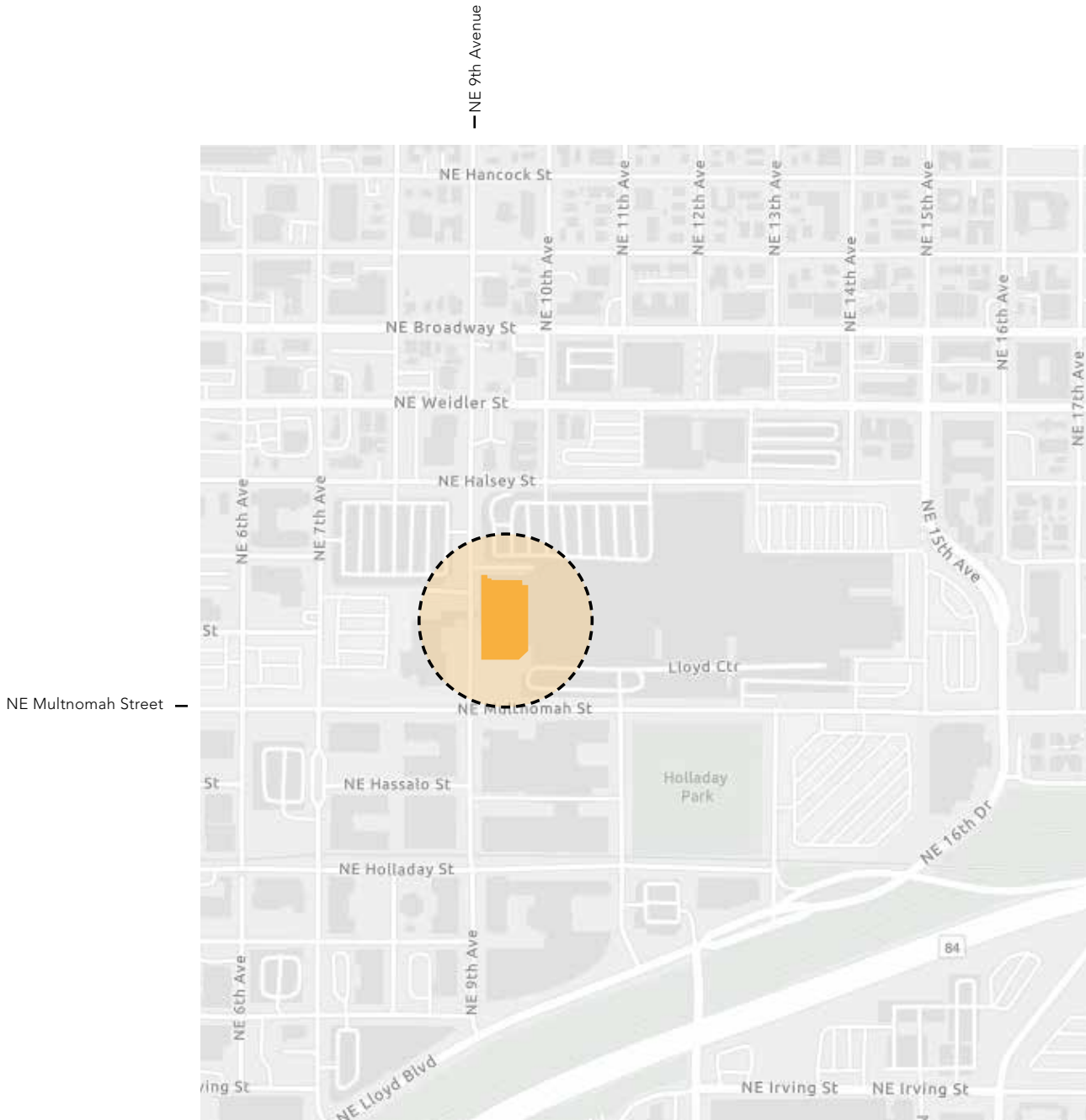


# APPENDIX

# PROJECT & SITE INFORMATION

# APP 1.1 SUMMARY OF DEVELOPMENT PROGRAM



ADDRESS: 901 NE Lloyd Center  
 PROPERTY ID: R182243  
 STATE ID: 1N1E35BA -00200  
 ALT ACCOUNT #: R396206500  
 TAX ROLL: Holladays Add, Block 114&115 TL 200  
 TOTAL LAND AREA: 1.23 acres

The proposed development is for a 2-story multi-purpose event center located on NE 9th Avenue at the corner of NE Multnomah Street. The site is currently occupied by the existing Nordstrom building at the southwest corner of the Lloyd Center Mall.

The proposed building preserves the public plaza adjacent to NE Multnomah Street and the existing basement of the current structure for storage and back of house support areas. 2-stories above will include a main event space, loading, lobbies, and a second-floor mezzanine that overlooks the main event space on the ground level.

The main pedestrian entrance will be located off of NE Multnomah Street. Secondary entrances will be located on the east and west sides of the building along NE 9th Ave and where the existing mall is currently. Vehicular access will be located along NE 9th Avenue.

The site is located in the CX - Central Commercial Zone, has a design overlay, and falls within the Central City and Lloyd Plan Districts.

The site lies at the western boundary of the future Lloyd Masterplan. Careful consideration has been given to maximize the proposed building's connection to this new development while remaining in context with the larger architectural dialogue of the Lloyd District following the CCFDG and the Lloyd District Design Guidelines.

Open space at the building's SE and SW corners extend the existing plaza along Multnomah Street encouraging an active intersection, per Central City Guideline C7, and reinforces future pedestrian networks to the Lloyd Masterplan. These features also provide view opportunities and offer a distinct sense of entry and exit to the proposed building, following Lloyd District Design Guidelines C2-1 and A9-1.

Art and landscaping are incorporated as integral elements of design, following the Lloyd District Design Guidelines A5-3 and A5-6. Multiple building step backs at key locations provide public art opportunities and relocate the largely inaccessible green roof requirements to exclusively visible positions, creating a stimulating environment to be experienced by all.

**ZONING CODE**

Base Zone ..... CX  
 Overlay ..... d (Design Review)  
 District ..... CC (Central City Plan District)  
 Subdistrict ..... Lloyd  
 Design Guidelines ..... CCFDG (Central City) & Lloyd District

Max. FAR ..... 6:1 Per Map 510-2  
 Base Zone Height ..... 150 ft. per Map 510-3  
 Bonus Height ..... 225 ft. per Map 510-4

Min. Setbacks (Front) ..... None  
 Min. Setbacks (Civic Corridor) ..... 10 ft. (NA)

Max. Setbacks (Street Lot Line) ..... 10 ft.  
 Min. Setbacks Civic Corridor ..... 10 ft. (NA)

Req'd Bldg Lines ..... Yes on 9th per Map 510-7  
 Minimum Landscaping required when the setback is at least 6 ft. and less than 12 ft., at least 50% must be planted.

GF Windows ..... Yes per 33.510.220.B.2.  
 Not designated on Map 510-8. Must have windows between 2'-10', that cover at least 40% of the ground floor level wall area.

GF Active Use ..... Uses Outlined in Subsection A.  
 Not designated on Map 510-9. 50% req'd along the plaza. Clear height of 12 ft. Minimum. 25 ft. deep. Must include windows and doors.

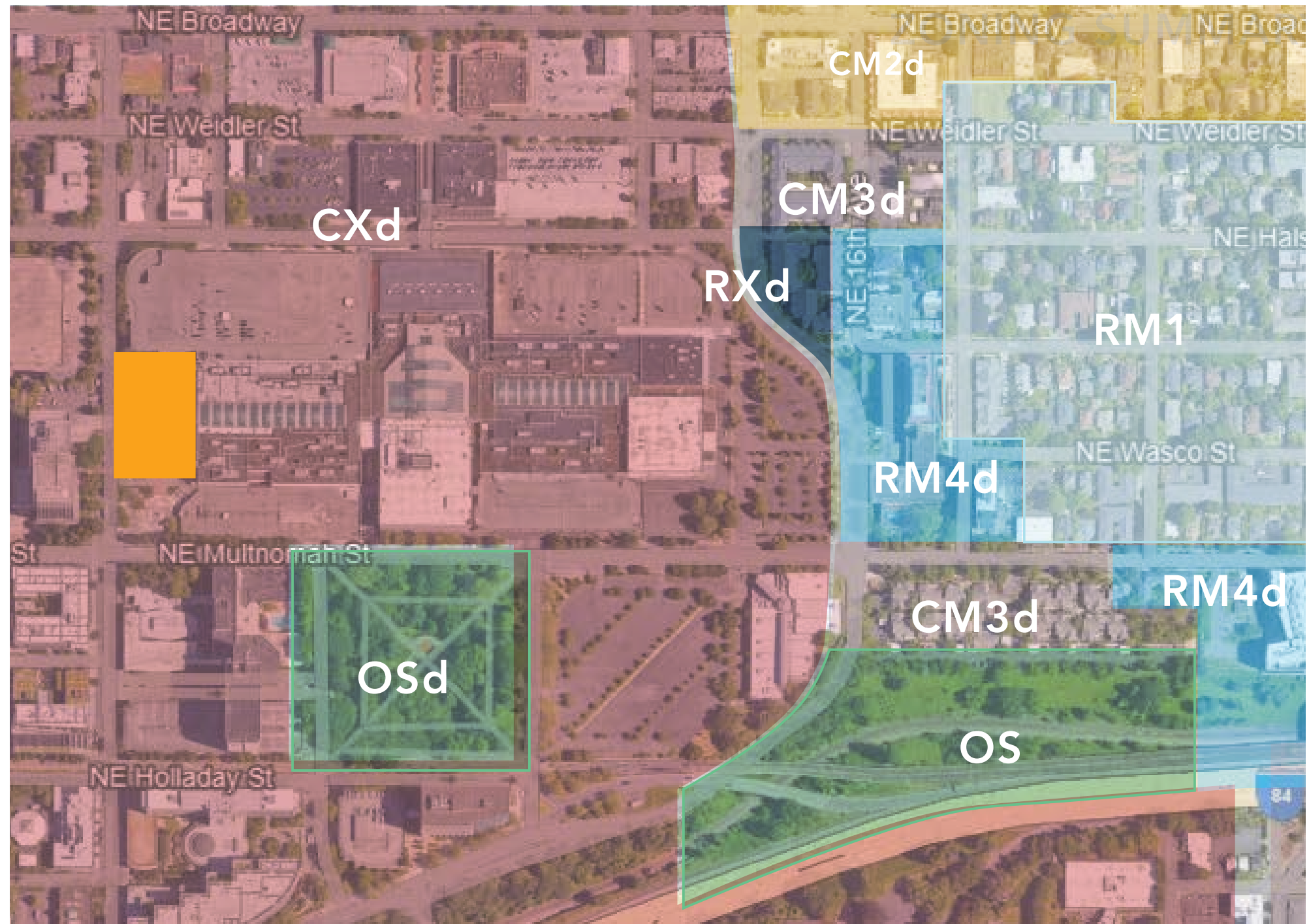
Eco Roof ..... Yes per 33.510.243.  
 Req'd if over 20,000 sf. 100% except up to 40% for mechanical, skylights, bulkheads, fire evac. routes, solar panels, equipment.

**PARKING**

Central City Parking Sector ..... 2

**BIKE PARKING**

Major Event Entertainment  
 Long-Term Spaces ..... 1/10,000 sf Minimum  
 Short-Term Spaces ..... 1/40 seats Minimum



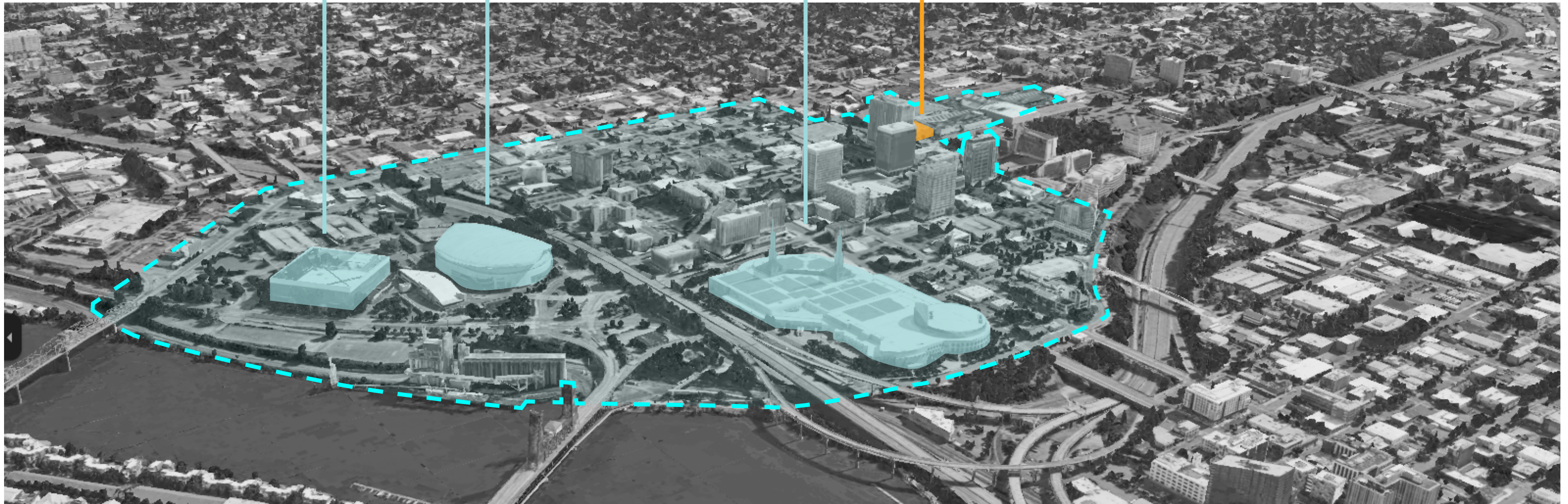
Site

MEMORIAL  
COLOSSEUM

MODA CENTER

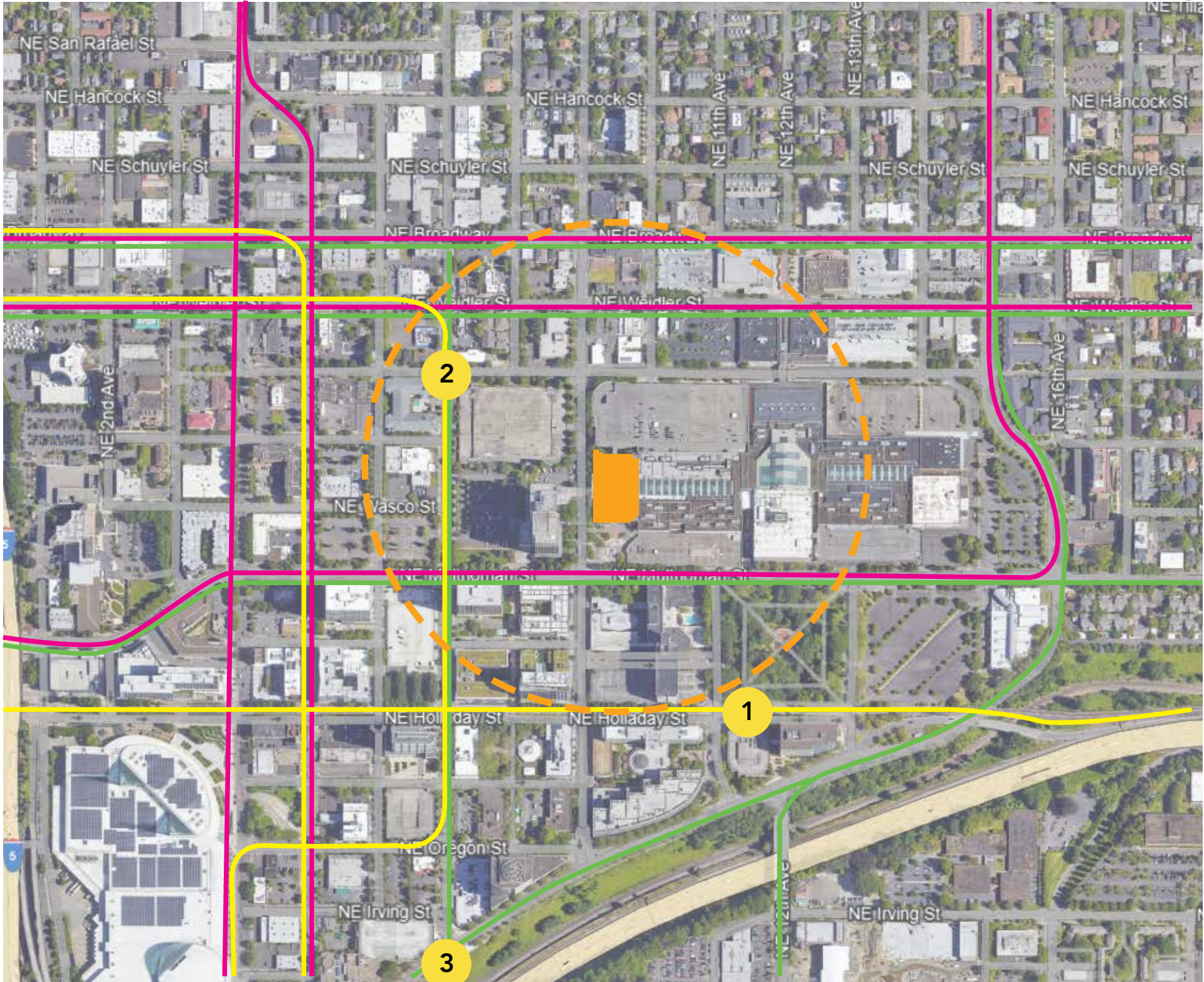
CONVENTION CENTER

901 NE LLOYD



Lloyd Event District 

APP 1.4 URBAN CONTEXT - TRANSPORTATION



- NE Broadway
- NE Weidler
- NE Halsey
- NE Multnomah St
- NE Holladay St

Site	
3 Block Radius	
Rail Transit	
Bus Transit	
Dedicated Bikeway	



1 Max Station (Red, Blue, Green Lines) - NE 11th and Holladay



2 Streetcar A-Loop Station - NE 7th and Halsey



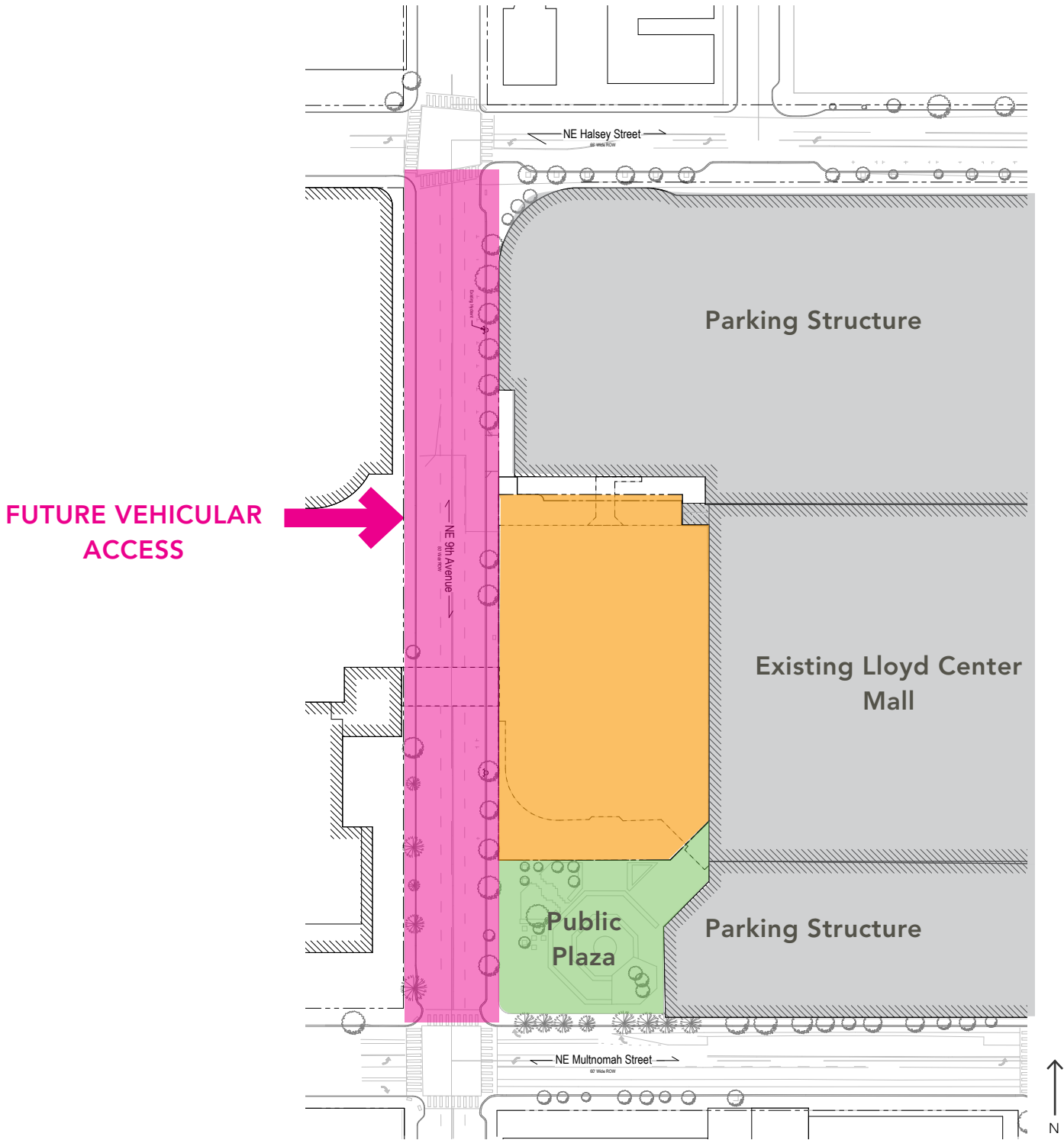
3 Blumenauer Bicycle and Pedestrian Bridge - NE 7th and Lloyd



