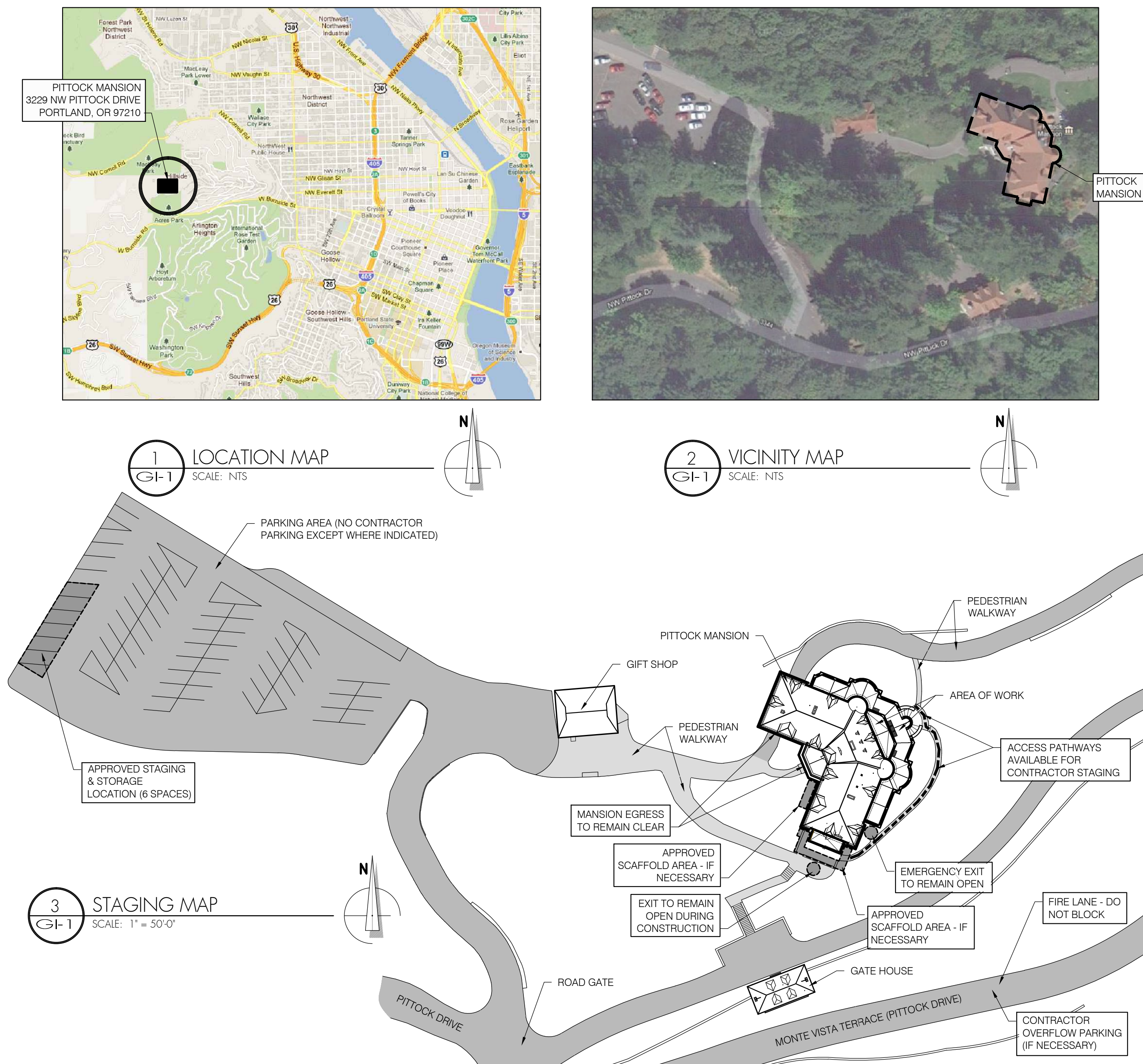


PITTOCK MANSION TERRACE RESTORATION PROJECT

GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE PROJECT, INCLUDING VERIFICATION OF EXISTING CONSTRUCTION AND MATERIALS.
- CONTRACTOR STAGING AND STORAGE AREAS SHALL BE AS INDICATED ON THE DRAWINGS AND AS DIRECTED BY THE OWNER'S REPRESENTATIVE AT THE PRE-CONSTRUCTION MEETING. CONTRACTOR SHALL ASSUME A REASONABLE AMOUNT OF STORAGE AND STAGING SPACE WILL BE MADE AVAILABLE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING BUILDING SURFACES, FINISHES, LANDSCAPING, AND SYSTEMS FROM DAMAGE, DISCOLORATION, ETC. DURING THE COURSE OF ALL CONSTRUCTION ACTIVITIES.
- PERSONAL FALL PROTECTION DEVICES ARE NOT, NOR WILL BE, PROVIDED BY THE OWNER ON ANY AREA DESIGNATED TO RECEIVE WORK. PERSONAL FALL PROTECTION IS THE RESPONSIBILITY OF THE CONTRACTOR.
- EXISTING MATERIALS AND CONSTRUCTION ARE NOTED ON THE DRAWINGS AS EXISTING OR EXIST. ALL OTHER NOTATIONS INDICATE NEW MATERIALS, PRODUCTS, AND CONSTRUCTION UNLESS OTHERWISE STATED OR INDICATED.
- ALL CONSTRUCTION SHALL CONFORM TO THE FOLLOWING CODES:
 - 2010 OREGON STRUCTURAL SPECIALTY CODE
 - 2011 OREGON PLUMBING SPECIALTY CODE
 - OSHA
 - LOCAL GOVERNING BUILDING CODES
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREIN OR NOT, AND TO PROTECT UTILITIES FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.
- THE CITY OF PORTLAND TAKES NO RESPONSIBILITY FOR THE ACCURACY OF UTILITIES SHOWN ON DOCUMENTS PROVIDED BY THE CITY. THE CONTRACTOR SHALL VERIFY ALL DATA INCLUDING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT BUILDING OCCUPANTS AND PASSERS-BY FROM FALLING DEBRIS OR EQUIPMENT. DAILY CLEAN-UP IS A REQUIREMENT ON THIS PROJECT.
- ALL PROJECT SIGNAGE AND PERMITTING, INCLUDING ROAD CLOSURES, PARKING STALLS, SIDEWALK CLOSURES, SCAFFOLD ERECTION, ETC. SHALL BE COORDINATED, OBTAINED, AND PAID FOR BY THE CONTRACTOR.
- SPECIAL INSPECTIONS ARE REQUIRED ON THIS PROJECT. REF. STRUCTURAL FOR SPECIFIC INSPECTION CHECKLIST.

SITE MAPS



DRAWING SCHEDULE

R-SERIES

- R001 GENERAL INFORMATION
- R100 ROOF / TERRACE PLAN
- R101 TERRACE DRAINAGE PLAN
- R200 DETAILS
- R201 DETAILS
- R202 DETAILS

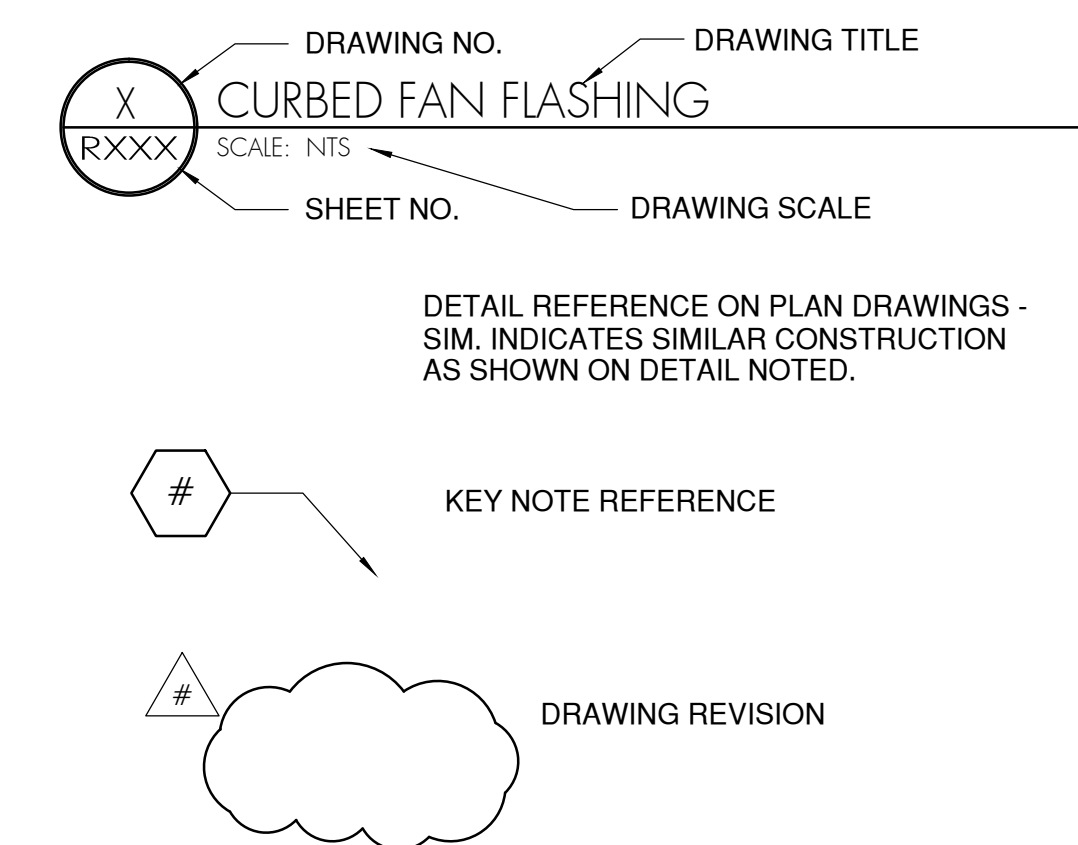
A-SERIES

- A101 STONE REPAIR PLAN - BASE
- A102 STONE REPAIR PLAN - COPING
- A103 STONE REPAIR PLAN - BALUSTRADE

S-SERIES

- RPS STRUCTURAL PLAN & GEN. NOTES
- S1 TERRACE RAIL DETAILS

DRAWING SYMBOLS



Portland Parks and Recreation
Director
Mike Abbate
Commissioner
NICK FISH

GENERAL INFORMATION
PITTOCK MANSION - TERRACE RESTORATION PROJECT
Portland, Oregon
PROJECT MANAGER: SUSAN MEAMBER (503) 823-9709
DATE: 5/17/12 SCALE: NO SCALE DRAWN BY: PRC SECTION:

REVISIONS		
DATE	DESCRIPTION	BY

BID SET

ROO1
1 of 11

OWNER



Portland Parks and Recreation
1120 SW 5th Ave., Room 1302
Portland, OR 97204
tel: 503-823-9709
fax: 503-823-6007
Contact: Susan Meamber

BLDG. ENVELOPE CONSULTANT



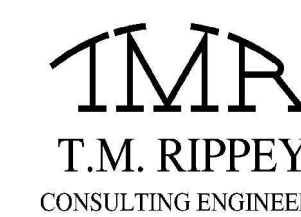
Professional Roof Consultants, Inc.
1108 SE Grand Ave. Suite 300
Portland, Oregon 97214
tel: 503-280-8759
fax: 503-280-8866
Contact: Steven McBride, RRO

HISTORIC CONSULTANT



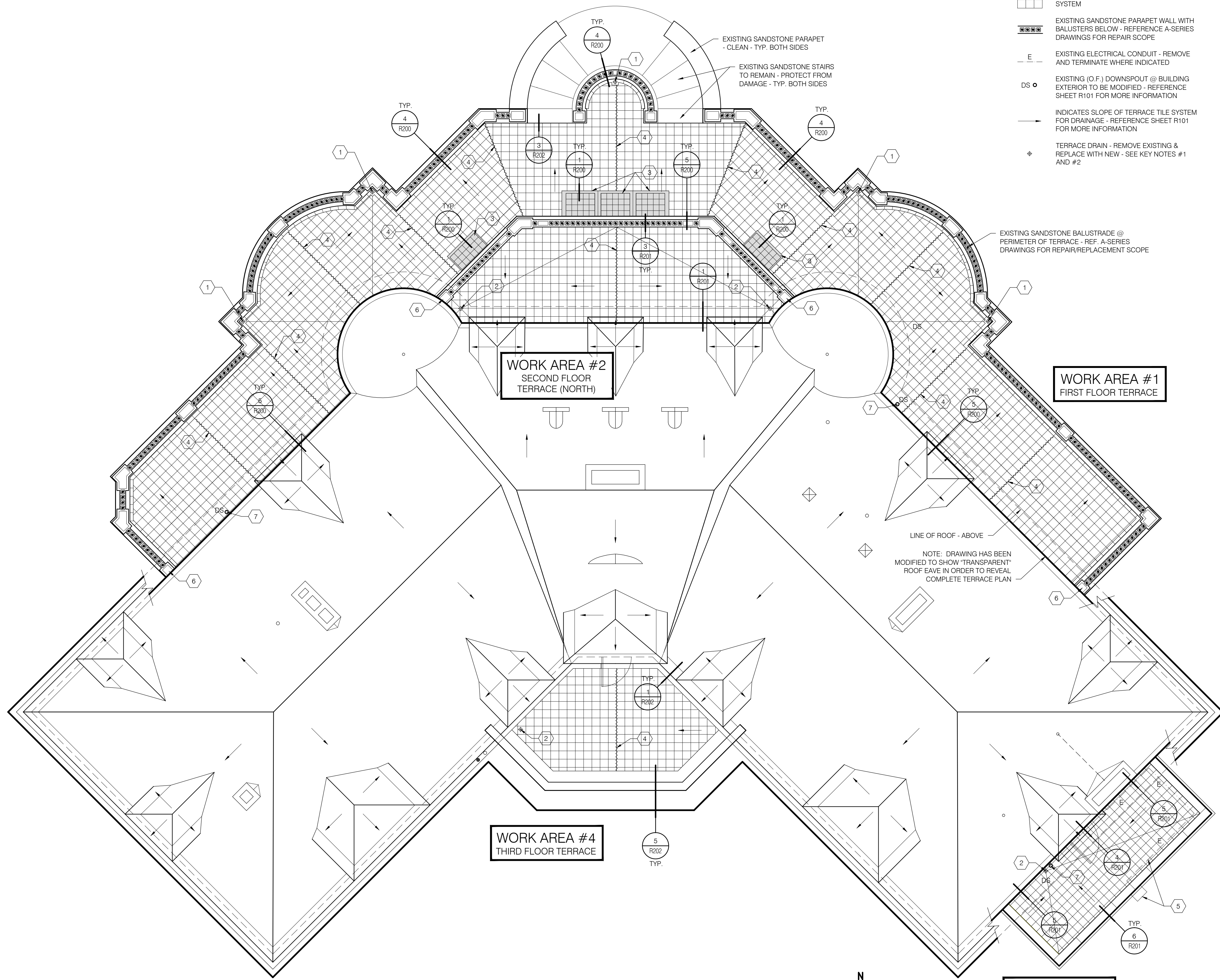
Peter Meijer Architect, PC
710 NE 21st Ave., Suite 200
Portland, Oregon 97232
tel: 503-517-0283
fax: 503-517-0285
Contact: Peter Meijer, AIA

ENGINEERING CONSULTANT



TM Rippey Consulting Engineers, Inc.
7650 SW Beveland St., Suite 100
Tigard, Oregon 97223
tel: 503-443-3900
fax: 503-443-3700
Contact: Tim Rippey, PE

PROJECT TEAM



LEGEND

- TERRACE TILE OVER WATERPROOFING SYSTEM
- EXISTING SANDSTONE PARAPET WALL WITH BALUSTERS BELOW - REFERENCE A-SERIES DRAWINGS FOR REPAIR SCOPE
- EXISTING ELECTRICAL CONDUIT - REMOVE AND TERMINATE WHERE INDICATED
- EXISTING (O.F.) DOWNSPOUT @ BUILDING EXTERIOR TO BE MODIFIED - REFERENCE SHEET R101 FOR MORE INFORMATION
- INDICATES SLOPE OF TERRACE TILE SYSTEM FOR DRAINAGE - REFERENCE SHEET R101 FOR MORE INFORMATION
- TERRACE DRAIN - REMOVE EXISTING & REPLACE WITH NEW - SEE KEY NOTES #1 AND #2

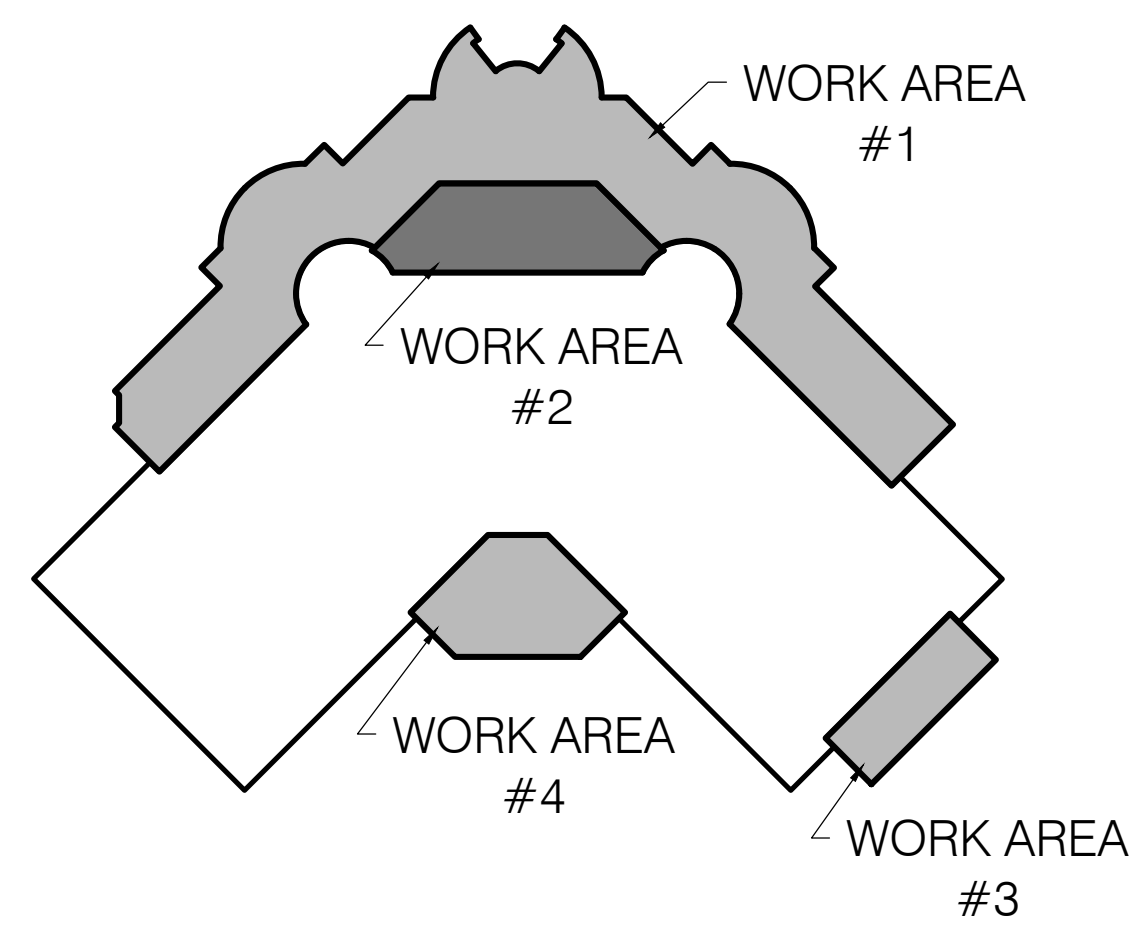
GENERAL NOTES

1. ALL ITEMS TRANSPORTED TO ROOF SHALL BE TRANSPORTED USING APPROVED AND SAFE METHODS OF LOADING.
2. CONTRACTOR SHALL EMPLOY MEANS OF PROTECTING BUILDING OCCUPANTS AND GENERAL PUBLIC AT ALL TIMES DURING THE COURSE OF CONSTRUCTION.
3. TEMPORARY STAGING, SCAFFOLDING, AND RUNWAYS SHALL BE ALLOWED IN DESIGNATED LOCATIONS ONLY.
4. PROTECT ADJACENT DECKS, VEGETATION, FURNITURE, AND OTHER PROPERTY DURING ALL CONSTRUCTION ACTIVITIES.
5. SCOPE OF WORK FOR THIS PROJECT INCLUDES VARIOUS WORK AREAS:
 WORK AREA #1: REMOVAL OF EXISTING TERRACE TILES AND EXISTING WATERPROOFING MEMBRANE, PREPARATION OF DECK, INSTALLATION OF NEW WATERPROOFING SYSTEM, COPPER / STAINLESS STEEL FLASHINGS, AND NEW TERRACE TILE ASSEMBLY. REPLACEMENT OF TERRACE DRAINS AND DRAIN PIPING UNDER DECK. REMOVAL AND REPAIR / RESTORATION OF EXISTING SANDSTONE BALUSTRADE, INCLUDING REPLACEMENT OF COMPONENTS OF THE BALUSTRADE; REFERENCE A-SERIES DRAWINGS FOR STONE RESTORATION SCOPE OF WORK. STRUCTURAL REINFORCEMENT AND ANCHORAGE OF BALUSTRADE; REFERENCE S-SERIES DRAWINGS FOR STRUCTURAL SCOPE OF WORK.
 WORK AREA #2: REMOVAL OF EXISTING TERRACE TILES AND EXISTING WATERPROOFING MEMBRANE, PREPARATION OF DECK, INSTALLATION OF NEW WATERPROOFING SYSTEM, COPPER / STAINLESS STEEL FLASHINGS, AND NEW TERRACE TILE ASSEMBLY. REPLACEMENT OF TERRACE DRAINS. REMOVAL AND REPAIR / RESTORATION OF EXISTING SANDSTONE BALUSTRADE, INCLUDING REPLACEMENT OF COMPONENTS OF THE BALUSTRADE; REFERENCE A-SERIES DRAWINGS FOR STONE RESTORATION SCOPE OF WORK. STRUCTURAL REINFORCEMENT AND ANCHORAGE OF BALUSTRADE; REFERENCE S-SERIES DRAWINGS FOR STRUCTURAL SCOPE OF WORK.
 WORK AREA #3: REMOVAL OF EXISTING TERRACE TILES AND EXISTING WATERPROOFING MEMBRANE, PREPARATION OF DECK, INSTALLATION OF NEW WATERPROOFING SYSTEM, COPPER / STAINLESS STEEL FLASHINGS, AND NEW TERRACE TILE ASSEMBLY. REPLACEMENT OF TERRACE DRAIN. REPAIR / RESTORATION OF EXISTING SANDSTONE PARAPET WALL; REFERENCE A-SERIES DRAWINGS FOR STONE RESTORATION SCOPE OF WORK. STRUCTURAL REINFORCEMENT AND ANCHORAGE OF BALUSTRADE; REFERENCE S-SERIES DRAWINGS FOR STRUCTURAL SCOPE OF WORK.
 WORK AREA #4: REMOVAL OF EXISTING TERRACE TILES AND EXISTING WATERPROOFING MEMBRANE, PREPARATION OF DECK, INSTALLATION OF NEW WATERPROOFING SYSTEM, COPPER / STAINLESS STEEL FLASHINGS, AND NEW TERRACE TILE ASSEMBLY. NEW COPPER CORNICE FLASHINGS. REPLACEMENT OF TERRACE DRAIN. TRAFFIC COATING INSTALLATION AT CONCRETE 'BENCH'.

