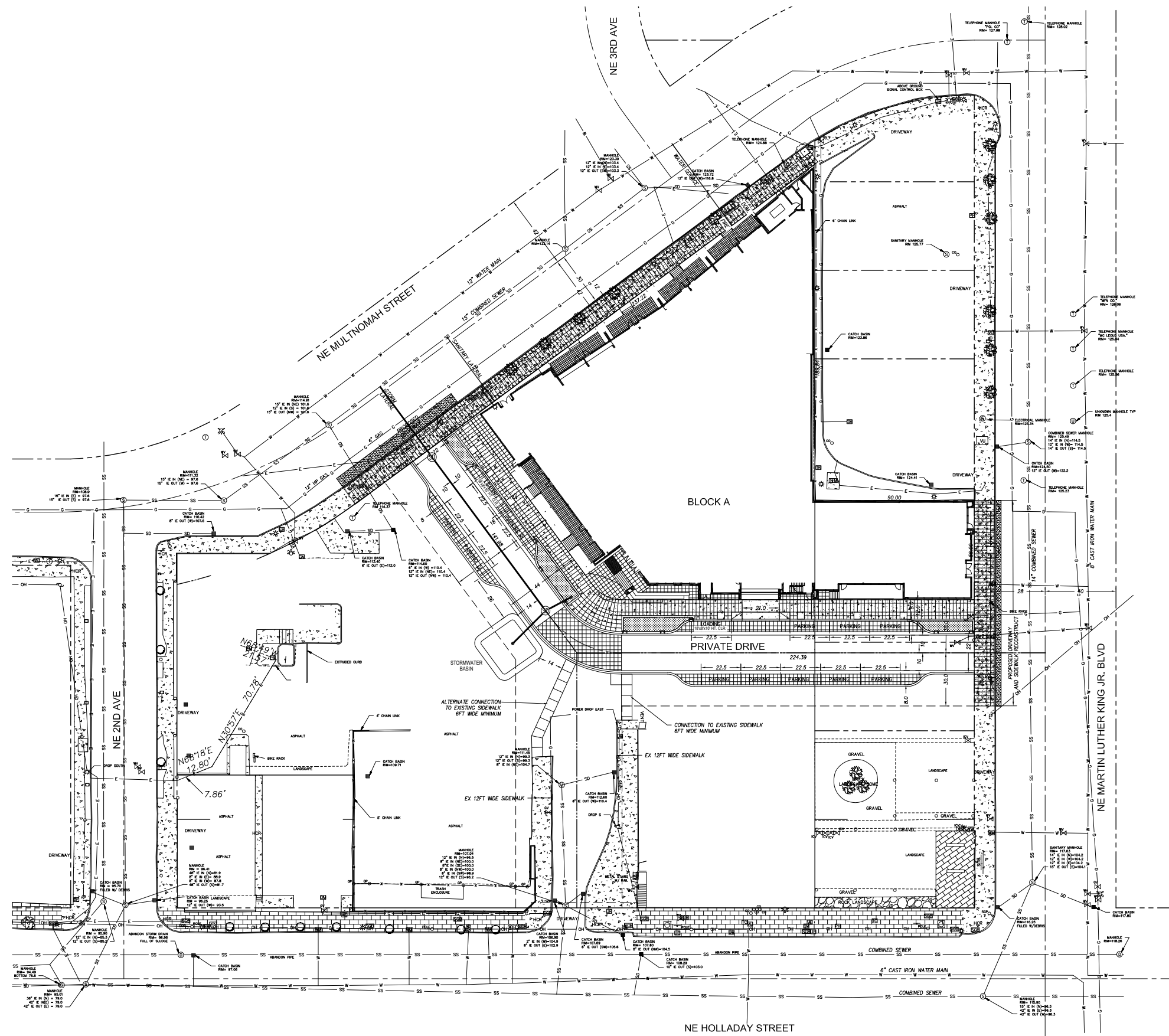
SOUTHWEST PERSPECTIVE



SOUTH ELEVATION-PERSPECTIVE



EAST COURTYARD PERSPECTIVE



SITE PLAN

SUPER BLOCK ANALYSIS TABLE	PROPERTY AREA	PROPERTIES AREA RATIOS		PLAZA (5% PROPERTY AREA REQ)		VACATED STREETS	WALKWAYS, LANDSCAPE, & PLAZA (REQ: 50% TOT. VACATED STREETS)		
		SUPER BLOCK	PRO-RATA REQ'D	PRO-RATA PROVIDED	PRO-RATA REQ'D		WLK + LSCP PROVIDED	WLK + LSCP + PLAZA PROVIDED	
TOTAL SUPER BLOCK	145,382	100.0%	7,269	-	36,732	18,366	-	-	
Powells (Burgerville)	19,855	14%	993	-	5,017	2,508	-	-	
Byrne	7,500	5%	375	-	1,895	947	-	-	
New Developed "SITE"	118,027	81%	5,901	6,360	29,821	14,910	10,603	20,313	
Block-A	45,058	31%	2,253	0	11,384	5,692	4,726	8,076	
Block-B	12,960	9%	648	-	3,274	1,637	-	-	
Block-C	60,009	41%	3,000	6,360	15,162	7,581	5,877	12,237	

TOTAL SUPERBLOCK AREA:
145,382 SF

NEW DEVELOPED SITE AREA:
118,027 SF

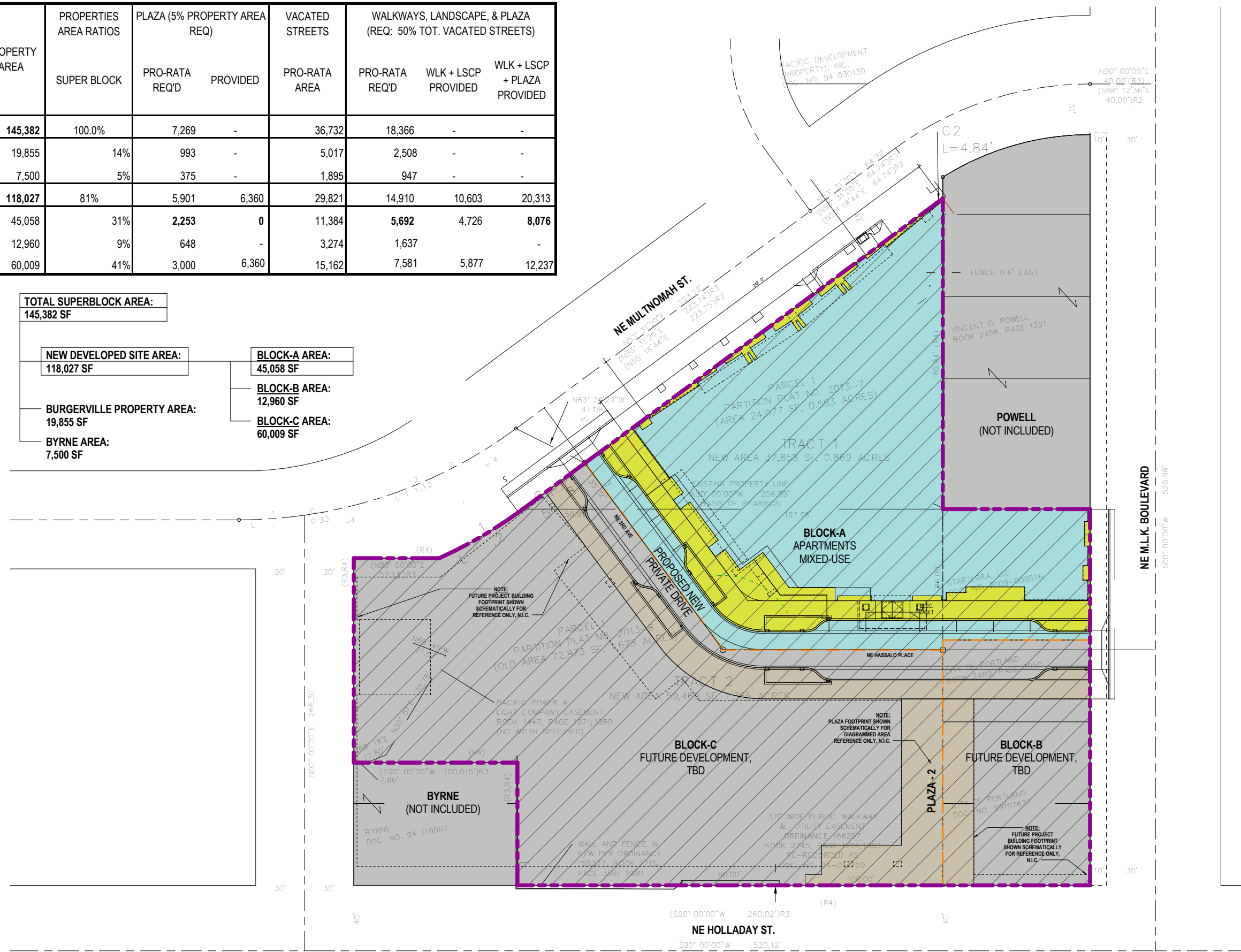
BURGERVILLE PROPERTY AREA:
19,855 SF

BYRNE AREA:
7,500 SF

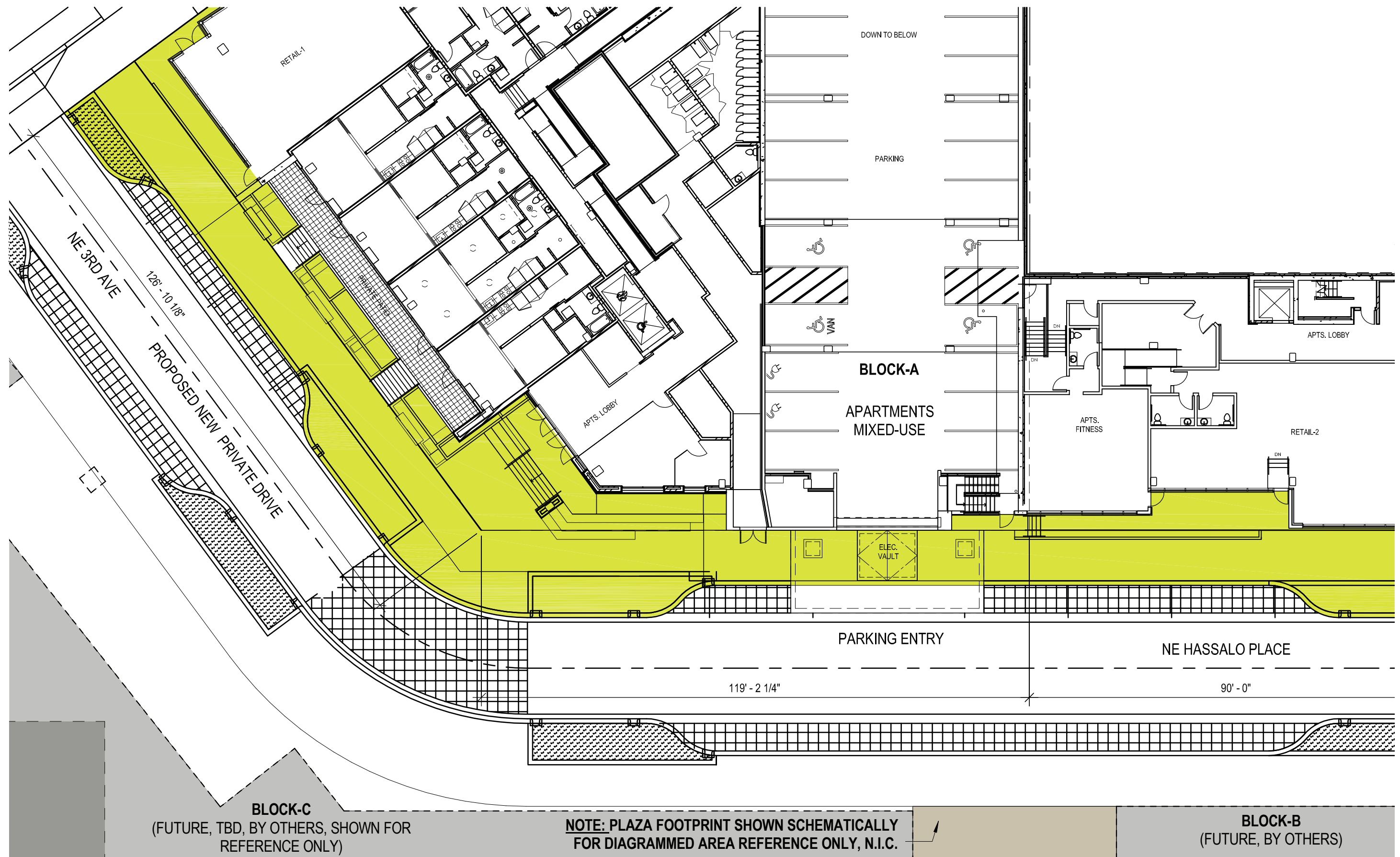
BLOCK-A AREA:
45,058 SF

BLOCK-B AREA:
12,960 SF

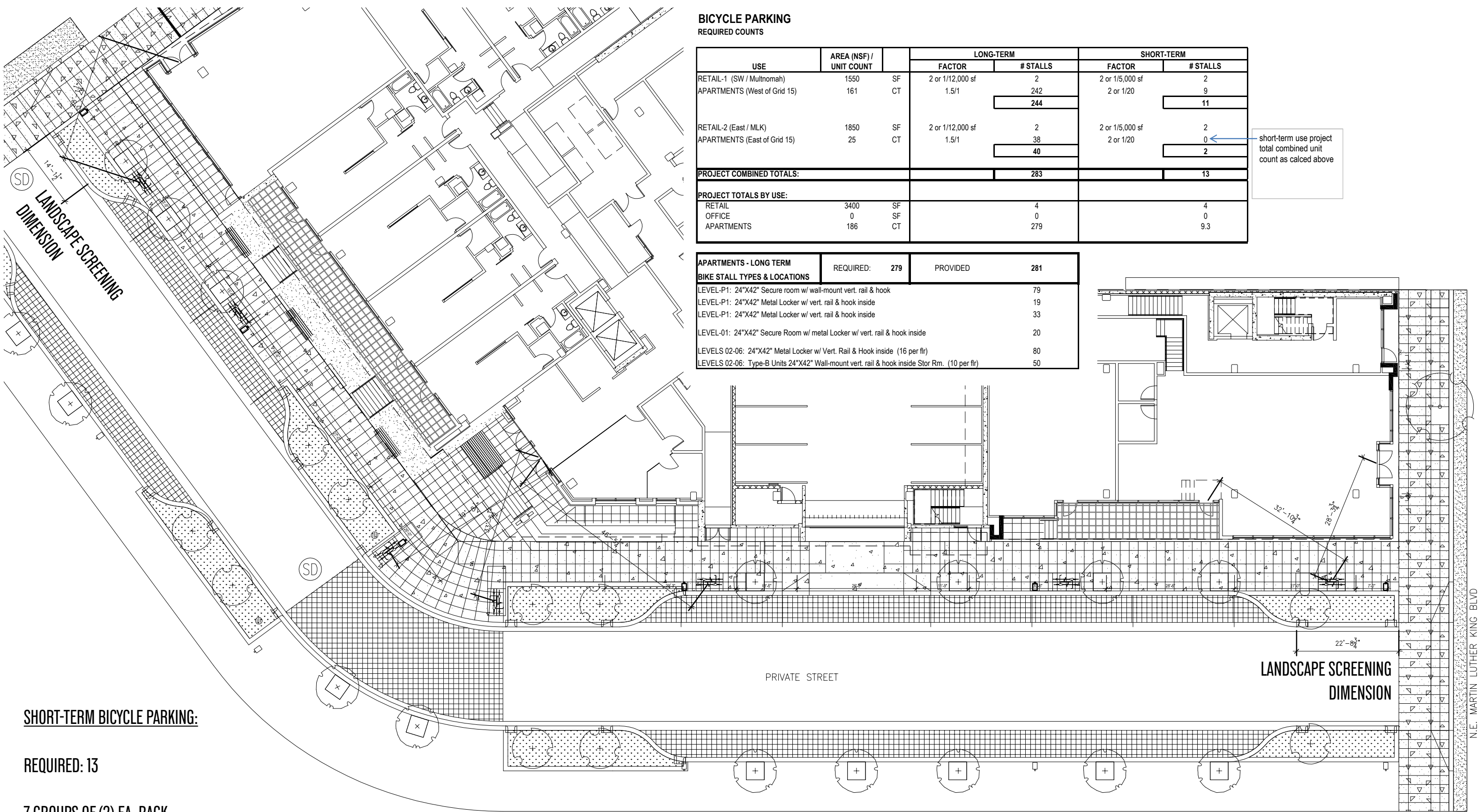
BLOCK-C AREA:
60,009 SF



SUPERBLOCK & SITE AREAS DIAGRAM PLAN



SUPERBLOCK PLAZA, WALKWAYS & LANDSCAPING



**BICYCLE PARKING
REQUIRED COUNTS**

USE	AREA (NSF) / UNIT COUNT		LONG-TERM		SHORT-TERM	
			FACTOR	# STALLS	FACTOR	# STALLS
RETAIL-1 (SW / Multnomah)	1550	SF	2 or 1/12,000 sf	2	2 or 1/5,000 sf	2
APARTMENTS (West of Grid 15)	161	CT	1.5/1	242	2 or 1/20	9
				244		11
RETAIL-2 (East / MLK)	1850	SF	2 or 1/12,000 sf	2	2 or 1/5,000 sf	2
APARTMENTS (East of Grid 15)	25	CT	1.5/1	38	2 or 1/20	0
				40		2
PROJECT COMBINED TOTALS:				283		13
PROJECT TOTALS BY USE:						
RETAIL	3400	SF		4		4
OFFICE	0	SF		0		0
APARTMENTS	186	CT		279		9.3

short-term use project total combined unit count as calced above

APARTMENTS - LONG TERM BIKE STALL TYPES & LOCATIONS	REQUIRED:	279	PROVIDED	281
LEVEL-P1: 24"x42" Secure room w/ wall-mount vert. rail & hook				79
LEVEL-P1: 24"x42" Metal Locker w/ vert. rail & hook inside				19
LEVEL-P1: 24"x42" Metal Locker w/ vert. rail & hook inside				33
LEVEL-01: 24"x42" Secure Room w/ metal Locker w/ vert. rail & hook inside				20
LEVELS 02-06: 24"x42" Metal Locker w/ Vert. Rail & Hook inside (16 per flr)				80
LEVELS 02-06: Type-B Units 24"x42" Wall-mount vert. rail & hook inside Stor Rm. (10 per flr)				50

