

UKANDU

3015 SW 1st Avenue & 118 SW Porter Street

Type III Design Review

FEBRUARY 10, 2025

Gensler

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The mission of UKANDU is to provide joy, hope, and connection to communities impacted by childhood and adolescent cancer.

Since 1986, Ukandu has served families throughout Oregon and across the region. Ukandu creates safe spaces where the weight of suffering, uncertainty, and feelings of helplessness are confronted by their most worthy adversaries – compassion, community, solidarity, and love – 100% free of charge.

For 31 years, programming was limited to a one-week summer camp for children (patients/survivors, and one sibling) ages 8-18. Over the last seven years, our programming has expanded into ten months of the year, offering six unique programs aimed at serving the different needs of each member of the family, throughout the many different stages of their journey.

The need for ongoing, year-round support: There are 600-800 new childhood cancer diagnoses in Oregon, annually. In nearly four decades working in this community, Ukandu has developed authentic connections with these families. Building on these relationships, we partnered with OHSU and the Knight Cancer Institute’s Community Partnership Program to conduct new research. Our goal was to identify any gaps in services that may exist for families navigating a childhood cancer experience.

The data is clear: Families need a safe space where they can connect outside of the hospital, in the midst of a harrowing journey – any time they need it. The UKANDU Loft represents a first-of-its kind business model and delivery method, focused on holistic, wrap-around care for each member of the family navigating a childhood cancer journey. Partnering with area hospitals (but entirely self-funded) and understanding challenges within the existing ecosystem, The space will provide community and connection in a new environment, untainted by traumatic experiences and memories. There is no facility like The Loft, offering our unique services and curricula anywhere else in the United States.



C1.2 TEAM INFORMATION



Gensler PORTLAND

We believe in being part of the solution by creating positive change.

As stewards of our local communities, our team of architects, designers, and strategists are focused on how we can create a better world through the power of design.

Across every Gensler office, our people are committed to donating their time, skills, and passion to their communities through volunteer service and pro-bono and low-bono work.

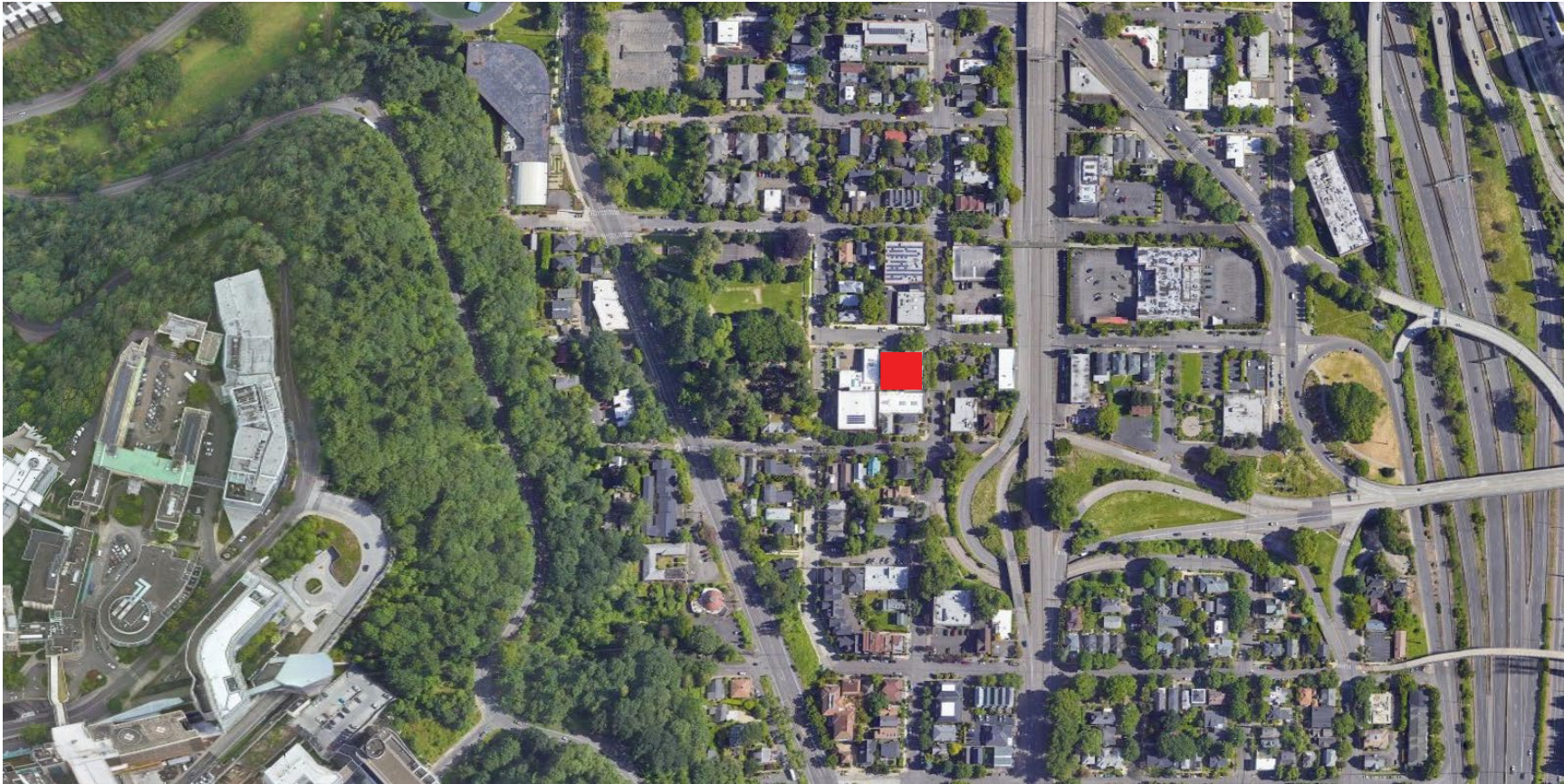
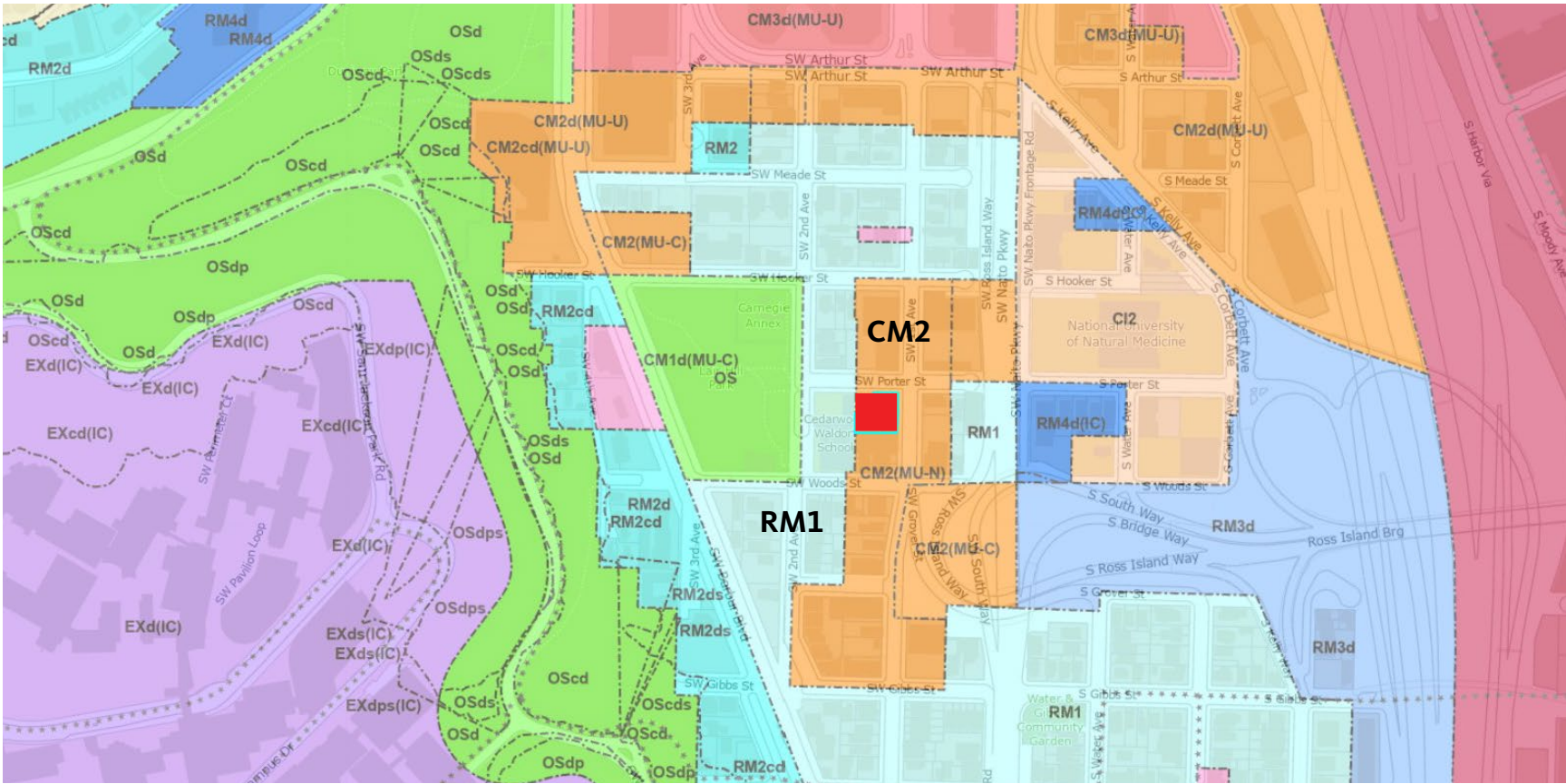
ADDRESS: 3015 SW 1st Avenue	ADDRESS: 118 SW Porter Street
PROPERTY ID: R128940	PROPERTY ID: R128941
STATE ID: 1S1E10BB 10200	STATE ID: 1S1E10BB 10000
ALT ACCOUNT: R140907800	ALT ACCOUNT: R140907810
TAX ROLL: CARUTHERS ADD, BLOCK 77 TL 10200	TAX ROLL: CARUTHERS ADD, BLOCK 77, W 44' OF LOT 1

The primary pedestrian entrance will be located off of SW 1st Ave. with a garage and secondary access on SW Porter St. The site is located in the CM2 - Commercial/Mixed Use 2 zone and falls within the SP - South Portland Historic District.



CONTEXT

C2.1 ZONING SUMMARY



ZONING CODE

Base Zone	CM2 - Commercial Mixed Use 2
Comp Plan	Mixed Use - Neighborhood
Historic District	SP - South Portland Historic District
Design Guidelines	South Portland Historic District Design Guidelines

DEVELOPMENT STANDARDS

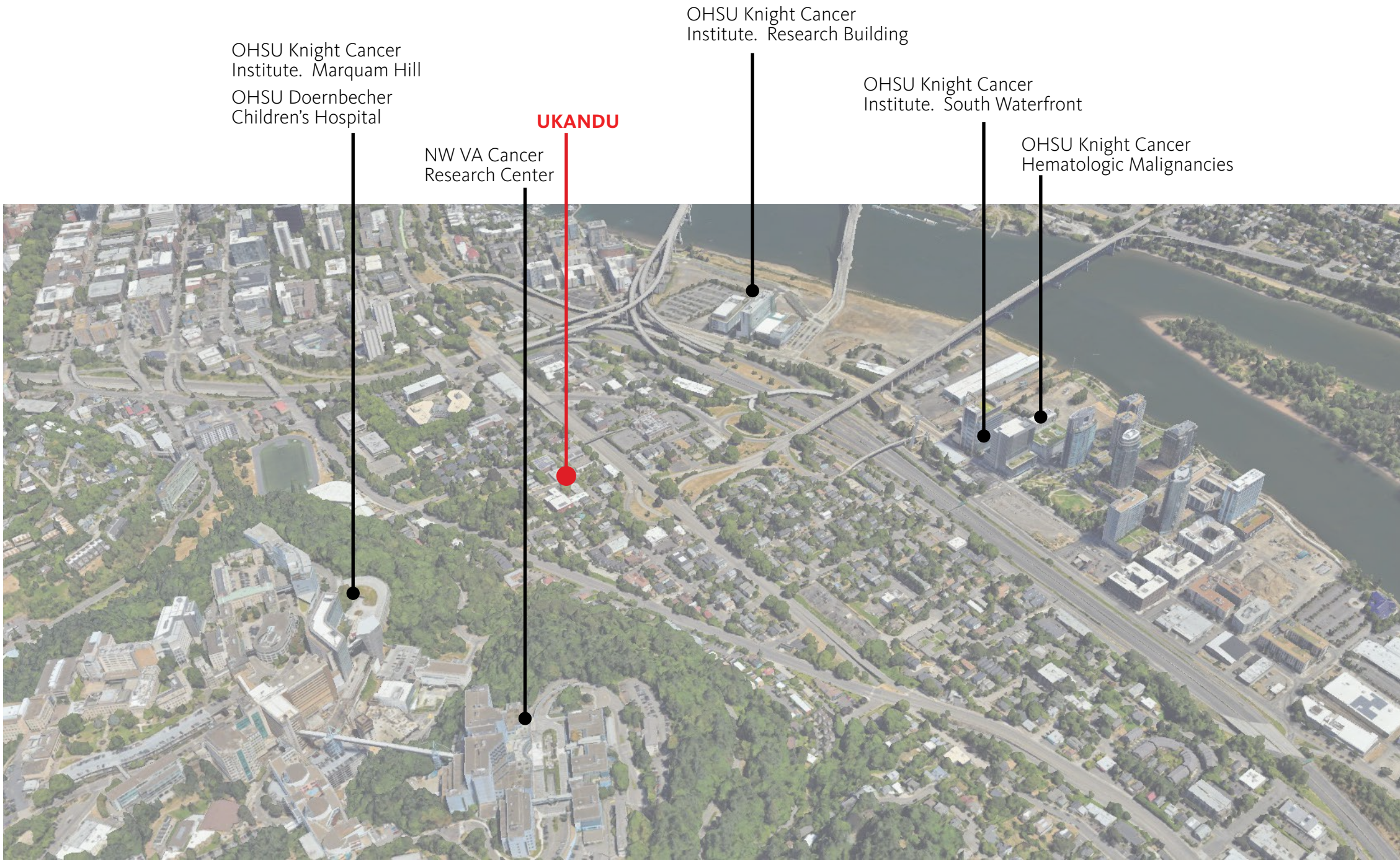
Max FAR	2.5 to 1
Base Zone Height	45 ft.
Bonus Height	55 ft.
Min. Front Setback	none
Max. Front Setback	10 ft
Min. Setback	none
Min. Setback (abutting RM1)	10 ft.
Max. Building Coverage	100%
Min. Landscaped Area	15%
GF Window Standards	Yes

PARKING

Parking Max.	1 per 300 sq. ft. of net building area
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BIKE PARKING

Long-term Spaces	2, or 1 per 3,500 sq. ft. of net building area
Short-term Spaces	2, or 1 per 33,000 sq. ft. of net building area



Strategically located between **Oregon's only pediatric cancer treatment facilities**, the site for the UKANDU Loft is just a 6 minute drive from Doernbecher Children's Hospital and 11 minutes from Randall Children's Hospital

*"We need a place **within the community** that allows families to get together, to feel a sense of community, to be able to relate with one another, to tell and share stories of what they've been through.*

*I think that Ukandu is well-suited to provide this community space because they've been doing it for a long time. I think it will be a great place **outside of the hospital** to help heal."*

Dr. Jason Glover
Pediatric Oncologist Randall Children's Hospital, and
Ukandu Medical Director

"I think The Loft is an opportunity to be thought leaders and growth leaders in the medical community and create something that people will look at and say, 'Oh, that. Every kid should have that. Every family should have that. A hub. A place where they can go... where they can feel seen and heard and supported.' We want that."

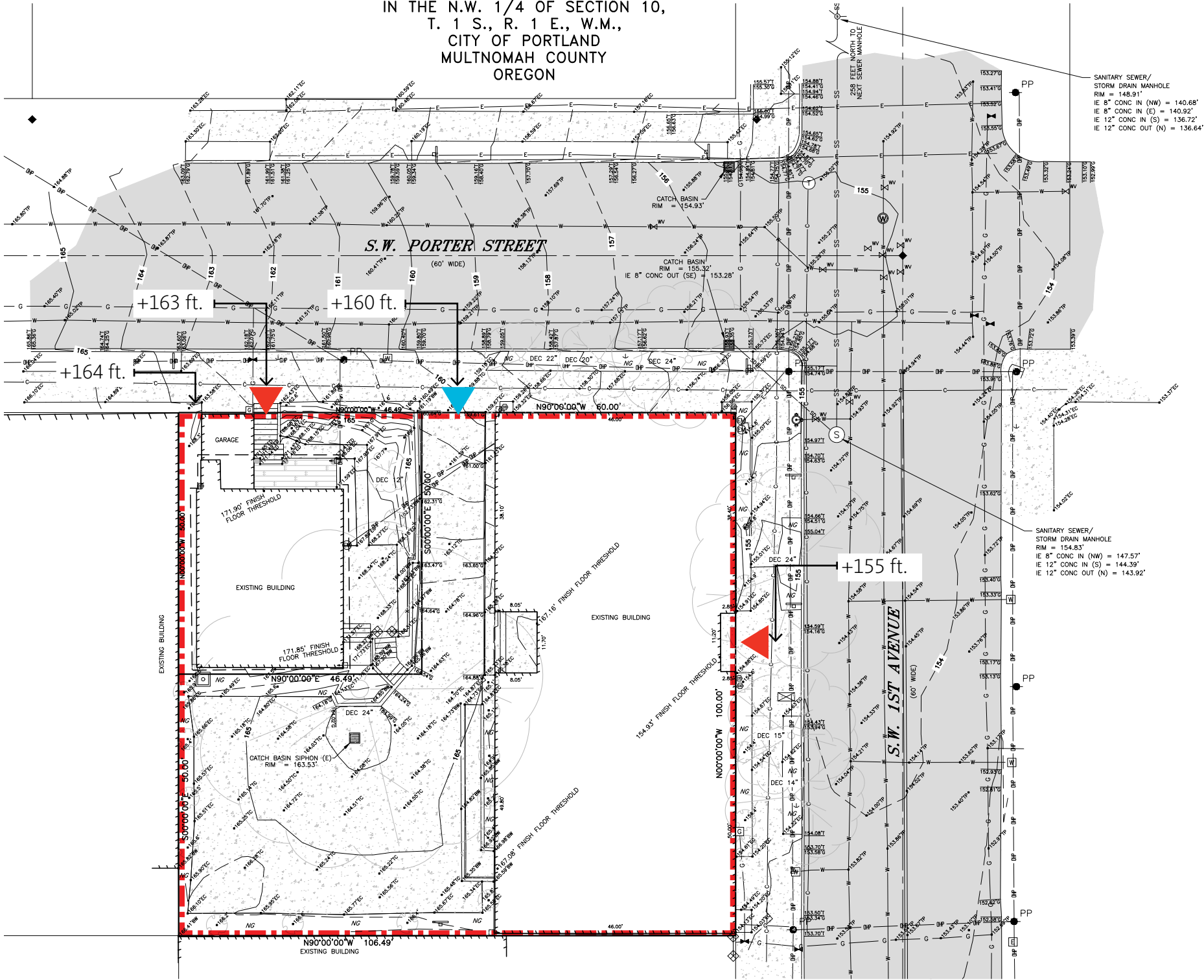
Dr. Amy King
Licensed Psychologist, Pediatric Health and Early
Childhood Education Expert

