Response to check sho

Teragan & Associates, Inc.

Terrence P. Flanagan — Arboricultural Consultants

☒ NO EXCEPTION TAKEN ☐ MAKE CORRECTIONS NOTED
☐ REVISE AND RESUBMIT ☐ REJECTED
REVIEWED FOR GENERAL CONFORMITY WITH CONTRACT DOCUMENTS, SUBCONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES, DIMENSIONS, JOINERY, AND COMPLETE COMPLIANCE WITH CONTRACT DOCUMENTS.

ANDERSEN CONSTRUCTION CO., INC.
BY Bryan Shoemaker DATE 8-27-08
ACCO JOB# 07-0807
SUBMITTAL # 01565-1.1-D

Thursday, August 21, 2008

RECEIVED AUG 25 2008 BDS DOCUMENT SERVICES

Bryan Shoemaker
Andersen Construction
6712 N. Cutter Circle
Portland, OR 97217

RE: Tree Protection Plan for Addition to Shriner's Hospital

Review of the trees located on the north edge of the work and staging area that has been set for the construction of the addition to the hospital over the existing parking garage at the Shriner's Hospital indicates that it should be possible to adequately protect the trees while providing enough room for construction crews to complete the project.

While the work/staging area that has been set as shown on the site plan may encroach within the tree root protection radius equal to twelve inches for every inch of tree diameter, it won't by much. A careful review of the planned work/staging area that encroaches closer than the 1 to 12 ratio for the root pad protection of the retained trees along the edge indicates that only one side of the tree's root system will be affected, far less than 25% of the roots will be impacted, and many of the trees' root spread has been limited due to nearby trees that are located in the work/staging area that are to be removed.

Excavation will not occur within the 1/12 radius from the trees that are located along the edge within the work/staging area but equipment will be operating within the area that likely will cause soil compaction that can cause root death in the area of soil compaction. However, the area of roots that are protected on these edge trees is more than adequate to insure there long term survival of any of the trees that are to be retained along the project's edge.

Construction crews have been informed that if in the unlikely situation there run into any roots they feel are from the trees to be retained, they are to call to receive guidance from the project arborist on how to work around such roots.

In addition, the project arborist will be completing monthly inspection of the site to insure that all tree protection measures as listed in appendix # 1, Tree Protection Steps, are followed throughout the life of the project.

08-122284-EXC 01

3145 Westview Circle • Lake Oswego, OR 97034
(503) 697-1975 • Fax (503) 697-1976•E-mail: terry@teragan.com
ISA Board Certified Master Arborist, #PN-0120 BMT
Member, American Society of Consulting Arborists

City of Portland
Bureau of
Development Services
By SMC Date 9/22/08
Approved by
Planning and Zoning Review

One unique step of this project in regards to the tree protection measures is that the trees that are to be removed from the site will be removed utilizing a crane set on top of the existing parking garage. The tree removal will be completed before the tree protection fencing is completely set as there are at least four trees that are located in the line of the final placement of the tree protection/construction fence. Only individuals from the tree removal crew will be accessing the site on foot during the tree removal stage. After the completion of the tree removals, the tree protection fence erection in the location as indicated on the site plan will be completed.

There is one 10.5 inch diameter Douglas fir that is dead off the northwest end of the staging area that I have recommended for removal as it is poses a hazard for workers that will be in the area within the staging area.

If you have any questions or concerns regarding the information above, please call.

Sincerely,

Terrence P. Flanagan
ISA Board Certified Master Arborist, #PN-0120 BMT
PNW/ISA Certified Tree Risk Assessor, #PN-0152
Member, American Society of Consulting Arborists

Enclosures: Appendix # 1 – Tree Protection Steps
Appendix # 2 – Tree Inventory

Appendix # 1
Tree Protection Steps

It is critical that the following steps be taken to ensure that the trees that are to be retained are protected.

Before Construction Begins

1. Notify all contractors of the tree protection procedures. Have all sub contractors sign memoranda of understanding regarding the goals of tree protection. For successful tree protection on a construction site all contractors must know and understand the goals of tree protection. It can only take one mistake with a misplaced trench or other action to destroy the future of a tree.
2. Hydraulically deep root fertilize trees to aerate the soil, deep root water the tree and fertilize it with a balanced fertilizer before construction.
3. Fencing
   a. Establish tree protection fencing around each tree or grove of trees to be retained.
   b. The fencing is to be put in place before the ground is cleared but after the trees are removed from above, from the top deck of the parking garage utilizing a crane, in order to protect the remaining trees and the soil around the trees from any disturbance at all.
   c. Fencing is to be placed at the distances from Trees 1-7, listed in the attached Tree Protection Table, and as shown on Sheet C-1.00 Civil Engineer Demolition Plan.
   d. Fencing is to consist of 6-foot high chain link fencing tied to steel posts driven into the ground every 6 feet to prevent it from being moved by contractors, sagging or falling down.
   e. Fencing is to remain in the position that is established by the project arborist and not to be moved without written permission from the project arborist for the duration of the construction project.
4. Signage
   a. All tree protection fencing should have signage explaining the purpose of the fence. An example would be as follows;

Tree Protection Area
Do Not Enter
Without Written Approval From
Project Arborist or Property Owner
Teragan & Associates
503-803-0017

   b. Signage should be place as to be visible from all sides of a tree protection area and spaced every 20 feet.

During Construction

1. Protection Guidelines Within the Root Protection Zone
   a. No traffic shall be allowed within the root protection zone. No vehicle, heavy equipment, or even repeated foot traffic.
   b. No storage of materials including but not limiting to soil, construction material, or waste from the site.

   b. No storage of materials including but not limiting to soil, construction material, or waste from the site.
      i. Waste includes but is not limited to concrete wash out, gasoline, diesel, paint, cleaner thinners, etc.
   c. Construction trailers are not to be parked/placed within the root protection zone without written clearance from project arborist.
   d. No vehicles shall be allowed to park within the root protection areas.
   e. No activity shall be allowed that will cause soil compaction within the root protection zone.
2. The trees shall be protected from any cutting, skinning or breaking of branches, trunks or roots.
3. Any roots that are to be cut from existing trees, the project consulting arborist shall be notified to evaluate and oversee the proper cutting of roots with sharp cutting tools. Cut roots are to be immediately covered with soil or mulch to prevent them from drying out.
4. No grade change should be allowed within the root protection zone.
5. Any necessary deviation of the root protection zone shall be cleared by the project consulting arborist.
6. Provide water to trees during the summer months. Tree(s) will have had root system(s) cut back and will need supplemental water to overcome the loss of ability to absorb necessary moisture during the summer months.
7. Any necessary passage of utilities through the root protection zone shall be by means of tunneling under roots.

After Construction

1. Carefully landscape in the area of the tree. Do not allow trenching within the root protection zone. Carefully plant new plants within the root protection zone. Avoid cutting the roots of the existing trees.
2. Do not plan for irrigation within the root protection zone of existing trees unless it is drip irrigation for a specific planting or cleared by the project arborist.
3. Provide for adequate drainage of the location around the retained trees.
4. Pruning of the trees should be completed as one of the last steps of the landscaping process before the final placement of trees, shrubs, ground covers, mulch or turf.
5. Provide for inspection and treatment of insect and disease populations that capable of damaging the retained trees and plants.
6. Trees should be fertilized and inoculated with mycorrhizae treatments if needed.

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Tree Inventory
Shriner's Hospital Project
Anderson Constructoin Co., Inc

Name:	Shriners Hospital for Children
Location:	OHSU
Date:	8/12/2008

NO.	COMMON NAME	BOTANICAL NAME	DBH	CONDITION	STRUCTURE	COMMENTS	Distance from center of tree to tree protection fencing location
1	Red Maple	*Acer rubrum*	29			Remove dead wood. 2" dead wood	No less than 16 '
2	Douglas Fir	*Pseudotsuga menziesii*	22	Fair	Fair	One sided branch to southeast at 4 ft 6 inches is wrapped around fence; buldge in grafting to the east	No less than12 '
3	Douglas Fir	*Pseudotsuga menziesii*	26	Good	Fair	Branches to east bulge at 3 ft 6 inches	No less than 14 '
4	Douglas Fir	*Pseudotsuga menziesii*	25	Good	Good		No less than 14 '
5	Douglas Fir	*Pseudotsuga menziesii*	14	Good	Poor	Suppressed; lost top; branches to south	No less than 8 '
6	Douglas Fir	*Pseudotsuga menziesii*	14	Good	Fair	Branches at top 20% of tree	No less than 8 '
7	Douglas Fir	*Pseudotsuga menziesii*	31	Good	Good		No less than 17 '
8	Douglas Fir	*Pseudotsuga menziesii*	10.5	Dead		10.5 inches in diameter with decay; remove for worker safety	

"Tree Protection table"

Teragan Associates, Inc
3145 Westview Circle
Lake Oswego, OR 97034
503-697-1975

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GRI
9725 SW Beaverton-Hillsdale Hwy, Suite 140
Beaverton, OR 97005-3364
p| 503-641-3478 f| 503-644-8034

MEMORANDUM

To: Tom Ochab / Shriners Hospitals for Children
c/o SRG Partnership, Inc.
621 SW Morrison Street, Suite 200
Portland, OR 97205

Date: September 15, 2008
GRI Project No.: 4666

From: Michael Reed, PE, and Scott Schlechter, PE

cc: Chris Thompson, SE, and Jake Stept, SE / Catena Consulting Engineers
Bryan Higgins / SRG Partnership, Inc.

Re: Recommended Settlement Monitoring Program during Shoring Installation and Construction
Addition to Shriners Hospital for Children
Portland, Oregon

At your request, we have reviewed the pin pile and rock anchor submittal from Malcolm Drilling Company, Inc. and the City of Portland Site Development Checksheet No. 3, dated September 12, 2008. As you know, GRI provided geotechnical recommendations for the project in our August 2, 2007, report entitled, "Geotechnical Investigation, Addition to Shriners Hospital for Children, Portland, Oregon." Based on our review of these documents, we recommend the following monitoring program during construction:

The following locations should be surveyed for horizontal and vertical movement once a day during construction of the soil-nail wall:

1) One point on all existing column footings supported by the soil-nail wall

2) The shotcrete facing at 25-ft increments along the top of the soil-nail wall.

The daily survey monitoring should continue until construction of the lock-and-load retaining wall is completed, at which point the survey frequency can be reduced to once a week, or as recommended by GRI based on the survey results to date.

The contractor should provide the survey data to GRI and the City of Portland on the same day as they are surveyed for the duration of the project.

This memorandum should be considered an addendum to our August 2, 2007, report for this project and is subject to the limitations discussed therein.

CITY OF PORTLAND, OREGON – BUREAU OF DEVELOPMENT SERVICES

Special Inspections • 1900 SW Fourth Avenue, Suite 5000 • Portland, Oregon 97201 • www.bds.ci.portland.or.us

Soils Special Inspection Program Checksheet

The registered design professional in responsible charge shall prepare and submit a special inspection program in accordance with IBC Sections 1704.1.1, 1705.2 and 106.3.4.1 and confirm that the special inspections noted below are indicated on the drawings.

~ Please note that separate Life Safety & Structural Inspection Checksheets may also be required ~

Instructions -- This Checksheet must be fully completed to obtain your permits

⇒ **Part B and Part C** must be completed by the Owner, Architect or Engineer acting as the owner's agent.

When complete, return to Document Services, attn: Special Inspections, or fax to (503) 823-4172.

Application #	08-122284-EXC-01-CO	**Date:**	July 15, 2008
Project Name:	SHRINER'S HOSPITAL - EXCAVATION/SHORING		
Site Address:	3101 SW SAM JACKSON PARK RD		
Architect of Record (Firm)	SRG PARTNERSHIP *BRYAN HIGGINS*	**Phone #**	(503) 222-1917
Engineer of Record (Firm)	CATENA CONSULTING ENGINEERS *CHRIS THOMPSON*	**Phone #**	(503) 467-4980

The following special inspections and observations shall be performed according to the State Building Code and City of Portland Special Inspection Program Administrative Rules unless a program of inspections is submitted by the Engineer of Record and approved by the Bureau of Development Services.

PART A Required Inspections

MSE Wall Construction, Materials, Drainage, and Backfill Compaction

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PART B Designation of Soils Special Inspector

Indicate the City approved inspection agency to perform the special inspections noted in PART A above. If the indicated inspector / agency is different than the geotechnical engineer responsible for the geotechnical design, please contact your plans examiner.