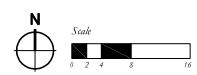
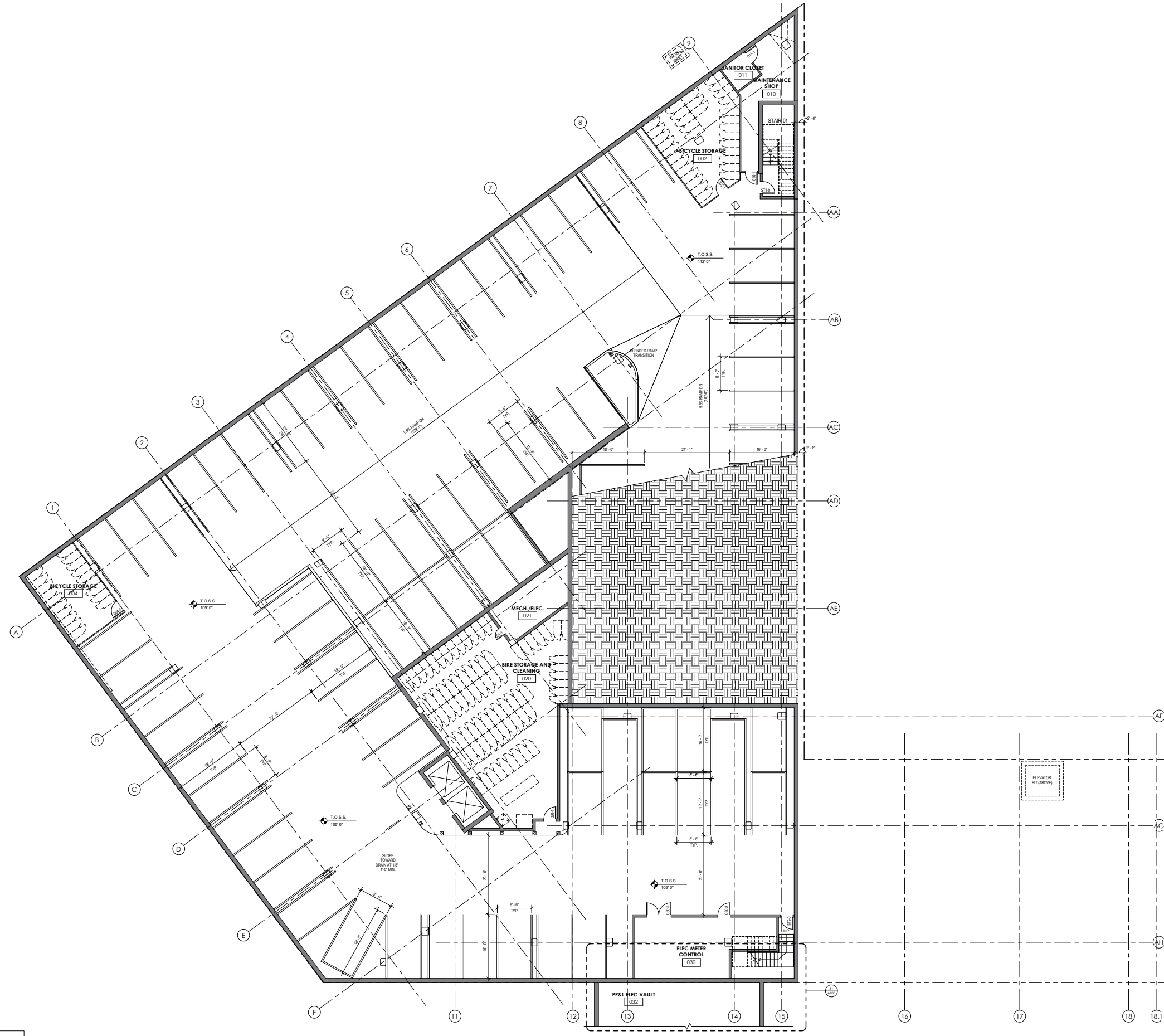
SHORT-TERM BICYCLE PARKING:

REQUIRED: 13

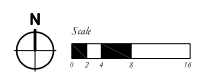
7 GROUPS OF (2) EA. RACK

PROVIDED: 14

BIKE PARKING SITE PLAN & COUNTS SUMMARY



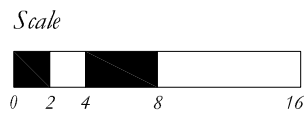
PARKING PLAN



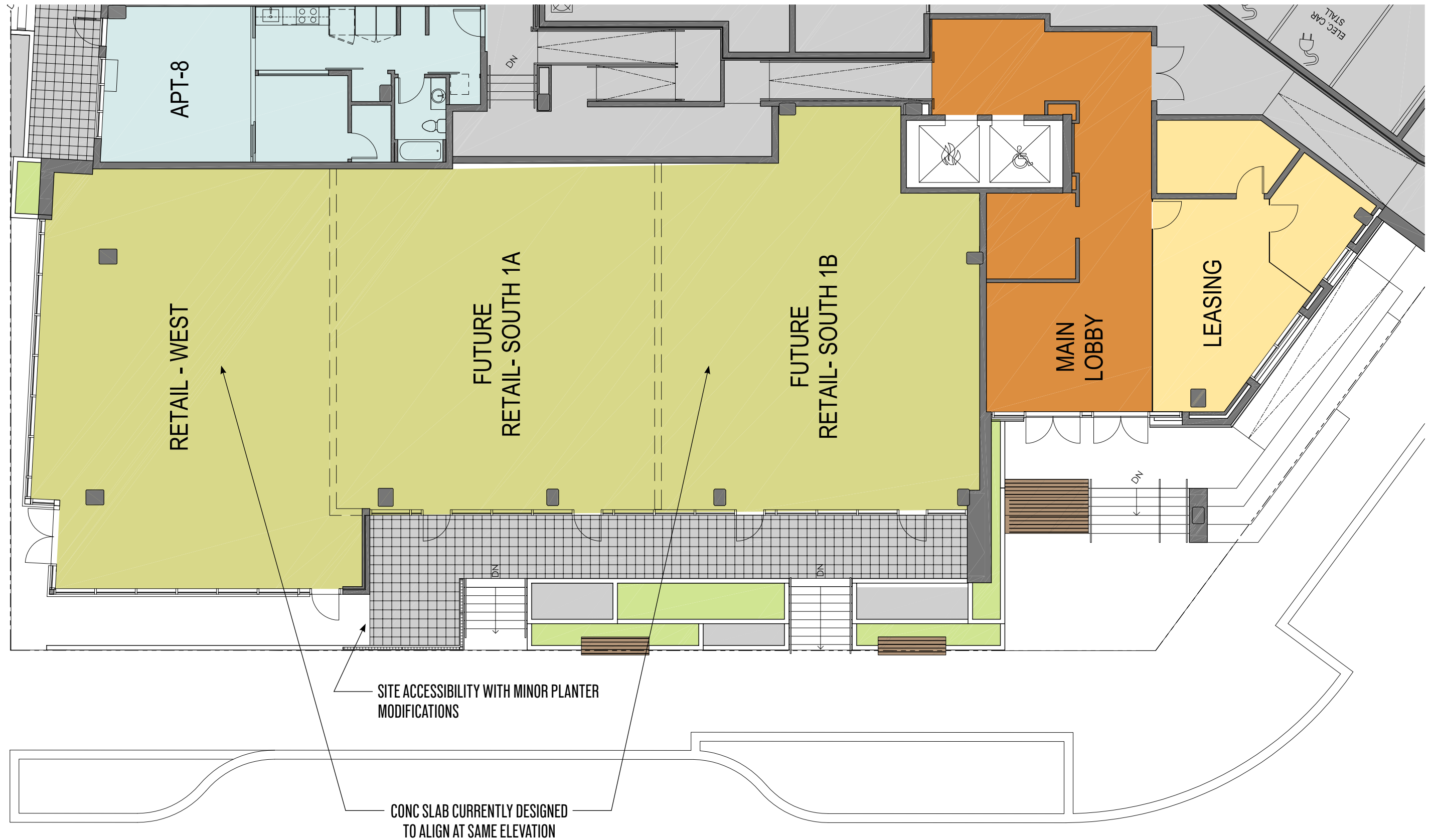
GROUND FLOOR PLAN



SCALE: 3/16" = 1'-0"



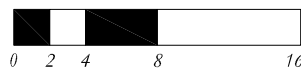
ENLARGED PARTIAL GROUND FLOOR PLAN - CURRENT DESIGN



SCALE: 3/16" = 1'-0"



Scale



ENLARGED PARTIAL GROUND FLOOR PLAN - FUTURE RETAIL EXPANSION (TBD)



SECOND FLOOR PLAN (TYPICAL 3RD + 4TH)

