



**City of Portland, Oregon - Portland Permitting & Development**

1900 SW Fourth Avenue · Portland, Oregon 97201 | 503-823-7300 | www.portland.gov/ppd

**RECORDER**

Please stamp the County Recorder's copy of the recording sheet and return with the attached decision to City of Portland, PP&D 299/5000/PP&D LUR

Multnomah County Official Records	<b>2025-034690</b>
E. Murray, Deputy Clerk	06/04/2025 10:18:32 AM
LUA-LUA Pgs=6 Stn=44 ATDM	<b>\$101.00</b>
\$30.00 \$11.00 \$60.00	

**Date:** May 29, 2025  
**To:** Interested Person  
**From:** Grace Jeffreys, Land Use Services  
503-865-6521 / Grace.Jeffreys@portlandoregon.gov

**NOTICE OF A TYPE Ix DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD**

Portland Permitting & Development has approved a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision are included in the version located on the PP&D website <https://www.portland.gov/ppd/zoning-land-use/news/notices>. Enter the land use case file number in the keyword search. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

**CASE FILE NUMBER: LU 25-022904 HR  
ALTERATIONS TO THE MIKADO BLOCK**

**GENERAL INFORMATION**

**Applicant:** Annabelle Lee, Cadium Design  
4414 NE Emerson St, Portland, OR 97218  
[annabelle@cadiumdesign.com](mailto:annabelle@cadiumdesign.com), 1- 907-209-7879

**Owner's Representative:** Kevin Joshi, Kidder Matthews  
101 SW Main St., Ste 1200, Portland, OR 97204  
[KEVIN.JOSHI@KIDDER.COM](mailto:KEVIN.JOSHI@KIDDER.COM), 503-221-2282

**Owner:** Yamhill Partners LLC  
117 SW Taylor St #300

Portland, OR 97204

**Site Address:** 837 SW 1ST AVE

**Legal Description:** BLOCK 13 LOT 4, PORTLAND

**Tax Account No.:** R667702250

**State ID No.:** 1S1E03BA 02200

**Quarter Section:** 3129

**Neighborhood:** Portland Downtown, contact Marian DeBardelaben at [debardelabenmarian@gmail.com](mailto:debardelabenmarian@gmail.com)

**Business District:** Downtown Retail Council, contact Sydney Mead at [smead@portlandalliance.com](mailto:smead@portlandalliance.com)

**District Coalition:** District 4, contact at [info@district4coalition.org](mailto:info@district4coalition.org)

**Plan District:** Central City - Downtown

**Other Designations:** A City Designated Historic Landmark and a Contributing Resource to the Yamhill Historic District.

**Zoning:** CXd, Central Commercial with Design and Historic Resource overlays

**Case Type:** HR, Historic Resource Review

**Procedure:** Type Ix, an administrative decision with appeal to the Oregon Land Use Board of Appeals (LUBA).

### **Proposal:**

The applicant seeks **Historic Resource Review** approval for exterior alterations to the Mikado Block, a City Designated Landmark and a Contributing Resource in the Yamhill Historic District, located in the Downtown Subdistrict of the Central City Plan District. The proposal is to enable a new restaurant tenant at the ground level, and includes the following:

- **Entries:** Create a new entry in the location of an existing window, and replace existing entry doors with new custom wood glazed entry doors, transoms and sidelights to meet egress requirements.
- **Lighting:** Add new pendant fixtures over entries and twelve new wall sconces.
- **Signage:** Add an illuminated corner projecting sign (26 square feet), and new signage on the faces of the fabric awnings (48 square feet).
- **Rooftop Mechanical:** Add new rooftop mechanical to support a new kitchen on the ground level.

Historic Resource Review is required because proposal is for non-exempt exterior alterations to a structure located within a Historic District per Portland Zoning Code 33.445.200.D.1.a.

New wall paint is also proposed but is exempt from this review as this will be on a previously painted surface, per 33.445.200.D.1.e.

### **Relevant Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33.

The relevant approval criteria are:

- *Yamhill Historic District*
- *Central City Fundamental Design Guidelines*
- *33.846.060.G – Other Approval Criteria*

## **CONCLUSIONS**

The purpose of the Historic Resource Review process is to ensure that additions, new construction, and exterior alterations to historic resources do not compromise their ability to convey historic significance. The proposed changes to this contributing resource, the Mikado Block, are intended to accommodate a new restaurant at the ground level. The proposed alterations are strategic and are targeted to ensure minimum impact. The careful design of the new entry and new glazed custom wood doors, new lighting, restored awnings, and new signage will enhance the resource and add activation, interest, and detail to the

ground level. This proposal meets the applicable Historic Resource Review criteria and therefore warrants approval.

## ADMINISTRATIVE DECISION

Approval of exterior alterations to the Mikado Block:

- Entries: Replace two existing entry doors and one window with new custom wood glazed entry doors and sidelights.
- Lighting: Add new pendant fixtures over entries and twelve new wall sconces.
- Signage: Add an illuminated corner projecting sign (26 square feet), and new signage on the faces of the fabric awnings (48 square feet).
- Rooftop Mechanical: Add new rooftop mechanical to support the new kitchen on the ground level.

Approval per the approved plans, Exhibits C-1 through C-20, signed and dated May 27, 2025, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B through C) must be noted on each of the four required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE- Case File LU 25-022904 HR." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- B. At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portland.gov/ppd/documents/design-and-historic-resource-review-approvals-certificate-compliance>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.
- C. No field changes allowed.

**Staff Planner: Grace Jeffreys**

**Decision rendered by:**  **on May 27, 2025**  
By authority of the Director of Portland Permitting & Development

**Decision mailed: May 29, 2025**

**Effective Date (if no appeal): May 30, 2025 Decision may be recorded on this date**

**Kimberly Tallant, Principal Planner**

**City of Portland**  
Portland Permitting & Development  
1900 SW Fourth Ave, #5000  
Portland, OR 97201

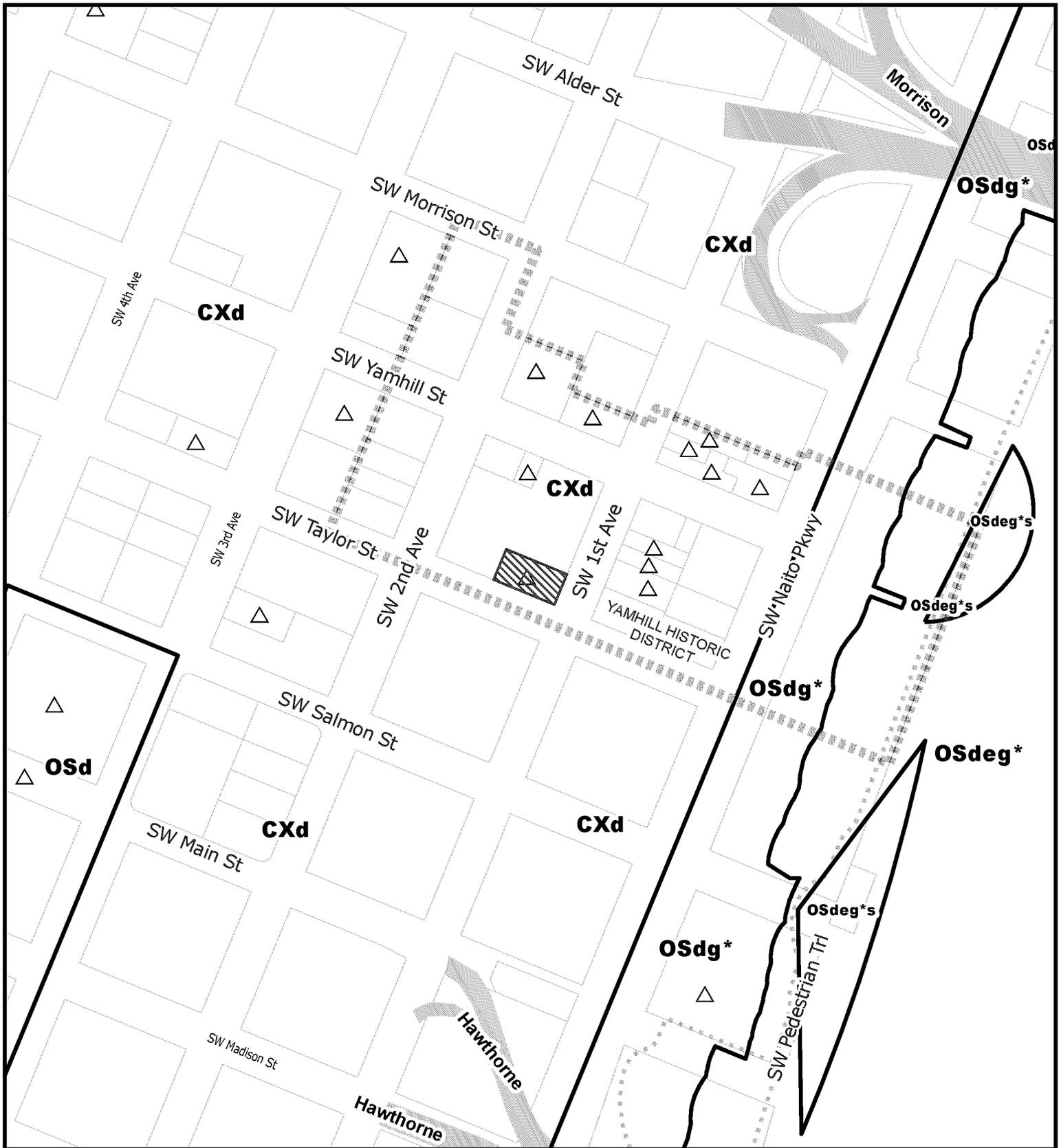
Date: May 30, 2025



Representative

**The City of Portland ensures meaningful access to City programs, services, and activities to comply with Civil Rights Title VI and ADA Title II laws and reasonably provides: translation, interpretation, modifications, accommodations, alternative formats, auxiliary aids and services. Request these services online or call 503-823-4000, Relay Service: 711.**

**503-823-4000 Traducción e Interpretación | Biên Dịch và Thông Dịch | 口笔译服务 | Устный и письменный перевод | Turjumaad iyo Fasiraad | Письмовий і усний переклад | Traducere și interpretariat | Chiaku me Awewen Kapas | अनुवादन तथा व्याख्या**



For Zoning Code in Effect Post October 1, 2024

# ZONING

THIS SITE LIES WITHIN THE:  
 CENTRAL CITY PLAN DISTRICT  
 DOWNTOWN SUBDISTRICT  
 YAMHILL HISTORIC DISTRICT

-  Site
-  Historic Landmark
-  Recreational Trails

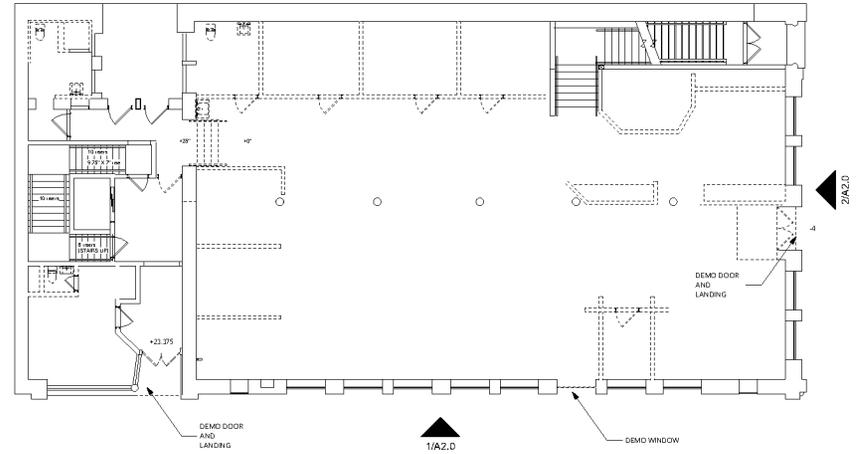
File No.	<u>LU 25 - 022904 HR</u>
1/4 Section	<u>3129</u>
Scale	<u>1 inch = 200 feet</u>
State ID	<u>1S1E03BA 2200</u>
Exhibit	<u>B</u> <u>Mar 25, 2025</u>

**BUILDING INFORMATION**

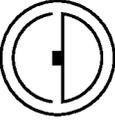
ADDRESS: 837 SW 1ST AVE  
 [E] BUILDING AREA: 17,380 SQFT  
 STORIES: 3 + BASEMENT  
 CONSTRUCTION TYPE: IIIB  
 PROPERTY ID: R245934  
 ZONING: CX  
 OVERLAY: D  
 CONTRIBUTING HISTORIC LANDMARK IN YAMHILL HISTORIC DISTRICT



**1** SITE LOCATION  
**A0.2** NTS



**2** 1ST FLOOR AS BUILT / DEMO PLAN (ONLY EXTERIOR WORK CALLED OUT)  
**A0.2** 1/8" = 1'



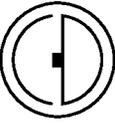
**CADIUM DESIGN**  
 Annabelle Lee 957.209.2879  
 cadiumdesign.com PDX, OR

**NHI**  
 837 SW 1ST AVE, PORTLAND, OR 97204

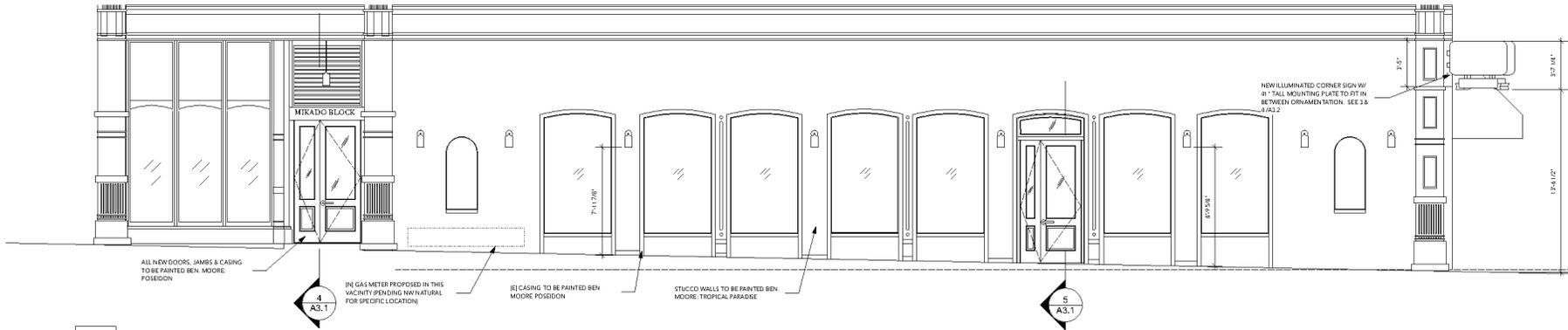
LU REVIEW  
 DATE: 02/24/25  
 FULL SIZE DRAWING IS 22" X 34"  
 DRAWING:  
 LU COVER PAGE - BUILDING  
 (INFO, SITE LOCATION & AS  
 BUILT / DEMO PLAN (FIRST  
 FLOOR ONLY))

**A0.2**

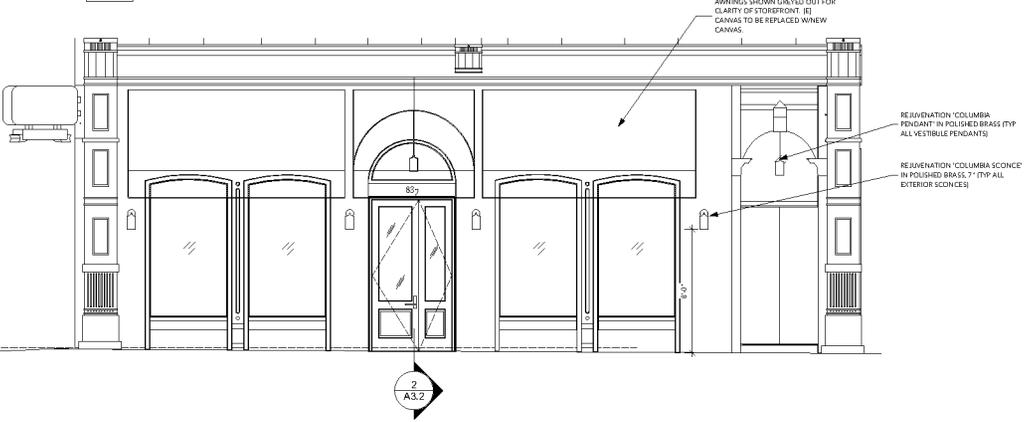
"Approved"  
 City of Portland  
 Portland Permitting and Development  
 Planner:   
 Date: 05-27-2025  
 \*This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



**CADIUM DESIGN**  
Annabelle Lee 907.209.2879  
cadi@cadu.design.com #202\_024



**1** PROPOSED SOUTH ELEVATION  
A2.2 1/4" = 1'



**2** PROPOSED EAST ELEVATION  
A2.2 1/4" = 1'

NHI  
837 SW 1ST AVE, PORTLAND, OR 97204

LU REVIEW  
DATE: 03/24/25  
FULL SIZE DRAWING IS 22" X 34"  
DRAWING: PROPOSED ELEVATIONS

"Approved"  
City of Portland  
Portland Permitting and Development  
Planner:   
Date: 05-27-2025  
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**A2.2**



## City of Portland, Oregon - Portland Permitting & Development

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503-865-6521 / [Grace.Jeffreys@portlandoregon.gov](mailto:Grace.Jeffreys@portlandoregon.gov)

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**Owner's Representative:** Kevin Joshi, Kidder Matthews  
101 SW Main St., Ste 1200, Portland, OR 97204  
[KEVIN.JOSHI@KIDDER.COM](mailto:KEVIN.JOSHI@KIDDER.COM), 503-221-2282

**Owner:** Yamhill Partners LLC  
117 SW Taylor St #300  
Portland, OR 97204

**Site Address:** 837 SW 1ST AVE

**Legal Description:** BLOCK 13 LOT 4, PORTLAND  
**Tax Account No.:** R667702250  
**State ID No.:** 1S1E03BA 02200  
**Quarter Section:** 3129

**Neighborhood:** Portland Downtown, contact Marian DeBardelaben at [debardelabenmarian@gmail.com](mailto:debardelabenmarian@gmail.com)

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**Relevant Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant approval criteria are:

- *Yamhill Historic District*
- *Central City Fundamental Design Guidelines*
- *33.846.060.G – Other Approval Criteria*

## ANALYSIS

**Site and Vicinity:** The site is the Mikado Block, which is a City Designated Historic Landmark (Exhibit G.6) and a Contributing Resource to the Yamhill Historic District. The 3-story building occupies an eighth of a city block on the southeast corner of the block, and fronts SW 1st on the east and SW Taylor on the south. This High Victorian Italianate building was initially constructed in 1880, and in 1886 the third story and cornice were added. The stucco clad building is highly ornate, with cast iron pilasters and with scrolls and cast heads. From the Yamhill Historic District Nomination from July 30, 1976 (Exhibit G.4):

*On the northwest corner of First and Yamhill streets is the Mikado Block High Victorian Italianate structure built in 1880. In the early years, the first floor was used by Olds and King, now Rhodes Department Store. The second floor housed professional offices, and the third floor was the meeting hall of the Grand Army of the Republic. Presently the first floor is used as a store, and the upper floors serve as a hotel. Although once typical in Portland, the facade of the building is now unusual. The first floor has been severely remodeled, and only the Corinthian pier remain. The second floor windows are stilted segmental double hung one light over one with key stoned hoods that rest on the squat ornate capitals of the wide quoined piers which separate the windows. The third floor windows are round headed and have keystones. The window hoods rise to the top of the keystones forming a pointed arch. The piers between the windows are capped with the same squat capital and are not quoined. The corner pier at the third story has less applied ornament than at the second story. The cornice is bracketed with oriental panel motifs. The portion of the cornice above the projection is plain except for the massive ornamental piers over the corners and center wall of the east side, and the pediment over the main upper floor entrance located on the southwest corner of the building.*

The building fronts SW 1st Ave and SW Taylor St. The surrounding area is a highly developed and historic part of the downtown area. Adjacent lots are occupied by a diverse array of businesses, commercial and residential structures.

**Zoning:** The Central Commercial (CX) zone is intended to provide for commercial development within Portland's most urban and intense areas. A broad range of uses is allowed to reflect Portland's role as a commercial, cultural and governmental center. Development is intended to be very intense with high building coverage, large buildings, and buildings placed close together. Development is intended to be pedestrian-oriented with a strong emphasis on a safe and attractive streetscape. The Design overlay zone is applied to this zone.

The Design overlay zone ensures that Portland is both a city designed for people and a city in harmony with nature. The Design overlay zone supports the city's evolution within current and emerging centers of civic life. The overlay promotes design excellence in the built environment through the application of additional design standards and design guidelines that:

- Build on context by enhancing the distinctive physical, natural, historic and cultural qualities of the location while accommodating growth and change;
- Contribute to a public realm that encourages social interaction and fosters inclusivity in people's daily experience; and
- Promotes quality and long-term resilience in the face of changing demographics, climate and economy.

The Historic Resource Overlay zone protects historic resources that have been identified as significant to the history of the city and region. The regulations implement Portland's Comprehensive Plan policies that address historic preservation. These policies recognize the role historic resources have in promoting education and enjoyment for those living in and visiting the region. The regulations foster awareness, memory, and pride among the region's current and future residents in their city and its diverse architecture, culture, and history. Historic preservation recognizes social and cultural history, retains significant architecture, promotes economic and environmental health, and steward's important resources for the use, education, and enjoyment of future generations.

The Central City Plan District implements the Central City 2035 Plan. The regulations address the unique role the Central City plays as the region's premier center for jobs, health and human services, tourism, entertainment and urban living. The regulations encourage a high-density urban area with a broad mix of commercial, residential, industrial and institutional uses, and foster transit-supportive development, pedestrian and bicycle-friendly streets, a vibrant public realm and a healthy urban river. The site is within the Downtown Subdistrict of this plan district.

From the 1976 Yamhill Nomination (Exhibit G.4):

*The Portland Yamhill Historic District is one of two areas in the city which retains a significant concentration of nineteenth century business structures (Portland Skidmore/Old Town Historical District, recently nominated to the National Register, is the other district). This district was the north end of the 22 block area devastated by the Great Fire of 1873. It contains one building from before the fire, the Northrup and Blossom-Fitch Building, constructed in 1858, and seventeen examples of Italianate Architecture, most of which were constructed between 1878 and 1887. The Yamhill District was part of Portland's early commercial expansion along the flat lands on the west bank of the Willamette River to the south of the original town plat. It stands between the present commercial center of Portland and the Willamette River.*

**Land Use History:** City records indicate that prior land use reviews include the following:

- LU 90-005585 (HL 009-90) Approval for awnings with signage.
- LU 89-005771 (HL 15-89) Approval for signage for OSU.
- LU 84-006148 (HL45-84) Approval for paint colors.

**Agency Review:** A Notice of Proposal in your Neighborhood was mailed on **April 11, 2025**. The following six Bureaus have responded with no issues or concerns about the proposal and five provided written responses:

- Life Safety Section of PP&D (Exhibit E.1)
- Transportation Engineering Section of PP&D (Exhibit E.2)
- Water Bureau Section of PP&D (Exhibit E.3)
- Fire Bureau (Exhibit E.4)
- Environmental Services Section of PP&D responded: *It appears that this project creates or redevelops less than 1,000 square feet of impervious area, therefore the requirements of the Stormwater Management Manual (SWMM) are not triggered. However, a safe stormwater disposal location that does not impact adjacent properties and/or structures should be considered. PP&D Public Infrastructure & Environmental Services (BES) has no concerns and does not object to approval of the requested historic resource review.*
- Site Development Section of PP&D

**Neighborhood Review:** A Notice of Proposal in Your Neighborhood was mailed on **April 11, 2025**. No written responses were received.

## ZONING CODE APPROVAL CRITERIA

### **Chapter 33.846, Historic Reviews**

#### **Purpose of Historic Resource Review**

Historic Resource Review ensures the conservation and enhancement of the special characteristics of historic resources.

#### **Historic Resource Review Approval Criteria**

Requests for Historic Resource Review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

**Findings:** The site is a designated a Contributing Resource within the Yamhill Historic District and is located within the Downtown Sub-district of the Central City Plan District. Therefore, the relevant approval criteria are the Yamhill Historic Design Guidelines and the Central City Fundamental Design Guidelines. The site is also a designated Historic Landmark; therefore, the proposal requires Historic Resource Review approval. The relevant The approval criteria are those listed in *33.846.060 G – Other Historic Approval Criteria*.

### **Design Guidelines for the Yamhill Historic District and Central City Fundamental Design Guidelines**

The Yamhill Historic District is a unique asset to Portland and has been recognized nationally by its placement on the National Register of Historic Places. There are certain procedures and regulations the City has adopted for the protection and enhancement of the Yamhill Historic District.

The Central City Fundamental Design Guidelines and the River District Design Guidelines focus on four general categories. **(A) Portland Personality** addresses design issues and elements that reinforce and enhance Portland's character. **(B) Pedestrian Emphasis** addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design** addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas** provides design guidelines for the four special areas of the Central City.

#### **Central City Plan Design Goals**

This set of goals are those developed to guide development throughout the Central City. They apply within the River District as well as to the other seven Central City policy areas. The nine goals for design review within the Central City are as follows:

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;

3. Enhance the character of the Central City's districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City's districts and the Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

*Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.*

### **33.846.060 G - Other Historic Approval Criteria**

1. **Historic character.** The historic character of the landmark or contributing resource will be retained and preserved. Removal of historic materials or alteration of features and spaces that contribute to the historic significance of the landmark or contributing resource will be avoided.
2. **Record of its time.** The landmark or contributing resource will remain a physical record of its time, place, and use. Changes that create a false sense of historic development, such as adding conjectural features or architectural elements from other buildings will be avoided.
3. **Historic changes.** Most resources change over time. Those changes that have acquired historic significance will be preserved.
4. **Historic features.** Generally, deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement, the new feature will match the historic feature in design, color, texture, and other visual qualities and, where practical, in materials. Replacement of missing features must be substantiated by documentary, physical, or pictorial evidence.

**Findings:** The Mikado Block is a city designated landmark and a contributing resource to the Yamhill Historic District. As such, it is a unique asset to the City of Portland and the preservation of it recognizes our shared social and cultural history. This proposal is for changes to the existing ground level storefronts and roof of the Mikado Block to accommodate a new restaurant. The proposal includes the following:

- **Entries:** Create a new entry in the location of an existing window, and replace existing entry doors with new custom wood glazed entry doors, transoms and sidelights to meet egress requirements.
- **Lighting:** Add new pendant fixtures over entries and twelve new wall sconces.
- **Signage:** Add an illuminated corner projecting sign (26 square feet), and new signage on the faces of the fabric awnings (48 square feet).
- **Rooftop Mechanical:** Add new rooftop mechanical to support the new kitchen on the ground level.

The proposed changes have been strategically designed to ensure minimum impact to the resource:

- **Entries:**
  - The design of the new doors and vestibules work with the existing architectural details. No changes are proposed to the patterns of the building.
  - The proposed new side entry door on SW Taylor street will utilize an existing window opening, thus maintaining the character of the ground level. This new egress enhances the pedestrian relationship at the ground level.
  - The ground level walls are masonry covered with plaster, and the new walls at the recessed entries will have plaster to match the existing texture.

- The two existing doors and one window to be replaced are not original to the building. The proposed new doors will be wood construction and the detailing references the architecture of the existing building.
- The side wall (along SW Taylor Street) will be treated in the same way as the wall along SW 1st Avenue. The only surfaces to be painted have already been painted, therefore design review for the color is not required.
- Signage:
  - The proposed projecting corner sign is sized and detailed to fit well on the corner of the building and will be mounted on an existing quarter round steel panel at the corner of the building.
  - The existing awnings along SW 1st Avenue will remain. New covering are proposed to clean them up and the new signage will be integrated into the design of the fabric awnings.
- Lighting:
  - The selected pendants and wall sconces are appropriate to the style of the building and their forms are similar to that of a gas lantern.
- Rooftop Mechanical:
  - The new mechanical equipment has been set back from the roof edges to limit the visual impact of its bulk.

The proposed new entry and new custom glazed wood doors, new lighting, restored awnings, and new signage will retain the unique character of the landmark, and will have a minor impact on the resource's historic features. *These criteria have been met.*

**5. Historic materials.** Historic materials will be protected. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials will not be used.

**Findings:** No treatments are proposed that would cause damage to historic materials. *This criterion is met.*

**6. Archaeological resources.** Significant archaeological resources affected by a proposal will be protected and preserved to the extent practical. When such resources are disturbed, mitigation measures will be undertaken.

**Findings:** The proposal does not include excavation; therefore, no significant archaeological resources will be affected. *This criterion is not applicable.*

**7. Differentiate new from old.** New additions, exterior alterations, or related new construction will not destroy historic materials that characterize a landmark or contributing resource. New work may be differentiated from the old if the differentiation does not diminish the character, features, materials, form, or integrity of the landmark or contributing resource and, if in a Historic District, the district as a whole.

**8. Architectural compatibility.** New additions, exterior alterations, or new construction will be compatible with the massing, size, scale, and architectural features of the landmark or contributing resource and, if in a district, the district as a whole. When retrofitting to improve accessibility for persons with disabilities or accommodate seismic improvements, design solutions will not compromise the architectural integrity of the landmark or contributing resource.

**9. Preserve the form and integrity of historic resources.** New additions, exterior alterations, or new construction will be undertaken in such a manner that if removed in the future, the essential form and integrity of the landmark or contributing resource and, if in a district, the district as a whole would be unimpaired.

**10. Hierarchy of compatibility.** New additions, exterior alterations, or new construction will be designed to be compatible primarily with the landmark or contributing resource and, if located within a district, secondarily with contributing resources within 200 feet and, finally, with the rest of the district. Where practical, compatibility in districts will be pursued on all three levels.

**Findings:** The proposed alterations will not destroy historic materials that characterize the Mikado Block. The proposed new work will be differentiated from the old by the newness of the materials, but the nature of the material and detailing will ensure that when painted, will blend in with the resource. The proposal will maintain the character, features, materials, form, and integrity of the landmark and the Historic District that it sits within. *These criteria have been met.*

### **Design Guidelines for the Yamhill Historic District**

#### **General Guidelines Alterations and Additions to Historic Landmarks, Potential Landmarks and Other Compatible Buildings**

**A. Retention of Original Construction.** So far as practicable, all original exterior materials and details shall be preserved.

**F. Scale and Proportion.** The scale and proportion of altered or added building elements, the relationship of voids to solids (i.e. openings such as doors and windows to walls and column elements) shall be visually compatible with the traditional architectural character of the Historic District. An important element within the Historic District was the emphasis on the pedestrian scale activities which were characterized with the addition of canvas awnings or permanent canopies. This defined an important scale and proportion element of the District and to the extent possible, this relationship at pedestrian level should be re-established within the District.

**G. Exterior Building Materials.** Most of the buildings within the District were constructed of bearing wall brick masonry (left exposed or covered with plaster), or stone. This feature gives the area much of its textural surface character. Surfaces need to be treated, repaired, and maintained in a manner which is sympathetic to the District.

**2. Storefronts, Doors and Windows.** The shape, size, placement and trim of storefront openings are a key element in establishing the character of a building.

- Where original storefronts remain, preserve and repair. Where covered with other materials, remove and determine condition of original materials.
- Storefronts requiring new materials could consider a wide variety of replacement systems. Building Codes require non-combustible materials (steel, aluminum, etc.), but wood systems may be acceptable provided other means of fire protection are installed. Wood systems should be painted, rather than stained or treated naturally.
- New window and door openings should maintain a similar horizontal and vertical relationship as the originals. Traditionally, windows were two-over-two or one-over-one. Large panes of glass, as used in contemporary storefronts, should be avoided.
- Glazed portions of windows were important elements to the building and should not be altered, painted over or eliminated.
- Clear glass is traditional and should be used instead of tinted glass. Additionally, signs cannot be painted on tinted glass without the possibility of breakage due to the effect of sunlight.
- Re-use original hardware whenever possible. If possible, new hardware should be in keeping with original designs.
- On side-walls, avoid walling-in openings with masonry, if possible. Rather, maintain the opening and replace the glazing, if necessary, with appropriate hard surface materials.

**I. Color.** The colors used in alterations or additions within the District shall be visually compatible with the traditional architectural character of the historic buildings within the area.

- Historically, in the era of the late 1800's and early 1900's, painting was usually done using earth colors, i.e., hues tending towards brown, soft greens, and beiges.
- Bright colors and white were rarely used. Buildings, therefore, are perhaps most appropriately painted using subdued colors. Little or nothing is gained by the use of strong or loud colors, especially those with no tradition of local usage.
- Color combinations will occur, as nearly all buildings will have wood trim or metal ornamentation in addition to their base materials. This, plus the further elaboration of wood storefronts, suggests the use of an overall wall color plus one or two trim colors.

- A method for determining the original wall and trim colors consists of scraping chips from the existing surface and analyzing them microscopically. This should be done whenever the original color is unknown and major repainting is contemplated.

**J. Signs.** Exterior building signage should be visually compatible with the traditional architectural character of the historic buildings in the District. A variety in signage is encouraged, incorporating excellence in graphic design and lettering, careful color coordination with the building, good mounting, readability, and materials, all of which are compatible with and sensitive to the character of the building. Lighting may also be permissible which is creative without being overwhelming. Sign design should be done in an “identification” sense rather than an “advertising” sense. All types of exterior signs are reviewed.

Signs are controlled by three ordinances. One is the Signboard Control Zone (S Zone) which includes the area at the Morrison and Burnside Bridgeheads and along Front Avenue; another is the newly adopted ordinance which regulates signs in C1 Zones (downtown); and finally, the Landmarks Ordinance provides for sign review. Projects should address all ordinances in addition to District compatibility.

**K. Lighting.** Historically, lighting within the District was provided by lighting in the public right-of-way with the use of gas lamps, electrical lights, etc. First floor storefront lighting should be consistent with the overall character of the building and the District.

**L. Awnings/Canopies.** Alterations and/or additions to historic buildings within the District should consider the use of awnings and/or canopies. These should be consistent with the function of the building and the relationship of the awning to adjacent buildings and to the District.

**Findings for A, F, G I, J, K and L:** As noted above, this proposal is for changes to the existing ground level storefronts and roof to the Mikado Block to accommodate a new ground level restaurant. As a city designated landmark and a contributing resource to this district, the Mikado Block is a unique asset to Portland. Because of this, the proposed changes have been designed to ensure minimum impact to the resource:

- Entries:
  - The new doors and vestibules have been designed to work with the existing architectural details. No changes are being proposed to the patterns of the building.
  - The proposed new side entry door on SW Taylor street will utilize an existing window opening, thus maintaining the relationship of voids to solids. This new egress enhances the pedestrian relationship at the ground level.
  - The ground level walls are masonry covered with plaster, and the new walls at the recessed entries will have plaster to match the existing texture.
  - The two existing doors and one window to be replaced are not original to the building. The proposed new doors will be wood construction and the detailing references the architecture of the existing building.
  - The side wall (along SW Taylor Street) will be treated in the same fashion as the wall along SW 1st Avenue. The only surfaces to be painted have already been painted, therefore design review for the color is not required.
- Signage:
  - The proposed projecting corner sign will be illuminated, but is designed, sized and detailed to fit well on the corner of the building. The sign will be mounted on an existing quarter round steel panel at the corner of the building.
  - The existing awnings along SW 1st Avenue will remain. New covering are proposed to clean them up and the new signage will be integrated into the design of the fabric awnings.
- Lighting:
  - The selected pendants and wall sconces are appropriate to the style of the building and their forms are similar to that of a gas lantern.
- Rooftop Mechanical:
  - The new mechanical equipment has been set back from the roof edges to limit the visual impact of its bulk.

The proposed new entry and new custom glazed wood doors, new lighting, restored awnings, and new signage will retain the unique character of the landmark, and also help to differentiate the sidewalk level of the building and enhance the pedestrian environment along the adjacent sidewalks. *These guidelines have been met.*

### **Central City Fundamental Design Guidelines**

#### **Respond to Context**

**A1. Integrate the River.** Orient architectural and landscape elements including, but not limited to lobbies, entries, balconies, terraces, and outdoor areas to the Willamette River and Greenway. Develop access ways for pedestrians that provide connections to the Willamette River and Greenway.

**A2. Emphasize Portland Themes.** When provided, integrate Portland-related themes with the development's overall design concept.

**A5. Enhance, Embellish, and Identify Areas.** Enhance an area by reflecting the local character within the right-of-way. Embellish an area by integrating elements in new development that build on the area's character. Identify an area's special features or qualities by integrating them into new development.

**A6. Reuse/Rehabilitate/Restore Buildings.** Where practical, reuse, rehabilitate, and restore buildings and/or building elements.

**Findings for A1, A2, A5 and A6:** As noted above, this proposal is for changes to the ground level and roof of the Mikado Block to enable a new restaurant tenant to operate on the ground floor. The proposal includes changes to the entries to meet accessible standards, replacing an existing window with a new entry, adding new ground level lighting and signage, and adding new rooftop mechanical to support the new kitchen on the ground level. The proposed alterations will support this historic urban context in the following ways:

- The existing building is oriented towards the river, and no major changes are proposed.
- The proposed restaurant will bring new vitality to this site that is currently sitting vacant.
- The new wall sconces have been sourced locally from Rejuvenation Hardware (a local company that manufactures in Portland).
- A new entry which will be created along SW Taylor street by replacing an existing window. This new door will access sidewalk seating, enhancing the relationship between the sidewalk and the restaurant and adding visual interest of the street façade.
- Likewise, the wall sconces above will illuminate the right of way and further embellish the historic building.
- The new accessible entrances will restore the original character of the storefronts by replacing existing non-original aluminum doors with custom wood doors that better match the character of the resource.
- The 'Mikado Block' marker will be retained at the existing Taylor street entrance. The proposed new sign enhances and calls attention to the ornate corner column, creating a gateway of sorts.

These changes respond to the historic urban context of the Yamhill Historic District and will enhance this contributing resource, the Mikado Block. They will also add activation, interest, and detail to the ground level of the building. *These guidelines have been met.*

#### **Public Realm**

**A4. Use Unifying Elements.** Integrate unifying elements and/or develop new features that help unify and connect individual buildings and different areas.

**A8. Contribute to a Vibrant Streetscape.** Integrate building setbacks with adjacent sidewalks to increase the space for potential public use. Develop visual and physical

connections into buildings' active interior spaces from adjacent sidewalks. Use architectural elements such as atriums, grand entries and large ground-level windows to reveal important interior spaces and activities.

**B1. Reinforce and Enhance the Pedestrian System.** Maintain a convenient access route for pedestrian travel where a public right-of-way exists or has existed. Develop and define the different zones of a sidewalk: building frontage zone, street furniture zone, movement zone, and the curb. Develop pedestrian access routes to supplement the public right-of-way system through superblocks or other large blocks.

**B2. Protect the Pedestrian.** Protect the pedestrian environment from vehicular movement. Develop integrated identification, sign, and sidewalk-oriented night-lighting systems that offer safety, interest, and diversity to the pedestrian. Incorporate building equipment, mechanical exhaust routing systems, and/or service areas in a manner that does not detract from the pedestrian environment.

**B3. Bridge Pedestrian Obstacles.** Bridge across barriers and obstacles to pedestrian movement by connecting the pedestrian system with innovative, well-marked crossings and consistent sidewalk designs.

**B4. Provide Stopping and Viewing Places.** Provide safe, comfortable places where people can stop, view, socialize and rest. Ensure that these places do not conflict with other sidewalk uses.

**B6. Develop Weather Protection.** Develop integrated weather protection systems at the sidewalk-level of buildings to mitigate the effects of rain, wind, glare, shadow, reflection, and sunlight on the pedestrian environment.

**B7. Integrate Barrier-Free Design.** Integrate access systems for all people with the building's overall design concept.

**C6. Develop Transitions between Buildings and Public Spaces.** Develop transitions between private development and public open space. Use site design features such as movement zones, landscape elements, gathering places, and seating opportunities to develop transition areas where private development directly abuts a dedicated public open space.

**C7. Design Corners that Build Active Intersections.** Use design elements including, but not limited to, varying building heights, changes in façade plane, large windows, awnings, canopies, marquees, signs and pedestrian entrances to highlight building corners. Locate flexible sidewalk-level retail opportunities at building corners. Locate stairs, elevators, and other upper floor building access points toward the middle of the block.

**C8. Differentiate the Sidewalk-Level of Buildings.** Differentiate the sidewalk-level of the building from the middle and top by using elements including, but not limited to, different exterior materials, awnings, signs, and large windows.

**C10. Integrate Encroachments.** Size and place encroachments in the public right-of-way to visually and physically enhance the pedestrian environment. Locate permitted skybridges toward the middle of the block, and where they will be physically unobtrusive. Design skybridges to be visually level and transparent.

**C11. Integrate Roofs and Use Rooftops.** Integrate roof function, shape, surface materials, and colors with the building's overall design concept. Size and place rooftop mechanical equipment, penthouses, other components, and related screening elements to enhance views of the Central City's skyline, as well as views from other buildings or vantage points. Develop rooftop terraces, gardens, and associated landscaped areas to be effective stormwater management tools.

**C12. Integrate Exterior Lighting.** Integrate exterior lighting and its staging or structural components with the building's overall design concept. Use exterior lighting to highlight the building's architecture, being sensitive to its impacts on the skyline at night.

**C13. Integrate Signs.** Integrate signs and their associated structural components with the building's overall design concept. Size, place, design, and light signs to not dominate the skyline. Signs should have only a minimal presence in the Portland skyline.

**Findings for A4, A8, B1, B2, B3, B4, B6, B7, C7, C, 8, C9, C10, C11, C12 and C13:** As noted earlier, this proposal is for changes to the existing ground level and roof to the Mikado Block to enable a new restaurant tenant to operate on the ground floor. The proposed alterations will support the surrounding public realm and sidewalks as follows:

Entries: All three entrances will be recessed to help to transition the building from the public realm.

- The design of the new custom wood entry doors will complement the existing historic Mikado Block, as well as the historic buildings across the street at 818, 824 and 838 SW 1st. Ave.
- The new doorway created along SW Taylor street by replacing an existing window will provide greater articulation of the façade plan, enhancing the pedestrian system. The addition of another point of entry at the ground floor will also provide greater flexibility of use at the sidewalk level, and the streetscape will be enhanced with sidewalk dining accessed by the new entry.
- All three entrances will be accessible.

Lighting: Proposed new lighting will be at the sidewalk level and will enhance security and pedestrian activity, but will limit its impact on the night sky.

- The proposed wall sconces will help lower the scale of the building to a more human scale. These sconces will encourage the use of the right of way.
- The greater level of exterior illumination will enhance pedestrian's perception of safety along the adjacent sidewalks during evening hours and enhance the evening viewing opportunities along the adjacent right of ways.
- The new lighting will also aid in traversing the sloped sidewalk adjacent the building.

Awnings: The existing fabric awnings will remain and be restored. These provide weather protection along SW 1st Avenue.

Signage: The proposed signage will be at the sidewalk level, avoiding impact to the skyline.

- The new illuminated corner sign will add interest at the building corner.
- The new signage on the awnings will provide helpful wayfinding information at the main entry of the new restaurant.
- The colors on the new signage will be reflected in the color of the ground level building walls.

New Rooftop Mechanical Equipment: The new mechanical equipment has been set back from the roof edges to limit the visual impact of its bulk.

The proposed new entry and new custom glazed wood doors, new lighting, restored awnings, and new signage will help to differentiate the sidewalk level of the building and enhance the pedestrian environment along the adjacent sidewalks. *These guidelines have been met.*

## Quality and Resilience

**C2. Promote Quality and Permanence in Development.** Use design principles and building materials that promote quality and permanence.

**C3. Respect Architectural Integrity.** Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal's architectural integrity.

**C5. Design for Coherency.** Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

**Findings for C2, C3 and C5:** The proposed alterations will be high quality and will support resilience as follows:

- The custom solid wood glazed doors will be of a quality of material, detailing and craftsmanship.
- The new doorway to be created along SW Taylor street respects the architecture of the existing building by maintaining the gentle arch of the existing opening.

- The design of the wood doors incorporates elements of neighboring buildings, and the new pendants and wall sconces will create a coherent composition along both sides of the building façade.

*These guidelines have been met.*

## DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

## CONCLUSIONS

The purpose of the Historic Resource Review process is to ensure that additions, new construction, and exterior alterations to historic resources do not compromise their ability to convey historic significance. The proposed changes to this contributing resource, the Mikado Block, are intended to accommodate a new restaurant at the ground level. The proposed alterations are strategic and are targeted to ensure minimum impact. The careful design of the new entry and new glazed custom wood doors, new lighting, restored awnings, and new signage will enhance the resource and add activation, interest, and detail to the ground level. This proposal meets the applicable Historic Resource Review criteria and therefore warrants approval.

## ADMINISTRATIVE DECISION

Approval of exterior alterations to the Mikado Block:

- Entries: Replace two existing entry doors and one window with new custom wood glazed entry doors and sidelights.
- Lighting: Add new pendant fixtures over entries and twelve new wall sconces.
- Signage: Add an illuminated corner projecting sign (26 square feet), and new signage on the faces of the fabric awnings (48 square feet).
- Rooftop Mechanical: Add new rooftop mechanical to support the new kitchen on the ground level.

Approval per the approved plans, Exhibits C-1 through C-20, signed and dated May 27, 2025, subject to the following conditions:

- As part of the building permit application submittal, the following development-related conditions (B through C) must be noted on each of the four required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE- Case File LU 25-022904 HR." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portland.gov/ppd/documents/design-and-historic-resource-review-approvals-certificate-compliance>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.
- No field changes allowed.

**Staff Planner: Grace Jeffreys**

**Decision rendered by:**  **on May 27, 2025**  
By authority of the Director of Portland Permitting & Development

**Decision mailed: May 29, 2025**

**About this Decision.** This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Portland Permitting & Development Center at 503-823-7300 for information about permits.

**Procedural Information.** Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on March 24, 2025. The application was determined to be complete on April 9, 2025.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, applicant did not waive or extend the 120-day review period Unless further extended by the applicant, **the 120 days will expire on: August 7, 2025.**

**Some of the information contained in this report was provided by the applicant.**

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. Portland Permitting & Development has independently reviewed the information submitted by the applicant and has included this information only where Portland Permitting & Development has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of Portland Permitting & Development with input from other City and public agencies.

**Conditions of Approval.** If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

**This decision, and any conditions associated with it, is final.** It may be appealed to the Oregon Land Use Board of Appeals (LUBA), within 21 days of the date the decision is mailed, as specified in the Oregon Revised Statute (ORS) 197.830. Among other things, ORS 197.830 requires that a petitioner at LUBA must have submitted written testimony during the comment period for this land use review. Contact LUBA at 775 Summer St NE Suite 330, Salem, OR 97301-1283 or phone 1-503-373-1265 for further information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7300, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at [www.portlandonline.com](http://www.portlandonline.com).

**Recording the final decision.**

If this Land Use Review is approved the final decision will be recorded with the Multnomah County Recorder.

- *Unless appealed*, the final decision will be recorded after **May 29, 2025**, by Portland Permitting & Development.

The applicant, builder, or a representative does not need to record the final decision with the Multnomah County Recorder.

For further information on your recording documents please call Portland Permitting & Development Land Use Services Division at 503-823-7300.

**Expiration of this approval.** Generally, land use approvals (except Comprehensive Plan and Zoning Map Amendments) expire five years from the date of the final decision unless one of the actions below has occurred (see Zoning Code Section 33.730.130 for specific expiration rules):

- A City permit has been issued for the approved development, or
- The approved activity has begun (for situations not requiring a permit).

In situations involving only the creation of lots, the final plat must be submitted within three years.

