



City of Portland, Oregon - Portland Permitting & Development

1900 SW Fourth Avenue · Portland, Oregon 97201 | 503-823-7300 | www.portland.gov/ppd

RECORDER

Please stamp the County Recorder's copy of the recording sheet and return with the attached decision to City of Portland, PP&D 299/5000/PP&D LUR

Multnomah County Official Records	2025-008831
E. Murray, Deputy Clerk	02/18/2025 01:16:04 PM
LUA-LUA Pgs=6 Stn=56 ATKW	\$101.00
\$30.00 \$11.00 \$60.00	

Date: February 6, 2025

To: Interested Person

From: Benjamin Nielsen, Land Use Services
503-865-6519 / Benjamin.Nielsen@portlandoregon.gov

NOTICE OF A TYPE I DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

Portland Permitting & Development has approved a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision are included in the version located on the PP&D website <https://www.portland.gov/ppd/zoning-land-use/news/notices>. Enter the land use case file number in the keyword search. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 24-107316 HR NEW BACKYARD DECK & PATIO

GENERAL INFORMATION

Applicant/

Representative: Rose Brady Keane, Rose Brady Keane Landscape Architecture
2222 NE Oregon St., Ste 209, Portland, OR 97232
rose@rbkla.com, 503-936-6865

Owners: Clifford Davidson & Norman Sfeir
1939 SE Larch Ave, Portland, OR 97214

Site Address: 1939 SE LARCH AVE

Legal Description: BLOCK 11 S 29' OF LOT 15 N 14' OF LOT 18, LADDS ADD
Tax Account No.: R463302420
State ID No.: 1S1E02CA 07400
Quarter Section: 3231

Neighborhood: Hosford-Abernethy, contact Michael Wade at
wade.michael@comcast.net
Business District: NONE
District Coalition: District 3, contact at matchu@seuplift.org

Plan District: NONE
Other Designations: Contributing Resource in the Ladd's Addition Historic District
Zoning: R5 – Residential 5,000 with Historic Resource Overlay

Case Type: HR – Historic Resource Review
Procedure: Type I – an administrative decision with appeal to the Oregon Land Use Board of Appeals (LUBA).

Proposal:

The applicant requests Historic Resource Review for proposed exterior alterations to a Contributing Resource in the Ladd's Addition Historic District. Proposed exterior alterations include a new deck and stair on the rear side of the existing house and new patio that will extend between the proposed deck and the existing garage.

Other alterations are proposed that are exempt from Historic Resource Review. These include new vegetative landscaping and garden beds in the backyard (exempt per PZC 33.445.200.D.2.g) and a possible new above-ground spa (exempt per PZC 33.445.200.D.2.x).

Historic Resource Review is required for non-exempt exterior alterations to existing development in the Ladd's Addition Historic District.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria specified in the Portland Zoning Code. The relevant approval criteria are:

- Ladd's Addition Conservation District Guidelines

CONCLUSIONS

The purpose of the Historic Resource Review process is to ensure that additions, new construction, and exterior alterations to historic resources do not compromise their ability to convey historic significance. This proposal meets the applicable Historic Resource Review criteria and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of proposed exterior alterations to a Contributing Resource in the Ladd's Addition Historic District, including a new deck and stair on the rear side of the existing house and new patio that will extend between the proposed deck and the existing garage, per the approved site plans, Exhibits C.1 through C.3, signed and dated 02/03/2025, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B through C) must be noted on each of the four required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE- Case File LU 24-107316 HR." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."

- B. At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portland.gov/ppd/documents/design-and-historic-resource-review-approvals-certificate-compliance>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.
- C. No field changes allowed.

Staff Planner: Benjamin Nielsen

Decision rendered by:  **on February 3, 2025.**
By authority of the Director of Portland Permitting & Development

Decision mailed: February 6, 2025.

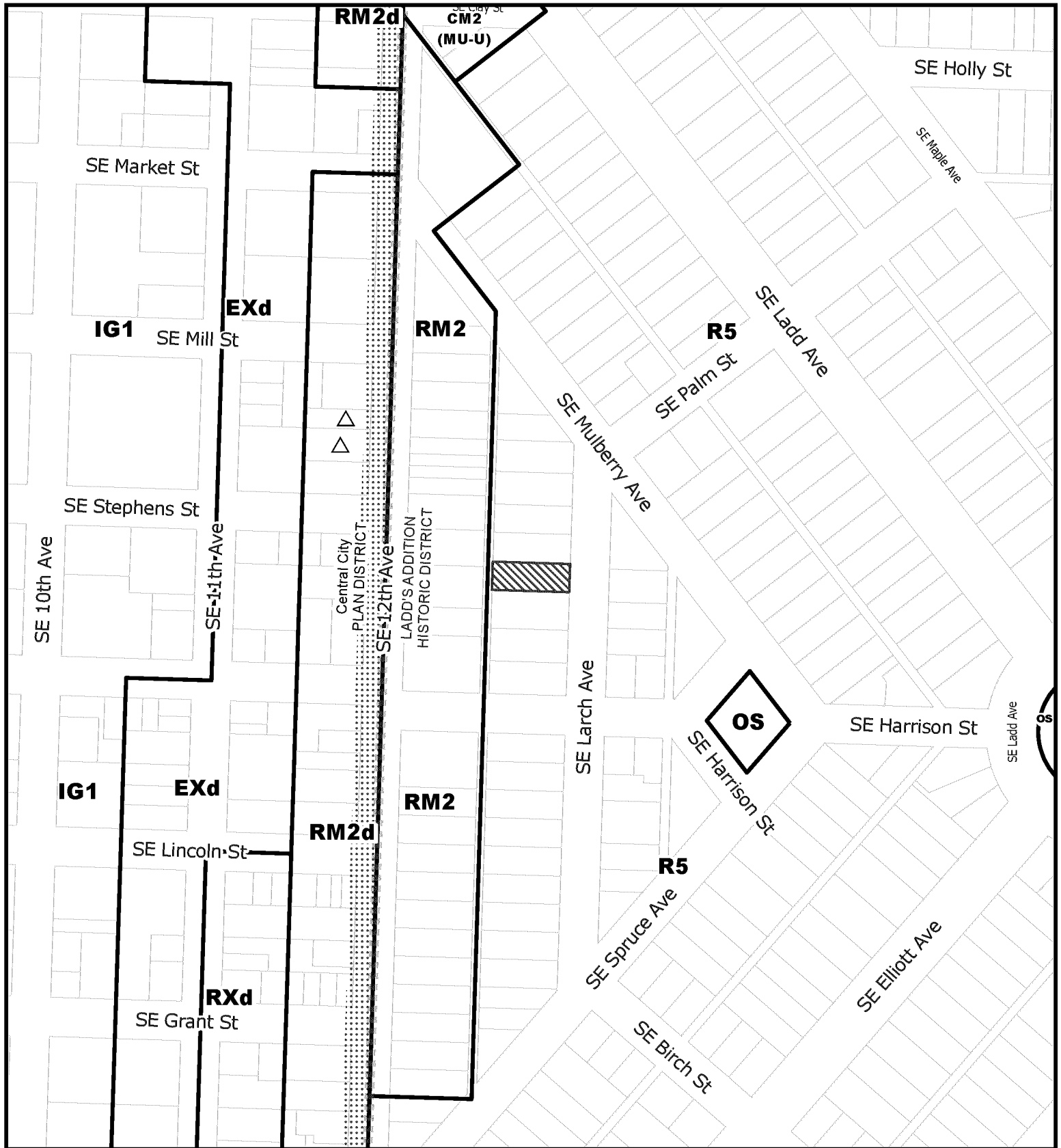
Effective Date (if no appeal): February 7, 2025 Decision may be recorded on this date
Kimberly Tallant, Principal Planner

City of Portland Date: February 7, 2025
Portland Permitting & Development

1900 SW Fourth Ave, #5000
Portland, OR 97201






Representative



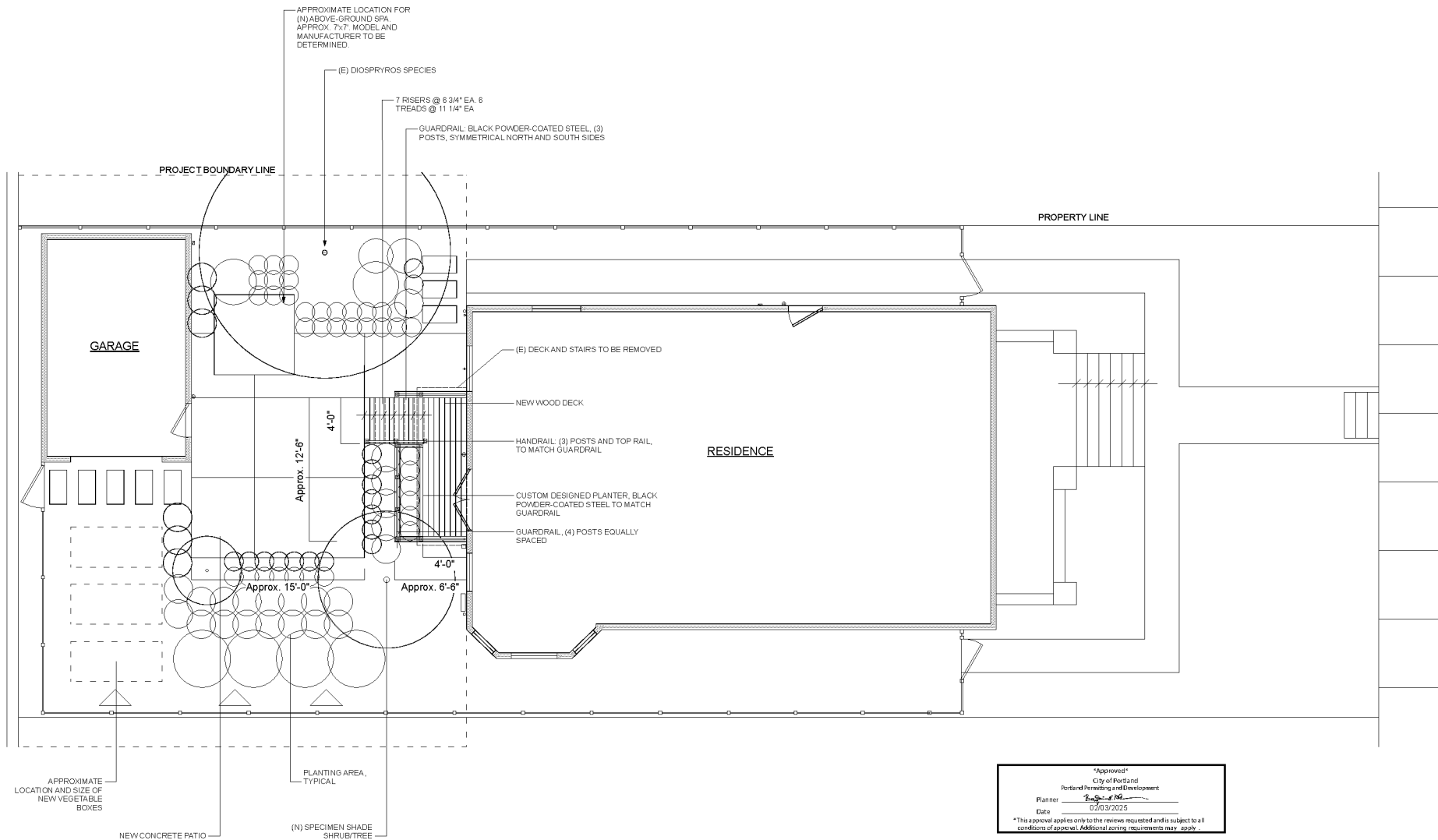
For Zoning Code in Effect Post October 1, 2024

ZONING

THIS SITE LIES WITHIN THE:
LADD'S ADDITION HISTORIC DISTRICT

-  Site
-  Plan District
-  Historic Landmark

File No.	<u>LU 24 - 107316 HR</u>
1/4 Section	<u>3231</u>
Scale	<u>1 inch = 200 feet</u>
State ID	<u>1S1E02CA 7400</u>
Exhibit	<u>B</u> <u>Dec 24, 2024</u>



"Approved"
 City of Portland
 Portland Permitting and Development
 Planner [Signature]
 Date 02/03/2025
 *This approval applies only to the review requested and is subject to all conditions of approval. Additional zoning requirements may apply.

REGISTERED
 650
 00000000000000000000
 LANDSCAPE ARCHITECT

rbkla
 Rose Brady Keane Landscape Architecture
 2222 NE Oregon Street Suite 209 Portland, OR 97232
 (503) 936-6865 rose@rbkla.com

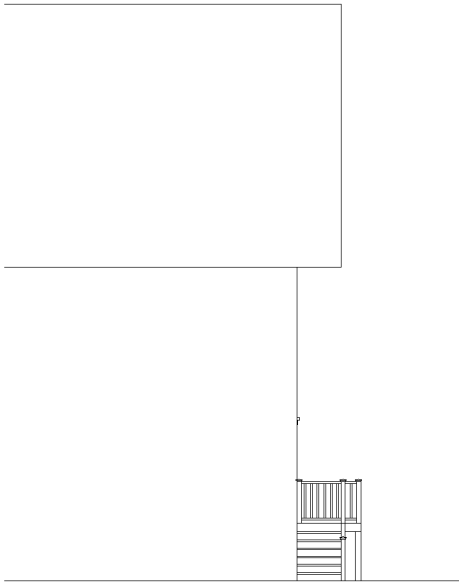
1939 SE LARCH AVENUE
 PORTLAND, OR 97214

SITE
 PLAN-PROPOSED
 HISTORIC
 RESOURCE REVIEW

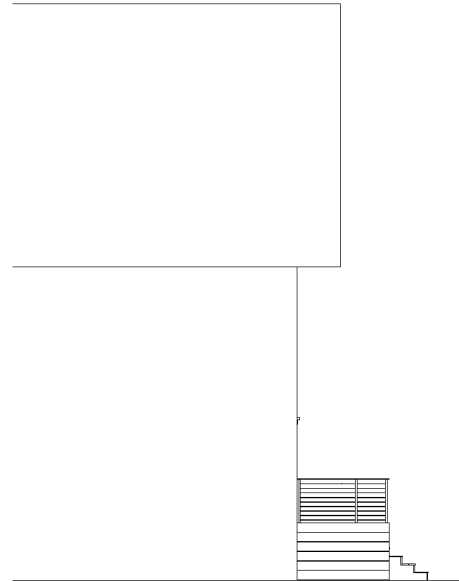


DATE 12/18/24
 SCALE 1/4"=1'-0"
 DRAWN RK
 JOB 2408
 SHEET

L-2
 OF 03 SHEETS



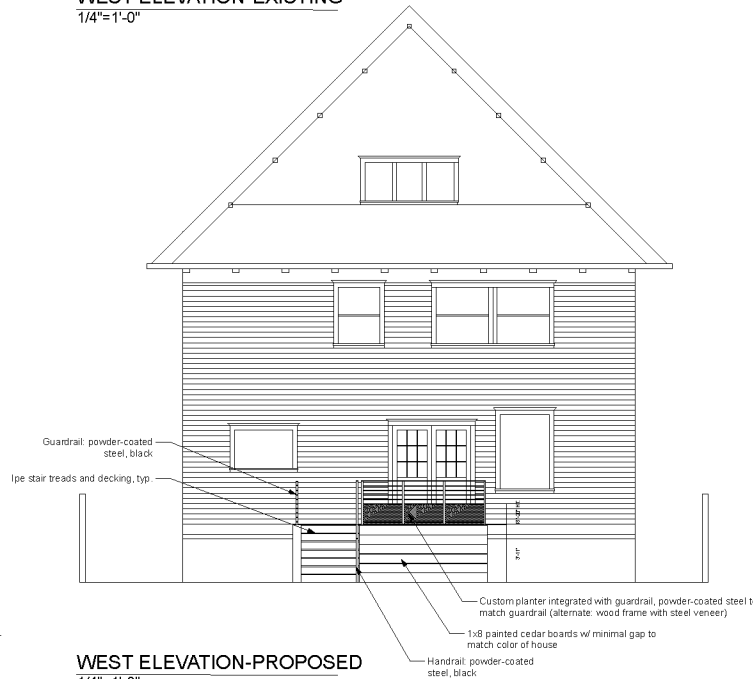
NORTH ELEVATION-EXISTING
1/4"=1'-0"



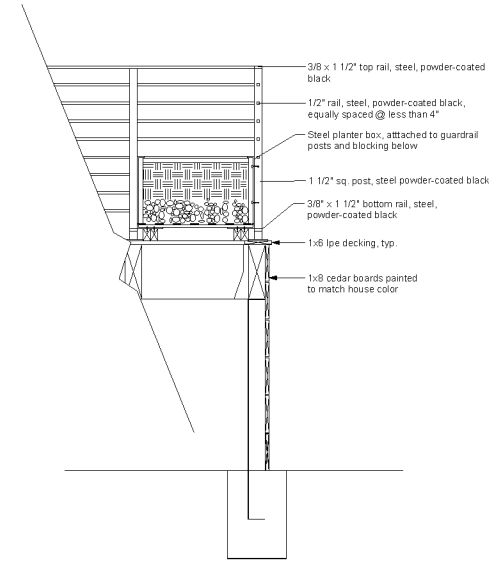
NORTH ELEVATION-PROPOSED
1/4"=1'-0"



WEST ELEVATION-EXISTING
1/4"=1'-0"



WEST ELEVATION-PROPOSED
1/4"=1'-0"



SECTION-GUARDRAIL AND PLANTER
1"=1'-0"



NOTES

- GUARDRAIL POSTS WILL HAVE A MAXIMUM OF 4'-0" SPACING
- GUARDRAIL RAILS WILL BE SPACED LESS THAN 4"
- HANDRAIL HEIGHT WILL BE A MINIMUM OF 3'-0"
- HANDRAIL HEIGHT WILL BE BETWEEN 2'-10" AND 3'-0"
- STRUCTURAL SPECIFICATIONS FOR DECK AND GUARDRAIL WILL BE PROVIDED BY A STRUCTURAL ENGINEER



rbkla
Reese Brady Keane Landscape Architecture
2222 NE Oregon Street Suite 209 Portland, OR 97232
(503) 936-6653 rbkla@rbkla.com

**1939 SE LARCH AVENUE
PORTLAND, OR 97214**

**ELEVATIONS AND
SECTION
HISTORIC
RESOURCE REVIEW**

DATE 12/18/24
SCALE 1/4"=1'-0"
DRAWN RK
JOB 2408
SHEET

L-3
OF 03 SHEETS



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Historic Resource Review is required for non-exempt exterior alterations to existing development in the Ladd's Addition Historic District.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria specified in the Portland Zoning Code. The relevant approval criteria are:

- Ladd's Addition Conservation District Guidelines

ANALYSIS

Site and Vicinity: The subject site contains two primary contributing resources in the Ladd's Addition Historic District. The primary house, which is a two-and-one-half story rectangular building, has a pedimented, steeply-pitched gable roof with deep projecting eaves, exposed purlins, and ornamental rafters. The flat-roofed, full-width porch has ornamental rafters beneath deep, projecting eaves and truncated boxed columns on the enclosed balustrade. Windows are typically one-over-one double-hung wood sashes; the front first story elevation has a large transomed fixed wood sash window; there is a square bay window with a hipped roof on the northerly elevation. The nomination for the Ladd's Addition Historic District notes that this house has asbestos shingle siding, but visual inspection reveals the siding to be horizontal lap wood siding. It has a typical mid-block setback, with mature shrubs and trees in the front yard.