TOPOGRAPHIC SURVEY

3015 SW 1ST AVENUE

A PORTION OF LOT 1, BLOCK 77, "CARUTHERS ADDITION",
IN THE N.W. 1/4 OF SECTION 10,
T. 1 S., R. 1 E., W.M.,
CITY OF PORTLAND
MULTNOMAH COUNTY
OREGON

OWNER:
UKANDU LOFT LLC
REQUESTED BY:
JASON HICKOX
SITE ADDRESS:
3015 S.W. 1ST AVENUE



LEGEND

- AC UNIT
- BUSH
- CATCH BASIN
- CLEAN OUT
- COLUMN
- DOWNSPOUT (UNDERGROUND)
- ELECTRIC METER
- ELECTRIC VAULT
- FIRE HYDRANT
- GAS METER
- GAS VALVE
- GATE POST
- NATURAL GROUND
- POWER POLE
- SANITARY SEWER/STORM DRAIN
- SIGN
- SPOT ELEVATION
 - BW = BOTTOM OF WALL
 - EC = EDGE OF CONCRETE
 - ED = EDGE OF DECK
 - G = GUTTER LINE
 - T = TOP OF CURB
 - TC = TOP OF CONCRETE
 - TP = TOP OF PAVEMENT
- SURVEY MONUMENT
- TELEPHONE MANHOLE
- WATER MANHOLE
- WATER METER
- WATER VALVE
- BUILDING
- BUILDING OVERHANG
- FENCE
- GAS
- OVERHEAD ELECTRIC
- SANITARY SEWER
- STORM DRAIN
- UNDERGROUND COMMUNICATION
- UNDERGROUND ELECTRIC
- WATER
- CONCRETE
- PAVEMENT
- WOOD-DECK
- DEC = DECIDUOUS
- Pedestrian entry
- Vehicular entry
- Site boundary



SURVEYOR'S NOTES:
1. THE BASIS OF BEARINGS FOR THIS SURVEY IS SURVEY NO. 62177, MULTNOMAH COUNTY PLAT RECORDS. THIS IS NOT A RECORDABLE SURVEY.
2. UNDERGROUND UTILITIES ARE SHOWN PER SURFACE MARKINGS AND AS-BUILT INFORMATION PROVIDED BY THE CONTROLLING JURISDICTIONS. THE SURVEYOR MAKES NO GUARANTEE AS TO THE EXACT LOCATION, EXISTENCE, NON-EXISTENCE OR COMPLETENESS OF ANY SUBSURFACE UTILITIES SHOWN, OR NOT SHOWN ON THE MAP. CALL 811 BEFORE DIGGING.

BENCHMARK:
THE BENCHMARK USED FOR THIS SURVEY IS CITY OF PORTLAND BENCHMARK #5, A BRASS DISK ON THE N.E. CORNER OF S.W. WOODS STREET AND S.W. 2ND AVENUE.
ELEVATION: 170.76' (CITY OF PORTLAND DATUM)



A) SW 1st Ave. Frontage - Facing West



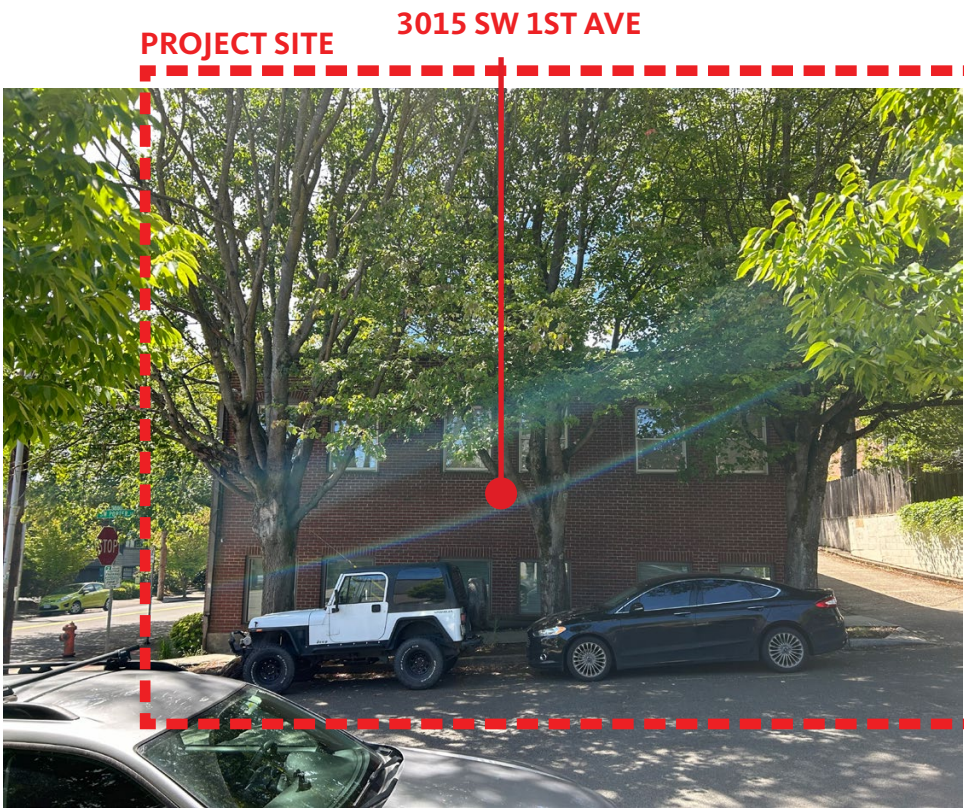
B) SW 1st Ave. Frontage - Facing West



C) SW 1st Ave. Frontage - Facing West



D) SW 1st Ave. Frontage - Facing West



A) Porter Street Frontage - Facing South



B) Porter Street Frontage - Facing South



C) Porter Street Frontage - Facing South



D) Porter Street Frontage - Facing South

C2.6 CONTEXT - SURROUNDING BUILDING PHOTOS



A) Porter Street Frontage - Facing North



B) Cedarwood Waldorf School - Facing East



C) Porter Street Frontage - Facing North



D) Porter Street Frontage - Facing North



A) Existing on-site Parking Access - Facing South



B) Existing on-site Parking Access - Facing South



C) Existing on-site Parking - Facing East



D) Existing on-site Parking - Facing West

South Portland Historic District - Contributing Brick Buildings in the District

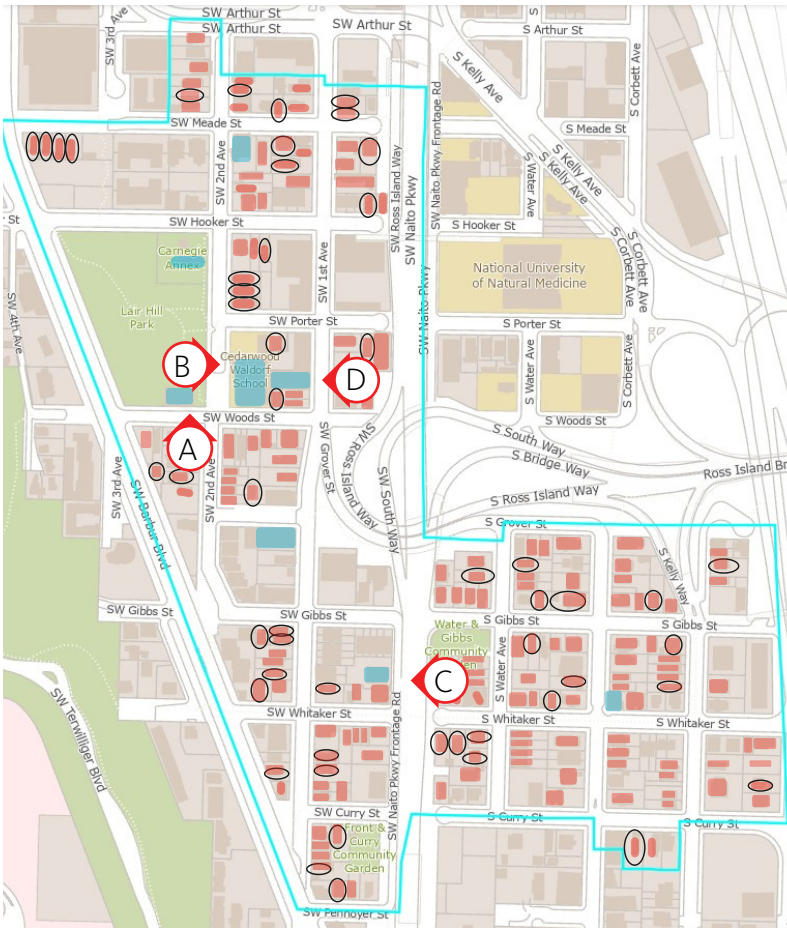
C2.8 CONTEXT - SURROUNDING BUILDING PHOTOS



A) Multnomah County Hospital Nurses' Quarters



B) Neighborhood House (Cedarwood Waldorf School)



C) Mary L. Maxwell House



D) Sydney Wallace building



Sydney Wallace building - Soldier course at cornice and window head, metal parapet cap, and corbeling detail. Body of building is a modified English Bond.



Sydney Wallace building - Centered brick relief and soldier course at entry opening.



3015 SW 1st Ave "Loft" - Soldier course at window head and corbel, metal parapet cap, and corbeling detail. Body of building is a Running Bond.



3015 SW 1st Ave "Loft" - Soldier course at entry opening.



3015 SW 1st Ave "Loft" - Soldier course at window head, brick sill, and stepped concrete foundation wall.



3015 SW 1st Ave "Loft" - Planted frontage zone.

DESIGN

Design Drivers

Be Radically Inclusive

Remove barriers and enable all people to experience the space equally, confidently, and independently.

Lead with Intention

Do more with less. Put people first by focusing on their needs. Create an environment that encourages people to celebrate what makes them unique.

Inspire Community Connections

Honor camp traditions while allowing for new traditions to be created. Foster connections with the greater community and support these new bonds to form and flourish.

Celebrate Outrageous Fun

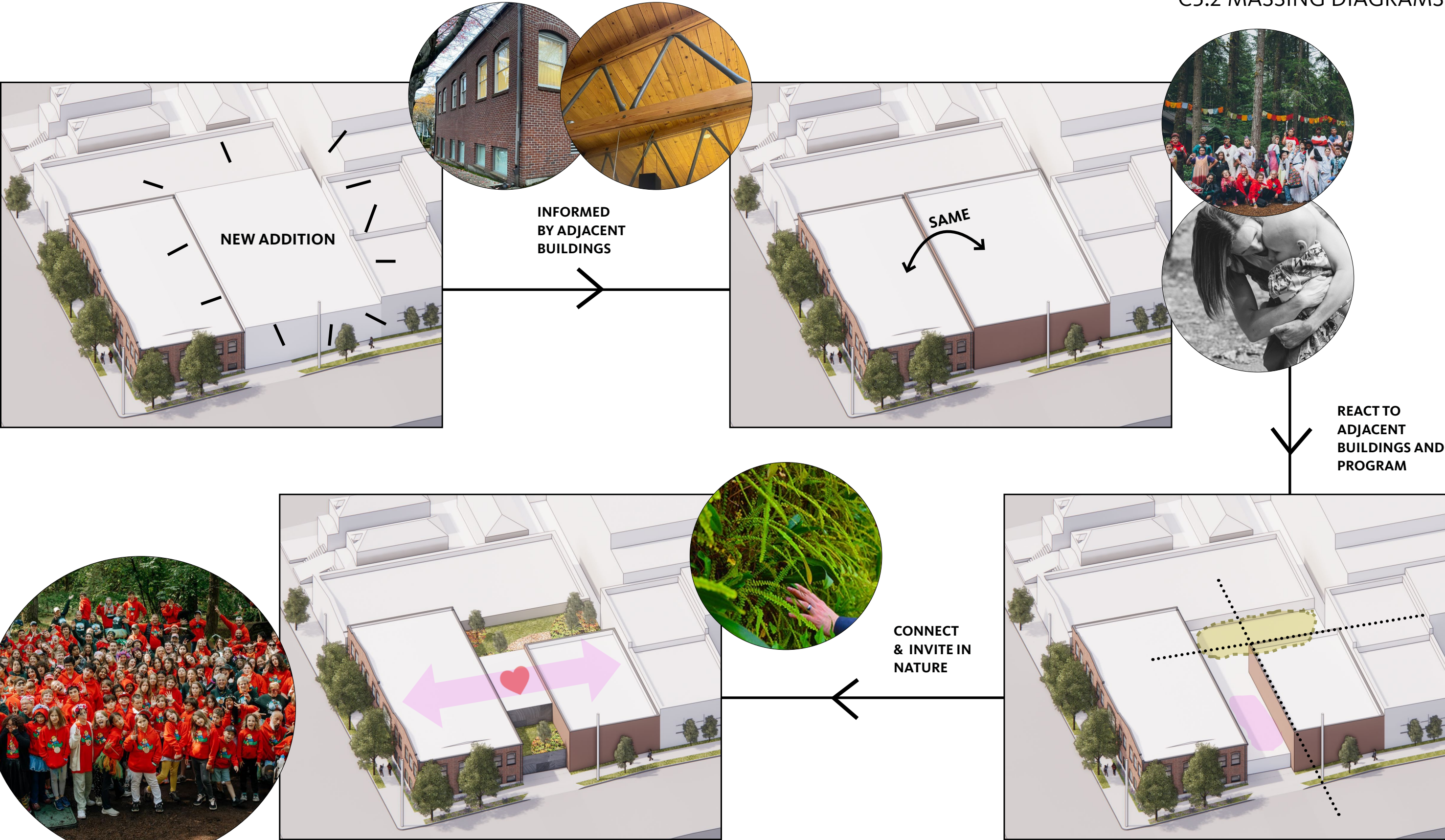
Celebrate joy. Welcome the wacky and the weird. Encourage play and experimentation.

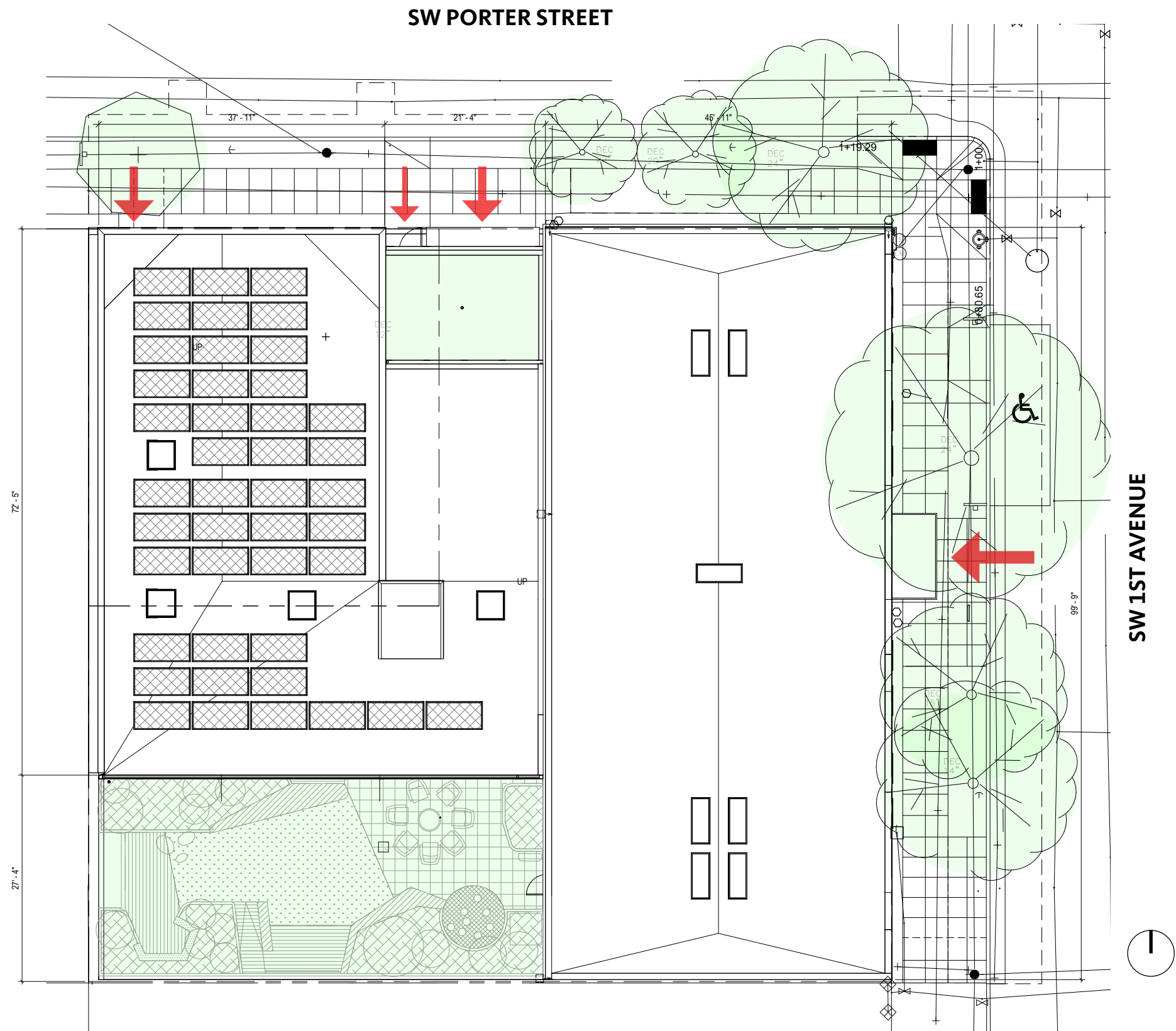
Uplift through Nature

Lean on the healing power of nature. Cultivate connection and belonging by using natural light, natural forms, and greenery.