**Applying for your permits.** A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code for the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

#### **EXHIBITS**

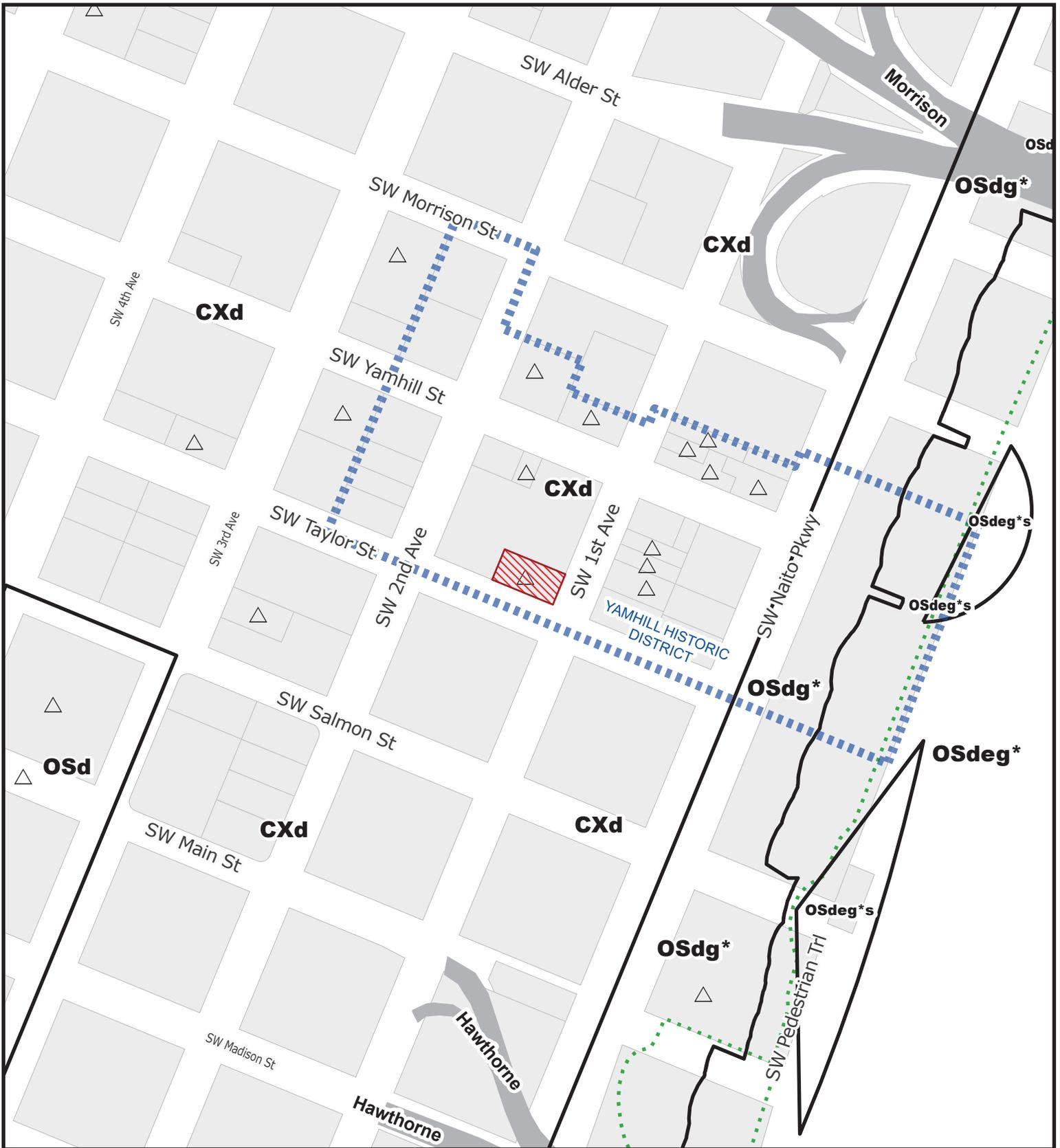
NOT ATTACHED UNLESS INDICATED

- A. Applicant's Submittals
  1. Narrative
  2. Drawings
  3. Door details
  4. Light Fixtures 4-9-25
  5. Corner Sign 4-9-25
  6. Awning Signs 5-23-25
- B. Zoning Map (attached)
- C. Plans/Drawings:
  1. Site Plan and Existing Ground Level plan (**attached**)
  2. Proposed Ground Level Plan
  3. Existing Roof Plan
  4. Proposed Roof Plan
  5. Existing South Elevation
  6. Existing East Elevation
  7. Proposed South Elevation and East Elevation (**attached**)
  8. Building Section
  9. Storefront Details
  10. Storefront Details
  11. Roof Sections
  12. Door Details
  13. Door Details
  14. Door Details
  15. Door Details
  16. Door Details
  17. Light Details
  18. Light Details
  19. Corner Sign
  20. Awning Signs
- D. Notification information:

1. Mailing list
2. Mailed notice
- E. Agency Responses:
  1. PP&D Transportation
  2. PP&D Water
  3. PP&D Life Safety
  4. Fire Bureau
- F. Correspondence: None received
- G. Other:
  1. Original LU Application
  2. SHPO form
  3. HRI Form
  4. Extract from 1976 Yamhill HD Nomination
  5. Email chain
  6. City Ordinance 54140 designating Mikado Block

**The City of Portland ensures meaningful access to City programs, services, and activities to comply with Civil Rights Title VI and ADA Title II laws and reasonably provides: translation, interpretation, modifications, accommodations, alternative formats, auxiliary aids and services. Request these services online or call 503-823-4000, Relay Service: 711.**

**503-823-4000 Traducción e Interpretación | Biên Dịch và Thông Dịch |  
口笔译服务 | Устный и письменный перевод | Turjumaad iyo Fasiraad |  
Письмовий і усний переклад | Traducere și interpretariat | Chiaku me  
Awewen Kapas | अनुवादन तथा व्याख्या**



For Zoning Code in Effect Post October 1, 2024

# ZONING

THIS SITE LIES WITHIN THE:  
 CENTRAL CITY PLAN DISTRICT  
 DOWNTOWN SUBDISTRICT  
 YAMHILL HISTORIC DISTRICT

-  Site
-  Historic Landmark
-  Recreational Trails

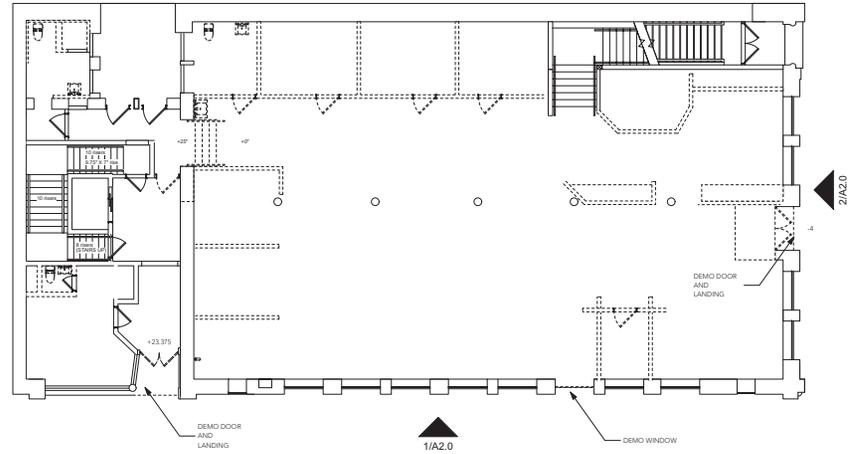
File No.	<u>LU 25 - 022904 HR</u>
1/4 Section	<u>3129</u>
Scale	<u>1 inch = 200 feet</u>
State ID	<u>1S1E03BA 2200</u>
Exhibit	<u>B</u> <u>Mar 25, 2025</u>

**BUILDING INFORMATION**

ADDRESS: 837 SW 1ST AVE  
 [E] BUILDING AREA: 17,380 SQFT  
 STORIES: 3 + BASEMENT  
 CONSTRUCTION TYPE: IIIB  
 PROPERTY ID: R245934  
 ZONING: CX  
 OVERLAY: D  
 CONTRIBUTING HISTORIC LANDMARK IN YAMHILL HISTORIC DISTRICT



**1** SITE LOCATION  
**A0.2** NTS



**2** 1ST FLOOR AS BUILT / DEMO PLAN (ONLY EXTERIOR WORK CALLED OUT)  
**A0.2** 1/8" = 1'



**CADIUM DESIGN**  
 Annabelle Lee 907.209.7879  
 cadiumdesign.com PDX, OR

**NH**  
 837 SW 1ST AVE, PORTLAND, OR 97204

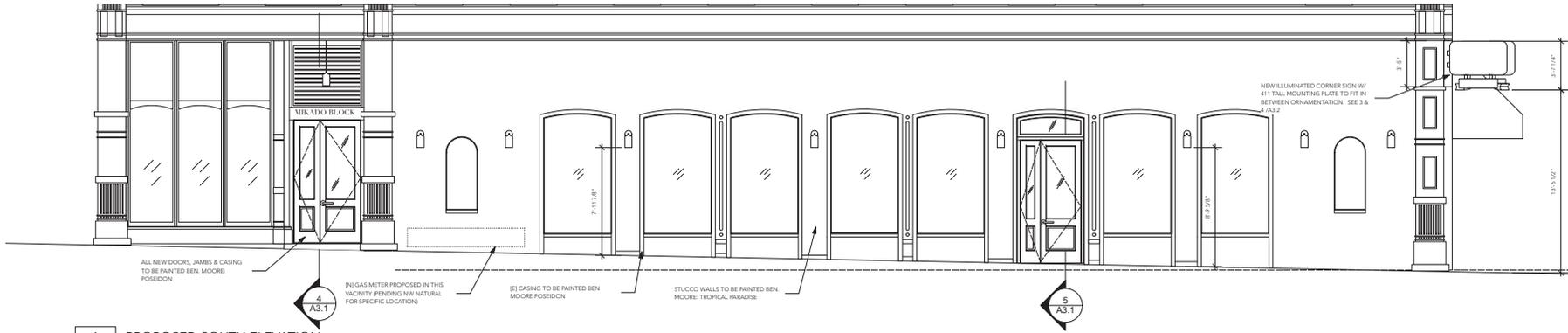
LU REVIEW  
 DATE: 03/24/25  
 FULL SIZE DRAWING IS 22" X 34"  
 DRAWING:  
 LU COVER PAGE - BUILDING  
 INFO, SITE LOCATION & AS  
 BUILT / DEMO PLAN (FIRST  
 FLOOR ONLY)

**A0.2**

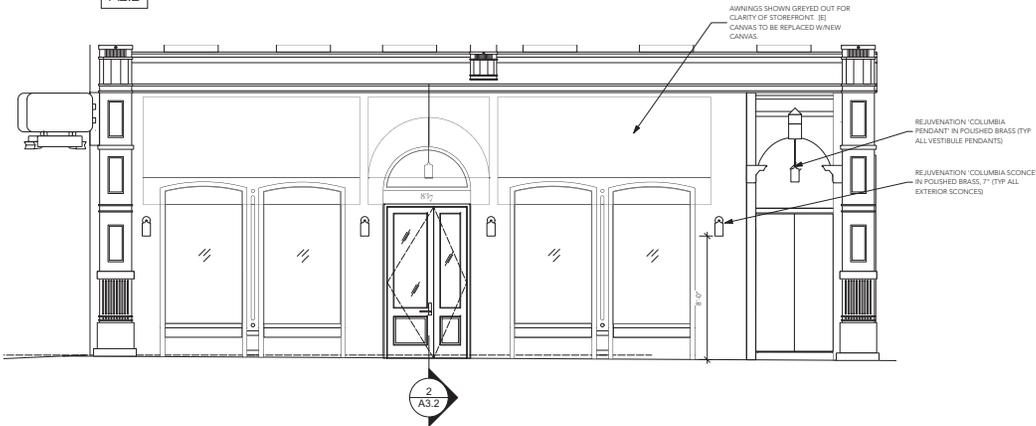
\*Approved\*  
 City of Portland  
 Portland Permits and Development  
 Planner   
 Date 05-27-2025  
 \* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



**CADIUM DESIGN**  
Annabelle Lee 907.209.7879  
cadiumdesign.com PDX, OR



**1** PROPOSED SOUTH ELEVATION  
**A2.2** 1/4" = 1'



**2** PROPOSED EAST ELEVATION  
**A2.2** 1/4" = 1'

**NHI**  
837 SW 1ST AVE, PORTLAND, OR 97204

LU REVIEW

DATE:  
03.24.25

FULL SIZE DRAWING IS  
22" X 34"  
DRAWING:  
PROPOSED ELEVATIONS

\*Approved\*  
City of Portland  
Portland Permits and Development  
Planner   
Date 05-27-2025  
\* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

**A2.2**

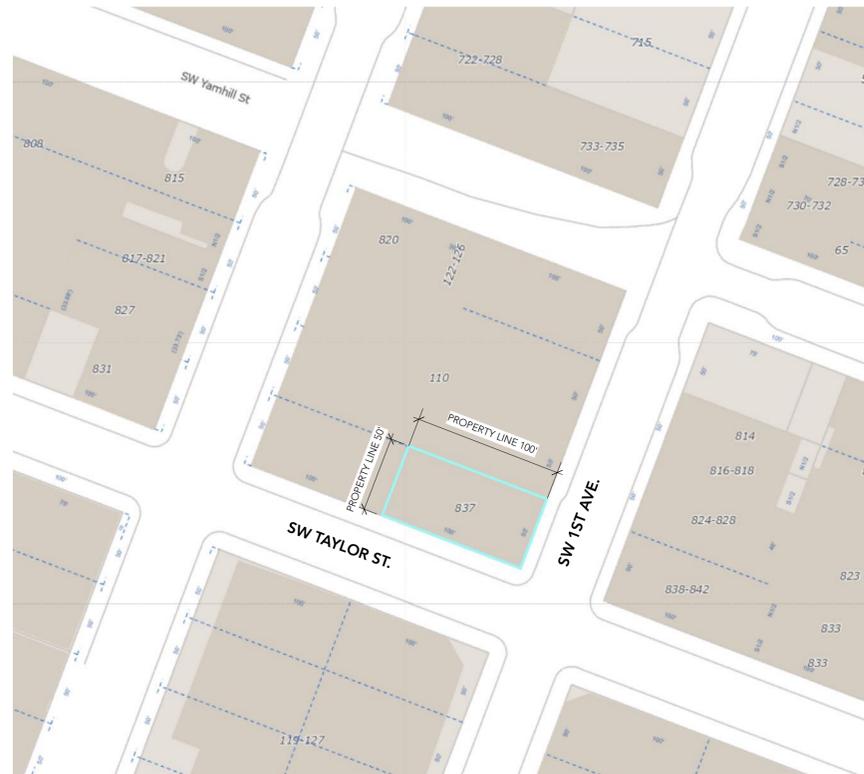


CENTRAL CITY FDG (2003) + YAMHILL HD DATE: 3/21/25		PROJECT NAME: Nhi	CASE NUMBER
		PROJECT ARCHITECT: Annabelle Lee	PROJECT VALUE \$
GENERAL GUIDELINES		Comments	
A. Retention of Original Construction.		Proposed new doors and vestibules have been designed to work with the [e] architectural details.	
B. Cast Iron		N/A	
C. Height.		N/A	
D. Width.		N/A	
E. Visual Integrity of Structure.		No changes are being proposed to the patterns of the building.	
F. Scale and Proportion.		The proposed new side door at Taylor street will utilize an [e] window opening, thus maintaining the relationship of voids to solids. This new egress enhances the pedestrian relationship at the ground level.	
G. Exterior Building Materials.			
	G.1. Walls	The ground level walls are masonry covered with plaster. New walls will have plaster to match the existing texture.	
	G2. Storefronts, Doors and Windows.	The two existing doors and one window we are replacing are not original to the building. The doors we are proposing of wood construction and reference the architecture of the existing building.	
H. Rear and Side Walls.		The side wall (along Taylor Street) will be treated in the same fashion as the wall along SW 1st ave.	
I. Color.		The only surfaces to be painted have already been painted, therefore design review for the color is not required.	
J. Signs.		The proposed sign fits well on the corner of the building and has ornate flourishes that reference the Victorian Italianate architecture of the building.	
K. Lighting.		The selected pendants and wall sconces are the most appropriate to the style of the building that we could find. Their form is similar to that of a gas lantern.	
L. Awnings/Canopies.		The existing awnings along SW 1st avenue will remain. New covering are proposed to clean them up.	
GUIDELINES FOR NEW CONSTRUCTION			
A. Siting.		n/a	
B. Height and Bulk.		n/a	
C. Scale and Proportion.		n/a	
D. Materials, Colors and Texture.		n/a	
E. Rear and Side Walls.		n/a	
F. Signs, Lighting and Other Appurtenances.		n/a	
G. Cast Iron.		n/a	
COMPATIBILITY			
A1: Integrate the River		The existing building is oriented towards the river, no changes are proposed.	
A2: Emphasize Portland Themes		The wall sconces have been sourced from Rejuvenation Hardware (a local company that manufactures in Portland).	
A3: Respect the Portland Block Structures		N/A	
A5: Enhance, Embellish & Identify Areas		The new door along SW Taylor street will access sidewalk seating, thus helping to integrate the right of way. Likewise, the wall sconces will illuminate the right of way and further embellish the historic building.	
A6: Re-use, Rehabilitate, Restore Buildings		The proposed restaurant will bring new vitality to this site that is currently sitting vacant. The new accessible entrances will restore the original character of these storefronts, replacing the aluminum doors that exist today.	

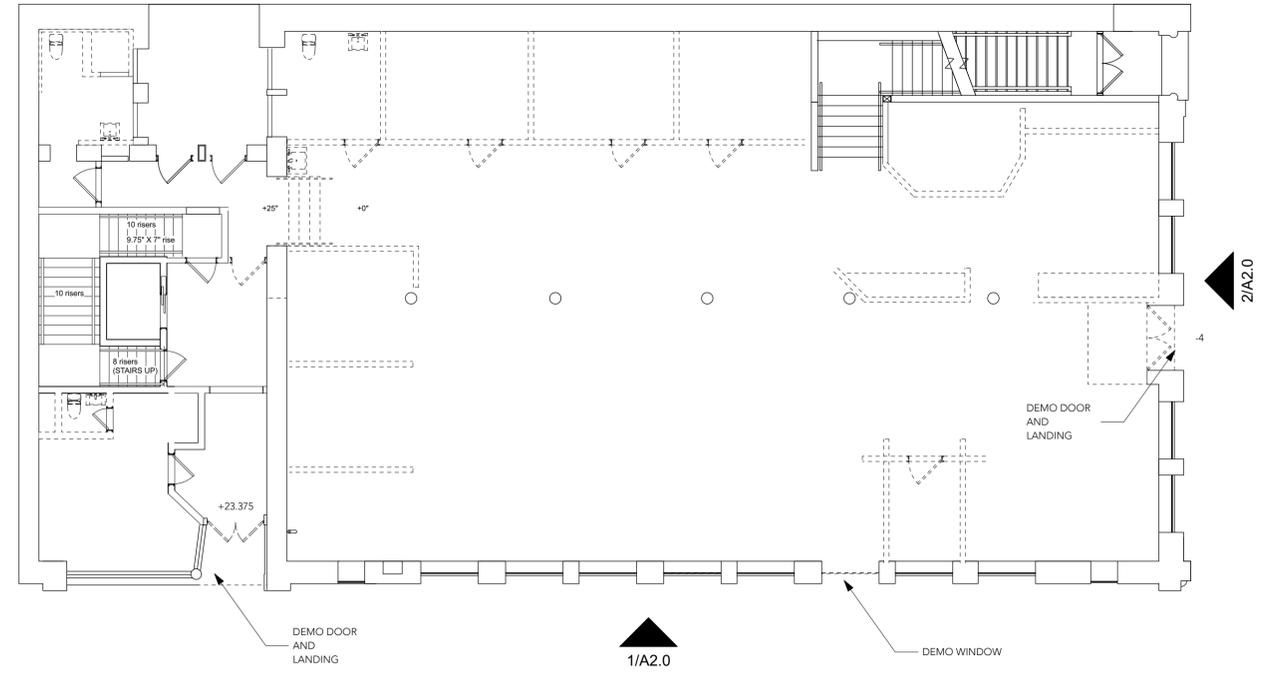
A9: Strengthen Gateways	The 'Mikado Building' marker will be retained at the existing Taylor street entrance. The proposed new sign enhances and calls attention to the ornate corner column, creating a gateway of sorts.
C1: Enhance View Opportunities	The new door along SW Taylor street enhances the relationship between the sidewalk and the restaurant and adds to the visual interest of this street façade.
C4: Complement the Context of Existing Buildings	N/A
D1: Park Blocks	N/A
D2: South Waterfront Area	N/A
D3: Broadway Unique Sign District	N/A
D4: New China/Japantown Unique Sign District	N/A
<b>PUBLIC REALM</b>	
A4: Use Unifying Elements	The design of the new doors complements those the historic buildings across the street, 818, 824 and 838 SW 1st. Ave.
A7: Establish and Maintain a Sense of Urban Enclosure	The proposed wall sconces helps to lower the scale of the building to a more human scale.
A8: Contribute to a Vibrant Streetscape	These sconces encourage the use of the right of way. The Street scape will be further enhances with the sidewalk dining.
B1: Reinforce and Enhance the Pedestrian System	The new doorway along SW Taylor street provides for greater articulation of the façade plan, enhancing the pedestrian system.
B2: Protect the Pedestrian	The greater level of exterior illumination will enhance pedestrians perception of safety during evening hours.
B3: Bridge Pedestrian Obstacles	The lighting will also serve to aid in traversing the sloped sidewalk adjacent the building.
B4: Provide Stopping and Viewing Places	This lighting will enhance the evening viewing opportunities along this right of way.
B5: Make Plazas, Parks & Open Space Successful	n/a
B6: Develop Weather Protection	The existing awning will remain and be restored. These provide weather protection along 1st street.
B7: Integrate Barrier-Free Design	All three new entrances are designed to be accessible.
C6: Develop Transitions Between Buildings & Public Spaces	All of the new entrances propose recessed entries that help to transition the building from the public realm.
C7: Design Corners that Build Active Intersections	The large illuminated sign enhances the building corner.
C8: Differentiate the Sidewalk Level of Buildings	The proposed sign, restored awning, and new sconces all help to differentiate the sidewalk level of the building.
C9: Develop Flexible Sidewalk Level Spaces	The addition of another point of entry at the ground floor helps to provide greater flexibility of use at the sidewalk level.
C10: Integrate Encroachments	The proposed sign, restored awning, and new sconces all encroach in the public right of way, helping to enhance the pedestrian environment.
C11: Integrate Roofs and Use Rooftops	The placement of the mechanical equipment on the roof has been placed to limit the visual impact of it's bulk.
C12: Integrate Exterior Lighting	Proposed new lighting is all at the sidewalk level, enhancing security and pedestrian activity but limiting the impact of it on the night sky.
C13: Integrate Signs	The proposed signage is sidewalk level, avoiding impact of the skyline. The colors utilized on it will be reflected in the color of the ground level building walls.
<b>QUALITY &amp; PERMANENCE</b>	
C2: Promote Permanence & Quality in Design	The custom solid wood doors promote quality of material and craftsmanship.
C3: Respect Architectural Integrity	The new doorway along SW Taylor street respects the architecture of the existing building by maintaining the gentle arch of the existing opening.
C5: Design for Coherency	The wood doors incorporate elements of neighboring buildings and the new sconces create a coherent composition along both sides of the building façade.

**BUILDING INFORMATION**

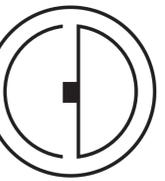
ADDRESS: 837 SW 1ST AVE  
 [E] BUILDING AREA: 17,380 SQFT  
 STORIES: 3 + BASEMENT  
 CONSTRUCTION TYPE: IIIB  
 PROPERTY ID: R245934  
 ZONING: CX  
 OVERLAY: D  
 CONTRIBUTING HISTORIC LANDMARK IN YAMHILL HISTORIC DISTRICT



**1** SITE LOCATION  
**A0.2** NTS



**2** 1ST FLOOR AS BUILT / DEMO PLAN (ONLY EXTERIOR WORK CALLED OUT)  
**A0.2** 1/8" = 1'



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 cadiumdesign.com PDX, OR

**NHI**  
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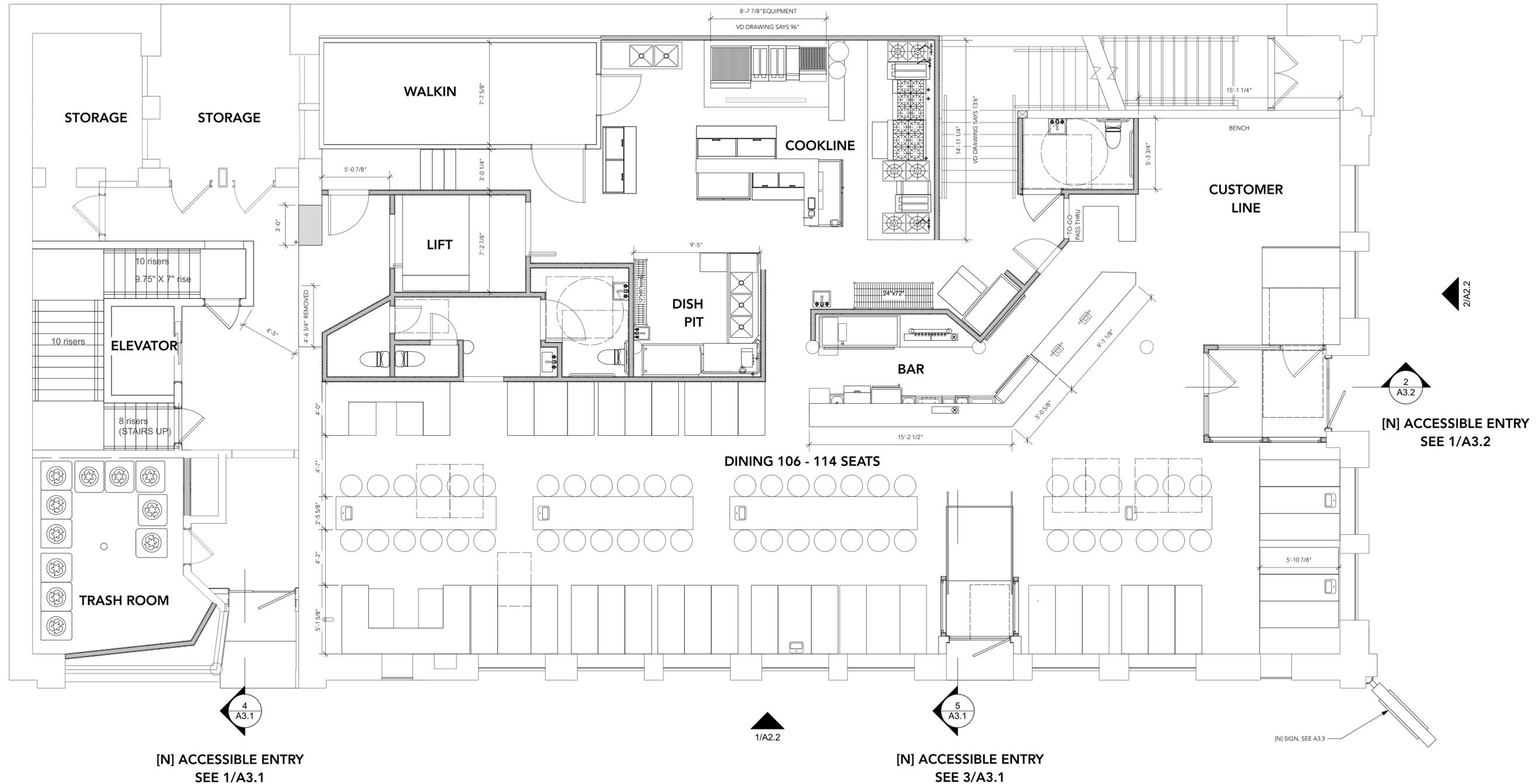
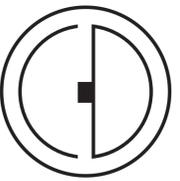
LU REVIEW

DATE:  
 03.24.25

FULL SIZE DRAWING IS  
 22" X 34"

DRAWING:  
 LU COVER PAGE - BUILDING  
 INFO, SITE LOCATION & AS  
 BUILT / DEMO PLAN (FIRST  
 FLOOR ONLY)

**A0.2**



1 1ST FLOOR PROPOSED PLAN  
A1.2 1/4" = 1'

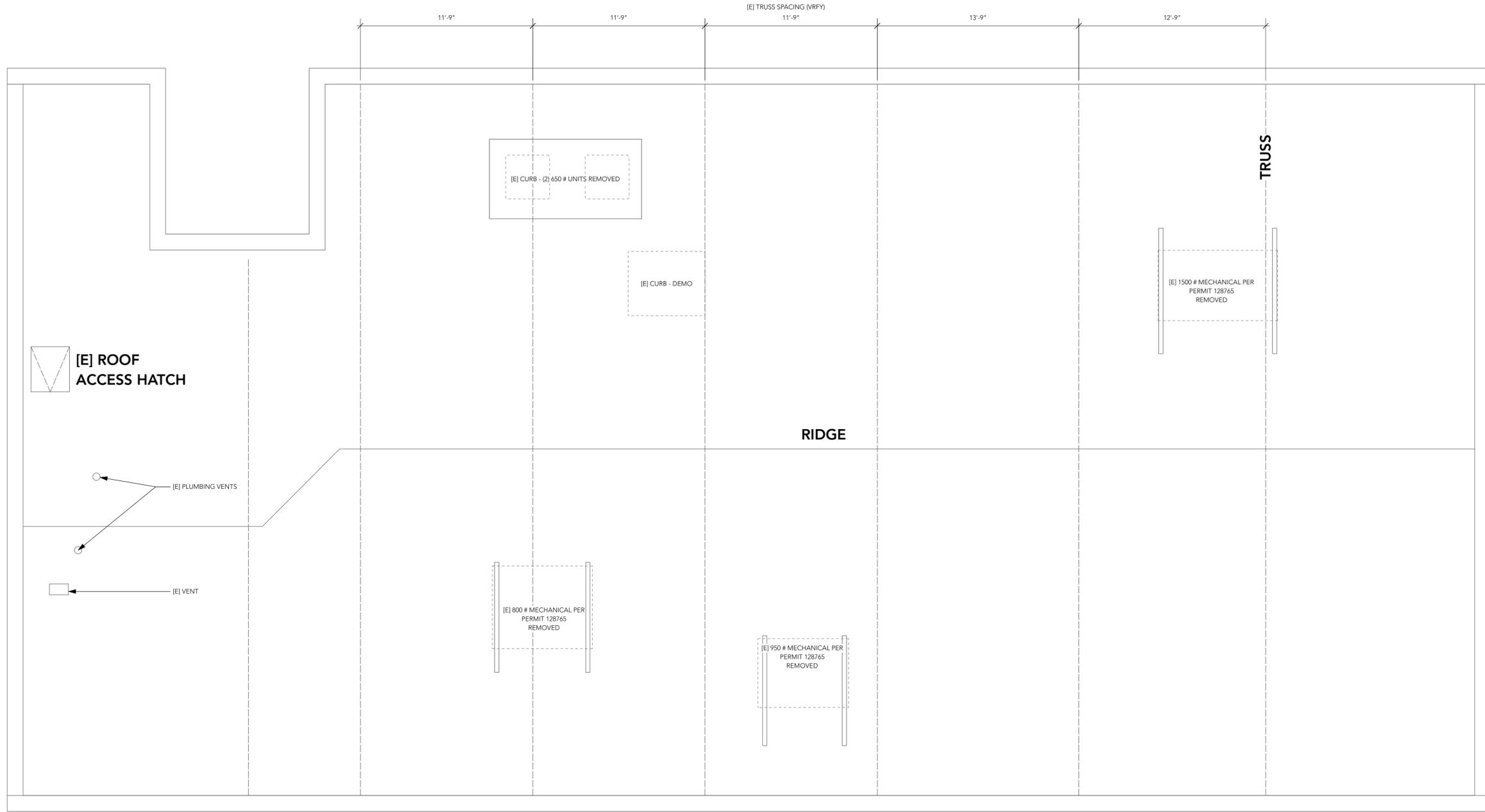
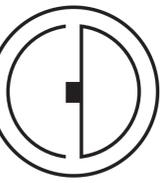
NHI  
837 SW 1ST AVE, PORTLAND, OR 97204

LU REVIEW

DATE:  
03.24.25

FULL SIZE DRAWING IS  
22" X 34"  
DRAWING:  
PROPOSED FLOOR PLAN

A1.2



1	AS BUILT ROOF TOP PLAN
A1.5	1/4" = 1'



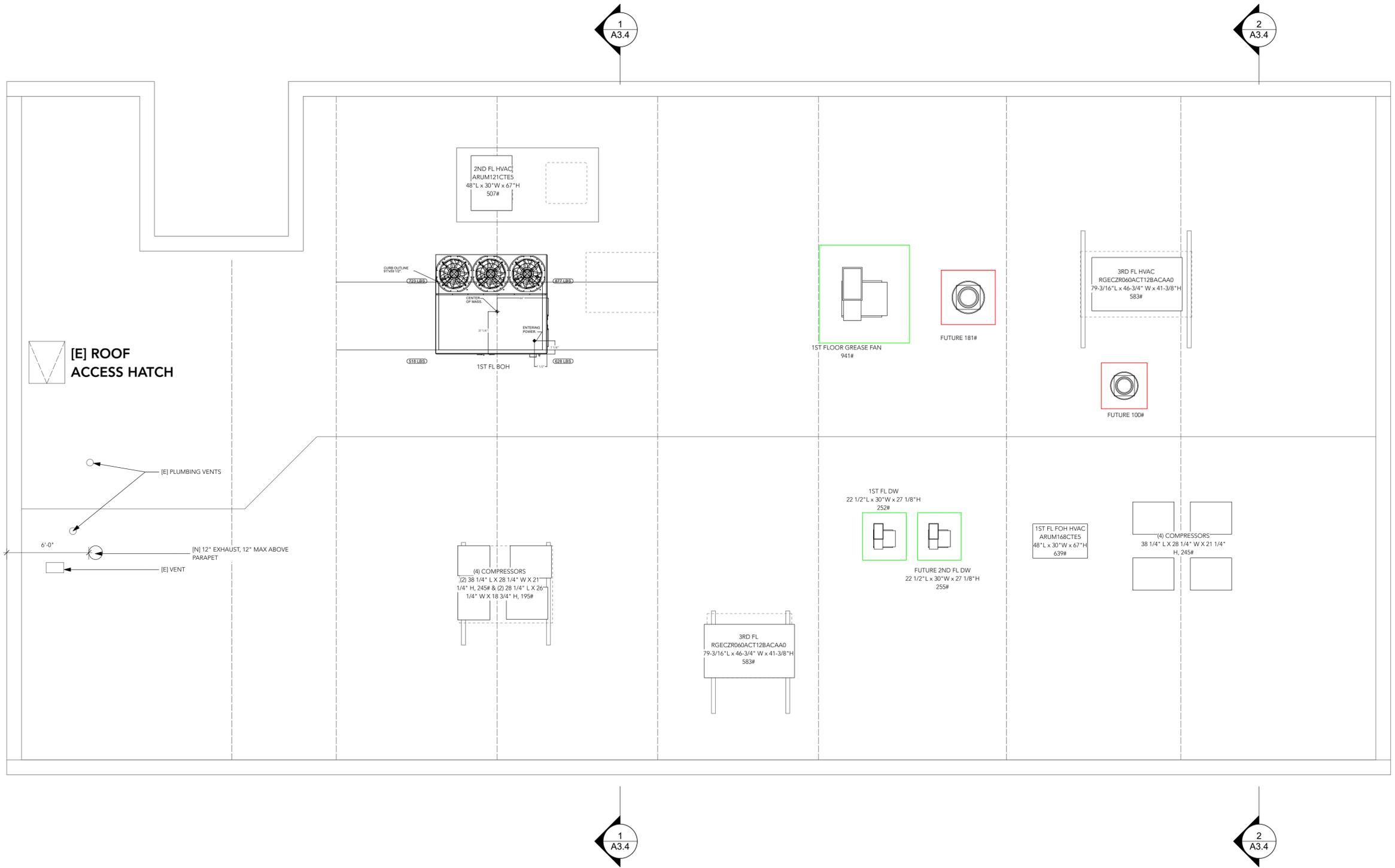
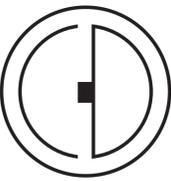
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LU REVIEW

DATE:  
03.24.25

FULL SIZE DRAWING IS  
22" X 34"  
DRAWING:  
AS BUILT ROOF

**A1.5**



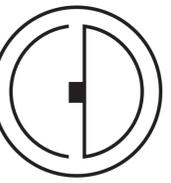
**1** PROPOSED ROOF PLAN  
**A1.6** 1/4" = 1'

**NOTES**  
1. ALL NEW RTU'S MUST HAVE A MATTE FINISH OR BE PAINTED TO MATCH THE ROOF

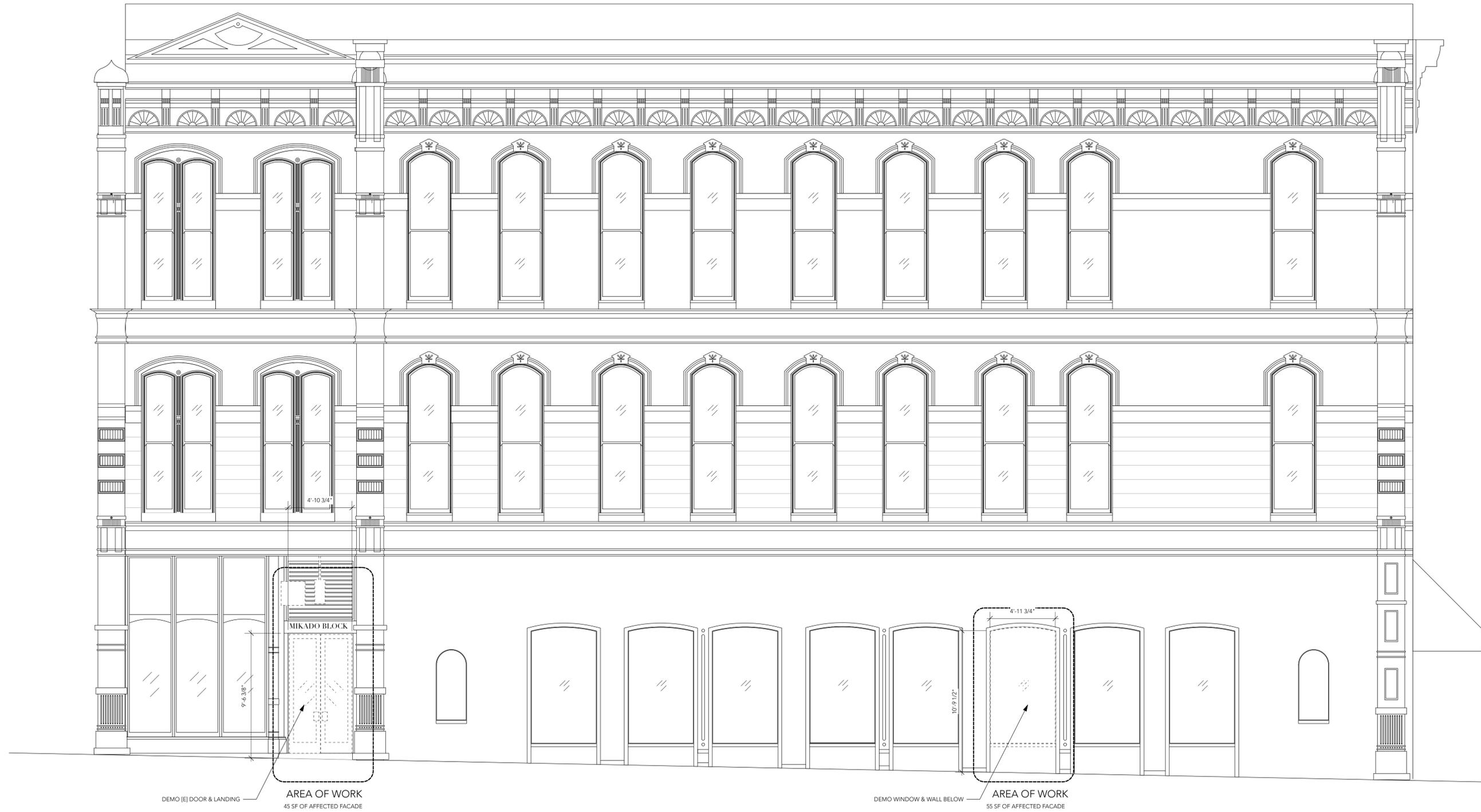
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LU REVIEW  
DATE: 03.24.25  
FULL SIZE DRAWING IS 22" X 34"  
DRAWING: PROPOSED ROOF PLAN

**A1.6**



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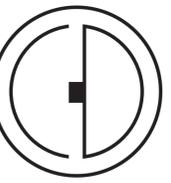


1 AS BUILT SOUTH ELEVATION  
A2.0 1/4" = 1'

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LU REVIEW  
DATE:  
03.24.25  
FULL SIZE DRAWING IS  
22" X 34"  
DRAWING:  
ELEVATIONS

A2.0



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1 AS BUILT EAST ELEVATION  
A2.1 1/4" = 1'

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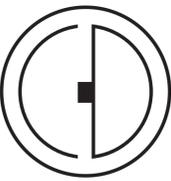
LU REVIEW

DATE:  
03.24.25

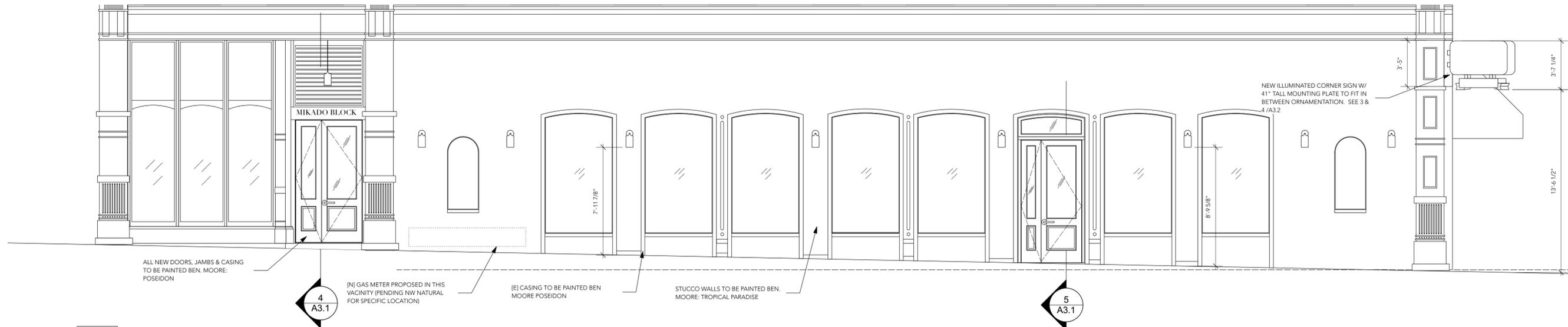
FULL SIZE DRAWING IS  
22" X 34"

DRAWING:  
ELEVATIONS

A2.1



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**1** PROPOSED SOUTH ELEVATION  
A2.2 1/4" = 1'



**2** PROPOSED EAST ELEVATION  
A2.2 1/4" = 1'

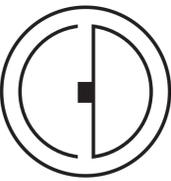
**NHI**  
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LU REVIEW

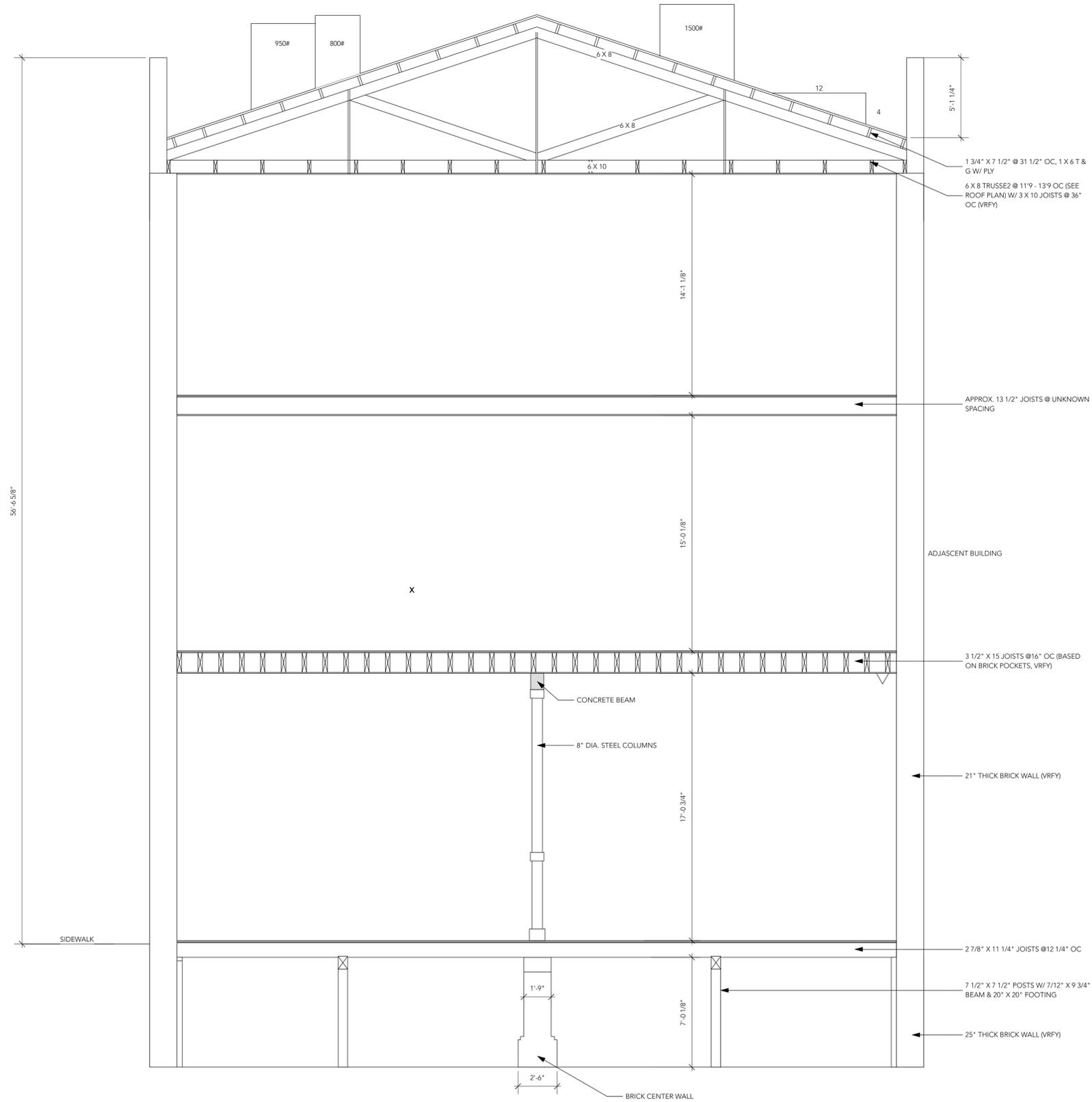
DATE:  
03.24.25

FULL SIZE DRAWING IS  
22" X 34"  
DRAWING:  
PROPOSED ELEVATIONS

**A2.2**



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**1** AS BUILT SECTION  
**A3.0** 1/4" = 1'

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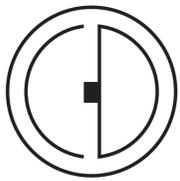
LU REVIEW

DATE:  
 03.24.25

FULL SIZE DRAWING IS  
 22" X 34"

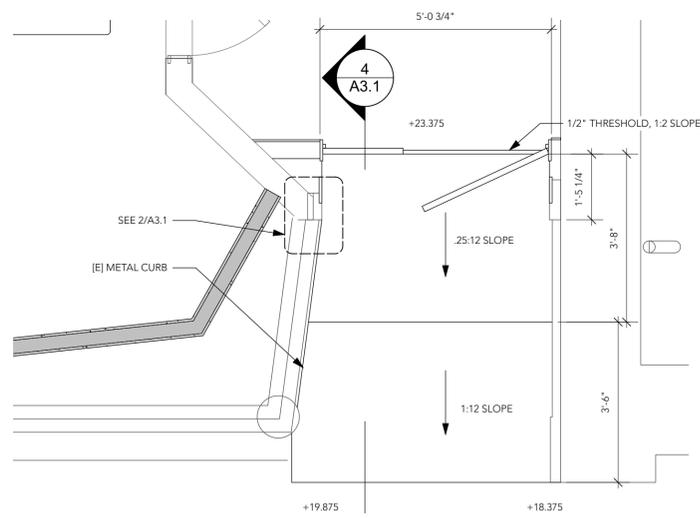
DRAWING:  
 BUILDING SECTION

**A3.0**

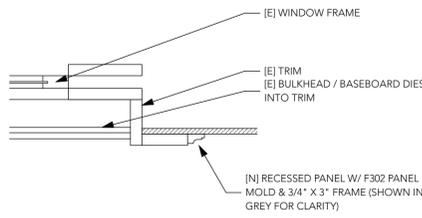


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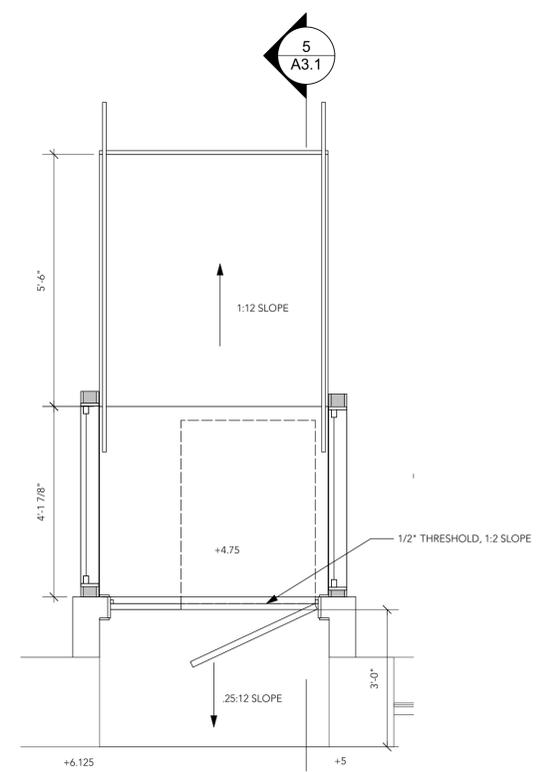
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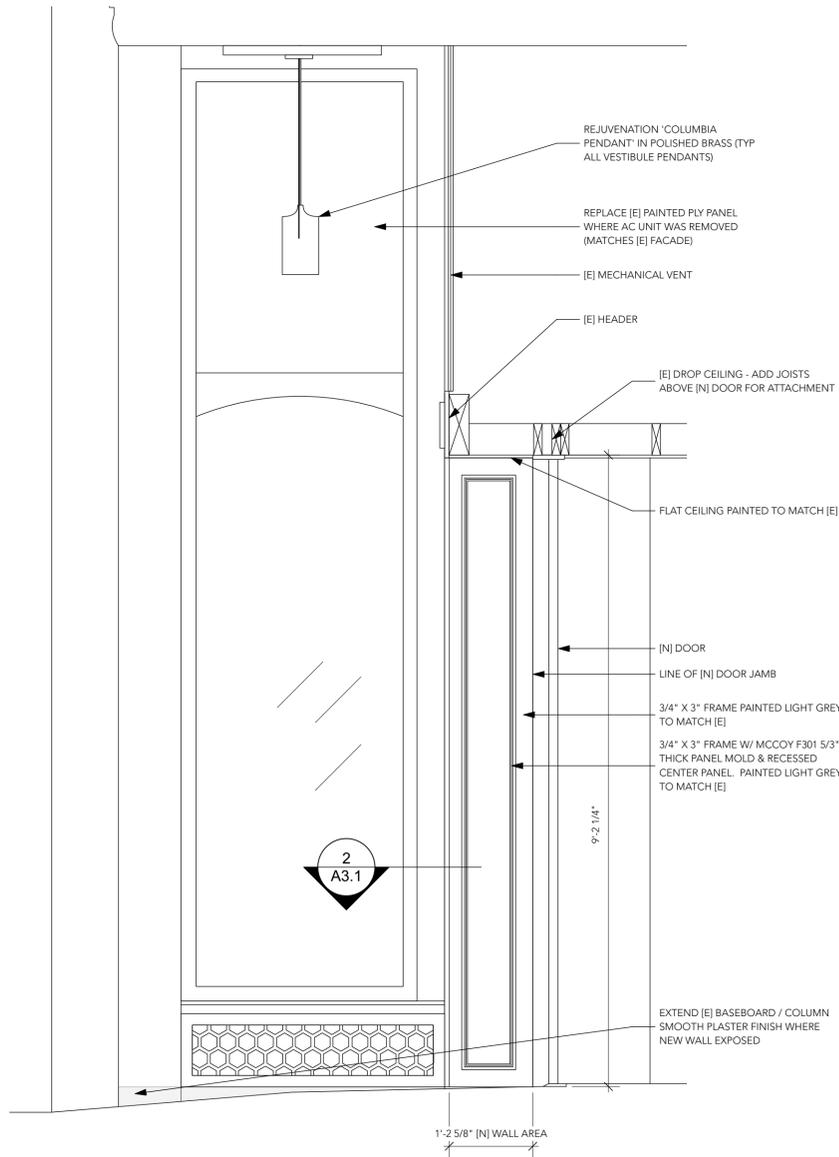
**1** TAYLOR ENTRY  
**A3.1** 1/2" = 1'