The one-car garage, located on the alley, has a flat roof with beveled siding and cornerboards, and original paneled and glazed folding doors; it is identical to the garage belonging to the house to the south. It contributes in scale, mass and details to the spatial order of the block's alley.

Zoning: The Residential 5,000 (R5) single-dwelling zone is intended to preserve land for housing and to provide housing opportunities for individual households. The zones implement the comprehensive plan policies and designations for single-dwelling housing and provide options for infill housing that is compatible with the scale of the single-dwelling neighborhood. Generally, minimum lot size is 3,000 square feet with minimum width and depth dimensions of 36 and 50 feet, respectively, and a maximum density of 1 lot per 5,000 square feet of site area. For attached houses, minimum lot size is 1,500 square feet with minimum width and depth dimensions of 15 and 50 feet, respectively, and a maximum density of 1 lot per 1,500 square feet of site area.

The Historic Resource Overlay zone protects historic resources that have been identified as significant to the history of the city and region. The regulations implement Portland's Comprehensive Plan policies that address historic preservation. These policies recognize the role historic resources have in promoting education and enjoyment for those living in and visiting the region. The regulations foster awareness, memory, and pride among the region's current and future residents in their city and its diverse architecture, culture, and history. Historic preservation recognizes social and cultural history, retains significant architecture, promotes economic and environmental health, and stewards important resources for the use, education, and enjoyment of future generations.

Ladd's Addition is Portland's oldest planned residential community (1891) and one of the oldest in the western United States. Ladd's radial street plan marked a dramatic break in Portland's typical grid street pattern. With a formal symmetry echoing Renaissance cities and gardens, the radial streets converge at five formal gardens, which are the showpieces of the community. Parking strips are lines with mature street trees, green archways of elms and maples. The architectural character of Ladd's Addition was established in the three decades following the turn of the century. Although the individual structures represent a variety of styles, including Bungalow, Mission, Tudor and Colonial Revival, they have a continuity of materials, scale, detailing, orientation and setback which creates a sense of architectural uniformity.

Land Use History: City records indicate that prior land use reviews include the following:

- LUR 95-00051 DZ: Design Review approval to rebuild a one-car garage with access from the alley in the same manner as the original garage.

Agency Review: A Notice of Proposal in your Neighborhood was mailed on January 13, 2025. The following Bureaus have responded with no issues or concerns about the proposal:

- Site Development Review Section of PP&D
- Fire Bureau

The Transportation Review Section of PP&D responded with no objections. Please see Exhibit E.1 for additional details.

The Water Bureau responded no objections and with information about available water service and permitting requirements. Please see Exhibit E.2 for additional details.

The Life Safety Review Section of PP&D responded with no objections and with general life safety comments. Please see Exhibit E.3 for additional details.

The Urban Forestry Division of Portland Parks & Recreation responded with no objections to the proposal. Please see Exhibit E.4 for additional details.

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on January 13, 2025. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

Chapter 33.846.060 - Historic Resource Review

Purpose of Historic Resource Review

Historic Resource Review ensures the conservation and enhancement of the special characteristics of historic resources.

Historic Resource Review Approval Criteria

Requests for Historic Resource Review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

Findings: The site is located within the Ladd's Addition Historic District and the proposal is for a non-exempt treatment not requiring a new foundation. Therefore Historic Resource Review approval is required. The approval criteria are the *Ladd's Addition Conservation District Design Guidelines – Exterior Rehabilitation*.

Staff has considered all guidelines and addressed only those applicable to this proposal.

Ladd's Addition Conservation District Guidelines – Exterior Rehabilitation

1. Façades Oriented to a Street. In rehabilitating existing buildings, the architectural integrity of street-oriented façades should be maintained. Additions and structural alterations should be limited to the rear and side yard façades and be minimally visible from the street.

Findings: Proposed alterations are limited to the rear façade and backyard of the site and will be minimally visible, if at all, from the street.

Therefore, this guideline is met.

2. Foundations. Changes to the foundation should match or be compatible with the original foundation in height and materials.

Findings: No changes to the foundation are proposed.

Therefore, this guideline does not apply.

3. Exterior Siding Material. Restoration and maintenance of original siding materials is encouraged. Materials used on additions should match or be compatible with the predominant materials used on the original structure. Most single family residences and duplexes in Ladd's Addition feature stucco, horizontal wood siding, wood shingles, brick or a combination of these materials. Most commercial and multi-family structures feature stucco or brick. The following materials are discouraged: plywood, used brick, shakes, exposed concrete block and metal.

Findings: The resource's existing exterior siding is not changing. New horizontal, painted cedar siding is proposed to enclose the underside of the new deck, which is compatible with the siding on the existing historic house.

Therefore, this guideline is met.

4. Roof Form. Repair and alteration of roofs should retain:

- a. The original roof shape and pitch;
- b. Original structural and decorative features such as gables , dormers, chimneys, cornices, parapets, pediments, frieze boards , exposed rafters and other ornamental details; and,
- c. Whenever possible the original type, size, color, and pattern of roofing materials. New roof features including roof additions and new dormers should be compatible in size, scale, materials, and color with the original building. Skylights, solar, mechanical and service equipment, and new roof features should be inconspicuous from the street.

Findings: No changes to the roof are proposed.

Therefore, this guideline does not apply.

5. Front Façade Detailing. Original entrances to buildings, front porches and projecting features, such as balconies, bays, and dormer windows should be retained or restored.

Findings: No changes to the front façade are proposed.

Therefore, this guideline does not apply.

6. Windows and Doors. Original windows and doors, including trim, should be retained or restored. If repair is not feasible, new windows or windows on additions should match or be compatible with original windows in form, materials, type, pattern and placement of

openings. On residences, the removal of original wood sash windows and replacement with aluminum sash is especially discouraged. Restoration of commercial storefront windows with large fixed glass panes below and smaller glass panes above is especially encouraged.

Findings: No changes are proposed to the historic resource's doors or windows.

Therefore, this guideline does not apply.

7. Awnings. On commercial structures, retractable fabric awnings, which are architecturally compatible with the historic integrity of the structure are encouraged. Awnings should fit within window bays. Existing traditional awnings should be rehabilitated.

Findings: No awnings are proposed, and the building is not a commercial structure.

Therefore, this guideline does not apply.

8. Color. Restoration of original colors, or colors appropriate to the style and era of the building, is encouraged.

Findings: No changes to original colors are proposed.

Therefore, this guideline does not apply.

9. Signs. Whenever possible retention or restoration of original pre-1940 signs is encouraged. For commercial buildings, wall signs, window signs, canopy, and projecting signs attached to the building are encouraged; freestanding signs are discouraged. Sign materials and design and letters appropriate to pre-1940 buildings, such as painted wood and neon are encouraged. Plastic sign faces are discouraged. Signs should not be the dominant feature of a building or site.

Findings: No signs are proposed.

Therefore, this guideline does not apply.

10. Front Lawn. On sites of non-commercial structures, retention of front lawns, mature trees, and older shrubs and perennials are encouraged. Plants popular in the 1910's and 1920's are encouraged. The predominant use of ground covers, such as bark mulch and broadleaf evergreens, is discouraged. Original grades should be retained; berms and excavations are discouraged

Findings: No changes to the front lawn are proposed.

Therefore, this guideline does not apply.

11. Fences and Retaining Walls. Front and side yards, which abut a street should be visually open to the street. Hedges, retaining walls and fences, which visually obscure front yards are discouraged. Fences should be kept behind building lines, as viewed from the street.

Findings: No new retaining walls are proposed. No changes to existing fences are proposed.

Therefore, this guideline does not apply.

12. Parking. Required on-site parking should be located in the rear yard and within original garages, if possible. Original garages should be maintained for vehicle storage and parking and not converted to other uses. Parking areas, providing space for three or more cars, should be screened from adjacent properties; hedges and canopy trees are

recommended for screening. Parking areas and driveways should not be placed in the front yard.

Findings: No changes to on-site parking areas are proposed.

Therefore, this guideline does not apply.

13. Crime Prevention. Crime prevention elements should be included in the design with specific attention to landscaping, parking areas, walkways, lighting, entries, and visibility. Windows and entries should not be obscured. Parking areas, walkways, and entries should be adequately illuminated for visibility.

Findings: Proposed alterations to the rear yard of the subject site retain a pedestrian connection to the alley and a line of site from the house to the alley, which will help with crime prevention in this area.

Therefore, this guideline is met.

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The purpose of the Historic Resource Review process is to ensure that additions, new construction, and exterior alterations to historic resources do not compromise their ability to convey historic significance. This proposal meets the applicable Historic Resource Review criteria and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of proposed exterior alterations to a Contributing Resource in the Ladd's Addition Historic District, including a new deck and stair on the rear side of the existing house and new patio that will extend between the proposed deck and the existing garage, per the approved site plans, Exhibits C.1 through C.3, signed and dated 02/03/2025, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B through C) must be noted on each of the four required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE- Case File LU 24-107316 HR." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- B. At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portland.gov/ppd/documents/design-and-historic-resource-review-approvals-certificate-compliance>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.
- C. No field changes allowed.

Staff Planner: Benjamin Nielsen

Decision rendered by:  **on February 3, 2025.**
By authority of the Director of Portland Permitting & Development

Decision mailed: February 6, 2025.

Procedural Information. Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on December 24, 2024. The application was determined to be complete on 01/07/2025.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: May 7, 2025.**

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. Portland Permitting & Development has independently reviewed the information submitted by the applicant and has included this information only where Portland Permitting & Development has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of Portland Permitting & Development with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

This decision, and any conditions associated with it, is final. It may be appealed to the Oregon Land Use Board of Appeals (LUBA), within 21 days of the date the decision is mailed, as specified in the Oregon Revised Statute (ORS) 197.830. Among other things, ORS 197.830 requires that a petitioner at LUBA must have submitted written testimony during the comment period for this land use review. Contact LUBA at 775 Summer St NE Suite 330, Salem, OR 97301-1283 or phone 1-503-373-1265 for further information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Recording the final decision.

If this Land Use Review is approved the final decision will be recorded with the Multnomah County Recorder.

- *Unless appealed*, the final decision will be recorded after **February 6, 2025**, by Portland Permitting & Development.

The applicant, builder, or a representative does not need to record the final decision with the Multnomah County Recorder.

For further information on your recording documents please call Portland Permitting & Development Land Use Services Division at 503-823-0625.

Expiration of this approval. Generally, land use approvals (except Comprehensive Plan and Zoning Map Amendments) expire five years from the date of the final decision unless one of the actions below has occurred (see Zoning Code Section 33.730.130 for specific expiration rules):

- A City permit has been issued for the approved development, or
- The approved activity has begun (for situations not requiring a permit).

In situations involving only the creation of lots, the final plat must be submitted within three years.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code for the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

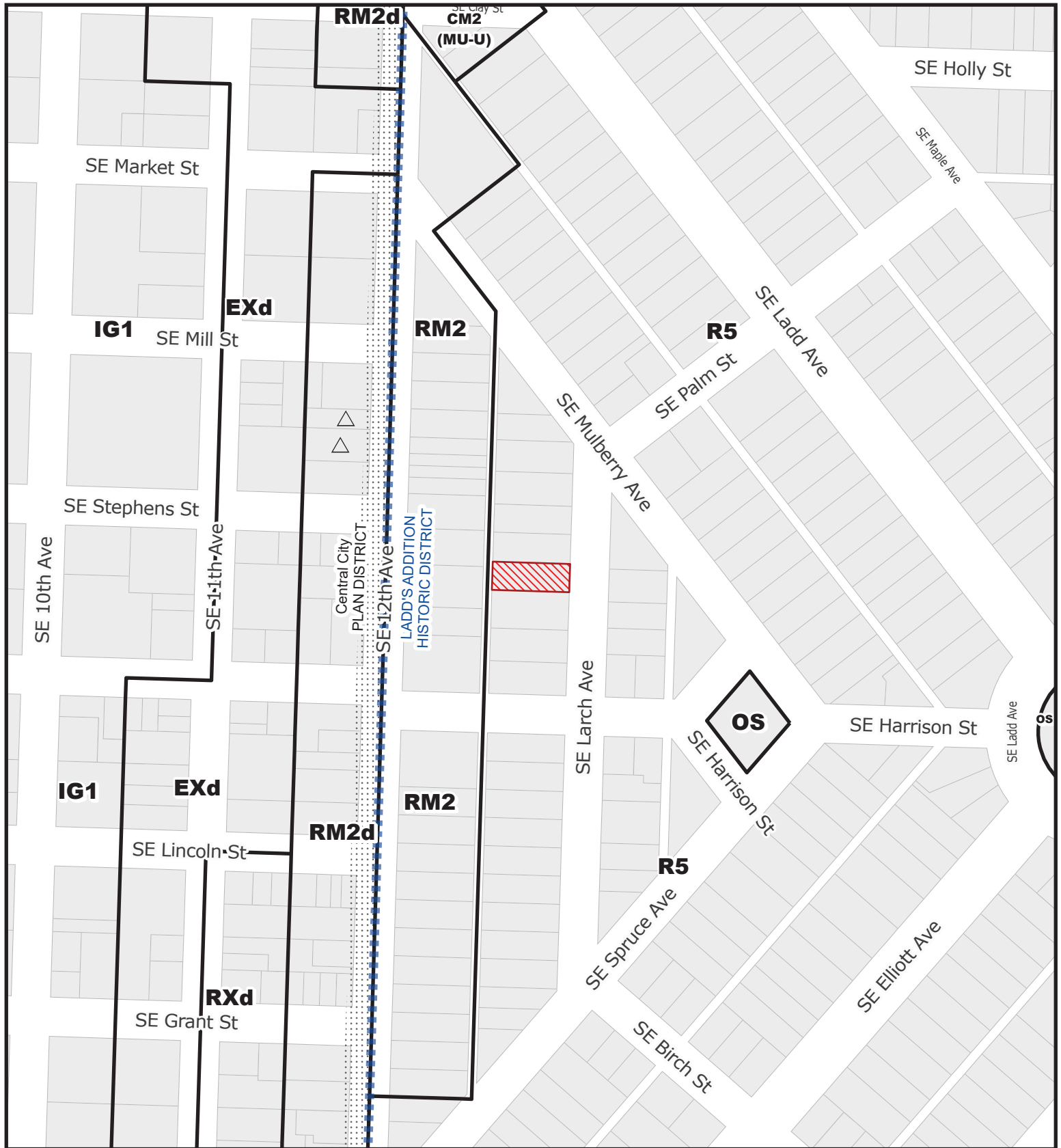
EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Submittals
 - 1. Drawing Set
 - 2. Narrative
 - 3. Existing Conditions Photos
 - 4. Precedents Photos
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan - Proposed (attached)
 - 2. Elevations and Section (attached)
 - 3. Site Plan – Existing Conditions
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Transportation Review Section of PP&D
 - 2. Water Bureau
 - 3. Life Safety Review Section of PP&D
 - 4. Urban Forestry Division of Portland Parks & Recreation
- F. Correspondence:

No correspondence was received.
- G. Other:
 - 1. Original LU Application
 - 2. Email Correspondence




Portland Permitting & Development is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