David Hall	David A. Hall Structural Engineering	503.231.8727
Inspector / Geotechnical Engineer	Firm	Phone

PART C This Checksheet must be signed by the Owner, Architect or Engineer of Record

The owner hereby agrees to employ the special inspector, special inspection agency and/or engineer for the above noted special inspections. ***(Contractors are NOT authorized to sign for the Owner)***

Signature of Owner or the Architect or Engineer acting as the Owner's Agent — Date 8/4/08

Print Name BRYAN HIGGINS — Phone 503-222-1917

Firm SRG PARTNERSHIP — Plans Examiner Ericka Koss

APPLICANT – COMPLETE PARTS B & C

City of Portland
Bureau of Development Services
Land Use Services Division

1900 SW Fourth Ave. Suite 5000
Portland, Oregon 97201
Telephone: 503-823-7300
TDD: 503-823-6868
FAX: 503-823-5630
www.portlandonline.com/bds

Date: April 30, 2008

To: Interested Person

From: Stacey Castleberry, Land Use Services
503-823-7586

NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in this notice. If you disagree with the decision, you can appeal it and request a public hearing. Information on how to appeal this decision is listed at the end of this notice.

CASE FILE NUMBER: LU 07-167389 EN

GENERAL INFORMATION

Applicant: SRG Partnership, Inc.
Attention: Craig Tompkins
621 SW Morrison Street, Suite 200
Portland, OR 97205

Representative: SRG Partnership, Inc.
Attention: Bryan Higgins
621 SW Morrison Street, Suite 200
Portland, OR 97205

Beverly Bookin
The Bookin Group
1020 SW Taylor, Suite 760
Portland, OR 97205

Owner: State of Oregon, Board of Higher Education
3181 SW Sam Jackson Park Rd
Portland, OR 97239

Shriners Hospitals for Children
Attention: Thomas Ochab
PO Box 31356
Tampa, FL 33631-3356

Site Address: Shriners Hospital 3101 SW Sam Jackson Park Road; and 310 SW US Veterans Hospital Rd
Legal Description: TL 500 7.41 ACRES, SECTION 09 1 S 1 E; and SECTION 09 1S 1E; TL 200 26.24 ACRES LAND & IMPS
Tax Account No.: R991090480 and R991090550
State ID No.: 1S1E09 00500; and 1S1E09 200
Quarter Section: 3328
Neighborhood: Homestead, contact Anton Vetterlein at 503-790-0719.
Business District: None
District Coalition: Southwest Neighborhoods Inc., contact Leonard Gard at 503-823-4592.
Plan District: Marquam Hill Plan District
Zoning: EXcpd -- Central Employment base zone, with Environmental Conservation Environmental Protection, and Design overlay zones.
Case Type: EN – Environmental Review
Procedure: Type II, an administrative decision with appeal to the Hearings Officer.

Proposal: Shriners Hospitals for Children is planning a renovation and expansion of its facility at 3101 SW Sam Jackson Park Road, part of the OHSU Marquam Hill Campus. As illustrated on attached site plans, the proposed project includes:

- A new three-story, 64,680-square foot addition constructed over the existing parking structure, with associated utilities and stormwater management.
- The new structure will house the Inpatient Care and Diagnostic/Treatment Services, relocated from the existing building, to correct deficiencies in the current inpatient units and surgical suite without increasing the total number of inpatients served.
- Renovation of 54,000 square feet of existing hospital space.
- Upgrade of the utilities and infrastructure serving the building.

The proposed three-story expansion will be constructed as a "bridge" over the existing three-story parking structure north of the Shriners Hospital. The new footings will extend outward from the west, north and east sides of the existing parking structure, increasing the total footprint by 7,300 square feet.

Currently, the northeast corner of the existing parking garage extends into the Environmental Conservation overlay zone; the site is part of the 500-acre Marquam Hill Ravine (Site #113, *Southwest Hills Resource Protection Plan*). The "bridge" over the existing parking structure, supporting the building expansion, will also be partially within the environmental zone, as will a portion of the temporary 30-foot construction zone, along the north edge of the existing parking structure.

Stormwater from the expansion area will be treated through a stormwater planter system constructed along the east side of the building, between the Shriners Hospital expansion and Sam Jackson Park Road. Stormwater planters will be partially in the public right of way. After treatment, stormwater will be piped underground, south, beneath Sam Jackson Park right of way, to an existing stormwater pipe. Stormwater from this pipe is released into a drainageway that flows down the hill toward SW Terwilliger Boulevard from Sam Jackson Park Road.

Since a portion of the expansion is to occur in the Environmental Conservation overlay zone, certain Zoning Code standards must be met to allow the work to occur by right. If the standards are not met, an Environmental Review is required. In this case, the proposed building addition and stormwater outfall will result in over 6,000 square feet of disturbance area within the environmental resource area, and removal of approximately 300 diameter inches of native trees. Standards 33.430.140 A, and J are not met by the proposal; therefore the work must be approved through an Environmental Review.

Relevant Approval Criteria:
In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant criteria are:

- Section **33.430.250 E** Other Development in the Environmental Conservation zone.

ANALYSIS

Site and Vicinity: The addition to the Shriners Hospital for Children will be constructed over the existing parking garage, north of the Shriners Hospital on the OHSU campus. The entire OHSU campus is constructed on steep forested hillsides of Marquam Hill, in southwest Portland, above the SW Terwilliger Parkway. Shriners Hospital is above and west of Terwilliger, fronting on Sam Jackson Park Road. Surrounding property is built-up with multi-story medical research buildings and heavily traveled roads. Open space between buildings and roads are formally landscaped. The remaining informal open space is dominated by native trees and shrubs. Ivy removal projects have removed much of the English ivy that formerly dominated the groundcover.

The construction area itself, around the perimeter of the existing Shriners Hospital parking structure supports a healthy stand of large Douglas fir trees, with an understory of scattered

western hazelnut and dense sword fern. Directly north of the parking structure there are large bare patches where ivy removal work has left bare ground beneath the tree canopy.

The project site is situated on a north and east facing slope of Marquam Hill. The steep slopes on the OHSU campus are noted as having moderate to severe hazards on the City's Landslide Potential Map. Soils are Goble silt loam series soils, which are moderately drained soils; runoff is rapid and is susceptible to erosion hazards. The applicant provided a geotechnical report regarding slope stability in construction and staging areas (Exhibit A.3).

Zoning: The zoning for this portion of the site includes the Central Employment (EX) and the Design (d), Environmental Conservation (c) and Environmental Protection (p) overlay zones, and is shown on Exhibit B.

The Central Employment base zone implements the Central Employment map designation of the Comprehensive Plan. The zone allows mixed uses and is intended for areas in the center of the City that have predominantly industrial type development. The intent of the zone is to allow industrial and commercial uses which need a central location. The development standards are intended to allow new development which is similar in character to existing development. The Central Employment zone is designated with the mapping symbol "EX" on the official zoning maps. The proposed development is within the EX zone. The provisions of this zone allow this use and are not specifically addressed through this Environmental Review application.

The Design overlay zone promotes the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. This is achieved through the creation of design districts and applying the Design overlay zone as part of community planning projects, development of design guidelines for each district, and by requiring Design Review or compliance with Community Design Standards. This zone is designated with the letter "d" on the official zoning maps. The Design (d) overlay zone designation ensures that exterior alterations to existing development conserve and enhance the identified historic, scenic, architectural, and cultural values of each design district: in this case, the Marquam Hill Design Zone. The building addition was approved in a Design Review to ensure compliance with these regulations. This information may be reviewed in BDS Land Use Case File # LU 07-155018 DZ.

Environmental overlay zones protect environmental resources and functional values that have been identified by the City as providing benefits to the public. The environmental regulations encourage flexibility and innovation in site planning and provide for development that is carefully designed to be sensitive to the site's protected resources. The environmental regulations also carry out Comprehensive Plan policies and objectives. The environmental overlay zone is divided into resource area and transition area. The resource area contains important environmental resources to be protected. The transition area is the outermost 25 feet of the environmental zone and is intended to buffer the resource area from impacts of surrounding development. The purpose of this land use review is to ensure compliance with the regulations of the environmental zones. Only those portions of the Shriners Children's Hospital addition within the environmental resource area are subject to environmental review, including the construction area located north and east of the existing parking garage.

Environmental Resources: The application of the environmental overlay zones is based on detailed studies that have been carried out within ten separate areas of the City. The City's policy objectives for these study areas are described in reports that identify the resources and describe the functional values of the resource sites. Functional values are the benefits provided by resources. The values for each resource site are described in the inventory section of these reports.

This site is within the *Southwest Hills Resource Protection Plan* (the Plan) Resource Sites 113 "Marquam Hill Ravine," and 114 "Terwilliger Parkway, Central". The Plan identifies the following resources within these areas: wildlife habitat, upland coniferous and broadleaf deciduous forest, perennial and seasonal creeks, groundwater recharge, scenic, historic, cultural, recreational and open space.

The representative forest in undeveloped areas is second growth conifer topping hardwood. While the alders and maples approach 100 feet in height during this stage, conifers, primarily

Douglas fir, break through the hardwood canopy and grow to heights of 180 feet or more. The forest is 30 to 50 years old and is generally half conifer and half deciduous. A layer of downed woody debris on the forest floor provides food and cover and increases habitat quality. Sites 113 and 114 were given Wildlife Habitat Scores of 76 and 75 within a range (for all sites) of 50 to 86. The habitat quality is relatively good based on the vegetative cover that received "moderately high" ratings in terms of food and cover. Forested areas surrounding the project site support climax forest species, including western red cedar, grand fir, and western hemlock.

Land Use History: City records indicate an extensive land use review history on the OHSU Campus. Exhibit G.2 in the application case file provides a complete summary of all these land use reviews. Since 1959 there have been 39 land use reviews approved, the majority being Conditional Use reviews. The following are the most recent, from the past decade:

1. LUR 91-00159 DZ and LUR 91-00160 CU – approval of exterior stairway and mechanical shaft on exterior of south building;
2. LUR 91-00749 DZ – 4-story clinic above an existing parking structure;
3. LUR 91-00794 CU, AD – Approval of Master Plan and construction of two structures;
4. LUR 92-00751 DZ – approval of floors 10-14 and a penthouse on the Hospital South C-Wing;
5. LUR 92-00783 CU, AD – approval for additional square footage for Dotter Institute and relocation of existing parking information booth;
6. LUR 92-00866 CU, EN, AD – Approval of four-level, 157-car parking garage on north end of Shriners Hospital;
7. LUR 93-00125 MS, ZC, AD – approval to amend master plan and relocate viewpoint VM 31-25;
8. LUR 93-00702 CU, AD – Approval of Ambulatory Research & Education Center & Emergency room relocation & Helicopter Landing Facilities Relocation;
9. LUR 94-00946 EN – Approval to prune Douglas Fir trees & two Broadleaf Maples;
10. LUR 95-00155 DZ – Approval to cut down three trees in R1d zone;
11. LUR 95-00324 MS & LUR 95-00366 DZ – Approval to construct Doernbecher Children's Hospital & an adjacent parking facility for 150 cars;
12. LUR 97-00024 CU – Approval of new signage on north face of the University Hospital.
13. LU 02-138020 DZ – Approval of Design Review, with conditions, for the Biomedical Research Building [BRB], 260,233 SF of program space distributed over 11 levels: four partial basement levels and seven levels completely above grade.
14. LU 02-149248 EN – Approval of Environmental Review, with conditions, for the associated BRB disturbance area and mitigation proposal.
15. LU 02-150331 PRM – Approval of a Parking Review for 340 new parking spaces and 31 replacement spaces in connection with the proposed Biomedical Research Building [BRB] located in Subdistrict A and 480 new parking spaces and 35 replacement parking spaces in connection with the proposed PCF located in Subdistrict B.
16. LU 02-156970 EN - Approved the groundwork associated with the PCF Building and SW Campus Drive realignment.
17. LU 04-010949 EV - Approval of an Environmental Review for correction of a Zoning Code violation in the Environmental Conservation overlay zone for temporary construction disturbance in the Environmental Conservation overlay zone to build a sidewalk along Sam Jackson Park Road and to revise construction and mitigation plans previously approved in LU 02-156970 EN with conditions.
18. LU 05-110573 EN Approved an Environmental Review for Trails #13 and 24. Trail 24 would connect SW Campus Drive to SW Terwilliger Boulevard.
19. LU 07-155018 DZ Approved a Design Review approval for the renovation of and addition to the existing Shriners Hospital for Children within the Marquam Hill Plan District.