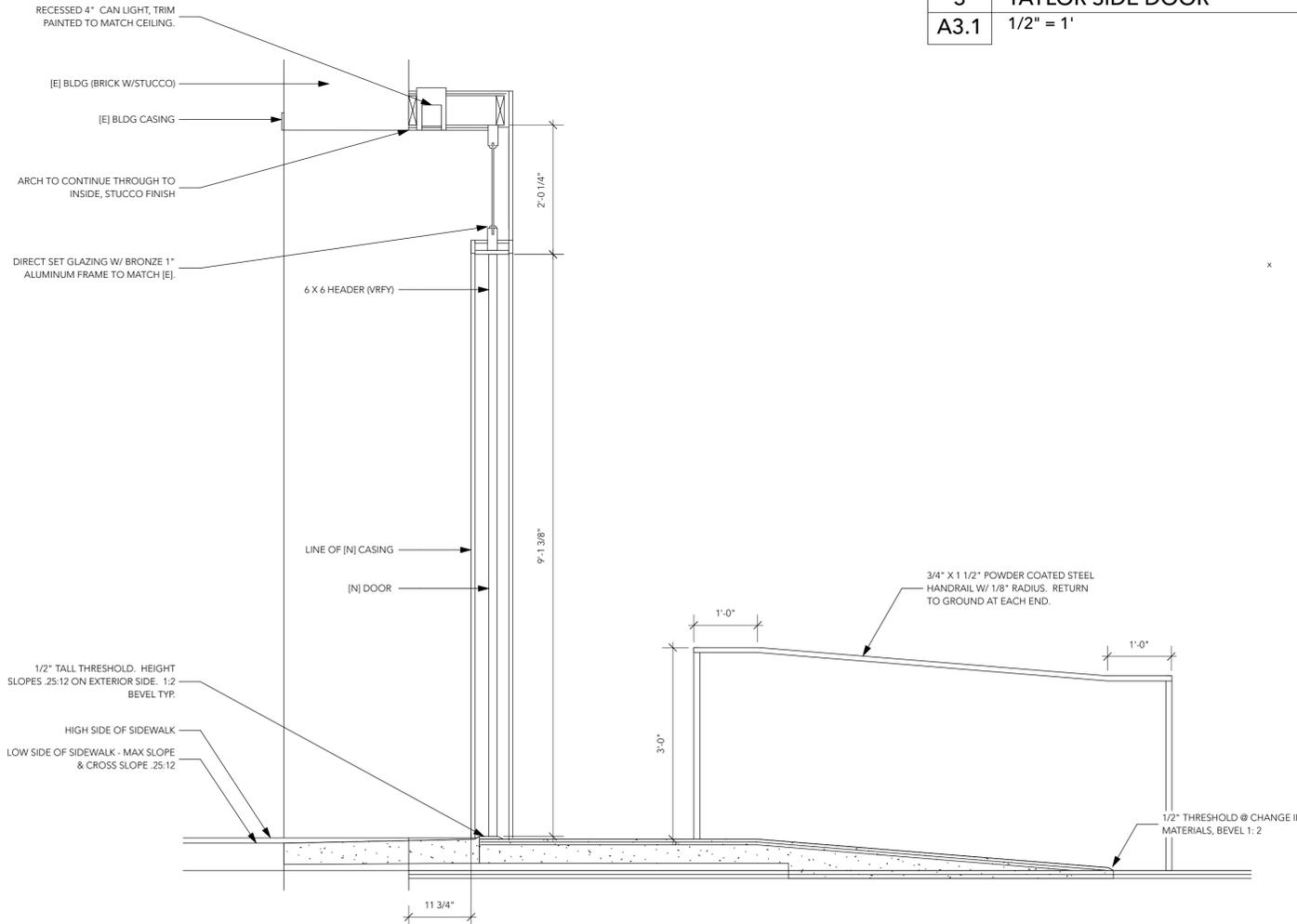
**2** PANEL MOLDING DETAIL  
**A3.1** 2" = 1'



**3** TAYLOR SIDE DOOR  
**A3.1** 1/2" = 1'



**4** TAYLOR ENTRY  
**A3.1** 3/4" = 1'



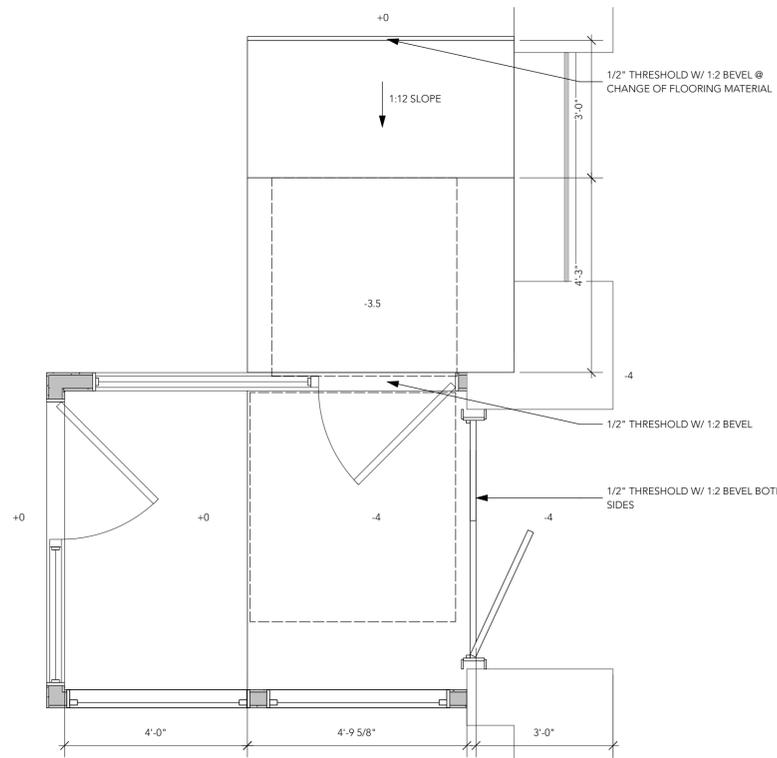
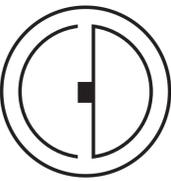
**5** TAYLOR SIDE DOOR  
**A3.1** 3/4" = 1'

LU REVIEW

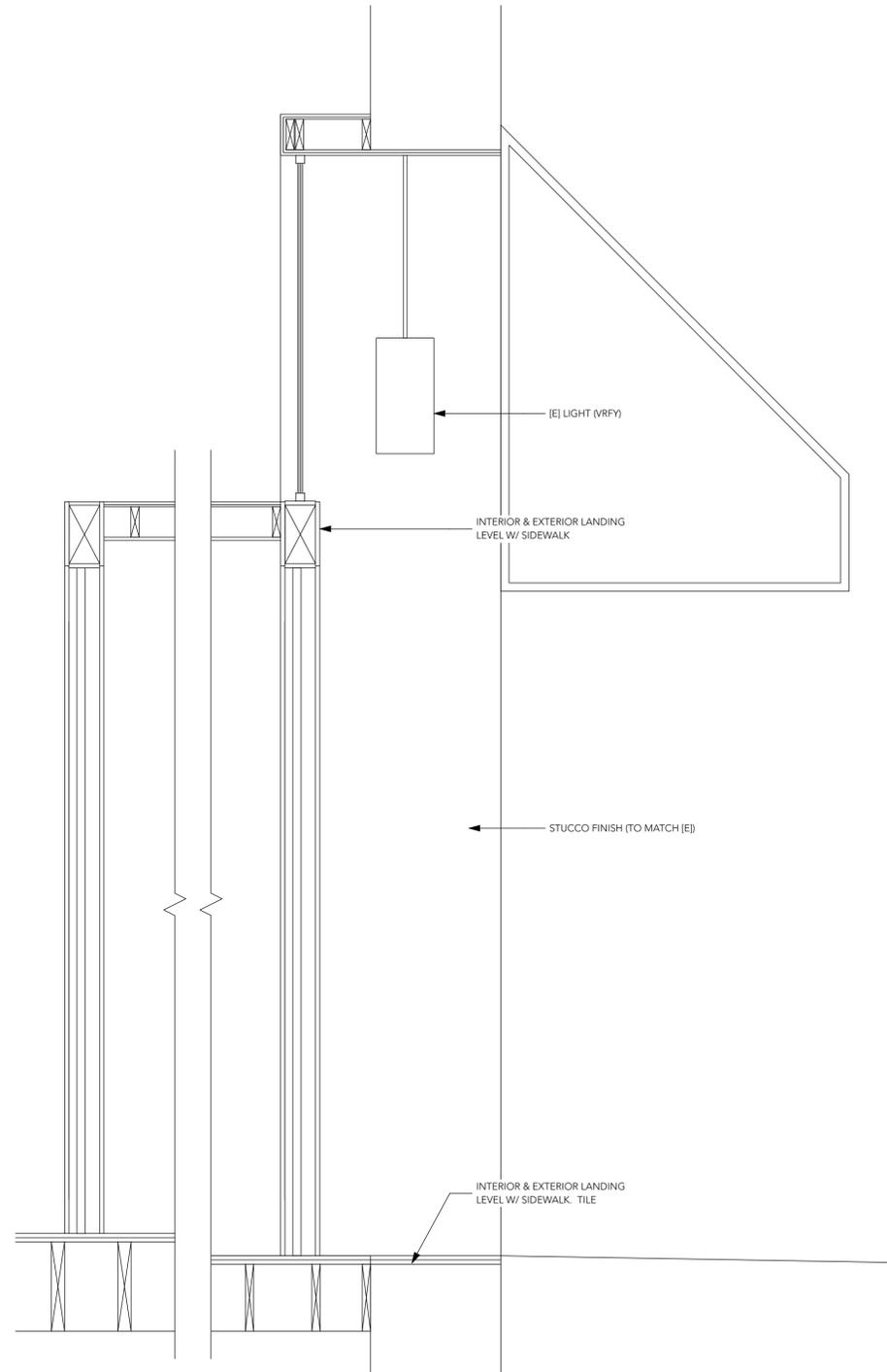
DATE:  
03.24.25

FULL SIZE DRAWING IS  
22" X 34"  
DRAWING:  
STOREFRONT SECTIONS

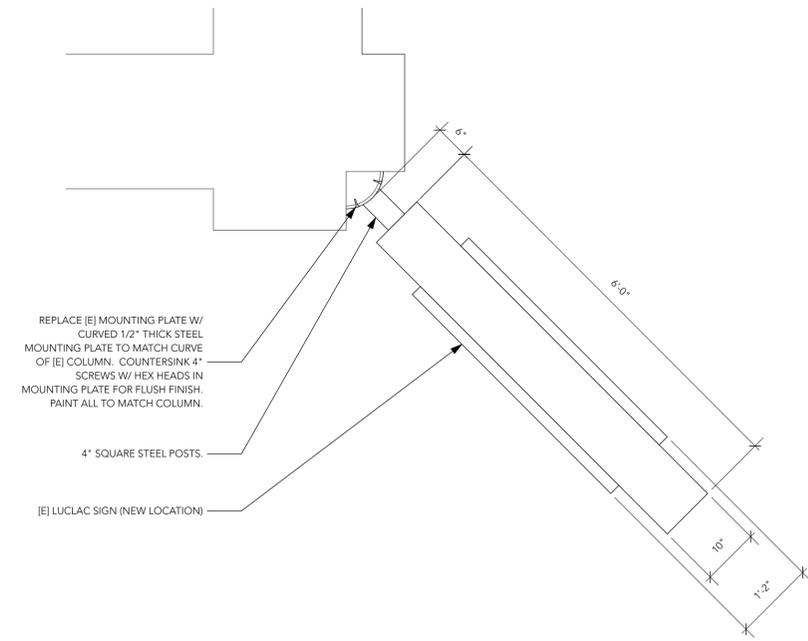
**A3.1**



**1** 1ST STREET ENTRY  
**A3.2** 1/2" = 1'



**2** 1ST STREET ENTRY  
**A3.2** 3/4" = 1'



**3** SIGN PROJECTION  
**A3.2** 3/4" = 1'



**4** BRACKET PLACEMENT  
**A3.2** NTS

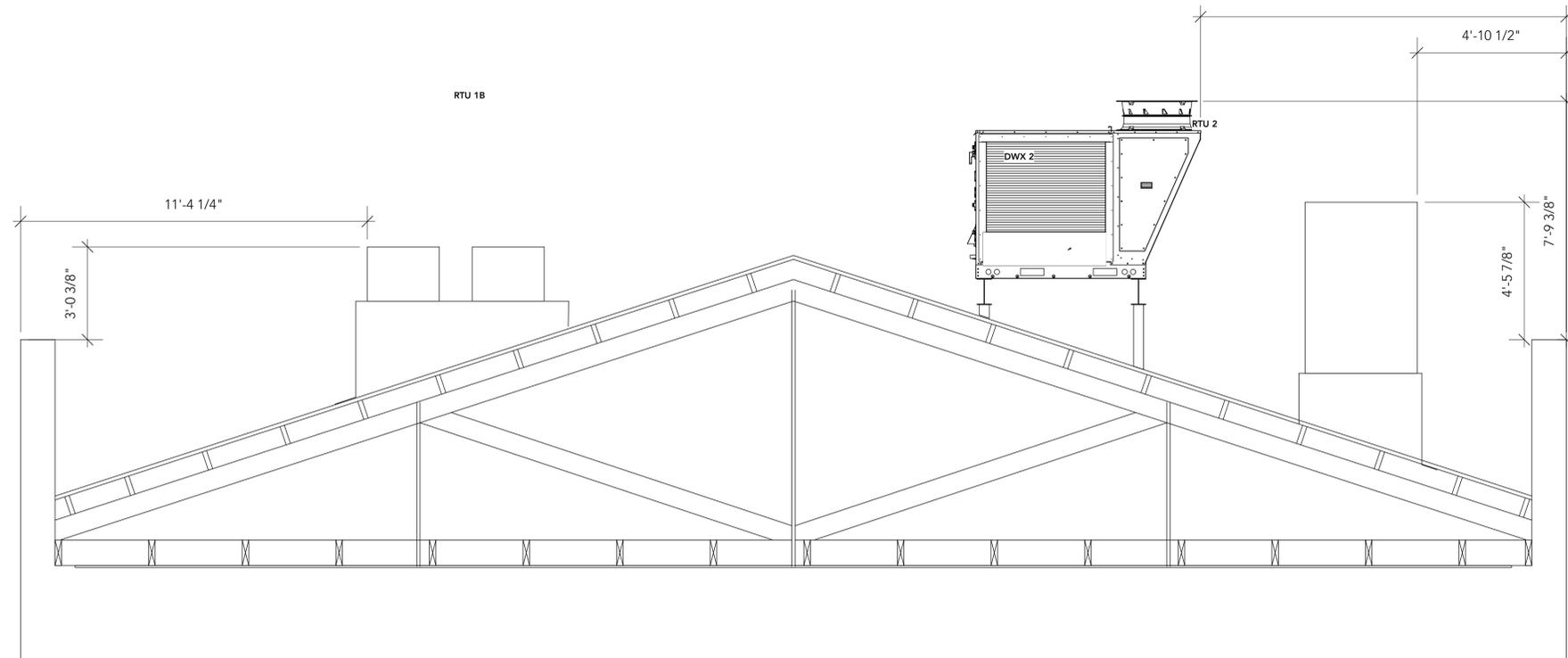
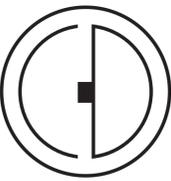
**NHI**  
837 SW 1ST AVE, PORTLAND, OR 97204

LU REVIEW

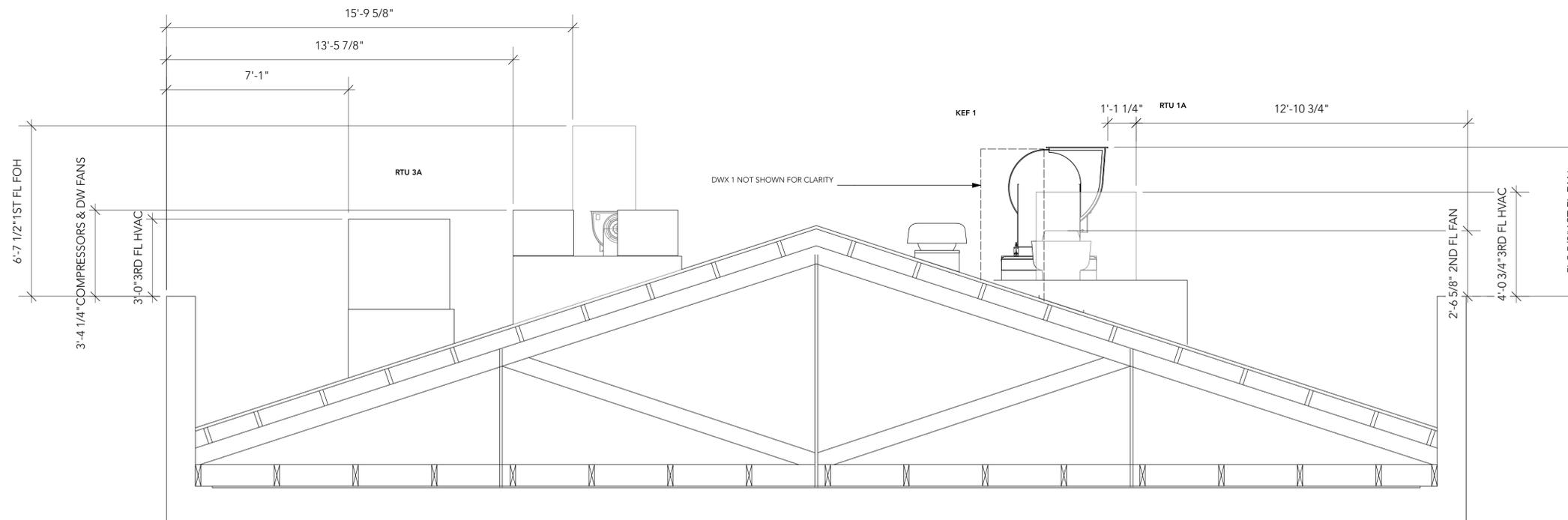
DATE:  
03.24.25

FULL SIZE DRAWING IS  
22" X 34"  
DRAWING:  
STOREFRONT SECTIONS

**A3.2**



**1** RTU SECTION  
**A3.4** 3/8" = 1'



**2** RTU SECTION  
**A3.4** 3/8" = 1'

**NOTES**

- 1. ALL NEW RTU'S MUST HAVE A MATTE FINISH OR BE PAINTED TO MATCH THE ROOF

**NHI**  
837 SW 1ST AVE, PORTLAND, OR 97204

LU REVIEW

DATE:  
03.24.25

FULL SIZE DRAWING IS  
22" X 34"

DRAWING:  
RTU SECTIONS

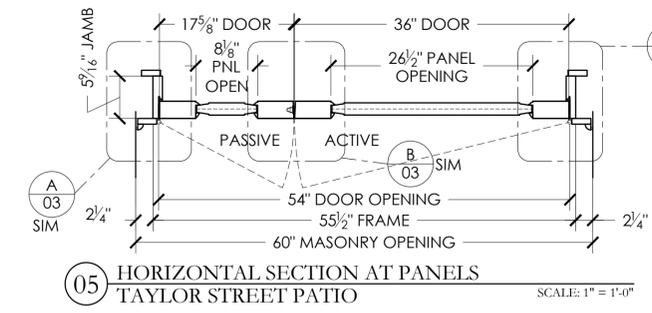
**A3.4**

**MIKADO BLOCK BUILDING**

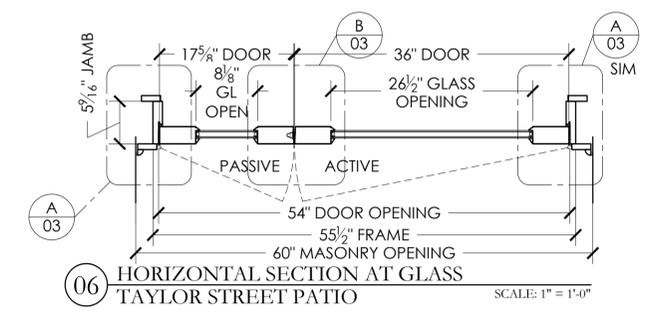
837 SW 1ST AVENUE  
PORTLAND, OR  
97204

Preservation  
Sash  
Milwork  
Cabinetry  
Windows  
Doors

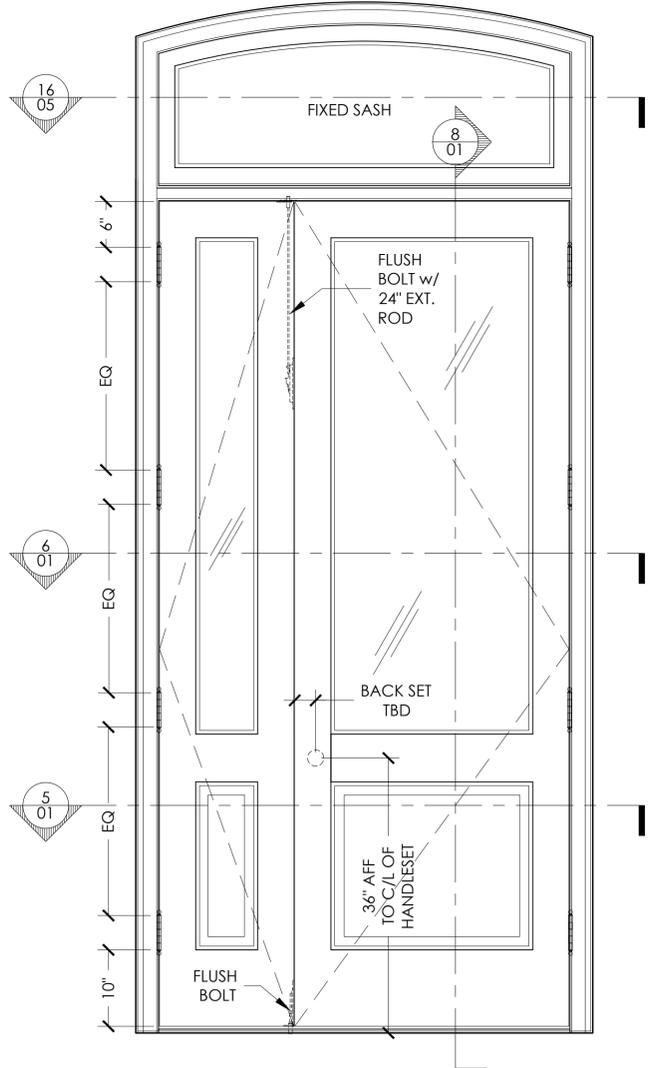
PROJECT #	25007
DRAWN BY	Rex Vaccaro
DATE	03.04.2025
REVISION DATE	03.21.2025
DESCRIPTION	ENTRY DOORS & SIDELIGHTS ELEVATIONS, SECTIONS AND DETAILS
PAGE #	01



05 HORIZONTAL SECTION AT PANELS  
TAYLOR STREET PATIO SCALE: 1" = 1'-0"

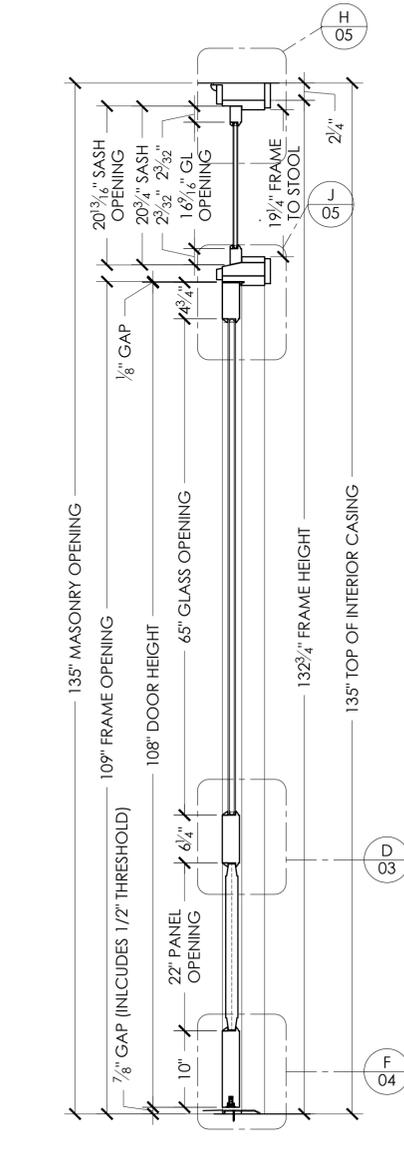


06 HORIZONTAL SECTION AT GLASS  
TAYLOR STREET PATIO SCALE: 1" = 1'-0"

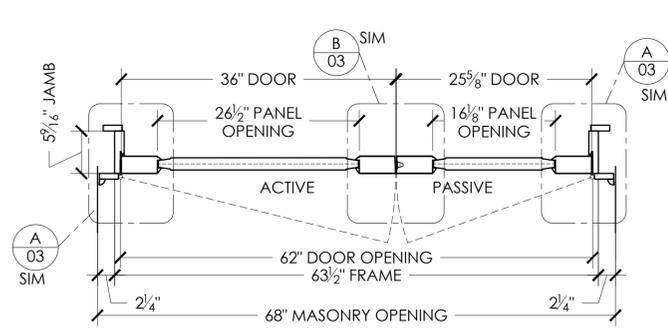


07 EXTERIOR ELEVATION  
TAYLOR STREET PATIO SCALE: 1" = 1'-0"

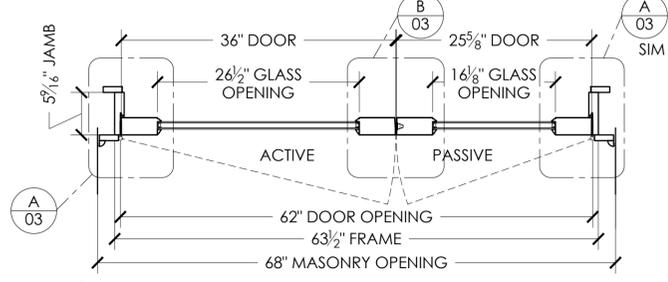
**NOTES** QTY=1  
**MATERIAL:** CVG DOUG FIR  
**FINISH:** FULL PRIME  
**OPERATION:** ACTIVE - LEFT HAND OUTSWING  
 PASSIVE - RIGHT HAND OUTSWING  
**GLASS:** 1/8" TEMPERED OVER 3/8" TEMPERED,  
 LOW-E 272 INSULATED GLASS, ARGON FILLED  
**STICKING:** OVOLO  
**STOPS:** BEVELED  
**MUNTIN:** NONE  
**PANEL DETAIL:** KNIFE 440 B  
**HARDWARE AND PREP INCLUDED:**  
 Deltana Hinges ORB DSB45NB NRP 4.5" x 4.5"  
 w/ Ball Tips DSBT10B, Qty (8)  
 Baldwin Flush Bolt ORB 626.102 - 6", Qty (1)  
 Baldwin Flush Bolt ORB 600.102 - 24", Qty (1)  
 Pemko 411APKL Automatic Door Bottom Qty (2)  
 Pemko 255 Alum Threshold ORB - 72", Qty (1)  
 Lockset - TBD  
**DELIVERY/ACCESS:** FRAME, DOORS AND  
 CASING SHIPPED SEPARATELY



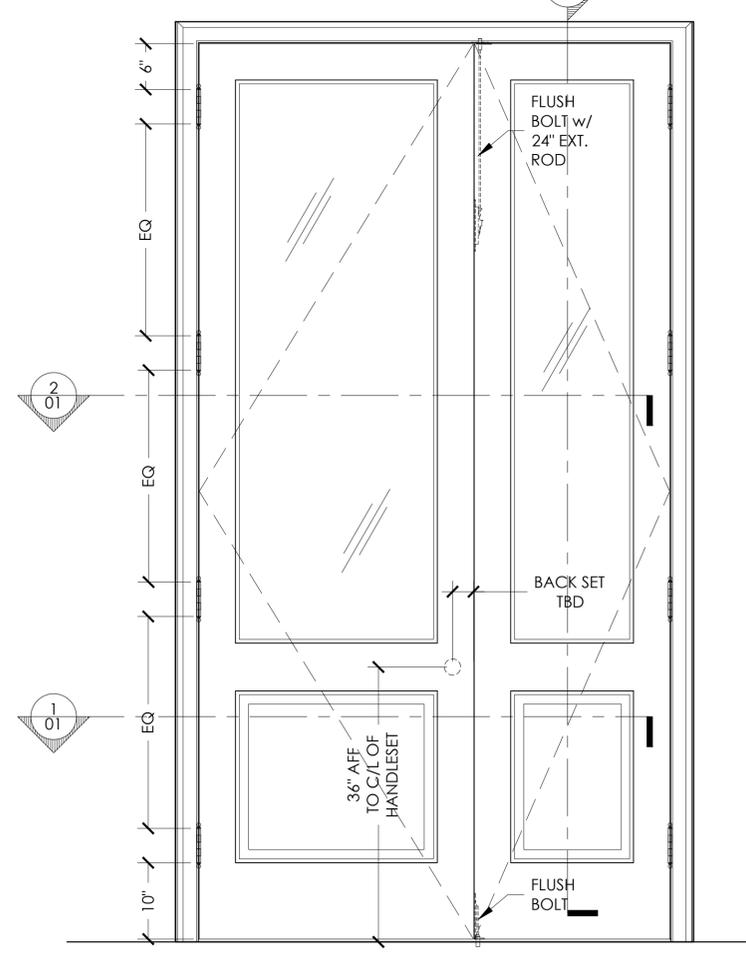
08 VERTICAL SECTION  
TAYLOR STREET PATIO SCALE: 1" = 1'-0"



01 HORIZONTAL SECTION AT PANELS  
1ST STREET - MAIN ENTRY SCALE: 1" = 1'-0"

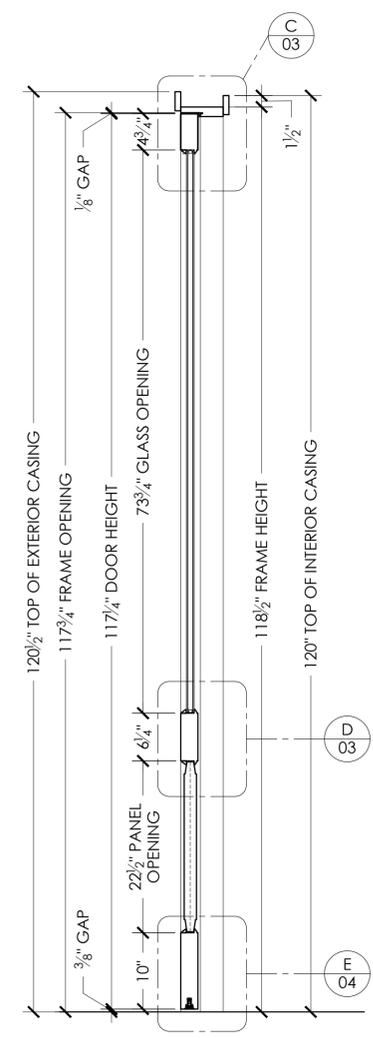


02 HORIZONTAL SECTION AT GLASS  
1ST STREET - MAIN ENTRY SCALE: 1" = 1'-0"

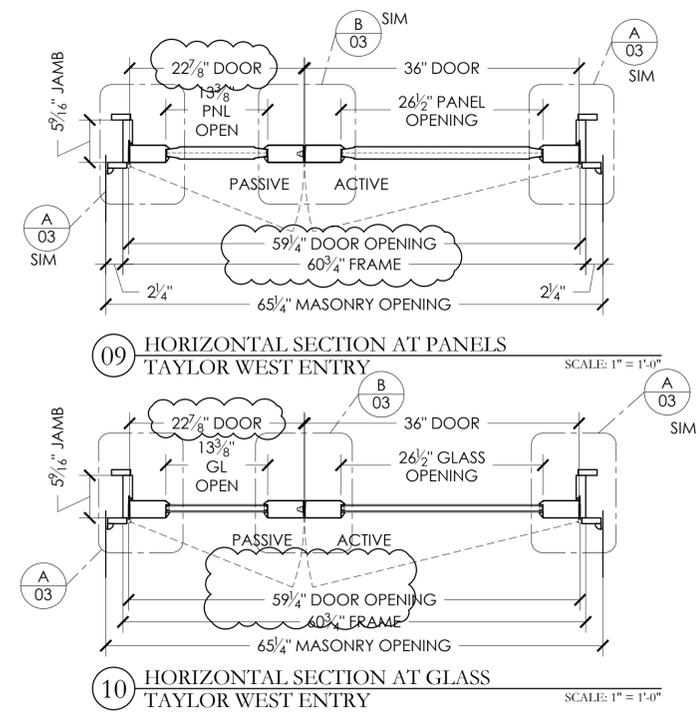
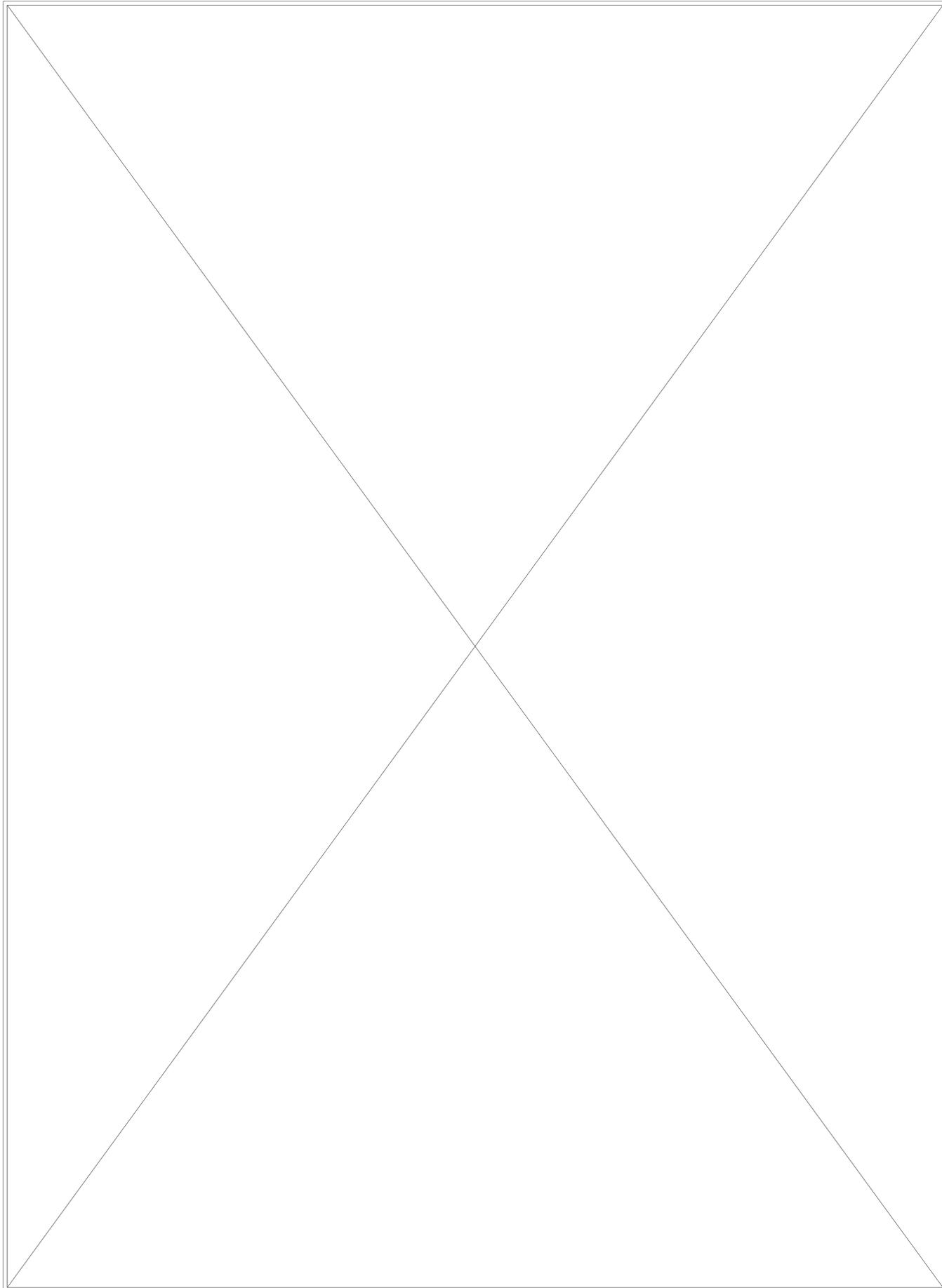


03 EXTERIOR ELEVATION  
1ST STREET - MAIN ENTRY SCALE: 1" = 1'-0"

**NOTES** QTY=1  
**MATERIAL:** CVG DOUG FIR  
**FINISH:** FULL PRIME  
**OPERATION:** ACTIVE - RIGHT HAND OUTSWING  
 PASSIVE - LEFT HAND OUTSWING  
**GLASS:** 1/8" TEMPERED OVER 3/8" TEMPERED,  
 LOW-E 272 INSULATED GLASS, ARGON FILLED  
**STICKING:** OVOLO  
**STOPS:** BEVELED  
**MUNTIN:** NONE  
**PANEL DETAIL:** KNIFE 440 B  
**HARDWARE AND PREP INCLUDED:**  
 Deltana Hinges ORB DSB45NB NRP 4.5" x 4.5"  
 w/ Ball Tips DSBT10B, Qty (8)  
 Baldwin Flush Bolt ORB 626.102 - 6", Qty (1)  
 Baldwin Flush Bolt ORB 600.102 - 24", Qty (1)  
 Pemko 411APKL Automatic Door Bottom Qty (2)  
 Threshold - None  
 Lockset - TBD  
**DELIVERY/ACCESS:** FRAME, DOORS AND  
 CASING SHIPPED SEPARATELY



04 VERTICAL SECTION  
1ST STREET MAIN ENTRY SCALE: 1" = 1'-0"



**NOTES** QTY=1

**MATERIAL:** CVG DOUG FIR

**FINISH:** FULL PRIME

**OPERATION:** ACTIVE - LEFT HAND OUTSWING  
PASSIVE - RIGHT HAND OUTSWING

**GLASS:** 1/8" TEMPERED OVER 3/8" TEMPERED,  
LOW-E 272 INSULATED GLASS, ARGON FILLED

**STICKING:** OVOLO

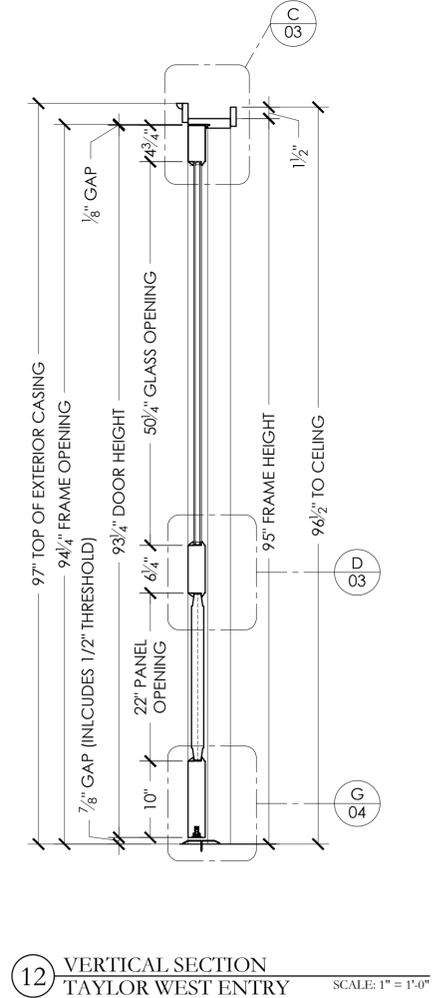
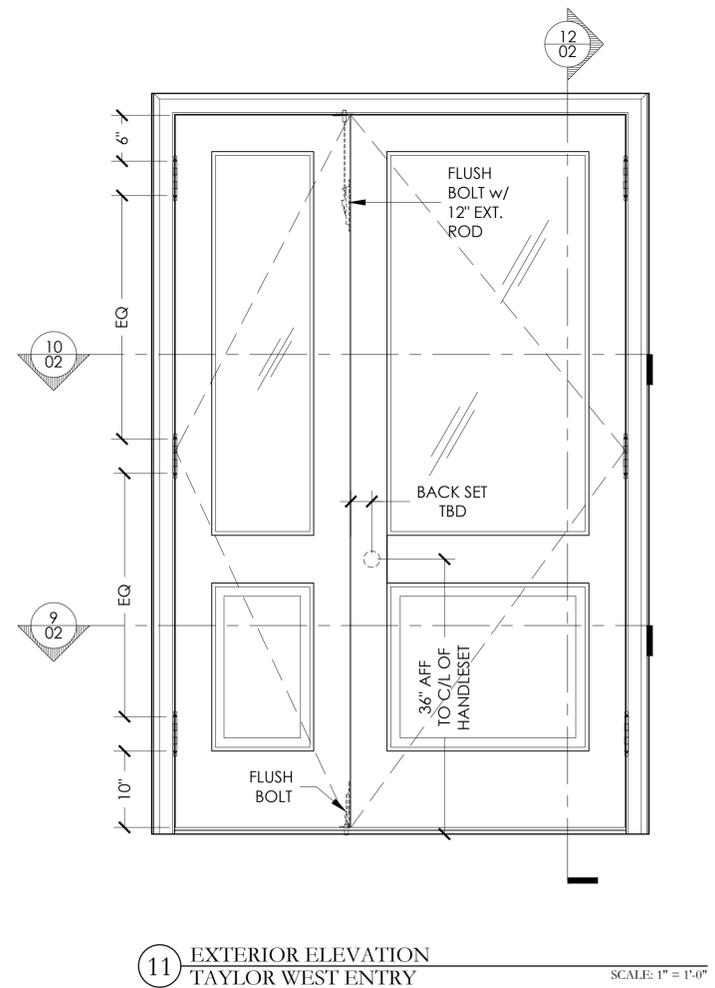
**STOPS:** BEVELED

**MUNTIN:** NONE

**PANEL DETAIL:** KNIFE 440 B

**HARDWARE AND PREP INCLUDED:**  
Deltana Hinges ORB DSB45NB NRP 4.5" x 4.5"  
w/ Ball Tips DSBT10B, Qty (6)  
Baldwin Flush Bolt ORB 626.102 - 6", Qty (1)  
Baldwin Flush Bolt ORB 600.102 - 12", Qty (1)  
Pemko 411APKL Automatic Door Bottom Qty (2)  
Pemko 154 Alum Threshold ORB - 72", Qty (1)  
Lockset - TBD

**DELIVERY/ACCESS:** FRAME, DOORS AND  
CASING SHIPPED SEPARATELY



**MIKADO BLOCK BUILDING**

837 SW 1ST AVENUE  
PORTLAND, OR  
97204

Doors Windows Cabinetry Milwork Sash Preservation

PROJECT #	25007
DRAWN BY	Rex Vaccaro
DATE	03.04.2025
REVISION DATE	03.21.2025
DESCRIPTION	ENTRY DOORS & SIDELIGHTS ELEVATIONS, SECTIONS AND DETAILS
PAGE #	02



**ARCIFORM**

design | restore | remodel

2303 N Randolph Ave.  
Portland OR 97227

www.arciform.com

503.493.7344

**MIKADO BLOCK BUILDING**

837 SW 1ST AVENUE  
PORTLAND, OR  
97204

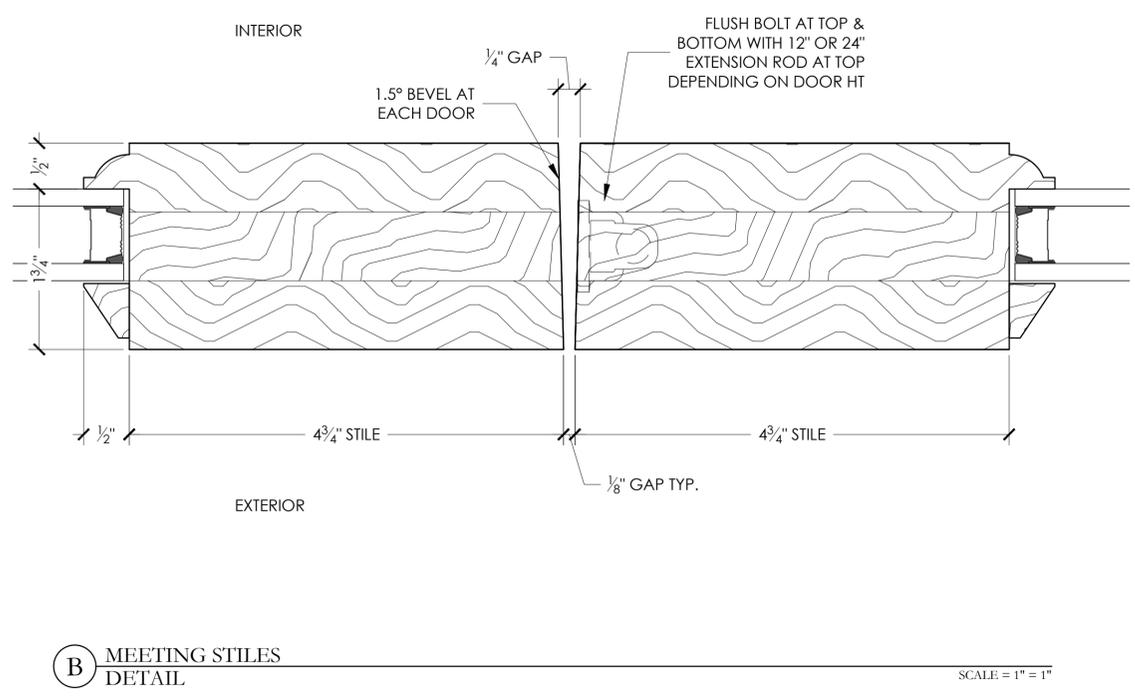
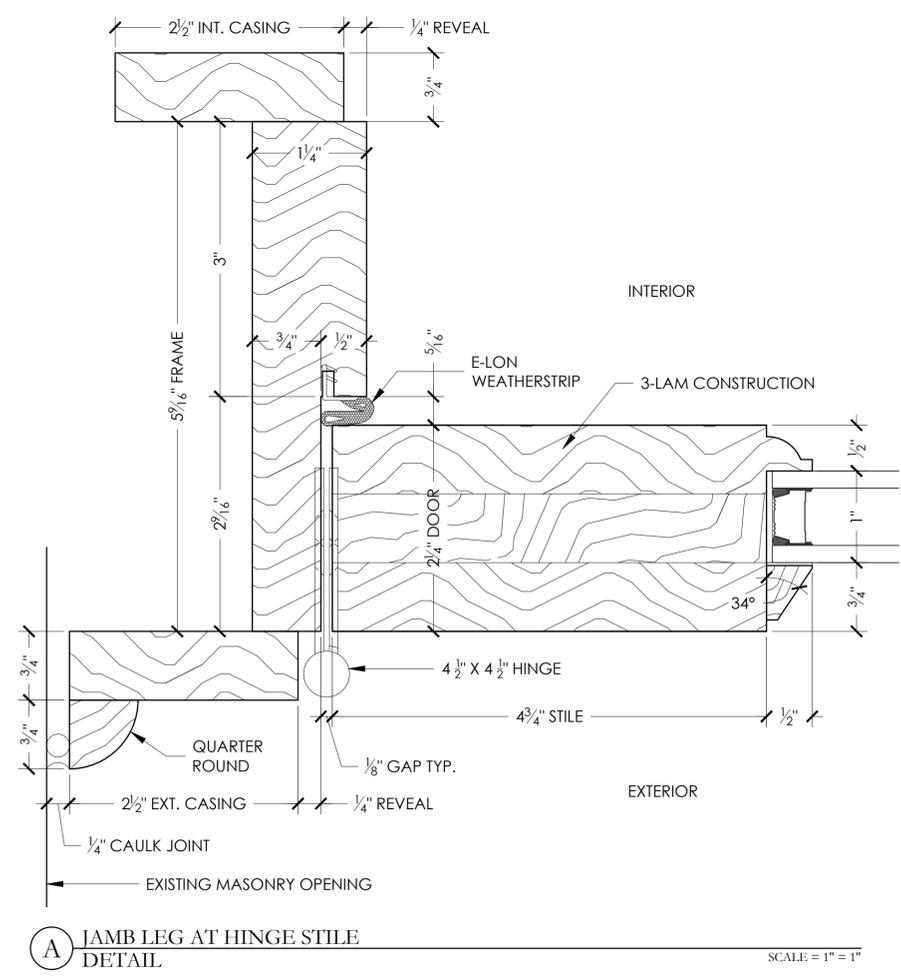
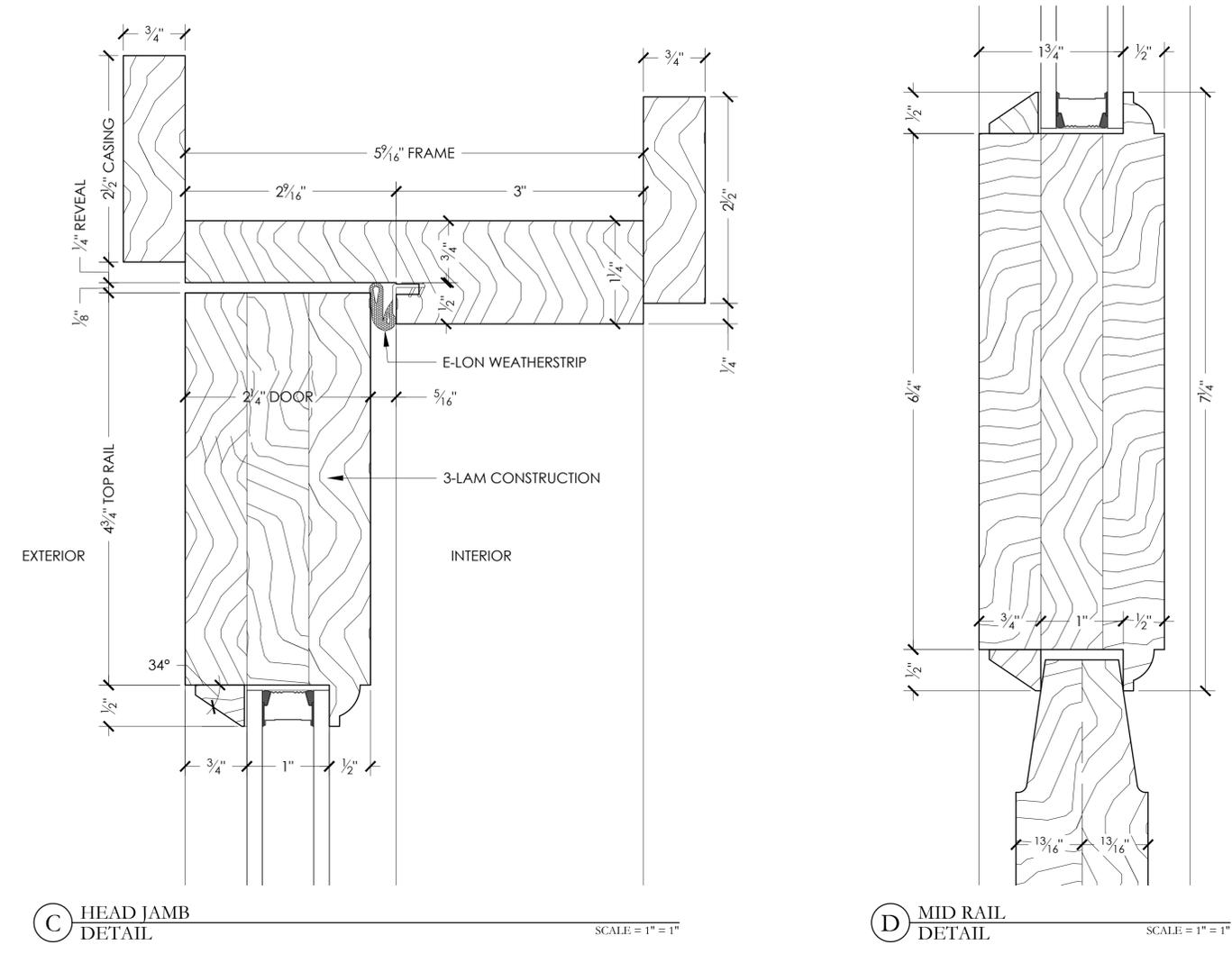
**D**oors **W**indows **C**abinetry **M**ilwork **S**ash **P**reservation