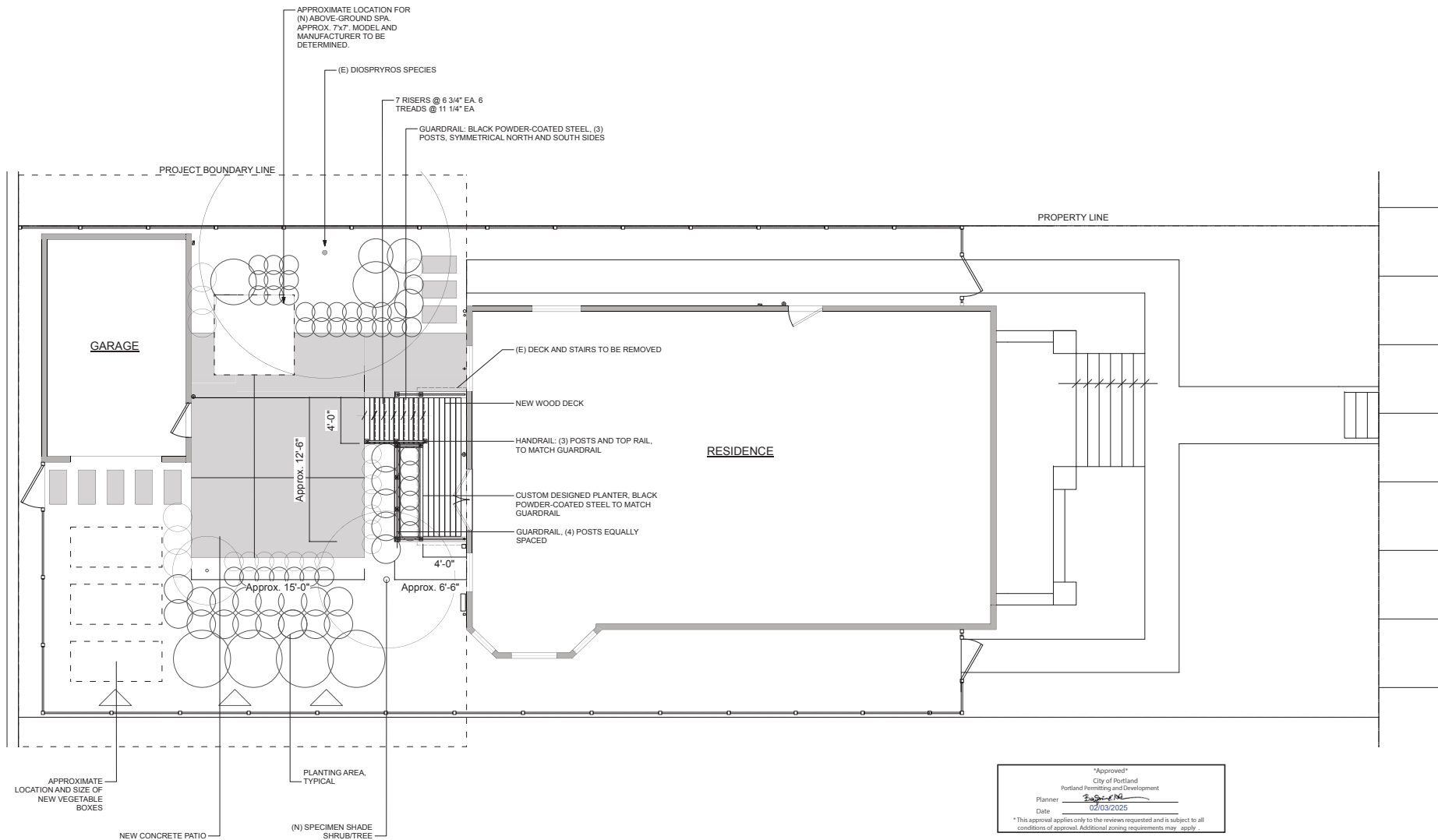
For Zoning Code in Effect Post October 1, 2024

ZONING

THIS SITE LIES WITHIN THE:
LADD'S ADDITION HISTORIC DISTRICT

-  Site
-  Plan District
-  Historic Landmark

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1/4 Section	3231
Scale	1 inch = 200 feet
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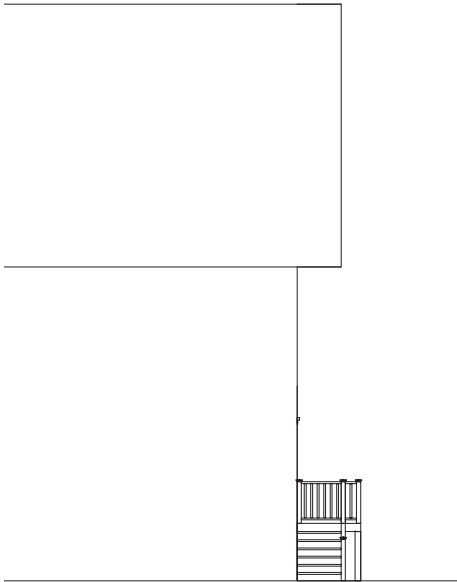
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SITE
PLAN-PROPOSED
HISTORIC
RESOURCE REVIEW

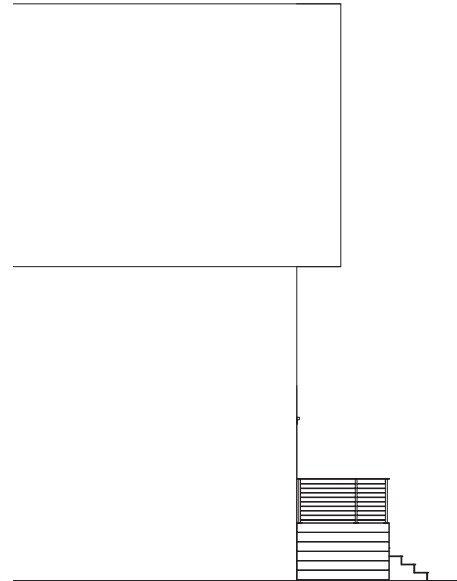


DATE 12/18/24
 SCALE 1/4"=1'-0"
 DRAWN **RK**
 JOB 2408
 SHEET

L-2
 OF 03 SHEETS



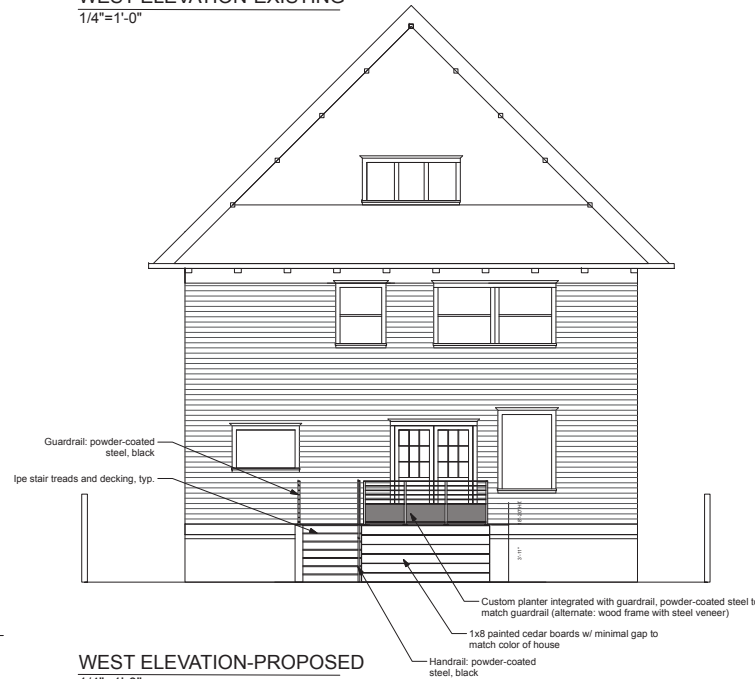
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1/4"=1'-0"



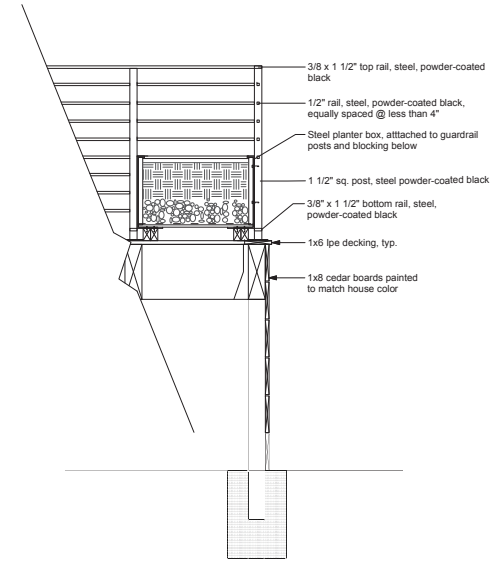
NORTH ELEVATION-PROPOSED
1/4"=1'-0"



WEST ELEVATION-EXISTING
1/4"=1'-0"



WEST ELEVATION-PROPOSED
1/4"=1'-0"



SECTION-GUARDRAIL AND PLANTER
1"=1'-0"



- NOTES**
- GUARDRAIL POSTS WILL HAVE A MAXIMUM OF 4'-0" SPACING
 - GUARDRAIL RAILS WILL BE SPACED LESS THAN 4"
 - GUARDRAIL HEIGHT WILL BE A MINIMUM OF 3'-0"
 - HANDRAIL HEIGHT WILL BE BETWEEN 2'-10" AND 3'-0"
 - STRUCTURAL SPECIFICATIONS FOR DECK AND GUARDRAIL WILL BE PROVIDED BY A STRUCTURAL ENGINEER



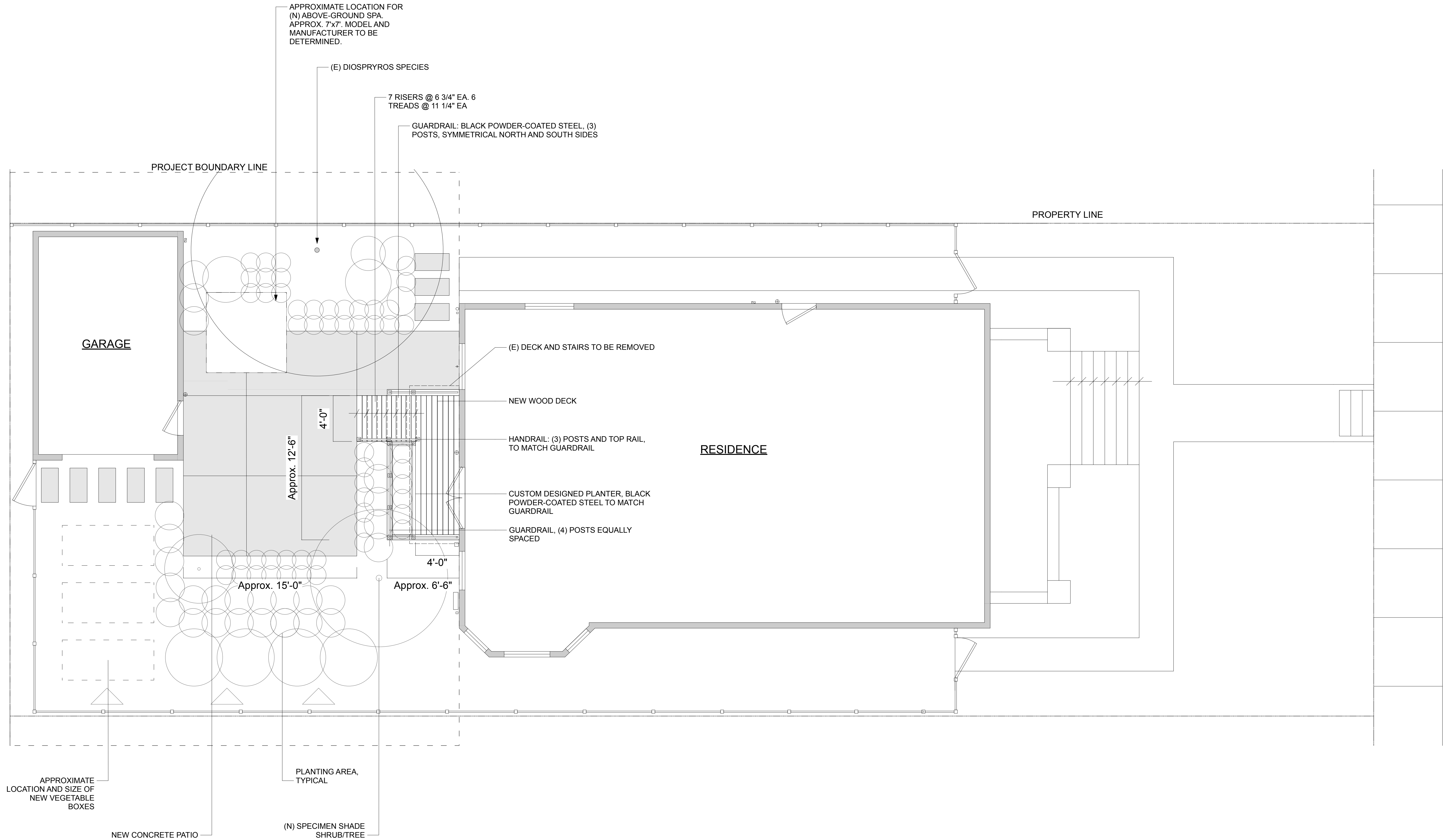
rbk|a
Rose Brady Kearns Landscape Architecture
2222 NE Oregon Street Suite 209 Portland, OR 97232
(503) 936-6865 rose@rbk|a.com

1939 SE LARCH AVENUE
PORTLAND, OR 97214

ELEVATIONS AND
SECTION
HISTORIC
RESOURCE REVIEW

DATE	12/18/24
SCALE	1/4"=1'-0"
DRAWN	RB
JOB	2408
SHEET	

L-3
OF 03 SHEETS

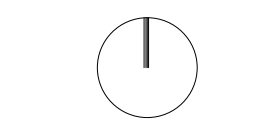


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(503) 936-6865 rose@rbkla.com

