

Bureau of Development Services - Land Use Services Division
Refund Request Form for Void/Withdrawn/Cancelled Application/Case/Appointments

PLANNER: Complete Upper Section of this form. Submit form to Section or Division Manager for authorization.

Today's Date: 12-5-18

Intake Date: 10-22-18

To: BDS Administration Section, A/P

From: Don Kienholz

(Required if case 6+ months old)

Approved by Manager: Douglas Hardy

Digitally signed by Douglas Hardy
Date: 2018.12.05 14:36:43 -08'00'

Division Manager:

Case Number: LU 18-255204 AD

Refund of Service Bureau Fees:

- Reviewed by Service Bureaus ☒ No (100% refund) ☐ Yes (No Refund)

* If over \$1,000 dollars has been paid to PBOT, Section Manager check with PBOT for possible partial refund.

Refund of Hearings Officer Fee

- Did hearing occur? ☐ No (100% refund) ☐ Yes (No Refund)

Write an explanation on the lines provided below. Your explanation will go into TRACS. If there are concurrent reviews, and one or more are withdrawn, **identify which reviews are withdrawn. Special Refund Instructions.**

Applicant requested to withdraw case after receiving incomplete letter.

Is the case now considered inactive? ☐ No ☒ Yes If yes, please attach the case file.

Please check the appropriate situation.

☐ (A) **Unnecessary fees/Review** When a fee is accepted for a land use review that is later found to not be required, a full refund of all land use review fees for the unnecessary review will be given. If there are concurrent reviews, identify on reverse page which review is being withdrawn.

☐ (B) **Errors** - When an error is made in calculating a fee, overpayment will be refunded.

☐ (C) **Void Land Use Review or Final Plat** (Zoning Code Section 33.730.060.A.2.d) - The fee is non-refundable.

☒ (D) **Withdrawn Application**

Application Withdrawn:	Percent Refund of LUS Fee
1. Early Assistance Appointment	
<input type="checkbox"/> At least 7 days prior to the appointment.	50% of LUS fee
2. Final Plat	
<input type="checkbox"/> After staff sends the first redlines or plat comments to the customer.	50% of LUS fee
<input type="checkbox"/> After staff sends the second redlines or plat comments to the customer.	25% of LUS fee
3. Land Use Review - Type I, II or IIX	
<input checked="" type="checkbox"/> Before the Notice of Proposal is sent to P&D.	75% of LUS fee (amount retained should not be less than \$200 or more than \$1,500)
<input type="checkbox"/> After the Notice of Proposal is sent to P&D, but before staff sends the Notice of Decision to P&D.	25% of LUS fee (amount retained should not be less than \$300 or more than \$4,000)
4. Land Use Review - Type III or IV	
<input type="checkbox"/> Before the Request for Response is sent to the infrastructure bureaus.	75% of LUS fee (amount retained should not be less than \$400 or more than \$2,000)
<input type="checkbox"/> After the Request for Response is sent to the infrastructure bureaus, but before the Notice of Public Hearing is sent to P&D.	50% of LUS fee (amount retained should not exceed \$7,000)
<input type="checkbox"/> After the Notice of Public Hearing is sent to P&D, but before the staff recommendation is published.	30% of LUS fee (amount retained should not exceed \$10,000)

C. Pre-application Conference		
<input type="checkbox"/>	Before the staff sends the conference information to the infrastructure bureaus.	75% of LUS fee
<input type="checkbox"/>	After staff sends the conference information to the infrastructure bureaus, but at least 7 days prior to the conference.	50% of LUS fee
<input type="checkbox"/>	Within 6 days prior to the conference.	25% of LUS fee

☐ (E) Appeal Fees

Full refund if the following are met:

1. Type III – Appellant prevailed, and no new evidence presented at appeal hearing.
2. Type II, IIx and III – Appellant prevailed by:
 - a. overturning the lower decision-maker's decision; or
 - b. persuading the appellate decision-maker to modify the lower decision-maker's decision in the appellant's favor for one or more of the reasons identified in the appeal.

It is not necessary for the appellant to prevail on all of the issues raised. Prevailing on just one issue is sufficient.

☐ (F) No refund (They do not qualify for any of the partial refunds provided for in D above)

1. Appeal fees are nonrefundable, except as provided for in Subsection E.

☐ (G) Letter waiving LUS Fee (fees waived by Director) Amount reduced \$_____/_____% Attached waiver letter.

☐ (H) Special Circumstances/Refund arrangements per Division Manager or Section Manager.

☐ (I) Public Registry (PR)

- ☐ LUS 100% Refund -Unnecessary fees or review
- ☐ LUS 75% Refund - Completeness check only, check sheet NOT sent or completed
- ☐ LUS 50% Refund - First checksheet sent, minimal staff time spent, bureau comments returned
- ☐ LUS 25% Refund- Second checksheet sent, comprehensive staff review

FORWARD THIS FORM TO LUS TECHS AFTER ALL FIELDS ABOVE FILLED IN AS NEEDED

LUS TECH STAFF: Initial and date after data entry ejd

Date: 12/19/18

Refunds:	Fee Code	<u>324</u>	<input checked="" type="checkbox"/> Full	<input type="checkbox"/> Partial	% <u>100</u>	Refund of \$ <u>280.00</u>
	Fee Code	<u>373</u>	<input checked="" type="checkbox"/> Full	<input type="checkbox"/> Partial	% <u>100</u>	Refund of \$ <u>315.00</u>
	Fee Code	<u>404</u>	<input checked="" type="checkbox"/> Full	<input type="checkbox"/> Partial	% <u>100</u>	Refund of \$ <u>110.00</u>
	Fee Code	<u>1090</u>	<input checked="" type="checkbox"/> Full	<input type="checkbox"/> Partial	% <u>100</u>	Refund of \$ <u>77.00</u>
	Fee Code	<u>2312</u>	<input type="checkbox"/> Full	<input checked="" type="checkbox"/> Partial	% <u>75</u>	Refund of \$ <u>975.00</u>
	Fee Code	<u>2504</u>	<input checked="" type="checkbox"/> Full	<input type="checkbox"/> Partial	% <u>100</u>	Refund of \$ <u>66.00</u>
	Fee Code		<input type="checkbox"/> Full	<input type="checkbox"/> Partial	%	Refund of \$
	Fee Code		<input type="checkbox"/> Full	<input type="checkbox"/> Partial	%	Refund of \$
	Fee Code		<input type="checkbox"/> Full	<input type="checkbox"/> Partial	%	Refund of \$
	Fee Code		<input type="checkbox"/> Full	<input type="checkbox"/> Partial	%	Refund of \$

Please process a refund in the amount of \$ 1,823.00 to:

Company Name VANCOUVER AVE AMAZING LLC
 Contact Person
 Mailing Address PMB 492 3519 NE 15TH AVE
 City/State/Zip PORTLAND, OR 97212

Original Payment Type

- ☐ Check
- ☐ Cash
- ☒ Card

Vendor # Authorization #



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Ted Wheeler, Mayor
Rebecca Esau, Director
Phone: (503) 823-7300
Fax: (503) 823-5630
TTY: (503) 823-6868
www.portlandoregon.gov/bds

November 5, 2018

Lou Montgomery
SIMPL HOME DESIGNS
4931 SW 76th Ave Pmb 211
Portland, OR 97225

Re: Land Use Review LU 18-255204 AD

FILE COPY

Dear Lou Montgomery:

The Bureau of Development Services received your application for an Adjustment located at 3915-3917 N VANCOUVER AVE * on October 22, 2018. Your case has been assigned to me, Don Kienholz. In order to continue to review your application, additional information is needed. Once you submit this information, your application will be considered complete, and I will proceed with a full review of your proposal. Up to this point, your application has been reviewed only to determine if all required information has been submitted. The application has not been fully reviewed to determine if it meets the relevant approval criteria, however some issues you may want to consider are identified in Section II below.