PROJECT #	25007
DRAWN BY	Rex Vaccaro
DATE	03.04.2025
REVISION DATE	03.21.2025
DESCRIPTION	ENTRY DOORS & SIDELIGHTS ELEVATIONS, SECTIONS AND DETAILS

PAGE #  
**03**

REV 2

3/21/2025 5:02 PM  
HALFSCALE WHEN  
PRINTED ON 11x17



SCALE = 1" = 1"

SCALE = 1" = 1"



**ARCIFORM**

design | restore | remodel

2303 N Randolph Ave.  
Portland OR 97227

www.arciform.com

503.493.7344

**MIKADO BLOCK BUILDING**

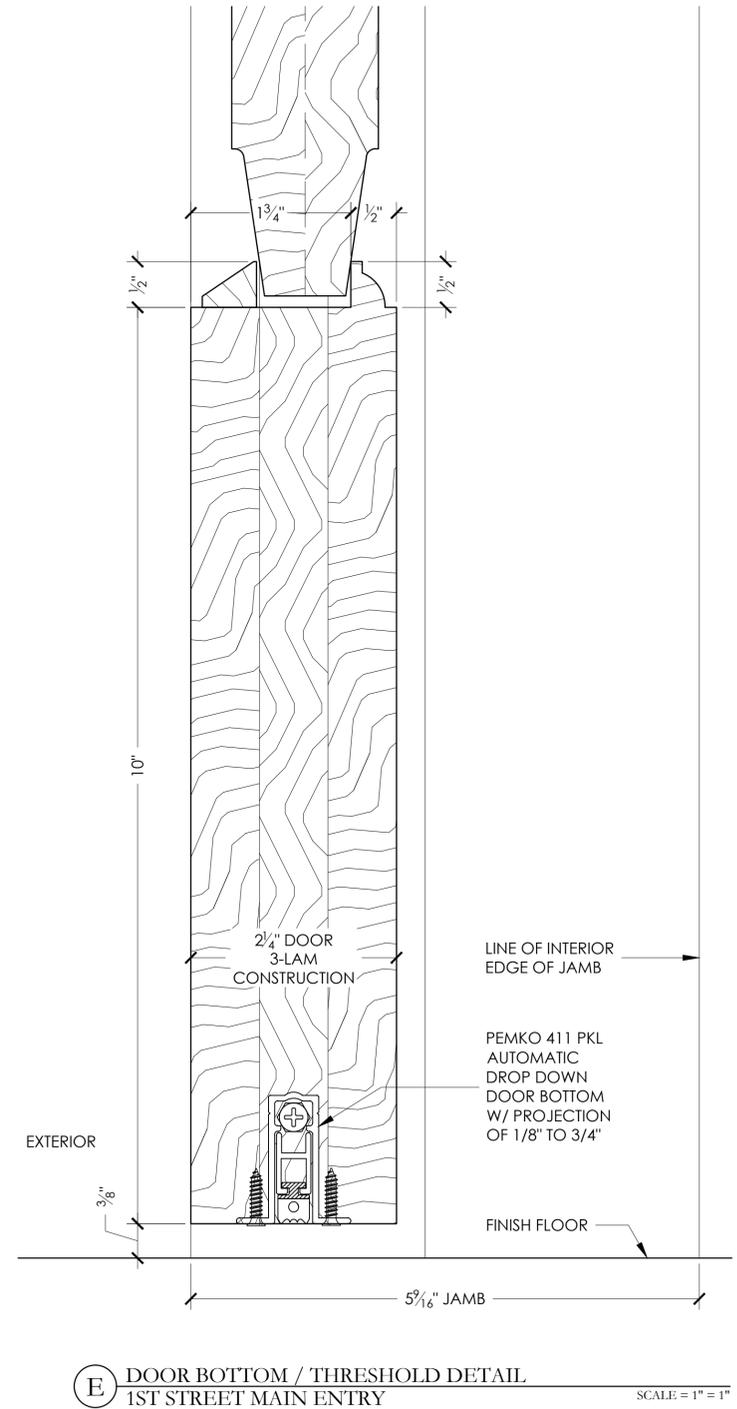
837 SW 1ST AVENUE  
PORTLAND, OR  
97204

**D**oors **W**indows **C**abinetry **M**ilwork **S**ash **P**reservation

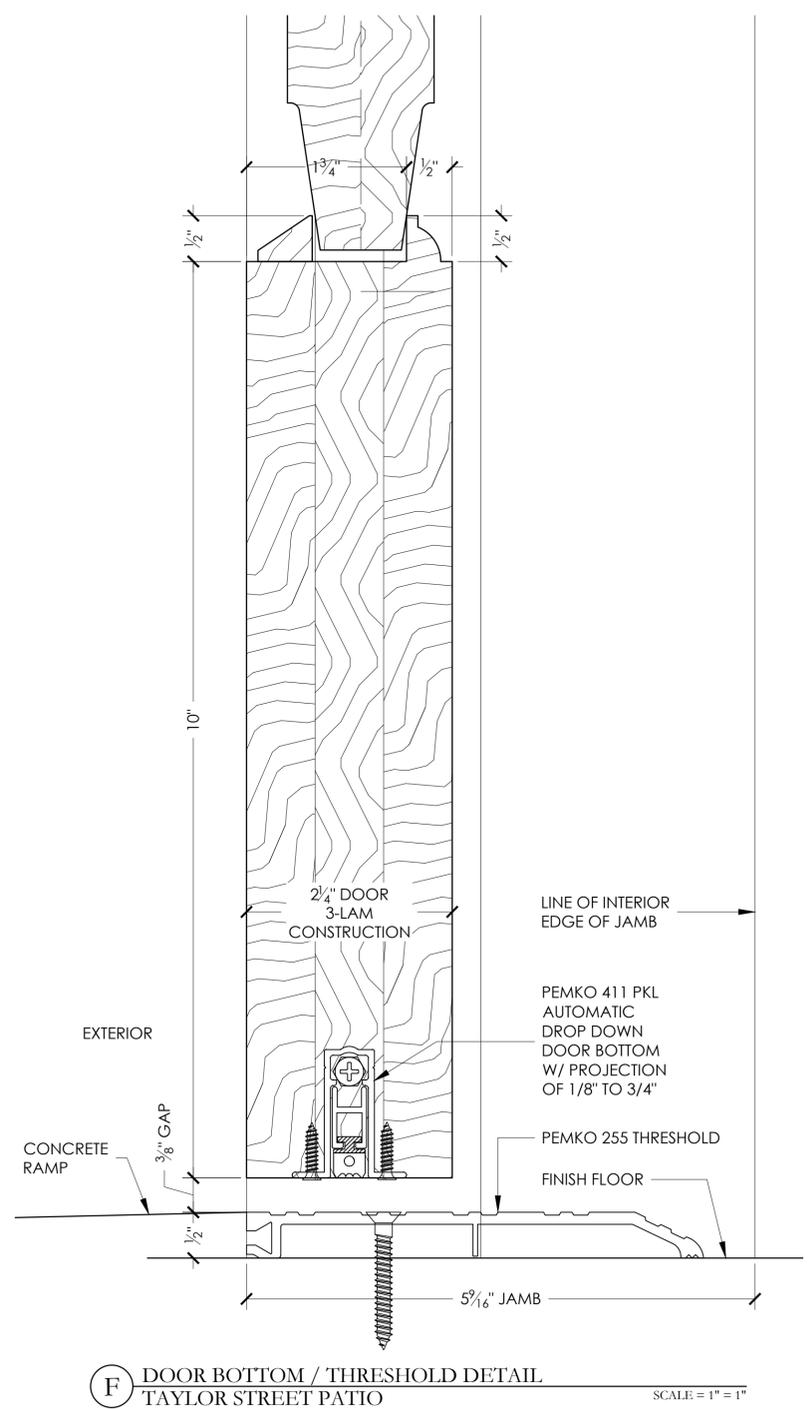
PROJECT #	25007
DRAWN BY	Rex Vaccaro
DATE	03.04.2025
REVISION DATE	03.21.2025
DESCRIPTION	ENTRY DOORS & SIDELIGHTS ELEVATIONS, SECTIONS AND DETAILS

PAGE #  
**04**  
REV 2

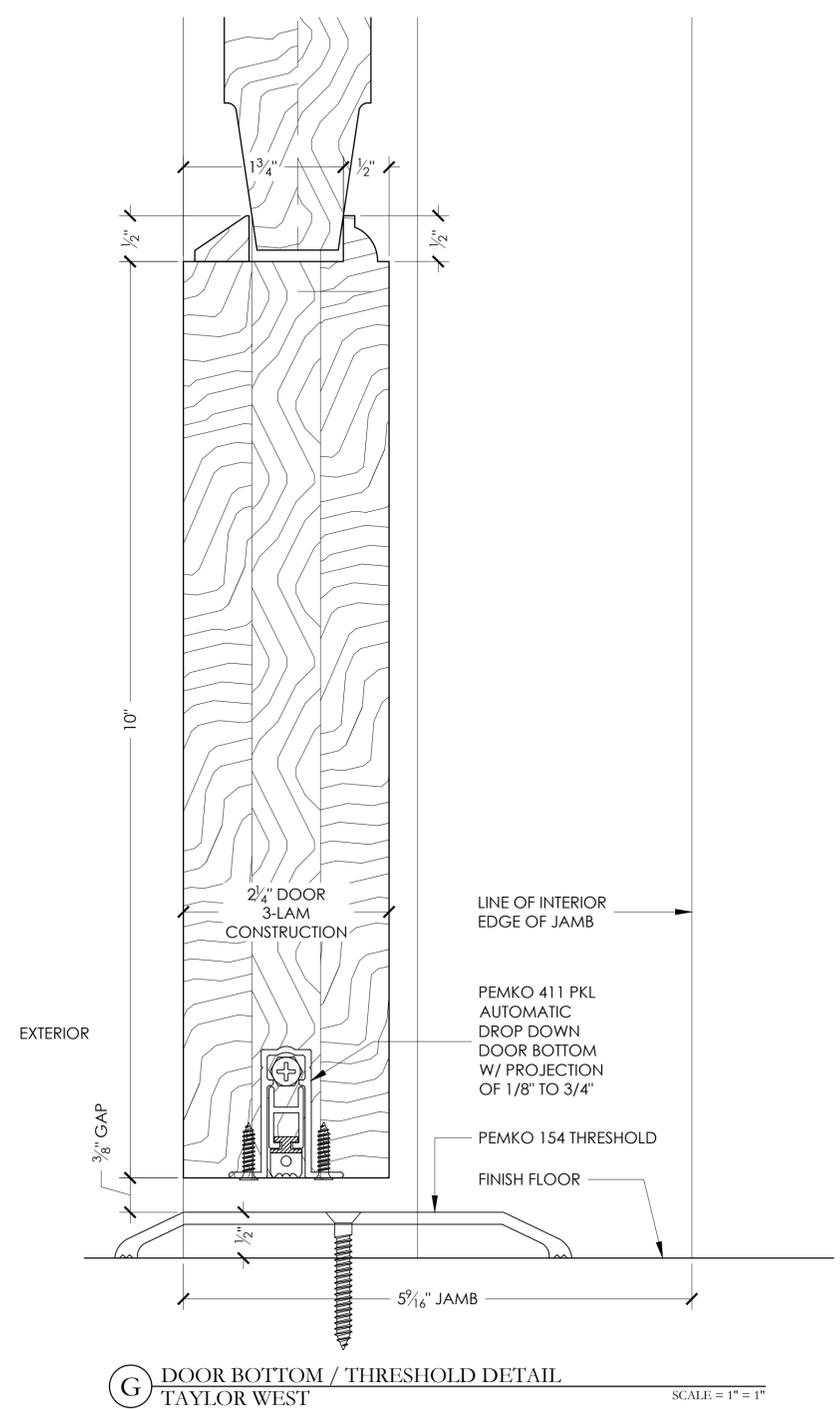
3/21/2025 5:02 PM  
HALFSCALE WHEN  
PRINTED ON 11x17



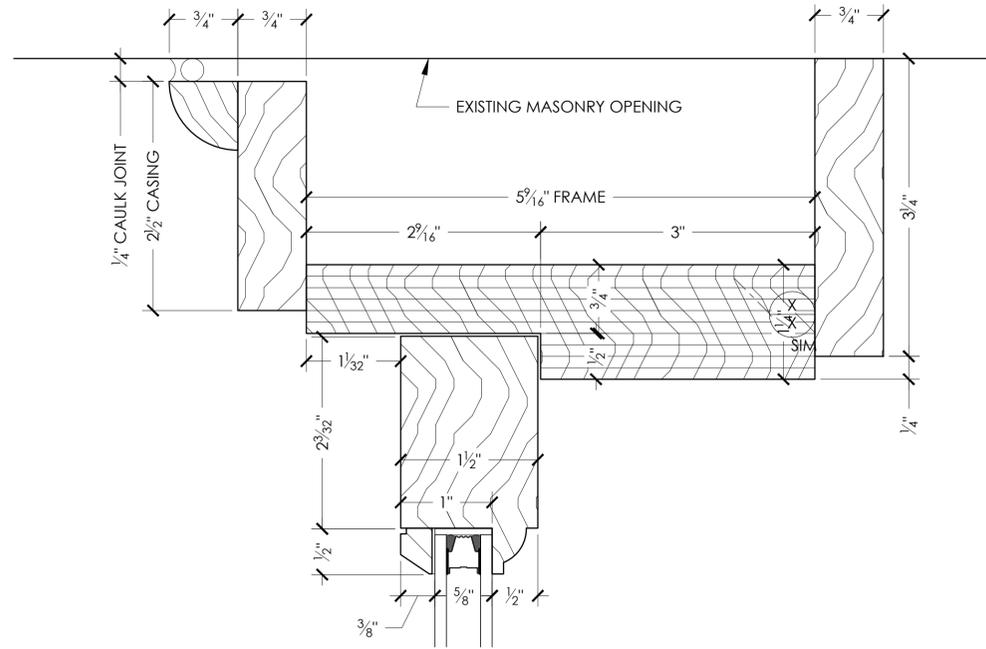
**(E)** DOOR BOTTOM / THRESHOLD DETAIL  
1ST STREET MAIN ENTRY  
SCALE = 1" = 1"



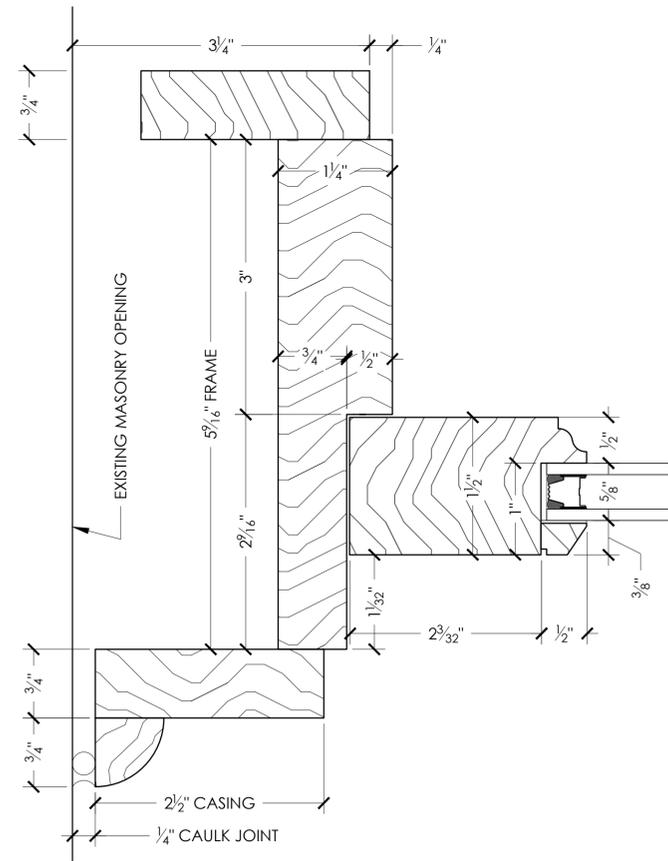
**(F)** DOOR BOTTOM / THRESHOLD DETAIL  
TAYLOR STREET PATIO  
SCALE = 1" = 1"



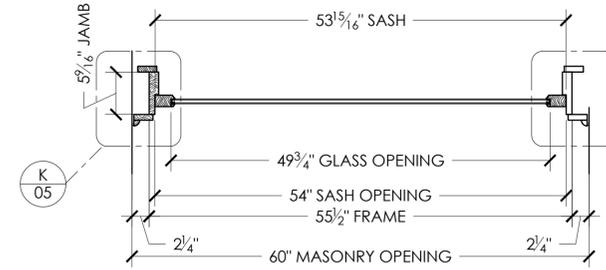
**(G)** DOOR BOTTOM / THRESHOLD DETAIL  
TAYLOR WEST  
SCALE = 1" = 1"



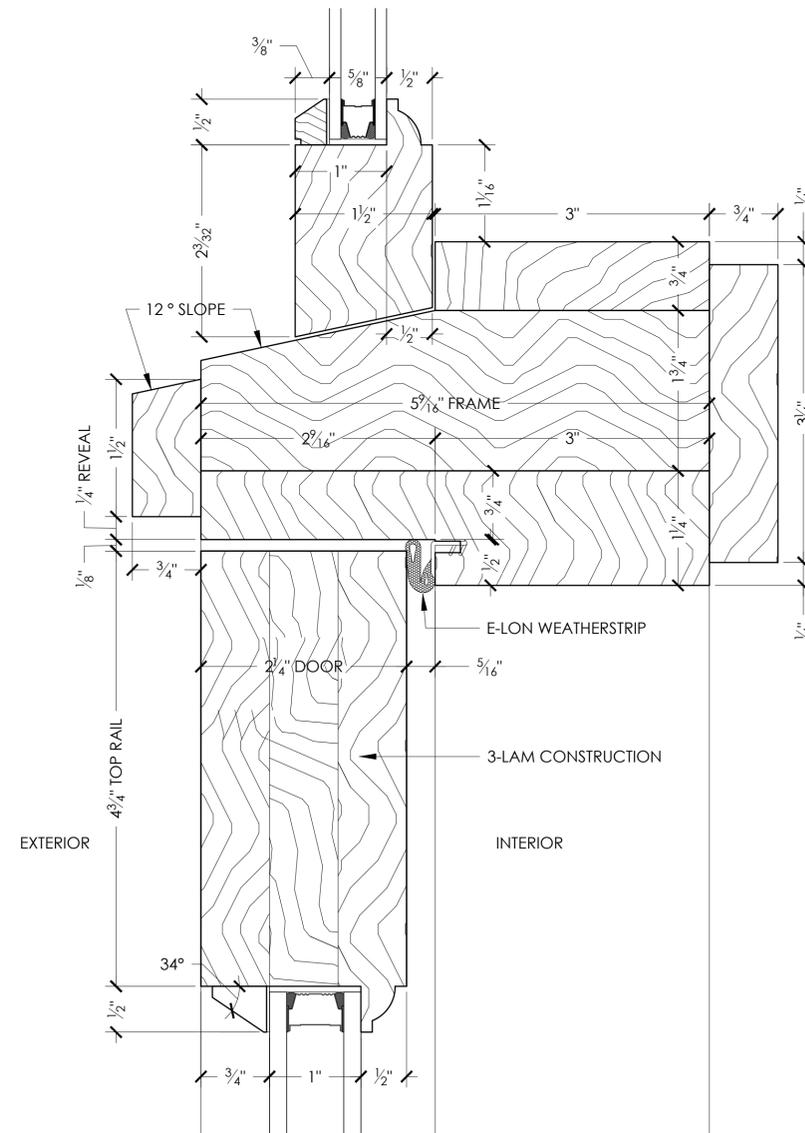
**H** HEAD JAMB DETAIL AT TRANSOM SASH  
TAYLOR STREET PATIO SCALE = 1" = 1"



**K** JAMB LEG DETAIL AT TRANSOM SASH  
TAYLOR STREET PATIO SCALE = 1" = 1"



**L** HORIZONTAL SECTION AT TRANSOM SASH  
TAYLOR STREET PATIO SCALE: 1" = 1'-0"



**J** TRANSOM BAR DETAIL  
TAYLOR STREET PATIO SCALE = 1" = 1"



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**MIKADO BLOCK BUILDING**

837 SW 1ST AVENUE  
PORTLAND, OR  
97204

**D**oors **W**indows **C**abinetry **M**ilwork **S**ash **P**reservation

PROJECT # 25007

DRAWN BY Rex Vaccaro

DATE 03.21.2025

REVISION DATE

DESCRIPTION

ENTRY DOORS & SIDELIGHTS

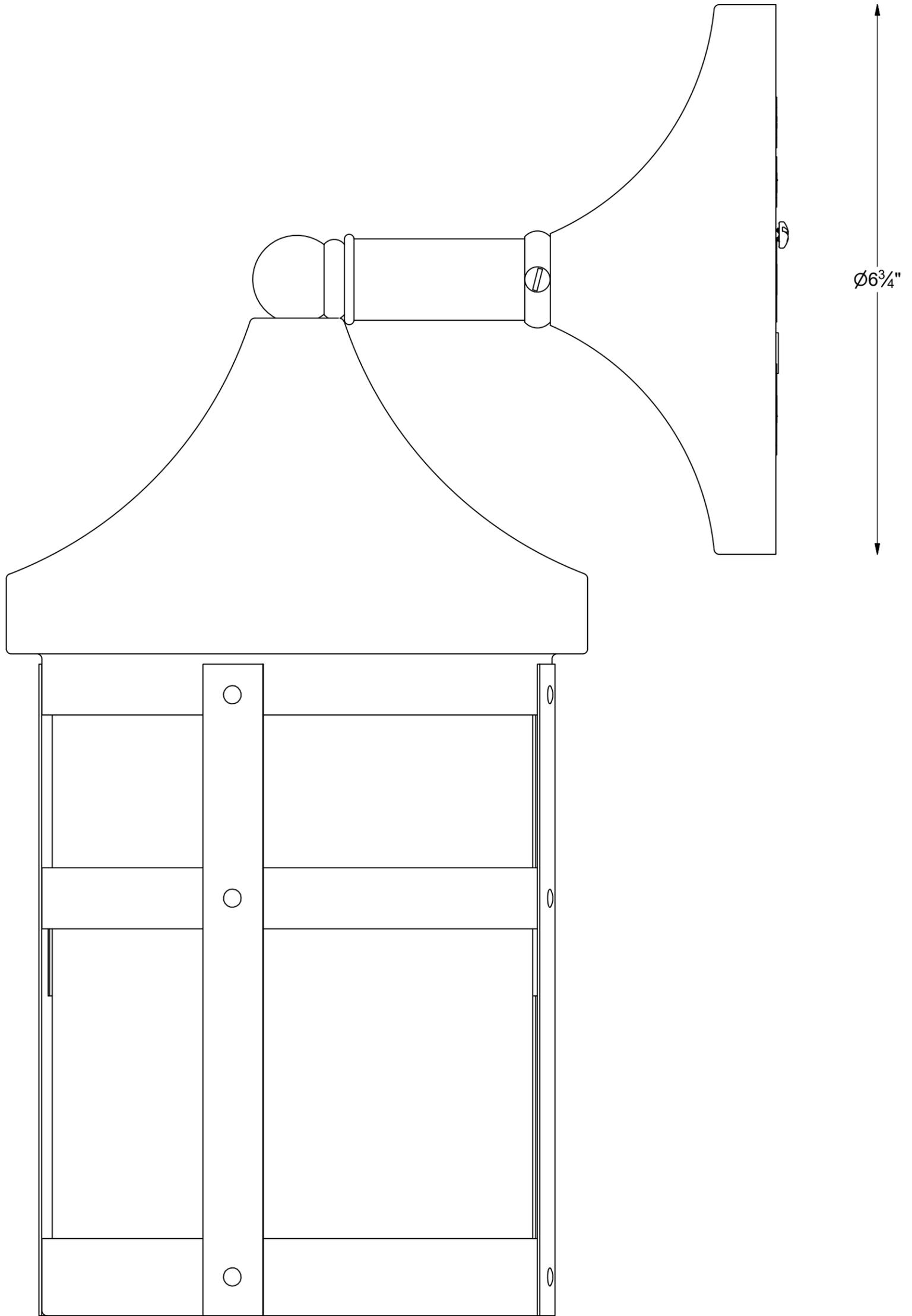
ELEVATIONS, SECTIONS  
AND DETAILS

PAGE #

**05**

REV 2

3/21/2025 5:02 PM  
HALFSCALE WHEN  
PRINTED ON 11x17

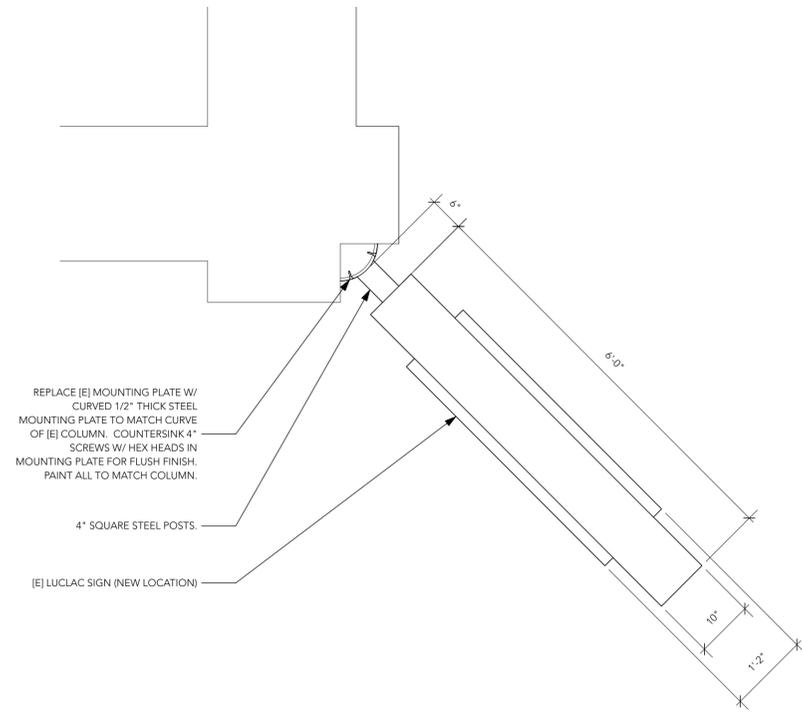


A9484

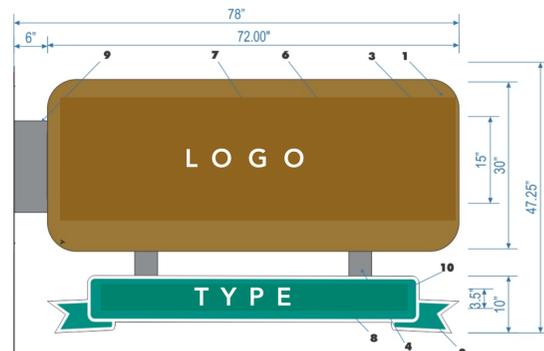
Columbia large single sconce

**REJUVENATION**





**1** SIGN PROJECTION  
A3.3 3/4" = 1'



**A** Double Face Illuminated Blade Sign  
Scale: 3/4" = 1' - 0"

**Furnish and install (1) LED illuminated aluminum blade sign**

- 1 Upper cabinet to be 10" deep aluminum construction painted as per color key (P2).
- 2 Lower cabinet to be 6" deep aluminum construction painted as per color key (P2).
- 3 Substrate to be 1/8" aluminum painted per color key with.
- 4 Supports to be 4" x 4" steel square tube construction per engineering calculations and specifications painted as per color key.
- 5 Mounting plate to be 1/2" thick steel per engineering calculations and specifications painted per color key.
- 6 LOGO to be 2" deep open pan channel letters painted White with Turquoise returns; illuminate using 11s-14 LED Warm (yellowish) or Cool (bright white) light bulbs - **OPTIONAL** flashing or constant lighting. Qty. 126 bulbs per side - 252 total.
- 7 Logo accents to be 3/4" push-thru (1/2" visible) with white translucent overlay; reverse side diffused, edges to be clear.
- 8 Letters "TYPE OF RESTAURANT" 3/4" push-thru (1/2" visible) with white translucent overlay; reverse side diffused, edges to be clear.
- 9 Base plate cover to be 1/8" aluminum construction painted as per color key (P1)
- 10 Internally illuminate using GE Tetra MAX white 7100K LEDs; with universal 60w power supplies with photocell. Install sign flush to building surface using required fasteners

**Vinyl Color Key**

**230-236** Turquoise

**Paint Color Key**

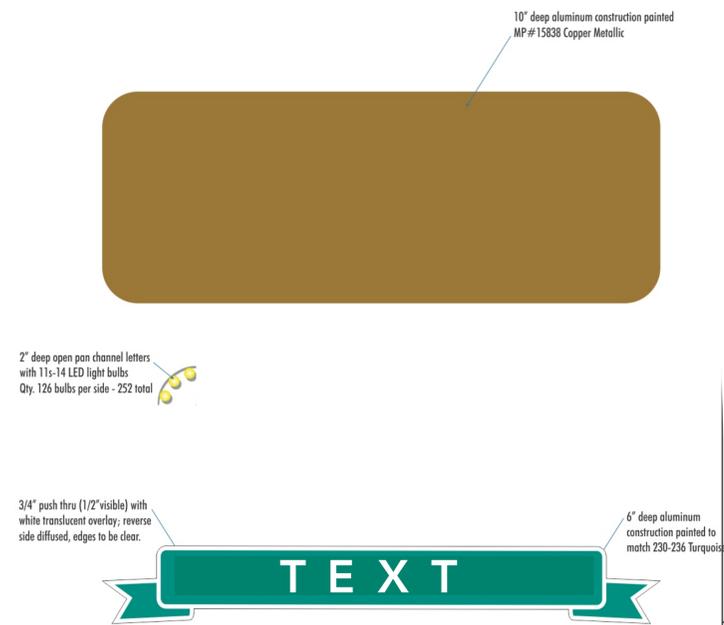
**P1** To Match 230-236 Turquoise

**P2** MP-#15838 Copper Metallic

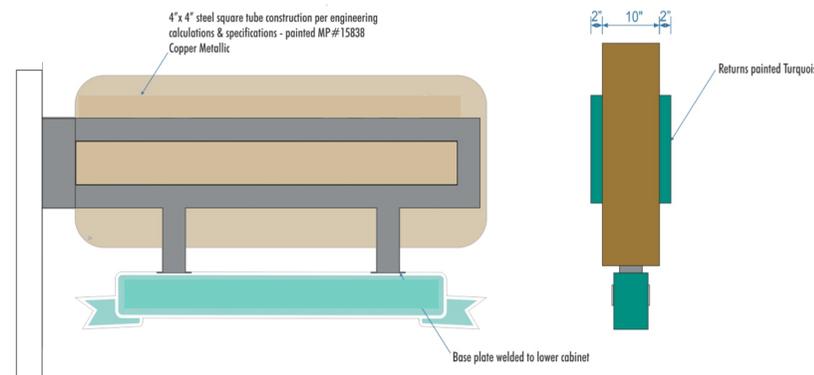
**2** SIGN DIMENSIONS  
A3.3 NTS



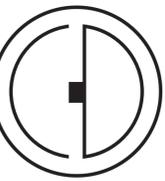
**3** BRACKET PLACEMENT  
A3.3 NTS



**4** LETTERING DETAIL  
A3.3 NTS



**5** DETAIL  
A3.3 NTS



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cadiumdesign.com PDX, OR

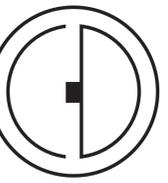
**NHI**  
837 SW 1ST AVE, PORTLAND, OR 97204

DRAFT

DATE:  
04.04.25

FULL SIZE DRAWING IS  
22" X 34"  
DRAWING:  
SIGN

**A3.3**



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1 PROPOSED AWNING GRAPHICS  
A3.5 1/4" = 1'

**NHI**  
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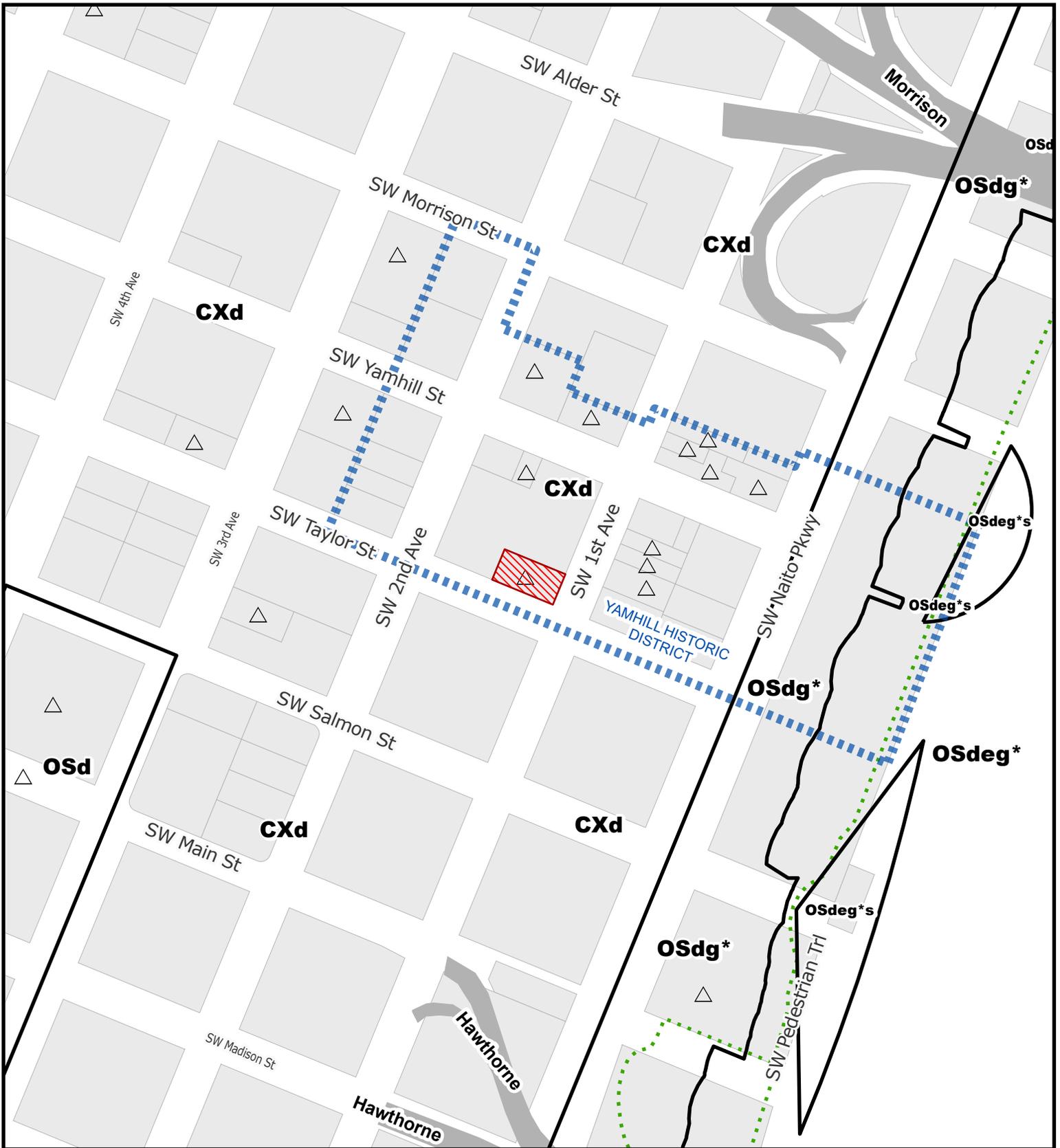
DRAFT

DATE:  
05.23.25

FULL SIZE DRAWING IS  
22" X 34"

DRAWING:  
AWNING GRAPHICS

**A3.5**



For Zoning Code in Effect Post October 1, 2024

# ZONING

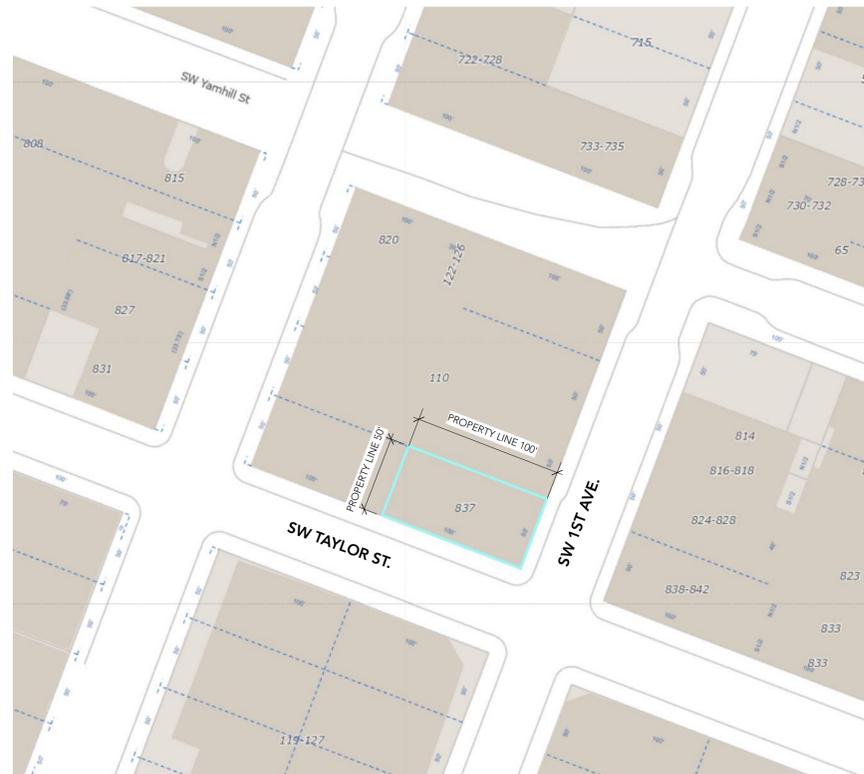
THIS SITE LIES WITHIN THE:  
 CENTRAL CITY PLAN DISTRICT  
 DOWNTOWN SUBDISTRICT  
 YAMHILL HISTORIC DISTRICT

-  Site
-  Historic Landmark
-  Recreational Trails

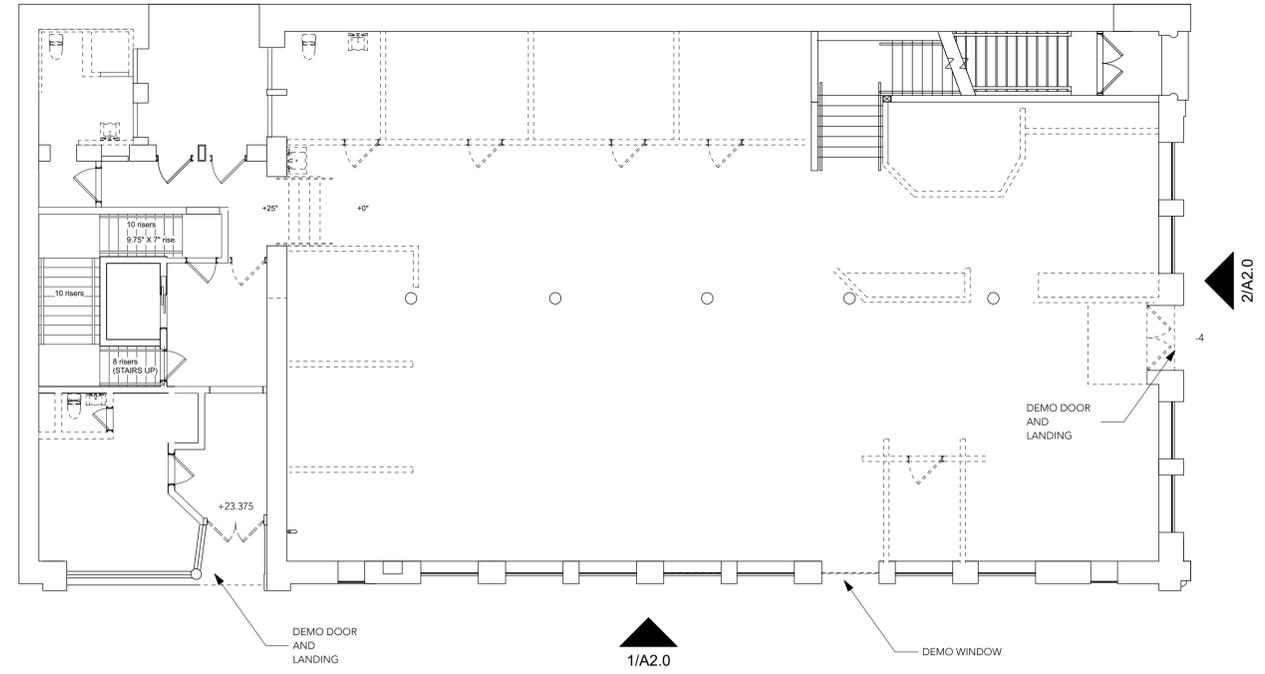
File No.	<u>LU 25 - 022904 HR</u>
1/4 Section	<u>3129</u>
Scale	<u>1 inch = 200 feet</u>
State ID	<u>1S1E03BA 2200</u>
Exhibit	<u>B</u> <u>Mar 25, 2025</u>

**BUILDING INFORMATION**

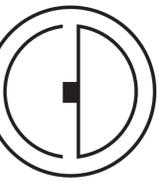
ADDRESS: 837 SW 1ST AVE  
 [E] BUILDING AREA: 17,380 SQFT  
 STORIES: 3 + BASEMENT  
 CONSTRUCTION TYPE: IIIB  
 PROPERTY ID: R245934  
 ZONING: CX  
 OVERLAY: D  
 CONTRIBUTING HISTORIC LANDMARK IN YAMHILL HISTORIC DISTRICT



1	SITE LOCATION
A0.2	NTS



2	1ST FLOOR AS BUILT / DEMO PLAN (ONLY EXTERIOR WORK CALLED OUT)
A0.2	1/8" = 1'



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**NHI**  
 837 SW 1ST AVE, PORTLAND, OR 97204

LU REVIEW

DATE:  
03.24.25

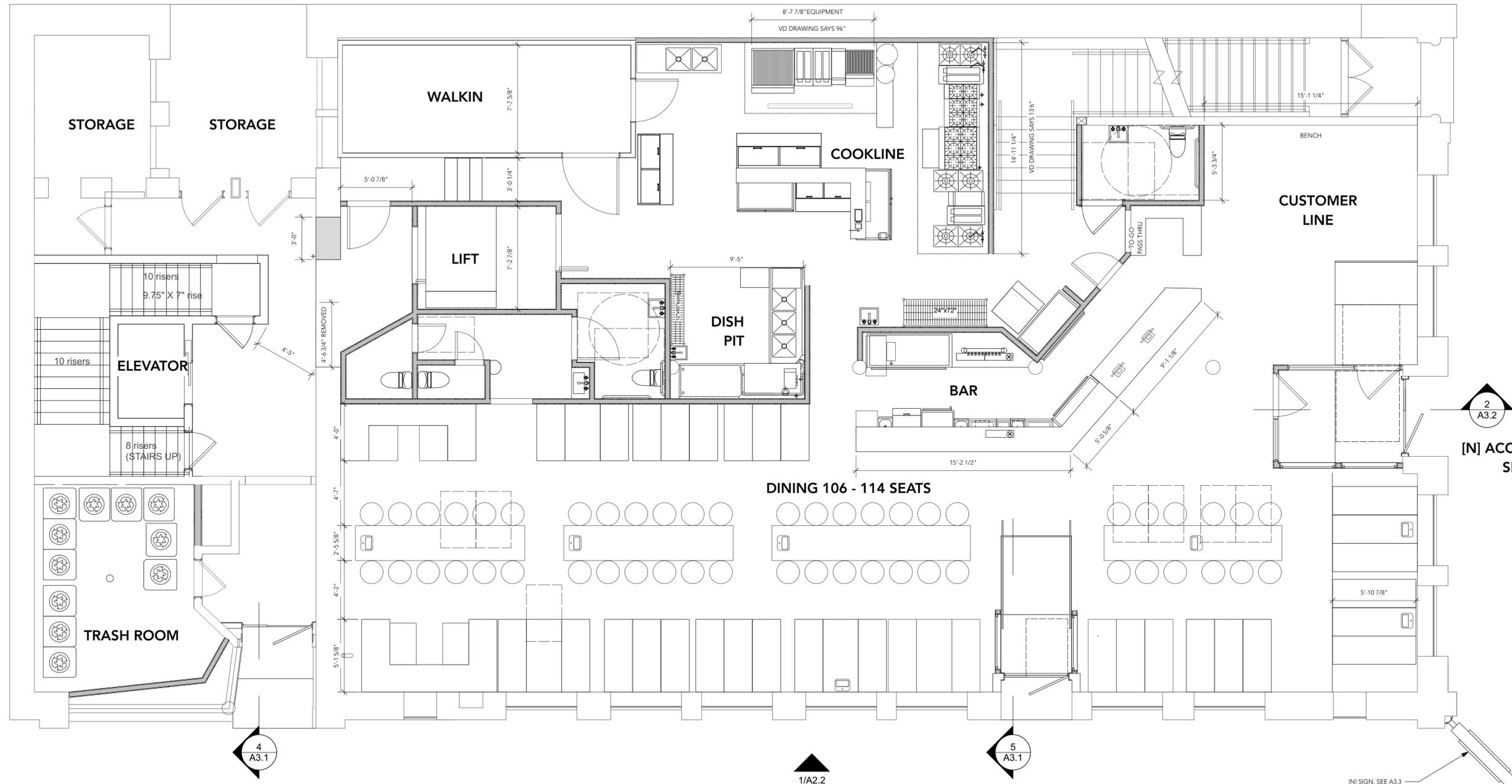
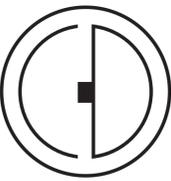
FULL SIZE DRAWING IS  
22" X 34"

DRAWING:  
LU COVER PAGE - BUILDING  
INFO, SITE LOCATION & AS  
BUILT / DEMO PLAN (FIRST  
FLOOR ONLY)

\*Approved\*  
 City of Portland  
 Portland Permitting and Development  
 Planner   
 Date 05-27-2025

\*This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

**A0.2**



**[N] ACCESSIBLE ENTRY**  
SEE 1/A3.1

**[N] ACCESSIBLE ENTRY**  
SEE 3/A3.1

**[N] ACCESSIBLE ENTRY**  
SEE 1/A3.2

1 1ST FLOOR PROPOSED PLAN  
A1.2 1/4" = 1'

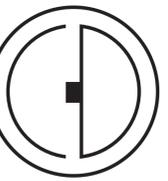


\*Approved\*  
City of Portland  
Portland Permitting and Development  
Planner \_\_\_\_\_  
Date 05-27-2025  
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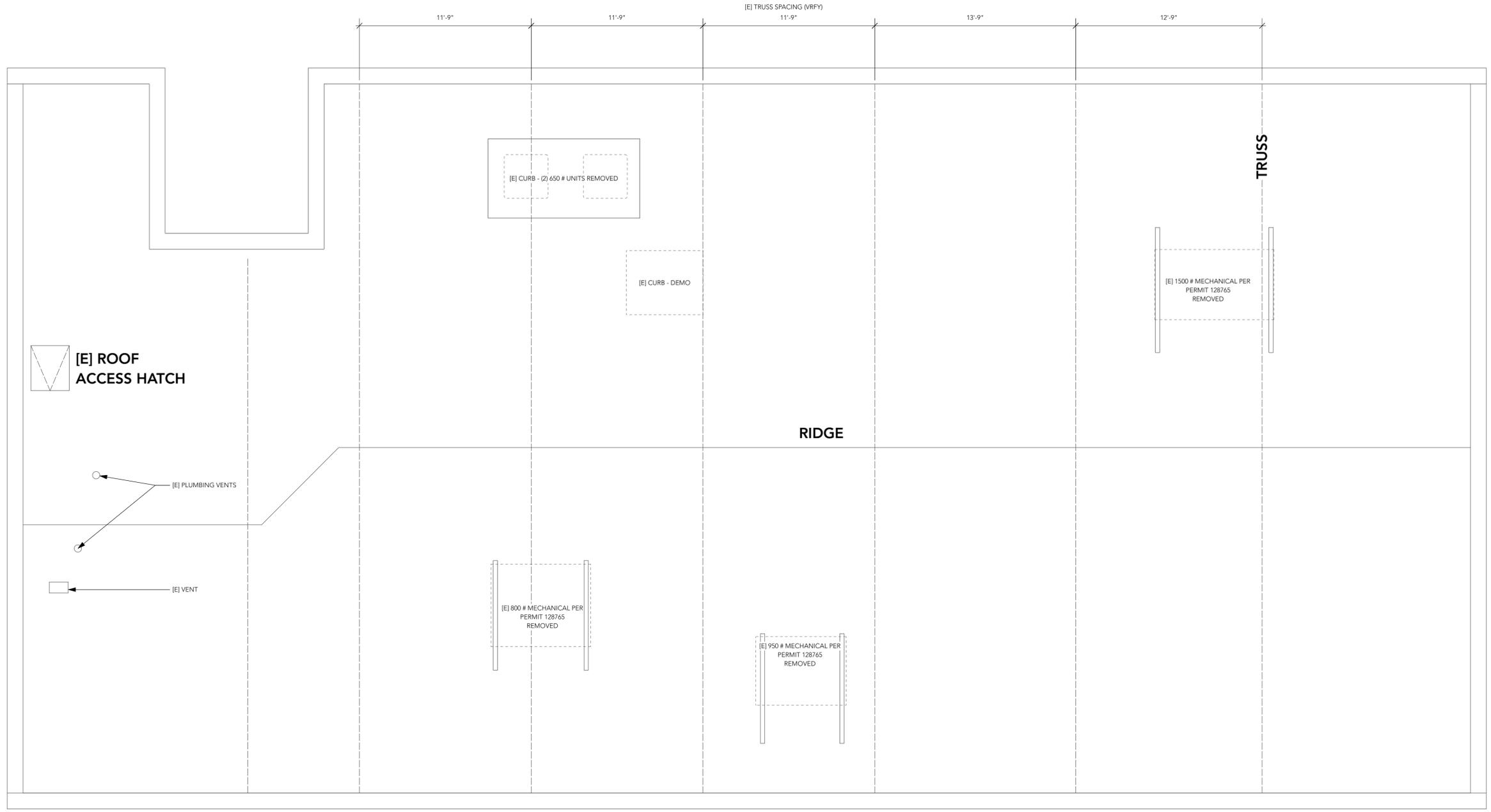
**NHI**  
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LU REVIEW  
DATE: 03.24.25  
FULL SIZE DRAWING IS 22" X 34"  
DRAWING: PROPOSED FLOOR PLAN

**A1.2**



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1 AS BUILT ROOF TOP PLAN  
A1.5 1/4" = 1'

