



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Dan Saltzman, Commissioner
Paul L. Scarlett, Director
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Fax: (503) 823-5630
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www.portlandoregon.gov/bds

Date: June 30, 2011
To: Interested Person
From: Tim Heron, Land Use Review, 503-823-7726
tim.heron@portlandoregon.gov

NOTICE OF A PUBLIC MEETING FOR POTENTIAL FUTURE DEVELOPMENT IN YOUR NEIGHBORHOOD

FILE: **11-146569 DA, DESIGN ADVICE REQUEST**
Willamette Park Fulton Pump Station Replacement
REVIEW BY: Portland Design Commission
WHEN: July 21, 2011 at 1:30 PM
WHERE: 1900 SW Fourth Ave, Ste. 2500A Portland, OR 97201

A Design Advice Request has been submitted by the applicants listed below regarding potential future development in your neighborhood. The proposal, process, and information on how to respond to this notice are described below. A copy of the site plan, building elevations and zoning map are attached. I am the staff person handling the Design Advice Request. Please call me if you have questions regarding this process. Please contact the applicant if you have questions regarding any future development on the site.

Applicant:

Tim Brooks, Winterbrook Planning 310 SW 4th, Ste 1100 Portland, OR 97204	Portland City Of 1120 SW 5th Ave #1302 Portland, OR 97204-1912
Tom Carter, Portland Water Bureau 1120 SW 5th Ave #600 Portland, OR 97204	Dave Evonuk, Water Bureau 1120 SW 5th Ave #500 Portland, OR 97204

Site Address: SW Macadam Ave @ SW Nebraska St & SW Miles St
Legal Description: LOT A INC PT VAC STS LOT B&C, HANNAH MASONS ADD; BLOCK 6 LOT 1&3&5&7&9&11 TL 700, SOUTHERN PORTLAND; LOT 11-22 TL 300, SOUTHERN PORTLAND; TL 900 3.86 ACRES, SECTION 22 1S 1E R357100010, R780200240, R780208140, R991220400 1S1E22A 00100, 1S1E15DC 00700, 1S1E15DC 00300, 1S1E22A 00900 3630
Tax Account No.:
State ID No.:
Quarter Section:
Neighborhood: South Portland NA., contact Jim Davis at 503-248-9820.
Business District: South Portland Business Association, contact Brian Alfano at 503-288-5661.
District Coalition: Southwest Neighborhoods Inc., contact Leonard Gard at 503-823-4592.
Plan District: Macadam
Zoning: OSdqr, Open Space Zone with design and greenway overlay zones
Case Type: DA, Design Advice Request
Procedure: A public meeting with the Design Commission to provide informal, advisory response for the applicants/owners to consider in preparation of a potential future land use review application.

Proposal:

The Portland Water Bureau (PWB) proposes the replacement of Fulton Pump Station to a location inside Willamette Park.

The new building will be approximately 6,000 square feet on two levels and will include the pump station, four public restrooms, and a storage area for parks department equipment. The new building will replace an existing, 700 square foot bathroom building containing two public restrooms. Underground piping that connects the pump station to existing water transmission infrastructure will be added.

The project will also include re-routing and improving the existing road east of the pump station. The current parking area east of the picnic shelter will be used for construction staging and storage. No new parking spaces are anticipated. The existing parking lot will be rehabilitated after construction is complete. Extensive new landscaping will be installed around the pump station building, and new stormwater facilities will be located north and south of the new structure.

As the proposal includes work that removes OS area, and is within the Greenway Overlay Zone, a Type 3 Conditional Use Review and Type 3 Greenway Review is also required. These reviews will run concurrently, but the Type 3 CU and Type 3 GW will be reviewed by the Hearings Officer during the future formal Land Use Review process.

Approval Criteria:

If a formal land use review application were submitted in the future for the proposed development, it would be reviewed in accordance with the relevant approval criteria of Title 33, Portland Zoning Code.

