



# Portland City Auditor

Hearings Office

1900 SW 4<sup>th</sup> Avenue, Room 3100, Portland, OR 97201

www.portlandoregon.gov/auditor/hearings

phone: (503) 823-7307

fax: (503) 823-4347



## LU 24-014054 CU AD      Hearings Office 4240008

**RECORDER**

Please stamp the County Recorder's copy of the recording sheet and return with the attached decision to City of Portland, BDS 299/4500/BDS LUR

Please bill City of Portland, Account #1113

Multnomah County Official Records	<b>2024-037724</b>
J.D. Riddle, Deputy Clerk	
	06/26/2024 10:33:53 AM
LUA-LUA      Pgs=12 Stn=77 ATR	\$131.00
\$60.00 \$11.00 \$60.00	

**Kimberly Tallant, Principal Planner**

**City of Portland**  
Bureau of Development Services  
1900 SW Fourth Ave, #4500  
Portland, OR 97201

Date: 6/24/24

Representative

<b>Last date to Appeal:</b>	<b>6/21/24</b>	<b>by 4:30 pm</b>
<b>Effective Date (if no appeal):</b>	<b>6/24/24</b>	Decision may be recorded on this date

**\*THIS RECORDED DOCUMENT ONLY INCLUDES EXCERPTS FROM THE DECISION.**

**\*A FULL COPY OF THE DECISION IS LOCATED ON THE BDS WEBSITE AT:**

**<https://www.portlandoregon.gov/bds/46429>**



## Hearings Office

### City of Portland

1900 SW 4<sup>th</sup> Avenue, Room 3100, Portland, OR 97201

[www.portland.gov/omf//hearings](http://www.portland.gov/omf//hearings)

email: [HearingsOfficeClerks@portlandoregon.gov](mailto:HearingsOfficeClerks@portlandoregon.gov)

phone: 503.823.7307

fax: 503.823.4347



## DECISION OF THE HEARINGS OFFICER

### I. GENERAL INFORMATION

**File Number:** LU 24-014056 CU AD (Hearings Office 4240008)

**Applicant:** Debbie Cleek  
The Bookin Group  
1020 SW Taylor Steet #555  
Portland, OR 97205  
[cleek@bookingroup.com](mailto:cleek@bookingroup.com)

**Property Owner:** Multnomah County Library District  
C/O Elise Hendrickson  
401 N Dixon Street  
Portland, OR 97227-1865

**Hearings Officer:** Nancy Hochman

**Bureau of Development Services (BDS) Staff Representative:** Don Kienholz

**Site Address:** 7510 N Charleston Avenue

**Legal Description:** BLOCK 2 INC PT VAC ST LOT 5-8, JERSEY ST ADD

**Tax Account Number:** R429000210

**State ID Number:** 1N1W12AB 10300

**Quarter Section:** 2122

**Neighborhood:** St. Johns

**Business District:** St. Johns Boosters Business Association

**District Neighborhood Coalition:** North Portland Neighborhood Services

**Plan District:** St. Johns



**Zoning:** RM2d – Residential Multi-Dwelling – 2 with a Design Review Overlay Zone ('d')

**Land Use Review:** Type III, CU AD – Conditional Use Review with Adjustments

**BDS Staff Recommendation to Hearings Officer:** Approval with conditions.

**Public Hearing:** The hearing was opened at 2:00 p.m. on June 3, 2024, via the Zoom platform and was closed at 2:45 p.m. The Applicant waived Applicant's rights granted by Oregon Revised Statute (ORS) 197.763 (6)(e), if any, to an additional seven day time period to submit written rebuttal into the record. The record was closed to all testimony and/or written submissions at the end of the hearing.

**Testified at the Hearing:**

Don Kienholz, BDS Senior Planner

Debbie Cleek, The Bookin Group

Katie O'Dell, Deputy Director, Multnomah County Public Library Capital Bonds Program

**Proposal:** The Applicant is proposing to remove an 800-square-foot addition from the rear of the St. Johns Library built in the 1990's and replace it with an approximately 2,950-square-foot addition. The proposal will not alter the original 1917 library on site but will connect to the rear of the building where the previous addition was located. The proposal also includes a detached covered accessory building in the southeast portion of the site that will house covered bike parking and the trash and recycling area.

A Type III Conditional Use Review is required because the addition will be a net increase of more than 2000-square-feet and increase the overall floor area by more than 25 percent. The Applicant is also requesting six Adjustments for the addition and accessory structure:

1. Reduce the required side building setback from the north lot line from 10-feet to 8-feet (33.120.275 C.1 and Table 120-7);
2. Reduce the required rear building setback from 10-feet to 5-feet (33.120.275 C.1 and Table 120-7);
3. Reduce required rear building setback for the detached covered accessory building from 10-feet to 5-feet (33.120.275 C.1 and Table 120-7);
4. Modify the required 10-feet of L3 buffer and landscaping between the proposed addition and the north side lot line that is adjacent to a residential zone from 10-feet to 8-feet (33.120.275 C.1 and Table 120-7);

5. Increase the maximum building setback from a street in a pedestrian district to the proposed addition from 20-feet to approximately 116-feet (33.120.220.C and Table 120-3); and
6. Allow vehicle area between accessory building and street (33.266.130.C.1 and Table 266-3).

**Relevant Approval Criteria:** In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The applicable approval criteria are found in 33.815.105 - Institutional and Other Uses in Residential and Campus Institutional Zones and in 33.805.040.A through F Adjustment Approval Criteria.

The Portland Zoning Code is available online at <https://www.portland.gov/code/33>.

**Decision of the Hearings Officer:** The Hearings Officer hereby adopts the facts, findings, conclusions, and recommendations of the Bureau of Development Services in its Staff Report and Recommendation to the Hearings Officer dated May 24 2024, and issues the following approval. The Hearings Officer incorporates the staff report herein by reference and attaches it hereto for convenience.

**Approval** of a Conditional Use Review for an additional 2,100-square-feet of net building area to the existing library that is an historic landmark and a detached accessory building for bike storage and the trash and recycling.

The recommendation also includes approval of six Adjustments:

1. Reduce the required side building setback from the north lot line from 10-feet to 8-feet (33.120.275 C.1 and Table 120-7);
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6. Allow vehicle area between accessory building and street (33.266.130.C.1 and Table 266-3).

Subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (Condition B) must be noted on each of the four required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE - Case File LU 24-014054 CU AD." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED." No field changes allowed.
- B. New exterior lights must be Dark Sky compliant.

**Basis for the Decision:** BDS Staff Report in LU 24-014056 CU AD, Exhibits A.1 through H.6, and the hearing testimony from those listed above.

*N E Hochman*

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Nancy Hochman, Hearings Officer

June 7, 2024

Date

**Application Determined Complete:** March 27, 2024  
**Report to Hearings Officer:** May 28, 2024  
**Decision Mailed:** June 7, 2024  
**Last Date to Appeal:** 4:30 p.m., June 21, 2024  
**Effective Date (if no appeal):** June 24, 2024

**Conditions of Approval.** This project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

**Appeal of the decision.** ANY APPEAL OF THE HEARINGS OFFICER'S DECISION MUST BE E-MAILED TO [LANDUSEINTAKE@PORTLANDOREGON.GOV](mailto:LANDUSEINTAKE@PORTLANDOREGON.GOV). The appeal application form can be accessed at : [Land Use Review Appeals, Land Use Review Appeal Costs and Appeal Fee Waivers | Portland.gov](#). If you do not have access to e-mail, please telephone (503) 865-6744 for assistance on how to submit the appeal; please allow one business day for staff to respond. **An appeal fee of \$5,789 will be charged.**

**Who can appeal:** You may appeal the decision only if you wrote a letter which is received before the close of the record on hearing or if you testified at the hearing, or if you are the property owner or applicant. If you or anyone else appeals the decision of the Hearings Officer, City Council will hold an evidentiary hearing, one in which new evidence can be submitted to them. Upon submission of their application, the applicant for this land use review chose to waive the 120-day time frame in which the City must render a decision. This additional time allows for any appeal of this proposal to be held as an evidentiary hearing.

**Appeal Fee Waivers:** Neighborhood associations recognized by the Office of Community & Civic Life may qualify for a waiver of the appeal fee provided that the association has standing to appeal. The appeal must contain the signature of the Chairperson or other person authorized by the association, confirming the vote to appeal was done in accordance with the organization's bylaws.

Neighborhood associations, who wish to qualify for a fee waiver, must complete the Type III Appeal Fee Waiver Request for Organizations Form and submit it prior to the appeal deadline. The Type III Appeal Fee Waiver Request for Organizations Form contains instructions on how to apply for a fee waiver, including the required vote to appeal.

Assistance in filing the appeal and information on fee waivers are available from the Bureau of Development Services website: <https://www.portland.gov/bds/zoning-land-use/land-use-review-fees-and-types/appeals-fees-and-fee-waivers>.

**Recording the final decision.** If this land use review is approved, the final decision will be recorded with the County Recorder. *Unless appealed*, the final decision will be recorded by the Bureau of Development Services.

**Expiration of this approval.** Generally, land use approvals (except Comprehensive Plan and Zoning Map Amendments) expire five years from the date of the final decision unless one of the actions below has occurred (see Zoning Code Section 33.730.130 for specific expiration rules):

- A City permit has been issued for the approved development,
- The approved activity has begun (for situations not requiring a permit), or

In situations involving only the creation of lots, the final plat must be submitted within three years.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within seven years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

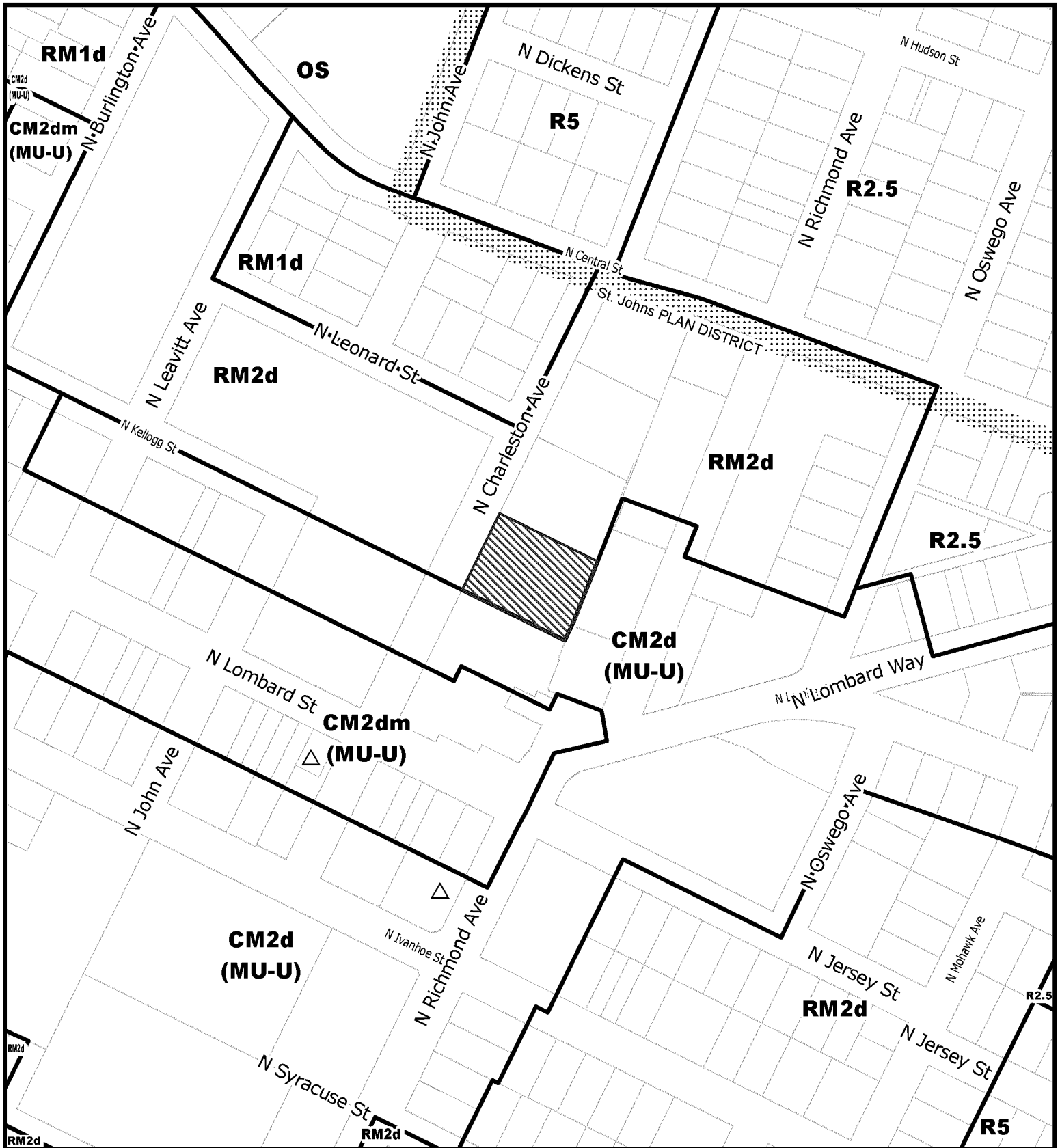
Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

**Applying for permits.** A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

**EXHIBITS RECEIVED IN THE HEARINGS OFFICE – SEE NEXT PAGE**  
(NOT ATTACHED UNLESS INDICATED)




The exhibits in the land use case file are all assigned a letter (example A-1). The Hearings Office accepts exhibits filed online in its case management system. These exhibits are marked in the lower right hand corner that identifies the exhibit as a “Portland Hearings Office” exhibit. All of these exhibits are designated “H Exhibits” (that is, Hearings Office Exhibits). See the BDS Staff Report for a list of exhibits prior to “H.”



For Zoning Code in Effect Post October 1, 2022

# ZONING

THIS SITE LIES WITHIN THE:  
ST. JOHNS PLAN DISTRICT

-  Site
-  Plan District
-  Historic Landmark

File No. LU 24 - 014054 CU AD

1/4 Section 2122

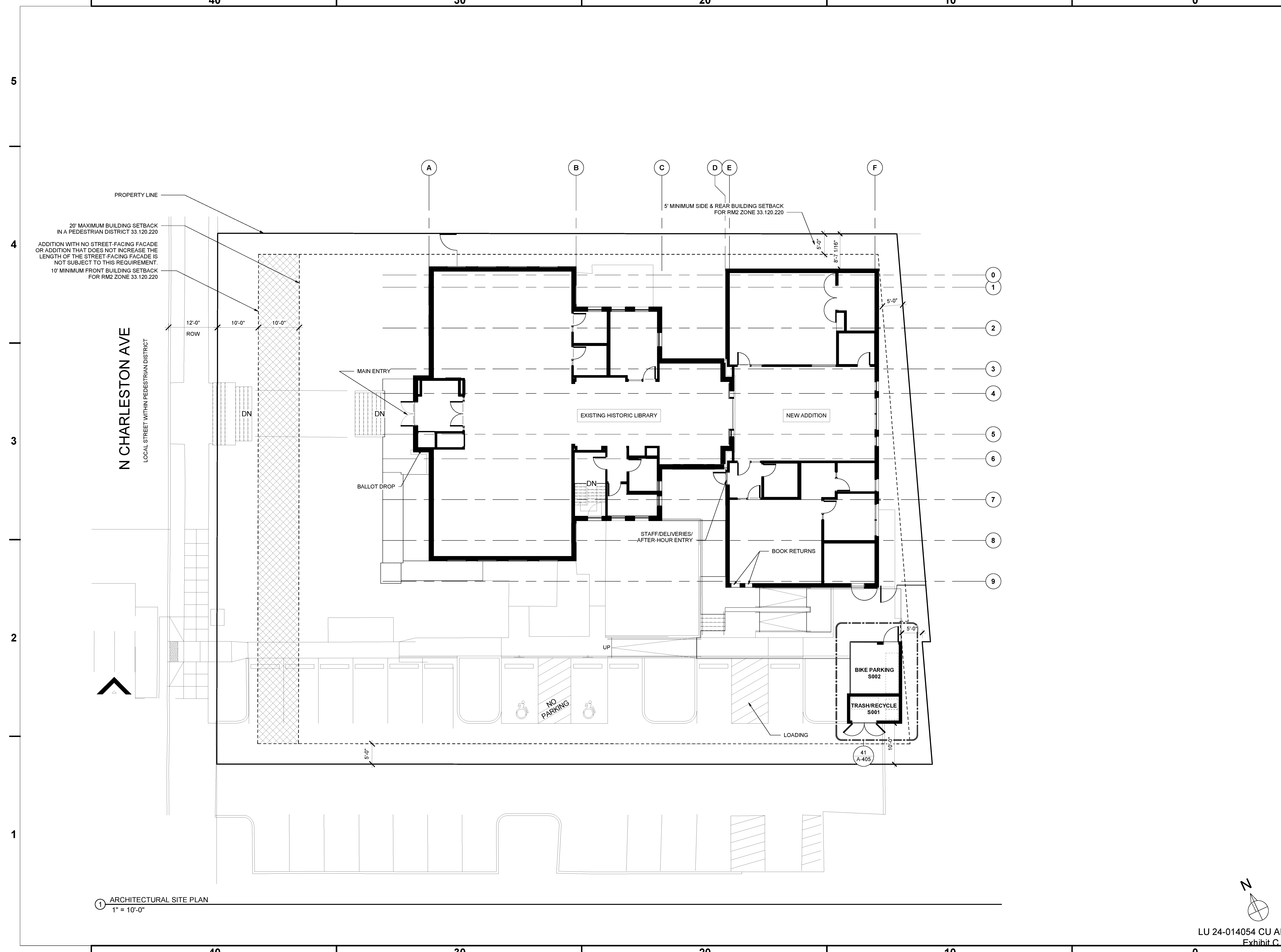
Scale 1 inch = 200 feet

State ID 1N1W12AB 10300

Portland Hearings Office  
 Case # 44-1000  
 Bureau Case # LU 24-014054-CU-AD  
 Exhibit # 4  
 Page 21 of 25

**Exhibit B**

**Feb 15, 2024**



20' MAXIMUM BUILDING SETBACK  
IN A PEDESTRIAN DISTRICT 33.120.220

ADDITION WITH NO STREET-FACING FACADE  
OR ADDITION THAT DOES NOT INCREASE THE  
LENGTH OF THE STREET-FACING FACADE IS  
NOT SUBJECT TO THIS REQUIREMENT.

10' MINIMUM FRONT BUILDING SETBACK  
FOR RM2 ZONE 33.120.220

N CHARLESTON AVE  
LOCAL STREET WITHIN PEDESTRIAN DISTRICT

5' MINIMUM SIDE & REAR BUILDING SETBACK  
FOR RM2 ZONE 33.120.220

1 ARCHITECTURAL SITE PLAN  
1" = 10'-0"

# BORA

Bora Architects, Inc.  
1705 SE 3rd Ave  
Portland, Oregon 97214  
503.226.1575  
www.bora.co

**ISSUED FOR  
INFORMATIONAL  
PURPOSES ONLY**

**NOT FOR  
CONSTRUCTION**

MULTNOMAH COUNTY LIBRARIES  
ST. JOHNS LIBRARY  
7510 N Charleston Ave, Portland, OR 97203

Mark	Date	Description of Revision	By

Drawn By:	Checked By:
Author	Checker
Building Number:	Approved By:
615	Approver
Multico Project Number:	
P78LB172021 09	
Sheet Title	
ARCHITECTURAL SITE PLAN	
Date	05/17/2024

05/17/2024

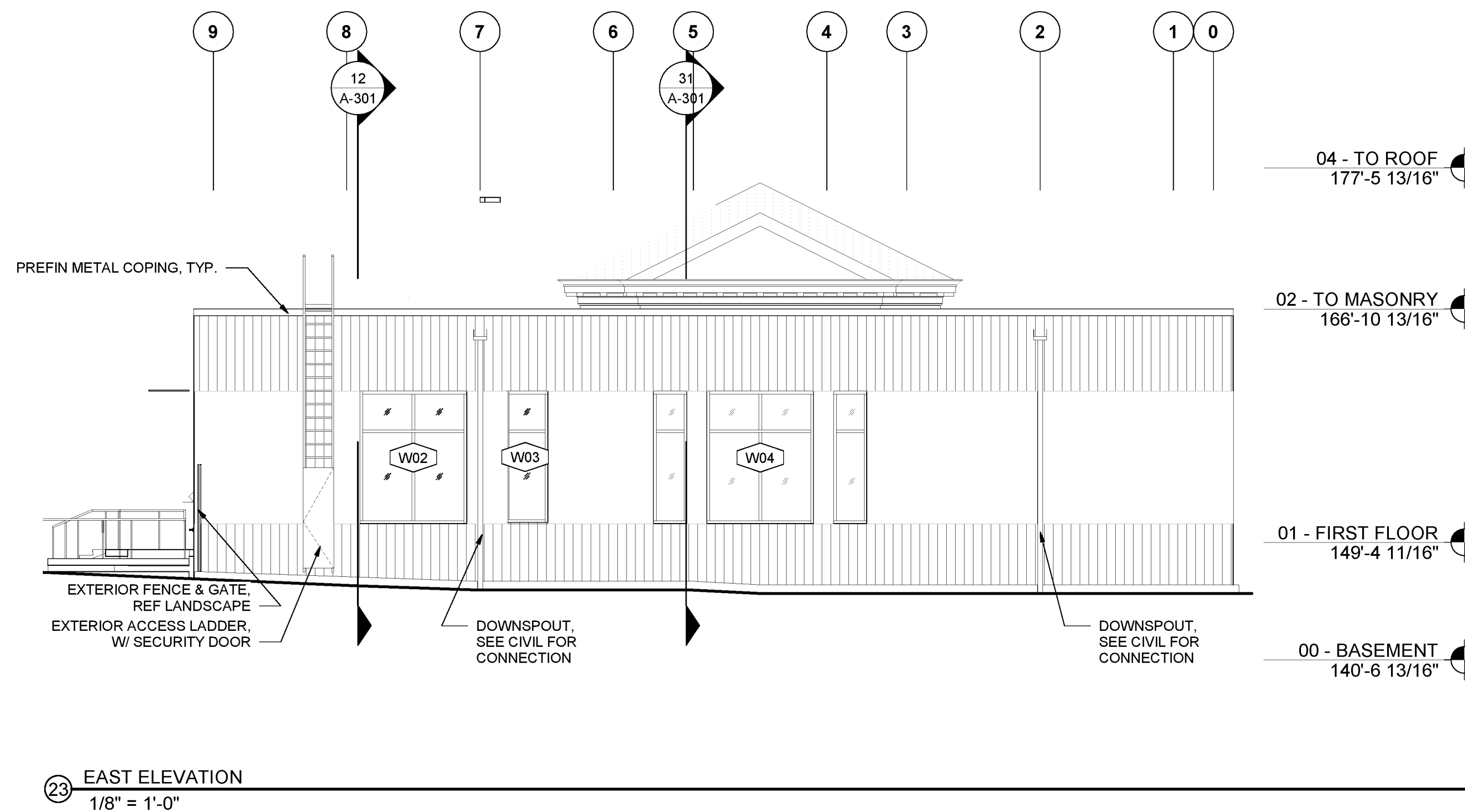
75% CONSTRUCTION DOCUMENTATION

ELEVATION / SECTION NOTES

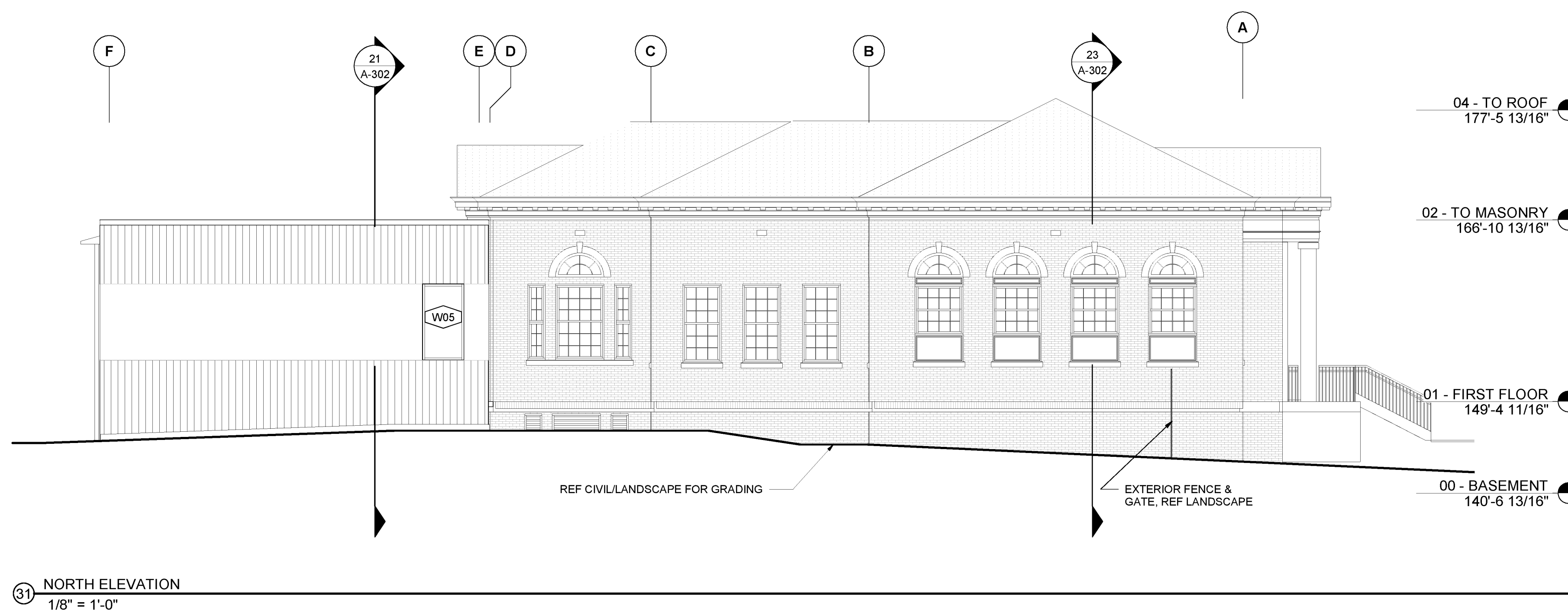
- 1. REFER TO ASSEMBLY SHEETS FOR WALL, ROOF, FLOOR, AND CEILING ASSEMBLIES.
- 2. GRADE LINES INDICATED ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO CIVIL AND LANDSCAPE DRAWINGS.
- 3. LINES OF FOUNDATION WALLS AND FOOTINGS ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO STRUCTURAL DRAWINGS FOR FOOTING ELEVATIONS.

GENERAL ARCHITECTURAL NOTES

- 1. DO NOT SCALE DRAWINGS. REQUEST CLARIFICATION FROM ARCHITECT IF DIMENSIONS ARE NOT INDICATED.
- 2. DIMENSIONS ARE SHOWN TO DIMENSION POINT (DIM. PT.) OF REFERENCED DETAIL WHERE APPLICABLE.
- 3. PAINT EXPOSED STRUCTURAL STEEL, MISCELLANEOUS STEEL, FIREPROOFING, DUCTWORK, MECHANICAL EQUIPMENT, MECHANICAL AND SPRINKLER PIPING, ELECTRICAL CONDUIT, AND THEIR SUPPORT SYSTEMS, UNLESS OTHERWISE NOTED.



23 EAST ELEVATION  
 1/8" = 1'-0"



31 NORTH ELEVATION  
 1/8" = 1'-0"

MULTNOMAH COUNTY LIBRARIES  
 ST. JOHNS LIBRARY  
 7510 N Charleston Ave, Portland, OR 97203

Mark	Date	Description of Revision	By

Drawn By:	Checked By:
Author	Checker
Building Number:	Approved By:
615	Approver
Multico Project Number:	
P78LB172021 09	
Sheet Title	
EXTERIOR ELEVATIONS	
Date	05/17/2024

A-202



ELEVATION / SECTION NOTES

- 1. REFER TO ASSEMBLY SHEETS FOR WALL, ROOF, FLOOR, AND CEILING ASSEMBLIES.
- 2. GRADE LINES INDICATED ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO CIVIL AND LANDSCAPE DRAWINGS.
- 3. LINES OF FOUNDATION WALLS AND FOOTINGS ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO STRUCTURAL DRAWINGS FOR FOOTING ELEVATIONS.

GENERAL ARCHITECTURAL NOTES

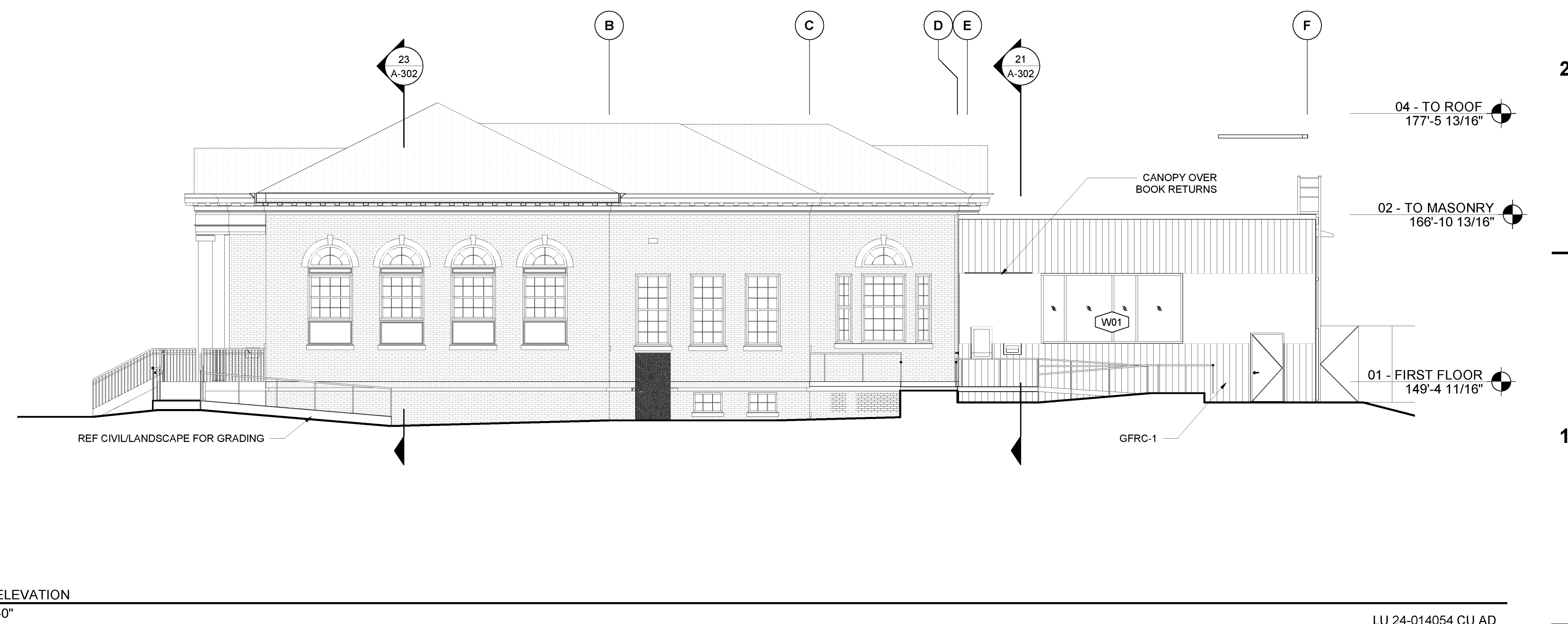
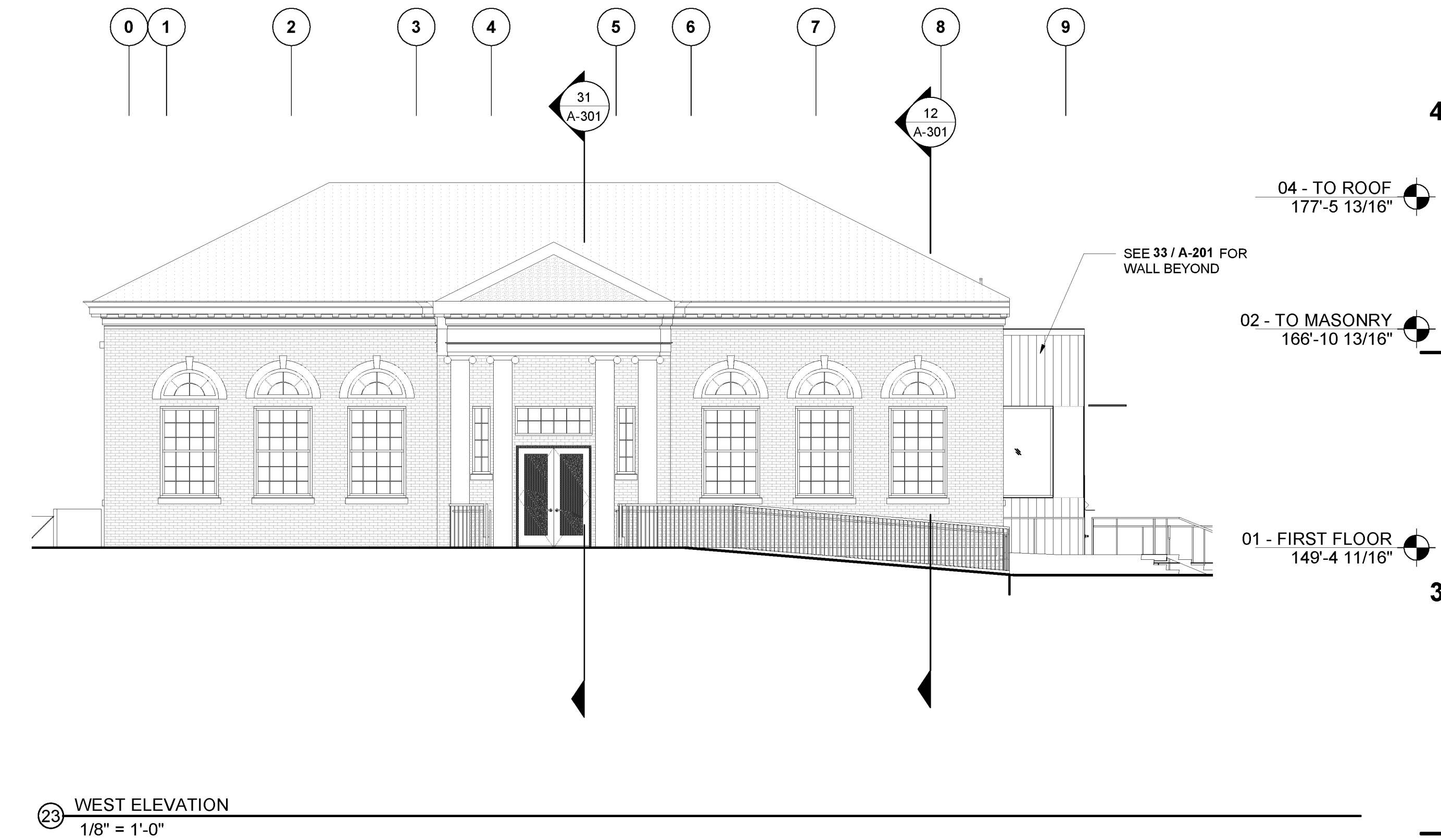
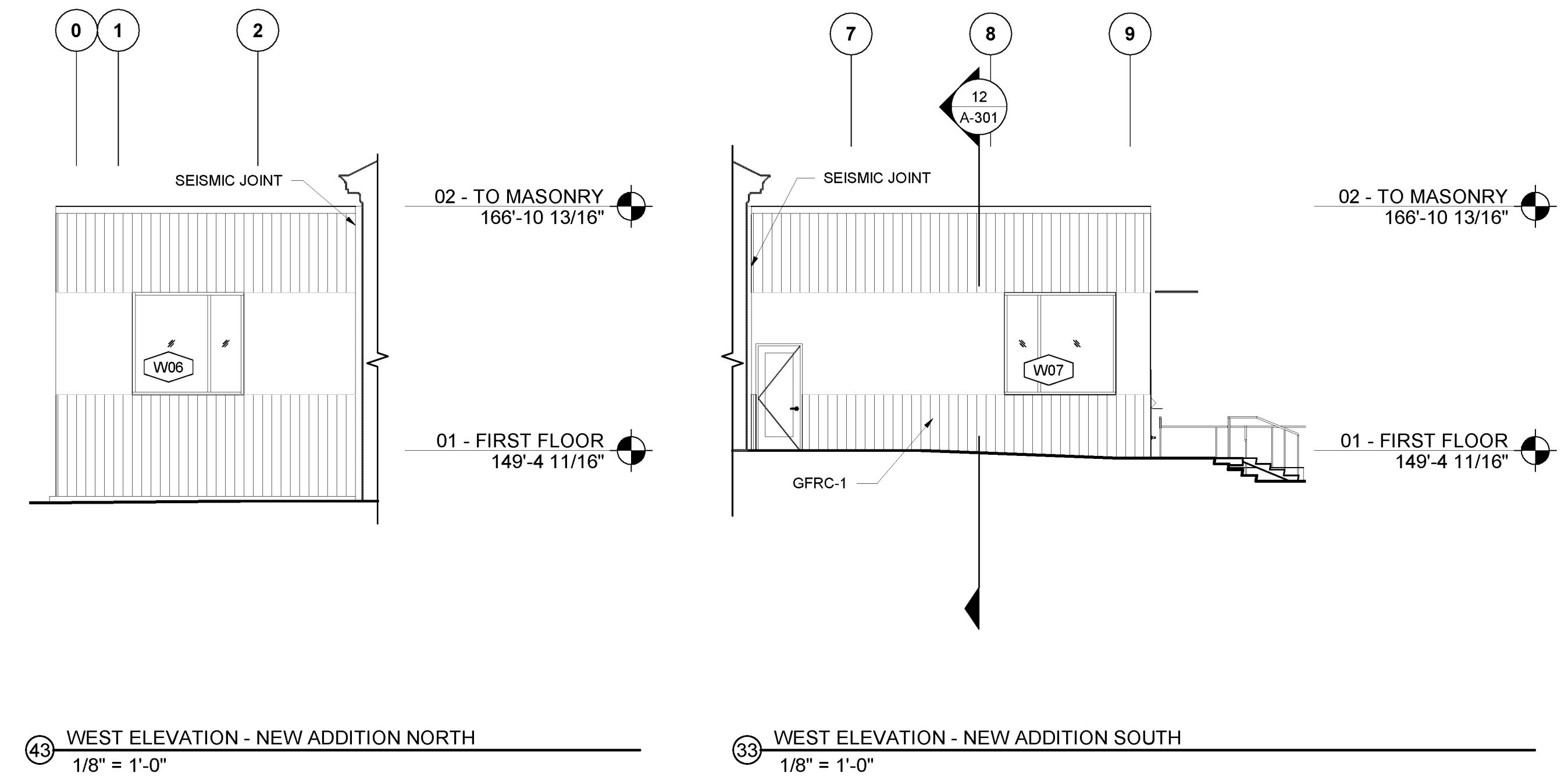
- 1. DO NOT SCALE DRAWINGS. REQUEST CLARIFICATION FROM ARCHITECT IF DIMENSIONS ARE NOT INDICATED.
- 2. DIMENSIONS ARE SHOWN TO DIMENSION POINT (DIM. PT.) OF REFERENCED DETAIL WHERE APPLICABLE.
- 3. PAINT EXPOSED STRUCTURAL STEEL, MISCELLANEOUS STEEL, FIREPROOFING, DUCTWORK, MECHANICAL EQUIPMENT, MECHANICAL AND SPRINKLER PIPING, ELECTRICAL CONDUIT, AND THEIR SUPPORT SYSTEMS, UNLESS OTHERWISE NOTED.

Mark	Date	Description of Revision	By

EXTERIOR ELEVATIONS

Date: 05/17/2024

A-201



FLOOR PLAN NOTES

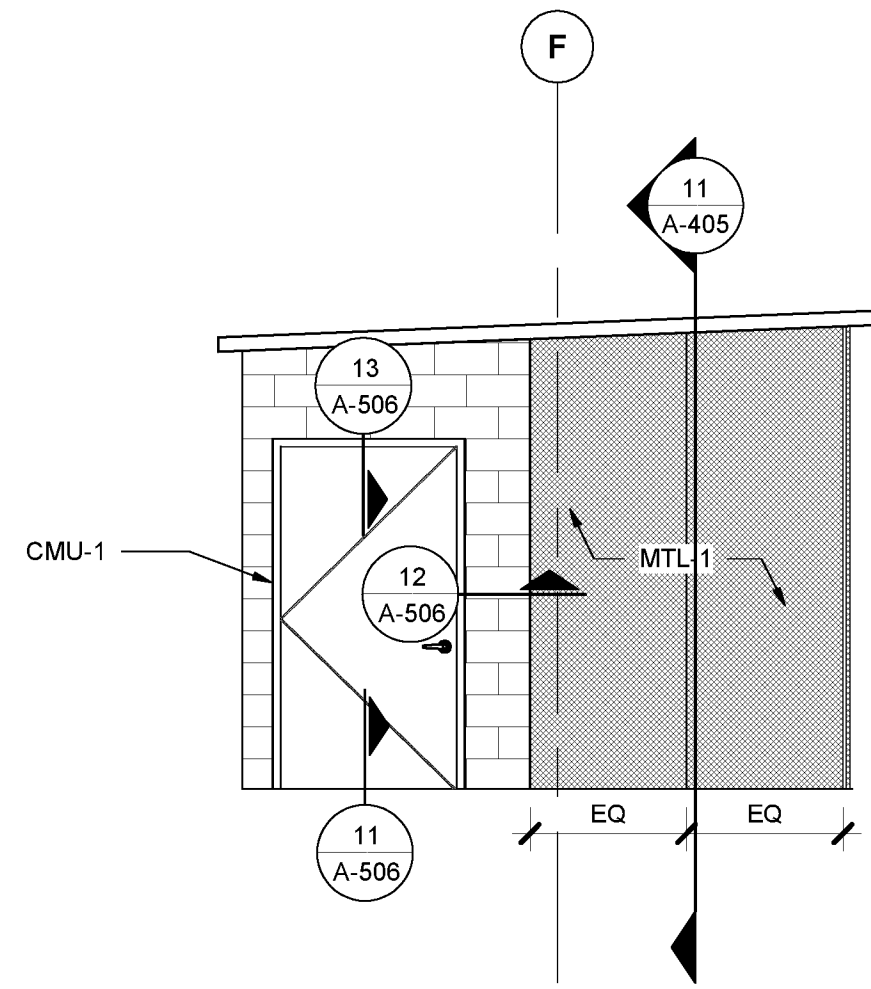
1. REFER TO ASSEMBLY SHEETS FOR WALL AND FLOOR ASSEMBLIES.
2. DIMENSIONS ARE TO FACE OF GYPSUM BOARD FINISH UNLESS OTHERWISE NOTED. REFER TO ENLARGED PLANS FOR DIMENSIONS WITHIN THOSE AREAS.
3. INTERIOR WALLS ARE WALL TYPE 03E UNLESS OTHERWISE NOTED
4. EXISTING FLOOR DATUM: 100'-0" EQUALS 149.40'. SEE CIVIL.
5. WHERE ITEMS OR EQUIPMENT ARE REMOVED FROM FINISHED SURFACES TO REMAIN, PATCH AND REPAIR TO MATCH ADJACENT SURFACES.