PLANT LIST

ORNAMENTAL



Coral Bark Japanese Maple



Blue Oat Grass



Black Mondo Grass



Boxleaf Hebe



Painted Japanese Fern



Climbing Vine

STORMWATER PLANTER



Vine Maple



Red-twig Dogwood



Douglas Spiraea



Sedge



Rush



Sword Fern



MATERIALS



A. Board Form Concrete Stormwater Planter



B. Lightweight Planter with Ornamental Plantings



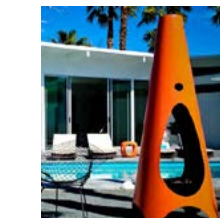
C. Bench



D. Stormwater Runnel

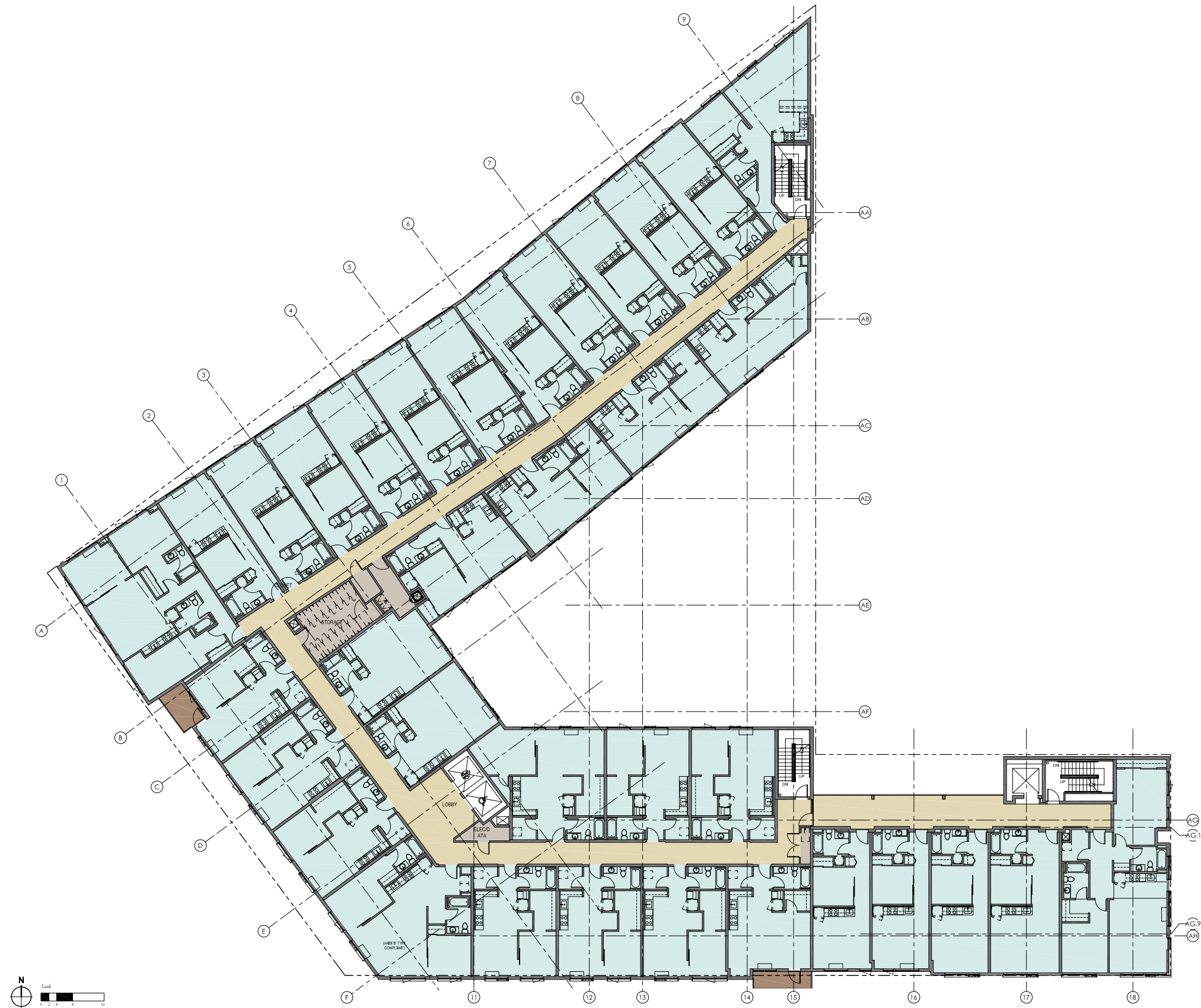


E. Fire Pit

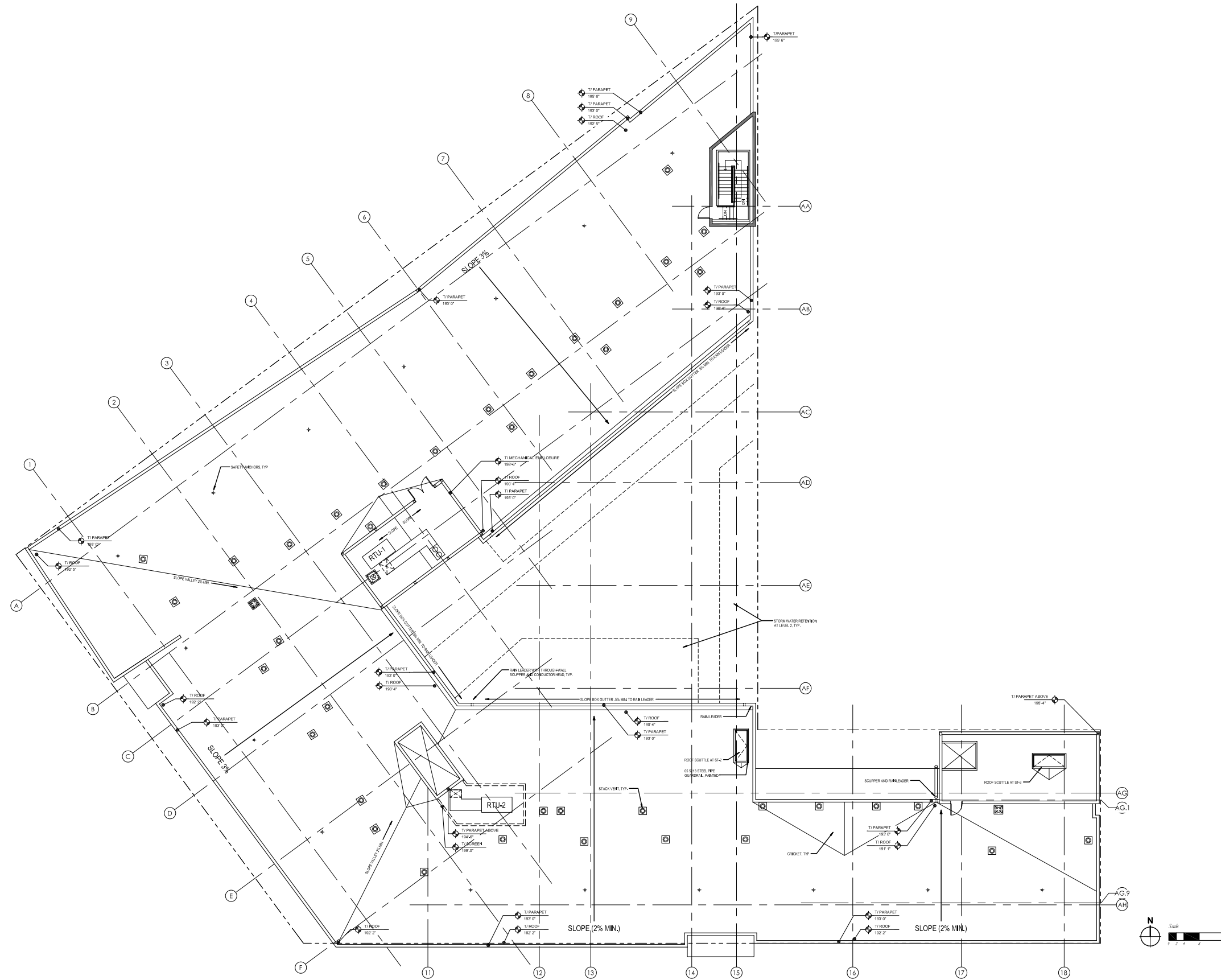


F. 2'x2' Precast Concrete Unit Pavers

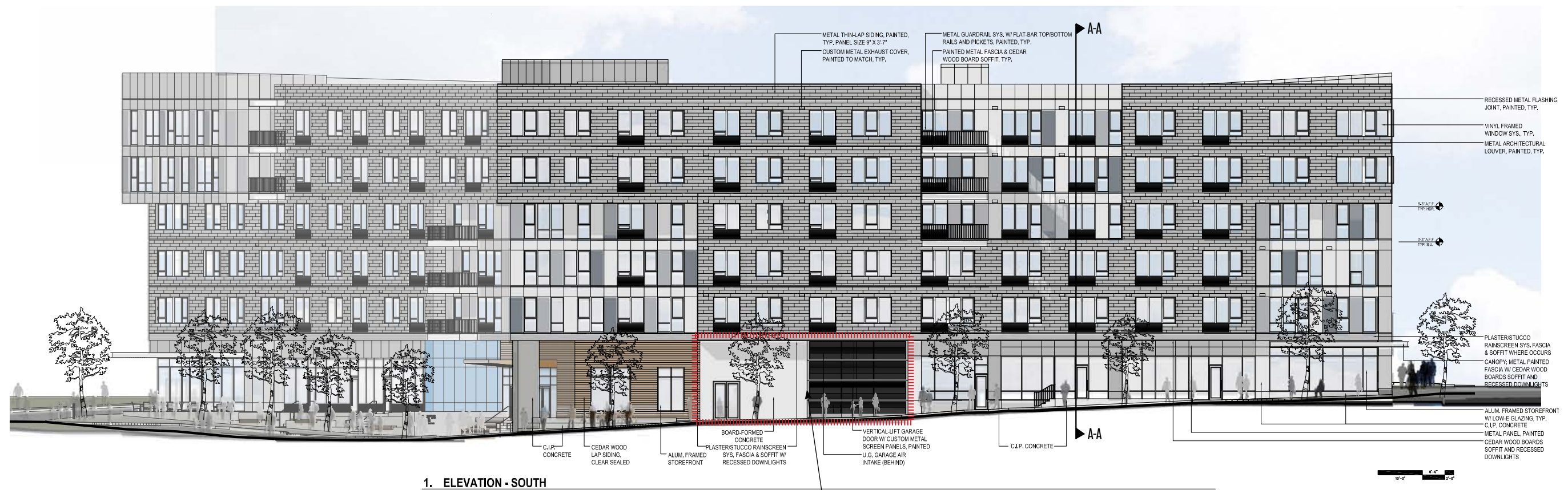
LANDSCAPING PLAN



FIFTH FLOOR PLAN (TYPICAL 6TH)

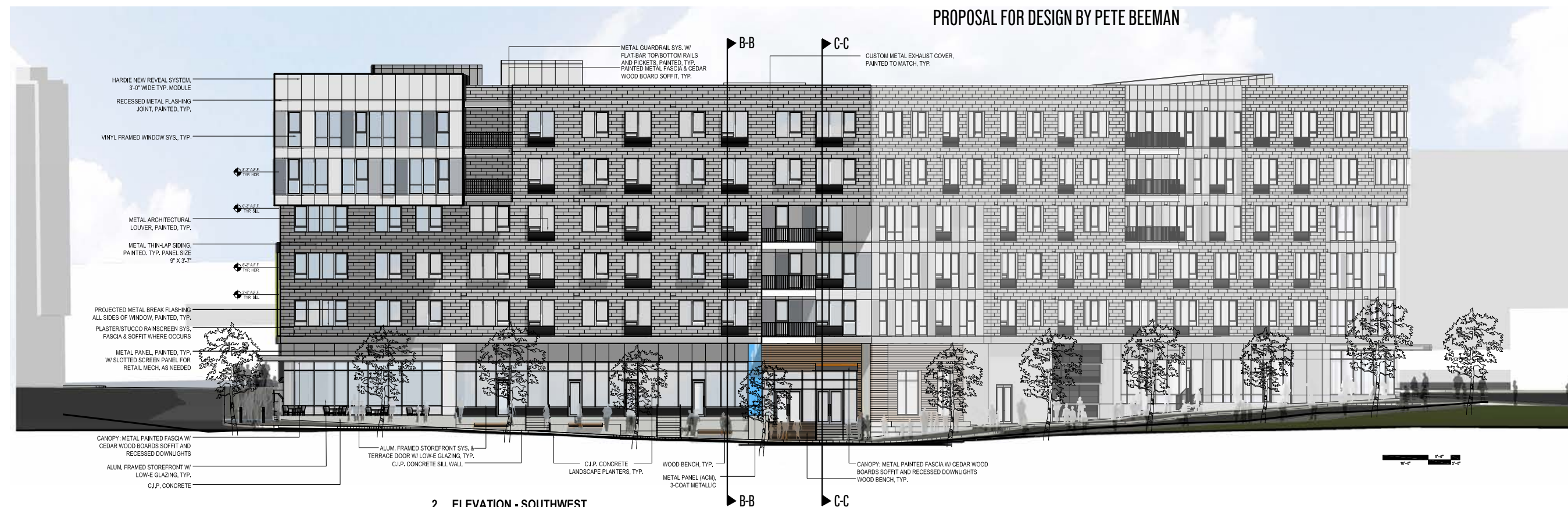


ROOF PLAN



1. ELEVATION - SOUTH

ARTIST INSTALLATION "CANVAS" AREA
 PROPOSAL FOR DESIGN BY PETE BEEMAN



2. ELEVATION - SOUTHWEST

ELEVATIONS - SOUTH AND SOUTHWEST



ELEVATIONS - NORTHWEST AND EAST



1. ELEVATION - SOUTH COURTYARD



2. ELEVATION - SOUTHWEST AND NORTHWEST COURTYARD

ELEVATIONS - COURTYARD



1. ENLARGED PARTIAL EXTERIOR ELEVATION - SOUTHWEST, TYPICAL



2. ENLARGED PARTIAL EXTERIOR ELEVATION - NORTHWEST, TYPICAL

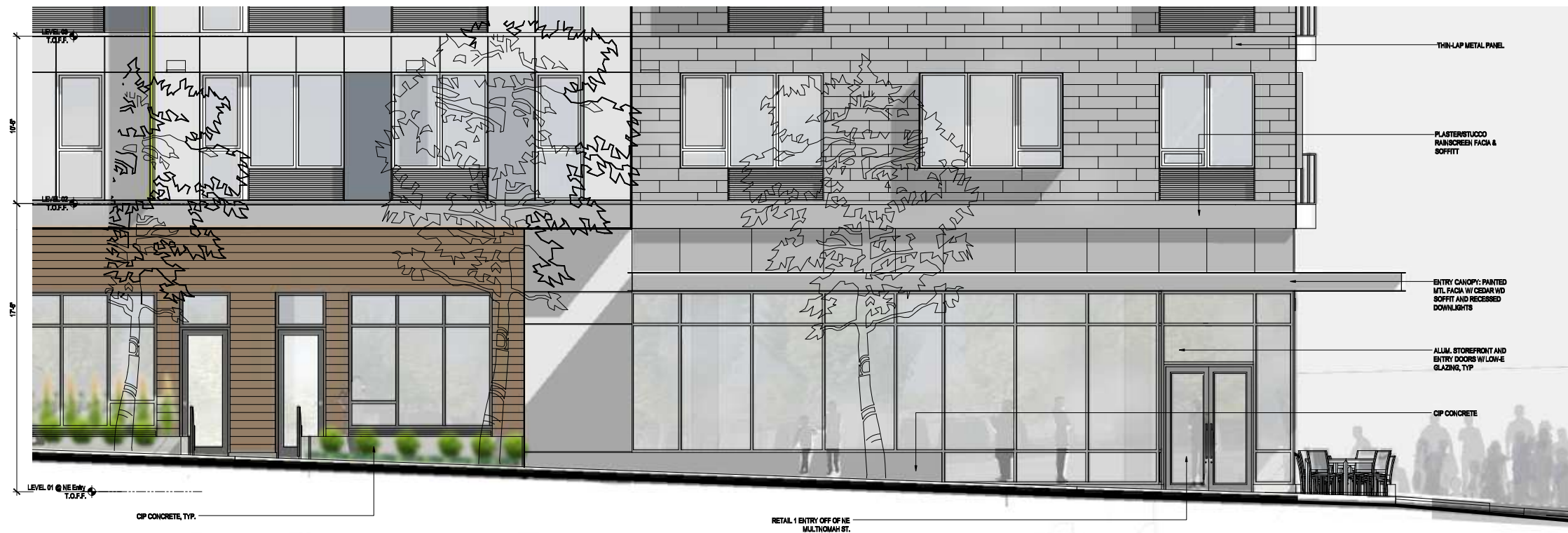
ELEVATIONS - ENLARGED, TYP.



1. ENLARGED PARTIAL EXTERIOR ELEVATION - EAST ENTRY

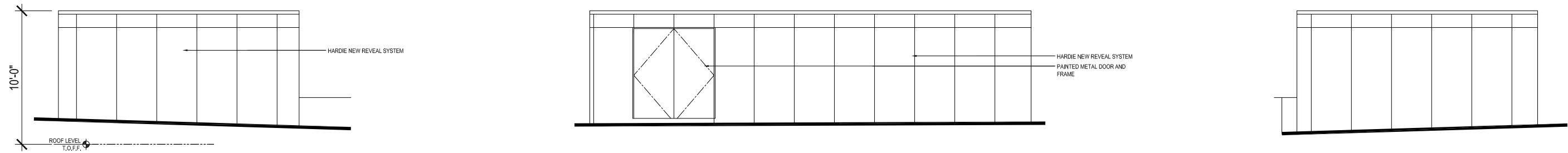


1. ENLARGED PARTIAL EXTERIOR ELEVATION AT APARTMENTS MAIN LOBBY ENTRY



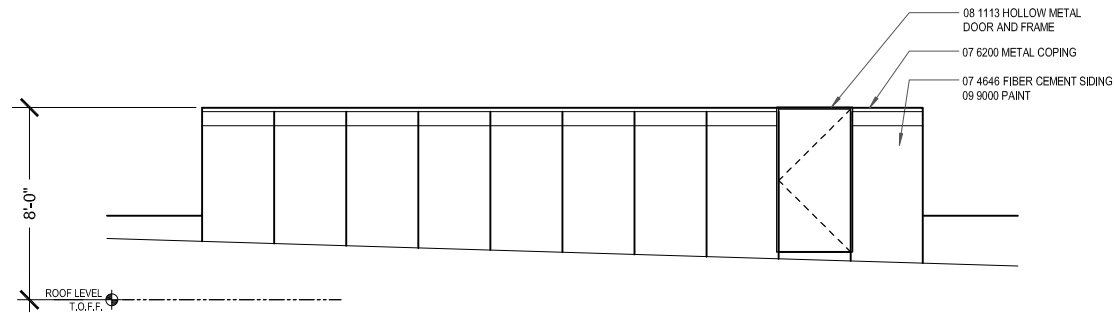
2. ENLARGED PARTIAL EXTERIOR ELEVATION - NORTHWEST ENTRY

ELEVATIONS - ENLARGED ENTRANCES



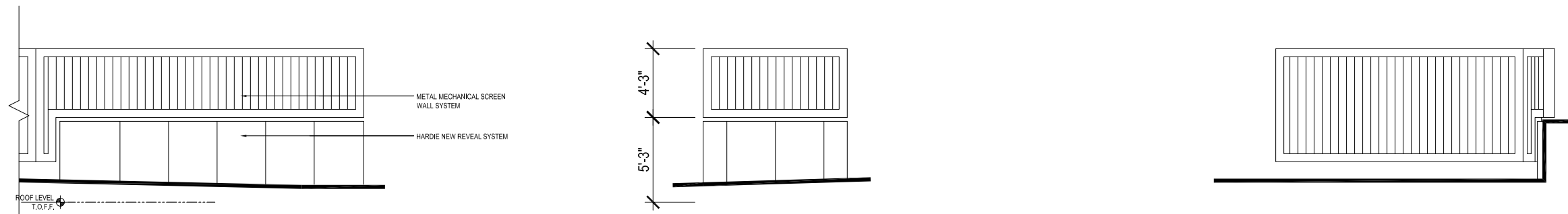
1. ENLARGED PARTIAL EXTERIOR ELEVATION - COURTYARD PENTHOUSE

SCALE: 1/4" = 1'-0"



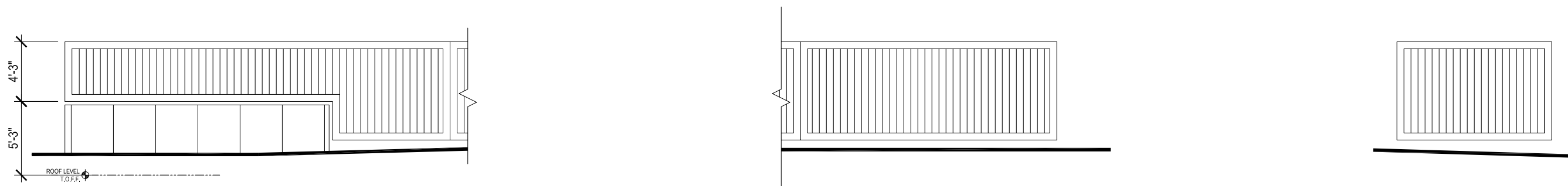
2. ENLARGED PARTIAL EXTERIOR ELEVATION - STAIR 1 PENHOUSE

SCALE: 1/4" = 1'-0"



3. ENLARGED PARTIAL EXTERIOR ELEVATION - ELEVATOR PENTHOUSE

SCALE: 1/4" = 1'-0"