Of the listed land use reviews that apply directly to the Shriners Children's Hospital addition site, only LUR 92-00866 occurred after the adoption of the environmental conservation overlay on the site. It was recognized at the time that the proposed parking structure extended partially into the conservation zone, thus, triggering a concurrent Type II Environmental Review. In the Hearings Officer's Decision, the following conditions of approval were included:

A. Upon completion of the landscape work a summary letter of compliance must be provided to the Bureau of Buildings Special Inspection Coordinator. The summary letter must include certification from the contractor that all species planted are those indicated on the Planning Bureau approved landscape plan and that they are planted in accordance with specifications of the approved plan. **Applicant's Response:** Documentation of this is sketchy both in the hospital's and City's files on the case. However, the property beyond the north end of the parking structure has been re-planted as there is now a heavy canopy of trees. This condition appears to have been met.

(See BDS findings below on this matter.)

B. Maintenance of vegetation planted in compliance with this decision is required. This may include manual irrigation after initial planting, and replacement of planted stock which has not survived three full years after planting. Irrigation methods must be identified on the planting/landscape plan. One year after planting a letter of compliance must be provided to the Bureau of Buildings Special Inspections Coordinator certifying compliance with this condition. **Applicant's Response:** The landscaping has become well-established, so this condition does not apply.

C. The applicant must remove non-native trees that are under six inches in diameter at five feet above ground, and any English ivy, clematis or other non-native vegetation in the work area prior to installation of planting required with this approval. **Applicant's Response:** As noted in Condition A above, documentation of this is sketchy in both the hospital's and City's files. However, significant re-planting has occurred, as evidenced by the heavy canopy of trees. Presumably as part of this effort, non-native vegetation was removed, per this condition.

D. The applicant shall make a good faith effort to work out an agreement between OHSU, the City, and the applicant for implementing the mitigation plan in the area across Sam Jackson Road east of site. If the mitigation cannot be implemented in that area, the mitigation shall be done on-site to the north and west of the parking garage. The final mitigation plan, including location, must be reviewed and approved by the Bureau of Planning before issuance of building permits, The Hearings Officer retains jurisdiction to resolve any questions regarding the location of the mitigation site that cannot otherwise be resolved. **Applicant's Response:** Mitigation appears to have been undertaken in the affected area to the north of the parking garage. Further mitigation in cooperation with OHSU has not been necessary. This condition appears to have been met.

E. A final erosion plan is required based on final construction drawings which meet the specifications of the *Erosion Control Plans, Technical Guidance Handbook* and complies with Section 33.430.365. **Applicant's Response:** This condition was met as evidenced by the fact that building permits were issued for the project.

F. Construction management must be carried out in accordance with the approved construction management plan. One copy of the construction management plan must be attached to each set of plans submitted for building permits. **Applicant's Response:** This condition was met as evidenced by the fact that the building permits were issued by the City.

G. Exterior and interior lighting shall be placed and shielded so that they do not shine directly into wildlife habitat areas. Building plans shall adequately address this condition. **Applicant's Response:** The lighting associated with the north parking garage was selected and installed in compliance with this requirement.

H. No more than 27 spaces may be leased to OHSU. If leased to OHSU, the 27 spaces may only be used for short-term patient parking. **Applicant's Response:** At this time, none of Shriners parking supply is leased to OHSU. This condition is no longer applicable.

I. A site plan shall be submitted showing the number and location of all existing and new bicycle parking spaces. At a minimum, there shall be one bicycle space for every 20 auto and/or van spaces; all bicycle spaces shall be covered. **Applicant's Response:** The requirements for bicycle parking have changed, so this condition is no longer applicable. As indicated in the concurrent Design Review application, the applicant exceeds the requirement for long-term bicycle parking but has no short-term bicycle parking; this will be corrected as part of the current project. This condition will be met.

J. The Shriners Hospital shall continue to participate in the Transportation Plan element of the OHSU Master Plan. **Applicant's Response:** Shriners continues to work with OHSU to limit vehicle trips on Marquam Hill. Currently, the modal split for Shriners employees is 40% for alternative modes. This condition is met.

K. The Shriners Hospital shall continue to document their demand management program and provide annual reports to the Office of Transportation upon request. **Applicant's Response:** Shriners has not been submitting these reports on an annual basis. Since it is obligated to file an Employee Commuter Options report with the State every two years, this condition is redundant.

L. This decision must be recorded at the city Auditor's Office, as described below. **Applicant's Response:** The decision was recorded as required. This condition is met.

BDS Land Use Review staff finds that Conditions A and B from LUR 92-00866 CU EN AD are directly affected by the proposal to expand the hospital. The current application for expansion of Shriners Children's Hospital affects areas designated as mitigation planting areas on Exhibit D.9 of LUR 92-00866 CU EN AD (see attached Exhibit C.5). Although not requested by the applicant, the current application effectively revises LUR 92-00866 CU EN AD because the mitigation plantings depicted on Exhibit D.9 must be repositioned as a result of the expansion. Exhibit D.9 shows 46 conifers, 10 deciduous trees, 30 vine maples, shrubs planted 3 to 4 feet on center, and ground covers planted one foot on center along the north and west sides of the parking garage. The applicant will need to add these plantings to the mitigation they are already proposing for the hospital addition, to continue to meet the conditions for LUR 92-00866.

Agency and Neighborhood Review: A Notice of Proposal in your Neighborhood was mailed on March 6, 2008.

1. Agency Review: Several Bureaus and agencies have responded to this proposal. Please see Exhibits E for details. The comments are addressed under the appropriate criteria for review of the proposal.

2. Neighborhood Review: One written response was received from notified property owners in response to the proposal. OHSU raised concerns with erosion control, stormwater management, and slope stability above Sam Jackson Park Road (Exhibit F.1). These concerns are discussed below in findings for approval criterion 33.430.250 E.3.

ZONING CODE APPROVAL CRITERIA

33.430.250 Approval Criteria for Environmental Review
An environmental review application will be approved if the review body finds that the applicant has shown that all of the applicable approval criteria are met. When environmental review is required because a proposal does not meet one or more of the development standards of Section 33.430.140 through .190, then the approval criteria will only be applied to the aspect of the proposal that does not meet the development standard or standards.

Findings: The approval criteria which apply to the new building addition are found in Section 33.430.250 E. The applicant has provided findings, below, for these approval criteria and BDS Land Use Services staff have revised these findings or added conditions, where necessary to meet the approval criteria.

33.430.250.E. Other development in the Environmental Conservation zone or within the Transition Area only. In Environmental Conservation zones or for development within the Transition Area only, the applicant's impact evaluation must demonstrate that all of the following are met:

1. **Proposed development minimizes the loss of resources and functional values, consistent with allowing those uses generally permitted or allowed in the base zone without a land use review;**

Findings: The purpose of this criterion is to recognize that some form of development is allowed, consistent with the base zone standards. Impacts of the proposed development are measured relative to the impacts associated with the development normally allowed by the base zone; in this case, hospital uses are allowed by right in the EX zone and within the OHSU Marquam Hill Plan, subject to Design Review. The EX base zone allows 100 per cent of site to be covered by buildings, according to Table 140-3 of the Zoning Code.

Given the need to connect the hospital expansion to the existing building, it must bridge over the north parking garage, which was approved in an earlier Environmental Review (LUR 92-866). The additional developed area is only about 7,300 square feet, and approximately 2,000 square feet of the permanent building addition will encroach into the resource area of the environmental zone. The proposed construction disturbance area, beyond the permanent building, within the conservation zone is minimal—approximately 4,000 square feet.

The proposal minimizes the loss of resources and functional values, consistent with allowing those uses generally permitted or allowed in the base zone without a land use review.

Therefore, this criterion is met.

2. **Proposed development locations, designs, and construction methods are less detrimental to identified resources and functional values than other practicable and significantly different alternatives;**

Findings: This criterion requires the applicant to demonstrate that alternatives were considered during the design process, and that there are no practicable alternatives that would be less detrimental to the identified resources and functional values.

The applicant provided an alternatives analysis that can be found in the application case file as Exhibits A.1, A.4, and A.5, and is summarized below.

The proposed expansion of Shriners Children's Hospital is integral to the existing hospital, and must be immediately adjacent to the existing building. Given the long rectangular building and site configuration, which runs in a north/south direction, and the dense OHSU development immediately to the west, the only available space for expansion is to the north, bridging over the top of the existing parking structure. Because of the structural requirements of the expansion, it cannot be placed upon the existing parking structure but must be anchored independently to bedrock, requiring the extension of footings beyond the perimeter of the existing building. Because the development utilizes the bulk of the existing garage footprint, it is the least invasive and impacting option. The expansion will extend only slightly beyond the existing walls to allow for building footings to be extended down to bedrock, increasing the existing footprint by 7,300 square feet.

The total building area to be constructed within the resource area of the conservation zone is roughly 2,000 square feet. Given the built-up nature of the OHSU campus and the need to keep Shriners hospital functions close in proximity to one another, there are virtually no alternative locations, design modifications, or construction methods that would reduce impacts on forest cover, soil stability and wildlife habitat. The proposed addition is the only feasible functional alternative and utilizing the existing garage structure is the alternative with the fewest impacts.

This criterion is met.

3. **There will be no significant detrimental impact on resources and functional values in areas designated to be left undisturbed;**

Findings: This approval criterion requires the protection of resources outside of the proposed disturbance area from impacts related to the proposal, such as damage to vegetation, erosion of soils off the site, and downstream impacts to water quality and fish habitat from increased stormwater runoff and erosion off the site.

The applicant has provided a construction management plan designed to facilitate construction and minimize temporary environmental impacts, as follows:

1. A temporary access road will be constructed along the east side of the existing garage parallel to SW Sam Jackson Park Road. It will be constructed within the footprint of permanent development for the building addition and stormwater planter boxes along Sam Jackson Park Road.
2. To construct the temporary access road along SW Sam Jackson Park Road, two retaining walls will be necessary due to steeply sloping hillsides. A permanent, 180-foot long wall will be built 14 feet high at its highest point, about 5 feet west of the existing roadway. A second, temporary wall will be constructed to the west of the permanent wall, 13 feet above the permanent retaining wall at its highest point.
3. A tower crane will be located mid-building, outside of the environmental zone, between Sam Jackson Park Road and the addition. The 200-foot tall crane will clear surrounding trees and structures. With a maximum reach of 164 feet, it will extend past the new structure by approximately 8 feet at the northwest end.
4. Temporary construction office trailers will be positioned south of the construction activity, outside of the environmental zones, along the west side of Sam Jackson Park Road.
5. A staging platform will be built outside of the environmental zone at the southeast corner of the new structure to reduce staging area needed, and keep impacts out of the environmental zone. Small delivery trucks will approach the delivery platform from SW Campus Drive.
6. The applicant's construction management plan includes a construction fence placed 30 feet north of the proposed new building wall, to limit construction disturbance within the resource area, and to protect native trees. There will be no impact beyond the temporary construction area, a 30' strip beyond the north perimeter of the proposed expansion, only a portion of which extends into the "c" zone. A temporary construction fence will be placed to delineate the limits of construction activities.
7. Erosion control within the construction area will be provided through the use of silt fences along the north end with straw bales added to stabilize the fence. Exposed soils will be covered to limit erosion. All City construction erosion control requirements will be met. The highest point of exposed earth will be the northwest corner, and stormwater will run down to the temporary access road. Large crushed rock will be incorporated into the temporary access road design to minimize erosion and allow the settling out of fine materials. Water will be directed away from the structure to the outside portion of the access road along north and east sides.
8. Stormwater: --Temporary stormwater management during construction: At the east side of the temporary access road, inlets with metal grills will collect the water during construction, directing it to the crushed gravel below. It is anticipated that the gravel-filtered sediment from stormwater water will be filtered out prior to reaching the lowest point of compaction. BDS Site Development has raised questions about temporary stormwater management, and recommends a temporary pipe that can be abandoned when work is completed.

   The applicant explains that temporary catch basins and drain lines attach to a pipe on the inside of the retaining wall. The pipe will drain to a holding tank positioned northwest of the construction area on Sam Jackson Park Road. These lines are temporary and will be removed and or abandoned after construction and will not be connected to the permanent perforated pipe at the inside base of the wall. See Exhibit C.11 for details.