1 Adjacent Plaza - NE Multnomah St and 9th Ave



2 Holladay Park - NE Multnomah St and 11th Ave



NE 9th Ave - Looking SW



NE 9th Ave - Looking NW





South Facade from NE Multnomah St and NE 9th Ave - Looking North

APP 1.8 EXISTING SITE & VICINITY PHOTOS



Existing Basement

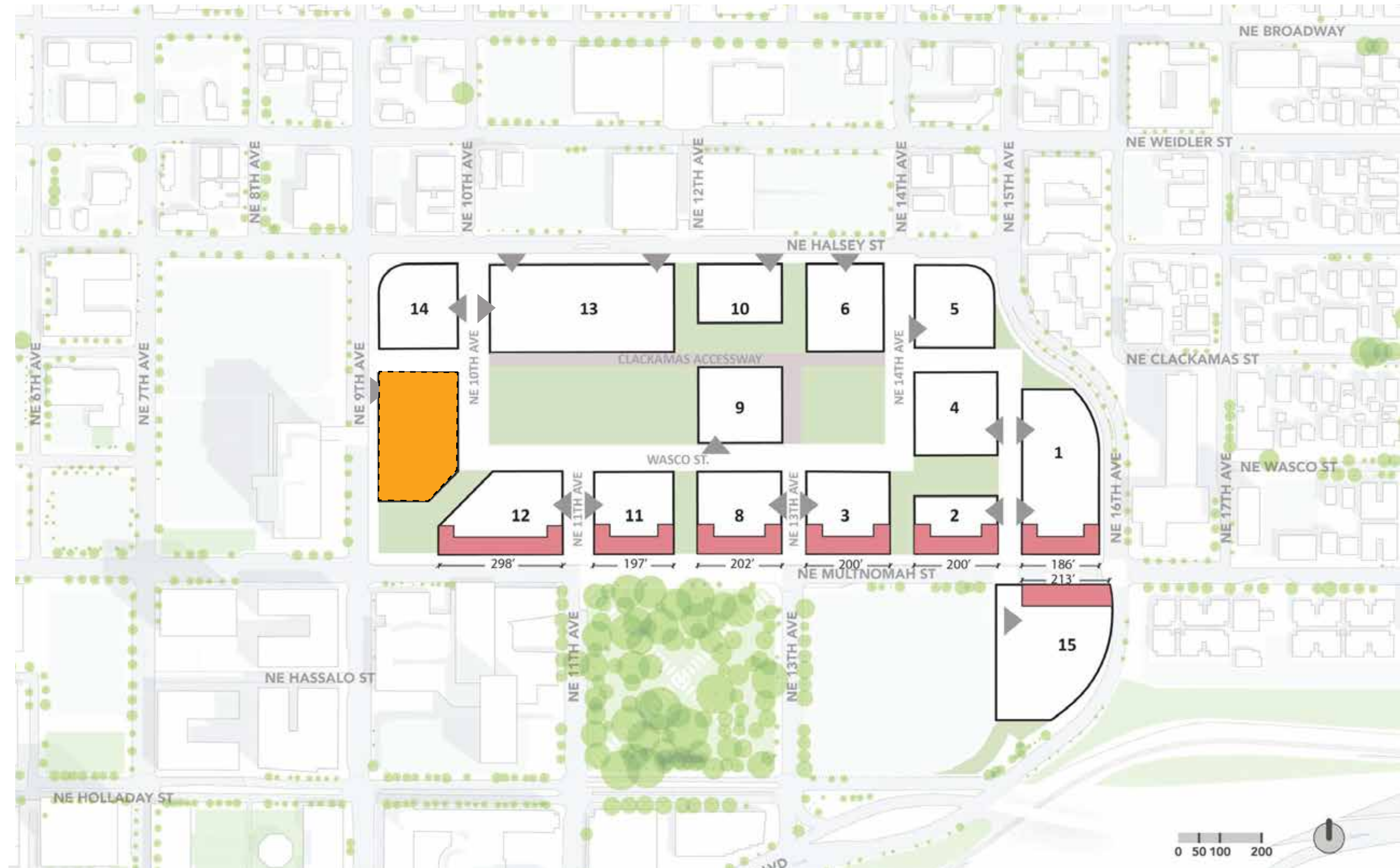


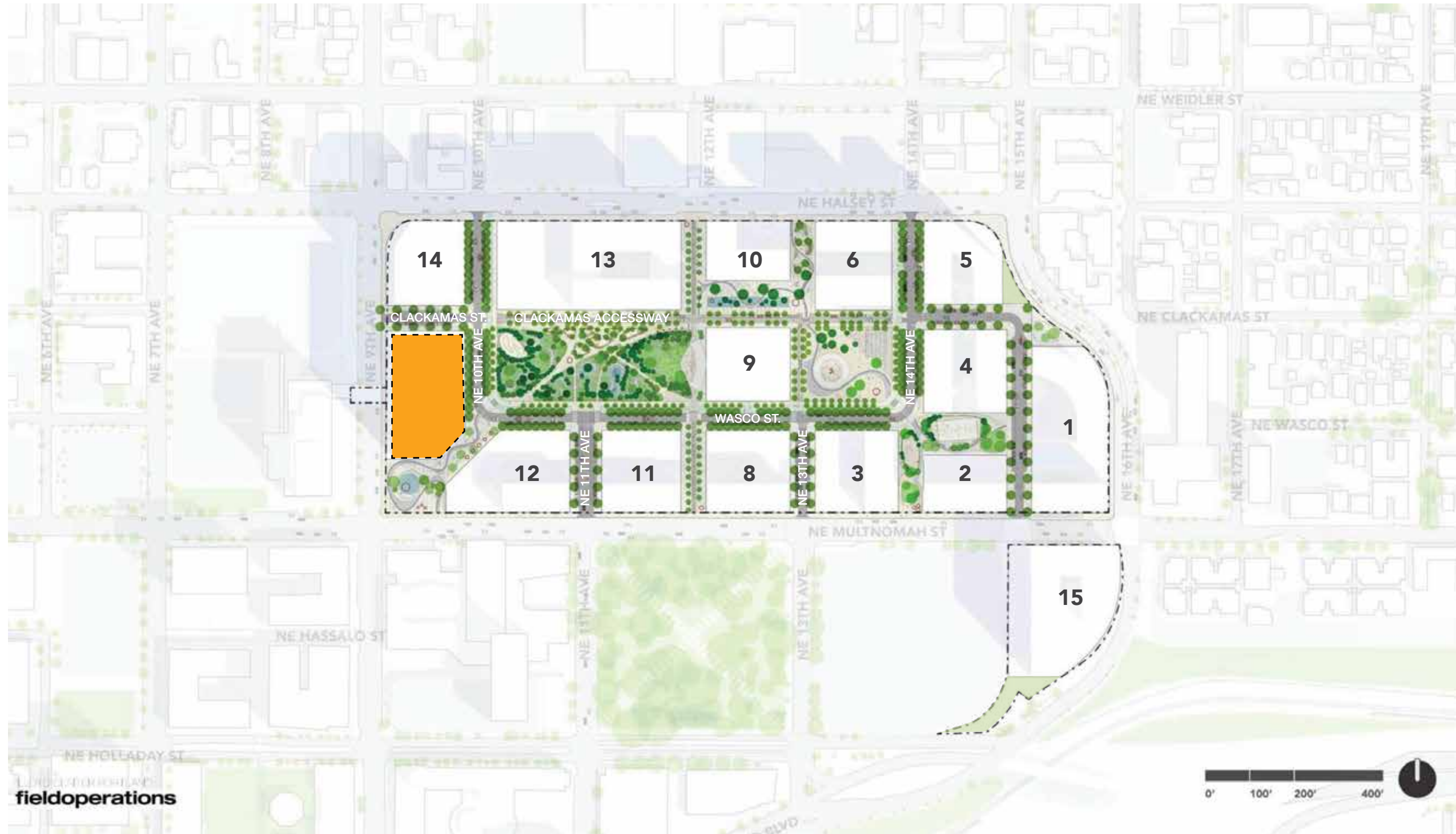
West Facade from NE 9th Ave with Existing Skybridge - Looking South