KEY NOTES

- 1. EXISTING TERRACE DRAINS AT WORK AREA #1 SHALL BE REMOVED AND REPLACED. REF. SHEET R101 FOR FURTHER DRAINAGE INFORMATION.
- 2. EXISTING TERRACE DRAINS AT WORK AREA #2, WORK AREA #3 AND WORK AREA #4 TO BE REMOVED AND REPLACED WITH NEW TERRACE DRAINS - TIE INTO EXISTING DRAIN PIPING. REFERENCE SHEET R101 FOR FURTHER DRAINAGE INFORMATION.
- 3. EXISTING FLUSH PRECAST CONCRETE / GLASS SKYLIGHT GRIDS TO REMAIN.
- 4. LOCATION OF CONTROL (SEALANT) JOINT IN TERRACE TILE ASSEMBLY.
- 5. EXISTING ELECTRICAL CONDUIT MOUNTED TO WALL - REMOVE AND TERMINATE CONDUIT AT BUILDING EXTERIOR WITH WATERTIGHT J-BOX. REMOVE EXISTING LIGHT FIXTURE AT BUILDING EXTERIOR AND REPAIR STONE PARAPET.
- 6. EXISTING SANDSTONE BALUSTRADE ELEMENT TO REMAIN IN PLACE - STONE IS INCORPORATED INTO BUILDING WALL. REF. DETAIL 2/R202 FOR FLASHING INFO.
- 7. EXISTING COPPER DOWNSPOUT FROM ROOF GUTTER, ABOVE. MODIFY BASE OF DOWNSPOUT TO ROUTE THROUGH TERRACE DECK. REFERENCE SHEET R101 FOR FURTHER DRAINAGE INFORMATION.

KEY DIAGRAM



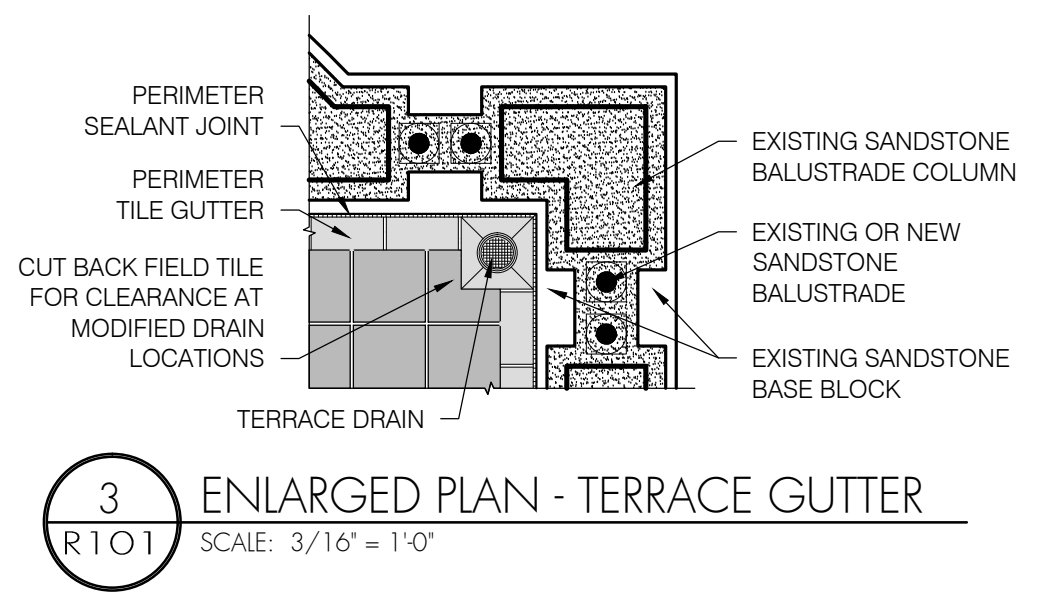
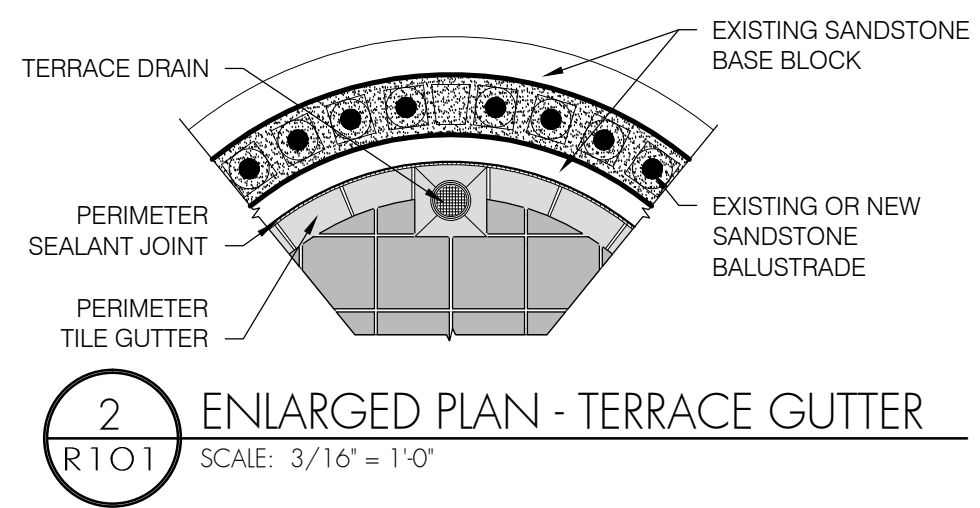
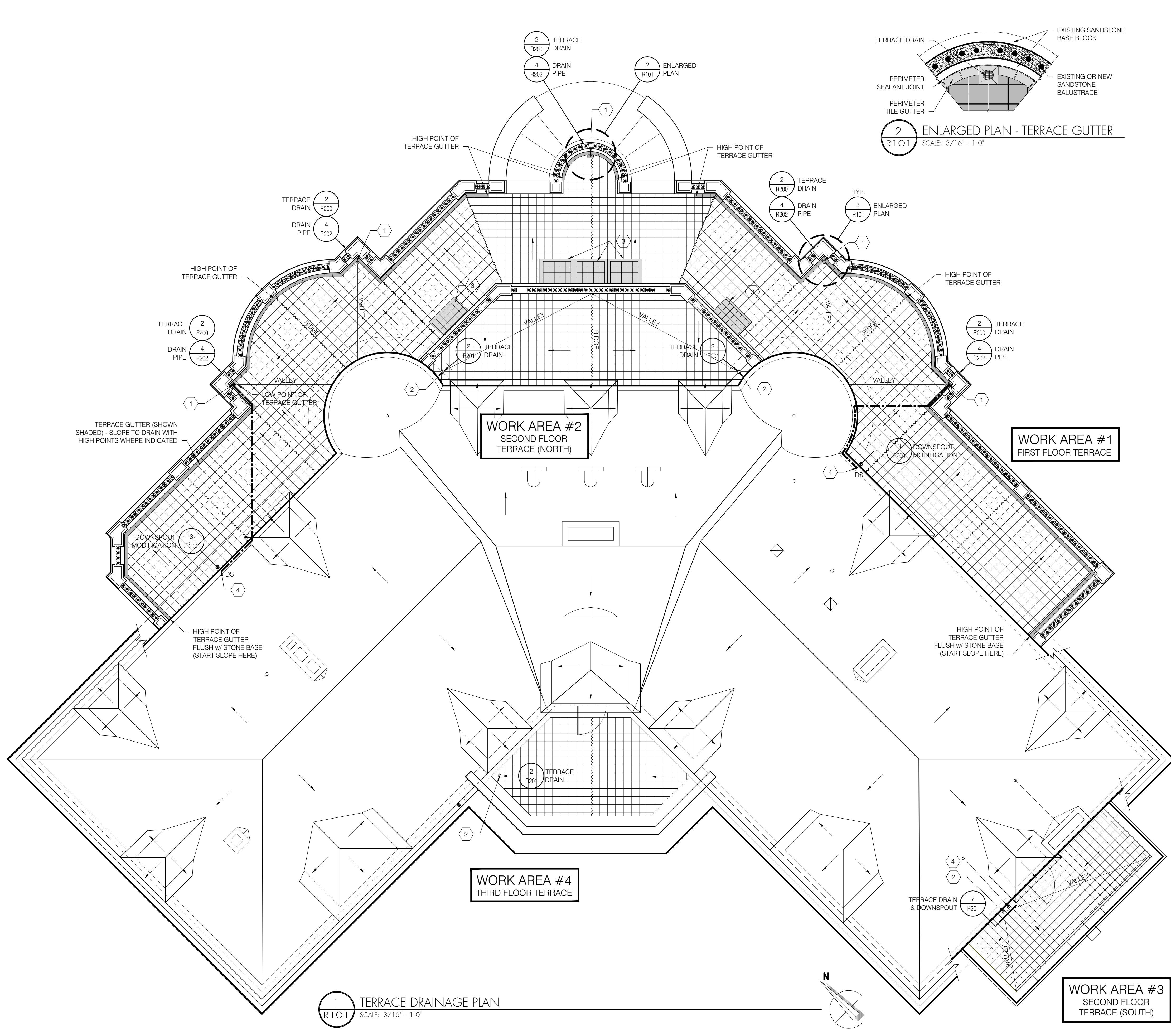
1 ROOF/TERRACE PLAN
R100 SCALE: 3/16" = 1'-0"



Portland Parks and Recreation
NICK FISH, Commissioner
Mike Abbatté, Director
ROOF/TERRACE PLAN
PITTOCK MANSION - TERRACE RESTORATION PROJECT
PROJECT MANAGER: SUSAN MEAMER (503) 823-9709
Portland, Oregon
DATE: 5/17/12 SCALE: 3/16" = 1'-0" DRAWN BY: PRC SECTION:

REVISIONS		
DATE	DESCRIPTION	BY

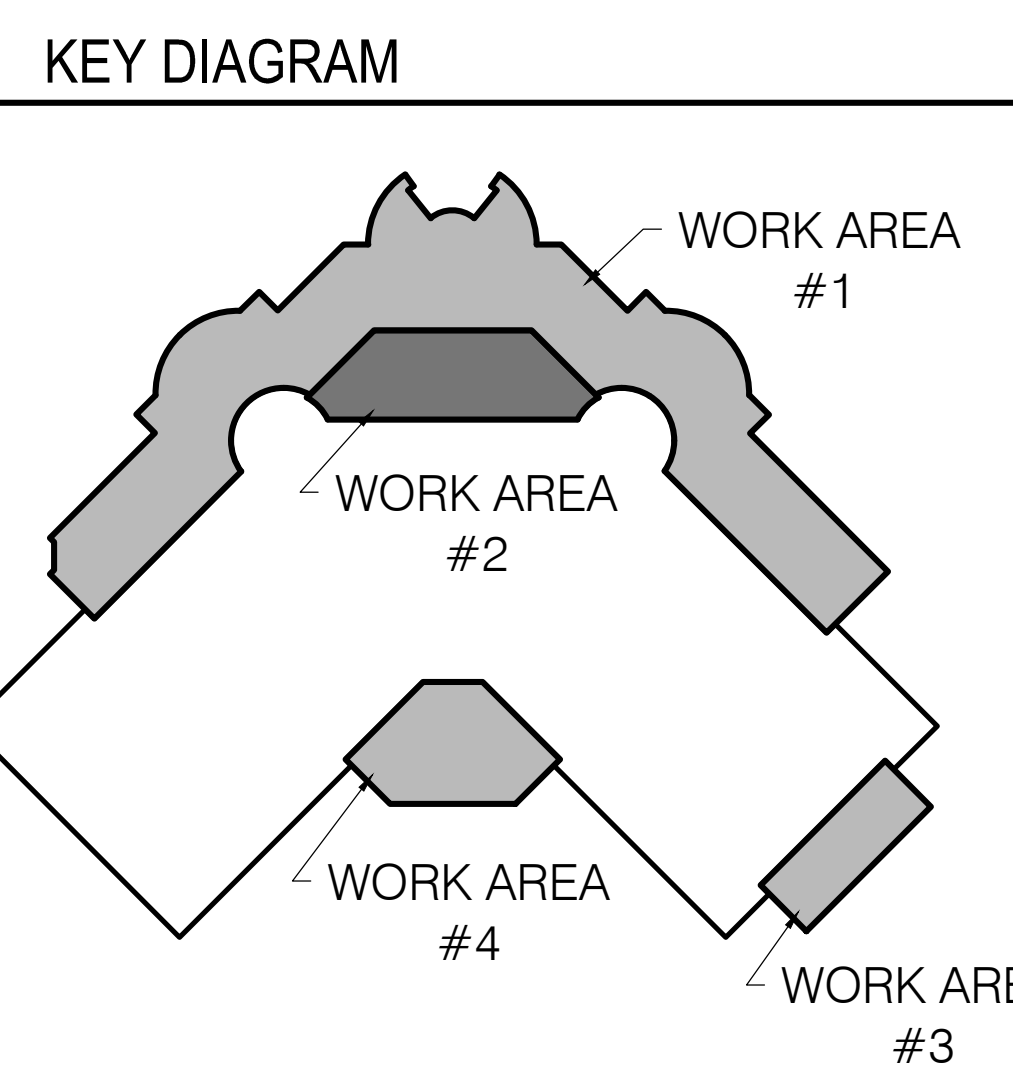
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- LEGEND**
- TERRACE TILE OVER WATERPROOFING SYSTEM
 - TERRACE DRAIN LINE - UNDER DECK
 - EXISTING (O.F.) DOWNSPOUT @ BUILDING EXTERIOR - MODIFY
 - INDICATES SLOPE OF TERRACE TILE SYSTEM FOR DRAINAGE - REFERENCE R101 FOR MORE INFORMATION
 - TERRACE DRAIN - REMOVE EXISTING & REPLACE WITH NEW - SEE KEY NOTES #1 AND #2

- GENERAL NOTES**
1. INSTALLATION OF NEW TILE AND SETTING BED IS BASED ON ESTABLISHED THICKNESS OF THE EXISTING TILE AND SETTING BED ASSEMBLY. SLOPE OF SETTING BED SHALL CONFORM TO SLOPES AS INDICATED ON THE DRAWINGS; MINIMUM 1/8" PER FOOT.
 2. GUTTER TILE ELEVATIONS SHALL BE AS INDICATED ON THE DRAWINGS, WITH HIGHEST POINT OF GUTTER TILE RESULTING IN TOP SURFACE 1/2" LOWER THAN TOP SURFACE OF ADJACENT BASE STONE. GUTTER TILES SHALL NOT EXCEED HEIGHT OF BASE STONE.
 3. DRAIN WORK AT WORK AREAS #2, #3, AND #4 WILL REQUIRE ISOLATED DEMOLITION OF UNDER-DECK CEILINGS. SOME CEILING FINISHES ARE HIGHLY ORNATE. ACCESS OPENINGS THAT MUST BE CREATED SHALL BE CREATED SO THAT REPAIR AND FINISHING OF EACH CEILING SHALL BE MINIMAL. CEILING FINISHES MUST MATCH EXISTING. PROVIDE PROTECTION OF INTERIOR FINISHES, FURNITURE, ETC. DURING EXECUTION OF INTERIOR DEMOLITION AND FINISHING WORK.

- KEY NOTES**
1. EXISTING TERRACE DRAINS AT WORK AREA #1 SHALL BE REMOVED AND REPLACED. EXISTING DRAIN PIPING SHALL BE REMOVED AND REPLACED AND TIED INTO EXISTING DRAIN PIPING AT BASE OF BASEMENT FLOOR / WALL. REMOVE EXISTING SHEET METAL "CATCH BASIN" WITHIN BASEMENT AND REPLACE WITH CLOSED SYSTEM, INCLUDING DRAINPIPE CLEAN-OUT.
 2. EXISTING TERRACE DRAINS AT WORK AREA #2, WORK AREA #3 AND WORK AREA #4 TO BE REMOVED AND REPLACED WITH NEW TERRACE DRAINS - TIE INTO EXISTING DRAIN PIPING.
 3. EXISTING FLUSH PRECAST CONCRETE / GLASS SKYLIGHT GRIDS TO REMAIN.
 4. EXISTING COPPER DOWNSPOUT FROM ROOF GUTTER, ABOVE. MODIFY BASE OF DOWNSPOUT TO ROUTE THROUGH TERRACE DECK.

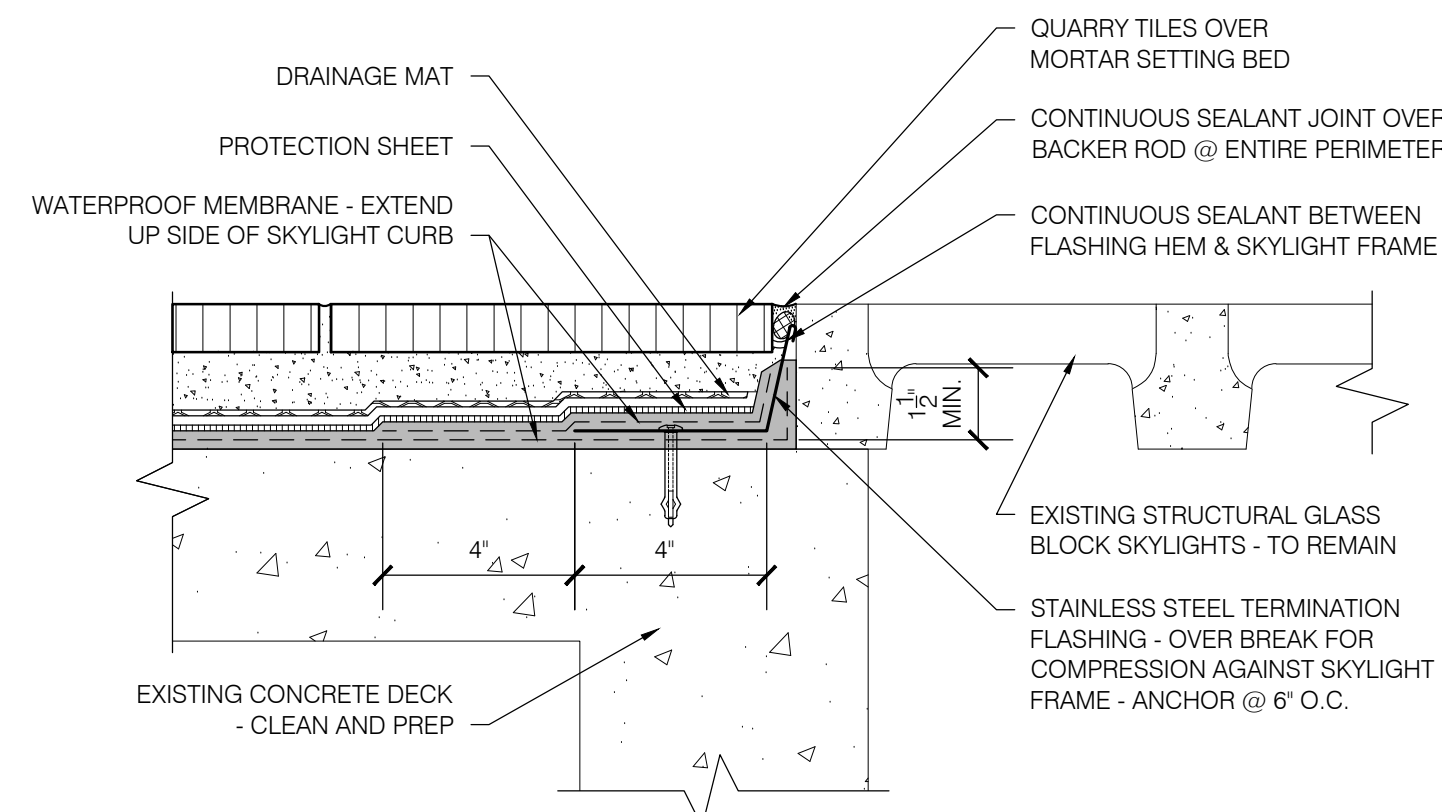


1 TERRACE DRAINAGE PLAN
R101 SCALE: 3/16" = 1'-0"

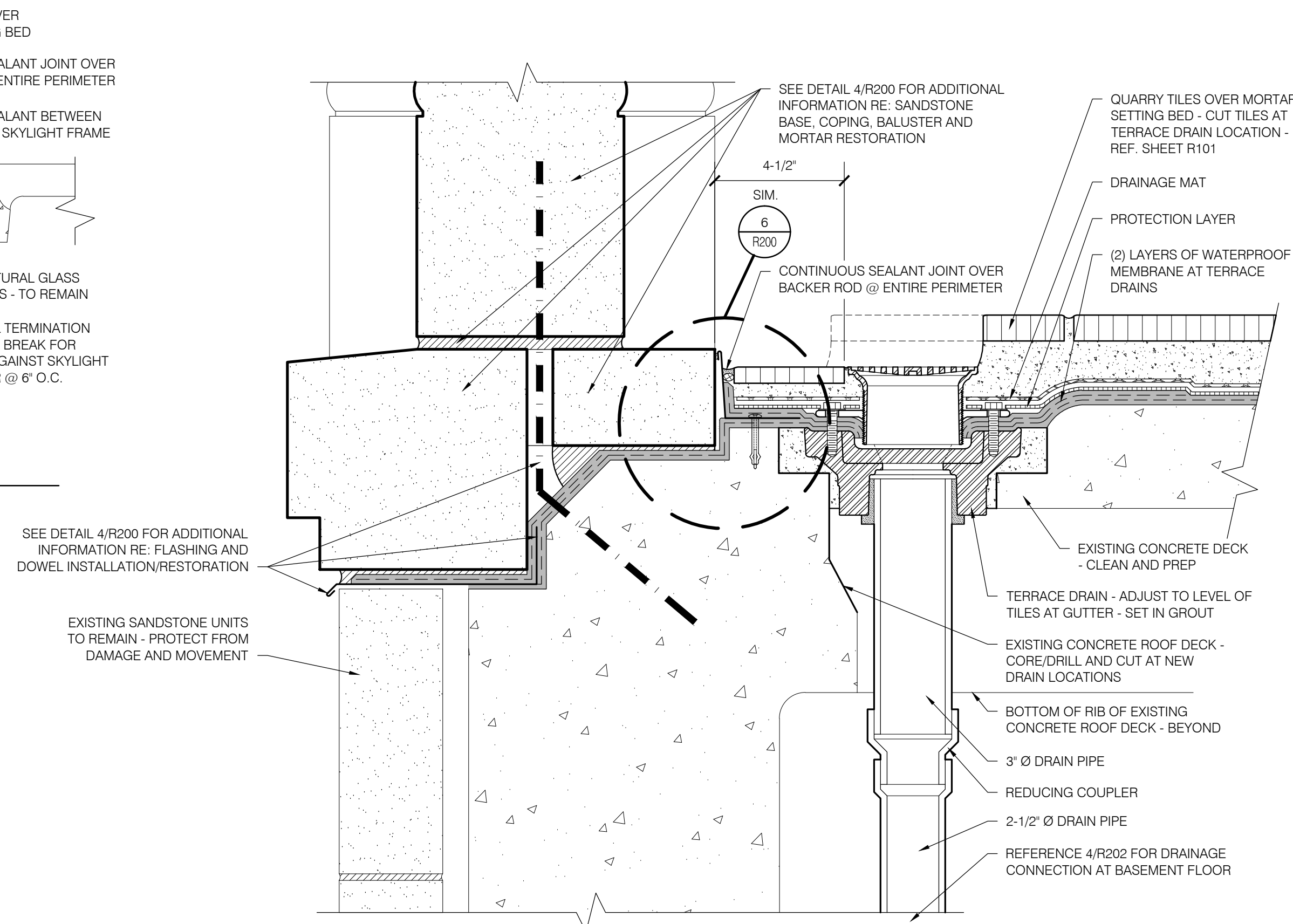
3 ENLARGED PLAN - TERRACE GUTTER
R101 SCALE: 3/16" = 1'-0"