**1939 SE LARCH AVENUE
PORTLAND, OR 97214**

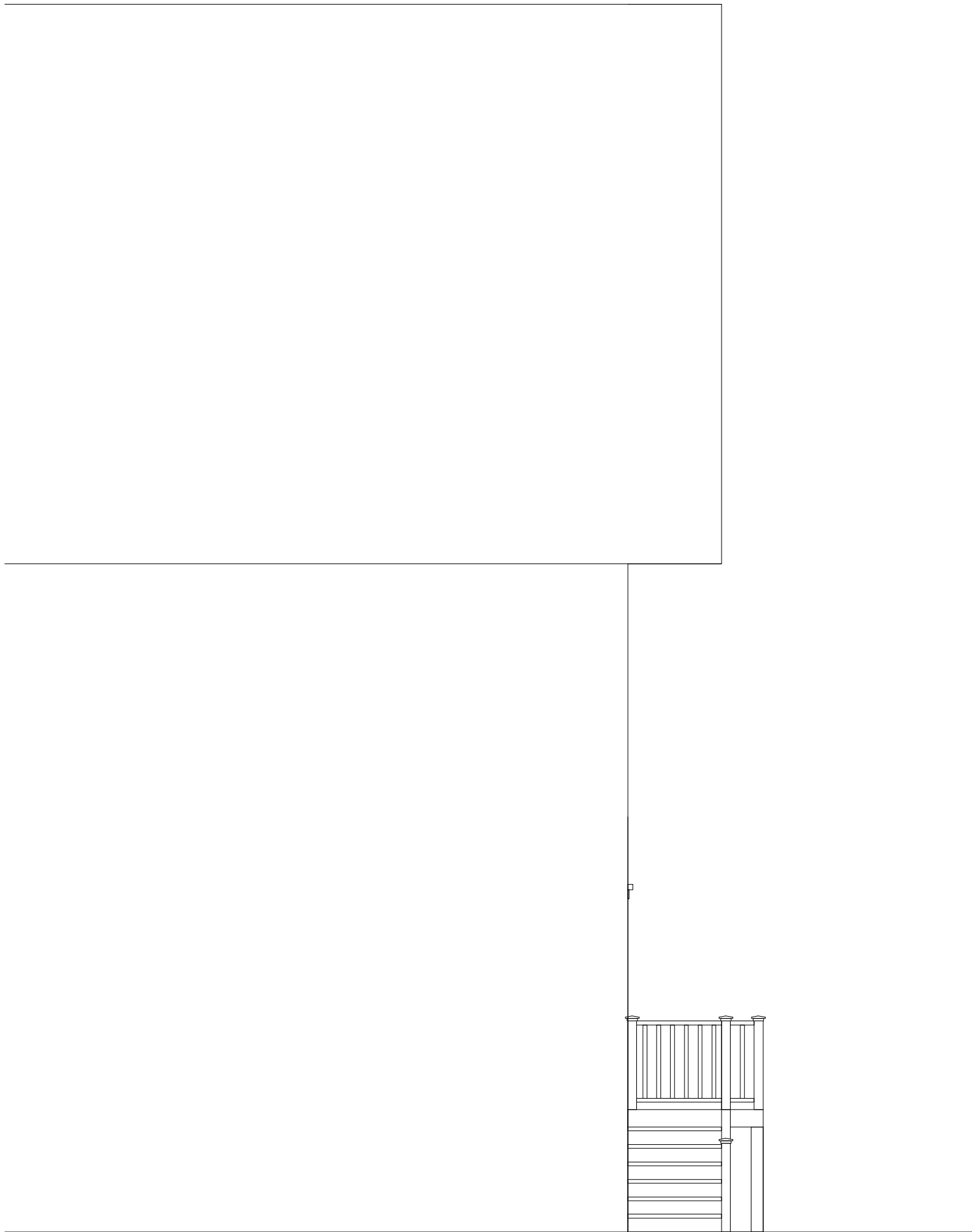
SITE
PLAN-PROPOSED

HISTORIC
RESOURCE REVIEW

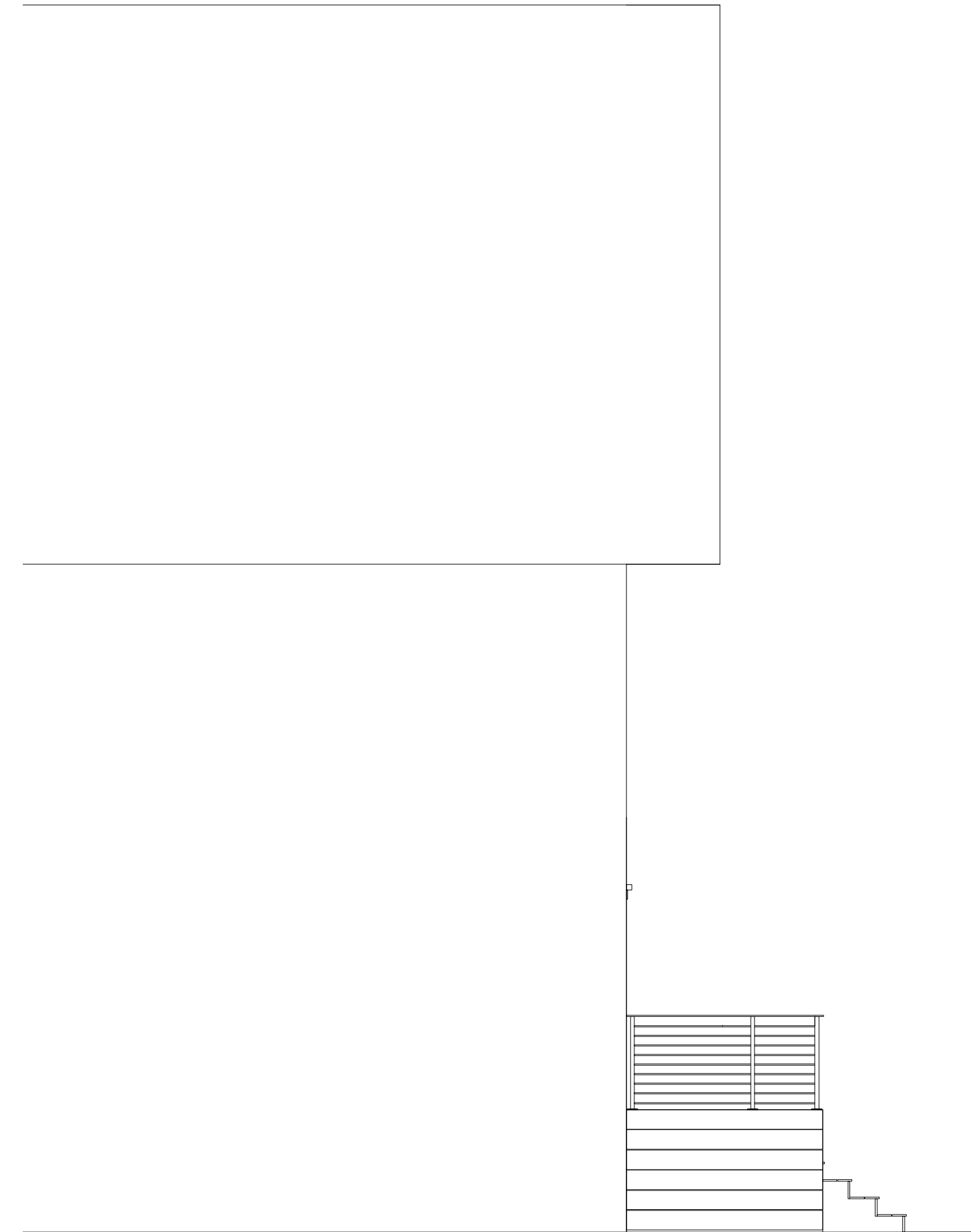


DATE	12/18/24
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DRAWN	RK
JOB	2408
SHEET	

L-2
OF 03 SHEETS



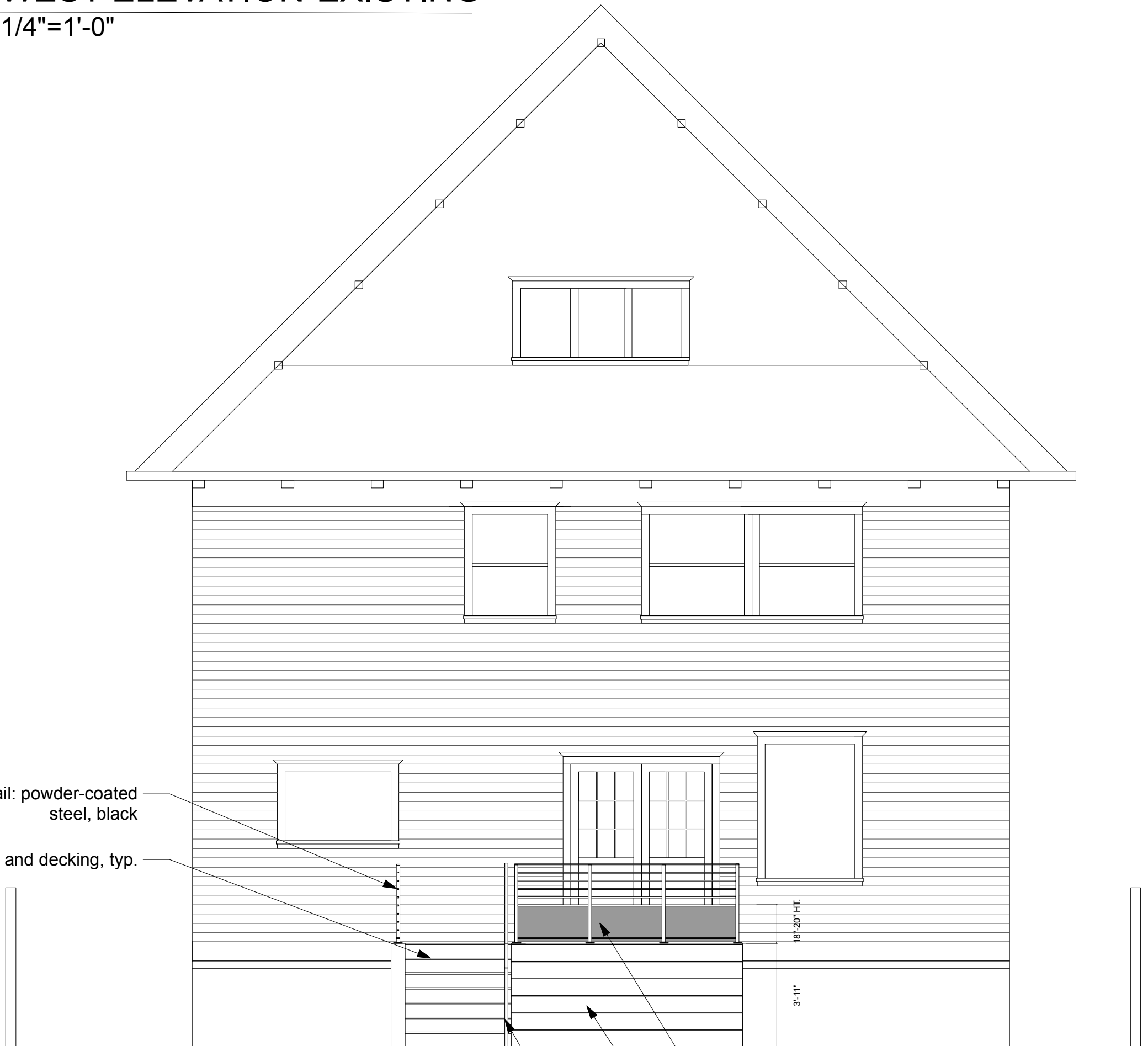
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1/4"=1'-0"



NORTH ELEVATION-PROPOSED
1/4"=1'-0"

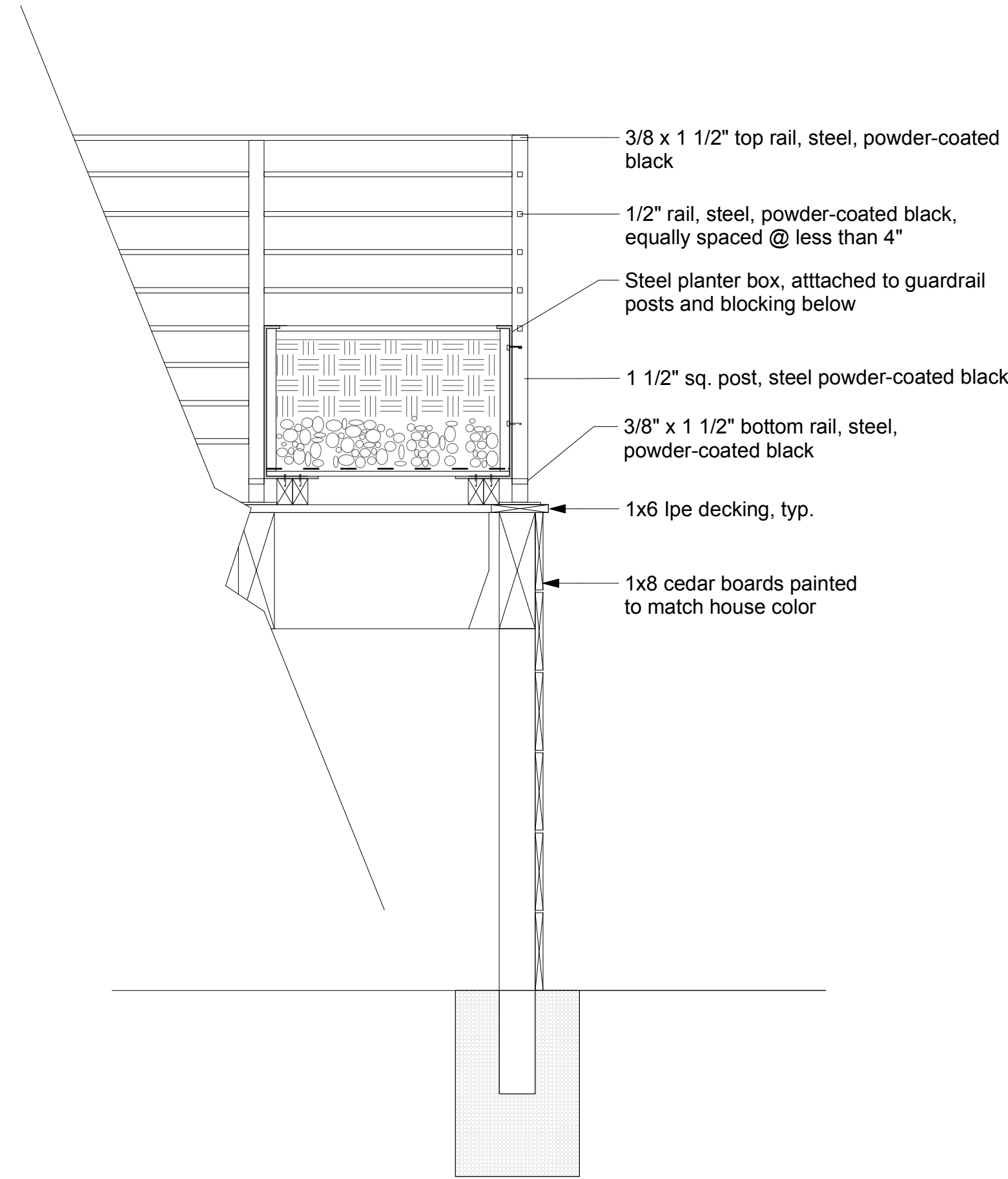


WEST ELEVATION-EXISTING
1/4"=1'-0"



WEST ELEVATION-PROPOSED
1/4"=1'-0"

- Guardrail: powder-coated steel, black
- Ipe stair treads and decking, typ.
- Custom planter integrated with guardrail, powder-coated steel to match guardrail (alternate: wood frame with steel veneer)
- 1x8 painted cedar boards w/ minimal gap to match color of house
- Handrail: powder-coated steel, black



SECTION-GUARDRAIL AND PLANTER
1"=1'-0"

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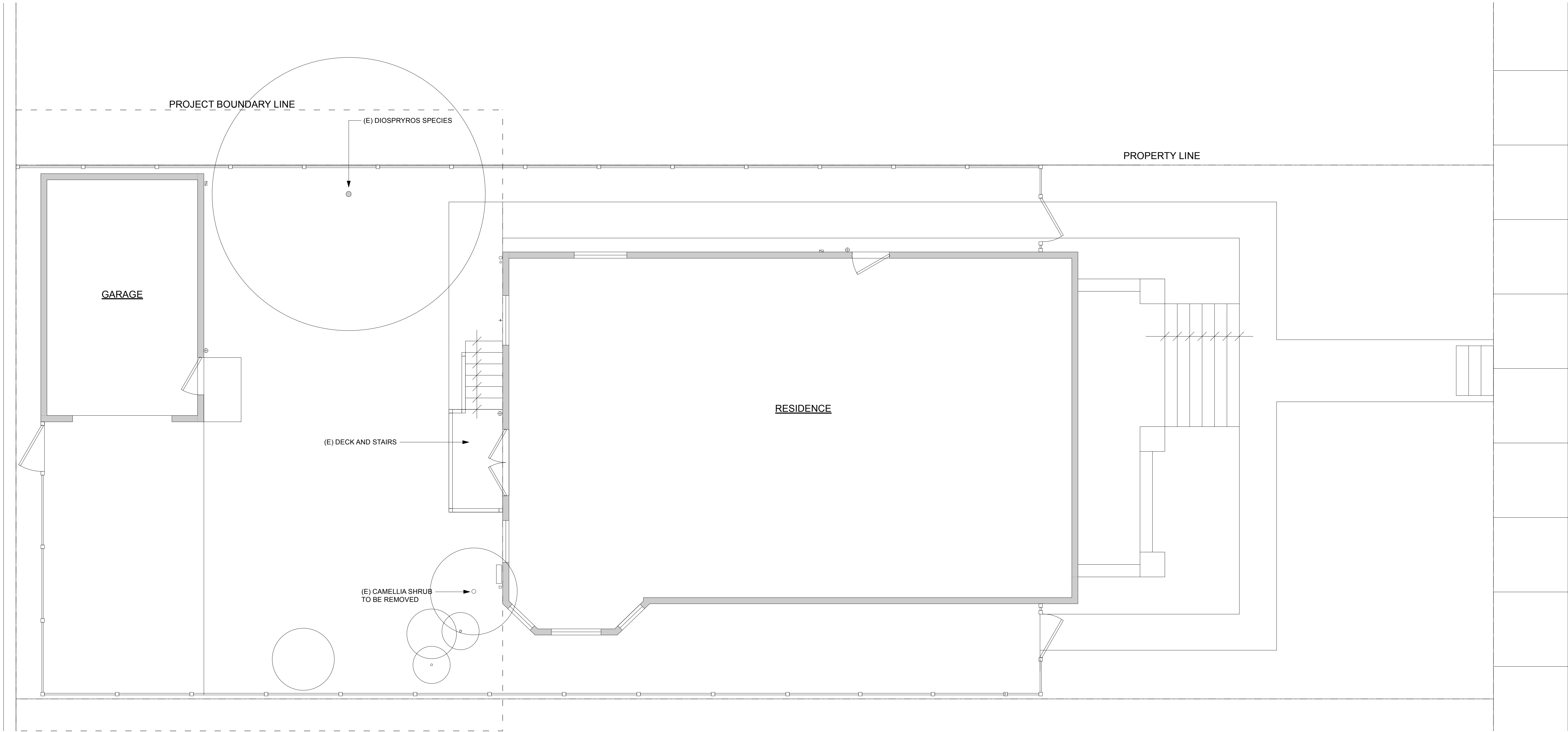
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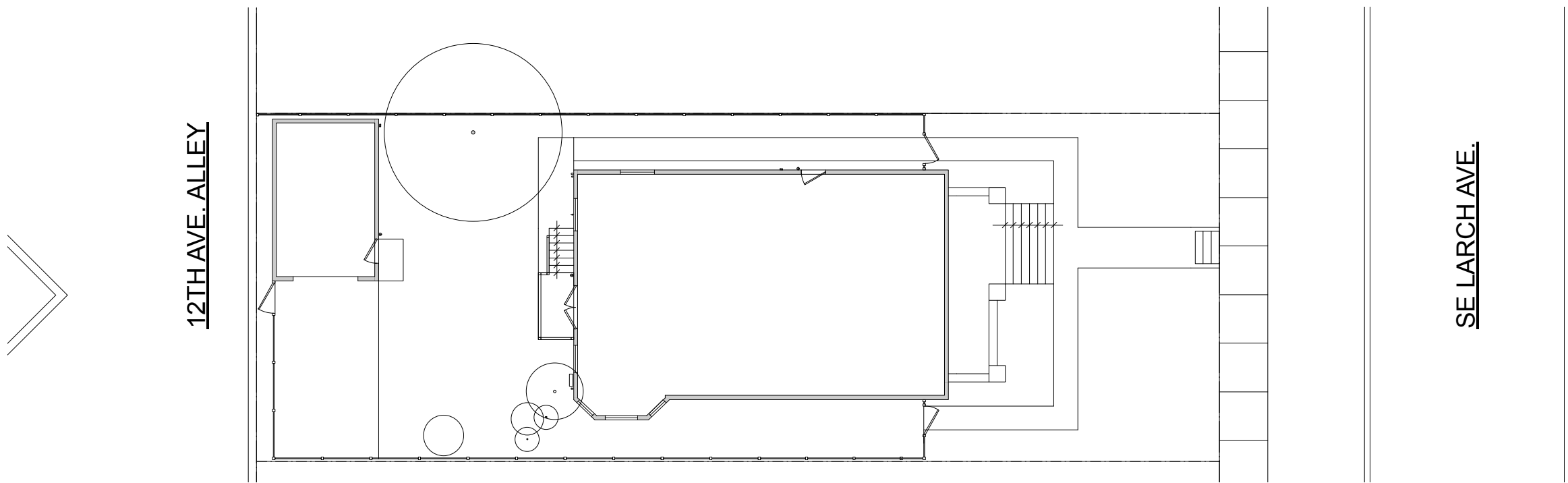
ELEVATIONS AND
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RESOURCE REVIEW

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SCALE 1/4"=1'-0"
DRAWN RK
JOB 2408
SHEET

L-3
OF 03 SHEETS



PLAN
SCALE: 1/4"=1'-0"



CONTEXT PLAN
SCALE: 1/16"=1'-0"



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1939 SE LARCH AVENUE
PORTLAND, OR 97214

SITE PLAN-EXISTING
CONDITIONS

HISTORIC
RESOURCE REVIEW

DATE	12/18/24
SCALE	VARIES
DRAWN	RK
JOB	2408
SHEET	

L-1
OF 03 SHEETS

12.18.24

City of Portland Bureau of Development Services
Historic Resources Review Submittal

Property address: 1939 SE Larch Avenue

Project Description

The project is a renovation of a back yard in the Ladd's Addition neighborhood in SE Portland-a designated historic district. The proposed project will replace an existing deck and add a paved area and new planting and may include an above-ground hot tub. The proposed deck will require a building permit as it will be more than 30" above grade and therefore first requires an historic resource review.