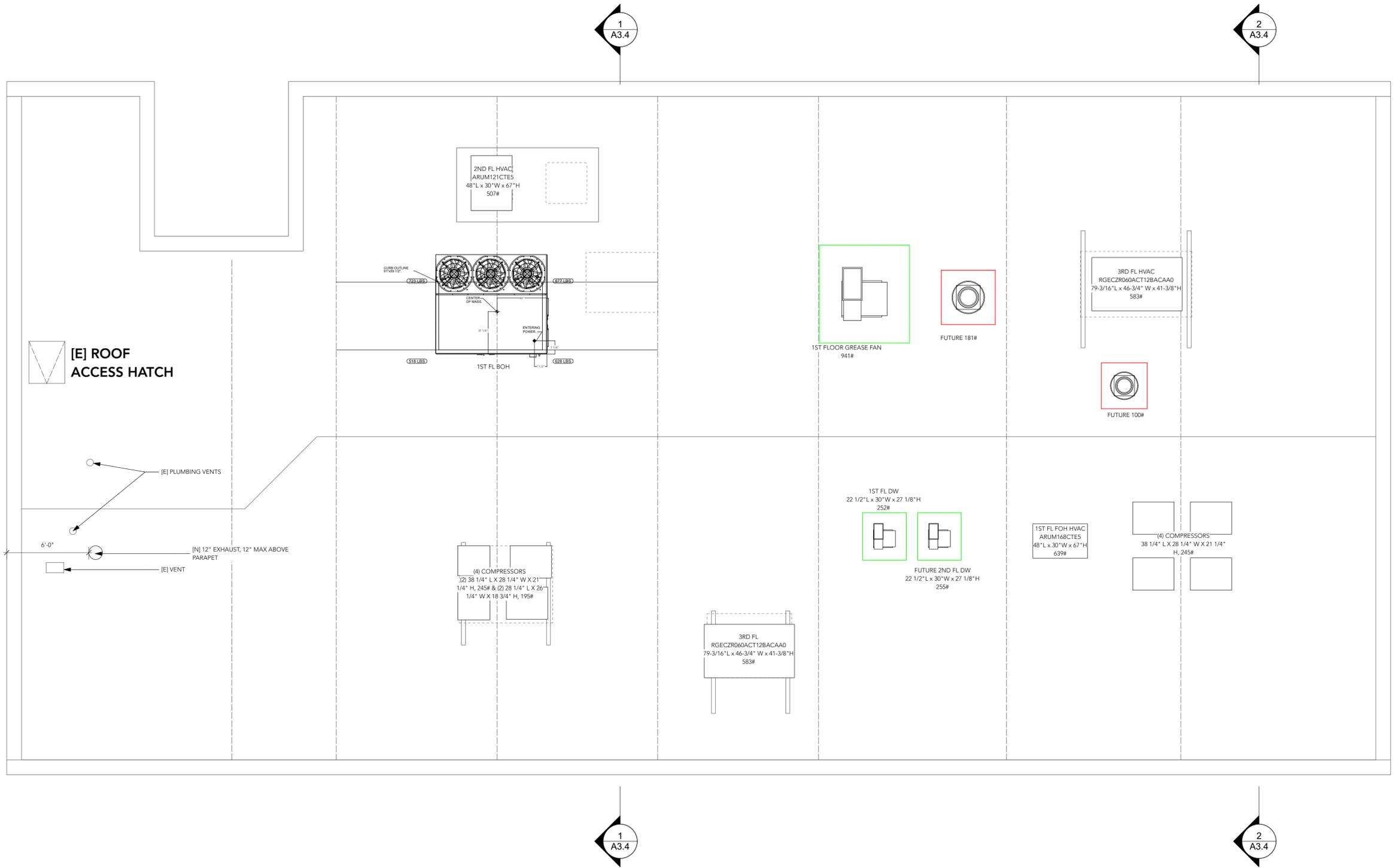
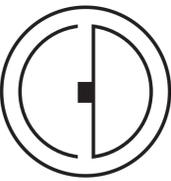


NHI  
837 SW 1ST AVE, PORTLAND, OR 97204

LU REVIEW  
DATE: 03.24.25  
FULL SIZE DRAWING IS 22" X 34"  
DRAWING: AS BUILT ROOF

\*Approved\*  
City of Portland  
Portland Permitting and Development  
Planner \_\_\_\_\_  
Date 05-27-2025  
\*This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

A1.5



**1** PROPOSED ROOF PLAN  
**A1.6** 1/4" = 1'

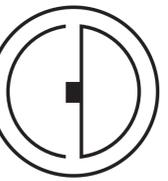
**NOTES**  
1. ALL NEW RTU'S MUST HAVE A MATTE FINISH OR BE PAINTED TO MATCH THE ROOF

\*Approved\*  
City of Portland  
Portland Permitting and Development  
Planner \_\_\_\_\_  
Date 05-27-2025  
\*This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.\*

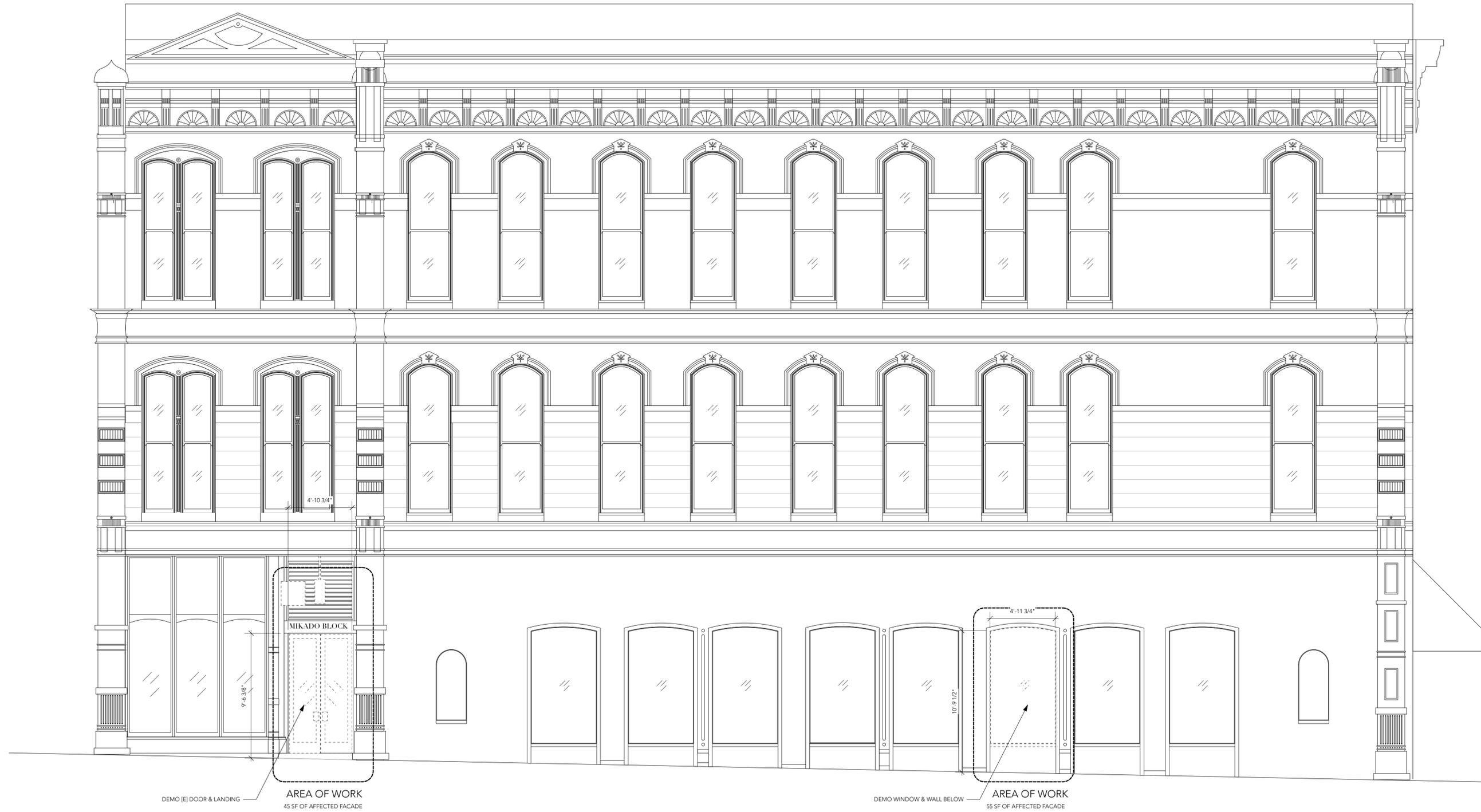
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LU REVIEW  
DATE: 03.24.25  
FULL SIZE DRAWING IS 22" X 34"  
DRAWING: PROPOSED ROOF PLAN

**A1.6**



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1 AS BUILT SOUTH ELEVATION  
A2.0 1/4" = 1'

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Portland Permitting and Development  
Planner \_\_\_\_\_  
Date 05-27-2025  
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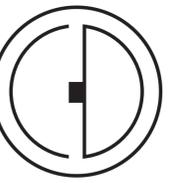
**NHI**  
837 SW 1ST AVE, PORTLAND, OR 97204

LU REVIEW

DATE:  
03.24.25

FULL SIZE DRAWING IS  
22" X 34"  
DRAWING:  
ELEVATIONS

**A2.0**



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 cadiumdesign.com PDX, OR



DEMO (E) DOOR & LANDING  
 AREA OF WORK  
 85 SF OF AFFECTED FACADE

1 AS BUILT EAST ELEVATION  
 A2.1 1/4" = 1'

**NHI**  
 837 SW 1ST AVE, PORTLAND, OR 97204

LU REVIEW

DATE:  
 03.24.25

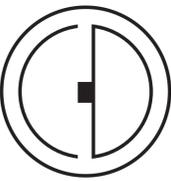
FULL SIZE DRAWING IS  
 22" X 34"

DRAWING:  
 ELEVATIONS

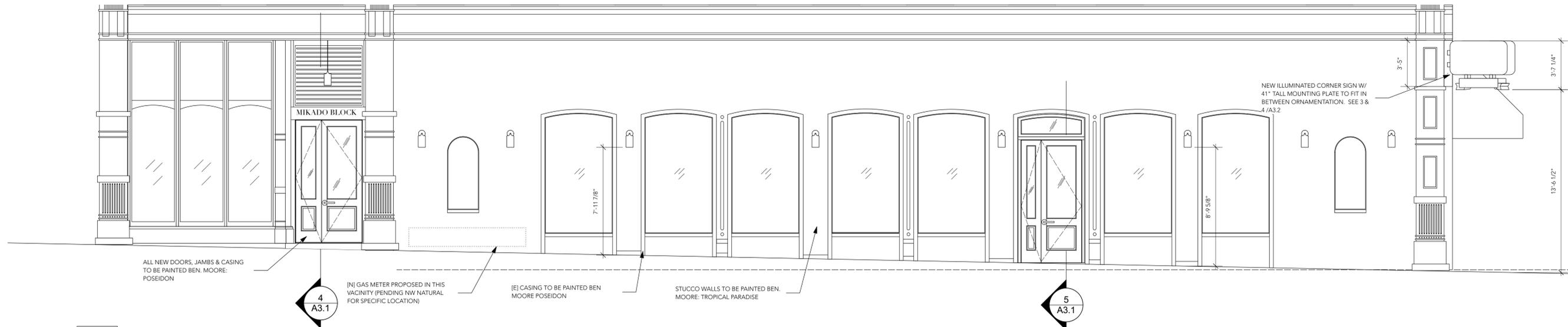
\*Approved\*  
 City of Portland  
 Portland Permitting and Development  
 Planner \_\_\_\_\_  
 Date 05-27-2025

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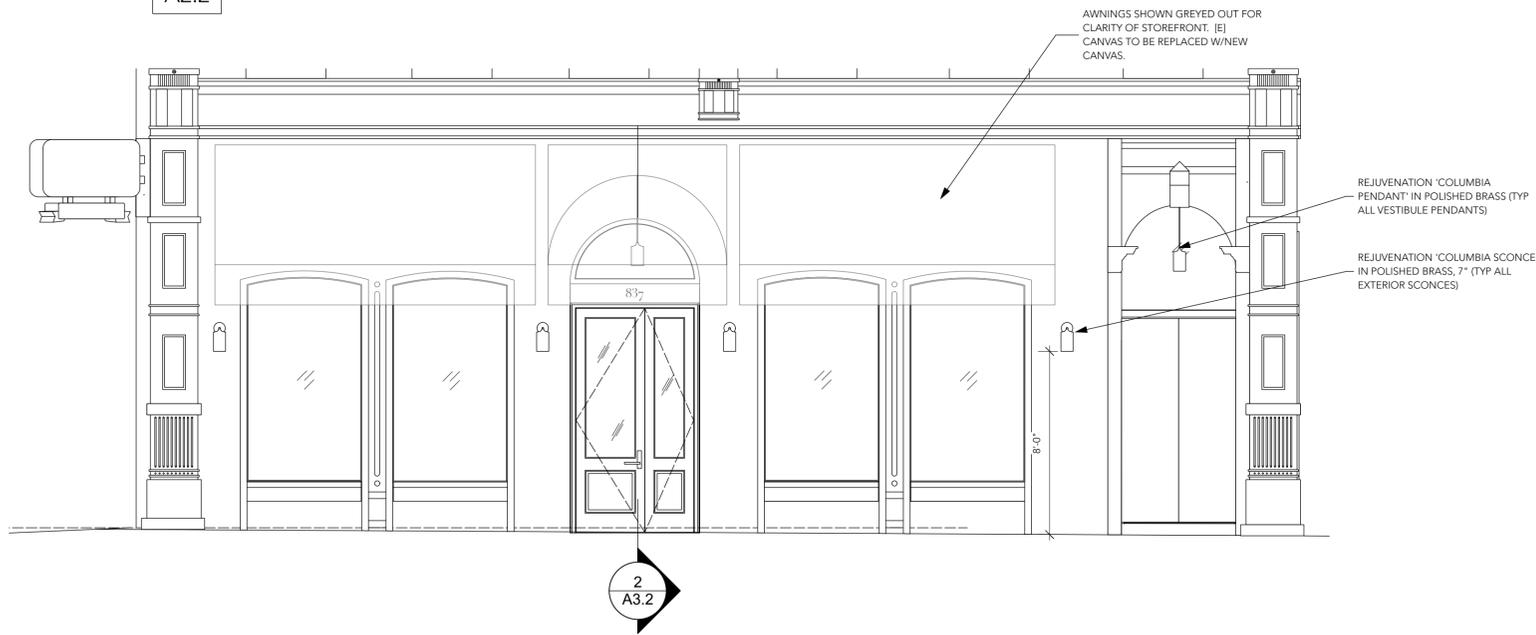
**A2.1**



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**1** PROPOSED SOUTH ELEVATION  
A2.2 1/4" = 1'



**2** PROPOSED EAST ELEVATION  
A2.2 1/4" = 1'

**NHI**  
837 SW 1ST AVE, PORTLAND, OR 97204

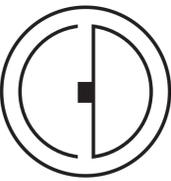
LU REVIEW

DATE:  
03.24.25

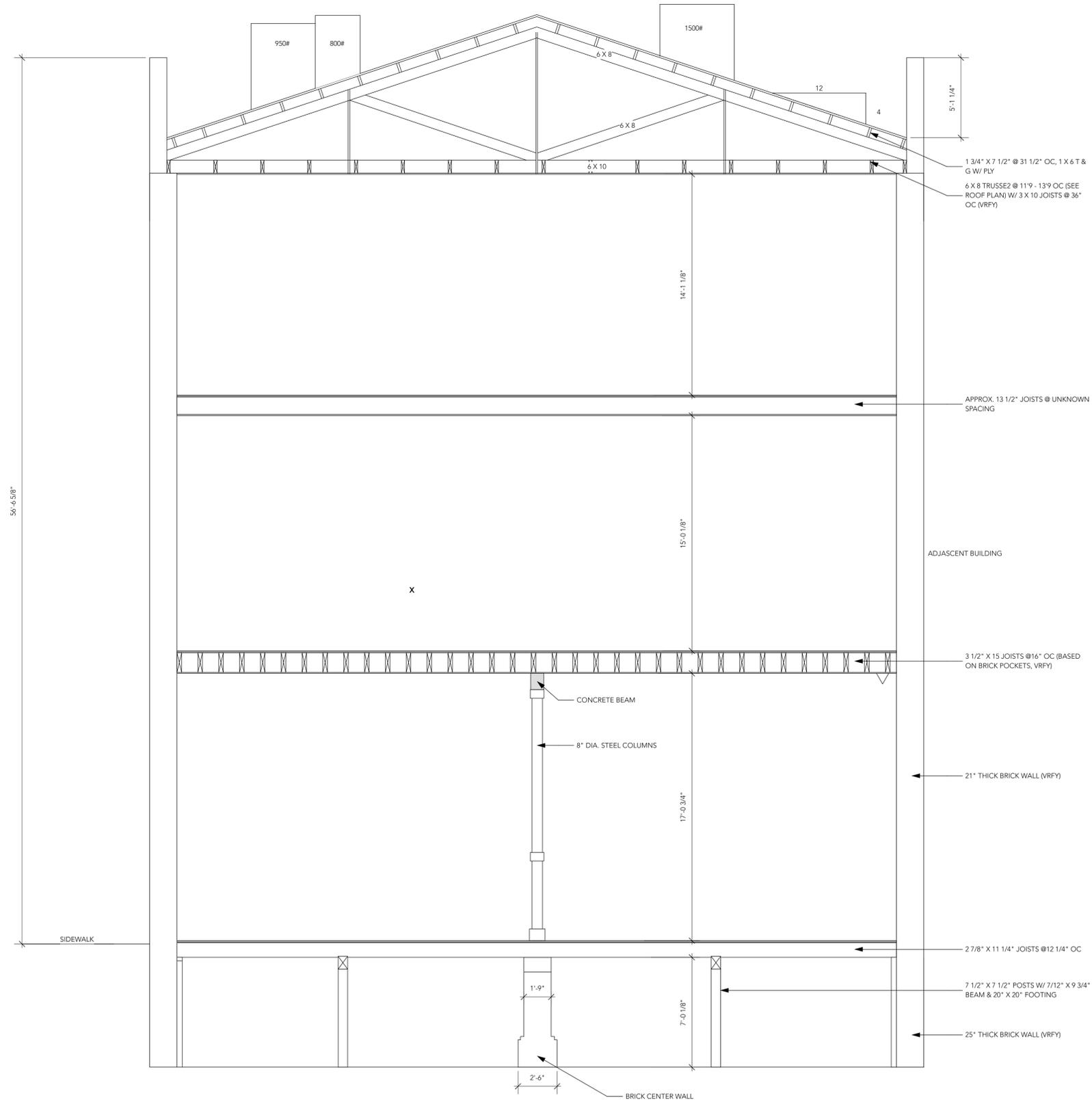
FULL SIZE DRAWING IS  
22" X 34"  
DRAWING:  
PROPOSED ELEVATIONS

\*Approved\*  
City of Portland  
Portland Permitting and Development  
Planner   
Date 05-27-2025  
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**A2.2**



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**1 AS BUILT SECTION**  
**A3.0** 1/4" = 1'

**NHI**  
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LU REVIEW

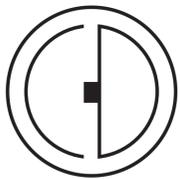
DATE:  
03.24.25

FULL SIZE DRAWING IS  
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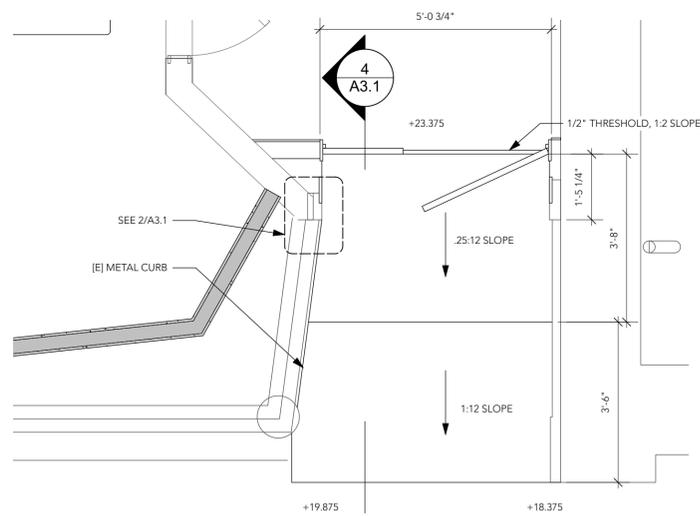
DRAWING:  
BUILDING SECTION

\*Approved\*  
City of Portland  
Portland Permitting and Development  
Planner   
Date 05-27-2025  
\*This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.\*

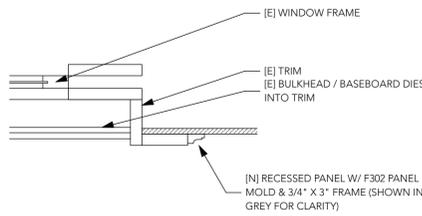
**A3.0**



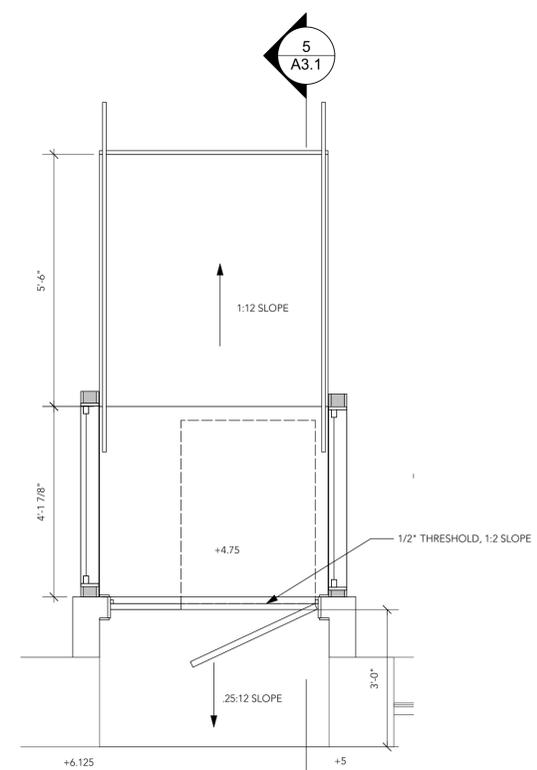
**CADIUM DESIGN**  
Annabelle Lee 907.209.7879  
cadiumdesign.com PDX, OR



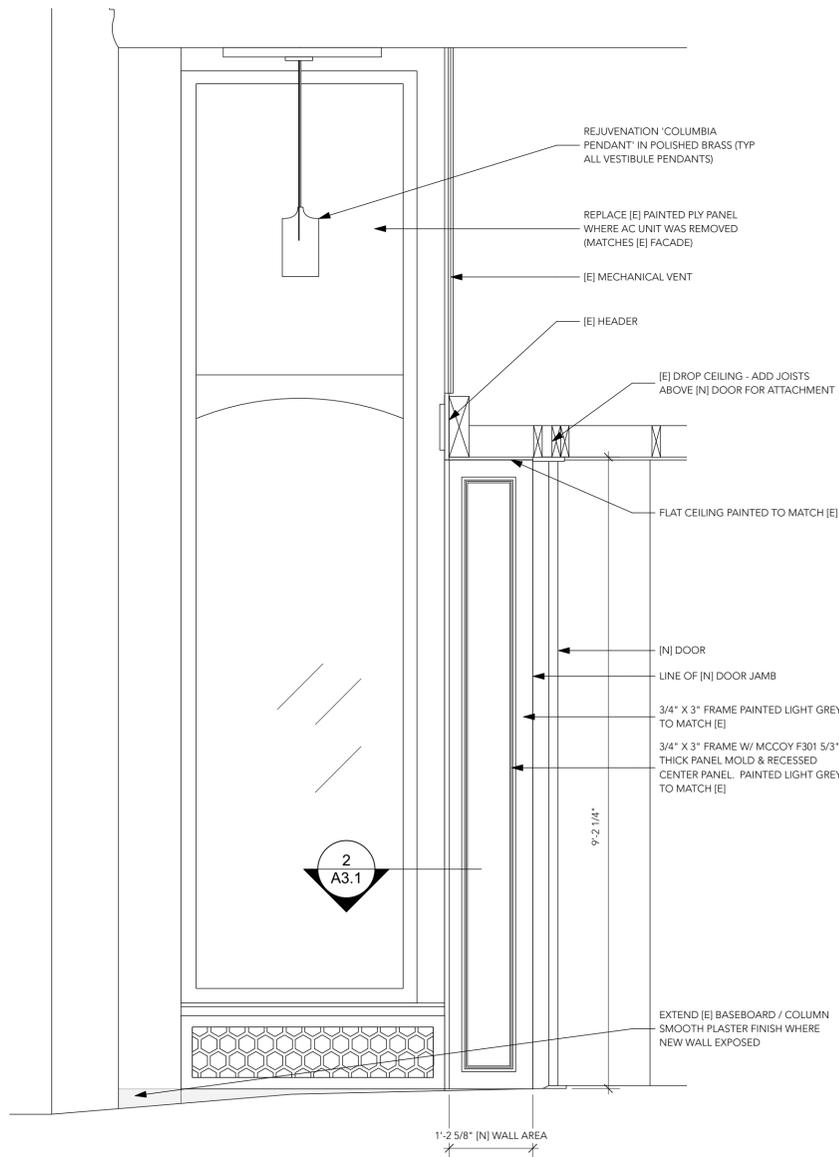
**1** TAYLOR ENTRY  
**A3.1** 1/2" = 1'



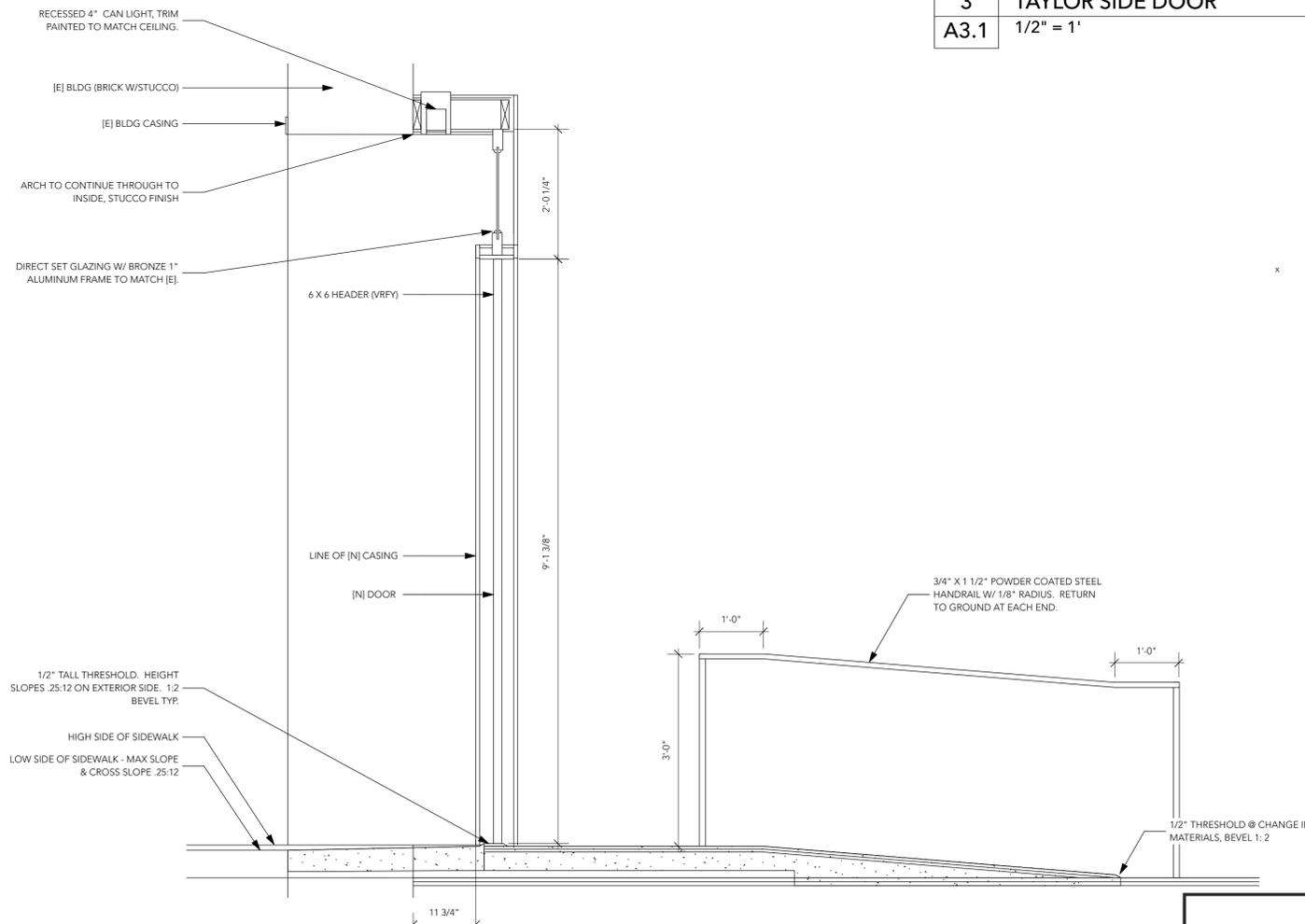
**2** PANEL MOLDING DETAIL  
**A3.1** 2" = 1'



**3** TAYLOR SIDE DOOR  
**A3.1** 1/2" = 1'



**4** TAYLOR ENTRY  
**A3.1** 3/4" = 1'



**5** TAYLOR SIDE DOOR  
**A3.1** 3/4" = 1'

**NHI**  
837 SW 1ST AVE, PORTLAND, OR 97204

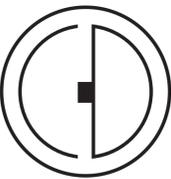
LU REVIEW

DATE:  
03.24.25

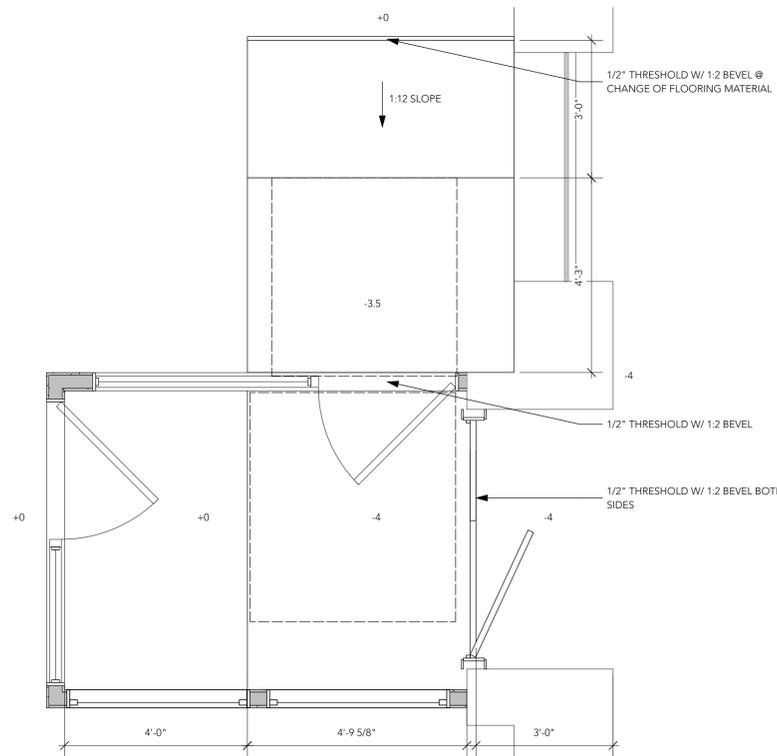
FULL SIZE DRAWING IS  
22" X 34"  
DRAWING:  
STOREFRONT SECTIONS

\*Approved\*  
City of Portland  
Portland Permitting and Development  
Planner \_\_\_\_\_  
Date 05-27-2025  
\*This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

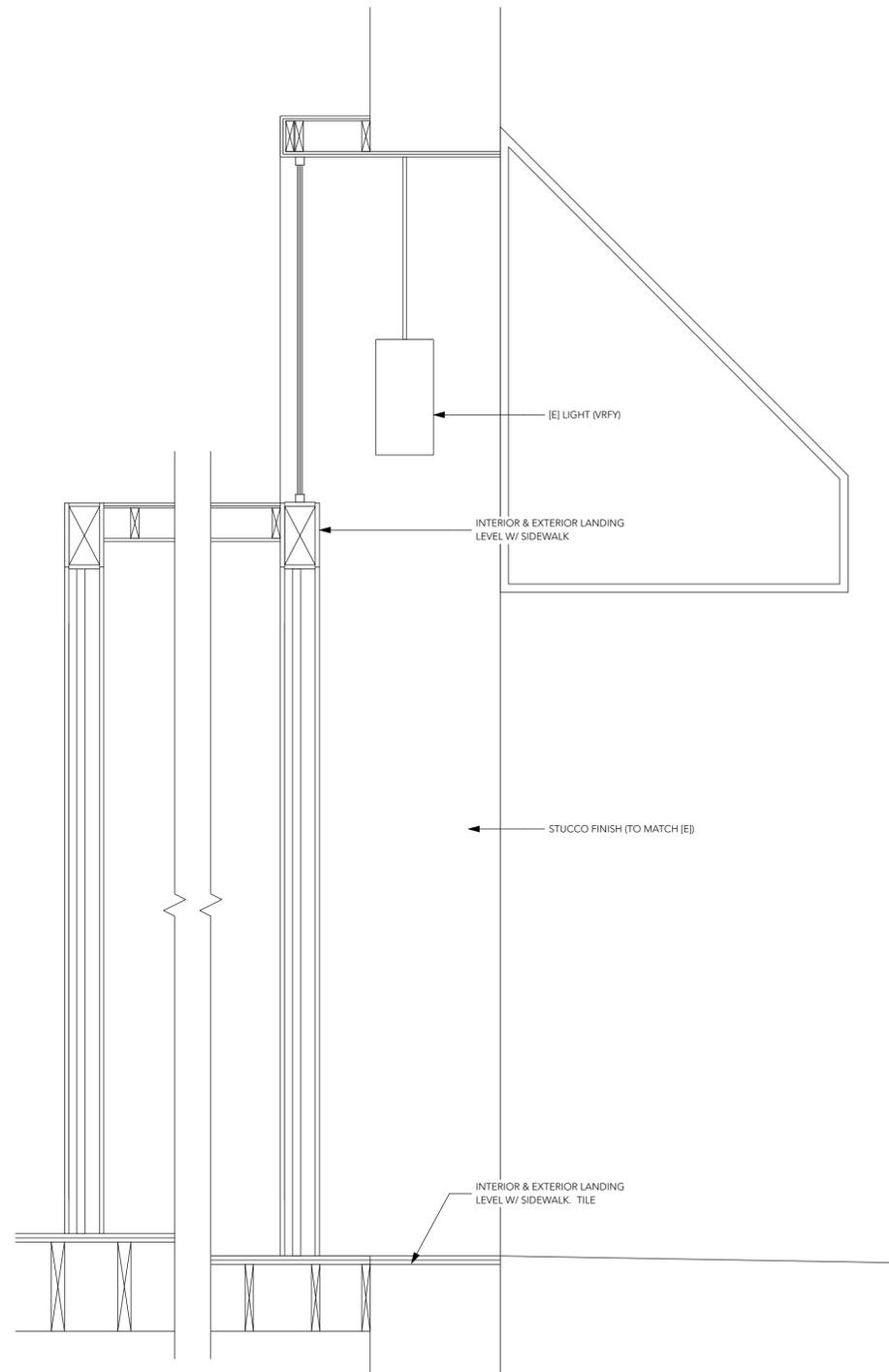
**A3.1**



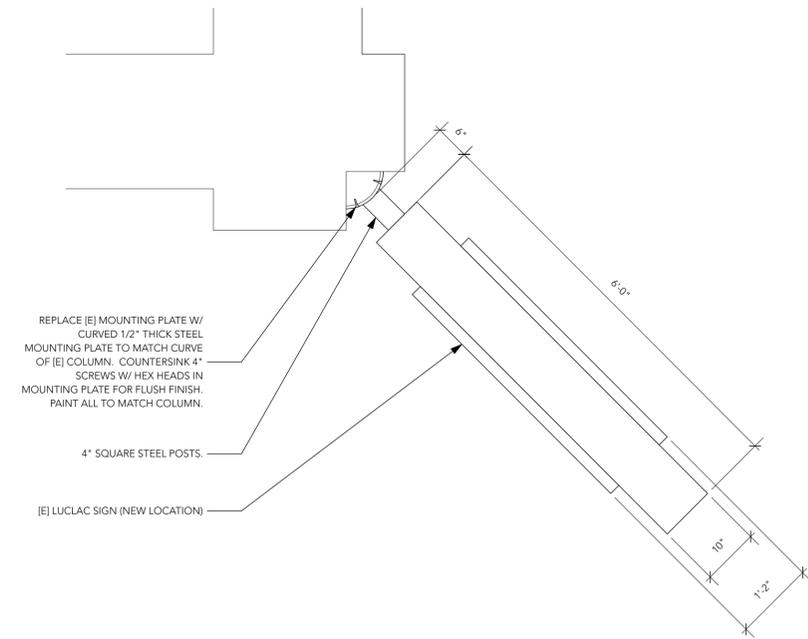
**CADIUM DESIGN**  
Annabelle Lee 907.209.7879  
cadiumdesign.com PDX, OR



**1** 1ST STREET ENTRY  
**A3.2** 1/2" = 1'



**2** 1ST STREET ENTRY  
**A3.2** 3/4" = 1'



**3** SIGN PROJECTION  
**A3.2** 3/4" = 1'



**4** BRACKET PLACEMENT  
**A3.2** NTS

\*Approved\*  
City of Portland  
Portland Permitting and Development  
Planner \_\_\_\_\_  
Date 05-27-2025  
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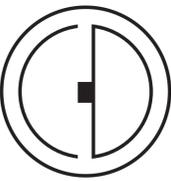
**NHI**  
837 SW 1ST AVE, PORTLAND, OR 97204

LU REVIEW

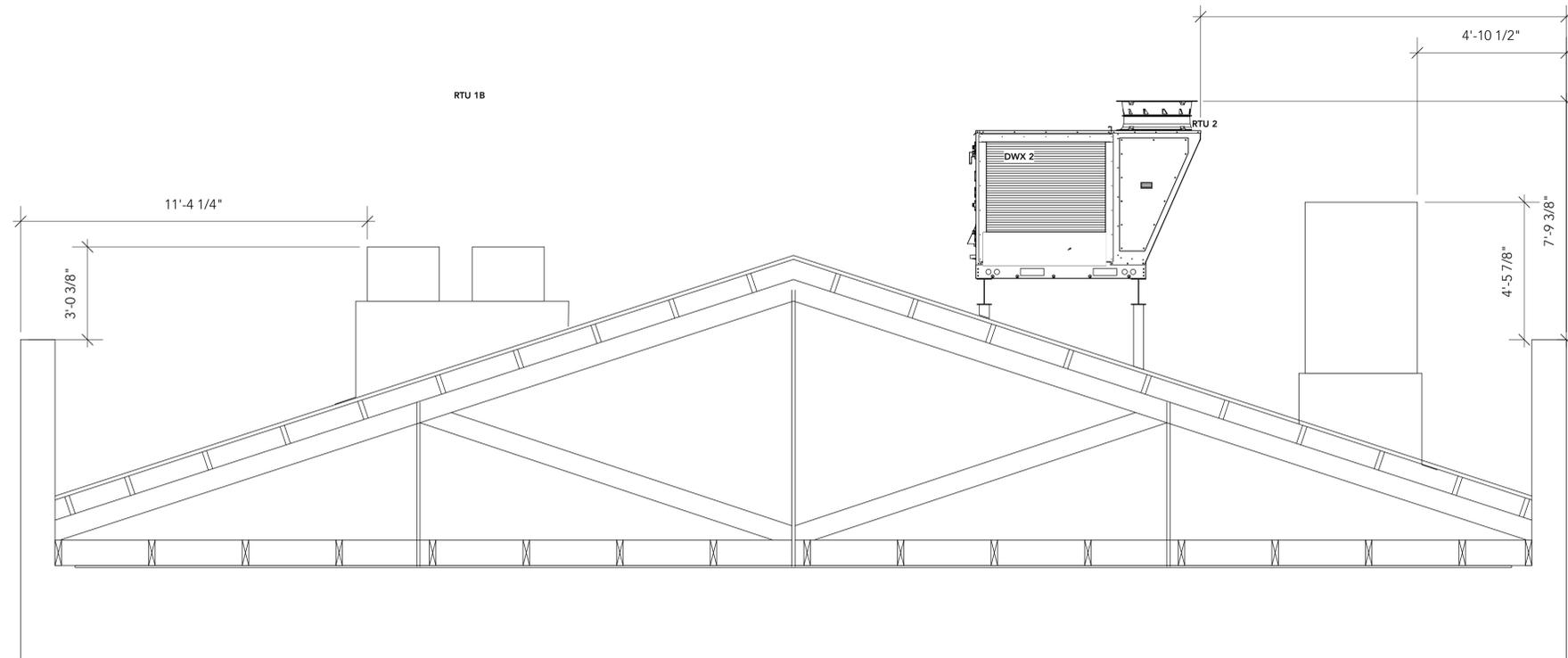
DATE:  
03.24.25

FULL SIZE DRAWING IS  
22" X 34"  
DRAWING:  
STOREFRONT SECTIONS

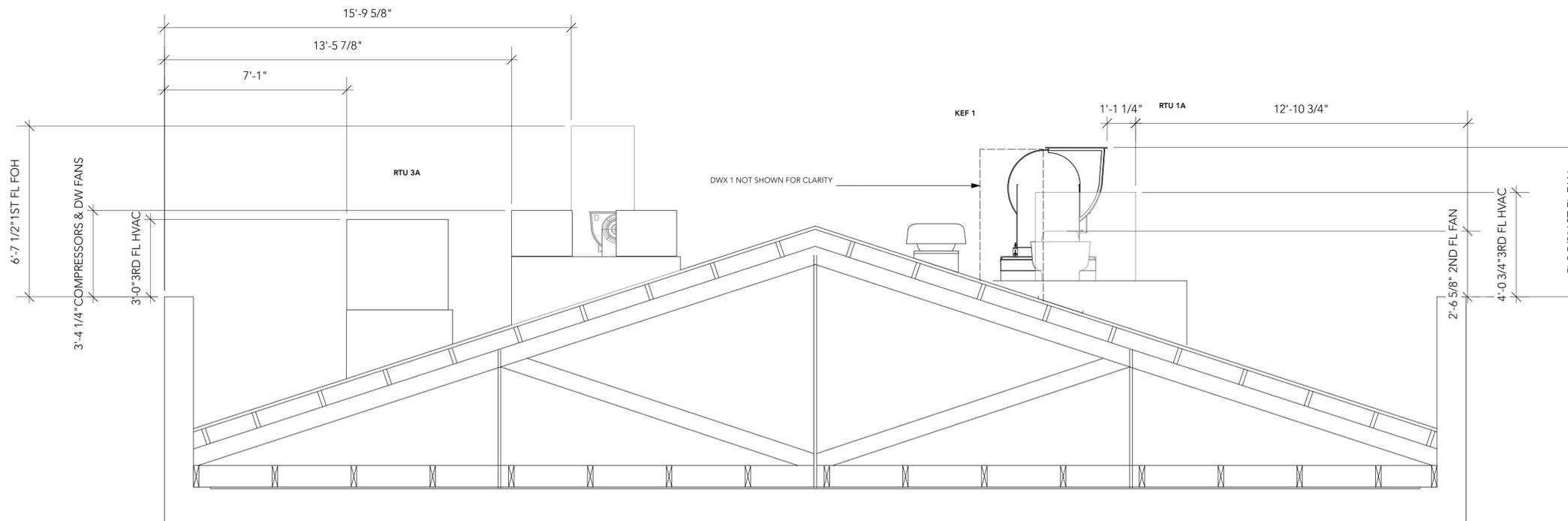
**A3.2**



**CADIUM DESIGN**  
Annabelle Lee 907.209.7879  
cadiumdesign.com PDX, OR



**1** RTU SECTION  
**A3.4** 3/8" = 1'



**2** RTU SECTION  
**A3.4** 3/8" = 1'

**NOTES**

1. ALL NEW RTU'S MUST HAVE A MATTE FINISH OR BE PAINTED TO MATCH THE ROOF

**NHI**  
837 SW 1ST AVE, PORTLAND, OR 97204

LU REVIEW

DATE:  
03.24.25

FULL SIZE DRAWING IS  
22" X 34"  
DRAWING:  
RTU SECTIONS

\*Approved\*  
City of Portland  
Portland Permitting and Development  
Planner   
Date 05-27-2025  
\*This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

**A3.4**

**MIKADO BLOCK BUILDING**

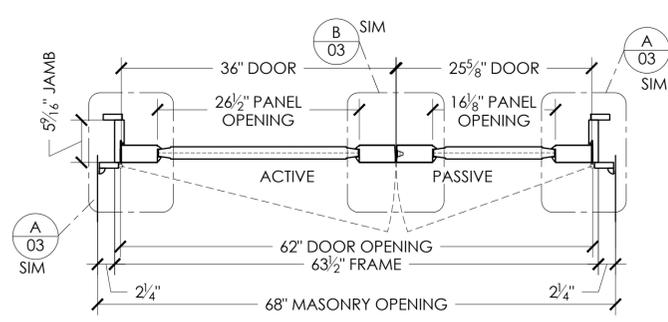
837 SW 1ST AVENUE  
PORTLAND, OR  
97204

**D**oors **W**indows **C**abinetry **M**ilwork **S**ash **P**reservation

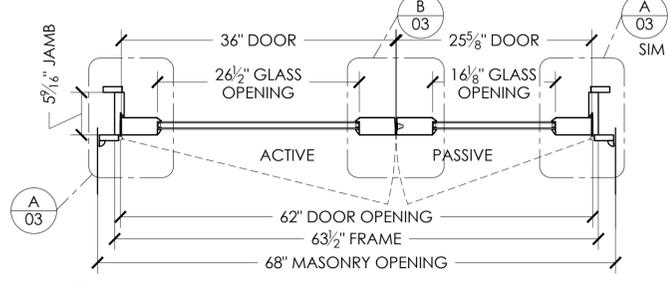
PROJECT #	25007
DRAWN BY	Rex Vaccaro
DATE	03.04.2025
REVISION DATE	03.21.2025
DESCRIPTION	ENTRY DOORS & SIDELIGHTS ELEVATIONS, SECTIONS AND DETAILS
PAGE #	01

\*Approved\*  
City of Portland  
Portland Permitting and Development  
Planner  
Date 05-27-2025  
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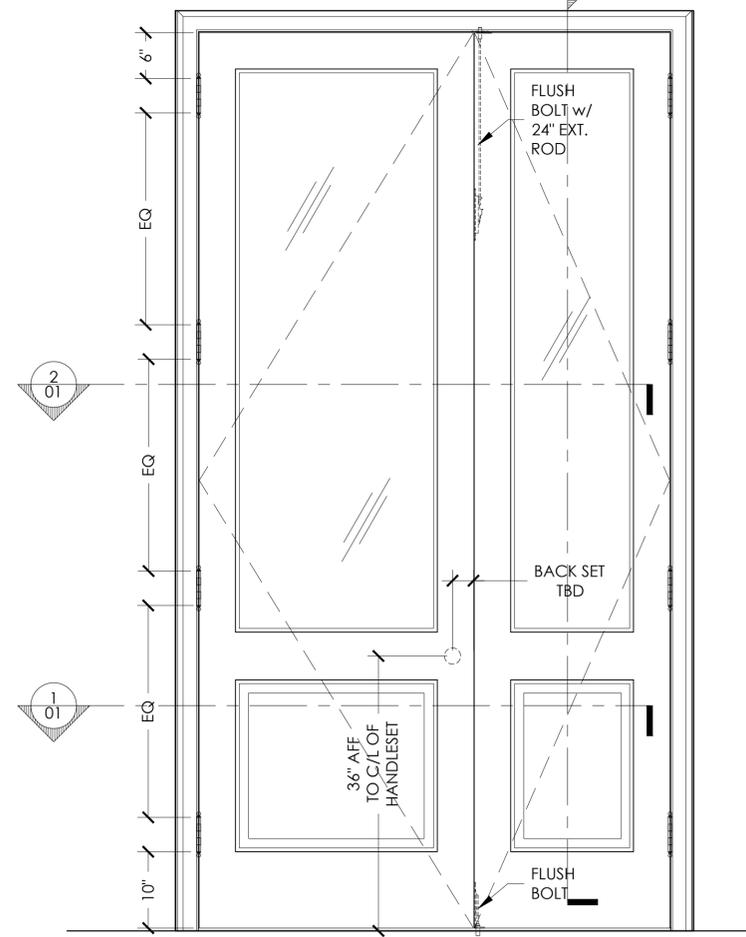
**NOTES** QTY=1  
**MATERIAL:** CVG DOUG FIR  
**FINISH:** FULL PRIME  
**OPERATION:** ACTIVE - RIGHT HAND OUTSWING  
PASSIVE - LEFT HAND OUTSWING  
**GLASS:** 1/8" TEMPERED OVER 3/8" TEMPERED,  
LOW-E 272 INSULATED GLASS, ARGON FILLED  
**STICKING:** OVOLO  
**STOPS:** BEVELED  
**MUNTIN:** NONE  
**PANEL DETAIL:** KNIFE 440 B  
**HARDWARE AND PREP INCLUDED:**  
Deltana Hinges ORB DSB45NB NRP 4.5" x 4.5"  
w/ Ball Tips DSBT10B, Qty (8)  
Baldwin Flush Bolt ORB 626.102 - 6", Qty (1)  
Baldwin Flush Bolt ORB 600.102 - 24", Qty (1)  
Pemko 411APKL Automatic Door Bottom Qty (2)  
Threshold - TBD  
Lockset - TBD  
**DELIVERY/ACCESS:** FRAME, DOORS AND  
CASING SHIPPED SEPARATELY



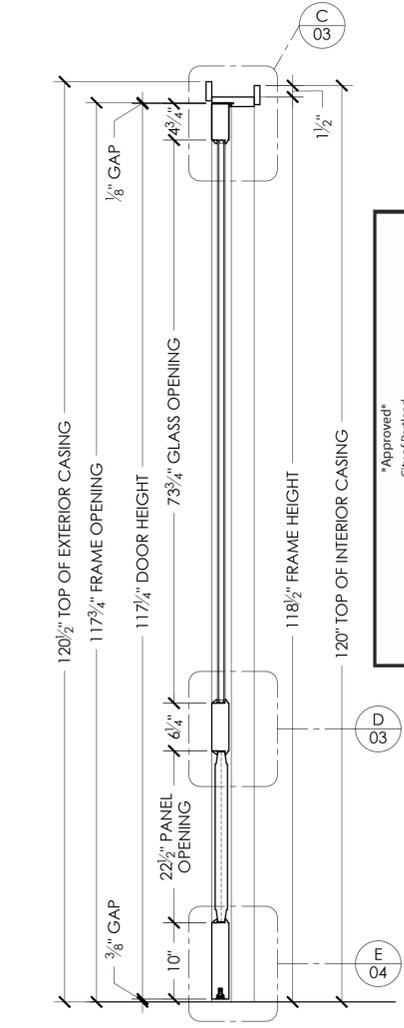
01 HORIZONTAL SECTION AT PANELS  
1ST STREET - MAIN ENTRY SCALE: 1" = 1'-0"