REVISIONS

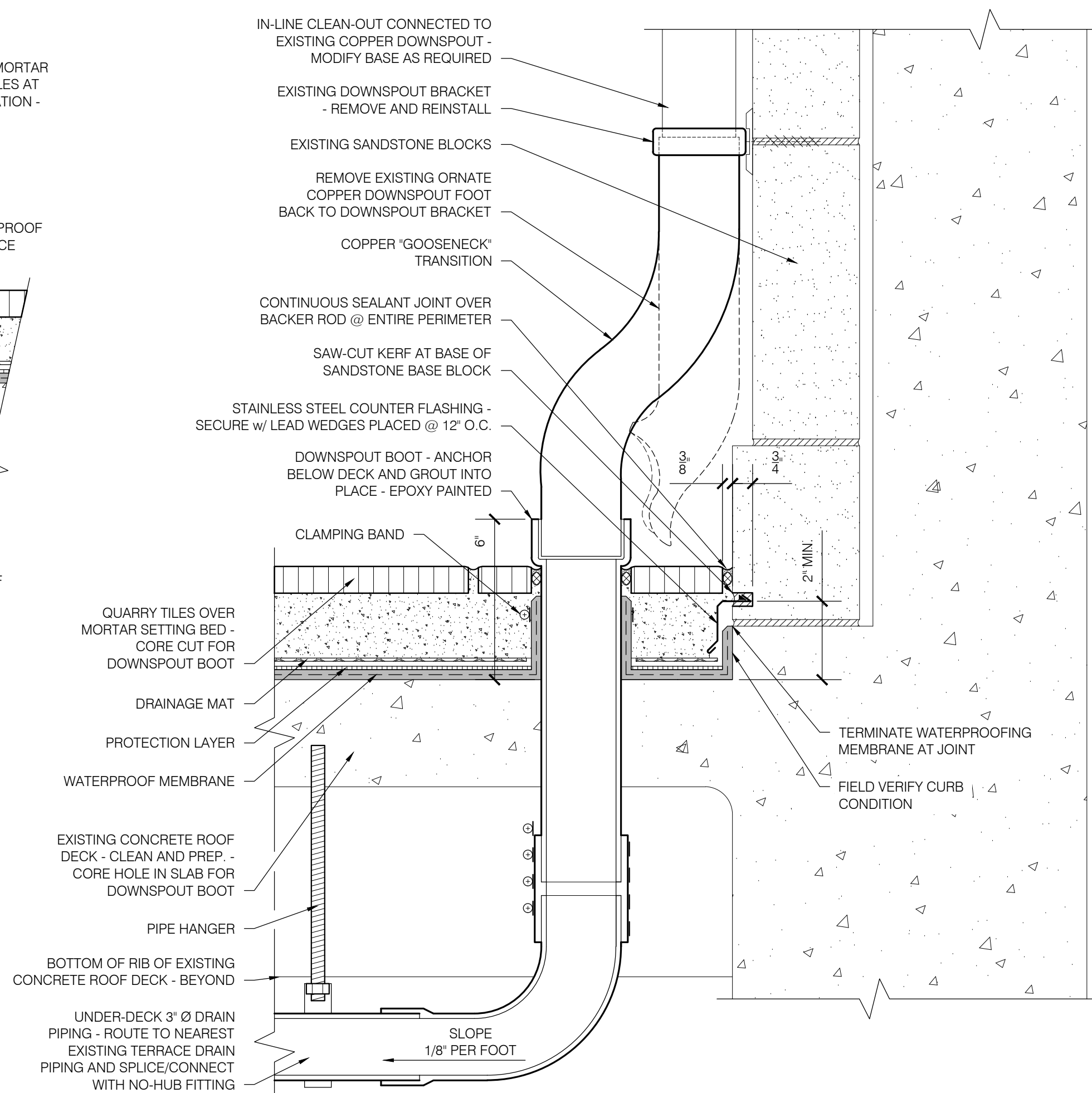
DATE	DESCRIPTION	BY



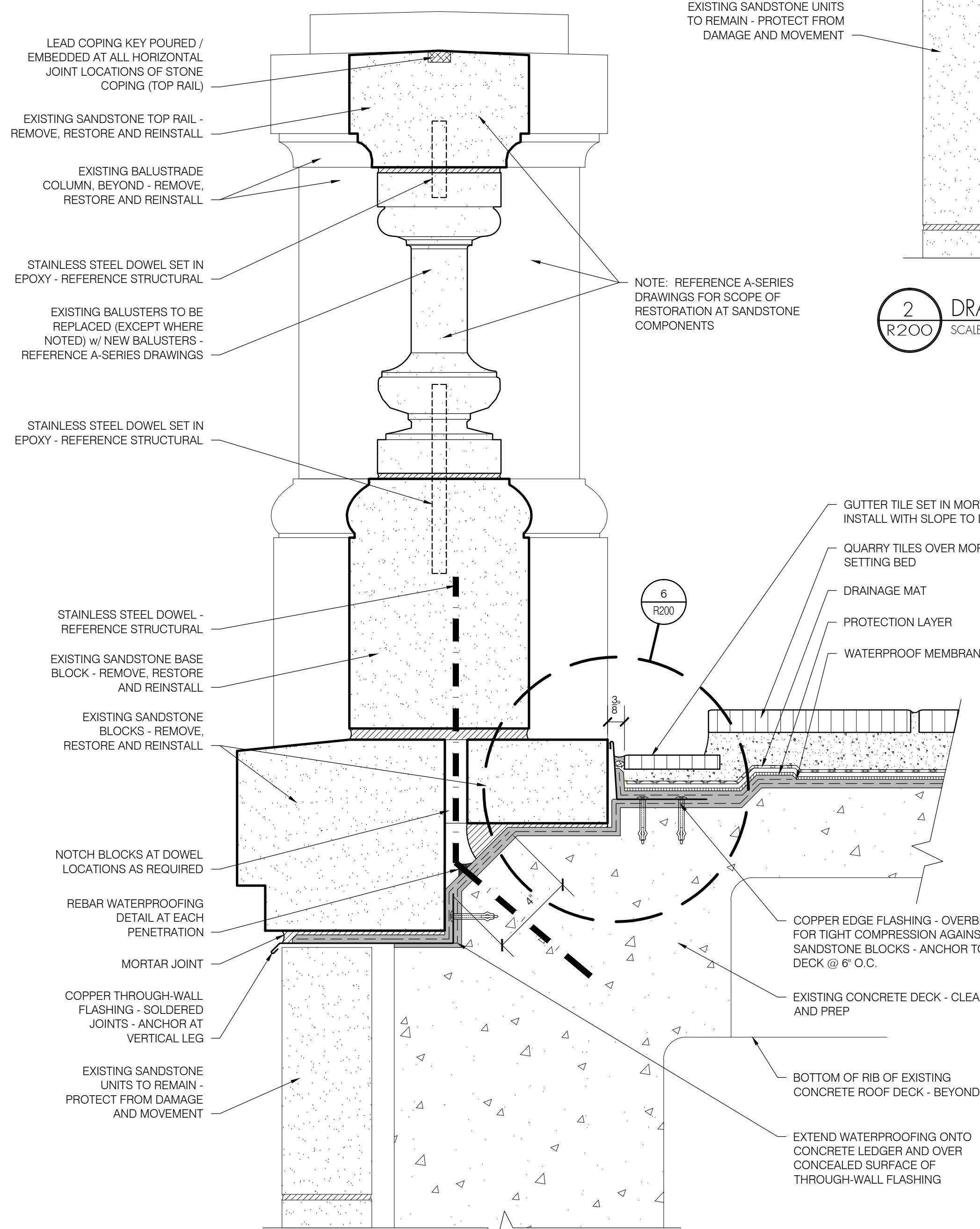
1 SKYLIGHT FLASHING - FIRST FLOOR TERRACE
R200 SCALE: 3" = 1'-0"



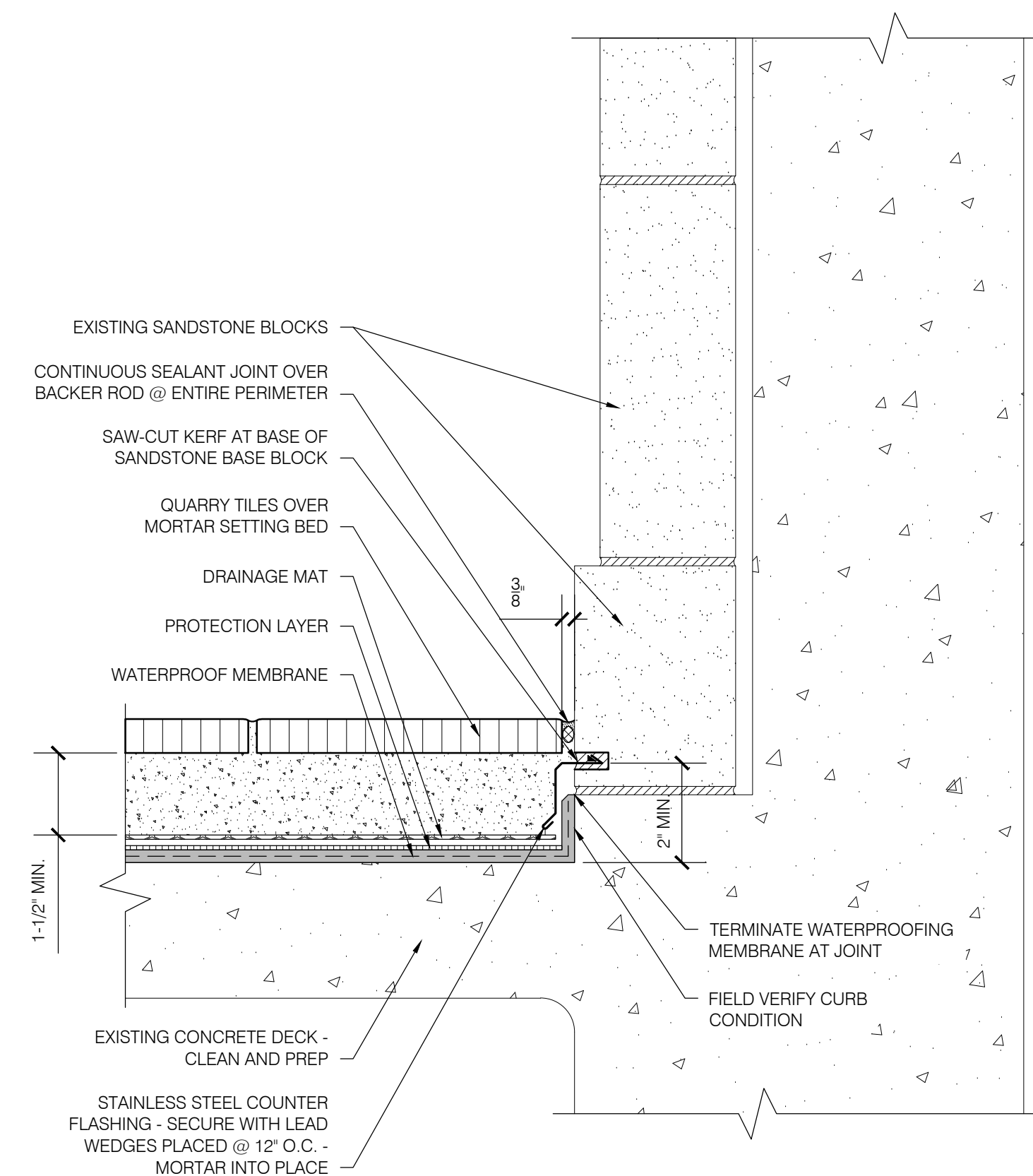
2 DRAIN - FIRST FLOOR TERRACE
R200 SCALE: 3" = 1'-0"



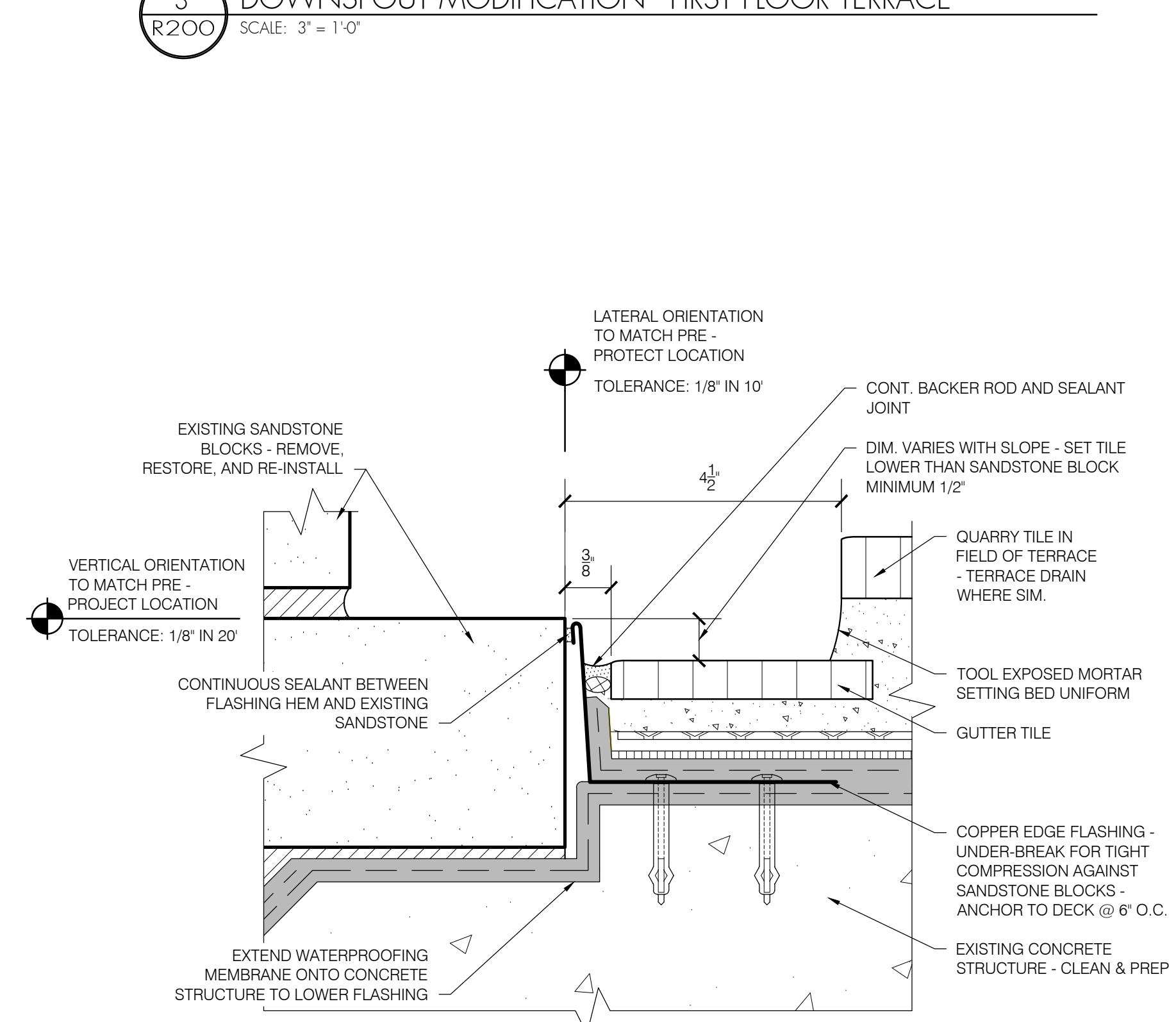
3 DOWNSPOUT MODIFICATION - FIRST FLOOR TERRACE
R200 SCALE: 3" = 1'-0"