I. Information Necessary to Complete Application

The following information must be submitted before your proposal can be evaluated:

1. **Ownership:** Multnomah County Assessment and Taxation records show the owner of the subject property as Vancouver Ave. Amazing, LLC as the owner. The land use application form lists Arianna Cohen as the owner. Please provide documentation that Arianne Cohen is authorized to act on behalf of, or is the owner or, Vancouver Ave. Amazing, LLC.
2. **Site Plan:** The site plan is difficult to read as it appears to provide different line weights to different walls. For example, the existing garage is identified with a thin single line and the notation "main floor line" but it is somewhat blurry and thus hard to read. The addition on the second story uses two lines to depict the new walls which show up well. Please update the site plan to clearly differentiate the walls of the existing and proposed accessory structure from the property lines and measuring lines. That will help the public better understand the proposal when a Notice of Proposal is mailed. One option could be to draw them as double lines and then darken the lines of the double lines of the proposed addition to differentiate it from the existing structure.

The site plan includes a driveway with connectivity to N. Vancouver Ave. but with all the lines on the site plan, it could be confusing what the extent of the driveway is to those who receive notice of the proposal. Please identify the driveway and its width on the updated site plan.

3. **Floor Plans:** An addition to the garage or modification of the structure requires a full set of scaled floor plans to evaluate the use. At this time, it is unclear what the use of the structure is. An Adjustment review was applied for in 2014 and approved for the garage to be converted to an ADU within the setback. When building permits were submitted, the proposal was modified from an ADU to additional 'living space'

because the primary structure was a duplex at the time. That permit has since expired and voided. Please clarify the use of the both structures and provide a full set of floor plans for each building.

4. **Elevation Plans:** The elevation plans show the accessory structure is over 15-feet in building height (measured pursuant to Portland Zoning Code section 33.930.050). Structures over 15-feet in height must meet the additional design standards found in Portland Zoning Code section 33.110.250.C.4. The additional design standards include a discretionary standard (for example, the roof pitch matches the predominant pitch of the existing dwelling) and a non-discretionary standard (for example, the roof has a pitch of at least 6/12). Please update the elevation plans to either document the non-discretionary design standards regarding exterior finish material, roof pitch, trim thickness, window orientation and eave length. Or, provide elevation plans of the existing house with enough detail for staff to evaluate and determine if the proposed accessory structure satisfies the standards.

Please note that on the proposed 'Front' or east elevation plans, it is not clear if a window is being removed or placed in the original garage structure on the first floor. The graphic shows a window but also with siding over/through it. Please clarify the elevation plan.

II. Issues to Consider

While not necessary to determine the application complete, additional information may be needed to show that your proposal meets the applicable approval criteria. You are encouraged to address the following issues regarding the approvability of your proposal:

- Generally speaking, two-story structures within a side or rear yard building setback adjacent to other residentially zoned sites are very difficult to approve due to concerns regarding privacy, overbearing bulky structures adjacent to outdoor spaces for homes and adverse visual appearances. This is even more true for ADU's and detached rooms as it places living space in very close proximity to the adjacent home's outdoor area. Additionally, two-story structures in reduced side setbacks is not a building form seen in the single-dwelling zones.

In your narrative, you provide a list of garages and ADU's in close proximity that are two stories tall to understandably make a comparison with the proposed accessory structure. However, please note that all those ADU's are adjacent to an alley and all but one met the minimum side building setbacks. Public alleys have no setback requirement (such as the two ADU's immediately behind the subject site) and the ADU's that border a private alley off of N. Failing received Adjustments to the rear setback precisely because there is no practical difference between a public or private alley, and so the purpose of the rear setback was equally met. The one example provided in the narrative for an ADU that was approved for a side building setback is immediately adjacent to a church surface parking lot, an Institutional Use that doesn't have the same needs or purposes for a side setback as a private residence.

Lastly, while Adjustments were approved to the rear setbacks for the ADU's to the private alley off of N. Failing, it has become an example of a poor development pattern that includes overbearing bulk and visual impact to the residential character of an area.

Considering the subject site abuts a public alley with no minimum setback requirement, it is strongly recommended to modify the proposal. Some options could include redesigning the structure as a single-story building and push the addition towards the alley instead of up; mirror the proposal by placing the living space on

the north side of the addition and the deck on the south side (and out of the setback); or design the addition to be outside the side setback similar to the 2014 Adjustment proposal. Such redesigns would reduce the bulk in the setback, reduce the potential impact on the neighbor's privacy, and provide a proposal closer in compliance with the base zone development standards.

- As noted earlier, the primary structure on site was previously identified as a duplex. Notes indicate that at the time, there were two addresses for the property and two main entrances on the exterior of the building. Additional notes indicate the structure may have been converted to a single-family dwelling. While not part of this proposal, be advised any future improvements of the house/duplex may require retroactive permitting for a conversion from duplex to single-family dwelling.
- While not part of the proposal, through the completeness review it was discovered that the front fence appears to not be in conformance with the fence development standards of 33.110.255.C.1. If a complaint is received on the fence, it will need to be brought into compliance with the fence standards or approved through an Adjustment. If you wish to seek an Adjustment, you could include it in the current Adjustment review. Adjustments to fences have a separate application fee of \$1,063 and need a narrative addressing the fence purpose in 33.110.255.A.

III. Time to Complete Application

The Portland Zoning Code allows you up to 180 days to complete your application. Since the 180-day period began on the day we received the application, the deadline to make your application complete is **Monday, April 22, 2019**.

IV. Determination of a Complete Application

The application will be determined complete when you have submitted:

1. All of the requested information included in Section I, above. If you cannot provide all of the requested information at one time and intend to submit additional information, please include a written statement with each separate submittal indicating that you still intend to provide the additional missing information by the **Monday, April 22, 2019** deadline, **or**
2. Some of the requested information included in Section I, above, and a written statement that no additional information will be provided; **or**
3. A written statement that none of the requested information included in Section I, above, will be provided.

Please be aware that not submitting the requested information may result in your application being denied. The information is needed to demonstrate the approval criteria are met. Once the application is deemed complete, review of your application can proceed using the information you have provided.