The back yard is sheltered from neighbors to the north and south due to its location relative to these houses, existing fencing and vegetation. The west side of the house abuts an alley. The existing porch and stairs need significant repair or replacement.

The intent of the design for the deck, stairs, guardrail and handrail is to create a clean and simple structure that complements the Craftsman style of the house but does not detract from it or change or block the view of the house. The Ladd's Addition Conservation District Guidelines have been reviewed and there are no specific sections relevant to this project.

The new deck has comparable square footage to the existing deck but provides more direct circulation into the back yard as well as space for a planter. The deck boards and stair treads will be a sealed hardwood such as lpe, and the sides of the deck will be 1x8 boards with a slight gap in between, painted to match the main house color. This is meant to provide a screen to the underside of the deck and to reference the horizontal siding of the house. The guardrail will be powder-coated steel with horizontal rails, black or a dark grey color. The horizontal rails also reference the horizontal wood siding. On the north side the guardrail extends to the fourth riser, meeting code requirements while minimizing the visual impact of the guardrail. A custom planter on the west side of the deck will be integrated with the guardrail in structure and appearance. This is intended to provide visual interest, practical use as well as referencing the solidity of the low wall on the front porch. A handrail on the south side of the stairs will also be powder-coated steel, matching the guardrail.

The black steel guardrail and handrail references the existing handrail on the front exterior stairs as well as similar black steel handrails and guardrails in the neighborhood (see attached photos) and traditional wrought iron rails typically found in craftsman construction. The deck, stairs, guardrail and handrail will comply with all building code and setback requirements.



West Elevation

12.18.24
Land Use Review Application/
Historic Resource Review
R200324



West Elevation from Alley



East Elevation

LU 24-107316 HR - Exhibit A.3



Existing porch and stairs



View of back yard and garage from north entrance

12.18.24
Land Use Review Application/Historic Resource Review
R200324

Wood deck with guardrail-black steel top rail, posts and horizontal rails



Guardrail-black steel top rail, posts and horizontal rails with integrated custom planters



12.18.24
Land Use Review Application/Historic Resource Review
R200324

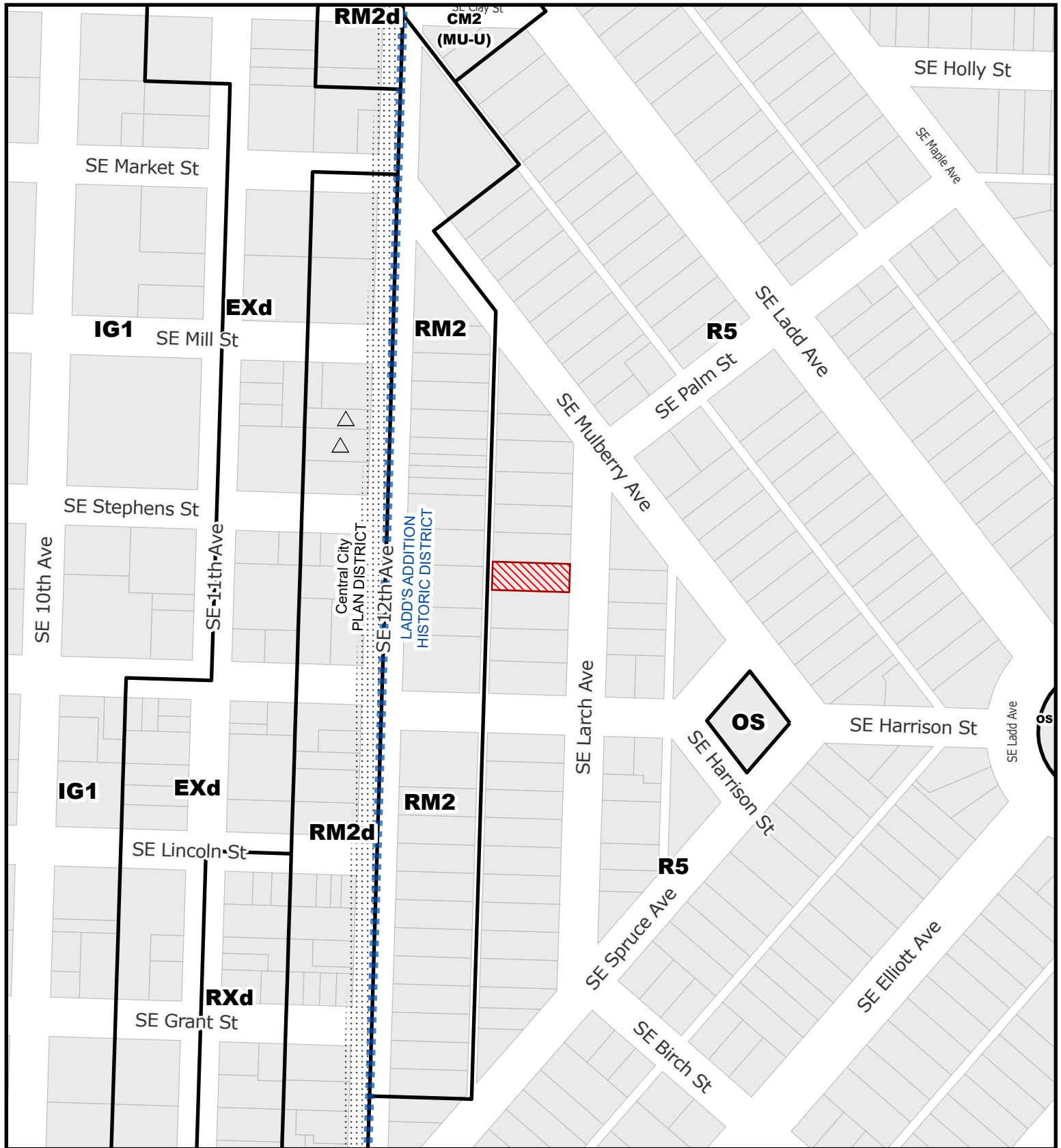
Examples of black steel guardrail and
handrails in Ladd's Addition
neighborhood



12.18.24
Land Use Review Application/Historic Resource Review
R200324






LU 24-107316 HR - Exhibit A.4



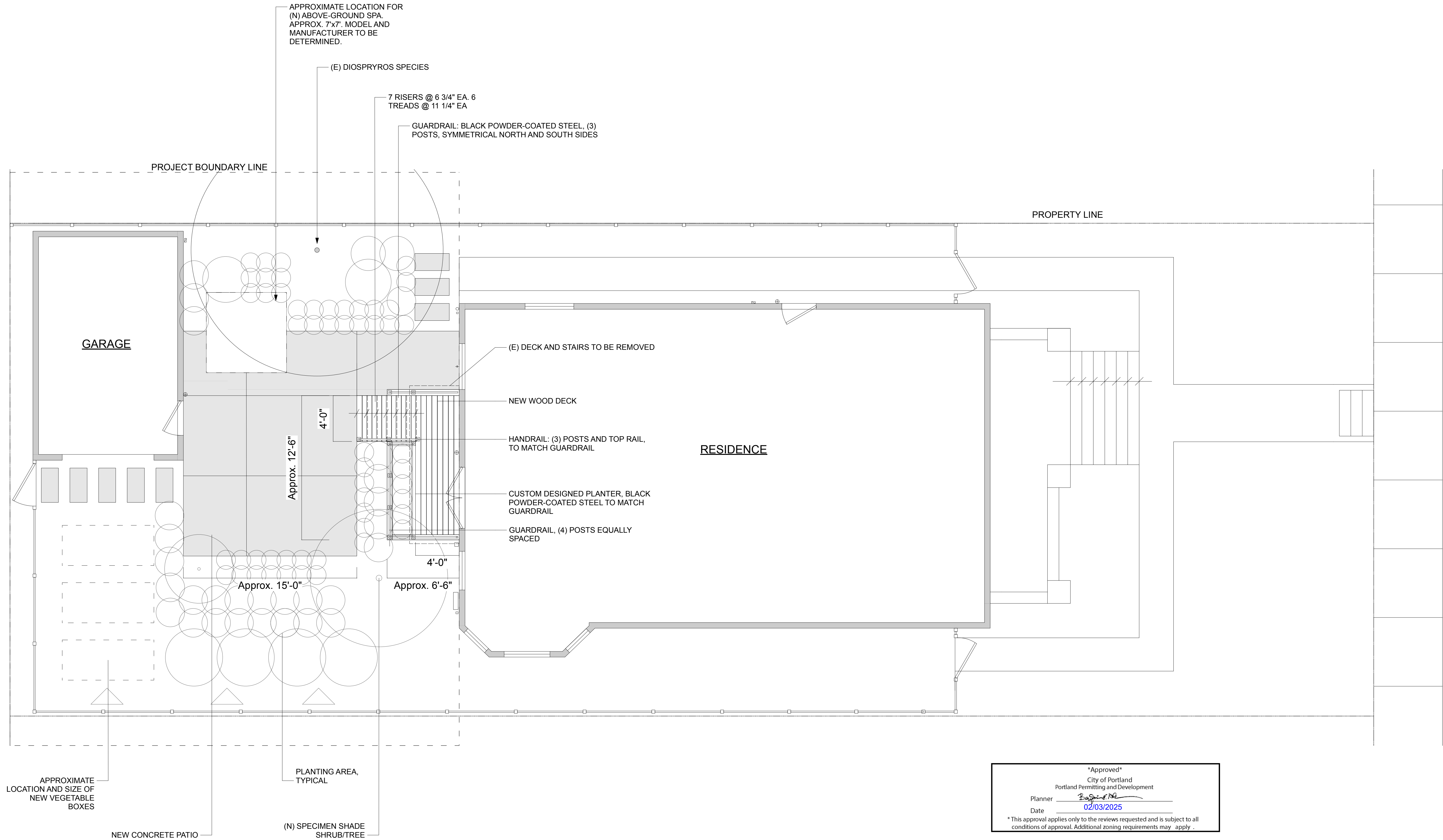
For Zoning Code in Effect Post October 1, 2024

ZONING

THIS SITE LIES WITHIN THE:
LADD'S ADDITION HISTORIC DISTRICT

-  Site
-  Plan District
-  Historic Landmark

File No.	<u>LU 24 - 107316 HR</u>
1/4 Section	<u>3231</u>
Scale	<u>1 inch = 200 feet</u>
State ID	<u>1S1E02CA 7400</u>
Exhibit	<u>B</u> <u>Dec 24, 2024</u>



Approved
City of Portland
Portland Permitting and Development
Planner *Rose Brady Keane*
Date 02/03/2025
* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply .

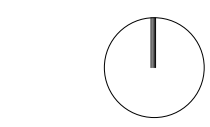


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**1939 SE LARCH AVENUE
PORTLAND, OR 97214**

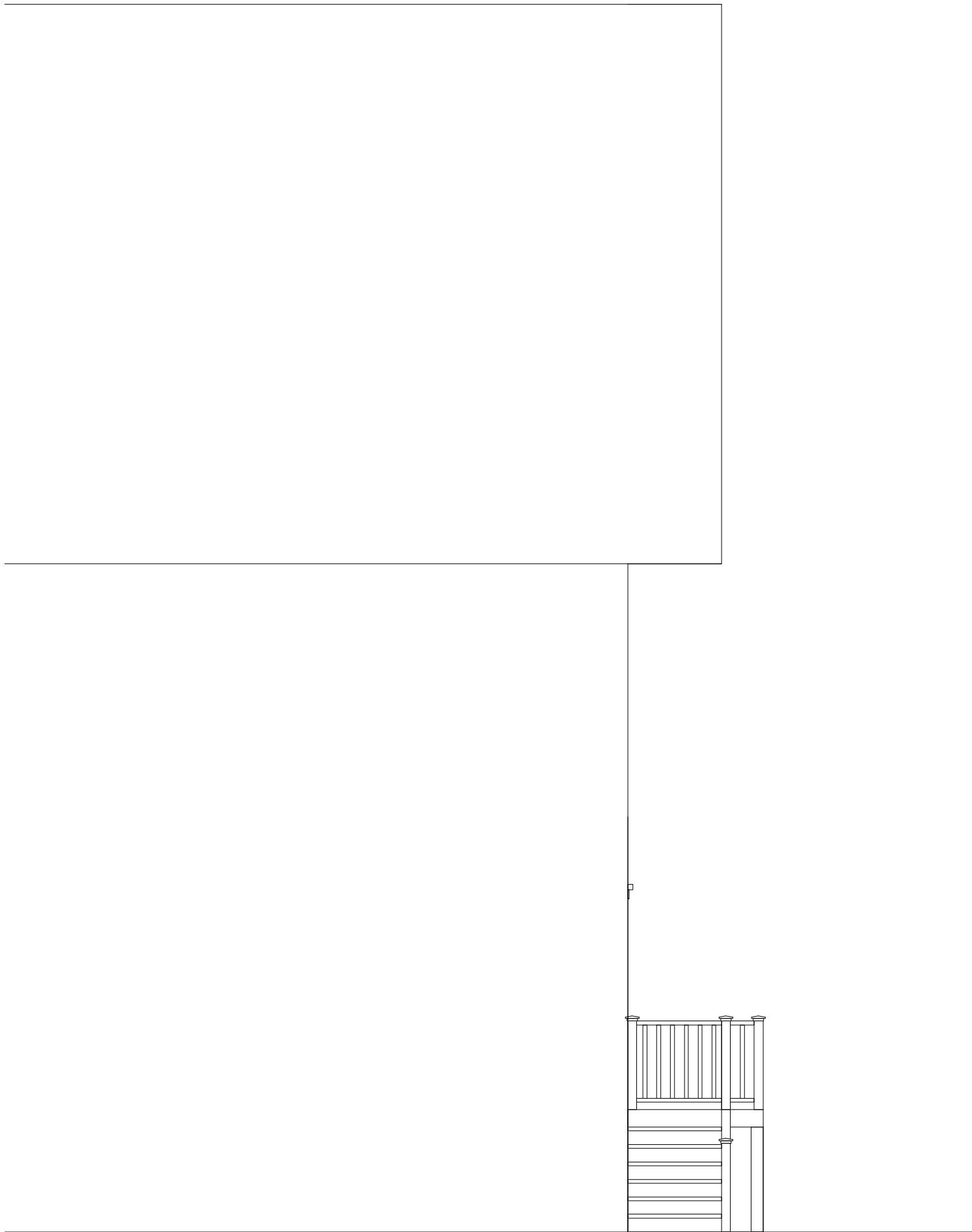
SITE
PLAN-PROPOSED

HISTORIC
RESOURCE REVIEW

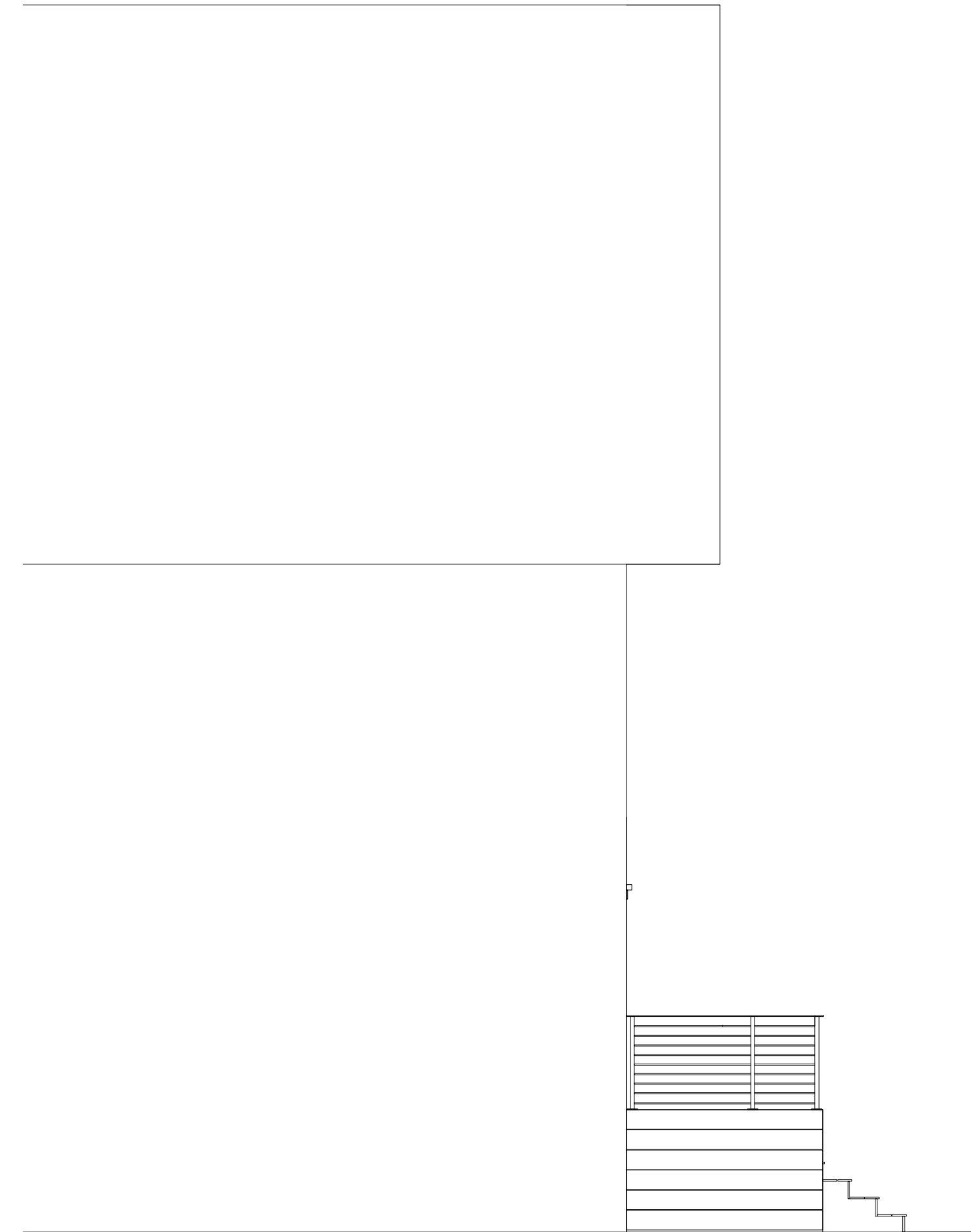


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SCALE 1/4"=1'-0"
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JOB 2408
SHEET