ELEVATION / SECTION NOTES

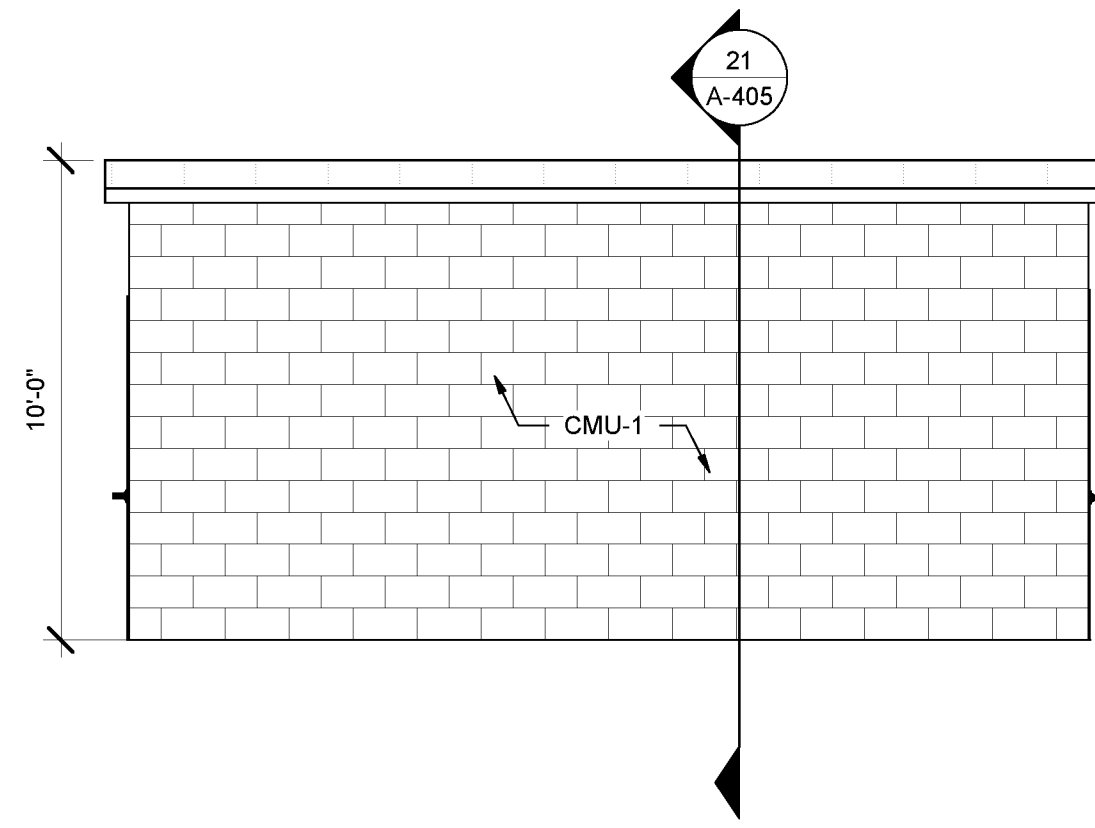
1. REFER TO ASSEMBLY SHEETS FOR WALL, ROOF, FLOOR, AND CEILING ASSEMBLIES.
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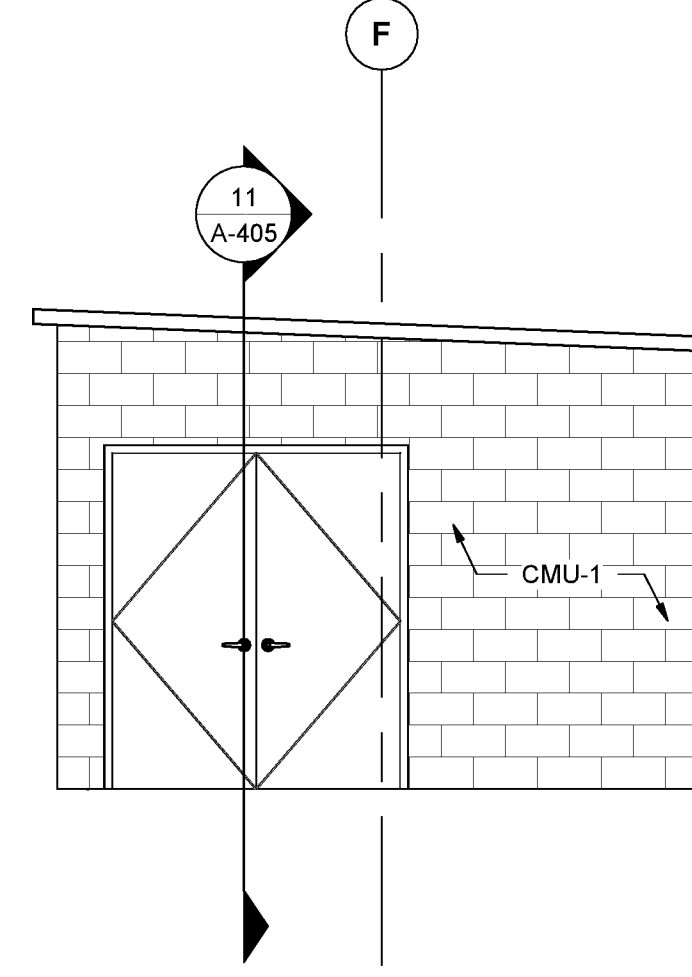
1. DO NOT SCALE DRAWINGS. REQUEST CLARIFICATION FROM ARCHITECT IF DIMENSIONS ARE NOT INDICATED.
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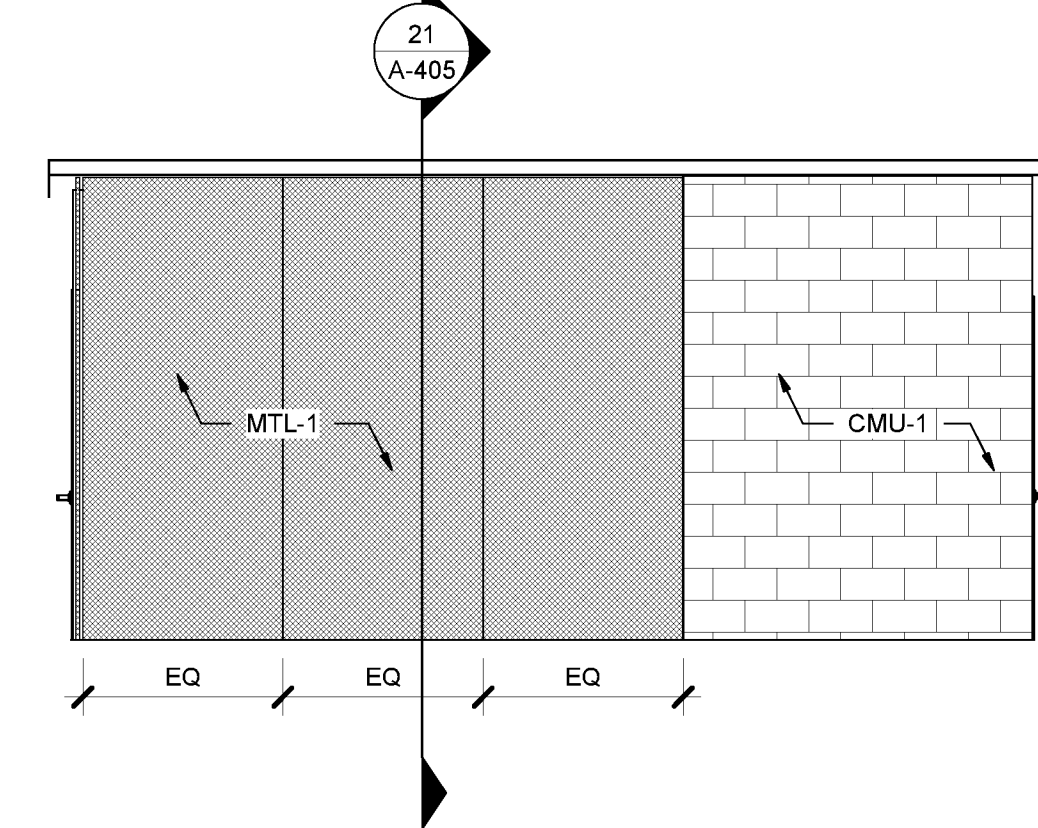
43 ELEVATION - SITE ENCLOSURE - NORTH  
 1/4" = 1'-0"



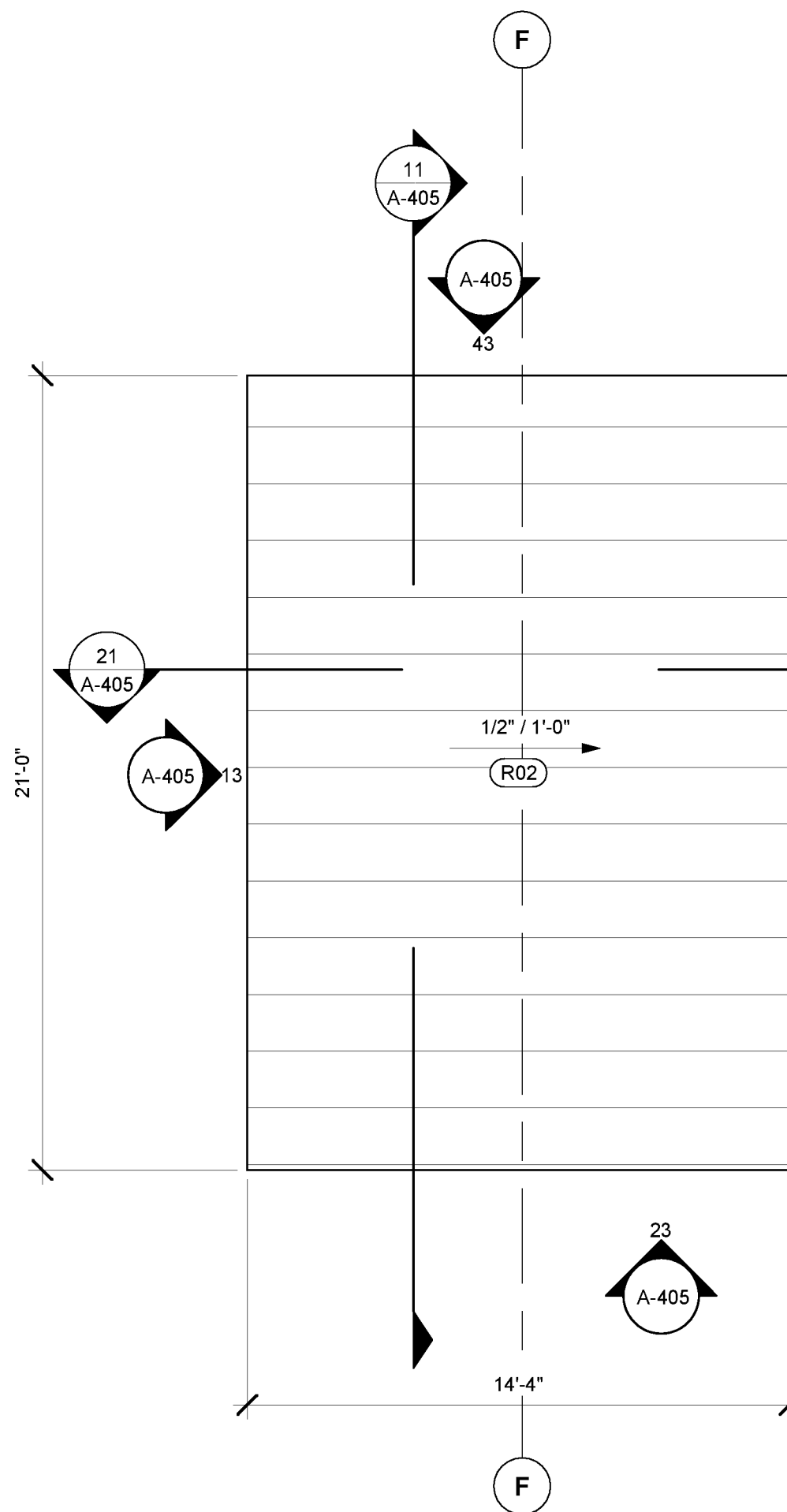
33 ELEVATION - SITE ENCLOSURE - EAST  
 1/4" = 1'-0"



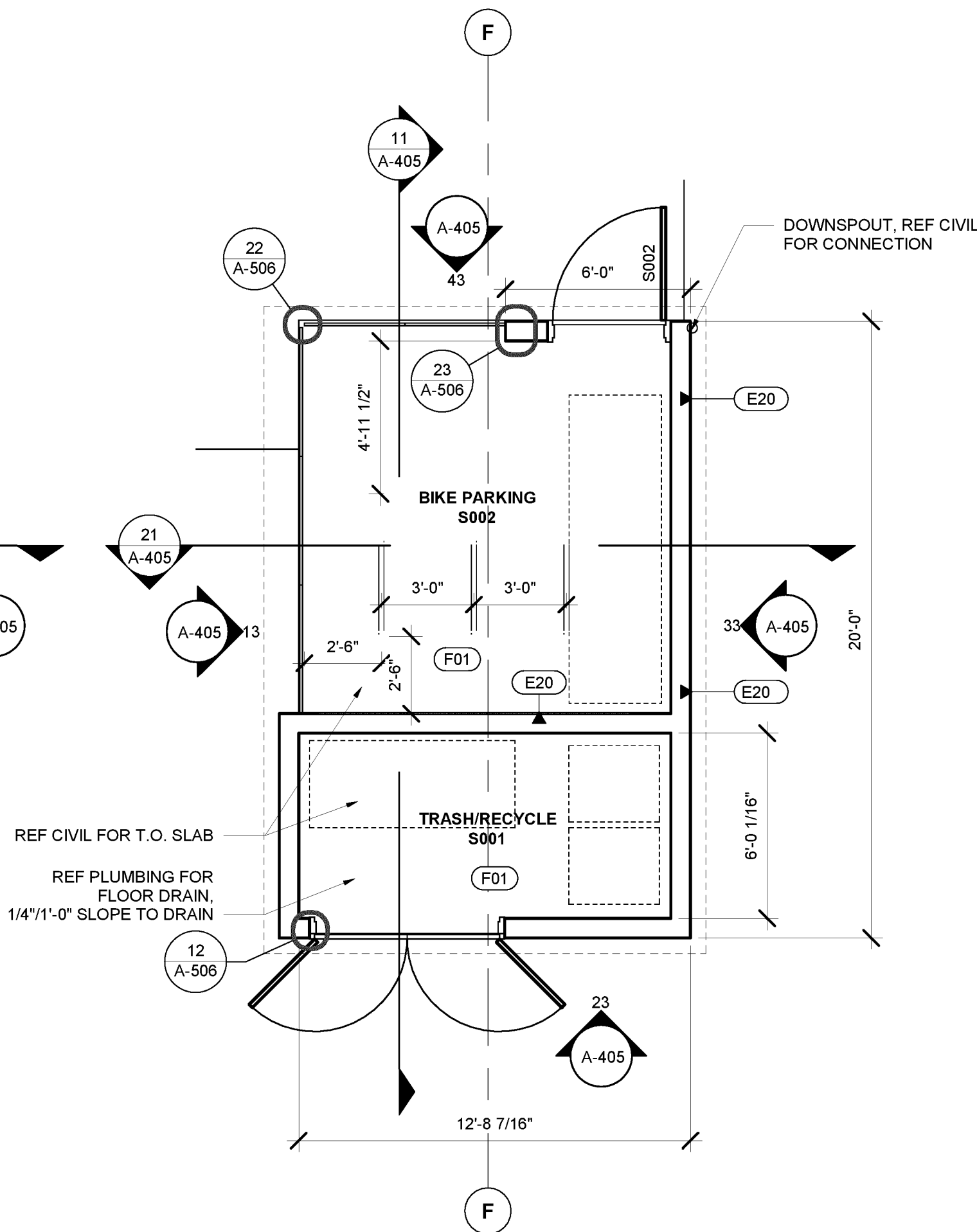
23 ELEVATION - SITE ENCLOSURE - SOUTH  
 1/4" = 1'-0"



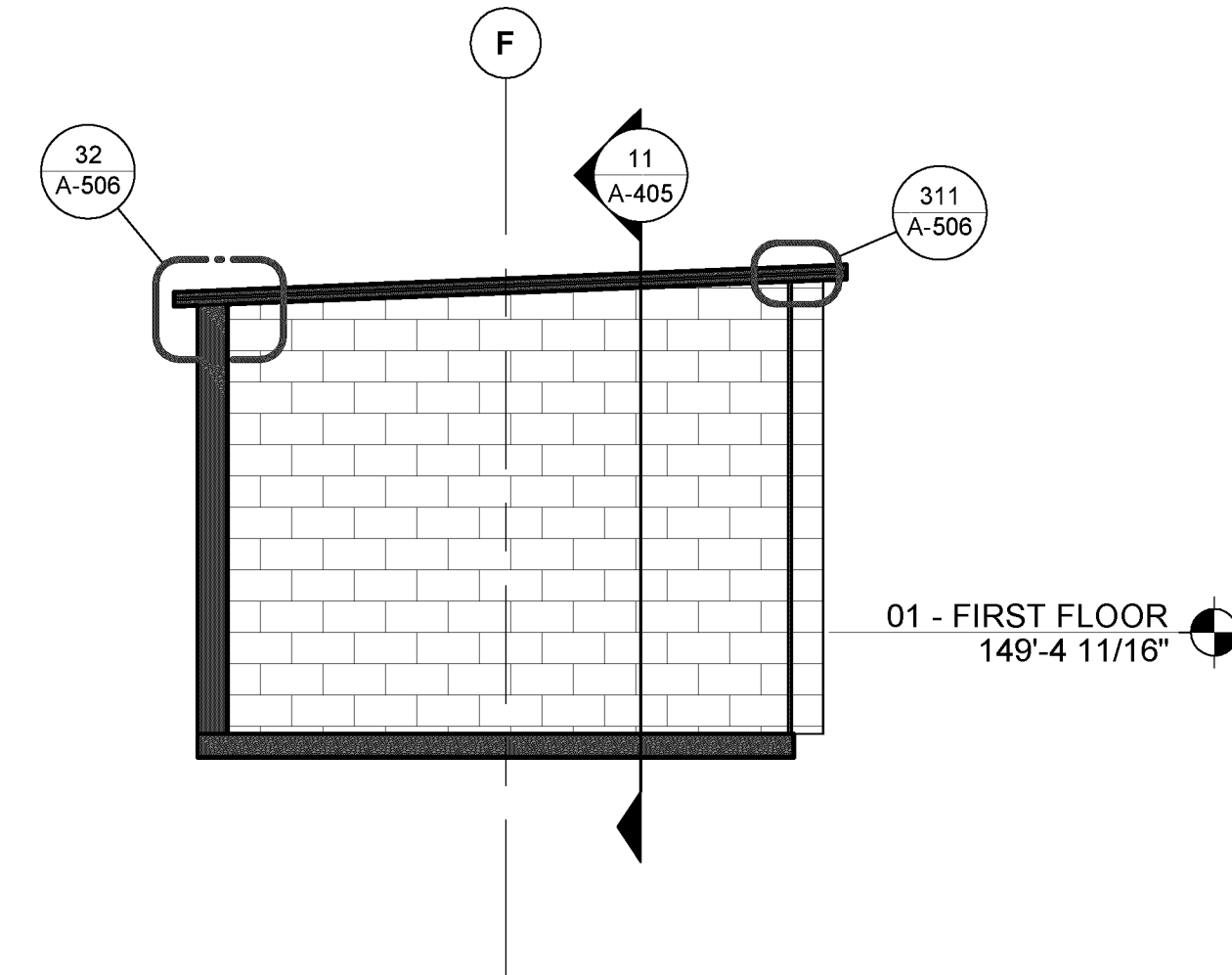
13 ELEVATION - SITE ENCLOSURE - WEST  
 1/4" = 1'-0"



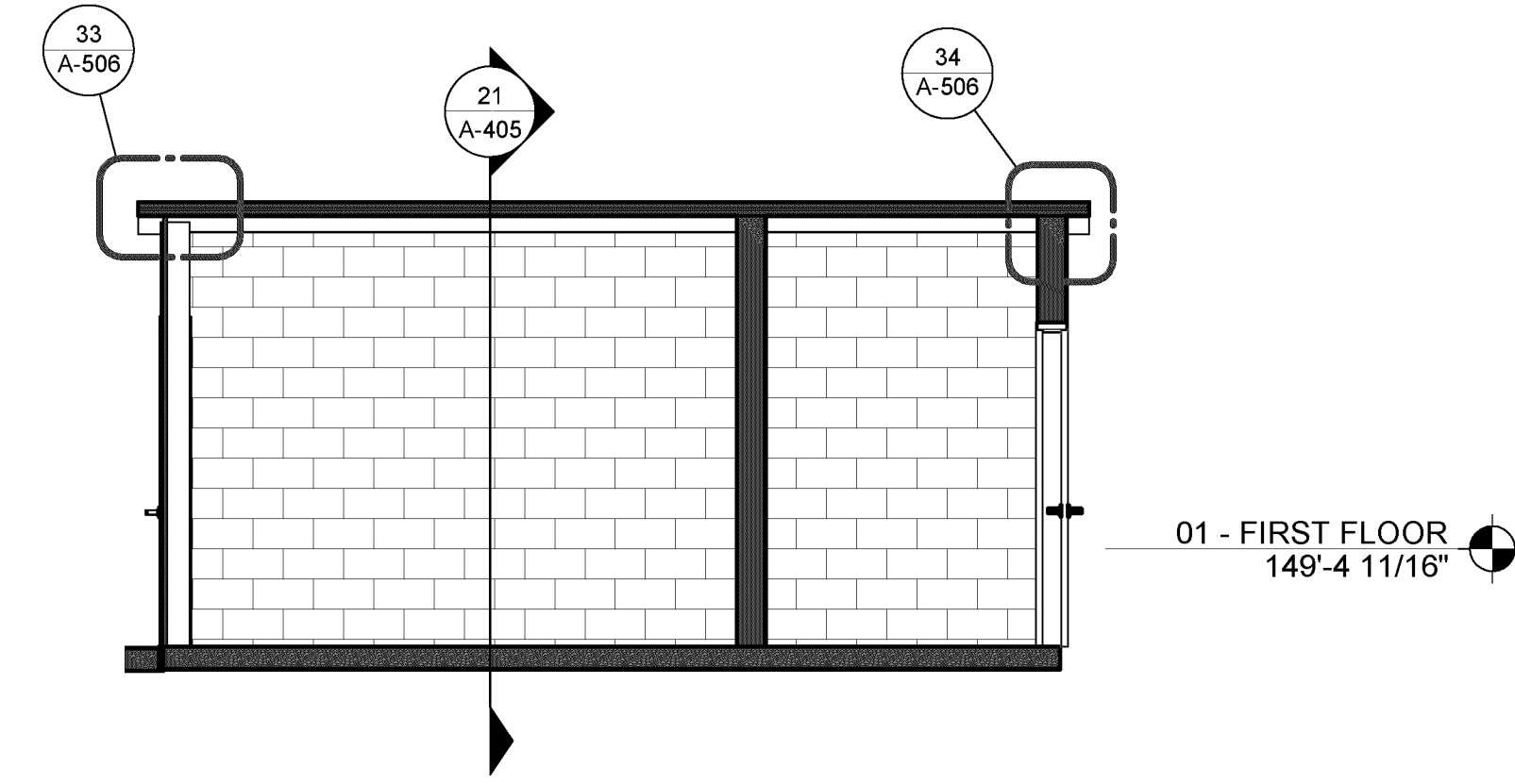
41 SITE ENCLOSURE - ROOF PLAN  
 1/4" = 1'-0"



31 SITE ENCLOSURE - FLOOR PLAN  
 1/4" = 1'-0"



2 SECTION - SITE ENCLOSURE - E/W  
 1/4" = 1'-0"



11 SECTION - SITE ENCLOSURE - N/S  
 1/4" = 1'-0"

Mark	Date	Description of Revision	By

Drawn By:	Checked By:
Author	Checker
Building Number:	Approved By:
615	Approver
Multico Project Number:	
P78LB172021 09	

Date: 05/17/2024

ENLARGED TRASH/BIKE ENCLOSURE PLANS & SECTIONS



## Hearings Office

### City of Portland

1900 SW 4<sup>th</sup> Avenue, Room 3100, Portland, OR 97201

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email: [HearingsOfficeClerks@portlandoregon.gov](mailto:HearingsOfficeClerks@portlandoregon.gov)

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fax: 503.823.4347



## DECISION OF THE HEARINGS OFFICER

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**Applicant:** Debbie Cleek  
The Bookin Group  
1020 SW Taylor Steet #555  
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[cleek@bookingroup.com](mailto:cleek@bookingroup.com)

**Property Owner:** Multnomah County Library District  
C/O Elise Hendrickson  
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Portland, OR 97227-1865

**Hearings Officer:** Nancy Hochman

**Bureau of Development Services (BDS) Staff Representative:** Don Kienholz

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**Testified at the Hearing:**

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Debbie Cleek, The Bookin Group

Katie O'Dell, Deputy Director, Multnomah County Public Library Capital Bonds Program

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**Approval** of a Conditional Use Review for an additional 2,100-square-feet of net building area to the existing library that is an historic landmark and a detached accessory building for bike storage and the trash and recycling.

The recommendation also includes approval of six Adjustments:

1. Reduce the required side building setback from the north lot line from 10-feet to 8-feet (33.120.275 C.1 and Table 120-7);
2. Reduce the required rear building setback from 10-feet to 5-feet (33.120.275 C.1 and Table 120-7);
3. Reduce required rear building setback for the detached covered accessory building from 10-feet to 5-feet (33.120.275 C.1 and Table 120-7);
4. Modify the required 10-feet of L3 buffer and landscaping between the proposed addition and the north side lot line that is adjacent to a residential zone from 10-feet to 8-feet (33.120.275 C.1 and Table 120-7);
5. Increase the maximum building setback from a street in a pedestrian district to the proposed addition from 20-feet to approximately 116-feet (33.120.220.C and Table 120-3); and
6. Allow vehicle area between accessory building and street (33.266.130.C.1 and Table 266-3).

Subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (Condition B) must be noted on each of the four required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE - Case File LU 24-014054 CU AD." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED." No field changes allowed.
- B. New exterior lights must be Dark Sky compliant.

**Basis for the Decision:** BDS Staff Report in LU 24-014056 CU AD, Exhibits A.1 through H.6, and the hearing testimony from those listed above.

*N E Hochman*

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Nancy Hochman, Hearings Officer

June 7, 2024

Date

**Application Determined Complete:** March 27, 2024  
**Report to Hearings Officer:** May 28, 2024  
**Decision Mailed:** June 7, 2024  
**Last Date to Appeal:** 4:30 p.m., June 21, 2024  
**Effective Date (if no appeal):** June 24, 2024

**Conditions of Approval.** This project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

**Appeal of the decision.** ANY APPEAL OF THE HEARINGS OFFICER'S DECISION MUST BE E-MAILED TO [LANDUSEINTAKE@PORTLANDOREGON.GOV](mailto:LANDUSEINTAKE@PORTLANDOREGON.GOV). The appeal application form can be accessed at : [Land Use Review Appeals, Land Use Review Appeal Costs and Appeal Fee Waivers | Portland.gov](#). If you do not have access to e-mail, please telephone (503) 865-6744 for assistance on how to submit the appeal; please allow one business day for staff to respond. **An appeal fee of \$5,789 will be charged.**

**Who can appeal:** You may appeal the decision only if you wrote a letter which is received before the close of the record on hearing or if you testified at the hearing, or if you are the property owner or applicant. If you or anyone else appeals the decision of the Hearings Officer, City Council will hold an evidentiary hearing, one in which new evidence can be submitted to them. Upon submission of their application, the applicant for this land use review chose to waive the 120-day time frame in which the City must render a decision. This additional time allows for any appeal of this proposal to be held as an evidentiary hearing.

**Appeal Fee Waivers:** Neighborhood associations recognized by the Office of Community & Civic Life may qualify for a waiver of the appeal fee provided that the association has standing to appeal. The appeal must contain the signature of the Chairperson or other person authorized by the association, confirming the vote to appeal was done in accordance with the organization's bylaws.

Neighborhood associations, who wish to qualify for a fee waiver, must complete the Type III Appeal Fee Waiver Request for Organizations Form and submit it prior to the appeal deadline. The Type III Appeal Fee Waiver Request for Organizations Form contains instructions on how to apply for a fee waiver, including the required vote to appeal.

Assistance in filing the appeal and information on fee waivers are available from the Bureau of Development Services website: <https://www.portland.gov/bds/zoning-land-use/land-use-review-fees-and-types/appeals-fees-and-fee-waivers>.

**Recording the final decision.** If this land use review is approved, the final decision will be recorded with the County Recorder. *Unless appealed*, the final decision will be recorded by the Bureau of Development Services.

**Expiration of this approval.** Generally, land use approvals (except Comprehensive Plan and Zoning Map Amendments) expire five years from the date of the final decision unless one of the actions below has occurred (see Zoning Code Section 33.730.130 for specific expiration rules):

- A City permit has been issued for the approved development,
- The approved activity has begun (for situations not requiring a permit), or

In situations involving only the creation of lots, the final plat must be submitted within three years.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within seven years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

**Applying for permits.** A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

**EXHIBITS RECEIVED IN THE HEARINGS OFFICE – SEE NEXT PAGE**  
(NOT ATTACHED UNLESS INDICATED)

The exhibits in the land use case file are all assigned a letter (example A-1). The Hearings Office accepts exhibits filed online in its case management system. These exhibits are marked in the lower right hand corner that identifies the exhibit as a “Portland Hearings Office” exhibit. All of these exhibits are designated “H Exhibits” (that is, Hearings Office Exhibits). See the BDS Staff Report for a list of exhibits prior to “H.”





# Hearing Office

City of Portland

1900 SW 4th Avenue, Room 3100, Portland, OR 97201

[www.portlandoregon.gov/hearings](http://www.portlandoregon.gov/hearings)

email: [HearingsOfficeClerks@portlandoregon.gov](mailto:HearingsOfficeClerks@portlandoregon.gov)

phone: 503.823.7307

fax: 503.823.4347



## Exhibits, Orders, and Other Attachments

Number	Title	Status
Exhibit 1	Land Use Hearing Intake Form	Accepted
Exhibit 2	Hearing Participation Information	Accepted
Exhibit 3	Land Use Hearing Scheduled Info.	Accepted
Exhibit 4 - attached	STAFF REPORT	Accepted
Exhibit 5	STAFF PRESENTATION	Accepted
Exhibit 6	Record Closing Information	Accepted



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
 FROM CONCEPT TO CONSTRUCTION

Carmen Rubio, Commissioner  
 David Kuhnhausen, Interim Director  
 Phone: (503) 823-7300  
 TTY: 711  
[www.portland.gov/bds](http://www.portland.gov/bds)

**STAFF REPORT AND RECOMMENDATION TO THE HEARINGS OFFICER**

CASE FILE: LU 24-014054 CU AD  
 PC # 23-096980  
 HEARINGS OFFICE FILE # 4240008  
 REVIEW BY: Hearings Officer  
 WHEN: June 3, 2024 at 2:00 PM

This land use hearing will take place online using the Zoom platform. See the instructions on how to participate remotely (online or by phone) at this link: <https://www.portland.gov/bds/zoning-land-use/events/2024/6/3/notice-land-use-hearing-lu-24-014054-cu-ad> or contact the Hearings Office at [HearingsOfficeClerks@portlandoregon.gov](mailto:HearingsOfficeClerks@portlandoregon.gov) or 503-823-7307. Additional Hearings Office information is available at [www.portland.gov/omf/hearings/land-use](http://www.portland.gov/omf/hearings/land-use).

**BUREAU OF DEVELOPMENT SERVICES STAFF: DON KIENHOLZ / [DON.KIENHOLZ@PORTLANDOREGON.GOV](mailto:DON.KIENHOLZ@PORTLANDOREGON.GOV)**

**GENERAL INFORMATION**

**Applicant:** Debbie Cleek  
 The Bookin Group  
 1020 SW Taylor St, #555  
 Portland OR 97205  
[cleek@bookingroup.com](mailto:cleek@bookingroup.com)

**Owner:** Multnomah County Library District  
 C/O Elise Hendrickson  
 401 N Dixon St  
 Portland, OR 97227-1865

**Site Address:** 7510 N CHARLESTON AVE

**Legal Description:** BLOCK 2 INC PT VAC ST LOT 5-8, JERSEY ST ADD  
**Tax Account No.:** R429000210  
**State ID No.:** 1N1W12AB 10300  
**Quarter Section:** 2122

**Neighborhood:** St. Johns, contact Patrick Theiss at [landuse@stjohnspdx.org](mailto:landuse@stjohnspdx.org)  
**Business District:** St. Johns Boosters Business Association, contact at [info@stjohnsboosters.org](mailto:info@stjohnsboosters.org)

**District Coalition:** North Portland Neighborhood Services, contact Mary Jaron Kelley at 503-823-8877.

**Plan District:** St. Johns  
**Zoning:** RM2d – Residential Multi-Dwelling – 2 with a Design Overlay Zone ('d').  
**Case Type:** CU AD – Conditional Use Review with Adjustments  
**Procedure:** Type III, with a public hearing before the Hearings Officer. The decision of the Hearings Officer can be appealed to City Council.

**Proposal:**

The applicant is proposing to remove an 800-sf addition from the rear of the St. Johns Library built in the 1990s and replace it with an approximately 2,950-sf addition. The proposal will not alter the original 1917 library on site but will connect to the rear of the building where the previous addition was located. The proposal also includes a detached covered accessory building in the southeast portion of the site that will house covered bike parking and the trash and recycling area.

A Type III Conditional Use Review is required because the addition will be a net increase of more than 2000-sf and increase the overall floor area by more than 25 percent. The applicant is also requesting six Adjustments for the addition and accessory structure:

1. Reduce the required side building setback from the north lot line from 10-ft to 8-ft (33.120.275 C.1 and Table 120-7);
2. Reduce the required rear building setback from 10-ft to 5-ft. (33.120.275 C.1 and Table 120-7);
3. Reduce required rear building setback for the detached covered accessory building from 10-ft to 5-ft. (33.120.275 C.1 and Table 120-7);
4. Reduce the required L3 landscaping buffer between the proposed addition and the north side lot line that is adjacent to a residential zone from 10-ft to 8-ft. (33.120.275 C.1 and Table 120-7);
5. Increase the maximum building setback from a street in a pedestrian district to the proposed addition from 20-ft to approximately 116-ft (33.120.220.C and Table 120-3); and
6. Allow vehicle area between accessory building and street (33.266.130.C.1 and Table 266-3).

**Relevant Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The applicable approval criteria are found in 33.815.105 - Institutional and Other Uses in Residential and Campus Institutional Zones and in 33.805.040.A through F Adjustment Approval Criteria.

The Portland Zoning Code is available online at <https://www.portland.gov/code/33>.

**ANALYSIS**

**Site and Vicinity:** The subject site is located on the irregularly shaped block bounded by N. Charleston Ave., N. Central St., N Richmond Ave., and N. Lombard St. in the St Johns neighborhood. The existing library building on the subject site was built in 1915 and is a single story tall and was originally paid for by a grant from the Carnegie Corporation of New York which provided funding for libraries across the country. It went under a renovation most recently in 2000-2001, which included the small addition off the rear of the building that is proposed to be removed as part of the subject project. The parking lot along the south is shared with an apartment building on the adjacent lot. Across the street is James John Elementary School and a playground.

**Zoning:** The RM2 zone is a medium-scale multi-dwelling zone that is generally applied in and around a variety of centers and corridors that are well-served by transit. Allowed housing is characterized by buildings of up to three or four stories with a higher percentage of building

coverage than in the RM1 zone, while still providing opportunities for landscaping and outdoor spaces that integrate with residential neighborhood characteristics. The major types of new housing development will be a diverse range of multi-dwelling structures and other compact housing that contribute to the intended urban scale of centers and corridors, while providing transitions in scale and characteristics to lower-scale residential neighborhoods.

The Design (d) overlay zone promotes the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. This is achieved through the creation of design districts and applying the Design overlay zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. In addition, Design Review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

The St. Johns plan district provides for an urban level of mixed-use development including commercial, employment, office, housing, institutional, and recreation uses. Specific objectives of the plan district include strengthening St. Johns' role as the commercial and civic center of the North Portland peninsula. These regulations:

- Stimulate business and economic vitality;
- Promote housing and mixed-use development;
- Discourage auto-oriented uses and development;
- Enhance the pedestrian environment;
- Enhance the character of buildings in the plan district; and
- Support the Willamette greenway and opportunities to celebrate the Willamette River as a unique element of the urban environment.

**Land Use History:** City records indicate that there have been multiple prior land use reviews, including the following:

- LU 13-207756 DZ: Approval of a Design Review for a ground-mounted mechanical unit in the rear of the property,
- LU 93-010293 CU: Conditional Use approval for parking for existing library and church.
- LU 99-017440 CU: Conditional Use approval to renovate the existing library and construct a building addition approximately 850 feet in area.

**Agency Review:** A "Request for Response" was mailed March 29, 2024. The following Bureaus have responded with no issues or concerns:

- Life Safety Section of BDS (Exhibit E.1);
- Police Bureau (Exhibit E.2);
- Fire Bureau (Exhibit E.3);
- Water Bureau (Exhibit E.4); and
- Urban Forestry (Exhibit E.5).

The Site Development Section of BDS reviewed the proposal and provided a response (Exhibit E.6) identifying requirements that will be necessary at the time of building permit.

The Bureau of Environmental Services provided a response (Exhibit E.7) that went over the existing sanitary sewer, stormwater management and drainage way facilities and requirements. BES found the existing and proposed facilities as adequate and acceptable and will review new systems at the time of building permit. They had no concerns for the proposal and included no conditions of approval.

The Portland Bureau of Transportation reviewed the proposal and provided a response (Exhibit E.8) documenting the classifications of the adjacent street, nearby infrastructure, and evaluating the proposal's potential impacts on the public right-of-way. After evaluating the applicant's materials and Transportation Impact Study, PBOT found the transportation system is capable of supporting the proposed use.

**Neighborhood Review:** No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

## ZONING CODE APPROVAL CRITERIA

### Conditional Use

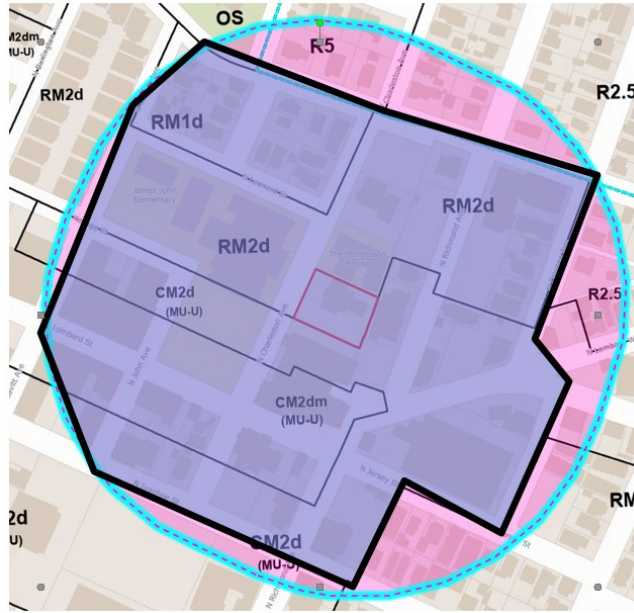
#### **33.815.105 Institutional and Other Uses in Residential and Campus Institutional Zones**

**These approval criteria apply to all conditional uses in R and campus institutional zones except those specifically listed in sections below. The approval criteria allow institutions and other non-Household Living uses in residential and campus institutional zones that maintain or do not significantly conflict with the appearance and function of residential or campus areas. Criteria A through E apply to institutions and other non-Household Living uses in residential zones. Criteria B through E apply to all other conditional uses in campus institutional zones. The approval criteria are:**

- A. Proportion of Household Living uses. The overall residential appearance and function of the area will not be significantly lessened due to the increased proportion of uses not in the Household Living category in the residential area. Consideration includes the proposal by itself and in combination with other uses in the area not in the Household Living category and is specifically based on:**
- 1. The number, size, and location of other uses not in the Household Living category in the residential area; and**
  - 2. The intensity and scale of the proposed use and of existing Household Living uses and other uses.**

**Finding:** Generally, the "residential area" is determined by using boundaries such as major streets, commercial zoning, or topographic features in combination with the required noticing area, which in this case was 400-feet. To ensure the limitation of potential adverse impacts, we usually expand the 'residential area' another one or two hundred feet beyond the noticing area providing the area does not extend over hard physical or topographic barriers.