North Facade from 3rd Floor Parking Structure - Looking Southeast

APP 1.9 CENTRAL CITY MASTERPLAN  
 REQUIRED GROUND FLOOR ACTIVE USE



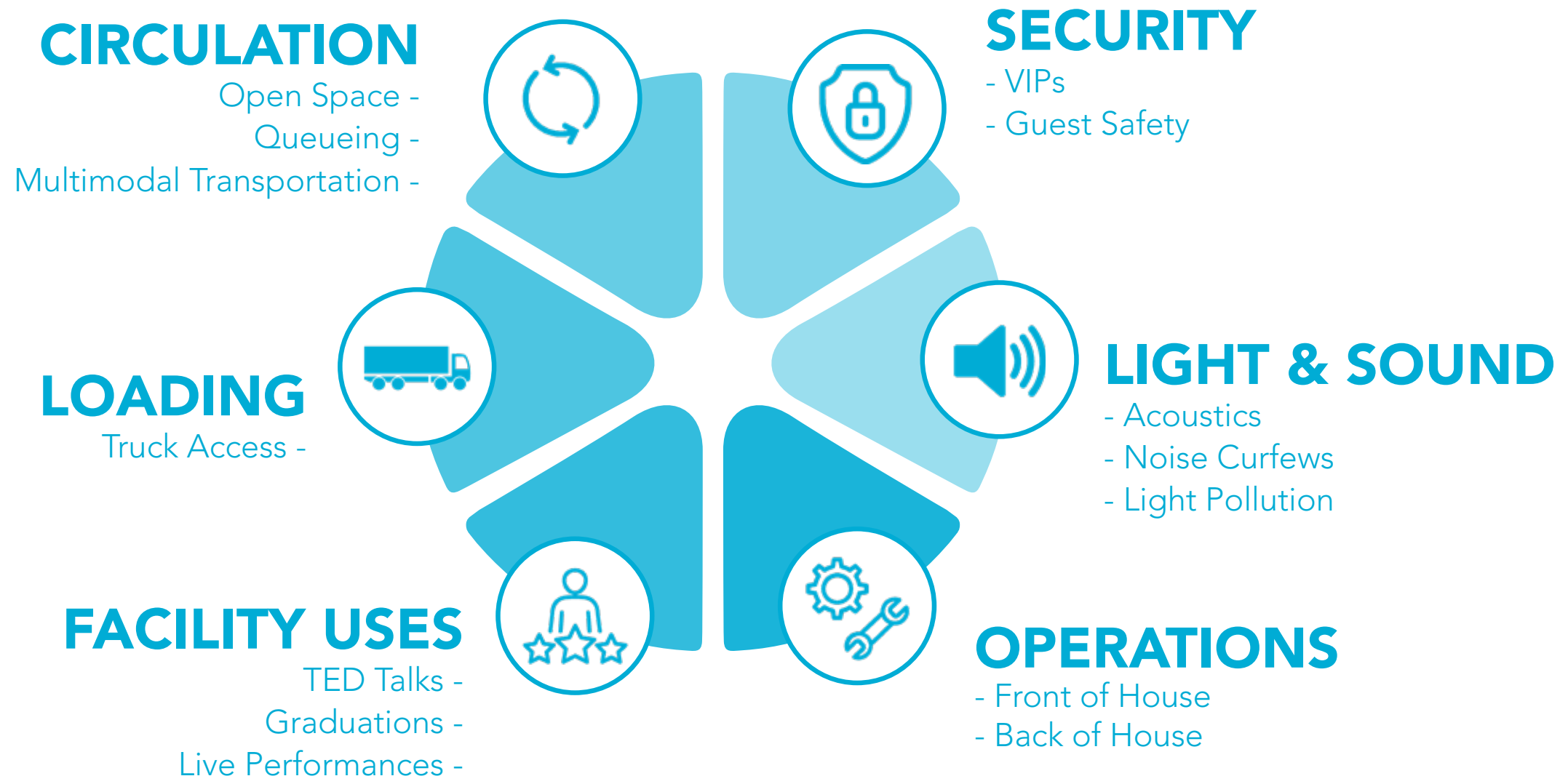


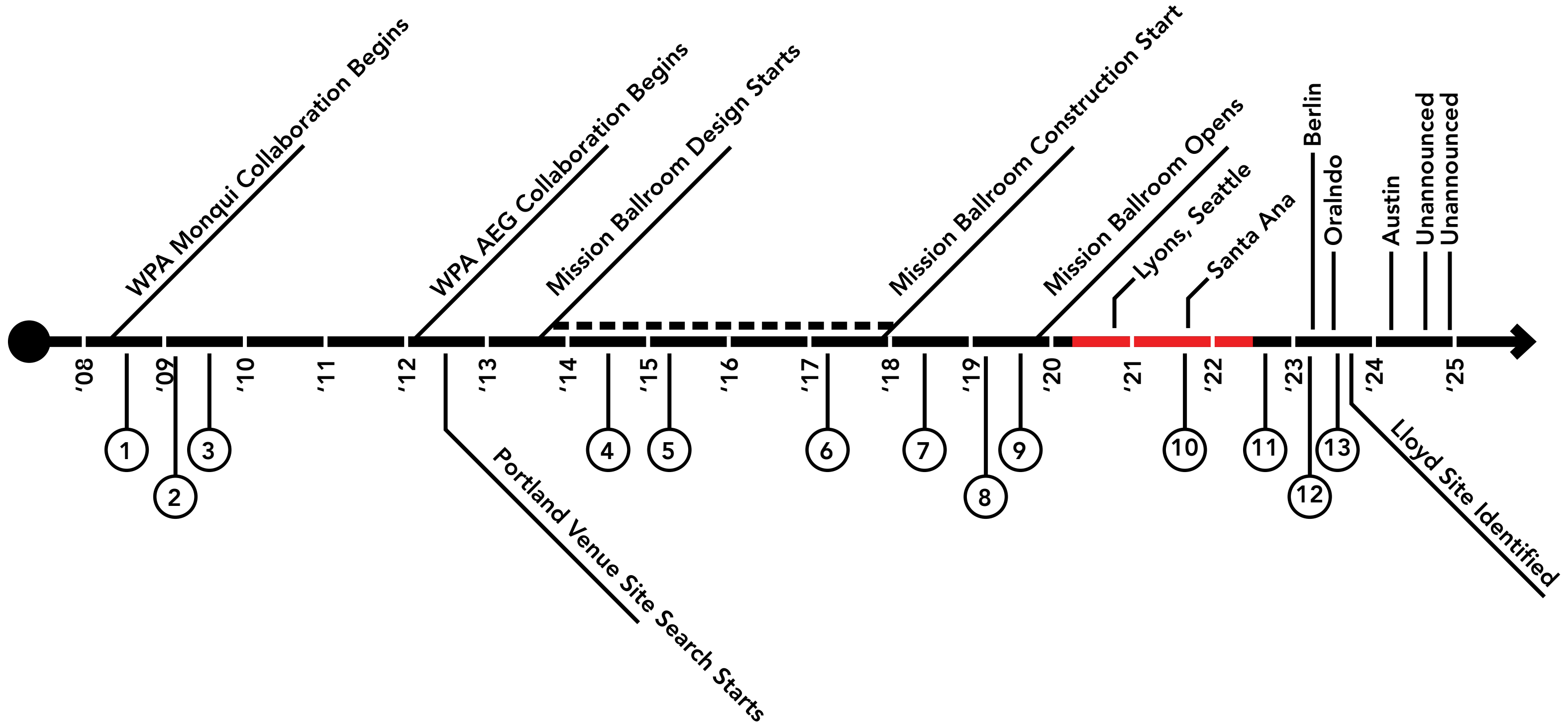


# PROGRAM DEVELOPMENT

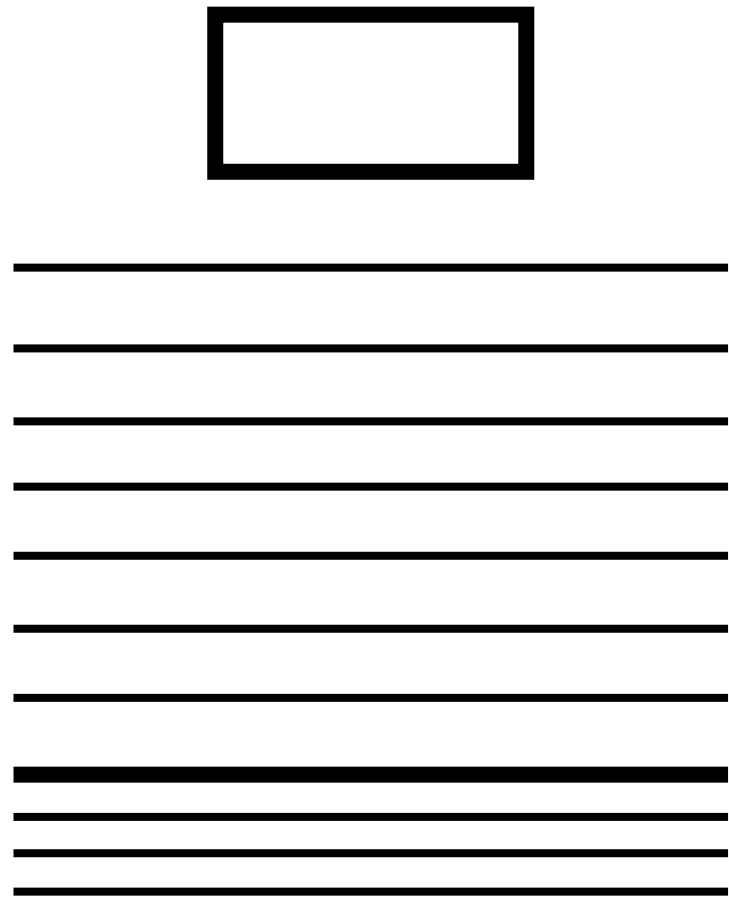
Basis of Design

# CONCERT VENUE PROGRAMMING

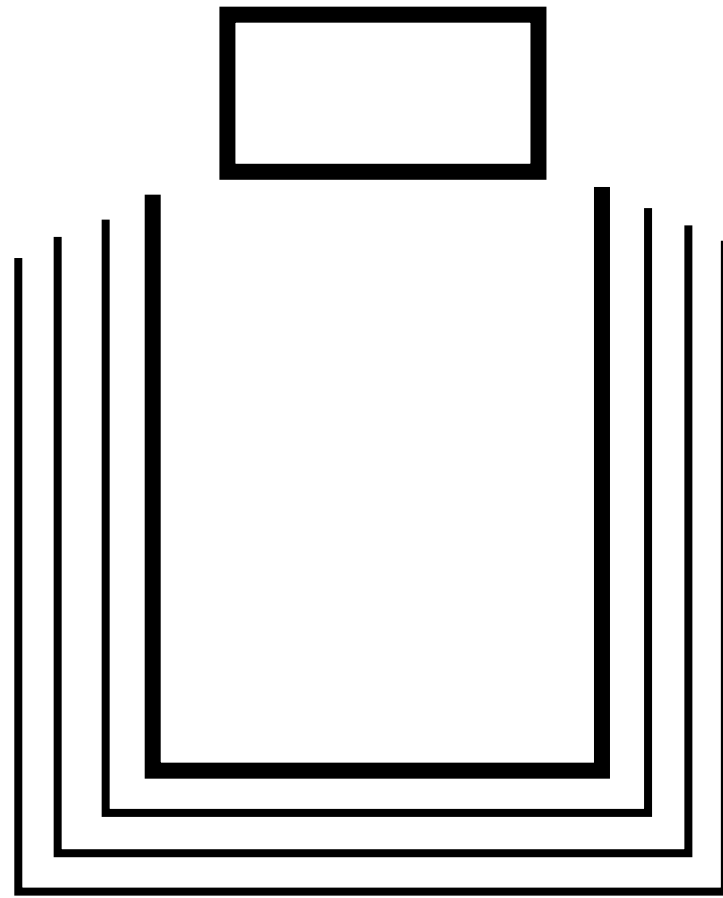




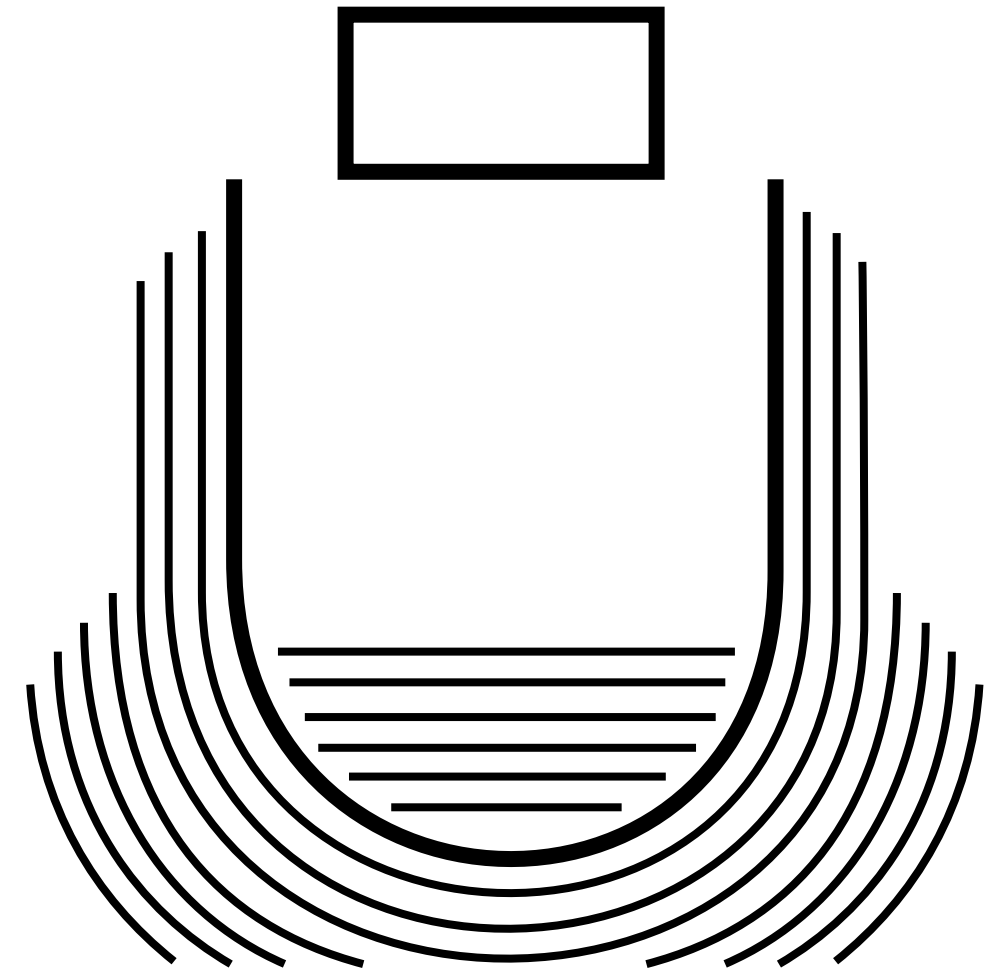




**Rear Balcony**



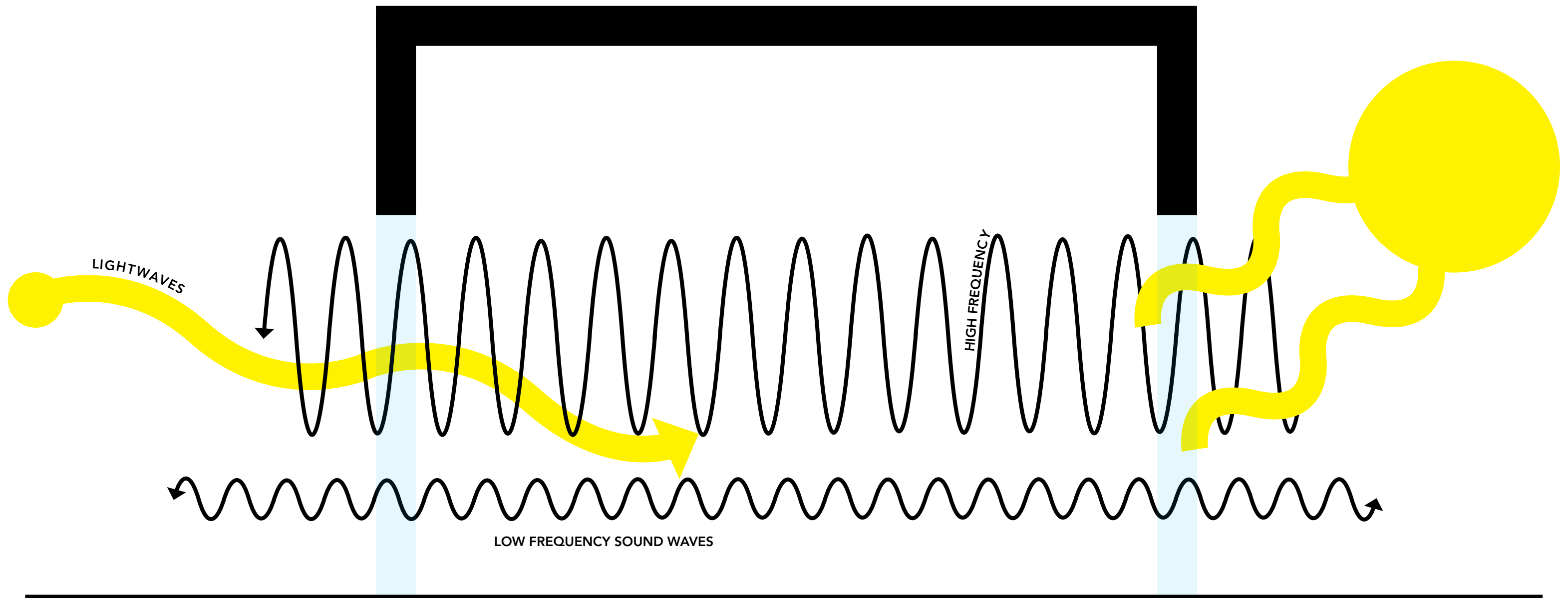
**Wrap-around Mezzanine**

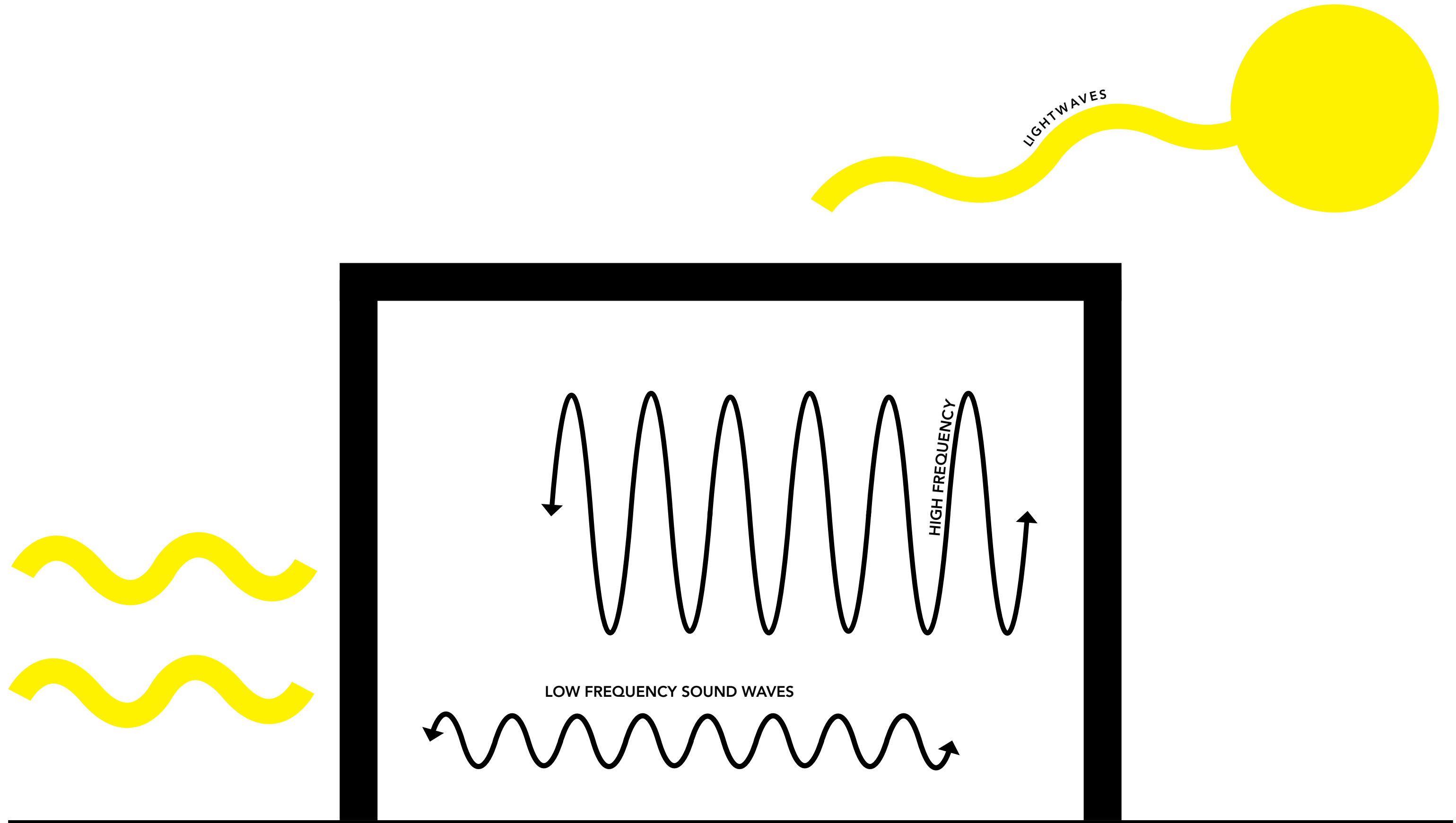