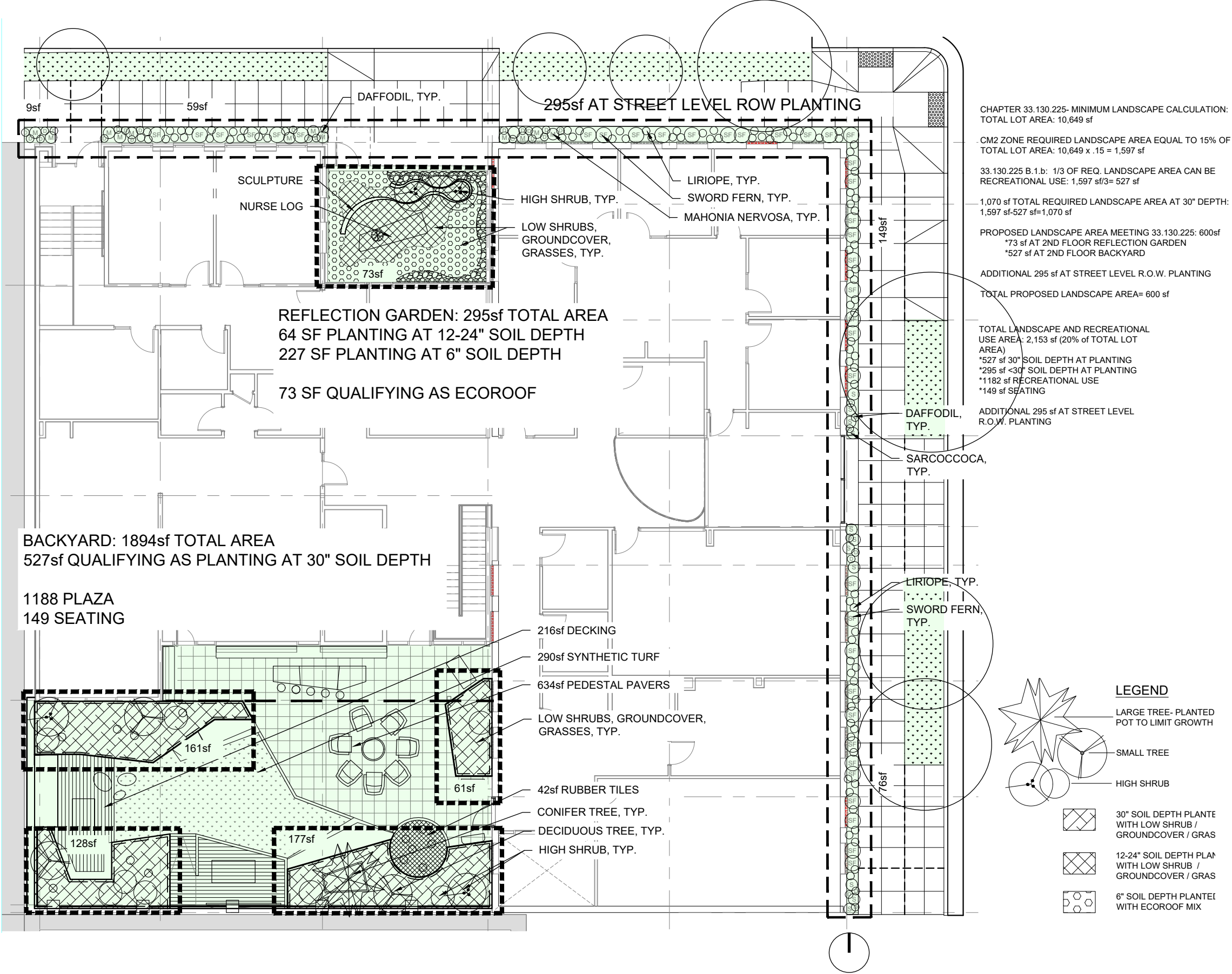
“Everyone just welcomed us in. And the feeling of being welcomed, and trusting new people was very new for us. You’re not known as the ‘cancer kid’... the girl with the bald head. Everyone just gets it!”

Maddie
Ukandu patient participant



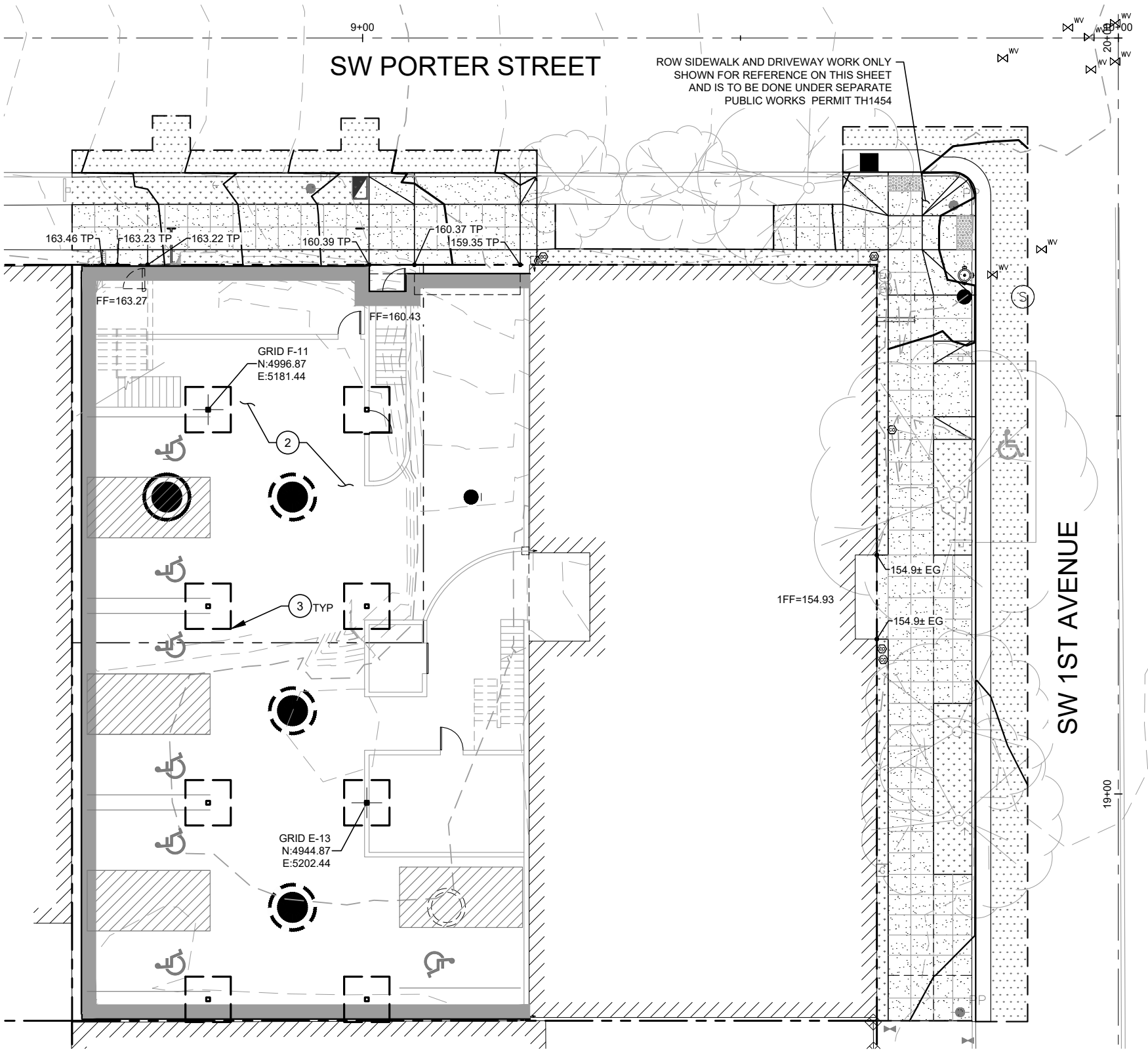


C3.4 LANDSCAPE PLAN



PLANTING SCHEDULE- REPRESENTATIVE LIST				
CODE	COMMON NAME	BOTANICAL NAME	MATURE SIZE HT X W	CONT.
TREES				
	WESTERN LARCH	LARIX OCCIDENTALIS	BONZAI TO 12-15' HT.	4'-5' HT
	PAPERBARK MAPLE	ACER GRISEUM	25'X20'	#5
	JAPANESE MAPLE	ACER PALMATUM	20'X20'	#5
	TRICOLOR BEECH	FAGUS SYLVATICA 'TRICOLOR'	30'X20'	#5
	STAR MAGNOLIA	MAGNOLIA STELLATA	30'X20'	#5
HIGH SHRUBS				
	VINE MAPLE	ACER CIRCINATUM	8'X6'	#3
	STRAWBERRY TREE	ARBUTUS UNEDO	8'X6'	#3
	CAMELLIA	CAMELLIA SP.	7'X5'	#3
	RED OSIER DOGWOOD	CORNUS SERICEA	6'X6'	#3
	JAPANESE FATSIA	FATSIA JAPONICA	7'X6'	#3
LOW SHRUBS				
	HUMMINGBIRD SUMMERSWEET	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	3'X3'	#2
	BUTTERCUP WINTERHAZEL	CORYLOPSIS PAUCIFLORA	4'X5'	#3
	BURKWOOD DAPHNE	DAPHNE X BURKWOODII	3'X5'	#2
	LITTLE HENRY SWEETSPIRE	ITEA VIRGINICA 'LITTLE HENRY'	3'X4'	#2
	BOX HONEYSUCKLE	LONICERA NITIDA	4'X5'	#2
	HEAVENLY BAMBOO	NANDINA DOMESTICA 'COMPACTA'	3'X3'	#2
	BUMALD SPIREA	SPIREA X BUMALDA	3'X3'	#2
	DAVID VIBURNUM	VIBURNUM DAVIDII	3'X3'	#2
	DWARF EUROPEAN CRANBERRY BUSH	VIBURNUM OPULUS 'NANUM'	3'X4'	#2
GROUNDCOVER, GRASSES				
	KINNICKINNICK	ARCTOSTAPHYLOS UVA URSI	1'X2'	#1
	BERGINIA	BERGINIA SP.	16"X1.5'	#1
	DEER FERN	BLECHUM SPICANT	1.5'X2'	#1
	SEDGE	CAREX MORROWI	2'X1.5'	#1
	BLUE FESCUE	FESTUCA GLAUCA	1'X1'	#1
	STRAWBERRY	FRAGARIA CHILOENSIS	6"X1.5'	#1
	BLUE OAT GRASS	HELICHTOTRICHON SEMPERVIRENS	2'X1.5'	#1
	HAKONE GRASS	HOKONECHLOA MACRA 'AUREOLA'	20"X2'	#1
	GROOVED RUSH	JUNCUS PATENS	3'X3'	#1
○	LIRIOPE	LIRIOPE MUSCARI	1'X1'	#1
⊕	LONGLEAF MAHONIA	MAHONIA NERVOSA	2'X2'	#1
	CREeping OREGON GRAPE	MAHONIA REPENS	18"X2'	#1
⊙	DAFFODIL	NARCISSUS SP.	1'X1'	BULB
⊗	SWORD FERN	POLYSTICHUM MUNITUM	2'X3'	#1
⊖	HIMALAYAN SARCOCCOCCA	SARCOCCOCCA HOOKERIANA HUMILIS	2'X2'	#1
	LAWN			SEED

C3.5 STORMWATER & GRADING PLAN



SHEET NOTES

- 1. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF WALL.
- 2. ALL SIDEWALK PAVEMENT JOINTS SHALL BE CONSTRUCTED PER DETAIL X/C5.X.
- 3. SLOPES PROVIDED ON SLOPE ARROW ARE FOR REFERENCE ONLY.
- 4. LANDINGS ON ACCESSIBLE ROUTES SHALL NOT EXCEED 1.5% IN ANY DIRECTION.
- 5. ALL ACCESSIBLE ROUTES SHALL COMPLY WITH CURRENT ADA ACCESSIBILITY GUIDELINES FOR BUILDING AND FACILITIES (ADAAG).
- 6. ALL WALKWAYS FROM ACCESSIBLE UNITS ARE DESIGNED TO NOT REQUIRE HANDRAILS. THEREFORE, RAMPS WITH SLOPES STEEPER THAN 5.0% AND LESS THAN 8.33% SHALL NOT EXCEED 0.5' RISE OR 6.0' LENGTH.
- 7. TOP OF CONCRETE OUTSIDE DOOR = FF ELEV. MINUS 0.02' SLOPE LANDING 1.5% AWAY FROM BLDG.

KEY NOTES

- 1 SAWCUT LINE
- 2 BUILDING PER ARCH
- 3 FOOTING PER STRUCTURAL

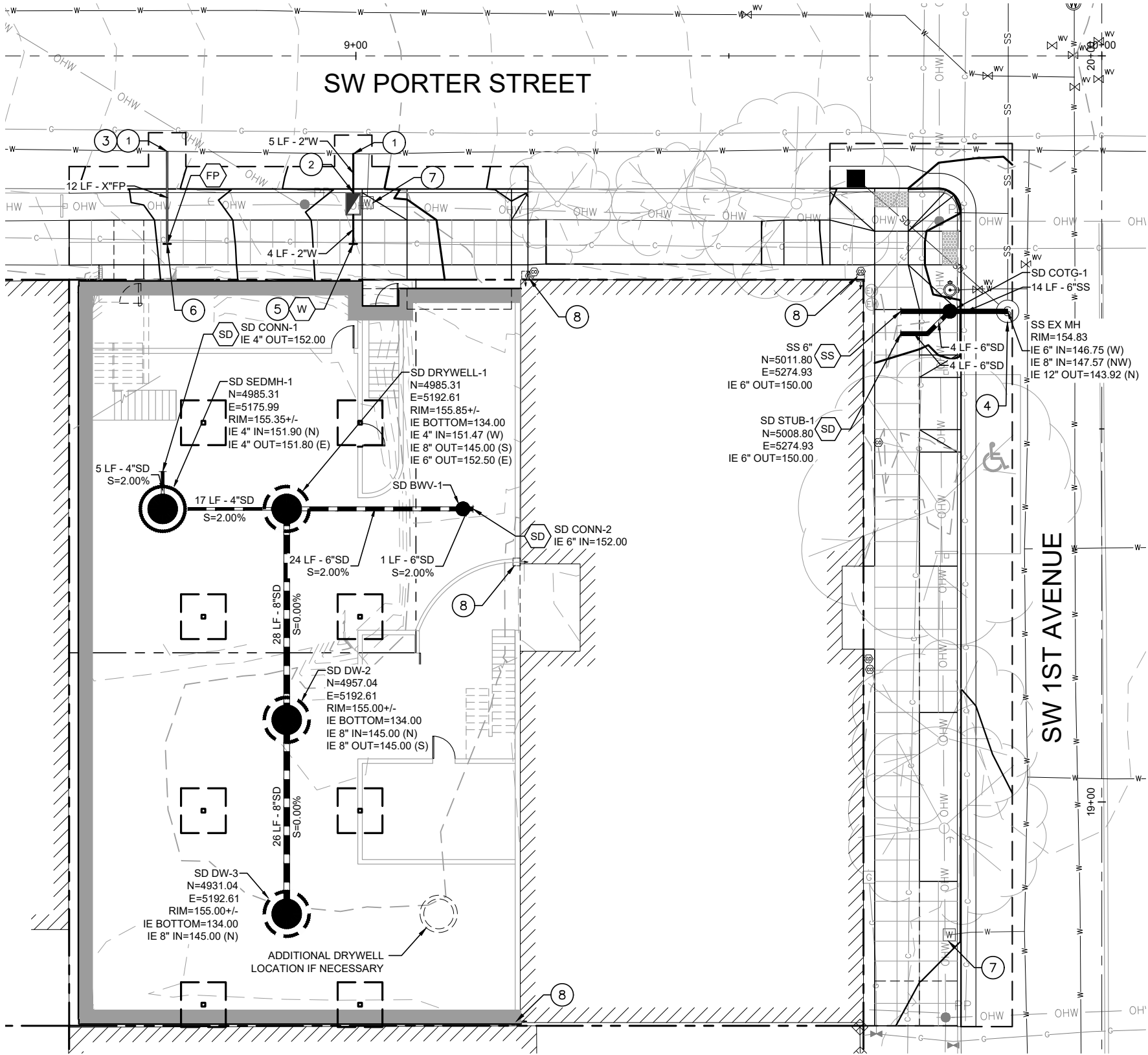
SHEET LEGEND

	PROPERTY LINE
	CONCRETE SIDEWALK
	STANDARD ASPHALT PAVEMENT
	LANDSCAPING, SEE LANDSCAPE PLANS
	GRADE BREAK
	EX. CONTOUR MINOR
	EX. CONTOUR MAJOR
	CONTOUR MINOR (FG)
	CONTOUR MAJOR (FG)

GRADING LABEL LEGEND

CALLOUT	DESCRIPTION
	GRADING SLOPE AND DIRECTION (DOWNHILL)
	SPOT ELEVATION DESCRIPTION LISTED BELOW. NO DESCRIPTION MEANS TP OR TG
XX.XX XX	EXISTING GRADE
EG	FINISHED FLOOR
FF	TOP OF PAVEMENT
TP	

C3.6 STORMWATER & UTILITY PLAN



- KEY NOTES**
- 1 ALL WATER CONNECTIONS BY PORTLAND WATER BUREAU.
 - 2 INSTALL 1.5" WATER METER BY PORTLAND WATER BUREAU. APPLICANT MUST CONTACT PWB AT WBISTATESHED@PORTLANDOREGON.GOV TO REQUEST INSTALLATION. CONTRACTOR TO CONNECT TO THE SHORT STUB-OUT ON THE BACK SIDE OF THE NEW WATER METER VAULT. COORDINATE VAULT ELEVATION WITH SEPARATE PUBLIC WORKS PERMIT XXXX.
 - 3 INSTALL X" FIRE SERVICE BY PORTLAND WATER BUREAU. APPLICANT MUST CONTACT PWB AT WBISTATESHED@PORTLANDOREGON.GOV TO REQUEST INSTALLATION. CONTRACTOR TO CONNECT TO THE SHORT STUB-OUT ON THE BACK SIDE OF THE NEW CURB GATE VALVE.
 - 4 CONNECT PROPOSED SANITARY SEWER LATERAL TO SANITARY MANHOLE PER CITY STANDARDS.
 - 5 RPBA TO BE INSTALLED INSIDE BUILDING. SEE PLUMBING PLANS
 - 6 DCDA TO BE INSTALLED INSIDE BUILDING. SEE PLUMBING PLANS
 - 7 KILL EXISTING WATER SERVICE BY PORTLAND WATER BUREAU
 - 8 REROUTE ROOF DRAINS INTO BUILDING. SEE PLUMBING PLANS

UTILITY LABEL LEGEND

STRUCTURE LABEL

UTILITY TYPE (SD=STORM DRAINAGE, S=SANITARY SEWER, W=WATER, FP=FIRE PROTECTION)

STRUCTURE TYPE CALLOUT

ID NUMBER (WHERE APPLICABLE)

XX XX-XX
N=XXX.XX
E=XXX.XX
RIM=XXX.X
IE IN = XX.X
IE OUT = XX.X

LOCATION (WHERE APPLICABLE)

STRUCTURE INFO (WHERE APPLICABLE)