Using the approximate 600-ft distance, the natural and hard boundaries are N. Ivanhoe to the south; N. Leavitt Ave. to the west; N. Central St. to the north; and N. Oswego to the east. The 600-ft boundary goes slightly beyond the named streets but the streets serve as a hard boundary and the properties on the other side of the streets are not considered as in the 'area.' The 'area' used for this review is depicted below in blue:



This area reflects a much more urban and mixed-use development pattern than the vast majority of Portland. The zoning to the south and east of the subject site is CM2. Zoning to the west and north is RM2. There is a small pocket of RM1 to the far NW of the site that contains many single-family dwellings.

Sites immediately adjacent to the library are zoned CM2 and those in a residential zone are in non-household living uses. The adjacent and nearby residentially zoned sites contain several non-household living uses that aren't adjacent to the site. These uses include:

- James John Elementary School (school use);
- A Montessori school immediately to the north (school use);
- St Johns Church (religious institutional use);
- St Johns Village (community service use);
- St Johns Bachelor Club (social club – retail sales and service - entertainment-oriented); and
- St. Johns Farmers Market (retail sales and service use – sales-oriented)

The proposal is an addition to the existing St. Johns Library resulting in a net increase of approximately 2,100-sf of building area and a small detached accessory trash and bike enclosure, but not an increase in non-household living uses as the use already exists. While the library is being enlarged, the geographical catchment and usage of the library is not changing, so there is no anticipated change in patronage. The applicant has described the addition and accessory building as a move by the library district to increase the operating square footage per capita from the current 0.3-sf per capital to the industry standard of 0.6 to 0.8-sf to allow the existing library to spread out materials and customers within the footprint. While the library will be larger than the existing one, it will not change the operational characteristics or character of the site.

In the mapped area above, the sites with household living uses in a residential zone are located in the far northwest portion of the area. Those homes are separated from the St. Johns Library by distance and by intervening non-household living uses. Given the facts above, the residential appearance and function of the identified residentially zoned area will not be lessened due to the net addition of 2,100-sf to the existing library and a small detached accessory building.

*Criteria met.*

**B. Physical compatibility.**

**1. The proposal will preserve any City-designated scenic resources; and**

**Findings:** City-designated scenic resources are protected with an “s” or Scenic Resource Overlay Zone. There are no designated scenic resources on the site.

**2. The proposal will be compatible with adjacent residential developments based on characteristics such as the site size, building scale and style, setbacks, tree preservation, and landscaping; or**

**Finding:** The proposal is not adjacent to any household living uses. The site is adjacent to residentially zoned properties that have other non-household living uses such as churches, community services, and schools. That said, the proposal will be compatible with nearby residential developments because:

- The site is of a similar size as the other residentially zoned lots. The subject site is just over 22,000-sf while the other residentially zoned properties include:
  - A two-story elementary school and playground sitting on a 53,000-sf lot across the street;
  - A two and a half story Montessori school on a 23,000-sf lot immediately north of the subject site.
  - A 63,000-sf church site that hosts a church and safe rest village;
  - A 9,100-sf site that has a retail sales and service social club; and
  - A 15,000-sf site that hosts the St. Johns Farmers Market.
  
- The existing library and proposed addition is only 1.5-stories in height, which is less tall than the two adjacent schools. The accessory bike and trash enclosure is 10-ft in height.
  
- The site is well below the maximum building coverage and floor area ratio, so will not be overbearing or out of place.
  
- The library is an historic building with design elements from the early 20th century that blends with the early-century architecture most homes in the area have.
  
- While the proposal includes setback Adjustments to the north and east, the development reflects the more urban development of the St. Johns neighborhood core the site resides in.
  
- The proposal meets all landscaping requirements.

*Criterion met.*

**3. The proposal will mitigate differences in appearance or scale through such means as setbacks, screening, landscaping, tree preservation, and other design features.**

**Finding:** Based on the findings to #1 and 2 above, there are no anticipated differences in appearance or scale that would necessitate mitigation.

*Criterion not applicable.*

**C. Livability. The proposal will not have significant adverse impacts on the livability of nearby residential zoned lands due to:**

- 1. Noise, glare from lights, late-night operations, odors, and litter; and**
- 2. Privacy and safety issues.**

**Finding:** The proposal is for an addition to the existing library that will result in a net increase of approximately 2,100-sf of building area and a small detached accessory building for trash and bike storage. Since the use is not new and the operations will not fundamentally change from the existing operations, there will be no anticipated increase in noise, late night operations, odors or litter. The parking lot will see some changes by coming into conformance with the parking and landscaping requirements but overall, the parking lot will remain. New outdoor lighting is proposed as part of the project and shown on Exhibit A.16. The applicant has stated all lights will be dark sky compliant. Dark Sky compliant lighting meets the lighting standards of DarkSky International that helps limit light pollution by focusing low level light on targeted areas and ensuring light doesn't bleed into the sky. A condition of approval will be included to ensure the lights are dark sky compliant to ensure no adverse impacts from glare are created.

There are no anticipated impacts to privacy or safety as the use has been on site since 1915 and the proposal is an addition and small detached accessory bike and trash enclosure. The adjacent properties are all in non-household living uses and will not have safety or privacy impacts from the addition and accessory building.

*Criterion met.*

**D. Public services.**

- 1. The proposal is supportive of the street designations of the Transportation Element of the Comprehensive Plan;**

**Finding:** PBOT provided the following response (Exhibit E.8) to address these criteria:

*“To address the transportation approval criteria, the applicant submitted a professionally prepared Transportation Impact Study (TIS) by Kittelson and Associates, dated January 25, 2025. The Portland Bureau of Transportation (PBOT) Traffic Engineers has reviewed the materials and agrees with the methodologies, analyses, assumptions, findings and conclusions including intersection capacity, safety of all modes, neighborhood impacts, etc. to confirm that the transportation-related approval criteria are satisfied.*

*At this location, the City’s Transportation System Plan (TSP) classifies N Charleston Ave as a City Bikeway, Local Service for all modes. The street is currently improved with an approximate 36-ft wide paved roadway and 12-ft wide pedestrian corridor within a 60-ft wide Right-of-Way (ROW). Vehicular access to the site is and will continue to be provided by a curb cut located on the south side of the site. Therefore, The TSP designations and existing street characteristics are reflective of and appropriate for the existing neighborhood and this criterion is met.”*

Staff concurs with PBOT’s analysis and conclusions.

*Criterion met.*

- 2. Transportation system:**



- a. **The transportation system is capable of supporting the proposed use in addition to the existing uses in the area. Evaluation factors include safety, street capacity, level of service, connectivity, transit availability, availability of pedestrian and bicycle networks, access restrictions, neighborhood impacts, impacts on pedestrian, bicycle, and transit circulation. Evaluation factors may be balanced; a finding of failure in one or more factors may be acceptable if the failure is not a result of the proposed development, and any additional impacts on the system from the proposed development are mitigated;**
- b. **Measures proportional to the impacts of the proposed use are proposed to mitigate on- and off-site transportation impacts. Measures may include transportation improvements to on-site circulation, public street dedication and improvement, private street improvements, intersection improvements, signal or other traffic management improvements, additional transportation and parking demand management actions, street crossing improvements, improvements to the local pedestrian and bicycle networks, and transit improvements;**
- c. **Transportation improvements adjacent to the development and in the vicinity needed to support the development are available or will be made available when the development is complete or, if the development is phased, will be available as each phase of the development is completed;**

**Finding:** PBOT provided the following response (Exhibit E.8) to address these criteria:

*“To address the street capacity and Level of Service (LOS) evaluation factors, the applicant’s traffic engineer sited TRN 10.27, which noted that a LOS study is not required when proposed development results in no net increase to vehicle trips. Per information contained in the Institute of Transportation Engineers (ITE), Trip Generation Manual (11th Edition), vehicular trip generation for the facility is calculated using the total building size on site utilizing ITE Land Use code 500. Both the weekday AM and PM peak hour trip generation rates for this land use are approximately 13 trips per 1,000 square feet. The St. John’s Library Multnomah County Library is not open prior to 10 AM any day of the week. Based on the low trip generation increase anticipated as part of the 2,096 square feet net addition, no intersection capacity analyses were performed nor required by the City or ODOT. Given the location of the Library within the St. John’s neighborhood, the vehicular trips were estimated to distribute 60 percent to the north and 40 percent to the south, thereby resulting in a less than 10 vehicle increase to the adjacent intersections during the weekday PM peak hour, which does not constitute a material change to adjacent streets or intersections. Therefore, PBOT finds all the intersections are deemed to operating at current LOS and the existing intersections are capable of handling the proposed site improvements without negatively impacting the City of Portland’s operational standards.*

*No crashes were reported on N Charleston Avenue near or at the Library Access point for the most recent five-year analysis period in which data was available from ODOT. TriMet provides bus service via Routes 4, 16, 44 and 75 all of which have a stop at the N Charleston Street/N Lombard Street intersection, which is a convenient one block walking distance from the library. There are continuous sidewalk infrastructure and marked crossings at signalized and other crosswalks in the immediate area. For bicycles, N Central two blocks to the north is the primary east-west Neighborhood Greenway, whereas N Buchanan Ave six blocks to the east is the primary north-south route, which is a shared roadway. remaining surrounding streets are low-volume neighborhood streets which provide a safe and comfortable traveling environment for*

*cyclists. No specific pedestrian or bicycle-related changes are identified in the TSP along the frontage of the library, and the proposed library addition will not change or modify the surrounding transportation system. Therefore, PBOT finds the resulting proposed development will not negatively impact transit access or other transportation modes, nor have an adverse impact on safety of the neighborhood.*

*The City's TSP identifies a general standard of vehicle connections for every 530 feet and pedestrian / bicycle connections every 330 feet. The subject site is located approximately mid-block between two ROWs which meets City's connectivity goals.*

*There are no access restrictions for this site. Primary access to the facility is and will continue to be provided by a curb cut along the south property line. As of July 1, 2023, PZC 33.266 has eliminated the requirement for on-site parking for all uses and development within the city. The existing library has 11 on-site parking spaces immediately adjacent in the existing parking lot. There is sufficient on-street parking in the immediate vicinity to accommodate the additional demand. Therefore, PBOT finds the proposed development will not impact the existing on-street parking supply in any way. Therefore, this criterion is met.*

*The transportation-related neighborhood impacts associated with the proposed use typically involve impacts to on-street parking and potential increases in traffic at area intersections. As documented, the proposed library expansion will not significantly alter or increase the increased traffic surrounding the use, and with the existing parking lot and adequate on-street parking supply. Therefore, transportation-related impacts as a result of the proposed library expansion will be negligible.*

*In conclusion, based on the evidence included in the record, and primarily, the applicant has demonstrated to PBOT's satisfaction that "the transportation system is capable of supporting the proposed use in addition to the existing uses in the area".*

Staff concurs with PBOT's findings.

*Criteria met.*

**3. Public services for water supply, police and fire protection are capable of serving the proposed use, and proposed sanitary waste disposal and stormwater disposal systems are acceptable to the Bureau of Environmental Services.**

**Finding:** The Portland Bureau of Police provided a response (Exhibit E.2) stating they have no objections and police can access and serve the site. The Portland Fire Bureau provided a response (Exhibit E.3) without any identified objections and stating a building permit will be required for the buildings. BES provided a response (Exhibit E.7) stating they have no objections to the proposal. Additionally, BES notes they find the applicant's proposed sanitary sewer service, the proposed stormwater management plan and drainage acceptable as required by the criterion. Lastly, BES notes that some materials and fees will be required at the time of building permit.

*Criterion met.*

**E. Area plans. The proposal is consistent with any area plans adopted by the City Council as part of the Comprehensive Plan, such as neighborhood or community plans.**

**Finding:** The subject site is in the St. Johns/Lombard Neighborhood Area Plan. The applicant identified four policies from the area plan that have applicability to the proposal. After

reviewing the identified policies and the area plan, staff concurs with the applicant. The identified policies are as follows:

Policy 1: Land Use and Placemaking

Accommodate growth and change in a manner that fosters the area’s sense of place as a small town and main street within the city.

**Finding:** The proposal is to expand the St. Johns Library, a public institution in the neighborhood for over 100 years. The proposed expansion will maintain an important community institution in the St. Johns neighborhood core for the community and maintain that sense of place and of a small town.

Policy 2: History and Identity

Strengthen the identity of the St. Johns and Lombard Street areas through development and community activities that integrate and build on the area’s distinctive history and architecture.

**Finding:** The St. Johns Library is a historic building that was originally constructed in the early 20<sup>th</sup> century as part of the philanthropic push for libraries by the Carnegie Corporation. The proposal will keep the library in the community and allow it to be used by many future generations, maintaining its historic significance.

Policy 6: Environment

Promote the development of a built environment that fosters ecological quality and uses sustainable development practices.

**Finding:** The proposal to add onto the library ensures the building isn’t torn down and a new library built in its place. This option uses fewer resources and avoids the environmental impacts from entirely new construction.

Policy 8: Community Involvement and Services

Support and enhance the St. Johns town center and Lombard main street with a mix of public and private community services. Continue the high level of community involvement in project and program activities recommended in this plan.

**Finding:** The proposal will maintain an existing community institution and allow it to be used by future generations as a meeting place, research and entertainment resource and other various community activities.

*Criterion met.*

**Adjustments**

**33.805.040 Approval Criteria**

**The approval criteria for signs are stated in Title 32. All other adjustment requests will be approved if the review body finds that the applicant has shown that either approval criteria A. through F. or approval criteria G. through I., below, have been met.**

**A. Granting the adjustment will equally or better meet the purpose of the regulation to be modified; and**

**Finding:** Six adjustments are requested as part of the proposal. Five of the requested Adjustments are associated with setbacks. The Adjustments are to the addition to the main library and the detached accessory building for trash and bike storage. The sixth adjustment

is to allow vehicle area between the accessory building and a street. The Adjustments to each building will be addressed below.

Addition to Library

- Reduce the required side building setback for the addition from the north lot line from 10-ft to 8-ft (33.120.275 C.1 and Table 120-7);
- Reduce the required rear building setback from 10-ft to 5-ft. (33.120.275 C.1 and Table 120-7);
- Reduce the required L3 landscaping buffer between the proposed addition and the north side lot line that is adjacent to a residential zone from 10-ft to 8-ft. (33.120.275 C.1 and Table 120-7);
- Increase the maximum building setback for the addition from a street in a pedestrian district to the proposed addition from 20-ft to approximately 116-ft (33.120.220.C and Table 120-3); and

The purpose statement for the above requested Adjustments is in the institutional development standards section (33.120.275.A) and is as follows:

*“Purpose. The general base zone development standards in the multi-dwelling zones are designed for residential buildings. Different development standards are needed for institutional uses which may be allowed in multi-dwelling zones. The intent is to maintain compatibility with and limit the negative impacts on surrounding residential areas.”*

Staff found in the findings for the Conditional Use approval criteria above, specifically 33.815.105.B and C, that the proposal is compatible with adjacent residential development and zoning and the proposal will not adversely impact the livability of nearby residentially zoned lands.

The site is unique in that the properties to the south and east are zoned CM2, a non-residential zoning. The properties to the west and north are residentially zoned, but have non-household living uses on them (schools) and will not be impacted by the proposed addition and accessory building. Residentially zoned properties further north and to the northeast have other non-household uses on them such as a church, retail sales and service social club, and a farmers market. The closest residentially zoned properties with household living uses are over 150-ft away off of N. Leonard St from the closest point of the property. The addition and accessory building will be more than 250-ft away with intervening buildings and roads.

Reducing the required 10-ft of L3 landscaping between the proposed addition and the north lot line from 10-ft to 8-ft will not negatively impact the use on the adjacent property to the north because the reduced setback is the same as the setback for the existing library further west on the property and the use on the adjacent property is not a household living use, the intended beneficiary of the landscaped buffer. Regardless, the reduction of the landscaped buffer from 10-ft to 8-ft is inconsequential considering there is no exterior activity along that area of the subject property that the buffer would help shield or muffle.

Given the distance to any residential properties with household living uses, the proposed reduced setbacks will have no negative impact on surrounding residential areas and the purpose is equally met.

Detached accessory building

- Reduce required rear building setback for the detached covered accessory building from 10-ft to 5-ft. (33.120.275 C.1 and Table 120-7);

The proposal includes a request to reduce the rear setback for the detached accessory building from 10-ft to 5-ft. The accessory building is an enclosed trash and bike enclosure set to the rear of the parking lot. The 5-ft distance will match the new additions 5-ft setback and allow continued full use of the parking lot. The property closest to the common property line is zoned CM2, a commercial zone that when adjacent to another commercial property has a 0-ft setback, and occupied by a commercial building called The Colony that is an event space. In the vicinity of the accessory building, the adjacent property contains a parking lot. Since the purpose of the standard is to protect residentially zoned areas and the adjacent property is commercially zoned, there will be no adverse impact on a residential area and the purpose is equally met.

- Increase the maximum building setback from a street in a pedestrian district to the proposed addition from 20-ft to approximately 116-ft (33.120.220.C and Table 120-3); and

The purpose for the maximum setback standard is found in 33.120.220.A, which states:

*“Purpose. The building setback regulations serve several purposes:*

- *They maintain light, air, separation for fire protection, and access for fire fighting;*
- *They reflect the general building scale and placement of multi-dwelling development in the City's neighborhoods;*
- *They promote a reasonable physical relationship between residences;*
- *They promote options for privacy for building residents and neighboring properties;*
- *They provide adequate flexibility to site a building so that it may be compatible with the neighborhood, fit the topography of the site, allow for required outdoor areas, and allow for architectural diversity;*
- ***Setback requirements along transit streets create an environment that is inviting to pedestrians and transit users; and***
- *They provide room for a car to park in front of a garage door without overhanging the street or sidewalk, and they enhance driver visibility when backing onto the street.”*

As the setback section includes both minimum setbacks and maximum setbacks, only some of the listed purpose statements are relevant to the proposal. The relevant sections are identified by being in **bold**.

The Pedestrian district identifies the area as one that the development pattern is intended to be up close to the street to bring the commercial and household living uses closer to the street to create a more walkable neighborhood, promote walking and reduce reliance on vehicles. Since the existing library is historic and the main building with its columned main entrance is the focal point of the site, it should be preserved to the maximum extent practicable. As such, the addition must necessarily be located to the rear of the library to allow the existing library and its columned entrance to be the prominent feature on the site while still expanding the available square footage for use. The columned main entrance is a visual and historic pedestrian draw to the site and building. Considering these facts, the purpose is equally met.

Location of Vehicle area

- Allow vehicle area between accessory building and street (33.266.130.C.1 and Table 266-3).

Vehicle area between a street and building is regulated in 33.266.130.C.1 and Table 266-3. The site is in a Pedestrian District and the detached accessory is located to the rear of the site approximately 116-ft from the front property line with the parking lot between them. Table 266-3 does not allow vehicle area between buildings and a street in a pedestrian district:

<p><b>RMP, IR, CE, EG1, CI; sites in RM1, RM2, and RM3 that are more than 10,000 square feet in total area; sites in CM1, CM2, and CM3 that are more than 2 acres in total area</b></p>	<p>Vehicle areas not allowed between the portion of the building that complies with the maximum street setback and the transit street or streets in a Pedestrian District.</p>
---	--

The applicable purpose statement is found in the first half of 33.266.130.A:

*“Purpose. The development standards promote vehicle areas that are safe and attractive for motorists and pedestrians. Vehicle area locations are restricted in some zones to promote the desired character of those zones.*

*Together with the transit street building setback standards in the base zone chapters, the vehicle area location regulations:*

- *Provide pedestrian access that is protected from auto traffic;*
- *Create an environment that is inviting to pedestrians and transit users, especially on transit streets and in Pedestrian Districts;*
- *Limit the prominence of vehicle areas along street frontages and create a strong relationship between buildings and the sidewalk;*
- *Create a sense of enclosure on transit and pedestrian street frontages; and*
- *Limit the size of paved parking area and the type of paving material allowed in order to limit increases in temperature associated with asphalt and reduce impacts from urban heat islands.”*

Provide pedestrian access that is protected from auto traffic:

The accessory building, which will contain a bike storage area and the trash/recycling storage, is to the rear of the property and connected to the on-site pedestrian system. Bike riders will be able to drive into the parking lot since they are a vehicle and go right up to the bike parking in the accessory building. The trash and recycling areas are only used by employees and not ordinary pedestrians who may come from the right-of-way’s sidewalk. Employees taking out trash and recycling will be able to use the on-site pedestrian system to stay out of the vehicle area. The proposed design protects pedestrians from auto traffic.

Create an environment that is inviting to pedestrians and transit users, especially on transit streets and in Pedestrian Districts:

The site fronts N. Charleston Ave. which is not a transit street but which is in the St. Johns Pedestrian District. The library is an existing historic building on the Historic Resource Inventory and designed with a large pedestrian path to a grand main entrance connecting to the front sidewalk and street. The design creates a very strong existing pedestrian connection environment for the community in front of the library. The addition is on the rear of the building and connects directly to the existing library and will maintain the existing, strong, pedestrian environment.

Limit the prominence of vehicle areas along street frontages and create a strong relationship between buildings and the sidewalk:

The site is approximately 130-ft wide and has an existing parking lot that is shared with the site to the south. Half the parking lot is on the subject site and half is on the site to the south with a shared access. The portion on the subject site is approximately 30-ft wide and 165-ft deep. No new additional vehicle area is proposed and two of the existing parking spaces will be removed for the placement of the accessory building. As such, the proposal continues to limit the amount of vehicle area on site and maintains the strong pedestrian connection from the street to the library’s main entrance.

Create a sense of enclosure on transit and pedestrian street frontages:

N. Charleston Ave. is not a transit street nor a pedestrian street. However, the site is within the St. Johns Pedestrian District, so a strong pedestrian environment is desired. The proposal to locate the accessory building to the rear of the property help maintains the strong existing pedestrian connection from the street frontage to the library’s grand main entrance.

Limit the size of paved parking area and the type of paving material allowed in order to limit increases in temperature associated with asphalt and reduce impacts from urban heat islands:

The site has an existing parking along the southern property line. The proposal includes the removal of two parking spaces and locating the accessory building in their place. As such, the proposal reduces the amount of paved parking area reduces impacts heat island impacts from paving.

Based on the above, the proposal equally meets the purpose of the standards being adjusted.

*Criterion met.*

**B. If in a residential, CI1, or IR zone, the proposal will not significantly detract from the livability or appearance of the residential area, or if in an OS, C, E, I, or CI2 zone, the proposal will be consistent with the classifications of the adjacent streets and the desired character of the area; and**

**Finding:** The subject site is in a residential zone, so the proposal for six adjustments must not significantly detract from the livability or appearance of the residential area. As found above under the Conditional Use approval criterion 33.815.105.A, the overall residential appearance will not be lessened from the addition to the library or the detached accessory building. Properties to the south and east are zoned CM2 and not part of the residential area. The sites immediately to the west and north are schools and are not household living uses. The site has an historic landmark building it and the addition will be to the rear of the main building, allowing the historic library to be the focal point of the entire site.

As determined in the Conditional Use approval criteria above, specifically, 33.815.105.C, the proposed addition and accessory structure will not adversely impact the livability of the nearby residential area.

*Criterion met.*

**C. If more than one adjustment is being requested, the cumulative effect of the adjustments results in a project which is still consistent with the overall purpose of the zone; and**

**Finding:** The proposal includes six Adjustment requests so the cumulative effect of the adjustments must be consistent with the overall purpose of the RM2 zone. The purpose of the multi-dwelling zones is found in 33.120.010.A:

*“The multi-dwelling zones are intended to preserve land for urban housing and to provide opportunities for multi-dwelling housing.*

- A. *Use regulations. The use regulations are intended to create and maintain higher density residential neighborhoods. At the same time, they allow for institutional, limited commercial, and other nonresidential uses, but not to such an extent as to sacrifice the overall residential neighborhood character of the multi-dwelling zones and their intended role as places for housing.*
- B. *Development standards. The six multi-dwelling zones are distinguished primarily by their allowed scale and development standards. The development standards work together to create desirable residential areas by promoting aesthetically pleasing environments, safety, privacy, energy conservation, and recreational opportunities. The development standards generally assure that new development will be compatible with the City’s character and contribute to the intended characteristics of each zone. At the same time, the standards allow for flexibility for new development. In addition, the regulations provide certainty to property owners, developers, and neighbors about the limits of what is allowed. The development standards are generally written for development on flat, regularly shaped lots. Other situations are addressed through special standards or exceptions.”*

The six Adjustment requests meet the purpose of the multi-dwelling zones and do not have a negative cumulative effect because:

- They do not significantly increase the bulk on site as viewed from the street. The Adjustments are to allow the addition and accessory structure on the rear of the property and behind the library to ensure the historic library remains the prominent feature on site. If the addition and accessory building met standards, they would need to be in front of the existing library near the frontline of the property, concealing the library from view.
  - The requested setback adjustments to the property lines are to properties in a commercial zoning and use and in a school use. Neither property contains household living and will not be adversely impacted by the proposal.
  - The proposed addition and accessory building meet the height, building coverage and floor area limitations of the RM2 zone while keeping the existing historic library intact.
  - The proposal reduces the amount of vehicle area on site to reduce the heat island effect, increase landscaping and improve water filtration due to the new landscaping.
  - As staff found in the Conditional Use approval criteria, the proposal will be consistent with the nearby residential area and fit the aesthetic and residential character of the neighborhood.
- D. City-designated scenic resources and historic resources in Historic, Conservation and National Register Districts and within the boundaries of Historic, Conservation and National Register Landmarks are preserved; and**



**Finding:** The subject site has an historic building that is on the City’s Historic Resource Inventory (HRI), but it is not designated an Historic Landmark nor within an Historic, Conservation, or National Register District. This criterion does not apply.

**E. Any impacts resulting from the adjustment are mitigated to the extent practical; and**

**Finding:** There are no discernible or identified impacts that would result from granting the requested adjustment.

*Criterion met*

**F. If in an environmental zone, the proposal has as few significant detrimental environmental impacts on the resource and resource values as is practicable.**

**Finding:** Environmental overlay zones are designated on the Official Zoning Map with either a lowercase “p” (Environmental Protection overlay zone) or a “c” (Environmental Conservation overlay zone). No environmental zoning is applied to the site; therefore, this criterion is not applicable.

**DEVELOPMENT STANDARDS**

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

**CONCLUSIONS**

The applicant has demonstrated that the proposed addition of 2,100-sf of net building area to the library and the detached accessory building meets the Conditional Use approval criteria in 33.815.105. Specifically, there will be no change in the proportion of non-household uses in the residential area or in the intensity of the use located at the site; the addition to the historic library and the new accessory building will be compatible with adjacent residential development; the proposal will not adversely impact the livability of the neighborhood with noise, lights, glare, late night operations, odor or litter; there will be adequate city services for the use; and the proposal is consistent with area plans.

Additionally, the applicant has demonstrated that the six adjustments equally meet the purpose of the respective development standard purpose statements; will not adversely affect the livability or appearance of the residential area; will have no impact on scenic resources; and will preserve an historic building.

Because Staff found the proposal meets the applicable approval criteria, the proposal should be approved.

## TENTATIVE STAFF RECOMMENDATION

(May be revised upon receipt of new information at any time prior to the Hearings Officer decision)

Approval of a Conditional Use Review for an additional 2,100-sf of net building area to the existing library and a detached accessory building for bike storage and the trash and recycling.

The recommendation also includes approval of six Adjustments:

1. Reduce the required side building setback from the north lot line from 10-ft to 8-ft (33.120.275 C.1 and Table 120-7);
2. Reduce the required rear building setback from 10-ft to 5-ft. (33.120.275 C.1 and Table 120-7);
3. Reduce required rear building setback for the detached covered accessory building from 10-ft to 5-ft. (33.120.275 C.1 and Table 120-7);
4. Reduce the required L3 landscaping buffer between the proposed addition and the north side lot line that is adjacent to a residential zone from 10-ft to 8-ft. (33.120.275 C.1 and Table 120-7);
5. Increase the maximum building setback from a street in a pedestrian district to the proposed addition from 20-ft to approximately 116-ft (33.120.220.C and Table 120-3); and
6. Allow vehicle area between the accessory building and street (33.266.130.C.1 and Table 266-3).

Subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (Condition B) must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE - Case File LU 24-014054 CU AD." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED." No field changes allowed.
- B. New exterior lights must be DarkSky International compliant.

## PROCEDURAL INFORMATION

The application for this land use review was submitted on February 15, 2024, and was determined to be complete on March 27, 2024

Zoning Code Section 33.700.080 states that land use review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore, this application was reviewed against the Zoning Code in effect on February 15, 2024.

ORS 227.178 states the City must issue a final decision on land use review applications within 120 days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant. In this case, the applicant requested that the 120-day review period be extended the full 245-days allowed by statute to ensure a de novo hearing before City Council if the hearings officer's decision is appealed as stated with (Exhibit A.17). **The statutory clock will expire on March 27, 2025**

**Some of the information contained in this report was provided by the applicant.**

As required by Zoning Code Section 33.800.060, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only

where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the recommendation of the Bureau of Development Services with input from other City and public agencies.

**Conditions of Approval.** If approved, this project may be subject to specific conditions of approval, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

**This report is not a decision. The review body for this proposal is the Hearings Officer who will make the decision on this case.** This report is a recommendation to the Hearings Officer by the Bureau of Development Services. The review body may adopt, modify, or reject this recommendation. The Hearings Officer will make a decision about this proposal within 17 days of the close of the record. To comment, you may testify at the hearing, submit comments at [www.portland.gov/omf/hearings/land-use](http://www.portland.gov/omf/hearings/land-use); email your comments to [HearingsOfficeClerks@portlandoregon.gov](mailto:HearingsOfficeClerks@portlandoregon.gov); write to the Land Use Hearings Officer, 1900 SW Fourth Ave., Suite 3100, Portland, OR 97201; or FAX your comments to 503-823-4347.

You will receive mailed notice of the decision if you write a letter received before the hearing or testify at the hearing, or if you are the property owner or applicant. This Staff Report will be posted on the Bureau of Development Services website at <https://www.portland.gov/bds/zoning-land-use/public-notices>. Land use review notices are listed on the website by the District Coalition in which the site is located; the District Coalition for this site is identified at the beginning of this staff report.

**Appeal of the decision:** The decision of the Hearings Officer may be appealed to City Council, who will hold a public hearing. If you or anyone else appeals the decision of the Hearings Officer, City Council will hold an evidentiary hearing, one in which new evidence can be submitted to them. Upon submission of their application, the applicant for this land use review chose to waive the 120-day time frame in which the City must render a decision. This additional time allows for any appeal of this proposal to be held as an evidentiary hearing.

**Who can appeal:** You may appeal the decision only if you submit written comments which are received before the close of the record, if you testify at the hearing, or if you are the property owner or applicant. Appeals must be filed within 14 days of the decision. **An appeal fee of \$6,079 will be charged.** Assistance in filing the appeal and information on fee waivers are available from the Bureau of Development Services website: <https://www.portland.gov/bds/zoning-land-use/land-use-review-fees-and-types/appeals-fees-and-fee-waivers>.

**Appeal Fee Waivers:** Neighborhood associations recognized by the Office of Community & Civic Life may qualify for a waiver of the appeal fee provided that the association has standing to appeal. The appeal must contain the signature of the Chair person or other person authorized by the association, confirming the vote to appeal was done in accordance with the organization’s bylaws.

Neighborhood associations, who wish to qualify for a fee waiver, must complete the Type III Appeal Fee Waiver Request for Organizations Form and submit it prior to the appeal deadline. The Type III Appeal Fee Waiver Request for Organizations Form contains instructions on how to apply for a fee waiver, including the required vote to appeal.

Assistance in filing the appeal and information on fee waivers are available from the Bureau of Development Services website: <https://www.portland.gov/bds/zoning-land-use/land-use-review-fees-and-types/appeals-fees-and-fee-waivers>.

**Recording the final decision.**

If this land use review is approved the final decision will be recorded with the County Recorder. *Unless appealed*, the final decision will be recorded by the Bureau of Development Services.

**Expiration of this approval.** Generally, land use approvals (except Comprehensive Plan and Zoning Map Amendments) expire five years from the date of the final decision unless one of the actions below has occurred (see Zoning Code Section 33.730.130 for specific expiration rules):

- A City permit has been issued for the approved development,
- The approved activity has begun (for situations not requiring a permit), or

In situations involving only the creation of lots, the final plat must be submitted within three years.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within seven years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

**Applying for permits.** A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

Planner’s Name: Don Kienholz

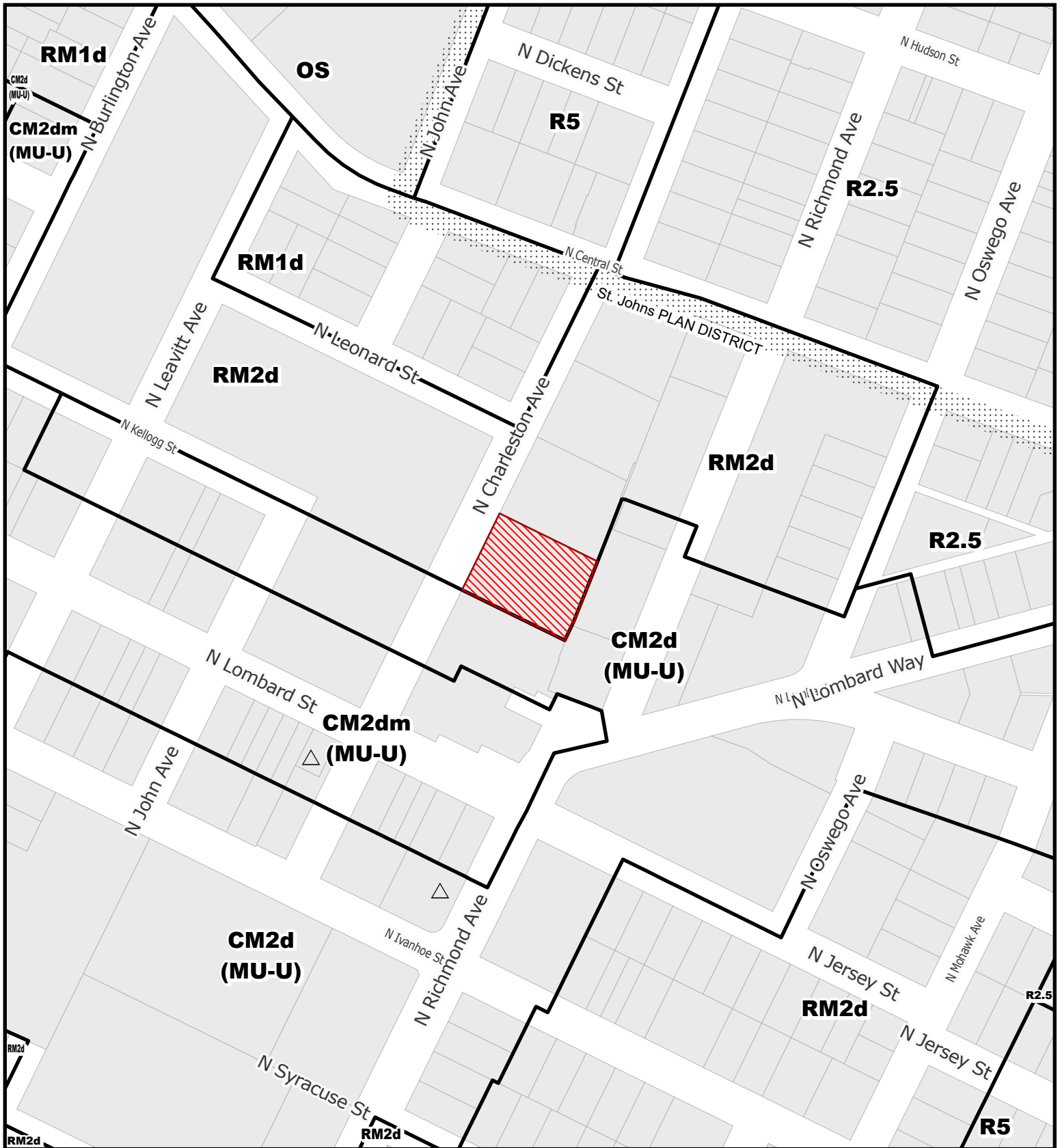
Date: May 24, 2024

**EXHIBITS (not attached unless indicated)**

- A. Applicant’s Materials:
  1. Original narrative
  2. Original civil plans
  3. Original building plans

4. Landscaping, planting and irrigation plan
  5. Lighting Plan
  6. Existing Trees table
  7. Pre-Application Conference EA 23-096980 notes
  8. Transportation Impact Analysis
  9. Preliminary Stormwater Report
  10. Arborist Report
  11. 3-21-24 Updated Plan set
  12. Summary of incomplete letter response
  13. 3-21-24 updated narrative
  14. Parking lot and easement profile for BES
  15. 5-10-24 updated plan set
  16. Updated Lighting Plan
  17. 120-day timeline extension and Request for Evidentiary Hearing
- B. Zoning Map (attached):
1. Zoning Map
- C. Plans & Drawings:
1. Site Plan (Attached)
  2. East and North Elevation Plan (Attached)
  3. West and South Elevation Plan (Attached)
  4. Trash and bike storage enclosure plans (Attached)
- D. Notification information:
1. Request for response
  2. Posting letter sent to applicant and notice to be posted
  3. Applicant's statement certifying posting
  4. Mailing list
  5. Mailed notice
- E. Agency Responses:
1. Life Safety Section of BDS
  2. Police Bureau
  3. Fire Bureau
  4. Water Bureau
  5. Urban Forestry
  6. Site Development section of BDS
  7. Bureau of Environmental Services
  8. Portland Bureau of Transportation
- F. Letters: none
- G. Other:
1. Original LUR Application
  2. Summary of fees paid
  3. March 8, 2024 incomplete letter
- H. Hearing Exhibits
- 1.