The applicable approval criteria could include some or all of the following: 33.420, Design Overlay Zone; 33.550 Macadam Plan District; 33.825, Design Review; and the Macadam Corridor Design Guidelines .

If requested, Modifications would be reviewed against 33.825.040, Modifications That Will Better Meet Design Review Requirements.

If requested, Adjustments would be reviewed against 33.805.040, Adjustment Approval Criteria.

This application was submitted on June 8, 2011.

Purpose of a Design Advice Request

Design Advice Requests are not intended to substitute for other Code-required land use or legislative procedures. Purposes served by Design Advice Requests might include the following:

- Early feedback on atypical building types or configurations unable to draw on other prior project approvals to assess approval potential.
- Projects which, for various reasons, anticipate including elements that do not appear to conform to design guidelines, and which may require a waiver of one or more design guidelines.
- Unique urban design schemes for which interest or support is sought prior to approaching other agencies.

Process

The Portland Zoning Code affords the opportunity for parties interested in bringing matters before the Historic Landmarks Commission or Design Commission outside of other prescribed regulatory or legislative processes. The relevant Code chapter reads as follows:

33.730.050 F. Other pre-application advice.

An applicant may request advice from the Design Commission or Historical Landmarks Commission prior to submitting a land use request that would be heard by these commissions. These requests are known as "Design Advice Requests". These requests do not

substitute for a required pre-application conference with the BDS staff and other City urban service or technical representatives.

The general order of appearance for those attending the meeting is as follows: Bureau of Development Services introduction, applicant presentation, clarifying questions about the proposal by the Commission, public comment, informal discussion about the proposal between the Commission and the applicants, and Historic Landmarks Commission or Design Commission final comment. There will be no final decision about this proposal during this Design Advice Request process.

At the request of the Commission, a submittal for a Design Advice Request may be continued to a future date for further discussion.

Opportunity for Public Comment

The neighborhood association, listed on the first page of this notice, may take a position on the proposed development and may have scheduled an open meeting prior to providing comment to the Design Commission. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

The public meeting with the Historical Landmarks Commission will provide an opportunity for parties to submit oral and written comment on this matter. To comment, you may write to the Historical Landmarks Commission, 1900 SW Fourth Ave., Suite 5000 or FAX your comments to 503-823-5630; or you may attend the meeting to provide comment. Please refer to the file number when seeking information or submitting comment.

A Design Advice Request file is available for your review by appointment. Please contact the file review at 503-823-7617 to schedule a time. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost for such services. You may also find additional information about the City of Portland and City Bureaus as well as a digital copy of the Portland Zoning Code, by visiting the City's homepage on the Internet at www.ci.portland.or.us.