Your application will be approved if it meets the relevant land use review approval criteria. It is your responsibility to document how the approval criteria are met. The items listed above will help provide that documentation.

Voiding of Application

If your application is not complete by **Monday, April 22, 2019**, it will be voided, and the application fee will not be refunded. The City's land use review procedures are outlined in Chapter 33.730 of the Portland Zoning Code.

Please contact me if you have any questions about this letter. My telephone number is **503-823-7771**, and my e-mail address is Don.Kienholz@portlandoregon.gov. You may mail correspondence to me at the Bureau of Development Services, Suite 5000, 1900 SW Fourth Avenue, Portland, OR 97201. If you deliver the requested material in person, please bring it to the **fifth** floor receptionist at 1900 SW Fourth Avenue. Please label all correspondence and materials you submit with the case number LU 18-255204.

Sincerely,



Don Kienholz, Planner
Land Use Services Division

cc: Property Owner
 Application Case File



City of Portland, Oregon - Bureau of Development Services

1900 SW Fourth Avenue • Portland, Oregon 97201 | 503-823-7300 | www.portlandoregon.gov/bds



Land Use Review Application

File Number: LU 18-255204 AD

FOR INTAKE, STAFF USE ONLY

Date Rec 10/19/18 by EW/MB

☐ Type I ☐ Type Ix ☒ Type II ☐ Type IIx ☐ Type III ☐ Type IV

LU Reviews AD

[Y] ☒ Unincorporated MC

[Y] [N] Flood Hazard Area (LD & PD only)

[Y] [N] Potential Landslide Hazard Area (LD & PD only)

[Y] ☒ 100-year Flood Plain [Y] ☒ DOGAMI

Qtr Sec Map(s) 2630 Zoning R2.5a

Plan District None

Historic and/or Design District None

Neighborhood Boise

District Coalition NECN

Business Assoc Soul Dist., Williams Dist

Related File # RS 16-182402, 14-166440AD

APPLICANT: Complete all sections below that apply to the proposal. Please print legibly.

Development Site
Address or Location 3915 N Vancouver Ave.

Cross Street N Failing St. Sq. ft./Acreage 4792

Site tax account number(s)

R 131162

R

R

R

R

R

Adjacent property (in same ownership) tax account number(s)

R

R

R

Describe project (attach additional page if necessary)

Request adjustment for reduced side setback from 5' to 3' for 2nd story addition to existing garage.
This garage was approved to be converted to living space under 14-166440 AD

Describe proposed stormwater disposal methods

Run off to splash blocks

Identify requested land use reviews

Adjustment review

CASE NO. _____

EXHIBIT G.1

• **Design & Historic Reviews** - For **new development**, provide project valuation.

For **renovation**, provide exterior alteration value.

AND provide total project valuation.

\$ _____

\$ _____

\$ _____

• **Land Divisions** - Identify number of lots (include lots for existing development).

New street (public or private)?

☐ yes ☐ no

• **Affordable Housing** - For buildings containing five or more dwelling units, will
50% or more of the units be affordable to households with
incomes equal to or less than 60% of the median family
income for the county or state, whichever is greater?

☐ yes ☐ no ☐ N/A

continued / over

Applicant Information

- Identify the primary contact person, applicant, property owner and contract purchaser. Include any person that has an interest in your property or anyone you want to be notified. Information provided, including telephone numbers and e-mail addresses, will be included in public notices.
- For all reviews, the applicant must sign the Responsibility Statement.
- For land divisions, all property owners must sign the application.

PRIMARY CONTACT:

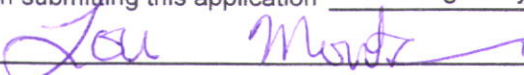
Name Lou Montgomery Signature _____
Company/Organization Simpl Home Designs
Mailing Address 4931 SW 76th Ave PMB 211
City Portland State OR Zip Code 97225
Day Phone 503-516-4823 FAX _____ email loum@ezpermits.biz
Check all that apply ☒ Applicant ☐ Owner ☐ Other _____

Name Arianne Cohen Signature _____
Company/Organization _____
Mailing Address 3519 NE 15th Ave. PMB 492
City Portland State OR Zip Code 97212
Day Phone 503-416-5916 FAX _____ email arianne@gmail.com
Check all that apply ☐ Applicant ☒ Owner ☐ Other _____

Name _____ Signature _____
Company/Organization _____
Mailing Address _____
City _____ State _____ Zip Code _____
Day Phone _____ FAX _____ email _____
Check all that apply ☐ Applicant ☐ Owner ☐ Other _____

Name _____ Signature _____
Company/Organization _____
Mailing Address _____
City _____ State _____ Zip Code _____
Day Phone _____ FAX _____ email _____
Check all that apply ☐ Applicant ☐ Owner ☐ Other _____

Responsibility Statement As the applicant submitting this application for a land use review, I am responsible for the accuracy of the information submitted. The information being submitted includes a description of the site conditions. I am also responsible for gaining the permission of the owner(s) of the property listed above in order to apply for this review and for reviewing the responsibility statement with them. If the proposal is approved, the decision and any conditions of the approval must be recorded in the County Deed Records for the property. The City of Portland is not liable if any of these actions are taken without the consent of the owner(s) of the property. In order to process this review, City staff may visit the site, photograph the property, or otherwise document the site as part of the review. I understand that the completeness of this application is determined by the Director. By my signature, I indicate my understanding and agreement to the Responsibility Statement.

Print name of person submitting this application Lou Montgomery
Signature 
Phone number 503-516-4823 Date 10/10/18



CITY OF
PORTLAND, OREGON
BUREAU OF DEVELOPMENT SERVICES
1900 SW 4th Ave., Suite 5000
Portland, OR 97201



RECEIPT #: 2171036

10/22/2018

Site Address: 3915 N VANCOUVER AVE

IVR Number: 4298576

Permit Number: 18-255204-000-00-LU

Land Use Review

APPLICANT SIMPL HOME DESIGNS *LOU MONTGOMERY*

Phone: (503) 516-4823

Fee Code	Fee Description	Fee Amount	Paid to Date	Balance	This Transaction	New Balance
1090	Site Development - Land Use Reviews	\$77.00				
2312	Adjustmnt Review - Res Single	\$1,300.00				
2504	Life Safety Review - Land Use	\$66.00				
324	BES Land Use Rvw-Engineering	\$280.00				
373	PBOT Adjustment Review	\$315.00				
404	Water Available Plan Rvw - Type C	\$110.00				
Bill #4402210	Sub Total	\$2,148.00	\$0.00	\$2,148.00	\$2,148.00	\$0.00
TOTAL		\$2,148.00	\$0.00	\$2,148.00	\$2,148.00	\$0.00

Shaded items indicate fees not yet calculated.