02 HORIZONTAL SECTION AT GLASS  
1ST STREET - MAIN ENTRY SCALE: 1" = 1'-0"

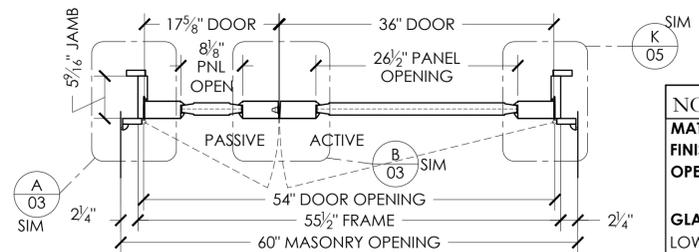


03 EXTERIOR ELEVATION  
1ST STREET - MAIN ENTRY SCALE: 1" = 1'-0"

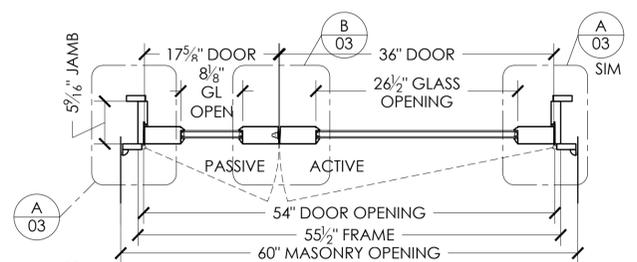


04 VERTICAL SECTION  
1ST STREET MAIN ENTRY SCALE: 1" = 1'-0"

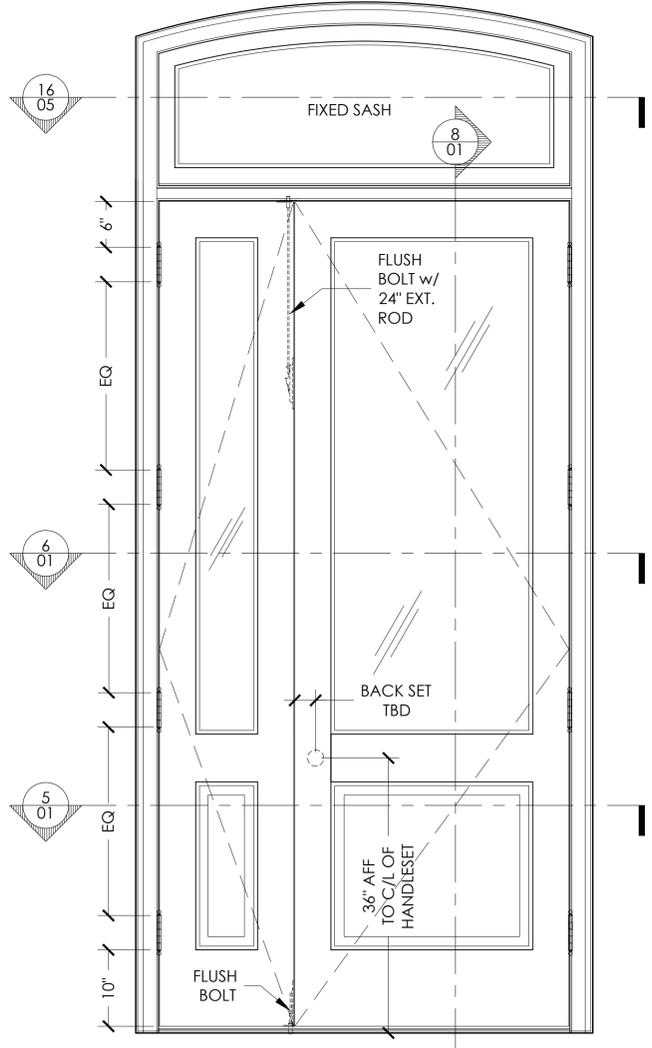
**NOTES** QTY=1  
**MATERIAL:** CVG DOUG FIR  
**FINISH:** FULL PRIME  
**OPERATION:** ACTIVE - LEFT HAND OUTSWING  
PASSIVE - RIGHT HAND OUTSWING  
**GLASS:** 1/8" TEMPERED OVER 3/8" TEMPERED,  
LOW-E 272 INSULATED GLASS, ARGON FILLED  
**STICKING:** OVOLO  
**STOPS:** BEVELED  
**MUNTIN:** NONE  
**PANEL DETAIL:** KNIFE 440 B  
**HARDWARE AND PREP INCLUDED:**  
Deltana Hinges ORB DSB45NB NRP 4.5" x 4.5"  
w/ Ball Tips DSBT10B, Qty (8)  
Baldwin Flush Bolt ORB 626.102 - 6", Qty (1)  
Baldwin Flush Bolt ORB 600.102 - 24", Qty (1)  
Pemko 411APKL Automatic Door Bottom Qty (2)  
Pemko 255 Alum Threshold ORB - 72", Qty (1)  
Lockset - TBD  
**DELIVERY/ACCESS:** FRAME, DOORS AND  
CASING SHIPPED SEPARATELY



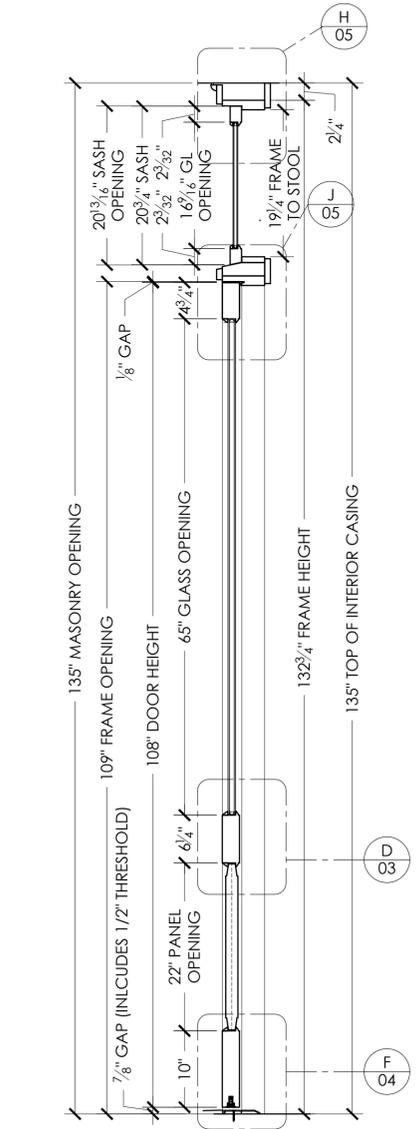
05 HORIZONTAL SECTION AT PANELS  
TAYLOR STREET PATIO SCALE: 1" = 1'-0"



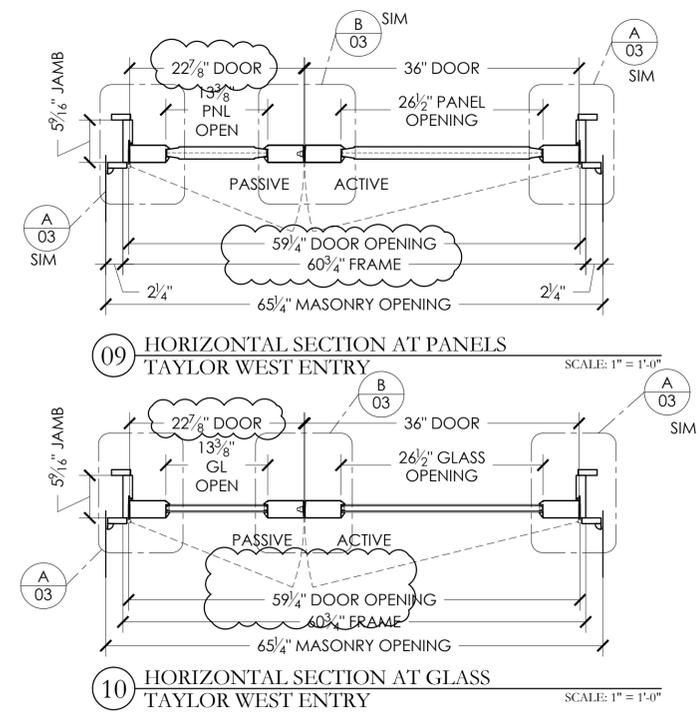
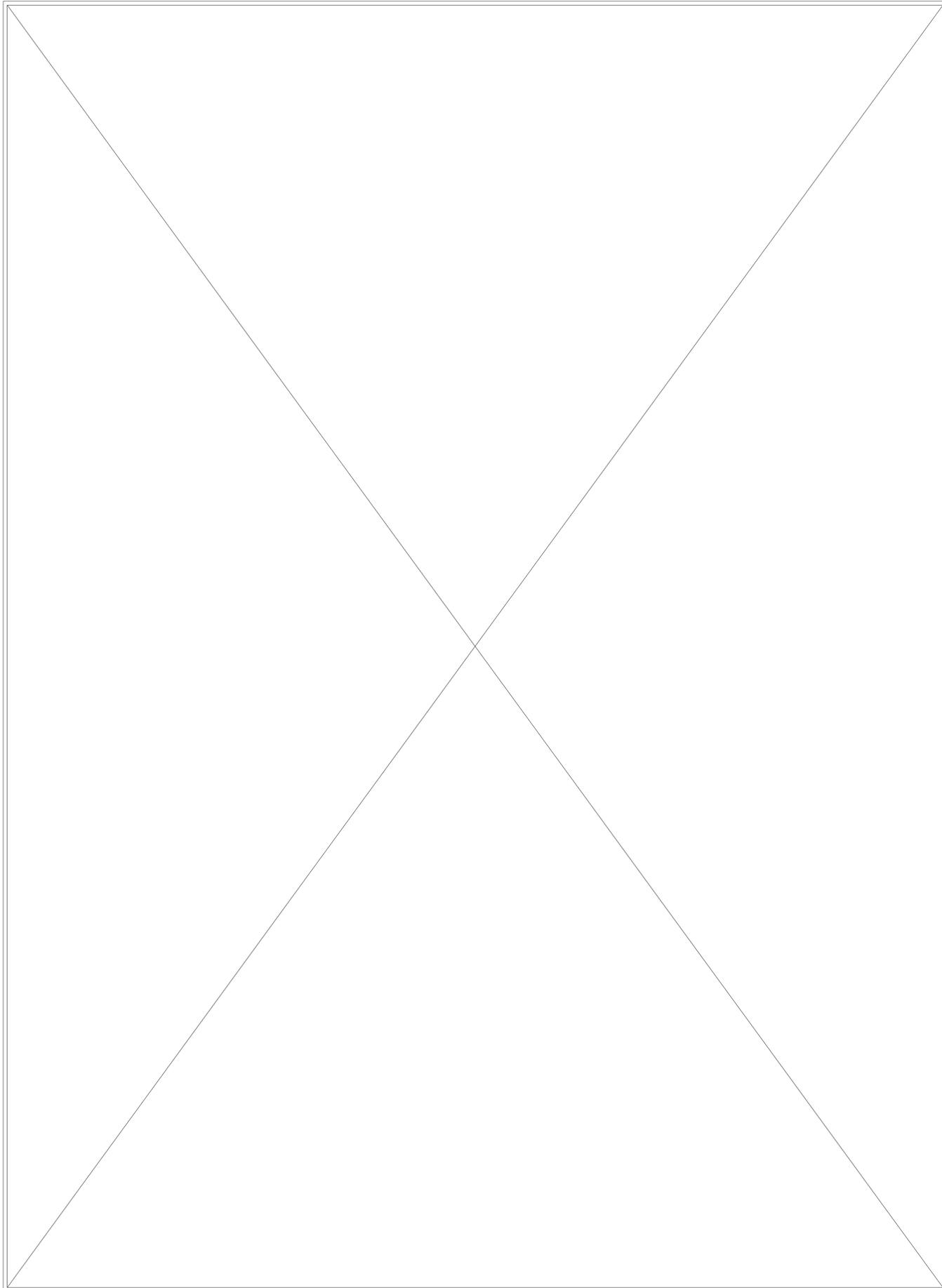
06 HORIZONTAL SECTION AT GLASS  
TAYLOR STREET PATIO SCALE: 1" = 1'-0"



07 EXTERIOR ELEVATION  
TAYLOR STREET PATIO SCALE: 1" = 1'-0"

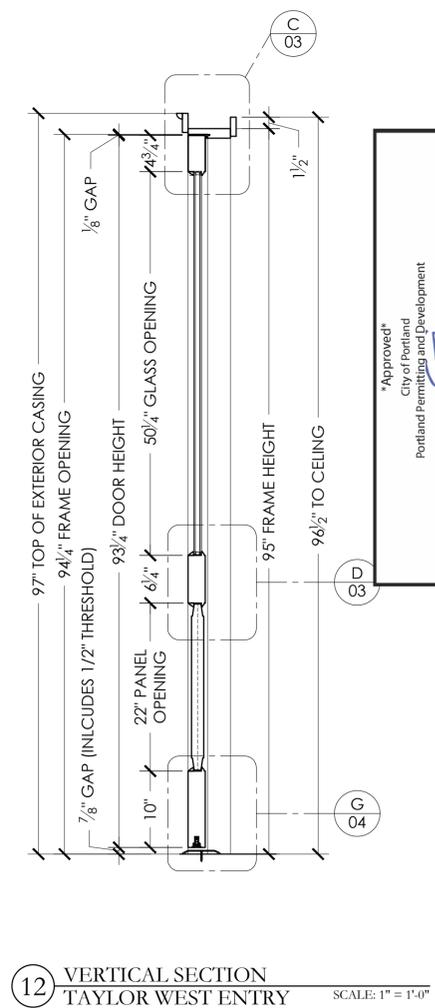
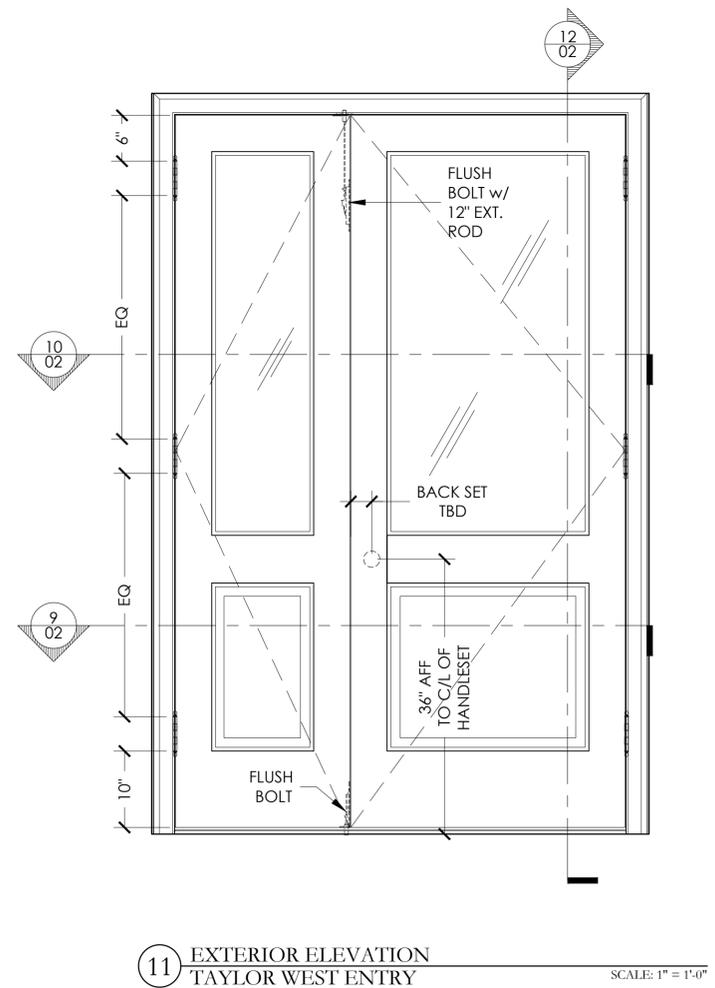


08 VERTICAL SECTION  
TAYLOR STREET PATIO SCALE: 1" = 1'-0"



**NOTES** QTY=1

**MATERIAL:** CVG DOUG FIR  
**FINISH:** FULL PRIME  
**OPERATION:** ACTIVE - LEFT HAND OUTSWING  
 PASSIVE - RIGHT HAND OUTSWING  
**GLASS:** 1/8\"/>



\*Approved\*  
 City of Portland  
 Portland Permitting and Development  
 Planner  
 Date  
 05-27-2025  
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**MIKADO BLOCK BUILDING**

837 SW 1ST AVENUE  
 PORTLAND, OR  
 97204



2303 N Randolph Ave.  
 Portland OR 97227

www.arciform.com

503.493.7344

**D**oors **W**indows **C**abinetry **M**ilwork **S**ash **P**reservation

PROJECT #	25007
DRAWN BY	Rex Vaccaro
DATE	03.04.2025
REVISION DATE	03.21.2025
DESCRIPTION	ENTRY DOORS & SIDELIGHTS ELEVATIONS, SECTIONS AND DETAILS
PAGE #	02

**02**

REV 2

3/21/2025 5:02 PM  
 HALFSCALE WHEN  
 PRINTED ON 11x17



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Portland OR 97227

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# MIKADO BLOCK BUILDING

837 SW 1ST AVENUE  
PORTLAND, OR  
97204

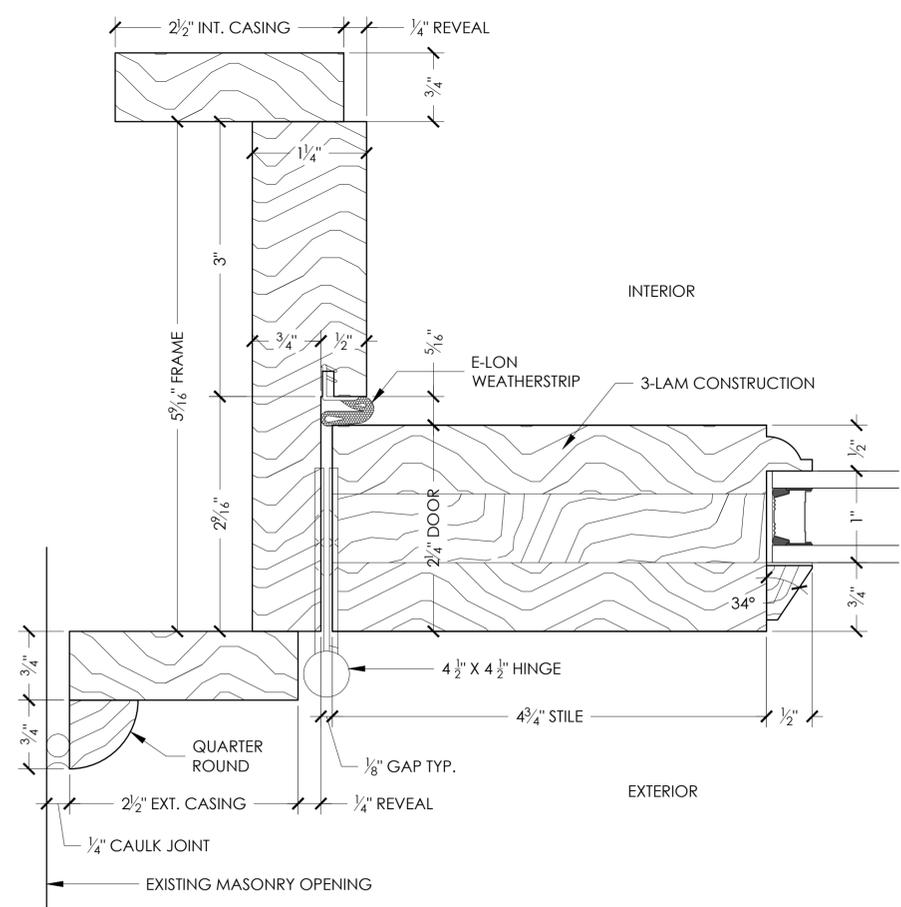
Preservation  
Sash  
Milwork  
Cabinetry  
Windows  
Doors

\*Approved\*  
City of Portland  
Portland Permitting and Development  
Planner  
Date  
05-27-2025  
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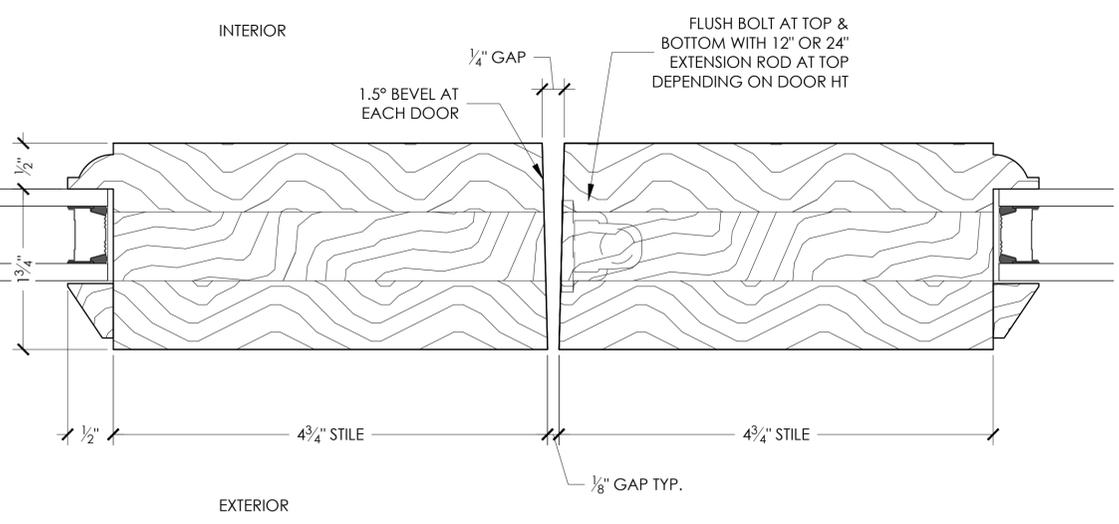
PROJECT #	25007
DRAWN BY	Rex Vaccaro
DATE	03.04.2025
REVISION DATE	03.21.2025
DESCRIPTION	ENTRY DOORS & SIDELIGHTS ELEVATIONS, SECTIONS AND DETAILS
PAGE #	03

REV 2

3/21/2025 5:02 PM  
HALFSCALE WHEN  
PRINTED ON 11x17

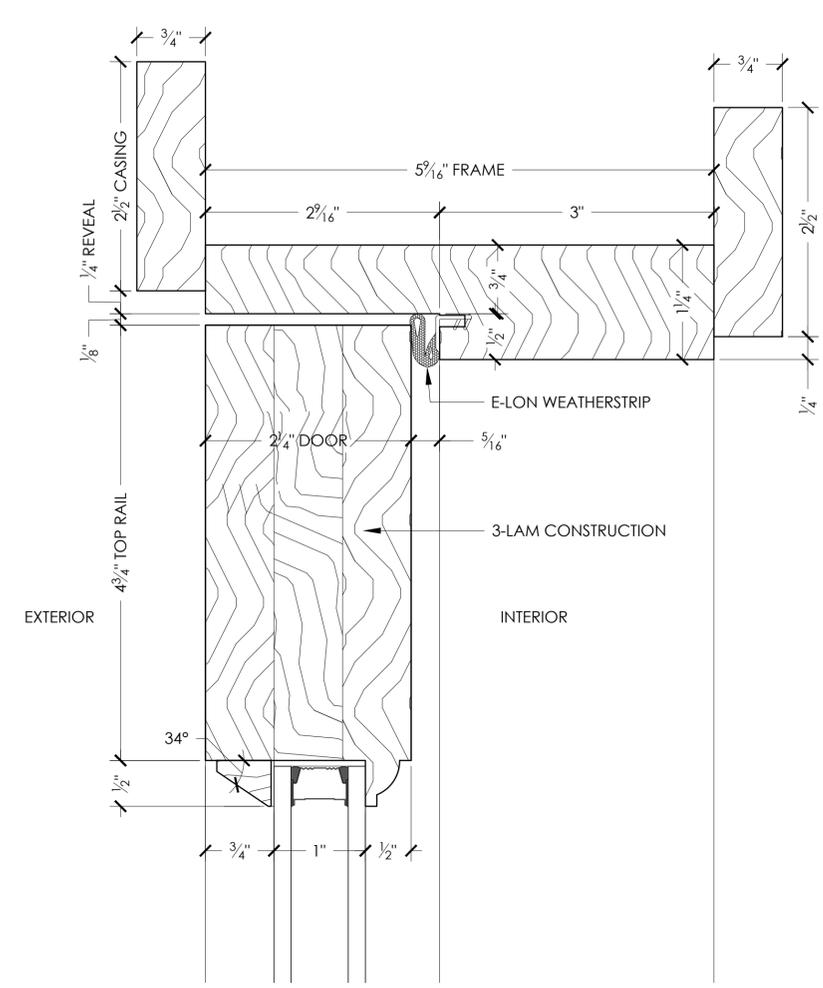


**A** JAMB LEG AT HINGE STILE  
DETAIL SCALE = 1" = 1"

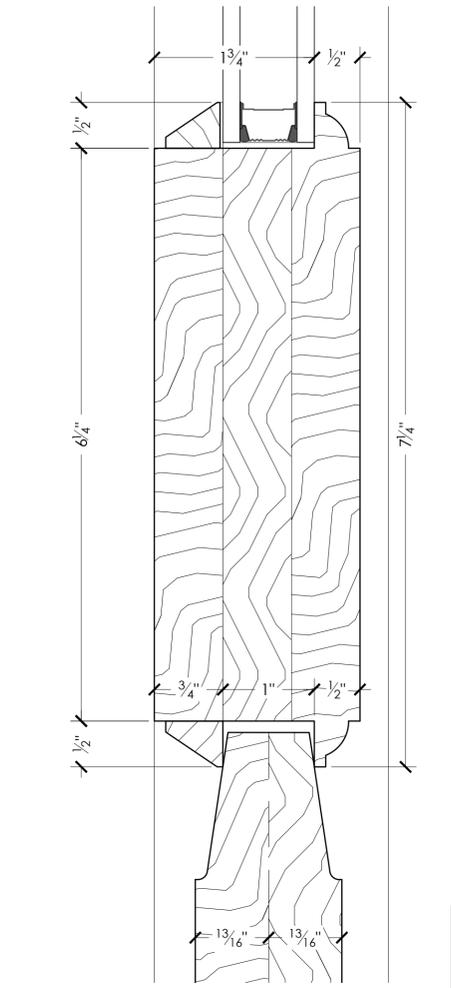


**B** MEETING STILES  
DETAIL SCALE = 1" = 1"

**C** HEAD JAMB  
DETAIL SCALE = 1" = 1"



**D** MID RAIL  
DETAIL SCALE = 1" = 1"





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Portland OR 97227

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# MIKADO BLOCK BUILDING

837 SW 1ST AVENUE  
PORTLAND, OR  
97204

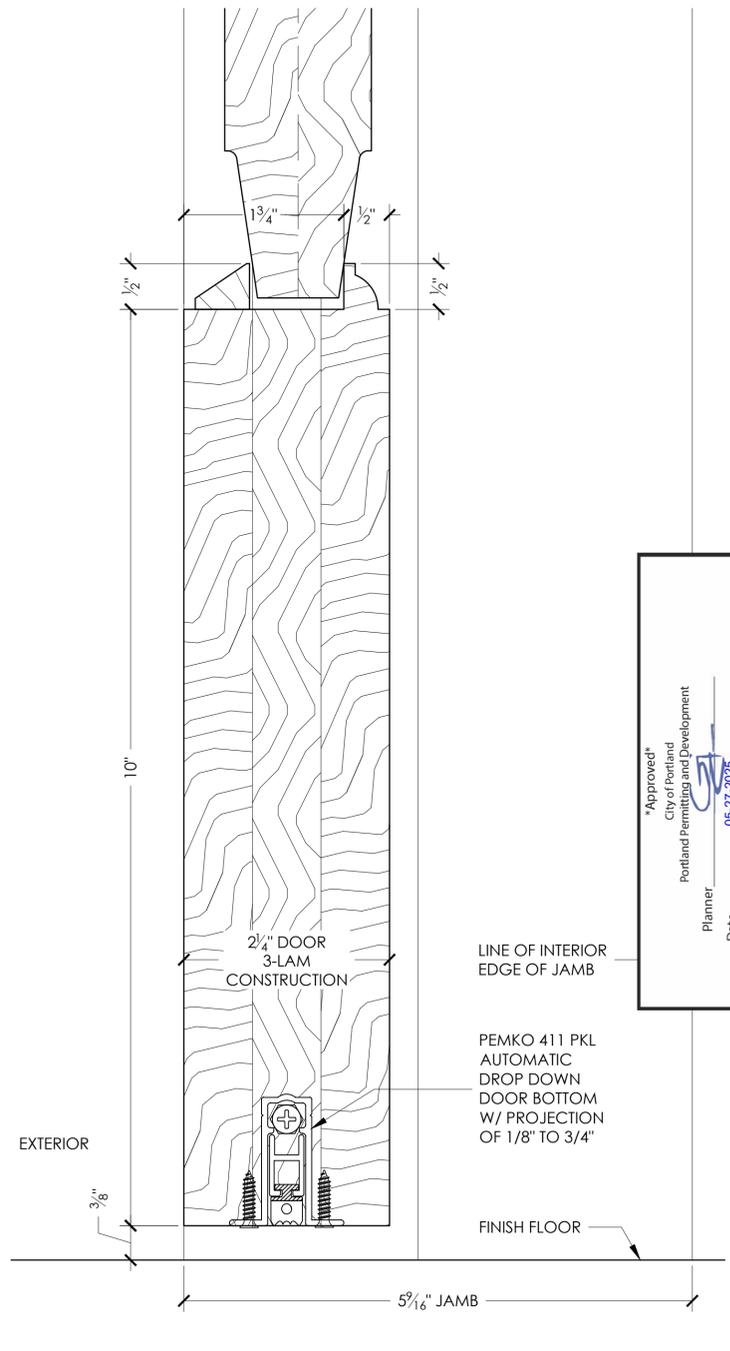
Preservation  
Sash  
Milwork  
Cabinetry  
Windows  
Doors

\*Approved\*  
City of Portland  
Portland Permitting and Development  
Planner: [Signature]  
Date: 05-27-2025  
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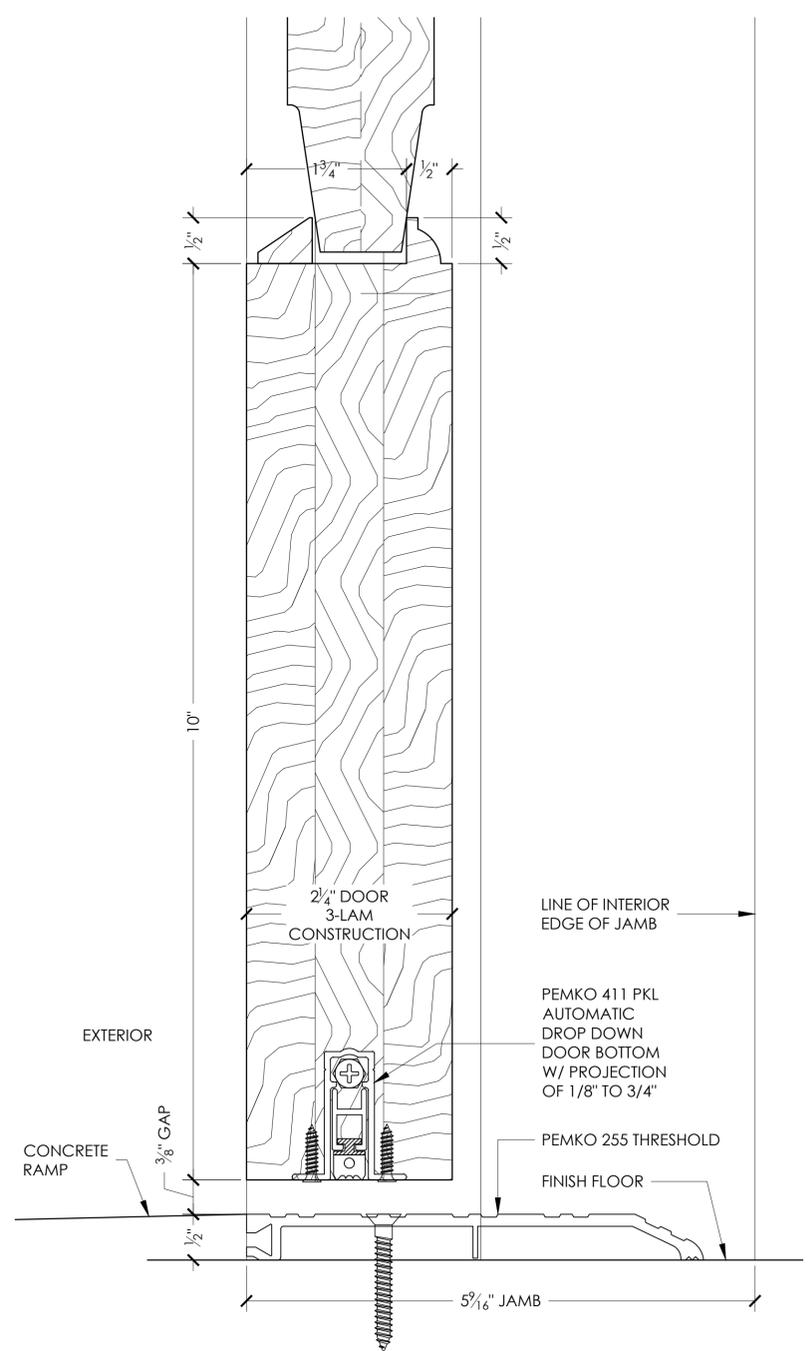
PROJECT #	25007
DRAWN BY	Rex Vaccaro
DATE	03.04.2025
REVISION DATE	03.21.2025
DESCRIPTION	ENTRY DOORS & SIDELIGHTS ELEVATIONS, SECTIONS AND DETAILS
PAGE #	04

REV 2

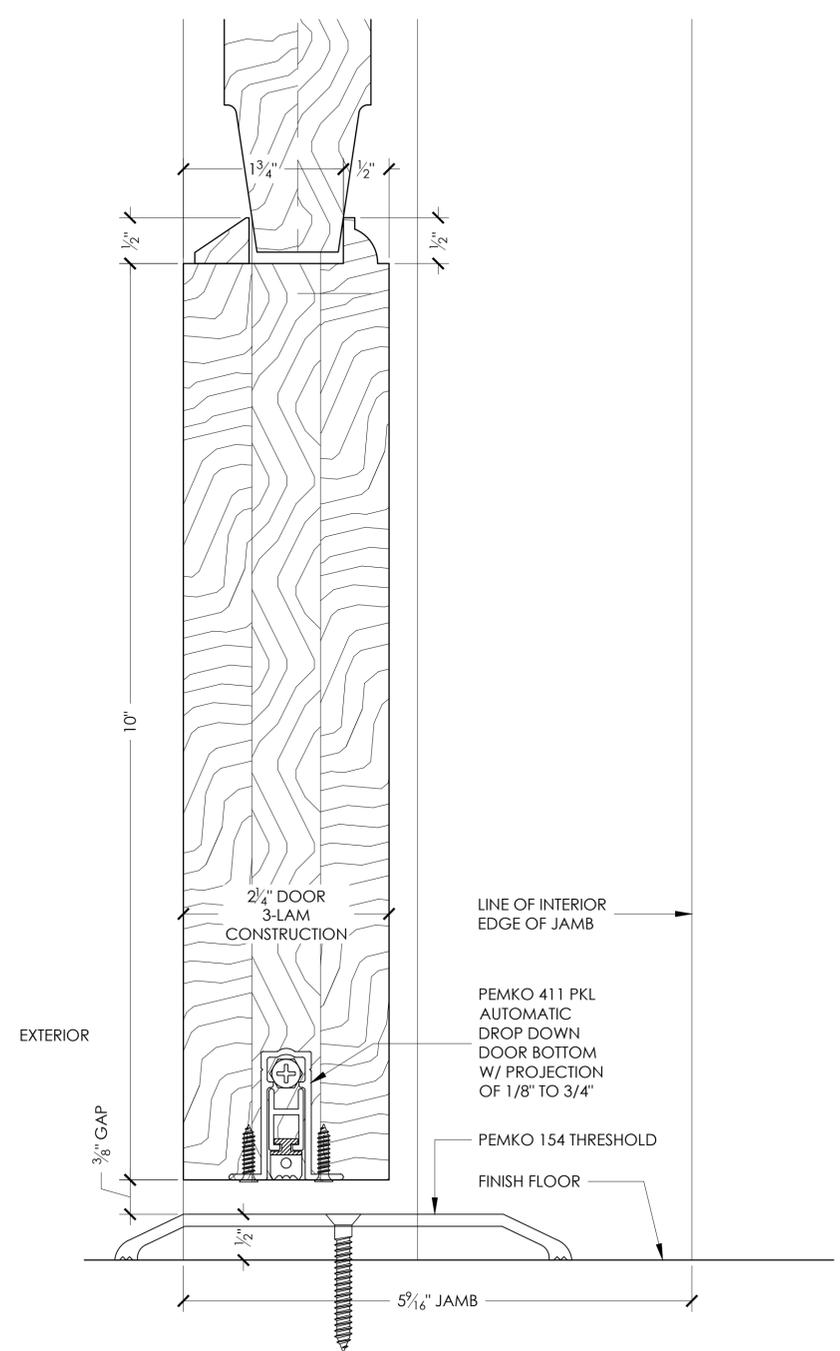
3/21/2025 5:02 PM  
HALFSCALE WHEN  
PRINTED ON 11x17



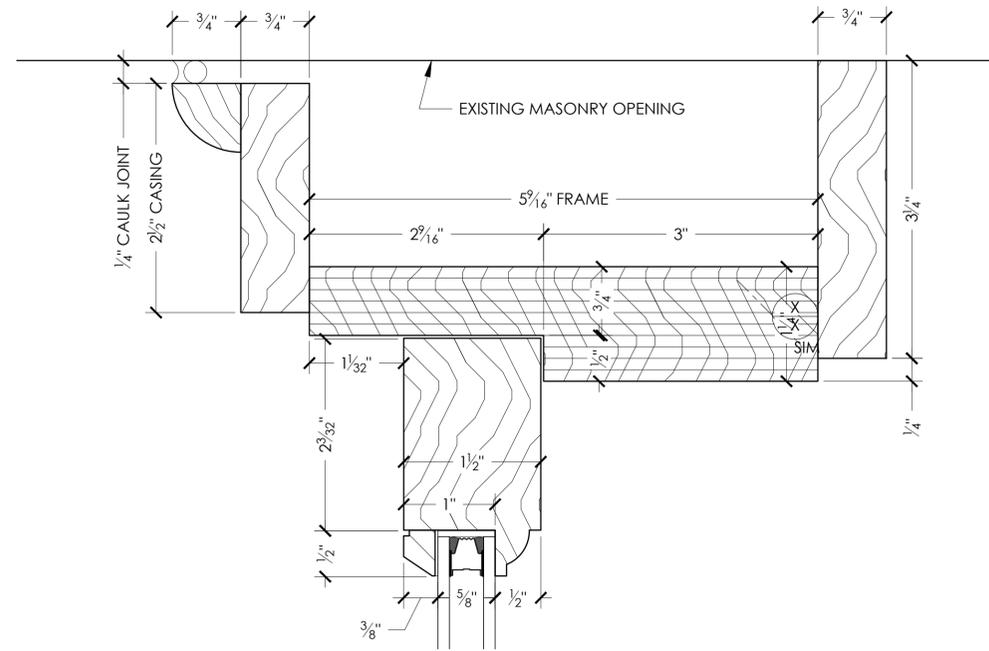
**(E)** DOOR BOTTOM / THRESHOLD DETAIL  
1ST STREET MAIN ENTRY  
SCALE = 1" = 1"



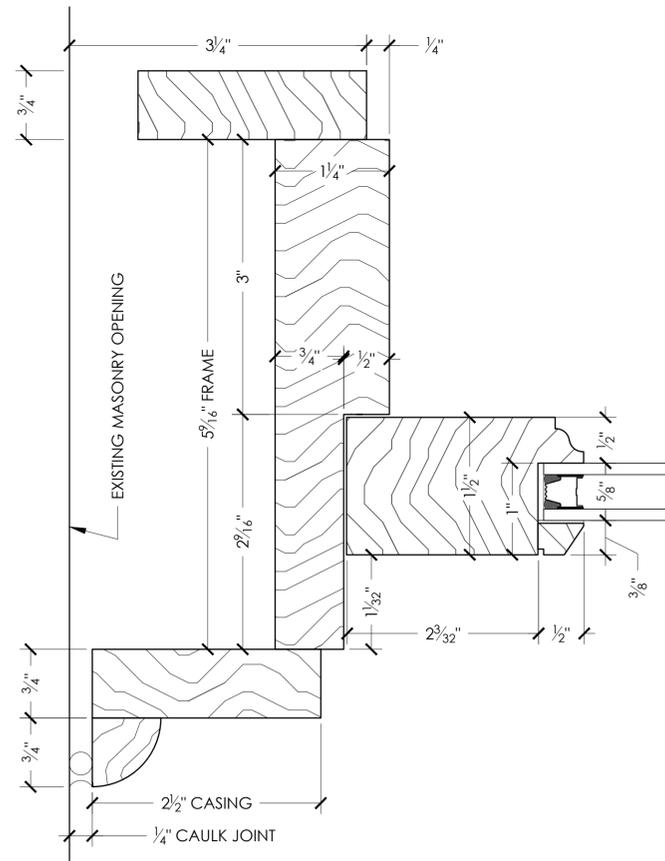
**(F)** DOOR BOTTOM / THRESHOLD DETAIL  
TAYLOR STREET PATIO  
SCALE = 1" = 1"



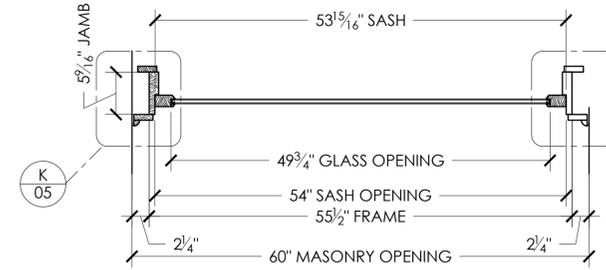
**(G)** DOOR BOTTOM / THRESHOLD DETAIL  
TAYLOR WEST  
SCALE = 1" = 1"



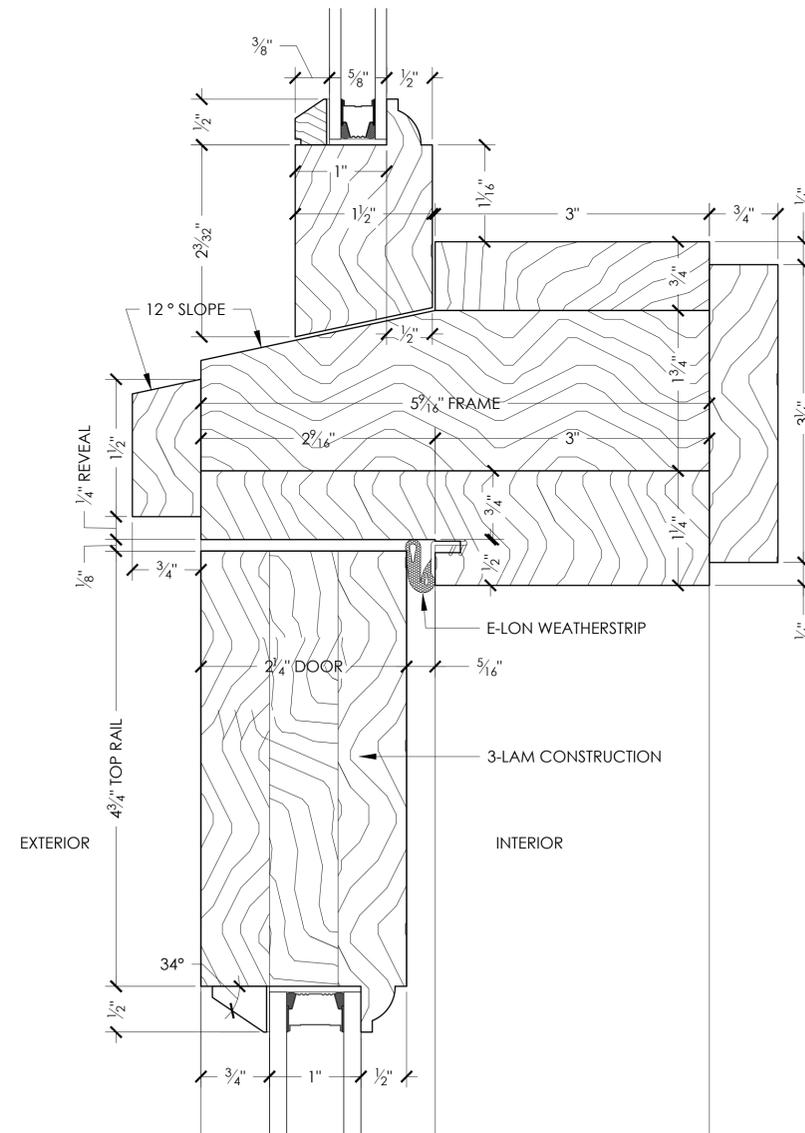
**H** HEAD JAMB DETAIL AT TRANSOM SASH  
TAYLOR STREET PATIO  
SCALE = 1" = 1"



**K** JAMB LEG DETAIL AT TRANSOM SASH  
TAYLOR STREET PATIO  
SCALE = 1" = 1"



**L** HORIZONTAL SECTION AT TRANSOM SASH  
TAYLOR STREET PATIO  
SCALE: 1" = 1'-0"



**J** TRANSOM BAR DETAIL  
TAYLOR STREET PATIO  
SCALE = 1" = 1"

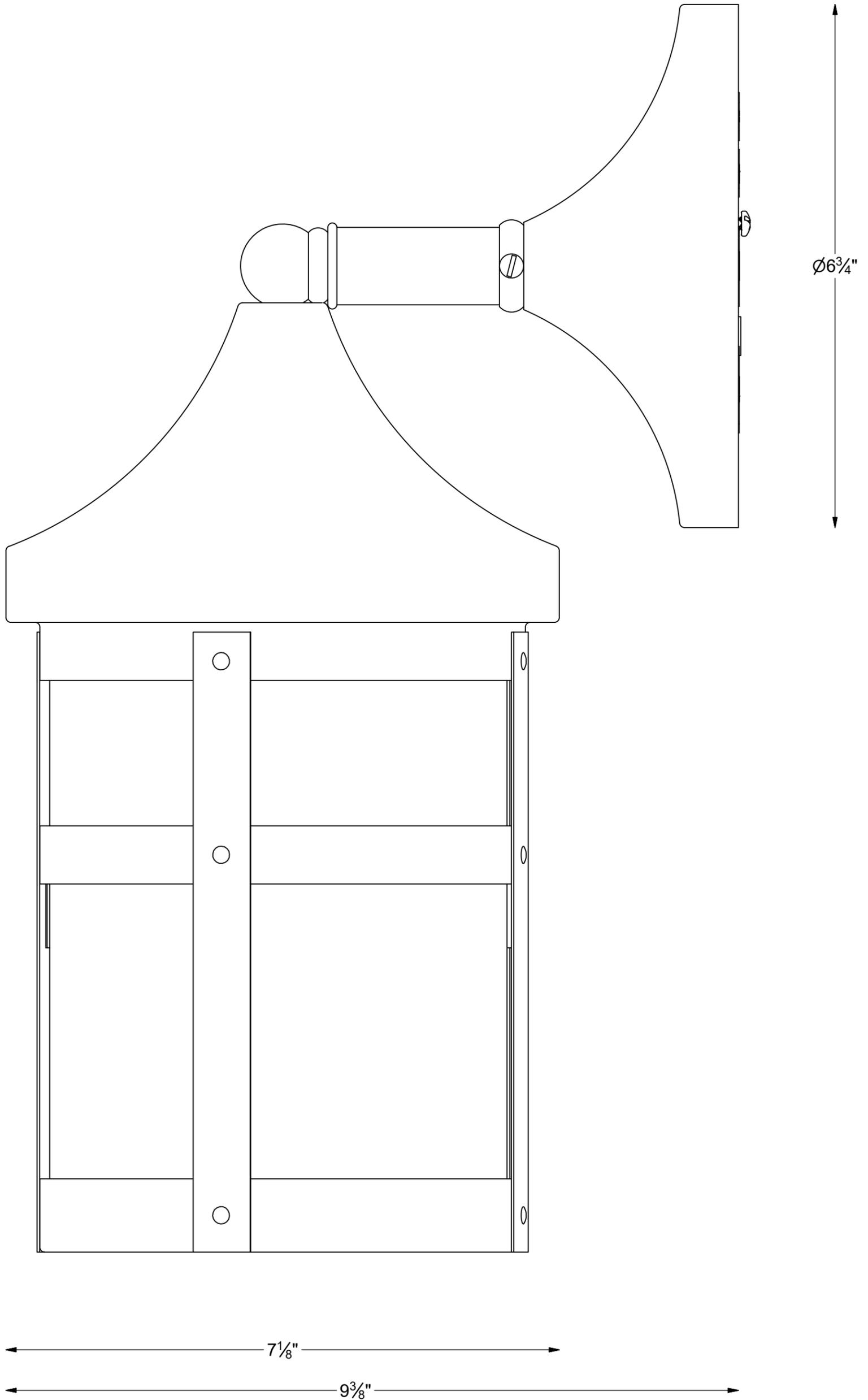
\*Approved\*  
City of Portland  
Portland Permitting and Development  
Planner:   
Date: 05-27-2025  
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**MIKADO BLOCK BUILDING**

837 SW 1ST AVENUE  
PORTLAND, OR  
97204

**D**oors **W**indows **C**abinetry **M**ilwork **S**ash **P**reservation

PROJECT #	25007
DRAWN BY	Rex Vaccaro
DATE	03.21.2025
REVISION DATE	
DESCRIPTION	ENTRY DOORS & SIDELIGHTS ELEVATIONS, SECTIONS AND DETAILS
PAGE #	05



16 1/8"

12 3/4"

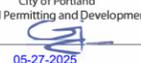
Ø6 3/4"

7 1/8"

9 3/8"