4 BALUSTRADE - FIRST FLOOR TERRACE
R200 SCALE: 3" = 1'-0"

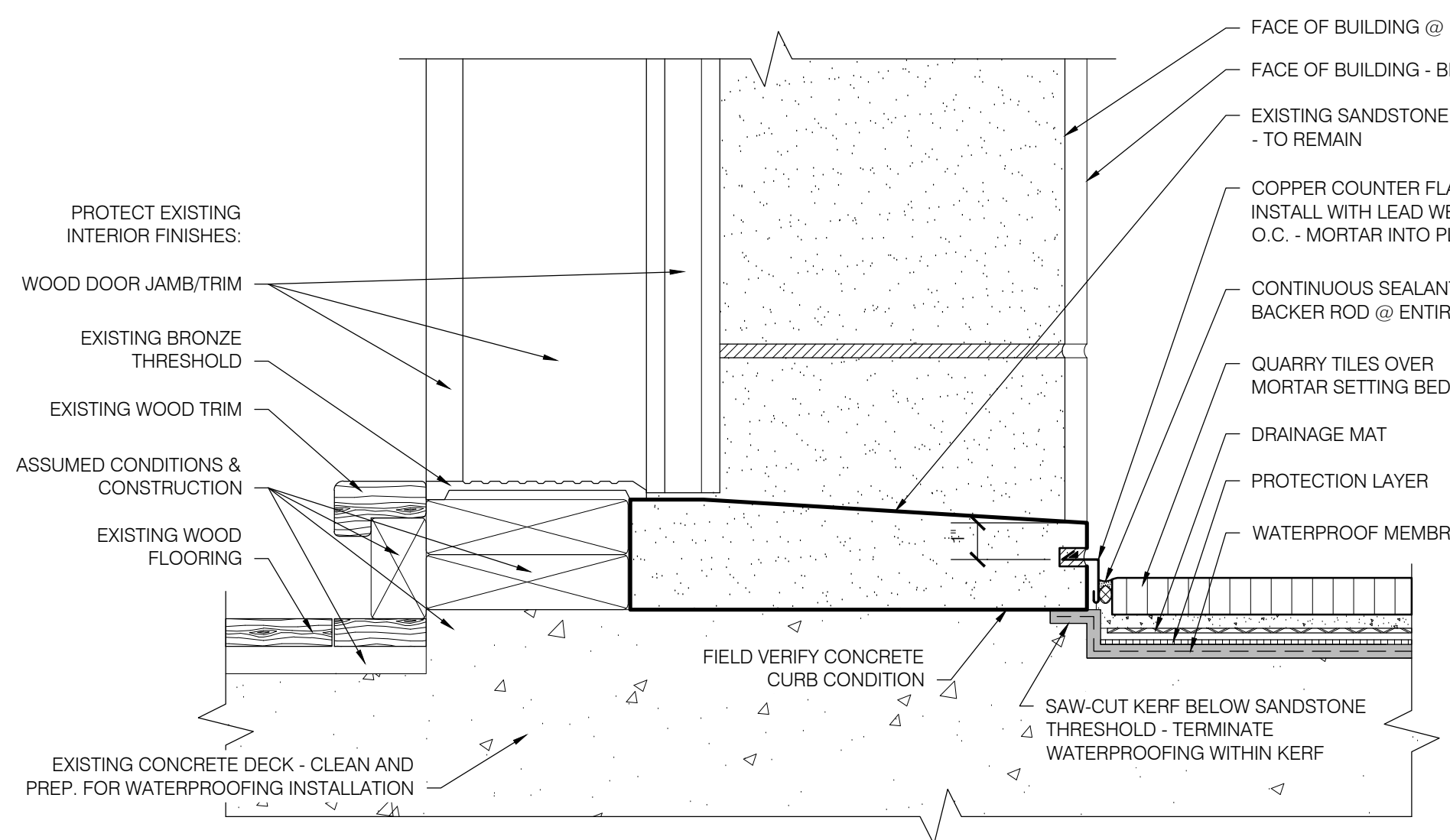


5 WALL FLASHING - TYP. @ FIRST FLOOR AND SECOND FLOOR (NORTH)
R200 SCALE: 3" = 1'-0"

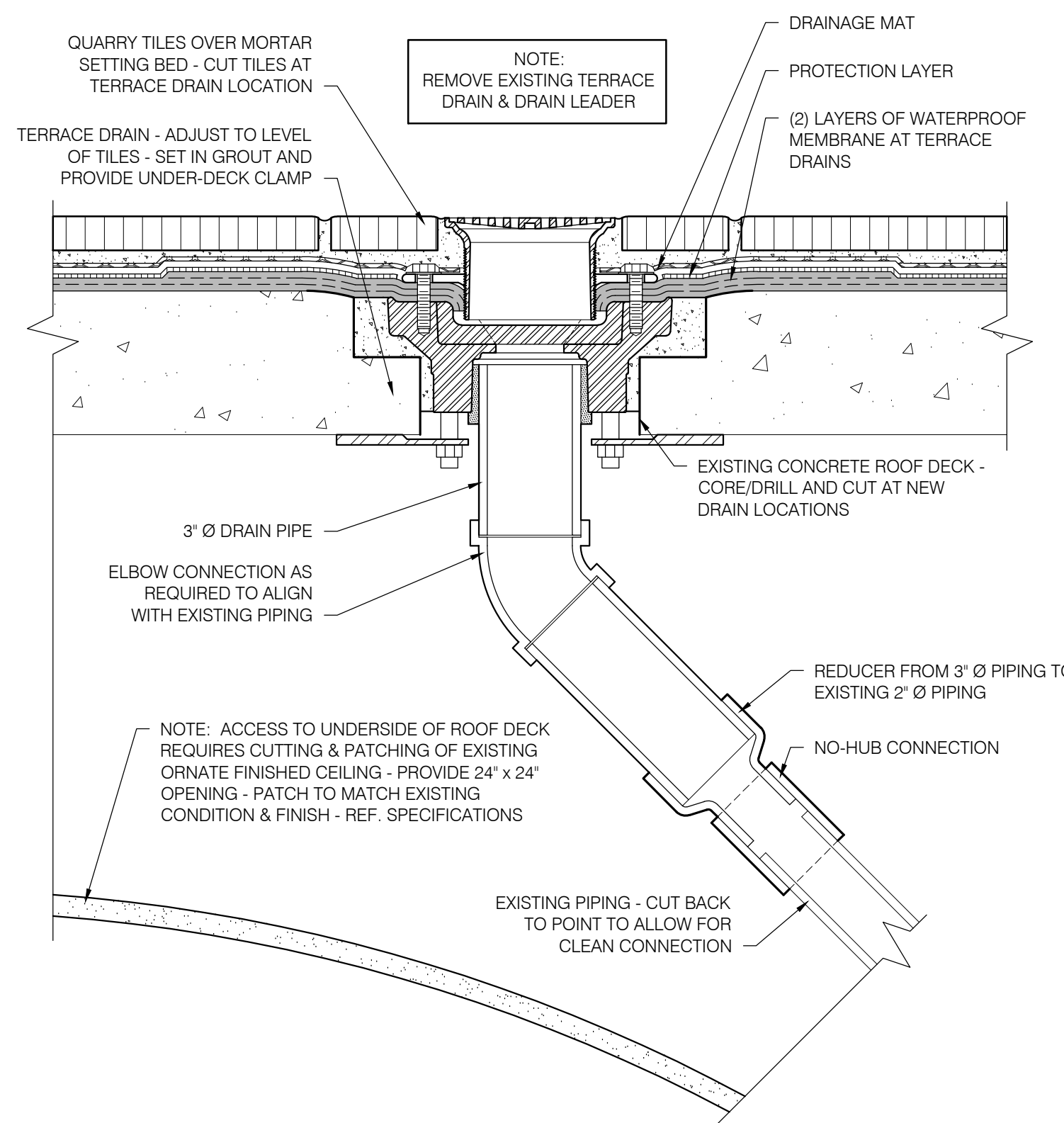


6 DRAINAGE TROUGH
R200 SCALE: 6" = 1'-0"

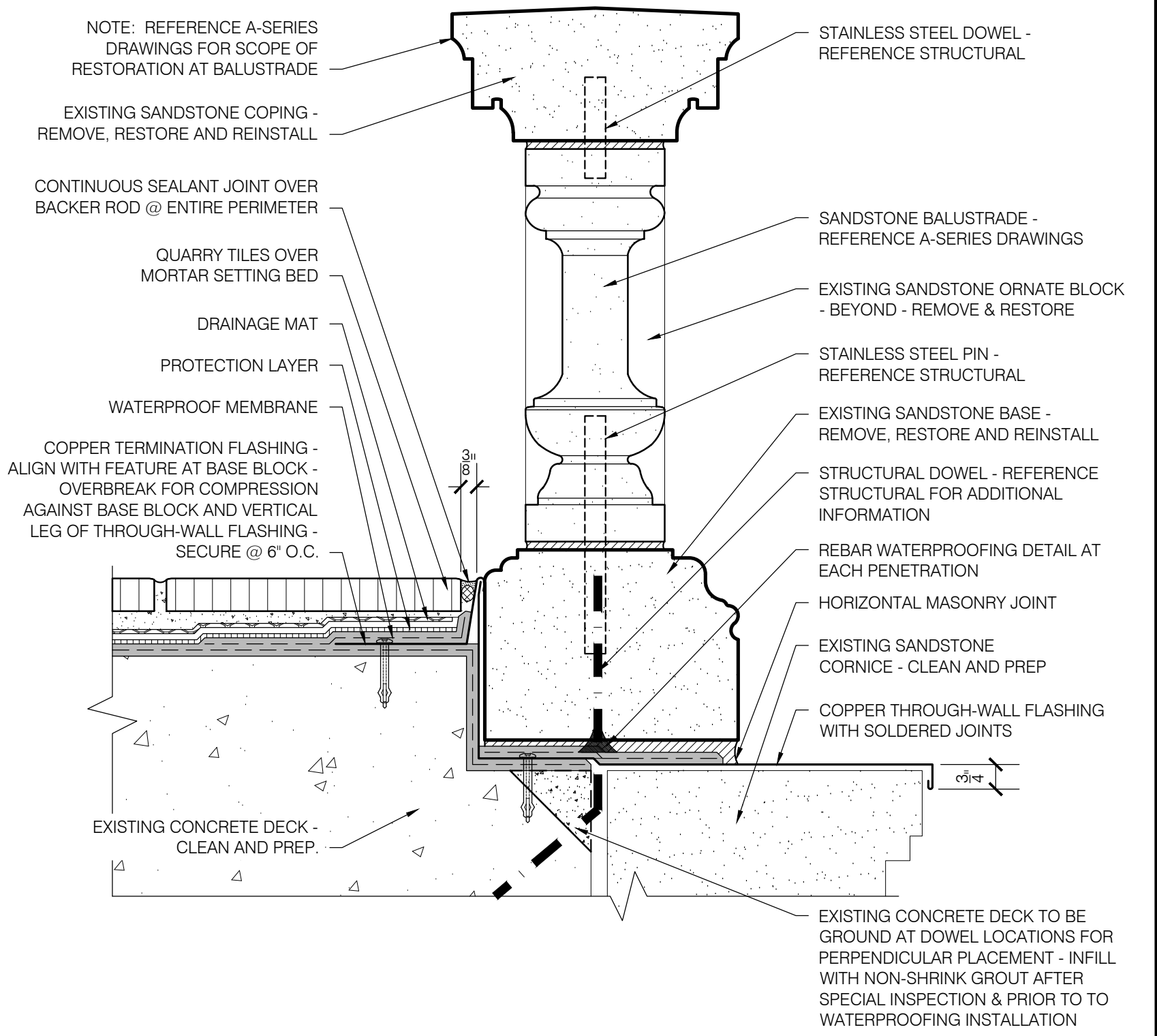
REVISIONS		
DATE	DESCRIPTION	BY



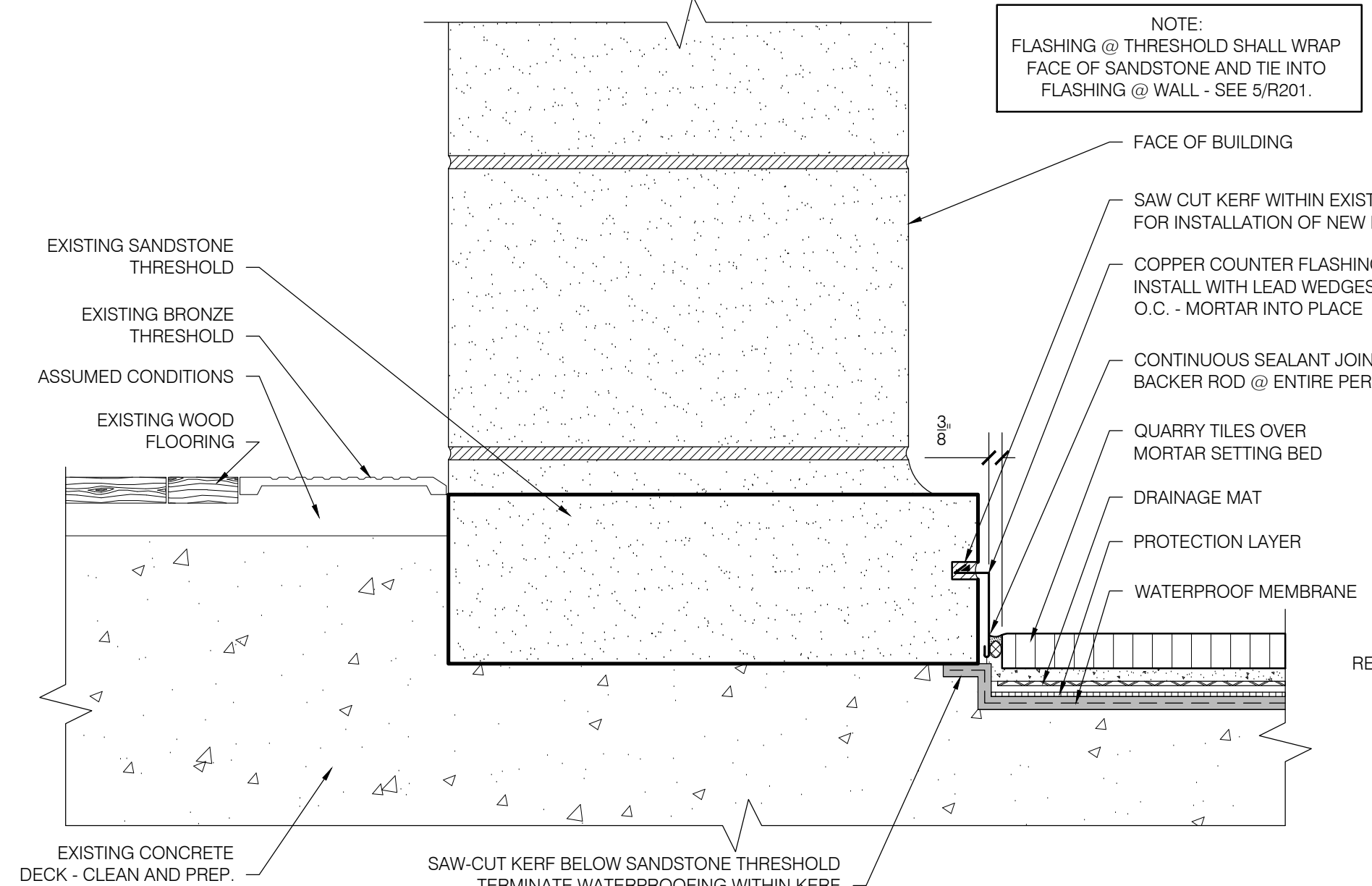
1 DOOR THRESHOLD - SECOND FLOOR TERRACE (NORTH)
R201 SCALE: 3" = 1'-0"



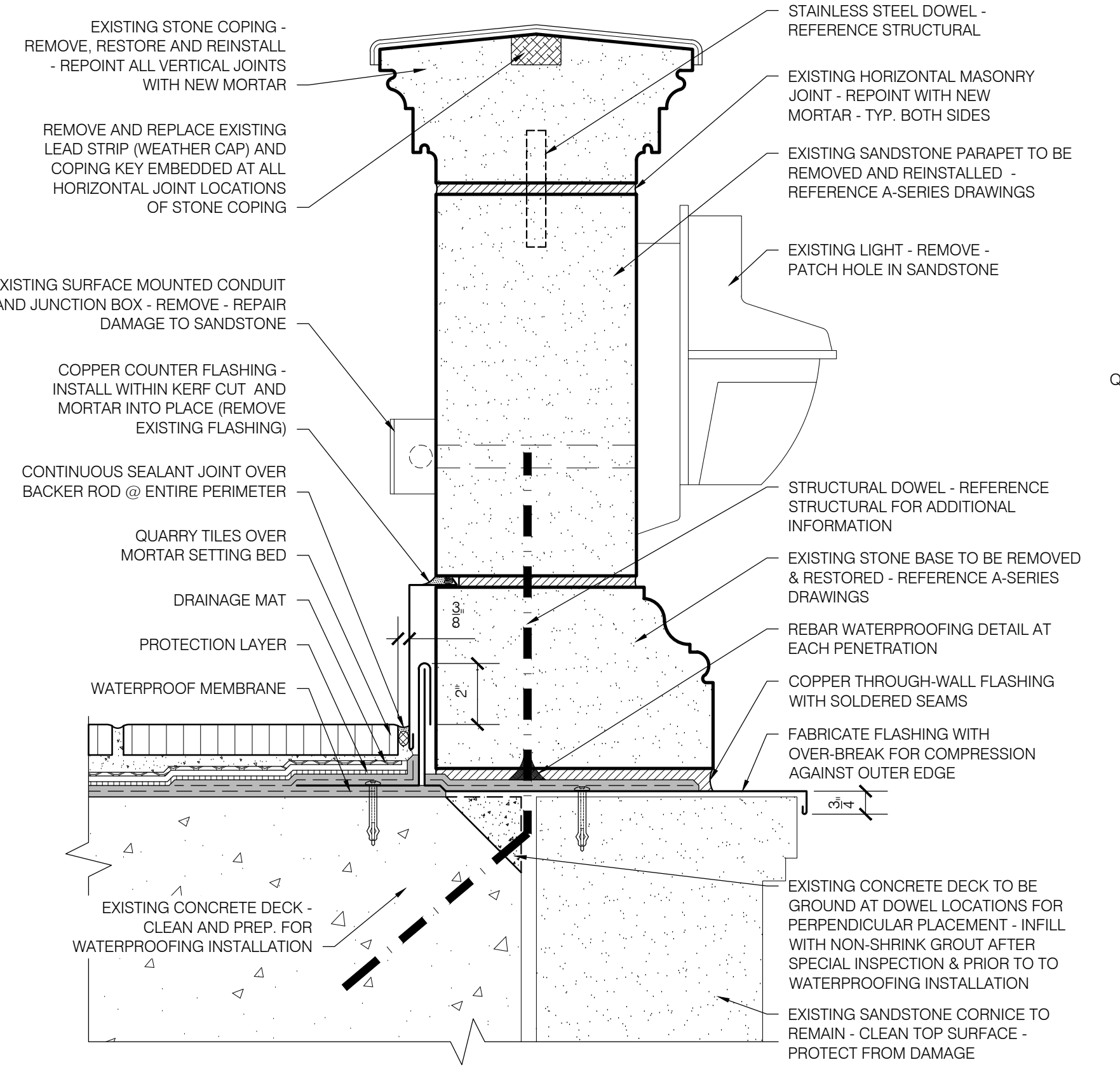
2 TERRACE DRAIN - TYPICAL
R201 SCALE: 3" = 1'-0"



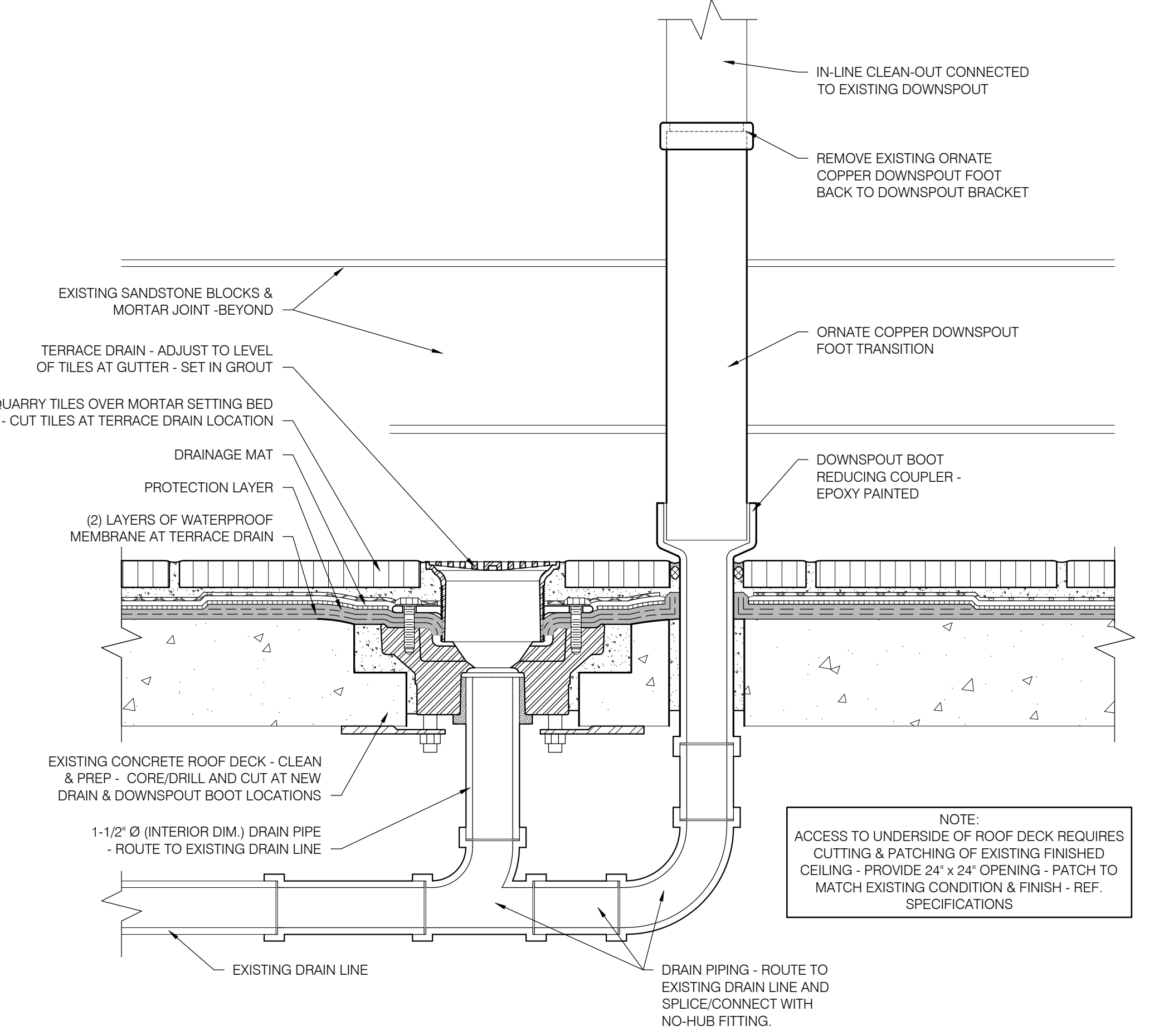
3 BALUSTRADE - SECOND FLOOR TERRACE (NORTH)
R201 SCALE: 3" = 1'-0"



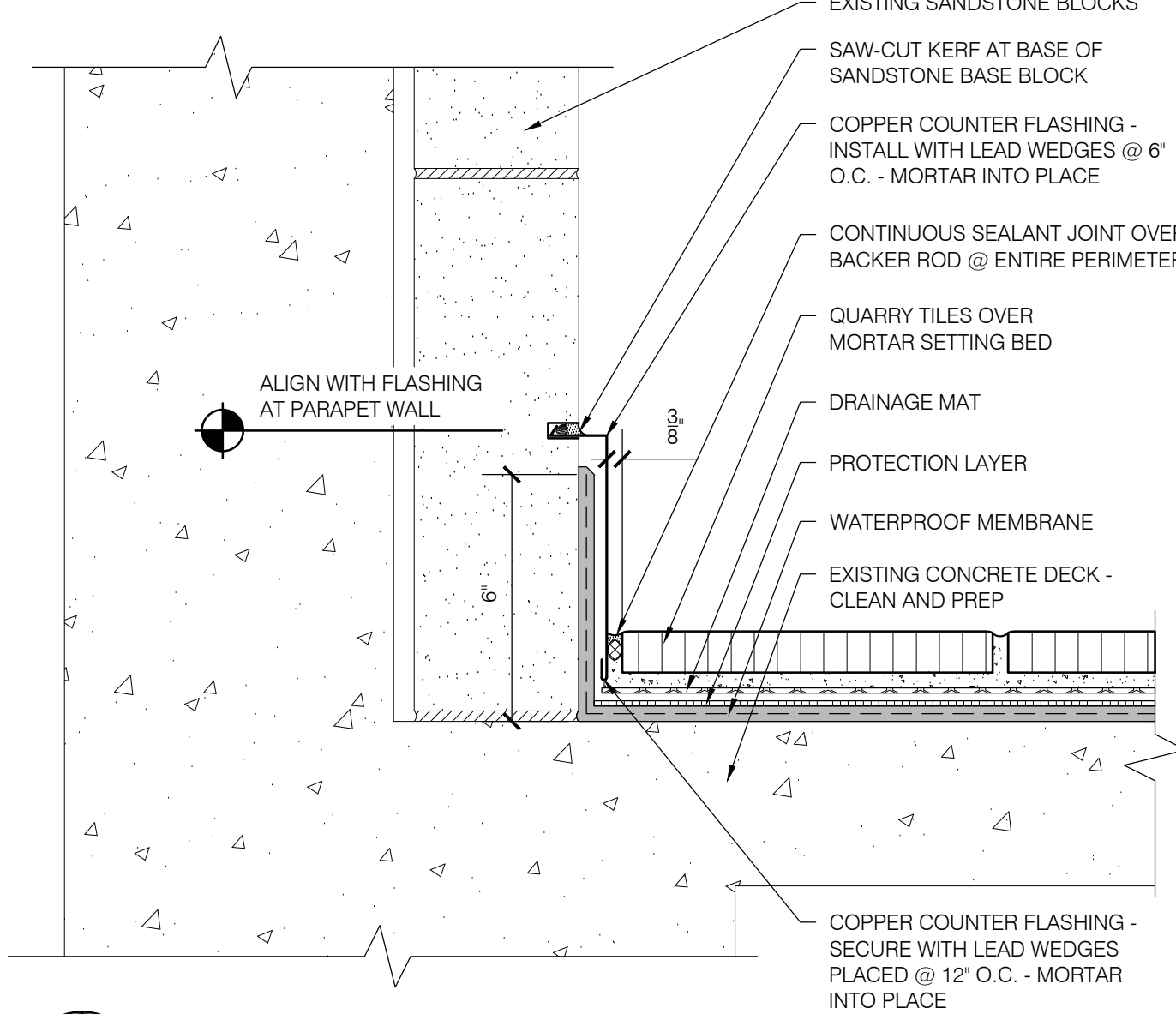
4 DOOR THRESHOLD - SECOND FLOOR TERRACE (SOUTH)
R201 SCALE: 3" = 1'-0"