   Permanent Stormwater management after construction: Stormwater from the proposed stormwater planters will be pumped south on Sam Jackson, tie into an existing 24-inch storm line, and will not interrupt the environmental zone. Exhibits C.7.a, and C.7.b show the permanent stormwater pipes in Sam Jackson Park Road.

Questions have been raised about potential stormwater run off impacts that could occur if the stormwater management system and erosion control mechanisms planned for the construction period do not work or are not well maintained. The concern stems from the project's close proximity to the roadway below and the potential for rock fall and landslides. There is some slumping of the roadway below this area (i.e. below the first curve coming

down the hill) which could indicate some risk of instability in the area's geology. Since SW Sam Jackson Park Road is the primary ambulance access and a vital link to Marquam Hill, it must be safeguarded from any unintended consequences of the construction planned by Shriners.

To provide a reasonable level of assurance that the stormwater system and erosion control mechanisms continue to function correctly and are maintained throughout the construction period, the applicant's erosion control professional must perform weekly inspections of these elements throughout the construction site. Inspections would allow early detection of problems such as increased water flows, shifting of the ground or vegetation, or signs of slope instability.

Erosion control requirements found in Title 10 apply to both site preparation work and development. The project area meets the criteria specified in City Code 10.30.030 as a Special Site with additional requirements for erosion, sediment and pollution control. An erosion control plan prepared by a Certified Professional in Erosion and Sediment Control (CPESC) or State of Oregon registered professional engineer, and special inspections by the CPESC or P.E. during construction, will be required at the time of building permit application. To ensure continued erosion prevention, the CPESC should:

1) Inspect temporary erosion and sediment control measures to ensure that measures are functioning properly. Inspections shall be made prior to start of ground disturbing activity, weekly thereafter, and within 24 hours of any storm event that produces ½-inch of rain or more in any 24-hour time period.

2) Inspect permanent erosion and sediment control measures after completion of all ground disturbing activity and prior to the City #210 Permanent EC Measures inspection to ensure the measures are functioning properly.

With conditions for construction monitoring by a Certified Professional in Erosion and Sediments Control, *this criterion can be met by the proposal.*

4. The mitigation plan demonstrates that all significant detrimental impacts on resources and functional values will be compensated for;

Findings: This criterion requires the applicant to assess unavoidable impacts and propose mitigation that is proportional to the impacts, as well as sufficient in character and quantity to replace lost resource functions and values.

The applicant's analysis identifies the following impacts:

- Permanent disturbance area for the hospital building expansion: approximately 2,000 square feet.
- Temporary construction disturbance area for construction access and staging: approximately 4,000 square feet.
- Tree removal : 26 trees, including 104 diameter inches of Douglas fir, and 258 inches of bigleaf maple.

To mitigate these impacts the applicant proposes the following:

a. Forest resources at the site will be enhanced by replacement of trees displaced by the expanded building footprint and within the temporary construction area using native species, and removal of non-native invasive vegetation in a mitigation area covering roughly 6,000 square feet.

b. Proposed plantings include 30 native trees, 12 arborescent shrubs, 30 smaller shrubs, and 33 sword ferns.

c. Once re-planting and other mitigation measures are implemented fully, the applicant will monitor and maintain the plantings, particularly in the early years, until native vegetation is established.

In this case, the mitigation plan must address new impacts that will result from the proposed hospital expansion, as well as relocation of the mitigation already required for Environmental Review LUR 92-00866 CU EN AD. The applicant proposed a mitigation plan

to compensate for the loss of 26 trees for the hospital expansion, however, the plan did not adequately replace trees according to Table 430-3, and did not replace displaced plantings required in the 1992 review.

The Zoning Code Table 430-3 requires the 26 trees being removed to be replaced with 54 trees and 63 shrubs. The applicant incorrectly calculated replacement trees at 42 trees. The applicant notes that, north of the building addition, there is insufficient room among the remaining mature Douglas fir forest to plant another 42 trees. They therefore propose 30 trees plus 12 arborescent ("tree-like") shrubs, for a total of 42. The arborescent shrubs will add a mid-level canopy that is currently lacking among the mature forest stand, and improve structural diversity in the mitigation area. Species like vine maple, western crabapple, and common chokecherry will provide cover at about 25 feet, between a 10-foot high shrub layer and the Douglas fir. BDS staff finds that, with an additional 12 arborescent shrubs, the intent of Table 430-3 can be met, despite the number of existing trees.

The applicant lists sword fern as a replacement shrub on the mitigation plan, to meet the requirements of Table 430-3. Sword fern functions as a ground cover, and is not classified as a shrub in the *Portland Plant List*. An additional 33 shrubs are needed to meet the requirements in Table 430-3.

The 1992 land use review required 56 trees, 30 vine maples, 288 shrubs planted 3 to 4 feet on center, and groundcovers planted one foot on center along the north and east sides of the parking garage. These plantings were depicted on LUR 92-00866 CU EN AD Exhibit D.9, which is attached to this Decision for reference. Hospital expansion areas being reviewed here will displace all of the required mitigation plantings shown on Exhibit D.9. In order to continue to meet the conditions of approval specified by the Hearings Officer in the Decision for LUR 92-00866 CU EN AD, the required plantings must be replaced. BDS staff has indicated mitigation planting areas within the stormwater planter, and northwest of the building expansion, on the Mitigation Plan (Exhibit C.4).

In summary, to meet this approval criterion, and to comply with LUR 92-00866 CU EN AD, the applicant must:

1. Install all plantings as proposed on the Mitigation Plan (Exhibit C.4);
2. Plant an additional 12 arborescent shrubs and 33 shrubs selected from the *Portland Plant List*, in order to meet the intent of Table 430-3; and
3. Plant 56 trees, 30 vine maples, native shrubs 3 feet on center, and native ground covers one foot on center, to continue compliance with LUR 92-00866 CU EN AD.

Monitoring and Maintenance:
The Zoning Code states that required shrubs and trees must survive until maturity. Monitoring and maintenance of the plantings for a period of two years will ensure survival during the most critical period of establishment of new plantings. One hundred percent of the planted trees will be required to survive the two-year monitoring period, or be replaced. Maintaining shrub and groundcover survival so that 80 percent of the planted areas are covered by native vegetation, will ensure a healthy understory is established. Limiting intrusion into planted areas by invasive species, as well as providing water during the dry summer months, for the first few years, will also help to ensure survival of the mitigation plantings. Documentation of these monitoring and maintenance practices should be included in an annual monitoring report to demonstrate success of the mitigation plan.

With conditions for additional plantings as listed above, for removal of invasive species, and for specific monitoring requirements, *this criterion can be met.*

5. **Mitigation will occur within the same watershed as the proposed use or development and within the Portland city limits except when the purpose of the mitigation could be better provided elsewhere; and**

6. **The applicant owns the mitigation site; possesses a legal instrument that is approved by the City (such as an easement or deed restriction) sufficient to carry out and ensure the success of the mitigation program; or can demonstrate legal authority to acquire property through eminent domain.**

Findings: Mitigation for significant detrimental impacts will be conducted on the same site as the proposed use or development, and therefore within the same watershed..

Shriners Hospital for Children leases the site from OHSU and has the latter's permission to undertake mitigation efforts on the property. *These criteria are met.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

Shriners Hospital for Children proposes expansion of its facility at 3101 SW Sam Jackson Park Road, part of the OHSU Marquam Hill Campus. A portion of the expansion will encroach into the City's Environmental overlay zoning. The proposed project being reviewed in this environmental review includes:

- A new three-story, 64,680-square foot addition constructed over the existing parking structure, with associated utilities and stormwater management.
- Upgrade of the utilities and infrastructure serving the building.

The proposed three-story expansion will be constructed as a "bridge" over the existing three-story parking structure north of the Shriners Hospital. The new footings will extend outward from the west, north and east sides of the existing parking structure, increasing the total footprint by 7,300 square feet. About 6,000 square feet of resource area will be disturbed during construction of the addition. 26 trees will be removed. To comply with the tree replacement standards in the Zoning Code, and with LUR 92-00866 CU EN AD, the applicant will be required to expand the proposed mitigation plan.

The proposal will result in the fewest environmental impacts of other alternatives, and impacts will be mitigated. The applicable approval criteria can be met and the building expansion should be approved.

ADMINISTRATIVE DECISION

Approval of an Environmental Review for:

- Construction of a building expansion for Shriners Hospital for Children

within the Environmental Conservation overlay zone, and in substantial conformance with Exhibits C.3 through C.8, and C.11, as modified, signed, and dated by the City of Portland Bureau of Development Services on **April 28, 2008**. Approval is subject to the following conditions:

A. All permits: Copies of the stamped Exhibits C.3 through C.8, and C.11, from LU 07-167389 EN and Conditions of Approval listed below, shall be included <u>within all plan sets submitted for permits (building, grading, Site Development, erosion control, etc.)</u>. These exhibits shall be included on a sheet that is the same size as the plans submitted for the permit and shall include the following statement, ***"Any field changes shall be in substantial conformance with approved Exhibits C.3 through C.8, and C.11."***

1. **At the time of permit application, the applicant shall submit a Final Planting Plan** for review and approval by BDS Land Use Review staff. The plan shall be at a minimum scale of 1 inch = 10 feet, showing the mitigation area in its entirety. The plan shall show all of the mitigation plantings required below in Condition C, and noted by BDS staff on Exhibit C.4 Mitigation Plan.

B. An on-site meeting between the applicant, the contractor, and City staff is required prior to any ground disturbing activity. Condition 1 below shall be completed prior to the scheduled meeting, and the following conditions shall be shown on all permit plans:

1. Temporary construction fencing (four feet high) shall be installed according to Section 33.248.068 (Tree Protection Requirements), except as noted below. Construction

fencing shall be placed along the Limits of Construction Disturbance for the approved development, as depicted on Exhibit C.5 Construction Management Plan, or as required by inspection staff during the plan review and/or inspection stages.

2. No mechanized construction vehicles are permitted outside of the approved "Limits of Construction Disturbance" delineated by the temporary construction fence. All planting work, invasive vegetation removal, and other work to be done outside the Limits of Construction Disturbance, shall be conducted using hand held equipment.
3. A registered professional engineer, other professional certified by the state with experience in preparing erosion control plans, or a registered Certified Professional in Erosion and Sediment Control (CPESC) who prepares and implements erosion control plans, shall prepare the required erosion control plan, which shall meet the requirements of the Site Development section of BDS. The CPESC shall:
   a. Inspect temporary erosion and sediment control measures to ensure that measures are functioning properly. Inspections shall be made prior to start of ground disturbing activity, weekly thereafter, and within 24 hours of any storm event that produces ½-inch of rain or more in any 24-hour time period.
   b. Inspect permanent erosion and sediment control measures after completion of all ground disturbing activity and prior to the City #210 Permanent EC Measures inspection to ensure the measures are functioning properly.

C. Mitigation Plantings shall be installed according to the Final Mitigation Planting Plan. A Final Mitigation Planting Plan shall be prepared by the applicant and shall include the following as noted on Exhibit C.4 Mitigation Plan (all plants shall be selected from native species listed on the *Portland Plant List*):

1. A total of 30 trees, 42 shrubs, and 33 sword fern shall be planted, as proposed by the applicant and in substantial conformance with Exhibit C.4 Mitigation Plan (Area 2).
2. An additional 12 arborescent shrubs (or small trees) (western flowering dogwood, vine maple, western crabapple, common chokecherry, etc.), shall be planted as noted on Exhibit C.4 Mitigation Plan by BDS staff (Area 2).
3. An additional 33 native shrubs shall be planted, as noted on Exhibit C.4 Mitigation Plan by BDS staff (Area 2).
4. For continued compliance with Hearings Officer conditions of approval for LUR 92-00866 CU EN AD as shown on Exhibit D.9, 46 conifers, 10 deciduous trees, 30 vine maples, native shrubs planted 3 to 4 feet on center, and native ground covers planted one foot on center shall be added to the applicant's mitigation planting plan (Exhibit C.4 Areas 1 and 3).
5. Plantings shall be installed between October 1 and March 31 (the planting season).
6. Prior to installing required plantings, non-native invasive plants (such as English ivy and Himalayan blackberry) shall be removed from all areas within 10 feet of mitigation plantings, using hand-held equipment.
7. All mitigation and remediation shrubs and trees shall be marked in the field by a tag attached to the top of the plant for easy identification. All tape shall be a contrasting color that is easily seen in the field.
8. The applicant shall have a registered landscape architect, a registered landscape contractor, or the designer of record certify that all the required mitigation plantings were installed as required. After installation, the applicant shall submit a Landscape Certification Form to this effect, signed by the registered landscape professional. The signed Landscape Certification Form shall be submitted to the Site Development Section of the Bureau of Development Services, confirming that all required mitigation plantings have been installed in accordance with these conditions of approval.