Design Advice Request Results

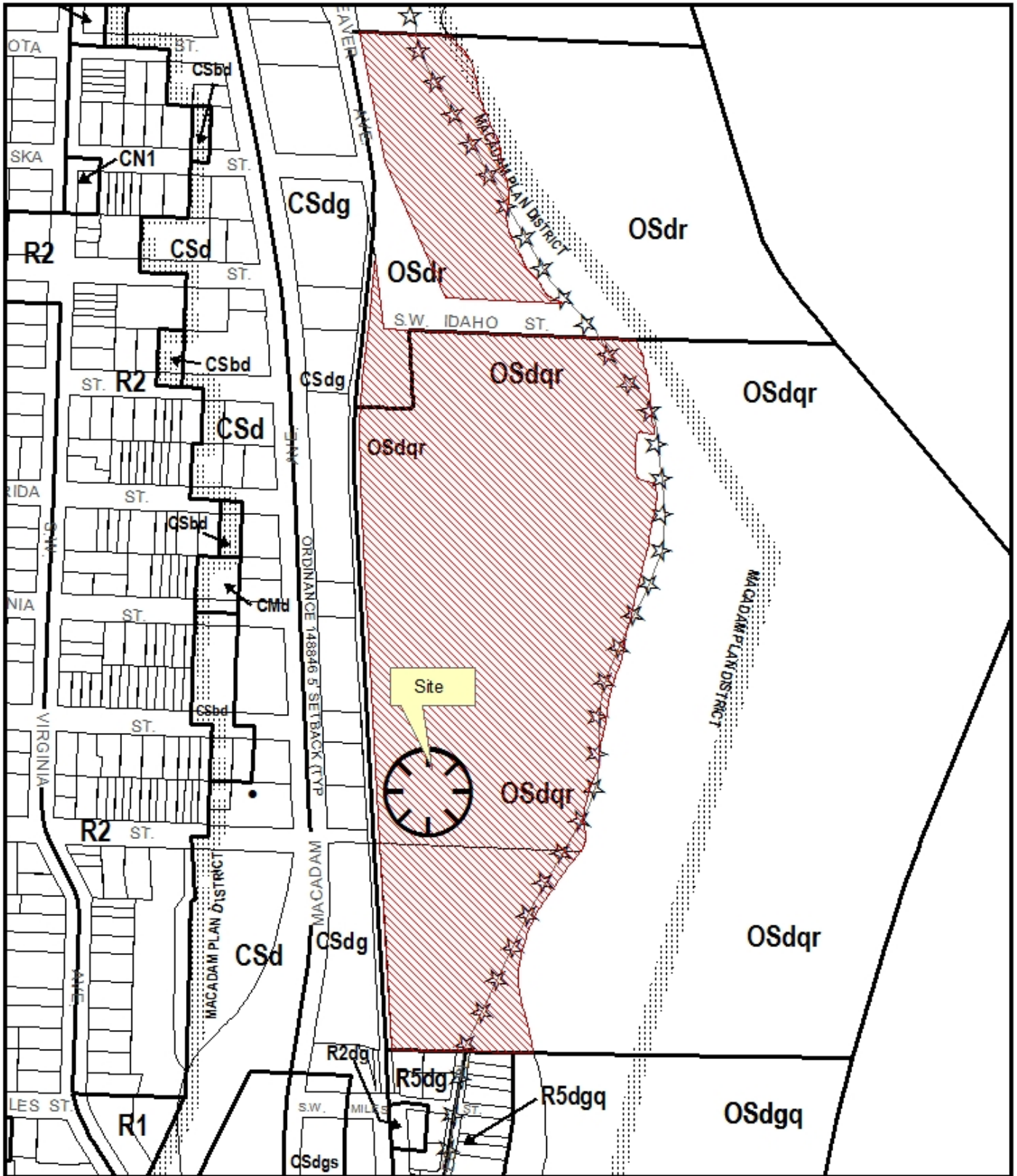
Design Advice Requests will provide informal, advisory response only. Responses received at the meeting may inform City staff when processing future land use reviews, but will not be considered a formal directive from the Commission. The Commission may offer future procedural or design direction, and may also offer a preliminary assessment against approval criteria that would apply were the proposal to be reviewed formally through the land use review process. Comment provided at the meeting will be documented by City staff, and will be available for further and future reference.

Meeting Cancellation

This public meeting will be cancelled if Portland Public Schools close due to inclement weather or other similar emergency. Check local television and radio reports for school closures. The meeting will be rescheduled for the earliest possible date. A renotification notice will not be sent. Please call the Bureau of Development Services at 503-823-7617, for immediate information regarding cancellations or rescheduling. To attend the meeting, public transportation is available. Tri-Met buses stop near the BDS building at SW Fifth or Sixth Ave. at SW Hall St. and SW Harrison St. Call Tri-Met at 503-238-7433 (or www.tri-met.org/routes_times.htm) for routes and times. Hourly rated public parking is available a half block south of the building on Fourth Ave.