6 BALUSTRADE - SECOND FLOOR TERRACE (SOUTH)
R201 SCALE: 3" = 1'-0"

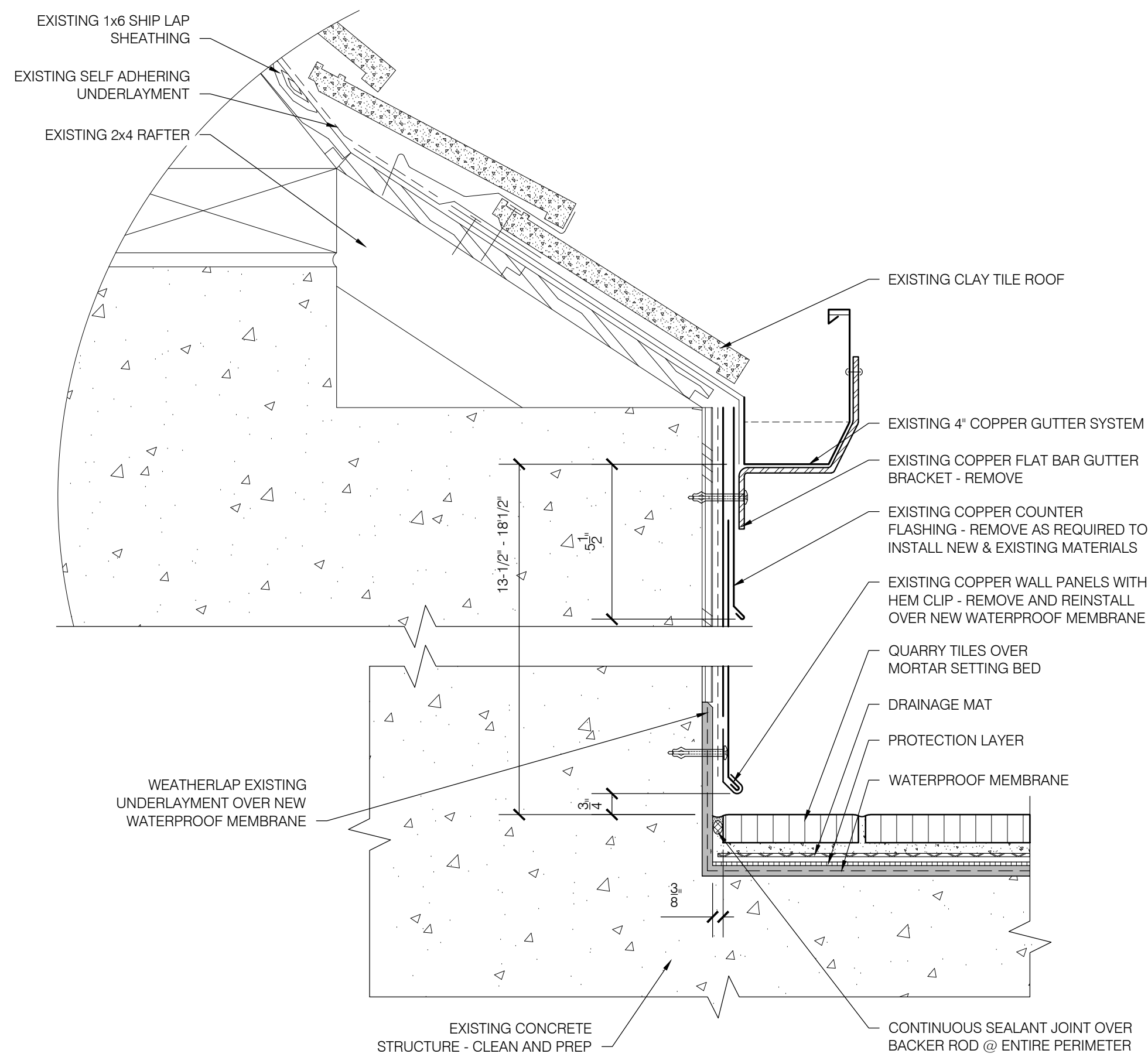


7 DRAIN MODIFICATION - SECOND FLOOR TERRACE (SOUTH)
R201 SCALE: 3" = 1'-0"

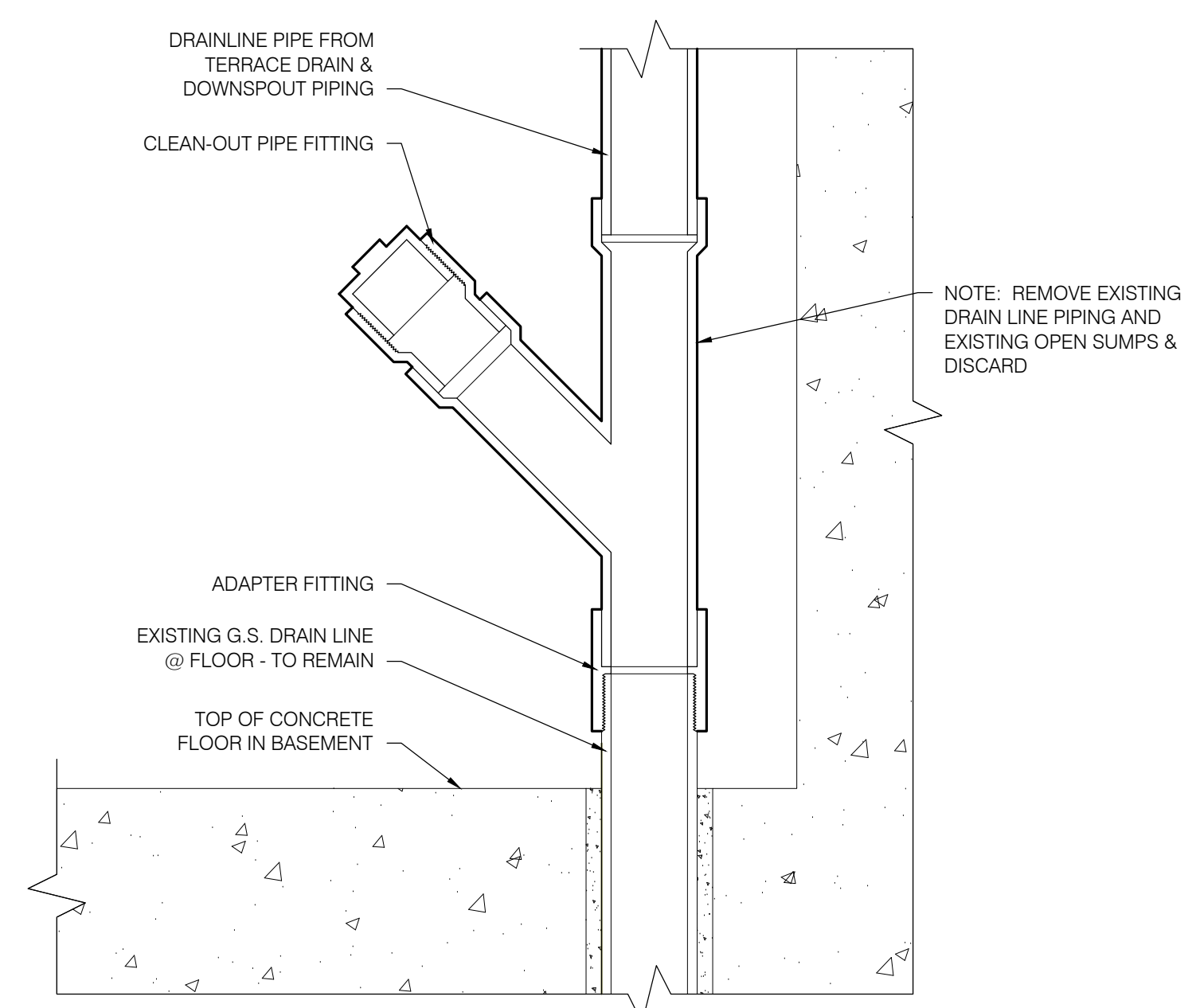


5 WALL FLASHING - SECOND FLOOR TERRACE (SOUTH)
R201 SCALE: 3" = 1'-0"

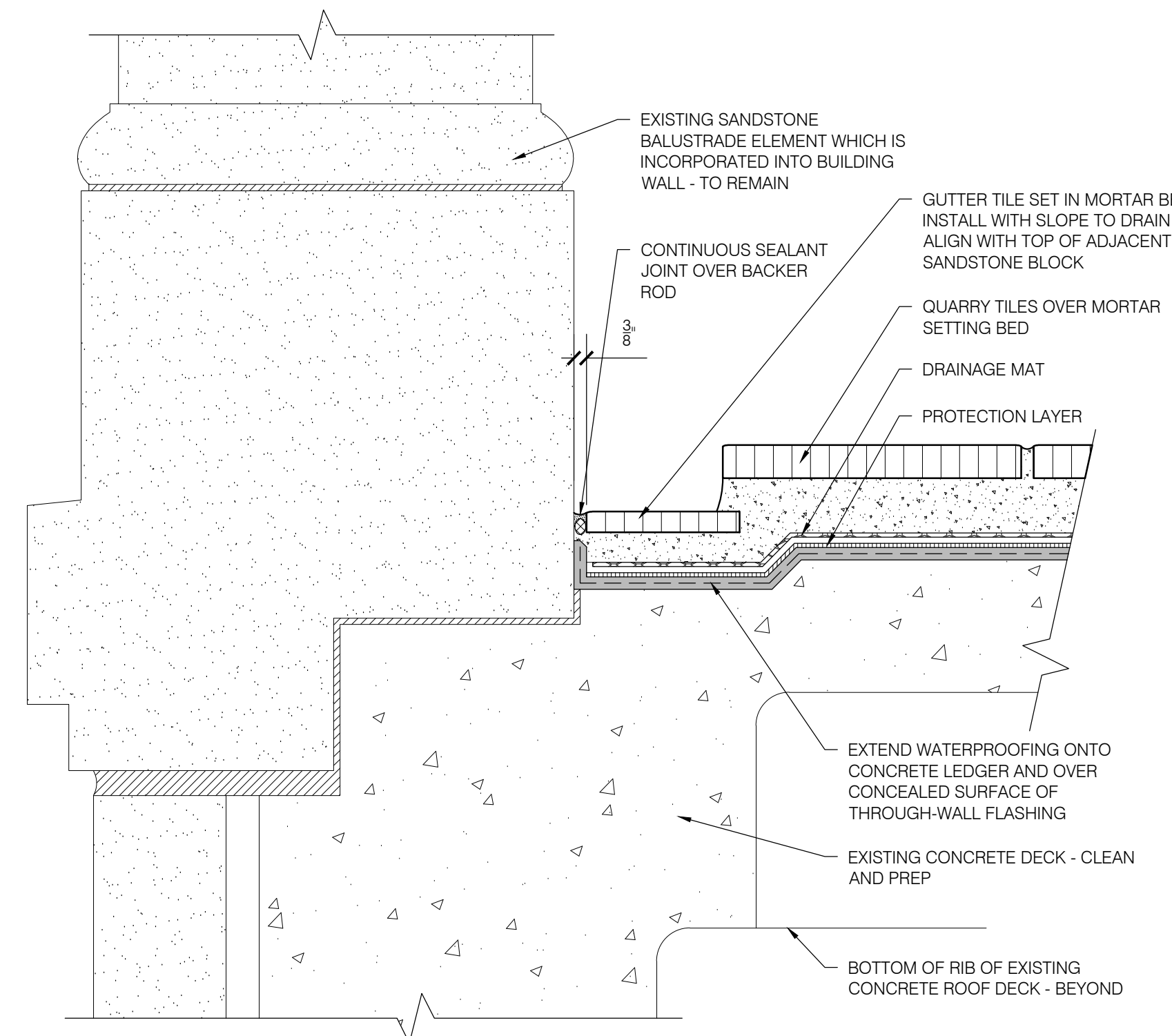
REVISIONS		
DATE	DESCRIPTION	BY



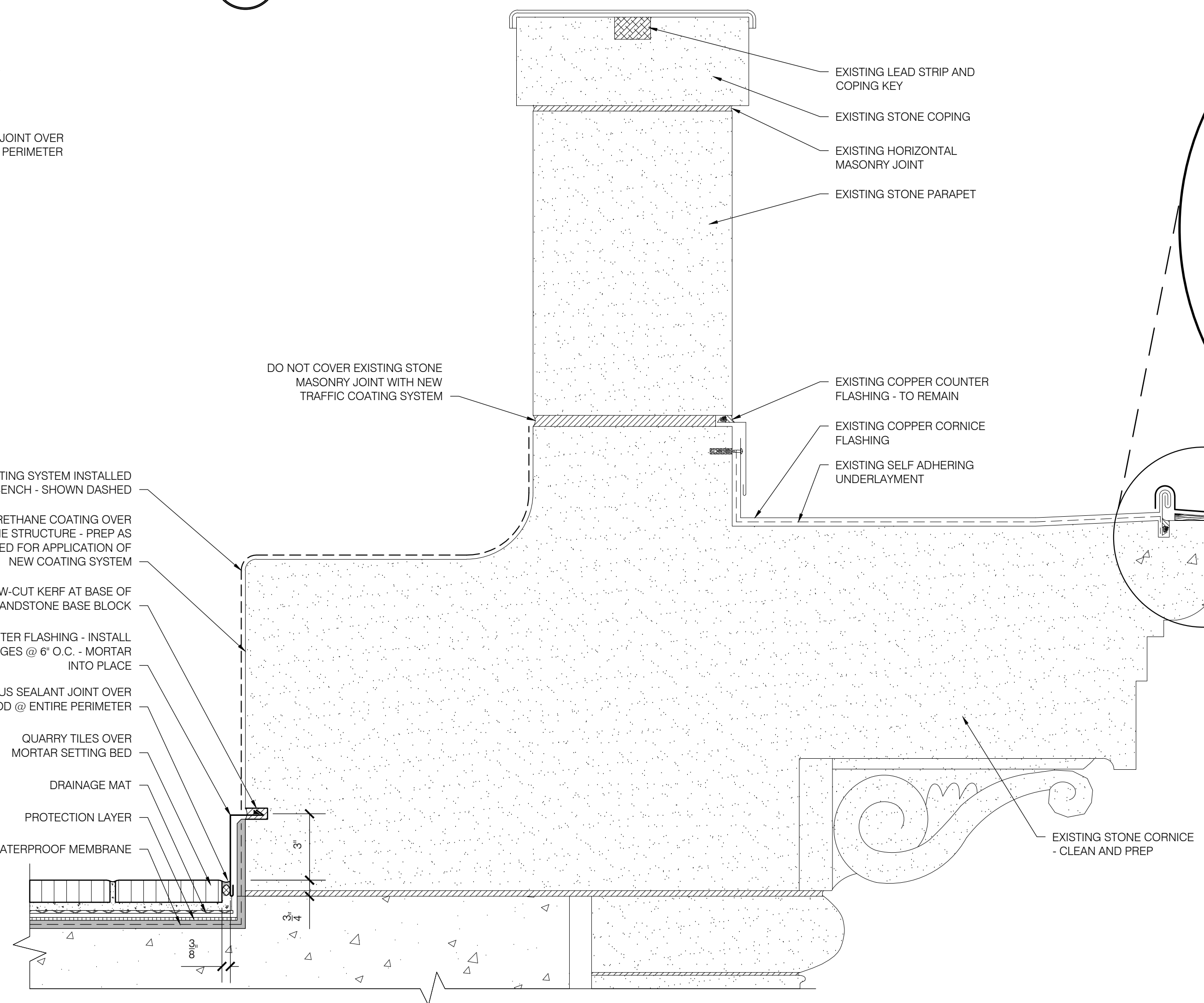
1 WALL FLASHING - THIRD FLOOR TERRACE
R202 SCALE: 3" = 1'-0"



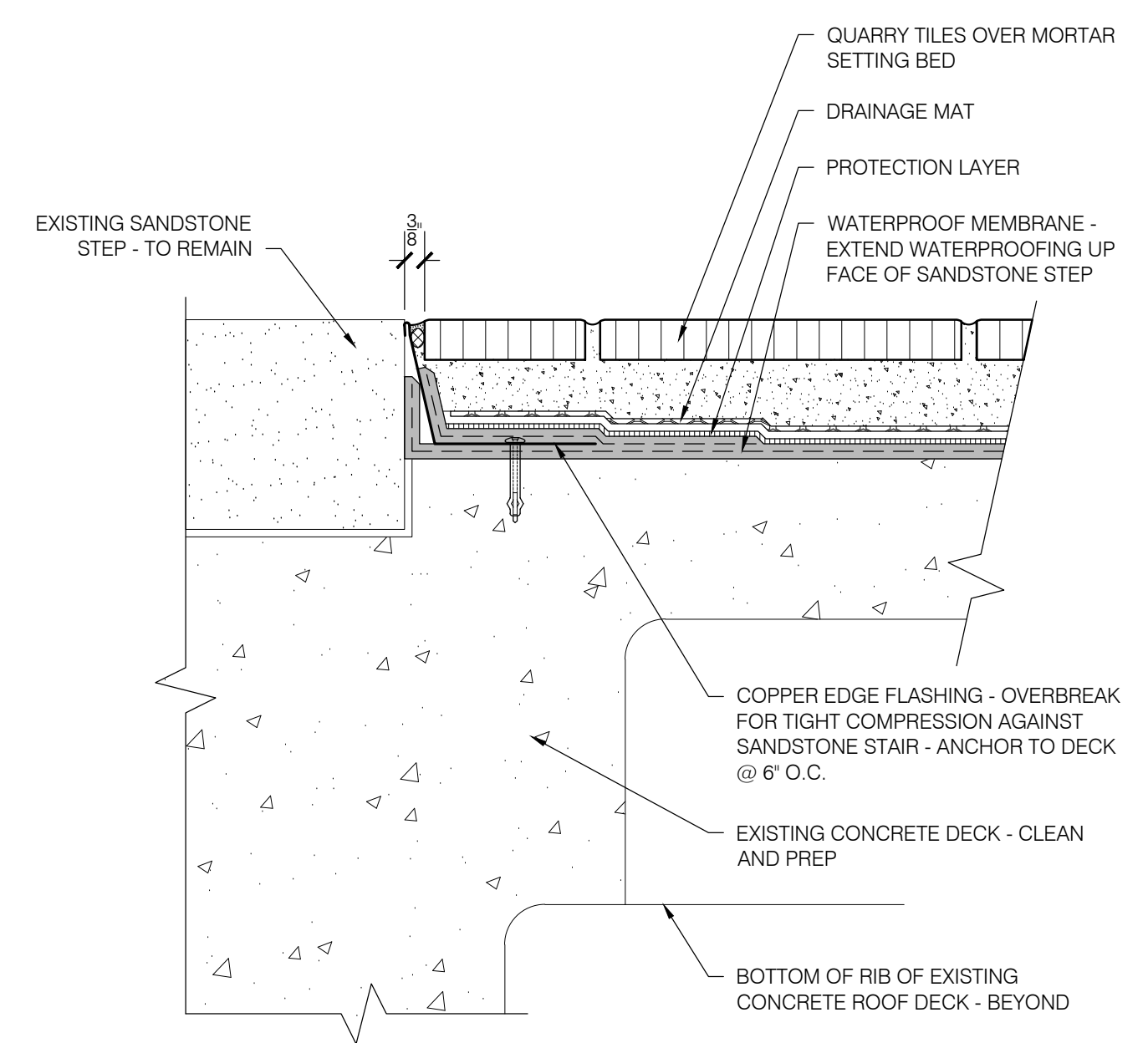
4 DRAIN LINE MODIFICATION - BASEMENT
R202 SCALE: 3" = 1'-0"



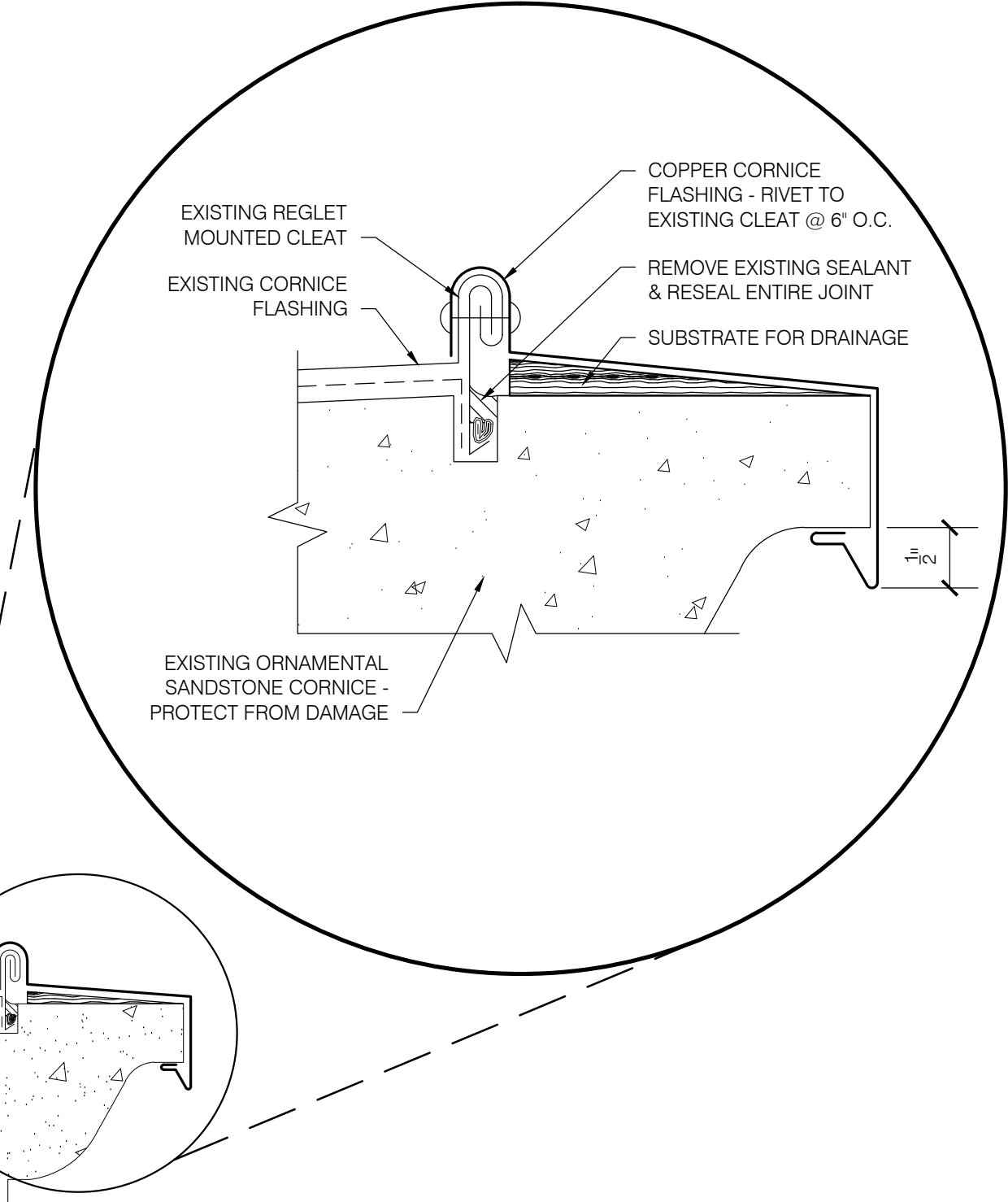
2 BALUSTRADE COLUMN @ BUILDING WALL - FIRST FLOOR TERRACE
R202 SCALE: 3" = 1'-0"



5 PARAPET - THIRD FLOOR TERRACE
R202 SCALE: 3" = 1'-0"



3 STAIR TRANSITION - FIRST FLOOR TERRACE
R202 SCALE: 3" = 1'-0"



REVISIONS		
DATE	DESCRIPTION	BY

BID SET

A101 GENERAL SHEET NOTES

- REPAIR NOTES ON PLAN ARE FOR STONE BASE ONLY.
- PICTURES SHOW REPAIRS ON BOTH COPING STONES AND BASE STONES. SEE SHEET A102 FOR MORE PHOTOS AND COPING STONE REPAIR NOTES.
- DIMENSIONS ARE FOR ESTIMATING PURPOSES ONLY. DIMENSIONS SHOULD BE VERIFIED IN THE FIELD.
- BALUSTER TO REPLACE ARE NOTED ON SHEET A103.
- ALL STONE BASE PIECES TO BE REMOVED FOR CORRECT INSTALLMENT OF FLASHING MEMBRANE (REPAIR TYPE S01), EXCEPT NOTED.

REPAIR LEGEND

- REPAIR S01: REMOVE, RE-ANCHOR, AND REINSTALL EXISTING STONE
- REPAIR S02: REMOVE EXISTING MATERIAL AND REPLACE WITH NEW MATERIAL
- REPAIR S03: PROVIDE DUTCHMAN REPAIR OF EXISTING STONE
- REPAIR S04: REMOVE LOOSE SURFACE SPALLS, AND PREVIOUS PATCHING, AND PROVIDE RESTORATION MORTAR REPAIRS
- REPAIR S05: REMOVE, INSTALL STAINLESS STEEL DOWEL, AND PROVIDE EPOXY REPAIR OF EXISTING STONE, REFERENCE STRUCTURAL
- REPAIR S06: HONE EXISTING STONE SURFACES

KEYNOTE LEGEND

- 01 STONE TO REMAIN IN PLACE FOR DURATION OF PROJECT. PROTECT ADJACENT BUILDING STONE DURING CLEANING.

SHEET LEGEND

- EXTENT OF REPAIR

QUANTITY ESTIMATE FOR ESTIMATING PURPOSES ONLY. VERIFY QUANTITY IN FIELD.

REPAIR TYPE S02
BALUSTERS:
TOTAL REPLACEMENT WORK AREA #1 (LOWER EAST TERRACE): 170 UNITS
TOTAL REPLACEMENT WORK AREA #2 (UPPER EAST TERRACE): 51 UNITS
*PROVIDE 20% CONTINGENCY FOR WORK AREA #1 STONE BALUSTERS.