D. An inspection of Permanent Erosion Control Measures shall be required to document installation of the required mitigation plantings.

1. The **Permanent Erosion Control Measures** inspection (IVR 210) shall not be approved until the required mitigation plantings have been installed (as described in Condition C above);

--OR--

2. If the **Permanent Erosion Control Measures** inspection (IVR 210) occurs outside the planting season (as described in Condition C above), then the Permanent Erosion Control Measures inspection may be approved prior to installation of the required mitigation plantings – if the applicant obtains a separate **Zoning Permit** for the purpose of ensuring an inspection of the required mitigation plantings by March 31 of the following year.

E. The landscape professional or designer of record shall monitor the required plantings for two years to ensure survival and replacement as described below. The land owner is responsible for ongoing survival of required plantings beyond the designated two-year monitoring period. The landscape professional shall:

1. Provide a minimum of two letters (to serve as monitoring and maintenance reports) to the Homestead Neighborhood Association, and to the Land Use Services Division of the Bureau of Development Services (Attention: Environmental Review LU 07-167389 EN) containing the monitoring information described below. Submit the first letter within 12 months following approval of the Permanent Erosion Control Inspection of the required mitigation plantings. Submit subsequent letter 12 months following the date of the first monitoring letter. All letters shall contain the following information:
   a. A count of the number of planted trees that have died. One replacement tree must be planted for each dead tree (replacement must occur within one planting season).
   b. The percent coverage of native shrubs and ground covers. If less than 80 percent of the mitigation planting area is covered with native shrubs or groundcovers at the time of the annual count, additional shrubs and groundcovers shall be planted to reach 80 percent cover (replacement must occur within one planting season).
   c. A list of replacement plants that were installed.
   d. Photographs of the mitigation area and a site plan, in conformance with approved Exhibit C.4 Proposed Mitigation Plan, showing the location and direction of photos.
   e. A description of the method used and the frequency for watering mitigation trees, shrubs, and groundcovers for the first two summers after planting. All irrigation systems shall be temporary and above-ground.
   f. An estimate of percent cover of invasive species (English ivy, Himalayan blackberry, reed canarygrass, teasel, clematis) within 10 feet of all plantings. Invasive species must not exceed 20 percent cover during the monitoring period.

F. Failure to comply with any of these conditions may result in the City's reconsideration of this land use approval pursuant to Portland Zoning Code Section 33.700.040 and /or enforcement of these conditions in any manner authorized by law.

Note: In addition to the requirements of the Zoning Code, all uses and development must comply with other applicable City, regional, state and federal regulations.

This decision applies to only the City's environmental regulations. Activities which the City regulates through PCC 33.430 may also be regulated by other agencies. In cases of overlapping City, Special District, Regional, State, or Federal regulations, the more stringent regulations will control. City approval does not imply approval by other agencies.

Decision rendered by: Michael Nayak **on April 28, 2008.**
By authority of the Director of the Bureau of Development Services

Decision mailed: April 30, 2008

Staff Planner: Stacey M Castleberry

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on October 4, 2007, and was determined to be complete on February 26, 2008.
Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on October 4, 2007.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant waived the 120-day review period, as stated with Exhibit A.6.

Some of the information contained in this report was provided by the applicant.
As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Hearings Officer, which will hold a public hearing. Appeals must be filed **by 4:30 PM on May 14, 2008** at 1900 SW Fourth Ave. Appeals can be filed on the first floor in the Development Services Center until 3 p.m. After 3 p.m., appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of $250 will be charged**. The appeal fee will be refunded if the appellant prevails. Recognized neighborhood associations are not subject to the appeal fee. Low-income individuals appealing a decision for their personal residence that they own in whole or in part may qualify for an appeal fee waiver. In addition, an appeal fee may be waived for a low income individual if the individual resides within the required notification area for the review, and the individual has resided at that address for at least 60 days. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Fee waivers for low-income individuals must be approved prior to filing the appeal; please allow 3 working days for fee waiver approval. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please contact the receptionist at 503-823-7967 to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Hearings Officer is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 550 Capitol St. NE, Suite 235, Salem, Oregon 97301, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Hearings Officer an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.
If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed,* The final decision may be recorded on or after **May 15, 2008 – (the day following the last day to appeal).**
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun. Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS
NOT ATTACHED UNLESS INDICATED

A. Applicant's Statements
   1. Original Environmental Review Narrative
   2. Stormwater Disposal Hierarchy and SIM form
   3. Geotechnical Report
   4. 12/21/07 Revised Narrative
   5. 2/26/08 Revised Narrative
   6. 120-Day Waiver
   7. Applicant's response to bureau comments
B. Zoning Map (attached)
C. Plans/Drawings:
   1. Existing Conditions

2. Existing Conditions
3. Proposed Expansion (attached)
4. Mitigation Plan (attached)
5. Construction Management Plan (attached)
6. Tree Removal

7.a. and 7.b. Construction Documents showing stormwater plan (attached)

8. Grading & Erosion Control (attached)
9. LUR 92-00866 Mitigation Plan (attached for reference only)
10. LUR 92-00866 Mitigation Plant List
11. Construction Cross Section showing temporary storm system (attached)

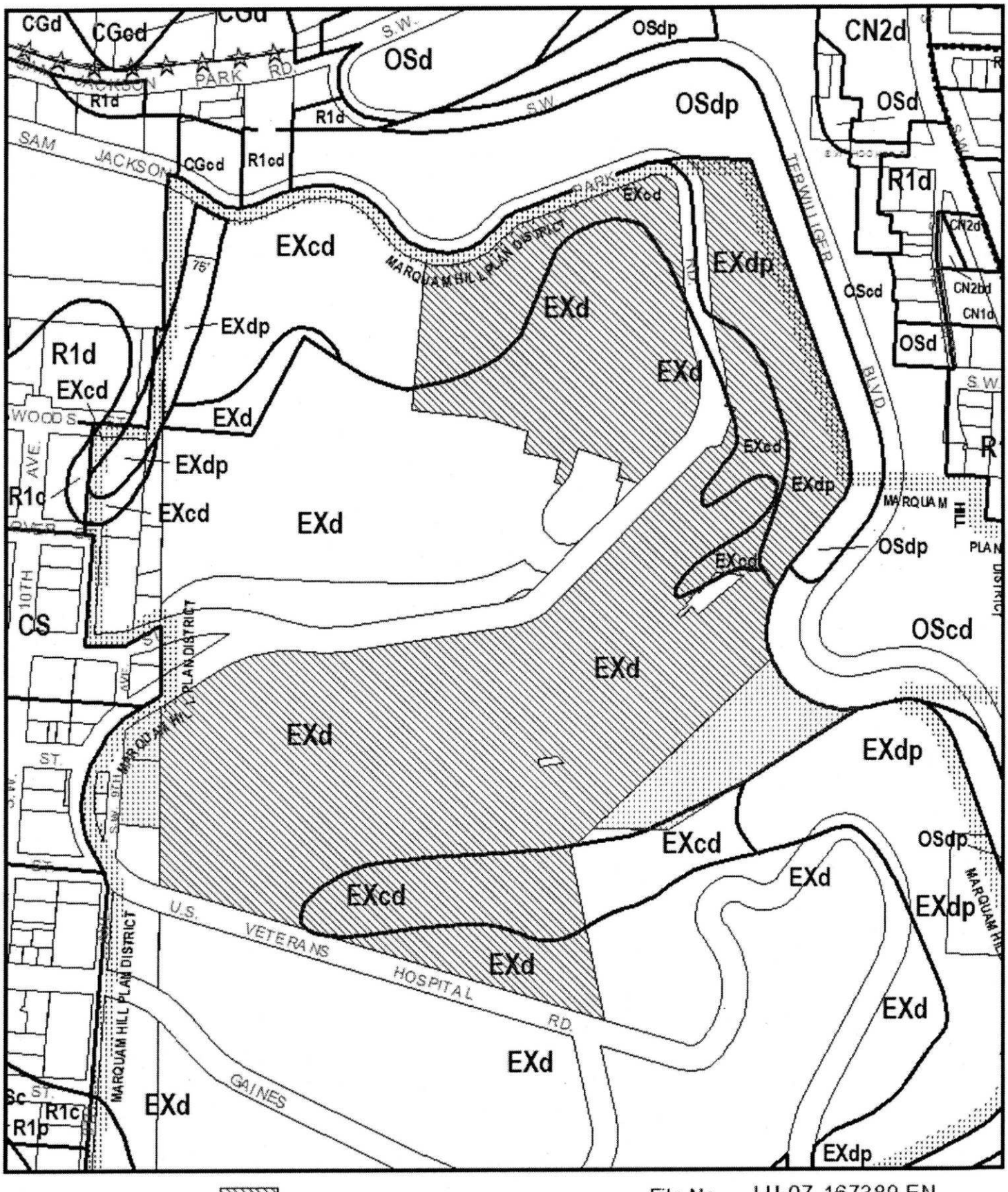
D. Notification information:
1. Mailing list
2. Mailed notice

E. Agency Responses:
1. Bureau of Transportation Engineering and Development Review
2. Site Development Review Section of BDS (completeness response)
3. Site Development Review Section of BDS
4. Bureau of Environmental Services

F. Correspondence:
1. OHSU

G. Other:
1. Original LU Application
2. Site History Research
3. Incomplete Letter
4. Second Incomplete Letter
5. Case Contacts and attachments
6. Pre-Application Summary notes

The Bureau of Development Services is committed to providing equal access to information and hearings. If you need special accommodations, please call 503-823-0625 (TTY 503-823-6868).



ZONING

Site

Also Owned

Historic Landmark

NORTH

File No.	LU 07-167389 EN
1/4 Section	3328,3428
Scale	1 inch = 300 feet
State_Id	1S1E09 200
Exhibit	B (Feb 27,2008)