*** Fees marked with an asterisk are due at application.**

PAYOR VANCOUVER AVE AMAZING LLC

Phone:

Payment #: 2171036 **Method of Payment:** 888115 AMEX VANCOUVER **Receipt By:** Sam Liu

CITY CONTACT

Phone:

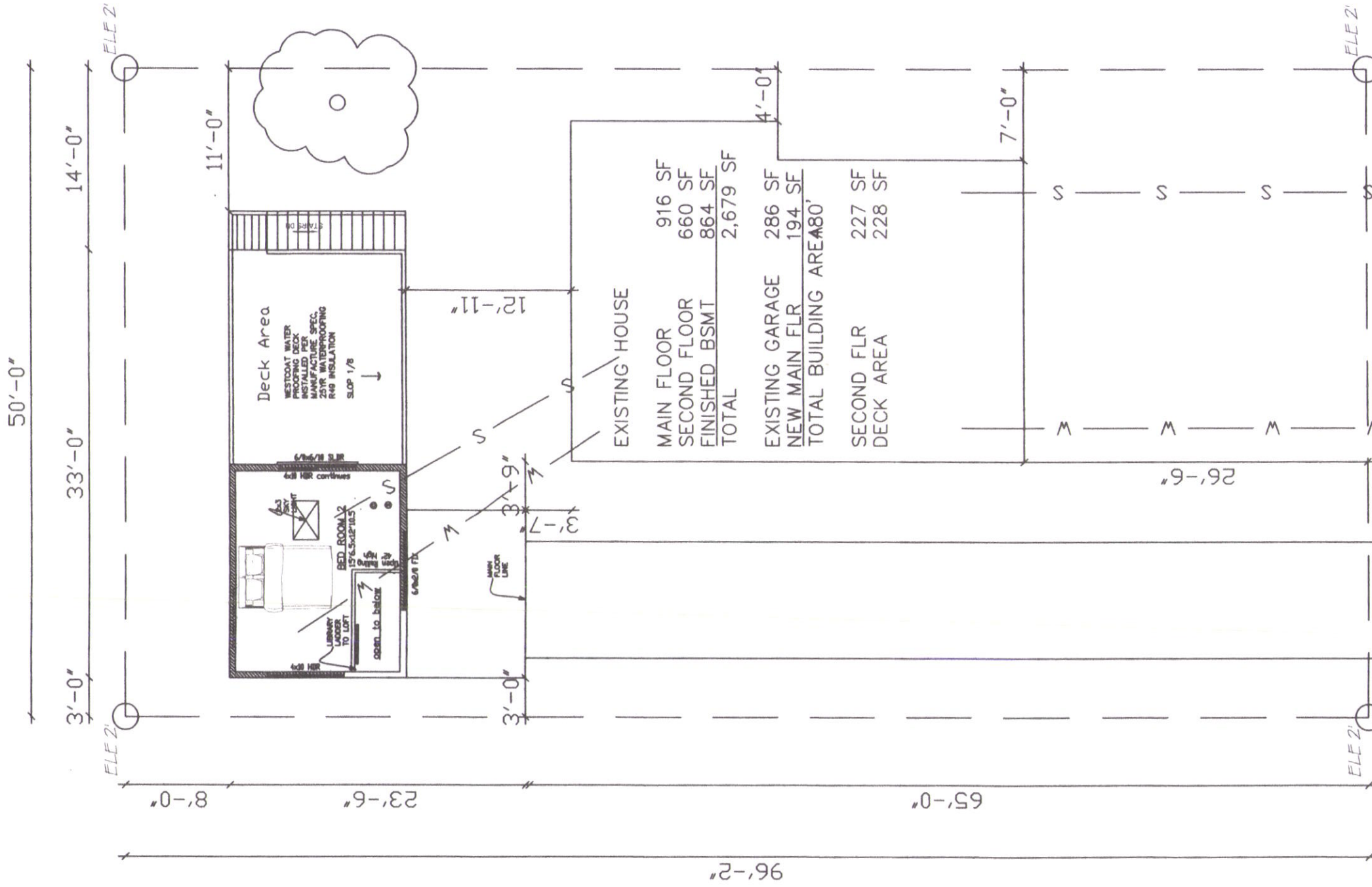
E-Mail:

Fax: (503) 823-4172

Notice: This document is not a permit. This document may not represent all fees owing for this permit. All fees are subject to change based on new or corrected information. For more information, consult your City of Portland Contact listed above.



ALLEY



CASE NO.
EXHIBIT

TAX LOT IS <5,000 SF. TREE
PRESERVATION STANDARDS DO NOT
APPLY.

SETBACK ENCROACHMENT ALLOWED
PER LU-1416644 AD:

ZONING COMPLIANCE PAGE-CASE FILE LU 14-166440-AD REQUIRED A FULL SIGHT OBLSCURING PRIVACY SCREEN MUST BE
CONSTRUCTED AND MAINTAINED ON THE SOUTH SIDE OF THE PORCH THE PRIVACY SCREEN MUST BE A MINIMUM OF 7 FEET WIDE AND 7
FEET TALL. A DETAIL OF THE SCREEN SHALL BE INCLUDED ON THE DRAWINGS. DETAIL PROVIDED ON A4.1 TOTAL INCREASE IN
IMPERMEABLE SURFACE <500SF. NO ADDITIONAL STORMWATER TREATMENT REQUIRED

LU18-255204 AD

MAC CONSULTINGS LLC, dba SIMPL HOME DESIGNS IS NOT
LIABLE FOR THE ACCURACY OF THE TOPOGRAPHY OF THE
INFORMATION. IT IS THE SOLE RESPONSIBILITY OF THE
BUILDER TO VERIFY ALL SITE CONDITIONS, INCLUDING ANY
FILL PLACED ON THE SITE, AND INFORM OWNERS OF ANY
POTENTIAL FIELD MODIFICATIONS.

VANCOUVER AVE. STUDIO
3915 N VANCOUVER AVE
PORTLAND OR 97211

DESIGNED: *nmw*
DATE: 07/16/18
SCALE: 1"=10'0"
FILE NAME: *ac*

MAC CONSULTINGS, LLC dba
Simpl Home Designs
4931 SW 76TH AVE, PMB211 PORTLAND OR 97225
(503) 515-6495, (FAX) 719-4825
www.czipermit.biz email: nikenozzpermit@biz

