



City of Portland, Oregon - Portland Permitting & Development

1900 SW Fourth Avenue • Portland, Oregon 97201 | 503-823-7300 | www.portland.gov/ppd

Date: 11/20/2024
To: Interested Person
From: Tanya Paglia, Land Use Services
503-865-6518 / Tanya.Paglia@portlandoregon.gov

NOTICE OF A PUBLIC HEARING ON A PROPOSAL IN YOUR NEIGHBORHOOD

CASE FILE: LU 24-077225 DM – Demolition of a Contributing (Historically Significant) House in the South Portland Historic District
PRE APP: PC # 24-037799

REVIEW BY: Portland City Council
WHEN: Thursday, January 16, 2025, 2:00 PM
ACCESS: See <https://www.portland.gov/council/agenda>. Beginning Friday, January 10, 2024, this page will provide specific information on how to participate in the City Council hearing virtually or in person.

ADVICE BY: Historic Landmarks Commission
WHEN: Monday, November 25, 2024, 1:30 PM
ACCESS: See Historic Landmarks Commission Agenda: <https://www.portland.gov/ppd/landmarks>. This land use meeting will be limited to remote participation via Zoom. Please refer to the instructions included with this notice to observe and participate remotely (online or by phone).

The development proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map are attached. I am the staff person handling the case. Please contact me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Applicant: Ian Roll | Gensler
811 SW 6th Ave Ste 300 | Portland, OR 97204
Ian_Roll@Gensler.com

Owner/Agent Jason Hickox, UKANDU L.O.F.T. LLC
601 SW 2nd Ave Suite 2300 | Portland, OR 97204

Owner: Thidwick Management Co
2905 SW 1st Ave | Portland, OR 97201

Site Address: 118 SW PORTER ST

Legal Description: BLOCK 77 E 2' OF W 46' OF LOT 1, CARUTHERS ADD; BLOCK 77 TL 10200, CARUTHERS ADD; BLOCK 77 W 44' OF LOT 1, CARUTHERS ADD
Tax Account No.: R140907790, R140907800, R140907810

State ID No.: 1S1E10BB 10100, 1S1E10BB 10000, 1S1E10BB 10200
Quarter Section: 3329

Neighborhood: South Portland, contact at landuse@southportlandna.org
Business District: South Portland Business Association, contact Mark Eves at info@southportlandba.com

District Coalition: District 4, contact at info@district4coalition.org

Plan District: None

Other Designations: Contributing Resource in the South Portland Historic District, listed in the National Register of Historic Places on July 31, 1998.

Zoning: CM2 – Commercial/Mixed Use 2 base zone with Historic Resource overlay

Case Type: DM – Demolition Review

Procedure: Type IV, following a public advisory meeting before the Historic Landmarks Commission there will be a hearing before City Council. The Historic Landmarks Commission may offer comments or suggestions, in the form of a letter or testimony, to City Council. City Council makes the final decision on this matter.

Proposal:

The applicant seeks approval to demolish a contributing (historically significant) house in the South Portland Historic District on a site located at the intersection of SW 1st Ave and SW Porter St (118 SW Porter St/3015 SW 1st Ave). The applicant, UKANDU, a non-profit serving families impacted by childhood and adolescent cancer, proposes to replace the house with an addition to the adjacent non-contributing building.

The Type IV demolition review process will involve:

- Historic Landmarks Commission advisory meeting – Monday, November 25, 2024, 1:30 PM: The Historic Landmarks Commission will review the proposal at a public meeting where members of the public may comment. Following the advisory meeting, comments or suggestions from the Historic Landmarks Commission may be offered in the form of a letter or testimony to City Council.
- City Council hearing – Thursday, January 16, 2025, 2:00 PM: City Council will be the review body and make the final decision. Staff will prepare a staff report with recommendations for City Council, who may adopt, modify, or reject it based on the information presented at the hearing.