PIPE LABEL

UTILITY LENGTH

UTILITY SIZE

UTILITY TYPE

XXLF - XX" XX

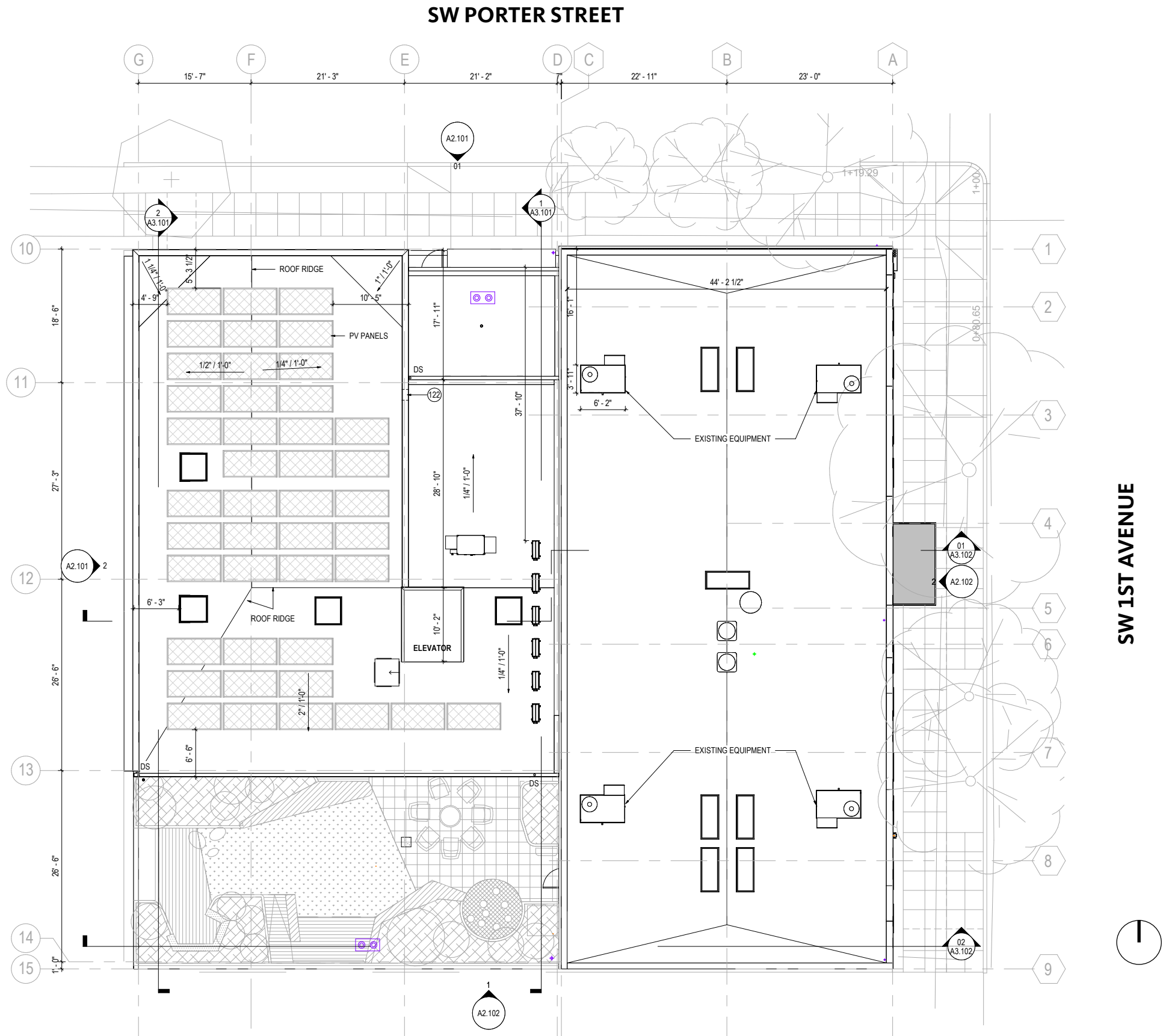
S=X.XX%

SLOPE (WHERE APPLICABLE)

STRUCTURE TYPE

CALLOUT	DESCRIPTION	DETAIL REF.
BEND	BEND, USE FITTING IF APPLICABLE	(X) C5.X
BWV	BACK WATER VALVE	(X) C5.X
CONN	CONNECTION	(X) C5.X
DW	DRYWELL	
FD	FOUNDATION DRAINAGE POINT OF CONN.	
GV	GATE VALVE	
SSMH	48" DIA. SANITARY MH	
SEDMH	SEDIMENTATION MANHOLE	
TEE	TEE CONNECTION	
WYE	WYE CONNECTION	
RPBA	REDUCED PRESSURE BACKFLOW ASSEMBLY	
DCDA	DOUBLE CHECK DETECTOR ASSEMBLY	

- SHEET LEGEND**
- FP CONNECT TO FIRE PROTECTION SYSTEM. SIZE AS NOTED. SEE PLUMBING PLANS FOR CONTINUATION.
 - SS CONNECT TO WASTE LINE. SEE PLUMBING PLANS FOR CONTINUATION. SIZE AS NOTED.
 - SD CONNECT TO STORM LINE. SEE PLUMBING PLANS FOR CONTINUATION. SIZE AND IE AS NOTED.
 - W CONNECT TO COLD WATER SYSTEM. SEE PLUMBING PLANS FOR CONTINUATION. SIZE AS NOTED.
 - II UTILITY CROSSING. PROVIDE 12" MIN. CLEARANCE, U.N.O.

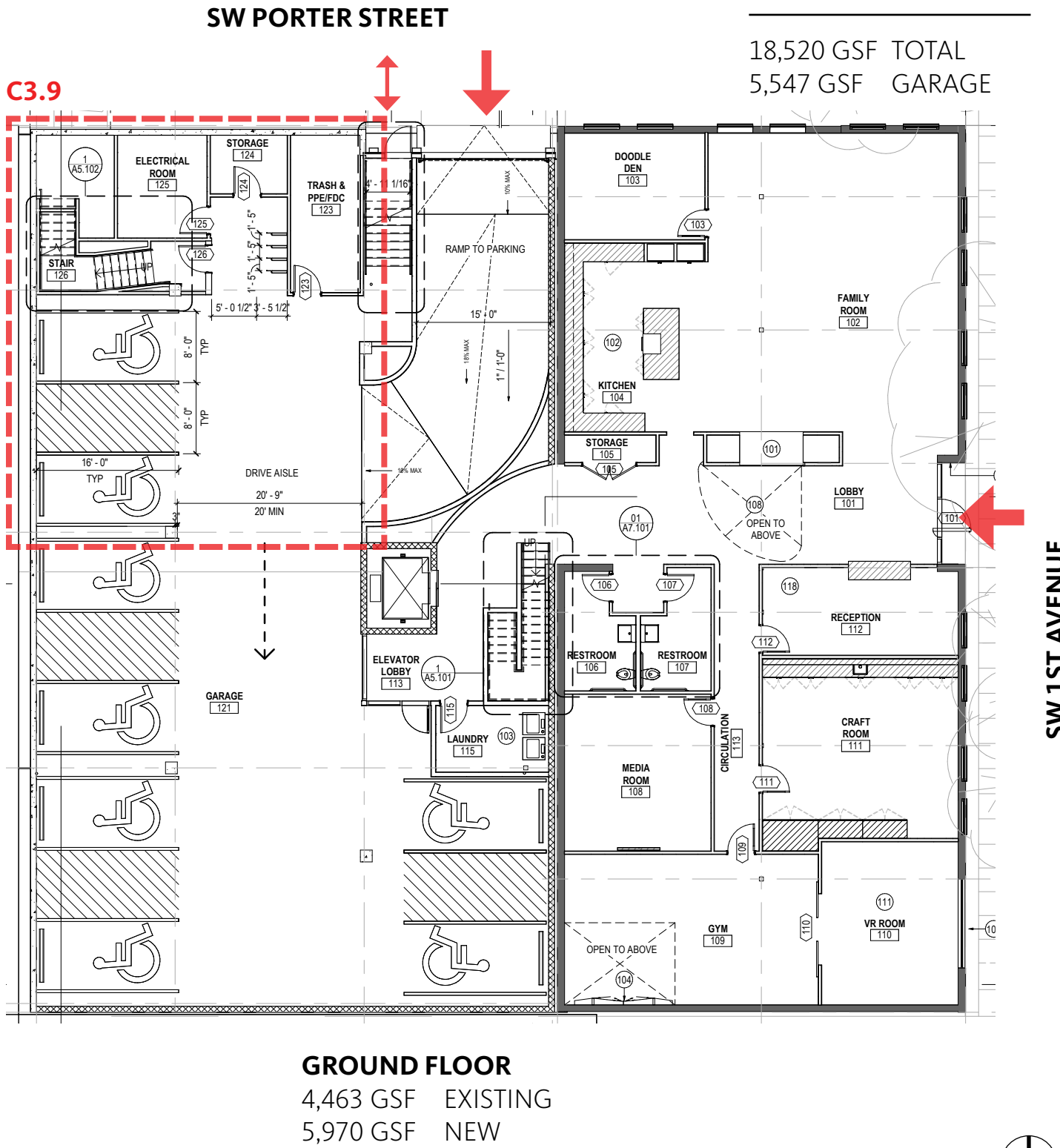
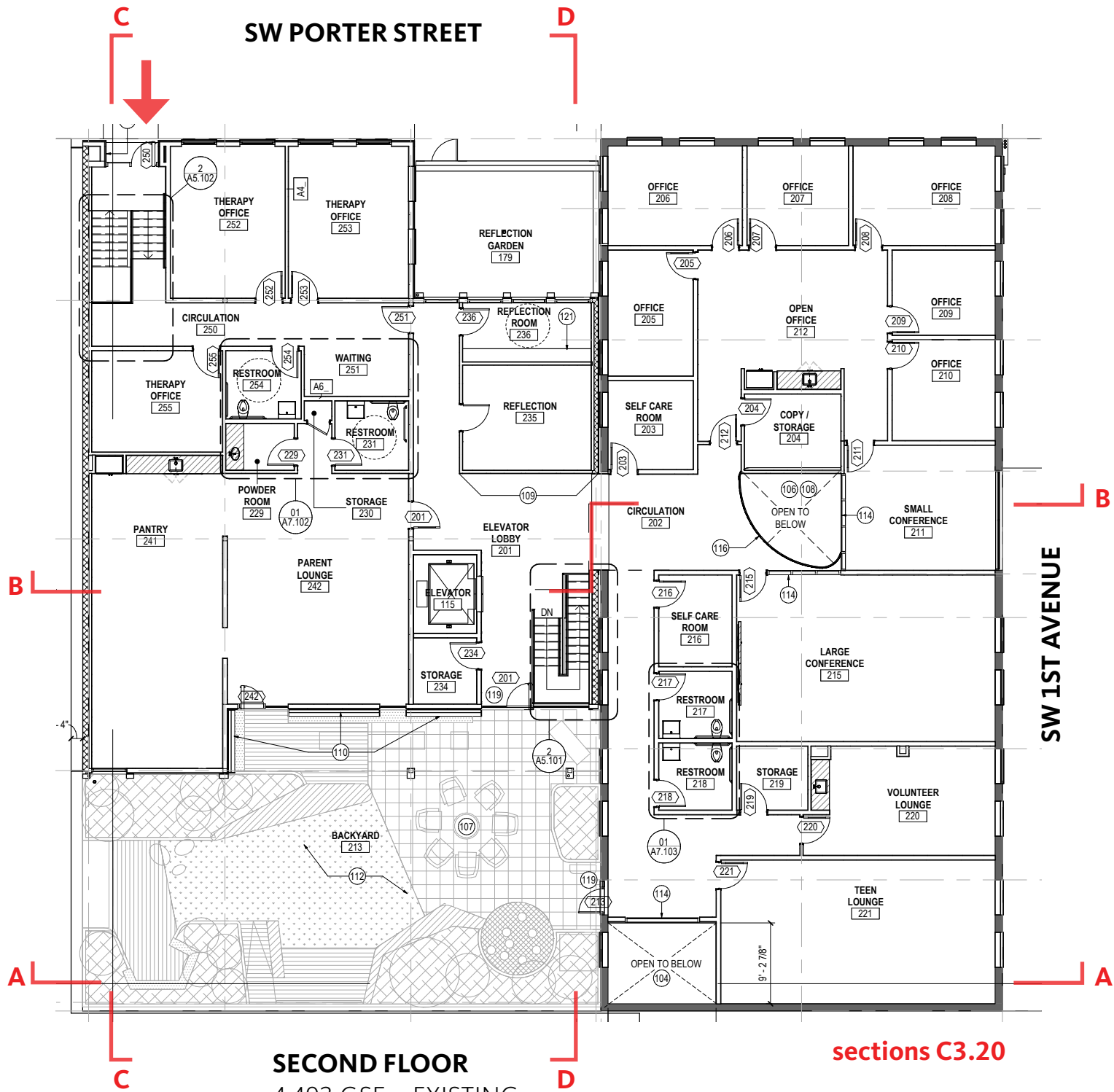


C3.8 FLOOR PLANS

TOTAL BUILDING

8,956 GSF EXISTING
9,564 GSF NEW

18,520 GSF TOTAL
5,547 GSF GARAGE



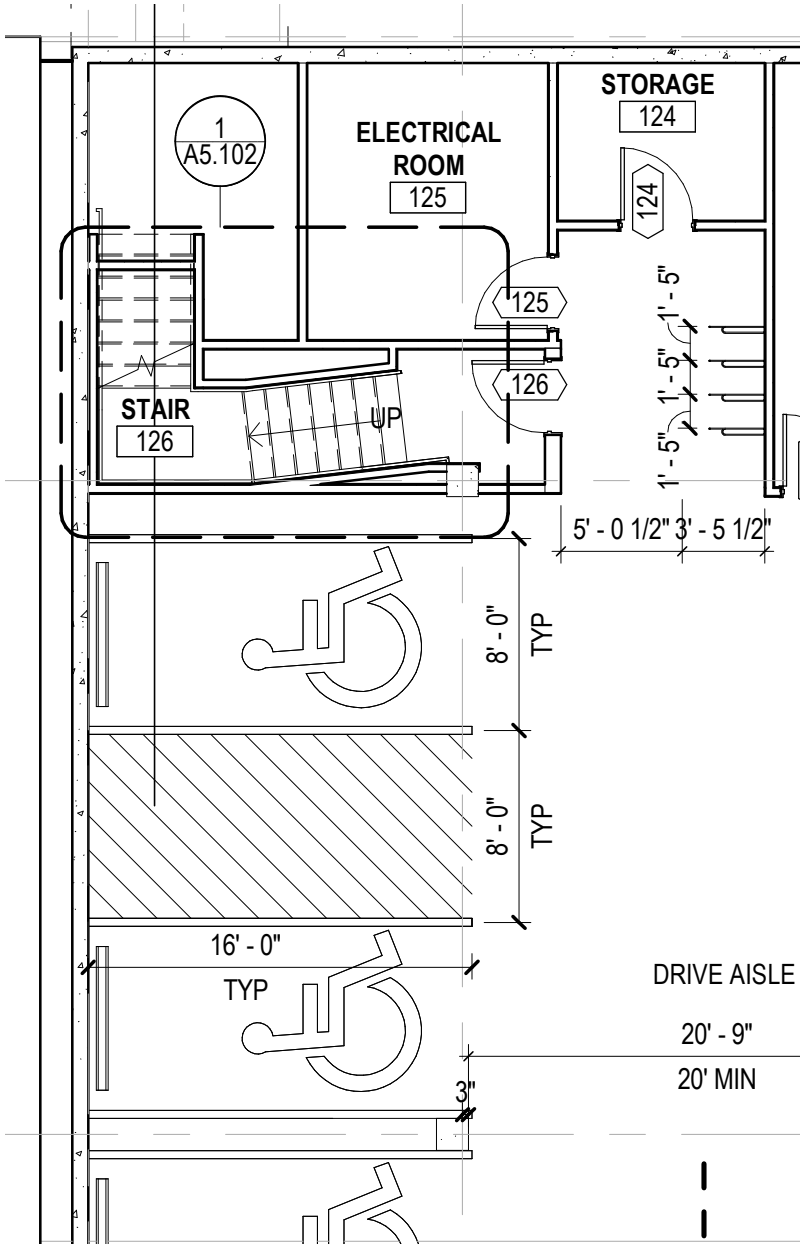
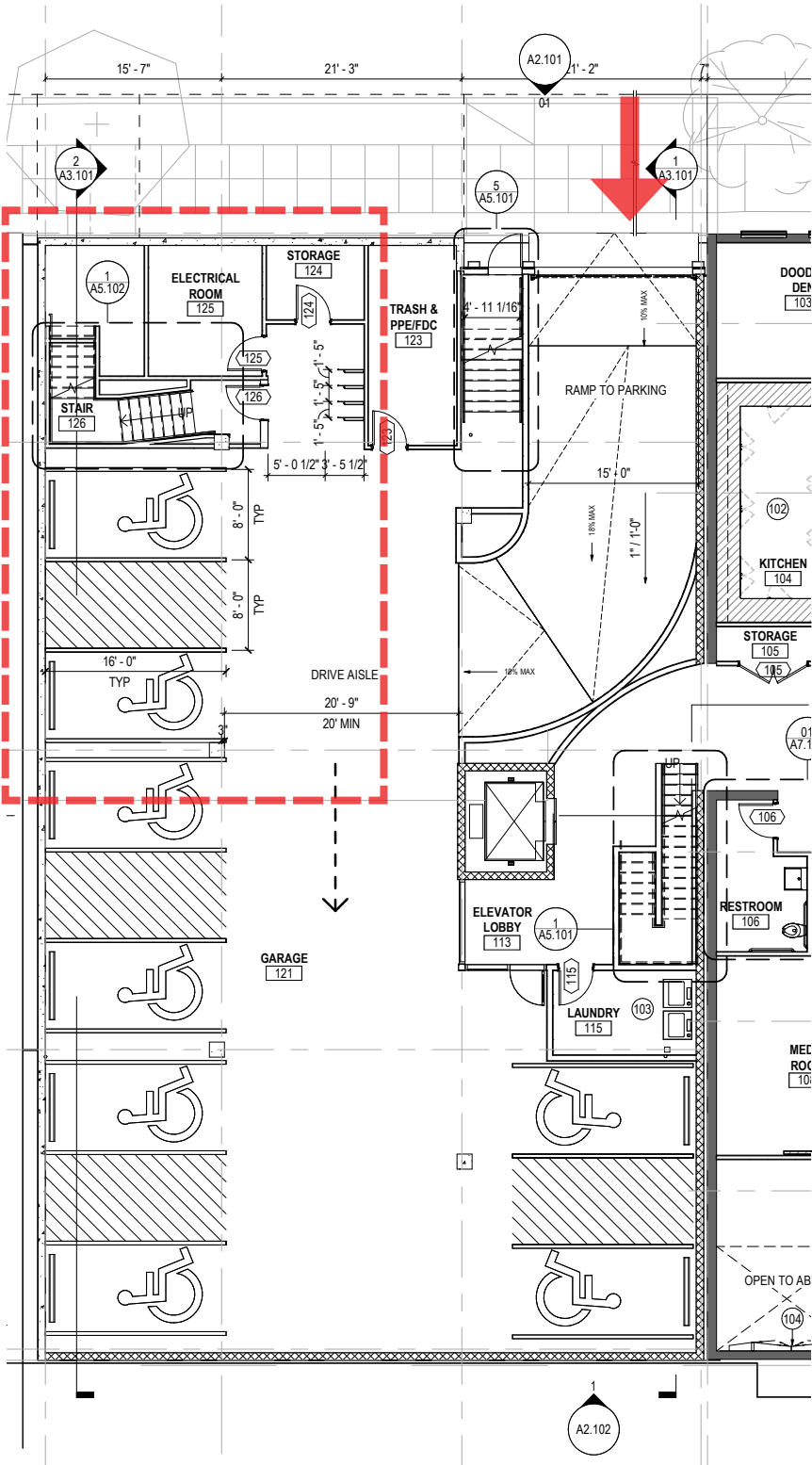


Table 266-6 Minimum Required Bicycle Parking Spaces [1]					
		Long-term Spaces		Short-term Spaces	
Uses	Specific Uses	Standard A	Standard B	Standard A	Standard B
Commercial Categories					
Retail Sales and Services		2, or 1 per 3,800 sq. ft. of net building area	2, or 1 per 7,500 sq. ft. of net building area	2, or 1 per 2,700 sq. ft. of net building area	2, or 1 per 4,400 sq. ft. of net building area
	Temporary lodging	2, or 1 per 20 rentable rooms	2, or 1 per 20 rentable rooms	2, or 1 per 40 rentable rooms; and 1 per 5,000 sq. ft. of conference, meeting room	2, or 1 per 40 rentable rooms; and 1 per 10,000 sq. ft. of conference, meeting room
	Restaurant and Bar	2, or 1 per 2,300 sq. ft. of net building area	2, or 1 per 4,800 sq. ft. of net building area	2, or 1 per 1,000 sq. ft. of net building area	2, or 1 per 1,600 sq. ft. of net building area
Office		2, or 1 per 1,800 sq. ft. of net building area	2, or 1 per 3,500 sq. ft. of net building area	2, or 1 per 20,000 sq. ft. of net building area	2, or 1 per 33,000 sq. ft. of net building area

BICYCLE PARKING

2(E) Short-term spaces (see site plan)
4 Long-term spaces*

*2 Long-term spaces are required for new addition.