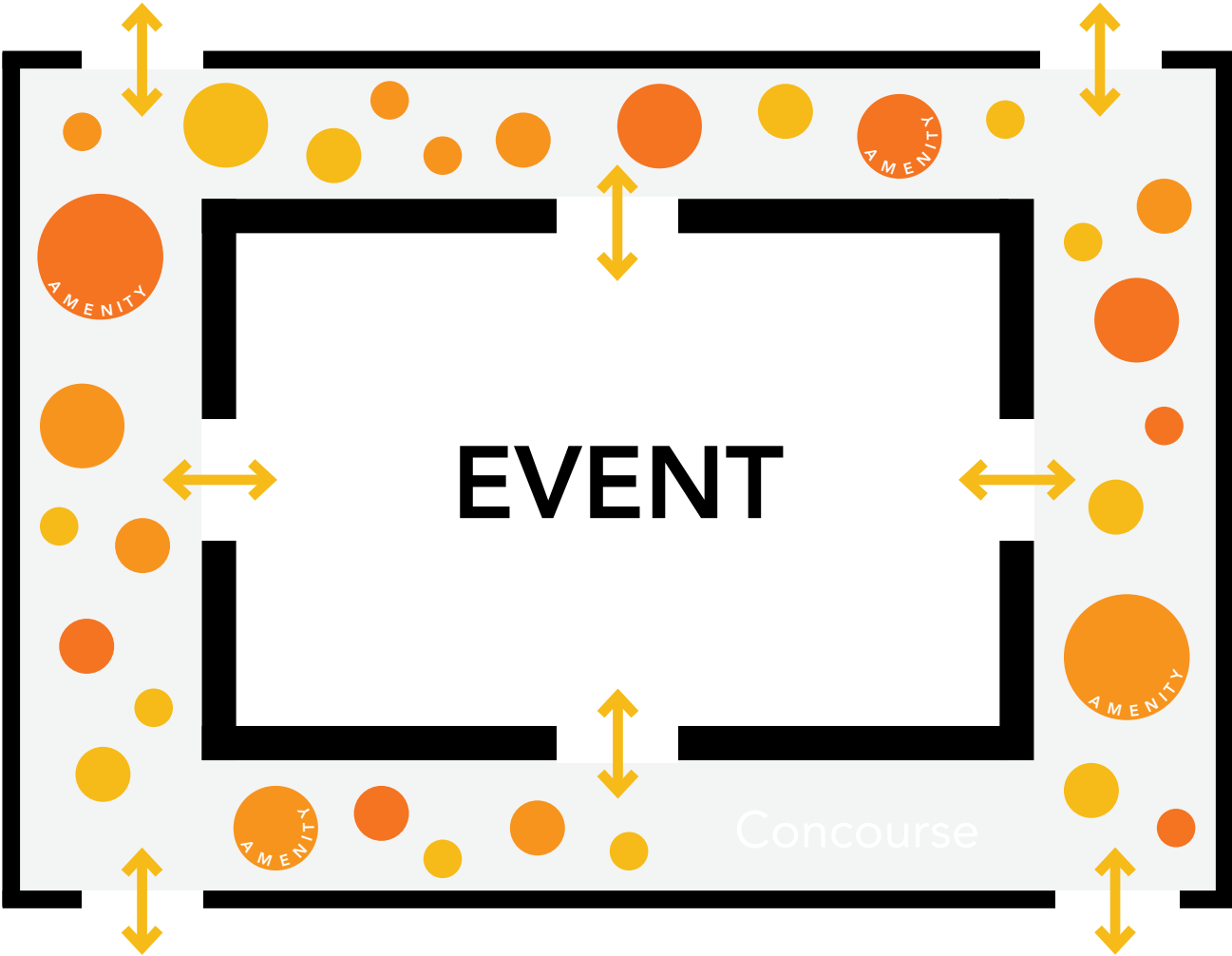
**Waterfall**



**AEG Denver Venue - Mission Ballroom**



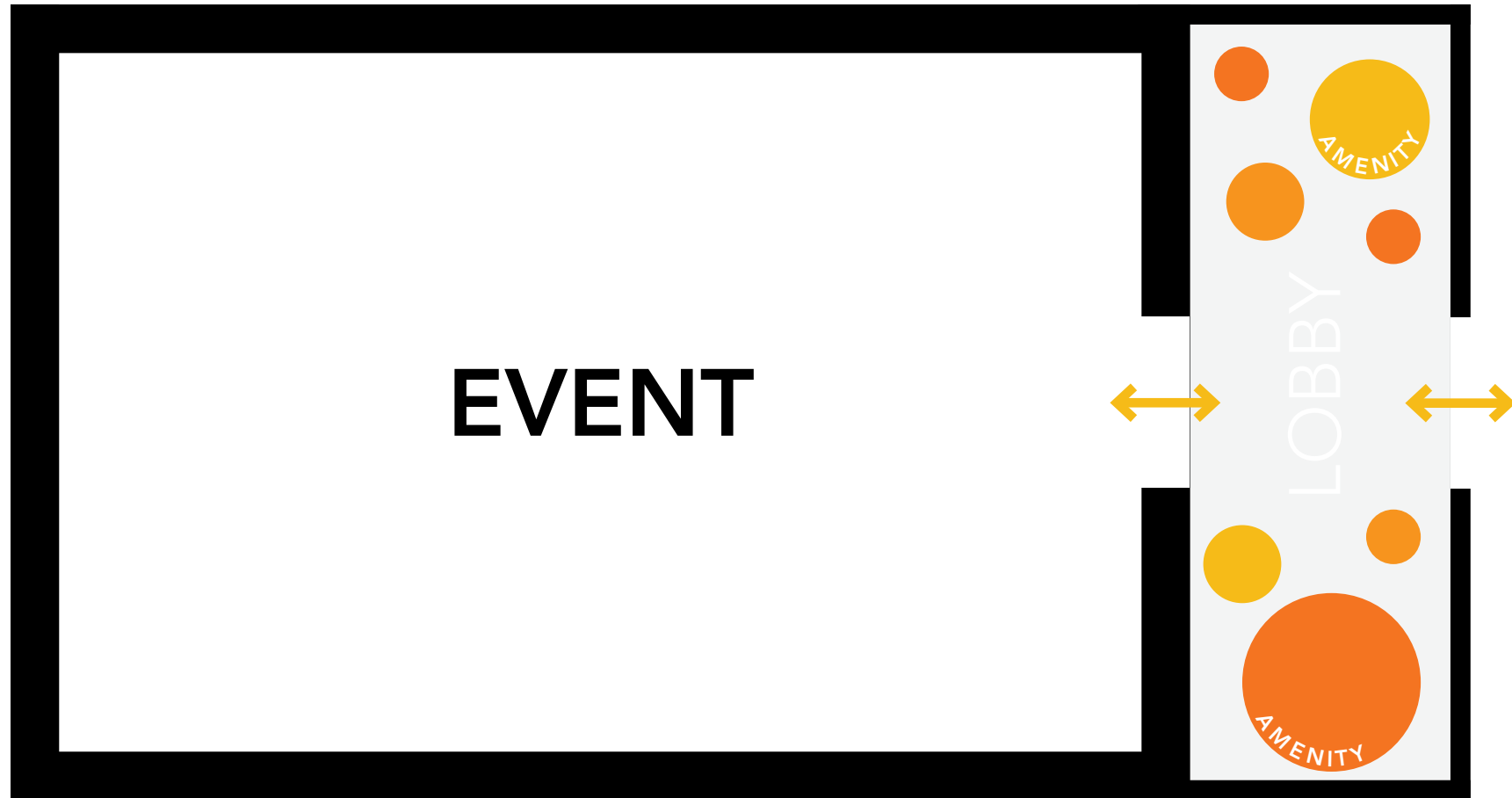




Sports Arena



Moda Center



Performing Arts Venue

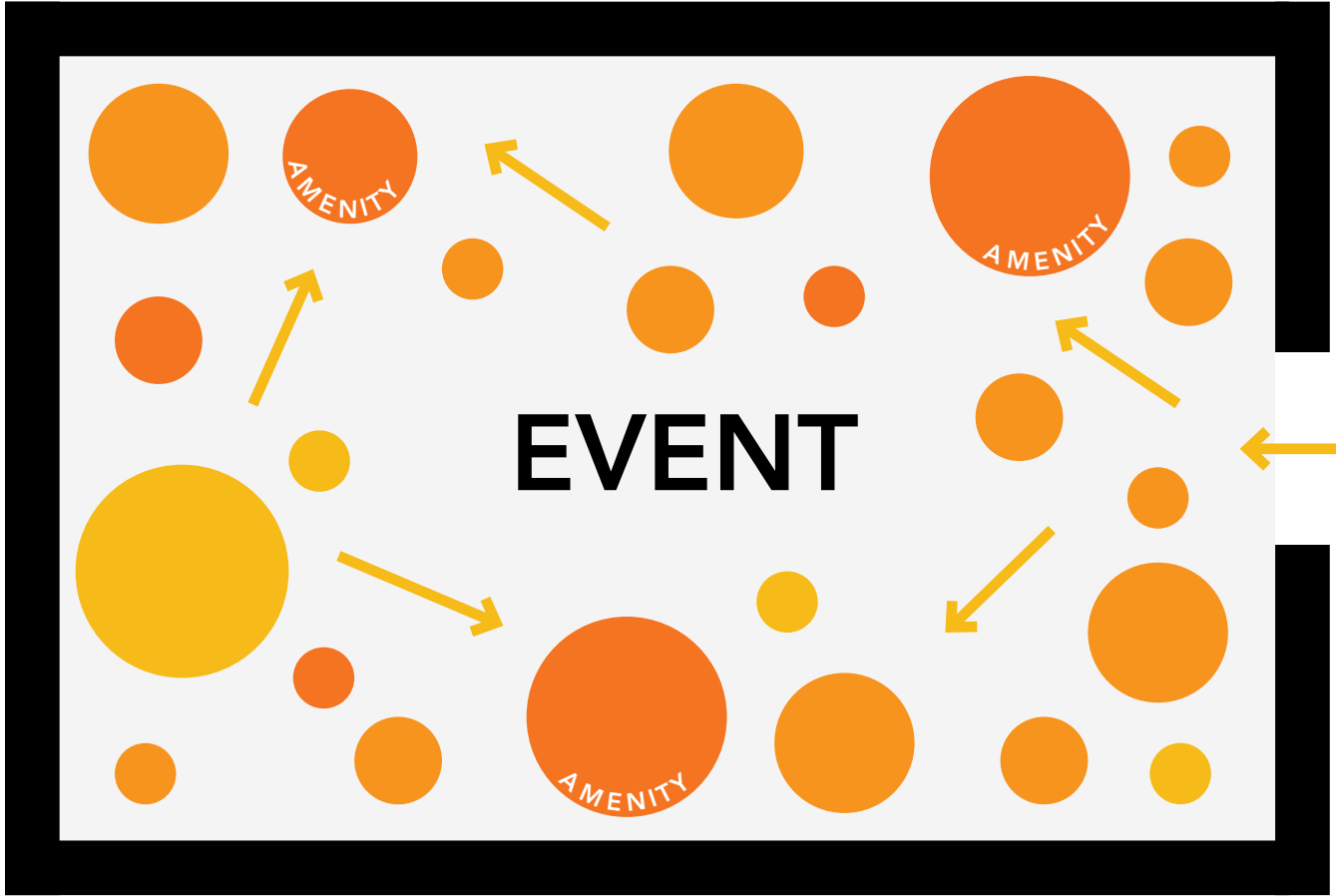


Front



Side

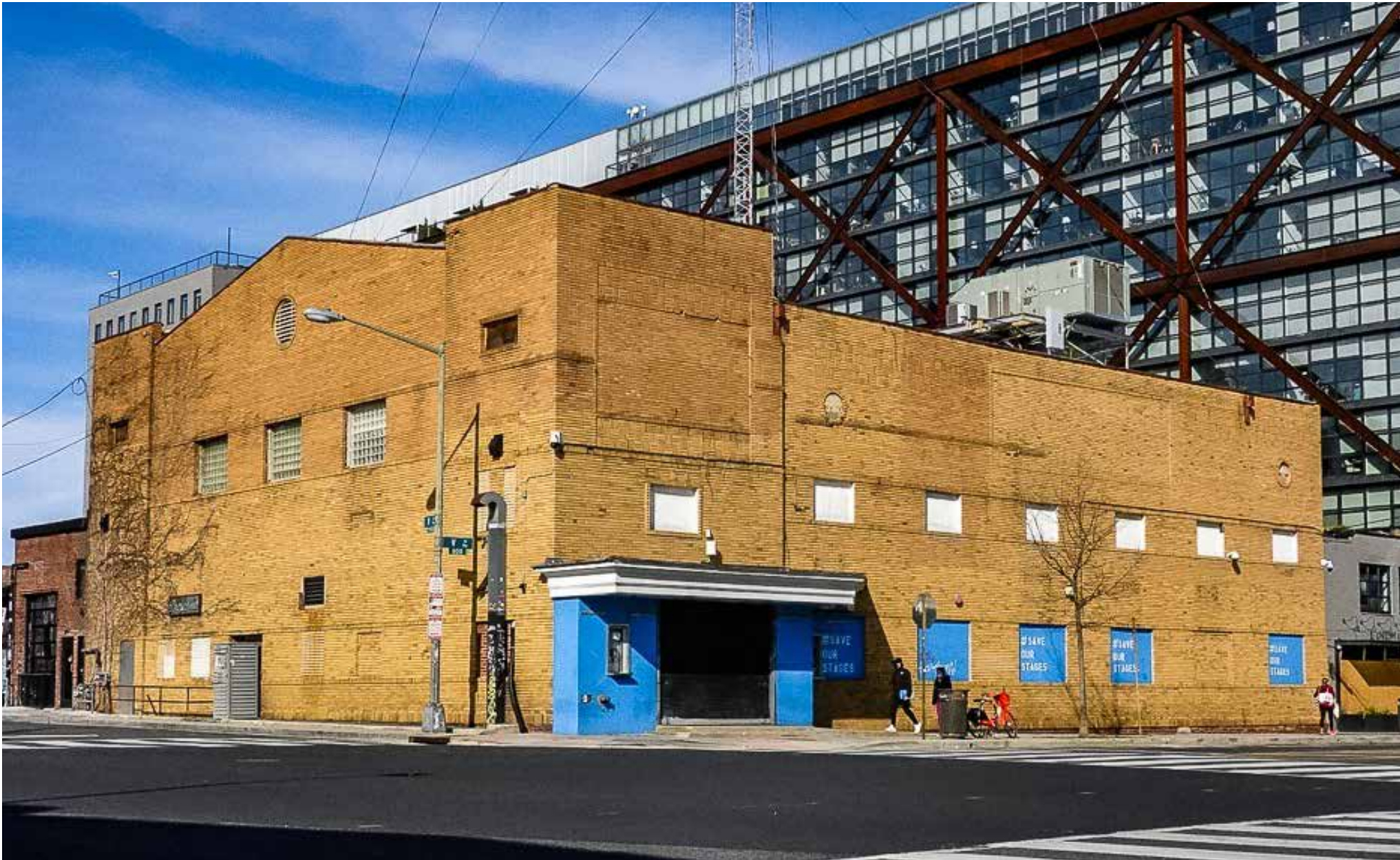
Keller Auditorium



Concerts, DJ Sets, Dances, Trade Shows

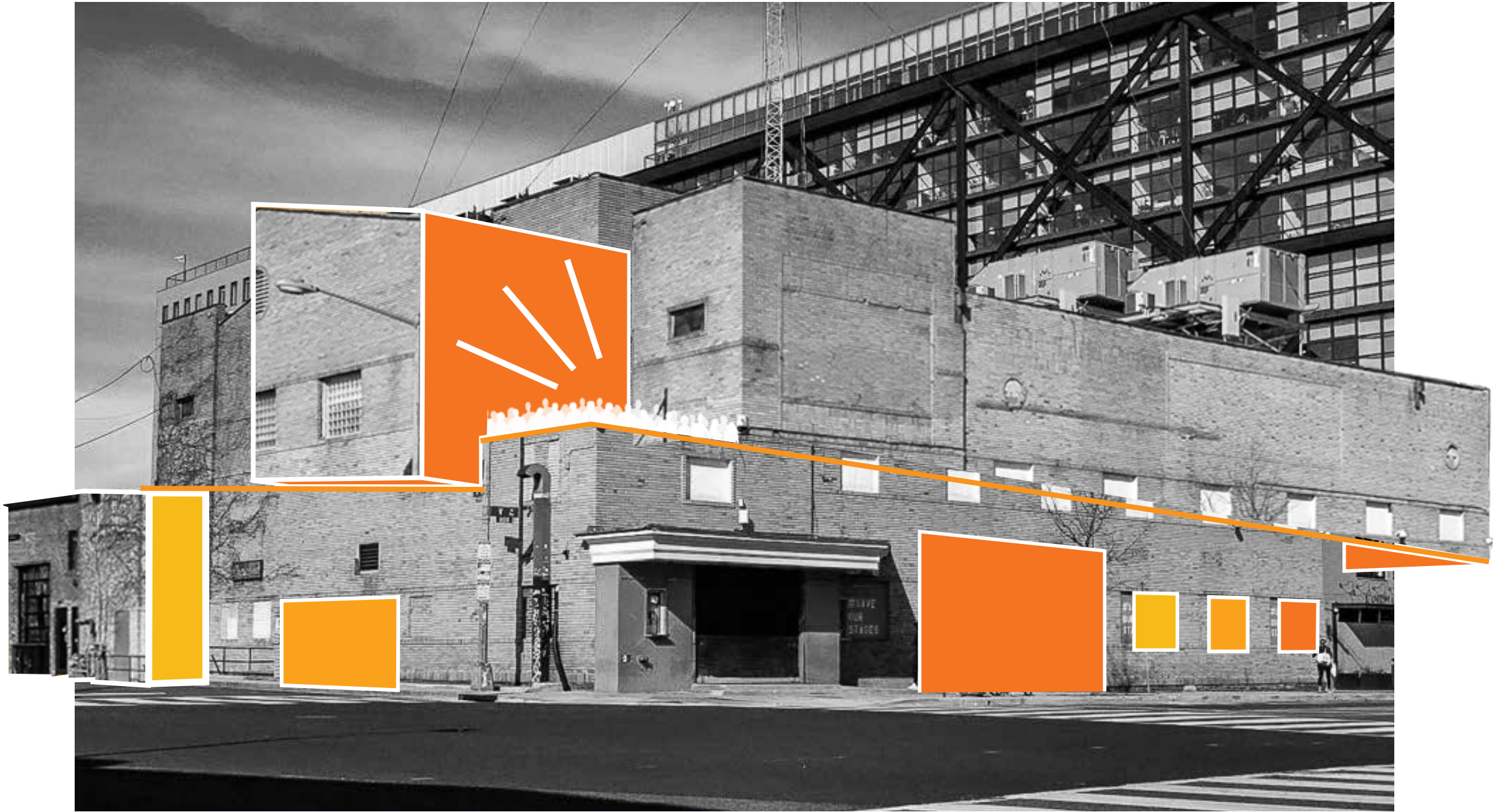


9:30 Club

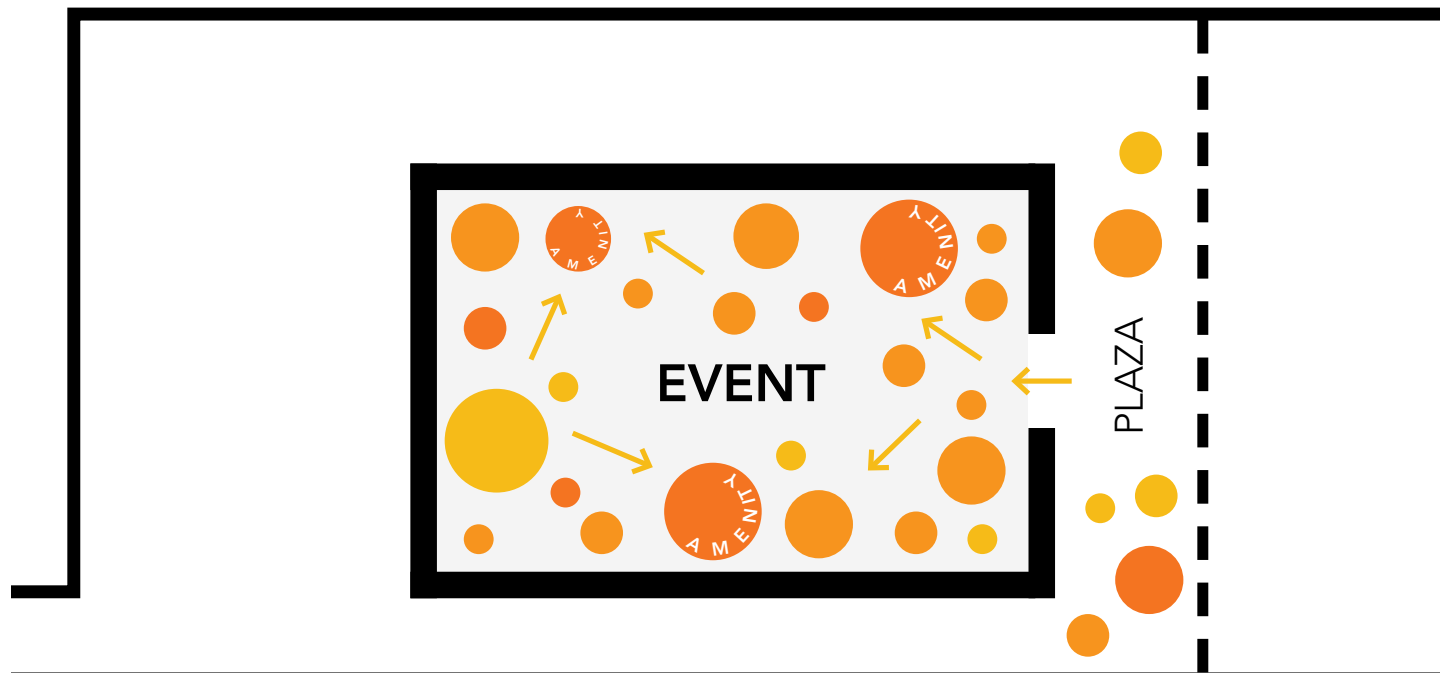


# 9:30 Club

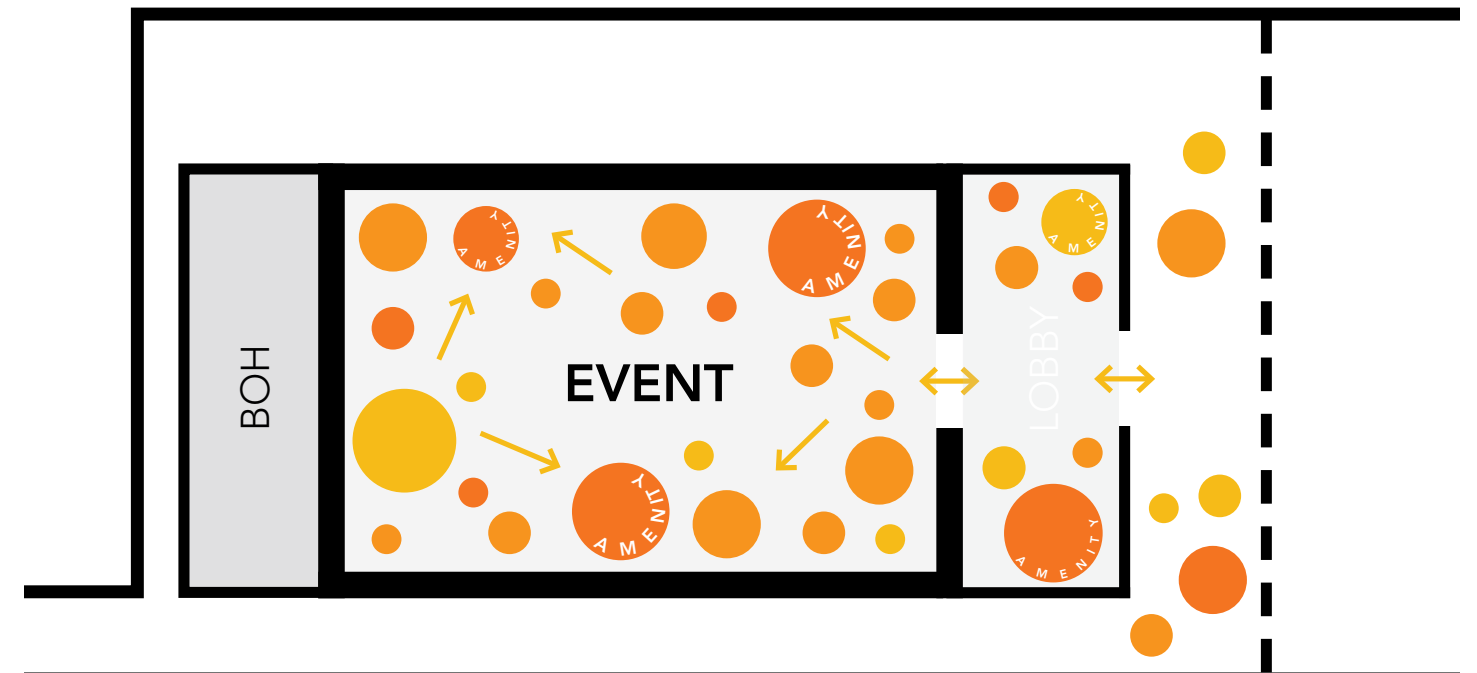




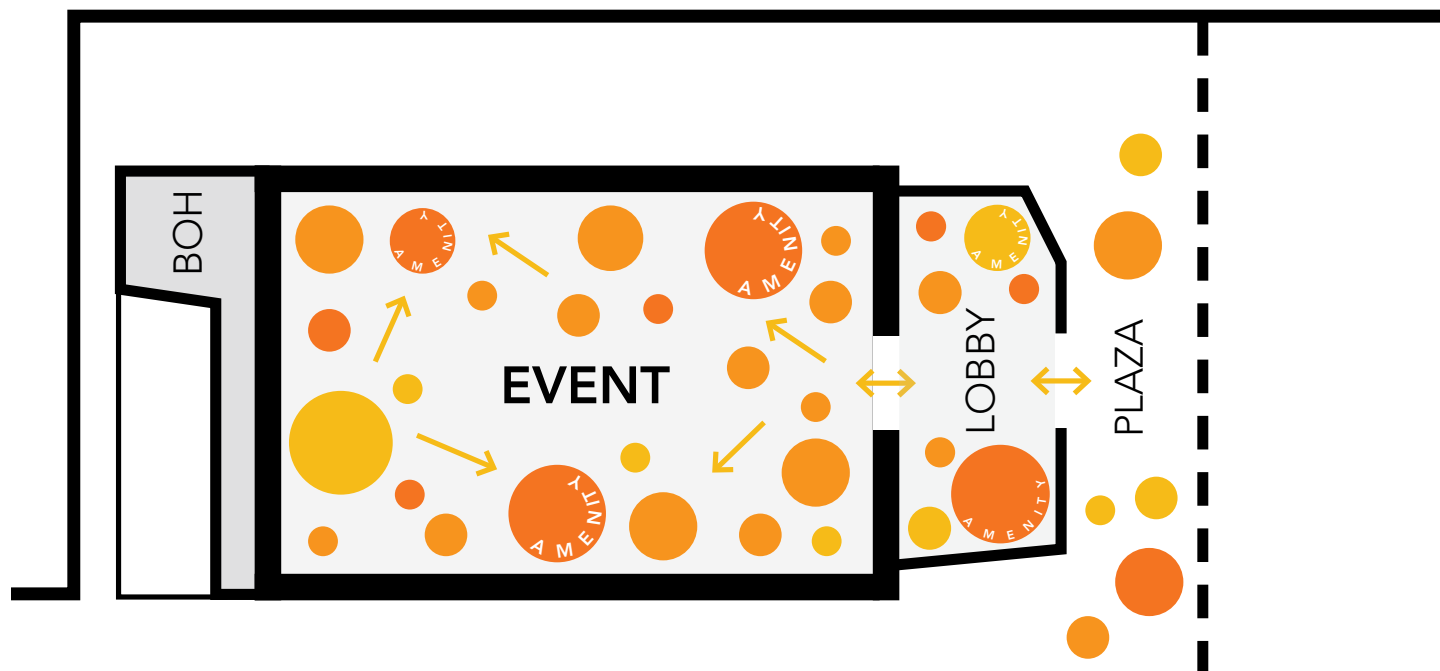
9:30 Club...Activated.