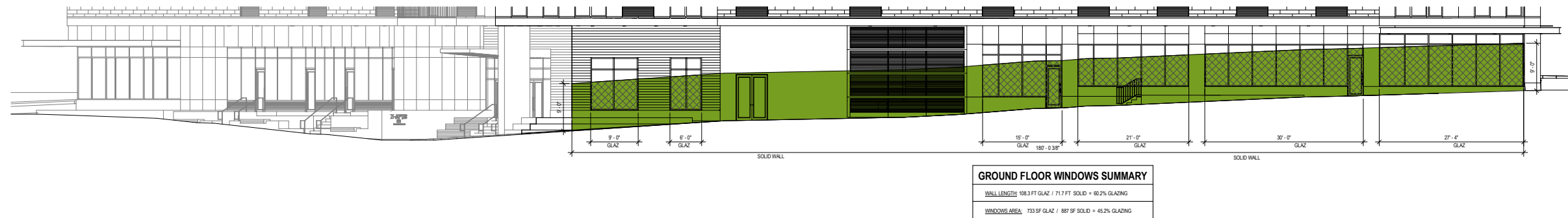
4. ENLARGED PARTIAL EXTERIOR ELEVATION - ELEVATOR PENTHOUSE

SCALE: 1/4" = 1'-0"

ELEVATIONS - ENLARGED MECH. SCREENING AT ROOF



SOUTHWEST

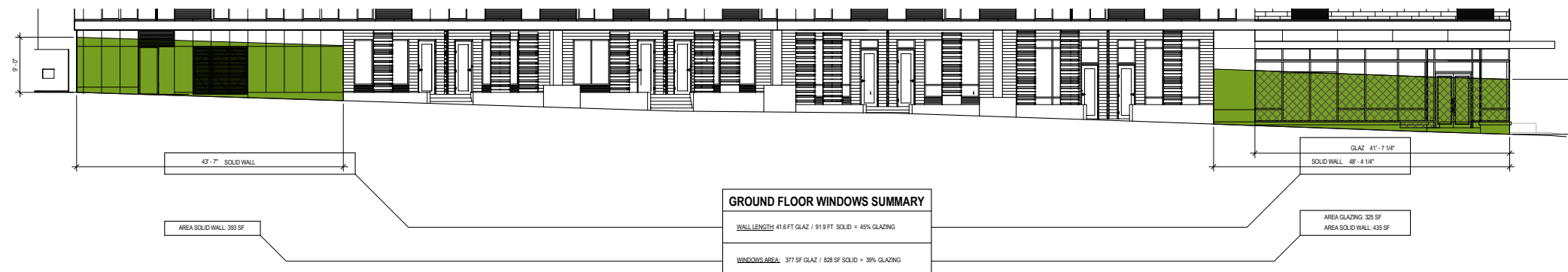


SOUTH



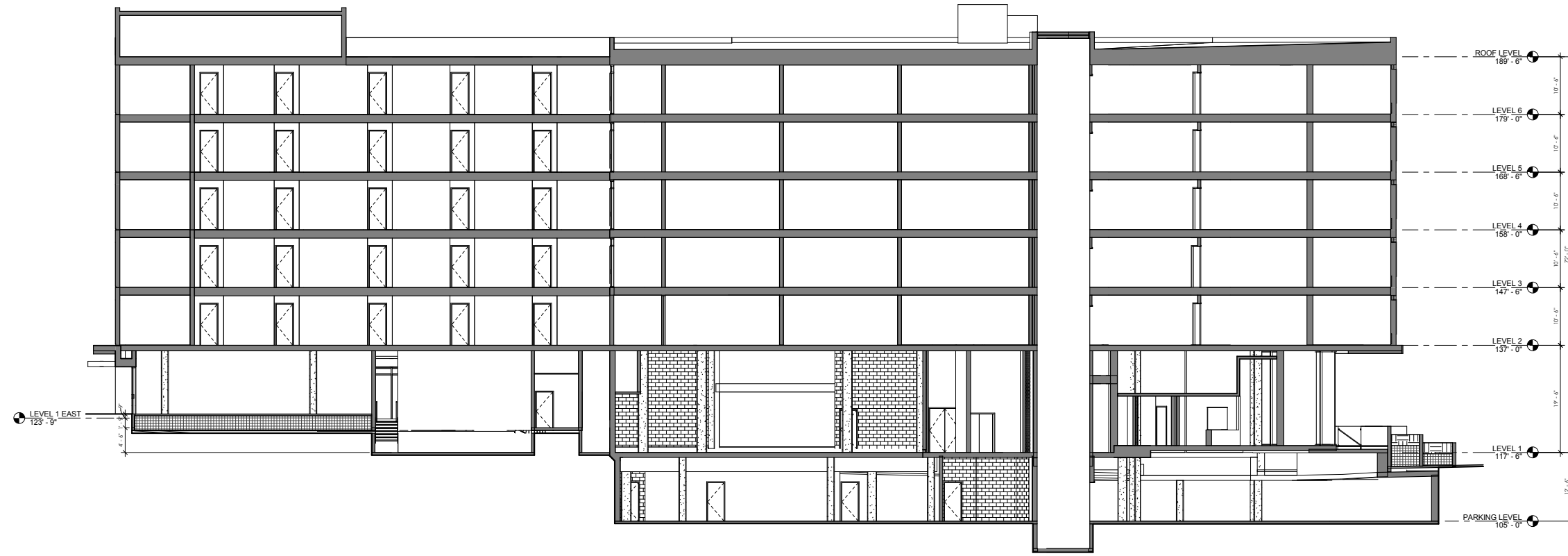
1 DR Elev East

EAST

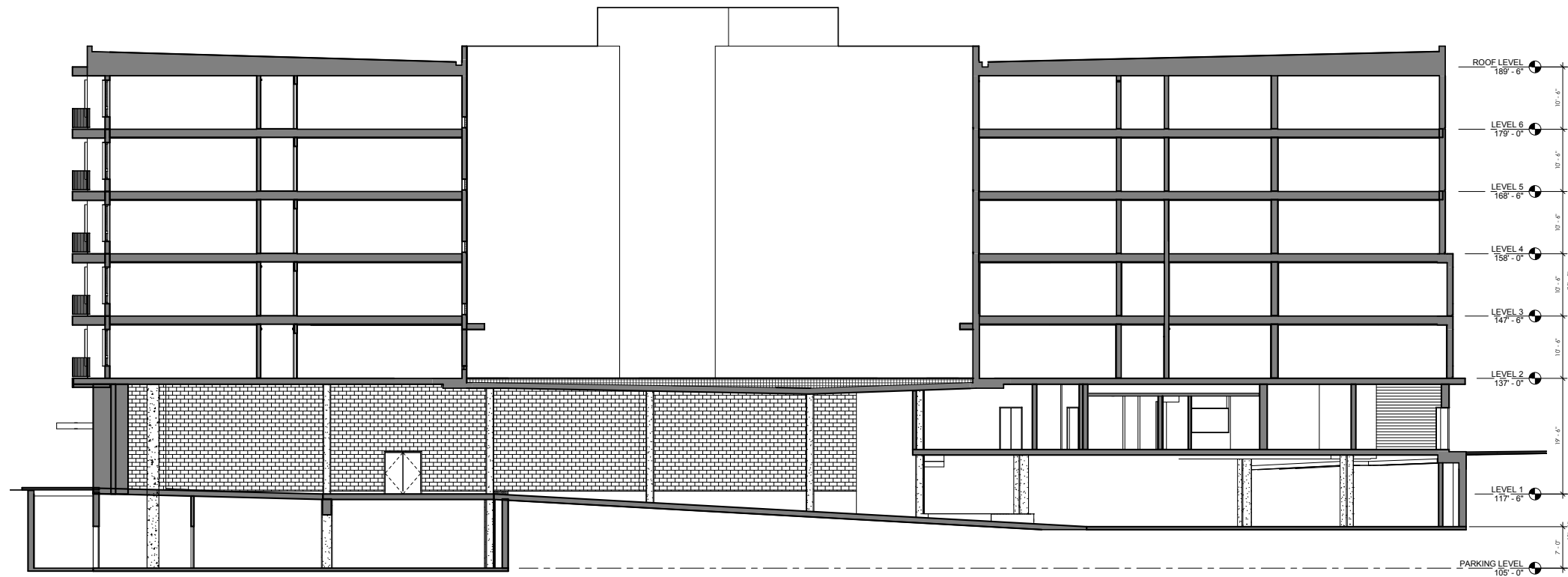


NORTHWEST

ELEVATIONS - GROUND FLOOR WINDOWS

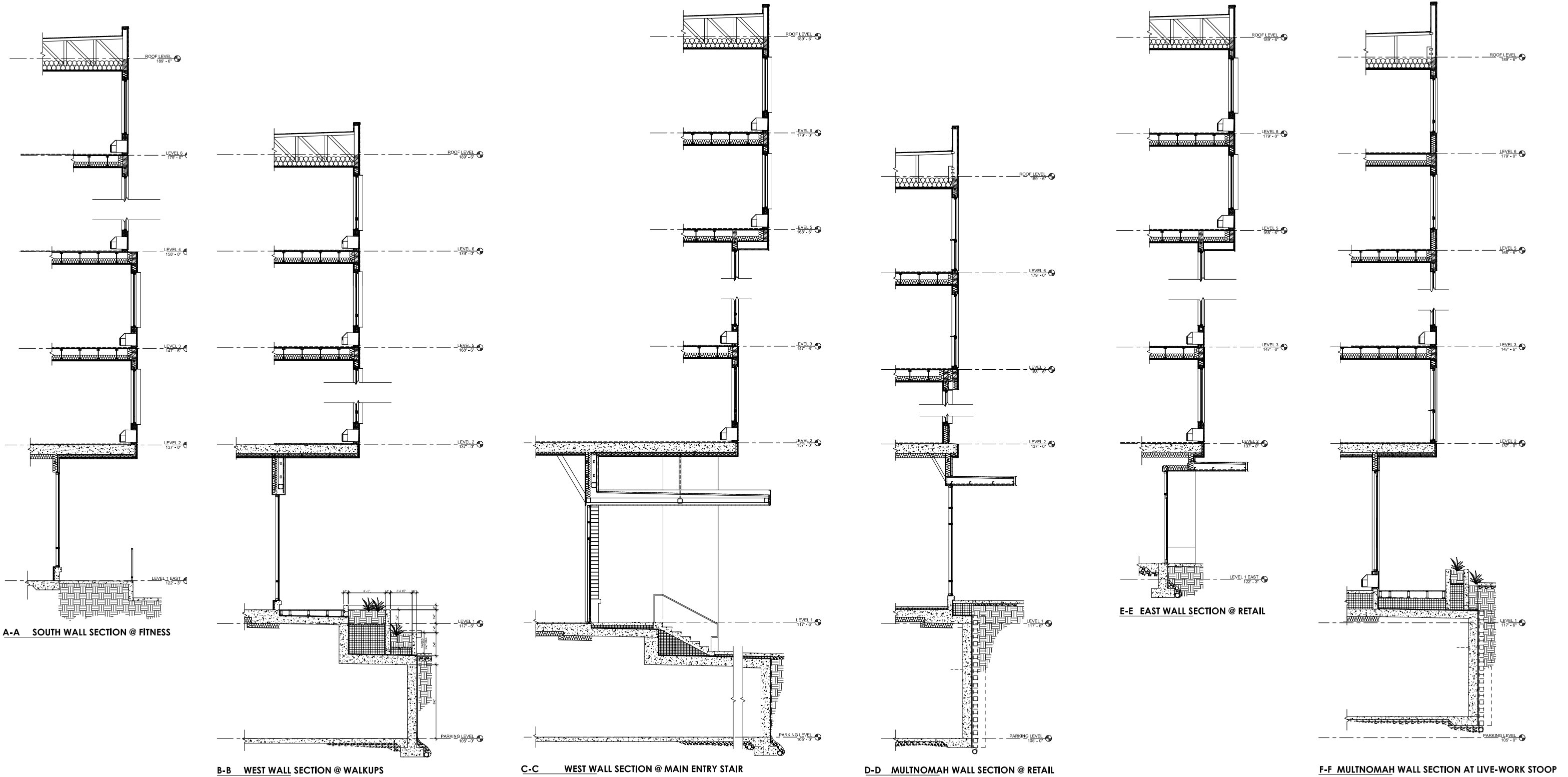


18 BUILDING SECTION - SOUTH FACING
1/8" = 1'-0"



36 BUILDING SECTION - WEST FACING
1/8" = 1'-0"

BUILDING SECTIONS



A-A SOUTH WALL SECTION @ FITNESS

B-B WEST WALL SECTION @ WALKUPS

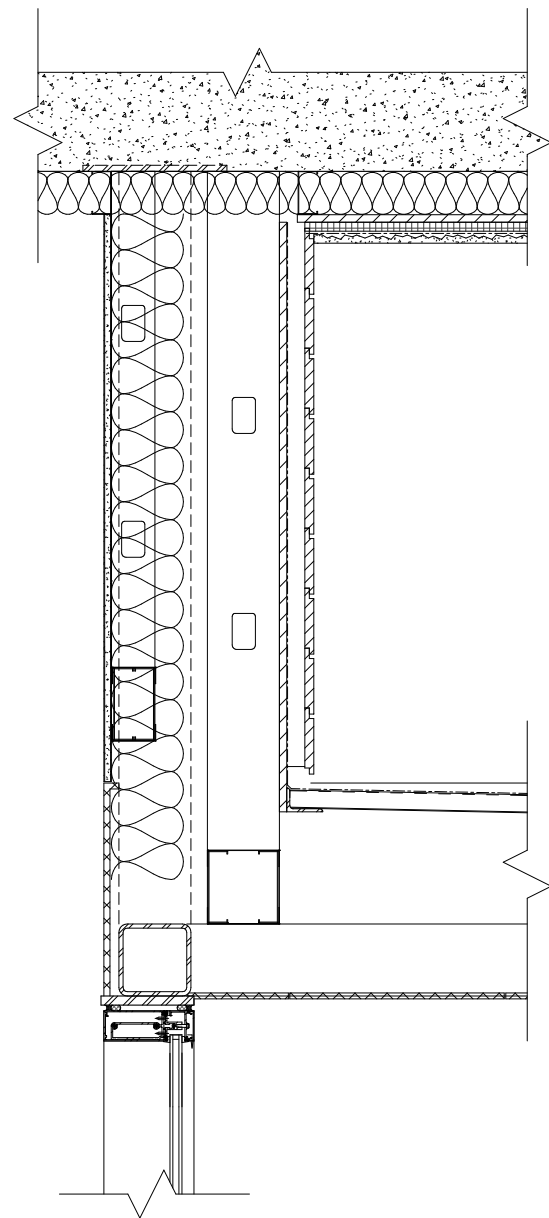
C-C WEST WALL SECTION @ MAIN ENTRY STAIR