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

Enclosures: Zoning Map, Site Plan, Elevations, Renderings



ZONING



Site



Historic Landmark



This site lies within the:
MACADAM PLAN DISTRICT

File No. EA 11-146569 DAR

1/4 Section 3630,3730

Scale 1 inch = 300 feet

State_Id 1S1E22A 100

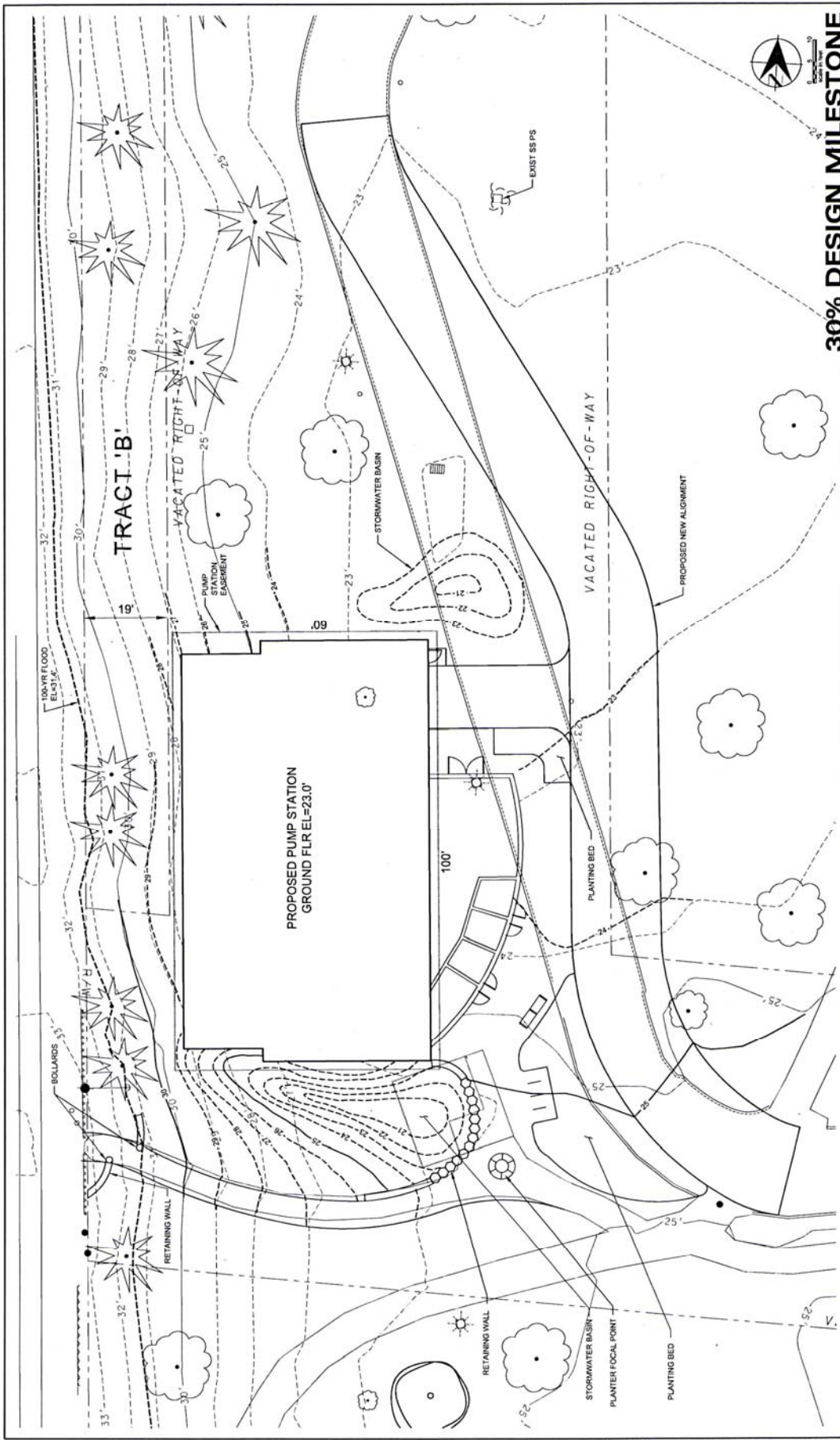
Exhibit B (Jun 29,2011)