**The Bureau of Development Services is committed to providing equal access to information and hearings. To request an accommodation or alternative format of communication, please contact us at least five business days prior to the hearing at 503-823-7300 (TTY 503-823-6868).**



For Zoning Code in Effect Post October 1, 2022

# ZONING

THIS SITE LIES WITHIN THE:  
ST. JOHNS PLAN DISTRICT

-  Site
-  Plan District
-  Historic Landmark

File No. LU 24 - 014054 CU AD

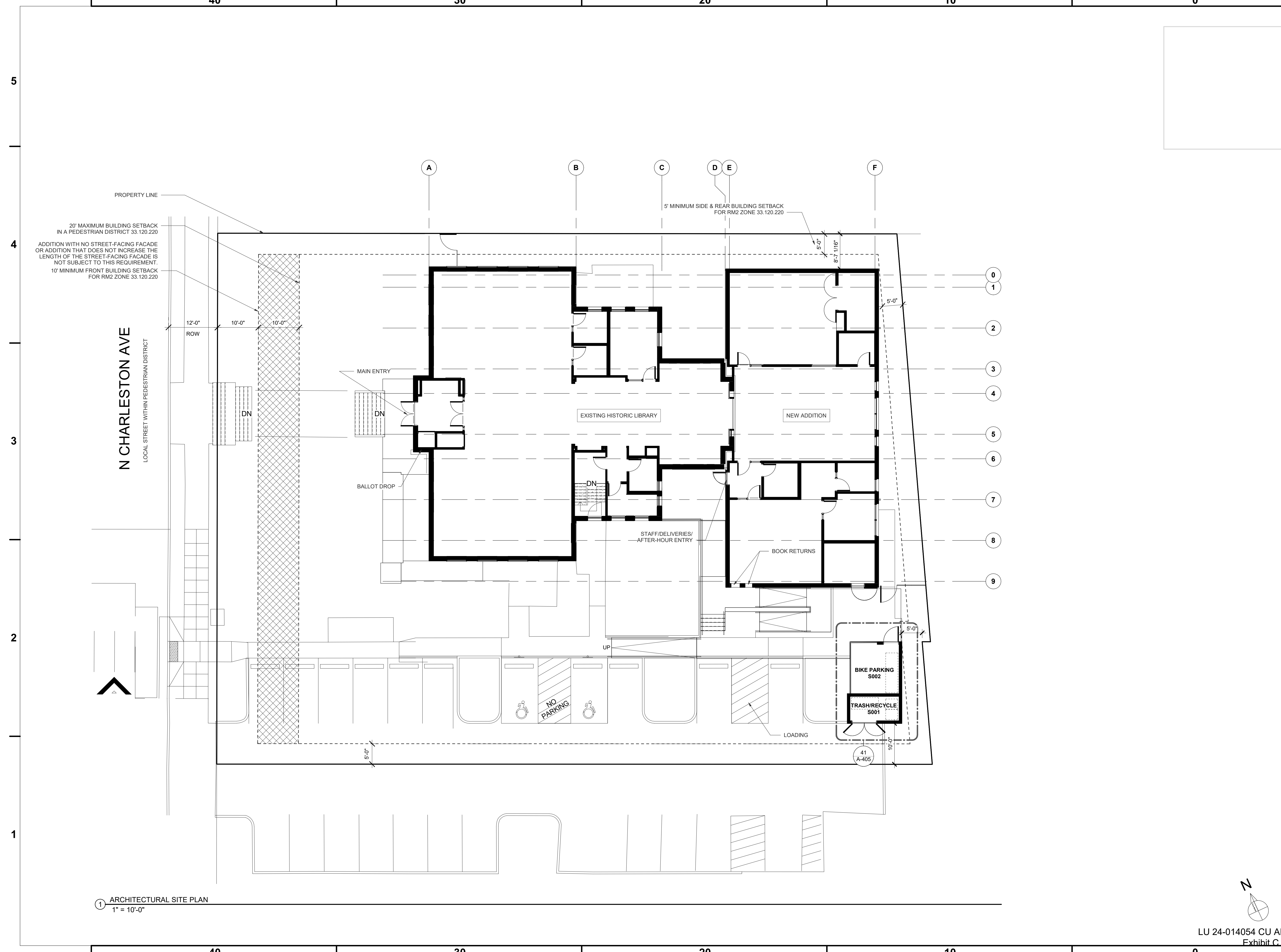
1/4 Section 2122

Scale 1 inch = 200 feet

State ID 1N1W12AB 10300

Portland Hearings Office  
Case #41111111  
Bureau Case #LU 24 - 014054 CU AD  
Exhibit #4  
Page 21 of 25

**Exhibit B** Feb 15, 2024



# BORA

Bora Architects, Inc.  
 1705 SE 3rd Ave  
 Portland, Oregon 97214  
 503.226.1575  
 www.bora.co

**ISSUED FOR INFORMATIONAL PURPOSES ONLY**  
**NOT FOR CONSTRUCTION**

MULTNOMAH COUNTY LIBRARIES  
 ST JOHNS LIBRARY  
 7510 N Charleston Ave, Portland, OR 97203

Mark	Date	Description of Revision	By
1		Drawn By: Author Building Number: 615 Multico Project Number: P78LB172021 09 Sheet Title: ARCHITECTURAL SITE PLAN	Checked By: Checker Approved By: Approver
	05/17/2024		

1 ARCHITECTURAL SITE PLAN  
 1" = 10'-0"

LU 24-014054 CU AD  
 Exhibit C.1

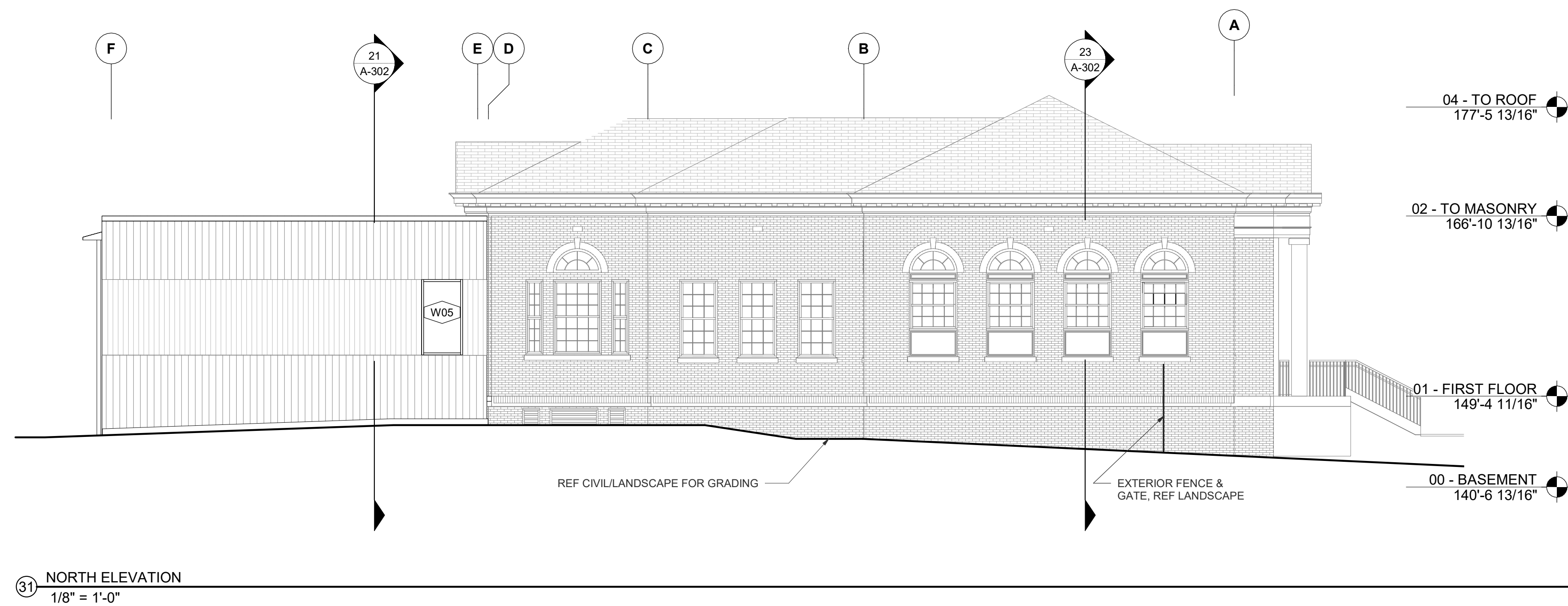
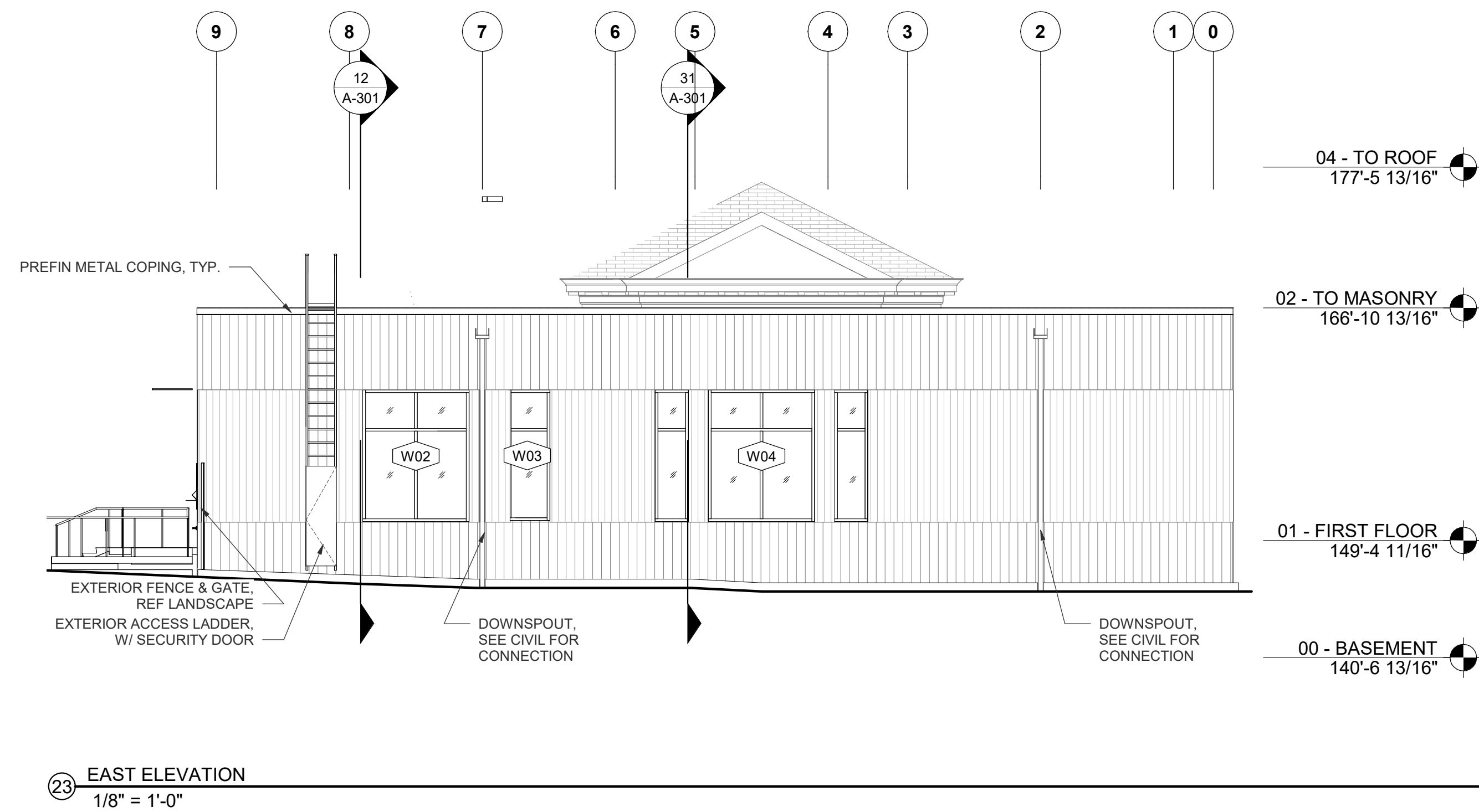
05/17/2024  
 75% CONSTRUCTION DOCUMENTATION

ELEVATION / SECTION NOTES

- 1. REFER TO ASSEMBLY SHEETS FOR WALL, ROOF, FLOOR, AND CEILING ASSEMBLIES.
- 2. GRADE LINES INDICATED ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO CIVIL AND LANDSCAPE DRAWINGS.
- 3. LINES OF FOUNDATION WALLS AND FOOTINGS ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO STRUCTURAL DRAWINGS FOR FOOTING ELEVATIONS.

GENERAL ARCHITECTURAL NOTES

- 1. DO NOT SCALE DRAWINGS. REQUEST CLARIFICATION FROM ARCHITECT IF DIMENSIONS ARE NOT INDICATED.
- 2. DIMENSIONS ARE SHOWN TO DIMENSION POINT (DIM. PT.) OF REFERENCED DETAIL WHERE APPLICABLE.
- 3. PAINT EXPOSED STRUCTURAL STEEL, MISCELLANEOUS STEEL, FIREPROOFING, DUCTWORK, MECHANICAL EQUIPMENT, MECHANICAL AND SPRINKLER PIPING, ELECTRICAL CONDUIT, AND THEIR SUPPORT SYSTEMS, UNLESS OTHERWISE NOTED.



MULTNOMAH COUNTY LIBRARIES  
 ST. JOHNS LIBRARY  
 7510 N. Charleston Ave., Portland, OR 97203

Mark	Date	Description of Revision	By

Drawn By:	Checked By:
Author	Checker
Building Number:	Approved By:
615	Approver
Multico Project Number:	
P78LB172021 09	

Sheet Title  
 EXTERIOR ELEVATIONS

Date  
 05/17/2024

Sheet  
 A-202

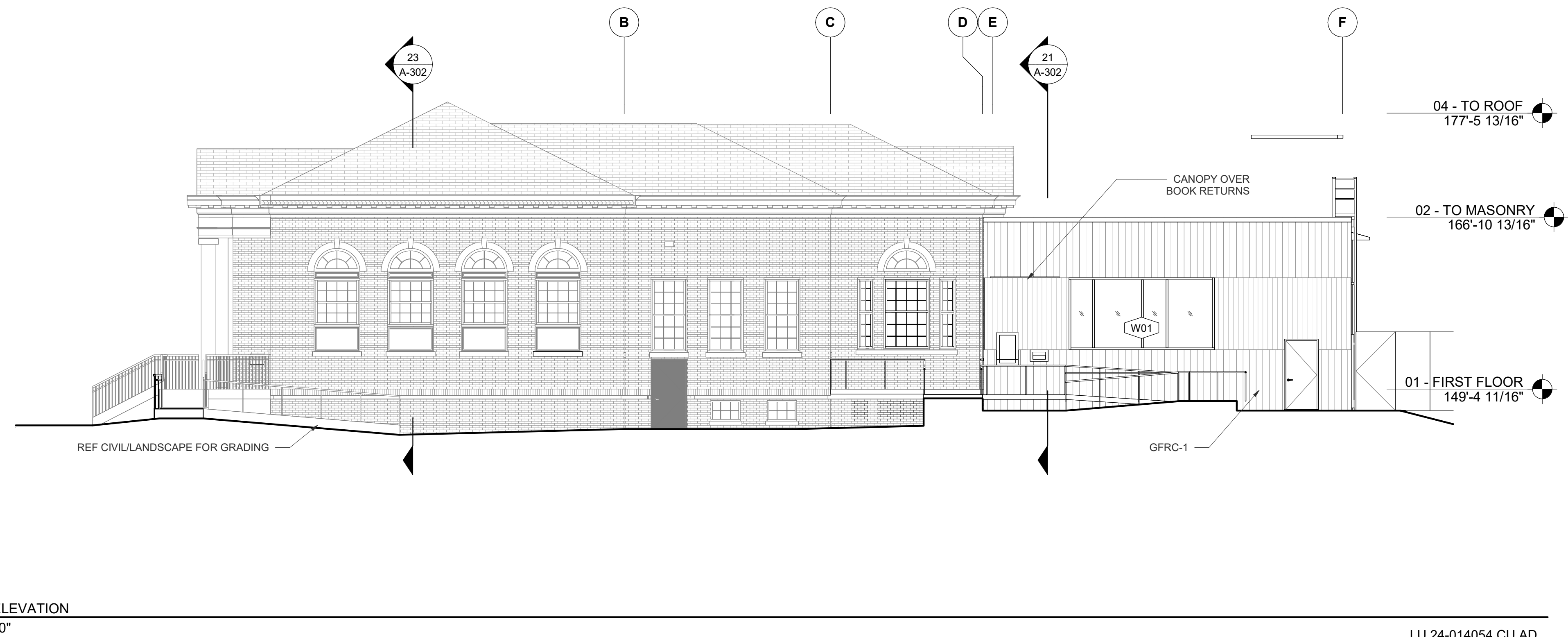
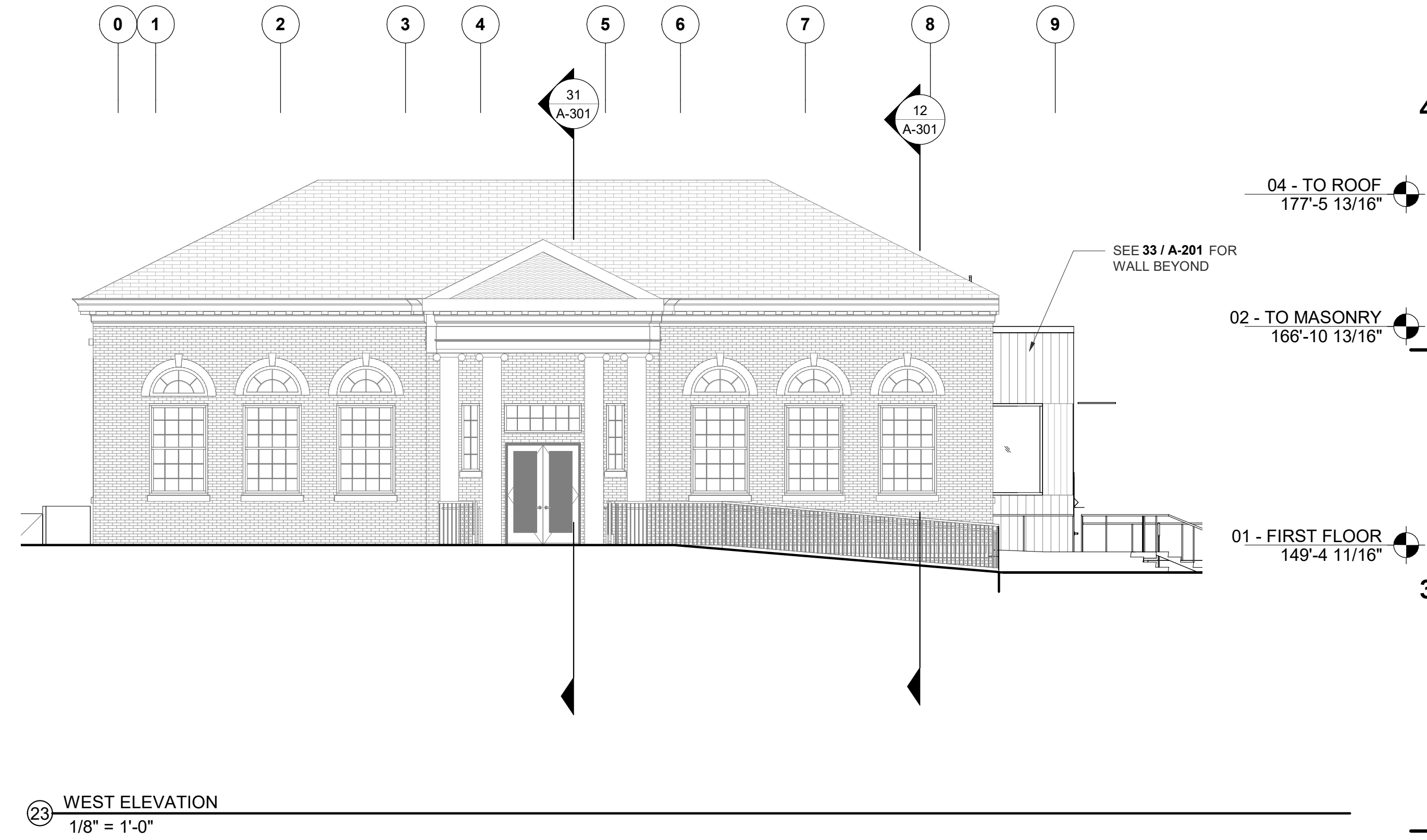
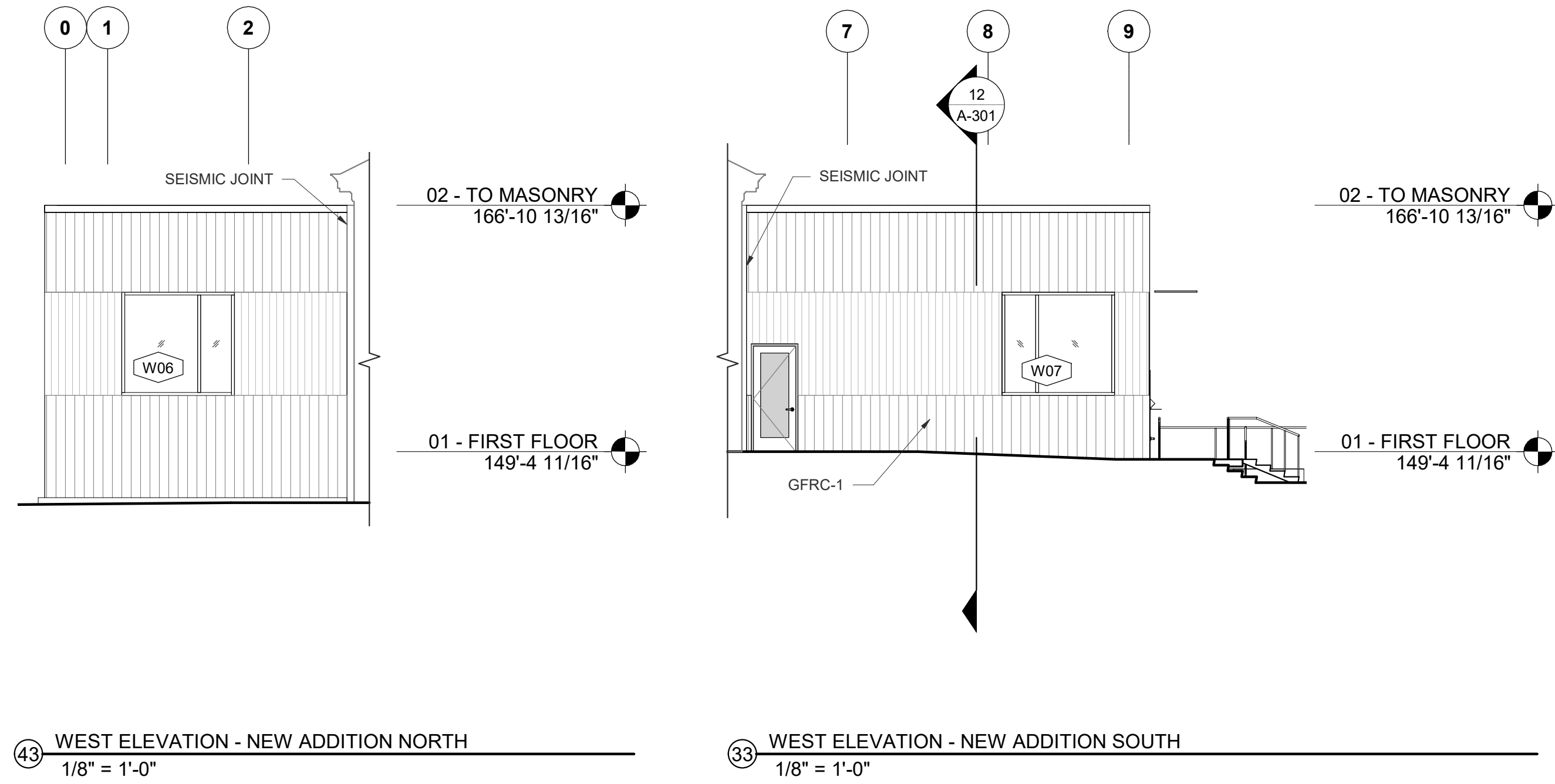


ELEVATION / SECTION NOTES

- 1. REFER TO ASSEMBLY SHEETS FOR WALL, ROOF, FLOOR, AND CEILING ASSEMBLIES.
- 2. GRADE LINES INDICATED ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO CIVIL AND LANDSCAPE DRAWINGS.
- 3. LINES OF FOUNDATION WALLS AND FOOTINGS ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO STRUCTURAL DRAWINGS FOR FOOTING ELEVATIONS.

GENERAL ARCHITECTURAL NOTES

- 1. DO NOT SCALE DRAWINGS. REQUEST CLARIFICATION FROM ARCHITECT IF DIMENSIONS ARE NOT INDICATED.
- 2. DIMENSIONS ARE SHOWN TO DIMENSION POINT (DIM. PT.) OF REFERENCED DETAIL WHERE APPLICABLE.
- 3. PAINT EXPOSED STRUCTURAL STEEL, MISCELLANEOUS STEEL, FIREPROOFING, DUCTWORK, MECHANICAL EQUIPMENT, MECHANICAL AND SPRINKLER PIPING, ELECTRICAL CONDUIT, AND THEIR SUPPORT SYSTEMS, UNLESS OTHERWISE NOTED.



MULTNOMAH COUNTY LIBRARIES  
 ST. JOHNS LIBRARY  
 7510 N. Charleston Ave., Portland, OR 97203

Mark	Date	Description of Revision	By

Drawn By: Author  
 Building Number: 615  
 Multico Project Number: P78LB172021 09  
 Sheet Title: EXTERIOR ELEVATIONS

Date: 05/17/2024

A-201

LU 24-014054 CU AD  
 Exhibit C.3

FLOOR PLAN NOTES

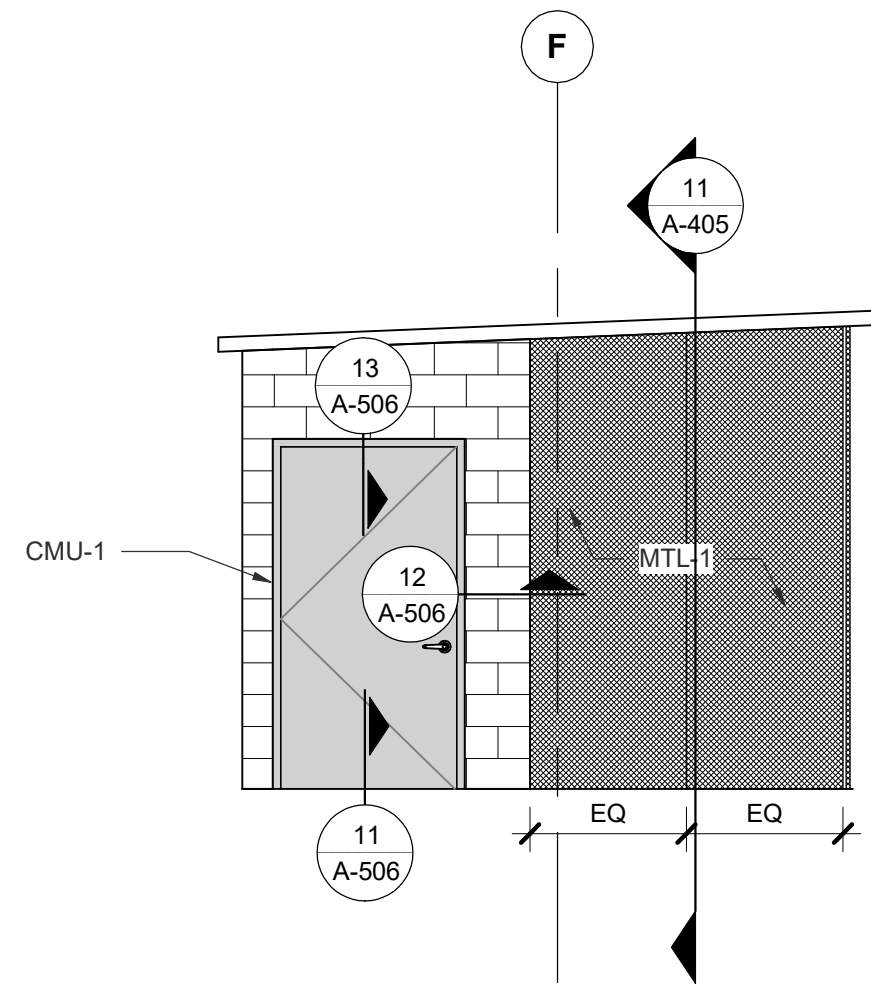
1. REFER TO ASSEMBLY SHEETS FOR WALL AND FLOOR ASSEMBLIES.
2. DIMENSIONS ARE TO FACE OF GYPSUM BOARD FINISH UNLESS OTHERWISE NOTED. REFER TO ENLARGED PLANS FOR DIMENSIONS WITHIN THOSE AREAS.
3. INTERIOR WALLS ARE WALL TYPE 03E UNLESS OTHERWISE NOTED
4. EXISTING FLOOR DATUM: 100'-0" EQUALS 149.40'. SEE CIVIL.
5. WHERE ITEMS OR EQUIPMENT ARE REMOVED FROM FINISHED SURFACES TO REMAIN, PATCH AND REPAIR TO MATCH ADJACENT SURFACES.

ELEVATION / SECTION NOTES

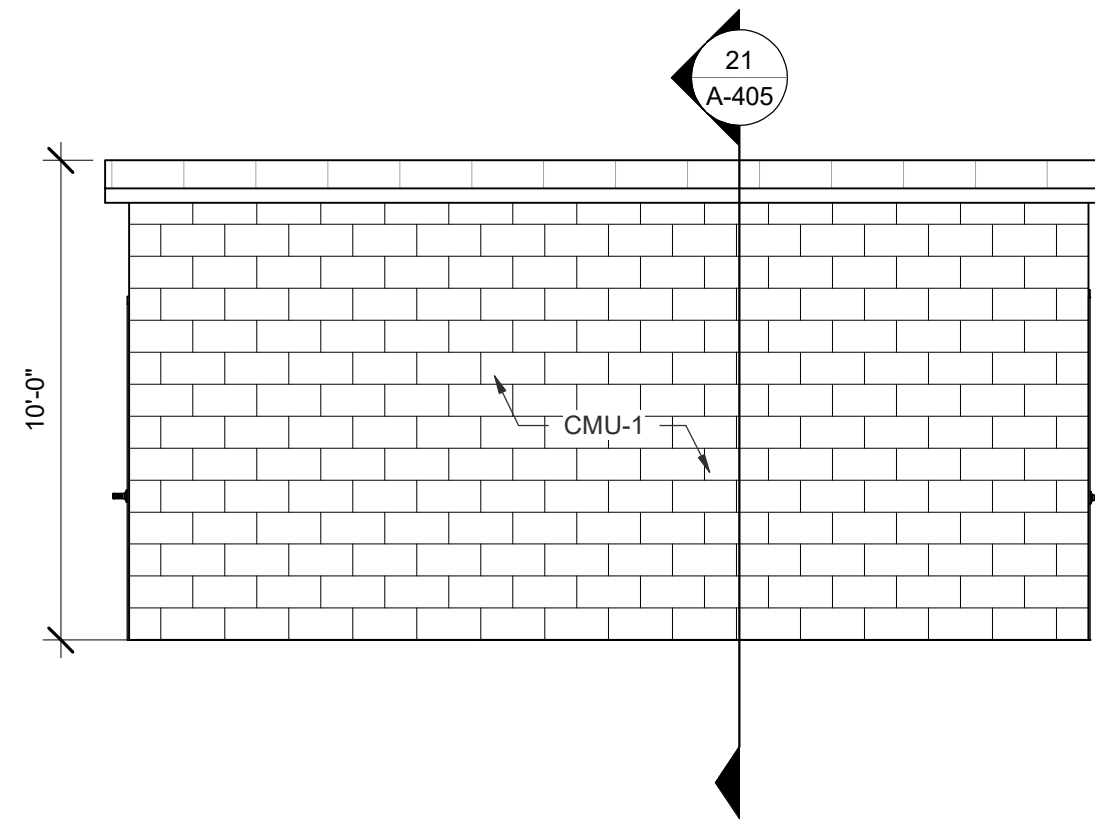
1. REFER TO ASSEMBLY SHEETS FOR WALL, ROOF, FLOOR, AND CEILING ASSEMBLIES.
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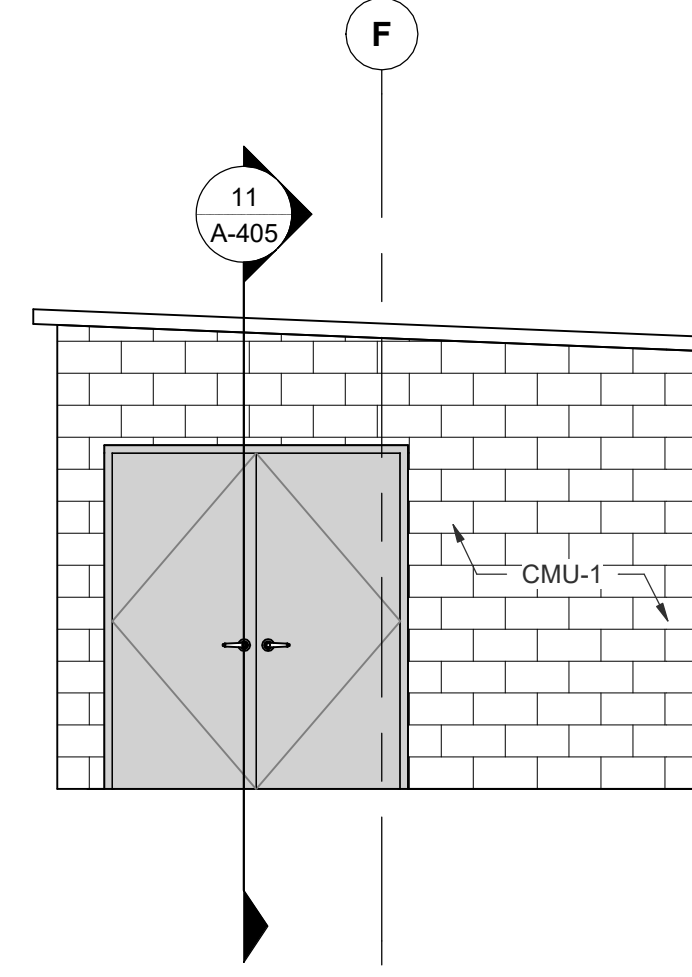
1. DO NOT SCALE DRAWINGS. REQUEST CLARIFICATION FROM ARCHITECT IF DIMENSIONS ARE NOT INDICATED.
2. DIMENSIONS ARE SHOWN TO DIMENSION POINT (DIM. PT.) OF REFERENCED DETAIL WHERE APPLICABLE.
3. PAINT EXPOSED STRUCTURAL STEEL, MISCELLANEOUS STEEL, FIREPROOFING, DUCTWORK, MECHANICAL EQUIPMENT, MECHANICAL AND SPRINKLER PIPING, ELECTRICAL CONDUIT, AND THEIR SUPPORT SYSTEMS, UNLESS OTHERWISE NOTED.



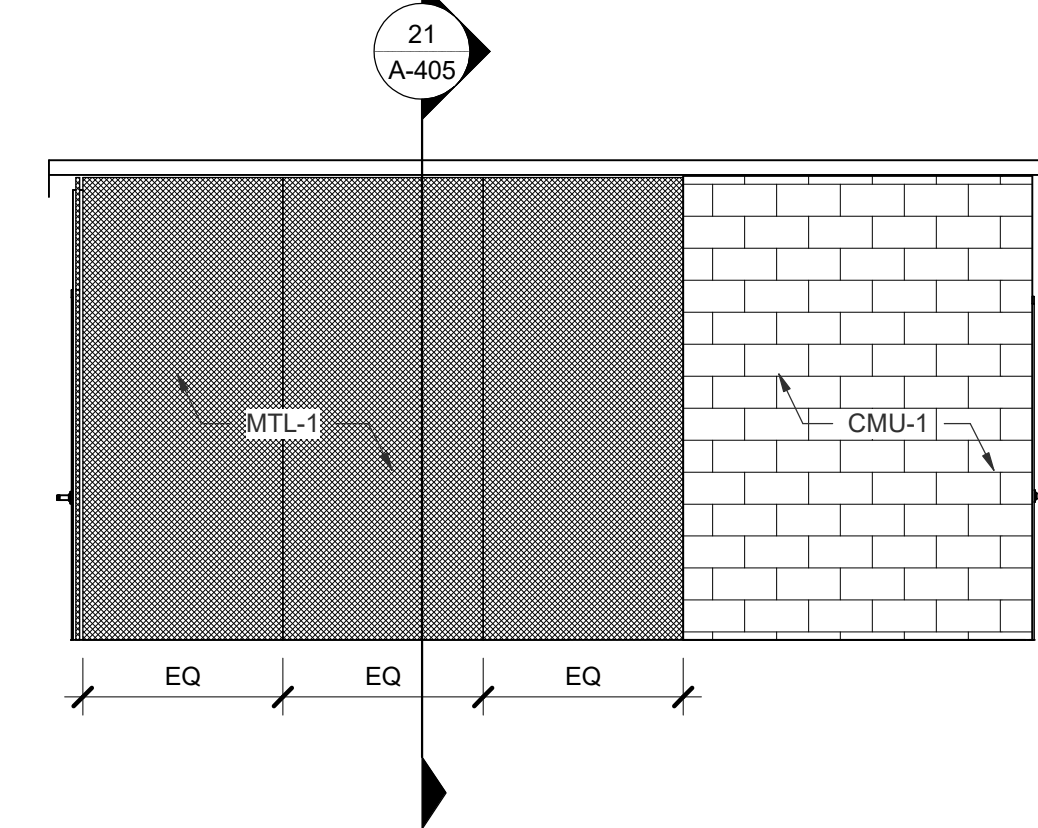
43 ELEVATION - SITE ENCLOSURE - NORTH  
 1/4" = 1'-0"



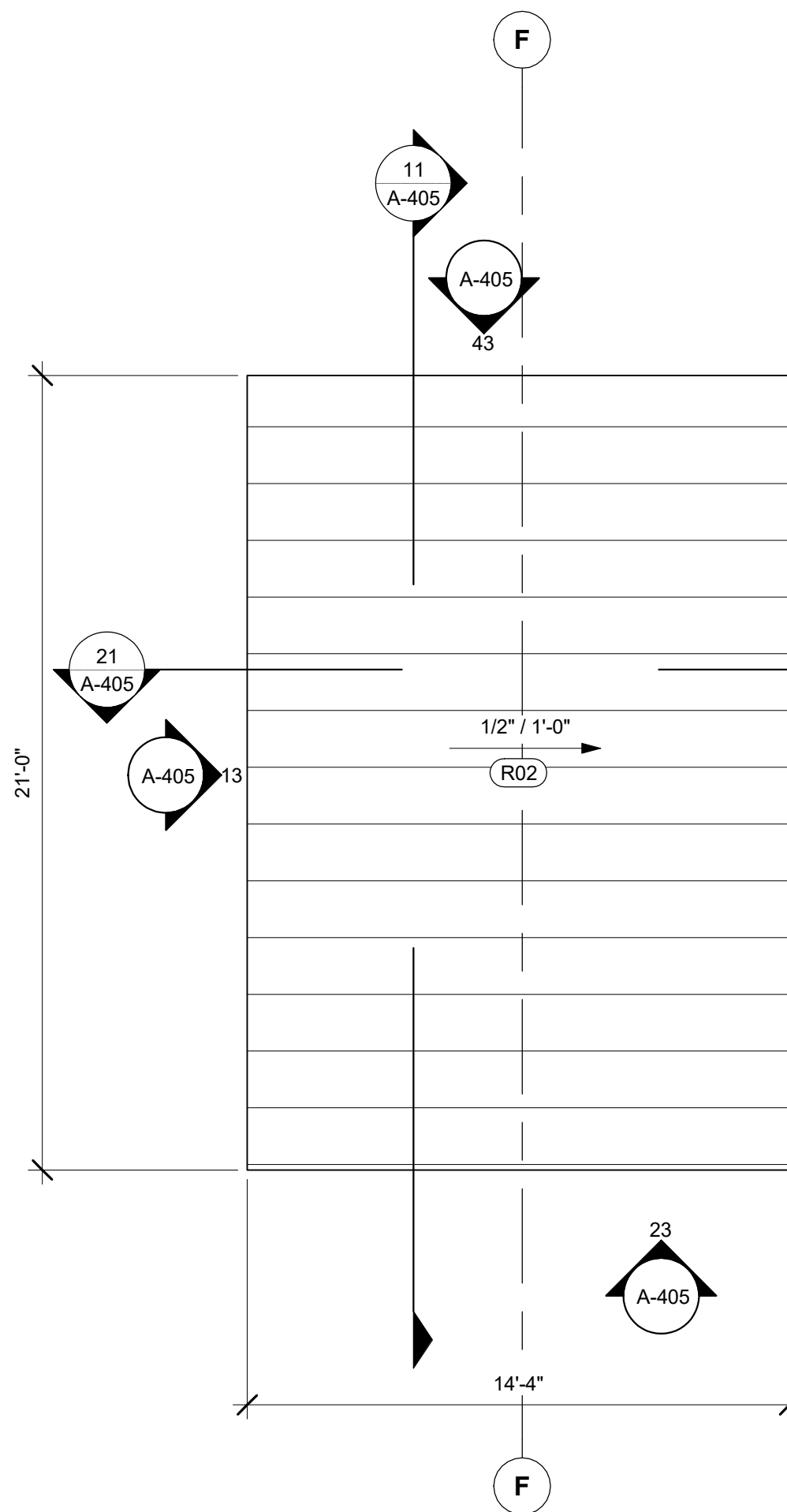
33 ELEVATION - SITE ENCLOSURE - EAST  
 1/4" = 1'-0"



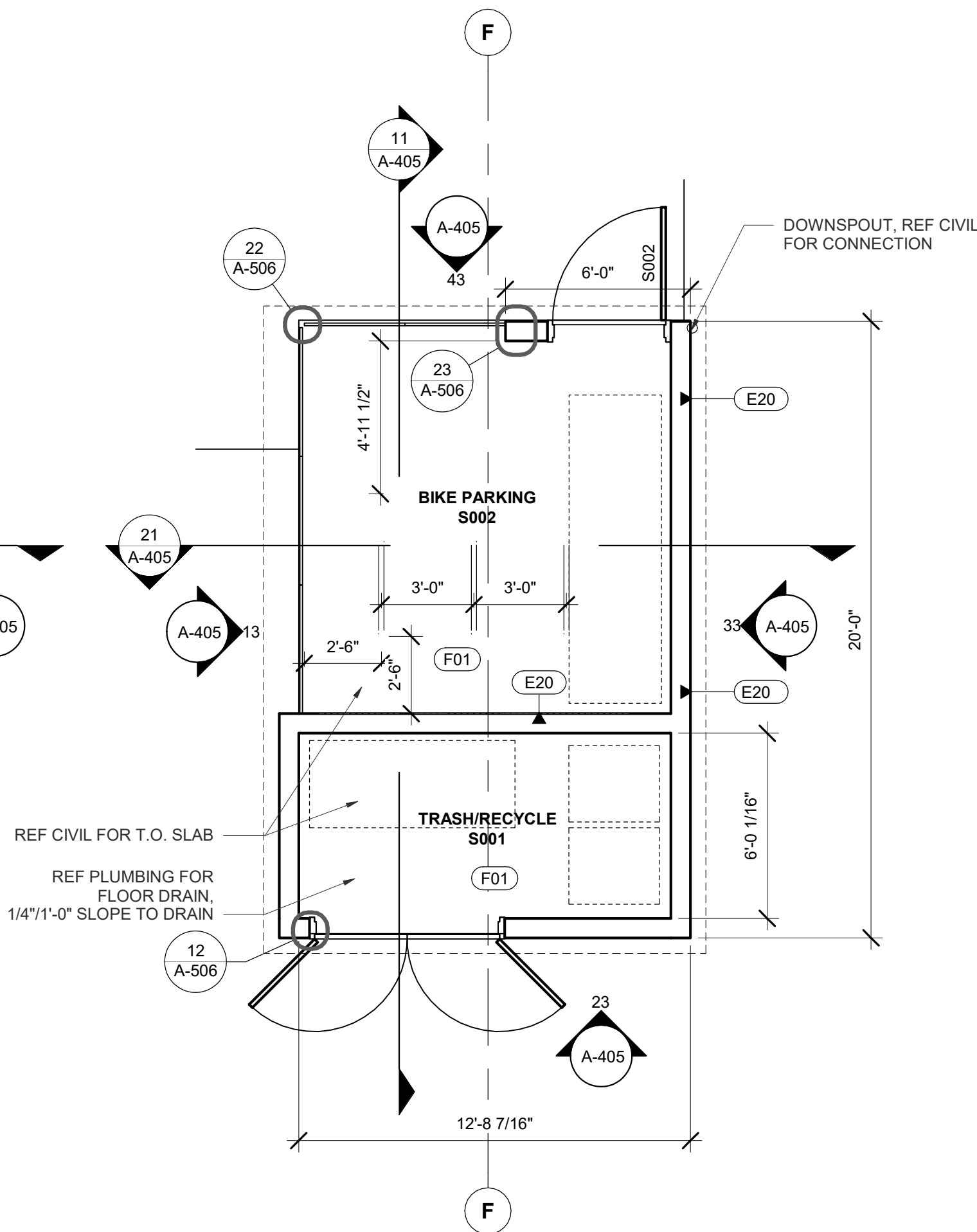
23 ELEVATION - SITE ENCLOSURE - SOUTH  
 1/4" = 1'-0"