Demolition review ensures the historic value of a building is considered and that there is an opportunity for the owner and community to consider alternatives to demolition. The replacement of the demolished house (an addition to the adjacent non-contributing building) will go through a Historic Resource Review which will be a Type III procedure decided by the Historic Landmarks Commission.

Type IV Demolition Review is required in order to obtain approval for demolition of contributing resources in historic districts.

Relevant Approval Criteria: In order to be approved, this proposal must comply with the criteria of Title 33. The relevant criteria are:

- 33.846.080.C Approval Criteria

The Portland Zoning Code is available online at <https://www.portland.gov/code/33>.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on **September 5, 2024**. The application was determined to be complete on **10/08/2024**.

Decision Making Process: Portland Permitting & Development will make a recommendation on this proposal; our report and recommendation will be available 10 days before the hearing. The staff report will be posted on Portland Permitting & Development website at

<https://www.portland.gov/ppd/zoning-land-use/public-notice>. Land use review notices are listed on the website by the District Coalition in which the site is located; the District Coalition for this site is identified at the beginning of this notice. If you are interested in viewing the file, please contact the planner listed on the front of this notice. The planner can provide information over the phone or via email. Only digital copies of the material in the file are available for viewing.

We are seeking your comments on this proposal. To comment, you may write or testify at the advisory meeting and/or hearing. Please refer to the file number when seeking information or submitting testimony. In your comments, you must address the approval criteria as stated in the administrative report and decision which you previously received. Please note that all correspondence and testimony received will become part of the public record.

Written comments must be received by the close of the record and should include the case file number. Any new written testimony should be emailed to Tanya Paglia at Tanya.Paglia@portlandoregon.gov.

Please note regarding USPS mail: If you choose to mail written testimony via USPS, testimony must be received before the close of the record. Therefore, please mail testimony well in advance of the hearing date.

Thank you for any information you can provide regarding this case.

If you plan to testify at the hearing, please refer to instructions included with this notice.

ORS 227.178 states the City must issue a final decision on land use review applications within 120 days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

Appeal Process:

City Council's decision may be appealed to LUBA. Failure to raise an issue, in person or by letter, by the close of the record by City Council on the Demolition Review may preclude an appeal to LUBA on that issue. Also, if you do not provide enough detailed information to City Council, LUBA may not be able to respond to the issue you are trying to raise. In such a situation, an appeal to LUBA on that issue may not be allowed.

Thank you for any information you can provide to help us make this decision. Please call me if you have any questions. My name and number are on the first page of this notice.

Hearing Cancellation:

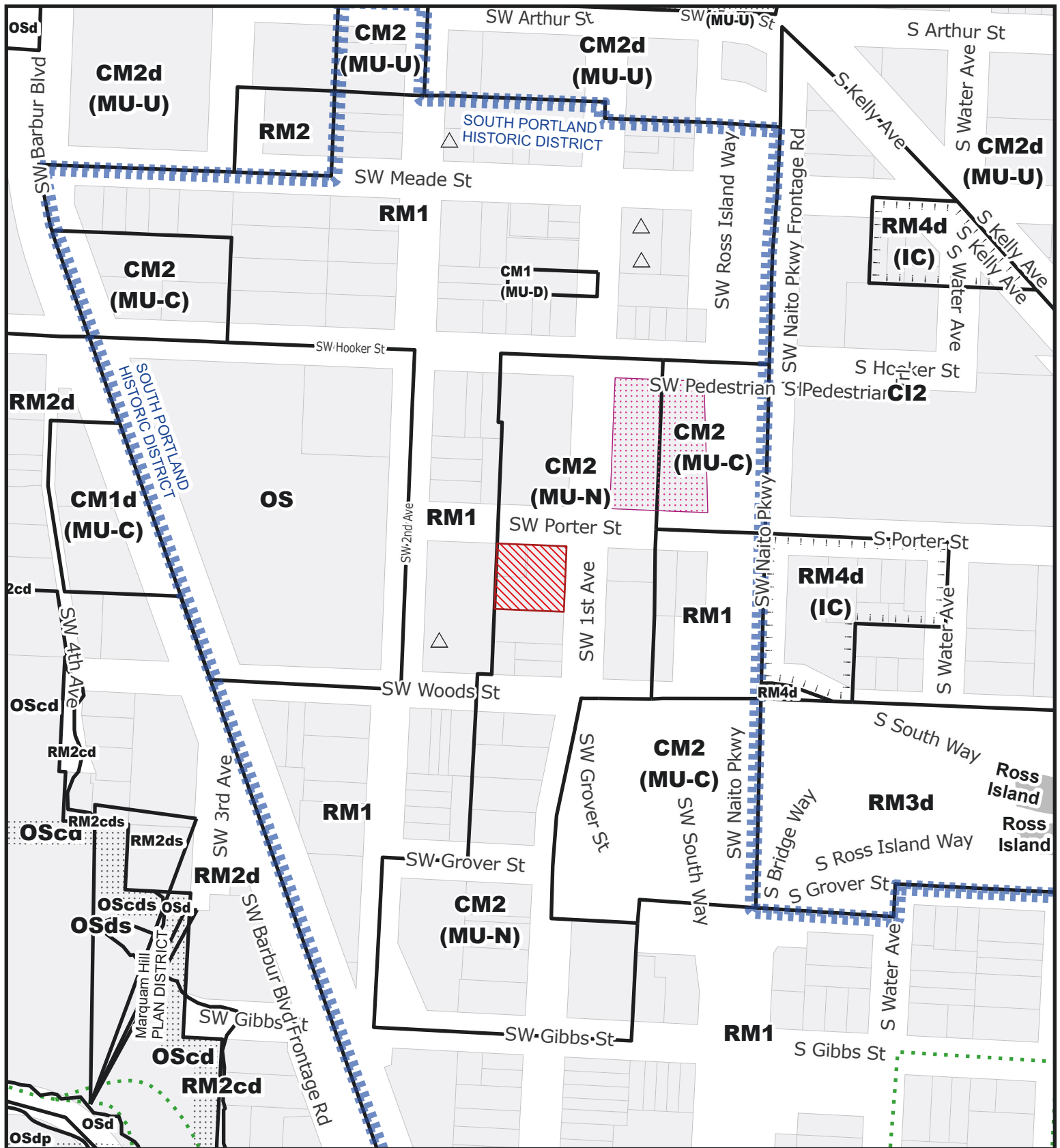
This public hearing may be canceled due to inclement weather or other emergency.

- City Council: Please check the City Council agenda webpage for the latest information. <https://www.portland.gov/council/agenda>
- Landmarks Commission: Please see the agenda for the scheduled date under "Events" on the Commission webpage [<https://www.portland.gov/ppd/landmarks>] for information regarding cancellations or rescheduling.

You may also contact the planner listed on this Notice. If canceled, the hearing will be rescheduled for the earliest possible date. A renotification notice will not be sent.

Portland Permitting & Development is committed to providing equal access to information and hearings. To request an accommodation or alternative format of communication, please contact us at least five business days prior to the hearing at 503-823-7300 (TTY 503-823-6868).

Enclosures: Zoning Map; Site Plan; Project Evolution; Two Building Campus (existing); Proposed Campus; City Council Type IV Historic Resource Demo Review Hearing Process