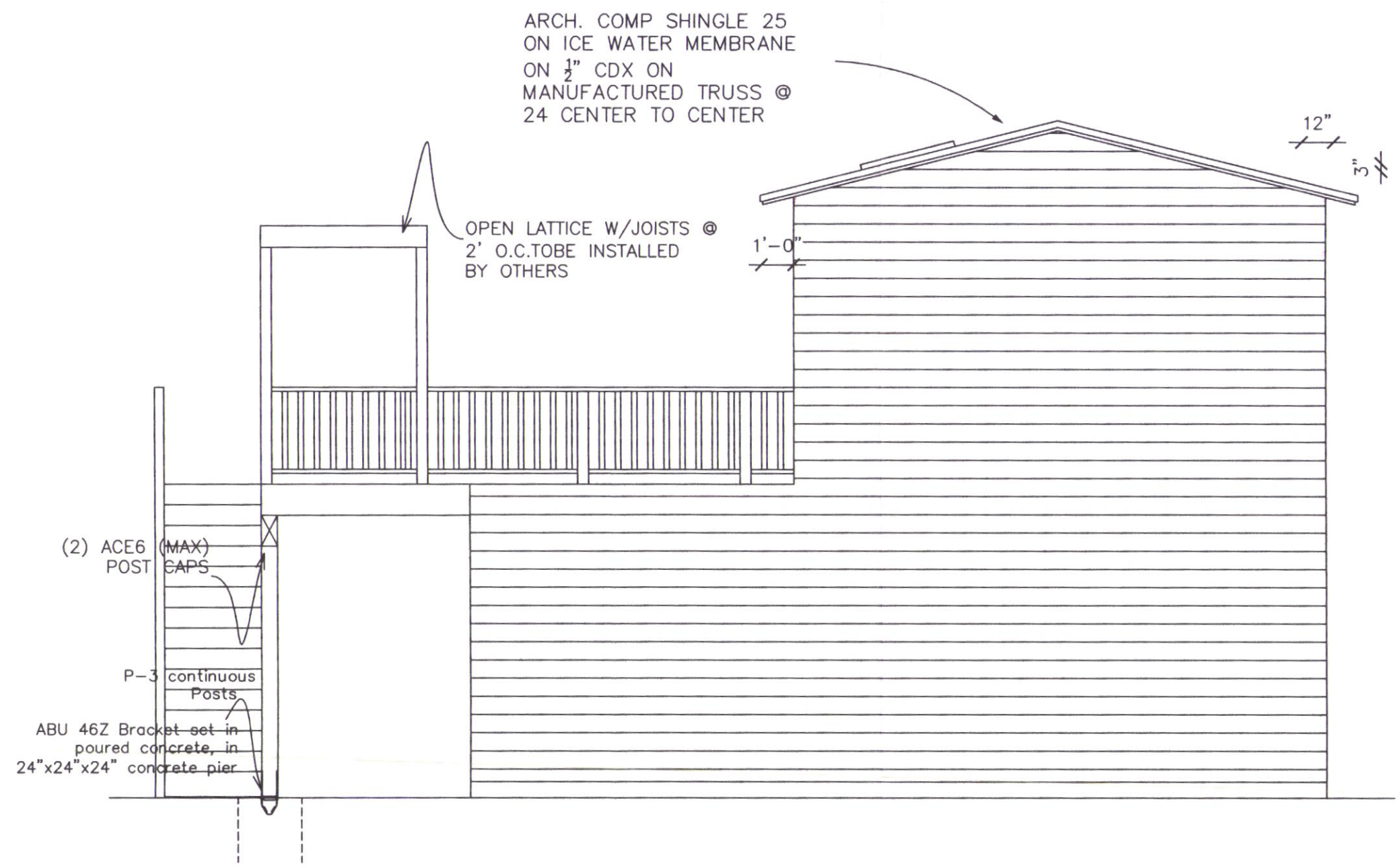
SIMPL HOME DESIGNS ASSUMES NO RESPONSIBILITY FOR THE ACCURACY / VALIDITY OF CONTRACTOR / OWNER SUPPLIED INFORMATION. THE CONTRACTOR / OWNER IS RESPONSIBLE TO CHECK THE PLANS, EXISTING SITE CONDITION, DIMENSIONS, AND TO NOTIFY THE DESIGN OF ANY ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION. DISCREPANCIES MAY RESULT IN ADDITIONAL COST TO THE OWNER.



REREcreate NW LLC
1034 SE 213TH AVE
GRESHAM OR 97030
503-341-6175
tim@recreatenw.com
CCB #202853

Drafting & Design
Custom Plans
Remodels
Site plans
Permit Management

ARIANNE COHEN
3915 N VANCOUVER AVE
PORTLAND, OR 97227



PROPOSED REAR (WEST) ELEVATION

1/4"=1'-0"

CASE NO. _____
EXHIBIT _____

ELEVATION
PLAN(s)

DATE	08/10/18
SCALE	PROJ. NO
1/4" = 1'-0"	000
DRAWN	CHECKED
mm	mm

D2.0

22 18-255204 AD

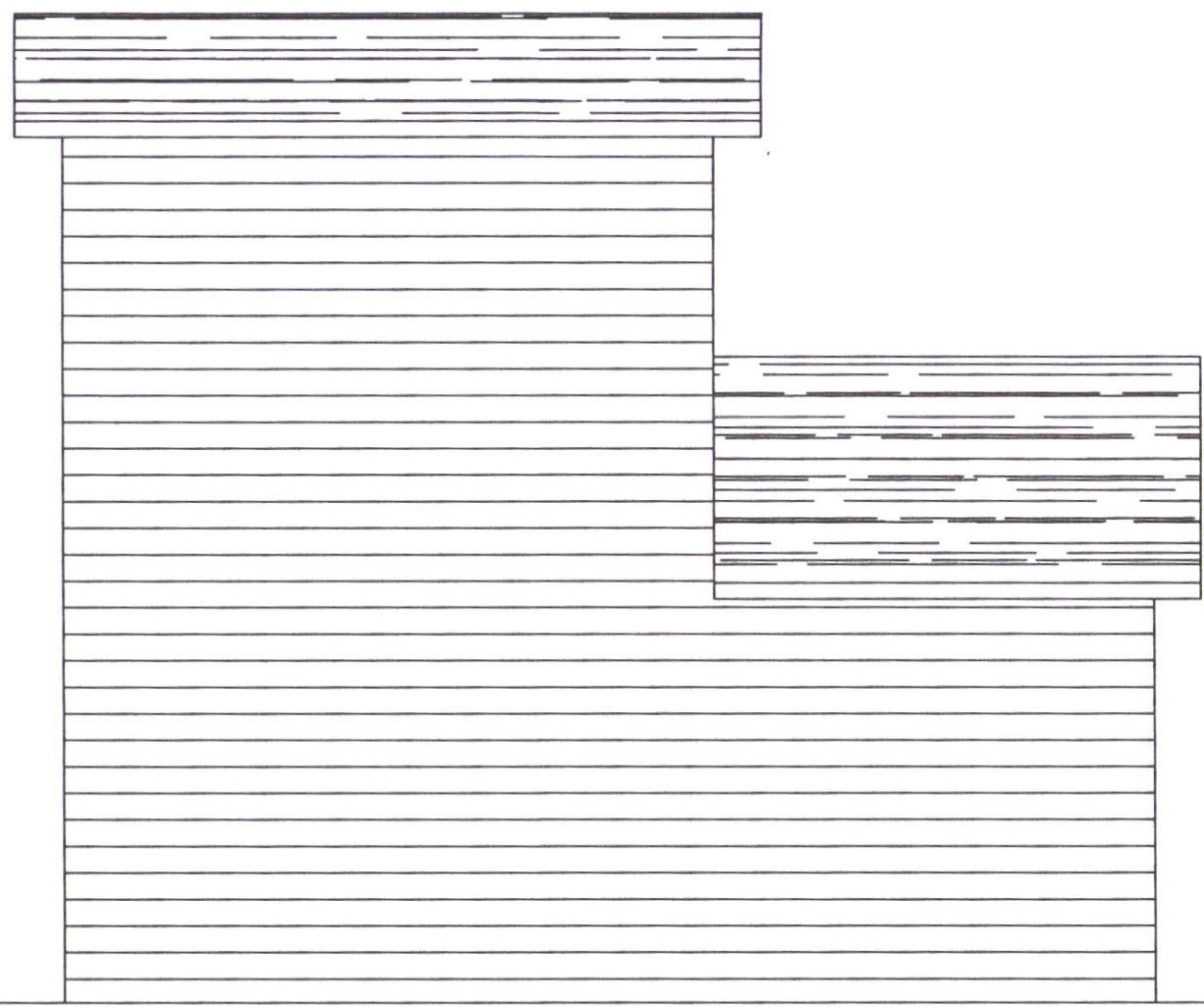
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503.515.6495 OFFICE
503.719.4825 FAX
4931 SW 76TH AVE., PMB 211
Portland OR 97225
miken@expermits.biz
www.expermits.biz