D-D MULTNOMAH WALL SECTION @ RETAIL

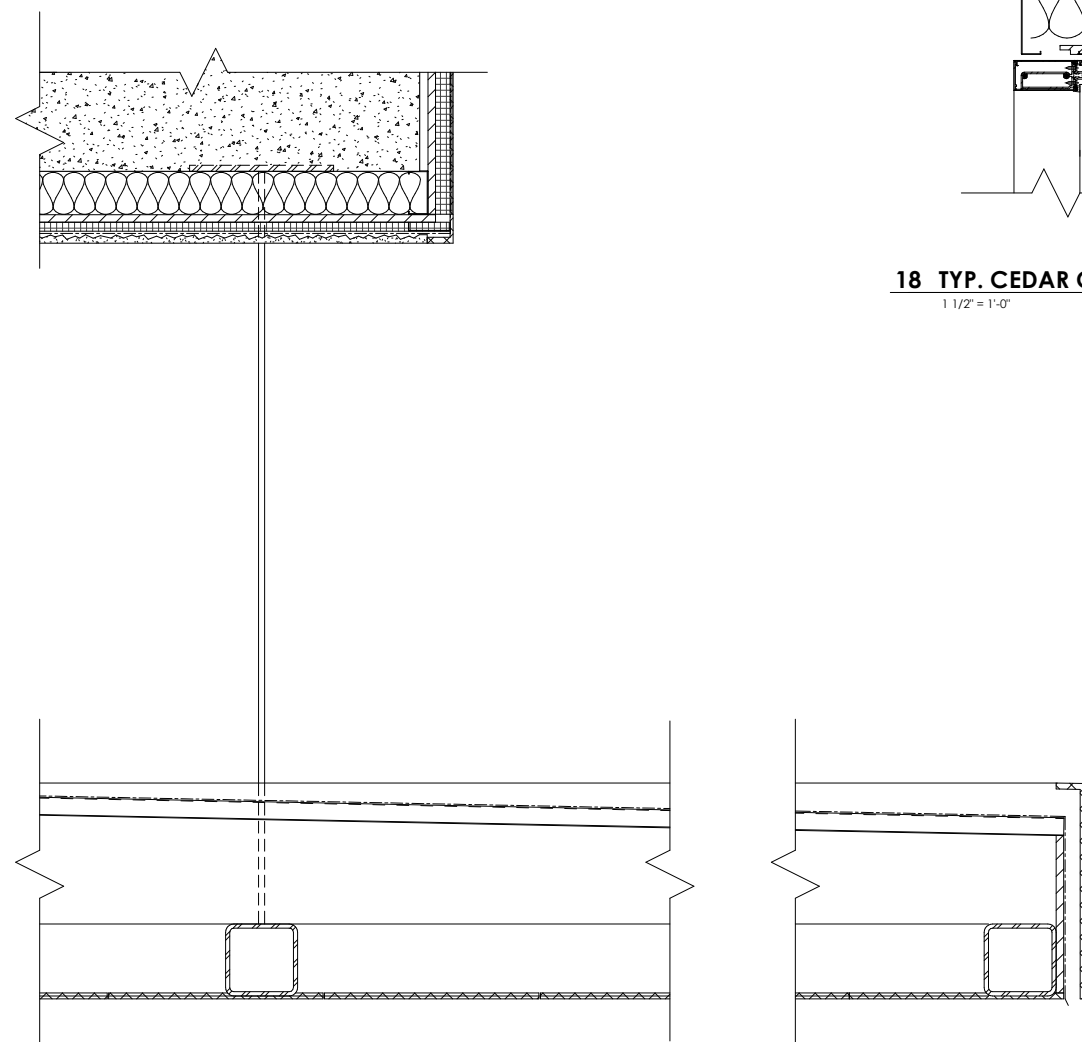
E-E EAST WALL SECTION @ RETAIL

F-F MULTNOMAH WALL SECTION AT LIVE-WORK STOOP

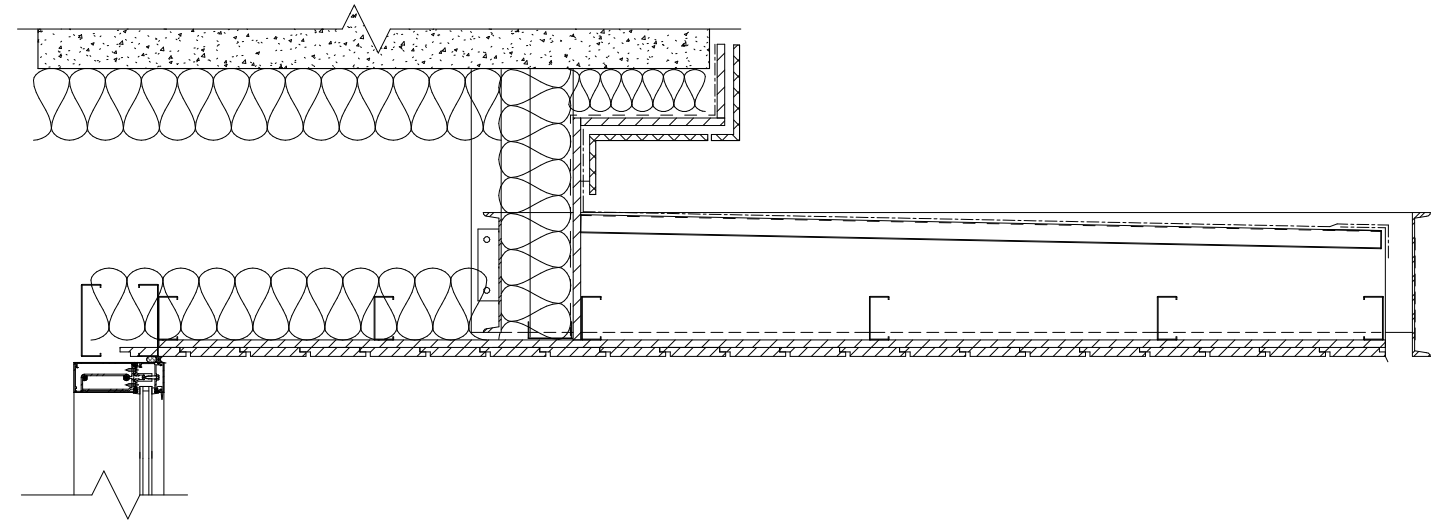
WALL SECTIONS



15 ENTRY CANOPY
1 1/2" = 1'-0"

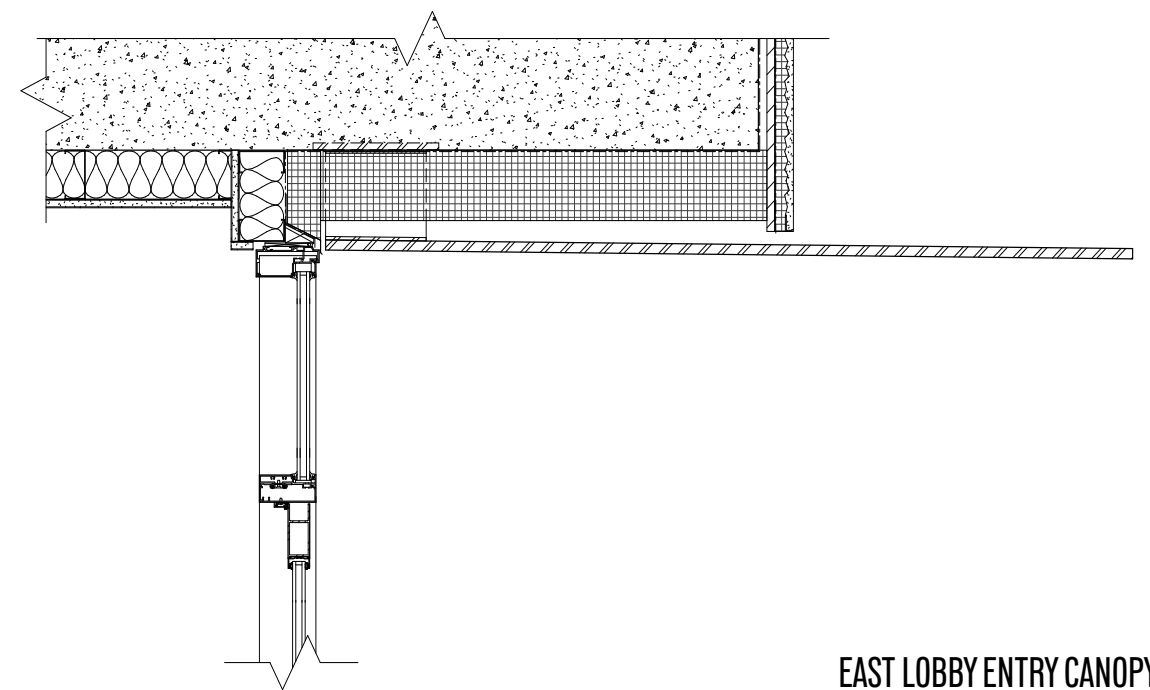


METAL PANEL (ACM) DRY-JOINT FASCIA AND SOFFIT, 3-COAT METALLIC ACCENT COLOR, OVER CONCEALED STEEL TUBE AND LT.GA. GALV. MTL. FRAMING RECESSED FLUSH LINEAR STRIP LIGHTS WITH LENS (NOT SHOWN)



18 TYP. CEDAR CHANNEL LAP CANOPY
1 1/2" = 1'-0"

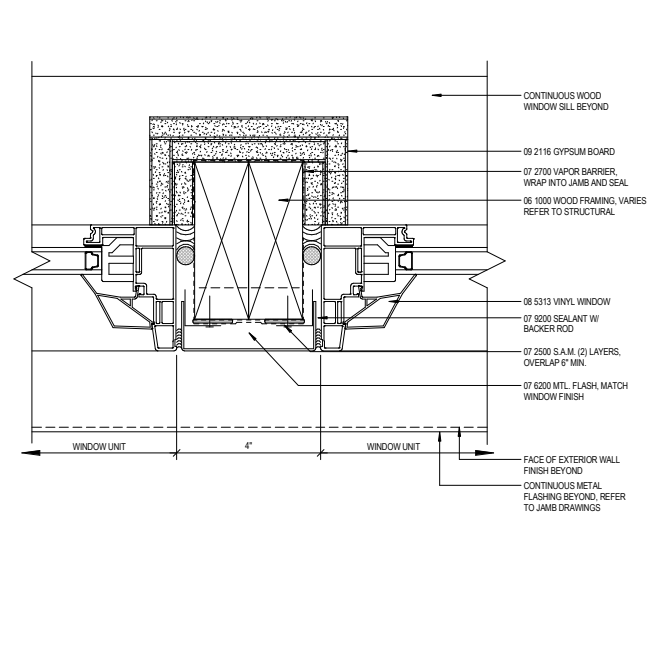
RETAIL CANOPIES, TYPICAL:
PAINTED STEEL C-CHANNEL FASCIA ALL SIDES, WITH SHIPLAP CEDAR WD. SOFFIT BOARDS, OVER CONCEALED STEEL TUBE AND LT.GA. GALV. MTL. FRAMING RECESSED DOWNLIGHTS (NOT SHOWN, WHERE OCCURS)



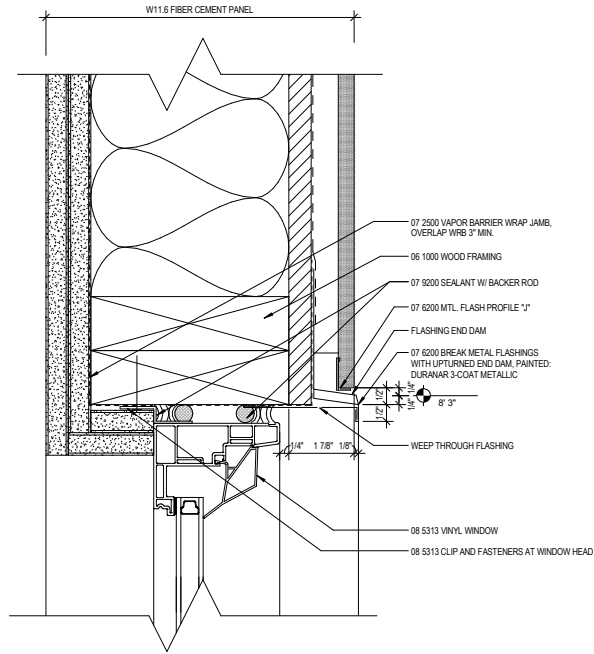
22 EAST LOBBY CANOPY
1 1/2" = 1'-0"

EAST LOBBY ENTRY CANOPY:
FLAT METAL PLATE CANOPY SUPPORTED BY CONCEALED STEEL KNIFE PLATE

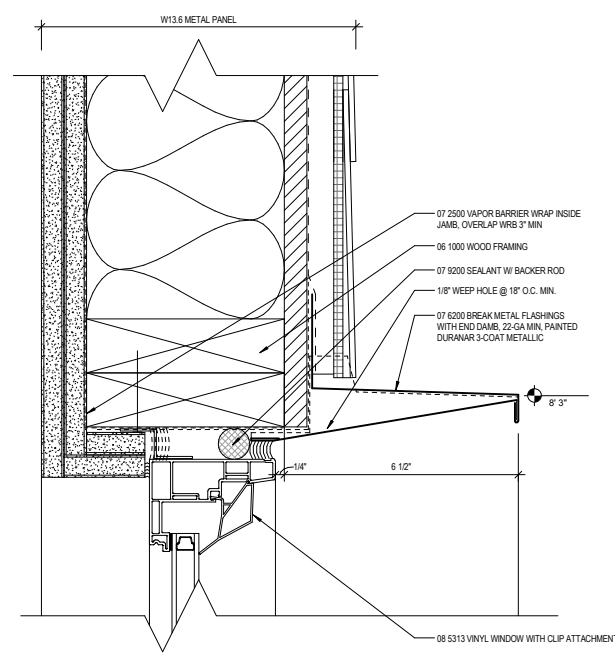
CANOPY DETAILS



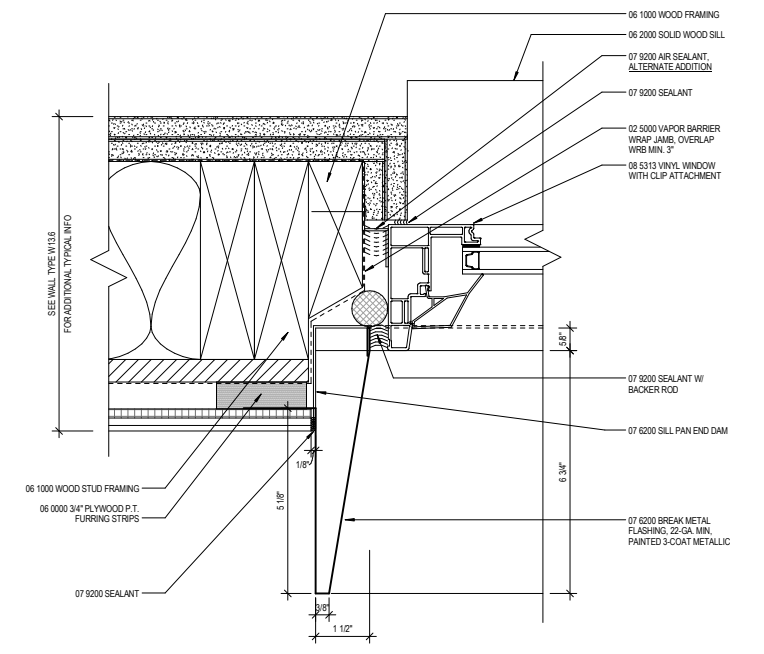
31 TYPICAL STRUCTURAL MULLION
6" = 1'-0"



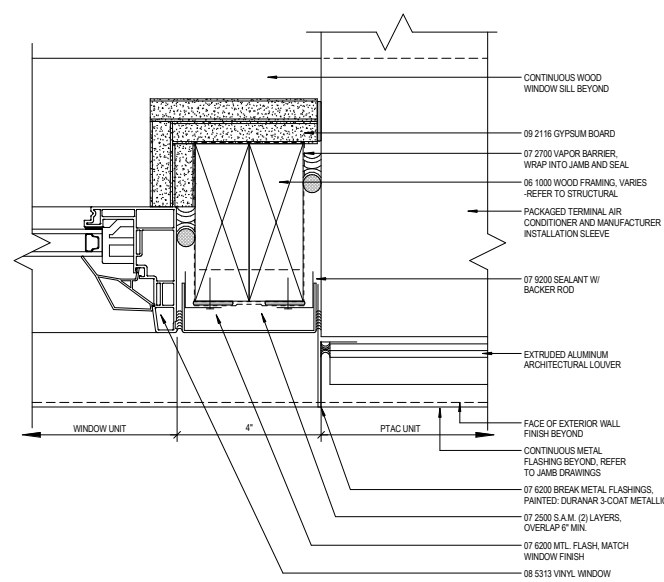
9 TYP. WINDOW HEAD AT CEMENT PANEL
6" = 1'-0"



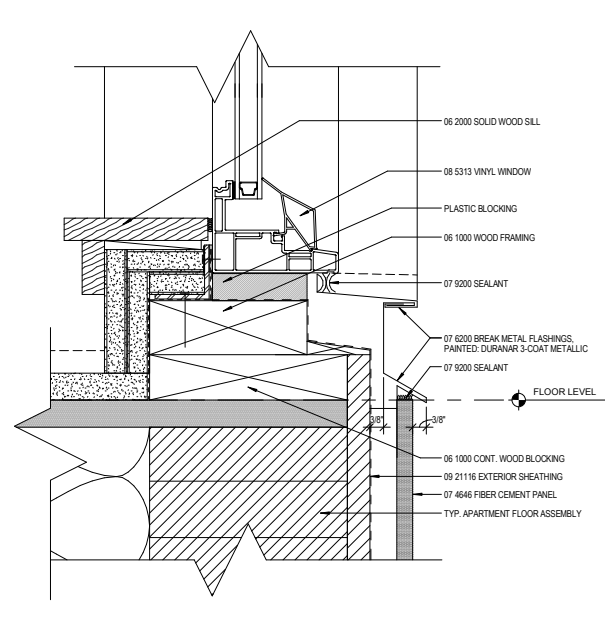
3 TYP. WINDOW HEAD AT METAL PANEL
6" = 1'-0"