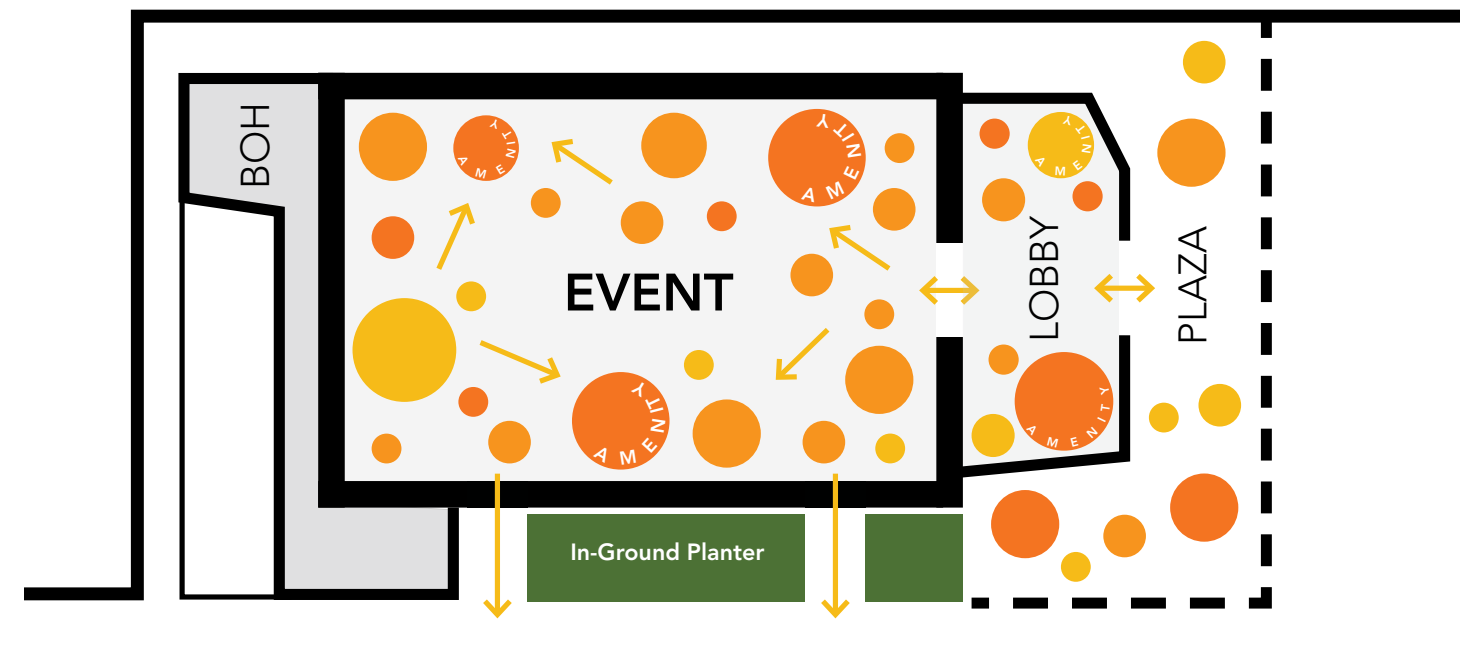
Step 1



Step 2



Step 3



Step 4





Step 1



Step 2



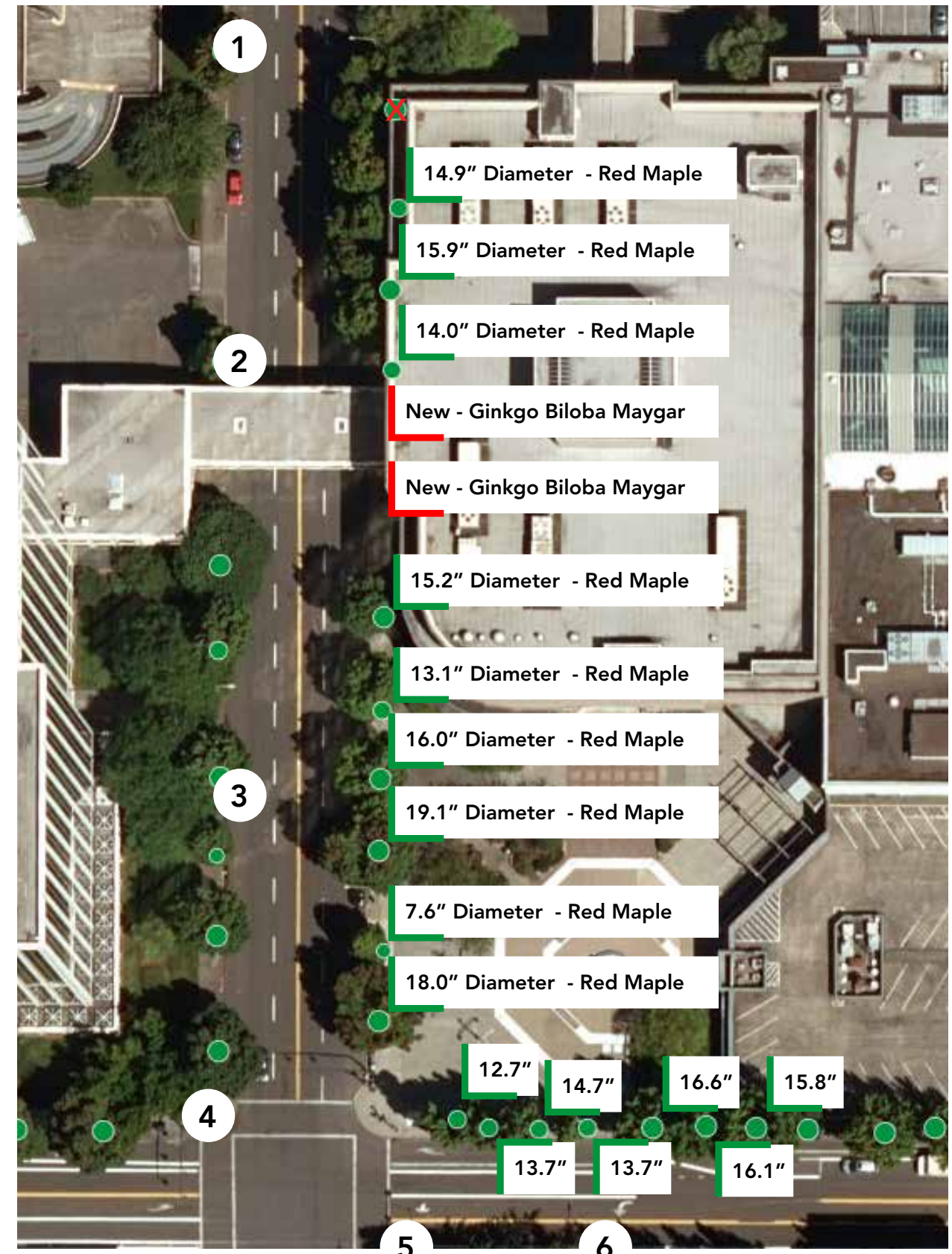
Step 3



View 1



View 2

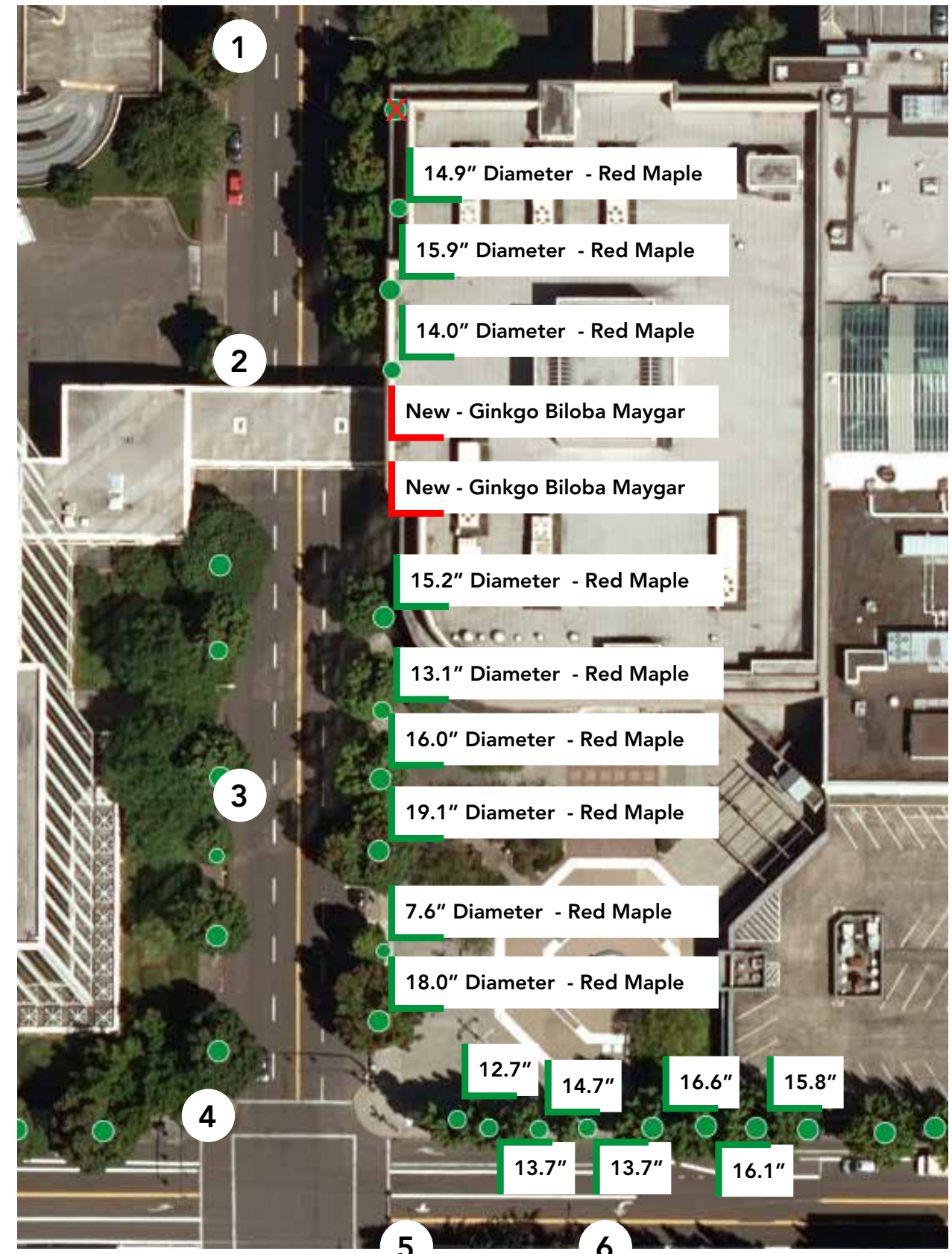




View 3



View 4

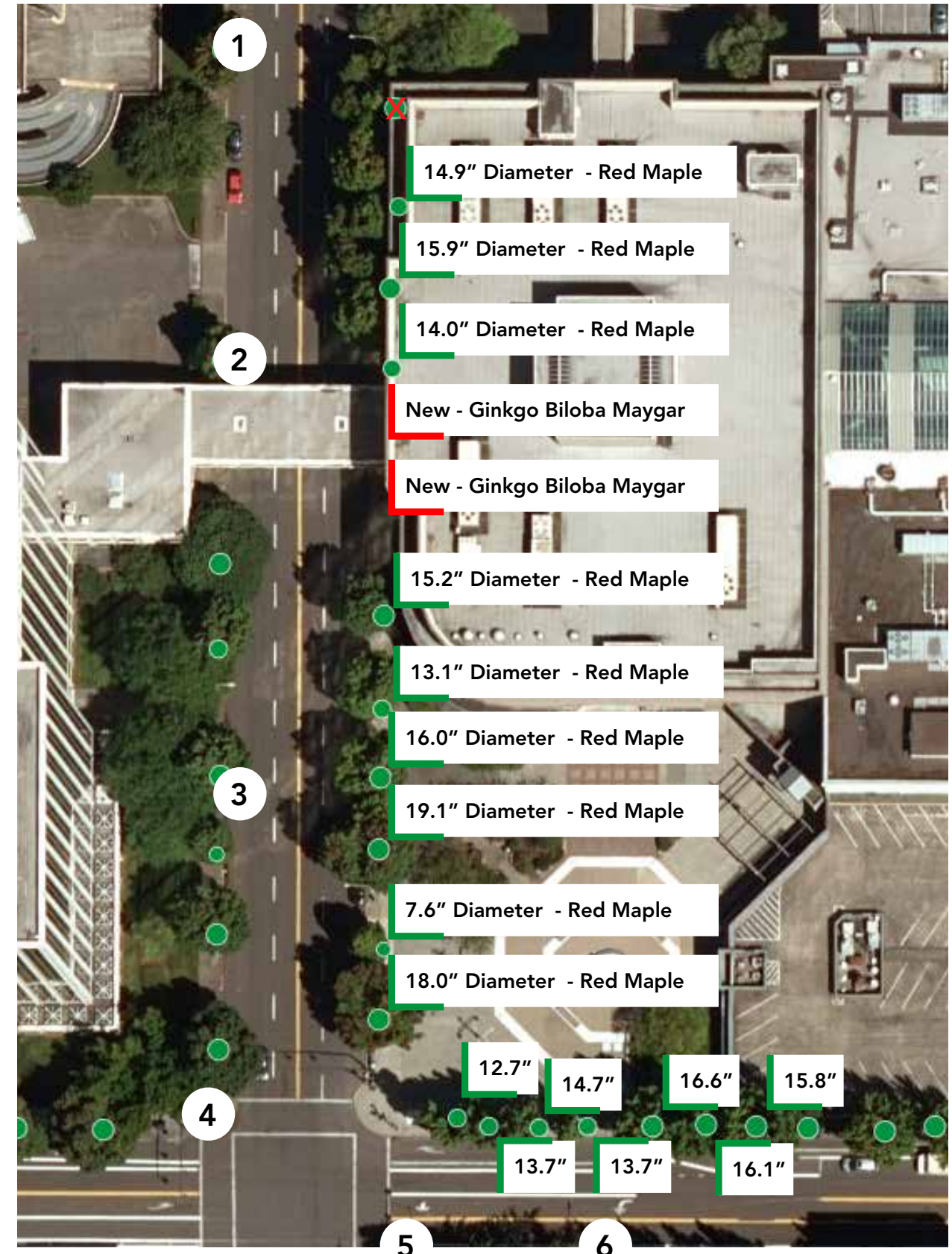




View 5



View 6





No Light



Soft Light - Amber



Full Brightness - Amber





No Light

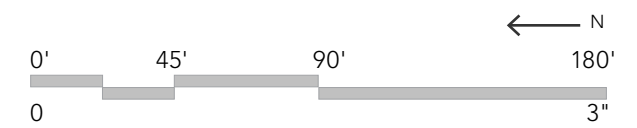
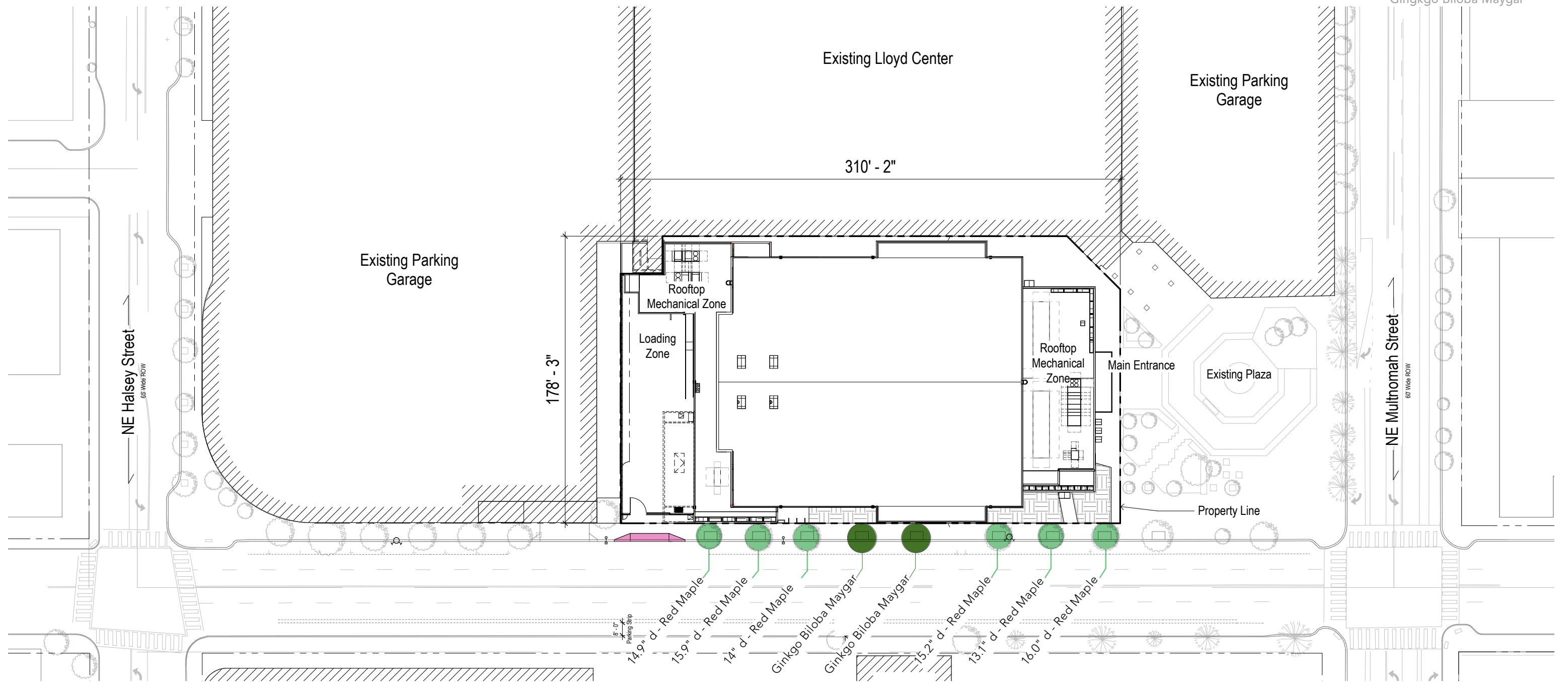


Amber Light



# C.42 CIVIL PLANS ROW IMPROVEMENTS

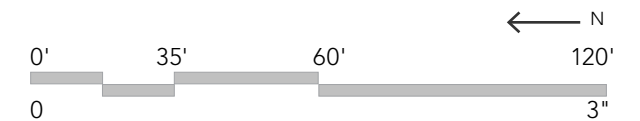
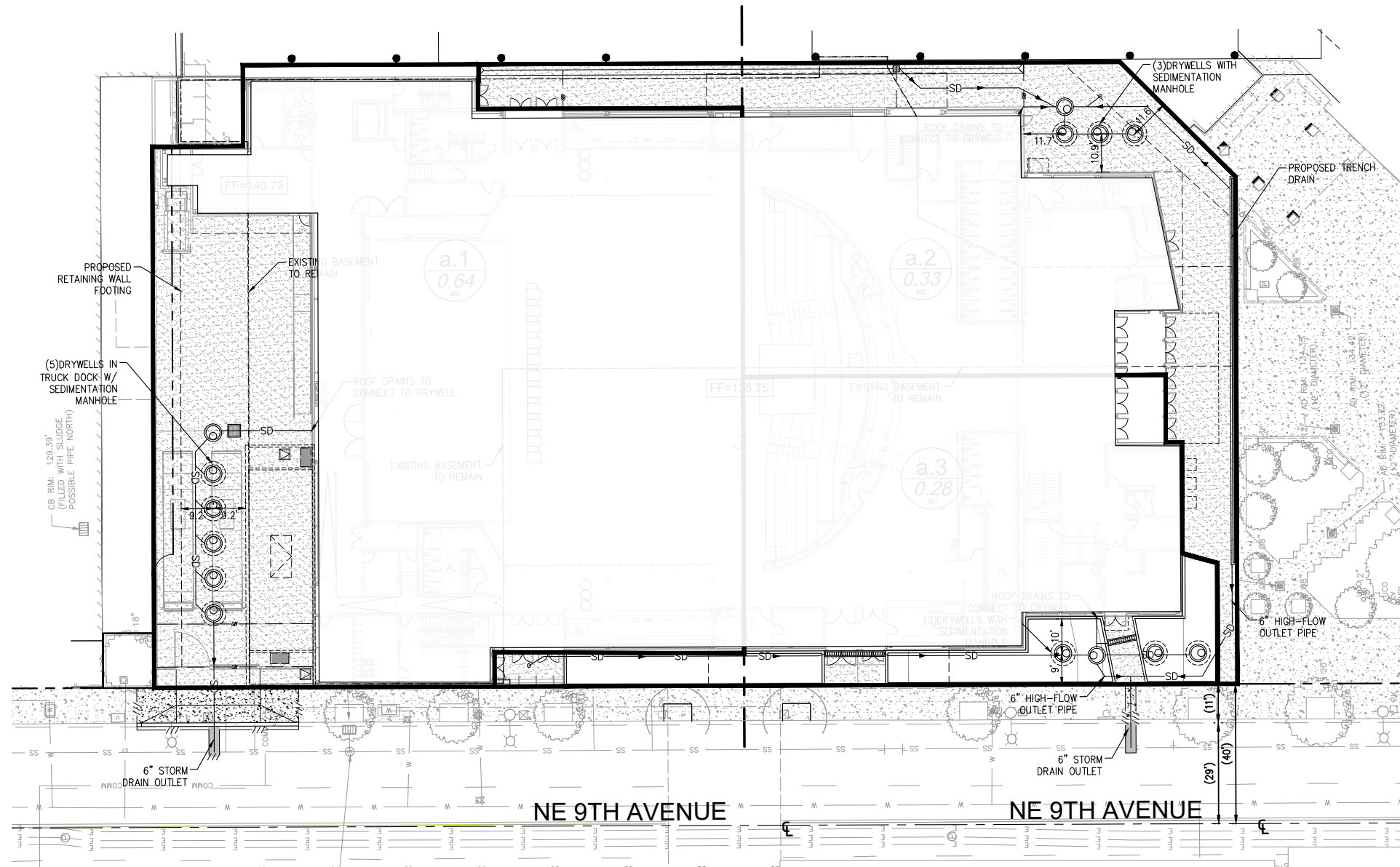
- New Driveway & Sidewalk
- Existing Sidewalk Tree  
Red Maple
- New Sidewalk Tree  
Ginkgo Biloba Maygar



# C.43 CIVIL PLANS STORMWATER MANAGEMENT OPTION A

Infiltration feasible on south side of site, drywells to be located as sole source of treatment

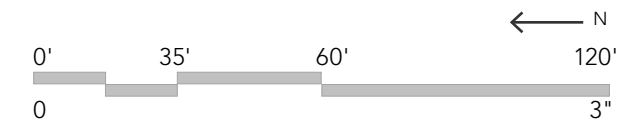
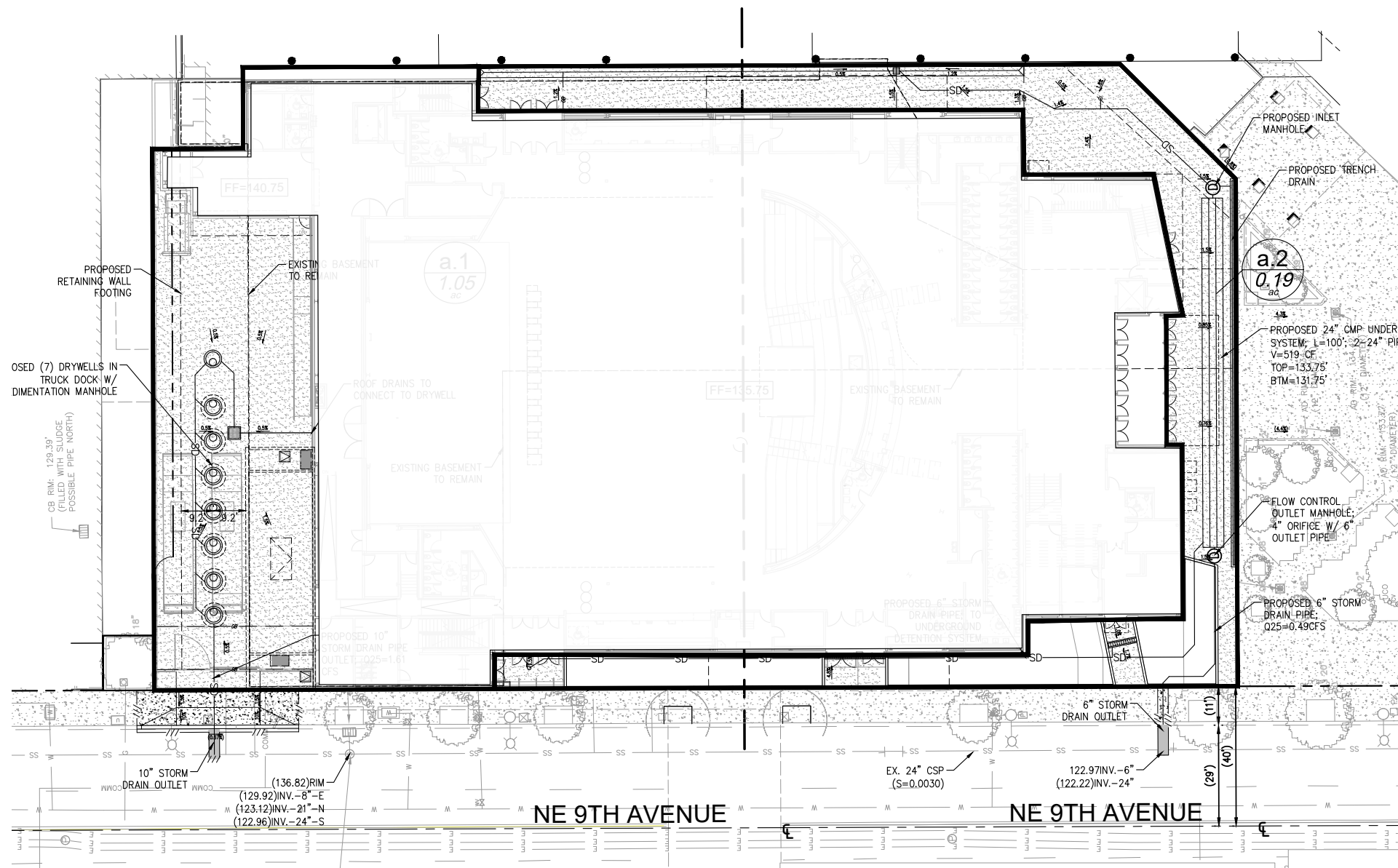
Drywells at the north, and drywells at the south & southeast corner



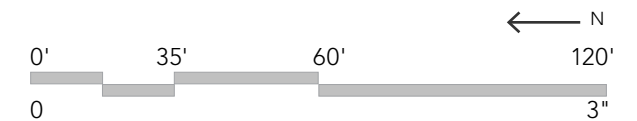
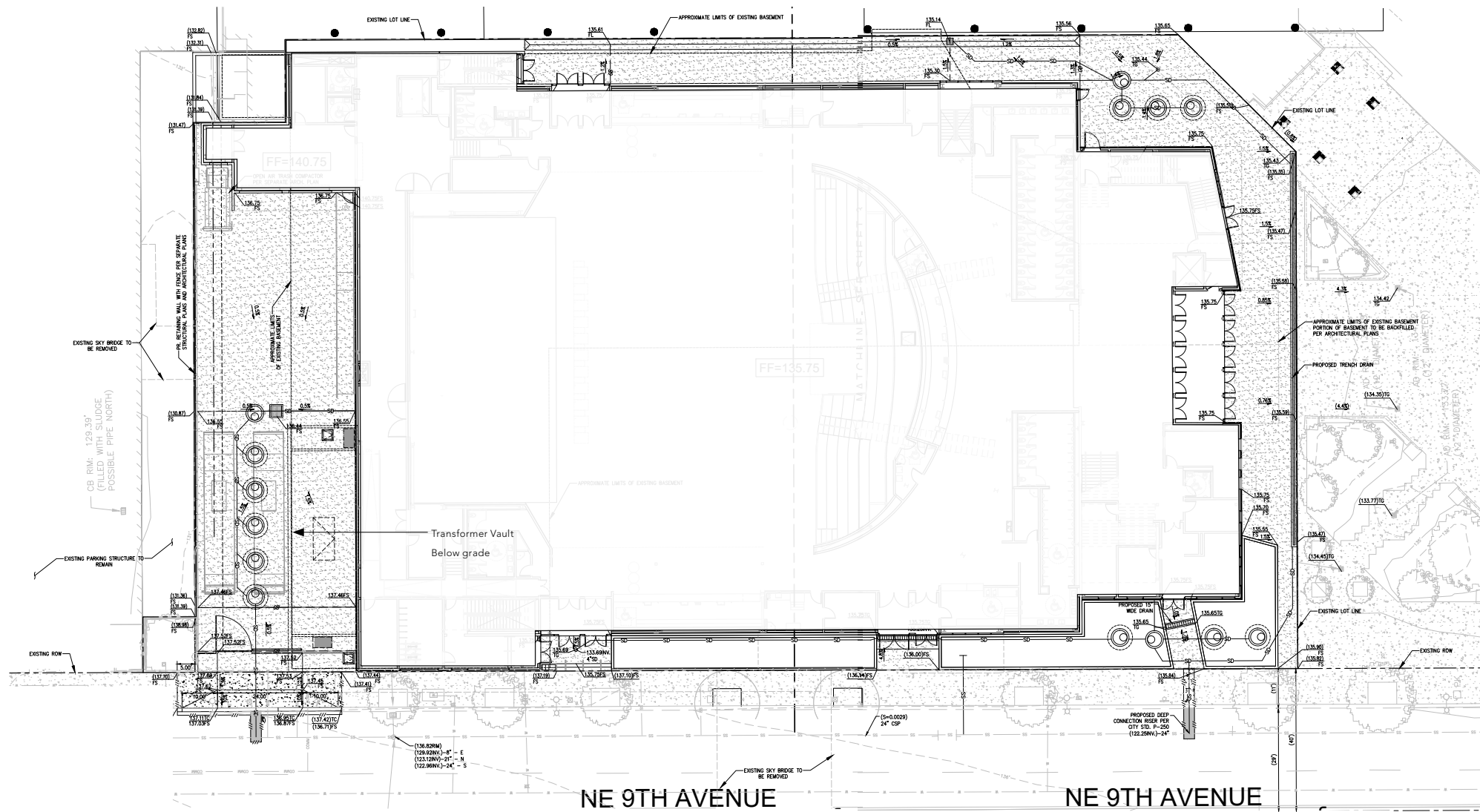
# C.43 CIVIL PLANS STORMWATER MANAGEMENT OPTION B

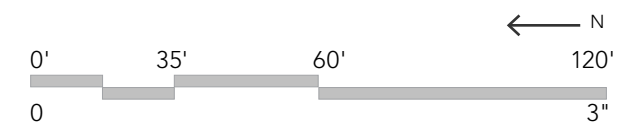
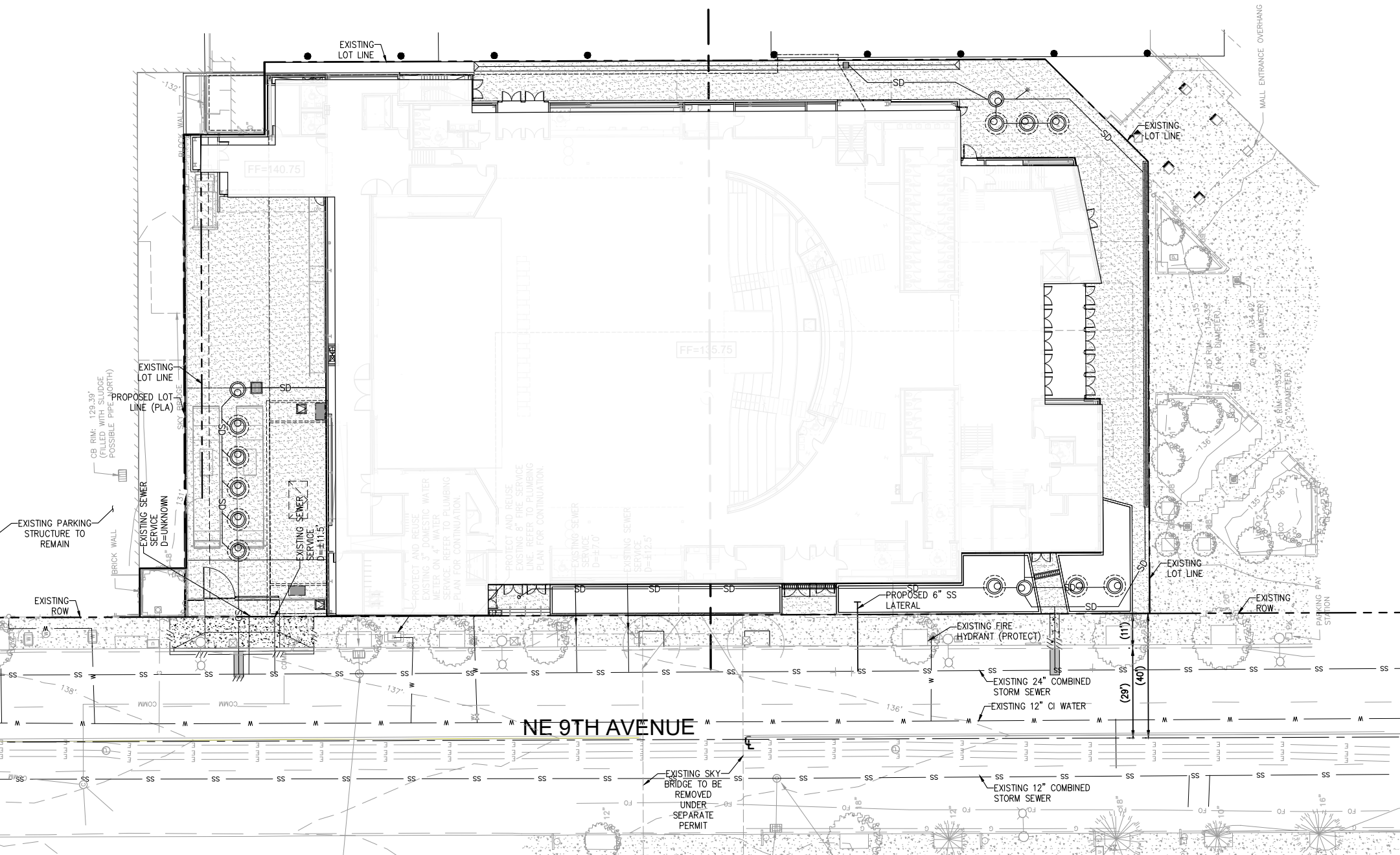
Infiltration is not feasible on the south side of the site. 24" CMP detention pipe utilized with a flow control manhole to detain and slowly release the runoff at the required rate.

Drywells will still be used at the north end of the site.