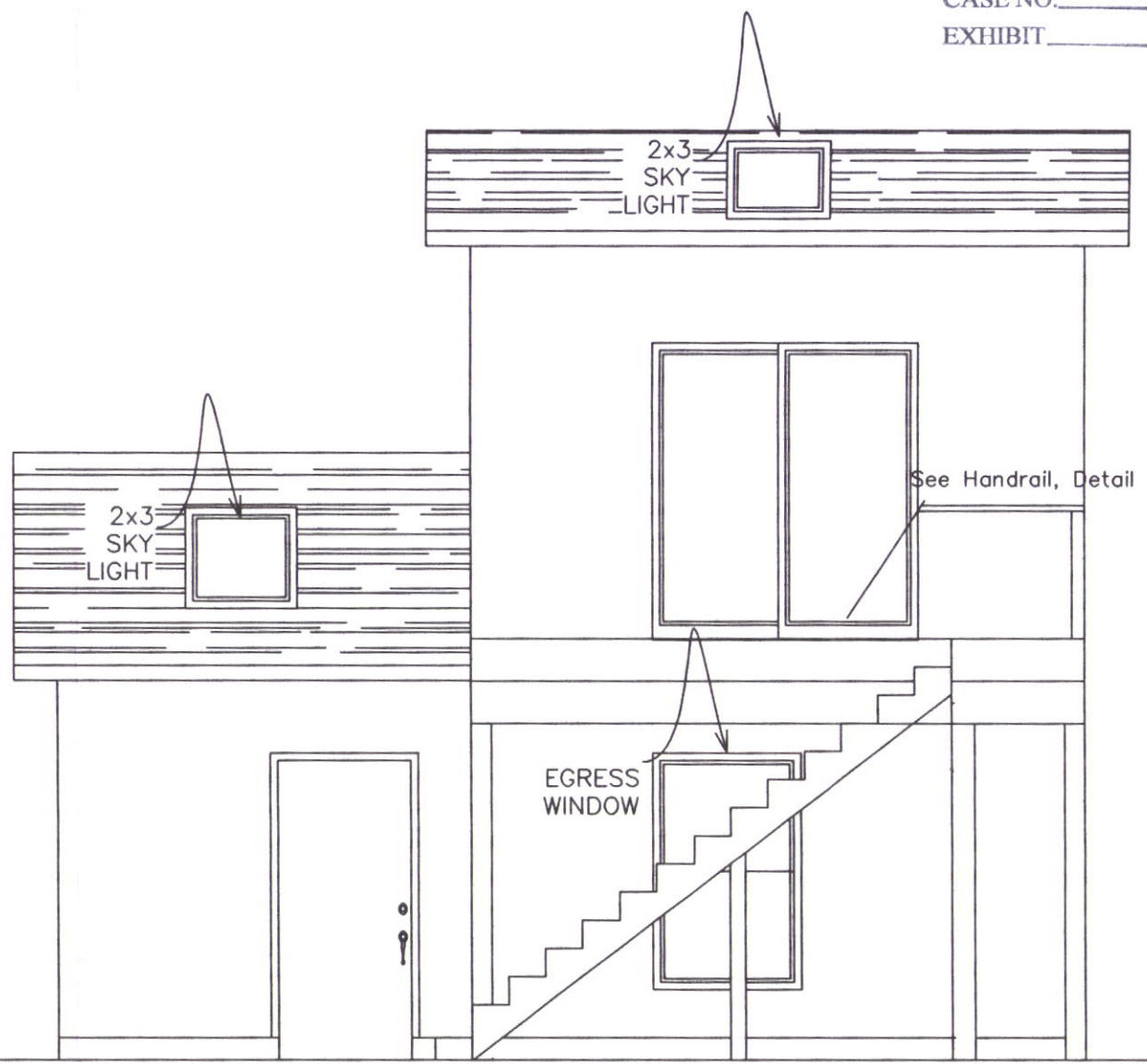
Drafting & Design
Custom Plans
Remodels
Site plans
Permit Management

CASE NO. _____
EXHIBIT _____



PROPOSED LEFT (SOUTH) ELEVATION

1/4"=1'-0"



PROPOSED (NORTH) ELEVATION

1/4"=1'-0"

CASE NO. _____
EXHIBIT _____

ELEVATION
PLAN(s)

