



City of Portland, Oregon
Bureau of Development Services
Land Use Services

FROM CONCEPT TO CONSTRUCTION

Dan Saltzman, Commissioner
Paul L. Scarlett, Director
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Fax: (503) 823-5630
TTY: (503) 823-6868
www.portlandoregon.gov/bds

Date: September 10, 2012
From: Dave Skilton, Land Use Services
dave.skilton@portlandoregon.gov

503-823-0660

REQUEST FOR RESPONSE

Case File: LU 12-161670 HDZ – King's Hill Townhomes
Pre App: PC # 12-138137

This notice is being sent to all service and technical review agencies for their input on the proposal described below. Neighborhood Associations also receive this advance notice via e-mail. Your timely response, as indicated below, will help the assigned planner determine if applicable approval criteria can be met, or what conditions might be required.

- The approval criteria are listed below. Although we are interested in any comments you may have, please consider your response in terms of these criteria.
- All agencies are encouraged to use this as an opportunity to inform the applicant of any additional requirements that may be imposed by your agency during building permit phase – especially those that would significantly affect the proposal.
- Please note in your response which requirements are specifically associated with the applicable land use review approval criteria, and which requirements you have the independent authority to impose at time of building permits.
- Neighborhood Associations are encouraged to submit comments by the deadline noted below. To comment, you may write to Dave Skilton at 1900 SW Fourth Ave., Suite 4500, Portland, OR 97201. You can also fax your comments to me at (503) 823-5630. After the staff report is published, please submit your comments to the Historic Landmarks Commission at 1900 SW Fourth Ave., Suite 4500, Portland, OR 97201 and fax them to 503-823-5630.

The Bureau of Development Services recommendation will be published ten days before the scheduled hearing date. You will also receive a Notice of Public Hearing for this proposal, with hearing date and time confirmed, mailed twenty days prior to the hearing.

- **Please send your response to BDS no later than: October 10, 2012 – 30 days after the date of this RFR** (If I receive comments after this date, I may not have enough time to include them in the staff report).
- **We must publish our report by: October 12, 2012**
- **A public hearing before the Historic Landmarks Commission is tentatively scheduled for October 22, 2012, at 1:30 p.m.**

Applicant: Malibar Group LLC
1405 Tolman Creek Road / Ashland, OR 97520-3670

Ted Argo / Argo Architect
7840 SW 131st Avenue / Beaverton, OR 97008

Roy Marvin / Malibar Group LLC
1405 Tolman Creek Rd / Ashland, OR 97520

Representative: Emery Smith 503-545-3078 / Encore Homes LLC
7989 SE Towhee Court / Milwaukie, OR 97267

Site Address: 2004-2010 SW Madison Street

Legal Description: E 69.35' OF N 1/2 OF NE 1/4 OF BLOCK 9, AMOS N KINGS
Tax Account No.: R024401550, R024401550
State ID No.: 1S1E04BA 03200, 1S1E04BA 03200
Quarter Section: 3127
Neighborhood: Goose Hollow, contact Jerry Powell at 503-222-7173.
Business District: Goose Hollow Business Association, contact Angela Crawford at 503-223-6376.
District Coalition: Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.
Other Designations: Vacant property in the King's Hill Historic District, which was listed in the National Register of Historic Places on February 19, 1991.
Zoning: RH, Residential High Density with Historic Resource Protection Overlay
Case Type: HDZ, Historic Design Review.
Procedure: Type III, with a public hearing before the Historic Landmarks Commission. The decision of the Historic Landmarks Commission can be appealed to City Council.

Proposal:

The applicant is seeking Historic Design Review approval for a proposal to develop two, 2.5 story attached dwelling units, with garages, on the site, in the form of two rowhouses, one with a basement unit. Historic Design Review is required because the proposal is for new construction in a historic district.

Approval Criteria:

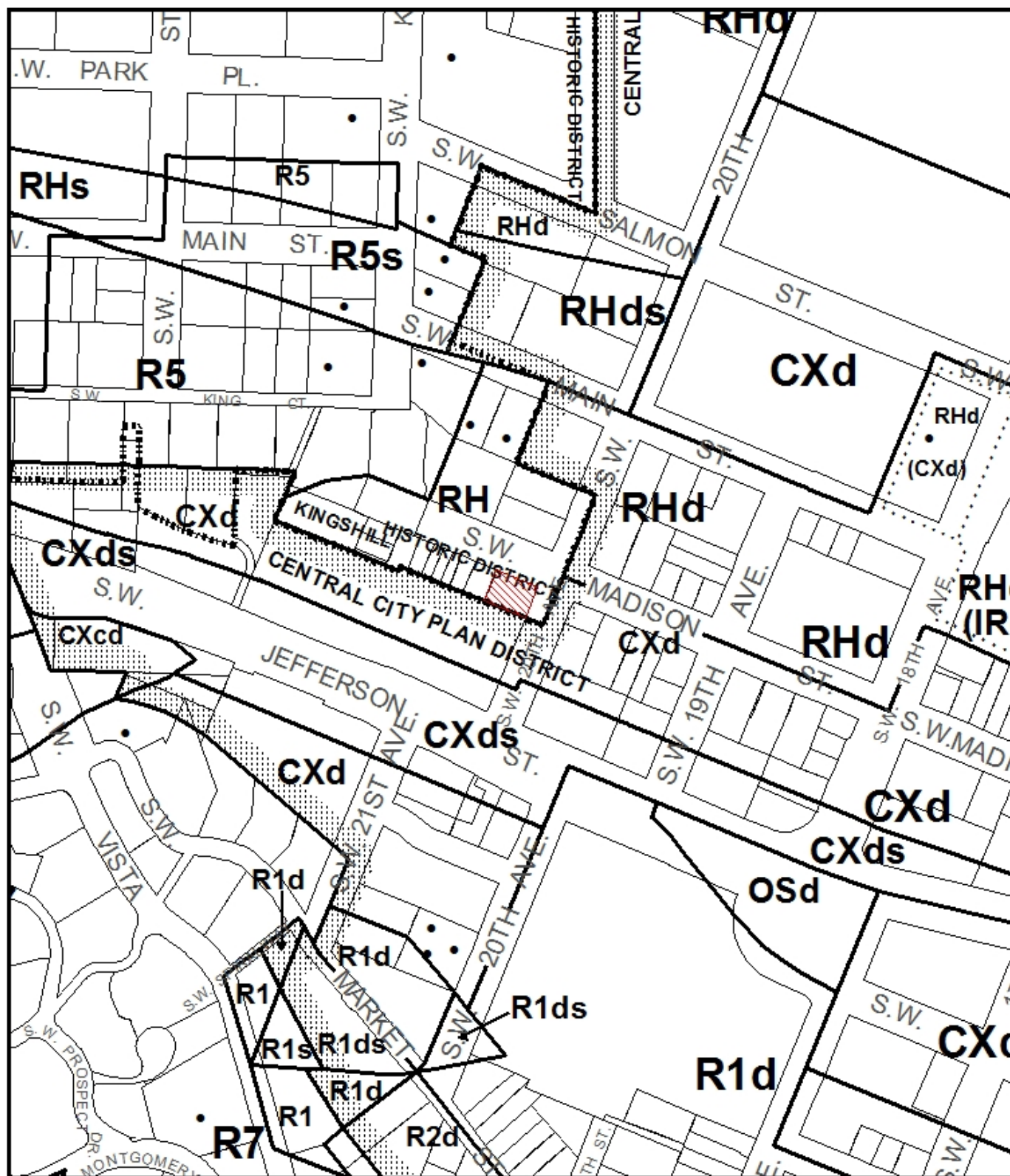
In order to be approved, this proposal must comply with the approval criteria of the Zoning Code (Title 33, Portland City Code). The applicable approval criteria are:

- King's Hill Historic District Design Guidelines

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was filed, provided that the application is complete at the time of filing, or complete within 180 days. This application was filed on July 13, 2012 and determined to be complete on September 10, 2012.

It is important to submit all evidence to the Historic Landmarks Commission. City Council will not accept additional evidence if there is an appeal of this proposal.

Enclosures: Zoning Map, Site Plan, North Elevation, East Elevation, South Elevation, West Elevation