LOADING – 33.266.310.C. One loading space meeting Standard A is required for buildings with at least 20,000 and up to 50,000 square feet of net building area in uses other than Household Living. Two loading spaces meeting Standard A are required for buildings with more than 50,000 square feet of net building area in uses other than Household Living.

CAR PARKING

Maximum - 1 per 300 sq. ft. of net building area
40 stalls allowed
8 Accessible van stalls provided





3D VIEW - NE CORNER

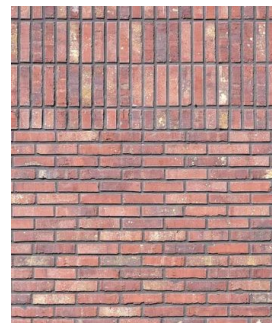


3D VIEW - NW CORNER

C3.12 NORTH ELEVATION

PROPOSED MATERIALS

- A. RUNNING BOND STANDARD BRICK
- B. ALUMINUM CLAD WINDOWS
- C. METAL CLADDING
- D. METAL & GLASS GARAGE DOOR
- E. METAL COPING CAP
- F. CONCRETE BASE
- G. PLANTED ROOF
- H. METAL TRIM CLOSURE CAP



A



B



C



D



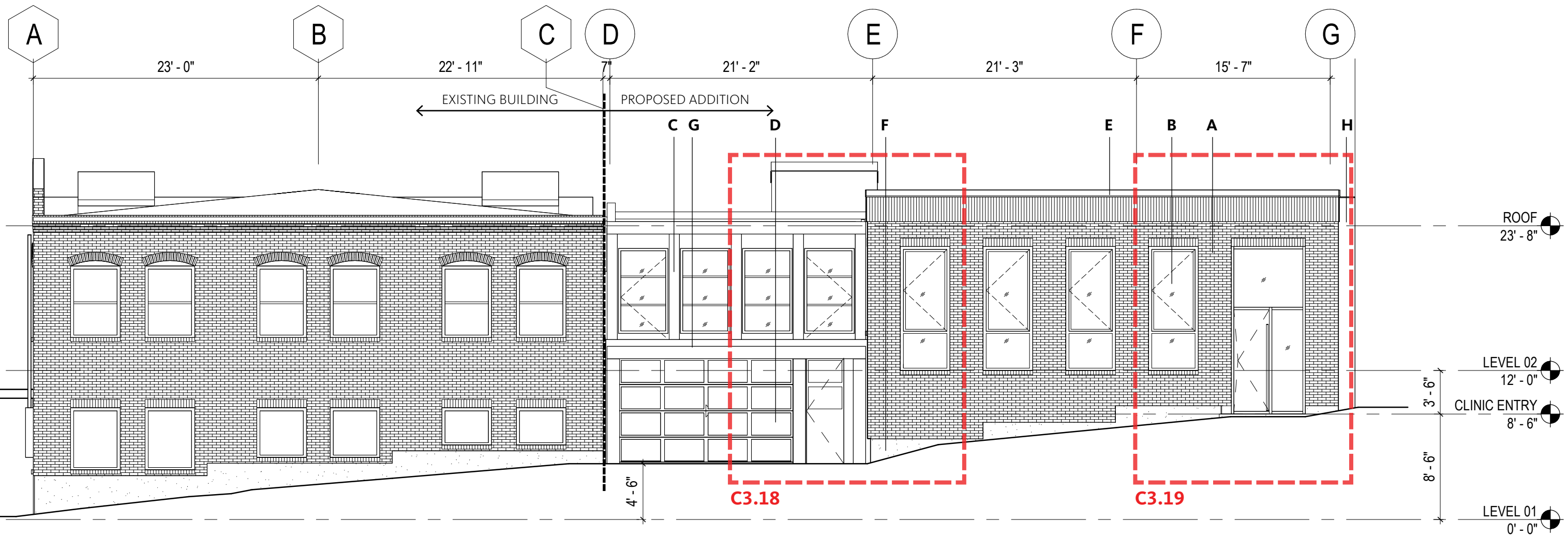
E



F



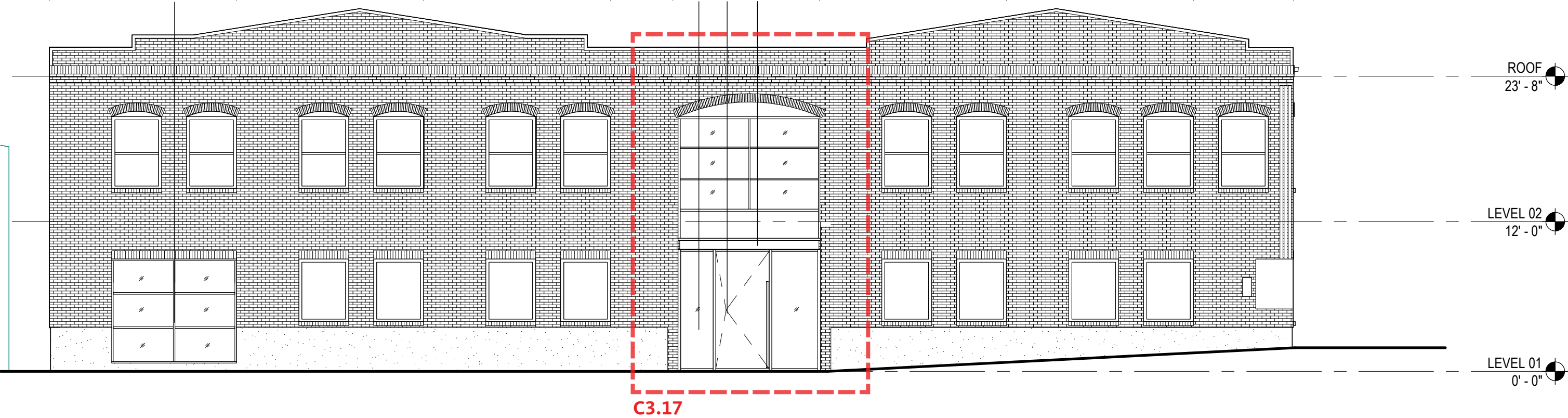
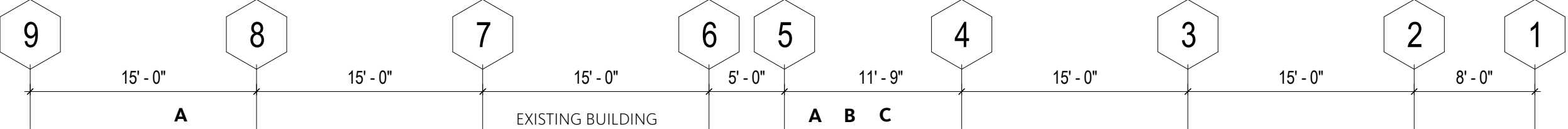
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C3.13 EAST ELEVATION