L-2
OF 03 SHEETS



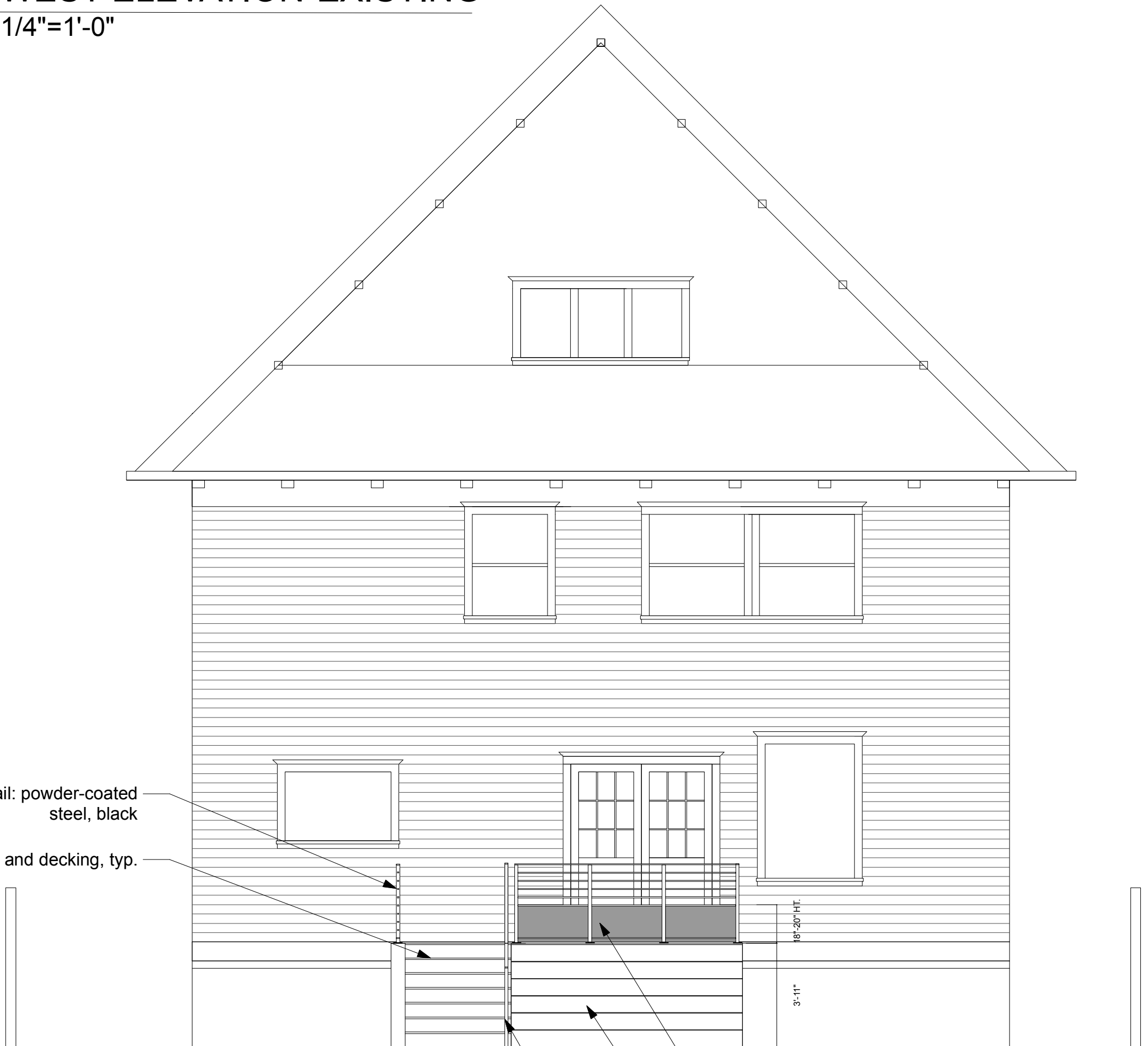
NORTH ELEVATION-EXISTING
1/4"=1'-0"



NORTH ELEVATION-PROPOSED
1/4"=1'-0"

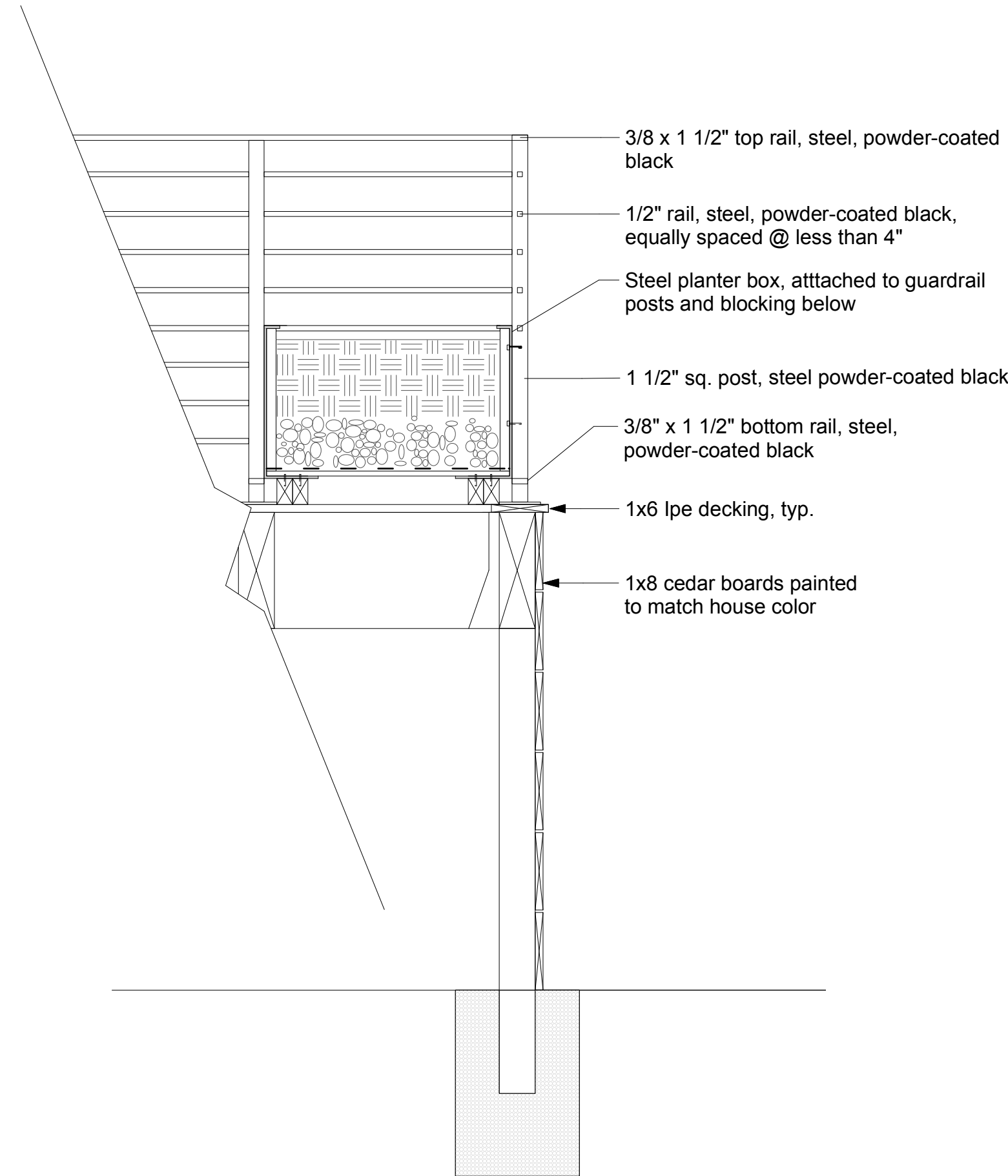


WEST ELEVATION-EXISTING
1/4"=1'-0"



WEST ELEVATION-PROPOSED
1/4"=1'-0"

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SECTION-GUARDRAIL AND PLANTER
1"=1'-0"

Approved
City of Portland
Portland Permitting and Development
Planner *Barbara NG*
Date 02/03/2025
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NOTES

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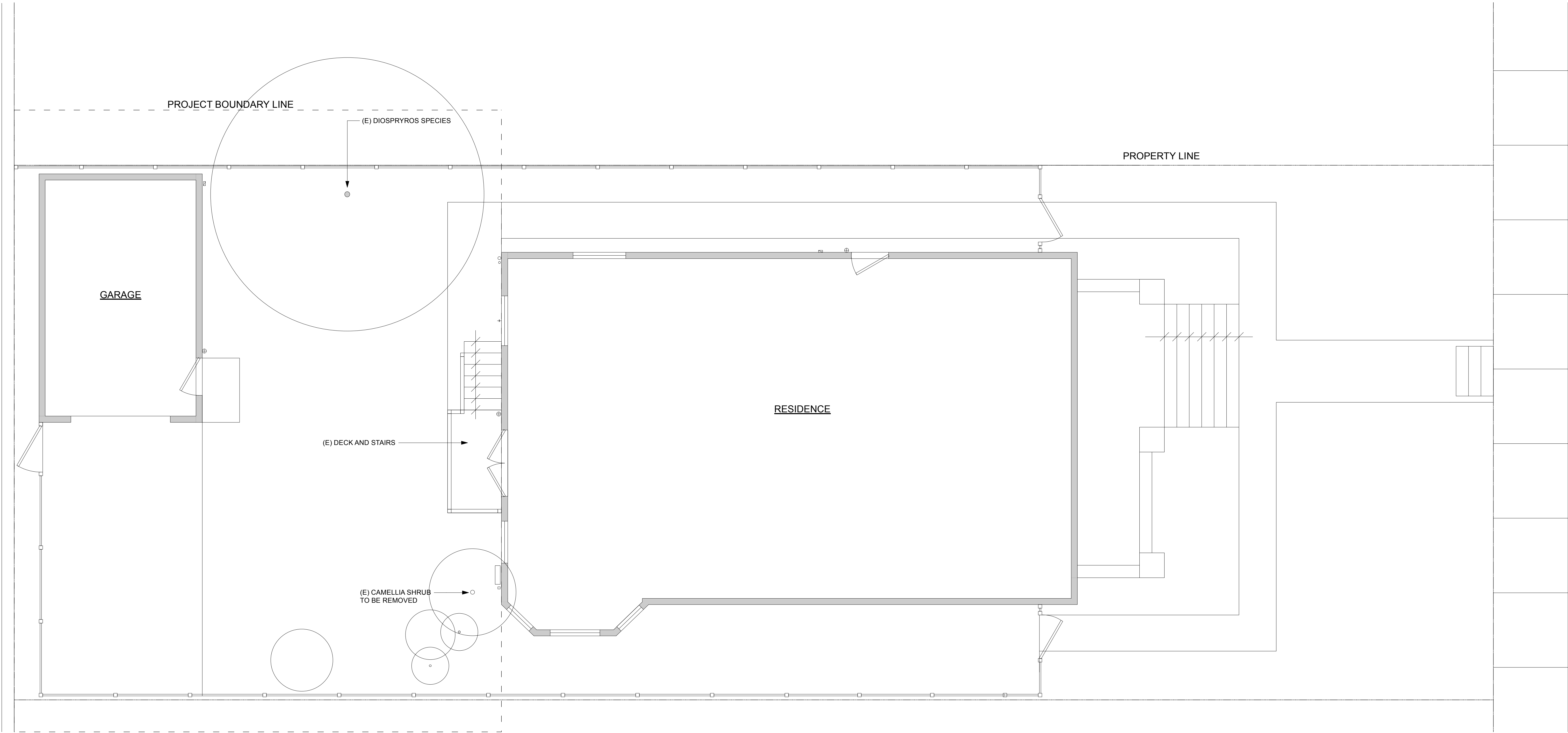
1939 SE LARCH AVENUE
PORTLAND, OR 97214

ELEVATIONS AND SECTION

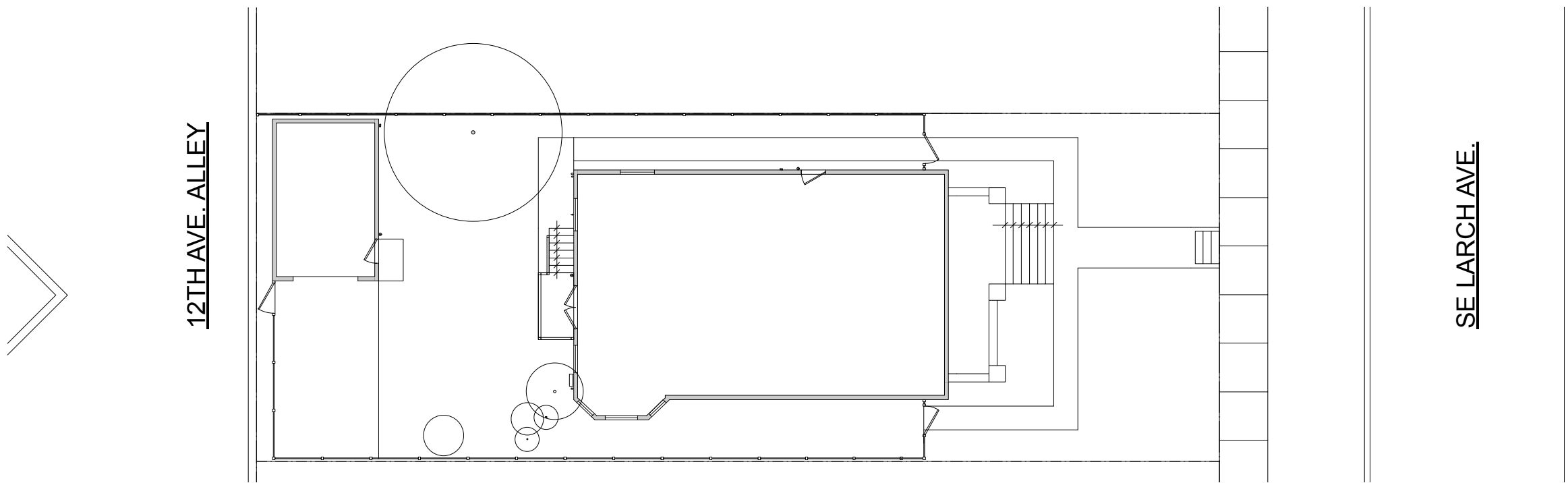
HISTORIC
RESOURCE REVIEW

DATE 12/18/24
SCALE 1/4"=1'-0"
DRAWN RK
JOB 2408
SHEET

L-3
OF 03 SHEETS



PLAN
SCALE: 1/4"=1'-0"



CONTEXT PLAN
SCALE: 1/16"=1'-0"

Approved
City of Portland
Portland Permitting and Development
Planner *Rose Brady Keane*
Date 02/03/2025
* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply .



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1939 SE LARCH AVENUE
PORTLAND, OR 97214

SITE PLAN-EXISTING
CONDITIONS

HISTORIC
RESOURCE REVIEW

DATE	12/18/24
SCALE	VARIES
DRAWN	RK
JOB	2408
SHEET	

L-1
OF 03 SHEETS

	A	B	C	D	E	F
1	ENDORSEMENT	INFO1	INFO2	NAME	ADDRESS/IO ADDRESS	CITYSTATEZIP/ADDRESSEE
2	RETURN SERVICE REQUESTED		1S1E02CA 6500	ADALYN GARDNER LOVING TR	1919 SE MULBERRY AVE	PORTLAND OR 97214
3	RETURN SERVICE REQUESTED		1S1E02CA 6600	MIESZKOWSKI JAN M & ROFF SARAH L	1942 SE LARCH AVE	PORTLAND OR 97214-4739
4	RETURN SERVICE REQUESTED		1S1E02CA 6700	SOKOLOWSKI SUSAN L	1950 SE LARCH AVE	PORTLAND OR 97214
5	RETURN SERVICE REQUESTED		1S1E02CA 6800	HOPKINS KAREN L & HOPKINS JOHN T	1960 SE LARCH AVE	PORTLAND OR 97214-4739
6	RETURN SERVICE REQUESTED		1S1E02CA 7200	SUE BOBBIE	1959 SE LARCH AVE	PORTLAND OR 97214-4738
7	RETURN SERVICE REQUESTED		1S1E02CA 7300	FOX DALTON & FOX CHRISTINE G	1951 SE LARCH AVE	PORTLAND OR 97214-4738
8	RETURN SERVICE REQUESTED		1S1E02CA 7500	MEYER DOUGLAS A	1931 SE LARCH AVE	PORTLAND OR 97214
9	RETURN SERVICE REQUESTED		1S1E02CA 7600	DAVIDSON BLUE HOUSE LLC	727 21ST ST	SANTA MONICA CA 90402
10	RETURN SERVICE REQUESTED		1S1E02CA 7700	KANE PAUL S & KANE LISA E O	1913 SE LARCH AVE	PORTLAND OR 97214-4738
11	RETURN SERVICE REQUESTED		1S1E02CA 80000	LADD'S CONDOMINIUM ASSOCIATION	1924-1926 SE 12TH AVE	PORTLAND OR 97214
12	RETURN SERVICE REQUESTED		1S1E02CA 80001	HOLLOWAY BRENT & RALEY ALYSSA	1924 SE 12TH AVE	PORTLAND OR 97214
13	RETURN SERVICE REQUESTED		1S1E02CA 80002	HRYCYK JILL & HRYCYK BRANDON	1926 SE 12TH AVE	PORTLAND OR 97214
14	RETURN SERVICE REQUESTED		1S1E02CA 8604	PROPERTY OWNER		
15	RETURN SERVICE REQUESTED		1S1E02CA 8800	GEARY MATTHEW	1844 SE 12TH AVE	PORTLAND OR 97214
16	RETURN SERVICE REQUESTED		1S1E02CA 8900	NAGARKATTI-GUDE DAVID & NISHA	1902 SE 12TH AVE	PORTLAND OR 97214
17	RETURN SERVICE REQUESTED		1S1E02CA 9000	BASSOS ALEXANDER ET AL	1912 SE 12TH AVE	PORTLAND OR 97214-4718
18	RETURN SERVICE REQUESTED		1S1E02CA 9200	LADD LLC	3909 NW THURMAN ST	PORTLAND OR 97210
19	RETURN SERVICE REQUESTED	OWNER	1S1E02CA 7400	DAVIDSON CLIFFORD & SFEIR NORMAN	1939 SE LARCH AVE	PORTLAND OR 97214
20	RETURN SERVICE REQUESTED	APPLICANT	ROSE BRADY KEANE LANDSCAPE	ARCHITECTURE ROSE BRADY KEANE	2222 NE OREGON ST STE 209	PORTLAND OR 97232
21	RETURN SERVICE REQUESTED		LAND USE CONTACT	DISTRICT 3 NEIGHBORHOOD COALITION	3534 SE MAIN ST	PORTLAND OR 97214
22	RETURN SERVICE REQUESTED		HAND	WADE MICHAEL	3534 SE MAIN ST	PORTLAND OR 97214
23	RETURN SERVICE REQUESTED			TRANSIT DEVELOPMENT	101 SW MAIN STREET SUITE 700	PORTLAND OR 97204
24	RETURN SERVICE REQUESTED			PORT OF PORTLAND PLANNING	PO BOX 3529	PORTLAND OR 97208
25					PROSPER PORTLAND	129/PROSPER

Date: January 13, 2025
To: Interested Person
From: Benjamin Nielsen, Land Use Services
503-865-6519 / Benjamin.Nielsen@portlandoregon.gov

NOTICE OF A TYPE I PROPOSAL IN YOUR NEIGHBORHOOD

Development has been proposed in your neighborhood. The proposed development requires a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map is attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Because we must publish our decision within 21 days, **we need to receive your written comments by 5 p.m. on January 27, 2025. Your comments must be e-mailed to the assigned planner listed above;** please include the Case File Number, LU 24-107316 HR, in your e-mail. If you do not have access to e-mail, please telephone the planner listed above about submitting comments. Please note that all correspondence received will become part of the public record.

CASE FILE NUMBER: LU 24-107316 HR NEW BACKYARD DECK & PATIO

**Applicant/
Representative:** Rose Brady Keane, Rose Brady Keane Landscape Architecture
2222 NE Oregon St., Ste 209, Portland, OR 97232
rose@rbkla.com, 503-936-6865

Owners: Clifford Davidson & Norman Sfeir
1939 SE Larch Ave, Portland, OR 97214

Site Address: 1939 SE LARCH AVE

Legal Description: BLOCK 11 S 29' OF LOT 15 N 14' OF LOT 18, LADDS ADD
Tax Account No.: R463302420
State ID No.: 1S1E02CA 07400
Quarter Section: 3231

Neighborhood: Hosford-Abernethy, contact Michael Wade at wade.michael@comcast.net
Business District: NONE
District Coalition: District 3, contact at matchu@seuplift.org

Plan District: NONE
Other Designations: Contributing Resource in the Ladd's Addition Historic District
Zoning: R5 – Residential 5,000 with Historic Resource Overlay

Case Type: HR – Historic Resource Review

Procedure: Type I – an administrative decision with appeal to the Oregon Land Use Board of Appeals (LUBA).

Proposal:

The applicant requests Historic Resource Review for proposed exterior alterations to a Contributing Resource in the Ladd's Addition Historic District. Proposed exterior alterations include a new deck and stair on the rear side of the existing house and new patio that will extend between the proposed deck and the existing garage.

Other alterations are proposed that are exempt from Historic Resource Review. These include new vegetative landscaping and garden beds in the backyard (exempt per PZC 33.445.200.D.2.g) and a possible new above-ground spa (exempt per PZC 33.445.200.D.2.x).

Historic Resource Review is required for non-exempt exterior alterations to existing development in the Ladd's Addition Historic District.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria specified in the Portland Zoning Code. The relevant approval criteria are:

- Ladd's Addition Conservation District Guidelines

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on December 24, 2024. The application was determined to be complete on 01/07/2025.

Decision Making Process

Portland Permitting & Development will make a decision on this proposal. After we consider your comments we will do one of the following:

- Approve the proposal;
- Approve the proposal with conditions; or
- Deny the proposal.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to Portland Permitting & Development. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

If you are interested in viewing information in this file, please contact the planner listed on the front of this notice. The planner can email you documents from the file. A fee would be required for all requests for paper copies of file documents. Additional information about the City of Portland, and city bureaus is available online at <https://www.portland.gov>. A digital copy of the Portland Zoning Code is available online at <https://www.portlandoregon.gov/zoningcode>.

Appeal Process

If you disagree with Portland Permitting & Development administrative decision, you can appeal the decision to the Oregon Land Use Board of Appeals (LUBA) at 775 Summer St NE, Suite 330, Salem OR 97301-1283. The phone number for LUBA is 1-503-373-1265. Issues which may provide the basis for an appeal to LUBA must be raised in writing before the

deadline for comments, or you may not be able to raise that issue in an appeal. If you do not raise an issue with enough specificity to give Portland Permitting & Development an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

The City of Portland ensures meaningful access to City programs, services, and activities to comply with Civil Rights Title VI and ADA Title II laws and reasonably provides: translation, interpretation, modifications, accommodations, alternative formats, auxiliary aids and services. Request these services online or call 503-823-4000, Relay Service: 711.

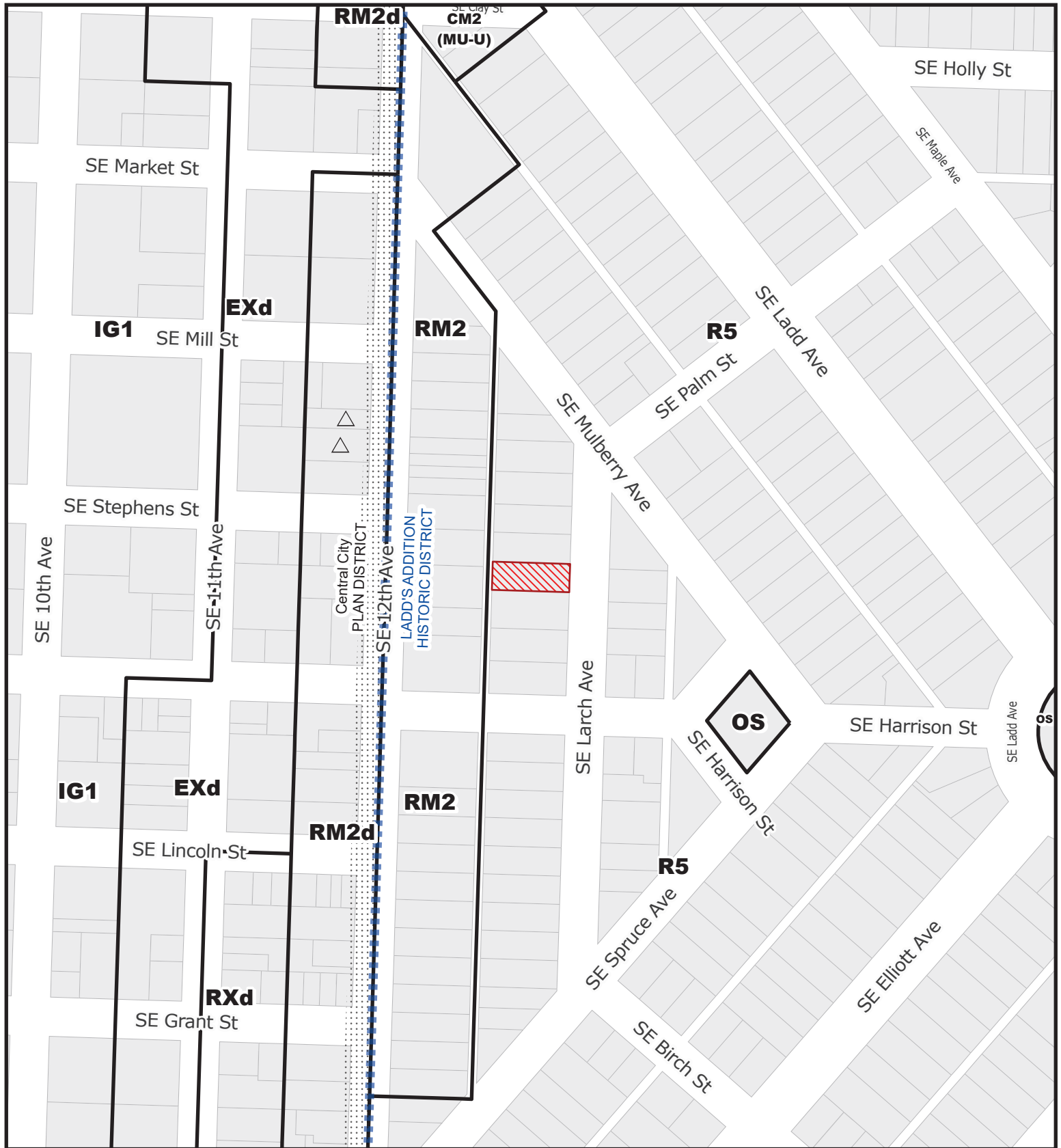
**503-823-4000 Traducción e Interpretación | Biên Dịch và Thông Dịch |
口笔译服务 | Устный и письменный перевод | Turjumaad iyo Fasiraad |
Письмовий і усний переклад | Traducere și interpretariat | Chiaku me
Awewen Kapas | अनुवादन तथा व्याख्या**

Enclosures:

Zoning Map

Site Plan




Elevation & Section



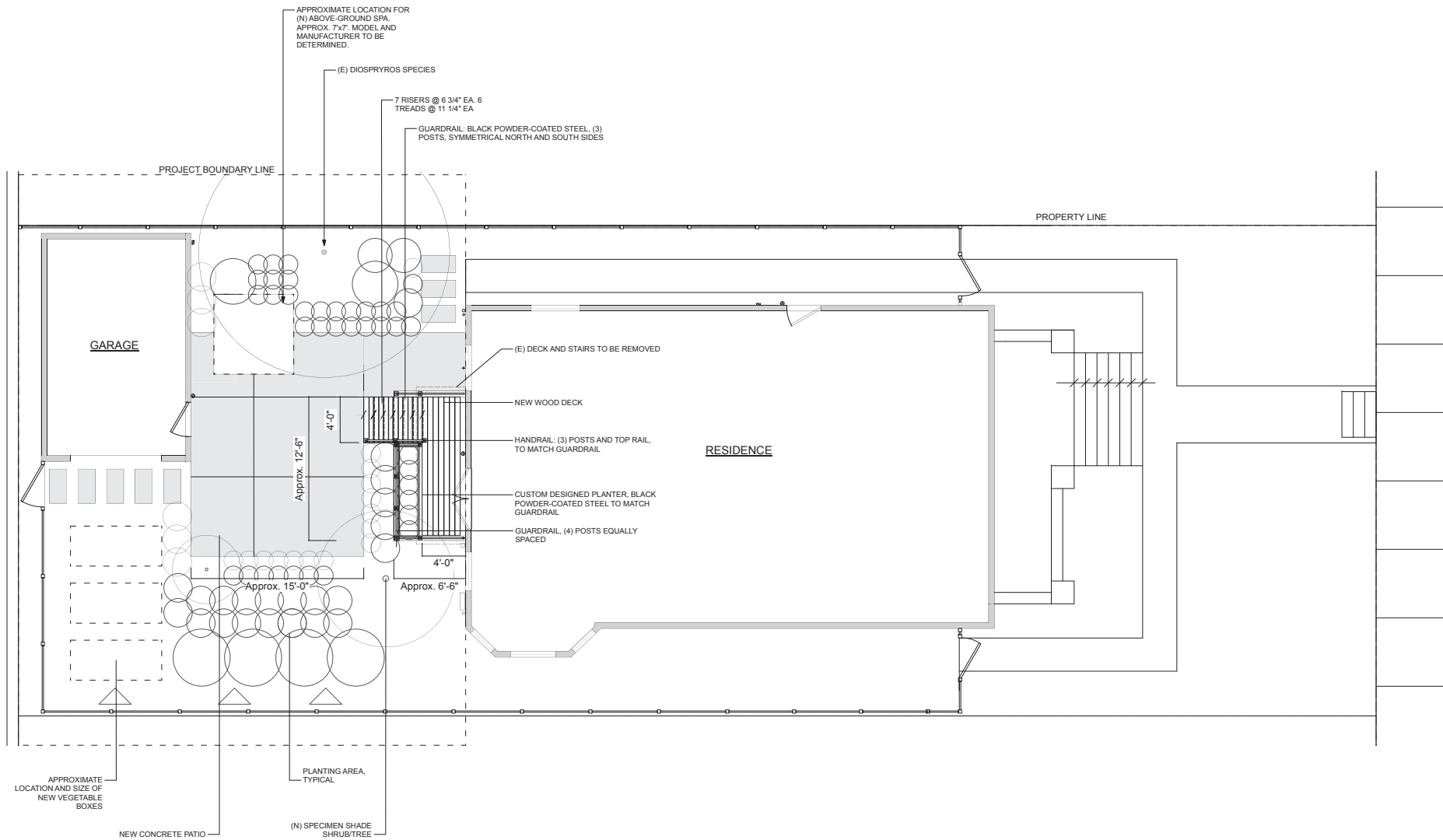
For Zoning Code in Effect Post October 1, 2024

ZONING

THIS SITE LIES WITHIN THE:
LADD'S ADDITION HISTORIC DISTRICT

-  Site
-  Plan District
-  Historic Landmark

File No.	LU 24 - 107316 HR
1/4 Section	3231
Scale	1 inch = 200 feet
State ID	1S1E02CA 7400
Exhibit	B Dec 24, 2024



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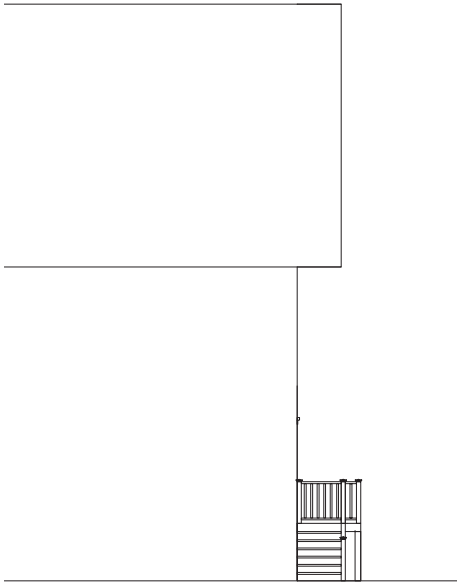
**1939 SE LARCH AVENUE
 PORTLAND, OR 97214**