COPING STONE:
TOTAL REPLACEMENT WORK AREA #1: 5 UNITS (+/- 25 LINEAL FEET)
TOTAL REPLACEMENT WORK AREA #2: 7 UNITS (+/- 35 LINEAL FEET)

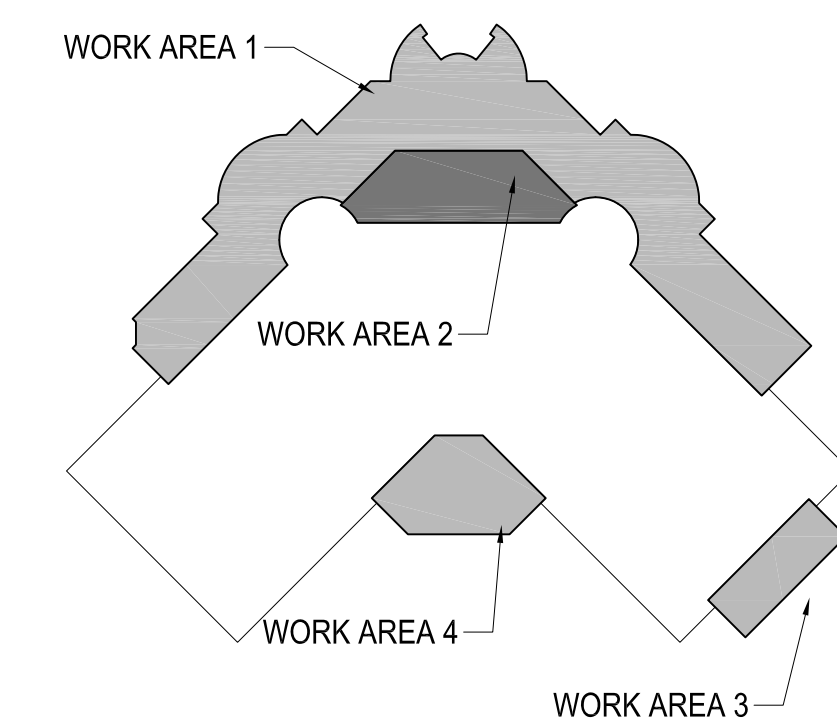
REPAIR TYPE S03
TOTAL DUTCHMAN REPAIR: 40 SQUARE FEET

REPAIR TYPE S04
TOTAL RESTORATION REPAIR: 40 SQUARE FEET

REPAIR TYPE S05
TOTAL EPOXY CRACK REPAIR: 25 LINEAL FEET (ALSO INCLUDE PINS AT EACH LOCATION) (AVERAGE STONE THICKNESS IS 8")

REPAIR TYPE 06
HONE STONE TOTAL: +/- 10 SF

KEY DIAGRAM



Portland Parks and Recreation
NICK FISH, Commissioner
MIKE ABBATE, Director

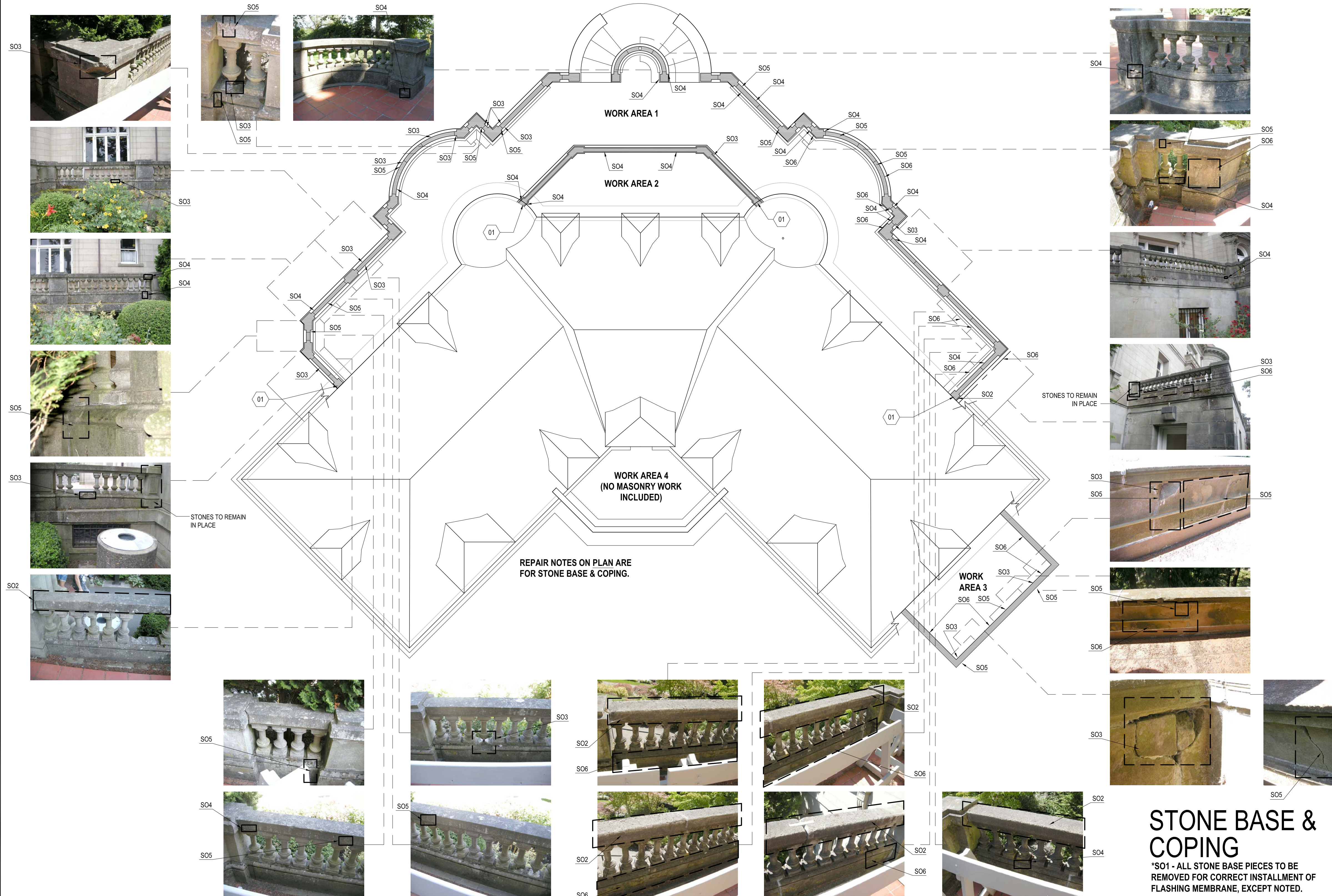
BALUSTRADE STONE REPAIR PLANS
PITTOCK MANSION - TERRACE RESTORATION PROJECT

Portland, Oregon
DATE: 05/17/12
SCALE: SEE SCALE
PROJECT MANAGER: SUSAN MEAMBER
PH: (503) 823 9709
DRAWN BY: PMA
SECTION:

REVISIONS		
DATE	DESCRIPTION	BY

BID SET

A101
7 of 11

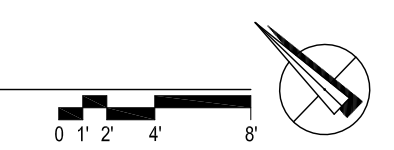


REPAIR NOTES ON PLAN ARE FOR STONE BASE & COPING.

WORK AREA 4 (NO MASONRY WORK INCLUDED)

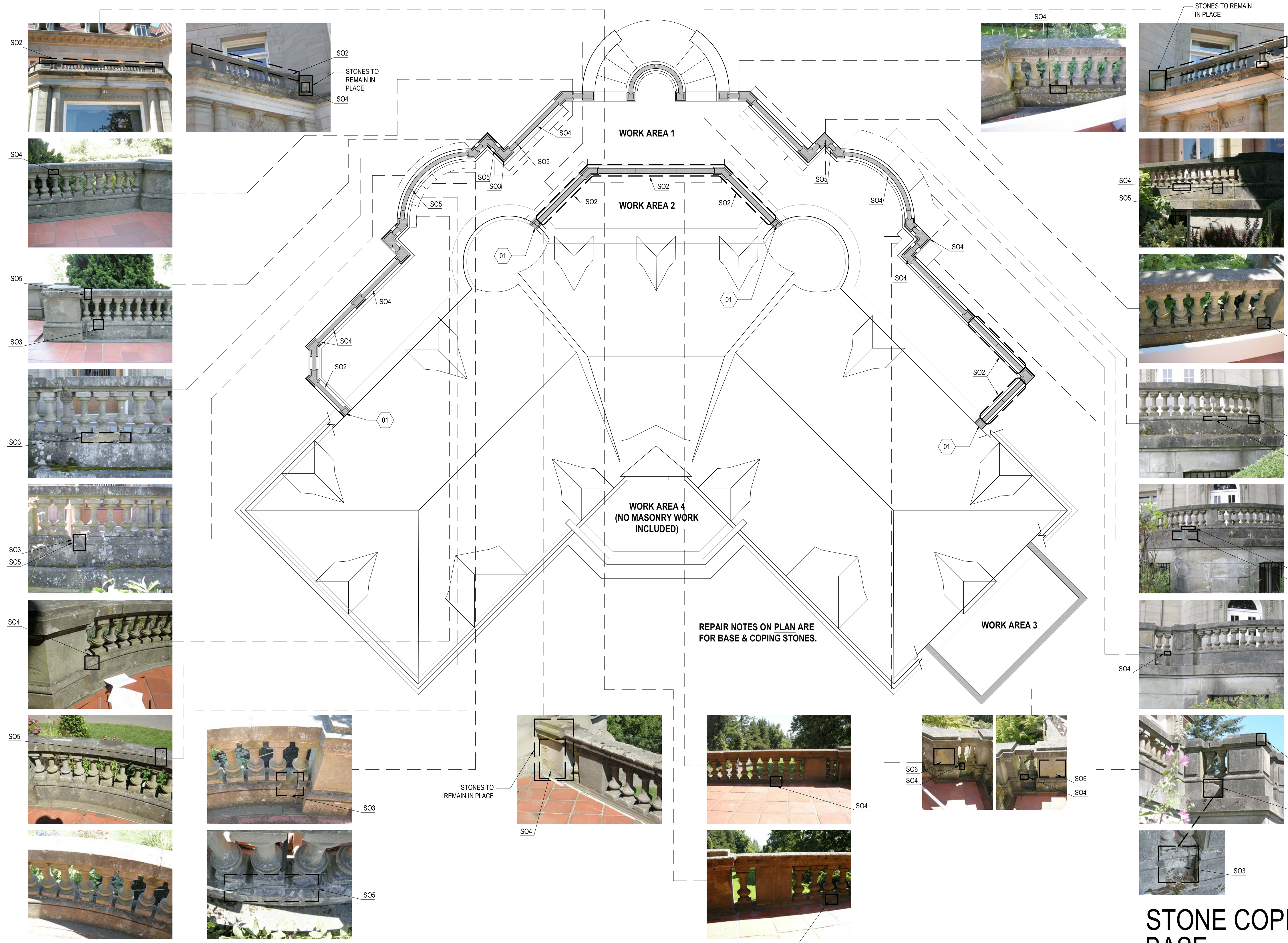
STONES TO REMAIN IN PLACE

01 STONE BASE PLAN - STONE REPAIR



STONE BASE & COPING

*S01 - ALL STONE BASE PIECES TO BE REMOVED FOR CORRECT INSTALLMENT OF FLASHING MEMBRANE, EXCEPT NOTED.



A101 GENERAL SHEET NOTES

1. REPAIR NOTES ON PLAN ARE FOR COPING STONES ONLY.
2. PICTURES NOTE REPAIRS ON BOTH COPING STONES AND BASE STONES. SEE SHEET A101 FOR MORE PHOTOS AND BASE STONE REPAIR NOTES.
3. DIMENSIONS ARE FOR ESTIMATING PURPOSES ONLY. DIMENSIONS SHOULD BE VERIFIED IN THE FIELD.
4. BALUSTER TO REPLACE ARE NOTED ON SHEET A103.
5. ALL COPING STONES TO BE REMOVED FOR CORRECT INSTALLMENT OF FLASHING MEMBRANE (REPAIR TYPE S01), EXCEPT NOTED.

REPAIR LEGEND

- REPAIR S01: REMOVE, RE-ANCHOR, AND REINSTALL EXISTING STONE
 REPAIR S02: REMOVE EXISTING MATERIAL AND REPLACE WITH NEW MATERIAL
 REPAIR S03: PROVIDE DUTCHMAN REPAIR OF EXISTING STONE
 REPAIR S04: REMOVE LOOSE SURFACE SPALLS, AND PREVIOUS PATCHING, AND PROVIDE RESTORATION MORTAR REPAIRS
 REPAIR S05: REMOVE, INSTALL STAINLESS STEEL PINS, AND PROVIDE EPOXY REPAIR OF EXISTING STONE. REFERENCE STRUCTURAL FOR EPOXY TYPE
 REPAIR S06: HONE EXISTING STONE SURFACES

KEYNOTE LEGEND

- 01 STONE TO REMAIN IN PLACE FOR DURATION OF PROJECT. PROTECT ADJACENT BUILDING STONE DURING CLEANING.

SHEET LEGEND

- EXTENT OF REPAIRS

QUANTITY ESTIMATE FOR ESTIMATING PURPOSES ONLY. VERIFY QUANTITY IN FIELD.

REPAIR TYPE S02
 BALUSTERS:
 TOTAL REPLACEMENT WORK AREA #1 (LOWER EAST TERRACE): 170 UNITS
 TOTAL REPLACEMENT WORK AREA #2 (UPPER EAST TERRACE): 51 UNITS
 *PROVIDE 20% CONTINGENCY FOR WORK AREA #1 STONE BALUSTERS.

COPING STONE:
 TOTAL REPLACEMENT WORK AREA #1: 5 UNITS (+/- 25 LINEAL FEET)
 TOTAL REPLACEMENT WORK AREA #2: 7 UNITS (+/- 35 LINEAL FEET)

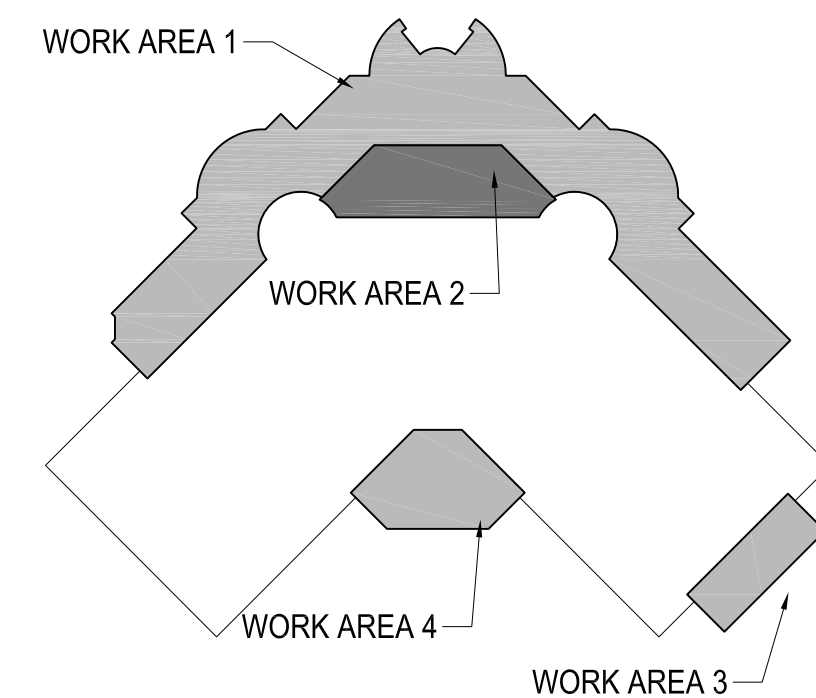
REPAIR TYPE S03
 TOTAL DUTCHMAN REPAIR: 40 SQUARE FEET

REPAIR TYPE S04
 TOTAL RESTORATION REPAIR: 40 SQUARE FEET

REPAIR TYPE S05
 TOTAL EPOXY CRACK REPAIR: 25 LINEAL FEET (ALSO INCLUDE PINS AT EACH LOCATION) (AVERAGE STONE THICKNESS IS 8")

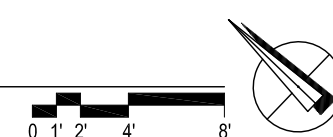
REPAIR TYPE 06
 HONE STONE TOTAL: +/- 10 SF

KEY DIAGRAM



STONE COPING & BASE

*S01 - ALL STONE COPING PIECES TO BE REMOVED FOR CORRECT INSTALLMENT OF FLASHING MEMBRANE, EXCEPT NOTED.

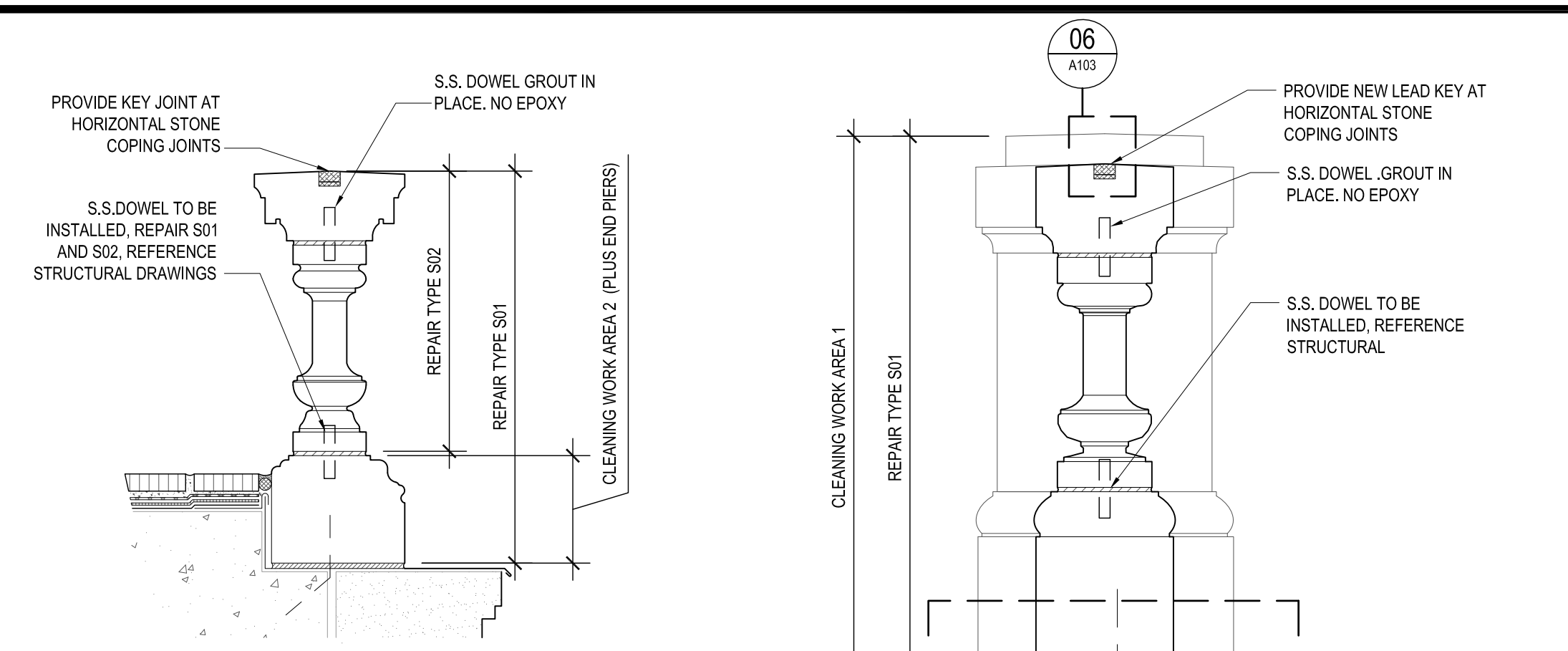


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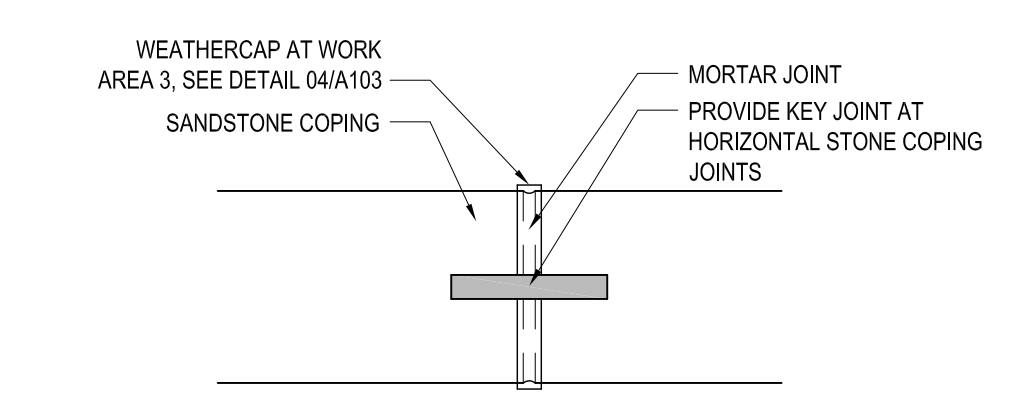
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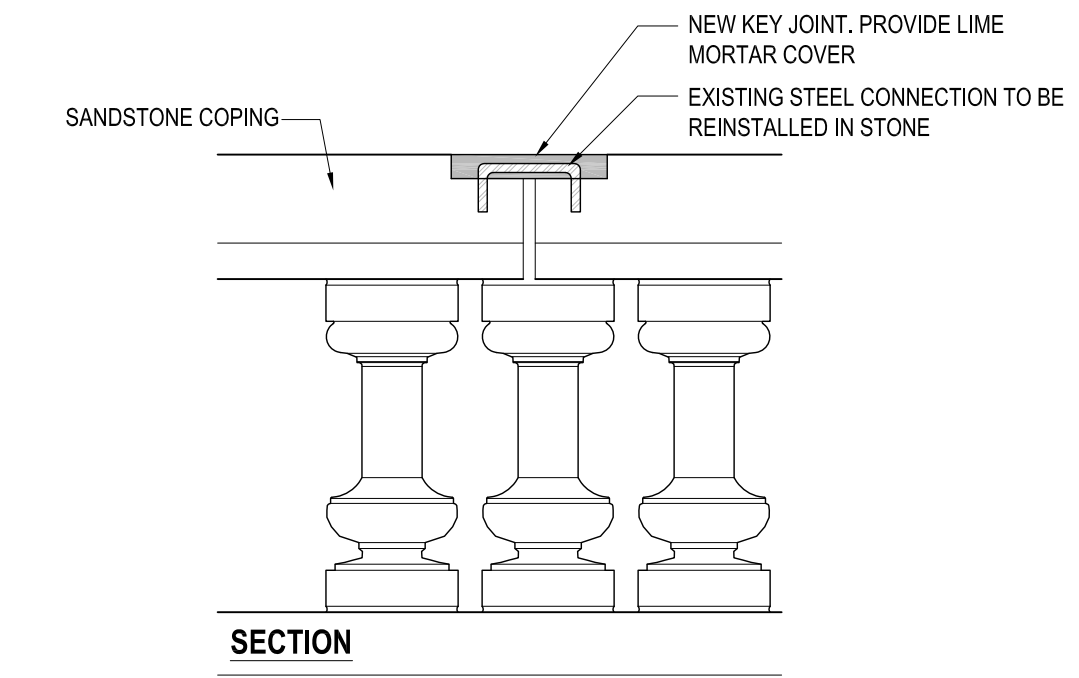
A103