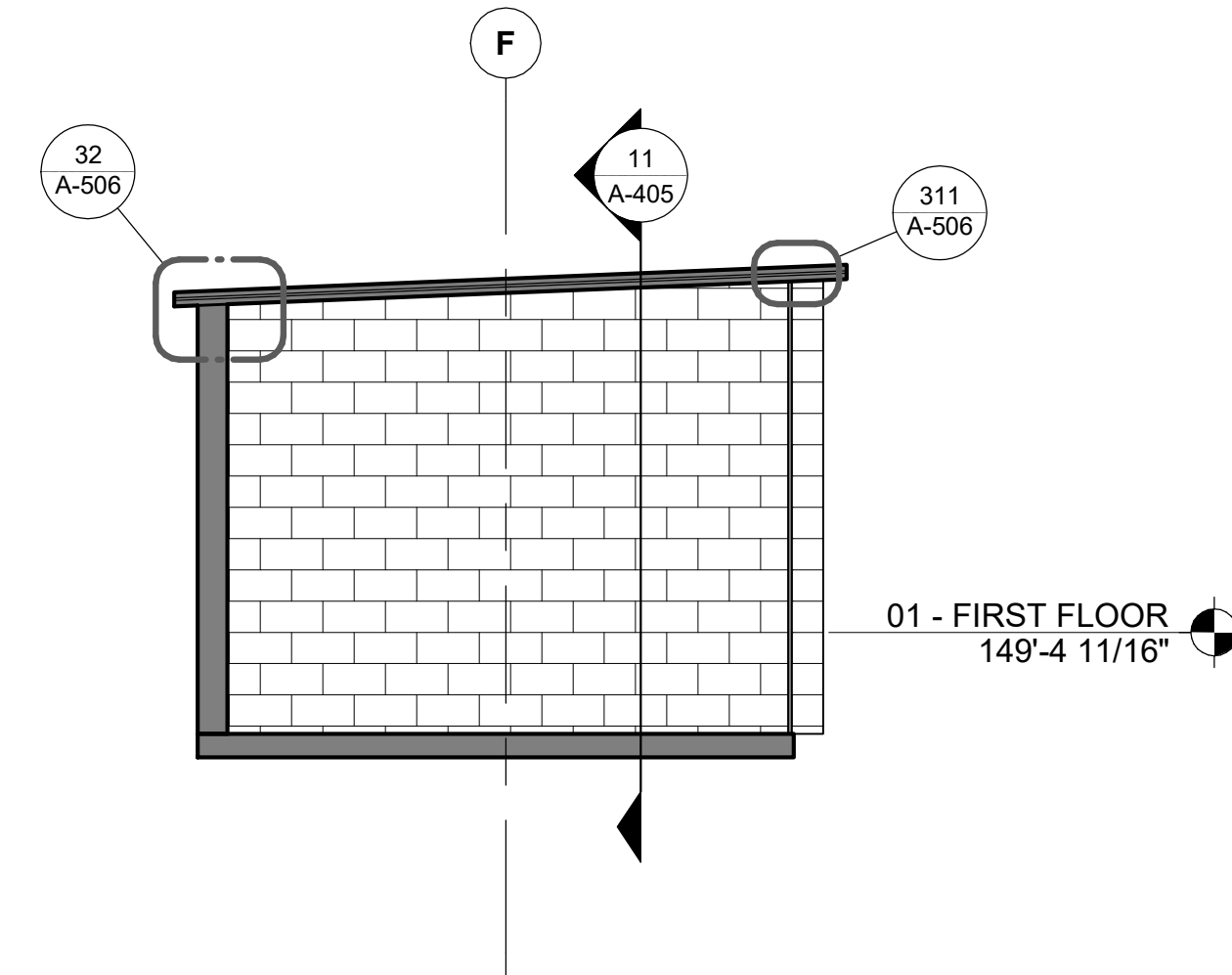
13 ELEVATION - SITE ENCLOSURE - WEST  
 1/4" = 1'-0"



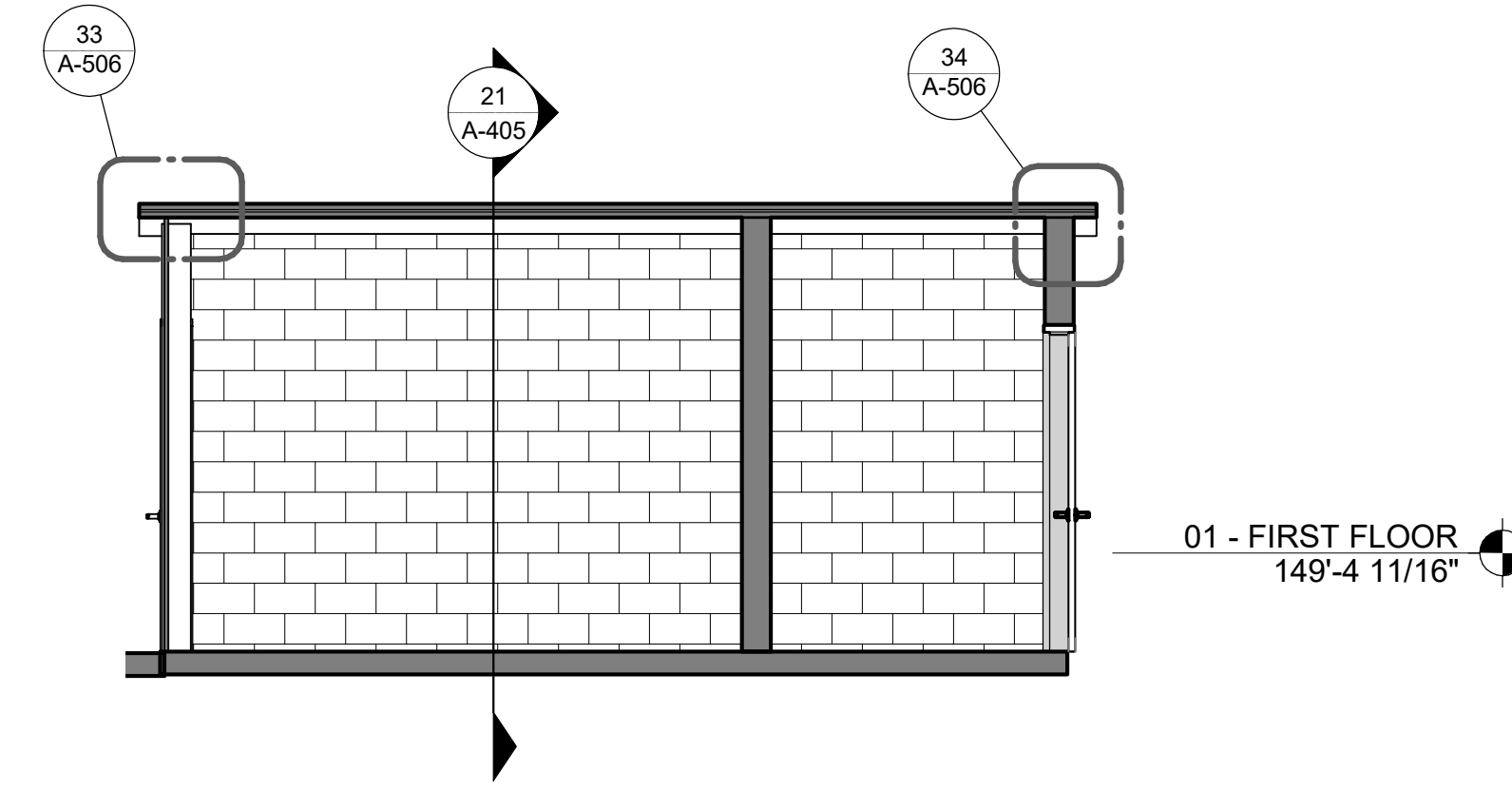
41 SITE ENCLOSURE - ROOF PLAN  
 1/4" = 1'-0"



31 SITE ENCLOSURE - FLOOR PLAN  
 1/4" = 1'-0"



2 SECTION - SITE ENCLOSURE - E/W  
 1/4" = 1'-0"



11 SECTION - SITE ENCLOSURE - N/S  
 1/4" = 1'-0"

Mark	Date	Description of Revision	By

Drawn By:	Checked By:
Author:	Checker:
Building Number:	Approved By:
615	Approver:
Multico Project Number:	
P78LB172021 09	

Opted-out parties for the case #4240008

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landuse@stjohnspdx.org; info@stjohnsboosters.org

## **I. SUMMARY OF PROPOSAL**

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**Applicant:** Leslie Cliffe, Project Architect  
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**Planner:** Debbie Cleek  
The Bookin Group LLC  
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Email: cleek@bookingroup.com

**Request:** Type III Conditional Use to increase the size of the existing St. Johns Library.

**Location:** 7510 N Charleston Avenue

**Property IDs:** R192883

**Site Size:** 22,286 sq. ft.

**Zoning:** RM2 – Residential Multi-Dwelling 2; with a d overlay (design)

**Plan District:** St. Johns Plan District

**Neighborhood:** St. Johns

### **Summary:**

This Conditional Use request is to add a small addition onto the existing St. Johns library building. The proposal would keep the original 1917 portion of the building intact and renovate it, but remove the 800 sq. ft. addition to the east that was constructed in the 1990's. This addition will be replaced by a new 2,950 sq. ft. addition on the east side of the site. The resulting change will increase the building size by 2,096 sq. ft. The existing parking lot on the south end of the site will remain but will be slightly reconfigured to add interior parking lot landscaping islands. This project would be funded by the Multnomah County Library Capital Bond passed by voters in 2020.

Included with this request are two Adjustments to development standards requested as part of the Conditional Use. It is anticipated that a Type II Design Review for the project will be submitted within the next month.

**Pre-Application Conference:** A Pre-Application Conference (EA 23-096980) to discuss the project was held with the City on November 21, 2023. Notes from this meeting are included as Appendix A.

**Early Neighborhood Contact:** Because the proposed project will add only 2,096 square feet of net building area to the site no early Neighborhood Contact was required (per Section 33.700.025) prior to submitting this application. However, the project team did meet with the St. Johns Neighborhood Association to discuss the project on January 9, 2024. Overall, the neighborhood association were favorable of the project.

## II. EXISTING CONDITIONS

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### **SITE CHARACTERISTICS**

**Vicinity.** The St. Johns Library site is located between N. Lombard Street and N Leonard Street on N. Charleston Avenue. The site lies within the boundaries of the St. Johns Neighborhood Association. The site is three blocks from N. Philadelphia Avenue that accesses the St. Johns Bridge and Highway 30.

**Surrounding Uses.** Most of the uses surrounding the library are non-residential uses. To the north of the site is The Montessori House, a private preschool. West across Charleston Avenue from the site is James Johns Elementary School – a public school. South of the site is a large apartment complex that shares a driveway access with the library. Directly east of the site is a small creative flex space/event space called the Colony that includes various small businesses such as a massage therapist. There are other small-scale commercial uses along N. Richmond Avenue as well. About a block and a half northwest of the site are several single-dwelling homes. The site is in the heart of St. Johns located just off the main commercial corridor of N Lombard Street and a block south of the St. Johns Farmers Market.

**Zoning.** The site is zoned RM2 – Multi-Dwelling Residential Zone. The RM2 zone is a medium-scale multi-dwelling zone applied in and around centers and corridors. Housing is characterized by 3-4 story buildings with an urban scale but providing transitions in scale and characteristics to lower-scale residential zones. Libraries are classified as a Community Service Use, which require a Conditional Use in the RM2 zone.

The site also includes the “d” Design Overlay. The d overlay zone promotes design excellence in the built environment through the application of additional design standards and design guidelines.

The site is also located in the St. Johns Plan District which provides for an urban level of mixed-use development including commercial, employment, office, housing, institutional, and recreation uses. Specific objectives of the plan district include strengthening St. Johns role as the commercial and civic center of the North Portland peninsula.

**Previous Land Use History.** The initial development of the library pre-dates the zoning on the site. There are several land use cases that occurred on the site prior to 1981 and therefore are no longer relevant to the site. The following land use cases still apply to the site:

- **LU 13-207756 DZ.** Approval of a Design Review for new ground-mounted mechanical unit in the rear yard of the library. No conditions of approval from this review are relevant to the current proposal.
- **LU 99-01035 CU.** A Conditional Use approval to renovate the existing library and construct a building addition of approximately 850 sq. ft. in area. No conditions of approval from this review are relevant to the current proposal.
- **LU 93-00294 CU.** A Conditional Use approval to develop the parking lot to the south of the library, which at that time was shared with the Messiah Lutheran Church. A condition of approval of this review was to provide an L3 landscape buffer along the north property line of the library site.

**Site Characteristics.** The existing site is developed with an approximately 6,380 square foot building (including the basement) that currently houses the St Johns branch of the Multnomah County Library. The building consists of the original 1917 building that is a Significant Resource in the City's Historic Resource Inventory, and an addition on the east side of the building that was constructed in the 1990's. The building sits on the north side the site with parking and vehicle circulation areas located on the south side. The access to the parking lot from N Chesterton Avenue is shared with the apartment building to the south, with the 15 parking spaces on the north side of the lot reserved for library use. The main entrance to the building faces onto Charleston Avenue and there is a pedestrian path that connects the building to this entrance. The remainder of the site is landscaping, consisting mainly of lawn and ornamental landscaping beds.

## **OPERATIONS**

**Overview.** Multnomah County Library (MCL) is the oldest public library system west of the Mississippi River, with a history that reaches back to 1864. Today, the library system house nearly 900 computer stations for the public and a collection of two million books and other library materials. As Oregon's largest public library, Multnomah County Library serves nearly one-fifth of the state's population with a wide variety of programs and services. The St Johns branch represent one of eighteen neighborhood libraries that make up the library system.

Overall, MCL is constrained by a severe lack of space, system wide. They are currently operating at a system level of 0.3 square feet per capita – much lower than an industry recommended 0.6-0.8 square feet per capita. For this reason, the public voted and passed a bond to expand the library's system-wide square footage in 2020. Specifically for the St Johns Library, the current facility is undersized for the population it serves. The interior space provides few places to sit and it has a small meeting room that is highly used.

The geographical catchment area for the library will remain the same after the new addition is completed, so this project is not anticipated to create an increase in the number of patrons. However, after the upgrades patrons and staff will have more space to 'spread out' with additional room for patrons to study and gather and staff to organize their services and equipment.

**Operating Characteristics.** The library holds approximately 23,000 volumes on the shelves and has approximately 43,000 volumes in circulation. The average number of monthly visitors for the 2023 fiscal year was 6,147, or 73,774 for the year.

The library is open seven days a week with the following hours:

- Monday/Tuesday: 12-8 PM
- Wednesday-Saturday: 10 AM – 6 PM
- Sunday: 12-5 PM

In addition to the normal library operations, the St. John’s Library occasionally hosts community events and anticipates that these will continue once the proposed changes are complete. Additionally, on a weekly basis, the library offers a variety of programs and classes as described below. There programs occur either weekly or every other week and generally occur prior to 4 PM, though start times do vary:

- Story times for family, babies, and toddlers in both English and Spanish as well as for Black families.
- Youth-oriented Lego clubs.
- Special Programs for youths and families related to arts and crafts.
- Drop-in times for adult literacy assistance/General Educational Development (GED) diploma-related tutoring.
- Legal Aid/Assistance offered by the Multnomah County District Attorney’s Office.
- Workforce development training.
- Weekly times for Computer/Technical Assistance in both English and Spanish.
- Jazz and Movie Nights.

**Staff.** All library operations are run by 10.5 full-time staff members plus one administrator. Additionally, there are approximately 6 primary volunteers who assist with library operations.

The general operating characteristics of the library will remain fundamentally the same when the new addition is completed. The library does not intend to add more staff, and the number of volumes the building will hold generally remain the same.

## **INFRASTRUCTURE**

### **Existing Utilities and Services.**

**Water Service.** Water is available to the site from an 6-inch ductile iron main in N Charleston Avenue. The existing water service is located in the southwest corner of the building.

**Sanitary/Stormwater Sewer Service.** There is an 8” combined sewer line in N Charleston that serves the site. Additionally, there is an 8” sanitary sewer located in a 25 foot wide public sewer easement that runs along a portion of the south property line. The existing building is connected to the sewer line in this easement. There is no public storm-only sewer line available and currently the majority of the stormwater runoff on the site drains to on-site underground facilities.

**Existing Transportation System.** The site has excellent connections to the surrounding transportation network with direct access to major travel routes including N Lombard Street just to the south of the site. The site has frontage on N Charleston Avenue.



N Charleston Avenue is classified as a Local Service Street for all modes of travel except for bicycles where it is classified as a City Bikeway. The site is also located within a designated Pedestrian District. The roadway has a two-lane cross-section and has a posted speed of 20 mph. On-street parking is permitted on both sides of the street. A curb, a six-foot wide sidewalk and a planting strip are provided along the site frontage.

**Transit Availability.** N. Lombard Street, which is one block south of the site, is a Major City Transit Street served by the #75 (Caesar Chavez/Lombard) bus, with a stop one block away from the site. This route is a TriMet designated “Regular Service Line” that provides regular, reliable service throughout most of the day, with 15-minute service or better at certain times of the day. Additional bus lines including the #4 (Fessenden), #44 (Capitol Highway/Mocks Crest), #16 (Front Avenue/St Helens) and #11 (Rivergate/Marine Drive) all operate within a block from the site.

### III. PROPOSED PLAN

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#### **OVERVIEW**

**Project Overview.** The proposed project is to add a small addition onto the existing St. Johns library building. The original 1917 portion of the building would remain intact and renovated, but the 800 sq. ft. addition to the east that was constructed in the 1990’s would be removed and replaced by a new 2,950 sq. ft. addition. The resulting change will increase the building size by 2,096 sq. ft. or 26%.

**Building Design.** The St Johns Library is designed to foster a culture of civic pride, with purposeful, sustainable, and socially just experiences to empower communities of Multnomah County. The site and building are conceived to be nimble and resilient, providing flexibility and adaptability that enable library staff to innovate and create inspiring spaces and experiences that will serve communities now and into the future. The library prioritizes interactive, diverse and healthy spaces for people with a balanced ratio of space for the library collection, seating, and library programming and activities.

St Johns Library has always been a community hub since it first opened its doors in 1913. The historic Carnegie-era library boasts beautiful original windows that remain in good shape. The project will provide more generous programmable spaces to meet the needs and desires of staff and patrons. The new addition will seek to relate to, and honor, the existing historic library through the scale and textuality of materials as well as create an iconic roof line that echoes the unique fabric of St Johns neighborhood.

The following key schematic architectural design strategies are incorporated into the design to meet the project goals and priorities:

- Strategic use & placement of glazing on facades to maximize views and daylight while maintaining operational energy efficiency.
- Opening up the central spine of the building to create a sense of togetherness and maximizing the efficiency of the building footprint via informal seating zones that double up as circulation.
- Provide buffering between children’s area and other areas to create welcoming spaces for users with different acoustical needs.
- Skylights to bring daylight into the center of the building and clerestory windows to daylight staff workspaces without compromising staff privacy.

- High performance building envelope with continuous exterior insulation.
- After-hour use of flexible program room with access to restroom.
- Updated accessible single user restrooms with dedicated staff restroom in staff space.
- Exposed timber structural members and wood decking at the new addition to foster a sense of biophilia.

Interior programming of the addition includes a new area for the children's collection, a large flexible programming meeting room, the staff work area with a private office and a general workroom, a break room and a staff-only restroom. The addition will include an after-hours entrance that will allow access to the large flexible meeting room and the restroom. The renovation of the existing building will include the creation of a general-purpose lobby and vestibule at the building entrance, two updated all-user restroom, two small and one medium sized flexible meeting rooms as well as areas for part of the collection, an area dedicated to teens and more computer stations. The only change proposed to the small basement area that is used for storage and mechanical equipment is to increase the size of the telecom room in its current location to be able to fit more equipment in it.

The project will be built in accordance with the Multnomah County facilities standards, as well as the recently developed "Library Facilities Design Standards". Per the Library Capital Bond Project guidelines, this Project will be designed to meet a minimum of LEED Gold Certification. Additionally, the project team will work with RACC to identify locations for art installations as part of the 2% for Art program.

**Site Design.** Only minor changes are proposed to the site to accommodate the new addition. In the existing parking lot two of the 15 parking spaces will be removed to provide new interior parking lot landscape islands. Additionally, the existing trash cans will be relocated into a new trash enclosure in the in the parking lot, eliminating two additional parking spaces. The current loading space in the parking lot will be maintained. These changes will reduce the total number of parking spaces on the site from 15 to 11.

A new pedestrian walkway will be constructed from the parking lot to the new addition to access a new after-hours entry door that is being developed. A new exterior patio is being proposed on the south side of the building to provide a small outdoor break area for staff. Additionally new gates are being proposed on the east and north side to secure the existing yard area on these sides of the building.

A new monument sign will be added to the site in the southwest corner of the front yard, to replace the existing sign. This sign will be 71" inches high and 78" wide with a sign face of approximately 28 sq. ft. This sign will match the standard signage used on all Multnomah County libraries.

**Utilities.** Water service and sanitary sewer service will continue to come from N Charleston Avenue with new connections to the building addition constructed on the south side. Stormwater runoff generated by the addition and portions of the parking lot will be managed with a new drywell located under the redeveloped portion of the parking lot. The existing drywells that serve the original building will remain on site and continue to provide disposal for the historic stormwater runoff.

**Public Improvements.** The site frontage on N Charleston Avenue meets current city requirements in terms of the curb, sidewalk, planter strip and street trees therefore no improvements to this frontage will be required and no dedication of new right-of-way will be necessary. An improved ADA ramp will

be required to be constructed along the site frontage just to the north of the parking lot, connecting with the on-site pedestrian paths.

**DEVELOPMENT STANDARDS**

**Institutional Development Standards (Section 33.120.275)**

The Institutional Development Standards of the RM2 zone apply to the site. The development standards are found in Table 120-7. If not addressed in this section, the regular base zone development standards apply.

<b>TABLE 33.120-7 INSTITUTIONAL DEVELOPMENT STANDARDS<sup>1</sup></b>	
<i>Minimum Site Area for New Uses</i>	<i>10,000 sq. ft.</i>
<i>Maximum Floor Area Ratio (FAR)<sup>2</sup></i>	<i>2 to 1</i>
<i>Maximum Height<sup>3</sup></i>	<i>75 ft.</i>
<i>Minimum Building Setbacks<sup>2</sup></i>	<i>1 ft. back for every 2 ft. of building height, but in no case less than 10 ft.</i>
<i>Maximum Building Coverage<sup>2</sup></i>	<i>70% of site area</i>
<i>Minimum Landscaped Area<sup>2,4</sup></i>	<i>20% of site area</i>
<i>Buffering from Abutting Residential Zone</i>	<i>10' to L3 standard</i>
<i>Buffering Across the Street from a Residential Zone<sup>5</sup></i>	<i>10' to L1 standard</i>
<i>Setbacks for All Detached Accessory Structures Except Fences</i>	<i>10'.</i>
<i>Parking and Loading</i>	<i>See Chapter 33.266, Parking and Loading</i>
<i>Signs</i>	<i>See Title 32, Signs and Related Regulations</i>

<sup>1</sup> The standards in this table are minimums or maximums as indicated. Compliance with the conditional use approval criteria might preclude development to the maximum intensity permitted by these standards.

<sup>2</sup> For campus-type developments, the entire campus is treated as one site. Setbacks are only measured from the perimeter of the site.

<sup>3</sup> Towers or spires with...

<sup>4</sup> Any required landscaping, such as for required setbacks or parking lots, applies towards the landscaped area standard.

<sup>5</sup> Vehicle areas are subject to the parking lot setback and landscaping standards in Chapter 33.266, Parking and Loading.

Compliance with these standards is provided below.

**Minimum Site Area for New Uses:** **Response:** The site is 22,286 square feet in size, which exceeds the minimum 10,000 sq. ft. standard. This development standard is met.

**Maximum Floor Area Ratio:** **Response:** The proposed FAR for the site is 0.38:1 which is less than the 2.0:1 maximum allowed. This development standard is met.

**Maximum Height:** **Response:** The new addition will be 19 feet tall to the top of the roof monitor, which is well below the 75-foot limit. This development standard is met.

Minimum Building Setbacks: **Response:** The minimum setback is 1' for every 2' of height or at least 10', measured from the perimeter of the site. The proposed building addition is 19 feet high requiring a 10-foot setback from all of the property lines, with the exception of N Charleston Avenue which has a maximum setback standard. The new building addition is proposed to be 8' from the north property line – matching the nonconforming setback of the existing 1917 building and 5' from the east property line. Since neither of these setbacks meet this standard, an Adjustment is requested as part of this review. With approval of this Adjustment this development standard will be met.

Maximum Building Coverage: **Response:** The maximum allowed building coverage is 70% and the proposed building will only cover 31% of the site so this standard is met.

Minimum Landscaped Area: **Response:** The minimum required landscape area is 20%. The proposed landscaping for the project site is roughly 30% so this standard is met.

Buffering from Abutting Residential Zone: **Response:** A 10-foot-wide buffer landscaped to the L3 standard is required anywhere the site abuts a Residential zone. RM2 zoning abuts the site along the entire north property line. Along the north property line, the required buffer will only be 8 feet wide in some areas, based on the proposed setback of the addition and the existing setback of the 1917 building. The existing and proposed landscaping in this buffer will meet the L3 standard. Because this buffer is less than the minimum required width an Adjustment to this standard is requested. With approval of the Adjustment this standard will be met.

Buffering Across a Street from a Residential Zone: **Response:** The property across N Charleston Avenue from the site is zoned RM2. This residential zone requires a 10-foot-wide buffer landscaped to the L1 standard. The existing library is setback approximately 40 feet from the street lot line on Charleston and the entire front yard is landscaped in a way that meets the L1 standard. This standard is met.

Setbacks for All Detached Accessory Structures Except Fences: **Response:** The new trash enclosure will be setback more than 10 feet from N Charleston Avenue, so this standard is met.

### **Institutional Standards**

1. The development standards are stated in Table 120-7. If not addressed in this section, the regular base zone development standards apply.
2. Setbacks on a transit street or in a Pedestrian District: If the minimum setback conflicts with the maximum setback, the maximum setback supersedes the minimum. **Response:** The entire site is within a Pedestrian District requires a maximum setback. Compliance with this standard is discussed in the Base Zoning section below.
3. Exterior storage: Exterior storage of materials or equipment is prohibited. **Response:** No exterior storage areas are any planned or proposed as part of the Conditional Use. This standard is met.
4. Outdoor activity facilities: Except as specified in paragraph C.5. below, outdoor activity facilities, such as swimming pools, basketball courts, tennis courts, or baseball diamonds.... **Response:** None of these types of facilities are proposed. This standard does not apply.

5. Recreational fields for organized sports... **Response:** None of these types of facilities are proposed. This standard does not apply.
6. Electrical substations... **Response:** This type of facility is not proposed. This standard does not apply.
7. Grassy areas. Grassy play areas, golf courses, cemeteries, and natural areas... **Response:** None of these types of facilities are proposed. This standard does not apply.
8. Access for accessory Retail Sales And Service Uses... **Response:** No Retail Sales and Service Uses are proposed as part this project. This standard does not apply.
9. Exterior signage for accessory Retail Sales And Service uses is prohibited. **Response:** No Retail Sales and Service Uses or associated signs are proposed as part this project. This standard does not apply.

### **Base Zone Development Standards (Chapter 33.120)**

The additional Development Standards of the RM2 zone apply to the site.

#### ***33.120.220.C Maximum Street Setback***

*Maximum building setbacks on a transit street or in a Pedestrian District are stated in Table 120-3. At least 50 percent of the length of the ground level street-facing façade of the building must meet the maximum building setback standard.* **Response:** The site is located within a Pedestrian District in the Transportation System Plan therefore Table 120-3 requires a 20-foot maximum setback from the street lot line on N Charleston Avenue. The street-facing façade of the existing 1917 building is setback approximately 40 feet from the N Charleston Avenue lot line, so the site is currently nonconforming with respect to this standard. Approximately 15 feet of the street-facing façade of the new addition will be visible from N Charleston Avenue and will not be within 20 feet of the street lot line, bringing the site further out of conformance with this standard. Therefore, an Adjustment to this standard is requested as part of this review. With approval of this Adjustment this standard will be met.

#### ***33.120.230.B Maximum Building Length***

*In the RM2 zone, the maximum building length for the portion of buildings located within 30 feet of a street lot line is 100 feet. The portions of buildings subject to this standard must be separated by a minimum of 10 feet.* **Response:** All of the building area that is located within 30 feet of the street lot line on N Charleston is the existing 1917 library. This building is approximately 72 feet across and so it meets this standard.

#### ***33.120.231.B.1 Main Entrances***

*The standards of this section apply to all residential structure types in the multi- dwelling zones except for accessory dwelling units, manufactured dwelling parks, and houseboat moorages. For multi-dwelling development, the standards apply only to residential structures that are located within 40 feet of a street lot line.* **Response:** Since the proposed library is not a residential structure or a multi-dwelling development these standards do not apply. However, the main entrance to the library will continue to face directly toward N. Charleston and will continue to be setback about 20 feet from the street lot line. So, if these standards applied, they would be met.

### **33.120.232.B.1 Street Facing Facades**

The standards of this section apply to the street-facing facades of buildings that include any residential uses. **Response:** The proposed library building will not include any residential uses, so these standards do not apply.

### **33.120.250 Screening**

**B. Garbage and recycling collection areas.** All exterior garbage cans, garbage collection areas, and recycling collection areas must be screened from the street and any adjacent properties. Trash receptacles for pedestrian use are exempt. Screening must comply with at least the L3 or F2 standards.

**Response:** The new garbage collection area will be constructed of metal tubing (HSS) with perforated metal panels and standing seam roof and a steel swing gate that will entirely screen the garbage from the street and any adjacent properties. This screening meets the F2 standards, and this standard is met.

**C. Mechanical equipment.** Mechanical equipment located on the ground, such as heating or cooling equipment, pumps, or generators must be screened from the street and any abutting residential zones by walls, fences, or vegetation. Screening must comply with at least the L2 or F2 and be tall enough to screen the equipment. Mechanical equipment placed on roofs must be screened in one of the following ways, if the equipment is within 50 feet of an R zone:

1. A parapet along facades facing the R zone that is as tall as the tallest part of the equipment;
2. A screen around the equipment that is as tall as the tallest part of the equipment; or
3. The equipment is set back from roof edges facing the R zone 3 feet for each foot of height of the equipment.

**Response:** New mechanical equipment is proposed on top of the new addition's roof. The equipment will be setback from parapet 3 feet for every 1 foot of equipment height to assure it will not be visible from the ground in compliance with these standards.

### **33.120.255 Pedestrian Standards**

**B.** The standards of this section apply to all development.

1. Connections. Pedestrian connections are required as specified below:

a. Connection between streets and entrances.

(2) Sites with more than one street frontage. Where the site has more than one street frontage, the following must be met:

- The standard of B.1.a (1) must be met to connect the main entrance of each building on the site to the closest sidewalk or roadway if there are no sidewalks.
- An additional connection, which does not have to be a straight line connection, is required between each of the other streets and a pedestrian entrance. However, if at least 50 percent of a street facing façade is within 10 feet of the street, no connection is required to that street.

**Response:** An existing pedestrian circulation system currently connects N. Charleston Avenue to the main building entrance in a straight-line connection. These standards are met.

b. Internal connections. On sites larger than 10,000 square feet, an internal pedestrian connection system must be provided. The system must connect all main entrances on the site that are more than 20 feet from the street, and provide connections to other areas of the site, such as parking areas, bicycle parking, recreational areas, common outdoor areas, and any pedestrian amenities. **Response:** The pedestrian circulation system currently connects the parking lot and bike parking to the main entrance of the building. A second

pedestrian path is proposed that will connect the parking lot to the rear of the building where a new after-hours entrance is being created. These standards are met.

2. *Materials*

a. *The circulation system must be hard-surfaced.* **Response:** The new portions of pedestrian pathway will be made of concrete. Although the standards do not designate a pathway width for non-residential uses the system will be 5 feet wide throughout the site and these standards are met.

b. *Where the system crosses driveways, parking areas, and loading areas, the system must be clearly identifiable, through the use of elevation changes, speed bumps, a different paving material, or other similar method. Striping does not meet this requirement. Elevation changes and speed bumps must be at least 4 inches high.* **Response:** The proposed pedestrian pathway will not need to cross the parking lot or any other vehicle areas, so this standard does not apply.

c. *Where the system is parallel and adjacent to an auto travel lane, the system must be a raised path or be separated from the auto travel lane by a raised curb, bollards, landscaping or other physical barrier. If a raised path is used it must be at least 4 inches high and the ends of the raised portions must be equipped with curb ramps. Bollard spacing must be no further apart than 5 feet on center.* **Response:** The proposed pedestrian pathway will not run parallel to any auto travel lanes, so this standard does not apply.

3. *Lighting. The on-site pedestrian circulation system must be lighted to a level here the system can be used at night by the employees, residents, and customers.* **Response:** Lighting of the new portions of pathway will be accomplished by the installation of fixtures adjacent to the pathway. This lighting will be sufficient to illuminate the pedestrian path and will be augmented by public street lighting on the nearby N Charleston Avenue frontage. This standard is met.

**33.120.280 Detached Accessory Structures**

**F. Detached covered accessory structures.** *The following standards apply to all detached covered accessory buildings.*

1. *Height. In general, the height standard of the base zone apply to detached covered accessory structures.*
2. *Setbacks. Except as follows, detached covered accessory structures are subject to required building setbacks.*
3. *Building coverage. The following additional building coverage standards apply to detached covered accessory structures.*
  - a. *The combined building coverage of all detached covered accessory structures may not exceed 15 percent of the total area of the site.*
  - b. *The building coverage of a detached covered accessory structure may not be greater than the building coverage of the primary structure.*

**Response:** The new trash enclosure structure will be 10 feet tall, will be outside of all the required setbacks of the RM2 zone and will not exceed a building coverage of 15% of the total site area, so these standards are met.

## **ADDITIONAL USE AND DEVELOPMENT REGULATIONS**

### **Off-Site Impacts (Chapter 33.262)**

**33.262.050 Noise.** *The City noise standards are stated in Title 18, Nuisance Abatement and Noise Control. In addition, the Department of Environmental Quality has regulations that apply to firms adjacent to or near noise sensitive uses such as dwellings, religious institutions, schools, and hospitals.*  
**Response:** The library will not generate noise in excess of DEQ requirements beyond its boundaries. The majority of activities will occur inside the buildings or very occasionally in the outdoor areas that are away from adjacent properties. This standard is met.

**33.262.060 Vibration.** *Continuous, frequent, or repetitive vibrations which exceed 0.002g peak may not be produced. In general, this means that a person of normal sensitivities should not be able to feel any vibrations.* **Response:** No vibrations in excess of 0.002g peak will be produced. This standard is met.

**33.262.070 Odor.** *Continuous, frequent or repetitive odors may not be produced. The odor threshold is the point at which an odor may just be detected.* **Response:** No odors will result from the new library on the site. The development will comply with all County Health Department regulations related to food preparation/disposal, and all zoning and building code regulations related to general refuse storage/disposal. This standard will be met.

**33.262.080 Glare.** *Glare is illumination caused by all types of lighting and from high temperature processes such as welding or metallurgical refining. Glare may not directly, or indirectly from reflection, cause illumination or other properties in excess of a measurement of 0.5 foot candles of light.*  
**Response:** No glare will result from the new library addition. All new outdoor lighting selected for the site will be of design to prevent illumination on adjacent residential properties. There are no other sources of glare anticipated. This standard will be met.

### **Parking and Loading (Chapter 33.266)**

#### **33.266.110 Required Carpool and Electric Vehicle parking.**

*B. Required carpool parking spaces. For office, industrial, and institutional uses where there are more than 20 parking spaces on the site, the following standards must be met..*

**Response:** The parking lot currently contains 15 parking spaces, and this number will be reduced to 11 as part of this proposal so this standard does not apply.

*C. Required electric vehicle charging spaces. For Commercial Parking uses and for sites with 5 or more dwelling units, the following standards must be met..*

**Response:** The project does not include any residential dwelling units and the parking lot for the library does not meet the definition of "Commercial Parking", so these standards do not apply.

#### **33.266.115 Maximum Allowed Parking Spaces**

*Table 266-1 and Table 266-2 – footnote 2: Uses subject to a Conditional Use review may establish parking minimum and maximum requirements through the review.*

**Response:** A Community Service use in the RM2 zone would be permitted a maximum of 1 parking space per 200 sq. ft., or no more than 43 spaces for the completed 8,530 square foot building. So, the 11 parking spaces provided are well below the allowed maximum. However, because the project is subject to a Conditional Use review the appropriate number of parking spaces required for the site will



be established as part of this review. A discussion of the adequacy of the parking provided can be found in section VI of this report.

***Development Standards for Development (33.266.130)***

**C. On-site locations of vehicle areas.**

- 1. Location of vehicle areas.** *The allowed on-site location of all vehicle areas is stated in Table 266-3. In the RM2 zone, vehicle areas are not allowed between the portion of the building that complies with the maximum street setback and the transit street. Response:* No changes are proposed to the location of the vehicle area, but it is not located between the building and N Charleston Avenue, so this standard is met.
  
- 3. Frontage limitation.** *The standard of this paragraph applies outside the Central City plan district in the RM2 zone. No more than 40 percent of the frontage on a street may be used for vehicle area. On streets with more than one street frontage, this standard applies to the street with the highest transit designation. Response:* No changes are proposed to the location of the vehicle area, but the current parking lot only occupies 25% of the N Charleston Avenue frontage, so this standard is met.

**G. Parking area setbacks and landscaping**

**2. Setbacks and perimeter landscaping**

- c. Setbacks.** *The minimum required setbacks for surface parking areas are stated in Table 266-5. The minimum required setback for surface parking areas is five feet for lot lines both abutting a street, and an C zone. Response:* No changes are proposed to the location of the vehicle area, but the current parking lot is setback 7 feet from the Charleston property line and 10 feet from the east lot line. No setback is required on the south property line since this is an access easement shared with the property to the south. Therefore, these standards are met.
  
- d. Perimeter landscaping.** *Where a surface parking area abuts a street lot line, or a C zone the required setbacks must be landscaped to meet the L2 low-screen standard. Landscaping must be adjacent to the parking area and driveway. Response:* The setbacks between the parking lot and Charleston Avenue, and the parking lot and the eastern property line, are both landscaped to meet the L2 standard so, this standard is met.

**3. Interior landscaping.**

- a. Amount of interior landscaping required.** *Interior landscaping must be provided for sites where there are more than 10 parking spaces on the entire site. At least 45 square feet of interior landscaped area must be provided for each parking space. Response:* The reconfigured parking lot will provide 11 parking spaces, requiring 495 square feet of landscaping. Three new landscape islands are being developed in the parking lot combined will provide a total of 500 sq. ft. of interior parking lot landscaping is provided, and this standard is met.
  
- b. Landscape materials.** *The landscape materials must comply with the P1 standard of Chapter 33.248. Response:* As shown on the landscape plans submitted all the interior parking lot landscaping will meet the P1 standard.

### 33.266.200 Minimum Required Bicycle Parking

**B. Number of spaces required.** *The required minimum number of bicycle parking spaces for each use category is shown on Table 266-6.* **Response:** The site is located in an area where Standard A requirements apply. According to Table 266-6, for libraries the minimum number of required long-term bike parking spaces is 1 per 3,000 sq. ft. of net building area and short-term bike parking spaces is 1 per 1,200 sq. ft. of net building area. Therefore, based on the completed building square footage of 8,530 a total of 3 long-term and 8 short-term bicycle parking spaces are required. A total of 8 short-term spaces are located on the north side of the library near the parking lot and 3 long-term spaces are provided within the trash enclosure/bike parking structure, so this standard is met.

### 33.266.210 Bicycle Parking Development Standards

**C. Standards for all bicycle parking.** *Long-term and short-term bicycle parking must be provided in lockers or racks that meet the following standards:*

1. *Bicycle parking area standards. The area devoted to bicycle parking must be hard surfaced.*
2. *Bicycle racks. Where bicycle parking is provided in racks, the racks must meet the following standards:*
  - a. *The rack must be designed so that the bicycle frame and one wheel can be locked to a rigid portion of the rack with a U-shaped shackle lock, when both wheels are left on the bicycle;*
  - b. *If the rack is a horizontal rack, it must support the bicycle at two points, including the frame; and*
  - c. *The rack must be securely anchored with tamper-resistant hardware.*

**Response:** The bike racks proposed for the project will all be securely anchored into the concrete and will be staple-style racks which can secure both a bicycle wheel and frame. These standards are met.

3. *Bicycle Parking Space, Maneuvering Area, and Clearance Dimensions. Bicycle parking spaces, aisles and clearances must meet the minimum dimensions contained in Table 266-7.*

- a. *Standard Bicycle Parking Space Requirements.*
  - (1) *The standard required bicycle space is 2 feet wide, 6 feet long and 3 feet 4 inches tall.*
  - (2) *There must be at least 5 feet behind all bicycle parking spaces to allow room for bicycle maneuvering. Where short-term bicycle parking is adjacent to a sidewalk, the maneuvering area may extend into the right-of-way;*
  - (3) *A wall clearance of 2 feet 6 inches must be provided.*

**Response:** All the bicycle parking spaces proposed meet the dimensional standards of Table 266-7 and provide at least 5 feet maneuvering area behind the spaces. These standards are met.