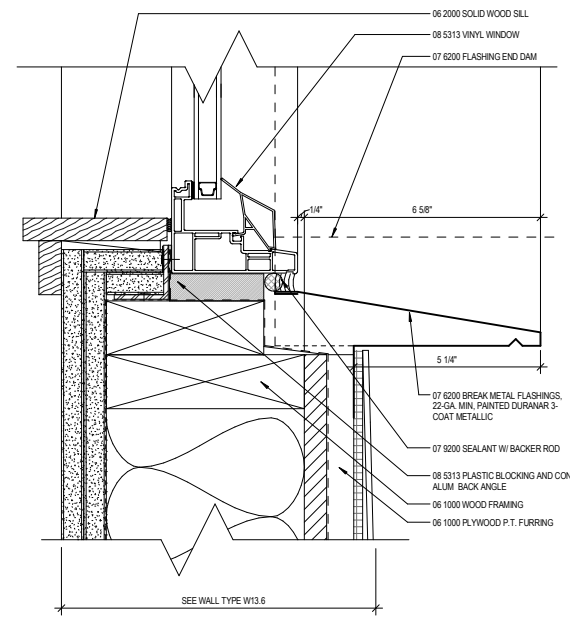
1 TYP. WINDOW JAMB AT METAL PANEL
6" = 1'-0"



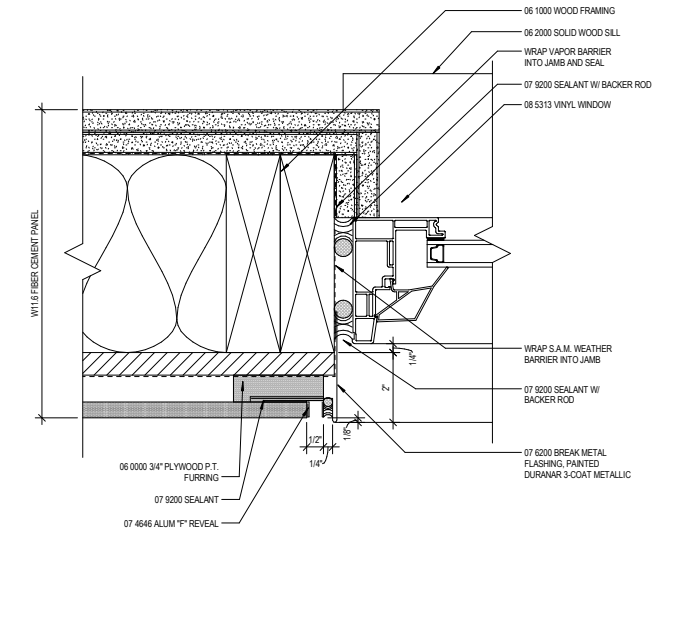
33 LOUVER AND WINDOW MULLION
6" = 1'-0"



12 TYP. WINDOW SILL AT CEMENT PANEL
6" = 1'-0"

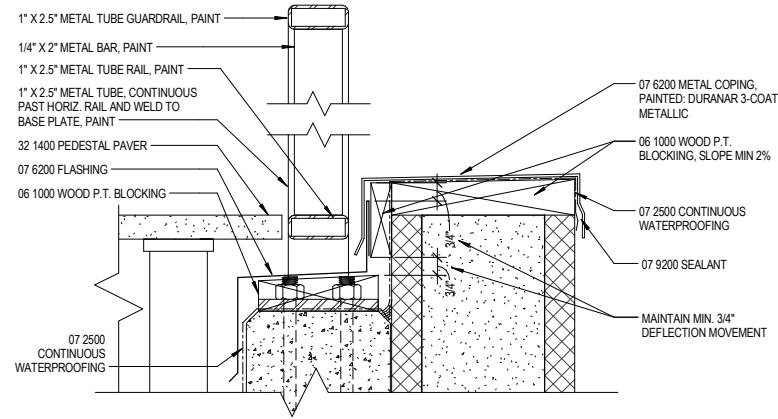


6 TYP. WINDOW SILL AT METAL PANEL
6" = 1'-0"



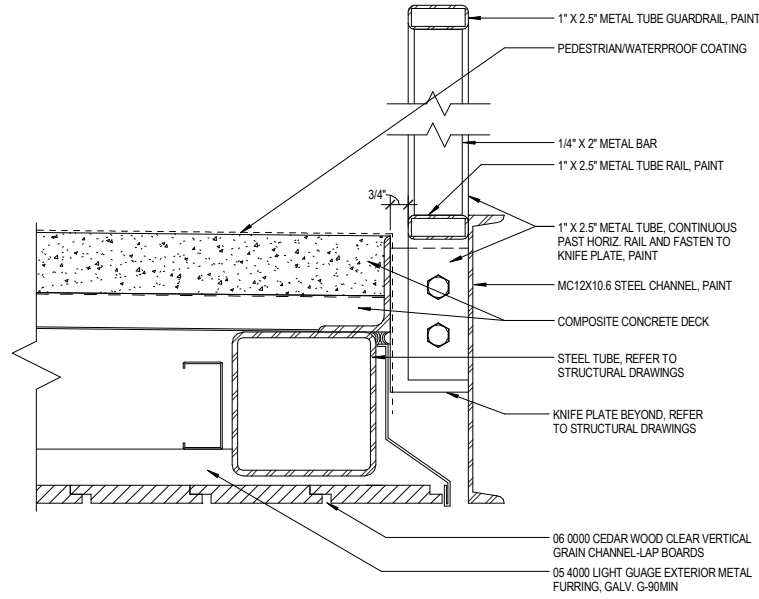
7 TYP. WINDOW JAMB AT CEMENT PANEL
6" = 1'-0"

EXTERIOR DETAILS



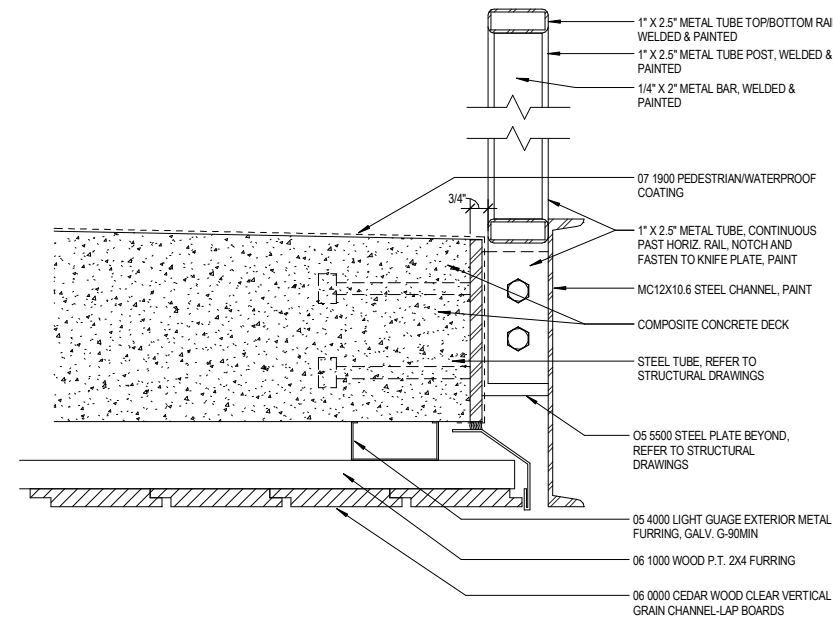
6 RAILING AT TERRACE

3" = 1'-0"



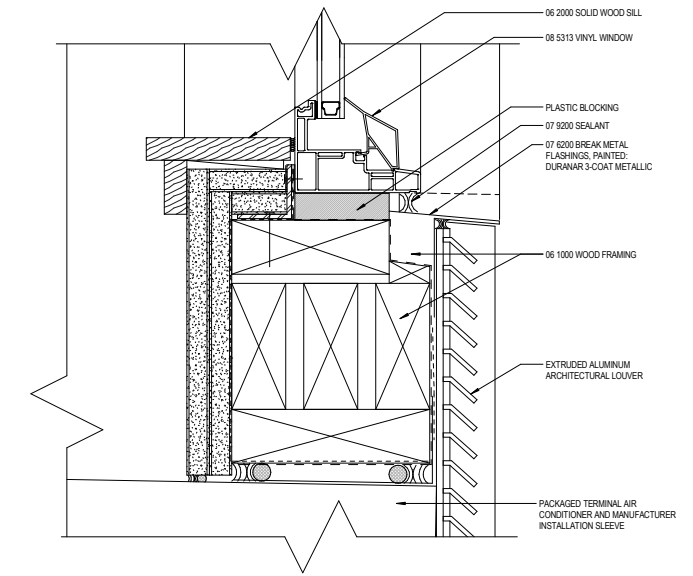
2 BALCONY RAILING AT WOOD ASSEMBLY

3" = 1'-0"



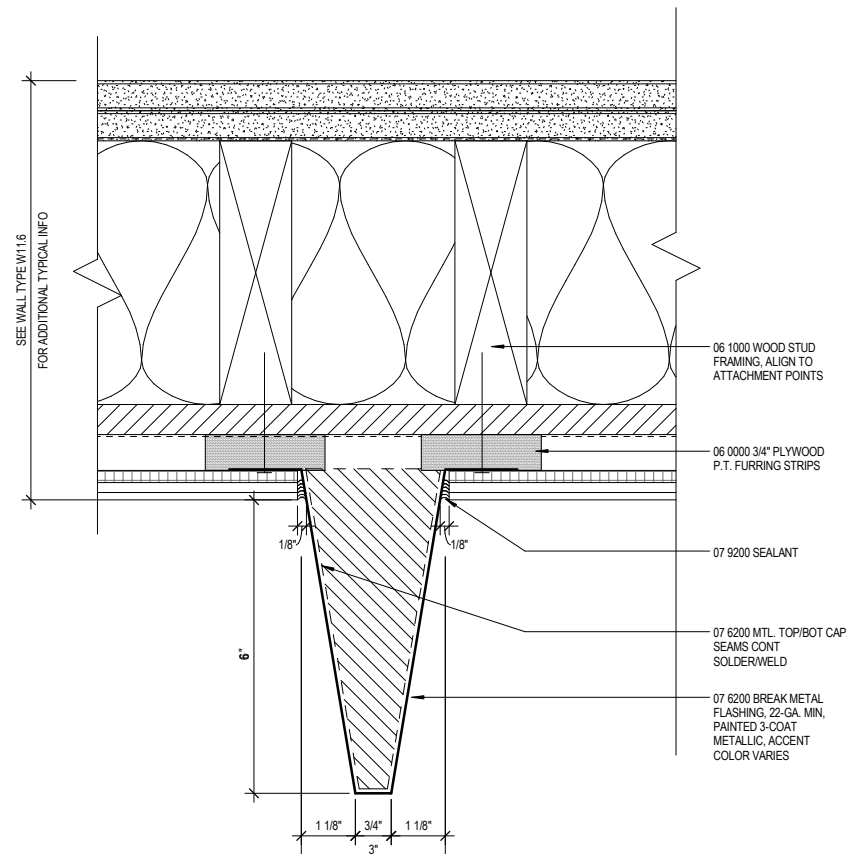
1 BALCONY RAILING AT CONCRETE ASSEMBLY

3" = 1'-0"



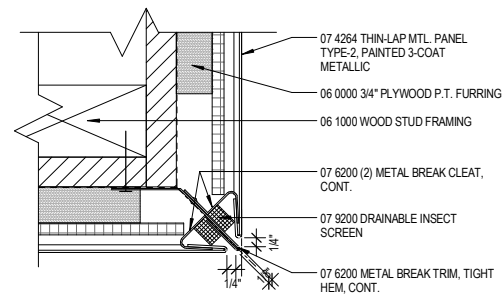
13 TYP. WINDOW SILL AT LOUVER

4" = 1'-0"



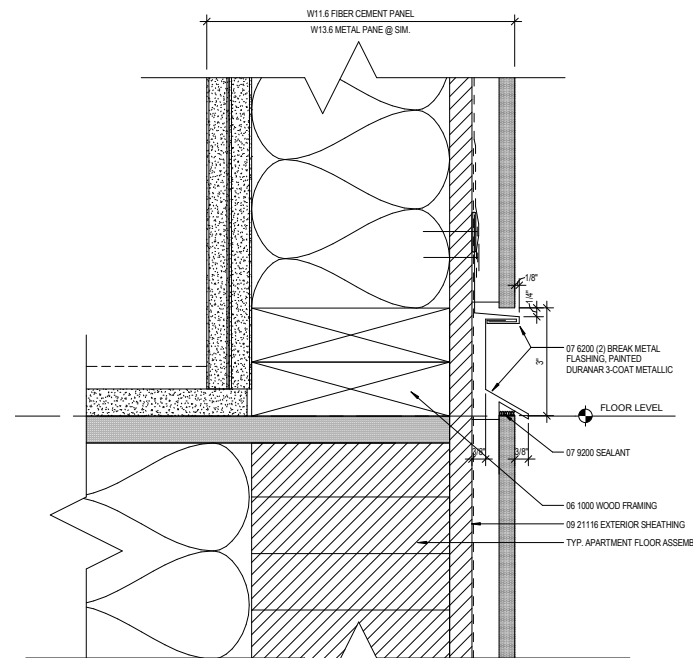
3 DECORATIVE METAL FIN AT CEMENT PANEL

6" = 1'-0"



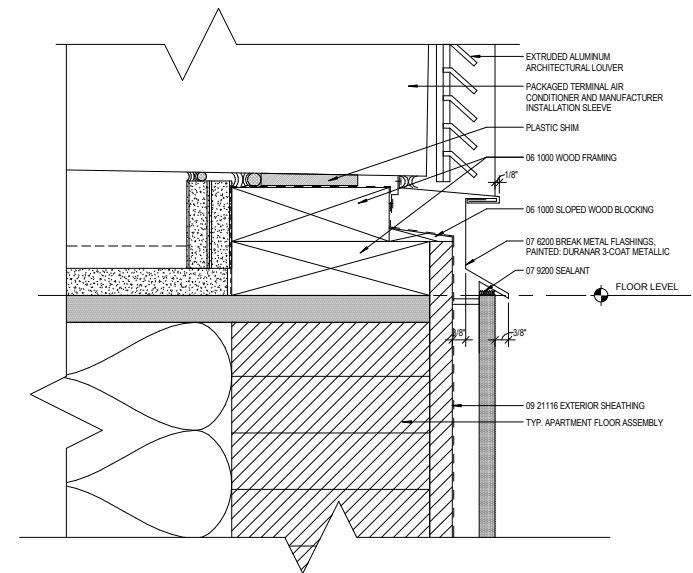
1 THIN-LAP METAL PANEL OUTSIDE CORNER

6" = 1'-0"