07 PARAPET - SECOND FLOOR NORTHEAST BALCONY

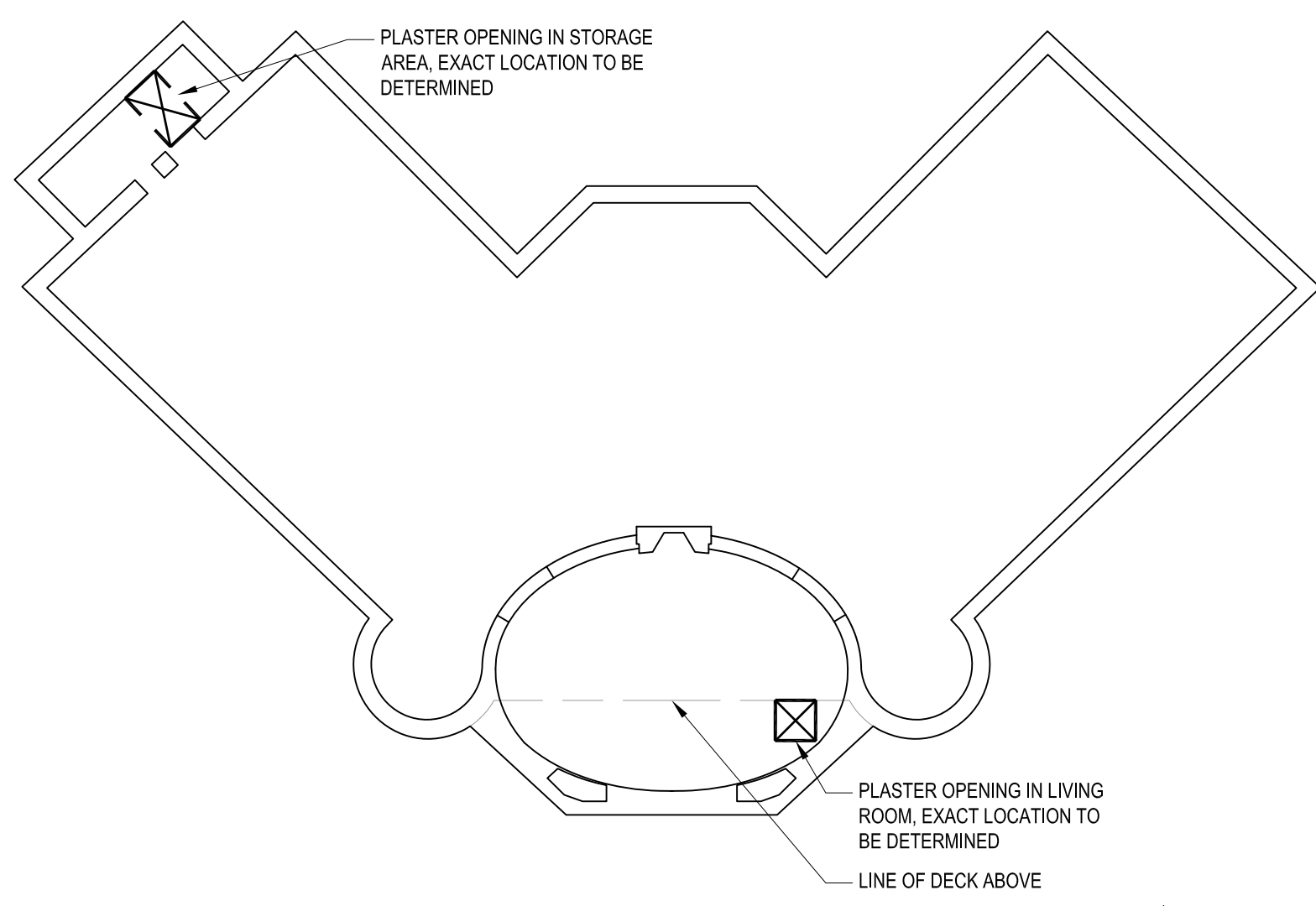


PLAN

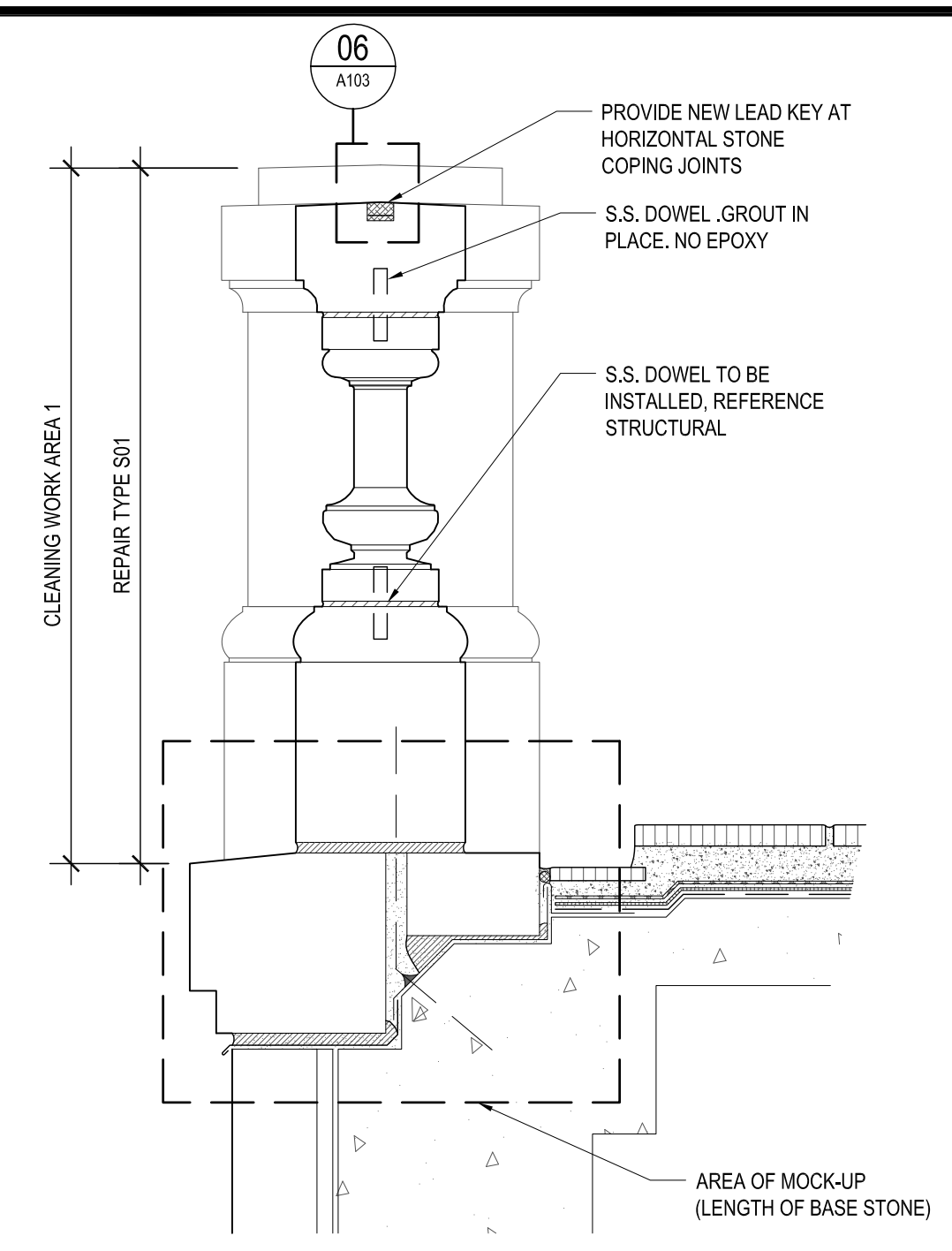


SECTION

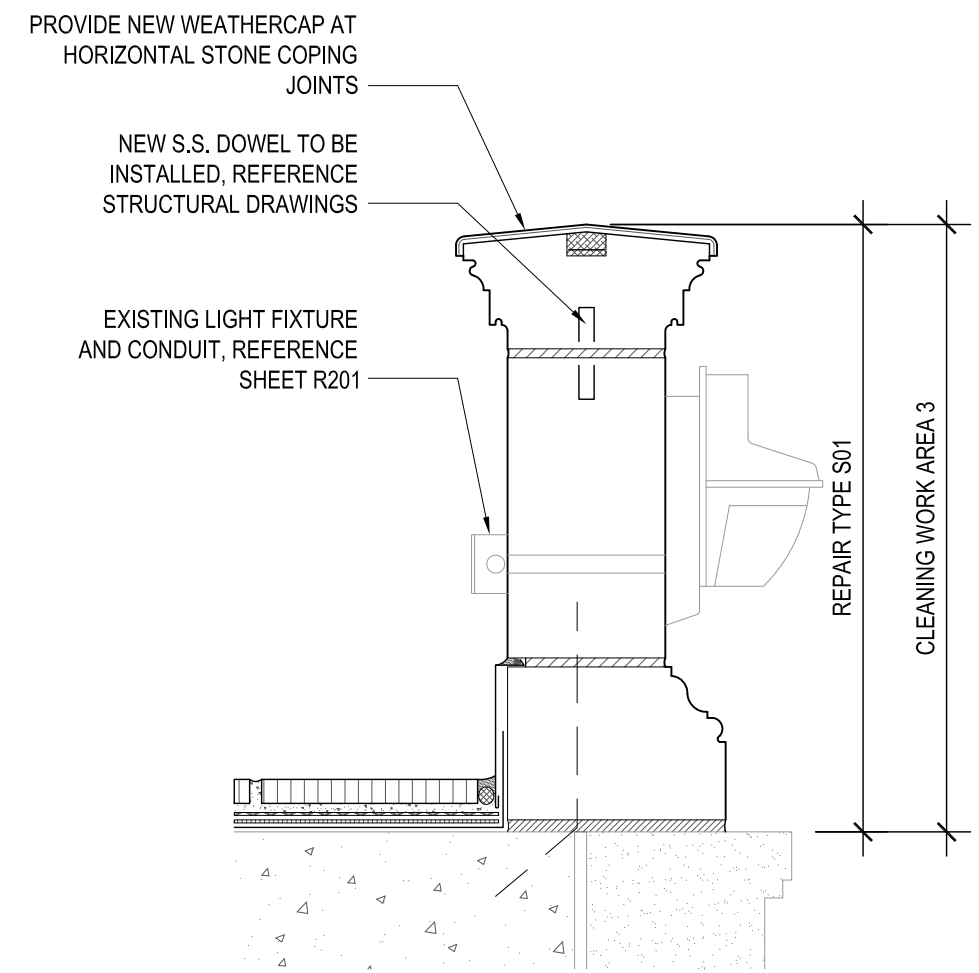
06 LEAD KEY: STONE COPING JOINT
WORK AREAS 1 AND 2



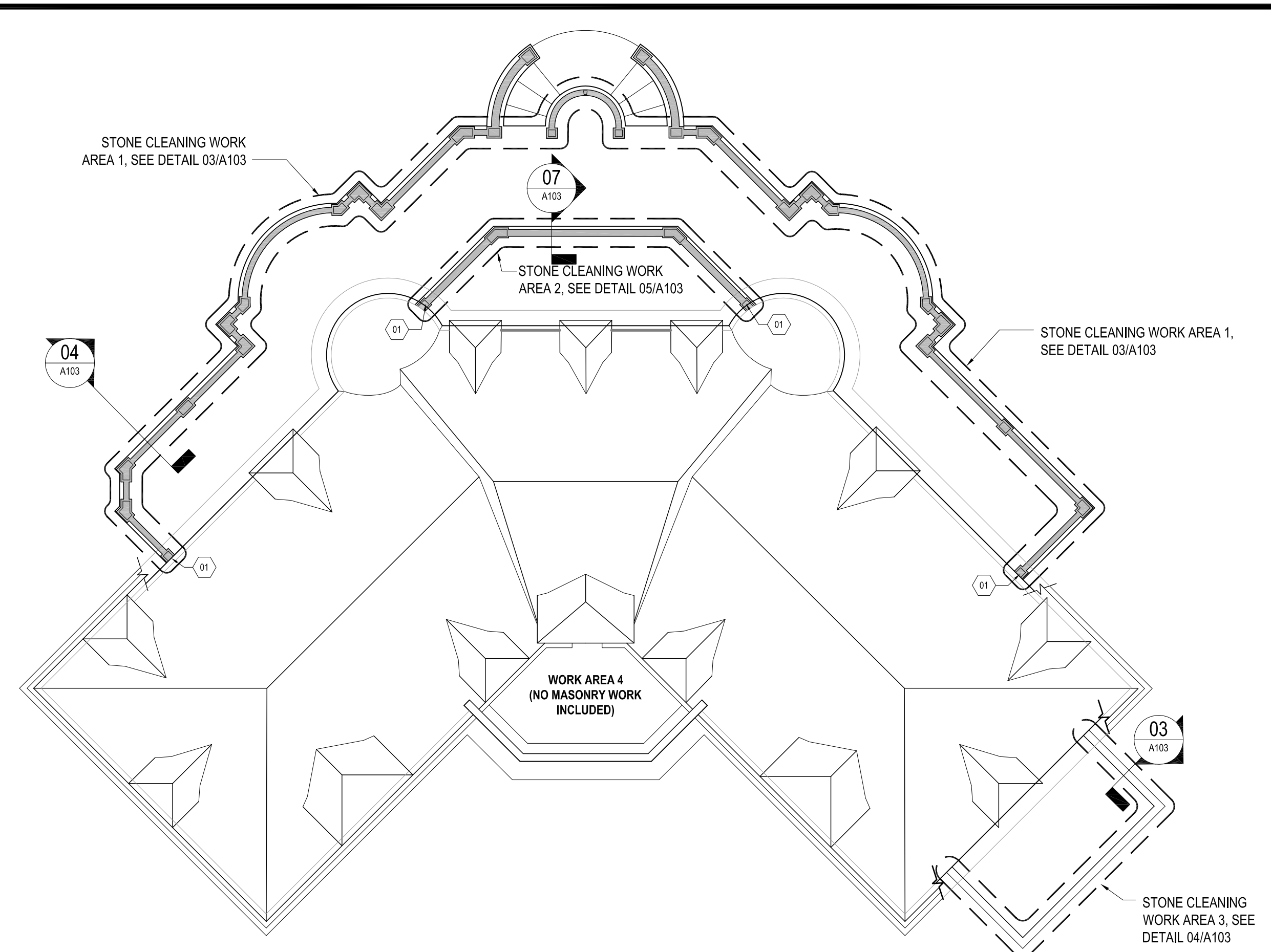
05 REFLECTED CEILING PLAN - PLASTER OPENING LOCATIONS



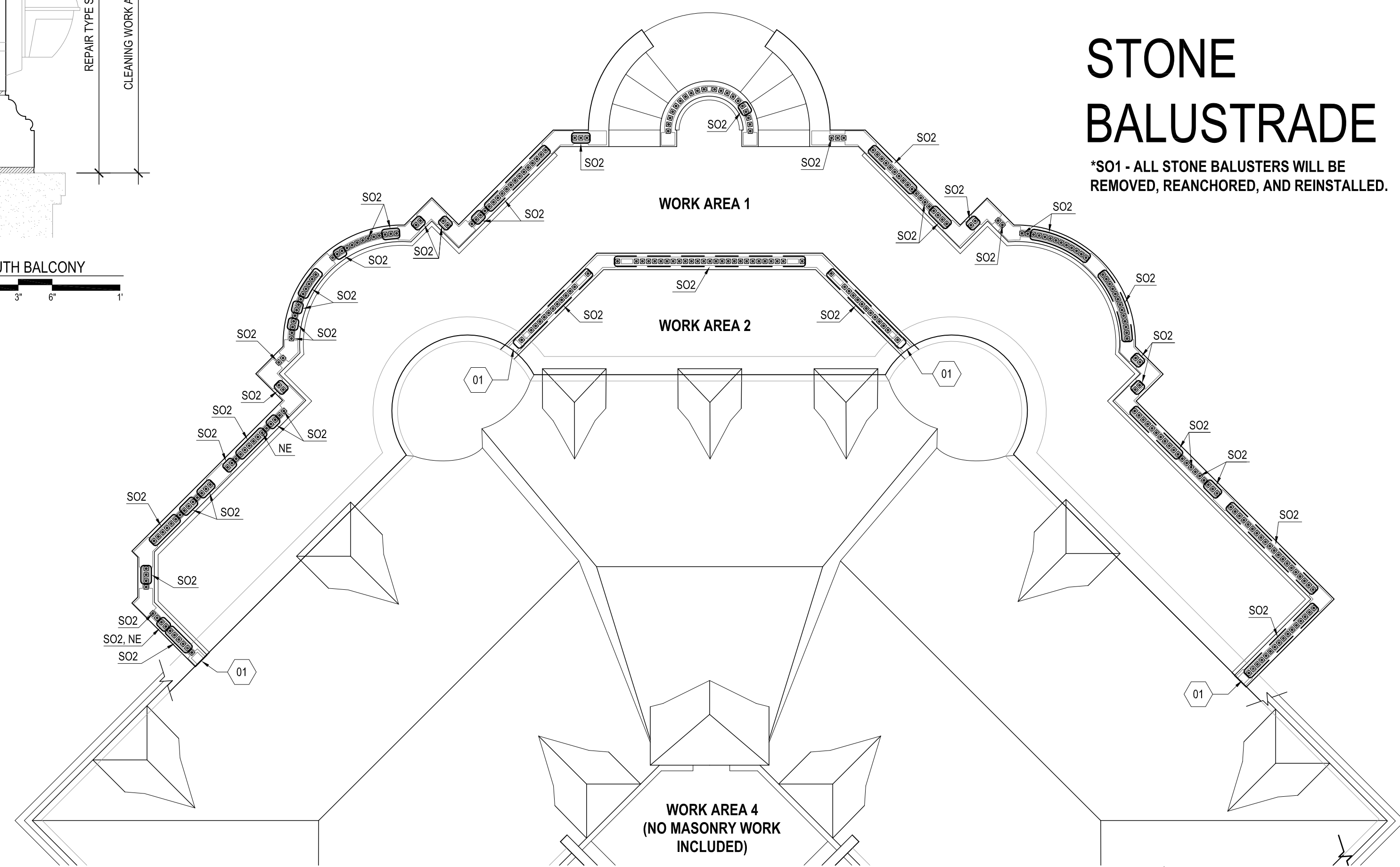
04 NORTHEAST TERRACE - FIRST FLOOR



03 PARAPET - SECOND FLOOR SOUTH BALCONY



02 STONE CLEANING LOCATION PLAN
NTS



01 STONE BALUSTER PLAN - STONE REPAIR

STONE BALUSTRADE

*S01 - ALL STONE BALUSTERS WILL BE REMOVED, REANCHORED, AND REINSTALLED.

A103 GENERAL SHEET NOTES

1. DIMENSIONS ARE FOR ESTIMATING PURPOSES ONLY. DIMENSIONS SHOULD BE VERIFIED IN THE FIELD.
2. ALL STONE BALUSTERS NOT IDENTIFIED FOR REPLACEMENT WILL BE REMOVED AND RE-ANCHORED USING S.S. PINS.
3. SEE ROOFING DETAILS FOR ADDITIONAL WORK AT BALUSTRADES.

REPAIR LEGEND

- REPAIR S01: REMOVE, RE-ANCHOR, AND REINSTALL EXISTING STONE
- REPAIR S02: REMOVE EXISTING MATERIAL AND REPLACE WITH NEW MATERIAL
- REPAIR S03: PROVIDE DUTCHMAN REPAIR OF EXISTING STONE
- REPAIR S04: REMOVE LOOSE SURFACE SPALLS, AND PREVIOUS PATCHING, AND PROVIDE RESTORATION MORTAR REPAIRS
- REPAIR S05: REMOVE, INSTALL STAINLESS STEEL DOWEL, AND PROVIDE EPOXY REPAIR OF EXISTING STONE. REFERENCE STRUCTURAL
- REPAIR S06: HONE EXISTING STONE SURFACES

KEYNOTE LEGEND

- 01 STONE TO REMAIN IN PLACE FOR DURATION OF PROJECT. PROTECT ADJACENT BUILDING STONE DURING CLEANING.

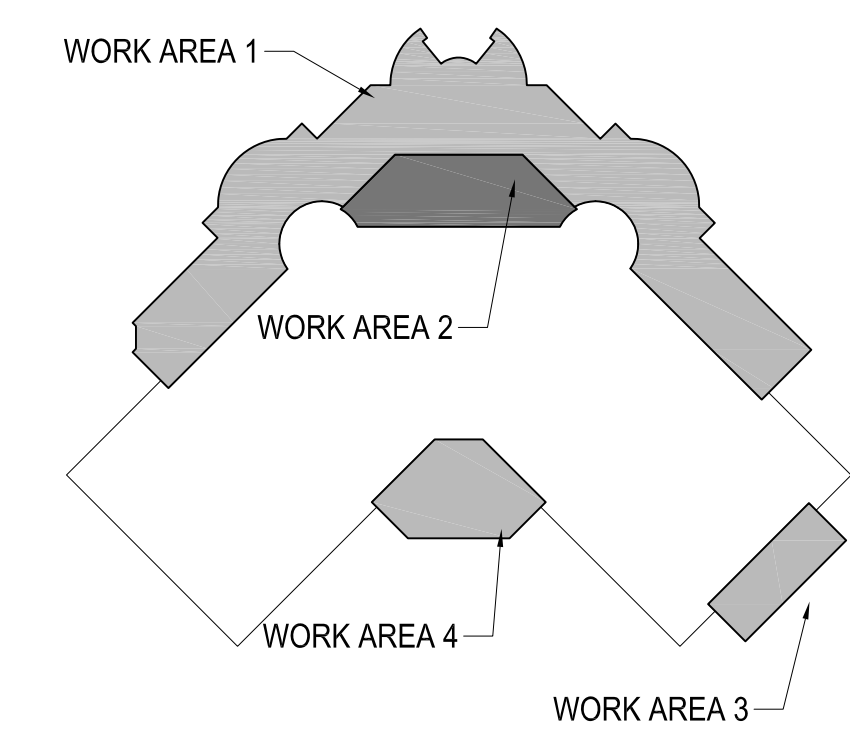
SHEET LEGEND

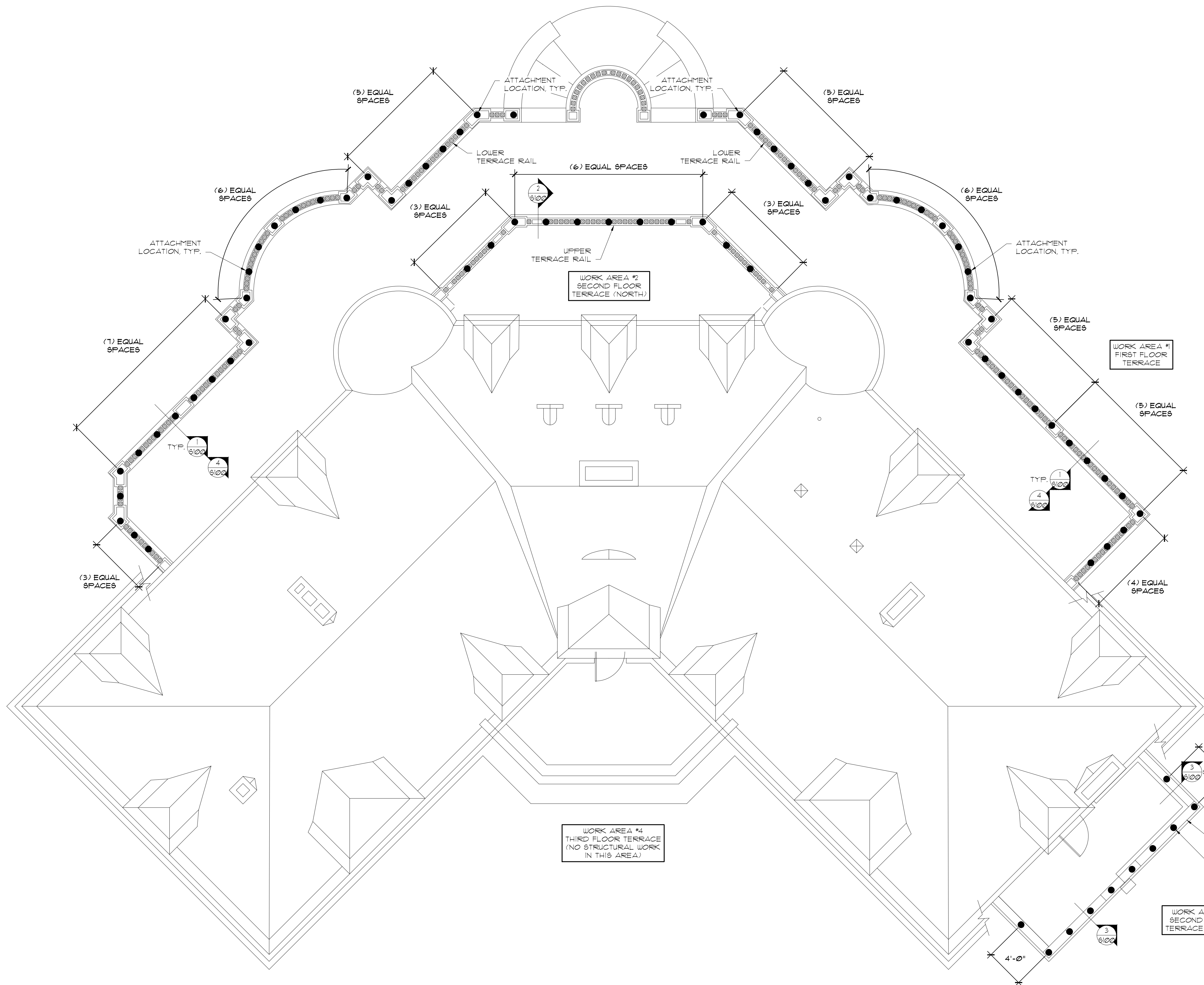
- NE: NO EXISTING MATERIAL
- [] AREA OF REPAIR

QUANTITY ESTIMATE FOR ESTIMATING PURPOSES ONLY. VERIFY QUANTITY IN FIELD.