FIGURE II-7A

PROPOSED SITE PLAN AT 'C' ZONE

PROPOSED EXPANSION

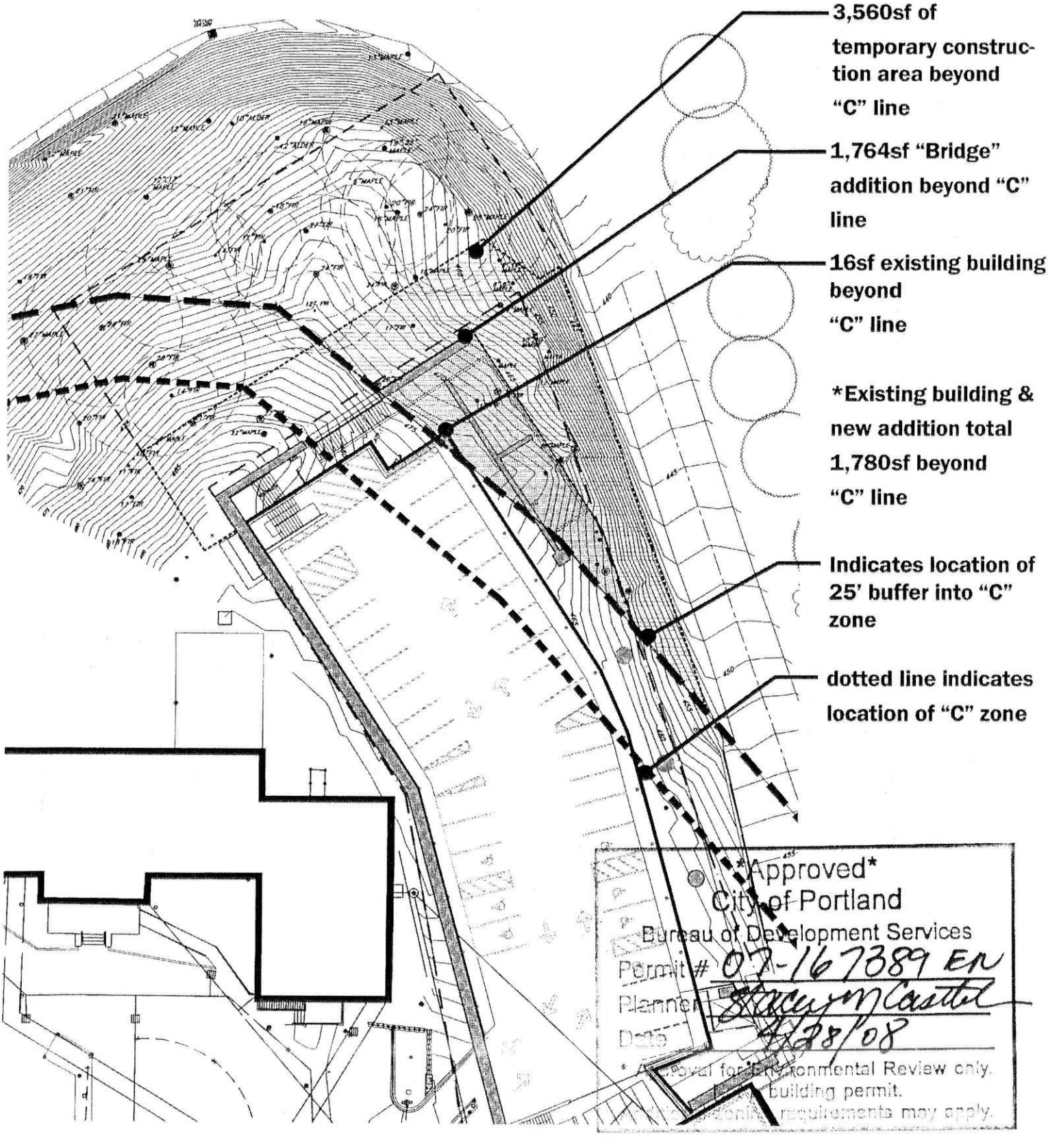
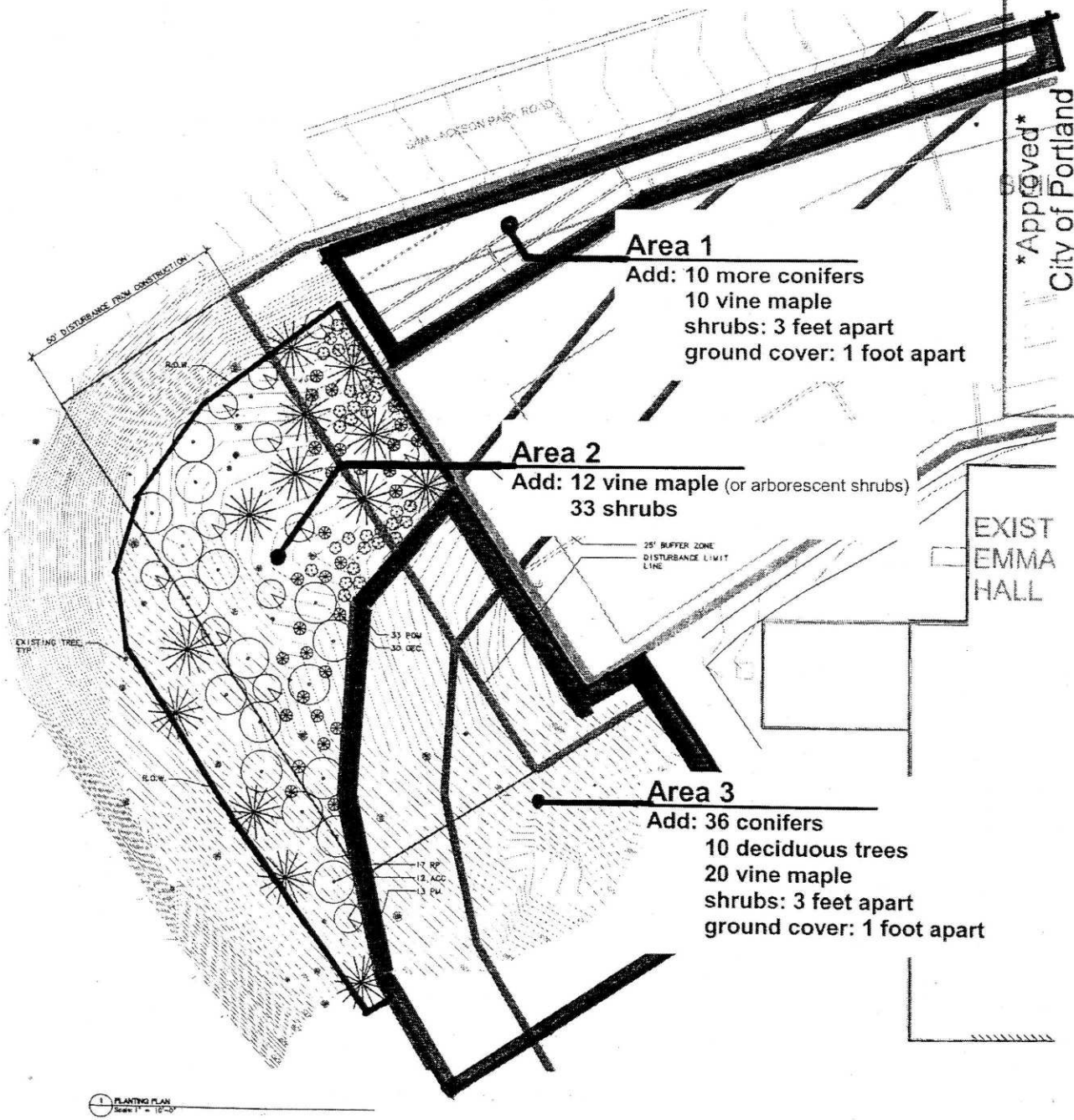


Exhibit C.3

MITIGATION PLAN

Exhibit C.4



1 PLANTING PLAN
Scale 1" = 10'-0"

Approved
City of Portland
Bureau of Development Services
Permit # 07-167389 EN
Planner Stacey Merritt
Date 4/28/08
* Approval for Environmental Review only. Not a building permit. Additional zoning requirements may apply.

TREE REMOVAL SCHEDULE

SYM.	SPECIES/SIZE
A	20" FIR
B.	17" FIR
C.	24" FIR
D.	18" MAPLE
E.	9" MAPLE
F.	10" MAPLE
G.	8" MAPLE
H.	8" MAPLE
I.	17" MAPLE
J.	10" MAPLE
K.	10" MAPLE
L.	MAPLE (UNDER 6")
M.	12" MAPLE
N.	MAPLE (UNDER 6")
O.	28" FIR
P.	17" FIR
Q.	28" MAPLE
R.	17" MAPLE
S.	12" MAPLE
T.	6" MAPLE
U.	12" MAPLE
V.	12" MAPLE
W.	19" MAPLE
X.	20" MAPLE
Y.	12" MAPLE
Z	20" MAPLE

TITLE 33, OPTION B

TREES / SHRUBS REPLACEMENT SCHEDULE

QTY. /SPECIES
3 FIR TREES (PM) / 6 SHRUBS (OEC)
1 FIR TREE (PM) / 3 SHRUBS (POM)
3 FIR TREES (PM) / 6 SHRUBS (POM)
1 CASCARA TREE (RP) / 3 SHRUBS (OEC)
1 MID-CANOPY TREE/SHRUB (ACC)
1 MID-CANOPY TREE/SHRUB (ACC)
1 MID-CANOPY TREE/SHRUB (ACC)
1 MID-CANOPY TREE/SHRUB (ACC)
1 CASCARA (RP) / 3 SHRUBS (POM)
1 MID-CANOPY TREE/SHRUB (ACC)
1 MID-CANOPY TREE/SHRUB (ACC)
NOT APPLICABLE
1 MID-CANOPY TREE/SHRUB (ACC)
NOT APPLICABLE
5 FIR TREES (PM) / 9 SHRUBS (OEC)
1 FIR TREE (PM) / 3 SHRUBS (OEC)
5 CASCARA TREES (RP) / 9 SHRUBS (POM)
1 CASCARA TREE (RP) / 3 SHRUBS (OEC)
1 MID-CANOPY TREE/SHRUB (ACC)
1 MID-CANOPY TREE/SHRUB (ACC)
1 MID-CANOPY TREE/SHRUB (ACC)
1 MID-CANOPY TREE/SHRUB (ACC)
3 CASCARA TREES (RP) / 6 SHRUBS (POM)
3 CASCARA TREES (RP) / 6 SHRUBS (OEC)
1 MID-CANOPY TREE/SHRUB (ACC)
3 CASCARA TREES (RP) / 6 SHRUBS (POM)

PLANT REPLACEMENT TOTALS

FIR TREES (PM) = 13
CASCARA TREES (RP) = 17
VINE MAPLES (ACC) = 12
SHRUBS (POM) = 33
SHRUBS (OEC) = 30

(See full-sized plan in case file LU 07-167389 EN)

PLANT SCHEDULE

	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
TREES					
	PM	Pseudotsuga menziesii	Douglas fir	6' ht.	as shown, 15' o.c. min.
	RP	Rhamnus purshiana	cascara	1" cal.	as shown, 10' o.c. min.
MID-CANOPY TREE/SHRUB					
	ACC	Acer circinatum	vine maple	6' ht.	as shown
SHRUBS					
	OEC	Oemleria cerasiformis	indian plum	2 gal.	as shown
	POM	Polystichum munitum	sword fern	2 gal.	as shown

NOTE: Tree spacing indicates distance between proposed trees as well as distance between proposed and existing trees.

0' 5' 10' 20'

ARCHITECTURE PLANNING INTERIORS
621 SW Morrison Street, Suite 201
Portland, Oregon 97205
T: 503.222.3411 F: 503.241.4272