SW NEBRASKA

SW NEVADA ST



EA 11-146569 DAR



30% DESIGN MILESTONE

Project No. 30001492
 151E2B
 Drawing No. C-102
 Scale: X, X, X

FULTON PUMP STATION REPLACEMENT
 ON-SITE GRADING PLAN



PORTLAND WATER BUREAU
 FROM FOREST TO FAUCET

Randy Leonard
 Commissioner

David G. Shaff
 Administrator

Submitted: _____
 Approved: _____
PRELIMINARY
 Date: _____

Date	April 11, 12, 2011
Drawn by	_____
Checked by	_____
Scale	As Shown

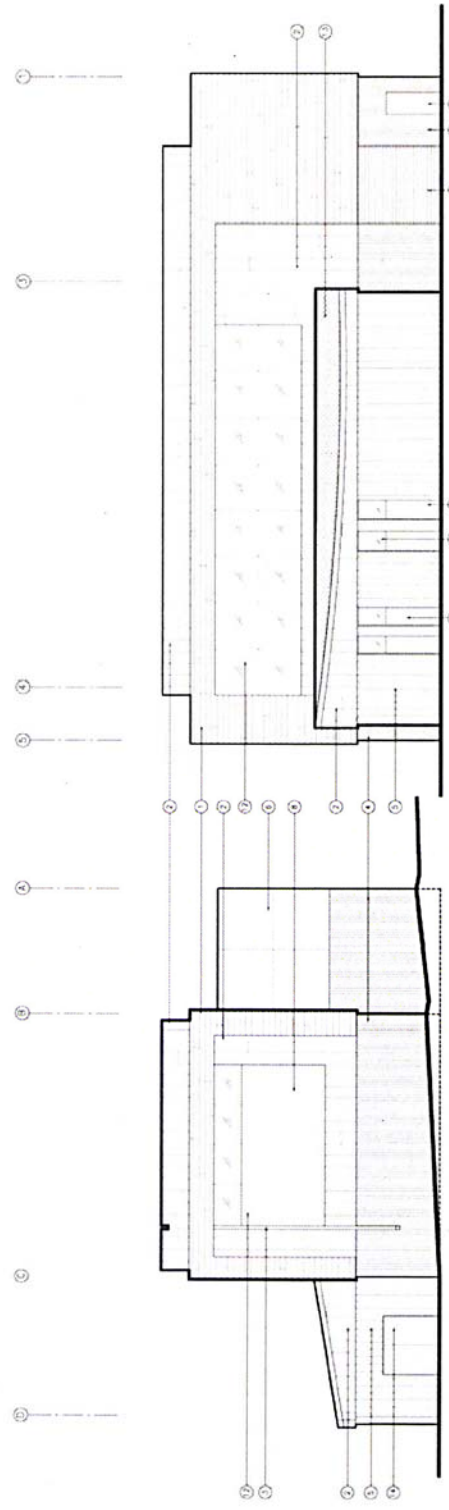
Company: MSA
 MSA
 121 S.E. Adams, Suite 800
 Portland, Oregon 97204
 Phone: 503-255-8822
 Fax: 503-255-8822