PROPOSED MATERIALS

- A. ALUMINUM STORE FRONT
- B. SOLID WOOD DOOR
- C. ENTRY CANOPY WITH WOOD SOFFIT



C3.14 SOUTH ELEVATION

PROPOSED MATERIALS

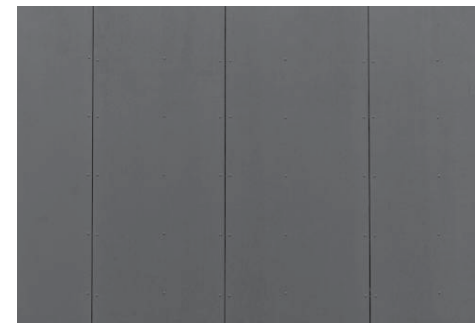
- A. ALUMINUM STORE FRONT
- B. CUSTOM DONOR WALL
- C. METAL CLADDING



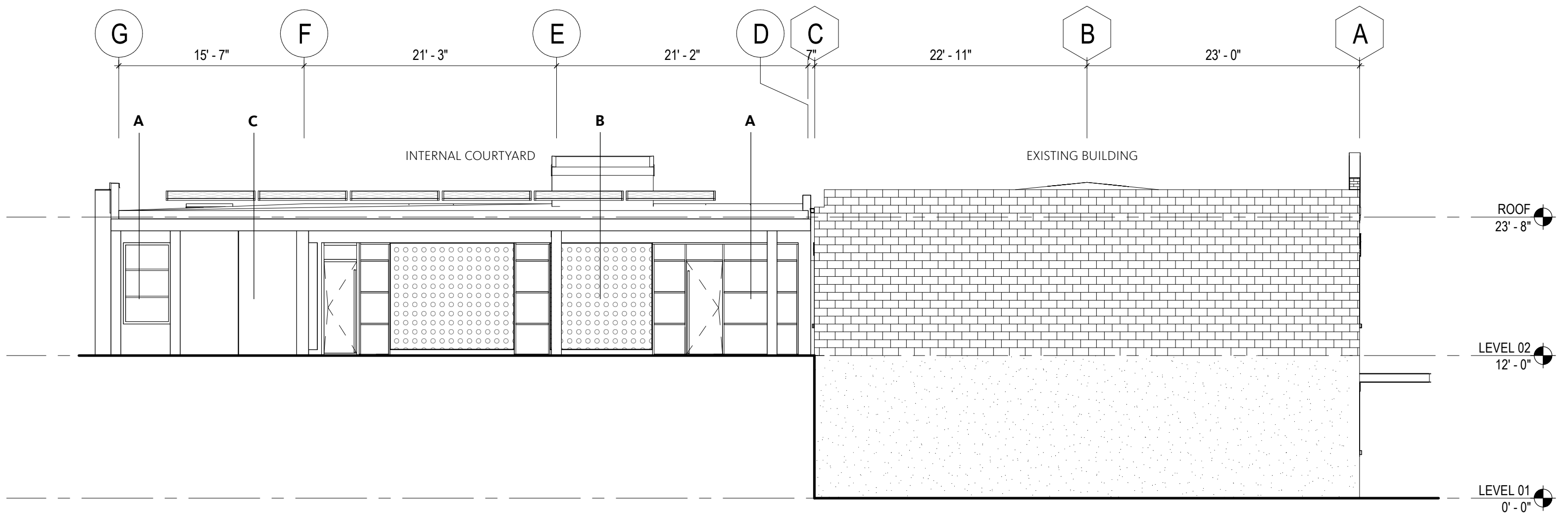
A



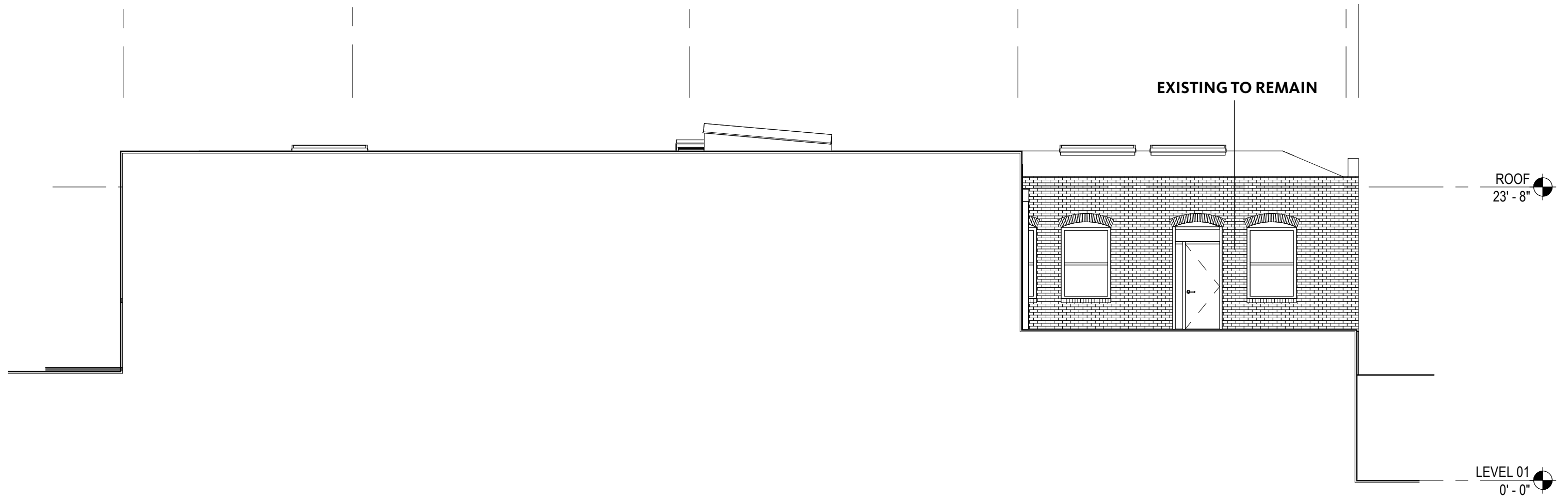
B



C



C3.15 WEST ELEVATION





East Elevation
Elevations presented at DAR hearing August 26, 2024



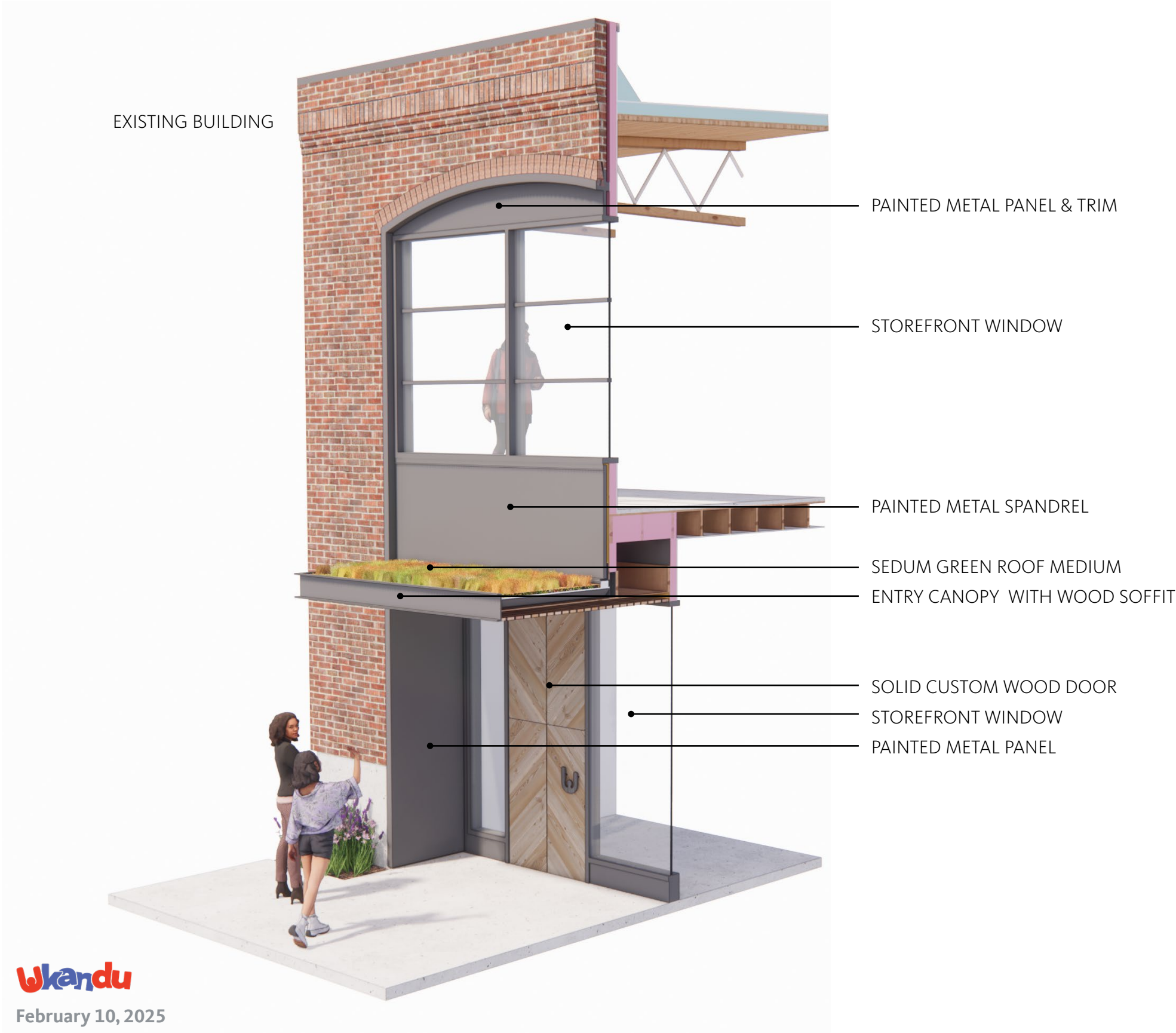
North Elevation



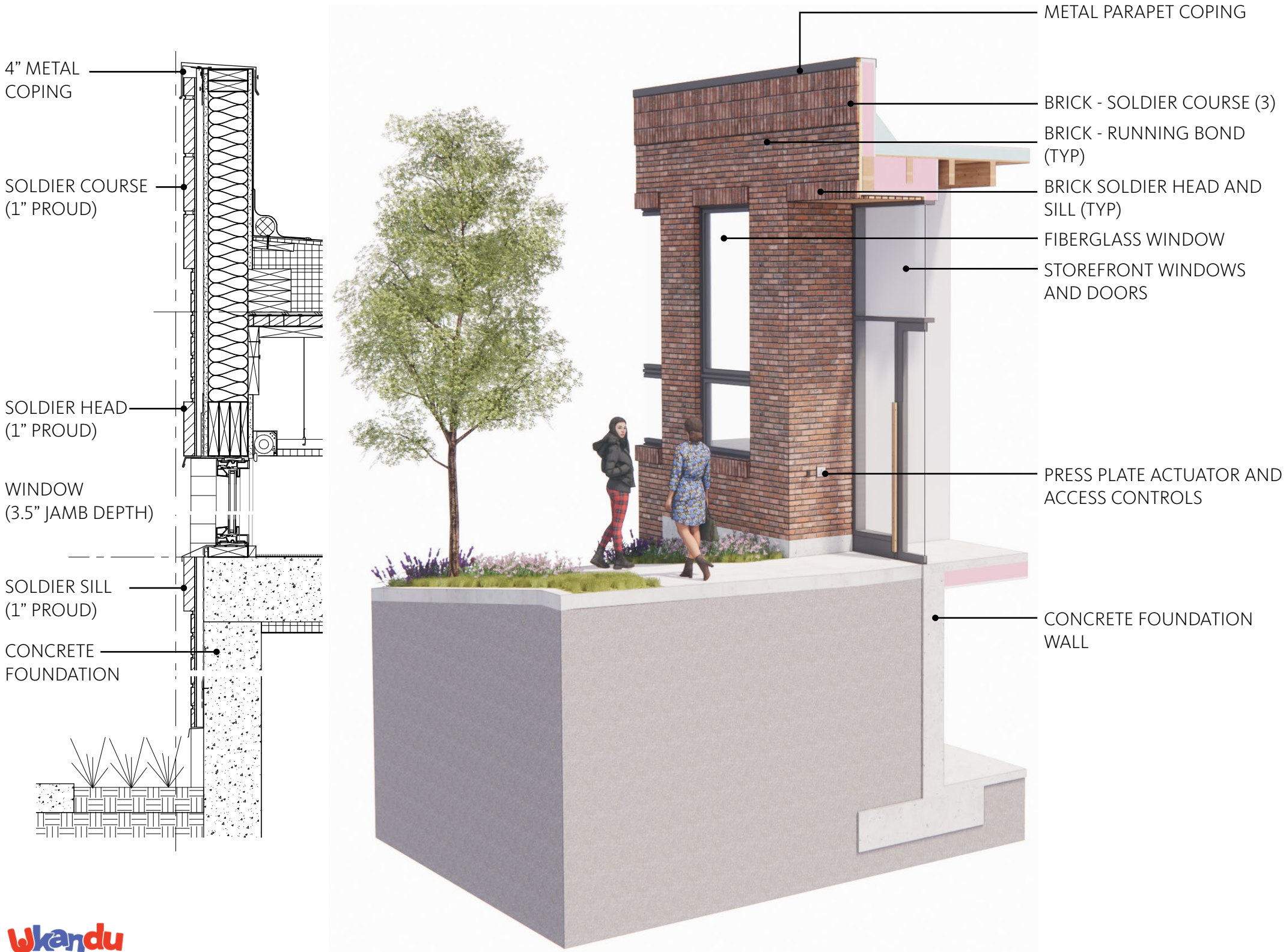
East Elevation
Updated Elevations



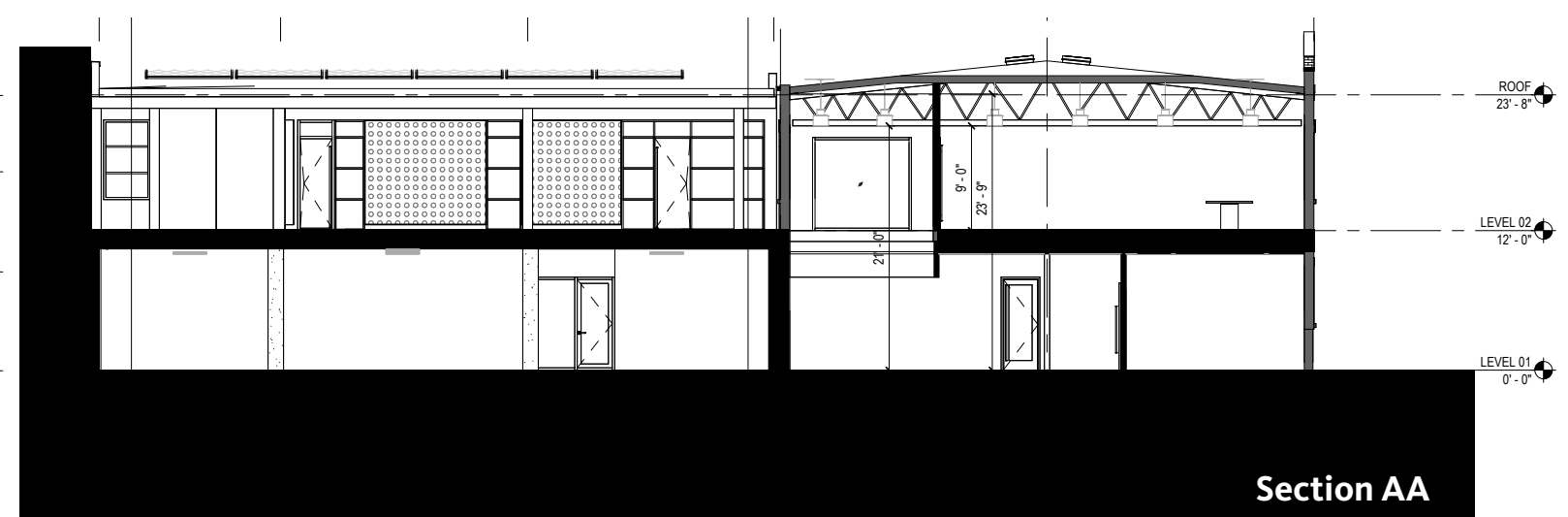
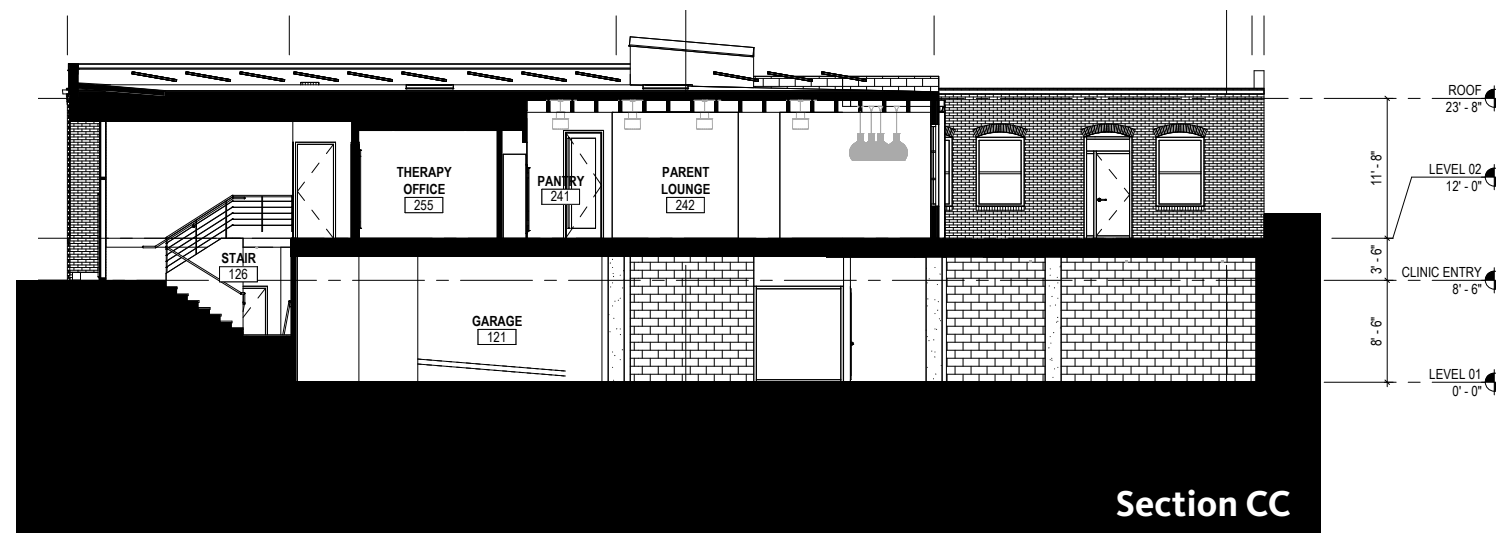
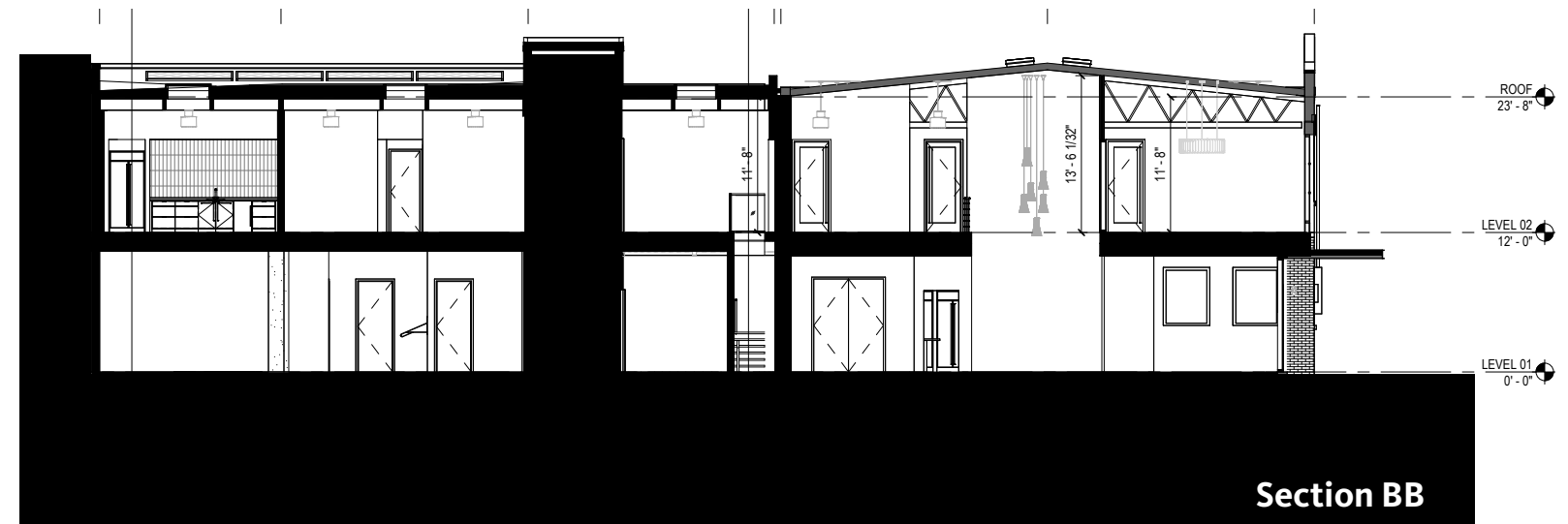
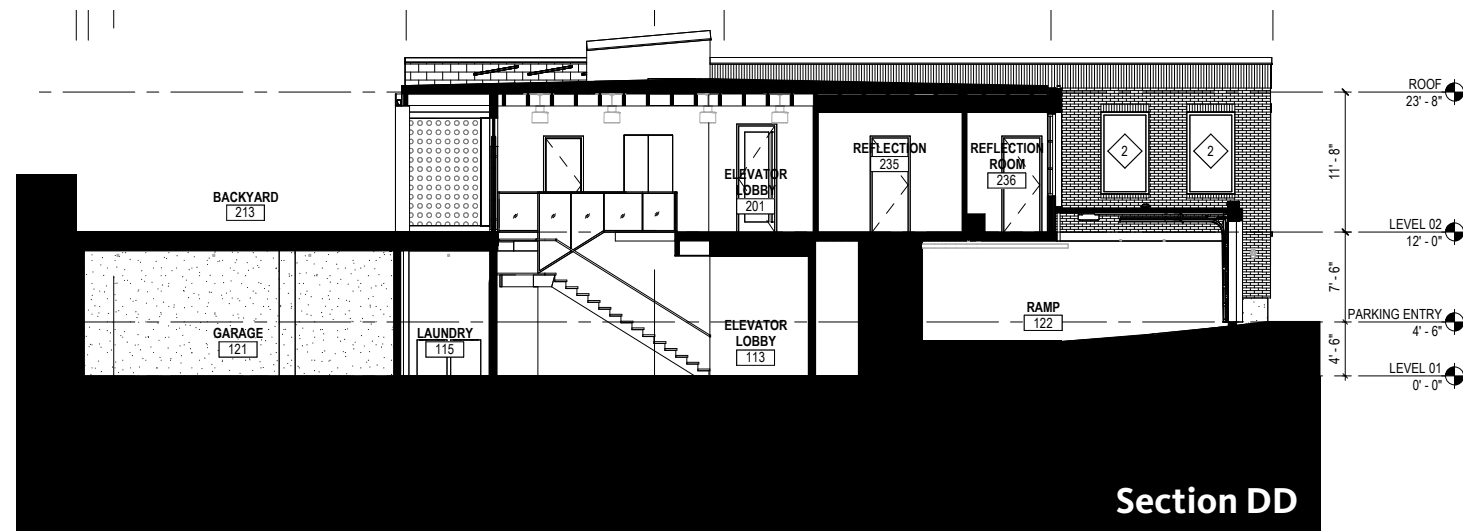
North Elevation







C3.20 BUILDING SECTIONS



WINDOWS

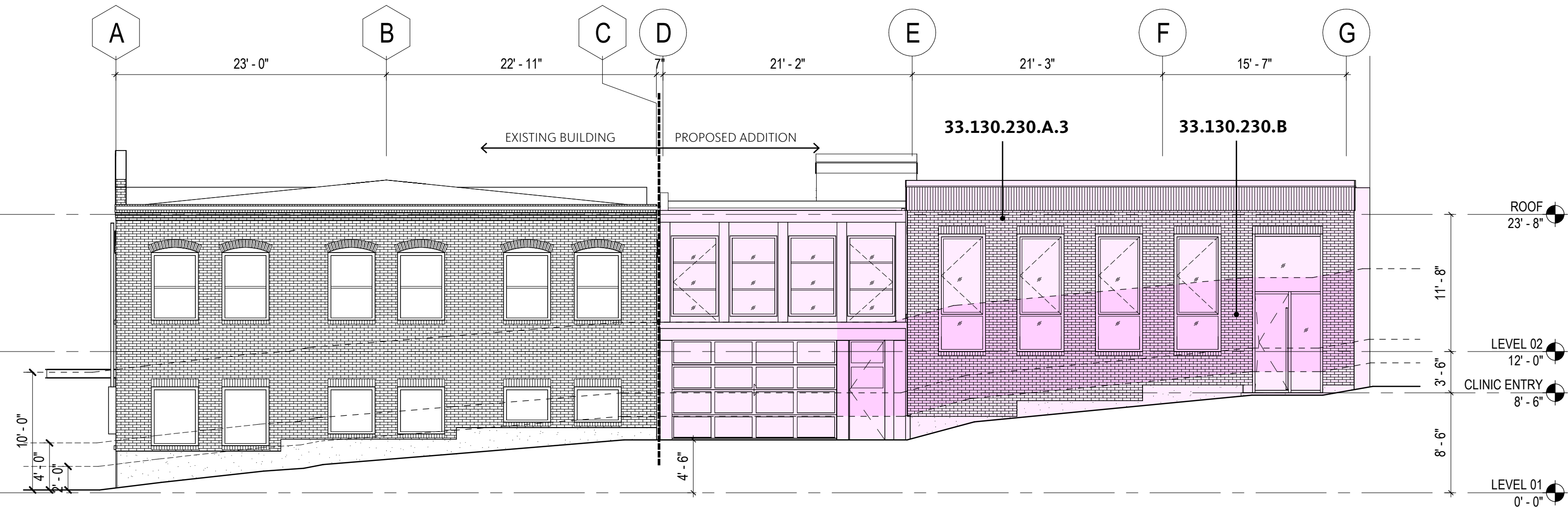
33.130.230.A.3 Windows in street-facing facades. At least **15 percent** of the area of each facade that faces a street lot line must be windows or main entrance doors.

33.130.230.B Ground floor windows. For the purposes of this standard, ground floor wall areas include all exterior wall areas from 2 feet to 10 feet above the finished grade, and include openings in the walls of structured parking. On secondary street frontage ground level street-facing facades that are 20 feet or closer to the street lot line must have windows that cover **25 percent** of the ground level wall area. The bottom of qualifying windows must be no more than 4 feet above the adjacent exterior grade.

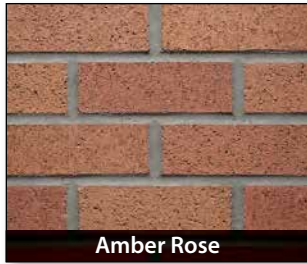
Exemptions (3) One opening for vehicular access to on site parking area.

33.130.230.A.3 Windows in street-facing facades = 33%

33.130.230.B Ground floor windows = 20%
(36% without 4 ft sill max.)



APPENDIX



Amber Rose



Brown Varitone



Desert Rose



Burgundy



Red Varitone



Tan Terra



Imperial Red



Inca



Vintage



Chestnut



Teal Brown

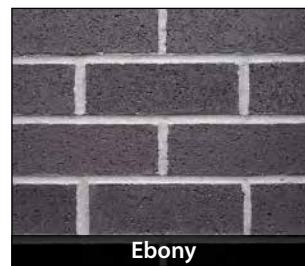


Mauna Loa

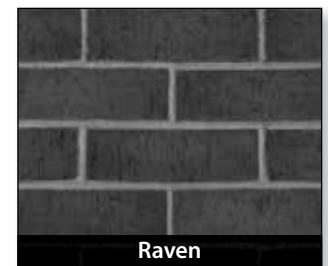
SPECIAL ORDER COLORS SHOWN.

Not all colors, shapes and sizes are shown.

Please see Facebrick colors on our website for the full potential range, or contact your local Mutual Materials sales rep for current listing.



Ebony



Raven

ARCHITECTURAL SERIES PRODUCT SPECS

SPECIFICATION:

Mutual Materials Slimbrick will meet or exceed
 ASTM C-1088, Grade Exterior, Type TBX.