For Zoning Code in Effect Post October 1, 2022

ZONING

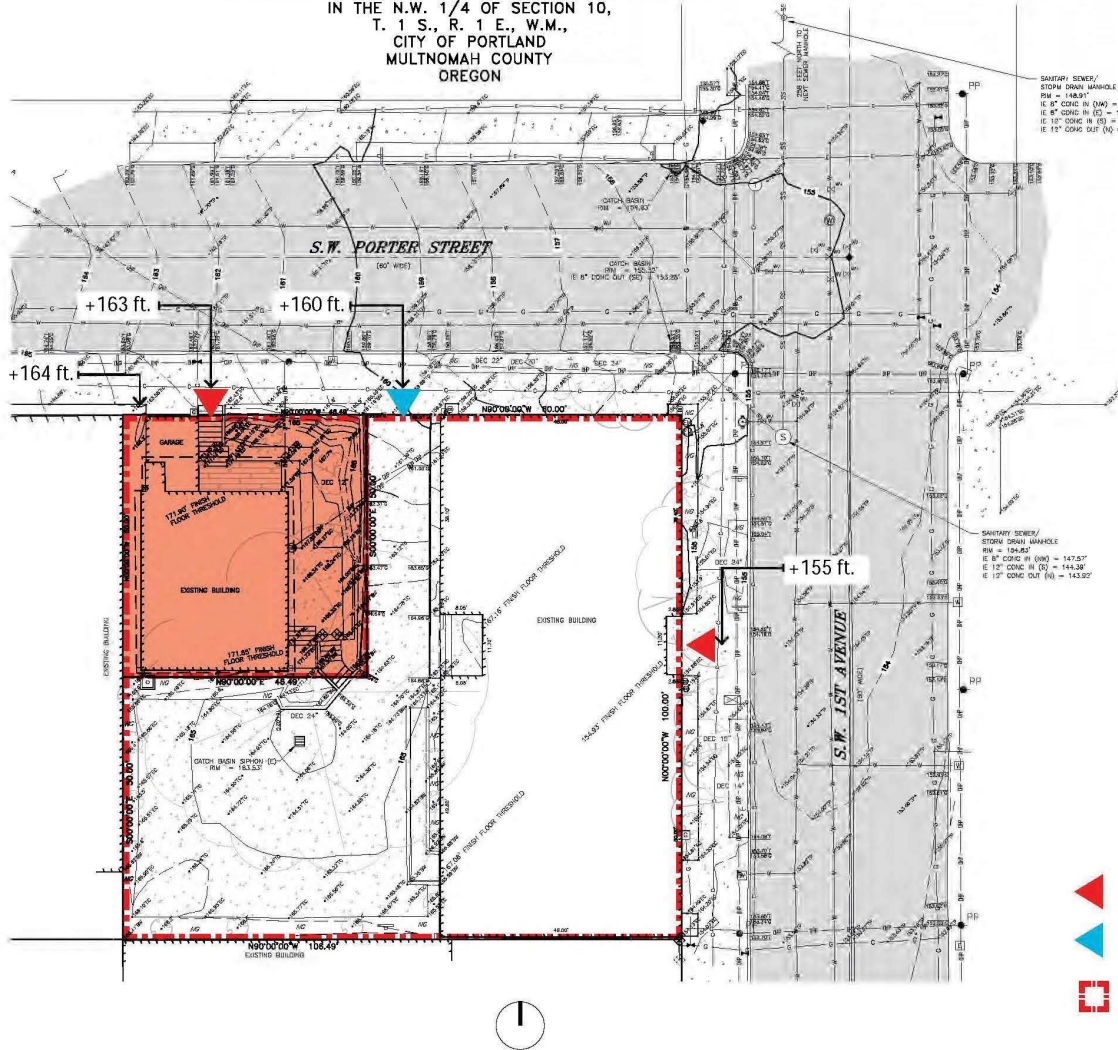
THIS SITE LIES WITHIN THE:
SOUTH PORTLAND HISTORIC DISTRICT

- Site
- Also Owned Parcels
- Plan District
- Historic District
- Historic Landmark
- Recreational Trails

File No.	LU 24 - 077225 DM
1/4 Section	3329
Scale	1 inch = 200 feet
State ID	1S1E10BB 10000
Exhibit	B Sep 06, 2024