SITE
 PLAN-PROPOSED
 HISTORIC
 RESOURCE REVIEW

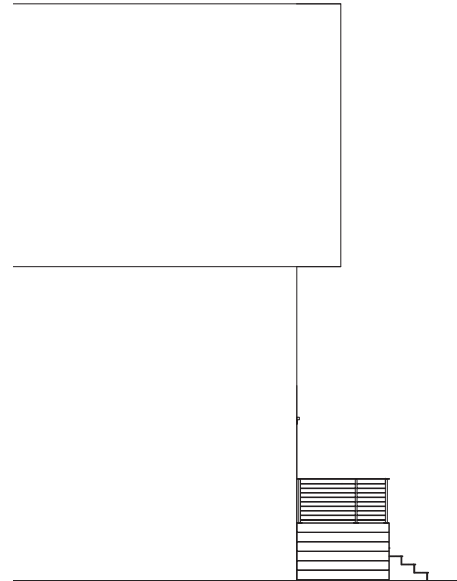


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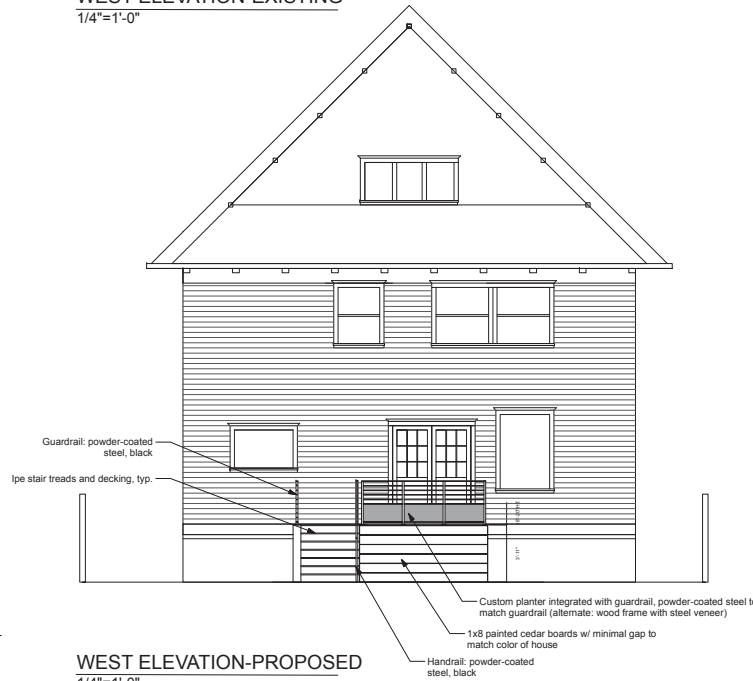
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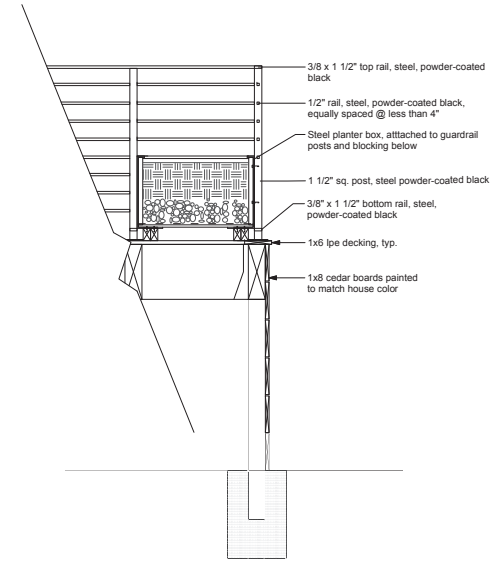
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NOTES

- GUARDRAIL POSTS WILL HAVE A MAXIMUM OF 4'-0" SPACING
- GUARDRAIL RAILS WILL BE SPACED LESS THAN 4"
- GUARDRAIL HEIGHT WILL BE A MINIMUM OF 3'-0"
- HANDRAIL HEIGHT WILL BE BETWEEN 2'-10" AND 3'-0"
- STRUCTURAL SPECIFICATIONS FOR DECK AND GUARDRAIL WILL BE PROVIDED BY A STRUCTURAL ENGINEER



rbk|a
Rose Brady Keane Landscape Architecture
2222 NE Oregon Street Suite 209 Portland, OR 97232
(503) 936-6865 rose@rbk|a.com

**1939 SE LARCH AVENUE
PORTLAND, OR 97214**

ELEVATIONS AND
SECTION
HISTORIC
RESOURCE REVIEW

DATE 12/18/24
SCALE 1/4"=1'-0"
DRAWN **RB**
JOB 2408
SHEET

L-3
OF 03 SHEETS



City of Portland, Oregon - Portland Permitting & Development

1900 SW Fourth Avenue • Portland, Oregon 97201 | 503-823-7300 | www.portland.gov/ppd

Land Use Review Response Transportation

LU: 24-107316-000-00-LU Date: January 23, 2025
To: Benjamin Nielsen, Bureau of Development Services, B299/R5000
From: Michael Pina, B1720206/800, 503-823-4249, michael.pina@portlandoregon.gov
Applicant: Rose Brady Keane, ROSE BRADY KEANE LANDSCAPE ARCHITECTURE
2222 NE OREGON ST., STE 209
PORTLAND, OR 97232
Location: 1939 SE LARCH AVE
TYPE OF REQUEST: Type 2 procedure HR - Historic Resource Review

DESCRIPTION OF PROJECT

The applicant requests Historic Resource Review for proposed exterior alterations to a Contributing Resource in the Ladd's Addition Historic District. Proposed exterior alterations include a new deck and stair on the rear side of the existing house and new patio that will extend between the proposed deck and the existing garage. Other alterations are proposed that are exempt from Historic Resource Review. These include new vegetative landscaping and garden beds in the backyard (exempt per PZC 33.445.200.D.2.g) and a possible new above-ground spa (exempt per PZC 33.445.200.D.2.x). Historic Resource Review is required for non-exempt exterior alterations to existing development in the Ladd's Addition Historic District.

RESPONSE

Portland Bureau of Transportation (PBOT) Development Review has reviewed the application for its potential impacts regarding the public Right-of-Way (ROW), traffic impacts and conformance with adopted policies, street designations, Title 33, Title 17, and for potential impacts upon transportation services.

Historic Resource Review Approval Criteria (33.846.060.G)

There are no applicable transportation-related approval criteria associated with the proposed Historic Review. The proposal does not trigger either threshold noted in 17.88.020, nor will have an effect on the public right-of-way or transportation system as a whole. Therefore, PBOT has no objection to this request.

RECOMMENDATION

PBOT has no objection to the proposed Historic Resource Review.



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Water Bureau

DATE: January 23, 2025

TO: Benjamin Nielsen
Portland Permitting & Development

FROM: Dawn Morris
Development Review and Services

SUBJECT: Review of **24-107316 HR**

The Water Bureau has reviewed the proposed action and has the following comments:

PP&D Public Infrastructure – Water Bureau (Water) has no specific approval criteria related to Historic Reviews (HR). These comments are provided to inform the applicant of water requirements that will apply to future development of the sites.

The Water Bureau has reviewed the proposed action and has the following comments:

- The Water Bureau has no concerns with this proposal.
- All applicable Water code requirements shall apply at the time of development and permit review.
- The site has a 1" service line from the water main in the street to the 5/8" metered domestic service.

Conditions of Approval: None

Please call me if you have any questions or comments. My phone number is 503-865-6909.



City of Portland, Oregon - Portland Permitting & Development

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To: Benjamin Nielsen
From: Guy Altman, Life Safety Plans Examiner
Date: January 16, 2025
RE: 1939 SE LARCH AVE, 24-107316-LU

LIFE SAFETY PLAN REVIEW RESPONSE

The following comments are based on the plans and documents provided to the Life Safety Plan reviewer. They are intended to provide the applicant with preliminary Building Code information that could affect the Land Use Review, Public Records request and/or future Building Permit reviews. The comments may not identify all conflicts between the Land Use proposal and the Building Codes. A complete Life Safety plan review will be provided at the time of Building Permit submittal at which time any additional Building Code issues will be noted. The comments are based on the Oregon Structural Specialty Code (OSSC), the International Existing Building Code (IEBC), the Oregon Mechanical Specialty Code (OMSC), or the Oregon Residential Specialty Code (ORSC).

RESPONSE SUMMARY

☒ Life Safety Plan Review does not object to the approval of this proposal. The applicant should be aware that several building code requirements may impact the final design of this building. For information regarding future compliance, see the **GENERAL LIFE SAFETY COMMENTS** below.

Item #	GENERAL LIFE SAFETY COMMENTS
1	Building Permit Required - A separate Building Permit is required for the work proposed and the proposal must be designed to meet all applicable building codes and ordinances. Information about submitting a permit application request is available online at https://www.portland.gov/ppd/permit-review-process/apply-permits .



Urban Forestry

Land Use Review Response

Date: January 22, 2025

From: Casey Collyer

Casey.Collyer@portlandoregon.gov

Case File: 24-107316-000-00-LU

Location: 1939 SE LARCH AVE

Proposal: The applicant requests Historic Resource Review for proposed exterior alterations to a Contributing Resource in the Ladd's Addition Historic District. Proposed exterior alterations include a new deck and stair on the rear side of the existing house and new patio that will extend between the proposed deck and the existing garage.

Other alterations are proposed that are exempt from Historic Resource Review. These include new vegetative landscaping and garden beds in the backyard (exempt per PZC 33.445.200.D.2.g) and a possible new above-ground spa (exempt per PZC 33.445.200.D.2.x).

Historic Resource Review is required for non-exempt exterior alterations to existing development in the Ladd's Addition Historic District.

Urban Forestry has reviewed the proposal for its impact on existing city trees, street trees and heritage trees, street tree planting requirements and related mitigation in accordance with Title 11, Trees and for potential impacts upon urban tree canopy. It is the applicant's responsibility to disclose all aspects of their land use proposal that may impact required street tree plantings and existing street trees during the land use review process.

UNLESS EXPLICITLY STATED HEREIN, THIS REVIEW DOES NOT APPROVE STREET TREE REMOVALS AND DOES NOT PROVIDE ANY EXEMPTIONS TO TITLE 11 REQUIRMENTS.

Permits required after land use approval are subject to all applicable development standards and all provisions of the City Code, including Title 11. Title 11 regulations will be applied during the permit review process.

PLEASE NOTE THERE MAY BE OTHER APPLICABLE TREE REQUIREMENTS AS PER TITLE 33 PLANNING & ZONING.

A. Response Summary

Urban Forestry does not object to approval of the land use proposal. The proposed development will be subject to Title 11 regulations during the permit review process.

B. Recommendations

Urban Forestry has no objection to the proposed project.





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Land Use Review Application

File Number: **LU 24-107316 HR**

FOR INTAKE, STAFF USE ONLY

Date Rec 12/24/24 by ejd

☒ Type I ☐ Type Ix ☐ Type II ☐ Type Iix ☐ Type III ☐ Type IV ☐ ELD

LU Reviews HR (Tier C)

[Y] ☒ Unincorporated MC

[Y] ☒ Potential Landslide Hazard Area (~~LD~~ & ~~PD~~ only)

[Y] ☒ Combined Flood Hazard Area

[Y] [N] ~~DOCSAM~~

Qtr Sec Map(s) 3231 Zoning R5

Plan District None

Historic and/or Design District Ladd's Addition

Neighborhood Hosford-Abernethy

District Coalition District 3

Business Assoc None

Related File # _____

APPLICANT: Complete all sections below that apply to the proposal. Please print legibly.
Email this application and supporting documents to: LandUseIntake@portlandoregon.gov

Development Site
Address or Location 1939 SE Larch Avenue

Cross Street SE Harrison and SE Mulberry Sq. ft./Acreage 4200 sf

Site tax account number(s)

R 200324

R

R

R

R

R

Describe project (attach additional page if necessary)
(Please see attached.)

Describe proposed stormwater disposal methods

Stormwater in project area will be captured on site. Any potential runoff during construction will be addressed with temporary erosion control wattles and logs.

Identify requested land use reviews

Historic Resource Review

- **Design & Historic Reviews** - For **new development**, provide project valuation.

For **renovation**, provide exterior alteration value.

AND provide total project valuation.

\$ _____

\$ 25,000 (estimated)

\$ _____

- **Land Divisions** - Identify number of lots (include lots for existing development).

New street (public or private)?

☐ yes ☒ no

- **Affordable Housing** - For buildings containing five or more dwelling units, will 50% or more of the units be affordable to households with incomes equal to or less than 60% of the median family income for the county or state, whichever is greater?

☐ yes ☐ no ☒ N/A

continued / over

Applicant Information

- Identify the primary contact person, applicant, property owner and contract purchaser. Include any person that has an interest in your property or anyone you want to be notified. Information provided, including telephone numbers and e-mail addresses, will be included in public notices.
- For all reviews, the applicant must sign the Responsibility Statement.
- For land divisions, all property owners must sign the application.

PRIMARY CONTACT:

Typed Full Name Rose Brady Keane ☒ I acknowledge this typed name as my signature
Company/Organization Rose Brady Keane Landscape Architecture
Mailing Address 2222 NE Oregon Street Suite 209
City Portland State OR Zip Code 97232
Day Phone 503-936-6865 FAX _____ email rose@rbkla.com

Check all that apply ☒ Applicant ☐ Owner ☐ Other

Typed Full Name Cliff Davidson ☒ I acknowledge this typed name as my signature
Company/Organization _____
Mailing Address 1939 SE Larch Avenue
City Portland State OR Zip Code 97214
Day Phone (310)633-0485 FAX _____ email csdcliff@gmail.com

Check all that apply ☐ Applicant ☒ Owner ☐ Other

Typed Full Name _____ ☐ I acknowledge this typed name as my signature
Company/Organization _____
Mailing Address _____
City _____ State _____ Zip Code _____
Day Phone _____ FAX _____ email _____

Check all that apply ☐ Applicant ☐ Owner ☐ Other

Typed Full Name _____ ☐ I acknowledge this typed name as my signature
Company/Organization _____
Mailing Address _____
City _____ State _____ Zip Code _____
Day Phone _____ FAX _____ email _____

Check all that apply ☐ Applicant ☐ Owner ☐ Other

Responsibility Statement As the applicant submitting this application for a land use review, I am responsible for the accuracy of the information submitted. The information being submitted includes a description of the site conditions. I am also responsible for gaining the permission of the owner(s) of the property listed above in order to apply for this review and for reviewing the responsibility statement with them. If the proposal is approved, the decision and any conditions of the approval must be recorded in the County Deed Records for the property. The City of Portland is not liable if any of these actions are taken without the consent of the owner(s) of the property. In order to process this review, City staff may visit the site, photograph the property, or otherwise document the site as part of the review. I understand that the completeness of this application is determined by the Director. By my signature, I indicate my understanding and agreement to the Responsibility Statement.

Name of person submitting this application agrees to the above Responsibility Statement and acknowledges typed name as signature:

Rose Brady keane Date: 12/18/24

Phone number: 503.936.6865

Email this application and supporting documents to
LandUseIntake@portlandoregon.gov

Submittal of locked or password protected documents will delay intake of your application. 2

From: [Nielsen, Benjamin](#)
To: rose@rbkla.com
Cc: csdcliff@gmail.com
Subject: 1939 SE Larch Ave (LU 24-107316 HR) - historic resource review
Date: Tuesday, January 7, 2025 4:42:00 PM

Hello, Rose:

I am the planner who has been assigned to your Historic Resource Review application for proposed alterations at 1939 SE Larch Ave.

I have had a chance to review the material you submitted, and I don't believe I will need anything else from you at this time. I will prepare the public notice for the review and get that sent out by the end of the week.

My contact info is below. Please reach out if you have any questions.

Thanks,

Benjamin Nielsen (he/him)

City Planner

Land Use Services Division, Design & Historic Resource Review Team

Portland Permitting & Development – City of Portland

1900 SW Fourth Ave., Suite 5000

Portland, OR 97201

503-865-6519 (Office/Cell)

Benjamin.Nielsen@portlandoregon.gov

www.portland.gov/ppd

Work Hours: M-F, 9am-6pm PT

The City of Portland ensures meaningful access to City programs, services, and activities to comply with Civil Rights Title VI and ADA Title II laws and reasonably provides: translation, interpretation, modifications, accommodations, alternative formats, auxiliary aids and services. Request these services [online](#) or call 503-823-4000, Relay Service: 711.

503-823-4000 Traducción e Interpretación | Biên Dịch và Thông Dịch | 口笔译服务 | Устный и письменный перевод | Turjumaad iyo Fasiraad | Письмовий і усний переклад | Traducere și interpretariat | Chiaku me Awewen Kapas | अनुवादन तथा व्याख्या

From: rose@rbkla.com
To: [Nielsen, Benjamin](#)
Subject: Re: 1939 SE Larch Ave (LU 24-107316 HR) - historic resource review
Date: Tuesday, January 14, 2025 1:13:58 PM

Hi Benjamin,

Just following up from last week-do you have any sense of how long the review process will take? Also, how do I check on the status of the application? I tried through DevHub and then Portland Maps but couldn't find anything.

Thanks,
Rose Keane

rose brady keane
landscape architecture
2222 NE Oregon Street
Suite 209
Portland, OR 97232
503.936.6865
rose@rbkla.com
www.rbkla.com

On Jan 8, 2025, at 11:55 AM, rose@rbkla.com <rose@rbkla.com> wrote:

Hi Benjamin,

Thanks very much for letting me know the status of things and glad to hear you have what you need.

Best,
Rose

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□ 笔译服务 | Устный и письменный перевод | Turjumaad iyo

Fasiraad | Письмовий і усний переклад | Traducere și interpretariat |

Chiaku me Awewen Kapas | अनुवादन तथा व्याख्या

From: [Nielsen, Benjamin](#)
To: rose@rbkla.com
Subject: RE: 1939 SE Larch Ave (LU 24-107316 HR) - historic resource review
Date: Tuesday, January 14, 2025 5:33:00 PM

Hi Rose:

The public notice period runs through 1/27, and it will take a week or so after that to finalize, print, and mail the decision.

If you would like to submit your permit application before then to get that process started, you may. I don't think I will be asking for any revisions.

Thanks,

Benjamin Nielsen (he/him)
City Planner
Land Use Services Division, Design & Historic Resource Review Team

From: rose@rbkla.com <rose@rbkla.com>
Sent: Tuesday, January 14, 2025 1:14 PM
To: Nielsen, Benjamin <Benjamin.Nielsen@portlandoregon.gov>
Subject: Re: 1939 SE Larch Ave (LU 24-107316 HR) - historic resource review

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