DATE	08/10/18
SCALE	1/4" = 1'-0"
PROJ. NO	000
DRAWN	mm
CHECKED	mm

D1.0

2218-255204 AD

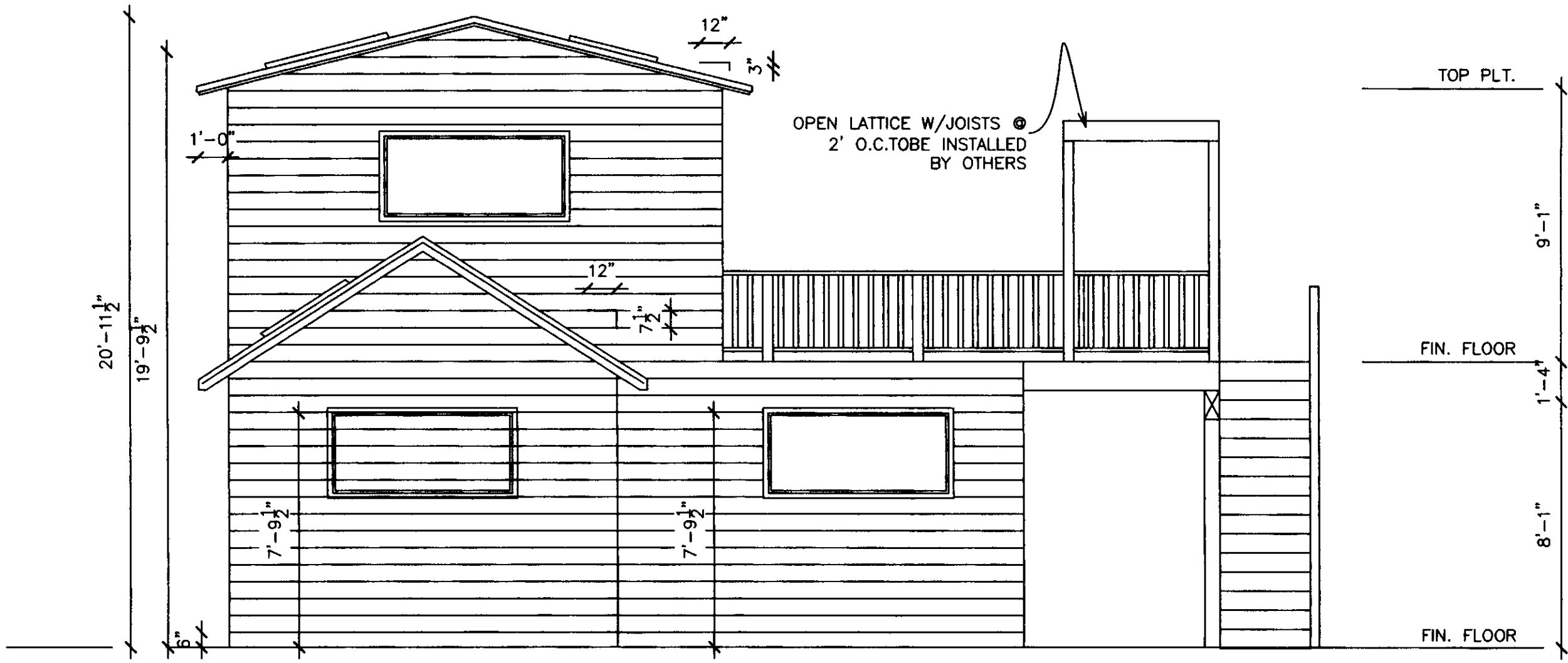
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503.515.6095 OFFICE
503.719.4825 FAX
4931 SW 76TH AVE., PMB 211
Portland OR 97225
mike@aspermia.biz
www.aspermia.biz

Drafting & Design
Custom Plans
Remodels
Site plans
Permit Management

ARIANNE COHEN
3915 N VANCOUVER AVE
PORTLAND, OR 97227



PROPOSED FRONT (EAST) ELEVATION

1/4"=1'-0"

CASE NO. _____
EXHIBIT _____

ELEVATION
PLAN(s)

DATE	08/10/18
SCALE	PROJ. NO.
1/4" = 1'-0"	000
DRAWN	CHECKED
mym	mym

D3.0

LA 18-255204 AD



Simpl Home Designs
4931 SW 76TH Ave
PMB 211
Portland, OR 97225
Phone: 503.515.6495
Fax: 503.719.4825
mikem@ezpermits.biz
www.ezpermits.biz

October 8, 2018

Owner: Vancouver Ave Amazing LLC
3519 NE 15th Ave. PMB 492
Portland, OR 97212

Applicant: Lou Montgomery
4931 SW 76th Ave. PMB 211
Portland, OR 97225
Ph 503-516-4823 Fax 503-719-4825

Address: 3915 N Vancouver Ave.

Legal Desc: Central Albina, Block 24, Lot 7

Neighborhood: Boise

Tax Account #: R131162

State ID No.: 1N1E22DC 1900

Zoning: R2.5 - Residential 2,500

Case Type: Adjustment

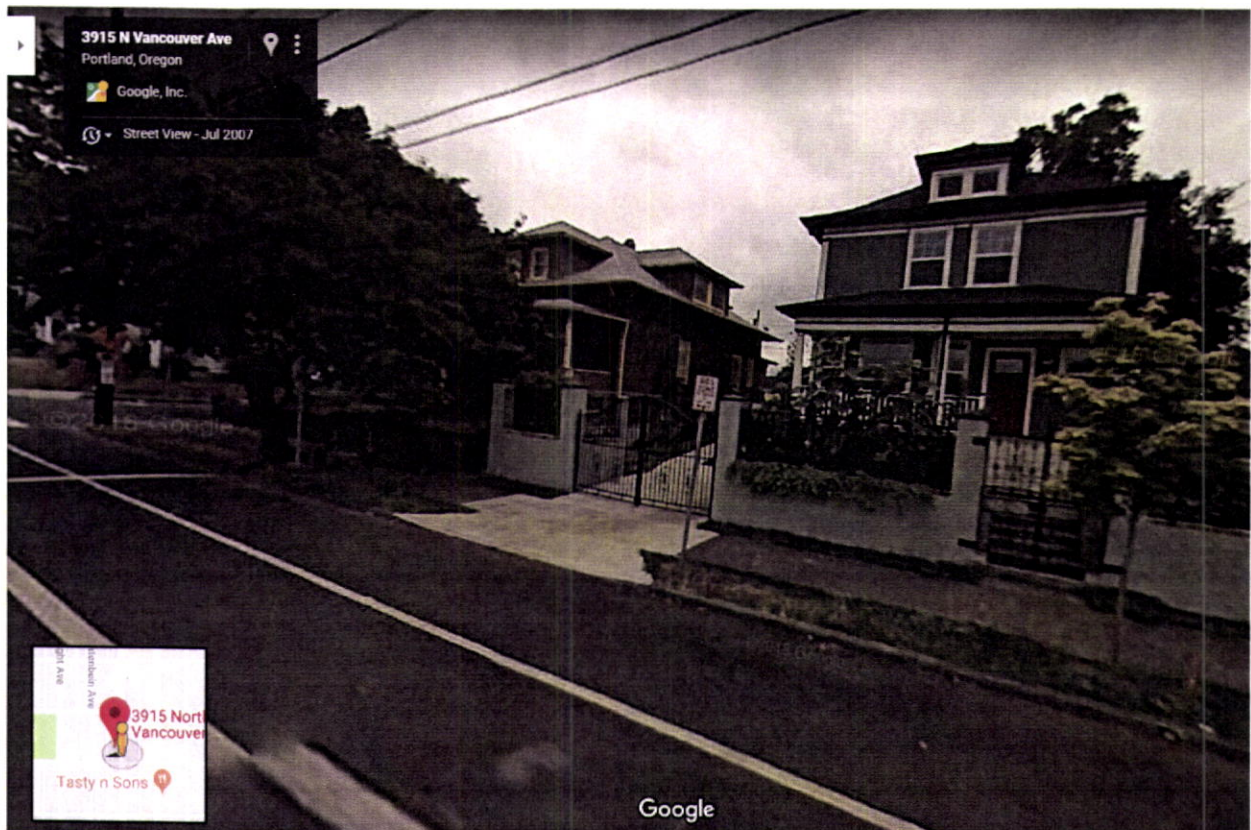
Proposal: Reduce the south side setback from 5' to 3'. Owner would like to construct a 2nd story addition over an existing structure. The structure was a garage and was approved to be converted to living space under 14-166440 AD. Owner would like to have a 3' setback to match the wall below. We are also proposing that there will be no windows in that wall for the neighbor's privacy.