# C.44 CIVIL PLANS GRADING PLAN

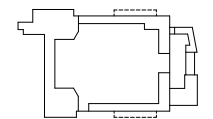


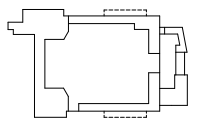


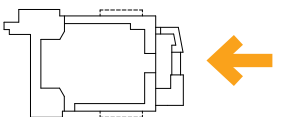


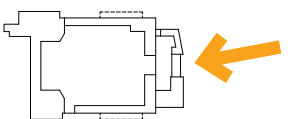
# PERSPECTIVE RENDERINGS



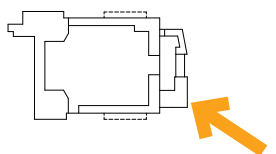


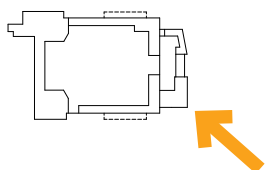


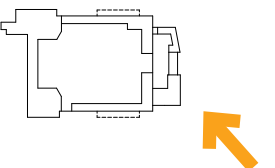




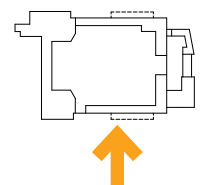


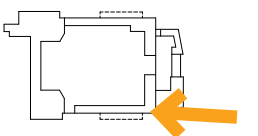


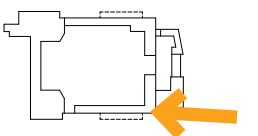


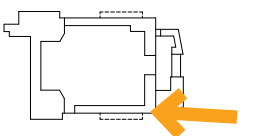


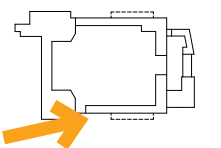
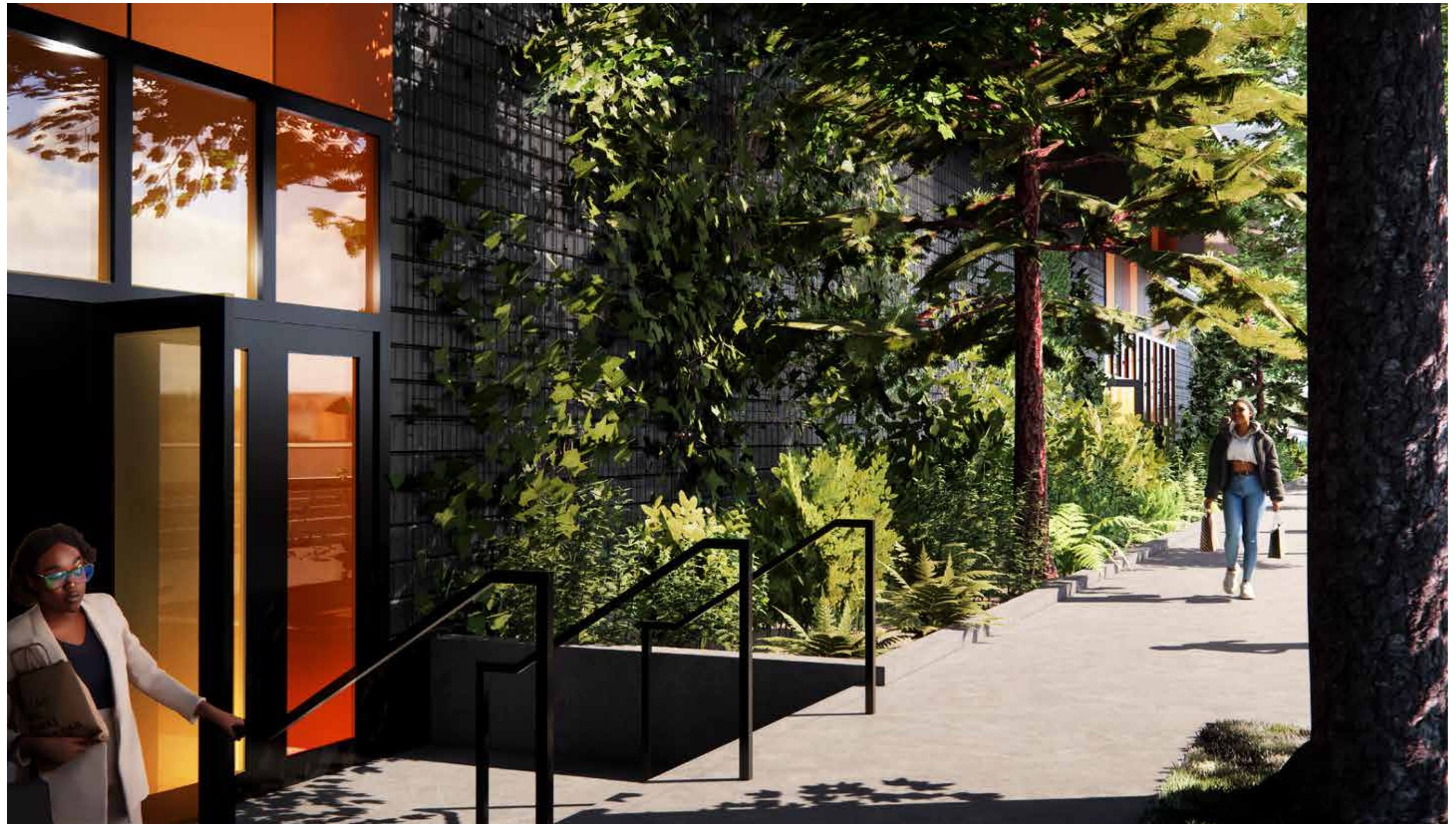


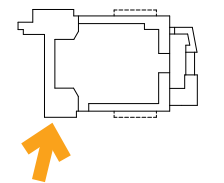


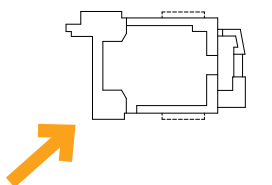












# MODIFICATIONS & CONFIRMATION OF CRITERIA



**CENTRAL CITY PLAN DISTRICT, 33.510.215**

**B. REQUIRED BUILDING LINE STANDARDS**

1. General Standards. Unless otherwise specified in Paragraphs B.2. through B.5., new development and major remodels in the RX, CX and EX zones must meet one of the following standards. Exterior walls of buildings designed to meet the requirements of this Paragraph must be at least 15 feet high measured from the finished sidewalk at the building's edge:

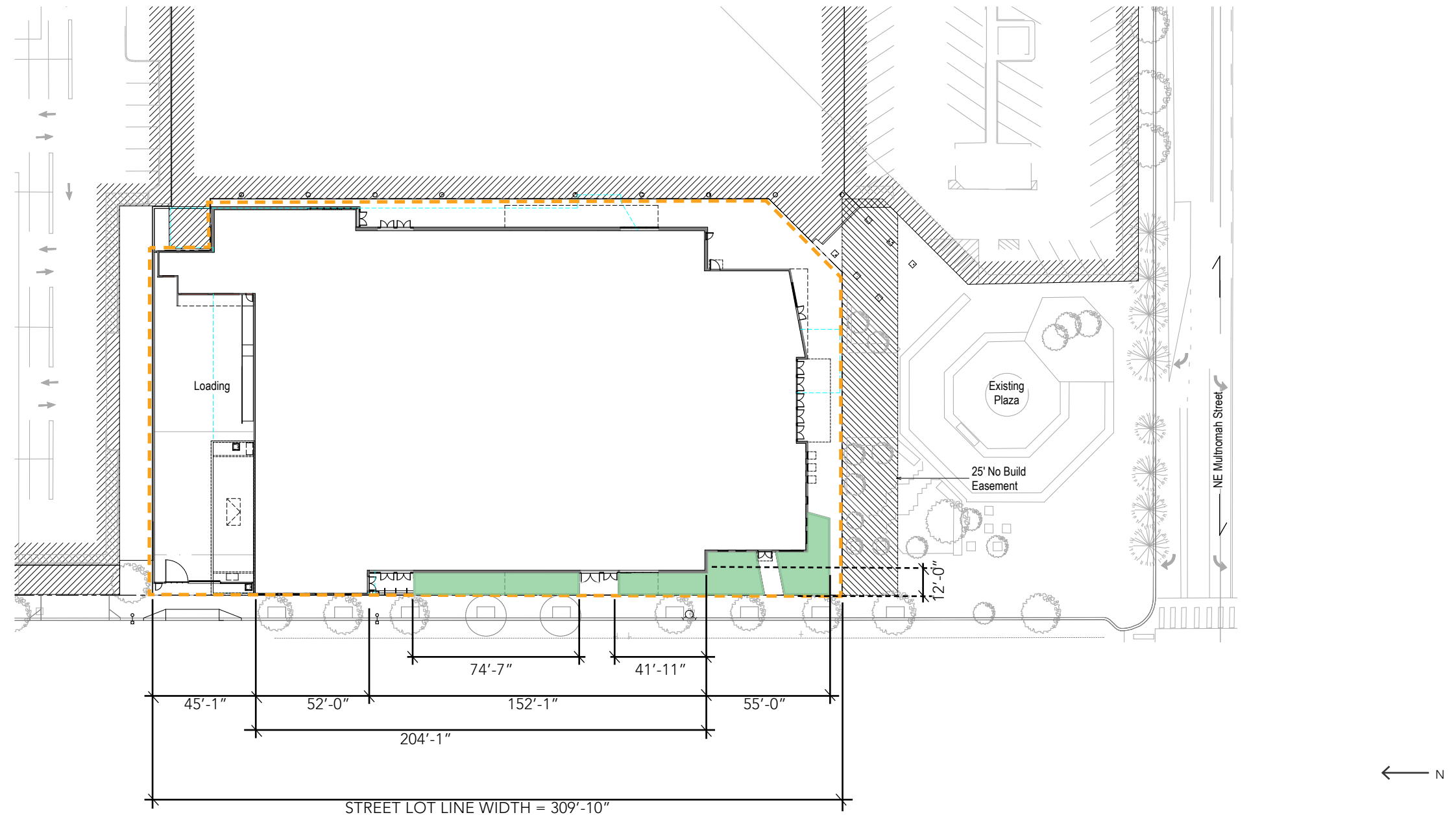
- a. The building must extend to the street lot line along at least 75 percent of the lot line; or
- b. The building must extend to within 12 feet of the street lot line along at least 75 percent of the length of the street lot line. The space between the building and the street lot line must be designed as an extension of the sidewalk and 510-30 Chapter 33.510 Title 33, Planning and Zoning 3/1/22 Central City Plan District committed to active uses such as sidewalk cafes, vendor's stands, or developed as "stopping places."

2. Standards for sites with frontage on a street shown on Map 510-7. New development and major remodels on a site with frontage on a street shown on Map 510-7 must meet one of the following standards. Exterior walls of buildings designed to meet the requirements of this Paragraph must be at least 15 feet high measured from the finished sidewalk at the building's edge:

- a. The building must extend to the street lot line along at least 75 percent of the length of the street lot line; or
- b. The building must set back at least 6 feet from the street lot line along at least 75 percent of the length of the street lot line. The space between the building and the street lot line must be landscaped as follows. All plants must be selected from the Portland Tree and Landscaping manual:

(1) When the setback area is at least 6 feet and less than 12 feet wide at least 50 percent of the setback must be landscaped with ground cover plants and shrubs;

(2) When the setback area is 12 feet wide or more, at least 80 percent of the setback area must be landscaped with ground cover plants and shrubs, and contain one tree per 400 square feet of the setback area.



**CONFIRMATION OF CRITERIA  
33.510.215 B.2.B**

Overall Street Lot Line Width	=	309'-10"
75% of Street Lot Line Width	=	232'-5"
Setback at least 6' from Lot Line		45'-1"
		152'-1"
		55'-0"
	=	252'-2"
% Set back at least 6' from Lot Line	=	82%

Street Lot Line Planted **7% over reqmt**

**CONFIRMATION OF CRITERIA  
33.510.215 B.2.B.1**

Setback within 6' - 12'	=	152'-1"
50% of Setback Width	=	76'- 1/2"
Setback Width Planted	=	116'- 4"
% of Setback Width Planted	=	76.5%

Street Lot Line Planted **26% over reqmt**

CENTRAL CITY PLAN DISTRICT, 33.510.220

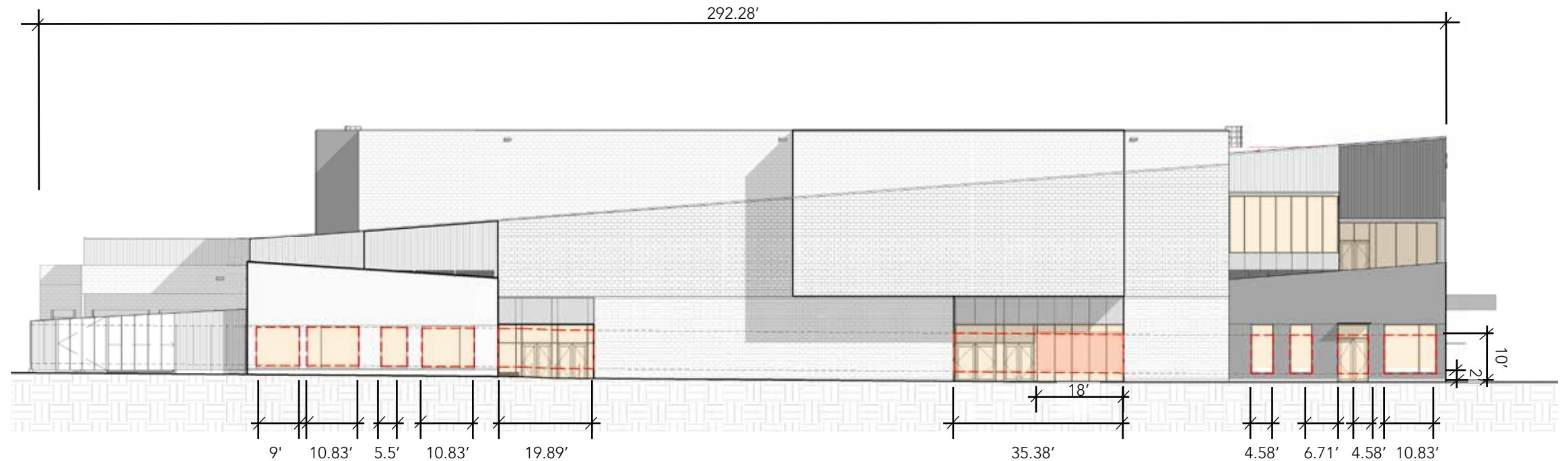
B. GROUND FLOOR WINDOWS

1. The following ground floor window standards apply in the RX, CX and EX zones. The standards of B.1 and B.2 apply to new development and major remodeling projects. B.3. only applies to major remodeling projects. **To meet the standards, ground floor windows must be windows that allow views into work areas or lobbies, or be windows in pedestrian entrances. Windows into storage areas, vehicle parking areas, garbage and recycling areas, mechanical and utility areas and display cases attached to outside walls do not qualify.** Windows into bicycle parking areas are allowed to qualify for up to 25 percent of the ground floor windows coverage requirement. The bottom of the windows of nonresidential spaces must be no more than 4 feet above the finished grade:

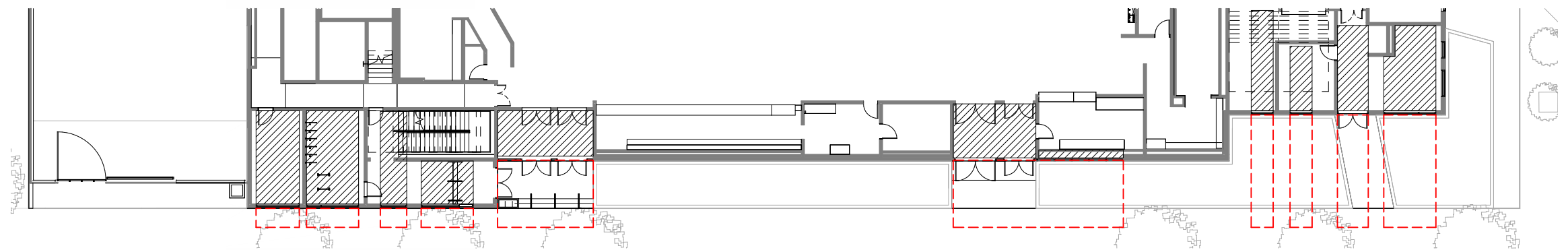
1. Ground level facades that face a street or open area shown on Map 510-8 must have windows that cover at least 60 percent of the ground level wall area. For the purposes of this standard, ground level wall area includes all exterior wall area from 2 feet to 10 feet above the finished grade.

2. All other ground level facades that face a street lot line, sidewalk, plaza, or other publicly accessible open area or right-of-way must have windows that cover at least 40 percent of the ground level wall area. For street facing facades of dwelling units the regulations of 33.130.230.B.4 apply. **For the purposes of this standard, ground level wall area includes all exterior wall area from 2 feet to 10 feet above the finished grade.**

3. Optional artwork. Projects proposing to use artwork as an alternative to the ground floor window requirements may apply for this through the adjustment procedure. Projects may also apply for a modification through design review if they meet the following qualifications. Buildings having more than 50 percent of their ground level space in storage, parking, or loading areas, or in **uses which by their nature are not conducive to windows (such as theaters), may be allowed to use the design review process.** Artwork and displays relating to activities occurring within the building are encouraged. In these instances, the artwork will be allowed if it is found to be consistent with the purpose for the ground floor window standard.



West Elevation - 9th Street



TOTAL GROUND FLOOR WINDOWS

West Elevation Width	= 292.28'
Ground Floor Wall Area	= 2,353 sf
40% Ground Floor Wall Area	= 941 sf
Glazing Coverage Shown	= 942. sf (40%)

Total Ground Floor Glazing **meeting reqmt**

WINDOW TRANSLUCENCY

Glazing with Translucent, Color Film = 100%

Modification request to reduce vision glass **100% under reqmt**

WINDOW ALLOWABLE VIEWS

Glazing into Vitrine = 144 sf (6%)

Windows into work areas, pedestrian egress & bike areas = 694 sf (29.5%)

Modification request to reduce Glazing meeting allowable view standard **10% under reqmt**

**CENTRAL CITY PLAN DISTRICT, 33.510.220**

**B. GROUND FLOOR WINDOWS**

Purpose – In the Central City plan district, blank walls on the ground level of buildings are limited in order to:

- Provide a pleasant, rich, and diverse pedestrian experience by connecting activities occurring within a structure to adjacent sidewalk areas;
- Encourage continuity of retail and service uses;
- Encourage surveillance opportunities by restricting fortress-like facades at street level;
- Avoid a monotonous pedestrian environment; and
- The plan district modifications to the base zone standards for ground floor windows are intended to promote ground floor windows in a larger number of situations than in the base zones and to provide additional flexibility in meeting the standard.

Response:

- Provide pleasant, rich Pedestrian experience – Densely planted zones along 9th Ave., meeting the building line standards per 33.510.215.2, will create a pleasant urban green space for the pedestrian. Glazing is placed in sections of the façade that have the closest proximity to the right of way for betterment of the pedestrian experience and pleasantness.
- Encourage continuity of retail and services & surveillance opportunities – Where the program allows, we have insured that these spaces (offices, breakrooms, bike rooms) are all provided with ground floor windows that have semi-view glazing.
- Avoid Monotonous pedestrian experience – The articulation of the building’s massing in combination with placing windows at program allowable areas and landscaping at the remaining locations, will break up any monotony in the pedestrian environment during non-event times, per the standard.



9TH AVE SOUTHWEST CORNER - ACROSS STREET VIEW



9TH AVE SOUTHWEST CORNER - ZOOMED IN VIEW



9TH AVE OVERALL ELEVATION VIEW



9TH AVE - SIDEWALK VIEW

CENTRAL CITY PLAN DISTRICT, 33.510.220

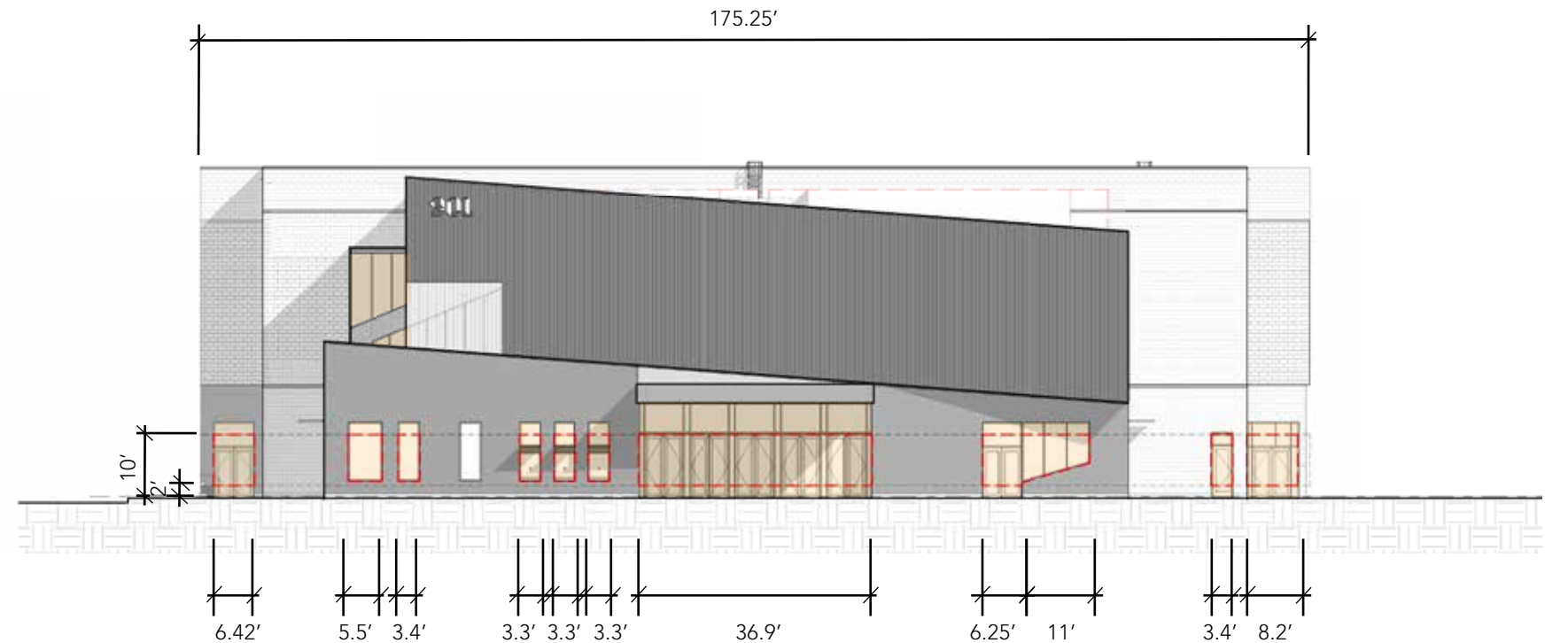
B. GROUND FLOOR WINDOWS

1. The following ground floor window standards apply in the RX, CX and EX zones. The standards of B.1 and B.2 apply to new development and major remodeling projects. B.3. only applies to major remodeling projects. **To meet the standards, ground floor windows must be windows that allow views into work areas or lobbies, or be windows in pedestrian entrances. Windows into storage areas, vehicle parking areas, garbage and recycling areas, mechanical and utility areas and display cases attached to outside walls do not qualify.** Windows into bicycle parking areas are allowed to qualify for up to 25 percent of the ground floor windows coverage requirement. The bottom of the windows of nonresidential spaces must be no more than 4 feet above the finished grade:

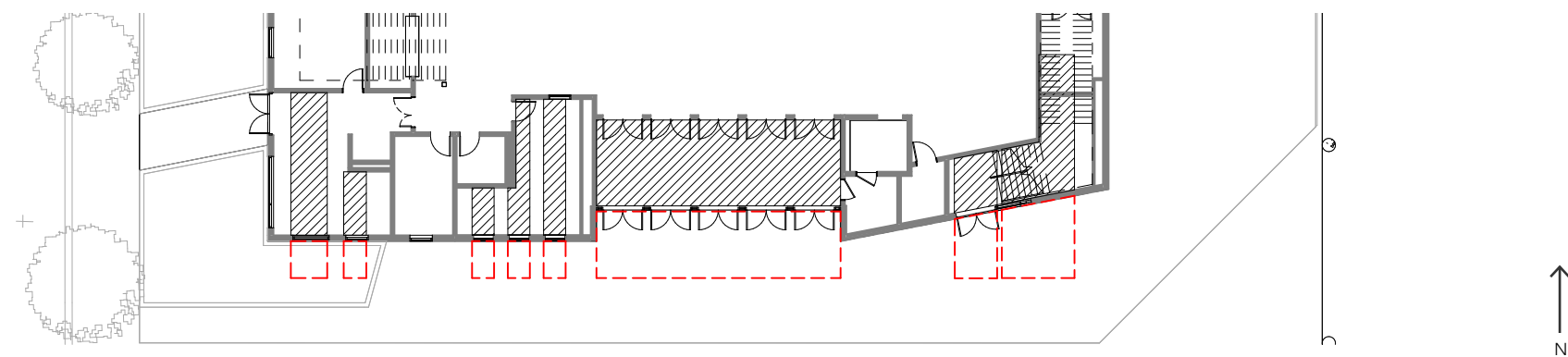
1. Ground level facades that face a street or open area shown on Map 510-8 must have windows that cover at least 60 percent of the ground level wall area. For the purposes of this standard, ground level wall area includes all exterior wall area from 2 feet to 10 feet above the finished grade.

2. All other ground level facades that face a street lot line, sidewalk, plaza, or other publicly accessible open area or right-of-way must have windows that cover at least 40 percent of the ground level wall area. For street facing facades of dwelling units the regulations of 33.130.230.B.4 apply. **For the purposes of this standard, ground level wall area includes all exterior wall area from 2 feet to 10 feet above the finished grade.**

3. Optional artwork. Projects proposing to use artwork as an alternative to the ground floor window requirements may apply for this through the adjustment procedure. Projects may also apply for a modification through design review if they meet the following qualifications. Buildings having more than 50 percent of their ground level space in storage, parking, or loading areas, **or in uses which by their nature are not conducive to windows (such as theaters), may be allowed to use the design review process.** Artwork and displays relating to activities occurring within the building are encouraged. In these instances, the artwork will be allowed if it is found to be consistent with the purpose for the ground floor window standard.