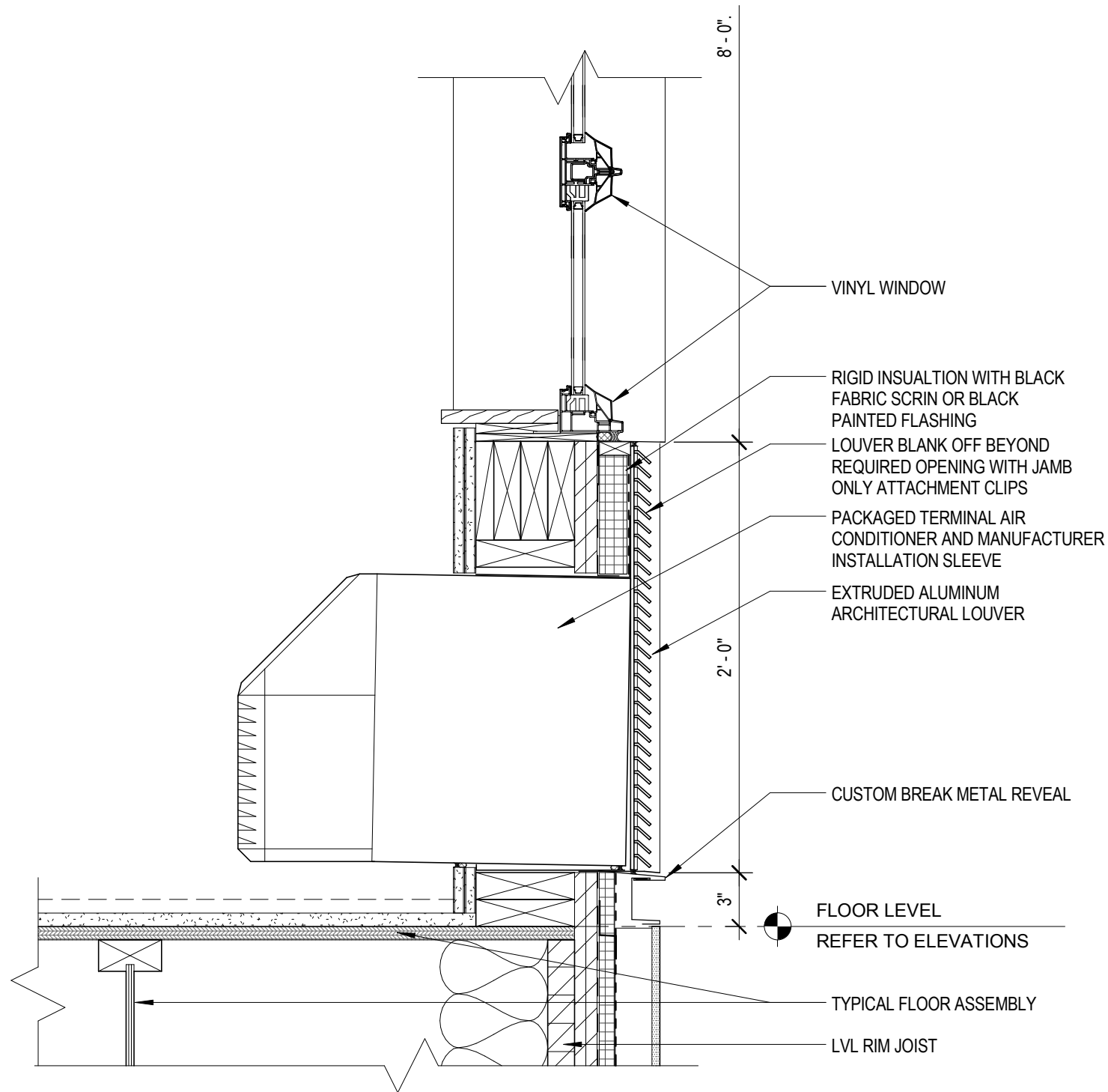
18 CEMENT PANEL HORIZONTAL WEEP

6" = 1'-0"

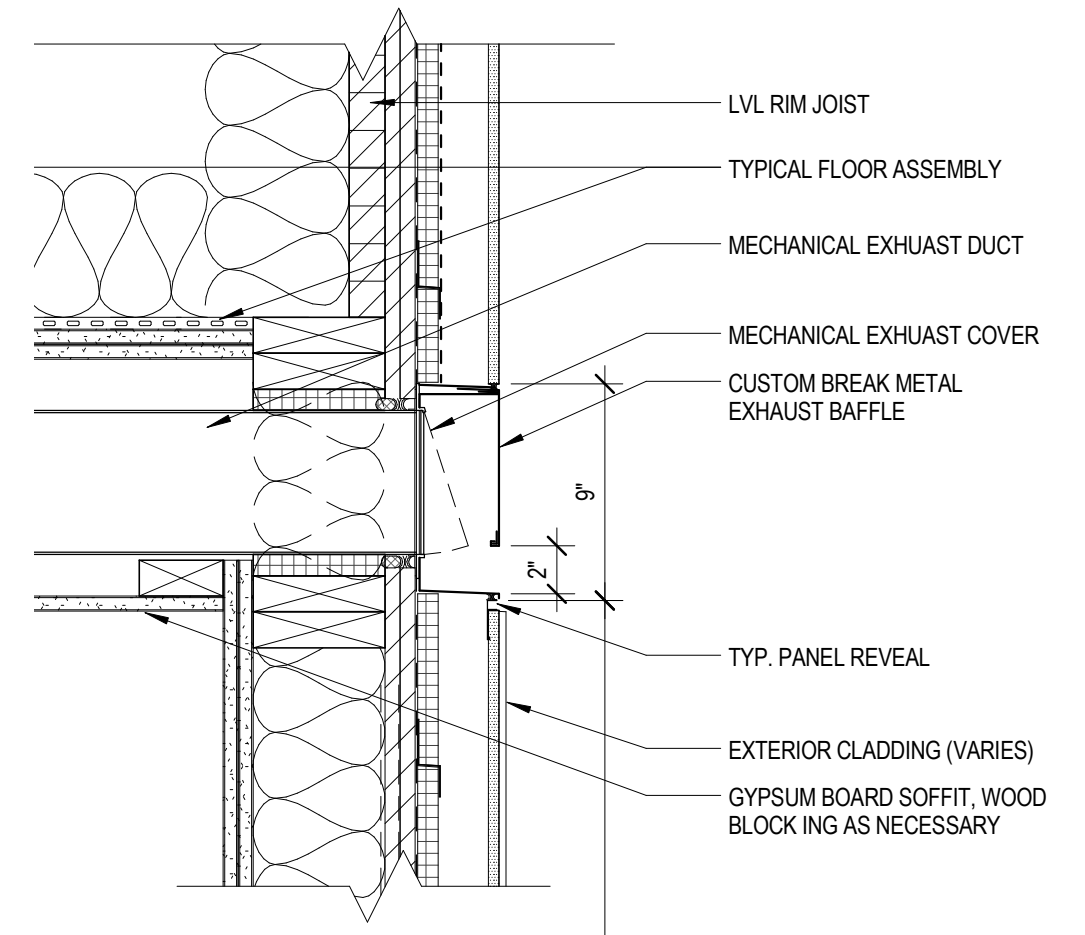


15 TYP. LOUVER SILL

6" = 1'-0"



2. SECTION DETAIL AT MECH. PTAC LOUVER



1. DETAIL AT TYPICAL EXHAUST LOUVER

EXTERIOR LOUVER DETAILS



SITE LANDSCAPE PLAN

PLANT LIST

ORNAMENTAL
PLANTER



Witch Hazel



Kalmia 'Elf'



Sarcococca

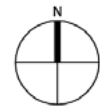


Liriope

MATERIALS



A. 18"x18" Precast
Concrete Unit Paver



SECTION B

MULTNOMAH ENLARGED LANDSCAPE PLAN

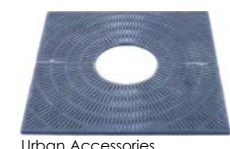


Proposed Trees

Public Streets



Zelkova serrata



Urban Accessories 'Kiva' Tree Grate

Private Street



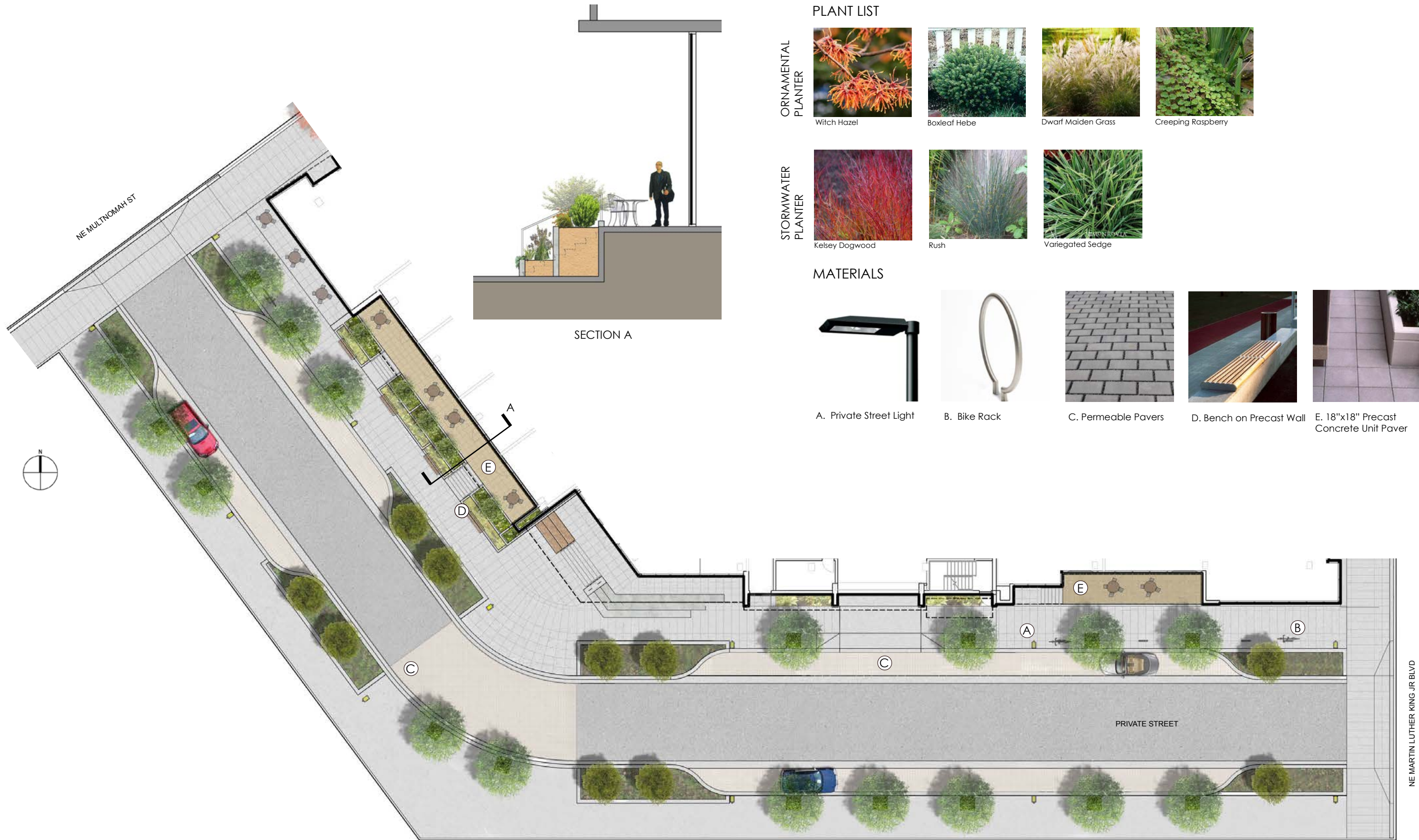
Upright European Beech

Stormwater Planter

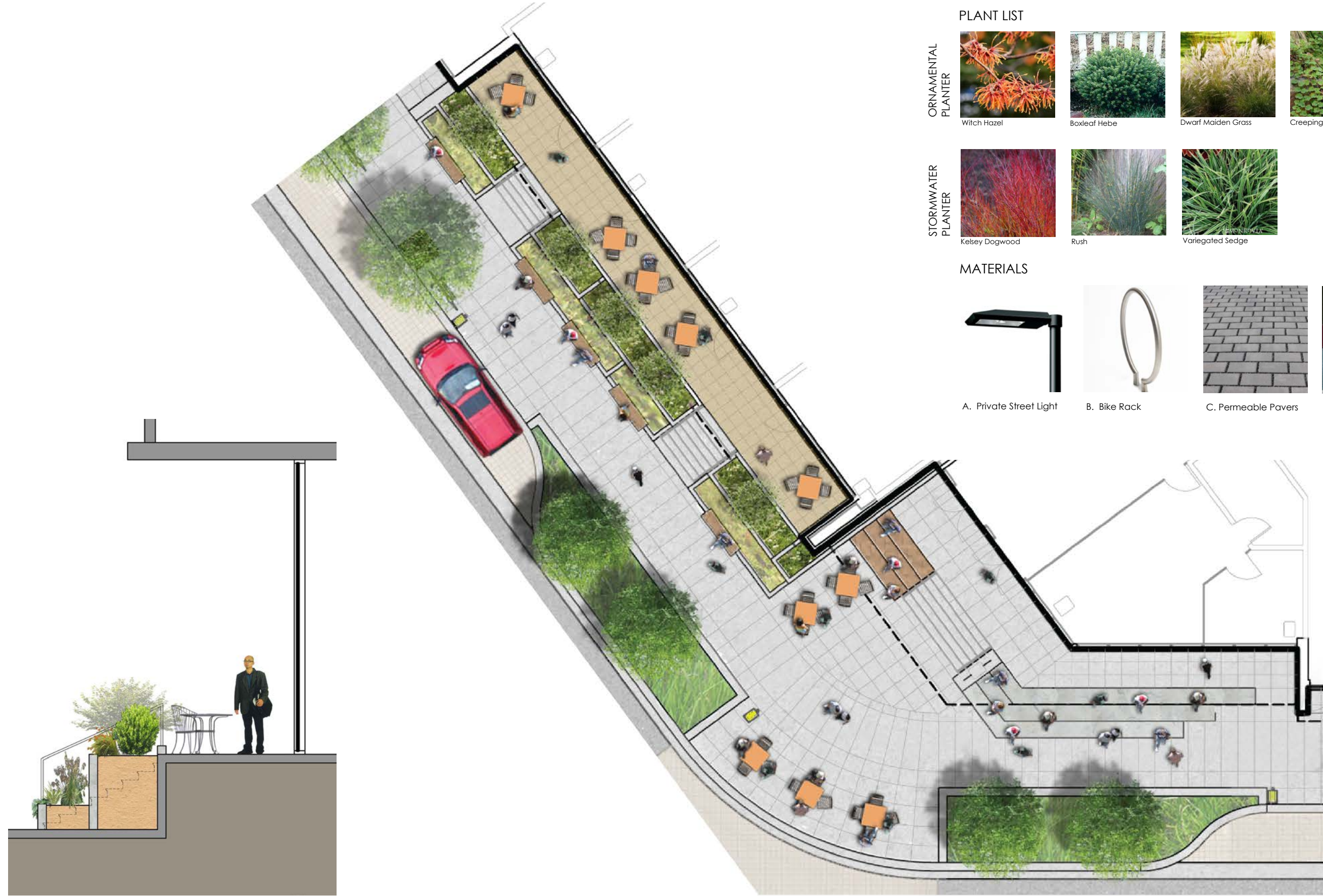


Red Alder

OPTION-1: BLOCK-A PREMISES LANDSCAPING



OPTION-1: LANDSCAPE PLAN



PLANT LIST

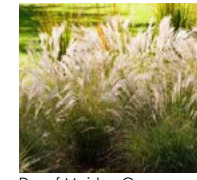
ORNAMENTAL PLANTER



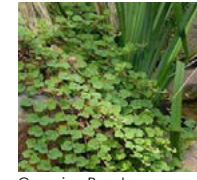
Witch Hazel



Boxleaf Hebe

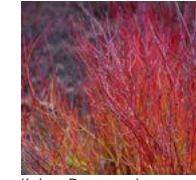


Dwarf Maiden Grass



Creeping Raspberry

STORMWATER PLANTER



Kelsey Dogwood



Rush



Variegated Sedge

MATERIALS



A. Private Street Light



B. Bike Rack



C. Permeable Pavers



D. Bench on Precast Wall



E. 18"x18" Precast Concrete Unit Paver

SECTION A

OPTION-1: ENLARGED SOUTH LANDSCAPE PLAN



ALTERNATE



ALTERNATE



ALTERNATE



NORTHWEST ELEVATION-PERSPECTIVE ALTERNATE



ALTERNATE

SECOND FLOOR PLAN (TYPICAL 3RD + 4TH)



ALTERNATE

FIFTH FLOOR PLAN (TYPICAL 6TH)



ARTIST INSTALLATION "CANVAS" AREA
PROPOSAL FOR DESIGN BY PETE BEEMAN

1. ELEVATION - NORTHWEST

- HARDIE NEW REVEAL SYSTEM
- RECESSED METAL FLASHING JOINT, PAINTED, TYP.
- VINYL FRAMED WINDOW SYS., TYP.
- METAL ARCHITECTURAL LOUVER, PAINTED, TYP.
- METAL ARCHITECTURAL BREAK SHAPE PROJECTION, PAINTED
- CUSTOM METAL EXHAUST COVER, PAINTED TO MATCH, TYP.
- METAL THIN-LAP SIDING, PAINTED, TYP.
- PROJECTED METAL BREAK FLASHING ALL SIDES OF WINDOW, PAINTED, TYP.
- PLASTER/STUCCO RAINSCREEN SYS. FASCIA & SOFFIT WHERE OCCURS
- METAL PANEL, PAINTED, TYP. W/ SLOTTED SCREEN PANEL FOR RETAIL MECH. AS NEEDED
- CANOPY: METAL PAINTED FASCIA W/ CEDAR WOOD BOARDS SOFFIT AND RECESSED DOWNLIGHTS
- ALUM. FRAMED STOREFRONT W/ LOW-E GLAZING, TYP. C.I.P. CONCRETE

- METAL THIN-LAP SIDING, PAINTED, TYP.
- CUSTOM METAL EXHAUST COVER, PAINTED TO MATCH, TYP.
- METAL LOUVER FOR GARAGE EXHAUST
- ALUM. STOREFRONT DOOR FRAME W/ LOUVER OVERLAY, PAINTED C.I.P. CONCRETE, CLEAR SEALED
- C.I.P. CONCRETE, TYP.
- PLASTER/STUCCO RAINSCREEN SYS. FASCIA & SOFFIT W/ RECESSED DOWNLIGHTS SLIDING PANEL SCREENS W/ CEDAR WOOD BOARDS ON PAINTED METAL FRAME
- LANDSCAPE PLANTERS RAISED OR AT GRADE, TYP.
- CEDAR WOOD SIDING
- ALUM. FRAMED STOREFRONT SYS. & TERRACE DOOR W/ LOW-E GLAZING, TYP.
- C.I.P. CONCRETE, TYP.