TEXTURES:

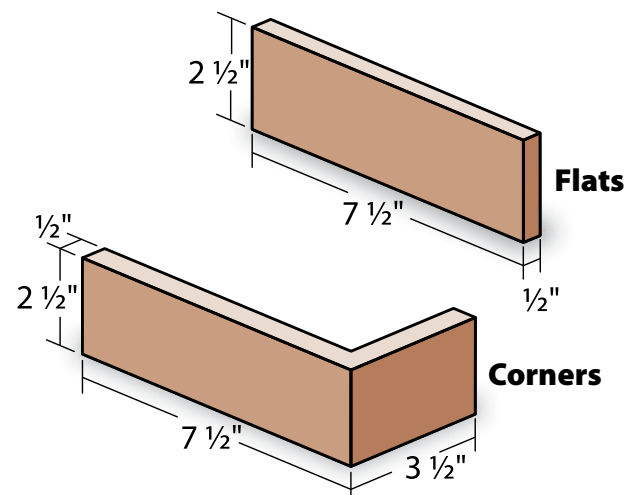
Light Wire Cut

Mission and Smooth: Special order

Other sizes and shapes are available

ARCHITECTURAL SERIES BY THE PALLET

SHAPE	PIECES	COVERAGE	WEIGHT
Flats	2,160	360 square ft.	1,300 lbs
Corners	720	180 lineal ft.	650 lbs



ALPOLIC®
METAL COMPOSITE MATERIALS

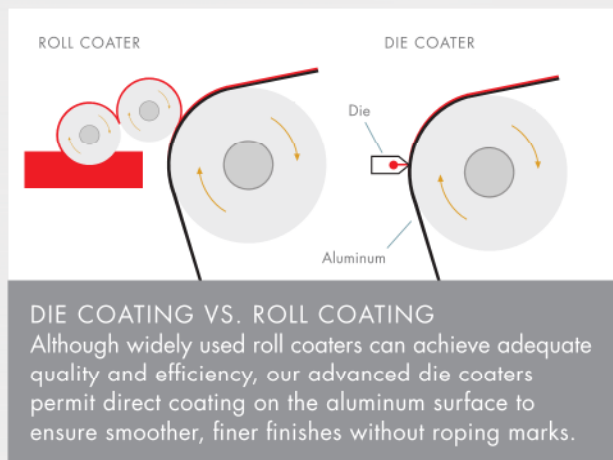
Your Design | **Perfected**

STOCK **COLOR** CHART

Choose the Highest Standard of Quality, Durability and Beauty

HIGH-PERFORMANCE FLUOROPOLYMER RESINS – Our Lumiflon® FEVE and Kynar® PVDF resins are the most advanced architectural coatings available, meeting or exceeding AAMA 2605 specifications to deliver superior durability, weatherability and chemical resistance. Choose Lumiflon® FEVE for the broadest color palette with a gloss range from satin to high luster. This remarkable finish can also be touched up with an air-dry system.

SHORT RUN CAPABILITIES – With our advanced die coating process and controlled curing, we can coil coat as little as 1,000 square feet of material in a broad choice of colors. You can count on the same color consistency, quality and lengthy warranty we offer for the largest orders. Gain practically unlimited design flexibility, thanks to our ability to deliver short runs of custom colors in your choice of 40-, 50- or 62-inch widths.

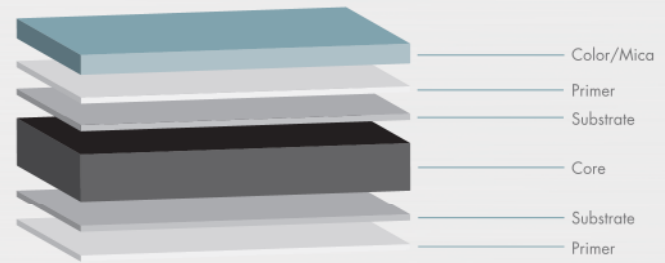


GLOSS RANGE – Different gloss levels can significantly change the eye's perception of color. If you would like a different gloss level than the sample you submit for color matching, let us know. We will work with you directly to ensure the gloss level you want is achieved.

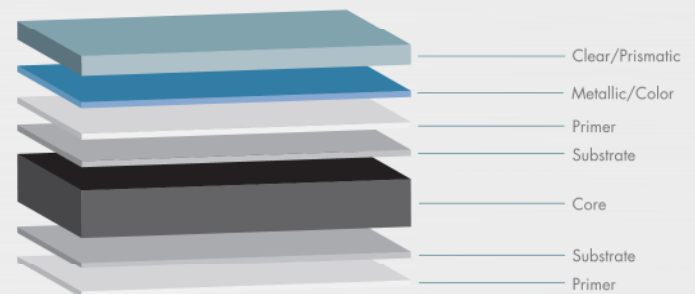
FINISH DIRECTIONALITY – For best color consistency, maintain the same directionality throughout design, estimation, fabrication and construction.

We recommend ordering finishes for your entire job at one time, from one lot of material.

2 Coat Solid/Mica



3 Coat Metallic/Prismatic



LIGHT REFLECTANCE VALUE – LRV numbers indicate the percentage of visible light reflected by the surface. This value is defined in ASTM C609 as the Y value in an XYZ/Yxy color space. While the LRV values shown on this chart are typical, there can be slight variations between individual lots.

SOLAR REFLECTANCE INDEX – SRI numbers, as defined by ASTM E1980 using 12 W/m²K values, indicate the material's reflectivity (how well it reflects back instead of absorbing radiant energy) and emissivity (how well it radiates absorbed heat back into the environment). The Cool Roof Rating Council (CRRCC) requires an SRI value of 29 or greater for steep-slope roofs to earn a "Cool" rating. Most of our Architectural stock colors meet this requirement, and we have added "Cool" after the SRI value for easy reference.

For expert assistance with product availability, material selection, sizing and colors, please contact your local ALPOLIC® sales office.

30 Year Finish Warranty Stock Colors

Stocked in 4mm thick panels

SOLID



Bone White
4-BNT-30
LRV 78.50/SRI 82-Cool



Oyster
4-CRT-30
LRV 72.66/SRI 82-Cool



Mist White
4-MST-30
LRV 69.95/SRI 75-Cool



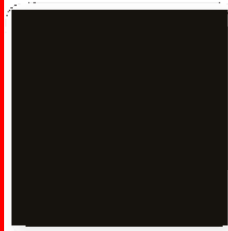
Aluminum Grey
4-AGT-30
LRV 31.60/SRI 56



RGY Grey
4-RGY-50
LRV 10.41/SRI 7



Bronze
4-JBR-30
LRV 3.24/SRI 2



TOB Black
4-TOB-15
LRV 1.01/SRI 0

MICA



Mica Platinum
4-PT-50
LRV 30.88/SRI 53-Cool



Mica Anodic Clear
4-MNC-30
LRV 34.43/SRI 56-Cool



Mica Champagne
4-MCU-30
LRV 22.61/SRI 38-Cool



Mica Grey
4-MZG-50
LRV 7.95/SRI 14

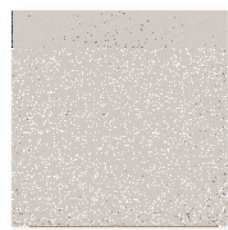


Mica MFS Grey
4-MFS-30
LRV 13.41

METALLIC



BSX Silver Metallic
4-BSX-30
LRV 30.94/SRI 71-Cool



Silver Metallic
4-SMX-30
LRV 36.59/SRI 63-Cool



Champagne Metallic
4-CMX-30
LRV 31.19/SRI 59-Cool



Medium Bronze Metallic
4-MBX-30
LRV 31.20/SRI 40-Cool

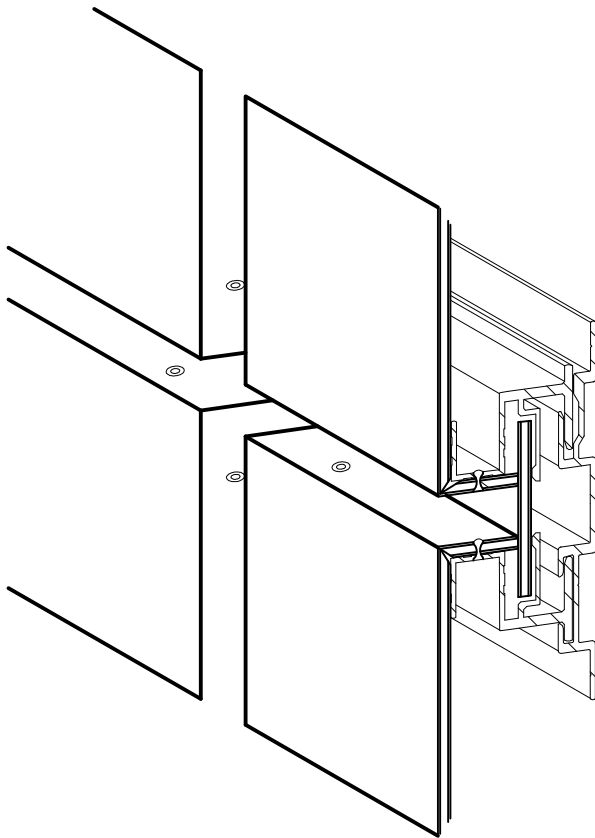


Dark Copper Metallic
4-DCX-30
LRV 15.09/SRI 47-Cool

Order samples at www.alpolic-america.com/samples

P.O. Box 2170
Fairview, Or 97024
office: 503-667-0650
fax: 503-296-2441
info@pacificpanelsystems.com

P-125 PER Panel



FEATURES/BENEFITS

6063 structural aluminum frame
Floating clip system
All exposed surfaces from same composite
coiled coated material
No exposed fasteners
Little or no maintenance required
Adjustable panel depth from $1\frac{1}{4}$ " to 2" deep

P-125 PER is a pressure equalized rain screen system that is manufactured with a 4mm composite panel, attached to a concealed extruded aluminum frame

PANEL SYSTEM TESTED TO MEET

AAMA 501 Standards include
ASTM E283 Air penetration
ASTM E331 Water penetration
ASTM E330 Structural performance
AAMA 501.4 Seismic movement
AAMA 508-07 Pressure equalization
ASTM E1233-06 Structural performance

4MM COMPOSITE PANELS

Polyethylene or Fire Rated core
Pre-finished or anodized aluminum
Copper
Stainless Steel
Zinc
Other materials upon request

SIZES

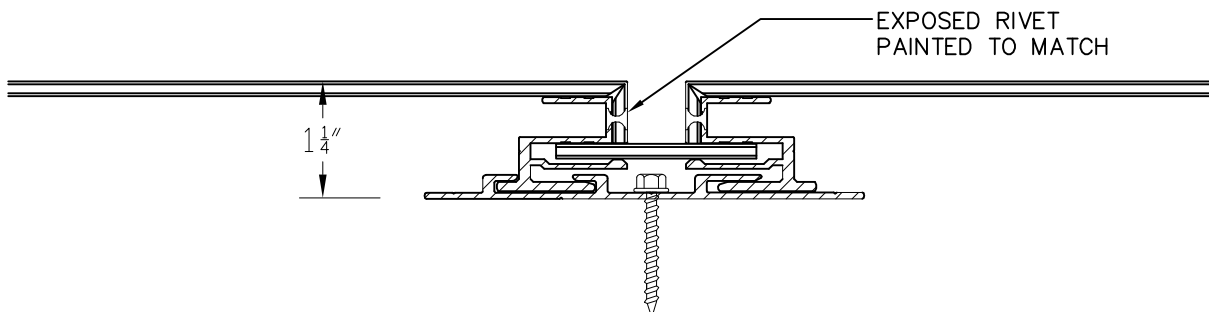
Maximum panel size 4' 10" x 16'
Optimum panel widths 58", 27", 16"
Optimum panel lengths 192", 94", 61", 45"

WEIGHT

4mm composite panel with
extrusions
attached, average weight of 2.5
psf

LEED

Possibly contribute to the
following LEED credits
ID 1.1-1.4- Highly durable or
innovative finishes
MR 4- Recycled content
MR 5- Regional manufacturing
NC 2- New Construction Waste
Management





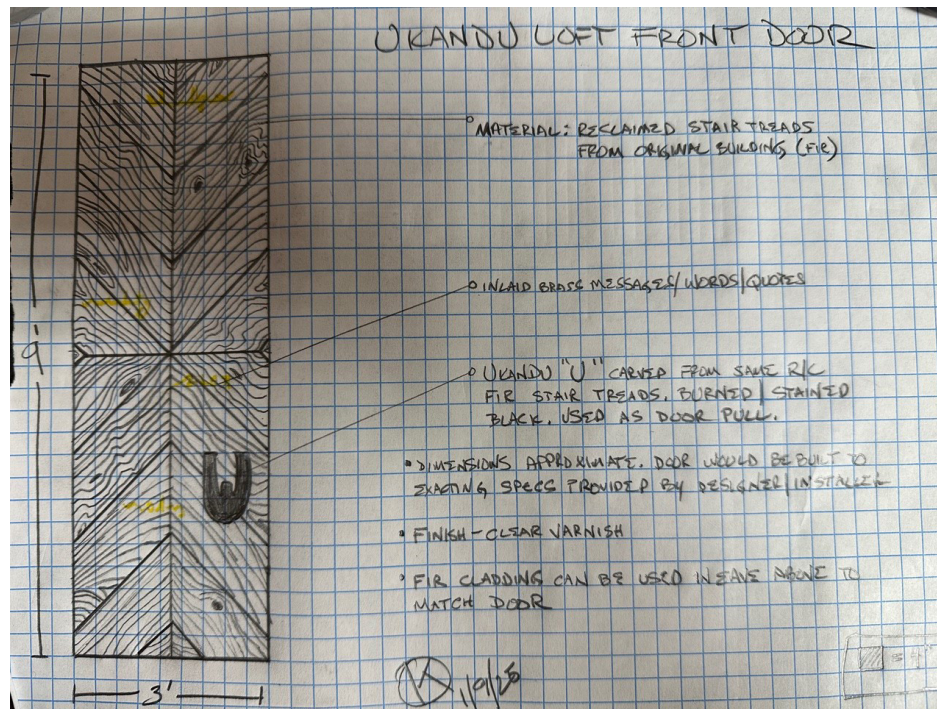
The UKANDU project proposes a custom wood entry door fabricated by a local Woodworker and craftsman Kris KirkMan.

KO Custom Furniture is Kris's passion. He collects wood from many sources across the PacNW and crafts original and reclaimed pieces of furniture, each with their own story to tell. His inspiration comes from the raw natural beauty of the PacNW and all that it can grow. He doesn't dictate the story that the furniture tells, he just alters its path and gives it a new voice.

UKANDU LOFT CUSTOM FRONT DOOR



Rendering



Sketch

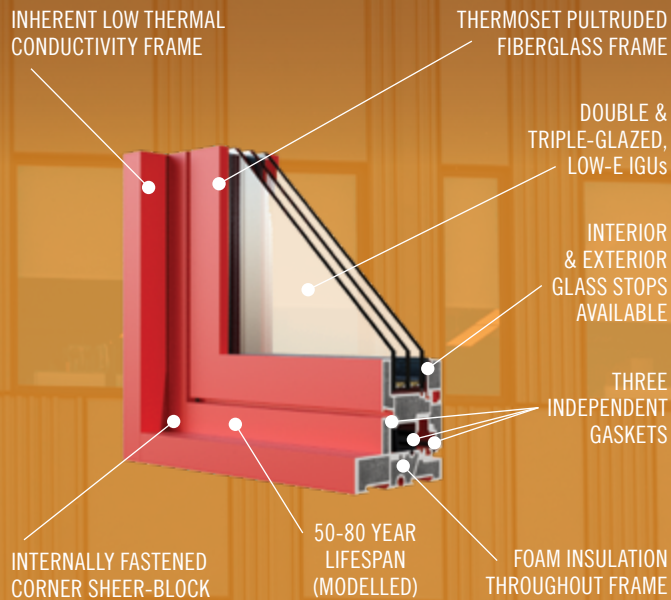
Correspondance from Kris

"My sketch illustrates a design where the treads are kept whole and laid in an up and down herringbone design. We also discussed having brass wording, quotes, messages inlaid into the door. Jason has asked that the pull be a font accurate "U" from the new Ukandu logo, made of wood. I would make this from the same r/c treads, and burn/stain it black per the renderings."

CASCADIA
WINDOWS & DOORS

UNIVERSAL SERIES™

HIGH-PERFORMANCE FIBERGLASS WINDOWS



WHY FIBERGLASS?

Fiberglass is an ideal structural material for window and door frames, which is why Cascadia has used a proprietary, high glass-fiber-to-resin formula for more than a decade. Beyond its high strength and thermal efficiency, Cascadia's pultruded, thermoset fiberglass frames contain no VOC's and represents less embodied energy compared to vinyl or aluminum.

Not susceptible to decay or insect attack, fiberglass possesses a low thermal expansion coefficient allowing it to move at roughly the same rate as the adjacent IGU. This extends the longevity of window seals and gaskets and reduces maintenance costs. Combined with a modelled lifespan of 50-80 years, fiberglass represents the future of high-performance windows and doors.



WINDOW WALL

The world's first fiberglass window wall, the Universal Series™ Window Wall allows developers and architects to reclaim glazing area reduced by increasingly stringent building codes, while at the same time reducing overall construction and operating costs.

- Typical detail library (DWG & PDF) available online
- Third-party engineered spandrel & bypass U-value simulation reports available
- Available with double & triple-glazed, Low-E IGUs



R-7.1

VISION GLASS

R-8.1

SLAB BYPASS

R-19.4

SPANDREL

WINDOWS & DOORS

Universal Series™ Windows & Doors boast exceptional thermal and water resistance ratings, as well as a modelled lifespan of 50-80 years—more than 3x longer than traditional vinyl windows. Combined with European-engineered, multi-point locking hardware, Universal Series™ Windows & Doors integrate perfectly into a high-performance building envelope.

- Highest recognized water resistance rating (15 PSF)
- AW Performance Class (casements/awnings/fixed)
- Passive House certified windows & doors available



R-7.1

VISION GLASS

R-7.1

SLIDING DOOR

R-7.1

TILT-AND-TURN

STOREFRONT GLAZING

Universal Series™ Storefront Glazing provides a high-performance glazing solution for commercial and multi-family buildings. Factory-built and ready-to-install by the window installation team, Universal Series™ Storefront Glazing offers reduced job-site complexity and lower costs compared to traditional site-built assemblies.

- Custom-sizes & configurations
- Standard & custom colors exceed AAMA 625 performance criteria
- Compatible with commercial doors & hardware, provided by others



R-7.1

VISION GLASS

UNIVERSAL SERIES™

NFRC THERMAL PERFORMANCE SUMMARY
WINDOWS & DOORS



LOW-E OPTIONS - CARDINAL STAINLESS STEEL SPACER BAR (90% ARGON FILL)	CENTER-OF-GLASS DATA			UW (U-VALUE OF WINDOW) PER NFRC METHOD [BTU/HR*FT²*F]				
	U-GLASS	SHGC	VT	FIXED GLASS	CASEMENT & AWNING	TILT & TURN	SWING DOOR	SLIDING DOOR
DOUBLE GLAZED (ONE LOW-E)								
180 (#3)	0.26	0.68	0.79	0.26	0.25	0.25	0.23	0.24
270 (#2)	0.25	0.37	0.70	0.25	0.24	0.24	0.22	0.23
366 (#2)	0.24	0.27	0.65	0.24	0.24	0.23	0.22	0.23
340 (#2)	0.25	0.18	0.39	0.25	0.24	0.24	0.22	0.23
TRIPLE GLAZED (TWO LOW-E)								
180/180 (#2/5)	0.13	0.56	0.70	0.15	0.17	0.15	0.15	0.15
270/180 (#2/5)	0.13	0.33	0.62	0.15	0.17	0.15	0.15	0.15
366/180 (#2/5)	0.13	0.25	0.57	0.14	0.17	0.15	0.15	0.15
340/180 (#2/5)	0.13	0.16	0.34	0.14	0.17	0.15	0.15	0.15

INTERNATIONAL PASSIVE HOUSE INSTITUTE [PHI]
FRAME DATA



TYPE	FRAME WIDTH [MM]	FRAME U-VALUES [W/M²K]	PSI VALUES [W/MK]
FIXED GLAZING	58	0.81	0.020
INSWING WINDOW	105	0.88	0.021
COUPLED MULLION	99	0.81	0.021

FOR FULL TECHNICAL DETAILS, VISIT CASCADIAWINDOWS.COM

CASCADIA
WINDOWS & DOORS

#101 - 5350B 275th Street
Langley, BC, Canada V4W 0C1
T: 604 857 4600
E: info@cascadiawindows.com



WORKING ON A
RESIDENTIAL PROJECT?