### **D. Standards for Long-Term Bicycle Parking.**

1. *Development Standards. Long-term bicycle parking must be provided in lockers or racks that meet the following standards.*
  - a. *Location Standards. Long-term bicycle parking may be provided in one or more of the following locations:*
    - (2) *On-site, including in parking areas and structured parking;*

**Response:** All the long-term bicycle parking will be located on-site adjacent to the parking area in the covered bike-parking/trash enclosure structure.

d. *Covered bicycle parking. All long-term bicycle parking must be covered. Where covered bicycle parking is not within a building or locker, the cover must be:*

- (1) *Permanent;*
- (2) *Impervious; and*
- (3) *The cover must project out a minimum of 2 feet beyond the bicycle parking spaces on the portion of the structure that is not enclosed by a wall.*

**Response:** The proposed bike parking structure will be sided with secure perforated metal panels and covered with a metal roof. These standards are met.

2. *Security Standards.*

a. *Long-term bicycle parking must meet the following security standards:*

- (2) *Long-term bicycle parking for all other uses must be located in one of the following locations. For Schools, a minimum of 10 percent of bicycle parking must be located in the following:*
  - *A restricted access, lockable room or enclosure; or*
  - *A bicycle locker.*

**Response:** The proposed bike parking structure will include a locked door with entry restricted to only library staff. These standards are met.

**E. Standards for Short-term Bicycle Parking**

1. *Development Standards. Short-term bicycle parking must meet the following standards:*

a. *Location Standards. Short-term bicycle parking must meet the following location standards:*

- (1) *On-site, outside a building;*
- (2) *At the same grade as the sidewalk or at a location that can be reached by an accessible route; and*
- (3) *Within the following distances of the main entrance:*
  - *Building with one main entrance. For a building with one main entrance, the bicycle parking must be within 50 feet of the main entrance to the building as measured along the most direct pedestrian access route.*

**Response:** All proposed short-term bike parking spaces will be provided on the north side of the building adjacent to the parking lot and all are less than 50 feet from the building entrance. These standards are met.

**33.266.310 Loading Standards**

**C. Number of loading spaces.**

2. *Buildings where any of the floor area is in uses other than Household Living must meet the standards of this Paragraph.*

b. *One loading space meeting Standard A is required for buildings with at least 20,000 and up to 50,000 square feet of net building area in uses other than Household Living.*

**Response:** The total overall building area will be 8,655 sq. ft., so no loading space is required. This standard does not apply.

**33.266.410 Transportation and Parking Demand Management**

**B. Applicability.** *In the commercial/mixed use zones, a TDM plan is required when new development includes more than 10 dwelling units, or an alteration to existing development includes the addition of more than 10 dwelling units.* **Response:** No new dwelling units are proposed on the site, so this standard does not apply.

### **Non-Conforming Development (Chapter 33.258)**

According to Section 33.258.070, an applicant must bring nonconforming site development up to code if site alterations exceed \$347,000 (2023), excluding expenses for life/safety, ADA, stormwater, seismic and energy-efficiency improvements. When the provisions of this chapter are triggered, the applicant must devote up to an additional 10% of cost of on-site improvements to correct nonconforming aspects of site development primarily related to landscaping, on-site pedestrian circulation, and bicycle parking.

**Response:** The project cost is estimated to be \$7 million dollars so this code section would be triggered. Currently the only areas of the site that are not in conformance with the standards listed in Section 33.258.070.D.2.b are the amount of interior parking lot landscaping provided and the amount of bicycle parking provided. As described above, both these areas will be upgraded as part of this proposal, bringing the site entirely into conformance at the end of this project. With these upgrades this standard will be met.

### **Design Overlay Zone (Chapter 33.420)**

The property is designated with a “d” (Design) overlay, and Section 33.420.041 requires exterior alterations to either be approved through a Design Review or meet the Design Standards. This project intends to comply with this section by applying for a Type II Design Review within the next month.

### **Trees in Development Situations (Chapter 11.50)**

According to the Arborist Report submitted with this application, there are a total of 30 existing trees on site that are in good health and over 12 inches diameter. As shown on the Landscaping Plans, 26 of these existing/regulated trees, will be preserved on the site. This equates to 86% of the large trees on site being preserved in conformance with the retention requirements of 11.50.040.C.1.a.(1) that require 1/3 of the 12 inch trees on site to be retained so these standards are met.

## **VI. LEGAL JUSTIFICATION**

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### **INTRODUCTION**

The purpose of this section is to provide the legal justification for a Conditional Use, as governed by Chapter 33.815. The request also includes three Adjustments, governed by Chapter 33.805 that will be reviewed concurrently with the Conditional Use.

### **CONDITIONAL USE APPROVAL CRITERIA**

**33.815.105 Institutional and Other Uses in R Zones.** *These approval criteria apply to all conditional uses in R zones except those specifically listed. The approval criteria allow institutions and other non-Household Living uses in a residential zone that maintain or do not significantly conflict with the appearance and function of residential areas. The approval criteria are:*

**A. Proportion of Household Living uses.** *The overall residential appearance and function of the area will not be significantly lessened due to the increased proportion of uses not in the Household Living category in the residential area. Consideration includes the proposal by itself and in combination with other uses in the area not in the Household Living category and is specifically based on:*

- 1. The number, size, and location of other uses not in the Household Living category in the residential area.*
- 2. The intensity and scale of the proposed use and of existing Household Living uses and other uses.*

**Findings:** Because this site is already developed with the existing Holgate Library, the proposed addition to the library will have no impact on the overall residential appearance or function of the area. The site has historically been used as a library that serves and supports the surrounding residential area and the new building addition will allow the site to continue in that function.

The “residential area” under consideration for this project includes all residentially zoned properties within at least a 400-foot radius of the site’s perimeter. Because of the sites location in the heart of St Johns and in close proximity to N Lombard Street there are primarily non-residential uses within the 400-foot radius east of the site. All of the properties 400 feet south and east of the property are zoned commercially and are developed with a variety of small-scale commercial and service-oriented uses. The property directly south of the library is a large multi-family apartment building with ground floor retail spaces. Both north and west of the library site there are institutional uses (an preschool and an elementary school). Only further north across Leonard Street are there single-dwelling residential houses. Given the location and surrounding uses, the small addition proposed to the existing library would have virtually no impact on the surrounding area.

The new library addition will be larger than the previous addition, but this will not result in any substantial changes to the operational characteristics described in Section II of this report. The service area the library supports will not change, so the number of citizens the library serves will not grow. The hours of operation, programs provided, and staffing levels are not proposed to increase. Additionally, the number of volumes housed by the library will remain the same. The changes that the additional square footage will provide will be more flexible space, more community rooms and more area dedicated to staff workrooms. These functions are not anticipated to intensify the use on site so there will be no new impacts to the surrounding residential neighborhood. As such, the overall residential appearance and function of the area will not be lessened by redeveloping the library on the existing site, and this criterion is met.

**B. Physical compatibility**

- 1. The proposal will preserve any City-designated scenic resources.* **Findings:** There are no city-designated scenic resources on or in the vicinity of the site. This criterion does not apply.
- 2. The proposal will be compatible with adjacent residential developments based on characteristics such as the site size, building scale and style, setbacks, tree preservation, and landscaping.*

Site Size. **Findings:** The site size is 22,286 square feet. The St. Johns Library has been part of the fabric of the St Johns Neighborhood for over 100 years. There is no intention to expand

the site size with this Conditional Use proposal, so the site will continue to be compatible with the surrounding residential development and this portion of criterion (B)(2) is met.

**Building Scale. Findings:** The new building is proposed at 19 feet tall which is consistent with the maximum height limit in the surrounding RM2 zone of 35 feet. All of the surrounding uses are more than one story tall, so the height of the building addition will be compatible and shorter than neighboring structures. The footprint of the addition building is not considerably larger than the existing library's footprint. And the overall building will continue to occupy the same general location on the site. Therefore, the scale of the building will not be dramatically larger than what currently exists on the site, which has been historically considered compatible with the surrounding residential uses and this portion of criterion (B)(2) is met.

**Building Style. Findings:** The proposed addition will continue the design tradition of the existing library, by presenting a civically oriented design that distinguishes it from the surrounding uses. Because the site is already occupied by a library building that is not designed to "disappear" into residential fabric of the neighborhood, the style of the addition will be consistent with this historical development pattern and this portion of criterion (B)(2) is met.

**Setbacks. Findings:** Adjustments are requested to the Institutional Development Standards setback standards of the R2 zone. The property lines abutting these reduced setbacks are zoned commercially (west setback) and zoned residentially but developed with an institutional use (north setback) therefore there are few compatibility issues relating to the reduced setbacks and the properties abutting the site. This portion of criterion (B)(2) is met.

**Tree Preservation. Findings:** Only four of the 30 healthy, regulated trees on site will be removed to accommodate the new addition. All other large trees on the site will be preserved. All of the existing trees located on the northern edge of the site to help buffer and screen the site where it abuts the residential zoning. By preserving trees on-site, the development will blend into the existing neighborhood better, and this portion of criterion (B)(2) is met.

**Landscaping. Findings:** The overall site will provide approximately 30% landscaping, which exceeds the requirements of the Institutional Development Standards. The site will feature lush landscaping throughout, and this portion of criterion (B)(2) is met.

3. *The proposal will mitigate differences in appearance or scale through such means as setbacks, screening, landscaping, tree preservation and other design features.* **Findings:** As described above, the building addition is designed to complement the existing neighborhood and generally match the location of the existing addition. Because the existing library has been on the site for over a century, it is a large part of the context of the surrounding neighborhood and pre-dates many of the adjacent uses. This criterion is met.

**C. Livability.** *The proposal will not have significant adverse impacts on the livability of nearby residential zoned lands due to:*

1. *Noise, glare from lights, late-night operations, odors, and litter.*

**Noise. Findings:** In general, the library will continue to function much as it does now, with the vast majority of activities undertaken inside the buildings. Only occasional outdoor activities will occur during typical library operation hours and could include story time programming or

other small gatherings. Given the nature of the site as a library, providing a calm, quiet atmosphere to read and study is paramount to the use of the building and so noise will be controlled both inside and outside of the building.

The project does include new mechanical equipment placed on the roof of the building addition. The new equipment will be setback from the roof edges to help mitigate any associated noise. This portion of the criterion is satisfied.

Glare from lights. **Findings:** New outdoor lighting is proposed around the site as demonstrated on Sheet ES-101-01 which shows the location, fixture type and wattage of all proposed lighting. The luminaires are also all Dark Sky certified. The lighting has been designed with fully shielded fixtures to prevent the spill-over of light off the site. Therefore, glare from lights will be prevented and this portion of the criterion is satisfied.

Late-night operations. **Findings:** The majority of the library's operations occur during the daytime and early evening hours, with the latest the library is open to the public being 8 pm. It is anticipated that the community rooms may be used after library hours, but all meetings will be finished by 10 pm. As a result, there is little night-time activity associated with the use and this portion of the criterion is satisfied.

Odors. **Findings:** There are no unpleasant odors associated with the operation of a library. The only potential source of odor is the refuse stored outdoors, which will be carefully regulated in compliance with all Multnomah County Health Department regulations. The proposed trash enclosure has been designed in compliance with City requirements which should help to mitigate odors. Thus, odor should not be an issue with this proposal and this portion of the criterion is satisfied.

Litter. **Findings:** The St Johns Library is a long-standing neighborhood use, with a strong commitment to the appearance and upkeep of their property. The library will continue to maintain a clean and attractive site after the redevelopment. As a public building, trash and recycling containers will be provided inside and outside of the facility, including directly adjacent to the building entrance. This portion of the criterion is satisfied.

## 2. *Privacy and safety issues*

Privacy. **Findings:** The site will include screening along the north property line of the site that will assure that the privacy of the adjacent neighbor is respected. The property to the west is a commercial building and parking lot that is orientated toward Richmond Avenue and therefore does not require as much privacy, though setbacks and screening landscaping will still be provided on the library site. On the south property line is the shared access easement, so screening along this property line is not feasible. As shown, on all sides of the site the privacy of the adjacent used will be respected to the extent practical given their uses and this portion of the criterion is satisfied.

Safety. **Findings:** As noted above, the site has long been used as a public library. As a facility that welcomes the public, the library has policies in place to handle any situations on the property that are unsafe. Additionally, the landscaping and lighting on the site has been designed to allow full views of the plazas and parking lot, especially at night. Finally, fencing is being installed on the west and north sides to prevent trespassing in the site's setbacks. As

such the library does not pose a security threat to the neighborhood or adjacent properties, and this portion of the criterion is satisfied.

**D. Public services**

1. *The proposal is supportive of the street designations of the Transportation Element of the Comprehensive Plan. Findings:* N. Charleston Avenue is designated as a Local Service Street. For the most part these are facilities of moderate capacity/function in the hierarchy established in the City's Transportation System Plan (TSP). The proposed expansion of the library is not intended to change the programming provided nor the sized community served by the library. As such, this street is adequate to handle the library's existing and proposed traffic demand. This criterion is met.
  
- 2.a *The transportation system is capable of supporting the proposal in addition to the existing uses in the area. Evaluation factors include safety, street capacity, level of service, connectivity, transit availability; availability of pedestrian and bicycle networks, on-street parking impacts; access restrictions; neighborhood impacts; impacts on pedestrian, bicycle, and transit circulation. Evaluation factors may be balanced; a finding of failure in one or more factors may be acceptable if the failure is not a result of the proposed development, and any additional impacts on the system from the proposed development are mitigated.*

Safety. **Findings:** The transportation system in the site vicinity can safely accommodate all modes of transportation and is adequate for the proposed conditional use in addition to the existing uses in the area. This evaluation factor is met.

Street Capacity/Level of Service. **Findings:** The area roadways and intersections are currently operating within capacity and with acceptable levels of service. The proposed renovations of the library are anticipated to result in a less than 10 vehicle increase to any of the adjacent intersections during the weekday PM peak hour, which does not constitute a material change to adjacent streets or intersections. Therefore, the roadways and intersections are projected to continue to operate acceptably per City of Portland standards and well within capacity. No operational mitigations are necessary or recommended in conjunction with the proposed conditional use. This evaluation factor is met.

Connectivity. **Findings:** No changes to the street connectivity are proposed by the library or required by the TSP as part of the building changes. Further, the library access is approximately 250 feet north of N Lombard Street and approximately 250 feet south of N Leonard Street, thereby complying with the City's block standards. This evaluation factor is met.

Transit Availability. **Findings:** TriMet provides bus service via Routes 4, 16, 44 and 75 all of which have a stop at the N Charleston Street/N Lombard Street intersection, which is a convenient one block walking distance from the library. This excellent availability of transit to the site will be an asset to the library staff and the public visiting the site. The anticipated building renovations are not anticipated to materially change the need for transit and library patrons and employees do and will continue to benefit from the convenient transit service provided. This evaluation factor is met.

Availability of Pedestrian and Bicycle Networks. **Findings:** The adjacent streets have sidewalks and cyclists currently share the roadway with motorists. No specific pedestrian or bicycle-



related changes are shown in the TSP along the frontage of the library. Further, the anticipated building renovations are not anticipated to materially change the need for walking or cycling facilities. Based on the analysis, adequate pedestrian and bicycle networks are available within the vicinity of the site. No specific mitigations beyond those included in the proposal are recommended in conjunction with the development and this evaluation factor is met.

On-Street Parking Impacts. **Findings:** On-street parking is plentiful in this neighborhood with on-street parking being permitted on most surrounding streets. As such, the proposed addition to the library would not meaningfully impact the availability of on-street parking in the site vicinity. This evaluation factor is met.

Access Restrictions. **Findings:** There are currently no restrictions on access in the site vicinity therefore this evaluation factor does not apply.

Neighborhood Impacts. **Findings:** The subject property is currently used as a library. Following approval of the proposed Conditional Use, it will continue to be used for this purpose. This evaluation factor is met.

Impacts on Pedestrian, Bicycle and Transit Circulation. **Findings:** Any impacts the proposal will have on the pedestrian, bicycle and transit circulation systems will be positive since the project includes a minor improvement to public sidewalk corridor by upgrading the ADA ramp. The existing transportation network in the vicinity provides safe connections for transit users, pedestrians, and people riding bicycles. This evaluation factor is met.

**Summary Findings:** The proposal meets all the required evaluation factors, demonstrating the transportation system is capable of supporting the proposal, and this criterion is met.

- b. *Measures proportional to the impacts of the proposed use are proposed to mitigate on- and off-site transportation impacts. Measures may include transportation improvements to on-site circulation, public street dedication and improvement, private street improvements, intersection improvements, signal or other traffic management improvements, additional transportation and parking demand management actions, street crossing improvements, improvements to the local pedestrian and bicycle networks, and transit improvements;* **Findings:** No significant new impacts are associated with continued use of the site as a library. The proposal meets all the required evaluation factors that apply, demonstrating the adequacy of the transportation system surrounding the site. Improvements will be made to upgrade the ADA ramp on N Charleston Avenue to mitigate the impacts from the proposal. This criterion is met.
  - c. *Transportation improvements adjacent to the development and in the vicinity needed to support the development are available or will be made available when the development is complete or, if the development is phased, will be available as each phase of the development is completed;* **Findings:** As described above, a small improvement to N. Charleston Avenue will be made as part of this project and completed before the library opens. This criterion is met.
2. *Public services for water supply, police and fire protection are capable of serving the proposed use, and proposed sanitary waste disposal and stormwater disposal systems are acceptable to the Bureau of Environmental Services.* **Findings:** The site is already served with public services for water, sanitary sewer, police and fire protection, so its continued use as a library will have

no impact on the availability of services. The following improvements to the public services that serve the site are proposed.

- The existing water and sanitary sewer service will be extended to the building addition.
- All stormwater runoff generated by the site will be discharged to on-site drywells and the existing drywells on the site will be protected during construction.

This criterion is and will continue to be met.

**E. Area plans.**

*The proposal is consistent with any area plans adopted by the City Council as part of the Comprehensive Plan, such as neighborhood or community plans.* **Findings:** The site is located within the boundaries of the St Johns neighborhood that has an adopted the St. Johns/Lombard Neighborhood Plan. The applicable policies of that plan are described below:

**Policy 1: Land Use and Placemaking.** *Accommodate growth and change in a manner that fosters the area's sense of place as a small town and main street within the city.* **Response:** The library has been a part of the town of St Johns since 1917 and adds to the overall sense of place in the commercial heart of St Johns. The proposed addition to the library facility will help to accommodate growth and change since expanding and modernizing the library will help the library better serve the citizens of St Johns and remain a vital and relevant part of the neighborhood.

**Policy 2: History and Identity.** *Strengthen the identity of the St. Johns and Lombard Street areas through development and community activities that integrate and build on the area's distinctive history and architecture.* **Response:** The proposed expansion of the library in order to better serve the surrounding community is consistent with this policy. The new addition and renovation will help to bolster the functionality of the 1917 building that is classified a Significant Resource in the City's Historic Resource Inventory and therefore an important part of the architectural history of St Johns.

**Policy 6: Environment.** *Promote the development of a built environment that fosters ecological quality and uses sustainable development practices.* **Response:** The proposal involves reusing and refurbishing much of the existing library structure versus starting over with a new building, so the project avoids some of the environmental impacts associated with disposing of demolition debris and the manufacturing and transportation of new building materials. Additionally, the project is targeting a high level of sustainability with the new design that will feature a high-performance building envelope with continuous exterior insulation to help conserve energy.

**Policy 8: Community Involvement and Services.** *Support and enhance the St. Johns town center and Lombard main street with a mix of public and private community services.* **Response:** The library is a public community service located in St Johns town center, therefore refurbishing and modernizing the building so that it can continue to serve the surrounding neighborhood for decades to come is consistent with this policy.

**Summary Finding:** As shown above, the proposal consistent with the applicable policies of the St Johns/Lombard Neighborhood Plan and this criterion is met.

## **ADJUSTMENT APPROVAL CRITERIA**

The purpose of this section is to provide the legal justification for the requested Adjustments as governed by Chapter 33.805.

### **Adjustment #1 – Minimum Setbacks of the Institutional Development Standards.**

**Request:** The project seeks relief from the setbacks found in Table 120-7 (Institutional Development Standards) that requires a minimum setback of 1 foot for every 2 feet of building height, but in no case less than 10 feet. On the north property line, the new addition will be setback 8 feet from the property line and on the east property line it will be setback 5 feet, both of which are less than the 10-foot minimum.

**Discussion.** The existing 1917 building is setback from the north property line 8 feet, and the new addition is designed to match this setback line. The property to the north of the library is zoned RM2 but is developed with a historic building that houses a preschool. On the east side the abutting property is zoned commercially and is developed with a flex-space building that contains a variety of tenants and parking lot. The building for the most part turns away from the west and is orientated toward Richmond Avenue. The Institutional Development Standards apply to all property lines regardless of the zoning or usage of the abutting property, even though the intent of the standards is to limit the impacts on surrounding residential uses. In this case a reduced setback is appropriate because neither of the adjacent uses are residential.

### **Adjustment #2 – Buffering from Abutting Residential Zones**

**Request:** The project seeks relief from the buffering standard found in Table 120-7 (Institutional Development Standards) that require a 10 foot wide buffer planted to the L3 landscaping standard. Along the north property line, the project is proposing to provide an 8 foot wide buffer planted to the L3 landscape standard instead.

**Discussion:** In connection with the Adjustment to the setback standards on the north property line described above, the fact that the building will be setback only 8 feet from the property line means that there is not enough area to provide the 10 foot wide buffer. The existing 1917 building is already setback 8 feet from the property line, so the site is currently not in conformance with this standard, but the new addition will move the site further out of conformance with this standard. As stated above, the property to the north of the library site is zoned residential but is developed with a commercial use so a reduced buffer in the area is appropriate.

### **Adjustment #3 – Maximum Building Setback.**

**Request:** The project seeks relief from the maximum building setback of 20 feet from N Charleston Avenue, which is required because the site is located within a Pedestrian District. The portions of the new addition that are street facing will be setback 116 feet from the street lot line.

**Discussion:** The existing 1917 building is setback approximately 40 feet from the street lot line on Charleston Avenue, so the site is already non-conforming in regard to this standard. Approximately 15 feet of new street facing façade is proposed with the building addition, moving the site further out of conformance with this standard. The addition was placed at the rear of the site to preserve the historic façade of the 1917 building. Meeting the maximum building setback standard would have required adding building area in front of the 1917 building which would have destroyed the historic character of the site.

**Approval Criteria.** *Adjustment requests will be approved if the review body finds that approval criteria A through F have been met.*

A. *Granting the adjustment will equally or better meet the purpose of the regulation to be modified.*

**Findings:** The purpose of the Institutional Development Standards (Section 33.120.275.A) is “to maintain compatibility with and limit the negative impacts on surrounding residential areas”. As described in the discussion of the minimum setback and buffering standards above, neither the property to the east or the north is developed with a residential use. Therefore, applying a more relaxed standard that is more consistent with the historic development of the site and the surrounding context is more appropriate in this case, and will not have a negative impact on any surrounding residential uses. The new addition will be a single-story in height so even with the reduced setbacks it will not overwhelm or loom over the neighboring properties. Additionally, the setbacks will be landscaped to provide a buffer between the library and the neighbors to assure privacy. Given the site specifics, the purpose of the Institutional Development Standards can be met with the reduced setbacks and buffer and this part of the criterion is met.

The purpose of the maximum building setback (Section 33.120.220.A) is to “...create an environment that is inviting to pedestrians and transit users.” Along the N. Charleston Avenue frontage, the pedestrian experience will involve mainly seeing the historic 1917 building, with the new addition setback over 100 feet towards the rear of the property. The architectural detailing and articulation on the historic building is inviting to the public and provides an interesting and welcoming façade. Additionally, the landscaped yard in front of the library provides additional visual interest. Adding new street facing façade in front of this historic building is not necessary to create an environment that is inviting to pedestrian and doing so would detract from the historic character of the site, therefore adjusting the maximum building setback meets the purpose of the standard and this part of the criterion is met.

B. If in a residential zone, the proposal will not significantly detract from the livability or appearance of the residential area. **Findings:** As described above, the proposal will not detract from the livability of the residential area, because although the area is zoned residentially, none of the surrounding properties are developed or used for strictly residential uses. The reduced setbacks to the adjacent residential uses are more appropriate given the context surrounding the site. Additionally, the library has been located on the site for over a century and is part of the fabric of the neighborhood. The proposal involves keeping the existing historic library building intact which will allow the appearance of the area to be retained. This criterion is met.

C. *If more than one adjustment is being requested, the cumulative effect of the adjustments results in a project which is still consistent with the overall purpose of the zone.* **Findings:** In this case three Adjustments are required to overcome the obstacles created by keeping the historic structure in place on a relatively small site. However, the cumulative effect of these Adjustments does not result in a project that is inconsistent with the purpose of RM2 zone, which is “to preserve land for urban housing and to provide opportunities for multi-dwelling housing.” Because the site has been used as a library since 1917 this site has not been available for multi-dwelling housing for decades therefore continuing this use by preserving the historic building is not eliminating an opportunity for housing. This criterion is met.

D. *City-designated scenic resources and historic resources are preserved.* **Findings:** There are no scenic or historic resources on the site, so this criterion does not apply.

- E. *Any impacts resulting from the adjustment are mitigated to the extent practical. Findings:* There are no likely impacts resulting from the requested Adjustments. The setbacks and landscaping on the north and east sides will be adequate to provide a standard separation between buildings and will help to maintain the privacy for the neighboring sites without additional mitigation being required, therefore this criterion is met.
  
- F. *If in an environmental zone, the proposal has a few significant detrimental environmental impacts on the resource and resource values as is practicable. Findings:* The site is not within an environmental zone, so this criterion does not apply.

## **CONCLUSION**

As shown in this report, the requested Conditional Use and Adjustments have been found to meet the approval criteria of the Zoning Code. The approval of the land use review will allow the library to update and modernize assuring that it will continue to be a vital part of St Johns, serving the surrounding neighbors. The Adjustments to the development standards will allow the flexibility needed to facilitate this redevelopment project. Therefore, this review should be approved.



ISSUED FOR  
INFORMATIONAL  
PURPOSES ONLY

NOT FOR  
CONSTRUCTION



MULTNOMAH COUNTY LIBRARIES  
ST JOHNS LIBRARY  
7510 N Charleston Ave., Portland, OR 97203

02/09/2024

100% DESIGN DEVELOPMENT

**GRADING & PAVING NOTES**

- ALL SURFACES SHALL HAVE A MINIMUM 1.5% SLOPE UNLESS OTHERWISE NOTED ON THE PLANS. ALL SURFACES SHALL MEET EXISTING GRADES SMOOTHLY AND EVENLY AND MAINTAIN CONSTANT SLOPES UNLESS OTHERWISE NOTED ON THE PLANS.
- THE CONTRACTOR SHALL NOTIFY VEGA CIVIL ENGINEERING, LLC IF THE GRADING PLAN DOES NOT PROVIDE POSITIVE DRAINAGE OR IF SLOPE CALLOUTS DO NOT MATCH SPOT GRADES.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EXISTING SITE AND DRAINAGE PATTERNS AND THE PROTECTION OF EXISTING ENGINEERED DRAINAGE FACILITIES.
- THE CONTRACTOR SHALL REPLACE AND RESTORE AREAS NOT SCHEDULED FOR CONSTRUCTION TO THEIR ORIGINAL CONDITION AND TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN AREAS ADJACENT TO EXISTING TREES IN ORDER TO MINIMIZE DISTURBANCES TO TREE ROOTS. THE CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING PER CITY OF PORTLAND TREE CODE, TITLE 11. NO PARKING VEHICLES UNDER TREES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND DISPOSAL OF EXISTING AC, CURBS, SIDEWALKS AND OTHER SITE ELEMENTS WITHIN THE LIMITS OF DEMOLITION. DISPOSE OF DEMOLISHED ITEMS OFF-SITE IN A LEGAL MANNER.
- ACTUAL LINES AND GRADES OF EXCAVATION SHALL BE STAKED BY A QUALIFIED SURVEYOR, BASED ON INFORMATION SHOWN ON THE PLANS. THE CONTRACTOR SHALL RETAIN A SURVEYOR LICENSED IN OREGON.
- ADJUST ALL INCIDENTAL STRUCTURES, MANHOLE LIDS, VALVE BOXES, ETC. TO FINISH GRADE.
- PAVING WILL NOT BE ALLOWED DURING WET OR COLD WEATHER.
- ALL CONSTRUCTION WITHIN THE CITY OF PORTLAND RIGHT-OF-WAY SHALL HAVE AN APPROVED TRAFFIC CONTROL PLAN.
- ALL CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY SHALL BE PERMITTED UNDER A SEPARATE PERMIT AS SHOWN ON THE PLANS.

**GENERAL NOTES**

- ALL CONSTRUCTION, MATERIALS, AND WORKMANSHIP SHALL CONFORM TO THE LATEST STANDARDS AND PRACTICES OF THE CITY OF PORTLAND, THE OREGON STRUCTURAL SPECIALTY CODE (BUILDING CODE), OREGON PLUMBING SPECIALTY CODE (PLUMBING CODE), AND THE OREGON FIRE CODE (FIRE CODE), LATEST EDITIONS.
- ALL PERMITS AND LICENSES NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
- ALL EXCAVATORS MUST COMPLY WITH THE RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER, INCLUDING NOTIFICATION OF ALL OWNERS OF UNDERGROUND UTILITIES AT LEAST 48 BUSINESS DAY HOURS, BUT NOT MORE THAN 10 BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090 AND ORS 757.541 TO 757.57. THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS 503-232-1987 AND THE LOCAL "CALL 48 HOURS BEFORE YOU DIG NUMBER" IS 503-246-6699.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS IS FOR INFORMATION ONLY AND IS NOT GUARANTEED TO BE ACCURATE. CONTRACTOR SHALL VERIFY ELEVATIONS OF ALL UNDERGROUND UTILITY CONNECTION POINTS PRIOR TO COMMENCING WITH CONSTRUCTION AND SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF VEGA CIVIL ENGINEERING, LLC. POTHOLE ALL CROSSINGS AS NECESSARY BEFORE CONSTRUCTION TO PREVENT GRADE AND ALIGNMENT CONFLICTS.
- VEGA CIVIL ENGINEERING, LLC, ASSUMES NO RESPONSIBILITY FOR ANY DISCREPANCIES ENCOUNTERED BETWEEN THE CURRENT FIELD CONDITIONS AND THE INFORMATION SHOWN ON THE SURVEY MAP. THE CONTRACTOR IS RESPONSIBLE FOR REPORTING ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.
- REQUIRED SOIL SPECIAL INSPECTIONS PER THE REQUIREMENT OF TABLE 1705.6 AND THE GEOTECHNICAL REPORT.

**UTILITY NOTES**

- MATERIALS SHALL BE NEW. THE USE OF MANUFACTURER'S NAMES, MODELS, AND NUMBERS IS INTENDED TO ESTABLISH STYLE, QUALITY, APPEARANCE, AND USEFULNESS. PROPOSED SUBSTITUTIONS WILL REQUIRE WRITTEN APPROVAL FROM CITY ENGINEER PRIOR TO INSTALLATION.
- ALL ON-SITE WATER, STORM AND SANITARY SEWER PIPE MATERIALS, AND FITTINGS SHALL CONFORM TO THE OREGON STATE PLUMBING SPECIALTY CODE, LATEST EDITION.
- ON-SITE WATER MAINS SHALL BE PVC PIPE, CONFORMING TO AWWA C900 OR APPROVED SPEC SUBSTITUTIONS. ON-SITE WATER MAINS SHALL BE MECHANICALLY RESTRAINED.
- ON-SITE STORM SEWER PIPE SHALL BE PVC PIPE CONFORMING TO ASTM D3034 SDR 35, OR HDPE PIPE (ADS 'N-12' OR APPROVED EQUAL) CONFORMING TO AASHTO M252 WITH WATERTIGHT JOINTS, OR APPROVED SUBSTITUTIONS.
- ON-SITE STORM SEWER PIPE WITH LESS THAN 2' OF COVER SHALL BE HDPE PIPE.
- ON-SITE AREA DRAINS SHALL BE MANUFACTURED BY GIBSON STEEL BASINS OR APPROVED EQUAL.
- ON-SITE SANITARY SEWER PIPE SHALL BE PVC PIPE CONFORMING TO ASTM D3034, SDR 35, OR APPROVED SUBSTITUTE.
- ALL WATER AND SANITARY SEWER FACILITIES AND THE INSTALLATION THEREOF, SHALL FOLLOW THE CURRENT OREGON STATE PLUMBING SPECIALTY CODE AND THE CURRENT EDITION OF APWA WITH CITY OF PORTLAND INSPECTION DURING CONSTRUCTION.
- ALL TRENCH BACKFILL SHALL BE AS SHOWN ON THE PIPE BEDDING AND BACKFILL DETAIL. FLOODING OR JETTING THE BACKFILLED TRENCHES WITH WATER IS NOT PERMITTED.
- CONNECTIONS TO EXISTING UTILITIES SHALL CONFORM WITH THE CITY OF PORTLAND ENGINEERING DESIGN MANUAL AND STANDARD DRAWINGS.
- ALL WATER AND FIRE PROTECTION PIPE SHALL HAVE A MINIMUM 36-INCH COVER TO FINISHED GRADE.
- ALL WATER LINES SHALL BE THOROUGHLY FLUSHED, CHLORINATED AND TESTED IN ACCORDANCE WITH THE OREGON STATE HEALTH DEPARTMENT PRIOR TO ANY METER HOOK-UP SERVICE.
- BEGIN LAYING STORM AND SANITARY SEWER PIPE AT THE LOW POINT OF THE SYSTEM TRUE TO GRADE AND ALIGNMENT INDICATED WITH UNBROKEN CONTINUITY OF INVERT. ESTABLISH LINE AND GRADE FOR THE STORM AND SANITARY SEWER PIPE BY THE USE OF A LASER.
- CONTRACTOR TO MAINTAIN A MINIMUM 5' HORIZONTAL AND 18" VERTICAL SEPARATION BETWEEN ALL EXISTING AND PROPOSED WATER AND SANITARY SEWER LINES.
- FOR CROSSINGS OF WATER LINES AND SANITARY SEWER LINES, THE OREGON STATE HEALTH DEPARTMENT CRITERIA SHALL APPLY.
- A CITY OF PORTLAND SANITATION PERMIT IS REQUIRED TO DECOMMISSION EXISTING RESIDENTIAL CESSPOOLS OR DRYWELLS DISCOVERED DURING CONSTRUCTION.
- EXISTING STORM OR SANITARY LATERALS TO BE UTILIZED FOR NEW SYSTEM MUST BE VIDEO INSPECTED WITH CITY INSPECTOR PRESENT PRIOR TO CONNECTION.
- ALL WATER WORK IN THE PUBLIC RIGHT-OF-WAY IS BY THE CITY OF PORTLAND WATER BUREAU. CONTRACTOR SHALL COORDINATE WITH WATER BUREAU AT 503-823-7743.
- ALL NEW DRYWELLS MUST BE ACCESSIBLE PER OREGON DEPARTMENT OF ENVIRONMENTAL SERVICES QUALITY REQUIREMENT.
- PGE SHALL OBTAIN PERMITTING FROM CITY OF PORTLAND TO INSTALL CONDUIT IN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL VACUUM OUT ALL TRAPPED INLETS, MANHOLES, AND DRYWELLS AT THE END OF CONSTRUCTION.
- CONTRACTOR TO ADJUST ALL EXISTING OR NEW FLEXIBLE UTILITIES (WATER, GAS, TV, TELEPHONE, ELEC., ETC.) TO CLEAR ANY EXISTING OR NEW GRAVITY DRAIN UTILITIES (STORM DRAIN, SANITARY SEWER, ETC.) IF CONFLICT OCCURS.
- CONTRACTOR SHALL EXERCISE CARE IN ALL OPERATIONS TO PROTECT EXISTING UNDERGROUND UTILITIES. ANY DAMAGE RESULTING FROM THIS WORK MUST BE RESTORED AT THE CONTRACTOR'S EXPENSE TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE.

**EROSION CONTROL NOTES**

- APPROVAL OF THIS EROSION, SEDIMENT AND POLLUTION CONTROL PLAN (ESPCP) DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.)
- IT IS THE INTENT OF THESE PLANS AND SPECIFICATIONS TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT LEAVE THE WORK SITE. THE CONTRACTOR SHALL USE ALL AVAILABLE MEANS TO ACHIEVE THIS RESULT.
- THE IMPLEMENTATION OF THESE ESPCP AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESPCP FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
- THE BOUNDARY OF THE CLEARING LIMITS SHOWN ON THIS PLANS SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
- THE ESPCP FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS OR VIOLATE APPLICABLE WATER STANDARDS.
- THE ESPCP FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESPCP FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
- THE ESPCP FACILITIES SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
- THE ESPCP FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 24 HOURS FOLLOWING A STORM EVENT.
- ALL STORM INLETS SHALL BE PROTECTED TO PREVENT SEDIMENT FROM LEAVING THE PROJECT SITE. CLEANING OF CATCH BASINS SHALL OCCUR WHEN SEDIMENT OCCUPIES ONE-THIRD OF THE DEVICE STORAGE AREA. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- ALL AREAS DISTURBED BY CONSTRUCTION OF THIS PROJECT, NOT RECEIVING A HARD, DURABLE SURFACE SHALL BE GRASSED AND/OR LANDSCAPED AT EARLIEST PRACTICABLE TIME.
- IN GENERAL, CONSTRUCTION SHALL PROGRESS FROM DOWNSTREAM TO UPSTREAM. THE CONTRACTOR SHALL CONSTRUCT ESC FACILITIES IN CONJUNCTION WITH ALL CLEARING, GRADING AND OTHER LAND ALTERATION ACTIVITIES.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- TEMPORARY EROSION CONTROL MEASURES SHALL REMAIN FUNCTIONAL, AND IN PLACE UNTIL THEIR REMOVAL IS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL COMPLETELY RESTORE ALL AREAS DISTURBED BY REMOVAL OF TEMPORARY EROSION CONTROL MEASURES. REMOVED MATERIALS SHALL BECOME PROPERTY OF THE CONTRACTOR TO BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND JURISDICTIONS.
- CONTRACTOR WILL PROVIDE TRUCKS THAT ARE WELL SEALED FOR TRANSPORTATION OF SATURATED SOILS/MATERIAL FROM THE SITE. A TRUCK MUST NOT LEAK LIQUIDS AT ANY RATE GREATER THAN 1 GAL./HR.
- EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND EROSION AND SEDIMENT CONTROL MANUAL, CURRENT EDITION.
- SUPPLEMENTARY WET WEATHER MEASURES SHALL BE IN PLACE AND FUNCTIONING BY OCTOBER 1 AND REMAIN OPERATIONAL UNTIL APRIL 30.
- SUPPLEMENTARY WET WEATHER MEASURES ARE IN ADDITION TO BASE MEASURES.
- WHEN CONCRETE TRUCKS ARE USED, A SHALLOW PIT SHALL BE DUG FOR RESIDUAL CONCRETE, AGGREGATE AND WATER. TRUCKS THAT RECYCLE THIS RESIDUAL BACK INTO THE TRUCK MAY BE USED IN LIEU OF THE PIT.
- IF FERTILIZERS ARE USED TO ESTABLISH VEGETATION, THE APPLICATION RATES SHALL FOLLOW THE MANUFACTURER'S GUIDELINES AND THE APPLICATION SHALL BE DONE IN SUCH A WAY TO MINIMIZE NUTRIENT-LADEN RUNOFF TO RECEIVING WATERS.
- STOCKPILES SHALL BE LOCATED AWAY FROM THE CONSTRUCTION ACTIVITY AND SHALL BE STABILIZED OR COVERED AT THE END OF EACH WORKDAY.
- SIGNIFICANT AMOUNTS OF SEDIMENT THAT LEAVE THE SITE SHALL BE CLEANED UP WITHIN 24 HOURS AND PLACED BACK ON THE SITE OR PROPERLY DISPOSED.
- ALL EROSION AND SEDIMENT CONTROLS NOT IN THE DIRECT PATH OF WORK SHALL BE INSTALLED BEFORE ANY LAND DISTURBANCE.
- THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT SUPPORT POST, WITH A 6-INCH MINIMUM OVERLAP, AND BOTH END SECURELY FASTENED TO THE POST, OR OVERLAP 2"x2" POSTS AND ATTACHED AS SHOWN IN SEDIMENT FENCE DETAIL INCLUDED IN THESE PLANS.
- THE FILTER FABRIC FENCE SHALL BE INSTALLED TO FOLLOW THE CONTOURS WHERE FEASIBLE. THE FENCE POSTS SHALL BE SPACED A MAXIMUM OF 6-FEET APART AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 24-INCHES.
- A TRENCH SHALL BE CUT ALONG SLOPE CONTOURS AND AROUND STOCKPILES FOR SILT FENCE INSTALLATION. THE FILTER FABRIC FENCE SHALL HAVE A MINIMUM VERTICAL BURIAL OF 6-INCHES. ALL EXCAVATED MATERIAL FROM THE FILTER FABRIC FENCE INSTALLATION SHALL BE FIRMLY REDEPOSITED ALONG THE ENTIRE TRENCHED AREA ON THE UPHILL SIDE OF AND AGAINST THE FENCE.
- STANDARD OR HEAVY DUTY FILTER FABRIC SHALL HAVE MANUFACTURED STITCHED LOOPS TO FIT 2"x2" INSTALLATION POST. STAPLED FENCE PRODUCTS ARE NOT ALLOWED. STITCHED LOOPS SHALL BE INSTALLED ON THE UPHILL SIDE OF THE SLOPED AREA, WITH POST SPACED A MAXIMUM OF 6 FEET APART.
- FILTER FABRIC FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UP SLOPE AREA HAS BEEN PERMANENTLY PROTECTED AND STABILIZED.
- SILT FENCES SHALL BE INSPECTED BY CONTRACTOR IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS, RELOCATIONS, OR ADDITIONS SHALL BE MADE IMMEDIATELY.
- AT NO TIME SHALL MORE THAN 1-FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE UP SLOPE OF A SILT FENCE. SEDIMENT SHALL BE REMOVED OR RE-GRADED ONTO SLOPES AND THE SILT FENCE REPAIRED AND REESTABLISHED.
- DUST SHALL BE MINIMIZED TO THE EXTENT PRACTICABLE, UTILIZING ALL MEASURES NECESSARY, INCLUDING, BUT NOT LIMITED TO:
  - SPRINKLER HAUL AND ACCESS ROADS AND OTHER EXPOSED DUST PRODUCING AREAS.
  - APPLYING AGENCY-APPROVED DUST PALLIATIVES ON ACCESS AND HAUL ROADS.
  - ESTABLISHING TEMPORARY VEGETATIVE COVER.
  - PLACING WOOD CHIPS OR OTHER EFFECTIVE MULCHES ON VEHICLE AND PEDESTRIAN USE AREAS.
  - MAINTAINING THE PROPER MOISTURE CONDITION ON ALL FILL SURFACES.
  - PREWETTING CUT AND BORROW AREA SURFACES.
  - USE OF HAUL EQUIPMENT.
- CONTRACTOR SHALL FURNISH AND INSTALL EQUIPMENT TO HAUL AND PLACE WATER. AN ADEQUATE SUPPLY OF WATER SHALL BE MAINTAINED AT ALL TIMES.