SRG PARTNERSHIP INC

Shriners Hospital for Children
Portland Hospital

Portland, Oregon

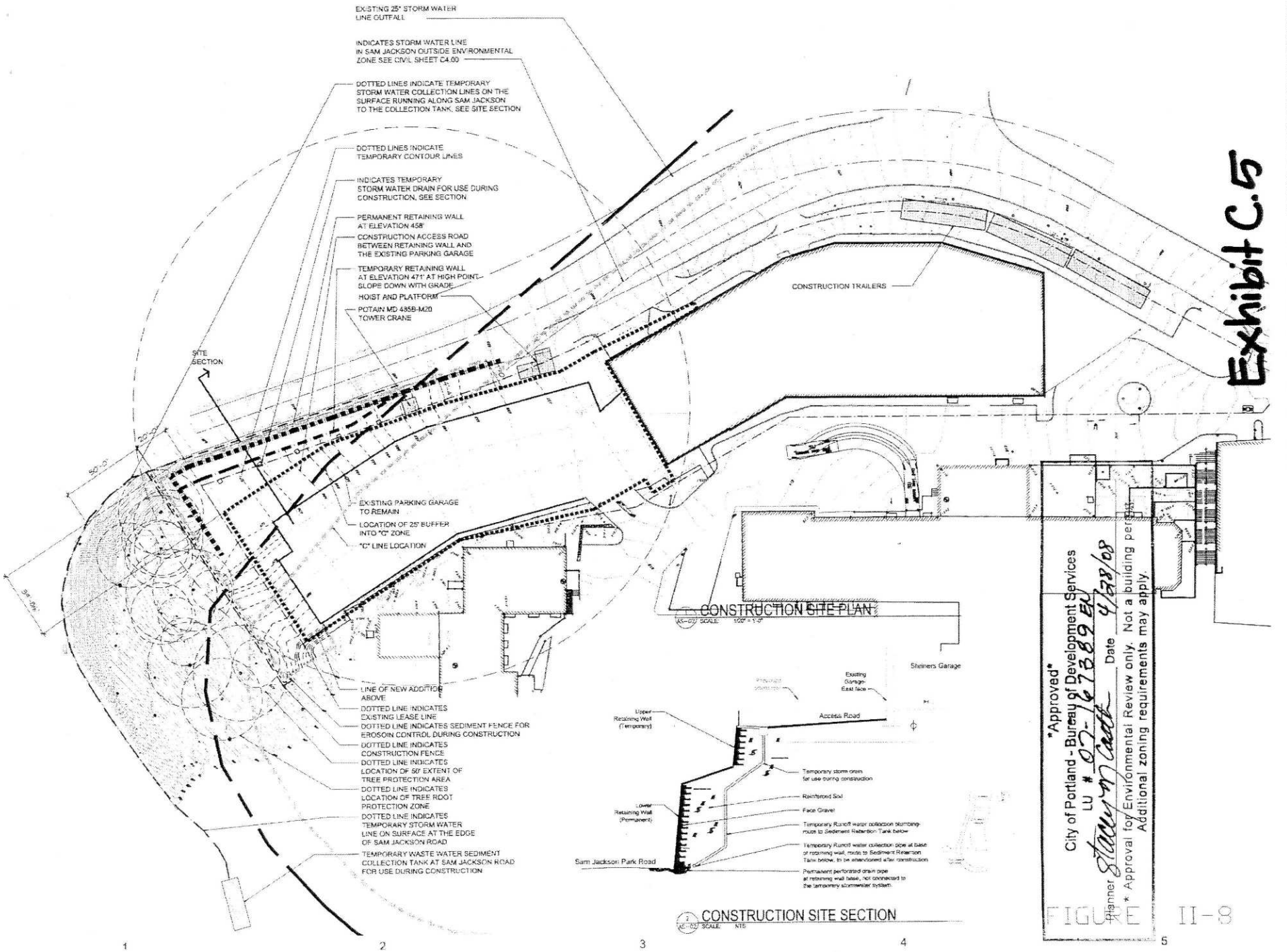
ENVIRONMENTAL REVIEW

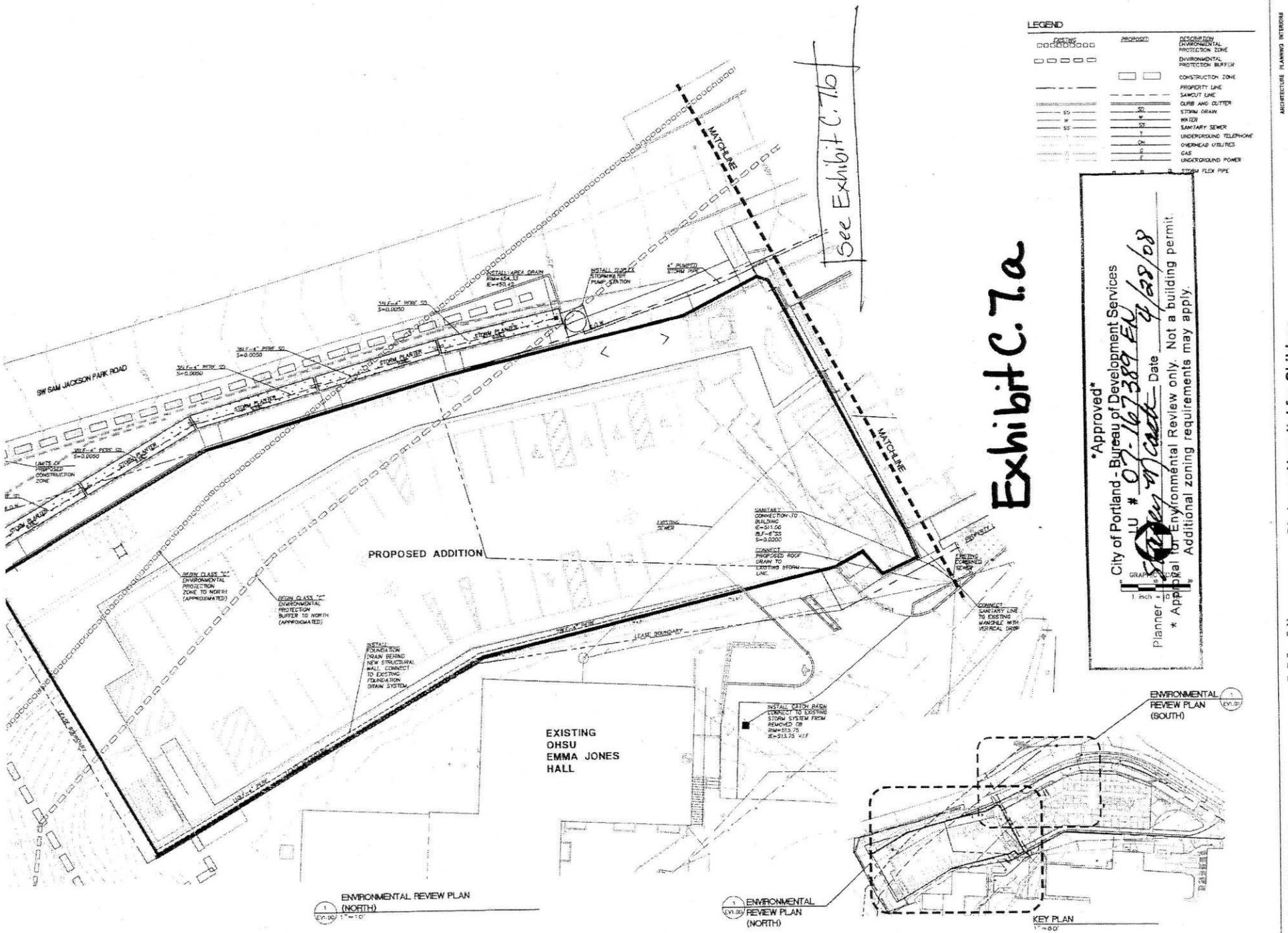
Drawing Title
MITIGATION PLAN

Drawn by
Checked by
Project No.
Drawing No.

L-02

1 2 3 4 5


EXISTING 25" STORM WATER LINE OUTFALL
INDICATES STORM WATER LINE IN SAM JACKSON OUTSIDE ENVIRONMENTAL ZONE SEE CIVIL SHEET C4.00
DOTTED LINES INDICATE TEMPORARY STORM WATER COLLECTION LINES ON THE SURFACE RUNNING ALONG SAM JACKSON TO THE COLLECTION TANK, SEE SITE SECTION
DOTTED LINES INDICATE TEMPORARY CONTOUR LINES
INDICATES TEMPORARY STORM WATER DRAIN FOR USE DURING CONSTRUCTION, SEE SECTION
PERMANENT RETAINING WALL AT ELEVATION 458'
CONSTRUCTION ACCESS ROAD BETWEEN RETAINING WALL AND THE EXISTING PARKING GARAGE
TEMPORARY RETAINING WALL AT ELEVATION 471' AT HIGH POINT SLOPE DOWN WITH GRADE
HOIST AND PLATFORM
POTAIN MD 435B-M20 TOWER CRANE
SITE SECTION
CONSTRUCTION TRAILERS
EXISTING PARKING GARAGE TO REMAIN
LOCATION OF 25' BUFFER INTO "C" ZONE
"C" LINE LOCATION
LINE OF NEW ADDITION ABOVE
DOTTED LINE INDICATES EXISTING LEASE LINE
DOTTED LINE INDICATES SEDIMENT FENCE FOR EROSION CONTROL DURING CONSTRUCTION
DOTTED LINE INDICATES CONSTRUCTION FENCE
DOTTED LINE INDICATES LOCATION OF 50' EXTENT OF TREE PROTECTION AREA
DOTTED LINE INDICATES LOCATION OF TREE ROOT PROTECTION ZONE
DOTTED LINE INDICATES TEMPORARY STORM WATER LINE ON SURFACE AT THE EDGE OF SAM JACKSON ROAD
TEMPORARY WASTE WATER SEDIMENT COLLECTION TANK AT SAM JACKSON ROAD FOR USE DURING CONSTRUCTION
CONSTRUCTION SITE PLAN
AS-02 SCALE 1/20" = 1'-0"
Shriners Garage
Existing Garage East face
Access Road
Upper Retaining Wall (Temporary)
Lower Retaining Wall (Permanent)
Sam Jackson Park Road
Temporary storm drain for use during construction
Reinforced Soil
Face Gravel
Temporary Runoff water collection plumbing route to Sediment Retention Tank below
Temporary Runoff water collection pipe at base of retaining wall, route to Sediment Retention Tank below, to be abandoned after construction
Permanent perforated drain pipe at retaining wall base, not connected to the temporary stormwater system
CONSTRUCTION SITE SECTION
AS-02 SCALE NTS
"Approved"
City of Portland - Bureau of Development Services
LU # 07-167889 EU
Planner Stacey Castle Date 4/28/08
* Approval for Environmental Review only. Not a building permit.
Additional zoning requirements may apply.
FIGURE II-8
Exhibit C.5
SRG PARTNERSHIP INC
Shriners Hospital for Children
Portland Hospital
SCHEMATIC DESIGN
revised: 04-23-08
AS-02


See Exhibit C.7.b
Exhibit C.7.a
LEGEND
EXISTING
PROPOSED
DESCRIPTION
ENVIRONMENTAL PROTECTION ZONE
ENVIRONMENTAL PROTECTION BUFFER
CONSTRUCTION ZONE
PROPERTY LINE
SAWCUT LINE
CURB AND GUTTER
STORM DRAIN
WATER
SANITARY SEWER
UNDERGROUND TELEPHONE
OVERHEAD UTILITIES
GAS
UNDERGROUND POWER
STORM FLEX PIPE
SW SAM JACKSON PARK ROAD
MATCHLINE
PROPOSED ADDITION
EXISTING OHSU EMMA JONES HALL
LEASE BOUNDARY
ENVIRONMENTAL REVIEW PLAN (NORTH)
ENVIRONMENTAL REVIEW PLAN (SOUTH)
KEY PLAN
"Approved"
City of Portland - Bureau of Development Services
LU # 07-167389 EV
Date 4/28/08
Planner
* Approval for Environmental Review only. Not a building permit.
Additional zoning requirements may apply.
SRG PARTNERSHIP INC
Shriners Hospital for Children
Portland Hospital
Portland, Oregon
25%
CONSTRUCTION DOCUMENTS
ENVIRONMENTAL REVIEW
EV1.00

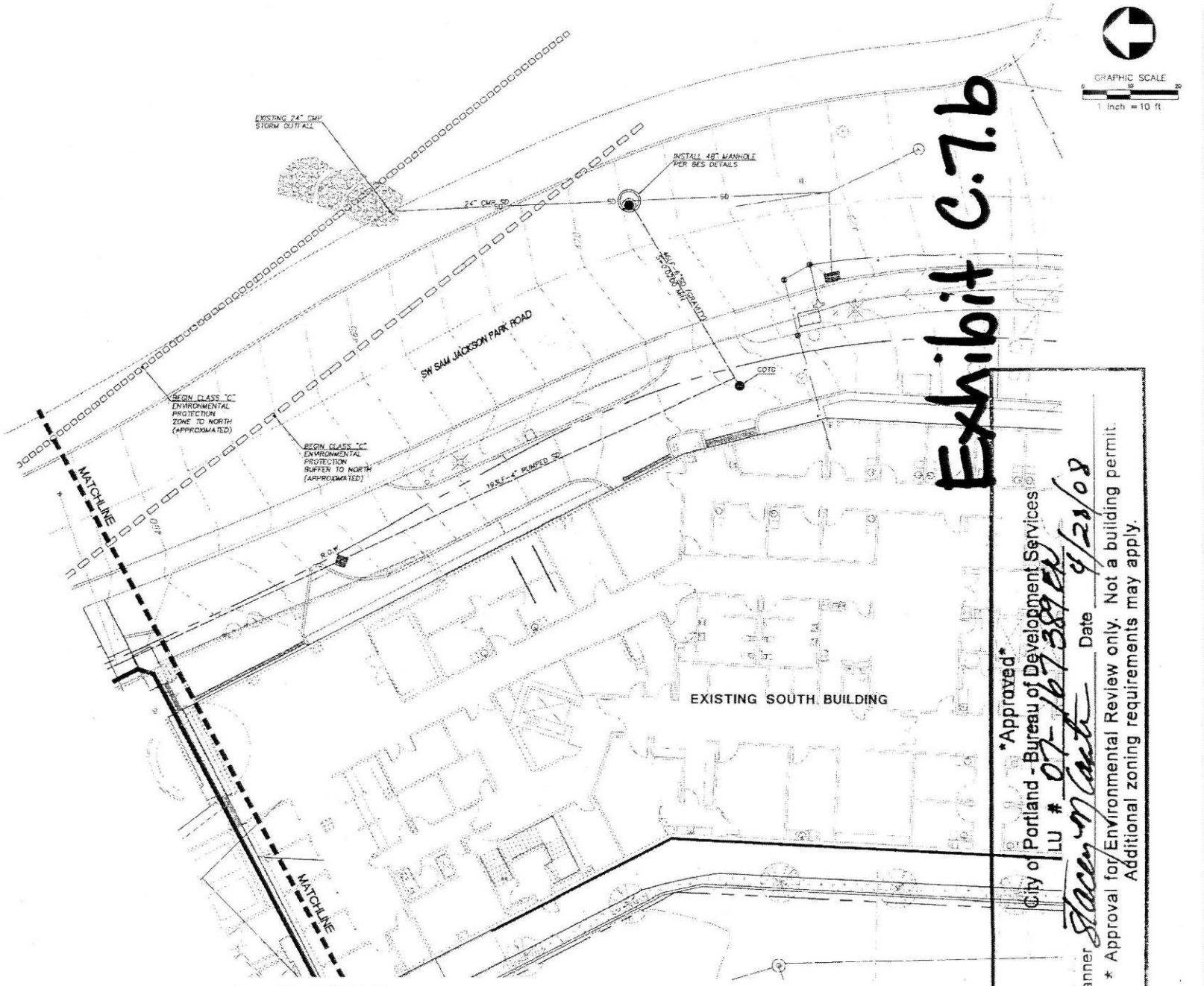
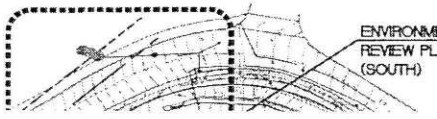


Exhibit C.7.b

Approved
City of Portland - Bureau of Development Services
LU # 07-167389 EN
Planner Stacey Merritt Date 9/28/08
* Approval for Environmental Review only. Not a building permit. Additional zoning requirements may apply.