- REPAIR TYPE S02 BALUSTERS:
 - TOTAL REPLACEMENT WORK AREA #1 (LOWER EAST TERRACE): 170 UNITS
 - TOTAL REPLACEMENT WORK AREA #2 (UPPER EAST TERRACE): 51 UNITS
 - *PROVIDE 20% CONTINGENCY FOR WORK AREA #1 STONE BALUSTERS.
- COPING STONE:
 - TOTAL REPLACEMENT WORK AREA #1: 5 UNITS (+/- 25 LINEAL FEET)
 - TOTAL REPLACEMENT WORK AREA #2: 7 UNITS (+/- 35 LINEAL FEET)
- REPAIR TYPE S03:
 - TOTAL DUTCHMAN REPAIR: 40 SQUARE FEET
- REPAIR TYPE S04:
 - TOTAL RESTORATION REPAIR: 40 SQUARE FEET
- REPAIR TYPE S05:
 - TOTAL EPOXY CRACK REPAIR: 25 LINEAL FEET (ALSO INCLUDE PINS AT EACH LOCATION) (AVERAGE STONE THICKNESS IS 8")
- REPAIR TYPE S06:
 - HONE STONE TOTAL: +/- 10 SF

KEY DIAGRAM





GENERAL STRUCTURAL NOTES

CODE REQUIREMENTS:
 CONFORM TO THE 2009 INTERNATIONAL BUILDING CODE AS AMENDED BY THE 2010 OREGON STRUCTURAL SPECIALTY CODE, REFERENCED HEREFTER AS IBC.

DESIGN CRITERIA:
 DESIGN WAS BASED ON THE STRENGTH AND DEFLECTION CRITERIA OF THE IBC. IN ADDITION TO THE DEAD LOADS, THE FOLLOWING LOADS WERE USED FOR DESIGN, WITH LIVE LOADS REDUCED PER IBC:

SEISMIC IMPORTANCE FACTOR Ie: 1.0
 SITE CLASS: D
 SDS = 0.126

EXISTING CONDITIONS:
 THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES FROM CONDITIONS SHOWN ON THE DRAWINGS PRIOR TO THE START OF THE WORK.

TEMPORARY CONDITIONS:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR STRUCTURAL STABILITY OF THE NEW AND EXISTING STRUCTURES AND WALLS DURING CONSTRUCTION. THE STRUCTURE SHOWN ON THE DRAWINGS HAS BEEN DESIGNED FOR STABILITY UNDER THE FINAL CONFIGURATION ONLY.

SUBMITTALS:
 STEEL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER PRIOR TO FABRICATION. PROVIDE NO MORE THAN THREE COPIES OF ANY SUBMITTAL TO THE ENGINEER FOR REVIEW. THESE COPIES WILL BE REVIEWED AND ANY NECESSARY CORRECTIONS/COMMENTS WILL BE NOTED ON EACH COPY. THE ENGINEER WILL RETAIN ONE COPY AND RETURN THE OTHER TWO COPIES TO THE ARCHITECT. IT IS THE RESPONSIBILITY OF THE ARCHITECT OR CONTRACTOR TO MAKE ANY ADDITIONAL REQUIRED COPIES OF THE MARKED UP SUBMITTAL.

CONCRETE ACCESSORIES:
 CONCRETE EPOXY SHALL BE HILTI "HIT-HY150 MAX" OR ENGINEER APPROVED EQUIVALENT.

NON-SHRINK GROUT SHALL BE A PRE-MIXED COMPOUND CONSISTING OF NON-METALLIC AGGREGATE, CEMENT, WATER REDUCING AND PLASTICIZING AGENTS - CAPABLE OF DEVELOPING A MINIMUM COMPRESSIVE STRENGTH OF 2200 PSI IN 48 HOURS AND 6000 PSI IN 28 DAYS. GROUT SHALL BE MIXED AND APPLIED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

METALS:
 STAINLESS STEEL PINS AND RODS TO BE A57M F593, 304 STAINLESS STEEL. ALL MISCELLANEOUS STEEL: A57M A36 (FY=36,000 PSI), OR AS NOTED A57M A572 (FY=50 KSI).
 WELDING: PER AWS STANDARDS, E70XX ELECTRODE AND BY CERTIFIED WELDERS.
 ALL STRUCTURAL STEEL SHALL BE GALVANIZED.

INSPECTION:
 SPECIAL INSPECTIONS: IN ACCORDANCE WITH SECTION 1704 OF THE IBC AND APPLICABLE SECTIONS OF THE PROJECT SPECIFICATIONS. SPECIAL INSPECTIONS ARE TO BE PERFORMED BY AN INDEPENDENT TESTING LABORATORY EMPLOYED BY THE OWNER FOR THE AREAS INDICATED IN THE SPECIAL INSPECTION PROGRAM.

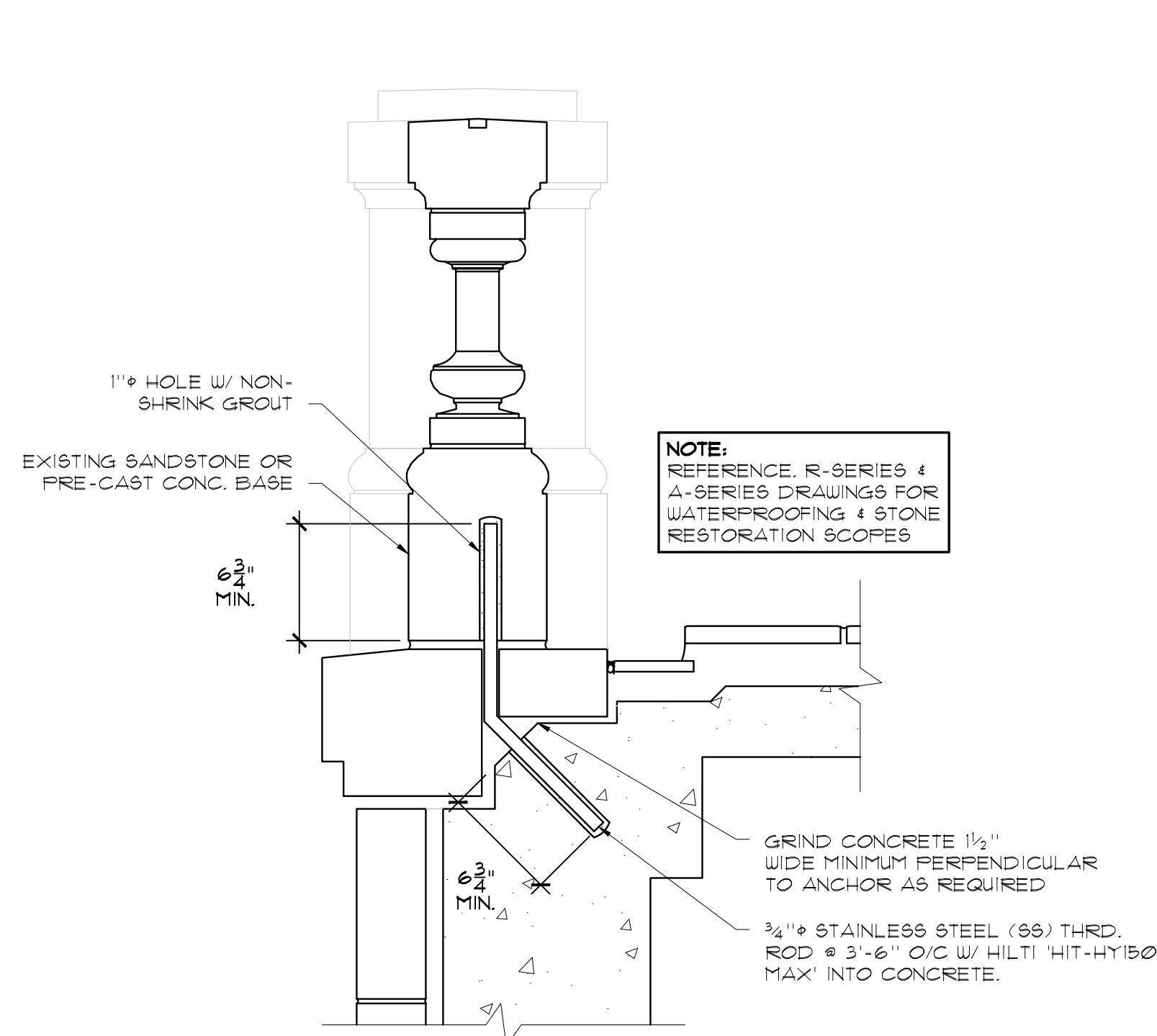
THE CONTRACTOR AND SPECIAL INSPECTOR SHALL NOTIFY THE ENGINEER OF RECORD OF ANY ITEM NOT COMPLYING WITH THE PROJECT SPECIFICATIONS AND/OR APPLICABLE CODES BEFORE PROCEEDING WITH ANY WORK INVOLVING THAT ITEM. THE ENGINEER OF RECORD WILL REVIEW THE ITEM AND DETERMINE ACCEPTABILITY. IF WORK INVOLVING THAT ITEM PROCEEDS WITHOUT THE APPROVAL OF THE ENGINEER OF RECORD THEN THE WORK WILL BE CONSIDERED NON-COMPLIANT.

EPOXY INSPECTION REQUIRED.

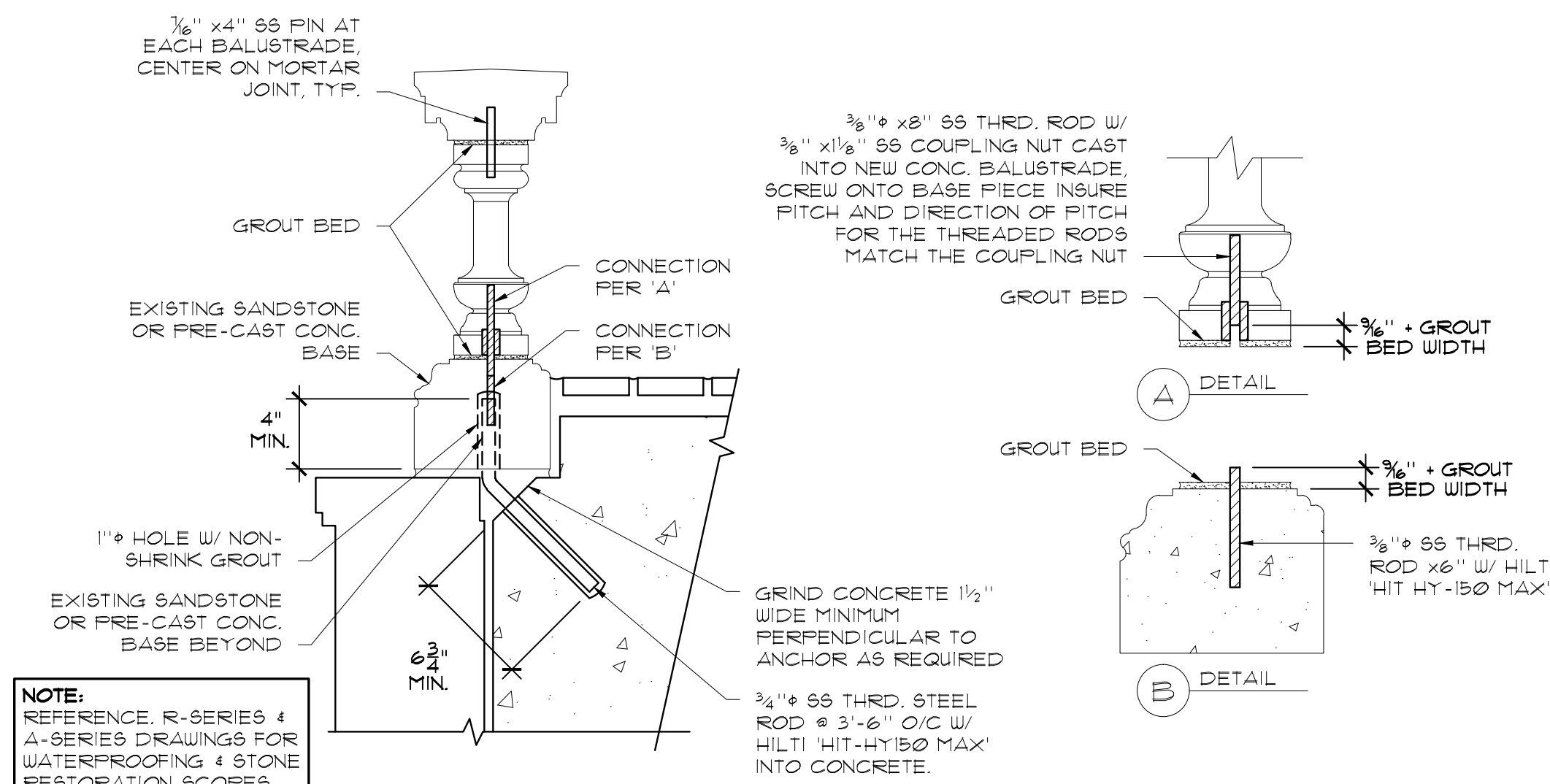


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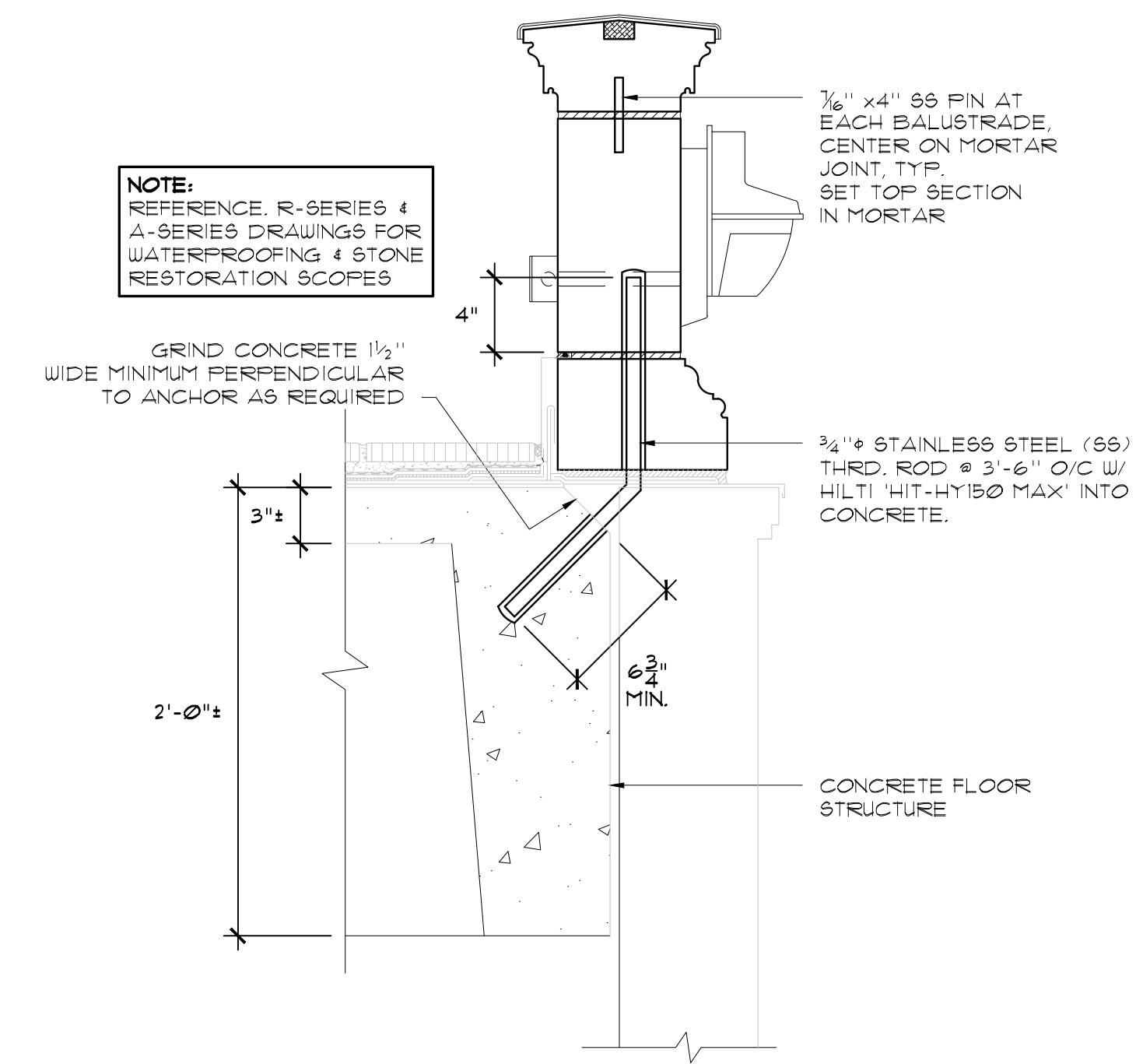
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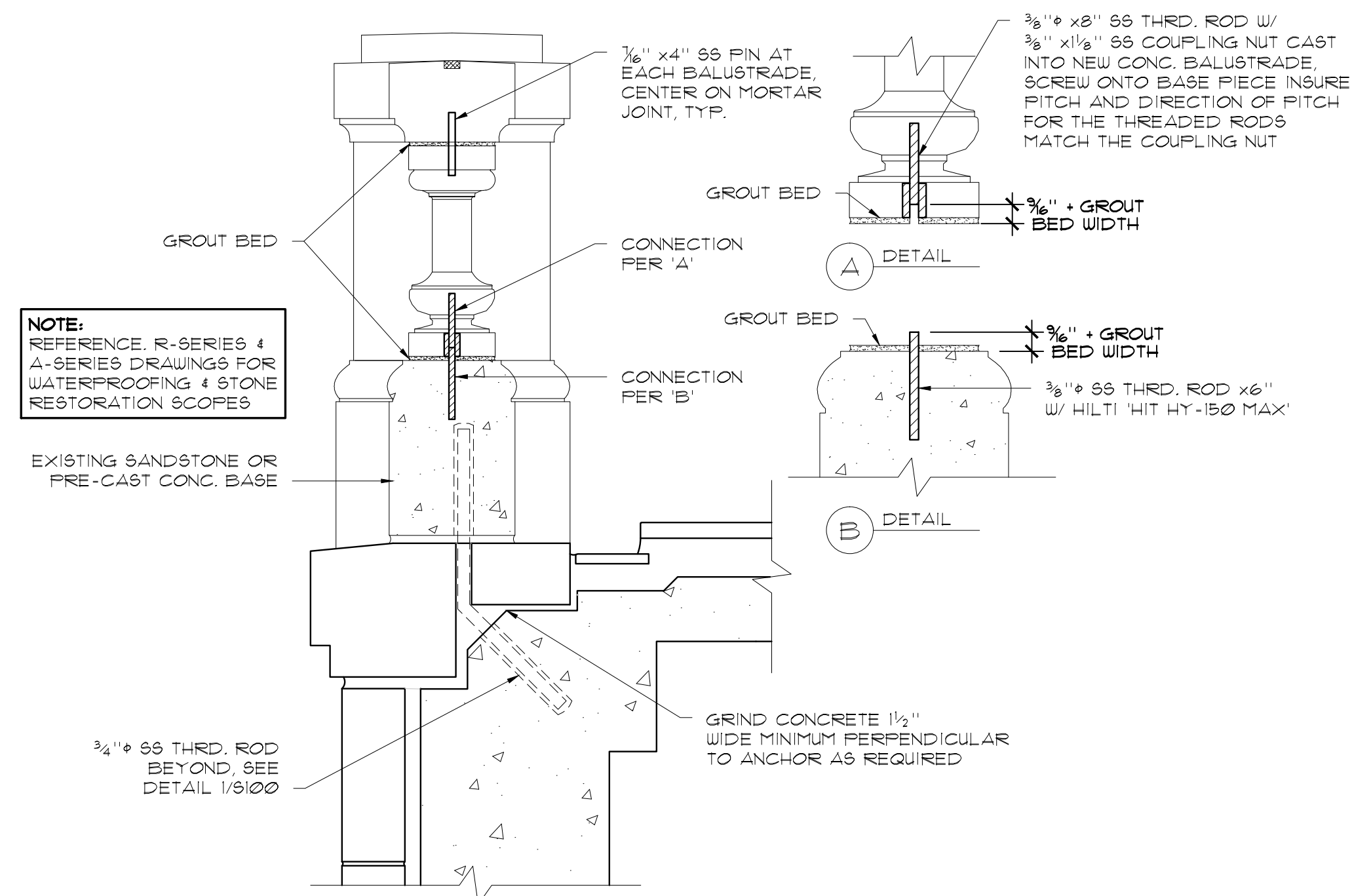
1 BALUSTRADE BASE DETAIL AT FIRST FLOOR TERRACE
PITM-03 SCALE: 1" = 1'-0"



2 BALUSTRADE DETAIL AT SECOND FLOOR NORTH TERRACE
PITM-04 SCALE: 1 1/2" = 1'-0"



3 BALUSTRADE DETAIL AT SECOND FLOOR SOUTH TERRACE
PITM-05 SCALE: 1 1/2" = 1'-0"



4 BALUSTRADE DETAIL AT FIRST FLOOR TERRACE
PITM-06 SCALE: 1 1/2" = 1'-0"

Portland Parks and Recreation
Director
Mike Abbatté, Commissioner
NICK FISH, Commissioner

DETAILS
PITTOCK MANSION - TERRACE RESTORATION PROJECT
Portland, Oregon

PROJECT MANAGER: SUSAN MEAMER (503) 823-9709
DATE: 5/17/12 SCALE: 1 1/2" = 1'-0" DRAWN BY: JSC TMR JOB #: 11326

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