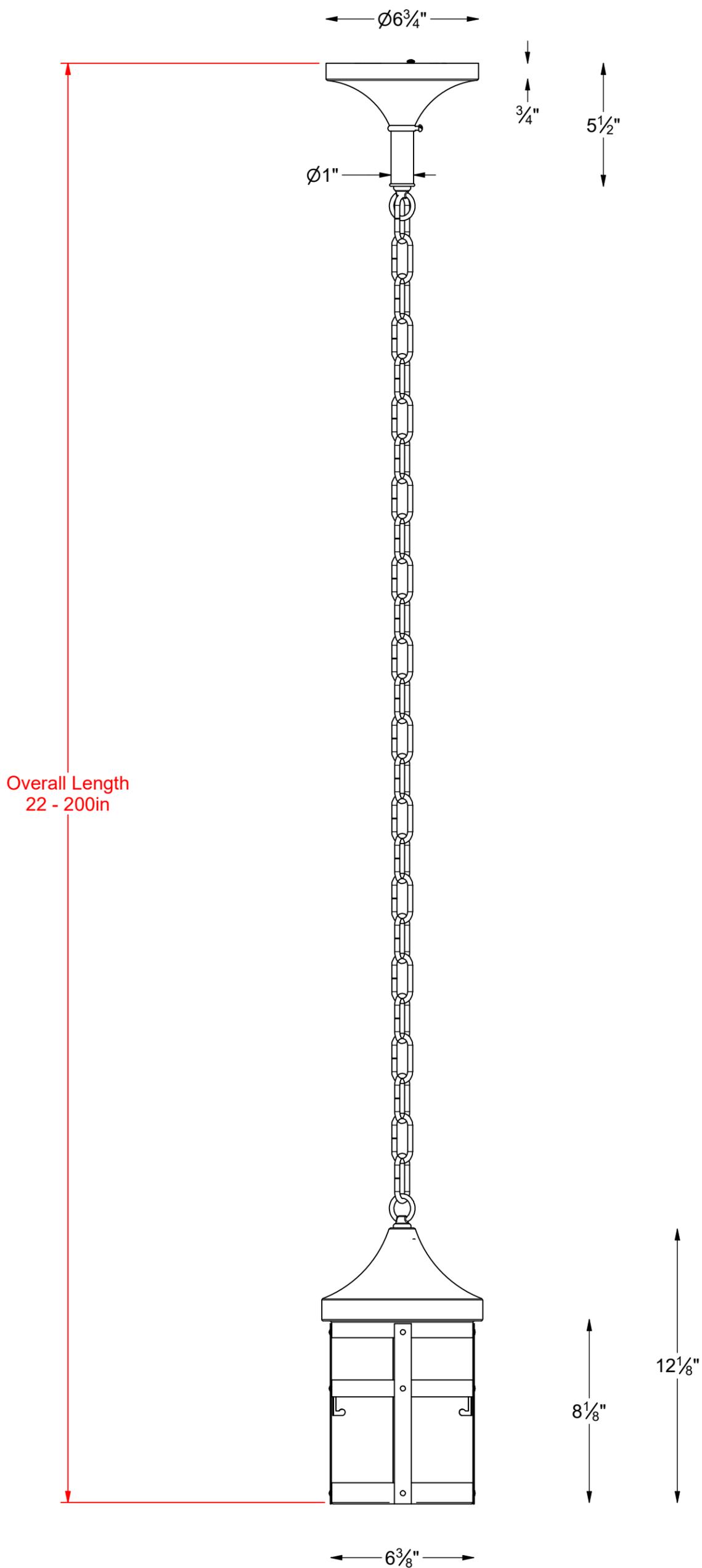
A9484

Columbia large single sconce

\*Approved\*  
 City of Portland  
 Portland Permitting and Development  
 Planner   
 Date 05-27-2025  
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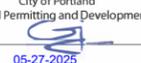
**REJUVENATION**

LU 25-022904 HR, Exhibit C.17

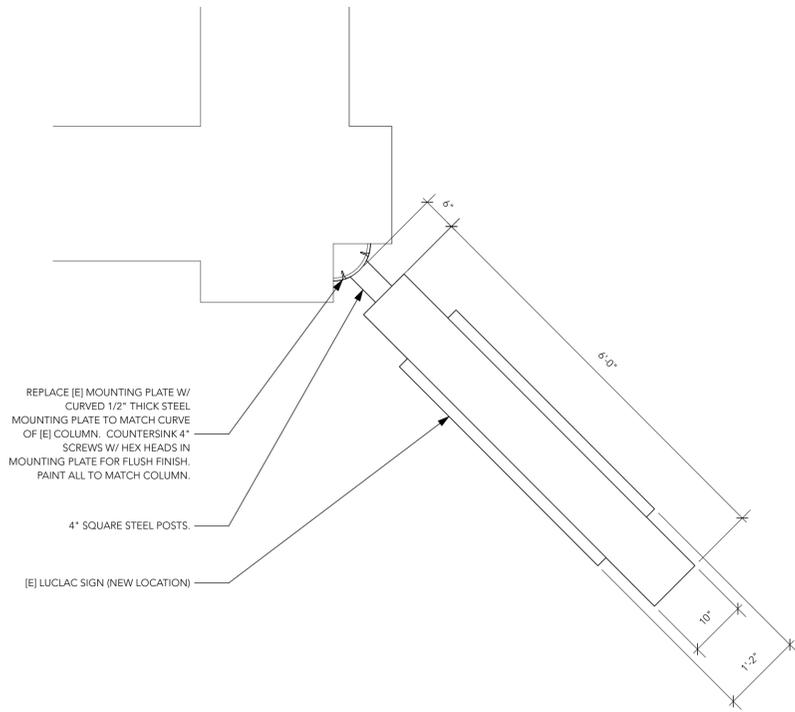


A9990

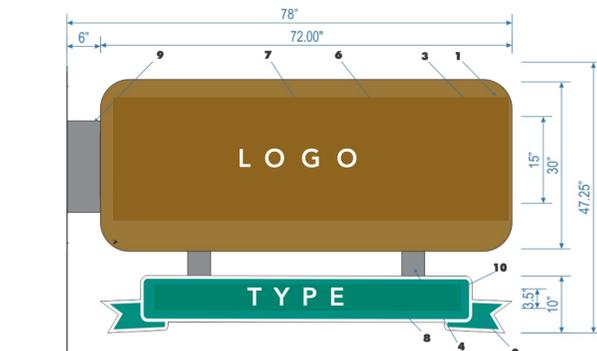
Columbia Pendant or York

\*Approved\*  
 City of Portland  
 Portland Permitting and Development  
 Planner   
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**REJUVENATION**



**1 SIGN PROJECTION**  
A3.3 3/4" = 1'



**A Double Face Illuminated Blade Sign**  
Scale: 3/4" = 1' - 0"

**Furnish and install (1) LED illuminated aluminum blade sign**

- 1 Upper cabinet to be 10" deep aluminum construction painted as per color key (P2).
- 2 Lower cabinet to be 6" deep aluminum construction painted as per color key (P2).
- 3 Substrate to be 1/8" aluminum painted per color key with.
- 4 Supports to be 4" x 4" steel square tube construction per engineering calculations and specifications painted as per color key.
- 5 Mounting plate to be 1/2" thick steel per engineering calculations and specifications painted per color key.
- 6 LOGO to be 2" deep open pan channel letters painted White with Turquoise returns; illuminate using 11s-14 LED Warm (yellowish) or Cool (bright white) light bulbs - **OPTIONAL** flashing or constant lighting. Qty. 126 bulbs per side - 252 total.
- 7 Logo accents to be 3/4" push-thru (1/2" visible) with white translucent overlay; reverse side diffused, edges to be clear.
- 8 Letters "TYPE OF RESTAURANT" 3/4" push-thru (1/2" visible) with white translucent overlay; reverse side diffused, edges to be clear.
- 9 Base plate cover to be 1/8" aluminum construction painted as per color key (P1)
- 10 Internally illuminate using GE Tetra MAX white 7100K LEDs; with universal 60w power supplies with photocell. Install sign flush to building surface using required fasteners

**Vinyl Color Key**

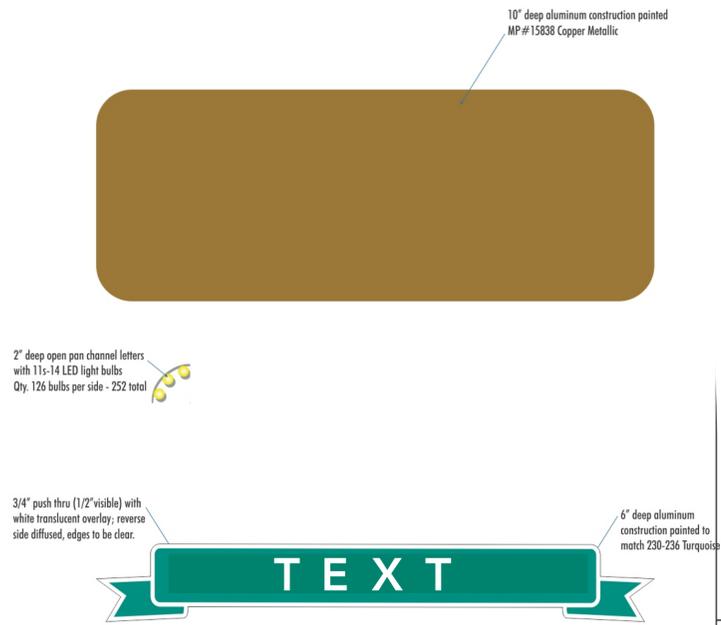
230-236 Turquoise

**Paint Color Key**

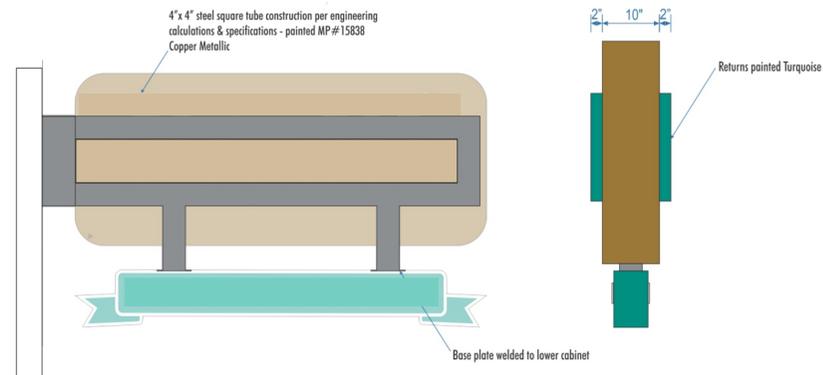
P1 To Match 230-236 Turquoise

P2 MP-#15838 Copper Metallic

**2 SIGN DIMENSIONS**  
A3.3 NTS



**4 LETTERING DETAIL**  
A3.3 NTS



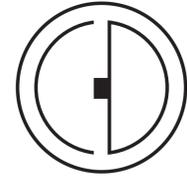
**5 DETAIL**  
A3.3 NTS

POSITION OF BRACKET ON [E] STEEL COLUMN



**3 BRACKET PLACEMENT**  
A3.3 NTS

\*Approved\*  
City of Portland  
Portland Permitting and Development  
Planner   
Date 05-27-2025  
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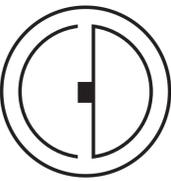


**CADIUM DESIGN**  
Annabelle Lee 907.209.7879  
cadiumdesign.com PDX, OR

**NHI**  
837 SW 1ST AVE, PORTLAND, OR 97204

DRAFT  
DATE: 04.04.25  
FULL SIZE DRAWING IS 22" X 34"  
DRAWING: SIGN

**A3.3**



CADIUM DESIGN  
Annabelle Lee 907.209.7879  
cadiumdesign.com PDX, OR



1 PROPOSED AWNING GRAPHICS  
A3.5 1/4" = 1'

NHI  
837 SW 1ST AVE, PORTLAND, OR 97204

DRAFT

DATE:  
05.23.25

FULL SIZE DRAWING IS  
22" X 34"

DRAWING:  
AWNING GRAPHICS

\*Approved\*  
City of Portland  
Portland Permitting and Development  
Planner   
Date 05-27-2025  
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A3.5

	A	B	C	D	E	F
1	ENDORSEMENT	INFO1	INFO2	NAME	ADDRESS/IO ADDRESS	CITYSTATEZIP/ADDRESSEE
2	RETURN SERVICE REQUESTED		1S1E03BA 1800	BEARDSLEY JOHN P	816 SW 1ST AVE #300	PORTLAND OR 97204-3308
3	RETURN SERVICE REQUESTED		1S1E03BA 1800	FOUNTAIN VILLAGE DEVELOPMENT	816 SW 1ST AVE	PORTLAND OR 97204-3308
4	RETURN SERVICE REQUESTED		1S1E03BA 1900	WATERFRONT CROSSING LLC	818 SW 3RD AVE PMB 95	PORTLAND OR 97204-2405
5	RETURN SERVICE REQUESTED		1S1E03BA 200	PORTLAND GENERAL ELECTRIC CO INC	121 SW SALMON ST STE 200	PORTLAND OR 97204
6	RETURN SERVICE REQUESTED		1S1E03BA 200	121 SW SALMON ST CORP	121 SW SALMON ST	PORTLAND OR 97204-9951
7	RETURN SERVICE REQUESTED		1S1E03BA 200	PORTLAND GENERAL ELECTRIC COM INC	121 SW SALMON ST 10TH FLR	PORTLAND OR 97204
8	RETURN SERVICE REQUESTED		1S1E03BA 2000	USAGENCIES CREDIT UNION INC	12550 SE 93RD AVE STE 400	CLACKAMAS OR 97015
9	RETURN SERVICE REQUESTED		1S1E03BA 2000	DAYTON 838 LLC	449 15TH ST 4TH FLOOR	OAKLAND CA 94612
10	RETURN SERVICE REQUESTED		1S1E03BA 2000	DE FRANG GARY	838 SW 1ST AVE RM 430	PORTLAND OR 97204
11	RETURN SERVICE REQUESTED		1S1E03BA 2000	WARREN ERNEST JR	838 SW 1ST AVE RM 200	PORTLAND OR 97204
12	RETURN SERVICE REQUESTED		1S1E03BA 2100	ASSOCIATED PRESS INC THE	PO BOX 4900	SCOTTSDALE AZ 85261-4900
13	RETURN SERVICE REQUESTED	1S1E03BA 2100	BLACKBERRY CORPORATION	CYLANCE INC ATTN BRENDA MACGARVIE	5030 RIVERSIDE DR #200	IRVING TX 75039
14	RETURN SERVICE REQUESTED		1S1E03BA 2100	FEDERAL GOVERNMENT	121 SW SALMON ST #241	PORTLAND OR 97204
15	RETURN SERVICE REQUESTED		1S1E03BA 2100	KLARQUIST SPARKMAN LLP	121 SW SALMON ST STE 1600	PORTLAND OR 97204-2988
16	RETURN SERVICE REQUESTED		1S1E03BA 2100	MAZZETTI INC	393 NICHOL MILL LN STE 15	FRANKLIN TN 37067-8324
17	RETURN SERVICE REQUESTED		1S1E03BA 2100	PORTLAND GENERAL ELECTRIC CO	121 SW SALMON ST STE 820	PORTLAND OR 97204
18	RETURN SERVICE REQUESTED		1S1E03BA 2100	REGUS MANAGEMENT GROUP LLC	15305 DALLAS PKWY STE 1200	ADDISON TX 75001
19	RETURN SERVICE REQUESTED		1S1E03BA 2100	FEDERAL GOVERNMENT	121 SW SALMON ST #1250	PORTLAND OR 97204
20	RETURN SERVICE REQUESTED		1S1E03BA 2100	PORTLAND COMMUNITY COLLEGE	121 SW SALMON ST STE 210	PORTLAND OR 97204
21	RETURN SERVICE REQUESTED	1S1E03BA 2100	PORTLAND GENERAL ELECTRIC COMPANY	1WTC0510 CORPORATE TAX DEPT	121 SW SALMON ST	PORTLAND OR 97204
22	RETURN SERVICE REQUESTED		1S1E03BA 2100	BLOOMBERG LP	2500 WESTFIELD DR STE 202	ELGIN IL 60124-7701
23	RETURN SERVICE REQUESTED		1S1E03BA 2100	GG TELECOMMUNICATIONS CO INC	121 SW SALMON ST STE P1	PORTLAND OR 97204
24	RETURN SERVICE REQUESTED		1S1E03BA 2100	JOLLEY DANIEL R	116 SW TAYLOR ST	PORTLAND OR 97204
25	RETURN SERVICE REQUESTED		1S1E03BA 2100	OREGON ECONOMIC DEVELOPMENT DEPT	121 SW SALMON ST STE 1700	PORTLAND OR 97204
26	RETURN SERVICE REQUESTED		1S1E03BA 2100	PORTLAND BUSINESS ALLIANCE	121 SW SALMON ST STE 1440	PORTLAND OR 97204
27	RETURN SERVICE REQUESTED		1S1E03BA 2100	PORTLAND GENERAL ELECTRIC CO	121 SW SALMON ST STE 840	PORTLAND OR 97204
28	RETURN SERVICE REQUESTED		1S1E03BA 2100	RUBICON WEST LLC	121 SW SALMON ST STE 1200	PORTLAND OR 97204
29	RETURN SERVICE REQUESTED		1S1E03BA 2100	STRADA COLLABORATIVE INC	10 W MARKET ST #1100	INDIANAPOLIS IN 46204-0074
30	RETURN SERVICE REQUESTED		1S1E03BA 2100	CAYUSE LLC	1050 SW 6TH AVE STE 1100	PORTLAND OR 97204
31	RETURN SERVICE REQUESTED		1S1E03BA 2100	FEDERAL GOVERNMENT	121 SW SALMON ST #242	PORTLAND OR 97204
32	RETURN SERVICE REQUESTED		1S1E03BA 2100	PORTLAND GENERAL ELECTRIC CO	121 SW SALMON ST STE 1700	PORTLAND OR 97204
33	RETURN SERVICE REQUESTED		1S1E03BA 2100	RHINE & TANZER INC	700 SE CLAY ST	PORTLAND OR 97214-3511
34	RETURN SERVICE REQUESTED		1S1E03BA 2100	RIVERMARK COMMUNITY CREDIT UNION	14405 MEYERS RD	OREGON CITY OR 97045
35	RETURN SERVICE REQUESTED		1S1E03BA 2100	STATE OF OREGON	121 SW SALMON ST STE 1205	PORTLAND OR 97204
36	RETURN SERVICE REQUESTED		1S1E03BA 2200	AIR SCIENCES INC	150 CAPITAL DR STE 320	GOLDEN CO 80401
37	RETURN SERVICE REQUESTED		1S1E03BA 2200	MB LAW GROUP LLP	620 SW 5TH AVE STE 300	PORTLAND OR 97204
38	RETURN SERVICE REQUESTED		1S1E03BA 2400	JAMA SOFTWARE INC	135 SW TAYLOR ST STE 200	PORTLAND OR 97204
39	RETURN SERVICE REQUESTED		1S1E03BA 2400	B13 INVESTORS LLC	111 SW COLUMBIA ST #1380	PORTLAND OR 97201-5845
40	RETURN SERVICE REQUESTED		1S1E03BA 3400	GEFFNER PHILIP	2473 NW QUIMBY ST	PORTLAND OR 97210-2627
41	RETURN SERVICE REQUESTED	OWNER	1S1E03BA 2200	YAMHILL PARTNERS LLC	117 SW TAYLOR ST #300	PORTLAND OR 97204-3029
42	RETURN SERVICE REQUESTED	OWNERS AGENT	ATTORNEY	BLATTNER CHRISTOPHER	7634 SE 36TH AVE	PORTLAND OR 97202
43	RETURN SERVICE REQUESTED	PARTY OF INTEREST	KIDDER MATTHEWS	JOSHI KEVIN	101 SW MAIN ST STE 1200	PORTLAND OR 97204
44	RETURN SERVICE REQUESTED	APPLICANT	MURVY IDNUSTRIES	HO ALAN	818 SW 3RD AVE #286	PORTLAND OR 97204
45	RETURN SERVICE REQUESTED		CADIUM DESIGN	LEE ANNABELLE	4414 NE EMERSON ST	PORTLAND OR 97218
46	RETURN SERVICE REQUESTED		LAND USE CONTACT	DISTRICT 4 NEIGHBORHOOD COALITION	434 NW 6TH AVE SUITE 202	PORTLAND OR 97209
47	RETURN SERVICE REQUESTED		PORTLAND DOWNTOWN NEIGHBORHOOD ASSOC	DEBARDELABEN MARIAN	434 NW 6TH AVE SUITE 202	PORTLAND OR 97209
48	RETURN SERVICE REQUESTED		DOWNTOWN RETAIL COUNCIL	MEAD SYDNEY	121 SW SALMON ST STE 1440	PORTLAND OR 97204
49	RETURN SERVICE REQUESTED		LAND USE CONTACT	PIONEER COURTHOUSE SQ	715 SW MORRISON #702	PORTLAND OR 97205
50	RETURN SERVICE REQUESTED		LAND USE CONTACT	CENTRAL CITY CONCERN	232 NW 6TH AVE	PORTLAND OR 97209
51	RETURN SERVICE REQUESTED		LAND USE CONTACT	TRANSIT DEVELOPMENT	101 SW MAIN STREET SUITE 700	PORTLAND OR 97204
52	RETURN SERVICE REQUESTED		LAND USE CONTACT	PORT OF PORTLAND PLANNING	PO BOX 3529	PORTLAND OR 97208
53					PROSPER PORTLAND LAND USE CONTACT	129/PROSPER

**Date:** April 11, 2025  
**To:** Interested Person  
**From:** Grace Jeffreys, Land Use Services  
503-865-6521 / Grace.Jeffreys@portlandoregon.gov

## **NOTICE OF A TYPE Ix PROPOSAL IN YOUR NEIGHBORHOOD**

Development has been proposed in your neighborhood. The proposed development requires a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map is attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Because we must publish our decision within 45 days, **we need to receive your written comments by 5 p.m. on May 12, 2025. Your comments must be e-mailed to the assigned planner listed above;** please include the Case File Number, LU 25-022904 HR, in your e-mail. If you do not have access to e-mail, please telephone the planner listed above about submitting comments. Please note that all correspondence received will become part of the public record.

### **CASE FILE NUMBER: LU 25-022904 HR *ALTERATIONS TO THE MIKADO BLOCK***

**Applicant:** Annabelle Lee, Cadium Design  
4414 NE Emerson St, Portland, OR 97218  
[annabelle@cadiumdesign.com](mailto:annabelle@cadiumdesign.com), 1- 907-209-7879

**Owner's Representative:** Kevin Joshi, Kidder Matthews  
101 SW Main St., Ste 1200, Portland, OR 97204  
[KEVIN.JOSHI@KIDDER.COM](mailto:KEVIN.JOSHI@KIDDER.COM), 503-221-2282

**Owner:** Yamhill Partners LLC  
117 SW Taylor St #300, Portland, OR 97204-3029

**Site Address:** 837 SW 1ST AVE

**Legal Description:** BLOCK 13 LOT 4, PORTLAND  
**Tax Account No.:** R667702250  
**State ID No.:** 1S1E03BA 02200  
**Quarter Section:** 3129

**Neighborhood:** Portland Downtown, contact Marian DeBardelaben at [debardelabenmarian@gmail.com](mailto:debardelabenmarian@gmail.com)

**Business District:** Downtown Retail Council, contact Sydney Mead at [smead@portlandalliance.com](mailto:smead@portlandalliance.com)

**District Coalition:** District 4, contact at [info@district4coalition.org](mailto:info@district4coalition.org)

**Plan District:** Central City - Downtown  
**Other Designations:** Considered a Contributing Resource to the Yamhill Historic District.  
**Zoning:** CX,d, Central Commercial with Design and Historic Resource overlays  
**Case Type:** HR, Historic Resource Review  
**Procedure:** Type Ix, an administrative decision with appeal to the Oregon Land Use Board of Appeals (LUBA).

**Proposal:**

The applicant seeks **Historic Resource Review** approval for exterior alterations to the Mikado Block, a contributing resource in the Yamhill Historic District and the Central City Plan District. The proposal includes the following:

- Replace two existing pairs of exterior doors with pairs of glazed wood doors to meet egress requirements.
- Replace one window with a pair of glazed wood doors to meet egress requirements.
- New ground floor lighting – 12 wall sconces and pendants over the three entries.
- New illuminated projecting sign, approximately 26 square feet.
- New signage to new awnings.
- New rooftop mechanical to support new kitchen.
- New signage on the faces of new fabric awnings, up to 48 square feet.

Historic Resource Review is required because proposal is for non-exempt exterior alterations to a structure located within a Historic District.

**RELEVANT APPROVAL CRITERIA:**

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant criteria are:

- Yamhill Historic District
- Central City Fundamental Design Guidelines

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on March 24, 2025. The application was determined to be complete on April 9, 2025.

**DECISION MAKING PROCESS**

Portland Permitting & Development will make a decision on this proposal. After we consider your comments, we will do one of the following:

- Approve the proposal;
- Approve the proposal with conditions; or
- Deny the proposal.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to Portland Permitting & Development. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

If you are interested in viewing information in this file, please contact the planner listed on the front of this notice. The planner can email you documents from the file. A fee would be required for all requests for paper copies of file documents. Additional information about the City of Portland, and city bureaus is available online at <https://www.portland.gov>. A digital copy of the Portland Zoning Code is available online at <https://www.portlandoregon.gov/zoningcode>.

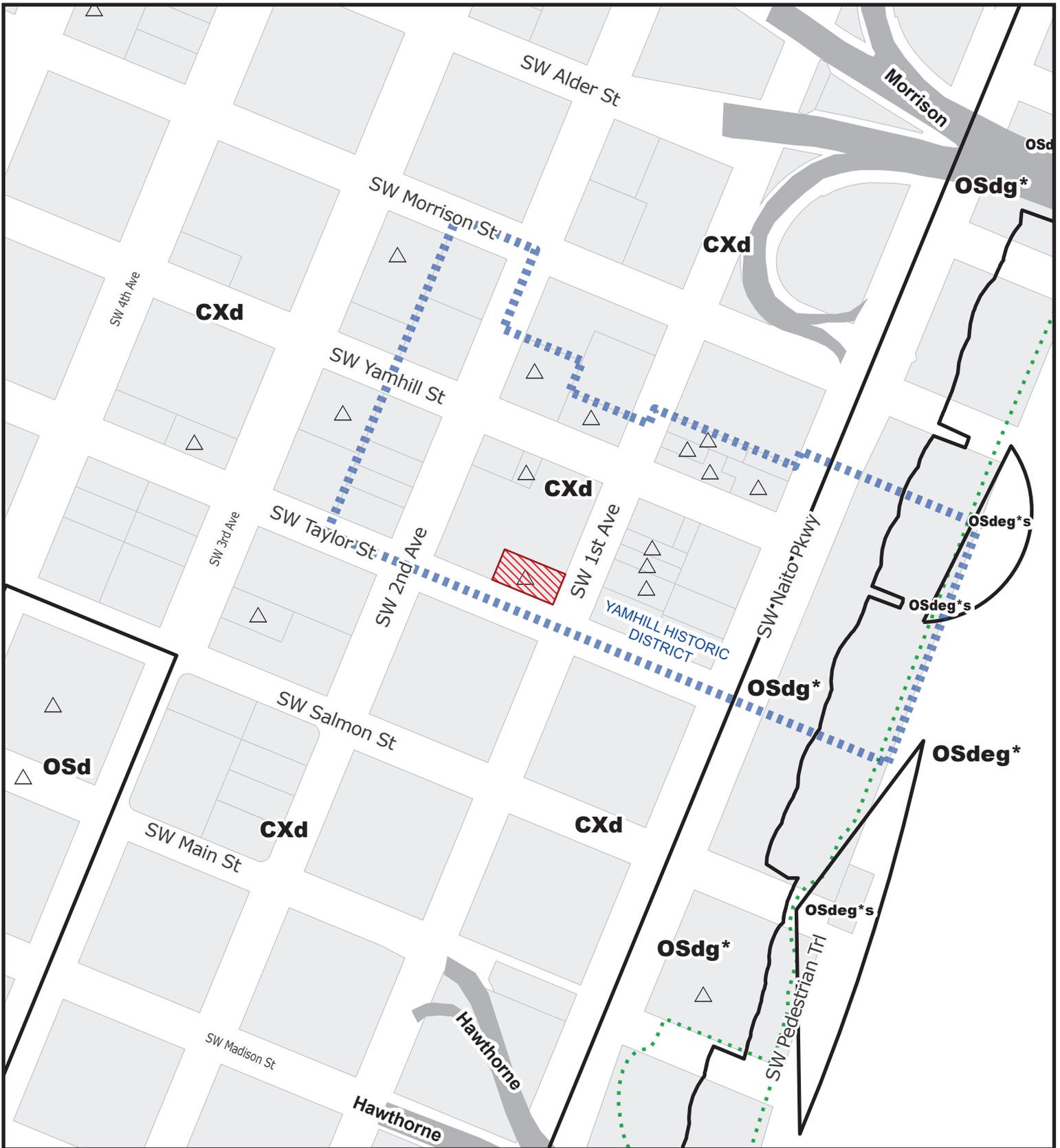
**APPEAL PROCESS**

If you disagree with Portland Permitting & Development administrative decision, you can appeal the decision to the Oregon Land Use Board of Appeals (LUBA) at 775 Summer St NE, Suite 330, Salem OR 97301-1283. The phone number for LUBA is 1-503-373-1265. Issues which may provide the basis for an appeal to LUBA must be raised in writing before the deadline for comments, or you may not be able to raise that issue in an appeal. If you do not raise an issue with enough specificity to give Portland Permitting & Development an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

**The City of Portland ensures meaningful access to City programs, services, and activities to comply with Civil Rights Title VI and ADA Title II laws and reasonably provides: translation, interpretation, modifications, accommodations, alternative formats, auxiliary aids and services. Request these services online or call 503-823-4000, Relay Service: 711.**

**503-823-4000 Traducción e Interpretación | Biên Dịch và Thông Dịch |  
口笔译服务 | Устный и письменный перевод | Turjumaad iyo Fasiraad |  
Письмовий і усний переклад | Traducere și interpretariat | Chiaku me  
Awewen Kapas | अनुवादन तथा व्याख्या**

**Enclosures:** Zoning Map, Site Plan, Elevations



For Zoning Code in Effect Post October 1, 2024

# ZONING

THIS SITE LIES WITHIN THE:  
 CENTRAL CITY PLAN DISTRICT  
 DOWNTOWN SUBDISTRICT  
 YAMHILL HISTORIC DISTRICT

-  Site
-  Historic Landmark
-  Recreational Trails

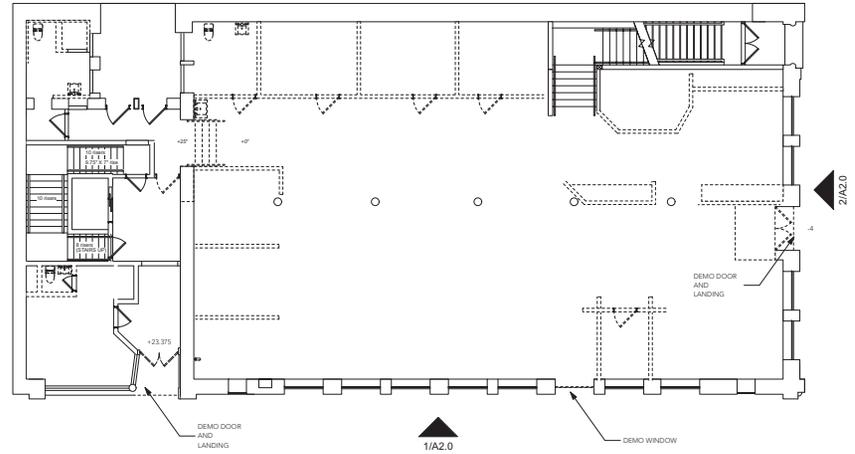
File No.	<u>LU 25 - 022904 HR</u>
1/4 Section	<u>3129</u>
Scale	<u>1 inch = 200 feet</u>
State ID	<u>1S1E03BA 2200</u>
Exhibit	<u>B</u> <u>Mar 25, 2025</u>

**BUILDING INFORMATION**

ADDRESS: 837 SW 1ST AVE  
 [E] BUILDING AREA: 17,380 SQFT  
 STORIES: 3 + BASEMENT  
 CONSTRUCTION TYPE: IIIB  
 PROPERTY ID: R245934  
 ZONING: CX  
 OVERLAY: D  
 CONTRIBUTING HISTORIC LANDMARK IN YAMHILL HISTORIC DISTRICT



**1** SITE LOCATION  
**A0.2** NTS



**2** 1ST FLOOR AS BUILT / DEMO PLAN (ONLY EXTERIOR WORK CALLED OUT)  
**A0.2** 1/8" = 1'



CADIUM DESIGN  
 Annabelle Lee 907.209.7879  
 cadiumdesign.com PDX, OR

**NHI**  
 837 SW 1ST AVE, PORTLAND, OR 97204

LU REVIEW  
 DATE:  
 03/24/25  
 FULL SIZE DRAWING IS  
 22' X 34'  
 DRAWING:  
 LU COVER PAGE - BUILDING  
 INFO, SITE LOCATION & AS  
 BUILT / DEMO PLAN (FIRST  
 FLOOR ONLY)

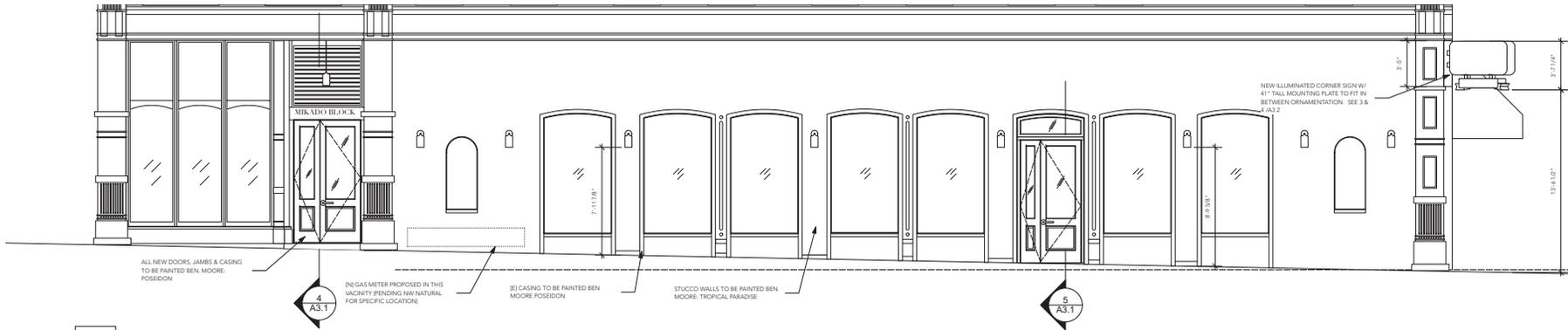
**A0.2**



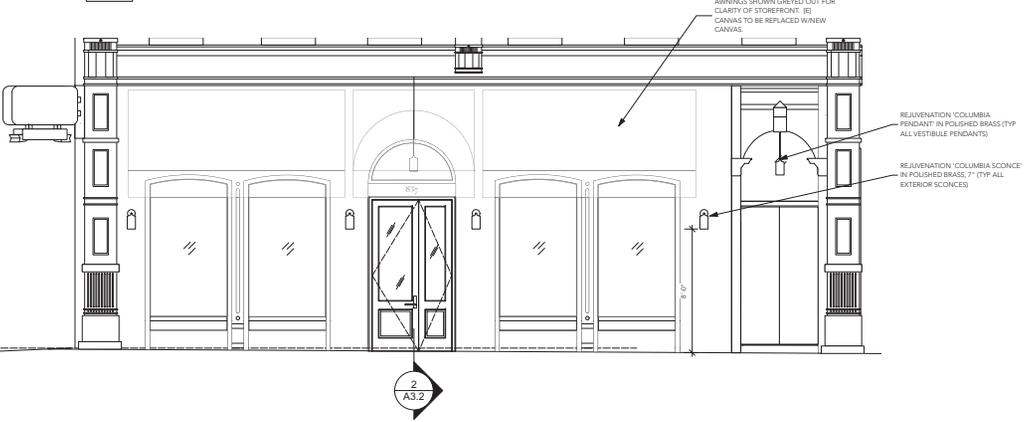


**CADIUM DESIGN**  
 Annabelle Lee 907.209.7877  
 cadiumdesign.com PDX, OR

LU 25-022904 FR, Exhibit D.2



**1** PROPOSED SOUTH ELEVATION  
**A2.2** 1/4" = 1'



**2** PROPOSED EAST ELEVATION  
**A2.2** 1/4" = 1'

**NHI**  
 837 SW 1ST AVE, PORTLAND, OR 97204

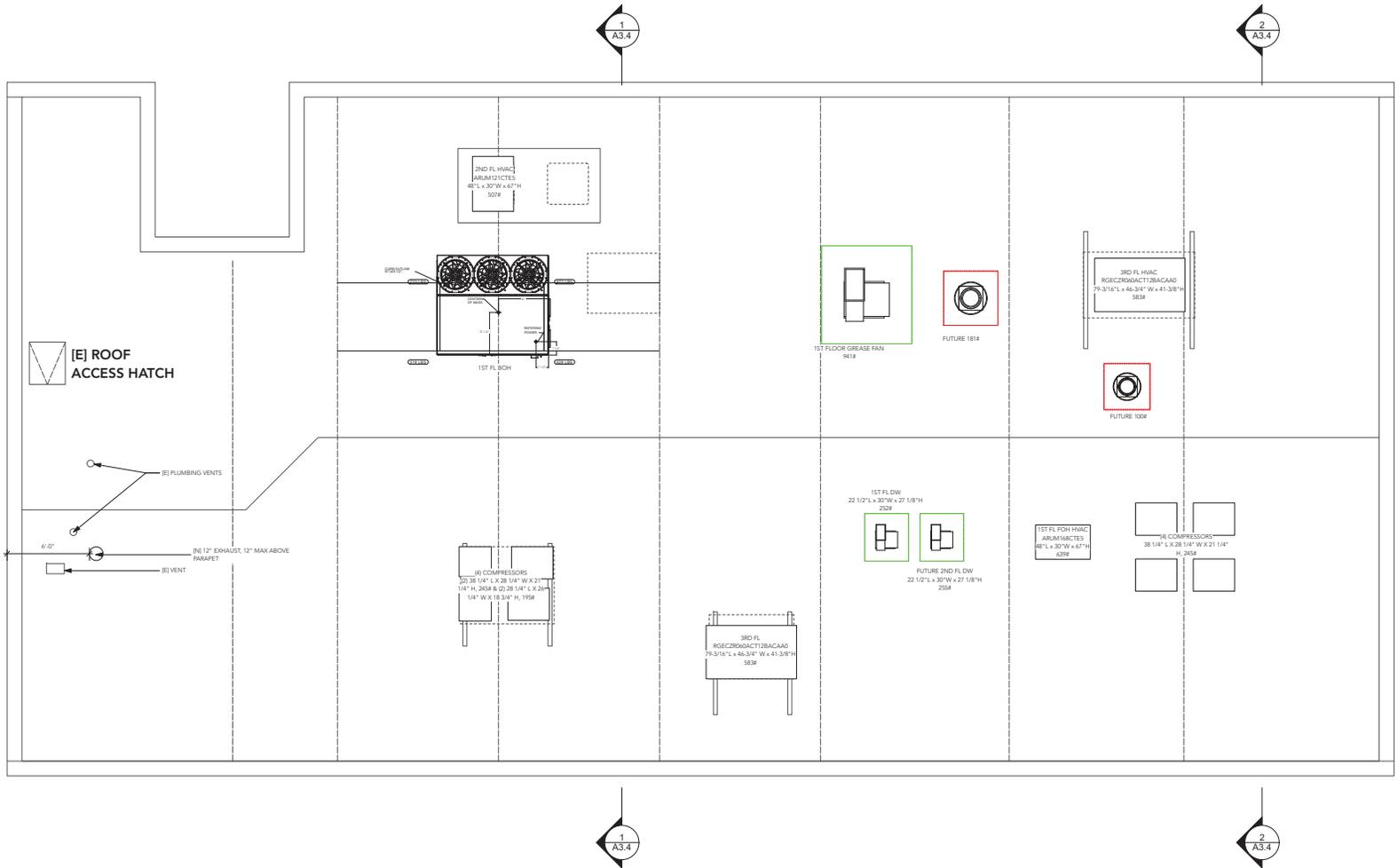
LU REVIEW  
 DATE: 03.24.25  
 FULL SIZE DRAWING IS 22" X 34"  
 DRAWING: PROPOSED ELEVATIONS

**A2.2**



CADIUM DESIGN  
Annabelle Lee 907.209.7879  
cadumdesign.com PDX, OR

LU 25-022904 FR, Exhibit D.2



1 PROPOSED ROOF PLAN  
A1.6 1/4" = 1'

**NOTES**  
1. ALL NEW RTU'S MUST HAVE A MATTE FINISH OR BE PAINTED TO MATCH THE ROOF

NHI  
837 SW 1ST AVE, PORTLAND, OR 97204

LU REVIEW  
DATE: 03/24/25  
FULL SIZE DRAWING IS 22" X 34"  
DRAWING: PROPOSED ROOF PLAN

A1.6

**TRANSPORTATION RESPONSE TO LAND USE SERVICES  
LAND USE REVIEW REQUEST**

LU: 25-022904-000-00-LU

Date: April 30, 2025

To: Grace Jeffreys, Land Use Services, B299/R5000

From: Tyler Mann, B106/800, 503-823-3044

Applicant: Cadium Design \*Annabelle Lee\*  
CADIUM DESIGN  
4414 NE EMERSON ST  
PORTLAND, OR 97218

Location: 837 SW 1ST AVE

TYPE OF REQUEST: Type 1x procedure HR - Historic Resource Review

**DESCRIPTION OF PROJECT**

The applicant seeks Historic Resource Review approval for exterior alterations to the Mikado Block, a contributing resource in the Yamhill Historic District and the Central City Plan District. The proposal includes the following:

- Replace two existing pairs of exterior doors with pairs of glazed wood doors to meet egress requirements.
- Replace one window with a pair of glazed wood doors to meet egress requirements.
- New ground floor lighting – 12 wall sconces and pendants over the three entries.
- New illuminated projecting sign, approximately 26 square feet.
- New signage to new awnings.
- New rooftop mechanical to support new kitchen.
- New signage on the faces of new fabric awnings, up to 48 square feet.

Historic Resource Review is required because proposal is for non-exempt exterior alterations to a structure located within a Historic District

**RESPONSE**

Public Infrastructure Development Review - Transportation staff has reviewed the application for its potential impacts regarding the public right-of-way, traffic impacts and conformance with adopted policies, street designations, Title 33, Title 17, and for potential impacts upon transportation services.

**Historic Resource Review Approval Criteria – 33.846.060.G**

There are no transportation related approval criteria for a Historic Resource Review found in the Yamhill Historic District Design Guidelines. There are guidelines for Integrating Encroachments (C 10) found within the Central City Fundamental Guidelines that are related to the proposed sign and awnings.

**Staff Response:** *Transportation staff is supportive of the proposed sign encroachment and awnings, because these elements meet transportation encroachment policy found in TRN-8.08.*

In addition, there are other City requirements that do typically need to be addressed as they may affect the outcome of the land use review.

### **Encroachments ([TRN 8.08](#))**

For this review, the proposed sign will be a new encroachment into the public right-of-way. Per D.3 of TRN-8.08, signs above the sidewalk shall not extend into or occupy more than two-thirds the width of the sidewalk measured from the building. The distance from the property line to curb shall not be less than 2 feet.

The proposed sign will extend 6.5-feet into the right-of-way. The depth of the right-of-way at the corner of the building to the curb is 10 feet. TRN-8.08 would allow the sign to encroach up to 6.7 feet from the building. Therefore, the proposed sign meets the encroachment policy found in TRN-8.08.

Awnings may extend no more than two-thirds of the depth of the right-of-way. The existing awnings are allowed to extend up to 6-feet into the right-of-way along the east facade. The existing awnings meet this encroachment policy.

### **Title 17 Requirements for Dedication and/or Public Improvements**

There are thresholds in Title 17 for when public ROW improvements are required. Per [17.88.020](#) and [TRN-1.30](#) - Thresholds for Frontage Improvements and Dedication, non-exempt alterations which exceed the “minimal trip increase threshold” on a site are required to provide a standard full width improvement, including sidewalks, and may require dedication to allow the full width improvement to be constructed. For residential uses, the number of trips is based on the number of units and type of development found in [Appendix A](#) of TRN-1.30.

**Staff Response:** *The proposal appears to be a change in use from Medical Office (36 ADT per 1,000 sf GFA) to Shopping/Retail (37.01 ADT per 1,000 SF GFA). This change of use does not exceed the “increase in trips” threshold; therefore, no improvements are this section are required.*

If a project is non-exempt “significant alteration” as defined in [17.88.010.C](#) and [TRN-1.30](#), then frontage improvements are required within the existing right-of-way. “Significant Alteration” is defined as changes to property that are 35 percent or greater than the assessed value of all improvements on the site. Mandatory improvements for fire, life safety, and accessibility do not count toward the threshold. In addition, normal repair, and maintenance, as defined in TRN-1.30, does not count toward this threshold.

**Staff Response:** *Based on assessor data available on [www.portlandmaps.com](http://www.portlandmaps.com), the 2024 assessed value of improvements on the site is \$2,252,330 making the significant alteration threshold \$788,315.50. The submitted project valuation is \$524,000. The second trigger is not met.*

Since the proposal is exempt from improvements per TRN-1.30, no dedication or public improvements are required.

### **RECOMMENDATION**

Transportation has no objection to the proposed Historic Resource Review.

# Water Bureau

DATE: May 9, 2025

TO: Grace Jeffreys  
Portland Permitting & Development

FROM: Kari Ann Spoon  
Development Review and Services

SUBJECT: Review of **25-022904 HR**

The Water Bureau has reviewed the proposed action and has the following comments:

PP&D Public Infrastructure, Water Review (Water) has no specific approval criteria related to Historic Reviews (HR). These comments are provided to inform the applicant of water requirements that will apply to future development of the sites.

- The Water Bureau has no concerns with this proposal.
- All applicable Water code requirements shall apply at the time of development and permit review.

The site has a ¾" service line from the 6" CI water main in the SW Taylor St to a ¾" meter, and a 2" dedicated fire line from the 12" DI main in SW 1<sup>st</sup> Ave.

Conditions of Approval:

None

Please reach out if you have any questions or comments [Kariann.spoon@portlandoregon.gov](mailto:Kariann.spoon@portlandoregon.gov)

To: Grace Jeffreys  
 From: Chanel Horn, Life Safety Plans Examiner  
 Date: April 14, 2025  
 RE: 837 SW 1ST AVE, 25-022904-LU

**LIFE SAFETY PLAN REVIEW RESPONSE**

The following comments are based on the plans and documents provided to the Life Safety Plan reviewer. They are intended to provide the applicant with preliminary Building Code information that could affect the Land Use Review, Public Records request and/or future Building Permit reviews. The comments may not identify all conflicts between the Land Use proposal and the Building Codes. A complete Life Safety plan review will be provided at the time of Building Permit submittal at which time any additional Building Code issues will be noted. The comments are based on the Oregon Structural Specialty Code (OSSC), the International Existing Building Code (IEBC), the Oregon Mechanical Specialty Code (OMSC), or the Oregon Residential Specialty Code (ORSC).

**RESPONSE SUMMARY**

Life Safety Plan Review does not object to the approval of this proposal. The applicant should be aware that several building code requirements may impact the final design of this building. For information regarding future compliance, see the **GENERAL LIFE SAFETY COMMENTS** below.

Item #	GENERAL LIFE SAFETY COMMENTS
1	<b>Building Permit Required</b> - A separate Building Permit is required for the work proposed and the proposal must be designed to meet all applicable building codes and ordinances. Information about submitting a permit application request is available online at <a href="https://www.portland.gov/ppd/permit-review-process/apply-permits">https://www.portland.gov/ppd/permit-review-process/apply-permits</a> .
2	<b>Sign Permit Required</b> - A separate Sign Permit is required for the work proposed and the proposal must be designed to meet all applicable building codes and ordinances. Information about submitting a permit application request is available online at <a href="https://www.portland.gov/ppd/sign-permits">https://www.portland.gov/ppd/sign-permits</a> .
3	<b>Mechanical Permit</b> - A separate Mechanical Permit is required for the work proposed. OMSC 106.1



# PORTLAND FIRE & RESCUE



Rene Gonzalez, Commissioner  
Ryan Gillespie, Fire Chief  
Kari Schimel, Fire Marshal  
Prevention Division  
1300 SE Gideon St.  
Portland, OR, 97202  
Phone: (503)823-3770

## LAND USE REVIEW RESPONSE

**TO:** Grace Jeffreys, City of Portland, Land Use Review  
**FROM:** Dawn Krantz, Portland Fire Bureau 971-313-3675  
**DATE:** April 22, 2025  
**SUBJECT:** LU 25-022904 HR  
**SITE LOCATION :** 837 SW 1ST AVE

The following conditions of approval and informational comments are based on the land use review information provided to the Fire Bureau. Fire Bureau requirements are generated from the 2023 Portland Fire Code. All current Fire Code requirements apply and are required to be met. If these conditions cannot be met, an appeal providing an alternative method is an option for the applicant. If the applicant chooses to appeal a requirement, the appeal must be listed as a condition in the decision. Fire Code Appeals can be obtained at the Fire Bureau web page, [www.portlandonline.com](http://www.portlandonline.com).

### CONDITIONS OF APPROVAL AT TIME OF DEVELOPMENT

A separate building permit is required for this proposal. All applicable Fire Code requirements shall apply at the time of permit review and development.



# City of Portland, Oregon - Portland Permitting & Development

1900 SW Fourth Avenue • Portland, Oregon 97201 | 503-823-7300 | www.portland.gov/ppd

## Land Use Review Application

File Number:

### FOR INTAKE, STAFF USE ONLY

Date Rec 3/24/25 by ejd

Type I  Type Ix  Type II  Type Iix  Type III  Type IV  ELD

LU Reviews HR (Tier E)

[Y]  Unincorporated MC

[Y]  Potential Landslide Hazard Area (LD & PD only)

[Y]  Combined Flood Hazard Area

[Y]  DOGAMI

Qtr Sec Map(s) 3129 Zoning CXd

Plan District CC - Downtown

Historic and/or Design District Yamhill HD + CC design

Neighborhood Portland Downtown

District Coalition District 4

Business Assoc Downtown Retail Council

Related File # \_\_\_\_\_

**APPLICANT: Complete all sections below that apply to the proposal. Please print legibly.  
Email this application and supporting documents to: [LandUseIntake@portlandoregon.gov](mailto:LandUseIntake@portlandoregon.gov)**

Development Site Address or Location 837 SW 1st Ave.

Cross Street SW Taylor Street Sq. ft./Acreage 5,000

Site tax account number(s)

R R245934 R R

R R R

Describe project (attach additional page if necessary)

New restaurant space to go into the first floor of the Mikado Building. Exterior work includes: New exterior doorways to comply with accessibility and egress requirements. New sign & ground floor lighting. New rooftop mechanical. New wall paint (LU review not required as this is previously painted surface)

Describe proposed stormwater disposal methods existing

Identify requested land use reviews

1x

• **Design & Historic Reviews** - For **new development**, provide project valuation.

For **renovation**, provide exterior alteration value.

**AND** provide total project valuation.

\$ \_\_\_\_\_

\$ 150,000

\$ 524,000

\_\_\_\_\_

• **Land Divisions** - Identify number of lots (include lots for existing development).

New street (public or private)?

yes  no

yes  no  N/A

• **Affordable Housing** - For buildings containing five or more dwelling units, will 50% or more of the units be affordable to households with incomes equal to or less than 60% of the median family income for the county or state, whichever is greater?

**continued / over**

**Applicant Information**

- Identify the primary contact person, applicant, property owner and contract purchaser. Include any person that has an interest in your property or anyone you want to be notified. Information provided, including telephone numbers and e-mail addresses, will be included in public notices.
- For all reviews, the applicant must sign the Responsibility Statement.
- For land divisions, all property owners must sign the application.