From Passive House certified construction to single-family dwelling renovations, Cascadia Windows & Doors can help dramatically improve a home’s overall energy performance and deliver an engaging, highly livable space.

CASCADIA WINDOWS & DOORS

Universal Series™ - Standard & Custom Colors

CASCADIA
WINDOWS & DOORS

CASCADIA BLACK - 200

COMMERCIAL BROWN - 872

LIGHT GREY - 310

SLATE GREY - 335

ANTHRACITE - 303

CLAY - 173

METALLIC CHAMPAGNE - 341

RAINWARE WHITE - 102

NOTE: Colors represented on screen may differ from physical product colors and are subject to availability.
When selecting a standard frame color, please request a color sample kit and discuss your project with the Cascadia sales team.

Wayne Dalton™

MODEL 453

WIND LOAD ALUMINUM FULL-VIEW



MODERN APPEAL FOR WIND LOAD AREAS

Wayne Dalton's Aluminum Full-View doors are the preferred choice when visibility and light transmission are just as important as design. Perfect for commercial applications such as auto dealerships, car washes and restaurant patios where aesthetics are a priority, Model 453 is weather-resistant, and virtually maintenance-free.

This door is built to meet local building codes, including Florida Building Code, Static and Impact approvals, providing protection from a variety of wind conditions, such as hurricane force winds.

- STANDARD SIZES UP TO 22' 2" WIDE AND 20' 1" HIGH
- VARIETY OF GLASS AND FINISH OPTIONS
- DURABLE CONSTRUCTION
- WIND LOAD PROTECTION

STANDARD FEATURES OVERVIEW

THERMAL EFFICIENCY

U-FACTOR*	As low as 0.28 with Low E insulated glass
R-VALUE**	Up to 4.09 with optional insulation

CONSTRUCTION

MAX WIDTH	22' 2" (6,766 mm)
MAX HEIGHT	20' 1" (6,121 mm)
DOOR ASSEMBLY	6063-T6 Aluminum Secured with 1/4" diameter through rods Top rail 3-3/4" width, Bottom Rail 3-3/4" width, Intermediate rail 3-11/16 width
RAILS	Top and bottom rails with 2 3/8" wide, lower intermediate rail 1 19/32", upper rail 2 3/8", minimum wall thickness 0.062"
STILES	Center stile width: 2-11/16; End stile width: 3-5/16
SPRINGS	10,000 cycles
GLAZING	1/8", 1/4", 1/2"
FINISH	Clear Anodized
WIND LOAD	Provide to meet the design/performance requirements specified
LOCK	Galvanized, interior-mounted single unit
WEATHERSTRIPPING	Flexible bulb-type strip at bottom section
TRACK	2" (51 mm)
OPERATION	Manual pull rope or chain hoist
WARRANTY	


TERMS	One (1) year limited warranty on door systems
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OPTIONS

- Springs: 25,000, 50,000, 75,000 or 100,000 cycles
- Electric motor operation: Provide UL listed electric operator, equal to Genie Commercial Operators, size and type as recommended by manufacturer to move door in either direction at not less than 2/3 foot or more than 1 foot per second
- Lock options: Interior mounted slide lock with interlock switch for automatic operator, keyed lock, keyed lock with interlock switch for automatic operator
- Bottom sensing edge
- Weather stripping: Jamb and header seals
- Powder coat finishes: Color as selected by architect from manufacturer's standard colors
- Anodized finishes: Light Bronze, Medium Bronze, Dark Bronze, Black
- Exhaust ports
- Bracket mounting
- 3" track



Wayne Dalton participates in the DASMA Thermal Performance Verification Program. The program verifies the thermal performance of sectional doors. The lower the U-factor rating, the better the thermal performance.

 Symbol indicates verified U-factor rating in accordance with the DASMA Thermal Performance Verification Program.

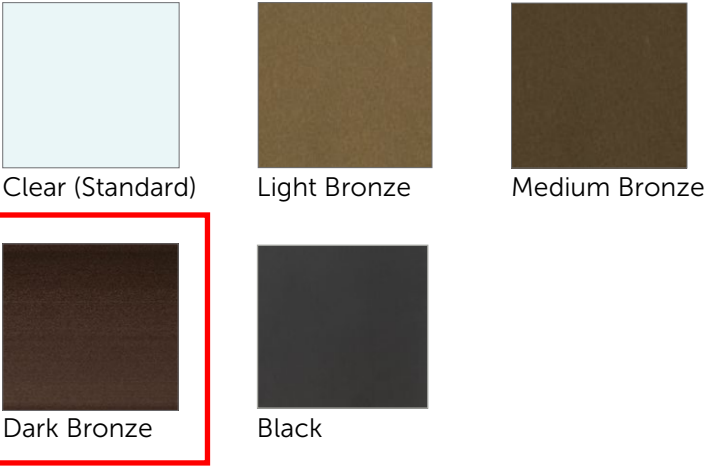
*U-factor is independently tested and verified per ANSI/DASMA 105 using doors with full glazing and specific product sizes.

**Wayne Dalton uses a calculated door section R-value for our insulated doors.

†Meets IECC® requirements for maximum U-factor of operable fenestrations and ASHRAE 90.1 and IECC® requirements for maximum air leakage of fenestration assemblies.

FINISH OPTIONS

Anodized Finishes



Actual door colors may vary from brochure photos due to fluctuations in the printing process. Always request a color sample from your Wayne Dalton Dealer for accurate color matching.

RAL POWDER COAT FINISHES

Approximately 200 optional RAL powder coat colors are also available.



WIND LOAD ALUMINUM FULL-VIEW

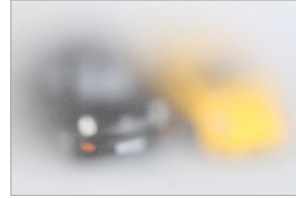
GLASS OPTIONS



Clear**
(Standard)



Obscure



Satin Etched



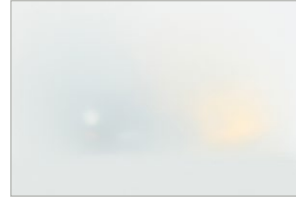
Gray Tint



Green Tint



Bronze Tint



White Laminated

Impact Option

Get the same light infiltration with an impact-rated design.

- Impact design with pressures of +48/-54 psf
- Polycarbonate glazing is lighter than glass and meets Florida Building Code impact designs approvals up to 18'2" wide and 20'1" high
- Design includes reinforcement struts for added protection without protruding into the vision panels

Additional Specialty Glass Options

Low E glass** – thermal efficiency

Tempered glass – enhanced safety

Glass Alternatives

- Clear Lexan® Polycarbonate** – shatter resistant
- Plexiglas® Acrylic** – shatter resistant
- Impact Clear and Frosted Polycarbonate – 0.250" minimum

Actual glass may vary from brochure photos due to fluctuations in the printing process. Check with your Wayne Dalton Dealer to view a glass sample.

**Insulated options available.

WIND LOAD OPTIONS

Wind Load Option Code	0465	0464	0463	0462	0461	0466	0467	0460
Design Pressure (psf)	+18.0/-18.0	+22.0/-22.0	+26.0/-26.0	+31.0/-31.0	+37.0/-37.0	+48.0/-54.0	+43.0/-48.0	+50.0/-50.0
Impact	NO	NO	NO	NO	NO	YES	YES	NO
Maximum Door Width	22'2"	20'2"	18'2"	16'2"	14'2"	16'2"	18'2"	10'2"
Agency Approvals	FBC	FBC	FBC	FBC	FBC	FBC	FBC	FBC



Job Name :

Manufacturer : SNOWBALL

Model Number : SB-AFW12182430W27-345K-B-P-M ✓

A0.14 MATERIALS -LIGHTS

Type :
✓S03

LED Architectural Wall Pack Series

SNOWBALL
LIGHTING INCORPORATED

Selectable Wattages: 12W/18W/24W/30W

WATT/CCT
SELECTABLE

LED Architectural Wall Pack series can be widely used in indoor or outdoor lighting (wet location). Ideal for museums, art galleries, shopping malls, office buildings, walls and many other applications.



FEATURES

- LED high luminous efficiency and long working life.
- High efficiency LED Driver, the wide range input voltage AC120-277V / 277-480V.
- Die-cast aluminum cooling design, high quality and better cooling for LED Tj < 85°C.
- Excellent optics design, greatly improve the light utilization and evenness.
- Photocell , Wireless bluetooth system and Motion sensor control available (Optional)
- The 1-10V Dimming type is continuous.

High performance, die-cast heat sink transfers heat from the light engine to the environment, drawing heat away from the fixture, and extending the lifespan of the LEDs.



SPECIFICATION												
WATTAGE	12W			18W			24W			30W		
LUMEN	1608 lm	1704 lm	1680 lm	2340 lm	2520 lm	2448 lm	3024 lm	3264 lm	3120 lm	3630 lm	3960 lm	3750 lm
EFFICACY	134 lm/W	142 lm/W	140 lm/W	130 lm/W	140 lm/W	136 lm/W	126 lm/W	136 lm/W	130 lm/W	121 lm/W	132 lm/W	125 lm/W
CCT	3000K	4000K	5000K	3000K	4000K	5000K	3000K	4000K	5000K	3000K	4000K	5000K
CRI	70											
INPUT VOLTAGE	AC120-277V / 277-480V											
BEAM ANGLE	Type V: 100.4 °X 91.6°											
POWER FACTOR	0.90											
DRIVER EFFICACY	90%											
FACTORY SETTINGS	30W & 4000K											
LIFE SPAN	over 50,000 hrs											
WORKING TEMPERATURE	-22°F ~ 113°F											
STORAGE TEMPERATURE	-40°F ~ 176°F											
OUTDOOR RATING	Wet location											
CABLE	5 core, 18AWG (11.8 inch)											
WARRANTY	5 year limited											

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FEATURES & SPECIFICATIONS

INTENDED USE — Typical applications include corridors, lobbies, conference rooms and private offices.

CONSTRUCTION — New Construction.

Optional goof rings available for additional overlap trim coverage.

1/2"-1-1/2" ceiling thickness

25° ambient temperature

IC rated up to 1000lm

OPTICS — LEDs are binned to a 3-step MacAdam Ellipse. 55° cutoff

New construction frame approved for 8 (4 in/4 out) No. 12 AWG conductors rated for 90°C through wiring.

80CRI standard (90CRI optional)

UGR — UGR is zero for fixtures aimed at nadir with a cut-off equal to or less than 60deg, per CIE 117-1996

Discomfort Glare in Interior Lighting. [UGR FAQ](#)

ELECTRICAL — Adjustable lumen output with four module options. Fixed lumen options also available.

MVOLT 120/277V 50/60Hz driver (0-10V & 120V Phase Dimming to 10% or 1% min dimming level)

FCC CFR Title 47 Part 15 Class A for 277V. FCC CFR Title 47 Part 15 Class B for 120V.

LUMEN MAINTENANCE — L80 at 60,000 hours

LISTINGS — Certified to US and Canadian safety standards. Damp location standard (Wet Location (WL) optional, requires covered ceiling). Some configurations are ENERGY STAR® certified, please visit www.energystar.gov for specific products. TAA compliant. UFC (3-530-01) specification compliant for power factor and THD. GSA P100 6.2.4 compliant for power quality at full output; compliant up to 2000lm at fully dimmed output. Drivers are ROHS compliant

Title 24 compliant (90CRI, up to 1000lm).

WARRANTY — 5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed.

Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.

PERFORMANCE DATA

LBR6 AR LSS MWD		80CRI							
Lumen Output	Wattage	30K/80CRI		35K/80CRI		40K/80CRI		50K/80CRI	
		Delivered Lumens	LPW	Delivered Lumens	LPW	Delivered Lumens	LPW	Delivered Lumens	LPW
ALO1 (500LM)	6	571	99	585	101	599	103	617	105
ALO1 (750LM)	9	905	102	926	103	948	105	977	108
ALO1 (1000LM)	13	1270	98	1300	100	1330	102	1372	104
ALO2 (1000LM)	13	1346	108	1378	110	1410	112	1454	115
ALO2 (1500LM)	19	1965	105	2011	107	2059	109	2123	111
ALO2 (2000LM)	25	2476	100	2533	101	2593	103	2674	106
ALO3 (2000LM)	25	2547	103	2606	105	2668	107	2751	109
ALO3 (2500LM)	32	3075	98	3146	100	3221	101	3321	104
ALO3 (3000LM)	38	3492	93	3573	95	3658	96	3771	99
ALO4 (4000LM)	39	4180	107	4265	109	4350	112	4393	113
ALO4 (4500LM)	44	4613	105	4707	107	4801	109	4848	110
ALO4 (5000LM)	49	5017	102	5119	104	5221	107	5273	108

LBR6 MS MWD		80CRI							
Lumen Output	Wattage	30K/80CRI		35K/80CRI		40K/80CRI		50K/80CRI	
		Delivered Lumens	LPW	Delivered Lumens	LPW	Delivered Lumens	LPW	Delivered Lumens	LPW
ALO1 (500LM)	6	480	99	584	101	597	102	616	105
ALO1 (750LM)	9	760	102	924	103	946	105	975	108
ALO1 (1000LM)	13	1067	98	1297	100	1328	102	1369	104
ALO2 (1000LM)	13	1131	108	1375	110	1408	112	1451	115
ALO2 (1500LM)	19	1651	105	2007	106	2055	108	2118	111
ALO2 (2000LM)	25	2079	99	2528	101	2588	103	2668	105
ALO3 (2000LM)	25	2139	103	2601	104	2663	106	2745	109
ALO3 (2500LM)	32	2583	98	3140	99	3214	101	3314	103
ALO3 (3000LM)	38	2933	93	3566	94	3651	96	3764	98
ALO4 (4000LM)	39	3511	90	3583	92	3654	94	3690	95
ALO4 (4500LM)	44	3875	88	3954	90	4033	92	4072	93
ALO4 (5000LM)	49	4214	86	4300	88	4386	90	4429	90

- Tested in accordance with IESNA LM-79-08.
- Tested to current IES and NEMA standards under stabilized laboratory conditions.
- CRI: 80 typical

Catalog Number	A0.15 MATERIALS -LIGHTS
Notes	
Type	

LBR6 NCH

6" Open and Wallwash LED
New Construction Downlight



New Construction



Open Trim



Wallwash Trim

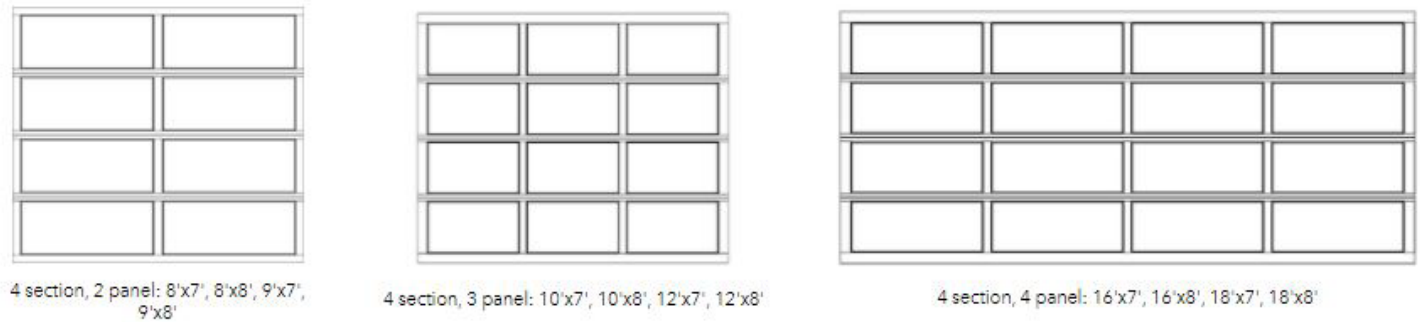






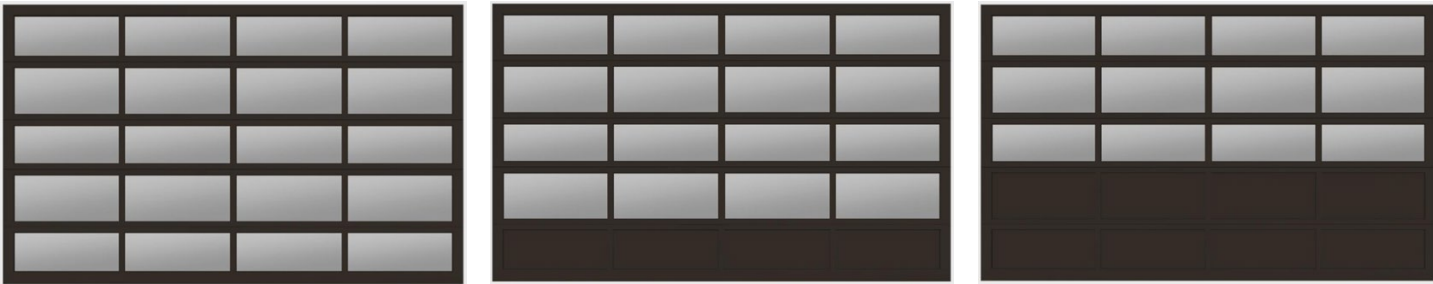
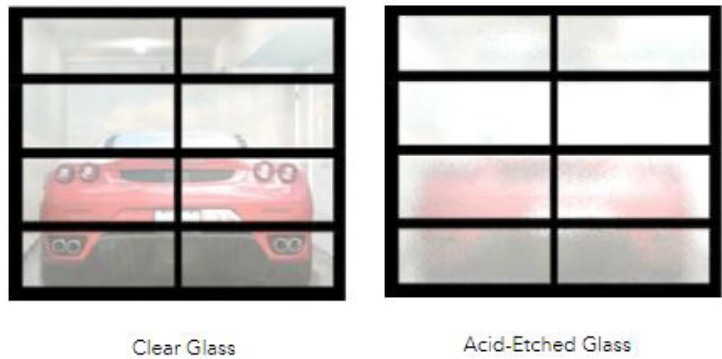
3D VIEW - NW CORNER

DOOR SIZES



GLASS OPTIONS

- Single Pane Glass & Insulated Glass available
- Tempered glass
- Glass panels are sealed with an extruded vinyl gasket



Scale and options for glass garage doors



Solid panel options for custom garage doors