ENVIRONMENTAL REVIEW PLAN (SOUTH)
1 / EV1.01 1"=10'



LEGEND

EXISTING	PROPOSED	DESCRIPTION
		ENVIRONMENTAL PROTECTION ZONE
		ENVIRONMENTAL PROTECTION BUFFER
		CONSTRUCTION ZONE
		PROPERTY LINE
		SAWCUT LINE

ARCHITECTURE PLANNING INTERIORS
621 SW Morrison Street, Suite 200
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T: 503.222.1917 F: 503.294.0272
SRG PARTNERSHIP INC

Shriners Hospital for Children
Portland Hospital
Portland, Oregon

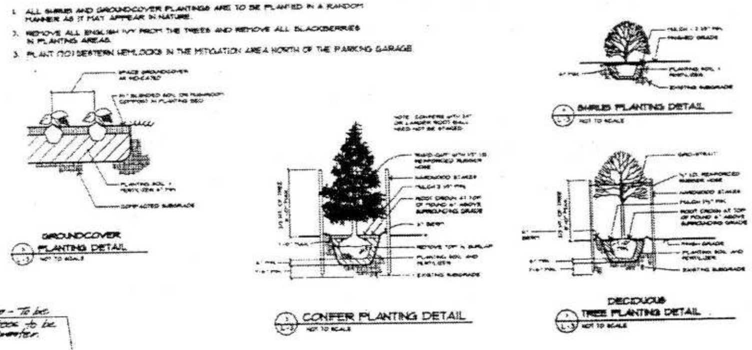
25%
CONSTRUCTION DOCUMENTS

Drawing Title
ENVIRONMENTAL REVIEW

PLANT SCHEDULE

LANDSCAPE NOTES:

1. ALL SHRUBS AND GROUNDCOVER PLANTINGS ARE TO BE PLANTED IN A RANDOM MANNER AS IT MAY APPEAR IN NATURE.
2. REMOVE ALL ENGLISH IVY FROM THE TREES AND REMOVE ALL BLACKBERRIES IN PLANTING AREAS.
3. PLANT (10) WESTERN HEMLOCKS IN THE MITIGATION AREA NORTH OF THE PARKING GARAGE



BROOME
ORINGDULPH
O'TOOLE
RUDOLF
BOLES &
ASSOCIATES
BOORA
ARCHITECTURE
PLANNING
INTERIOR DESIGN
720 SW WASHINGTON
PORTLAND, OR 97205-3510
(503) 226-1575
FAX (503) 241-7429

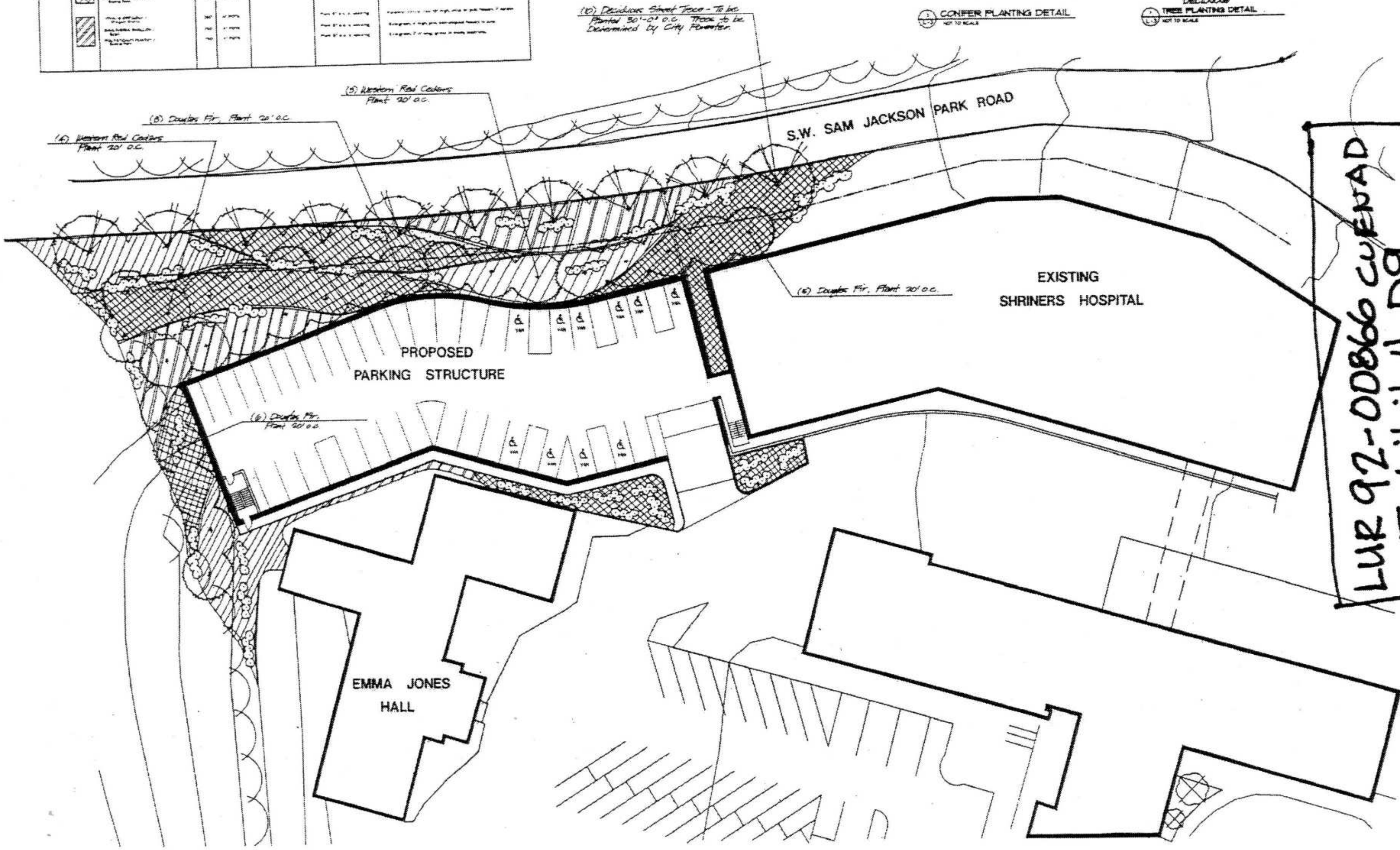
Exhibit C.9

LU 07-167389

PROJECT NUMBER : 92028.02-1

SHRINERS HOSPITAL

PARKING STRUCTURE LAND USE REVIEW



LUR 92-00866 CU EN AD
Exhibit H D.9

DEA
DAVID EVANS AND ASSOCIATES, INC.

NUMBER	REVISION	DATE

LANDSCAPE PLAN

SCALE	1"=16'-0"	SHEET NUMBER
DRAWN BY	DAM	A101L
DATE	Feb. 10, '05	

EXH D9

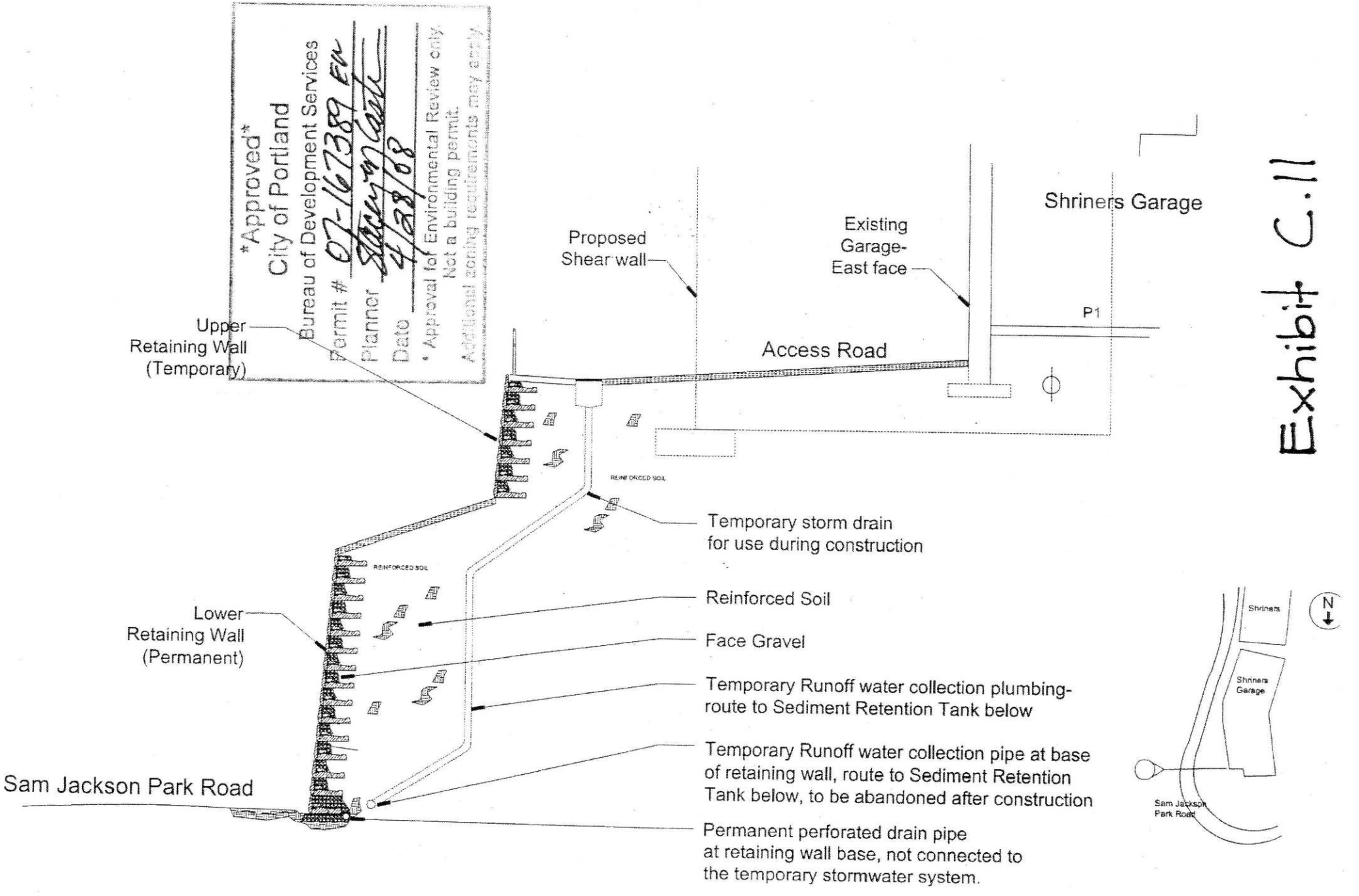


Exhibit C.11

2 (AS-02) CONSTRUCTION SITE SECTION

SCALE: NTS