ZONING



Site

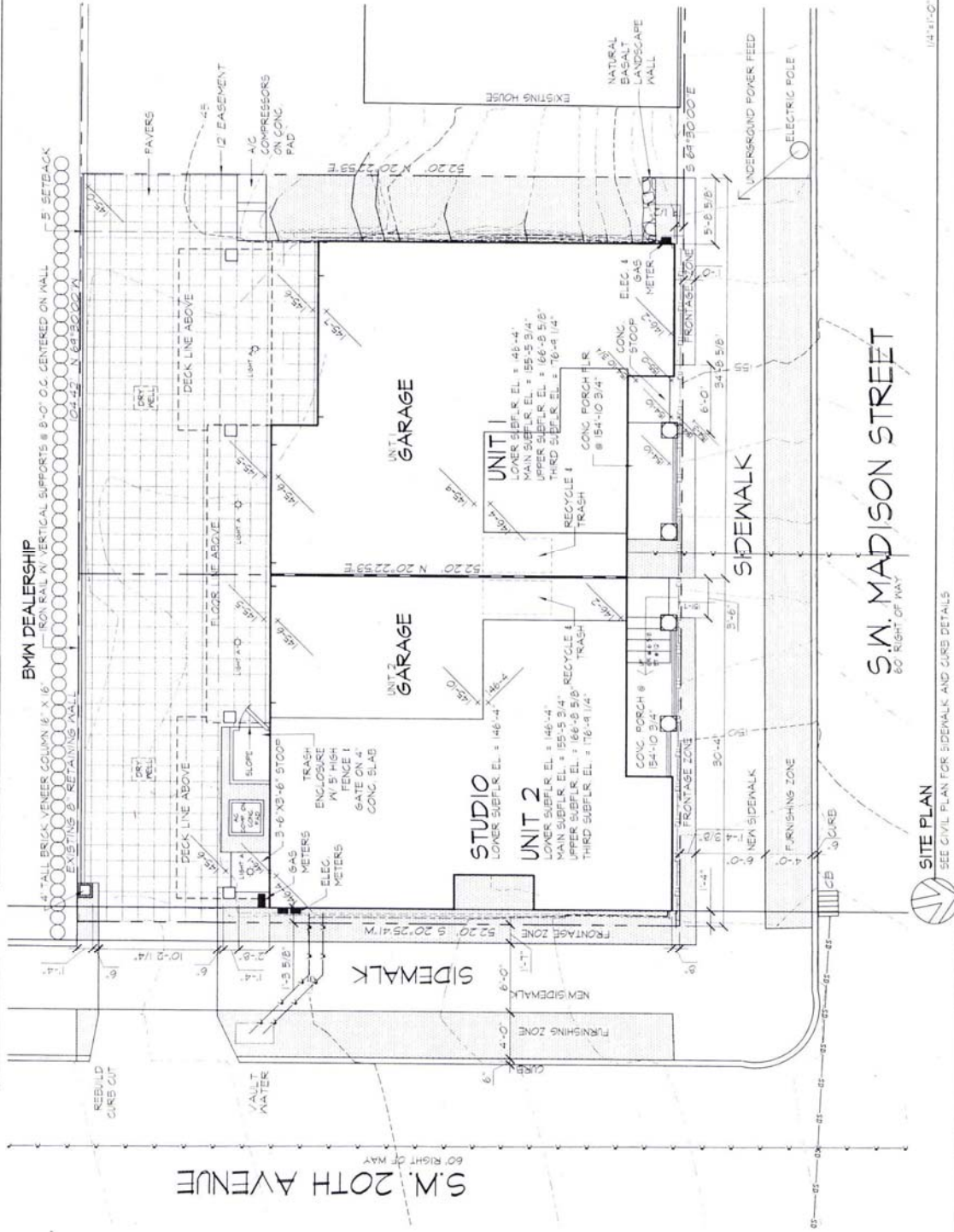


Historic Landmark



NORTH

File No.	LU 12-161670 HDZ
1/4 Section	3127
Scale	1 inch = 200 feet
State_Id	1S1E04BA 3200
Exhibit	B (Jul 23, 2012)



NOTE: IF 11x17 SHEET, THEN
ASSUME SCALE IS HALF OF
WHAT IS SHOWN.



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BEAVERTON, OREGON 97008
503.638.1000
INFO@ARGOARCHITECT.COM

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KING'S HILL TOWNHOMES

2004 & 2006
MADISON STREET
PORTLAND, OR 97205

TYPE III
HISTORIC REVIEW
EA-12-138137

07/13/12	HISTORIC REVIEW	NEW
08/03/12	REVISIONAL	NEW

NORTH ELEVATION

5
12006



NORTH ELEVATION

1/4" = 1'-0"