South Elevation - Plaza



TOTAL GROUND FLOOR WINDOWS

South Elevation Width	= 175.25'
Ground Floor Wall Area	= 1402 sf
40% Ground Floor Wall Area	= 560 sf
Glazing Coverage Shown	= 698 sf (49%)

WINDOW TRANSLUCENCY

Glazing with Translucent, Color Film = 100%

Total Ground Floor Glazing **9% over requirement**

Modification request to reduce vision glass **100% under reqmt**

**CENTRAL CITY PLAN DISTRICT, 33.510.225**

**GROUND FLOOR ACTIVE USE**

**A. Purpose.**

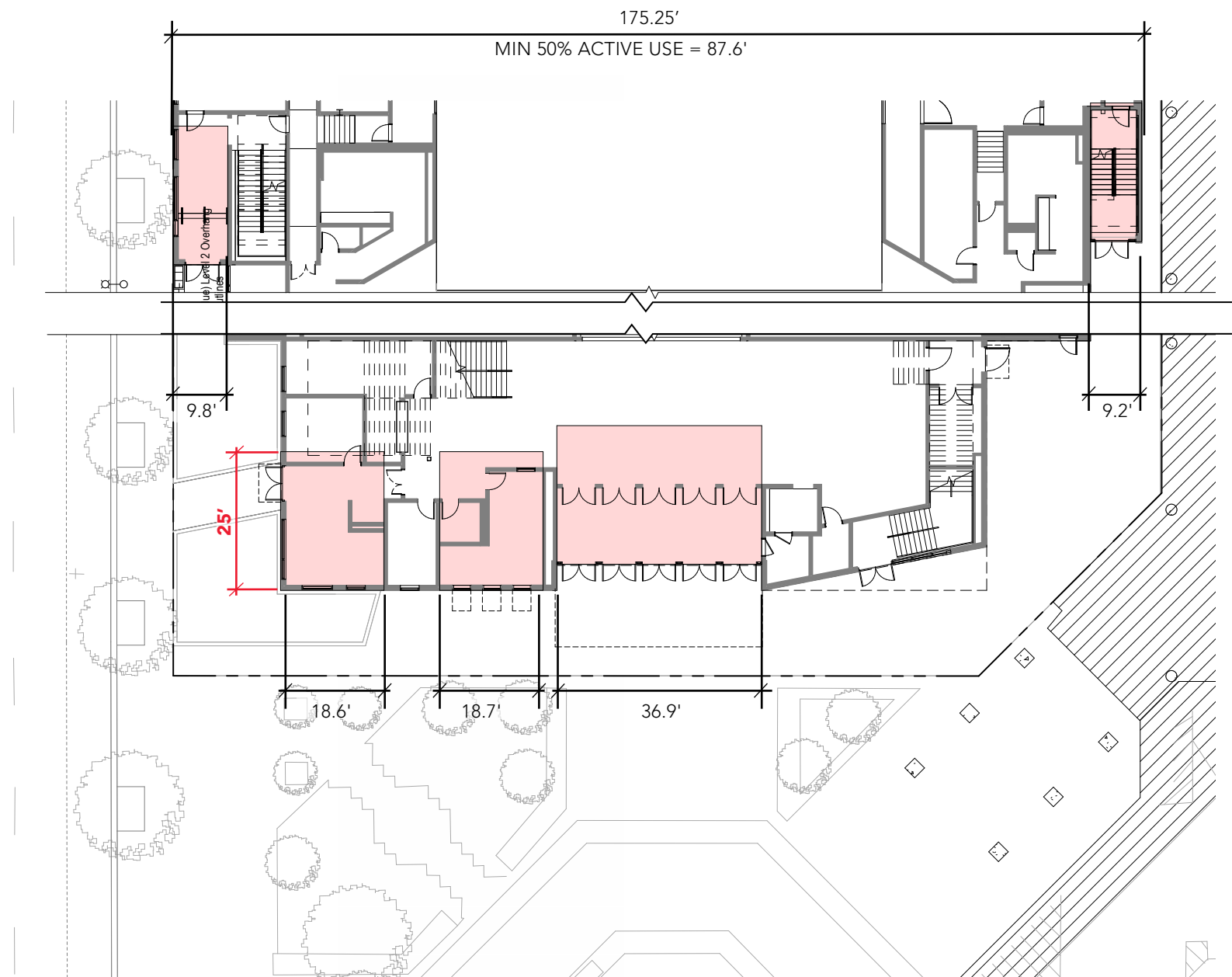
The ground floor active use standards are intended to reinforce the continuity of pedestrian-active ground-level building uses. The standards help maintain a healthy urban district through the interrelationship of ground-floor building occupancy and street level accessible activities, and they encourage a transit-supportive, pedestrian-oriented environment that is safe, active with uses, and comfortable for residents, visitors, and others. **Active uses include but are not limited to: lobbies and other common areas of the building, retail, commercial, and office uses, but do not include storage, vehicle parking, garbage, recycling, mechanical, or utility uses.**

**C. Ground Floor Active Use Standards.**

2. Buildings must be designed and constructed to accommodate uses such as those listed in Subsection A. Areas designed to accommodate these uses must be developed at the time of construction. **This standard must be met along at least 50 percent of the ground floor of walls that are at an angle of 45 degrees or less from the street lot line of a street shown on Map 510-9, a plaza, or other public open space.**

Areas designed to accommodate active uses must meet the following standards. Accessory structures are exempt from the standards:

- a. The distance from the finished floor to the bottom of the structure above must be at least 12 feet. The bottom of the structure above includes supporting beams;
- b. The area must be at least 25 feet deep, measured from the street-facing façade or wall;
- c. The area may be designed to accommodate a single tenant or multiple tenants. In either case, the area must meet the standards of the Accessibility Chapter of the State of Oregon Structural Specialty Code. This code is administered by BDS; and
- d. The street-facing facade or wall must include windows and doors.



Plaza Ground Floor

**CONFIRMATION OF CRITERIA  
33.510.225.2A**

Distance from finish floor to bottom of structure is min 12' - 0"

**CONFIRMATION OF CRITERIA  
33.510.225.2B**

Active Use Area facing Plaza = 175.25'  
50% Ground Floor Walls facing Plaza = 87.6'

Active Use Min 25' Deep = 93.31' (53%)

Total Active Use **3% over reqmt**

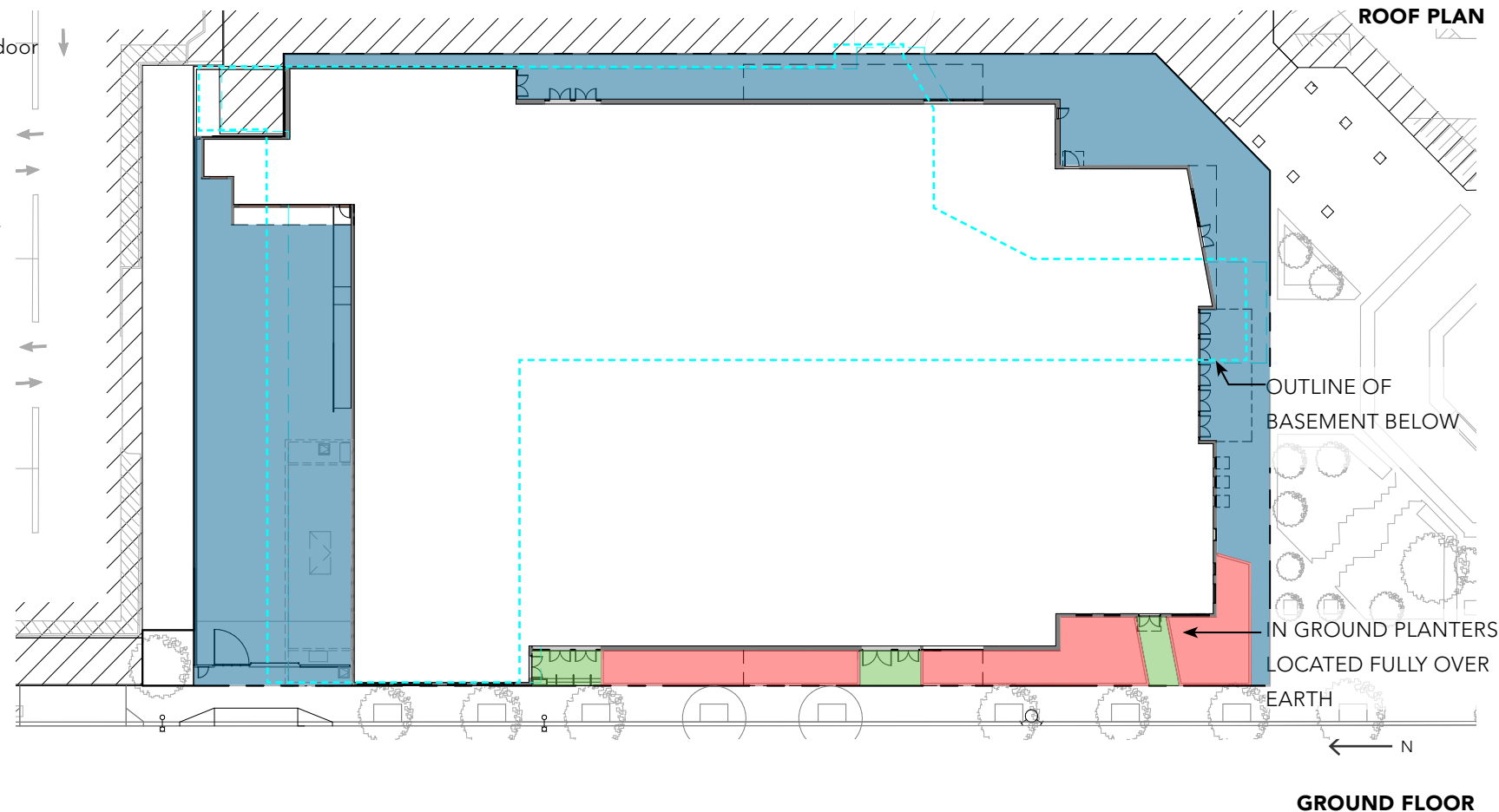
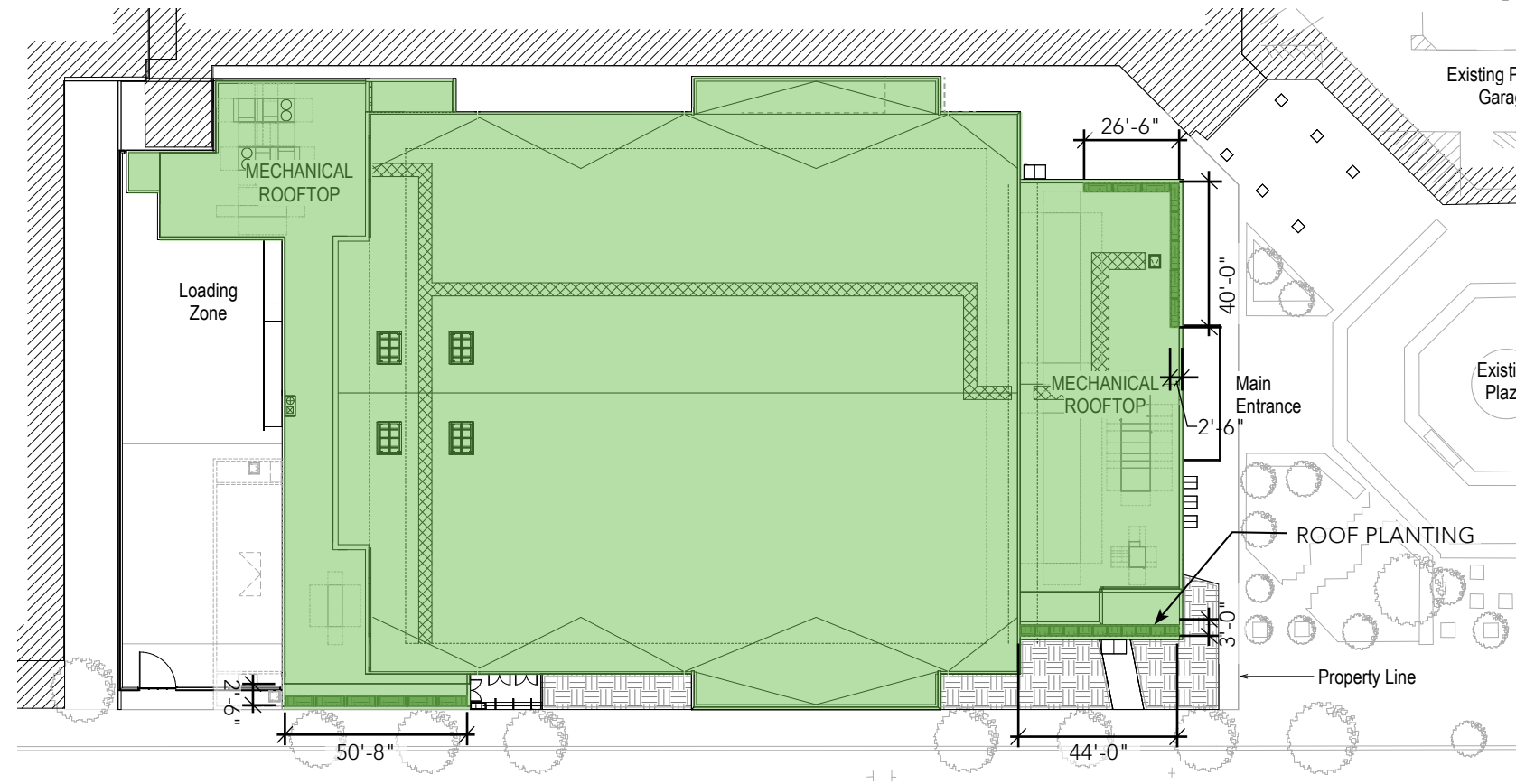
# APP 4.5 MODIFICATIONS

## CENTRAL CITY PLAN DISTRICT, 33.510.243

### B. ECOROOF STANDARD

**Ecoroof standard. In the CX, EX, RX, and IG1 zones, new buildings with a net building area of 20,000 square feet or more must have an ecoroof that meets the following standards:**

1. The ecoroofs, including required firebreaks between ecoroofs areas, **must cover 100 percent of the building roof area, except that up to 40 percent of the building roof area can be covered with a combination of the following.** Roof top parking does not count as roof area. Roof area that has a slope greater than 25% does not count as roof area:
  - a. Mechanical equipment, housing for mechanical equipment, and required access to, or clearance from, mechanical equipment;
  - b. Areas used for fire evacuation routes;
  - c. Stairwell and elevator enclosures;
  - d. Skylights;
  - e. Solar panels;
  - f. Wind turbines;
  - g. Equipment, such as pipes and pre-filtering equipment, used for capturing or directing rainwater to a rainwater harvesting system; or
  - h. Uncovered common outdoor areas. Common outdoor areas must be accessible through a shared entrance.
2. The ecoroof must be approved by the Bureau of Environmental Services as meeting the Stormwater Management Manual's Ecoroof Facility Design Criteria.



### ECO ROOF

Total Roof Area	=	41,157 SF
60% of Roof Area	=	24,694 SF
Proposed Eco Roof Area	=	0 SF
Roof Top Planters	=	445 SF
At Grade Landscape Area	=	2,196 SF

- Roof Treatment Area
- Roof Top Planters
- Infiltration Area
- In-ground Landscape Area

The project is designed to treat 100% of the impervious area on the site.

We will achieve this in one of the following two ways, Pending future boring infiltration results:

Option A - We will infiltrate all stormwater at 3 new drywells located at the North, Southwest, & Southeast Corners of the site.

Option B - If we can not meet the flow rate requirements at the southern end of the site, we will provide a detention pipe to control flow to 9th Ave for water collected on the south and Eastern parts of the site. All roof area to be routed to Northern feasible drywell

Modification request of 100% reduction in Eco Roof Reqmt

**CENTRAL CITY PLAN DISTRICT, 33.510.243**

**B. ECOROOF STANDARD**

Purpose – Ecoroofs provide multiple complimentary benefits in urban areas including stormwater management, reduction in air temperatures, mitigation of urban heat island impacts, air quality improvement, urban green spaces, and habitats for birds, plants and pollinators. The standards are intended to:

- Maximize the coverage of ecoroofs
- Allows for placement of structures and other items that need to be located on roofs
- Support the architectural variability of rooftops in the Central City

Response:

- Stormwater management – The stormwater treatment facility as designed, will treat 100% of the proposed site with drywells on site, per the stated purpose of the standard. In volume of infiltration and water retention, this method results in the same goals as the 60% of available green roof intent.
- Reduction of air temperature & Mitigation of heat island impacts – All exposed roofing is light colored with high albedo - reflecting solar heat instead of absorbing it. In addition, the generous planting areas in the project, at the select locations on the roof with deeper planter boxes and the larger at-grade planting areas, will aid in the overall reduction of air temperatures and mitigate heat island impacts.
- Urban Green Spaces & Air Quality Improvements – The urban green space provided along NE 9th Ave is not typical for an urban infill development. This setback and in-ground condition provides an opportunity for substantial in-ground landscape planters. These planters are a minimum of 9'-10" wide and are 3' feet deep. This opens the opportunity up to planting types that are much larger and denser than any planting that is typical of green roof system.
- Habitat for birds, plants, and pollinators – This type of dense and varied planting provides for air quality improvement, reduced temperature and heat island impact, urban green spaces, and habits for birds, plants and pollinators per the standard. Our proposal meets the intent of the habitat criteria by providing planting types and species that are more supportive for habitat by being located at ground level and having deeper soil levels, which will support more variety of native plants than a tray system on the rooftop. Research supports that lower-level landscapes support more birds and bees foraging and shelters than at rooftops or spaces that lack wind protection. We would like to provide certification for this area as wildlife support, furthering the commitment to a lush, green ecological treatment display and education.



9TH AVE SOUTHWEST CORNER - TERRACE VIEW



9TH AVE SOUTHWEST CORNER - ZOOMED IN VIEW



OVERALL AREAL VIEW



9TH AVE - SIDEWALK VIEW

CENTRAL CITY DESIGN GUIDELINES

B6 - DEVELOP WEATHER PROTECTION

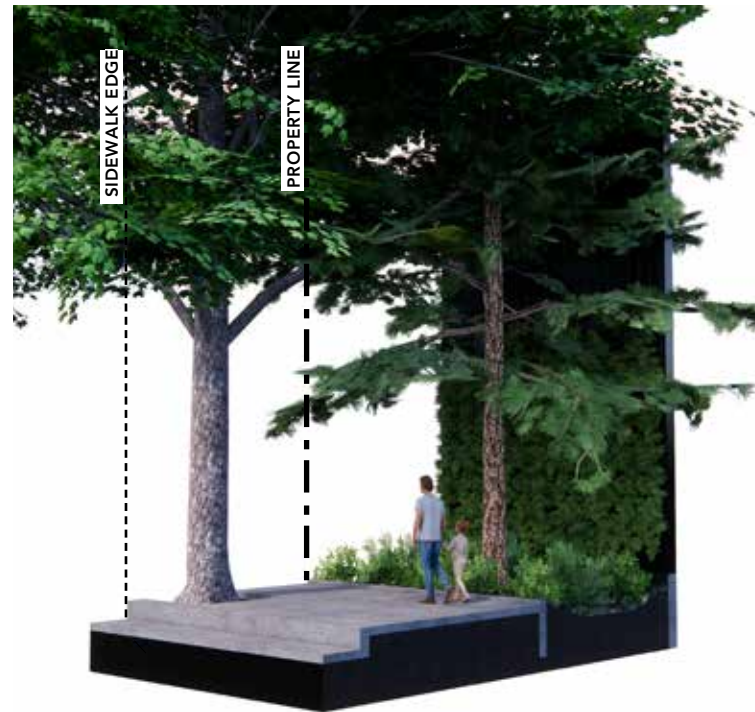
Develop integrated weather protection systems at the sidewalk-level of buildings to mitigate the effects of rain, wind, glare, shadow, reflection, and sunlight on the pedestrian environment

33.420 DESIGN OVERLAY ZONE

PUBLIC REALM, PR 14 & PR 15

WEATHER PROTECTION	
X	<p><b>PR14   Weather Protection at Entrances</b></p> <p>New main entrances at a new or existing building</p> <p>Provide weather protection at new main entrances that face a street lot line. The weather protection may be an awning, a portion of the building, a balcony, or other covered structure. The weather protection must meet the following:</p> <ul style="list-style-type: none"> <li>The weather protection must project out at least 4 feet from the wall above the doorway;</li> <li>The weather protection is four feet wider than the doorway, unless there is a building wall that prohibits this width; and</li> <li>The height of the weather protection must be between 9 feet and 15 feet above the grade underneath it.</li> </ul>

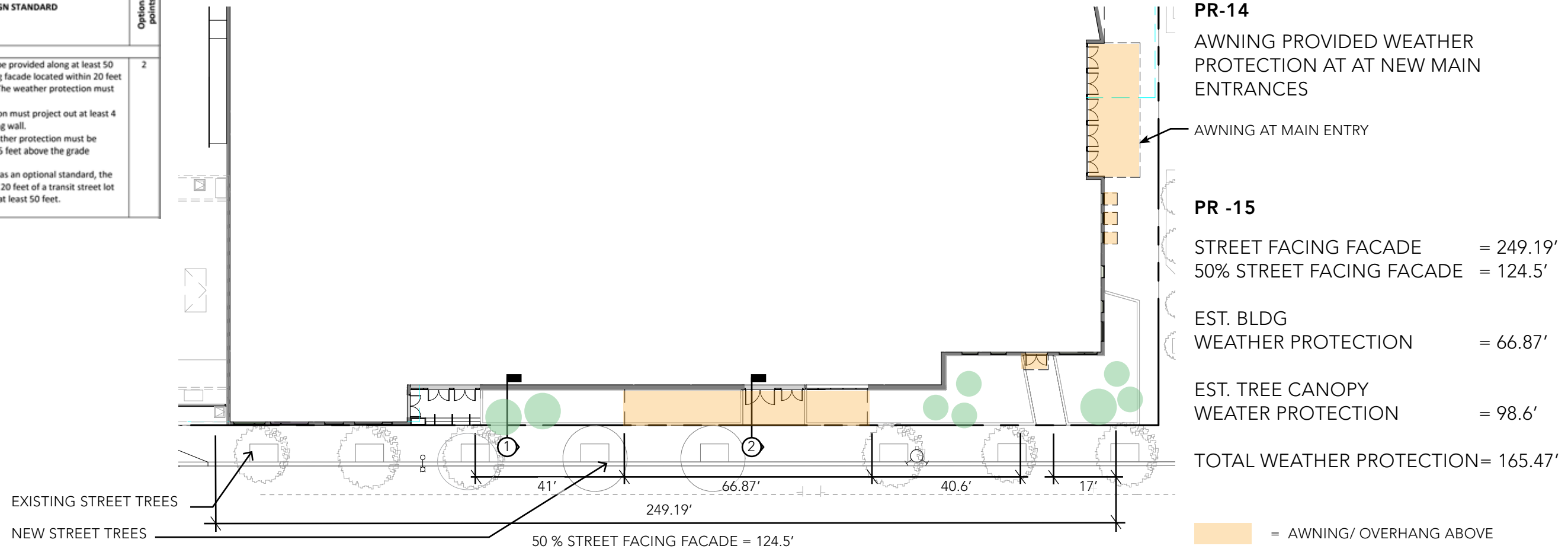
Required (X)	APPLIES TO:	THE DESIGN STANDARD	Optional points
X	<p><b>PR15   Weather Protection Along a Transit Street</b></p> <p>New building on a transit street as follows:</p> <p>The standard is required for a new building with a height that exceeds 55 feet.</p> <p>The standard is optional for new buildings that are 55 feet or less in height</p>	<p>Weather protection must be provided along at least 50 percent of the street-facing facade located within 20 feet of a transit street lot line. The weather protection must meet the following:</p> <ul style="list-style-type: none"> <li>The weather protection must project out at least 4 feet from the adjoining wall.</li> <li>The height of the weather protection must be between 9 feet and 15 feet above the grade underneath it.</li> </ul> <p>When this standard is met as an optional standard, the street facing facade within 20 feet of a transit street lot line must have a length of at least 50 feet.</p>	2



① SECTION AT LANDSCAPE SETBACK



② SECTION AT BUILDING PROJECTION





PDOT, TRN-10.40 DRIVEWAYS - OPERATION & LOCATION

D. ADMINISTRATIVE RULE FOR DRIVEWAY OPERATION & LOCATION

1. Separation from Property Corner – No portion of a driveway, excluding wings if required, shall be located closer than 25 feet from the corner of a lot where two streets intersect, including alley intersections. This includes the frontage along the top of a “T” intersection. See Figure 1. For a corner lot with large radius property corners, a driveway shall be placed fully within the tangent segment. Narrow corner lots as referenced in Portland City Code Title 33 with a single house are exempt per Paragraph D.3., below.