TOPOGRAPHIC SURVEY

3015 SW 1ST AVENUE
A PORTION OF LOT 1, BLOCK 77, "CARUTHERS ADDITION",
IN THE N.W. 1/4 OF SECTION 10,
T. 1 S., R. 1 E., W.M.,
CITY OF PORTLAND
MULTNOMAH COUNTY
OREGON



Site

The existing building being considered for demolition approval is located on a 44ft x 50ft (2,200sf) parcel at 118 SW Porter Street with street

commercial driveway for 3015 SW 1st Ave. on the east and the blank wall of the Cedarwood Waldorf School on the west (which sits on the property line). The south property line is immediately adjacent to the commercial non-conforming parking lot for the building at 3015 SW 1st Ave. Originally built as a single-family residence, 118 SW Porter is a 930 sq ft wood framed building atop an uninhabitable, below-grade basement foundation. For the past forty years the property has been used as office space. A street facing, at-grade storage addition is thought to have been added during this transition of use. Until very recently 118 SW Porter was leased by

adjacent to the southeast corner has caused roof damage and concern for future damage to the building foundation.





TWO BUILDING CAMPUS

ACCESSIBLE
CONNECTION &
OUTDOOR PROGRAM



THE BOARDWALK CLOISTER

CONNECTED PROGRAM &
ACCESSIBLE LOADING



THE CONNECTOR

FULL PROGRAM &
PARKING / LOADING



THE TOWER

REDUCE NUMBER OF
PROGRAM TRANSITIONS
& IMPACT ON EXISTING
BUILDING



TOP & BOTTOM

TRUE ACCESSIBILITY &
INTEGRATED PROGRAM



THE RADICALLY INCLUSIVE FULL MEAL DEAL

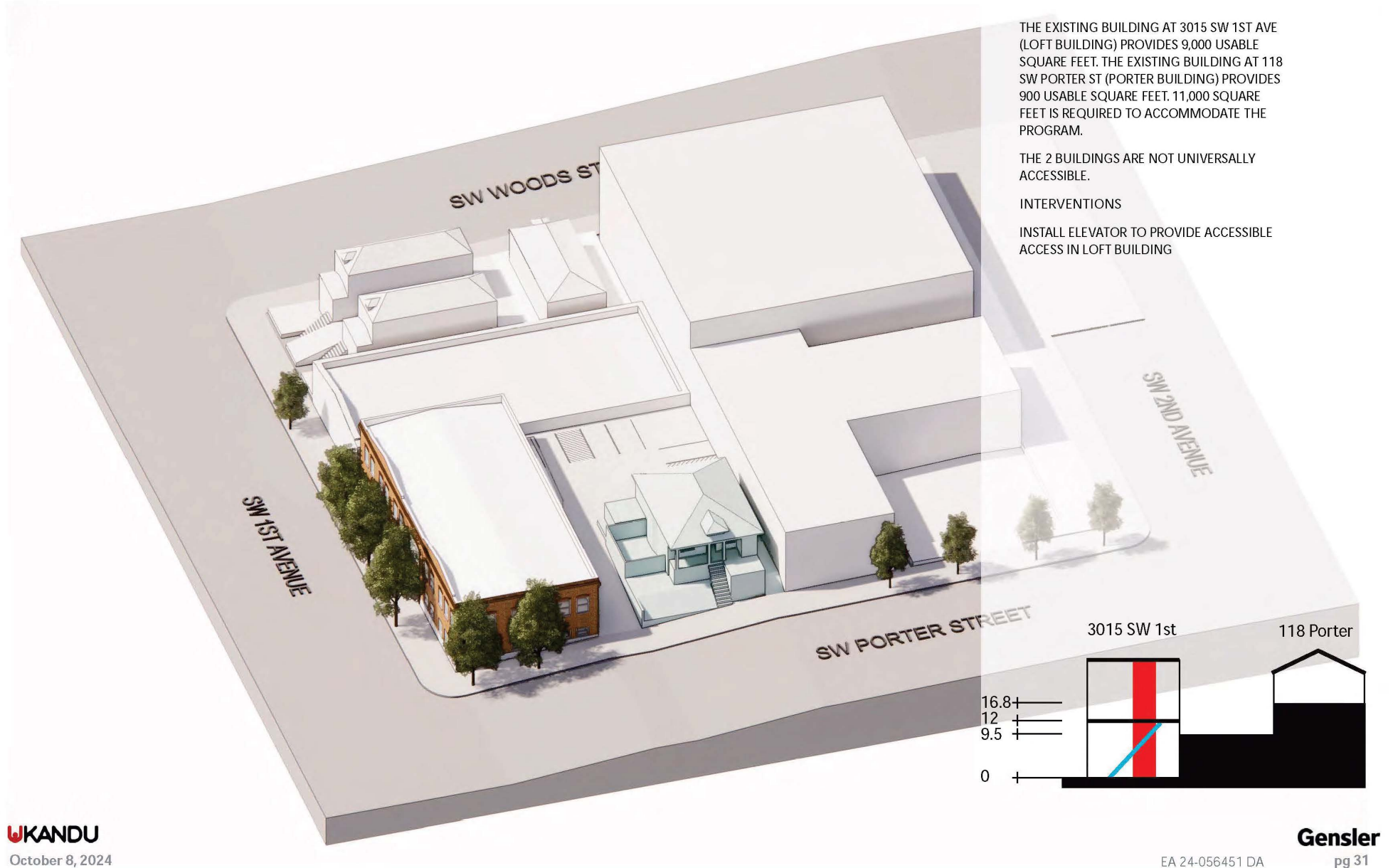
BETTER ACCESSIBILITY AND
PROGRAM SUPPORT



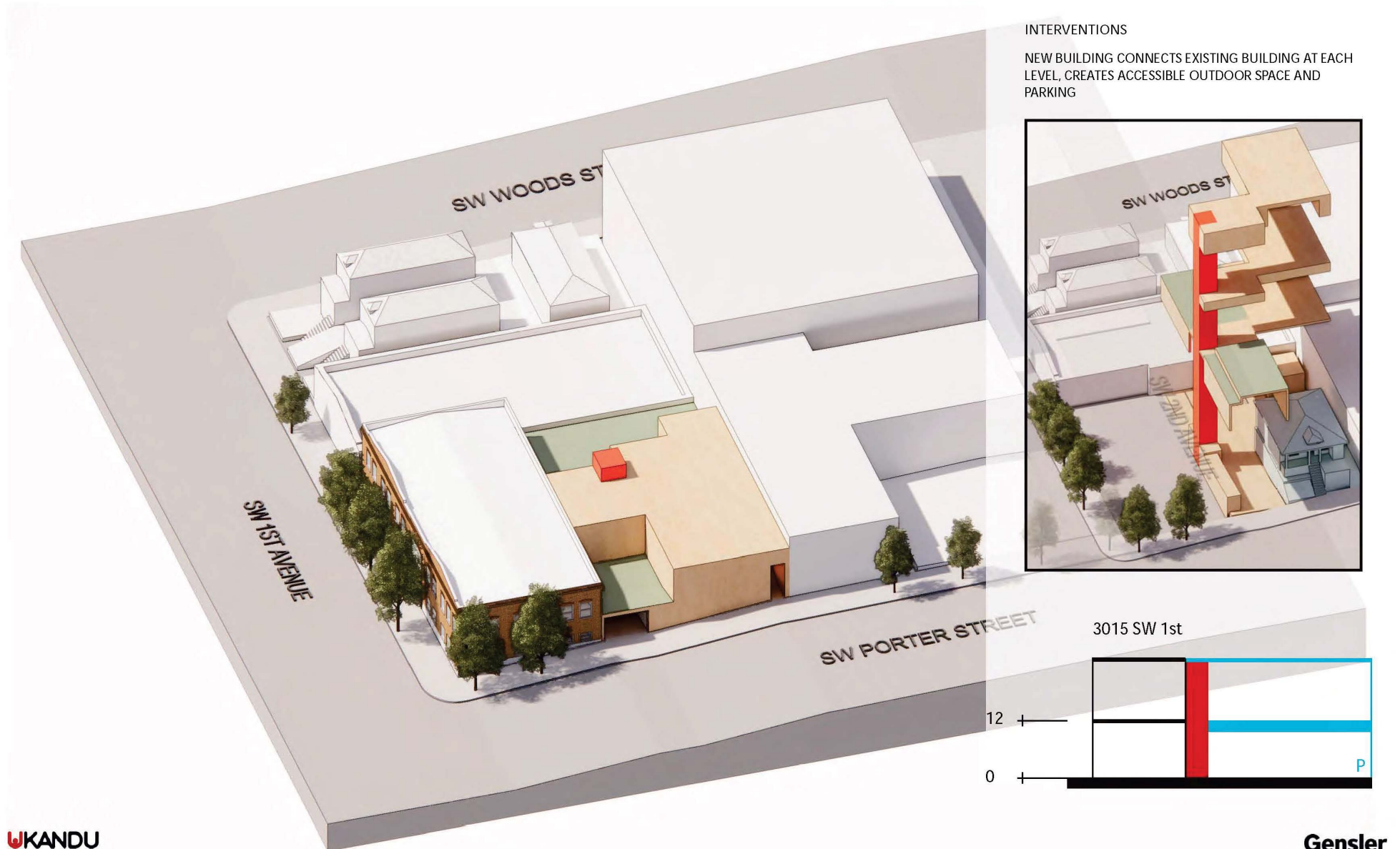
PORTER ISLAND

*Designing accessible spaces means
fully inclusive beyond meeting
minimum requirements. It means
providing a generosity of experience
that benefits everyone.*

TWO BUILDING CAMPUS



THE RADICALLY INCLUSIVE FULL MEAL DEAL



Observing or Testifying at the Portland Design Commission, Historic Landmarks Commission, or Adjustment Committee Webinar Hearings

Thank you for your interest in attending a land use public hearing. All hearings are currently held virtually, via Zoom. The information below will help you get connected.

***If you do not have access to the internet from a home computer or mobile phone, please see the end of this document for instructions on how to participate from a City building at 1900 SW 4th Avenue in downtown Portland.

Preparing for the Hearing:

1. To access the Zoom Webinar, please go to the online hearing Agenda, and click the link under the hearing date you are interested in participating: <https://www.portlandoregon.gov/bds/42441>
2. In advance of the hearing, please review documents and drawings in the project link within the Online Agenda.
 - Please also provide comments to the planner assigned in advance of the hearing.

Getting into the Hearing [Registering in Zoom to observe or participate in Hearing]:

1. In order to observe or testify in the hearing, please be sure to Register for the Webinar as soon as possible.
 - The Webinar Link is posted to the Online Agenda typically one week prior to the hearing date.
2. Once you register you will receive an email notification of how to log-in or access the Webinar.
3. You can enter the Webinar no sooner than ten minutes before the start of the hearing.
4. You will be held in the Zoom waiting room until the Webinar begins. (Please note each individual agenda item has an estimated start time.)
5. If using a smartphone or tablet, download the Zoom app for easy entry into the Webinar.