NOTE IF 11X17 SHEET, THEN
ASSUME SCALE IS HALF OF
WHAT IS SHOWN



7840 SW 131ST AVENUE
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KING'S HILL TOWNHOMES

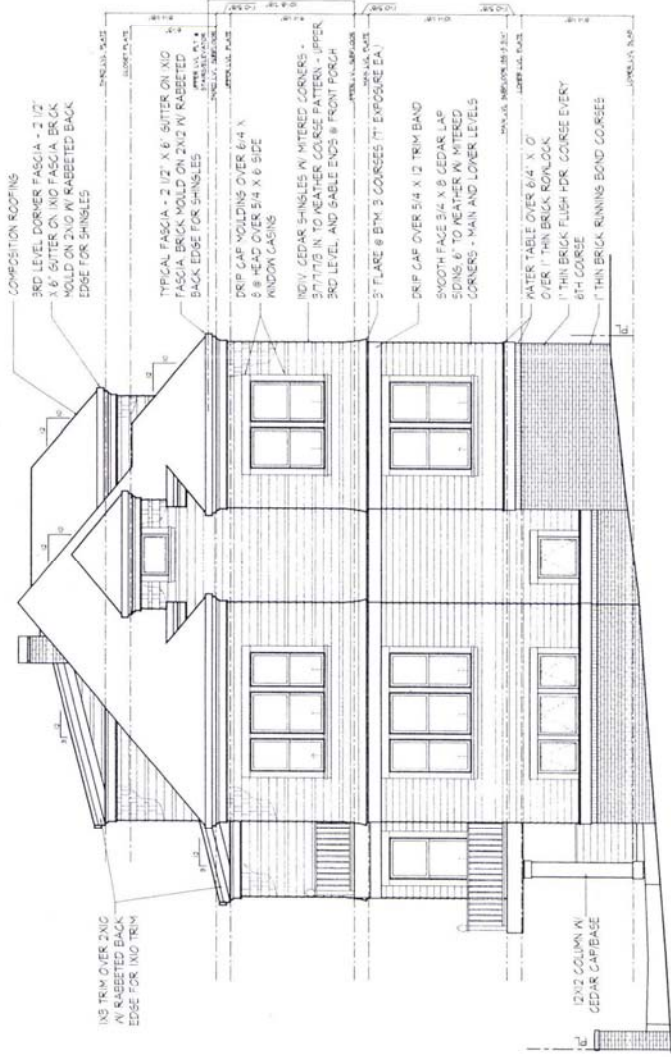
2004 & 2006
MADISON STREET
PORTLAND, OR 97205

TYPE III
HISTORIC REVIEW
EA-12-138137

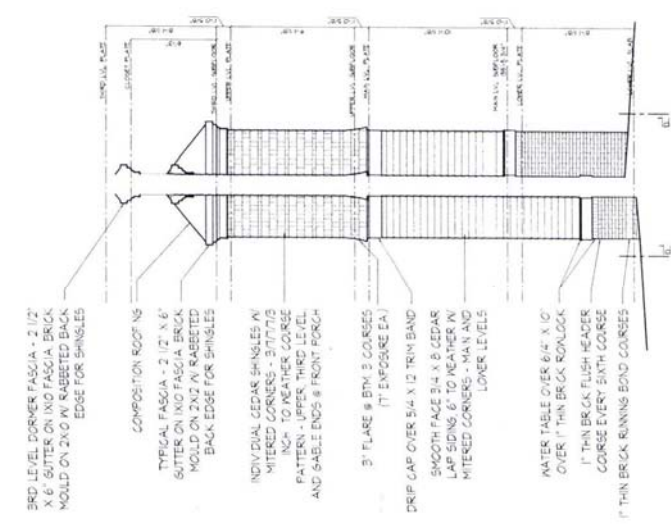
011012	HISTORIC REVIEW	NEW
060502	REBARRETA	NEW

EAST ELEVATION

6
12006



EAST ELEVATION



A NORTH ELEV 1/4\"/>



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KING'S HILL
TOWNHOMES

2004 & 2006
MADISON STREET
PORTLAND, OR 97205

TYPE III
HISTORIC REVIEW
EA-12-138137

07/13/12	HISTORIC REVIEW	MEM
09/05/12	RESUBMITAL	MEM

SOUTH ELEVATION

7

2006



SOUTH ELEVATION

$$\overline{O} = z_0 \frac{d}{dt}$$

NOTE: IF 11x17 SHEET, THEN
ASSUME SCALE IS HALF OF
WHAT IS SHOWN



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KING'S HILL
TOWNHOMES

2004 & 2006
MADISON STREET
PORTLAND, OR 97205

TYPE III
HISTORIC REVIEW
EA-12-138137

01/13/12	HISTORIC REVIEW	NEW
06/01/12	REDESIGN	NEW

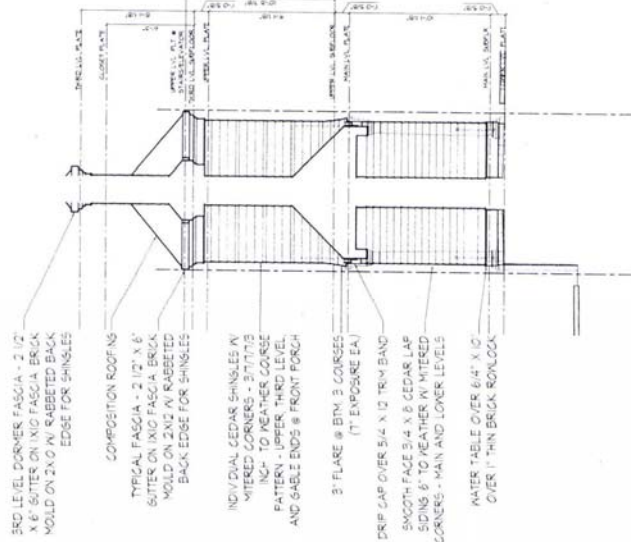
WEST ELEVATION

8

12006



WEST ELEVATION



C WEST ELEV 1/4\"/>

D EAST ELEV 1/4\"/>