No.	Date	Description	By

EA 11.146569 DAR

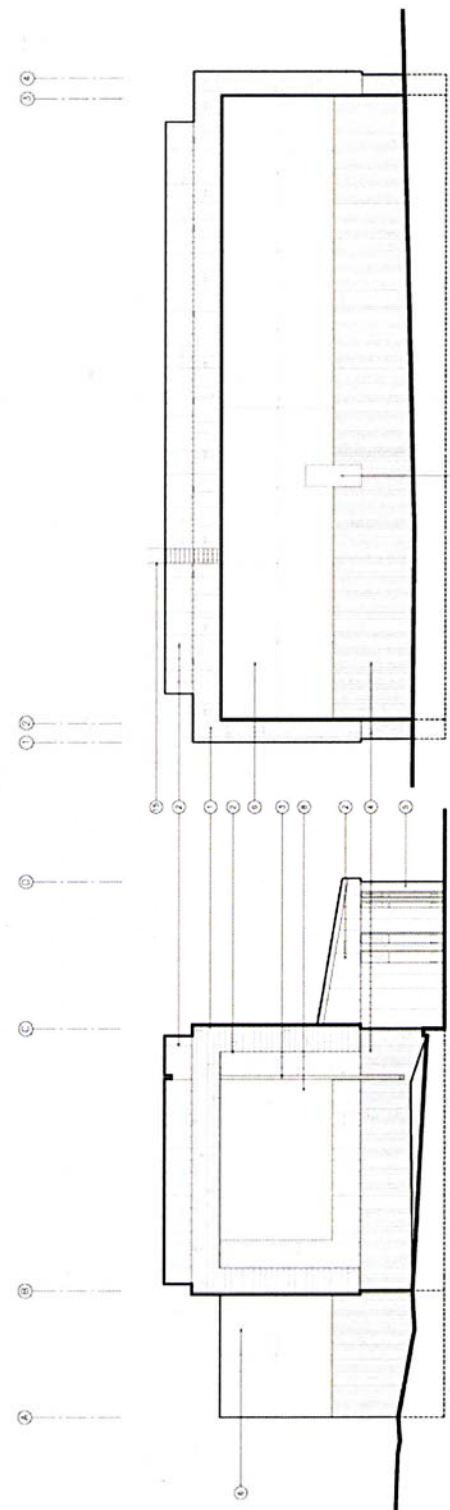
KEYNOTES:

- ① CASTING - TYPICAL REBAR
- ② FINISH
- ③ FINISH WITH 1/2"
- ④ REPOSED 200# SOIL
- ⑤ CONCRETE 1
- ⑥ CONCRETE 2
- ⑦ CONCRETE 3
- ⑧ 4" JACO
- ⑨ 6" JACO
- ⑩ 8" JACO
- ⑪ 10" JACO
- ⑫ 12" JACO
- ⑬ 14" JACO
- ⑭ 16" JACO
- ⑮ 18" JACO
- ⑯ 20" JACO
- ⑰ 22" JACO
- ⑱ 24" JACO
- ⑲ 26" JACO
- ⑳ 28" JACO
- ㉑ 30" JACO
- ㉒ 32" JACO
- ㉓ 34" JACO
- ㉔ 36" JACO
- ㉕ 38" JACO
- ㉖ 40" JACO



1 NORTH ELEVATION
SCALE 1/8"=1'-0"

2 EAST ELEVATION
SCALE 1/8"=1'-0"



3 SOUTH ELEVATION
SCALE 1/8"=1'-0"

4 WEST ELEVATION
SCALE 1/8"=1'-0"

<p>MSA Merrill Seal & Associates, Inc. 1000 Fulton Road, NE Atlanta, Georgia 30304 404.525.8822</p>	<p>DATE: 03/15/2011 PROJECT: Fulton Pump Station DRAWING: Preliminary Elevation SCALE: 1/8"=1'-0"</p>	<p>APPROVED PRELIMINARY See Note for Use Restrictions</p>	<p>FULTON PUMP STATION REPLACEMENT</p>
<p>XXXXX 151E22B A,300 X X X</p>			<p>EA 11.146569 DAR</p>

FIGURE 8
Proposed Fulton Pump Station Replacement
Pre-Application Conference
May 2011
MSA



view at restrooms



view from river bank



view from south



view from nevada st.



view from north

EA 11-146569 DAR