ALTERNATE



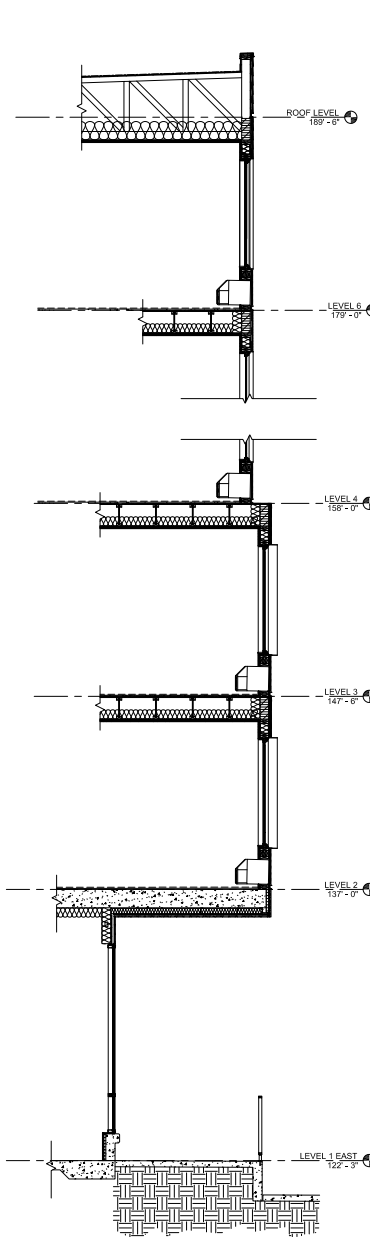
2. ELEVATION - EAST

- HARDIE NEW REVEAL SYS., PAINTED, 3'-0" WIDE TYP. MODULE
- METAL THIN-LAP PANEL, PAINTED, TYP. PANEL SIZE 9' X 3'-7"
- METAL ARCHITECTURAL BREAK SHAPE PROJECTION, PAINTED ACCENT COLOR

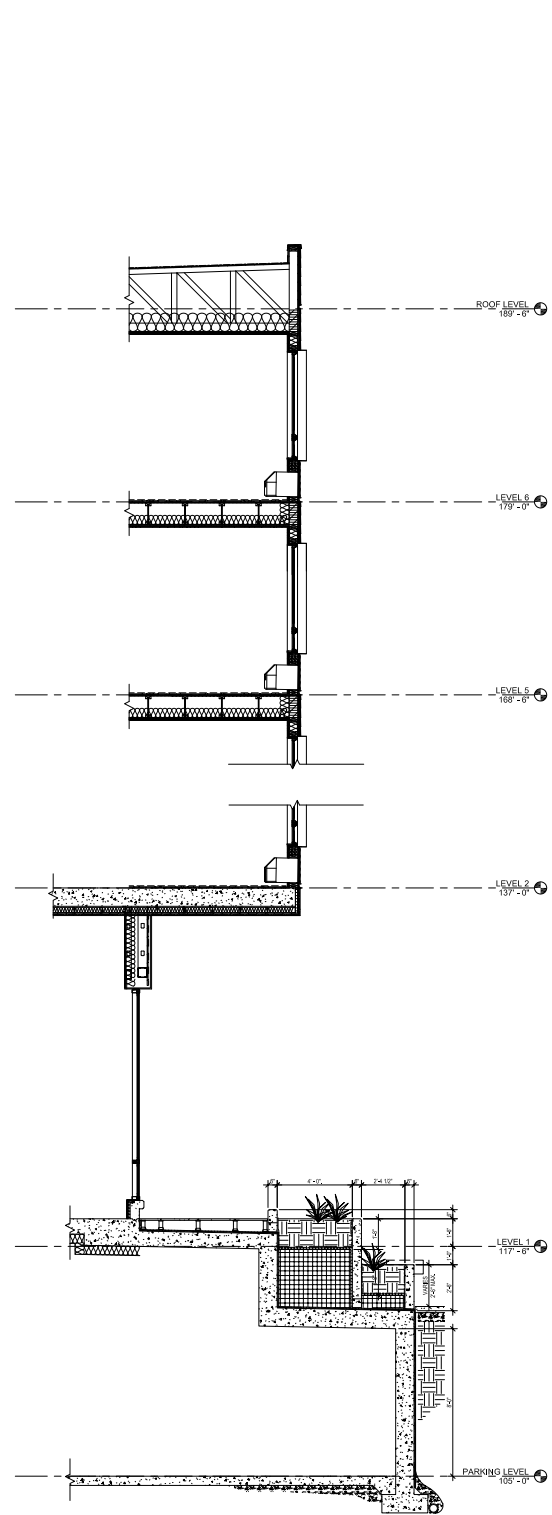
- HARDIE NEW REVEAL SYS., PAINTED, 3'-0" WIDE TYP. MODULE
- RECESSED METAL FLASHING JOINT, PAINTED, TYP.
- VINYL FRAMED WINDOW SYS., TYP.
- METAL ARCHITECTURAL LOUVER, PAINTED, TYP.
- PLASTER/STUCCO RAINSCREEN SYS. FASCIA & SOFFIT WHERE OCCURS
- CANOPY: METAL PAINTED FASCIA W/ CEDAR WOOD BOARDS SOFFIT AND RECESSED DOWNLIGHTS
- ALUM. FRAMED STOREFRONT W/ LOW-E GLAZING, TYP.

- METAL PANEL, PAINTED
- GROUND FACE CMU
- METAL THIN-LAP CLADDING, PAINTED, TYP.
- EXISTING BUILDING, BURGERSVILLE, N.C.
- WELDED STEEL GUARDRAIL, PAINTED
- GROUND FACE CMU

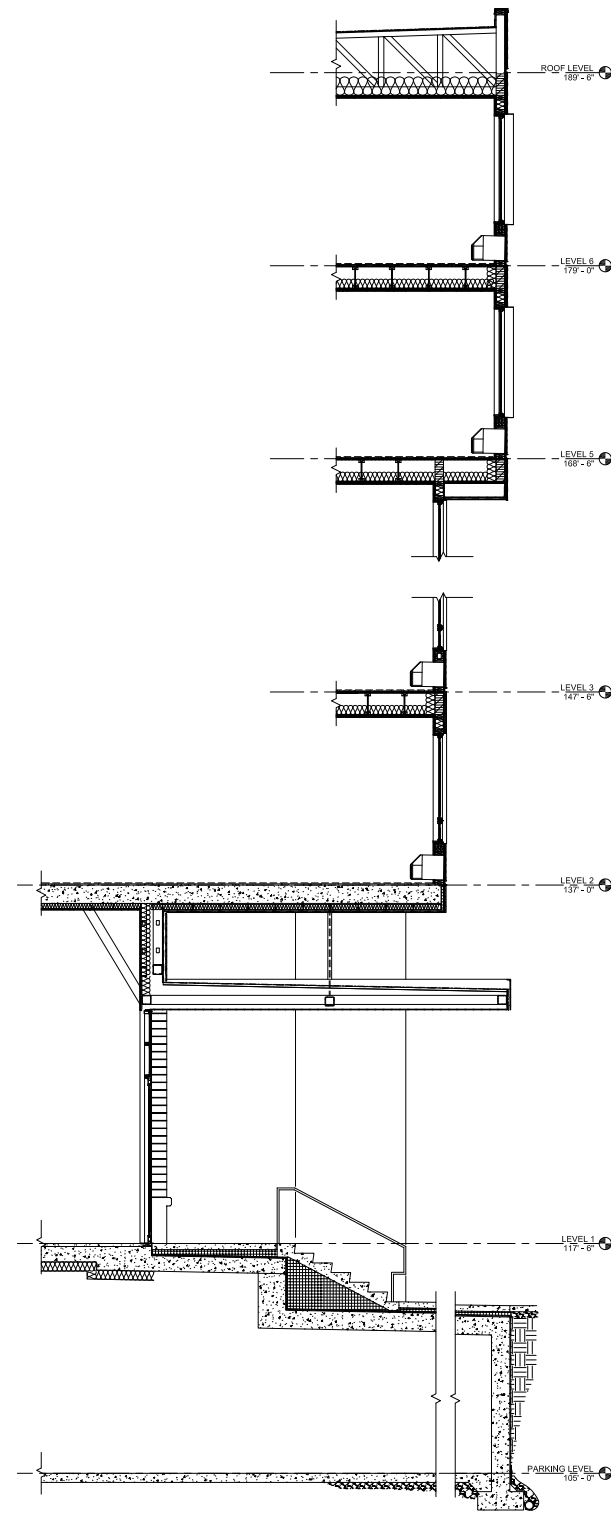
ELEVATIONS - NORTHWEST



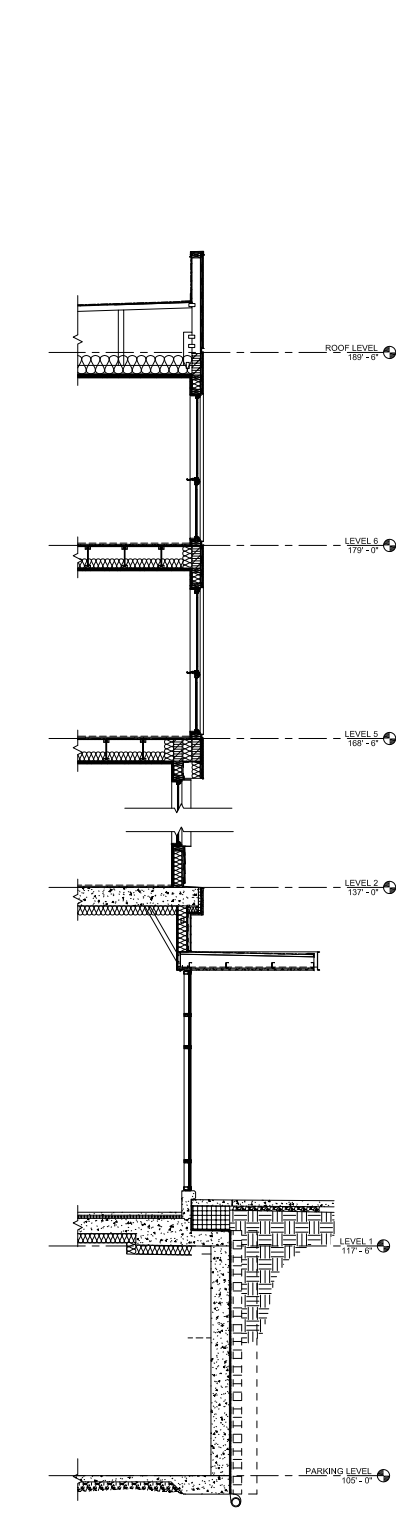
A-A SOUTH WALL SECTION @ FITNESS



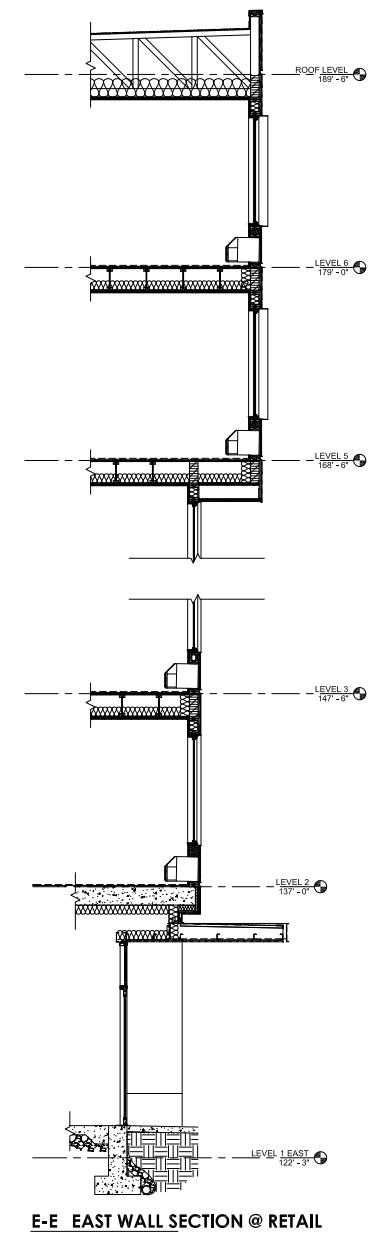
B-B WEST WALL SECTION @ WALKUPS



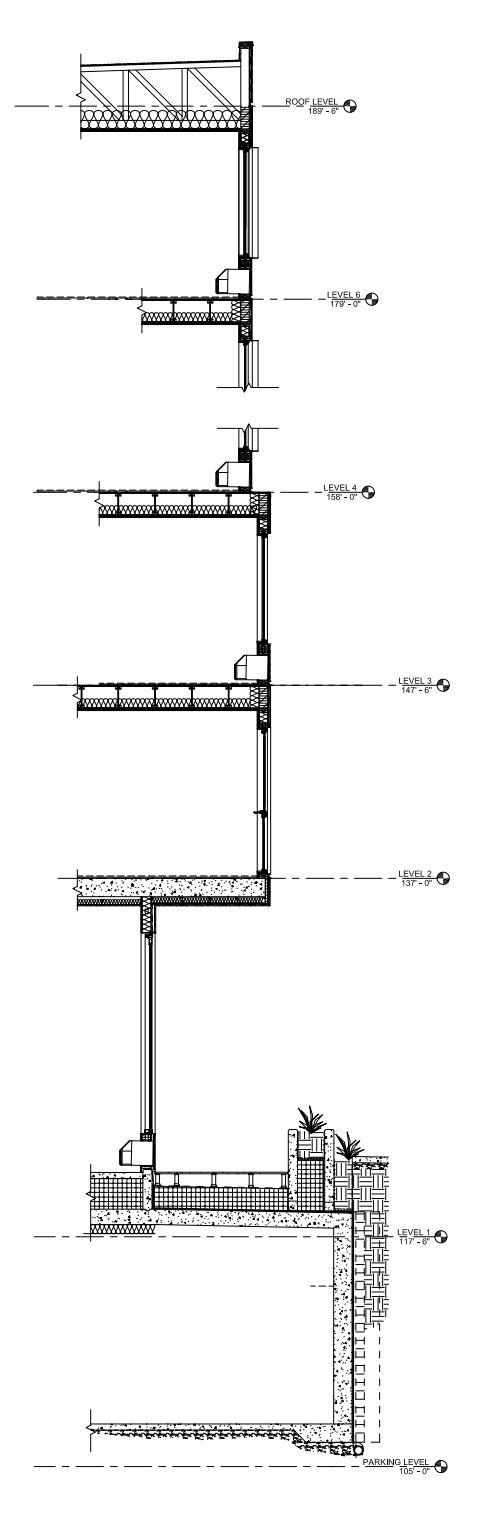
C-C WEST WALL SECTION @ MAIN ENTRY STAIR



D-D MULTNOMAH WALL SECTION @ RETAIL



E-E EAST WALL SECTION @ RETAIL



F-F MULTNOMAH WALL SECTION AT LIVE-WORK STOOP

ALTERNATE

WALL SECTIONS