**ABBREVIATIONS**

AC	ASPHALTIC CONCRETE	FZ	FURNISHING ZONE	PT	POINT OF TANGENCY
BC	BOTTOM OF CURB	G/GUT	GUTTER	PVMT	PAVEMENT
BGS	BELOW GROUND SURFACE	GB	GRADE BREAK	PZ	PEDESTRIAN ZONE
BPZ	BACK OF PEDESTRIAN ZONE	H	HORIZONTAL	R	RADIUS
		HP	HIGH POINT	ROW	RIGHT OF WAY
BFZ	BUILDING FRONTAGE ZONE	IE	INVERT ELEVATION	RT	RIGHT
CL	CENTERLINE	L	LENGTH	SD	STORM DRAIN
CONC	CONCRETE	LT	LEFT	STA	STATION
CONST	CONSTRUCT	MAX	MAXIMUM	STD	STANDARD
COP	CITY OF PORTLAND	MIN	MINIMUM	TC	TOP OF CURB
d	DISTANCE	NO	NUMBER	TP	TOP OF PAVEMENT
DTL	DETAIL	NTS	NOT TO SCALE	TP	TYPICAL
EXIST(E)	EXISTING	ODOT	OREGON DEPARTMENT OF TRANSPORTATION	V	VERTICAL
EG	EXISTING GROUND				
FF	FINISHED FLOOR	PBOT	PORTLAND BUREAU OF TRANSPORTATION		
FS	FIRE SERVICE	PC	POINT OF CURVATURE		
FPZ	FRONT OF PEDESTRIAN ZONE	PROP	PROPOSED		

**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
	MANHOLE	
	CATCH BASIN	
	WATER METER	
	HYDRANT	
	WATER VALVE	
	GUY WIRE ANCHOR	
	STREETLIGHT	
	UTILITY POLE	
	SIGN	
	TREE	
	PROPERTY LINE	
	CENTERLINE	
	SAWCUT LINE	
	EDGE OF PAVEMENT	
	CURB	
	STORM DRAIN	
	SANITARY SEWER	
	COMBINED SEWER	
	FIRE	
	WATER	
	OVERHEAD UTILITY	
	GAS	
	POWER	
	UNDERGROUND TELECOM	
	CONCRETE SIDEWALK	
	MINOR CONTOUR	
	MAJOR CONTOUR	

**SHEET INDEX**

SHEET #	SHEET TITLE
C-001	CIVIL NOTES
CD101	DEMOLITION AND EROSION CONTROL PLAN
CG101	GRADING PLAN
CS101	LAYOUT AND PAVING PLAN
CP101	UTILITY PLAN
C-501	CIVIL DETAILS
C-502	CIVIL DETAILS

**PUBLIC WORKS PERMIT - FOR REFERENCE ONLY**

SHEET #	SHEET TITLE
C-701	PWP - COVER SHEET
C-702	PWP - GENERAL NOTES
C-703	PWP - COMPOSITE SITE PLAN
C-704	PWP - N CHARLESTON AVENUE PLAN




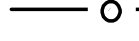
Drawn By: BAH	Checked By: MSW
Building Number: 6603	Approved By: MSW
Multico Project Number: P78LB172021 07	
Sheet Title: <b>CIVIL NOTES</b>	
Date: 02/09/2024	
<b>C-001</b>	
C Sheet 1 Of 11	



# CONSTRUCTION NOTES

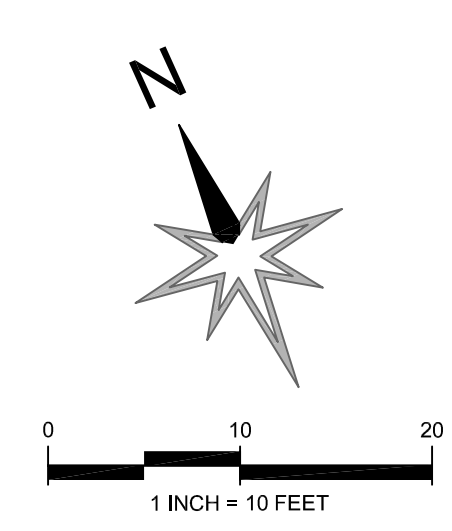
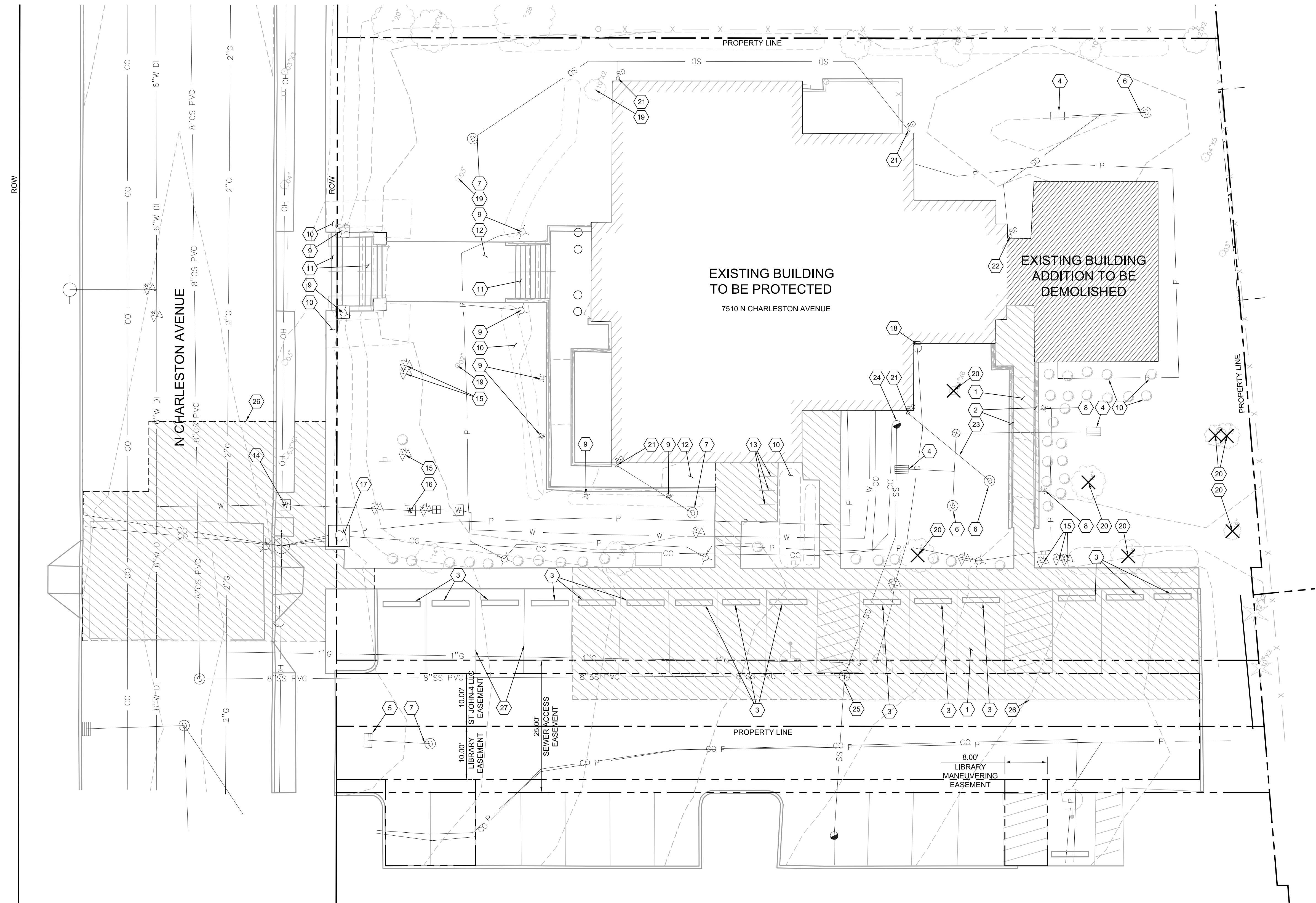
1. DEMOLISH EXISTING CURBS, CONCRETE, ASPHALT, AND GRAVEL PAVING
2. DEMOLISH EXISTING SITE WALL
3. REMOVE AND SAVE EXISTING WHEEL STOP
4. REMOVE EXISTING AREA DRAIN, INSTALL FILTER FABRIC INLET PROTECTION PER DETAIL 12/C-501 AND MAINTAIN UNTIL REMOVAL
5. INSTALL FILTER FABRIC INLET PROTECTION PER 12/C-501
6. REMOVE EXISTING DRYWELL AND DECOMMISSION PER DEQ STANDARDS
7. PROTECT EXISTING DRYWELL
8. REMOVE EXISTING SITE LIGHT
9. PROTECT EXISTING SITE LIGHT
10. REMOVE EXISTING SITE SHRUB, TYP.
11. PROTECT EXISTING STAIRS. SEE LANDSCAPE PLANS
12. PROTECT EXISTING SITE WALKWAY
13. REMOVE EXISTING BIKE RACK
14. PROTECT EXISTING WATER SERVICE
15. REMOVE EXISTING IRRIGATION VALVES
16. REMOVE EXISTING BACKFLOW
17. PROTECT TELECOM SERVICE
18. PROTECT EXISTING GAS SERVICE
19. PROTECT EXISTING TREE. SEE TREE PROTECTION PLAN, LANDSCAPE PLANS
20. REMOVE EXISTING TREE
21. PROTECT EXISTING ROOF DRAIN
22. REMOVE EXISTING ROOF DRAIN
23. REMOVE EXISTING STORMWATER PIPING
24. PROTECT EXISTING SANITARY SERVICE TO BUILDING
25. PROTECT EXISTING BES CSMH #AAE908
26. SAWCUT, TYP.
27. REMOVE EXISTING STRIPING

SHEET LEGEND

-  DEMOLISH EXISTING STRUCTURE
-  DEMOLISH EXISTING CURBS, CONCRETE, ASPHALT, AND GRAVEL PAVING
-  REMOVE EXISTING TREE
-  STRAW WATTLES PER DETAIL 10/C-501

GENERAL NOTES

1. ALL WORK IN THE PUBLIC RIGHT OF WAY UNDER SEPARATE PUBLIC WORKS PERMIT.
2. ALL DOMESTIC WATER AND FIRE PROTECTION WORK IN THE PUBLIC RIGHT OF WAY BY PORTLAND WATER BUREAU AT OWNER'S EXPENSE. CONTRACTOR TO COORDINATE WORK WITH PORTLAND WATER BUREAU.
3. INSTALL FILTER FABRIC INLET PROTECTION ON DOWNSTREAM INLETS PER DETAIL 10/C-501.
4. INSTALL STRAW WATTLES AROUND PERIMETER OF SITE PER DETAIL 9/C-501.
5. FOR TREE PROTECTION SEE LANDSCAPE PLANS.








**GENERAL NOTES**

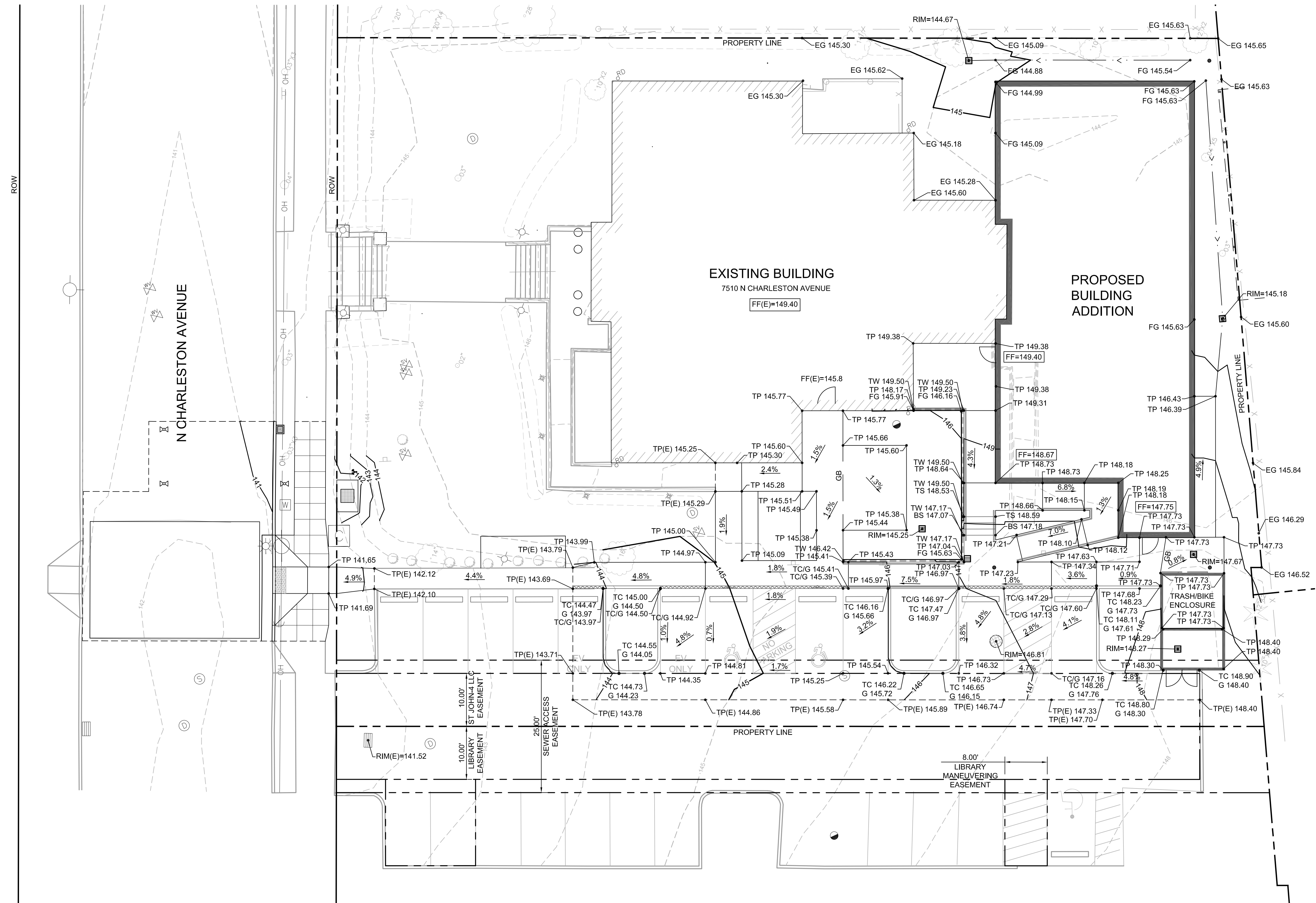
1. ALL WORK IN THE PUBLIC ROW UNDER SEPARATE PUBLIC WORKS PERMIT
2. INSTALL FILTER FABRIC INLET PROTECTION DOWNSTREAM INLETS
3. INSTALL SILT FENCE AROUND PERIMETER OF SITE

**SHEET LEGEND**

EG XXX.XX	EXISTING GRADE
FG XXX.XX	FINISHED GRADE
FF XXX.XX	FINISHED FLOOR ELEVATION
G XXX.XX	GRADE AT GUTTER
TC XXX.XX	GRADE AT TOP OF CURB
TP XXX.XX	GRADE AT TOP OF PAVEMENT
TW XXX.XX	GRADE AT TOP OF WALL
RIM	RIM ELEVATION
(E)	EXISTING

	STANDARD CURB PER 2/C-501
	FLUSH CURB PER 3/C-501
	SITE WALL PER STRUCTURAL



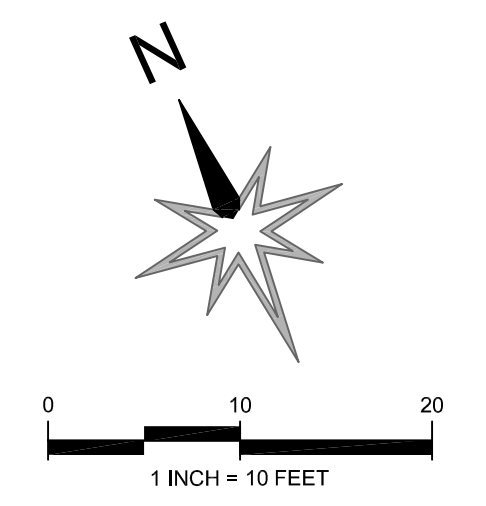
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NOT FOR  
CONSTRUCTION

MULTNOMAH COUNTY LIBRARIES  
ST JOHNS LIBRARY  
7510 N Charleston Ave, Portland, OR 97203

02/09/2024

100% DESIGN DEVELOPMENT

Drawn By: BAM	Checked By: MSW
Building Number: B603	Approved By: MSW
Multico Project Number: P78LB172021 07	
Sheet Title: <b>GRADING PLAN</b>	
Date: 02/09/2024	
<b>CG101</b>	
C Sheet 3 Of 11	





# LAYOUT AND PAVING NOTES

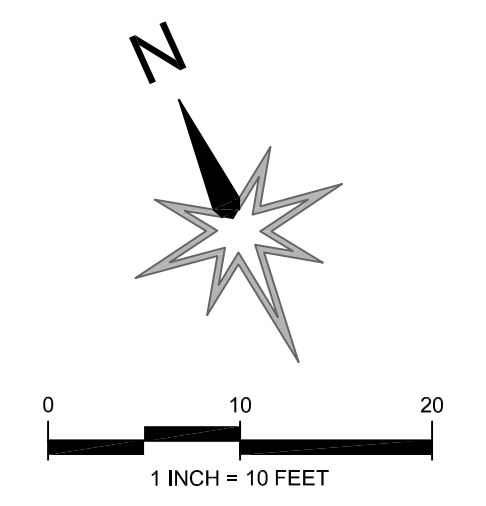
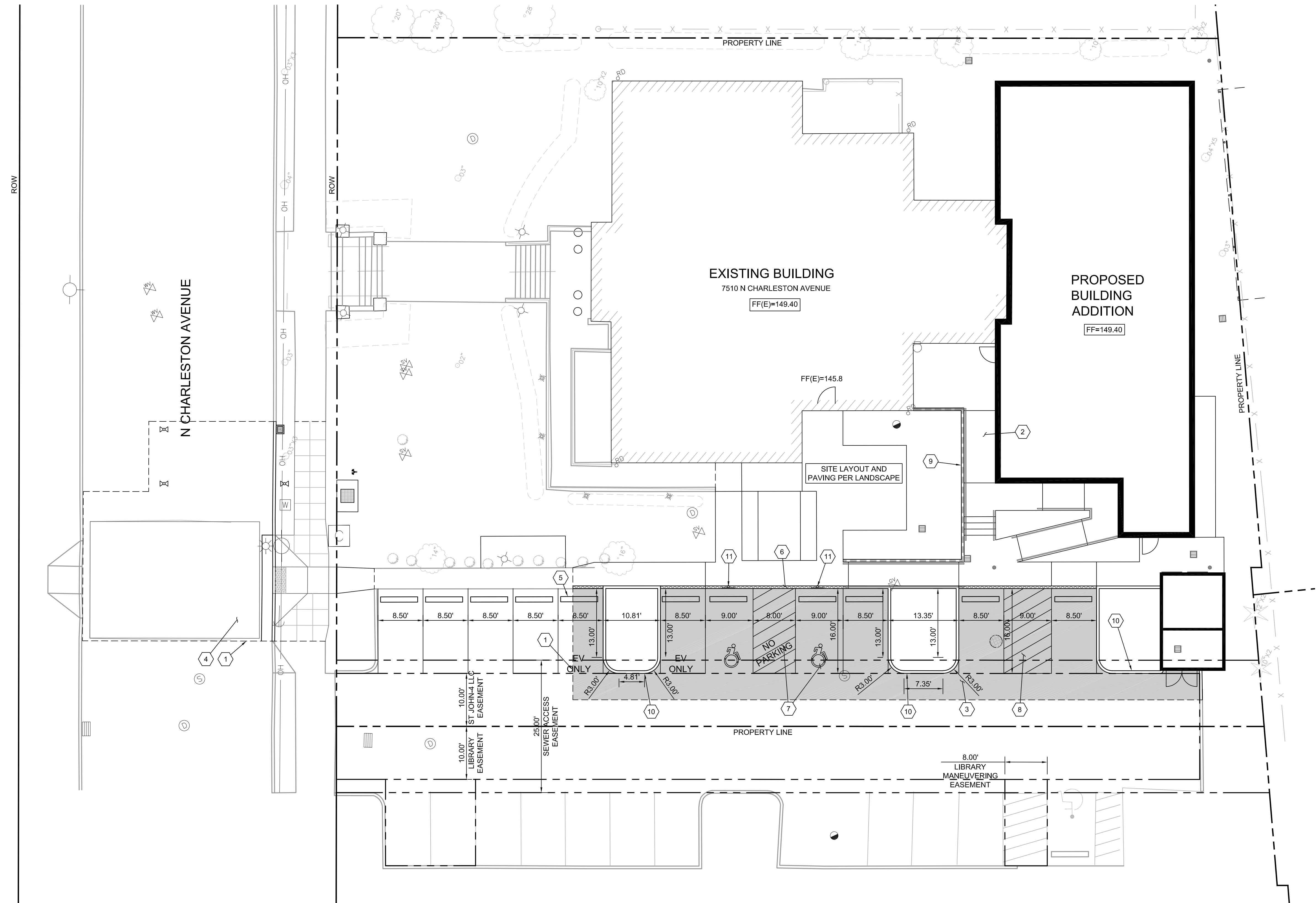
1. SAWCUT, TYP.
2. PEDESTRIAN PAVING MATERIALS AND LANDSCAPING PER LANDSCAPE PLANS, TYP.
3. PRIVATE ASPHALT PAVING, 2.5" AC OVER 9" AGGREGATE BASE PER DETAIL 1/C-501
4. PUBLIC PAVING RESTORATION, 3" AC OVER 8" AGGREGATE, PER CITY STANDARD, UNDER SEPARATE PUBLIC WORKS PERMIT
5. REUSE EXISTING WHEEL STOP, TYP.
6. FLUSH CURB PER DETAIL 3/C-501
7. DOUBLE ADA STALL PER DETAIL 5/C-501
8. LIBRARY BOOK DROPOFF ZONE
9. WALL PER STRUCTURAL
10. STANDARD CURB PER DETAIL 2/C-501
11. ADA PARKING SIGN PER 7/C-501

GENERAL NOTES

1. ALL WORK IN THE PUBLIC ROW UNDER SEPARATE PUBLIC WORKS PERMIT

SHEET LEGEND

- PRIVATE ASPHALT PAVING PER DETAIL 1/C-501
- STANDARD CURB PER 2/C-501
- FLUSH CURB PER 3/C-501
- SITE WALL PER STRUCTURAL



100% DESIGN DEVELOPMENT 02/09/2024



# STORMWATER NOTES

- NEW STORMWATER CONNECTION FROM BUILDING. IE=143.00
- NEW DRYWELL, 10' PERF SECTION, 16.67' TOTAL DEPTH, PER DETAIL 3/C-502 RIM=146.67 IE=141.00
- PROTECT EXISTING DRYWELL
- PROTECT EXISTING ROOF DRAIN
- 12" AREA DRAIN WITH ATRIUM GRATE PER DETAIL 5/C-502 RIM=145.25 IE=142.25
- 12" AREA DRAIN WITH ATRIUM GRATE PER DETAIL 5/C-502 RIM=144.67 IE=143.17
- CLEANOUT TO GRADE PER DETAIL 2/C-502
- CONNECT EXISTING ROOF DRAIN TO PROPOSED SYSTEM IE=142.50
- 12" AREA DRAIN WITH ATRIUM GRATE PER DETAIL 5/C-502 RIM=145.18 IE=142.68
- 12" AREA DRAIN WITH FLAT GRATE PER DETAIL 5/C-502 RIM=146.80 IE=143.80
- ROOF DRAIN CONNECTION FROM TRASH/BIKE ENCLOSURE
- PROTECT EXISTING DRYWELL AND ADJUST RIM TO FINISHED GRADE

# DOMESTIC WATER NOTES

- PROTECT EX. 1.5" DOMESTIC WATER METER
- NEW FIRE SERVICE, BY PORTLAND WATER BUREAU, UNDER SEPARATE PERMIT. CONTRACTOR TO CONNECT TO THE SHORT STUB-OUT AT BACK OF NEW VALVE
- FIRE PROTECTION CONNECTION TO BUILDING. SEE FIRE PROTECTION PLANS FOR CONTINUATION
- PROTECT EXISTING DOMESTIC WATER SERVICE CONNECTION TO BUILDING. SEE PLUMBING PLANS FOR CONTINUATION
- PREMISES ISOLATION (PI) 1.5" DCVA WITH SECONDARY 3/4" DCVA (DOMESTIC WATER) AND X" DCVA (FIRE) TO BE INSTALLED INSIDE ACCESSIBLE 687-WA VAULT AT PROPERTY LINE, PER DETAIL 1/C-502
- NEW IRRIGATION METER, BY PORTLAND WATER BUREAU, UNDER SEPARATE PERMIT. CONTRACTOR TO CONNECT TO THE SHORT STUB-OUT AT BACK OF NEW METER BOX
- CONNECT TO EXISTING WATER SYSTEM
- FIRE DEPARTMENT CONNECTION
- IRRIGATION POINT OF CONNECTION. SEE LANDSCAPE PLANS FOR CONTINUATION

# SANITARY NOTES

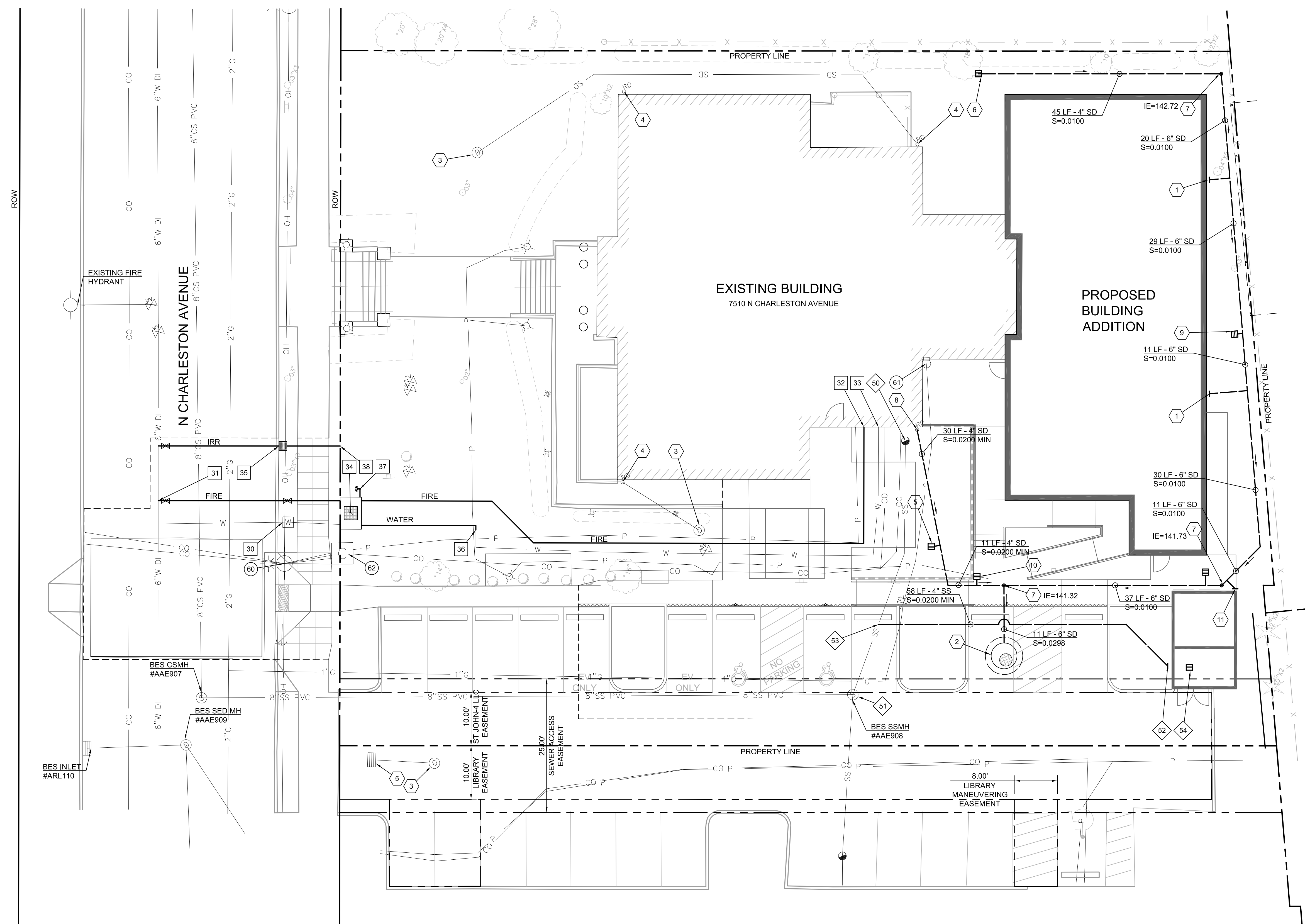
- PROTECT EXISTING SANITARY SEWER CONNECTION FROM BUILDING
- PROTECT EXISTING PUBLIC SANITARY SEWER MH #AAE908 AND ADJUST RIM TO FINISHED GRADE EX 8" IE, IN (N)=135.36 EX 8" IE, IN (S)=134.34 EX 8" IE, OUT (W)=135.26
- NEW 4" SANITARY CONNECTION FROM TRASH ENCLOSURE
- CONNECT TO EXISTING 8" SANITARY SERVICE. CONTRACTOR TO VERIFY SIZE, IE AND CONDITION IN FIELD
- TRASH ENCLOSURE DRAIN PER PLUMBING
- PROTECT EXISTING UTILITY POLE AND COBRA HEAD STREET LIGHT
- PROTECT EXISTING GAS METER
- PROTECT EXISTING TELECOM SERVICE

GENERAL NOTES

- ALL WORK IN PUBLIC RIGHT-OF-WAY UNDER SEPARATE PUBLIC WORKS PERMIT.
- ALL DOMESTIC WATER AND FIRE PROTECTION WORK IN THE PUBLIC RIGHT OF WAY BY PORTLAND WATER BUREAU AT OWNER'S EXPENSE. CONTRACTOR TO COORDINATE WORK WITH PORTLAND WATER BUREAU.
- INSTALL FOUNDATION DRAIN PER DETAIL 4/C-501. CONNECT FOUNDATION DRAIN TO STORM SYSTEM WITH A CLEANCHECK BACKWATER VALVE.

# OTHER UTILITY NOTES

- PROTECT EXISTING UTILITY POLE AND COBRA HEAD STREET LIGHT
- PROTECT EXISTING GAS METER
- PROTECT EXISTING TELECOM SERVICE



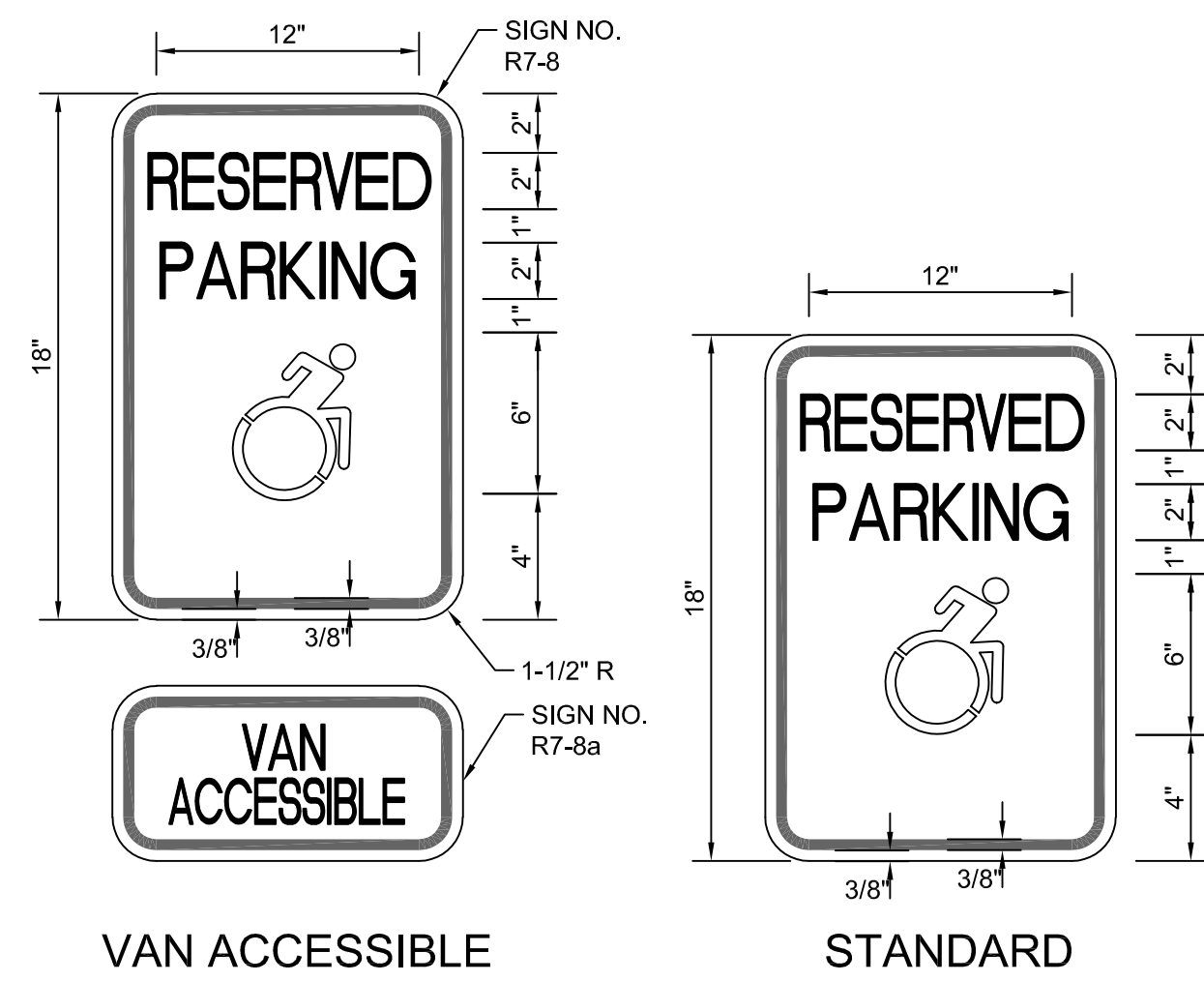


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MULTNOMAH COUNTY LIBRARIES  
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7510 N Charleston Ave, Portland, OR 97203

Drawn By: BANI  
Checked By: MSW  
Building Number: B603  
Approved By: MSW  
Multico Project Number: P78LB172021 07  
Sheet Title: CIVIL DETAILS

Date: 02/09/2024  
C-501  
C Sheet 6 Of 11



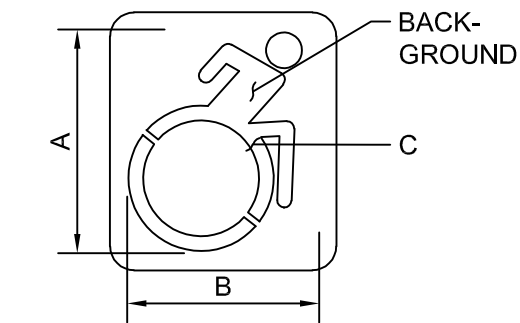
VAN ACCESSIBLE STANDARD

- NOTES:
- SIGN BACKGROUND: WHITE, RETROREFLECTIVE SHEETING
  - SIGN LEGEND: GREEN, RETROREFLECTIVE SHEETING
  - SIGN SYMBOL (R7-8 ONLY): WHITE ON BLUE, RETROREFLECTIVE SHEETING

7 ACCESSIBLE PARKING SIGNS

NTS

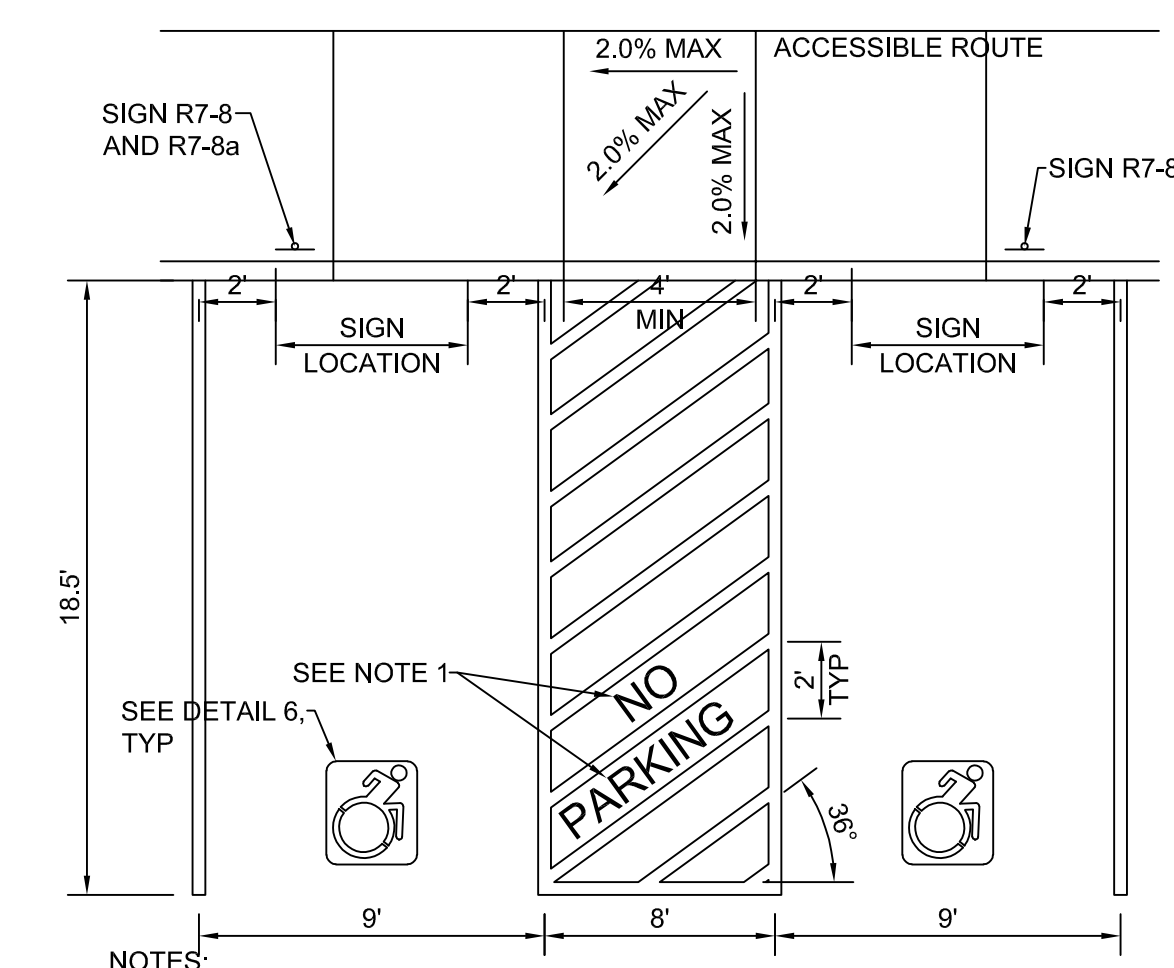
LEGEND	DIMENSIONS (INCHES)		
	A	B	C
MINIMUM	28	24	3
STANDARD	41	36	4



- NOTES:
- PAVEMENT MARKING BACKGROUND: OPTIONAL: BLUE, RETROREFLECTIVE
  - PAVEMENT MARKING STENCIL: WHITE, RETROREFLECTIVE

6 ACCESSIBLE PARKING EMBLEM

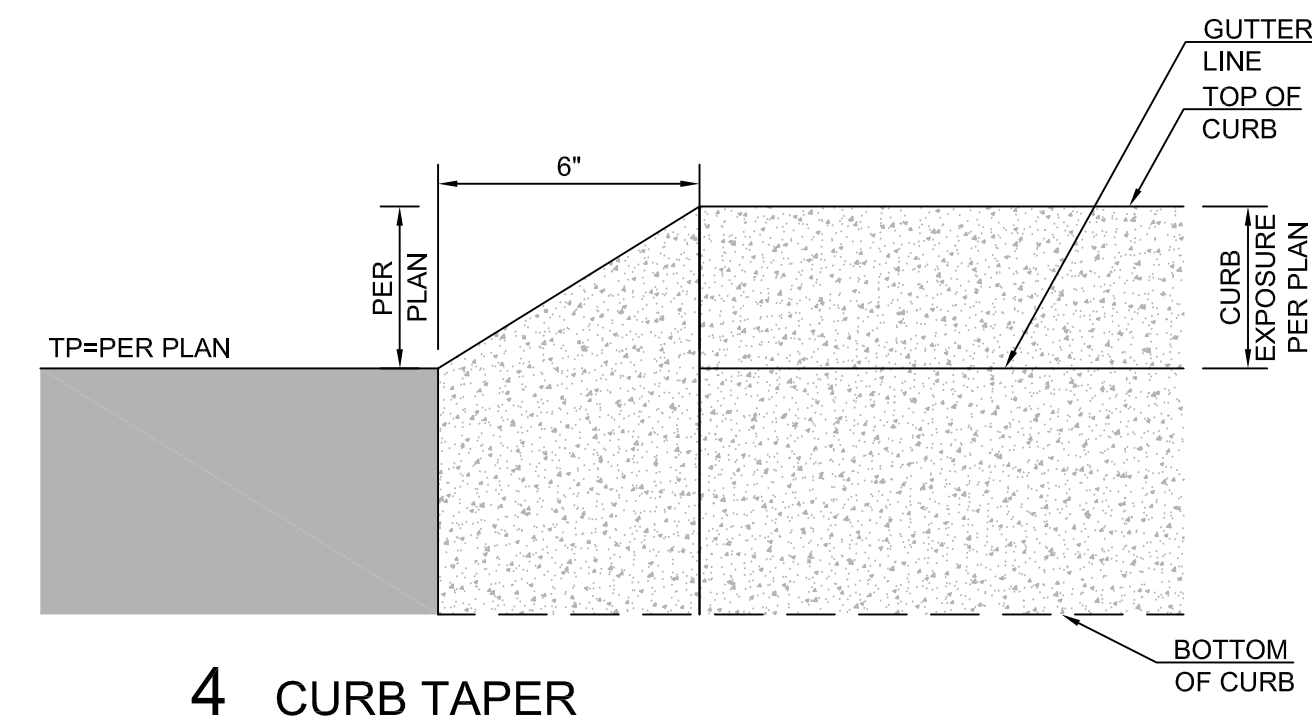
NTS



- NOTES:
- PAVEMENT MARKING: WHITE OR YELLOW, RETROREFLECTIVE. "NO" SHALL BE 18" L X 12" H, AND "PARKING" SHALL BE 60" L X 12" H.