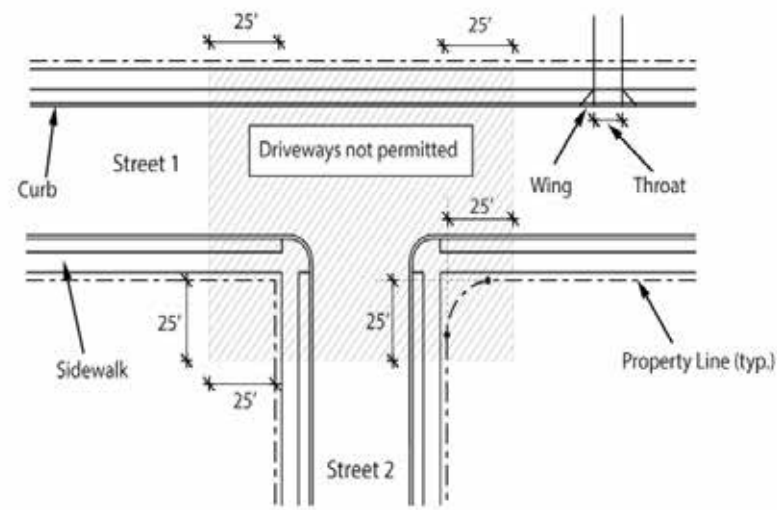
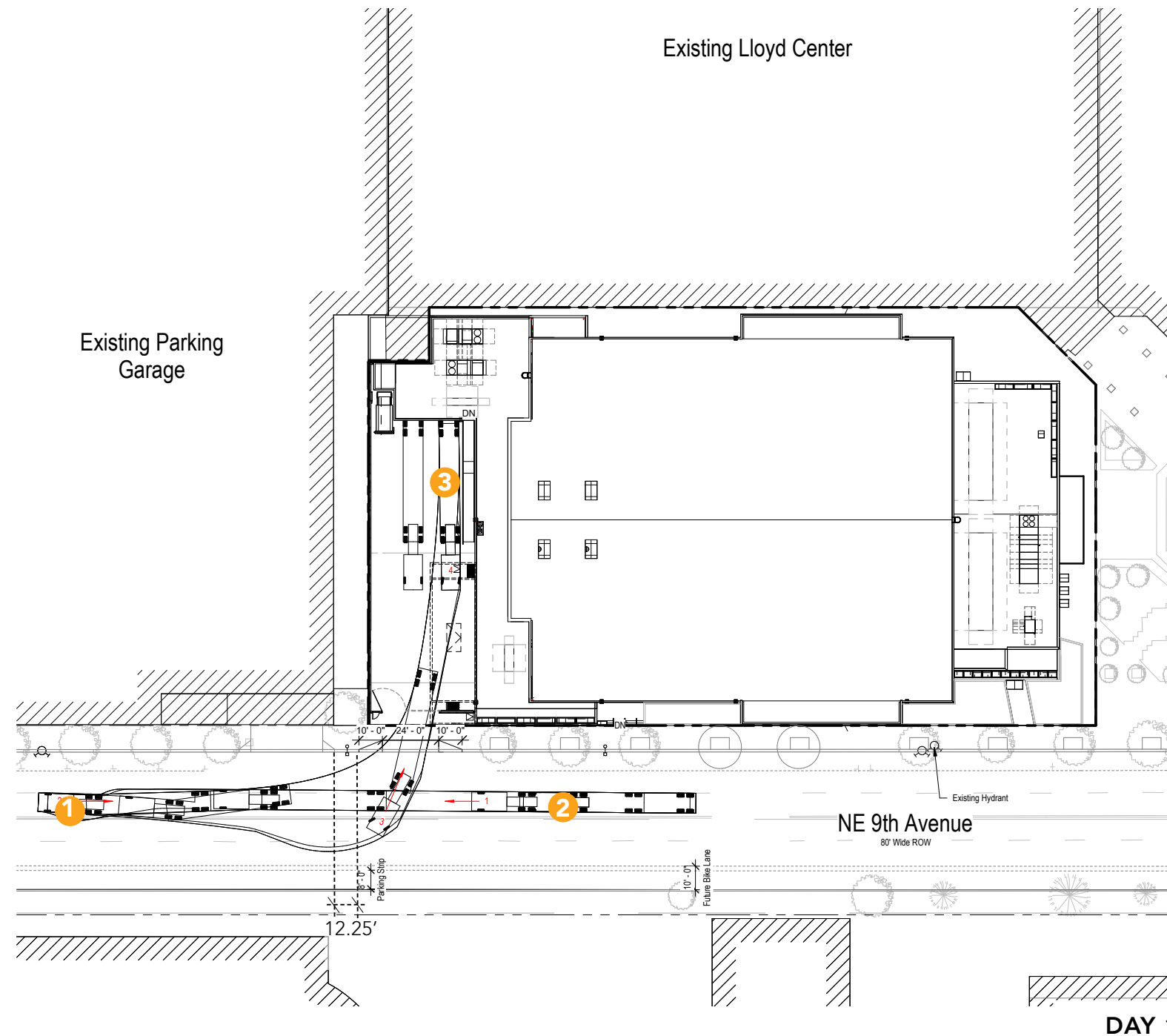


Figure 1

E. DRIVEWAY DIMENSIONS

2. A minimum of 5 feet of straight curb must separate driveways regardless of the type of driveway proposed or property ownership. Where no curb exists, a minimum of 11 feet must separate driveway edges that face each other.



DAY 1

DRIVEWAY DESIGN EXCEPTION

24-067113

Approved with Conditions - driveway width adjustment to 24', maximum allowed for commercial driveway without an exception.

Findings - "The request is approved with the condition that when driveway location is finalized, it will be set up in a way that trucks will not be required to turn into the opposing parking lane to exit the loading dock."

PORTLAND ZONING CODE 33.266.200

B. NUMBER OF SPACES REQUIRED

Table 266-6 Minimum Required Bicycle Parking Spaces [1]					
Uses	Specific Uses	Long-term Spaces		Short-term Spaces	
		Standard A	Standard B	Standard A	Standard B
<b>Commercial Categories</b>					
Retail Sales and Services		2, or 1 per 3,800 sq. ft. of net building area	2, or 1 per 7,500 sq. ft. of net building area	2, or 1 per 2,700 sq. ft. of net building area	2, or 1 per 4,400 sq. ft. of net building area
	Temporary lodging	2, or 1 per 20 rentable rooms	2, or 1 per 20 rentable rooms	2, or 1 per 40 rentable rooms; and 1 per 5,000 sq. ft. of conference, meeting room	2, or 1 per 40 rentable rooms; and 1 per 10,000 sq. ft. of conference, meeting room
	Restaurant and Bar	2, or 1 per 2,300 sq. ft. of net building area	2, or 1 per 4,800 sq. ft. of net building area	2, or 1 per 1,000 sq. ft. of net building area	2, or 1 per 1,600 sq. ft. of net building area
Office		2, or 1 per 1,800 sq. ft. of net building area	2, or 1 per 3,500 sq. ft. of net building area	2, or 1 per 20,000 sq. ft. of net building area	2, or 1 per 33,000 sq. ft. of net building area
Commercial Parking [3]		10, or 1 per 10 auto spaces	10, or 1 per 10 auto spaces	None	None
Commercial Outdoor Recreation		2, or 1 per 12,500 sq. ft. of net building area	2, or 1 per 25,000 sq. ft. of net building area	2, or 1 per 2 acres	2, or 1 per 3 acres
Major Event Entertainment		10, or 1 per 10,000 sq. ft. of net building area	10, or 1 per 20,000 sq. ft. of net building area	10, or 1 per 40 seats	10, or 1 per 40 seats
Self Service Storage		2, or 1 per 100,000 sq. ft. of net building area	2, or 1 per 200,000 sq. ft. of net building area	2, or 1 per 26,000 sq. ft. of net building area	2, or 1 per 53,000 sq. ft. of net building area

E. STANDARDS FOR SHORT-TERM BICYCLE PARKING

1.a. Location Standards.

Short-term bicycle parking must meet the following location standards:

- (1) On-site, outside a building;
- (2) At the same grade as the sidewalk or at a location that can be reached by an accessible route; and
- (3) Within the following distances of the main entrance:
  - Building with one main entrance. For a building with one main entrance, the bicycle parking must be within 50 feet of the main entrance to the building as measured along the most direct pedestrian access route.

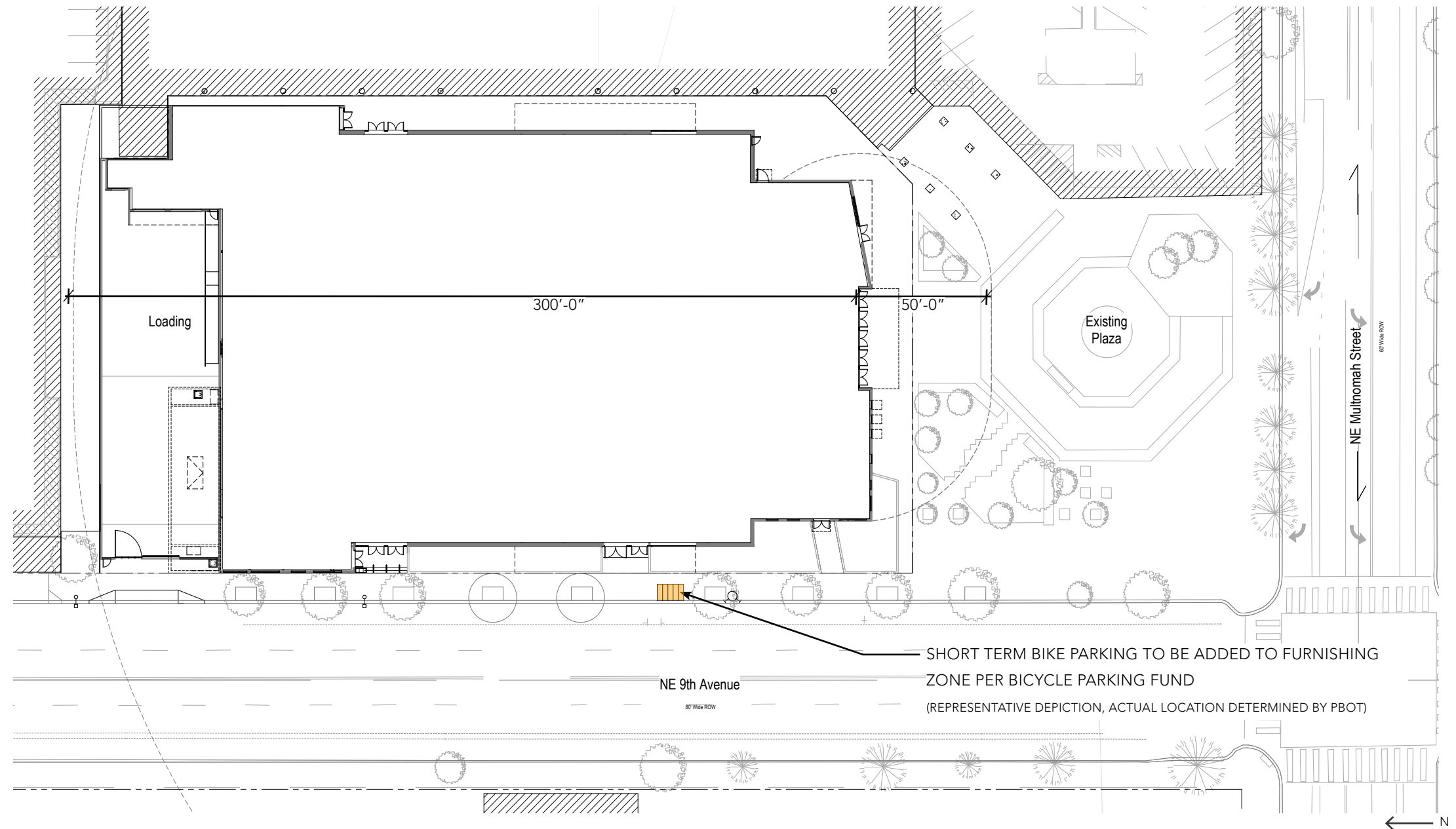
33.266.220.A.2.D OF TITLE 33, PLANNING AND ZONING: BICYCLE PARKING FUND.

(1) This option may be used where the following are met:

- All on-site surface parking areas are more than 50 feet from the main entrance as measured along the most direct pedestrian route; and
- All on-site plazas, exterior courtyards, and open areas, other than landscaping, are more than 50 feet from the main entrance as measured along the most direct pedestrian route or are not large enough to accommodate all required short-term bicycle parking.

(2) Fund use and administration. The Bicycle Parking Fund is collected and administered by the Office of Transportation. The funds collected will be used to install bicycle parking and associated improvements in the right-of-way.

(3) This option may not be used if any required short-term bicycle parking is provided on site.



SHORT TERM BIKE PARKING TO BE ADDED TO FURNISHING ZONE PER BICYCLE PARKING FUND (REPRESENTATIVE DEPICTION, ACTUAL LOCATION DETERMINED BY PBOT)

Short - Term Spaces = 1/ 40 seats  
 Estimated Seat Count = 2,925  
 Estimated Short - Term Spaces = 74 spaces

Bicycle Fun Fee Schedule = 22 or more spaces = \$20,000

(The cost to purchase, install, and maintain bicycle parking will adjusted annually as determined by the City Engineer)

PORTLAND ZONING CODE 33.266.200

B. NUMBER OF SPACES REQUIRED

Table 256-6 Minimum Required Bicycle Parking Spaces [1]					
Uses	Specific Uses	Long-term Spaces		Short-term Spaces	
		Standard A	Standard B	Standard A	Standard B
<b>Commercial Categories</b>					
Retail Sales and Services		2, or 1 per 3,800 sq. ft. of net building area	2, or 1 per 7,500 sq. ft. of net building area	2, or 1 per 2,700 sq. ft. of net building area	2, or 1 per 4,400 sq. ft. of net building area
	Temporary lodging	2, or 1 per 20 rentable rooms	2, or 1 per 20 rentable rooms	2, or 1 per 40 rentable rooms; and 1 per 5,000 sq. ft. of conference, meeting room	2, or 1 per 40 rentable rooms; and 1 per 10,000 sq. ft. of conference, meeting room
	Restaurant and Bar	2, or 1 per 2,300 sq. ft. of net building area	2, or 1 per 4,800 sq. ft. of net building area	2, or 1 per 1,000 sq. ft. of net building area	2, or 1 per 1,600 sq. ft. of net building area
Office		2, or 1 per 1,800 sq. ft. of net building area	2, or 1 per 3,500 sq. ft. of net building area	2, or 1 per 20,000 sq. ft. of net building area	2, or 1 per 33,000 sq. ft. of net building area
Commercial Parking [3]		10, or 1 per 10 auto spaces	10, or 1 per 10 auto spaces	None	None
Commercial Outdoor Recreation		2, or 1 per 12,500 sq. ft. of net building area	2, or 1 per 25,000 sq. ft. of net building area	2, or 1 per 2 acres	2, or 1 per 3 acres
Major Event Entertainment		10, or 1 per 10,000 sq. ft. of net building area	10, or 1 per 20,000 sq. ft. of net building area	10, or 1 per 40 seats	10, or 1 per 40 seats
Self-Service Storage		2, or 1 per 100,000 sq. ft. of net building area	2, or 1 per 200,000 sq. ft. of net building area	2, or 1 per 26,000 sq. ft. of net building area	2, or 1 per 53,000 sq. ft. of net building area

D. STANDARDS FOR LONG-TERM BICYCLE PARKING

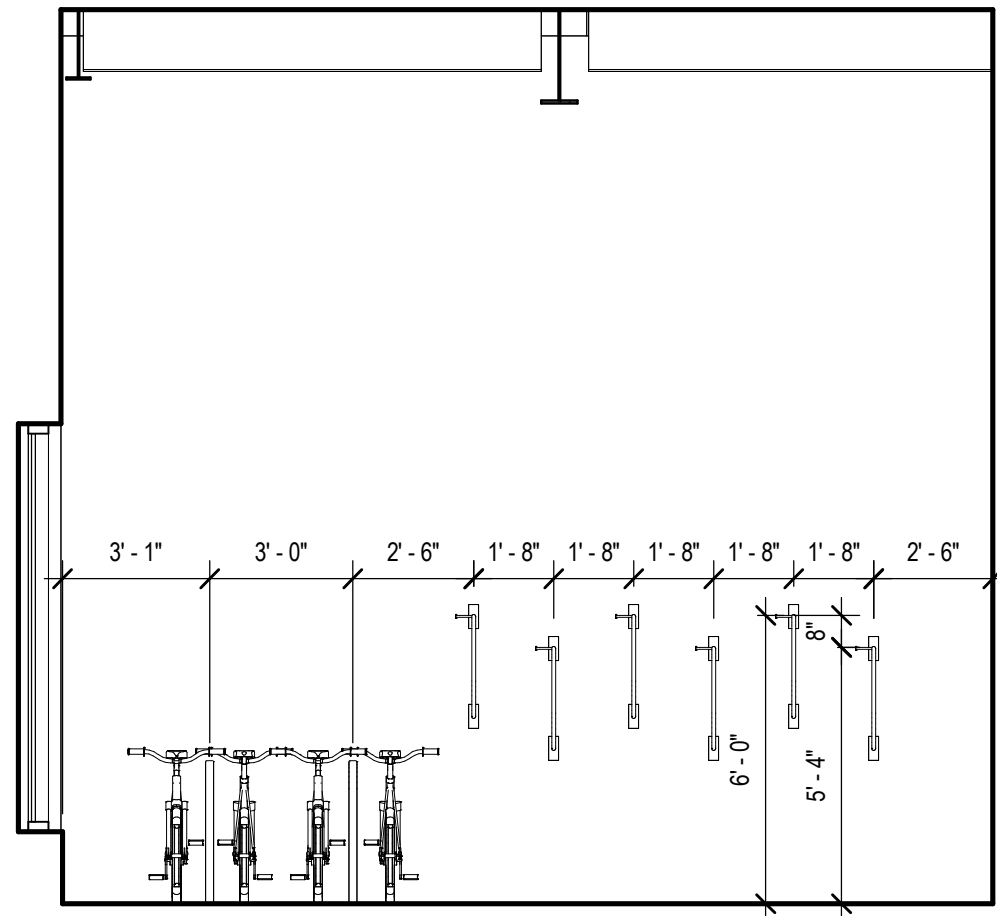
1.a. Location Standards.

Long-term bicycle parking may be provided in one or more of the following locations:

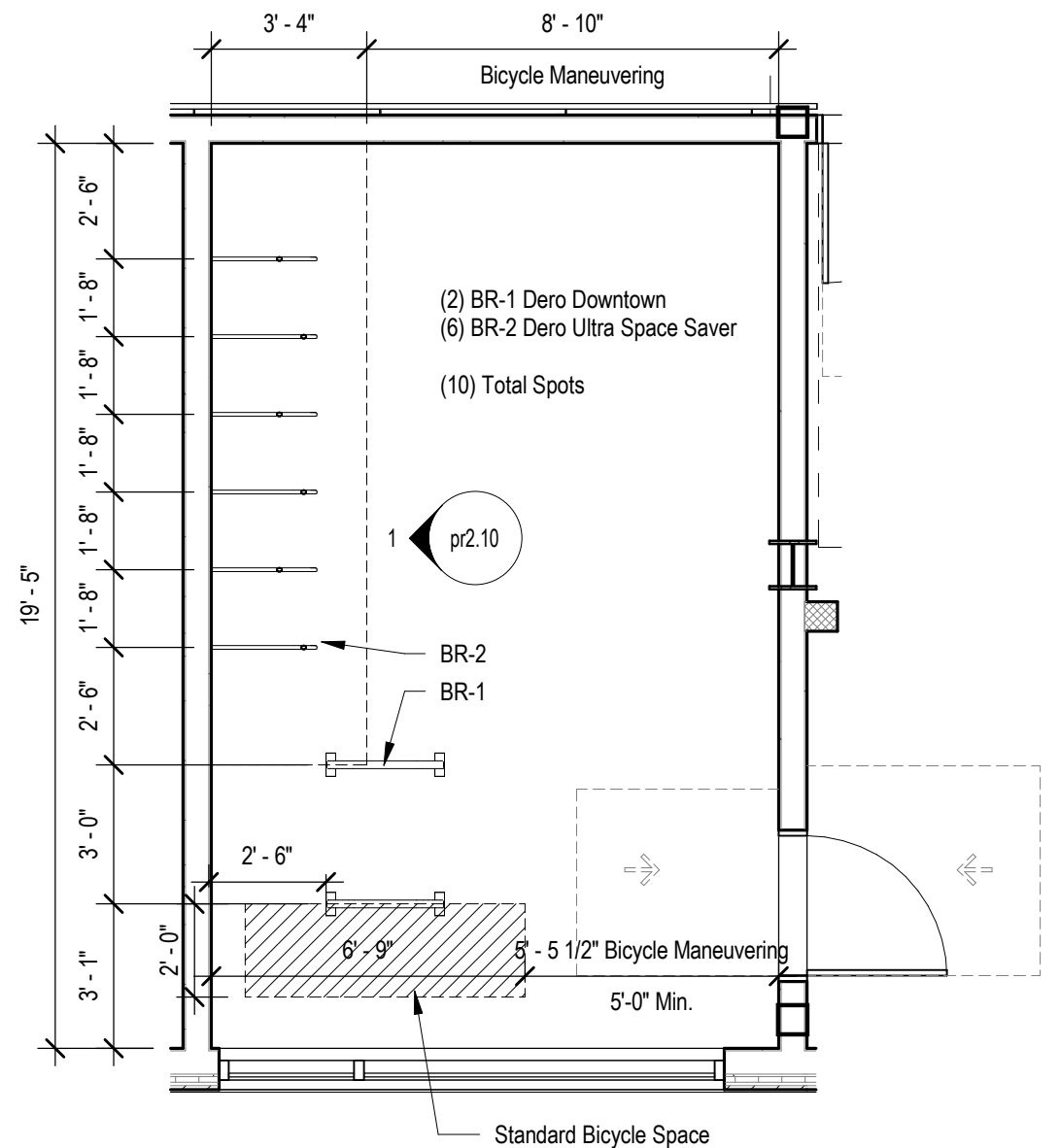
- (1) Within a building, including on the ground floor or on individual building floors;
- (2) On-site, including in parking areas and structured parking;
- (3) In an area where the closest point is within 300 feet of the site;

1.d. Covered bicycle parking.

All long-term bicycle parking must be covered. Where covered bicycle parking is not within a building or locker, the cover must be: (1) Permanent; (2) Impervious; and (3) The cover must project out a minimum of 2 feet beyond the bicycle parking spaces on the portion of the structure that is not enclosed by a



BIKE STORAGE INTERIOR ELEVATION



BIKE ROOM PLAN

Long - Term Spaces = 1 / 10,000 sf  
 Building Area = 68,000 sf  
 Estimated Long-Term Spaces = 9 Spaces  
 (Located at Ground Floor)