Public participation in the Hearing:

1. After Staff and Applicant presentations, the Chair will announce public testimony is open, and will ask if anyone else would like to testify.
2. You can provide public comment in this Webinar in several ways:
 - If during registration you indicated you would like to testify, we will put your name in order of request. Once in the hearing, testifiers will be renamed "Testifier 1 – (Your Name)"
 - Members of the public will be automatically muted except for when they are called by the Hearings Clerk for their public comment. During the Webinar, the Hearings Clerk will promote participants to "Panelists" in the order of Webinar Registrations received. When it is your turn to provide testimony, please accept the Clerk's invitation to be promoted to Panelist.
 - If you indicated in your registration that you did not want to testify but later changed your mind, when testimony is open:
 - Click the "raise your hand" function in ZOOM, and the Hearings Clerk will add you to the list of testifiers.
 - If you will be participating by call-in, raise your hand by pressing *9 - the Webinar host will see this notification.
 - When you are moved to Panelist position for your testimony, your name will be announced by the Chair or Hearings Clerk. Please be prepared to provide testimony.
 - Each testifier is allotted 2 minutes of testimony unless the Chair grants additional time.
 - Please manage your time when testifying. As a courtesy to other testifiers and our volunteer Commissions, please do not attempt to exceed the allotted amount of time.
3. We will enable screen sharing of presentations only for Design and Landmarks Commission members, project teams, and staff participating in the Webinar.
4. Testifiers who engage in inappropriate behavior or language will be promptly removed from the hearing.

Follow-up:

1. The Webinar will be recorded and uploaded to the City of Portland Auditors website, under the Case File Number, here: <https://efiles.portlandoregon.gov/Search>.

If you do not have access to the internet from a home computer or mobile phone, we can provide accommodations for you to view a live video display of the hearing from 1900 SW 4th Avenue in downtown Portland. This option for participation requires you to travel to a City building where we will provide a computer for viewing the hearing. City staff will not be present at this viewing location. If you require such accommodation, please contact the BDS Hearings Clerk at 503-865-6525 before 8 AM on the day of the hearing.

**GENERAL EXPLANATION OF CITY COUNCIL
TYPE IV HISTORIC RESOURCE DEMOLITION REVIEW HEARING PROCESS**

1. SUBMISSION OF TESTIMONY

- a. Testimony may be submitted at <https://www.portland.gov/council-clerk/lu-24-077225-dm-written-testimony> or by mail to the Council Clerk, 1221 SW Fourth Avenue, Room 130, Portland, Oregon 97204. Written comments must be received before the record is closed and should include the case file number.
- b. Testimony may be submitted orally (see below).

2. HEARINGS PROCESS

- a. The order of appearance and time allotments is generally as follows:

Staff Report	10 minutes
Applicant	10 minutes
Supporters of the Applicant	3 minutes each
Historic Landmarks Commission	5 minutes
Opponents of the Applicant	3 minutes each
Applicant Rebuttal	5 minutes
Council Discussion	

- b. The applicant has the burden of proof to show that each and every element of the approval criteria can be satisfied. If the applicant is opposing Portland Permitting & Development Staff Recommendation, the applicant may also argue the criteria are being incorrectly interpreted, the wrong approval criteria are being applied or additional approval criteria should be applied.
- c. In order to prevail, the opponents of the application must persuade the City Council to find that the applicant has not carried the burden of proof to show that the evidence submitted in support of the application demonstrates that each and every element of the approval criteria is satisfied. The opponents may wish to argue the criteria are being incorrectly applied, the wrong criteria are being applied or additional approval criteria should be applied.
- d. The failure to address an issue with sufficient specificity to afford the decision maker and the parties an opportunity to respond to the issue precludes an appeal to the Land Use Board of Appeals (LUBA) on that issue.

3. OTHER INFORMATION

- a. If you are interested in viewing information in the file, please contact the planner listed on the front of this proposal. The planner can provide some information over the phone. Please note that due to COVID-19 and limited accessibility to files, only digital copies of material in the file are available for viewing. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at <https://www.portlandoregon.gov/citycode/28197>.

Request interpretation or an accommodation online at <https://www.portland.gov/311/ada-request> or call **503-823-4000. Please make your request at least 5 days before the hearing.**