**PRIMARY CONTACT:**

Typed Full Name Annabelle Lee  I acknowledge this typed name as my signature  
 Company/Organization Cadium Design  
 Mailing Address 4414 NE Emerson St.  
 City Portland State OR Zip Code 97218  
 Day Phone 907-209-7879 FAX \_\_\_\_\_ email annabelle@cadiumdesign.com

**Check all that apply**  Applicant  Owner  Other

Typed Full Name Alan Ho  I acknowledge this typed name as my signature  
 Company/Organization Murvy Industries  
 Mailing Address 818 SW 3rd Ave #286  
 City Portland State OR Zip Code 97204  
 Day Phone \_\_\_\_\_ FAX \_\_\_\_\_ email alan@murvy.com

**Check all that apply**  Applicant  Owner  Other

Typed Full Name \_\_\_\_\_  I acknowledge this typed name as my signature  
 Company/Organization \_\_\_\_\_  
 Mailing Address \_\_\_\_\_  
 City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_  
 Day Phone \_\_\_\_\_ FAX \_\_\_\_\_ email \_\_\_\_\_

**Check all that apply**  Applicant  Owner  Other

Typed Full Name \_\_\_\_\_  I acknowledge this typed name as my signature  
 Company/Organization \_\_\_\_\_  
 Mailing Address \_\_\_\_\_  
 City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_  
 Day Phone \_\_\_\_\_ FAX \_\_\_\_\_ email \_\_\_\_\_

**Check all that apply**  Applicant  Owner  Other

**Responsibility Statement** As the applicant submitting this application for a land use review, I am responsible for the accuracy of the information submitted. The information being submitted includes a description of the site conditions. I am also responsible for gaining the permission of the owner(s) of the property listed above in order to apply for this review and for reviewing the responsibility statement with them. If the proposal is approved, the decision and any conditions of the approval must be recorded in the County Deed Records for the property. The City of Portland is not liable if any of these actions are taken without the consent of the owner(s) of the property. In order to process this review, City staff may visit the site, photograph the property, or otherwise document the site as part of the review. I understand that the completeness of this application is determined by the Director. By my signature, I indicate my understanding and agreement to the Responsibility Statement.

Name of person submitting this application agrees to the above Responsibility Statement and acknowledges typed name as signature:

Annabelle Lee Date: 3/20/25

Phone number: 907-209-7879 | Email this application and supporting documents to LandUseIntake@portlandoregon.gov | Submittal of locked or password protected documents will delay intake of your application. **2**

# Oregon Historic Site Record

LOCATION AND PROPERTY NAME			
<b>address:</b>	831-837 SW 1st Ave Portland, Multnomah County	<b>historic name:</b>	Mikado Block
<b>assoc addresses:</b>		<b>current/other names:</b>	Gar Hall; A.O.U.W. Building (Ancient Order of United Workmen)
<b>location descr:</b>		<b>block/lot/tax lot:</b>	
		<b>twshp/rng/sect/qtr sect:</b>	1S 1E 3
PROPERTY CHARACTERISTICS			
<b>resource type:</b>	Building	<b>height (stories):</b>	3.0
<b>elig evaluation:</b>	eligible/contributing	<b>total elig resources:</b>	
<b>prim constr date:</b>	1880	<b>NR Status:</b>	Listed in Historic District
	<b>second date:</b>	<b>date indiv listed:</b>	
<b>primary orig use:</b>	Department Store	<b>orig use comments:</b>	
<b>second orig use:</b>		<b>prim style comments:</b>	
<b>primary style:</b>	Italianate	<b>sec style comments:</b>	
<b>secondary style:</b>		<b>siding comments:</b>	
<b>primary siding:</b>	Stucco	<b>architect:</b>	
<b>secondary siding:</b>		<b>builder:</b>	
<b>plan type:</b>			
<b>comments/notes:</b>			
Historic Preservation League of Oregon Easment on Property			
GROUPINGS / ASSOCIATIONS			
<b>Survey/Grouping Included In:</b>	<b>Type of Grouping</b>	<b>Date Listed</b>	<b>Date Compiled</b>
Portland Yamhill Historic District	Listed Historic District	07/30/1976	
SHPO INFORMATION FOR THIS PROPERTY			
<b>NR date listed:</b>	N/A	Special Assessment	<b>106 Project(s):</b>
<b>ILS survey date:</b>		<b>Status</b>	None
<b>RLS survey date:</b>		<b>Term</b>	
		<b>End Yr</b>	
		Closed	<b>Federal Tax Project(s):</b>
		1st	None
		1991	
ARCHITECTURAL / PROPERTY DESCRIPTION			
<i>(Includes expanded description of the building/property, setting, significant landscape features, outbuildings and alterations)</i>			
Refer to scanned documents links.			
HISTORY			
<i>(Chronological, descriptive history of the property from its construction through at least the historic period - preferably to the present)</i>			
Refer to scanned documents links.			
RESEARCH INFORMATION			
Title Records	Census Records	Property Tax Records	Local Histories
Sanborn Maps	Biographical Sources	SHPO Files	Interviews
Obituaries	Newspapers	State Archives	Historic Photographs
City Directories	Building Permits	State Library	
<b>Local Library:</b>		<b>University Library:</b>	
<b>Historical Society:</b>		<b>Other Respository:</b>	
<b>Bibliography:</b>			

Historic  
Resource  
Inventory  
CITY OF PORTLAND, OREGON.



1-001-00831

831-837 S.W. First Avenue

Portland, Block 13, Lot 4  
QUARTER SECTION MAP #: 3029.5  
Downtown Community Association

OTHER NAMES: Mikado Block, GAR Hall

ORIGINAL FUNCTION: Retail

OTHER FUNCTIONS: Office, Hotel

DATE BUILT: 1880

STYLE: High Victorian Italianate

OTHER OWNERS: Smith, C.E., Rosenstein, A.

TENANTS: Olds and King, Portland Chapter of the Grand Army of the Republic,  
Goodwill Industries, Rhodes Department Store

TAX ASSESSOR'S ACCOUNT #: R-66770-2330

ZONING: M3

DESIGNATION: Landmark

HISTORIC DISTRICT: Yamhill

SPECIAL FEATURES AND MATERIALS:

Third story and cornice added in 1886. Cast-iron pilaster with scrolls and cast head, and pediment-on-brackets capitals. Pediments with finials, and crests with C.E. Smith's initials at cornice. Decorative motifs: sunburst frieze, keystone, acanthus leaf imposts, fluting, quirk beads, shell, pellets, rustication.

581

1-001-00831

*SPECIAL F/M - ORIGINAL REMOVED:*

Cast-iron head at arched entry. Two carved wood heraldic crests at cornice.

*SPECIAL F/M - SIGNIFICANT ALTERATION:*

First floor facade plaster with segmental-arch windows (unaligned to those above) and paneled corner cast-iron pilasters from another building were donated by Portland Friends of Cast-Iron Architecture.

*AREAS OF SIGNIFICANCE: Architecture, Performing Arts*

*Architecture: Iron work is by Honeyman Foundry, except for the corner pilasters by Union Iron Works. Classified of primary significance to district.*

*Performing Arts: The remodeled building was named for the operetta of the very popular Gilbert and Sullivan, "The Mikado," which was produced in London in 1885.*

*BIBLIOGRAPHY:*

*City of Portland Buildings Bureau microform and card files.*

*Portland Historical Landmarks Commission, inventory form.*

*Tess, John M., National Register of Historic Places, nomination form.*

*Tess, John M., UPHILL, DOWNTOWN, YAMHILL (Portland, 1977).*

*Hawkins III, William J., THE GRAND ERA OF CAST-IRON ARCHITECTURE IN PORTLAND (Portland, 1976).*

*OLD ADDRESS: 193 1/2 - 195 First Street*

*MAJOR ALTERATIONS: 1973/481092/Norman and Stanich*

*Present owner as of May 1981: Edward D. Cauduro*

*MAILING ADDRESS: 3325 N.W. Skyline Boulevard, Portland 97229*

*Special Property Tax Assessment*

*Negative: 106-14*

UNITED STATES DEPARTMENT OF THE INTERIOR  
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NATIONAL REGISTER OF HISTORIC PLACES  
INVENTORY -- NOMINATION FORM

SEE INSTRUCTIONS IN HOW TO COMPLETE NATIONAL REGISTER FORMS  
TYPE ALL ENTRIES -- COMPLETE APPLICABLE SECTIONS

1 NAME

HISTORIC *Historic*  
Portland Yamhill Historic District  
AND/OR COMMON  
SAME

LOCATION

STREET & NUMBER *Roughly bounded by Taylor, Morrison, 2nd Ave (includes both sides), and Willamette River.*  
CITY, TOWN  
STATE Portland VICINITY OF  
STATE Oregon CODE 41 COUNTY Multnomah CODE 051

CLASSIFICATION

CATEGORY	OWNERSHIP	STATUS	PRESENT USE
<input checked="" type="checkbox"/> DISTRICT	<input type="checkbox"/> PUBLIC	<input type="checkbox"/> OCCUPIED	<input type="checkbox"/> AGRICULTURE <input type="checkbox"/> MUSEUM
<input type="checkbox"/> BUILDING(S)	<input checked="" type="checkbox"/> PRIVATE	<input type="checkbox"/> UNOCCUPIED	<input checked="" type="checkbox"/> COMMERCIAL <input type="checkbox"/> PARK
<input type="checkbox"/> STRUCTURE	<input type="checkbox"/> BOTH	<input type="checkbox"/> WORK IN PROGRESS	<input type="checkbox"/> EDUCATIONAL <input type="checkbox"/> PRIVATE RESIDENCE
<input type="checkbox"/> SITE	<b>PUBLIC ACQUISITION</b>	<b>ACCESSIBLE</b>	<input type="checkbox"/> ENTERTAINMENT <input type="checkbox"/> RELIGIOUS
<input type="checkbox"/> OBJECT	<input type="checkbox"/> IN PROCESS	<input checked="" type="checkbox"/> YES: RESTRICTED	<input type="checkbox"/> GOVERNMENT <input type="checkbox"/> SCIENTIFIC
	<input type="checkbox"/> BEING CONSIDERED	<input type="checkbox"/> YES: UNRESTRICTED	<input type="checkbox"/> INDUSTRIAL <input type="checkbox"/> TRANSPORTATION
		<input type="checkbox"/> NO	<input type="checkbox"/> MILITARY <input type="checkbox"/> OTHER:

OWNER OF PROPERTY

NAME Multiple Ownership  
STREET & NUMBER  
CITY, TOWN STATE  
VICINITY OF

LOCATION OF LEGAL DESCRIPTION

COURTHOUSE, REGISTRY OF DEEDS, ETC. Multnomah County Courthouse  
STREET & NUMBER  
1021 S.W. 4th Avenue  
CITY, TOWN STATE  
Portland Oregon 97201

6 REPRESENTATION IN EXISTING SURVEYS

TITLE Statewide Inventory of Historic Sites and Buildings  
DATE December 30, 1974  FEDERAL  STATE  COUNTY  LOCAL  
DEPOSITORY FOR SURVEY RECORDS Parks and Recreation Branch, Oregon State Highway Building  
CITY, TOWN STATE Salem Oregon 97310 LU 25-022904 HR Exhibit G.4

# 7 DESCRIPTION

## CONDITION

EXCELLENT  
 GOOD  
 FAIR  
 DETERIORATED  
 RUINS  
 UNEXPOSED

## CHECK ONE

UNALTERED  
 ALTERED

## CHECK ONE

ORIGINAL SITE  
 MOVED DATE \_\_\_\_\_

### DESCRIBE THE PRESENT AND ORIGINAL (IF KNOWN) PHYSICAL APPEARANCE

The Portland Yamhill Historic District is one of two areas in the city which retains a significant concentration of nineteenth century business structures (Portland Skidmore/Old Town Historical District, recently nominated to the National Register, is the other district). This district was the north end of the 22-block area devastated by the Great Fire of 1873. It contains one building from before the fire, the Northrup and Blossom-Fitch Building, constructed in 1858, and seventeen examples of Italianate Architecture, most of which were constructed between 1878 and 1887. The Yamhill District was part of Portland's early commercial expansion along the flat lands on the west bank of the Willamette River to the south of the original town plat. It stands between the present commercial center of Portland and the Willamette River.

On the northwest corner of Front and Yamhill stands the Northrup and Blossom Building, constructed in 1858. This one-story brick building is a typical example of early Oregon commercial architecture, having three squat brick arches with keystones filled with six operable front doors. The 1873 photos of the great fire show this building with a second story. This early second story addition still retains its cast iron shutters. The Fitch building located just north of the Northrup and Blossom Building was a one-story brick building in 1873, having three brick arches much like its southern neighbor. Sometime prior to 1894, the two buildings were combined by adding upper stories (two on the Fitch building and one on the Northrup and Blossom Building), which were designed to appear like the earlier second story on the Northrup and Blossom Building. The overall cornice only partially remains. The two buildings combined are now used for Frankenstein's Tavern and great liberties have been taken in establishing a modern interior arch in the common wall. The south exterior wall of the Northrup and Blossom Building has three openings which are not original to the building. The street facade of the Fitch building was changed to cast iron columns and beams sometime prior to 1894.

The building north and adjoining the Fitch building is a three-story masonry structure which also features a cast iron street facade. This building, now used by Industrial Electric Supply, has simple segmentally arched windows which are nearly round headed, one light over one, and a paneled brick cornice. The upper part of the cornice is now gone. The building is simply detailed, but its cast iron street level facade suggests a rather early structure. It is considered a potential landmark by the City of Portland.

The building adjoining the Northrup and Blossom Building to the west is the Rensselaer Block, a building built in 1878 in three parts. The corner portion was originally two stories. The upper two stories were added to the original Italianate masonry building in 1885. The first story is severely altered, but the second story remains completely original with simply detailed flat arched High Victorian Italianate double hung windows, one light over one, set between simply ornamented engaged columns leaving little open wall area. The upper stories which continue the column lines upward have wide segmentally arched openings which are filled by three double hung windows, one light over one. These large openings correspond to two window openings on the second floor and two smaller openings on the fourth level where the windows are connected by a continuous label. A chimney corbels out between each of these fourth-story windows. The overall cornice features a dentil-like motif which ties the chimneys to the rest of the Queen Ann addition.

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CONTINUATION SHEET

ITEM NUMBER 7 PAGE 1

The second portion of the Rensselaer Block is two stories. The first level was remodeled in 1965 and now has tall flat arches imitating the upper-story windows. The second story is the same as the second story of the first portion and is complete including the cornice.

The third portion is three stories. The structural cast iron columns on the street level reveals the original form of all the street level store fronts. The second and third story window detail is the same as the detail of the second levels of the other two portions. The cornice on top is similar to the middle portion cornice but is not as complete. The Rensselaer Block was constructed by W. S. Ham, a Portland builder.

The three-story Italianate masonry building across the street to the west is the Stowbridge building. Although the first floor of this rather large block was altered beyond recognition many years ago, the upper two stories are in an excellent state of preservation. The second-story windows are a bracketed, fully pedimented, hooded type with moulded architraves. The third story windows have similar architraves but are round headed, springing, and have keystones. All the windows are double hung, one light over one. The building is now used as a second-hand store.

The four-story masonry structure adjoining to the west is called Willamette Block, constructed in 1878 for the owner of many Portland blocks, Justus M. Stowbridge. This building is an example of several building styles. The first floor has been completely altered, and except for some transom detail there is little, if any, evidence of the original street level store front. The upper floors have square headed double hung windows, one light over one. These windows are arranged vertically in a commercial style. Ornament is applied in a Queen Ann fashion which appears to be random but corresponds to a rather complicated system of squares and double squares. The style of the cornice is more typical for the date of the building. The cornice is bracketed and dentiled with panels between the brackets. A projection in the center of each wall carries the name Willamette Block, which is written to follow the curve of the cornice projection.

Across the street from Willamette Block to the south is a three-story masonry building thought to have been built in 1878 and now owned by Union Gospel Mission Industries. Although important, the building is ~~not~~ considered a potential landmark due to a complete loss of the overall cornice, a fire which has occurred in the third story, and the general run-down appearance of the structure. As it stands, the building retains only the structural shell of the cornice. The third-story windows are segmentally arched, double hung, one light over one. These windows are placed between pilaster strips which possibly had quoins which have since been filled. The second floor has quoins and windows like the third floor in the outer bays and taller round headed windows in the middle bay. The detail of the first floor facade was probably renewed in the first part of this century, but the basic framework appears to be original.

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CONTINUATION SHEET

ITEM NUMBER 7 PAGE 2

The small two-story commercial building adjoining to the east has not yet been given an historic name. It was built in 1885, probably for H. W. Corbett. The original use is unknown. A monogram can still be found over the upstairs entrance which utilizes the initials F and G. The building is constructed in the High Victorian Italianate style, has five adjacent stilted segmentally arched windows with slender keystones containing double-hung sash one light over one. Five panels from the bottom of the cornice and a small sima recta moulding separates the panels from a simple blank top portion which incorporates a low pedimented form.

The building across Second Street from Willamette Block to the west was recently constructed, and because of its scale, material and detail, is considered a twentieth century compatible structure.

The adjoining four-story masonry building to the north was built in 1880 for Marks and Joryenson. The building has a remodeled first floor facade which is now partially covered by an awning. The second and third story facades have double hung windows one light over one with segmental arches. The windows are surrounded by blank wall except for a system of pilaster strips which begin at the bottom of the second story and continue uninterrupted to the top of the third floor. A wide band separates the top of the pilaster strips from the fourth story and serves visually as a base for the Romanesque Revival round headed windows which occur in groups of three separated by larger square piers typical of the Romanesque style. The building and windows are now painted, and the interior is used as a furniture store. The City of Portland considers this structure a potential landmark.

The early twentieth century building on the southwest corner of Second and Yamhill is labeled a supportive structure by the City of Portland. The six-story masonry building, which features a bold cornice, is a good example of the Sullivan-esque Style and is reasonably intact. The two little adjoining buildings on the south side are supportive structures built in the first part of this century. The adjoining building on the corner of Second and Taylor was built in 1884 and housed Leon Chung and Company. It is a three-story brick structure with double hung windows two lights over two, stilted segmental arches and a cornice of low relief. The first floor is remodeled and appropriately detailed to house several adult book stores. The City of Portland has designated this handsome little High Victorian Italianate building a potential landmark.

On the northwest corner of First and Yamhill streets is the Mikado Block High Victorian Italianate structure built in 1880. In the early years, the first floor was used by Olds and King, now Rhodes Department Store. The second floor housed professional offices, and the third floor was the meeting hall of the Grand Army of the Republic. Presently the first floor is used as a store, and the upper floors serve as a hotel. Although once typical in Portland, the facade of the building is now unusual. The first floor has been severely remodeled, and only the Corinthian

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DATE ENTERED JUL 30 1976

CONTINUATION SHEET

ITEM NUMBER 7 PAGE 3

cast iron columns flanking the entrance to the upper floors and the paneled corner pier remain. The second floor windows are stilted segmental double hung one light over one with keystone hoods that rest on the squat ornate capitals of the wide quoined piers which separate the windows. The third floor windows are round headed and have keystones. The window hoods rise to the top of the keystones forming a pointed arch. The piers between the windows are capped with the same squat capital and are not quoined. The corner pier at the third story has less applied ornament than at the second story. The cornice is bracketed with oriental panel motifs. The portion of the cornice above the projection is plain except for the massive ornamental piers over the corners and center wall of the east side, and the pediment over the main upper floor entrance located on the southwest corner of the building.

Across the street to the east stands an early twentieth century example of the Neo-classical Revival style. The first floor of the four-story masonry building has been completely remodeled. The three upper floors all have similar rectangular windows, double hung one light over one. Between the windows vertically are simple expressed panels. Between the windows are horizontally applied columns simply capped. The overall cornice supported by the columns is dentiled and has little protection. The upper portion is composed of short piers separated by panels similar to those found below. The building presently is unoccupied.

The three adjacent buildings to the north were all built by the same man, Asa Harker. The largest is a High Victorian Italianate building having an articulated center bay with three similarly-detailed bays on each side. The street level facade has been partially remodeled, leaving only the four major structural columns, the cast iron lintel they support and the ornament which occurs at their intersection. The second-story windows are flat arched, double hung one light over one, with highly ornamented heads. Small pilasters separate the windows and large quoined pilasters articulate the major divisions of the building. A small moulded cornice occurs at the third floor level, which is interrupted at the cast iron capitals which are applied to the four large pilasters. The third floor windows are similar in style but slightly different in detail to those on the second floor and are shorter. A meagerly bracketed cornice occurs at the ceiling level of the third floor, which provides a base for a series of uninterrupted heavily articulated panels above. The bracketed cornice which now appears above the panels is a reconstruction which, although small, greatly improved the proportions of the building.

The adjacent building to the north was apparently built as a two-story building in 1880. The cast iron street level front is a rare survivor featuring Corinthian capped wall pilasters and slender round columns which support a cast iron beam. The

**From:** [Annabelle Lee](#)  
**To:** [Jeffreys, Grace](#)  
**Subject:** Re: LU 25-022904 HR - 837 SW 1st  
**Date:** Friday, May 23, 2025 12:56:13 PM  
**Attachments:** [image001.png](#)  
[image002.png](#)  
[Nhi\\_Awning\\_Graphics.pdf](#)

---

Waiting to see if I can get the actual design, otherwise would something like this work (pending client approval so not ready to include)?

Annabelle



On Tue, May 20, 2025 at 2:56 PM Jeffreys, Grace <[Grace.Jeffreys@portlandoregon.gov](mailto:Grace.Jeffreys@portlandoregon.gov)> wrote:

Annabelle,

I am writing your decision now, and am wondering if you can add this awning signage to your drawing set so I can stamp as an exhibit?

—

**Grace Jeffreys**, LEED AP BD+C (she/her)  
503-865-6521 (Cell)

[grace.jeffreys@portlandoregon.gov](mailto:grace.jeffreys@portlandoregon.gov)

---

**From:** Jeffreys, Grace  
**Sent:** Wednesday, April 9, 2025 1:30 PM  
**To:** Annabelle Lee <[annabelle@cadiumdesign.com](mailto:annabelle@cadiumdesign.com)>  
**Subject:** RE: LU 25-022904 HR - 837 SW 1st

Thanks, I'll add a note to the proposal so it is covered.

**From:** [Jeffreys, Grace](#)  
**To:** [Annabelle Lee](#)  
**Subject:** RE: LU 25-022904 HR - 837 SW 1st  
**Date:** Tuesday, May 20, 2025 2:56:00 PM  
**Attachments:** [image001.png](#)  
[image002.png](#)

---

Annabelle,

I am writing your decision now, and am wondering if you can add this awning signage to your drawing set so I can stamp as an exhibit?

—

**Grace Jeffreys**, LEED AP BD+C (she/her)  
503-865-6521 (Cell)  
[grace.jeffreys@portlandregon.gov](mailto:grace.jeffreys@portlandregon.gov)

---

**From:** Jeffreys, Grace  
**Sent:** Wednesday, April 9, 2025 1:30 PM  
**To:** Annabelle Lee <[annabelle@cadiumdesign.com](mailto:annabelle@cadiumdesign.com)>  
**Subject:** RE: LU 25-022904 HR - 837 SW 1st

Thanks, I'll add a note to the proposal so it is covered.

That might be a little more sf of signage than would be supportable in the end, but we can discuss later.

—

**Grace Jeffreys**, LEED AP BD+C (she/her)  
503-865-6521 (Cell)  
[grace.jeffreys@portlandregon.gov](mailto:grace.jeffreys@portlandregon.gov)

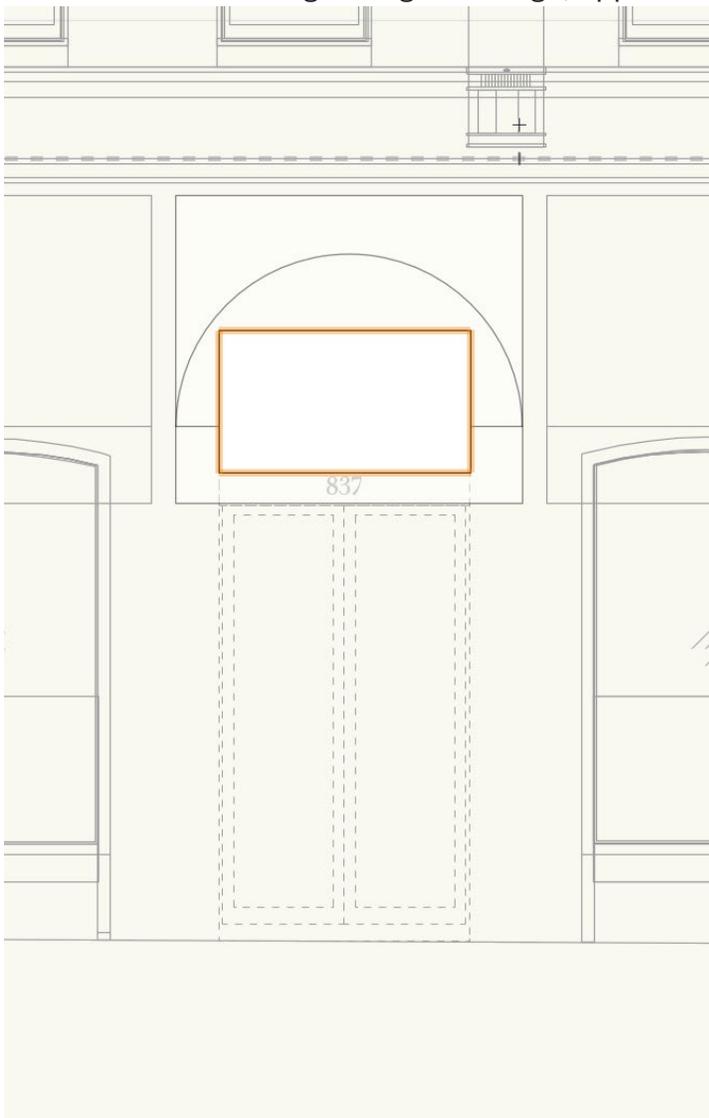
---

**From:** Annabelle Lee <[annabelle@cadiumdesign.com](mailto:annabelle@cadiumdesign.com)>  
**Sent:** Wednesday, April 9, 2025 1:18 PM  
**To:** Jeffreys, Grace <[Grace.Jeffreys@portlandoregon.gov](mailto:Grace.Jeffreys@portlandoregon.gov)>  
**Subject:** Re: LU 25-022904 HR - 837 SW 1st

I could see them adding a decorative border along the bottom edge of the awning, approx. 28 SF



With the center awning having some logo, approx. 20 SF



Annabelle

[REDACTED]

On Wed, Apr 9, 2025 at 12:12 PM Jeffreys, Grace <[Grace.Jeffreys@portlandoregon.gov](mailto:Grace.Jeffreys@portlandoregon.gov)> wrote:

Are you planning on adding signage to new awnings? If so, can you give me approximate sf as that will be subject to review so want to get a note in the Proposal about that.

—

**Grace Jeffreys**, LEED AP BD+C (she/her)  
503-865-6521 (Cell)  
[grace.jeffreys@portlandoregon.gov](mailto:grace.jeffreys@portlandoregon.gov)

---

**From:** Annabelle Lee <[annabelle@cadiumdesign.com](mailto:annabelle@cadiumdesign.com)>  
**Sent:** Wednesday, April 9, 2025 12:01 PM  
**To:** Jeffreys, Grace <[Grace.Jeffreys@portlandoregon.gov](mailto:Grace.Jeffreys@portlandoregon.gov)>  
**Subject:** Re: LU 25-022904 HR - 837 SW 1st

We are not through FIR. I'll reach out when we are ready.  
Annabelle

[REDACTED]

On Wed, Apr 9, 2025 at 10:59 AM Jeffreys, Grace <[Grace.Jeffreys@portlandoregon.gov](mailto:Grace.Jeffreys@portlandoregon.gov)> wrote:

I just deemed it complete and am drafting the Notice – hope to get it mailed Friday. Reach out to me about possible overlap when you are close to permit submittal. Is it through FIR? If so, recently they have been very resistant to allowing this.

—

**Grace Jeffreys**, LEED AP BD+C (she/her)

503-865-6521 (Cell)  
[grace.jeffreys@portlandoregon.gov](mailto:grace.jeffreys@portlandoregon.gov)

---

**From:** Annabelle Lee <[annabelle@cadiumdesign.com](mailto:annabelle@cadiumdesign.com)>  
**Sent:** Wednesday, April 9, 2025 10:55 AM  
**To:** Jeffreys, Grace <[Grace.Jeffreys@portlandoregon.gov](mailto:Grace.Jeffreys@portlandoregon.gov)>  
**Subject:** Re: LU 25-022904 HR - 837 SW 1st

Would this sign detail work? I did what I could on the PDF I had - I'll need to go back to the sign designer to adjust the letters themselves on the sign.

We are also wondering if we will need to wait until the LU Review is complete before submitting for the building permit or if we can get in sooner (we aren't currently ready but could be in a couple weeks).

Thank you!  
Annabelle



On Wed, Apr 9, 2025 at 9:12 AM Jeffreys, Grace  
<[Grace.Jeffreys@portlandoregon.gov](mailto:Grace.Jeffreys@portlandoregon.gov)> wrote:

I will also check in with my supervisor

—

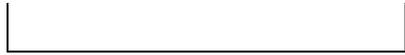
**Grace Jeffreys**, LEED AP BD+C (she/her)  
503-865-6521 (Cell)  
[grace.jeffreys@portlandoregon.gov](mailto:grace.jeffreys@portlandoregon.gov)

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**From:** Annabelle Lee <[annabelle@cadiumdesign.com](mailto:annabelle@cadiumdesign.com)>  
**Sent:** Wednesday, April 9, 2025 9:11 AM  
**To:** Jeffreys, Grace <[Grace.Jeffreys@portlandoregon.gov](mailto:Grace.Jeffreys@portlandoregon.gov)>  
**Subject:** Re: LU 25-022904 HR - 837 SW 1st

Let me check with the client to see how they'd like to proceed.  
Best,

Annabelle



----- Forwarded message -----

**From:** Jeffreys, Grace <[Grace.Jeffreys@portlandoregon.gov](mailto:Grace.Jeffreys@portlandoregon.gov)>

**Date:** Wed, Apr 9, 2025 at 8:55 AM

**Subject:** RE: LU 25-022904 HR - 837 SW 1st

**To:** Annabelle Lee <[annabelle@cadiumdesign.com](mailto:annabelle@cadiumdesign.com)>

I understand about signs – what about saying “copy” or “Business name” on sign?  
The detail will be publicly accessible if added to case file, even if it isn’t part of mailed notice (which is just site plan and elevations).

–

**Grace Jeffreys**, LEED AP BD+C (she/her)  
503-865-6521 (Cell)  
[grace.jeffreys@portlandoregon.gov](mailto:grace.jeffreys@portlandoregon.gov)

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**From:** Annabelle Lee <[annabelle@cadiumdesign.com](mailto:annabelle@cadiumdesign.com)>

**Sent:** Wednesday, April 9, 2025 8:51 AM

**To:** Jeffreys, Grace <[Grace.Jeffreys@portlandoregon.gov](mailto:Grace.Jeffreys@portlandoregon.gov)>

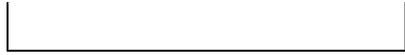
**Subject:** Re: LU 25-022904 HR - 837 SW 1st

Hi Grace,

Attached are the tear sheets for the lights (referenced on 2/A2.2) and the details of the sign. Note, I pulled the sign details off the submitted plans because it has their business name on it and they do not want this public yet (they have yet to give their current landlord notice and need the lease protection while they secure financing). Can this document just be internal? Or should I block out the business name on it?

Thanks,

Annabelle



On Tue, Apr 8, 2025 at 4:21 PM Jeffreys, Grace

<[Grace.Jeffreys@portlandoregon.gov](mailto:Grace.Jeffreys@portlandoregon.gov)> wrote:

Hi Annabelle,

I just left you a message. I have been assigned to your review for changes to the Mikado Block.

I would like to move this forward and send out a notice - do you have info on the sign and the lights you can send to me?

Grace

-

**Have a general question?** Book a [15-minute appointment here](#).

**Grace Jeffreys**, LEED AP BD+C (she/her)

City Planner II – Urban Design

Design & Historic Resource Review Team

**Portland Permitting & Development - City of Portland**

1900 SW Fourth Ave., Suite 5000

Portland, OR 97201

503-865-6521 (Cell)

[grace.jeffreys@portlandoregon.gov](mailto:grace.jeffreys@portlandoregon.gov)

[www.portland.gov/ppd](http://www.portland.gov/ppd)

Work Hours: Monday-Thursday, 7:30AM-5:00PM PT, E/O Friday, 7:30AM-4:30PM

The City of Portland ensures meaningful access to City programs, services, and activities to comply with Civil Rights Title VI and ADA Title II laws and reasonably provides: translation, interpretation, modifications, accommodations, alternative formats, auxiliary aids and services. Request these services [online](#) or call 503-823-4000, Relay Service: 711.

503-823-4000 Traducción e Interpretación | Biên Dịch và Thông Dịch |

□笔译服务 | Устный и письменный перевод | Turjumaad iyo Fasiraad |

Письмовий і усний переклад | Traducere și interpretariat | Chiaku me Awewen

Kapas | अनुवादन तथा व्याख्या

**From:** [Jeffreys, Grace](#)  
**To:** [Annabelle Lee](#)  
**Subject:** Status Update - Case File LU 25-022904 HR - 837 SW 1st (1x) Mikado Block  
**Date:** Thursday, April 10, 2025 10:20:00 AM  
**Attachments:** [image001.png](#)  
[image002.png](#)

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Hi Annabelle.

Looking forward to working with you on this project. As you know, I am assigned to the exterior alterations to the Mikado Block at 837 SW 1ST AVE (case file LU 25-022904 HR). I have the information that I need to begin my review and have deemed the application complete. Here is the schedule moving forward:

- **Comment & Review period** starts April 11 and ends May 12. During this time, we can discuss and work to resolve any approvability issues.  
*Since the total size of the awning faces was added to the total sf of signage, this may be more sf of signage than is supportable. Realistically, the signage on the faces of the awnings will be smaller than the faces, so the total signage sf can be adjusted once you have time to do more analysis of what might be on the awnings.*
- **Decision** will be issued by May 26. An extension can be requested if more time is needed to resolve any approvability issues that arose from the public comment or City review period.
- **Appeal period** – There is no local appeal for this Type Ix review. The City will record the decision, and permits can be submitted any time after the decision is issued. (And as I mentioned, please reach out if you are facing time constraints.)

Here is an [overview of the Type 1x land use process](#) that reflects the timeline above. Please reach out with questions.

–  
**Grace Jeffreys**, LEED AP BD+C (she/her)  
503-865-6521 (Cell)  
[grace.jeffreys@portlandregon.gov](mailto:grace.jeffreys@portlandregon.gov)

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**From:** Jeffreys, Grace  
**Sent:** Wednesday, April 9, 2025 1:30 PM  
**To:** Annabelle Lee <[annabelle@cadiumdesign.com](mailto:annabelle@cadiumdesign.com)>  
**Subject:** RE: LU 25-022904 HR - 837 SW 1st

Thanks, I'll add a note to the proposal so it is covered.

That might be a little more sf of signage than would be supportable in the end, but we can discuss later.

—

**Grace Jeffreys**, LEED AP BD+C (she/her)

503-865-6521 (Cell)

[grace.jeffreys@portlandoregon.gov](mailto:grace.jeffreys@portlandoregon.gov)

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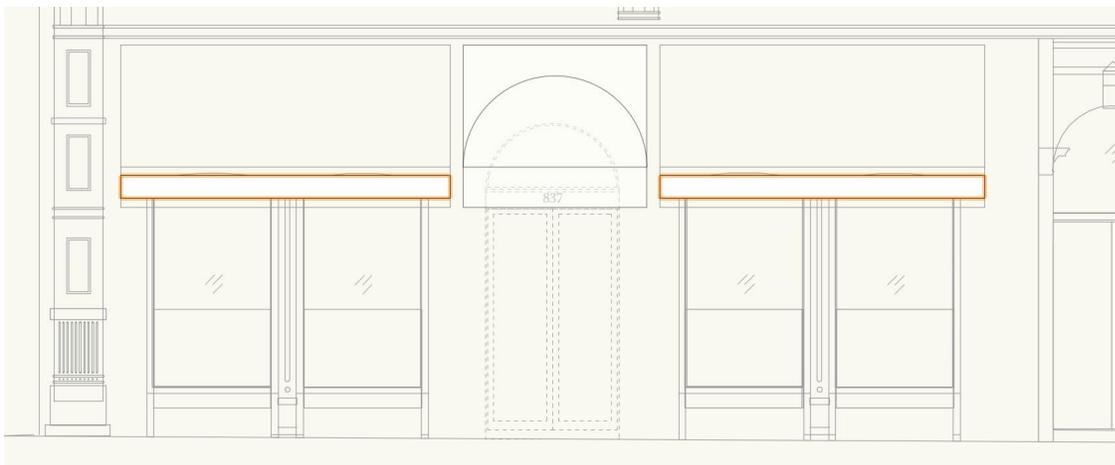
**From:** Annabelle Lee <[annabelle@cadiumdesign.com](mailto:annabelle@cadiumdesign.com)>

**Sent:** Wednesday, April 9, 2025 1:18 PM

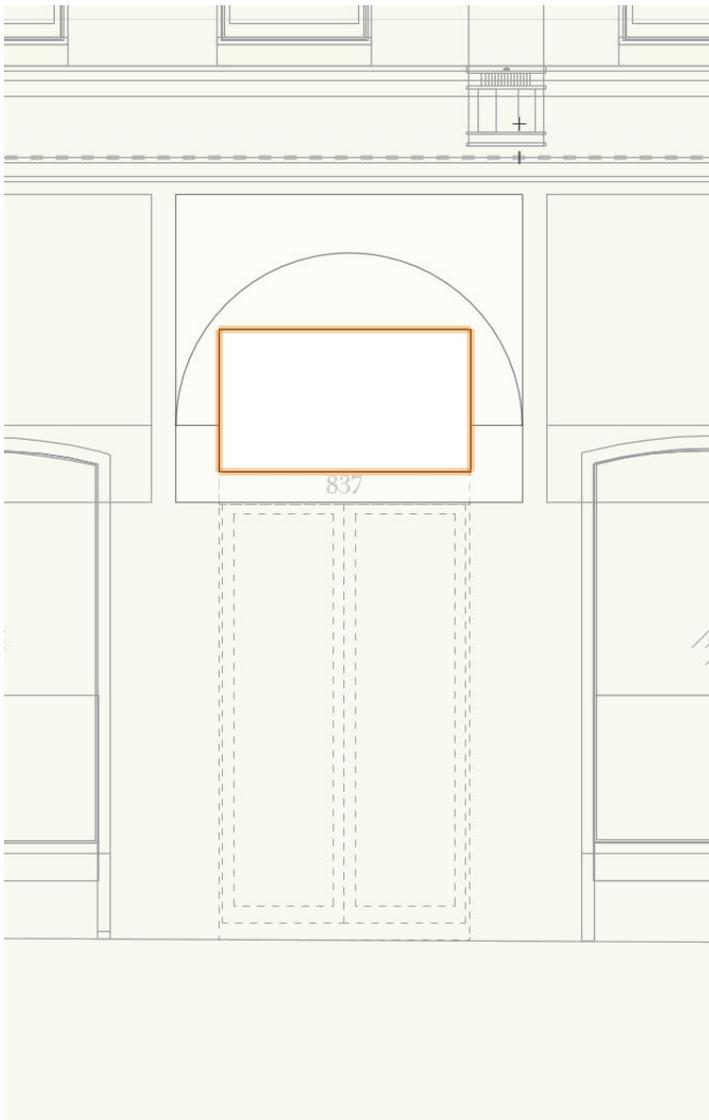
**To:** Jeffreys, Grace <[Grace.Jeffreys@portlandoregon.gov](mailto:Grace.Jeffreys@portlandoregon.gov)>

**Subject:** Re: LU 25-022904 HR - 837 SW 1st

I could see them adding a decorative border along the bottom edge of the awning, approx. 28 SF



With the center awning having some logo, approx. 20 SF



Annabelle



On Wed, Apr 9, 2025 at 12:12 PM Jeffreys, Grace <[Grace.Jeffreys@portlandoregon.gov](mailto:Grace.Jeffreys@portlandoregon.gov)> wrote:

Are you planning on adding signage to new awnings? If so, can you give me approximate sf as that will be subject to review so want to get a note in the Proposal about that.

—

**Grace Jeffreys**, LEED AP BD+C (she/her)  
503-865-6521 (Cell)

[grace.jeffreys@portlandoregon.gov](mailto:grace.jeffreys@portlandoregon.gov)

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**From:** Annabelle Lee <[annabelle@cadiumdesign.com](mailto:annabelle@cadiumdesign.com)>  
**Sent:** Wednesday, April 9, 2025 12:01 PM  
**To:** Jeffreys, Grace <[Grace.Jeffreys@portlandoregon.gov](mailto:Grace.Jeffreys@portlandoregon.gov)>  
**Subject:** Re: LU 25-022904 HR - 837 SW 1st

We are not through FIR. I'll reach out when we are ready.  
Annabelle

[Redacted]

On Wed, Apr 9, 2025 at 10:59 AM Jeffreys, Grace <[Grace.Jeffreys@portlandoregon.gov](mailto:Grace.Jeffreys@portlandoregon.gov)> wrote:

I just deemed it complete and am drafting the Notice – hope to get it mailed Friday. Reach out to me about possible overlap when you are close to permit submittal. Is it through FIR? If so, recently they have been very resistant to allowing this.

–

**Grace Jeffreys**, LEED AP BD+C (she/her)  
503-865-6521 (Cell)  
[grace.jeffreys@portlandoregon.gov](mailto:grace.jeffreys@portlandoregon.gov)

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**From:** Annabelle Lee <[annabelle@cadiumdesign.com](mailto:annabelle@cadiumdesign.com)>  
**Sent:** Wednesday, April 9, 2025 10:55 AM  
**To:** Jeffreys, Grace <[Grace.Jeffreys@portlandoregon.gov](mailto:Grace.Jeffreys@portlandoregon.gov)>  
**Subject:** Re: LU 25-022904 HR - 837 SW 1st

Would this sign detail work? I did what I could on the PDF I had - I'll need to go back to the sign designer to adjust the letters themselves on the sign.

We are also wondering if we will need to wait until the LU Review is complete before submitting for the building permit or if we can get in sooner (we aren't currently ready but could be in a couple weeks).

Thank you!

Annabelle

[Redacted]

On Wed, Apr 9, 2025 at 9:12 AM Jeffreys, Grace <[Grace.Jeffreys@portlandoregon.gov](mailto:Grace.Jeffreys@portlandoregon.gov)> wrote:

I will also check in with my supervisor

–

**Grace Jeffreys**, LEED AP BD+C (she/her)  
503-865-6521 (Cell)  
[grace.jeffreys@portlandoregon.gov](mailto:grace.jeffreys@portlandoregon.gov)

---

**From:** Annabelle Lee <[annabelle@cadiumdesign.com](mailto:annabelle@cadiumdesign.com)>  
**Sent:** Wednesday, April 9, 2025 9:11 AM  
**To:** Jeffreys, Grace <[Grace.Jeffreys@portlandoregon.gov](mailto:Grace.Jeffreys@portlandoregon.gov)>  
**Subject:** Re: LU 25-022904 HR - 837 SW 1st

Let me check with the client to see how they'd like to proceed.  
Best,

Annabelle

[Redacted]

----- Forwarded message -----

**From:** **Jeffreys, Grace** <[Grace.Jeffreys@portlandoregon.gov](mailto:Grace.Jeffreys@portlandoregon.gov)>  
**Date:** Wed, Apr 9, 2025 at 8:55 AM  
**Subject:** RE: LU 25-022904 HR - 837 SW 1st  
**To:** Annabelle Lee <[annabelle@cadiumdesign.com](mailto:annabelle@cadiumdesign.com)>

I understand about signs – what about saying “copy” or “Business name” on sign?

The detail will be publicly accessible if added to case file, even if it isn't part of mailed notice (which is just site plan and elevations).

—

**Grace Jeffreys**, LEED AP BD+C (she/her)  
503-865-6521 (Cell)  
[grace.jeffreys@portlandoregon.gov](mailto:grace.jeffreys@portlandoregon.gov)

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**From:** Annabelle Lee <[annabelle@cadiumdesign.com](mailto:annabelle@cadiumdesign.com)>  
**Sent:** Wednesday, April 9, 2025 8:51 AM  
**To:** Jeffreys, Grace <[Grace.Jeffreys@portlandoregon.gov](mailto:Grace.Jeffreys@portlandoregon.gov)>  
**Subject:** Re: LU 25-022904 HR - 837 SW 1st

Hi Grace,

Attached are the tear sheets for the lights (referenced on 2/A2.2) and the details of the sign. Note, I pulled the sign details off the submitted plans because it has their business name on it and they do not want this public yet (they have yet to give their current landlord notice and need the lease protection while they secure financing). Can this document just be internal? Or should I block out the business name on it?

Thanks,

Annabelle

[Redacted signature]

On Tue, Apr 8, 2025 at 4:21 PM Jeffreys, Grace <[Grace.Jeffreys@portlandoregon.gov](mailto:Grace.Jeffreys@portlandoregon.gov)> wrote:

Hi Annabelle,  
I just left you a message. I have been assigned to your review for changes to the Mikado Block.  
I would like to move this forward and send out a notice - do you have info on the sign and the lights you can send to me?  
Grace

—

**RECEIVED**

Mikado Block

OCT 12 1973

ORDINANCE NO. **137292**

Accepted  
Recorded **OCT - 4 1973**

Portland  
City Planning Commission

An Ordinance designating fourteen structures and one tree in various locations throughout the City of Portland as historical landmarks, and declaring an emergency.

The City of Portland ordains:

Section 1. The Council finds that the Portland Landmarks Commission, created by Chapter 33.120 of the Code of the City of Portland has included in its submission of proposed historical landmarks certain structures and one tree as set forth in its report dated August 15, 1973, and made a part of Council Calendar No. 2990 (1973); that on September 11, 1973, the City Auditor notified all owners of such proposed landmarks and owners of property abutting such proposed landmarks that a hearing on said proposals would be held at 2:00 P.M., September 19, 1973, in the Council Chamber in the City Hall, at which time and place, a hearing was held, and all remonstrances made or filed against said proposals were heard and considered by the Council; that of the proposed 24 historical landmarks designated, one was deleted, one was referred back to the Historical Landmarks Commission, seven were continued for additional hearings on October 10, 1973, and 14 structures and one tree were approved as recommended by the Commission, and all remonstrances regarding these 15 proposed landmarks were specifically overruled; now, therefore, the landmarks set forth hereinbelow are designated as historical landmarks, and the City Auditor hereby is authorized and directed to send a copy of this ordinance to the owner or agent of each landmark and have a copy of this ordinance recorded in the Deed Records of Multnomah County.

Section 2. The building at 415 S.W. 2nd Avenue on Lot 2, Block 18, Portland Addition, presently owned by Pacific Stationary & Printing Company, 415 S.W. 2nd Avenue, Portland, Oregon 97204, hereby is designated as a historical landmark. J

Section 3. The building at 421-29 S.W. 2nd Avenue on Lot 4, Block 18, Portland Addition, presently owned by Woo D. Yuen, in care of The Simms Co., Agent, 519 S.W. Park, Portland, Oregon 97204, hereby is designated as a historical landmark. J

Section 4. The building at 101 S.W. Yamhill on Lot 4, Block 14, Portland Addition, presently owned by Zelda Zeidman, Max Kessler and David Levy, in care of Frank Breall, Agent, 921 S.W. Broadway, Portland, Oregon 97205, hereby is designated as a historical landmark. J

137292  
10/31/73

Section 5. The building at 837 S.W. 1st Avenue on Lot 4, Block 13, Portland Addition, presently owned by Ed Cauduro--Antiques West, 732 S.W. 1st Avenue, Portland, Oregon 97204, hereby is designated as a historical landmark.

Section 6. The building at 824 S.W. 1st Avenue, located on the north 46 feet of Lot 6, Block 4, Portland Addition, presently owned by Patrick Lumber Company, 501 Terminal Sales Building, Portland, Oregon 97205, hereby is designated as a historical landmark.

Section 7. The building at 901-917 S.W. 2nd Avenue on Lots 1 and 2, Block 23, Portland Addition, presently owned by Paul and Mary Gold, 1012 S.W. Washington Street, Portland, Oregon 97205, hereby is designated as a historical landmark.

Redesignated  
see Ord.#  
137648  
12/26/73

REMOVED

Section 8. The church building at 1823 S.W. Spring Street, on Lot 5, Block 94, Portland Heights, presently owned by the Episcopal Diocese of Oregon, 11800 S. W. Military Lane, Portland, Oregon 97219, hereby is designated as a historical landmark.

Section 9. The residence at 2428 S.W. 19th Avenue on Lot 6, Block 94, Portland Heights, owned by Douglas W. Polivka, 2428 S.W. 19th Avenue, Portland, Oregon 97201, hereby is designated as a historical landmark.

Section 10. The buildings located at 715-9 N.W. 17th Avenue and 1705-19 N.W. Irving Street on Lots 1 and 4, Block 161, Couch's Addition, presently owned by the 17th & Irving Street Development Corporation, 123 N.W. 2nd Avenue, Portland, Oregon 97209, hereby are designated as historical landmarks.

Section 11. The residence at 2343 N.W. Irving Street on the east one-half of Lot 9, Block 7, Kings Second Addition, presently owned by Robert A. Hoyt, 2343 N.W. Irving Street, Portland, Oregon 97210, hereby is designated as a historical landmark.

Section 12. The residence at 3040 S.E. Grant on Lots 3, 4, and one-half of 5, Block 1, Villa Heights Addition, presently owned by Jean Boss, 3040 S.E. Grant Avenue, Portland, Oregon 97214, hereby is designated as a historical landmark.

McLaughlin

Section 13. The residence at 626 S.E. 16th Avenue on Lots 3 and 4, Block 2, Story's Addition, presently owned by Vivian B. Conklin and Dianne S. Norman, 12245 N.E. Multnomah Street, Portland Oregon 97230, hereby is designated as a historical landmark.

137292  
10/3/73

# ORDINANCE No.

Section 14. The sycamore tree (London Plane) [platanus acerfolia] known as Farrell's Sycamore, located in the S.W. Park Blocks on the street right-of-way of Block 221, Portland Addition, located on the southeast corner of the block bounded by S.W. Main Street and S.W. Salmon Street between S.W. Park Avenue and S.W. 9th Avenue, presently owned by the City of Portland, 1224 S.W. 5th Avenue, Portland, Oregon 97204, hereby is designated as a historical landmark. *J*

Section 15. The Union Pacific smokestack, located on Tax Lot 13, Section 21, 1N, 1E, in the Union Pacific Railroad Yard at N. Interstate and N. Greeley Avenues, presently owned by the Union Pacific Railroad Company, 1416 Dodge Street, Omaha, Nebraska 68179, hereby is designated as an historical landmark.

Section 16. The bandstand at 6400 N. Albina Street at the intersection of Portland Boulevard, Tax Lot 13, Gainsborough Addition, located in the block bounded by N. Albina Avenue and N. Kirby Avenue and by N. Portland Blvd. and N. Ainsworth, presently owned by the City of Portland, 1224 S.W. 5th Avenue, Portland, Oregon 97204, hereby is designated as a historical landmark. *J*

Section 17. Inasmuch as this ordinance is necessary for the immediate preservation of the public health, peace and safety of the City of Portland in this: In order that there may be no delay in carrying out the desires of the Commission in designation of the aforementioned structures and one tree as historical landmarks, all in the interest of the public; therefore, an emergency hereby is declared to exist and this ordinance shall be in force and effect from and after its passage by the Council.

Passed by the Council, **OCT 3 1973**

*Neil Spedding*  
Mayor of the City of Portland

Order of Council  
September 26, 1973  
EEG:at

Attest: *George Zebrovich*  
Auditor of the City of Portland