CASE NO. _____
EXHIBIT A.1 _____

SHD letterhead

LU 18-255204 AD

2007 street view



No other homes on block to south, subject block, and block to north have driveways.

Attachment

Folder | Property (2) | People (4) | Info (52) | Fixture (50) | Fee/Charge (10) | **Process (96)** | Process Select | Document | File (0)

Folder #

F ^

1991 000521 000 00 NU NUI9:
 1992 000904 000 00 NU NUI9:
 1994 000768 000 00 NU NUI9:
 1994 001729 000 00 DV DVPS
 1994 001730 000 00 DV DVPS
 1994 001731 000 00 DV DVPS
 1994 002257 000 00 HS HOU:
 1994 006530 000 00 NU NUI9:
 1995 003481 000 00 NU NUI9:
 1995 006536 000 00 NU NUI9:
 1996 002022 000 00 NU NUI9:
 2000 172225 000 00 PT
 2001 125767 000 00 MT
 2001 127070 000 00 ET
 2001 127365 000 00 ET
 2005 113472 000 00 HS
 2005 117341 000 00 CC
2005 159685 000 00 RS
 2005 163383 000 00 ET
 2005 163631 000 00 IQ
 2005 175448 000 00 EC
 2013 200362 000 00 NU
 2013 226459 000 00 OF

Folder **05 159685 000 00 RS**

Process

5510 Trans - Street SyProperty **3915 N VANCOUVER AVE 97227**

Status	Approved	Start Date	
User	PDOT	Schedule	
Sign Off	Mace,Ryan	Actual	9/15/2005 11:08:41
Discipline	Portland Office of Transportation	BaseLine	

Print Flag ☒Mandatory ☒Assign To-Do ☐

Display Order 3400

File Location

ProcessRSN

COMMENTS 72076 - 3-104 - 12' wide - (4-6-2) - 9/15/05 - RM

Attempt (1) | Checklist (8) | Memo | Deficiency | Attachment | Dependency | Info | Co

Date	User	Comment	Result	Tim
9/15/2005 1	Mace,Ryan		Approved	

☒ List View ☐ Related View

☒ Show no. of rows on tabs

Start Today

End on Start

Repeat

File Location

Reschedule

Re-Default

End Today

End on Due

Assign

Sign Off

Clock Activity

Review Email

5) | Inspection Req. (8) | Comment |

Systems Review

Inspection #

9/15/2005 11:09:18

Scheduled

15277593

Priority

Insert | Insp. Detail |

e	OT	Unit	Mileage	Expense
---	----	------	---------	---------

1 Row Returned

96 Rows Returned

31 Rows Returned

Site Address: 3915-3917 N VANCOUVER AVE *

05-117341-000-00-CC

Today's Date: March 29, 2005

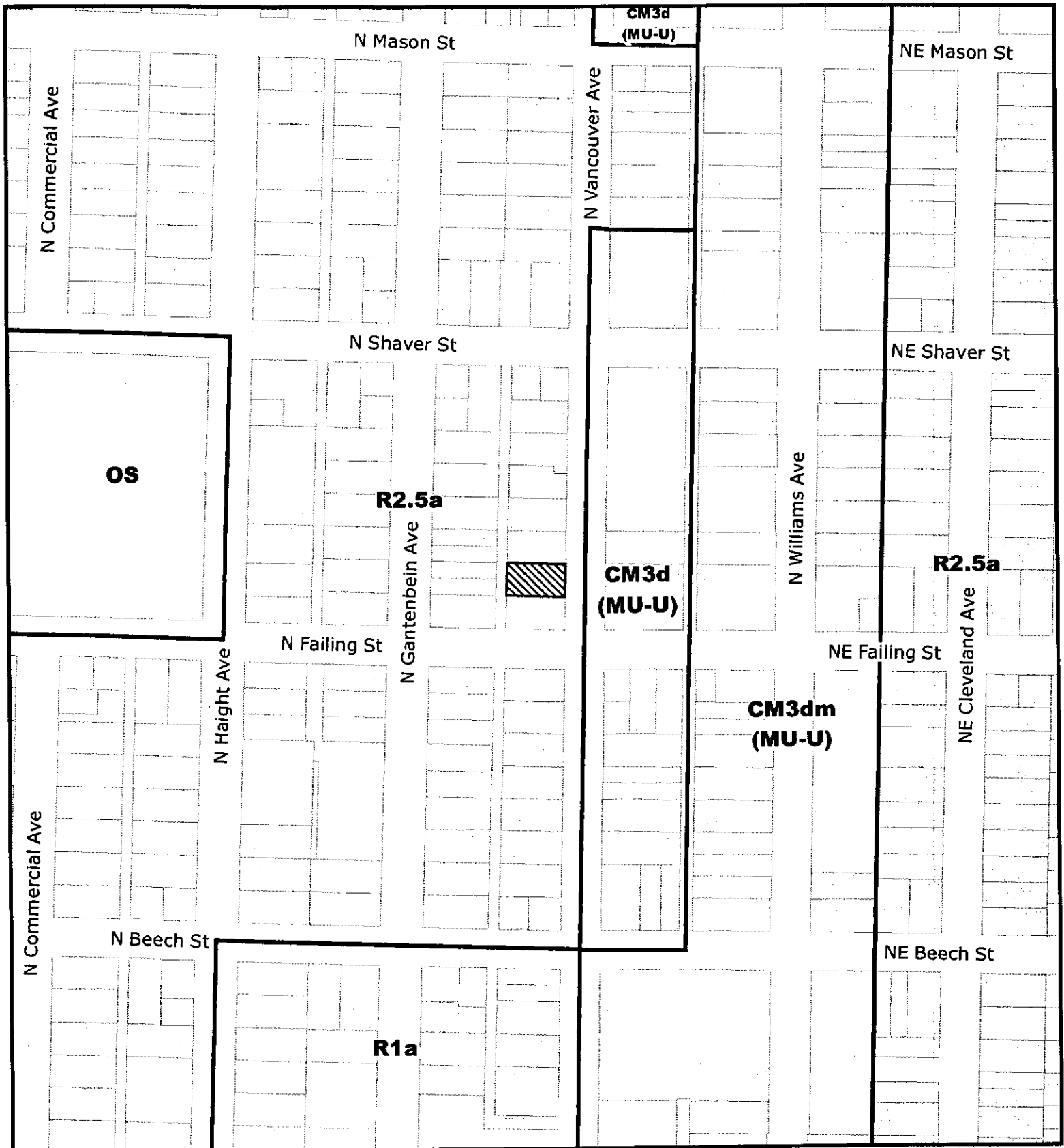
Derrow District Zoning Inspector,
Code Compliance Section

Owner: MARCELINO S GONZALES

PO BOX 29093

PORTLAND, OR 97296-9093





ZONING



File No.	LU 18-255204 AD
1/4 Section	2630
Scale	1 inch = 200 feet
State ID	1N1E22DC 1900
Exhibit	B Oct 23, 2018