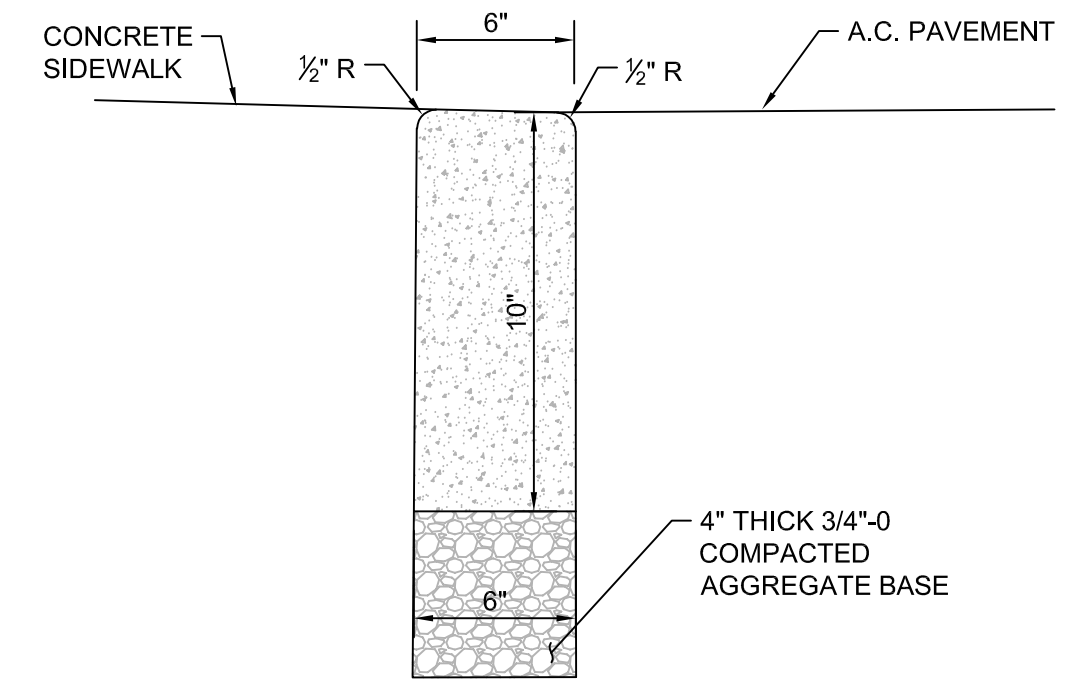
5 DOUBLE-ACCESSIBLE PARKING SPACE

NTS



4 CURB TAPER

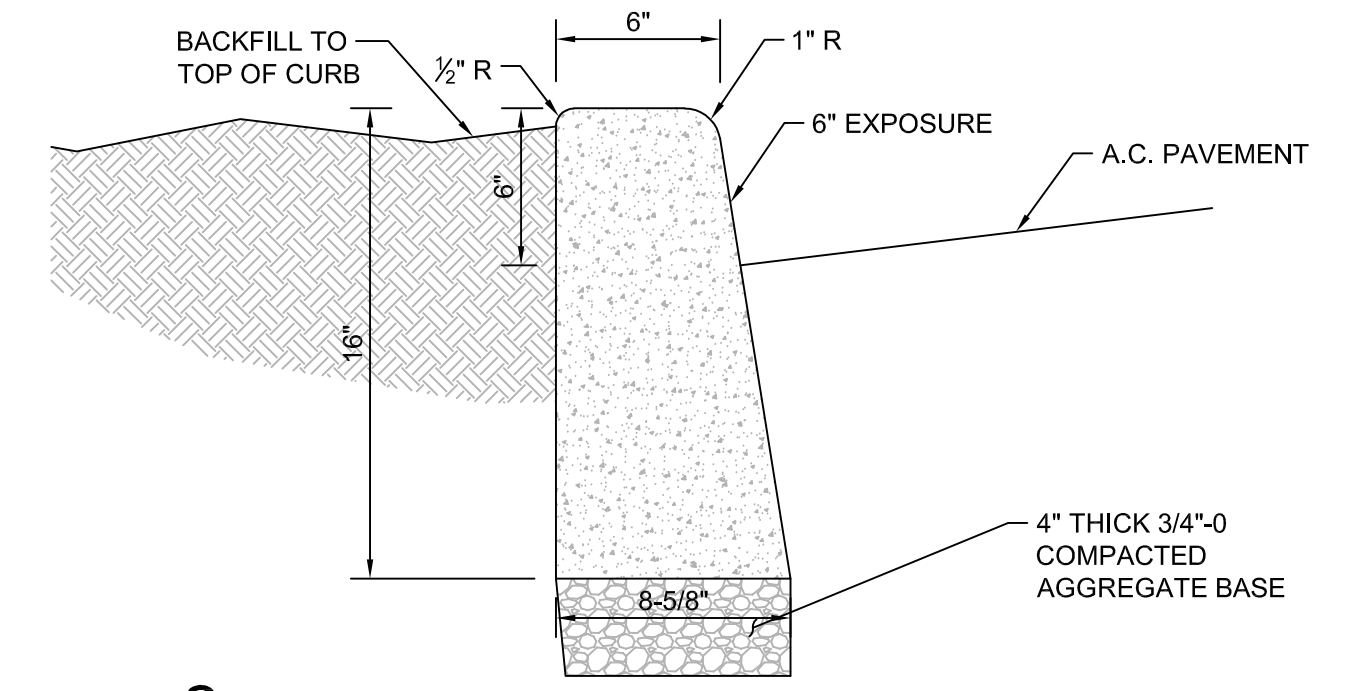
NTS



- NOTES:
- SET ADJACENT SURFACES FLUSH WITH CURB.

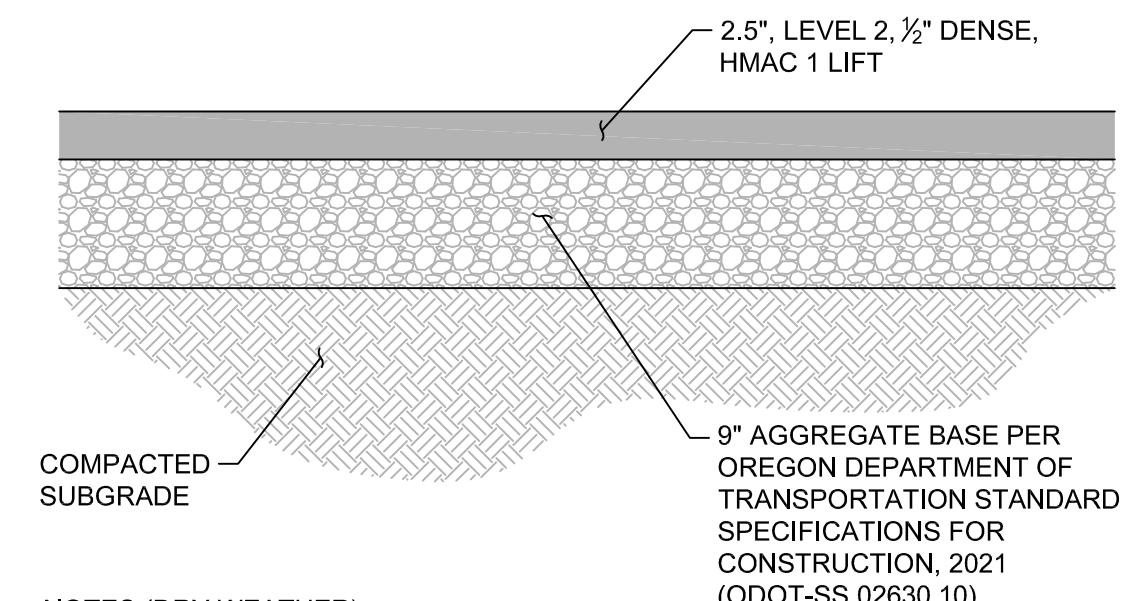
3 FLUSH CONCRETE CURB

NTS



2 STANDARD CONCRETE CURB

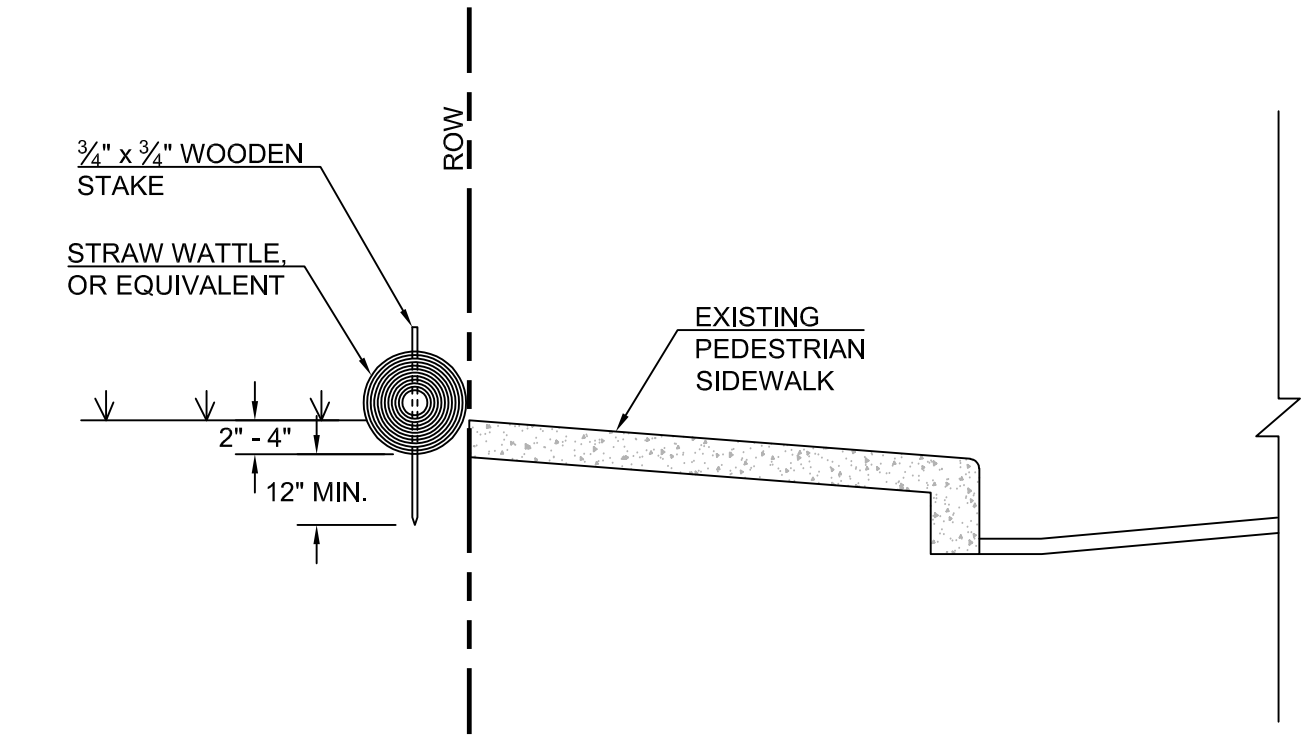
NTS



- NOTES (DRY WEATHER):
- AGGREGATE BASE PARTICLE SIZE NOT TO EXCEED 1 1/2". AGGREGATE BASE SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY PER ASTM D1557.
  - AC PAVEMENT SHALL BE COMPACTED TO 91% OF RICE DENSITY OF THE MIX, AS DETERMINED BY ASTM D 2041.
  - NATIVE SOIL SUBGRADE SHALL BE COMPACTED TO NOT LESS THAN 92% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557. IMPORTED STRUCTURAL FILLS SHALL BE PREPARED PER THE GEOTECHNICAL REPORT, PREPARED BY PBS, SEPTEMBER 28, 2023.

1 ASPHALT PAVING SECTION

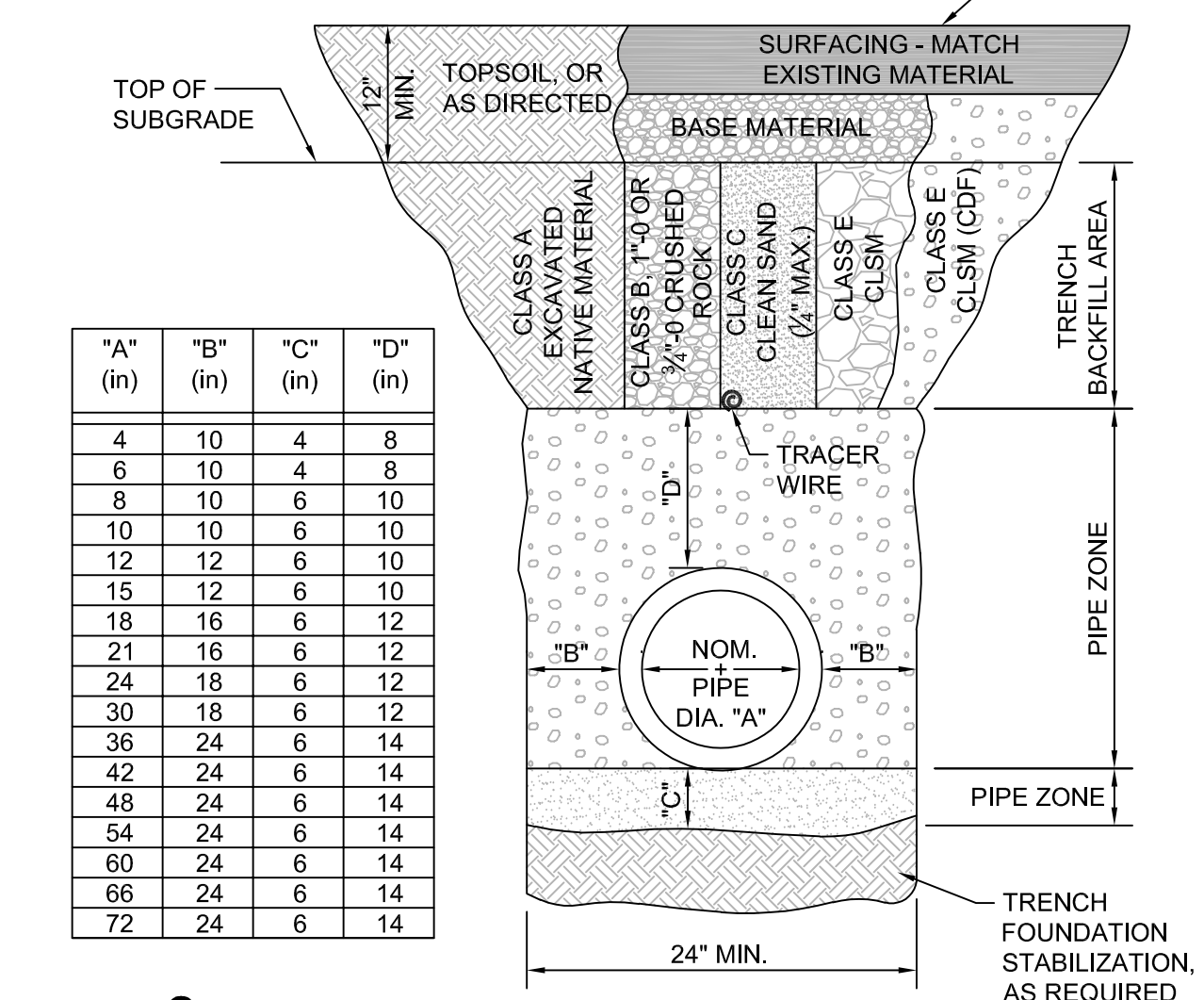
NTS



9 WATTLE INSTALLATION

NTS

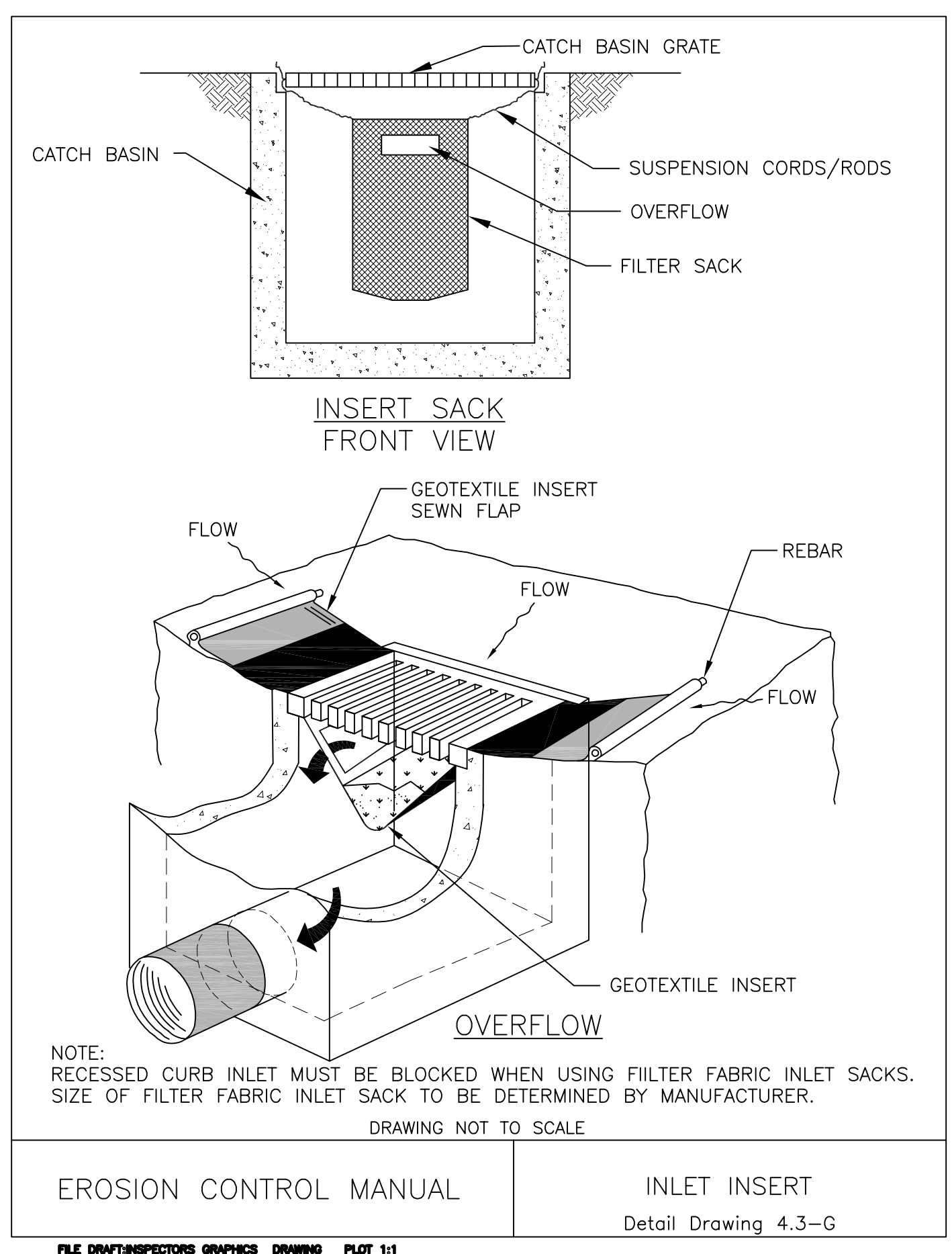
DIAMETER	MIN. SPACE BETWEEN PIPES
UP TO 48"	24"
UP TO 72"	ONE HALF (1/2) DIA. OF PIPE



8 TRENCH BACKFILL

NTS

"A" (in)	"B" (in)	"C" (in)	"D" (in)
4	10	4	8
6	10	4	8
8	10	6	10
10	10	6	10
12	12	6	10
15	12	6	10
18	16	6	12
21	16	6	12
24	18	6	12
30	18	6	12
36	24	6	14
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48	24	6	14
54	24	6	14
60	24	6	14
66	24	6	14
72	24	6	14

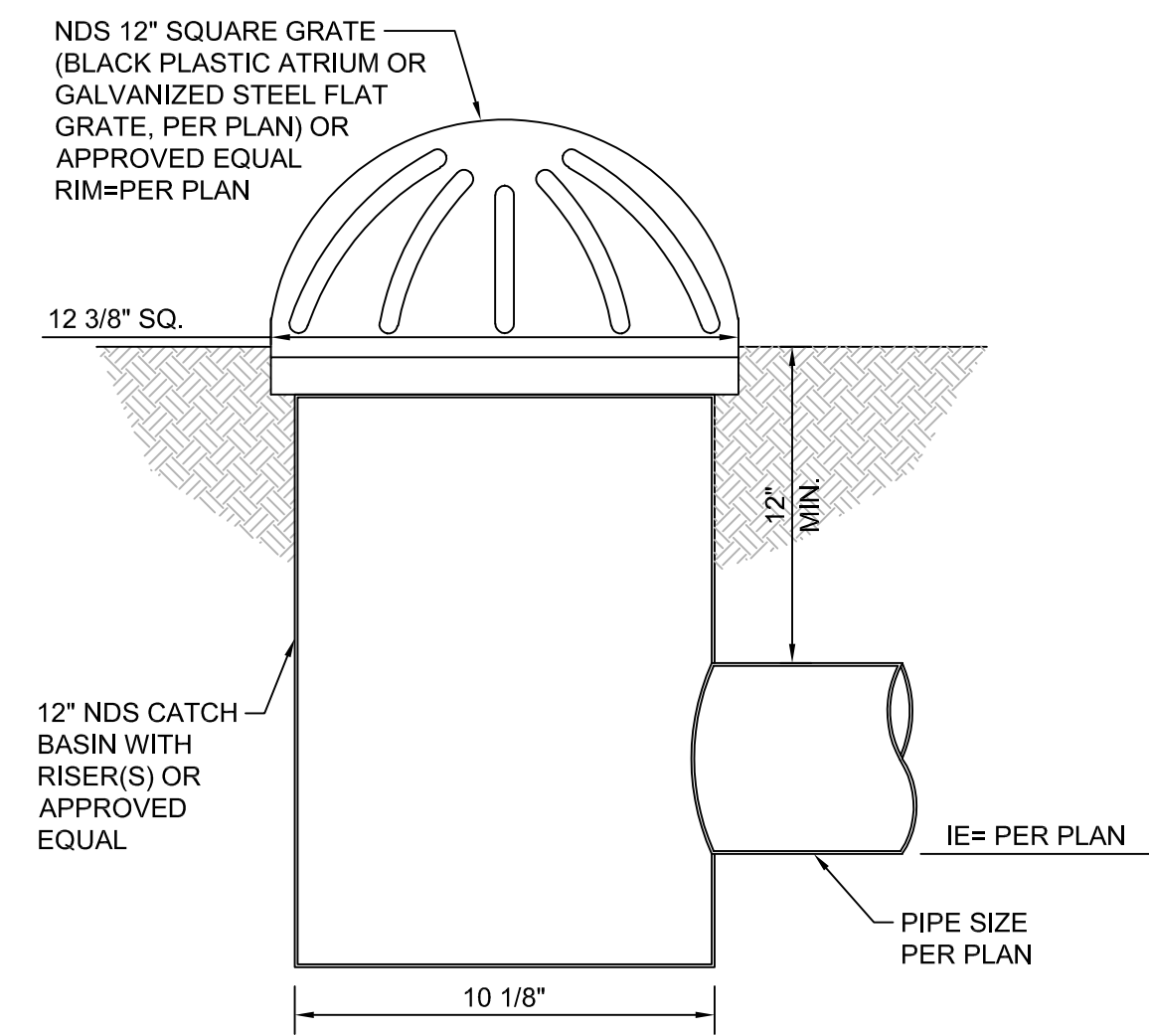


10 FILTER FABRIC INLET PROTECTION

NTS

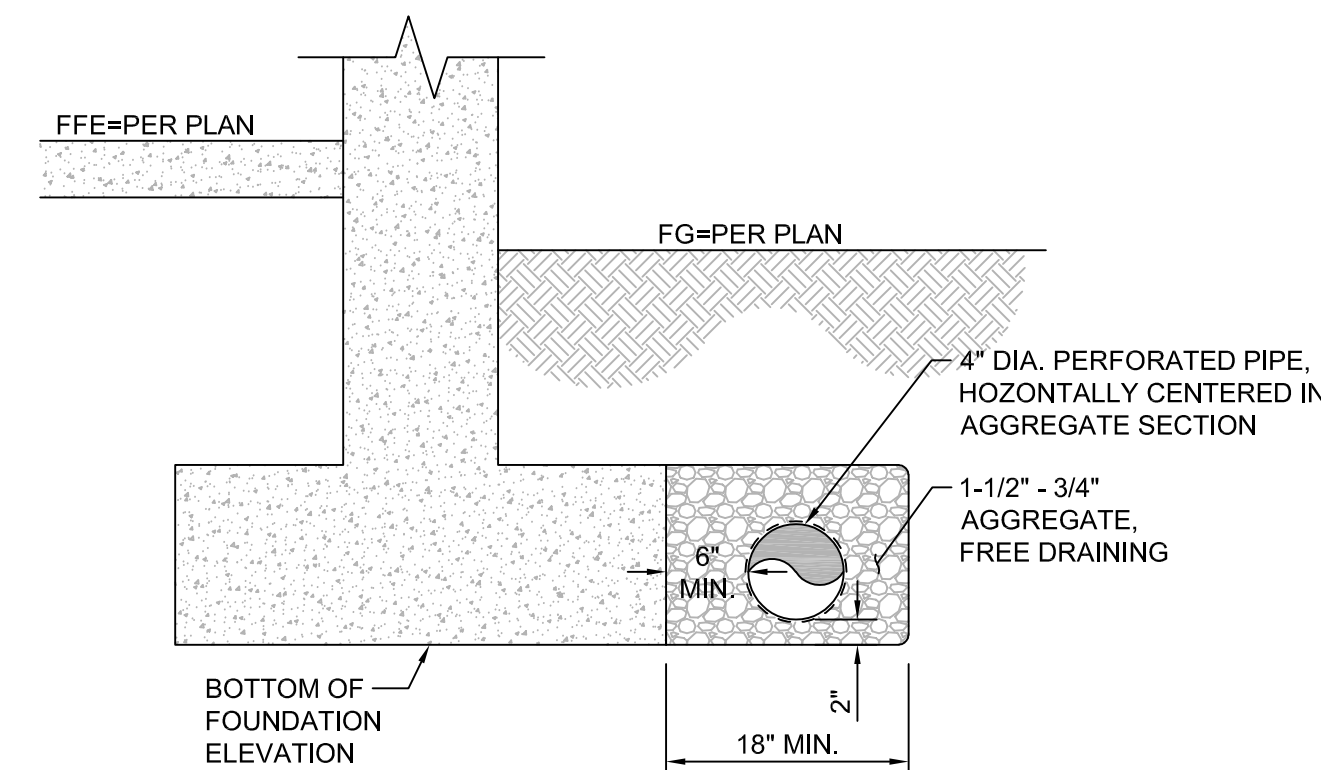
EROSION CONTROL MANUAL  
INLET INSERT  
Detail Drawing 4.3-G





5 AREA DRAIN

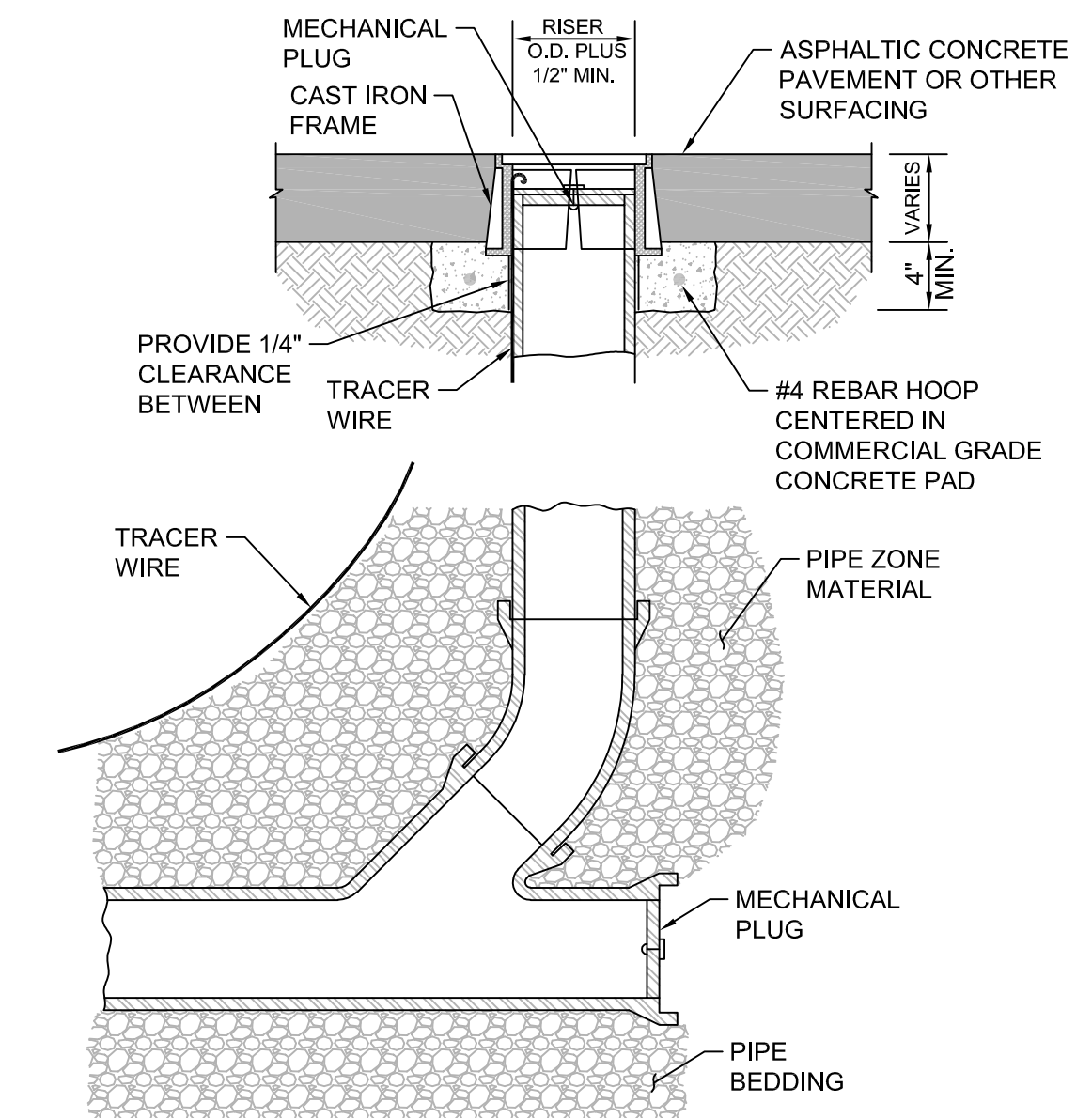
NTS



- NOTES:
- SEE STRUCTURAL PLANS FOR CONCRETE FOUNDATION INFORMATION
  - PERFORATED PIPE AND SURROUNDING DRAIN ROCK TO BE WRAPPED IN NON-WOVEN GEOTEXTILE (MIRAFI 140N OR APPROVED EQUIVALENT).

4 TYPICAL FOUNDATION DRAIN

NTS

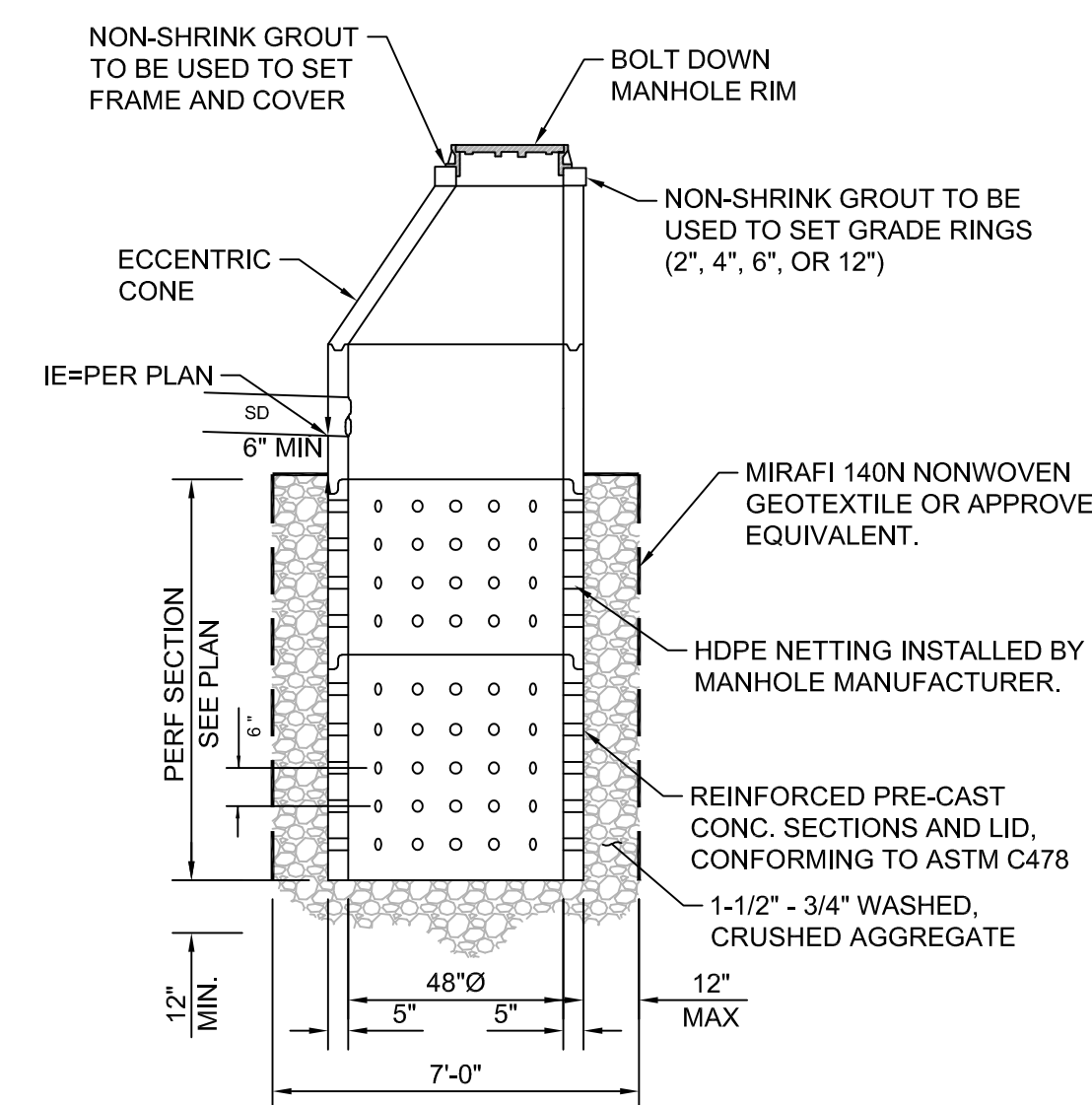


2 SANITARY/STORMWATER CLEANOUT

NTS

DRYWELL TESTING NOTES

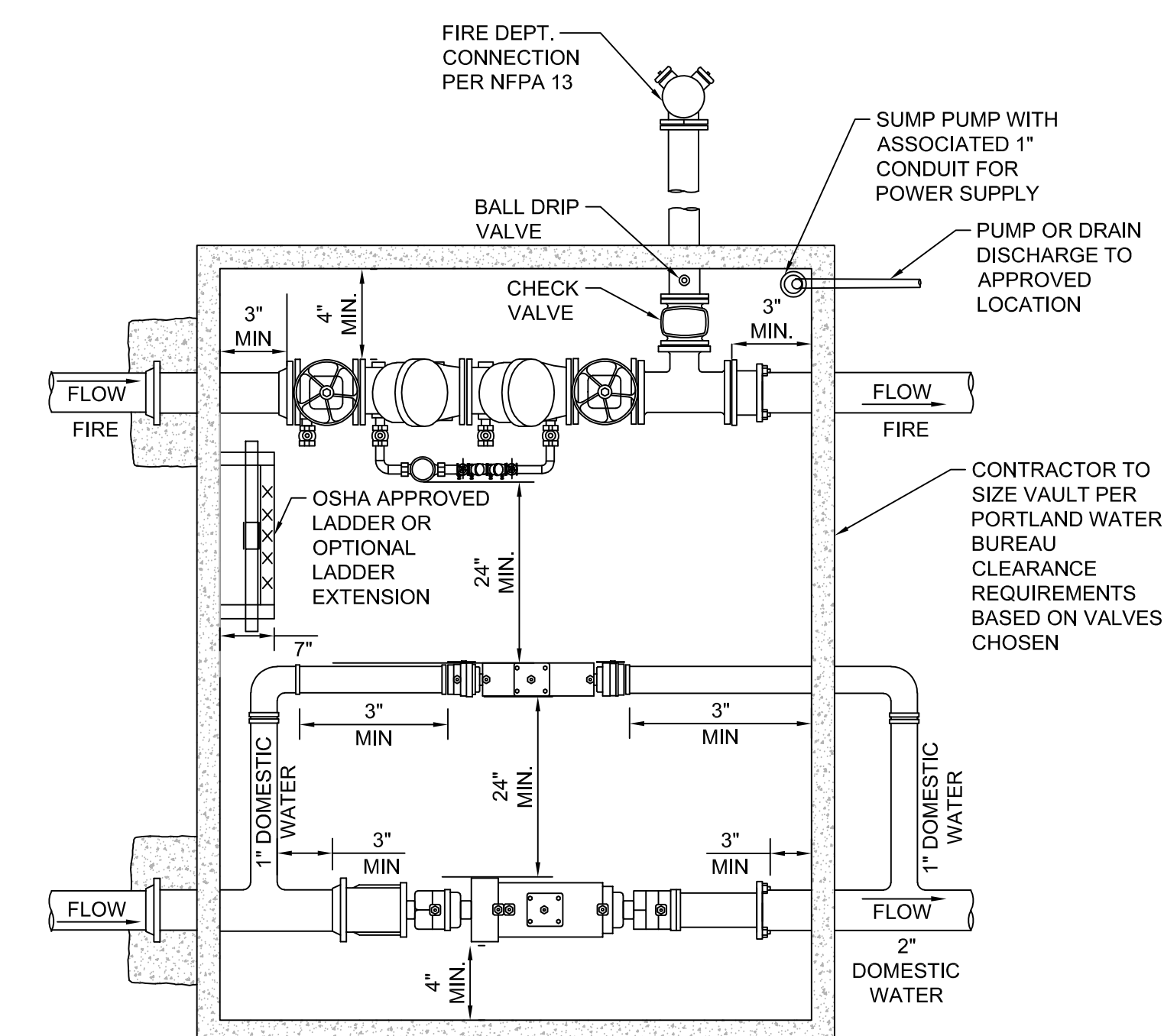
- DRYWELL(S) SHALL HAVE THE CAPACITY TO DISPOSE OF STORMWATER AT THE RATE LISTED IN TABLE.
- DRYWELL(S) SHALL BE TESTED AFTER CONSTRUCTION OF THE DRYWELL STRUCTURE (INCLUDING DRAIN ROCK AND PERIMETER BACKFILL) BUT PRIOR TO THE CONSTRUCTION OF THE TOP SLAB AND FINISH BACKFILL.
- TESTING MUST BE COMPLETED BY A COMPANY CAPABLE OF PERFORMING DRYWELL TEST AT REQUIRED RATES.
- NOTIFY CIVIL AND GEOTECHNICAL ENGINEERS 7 DAYS PRIOR TO TESTING AND PROVIDE WRITTEN PLAN FOR TESTING INCLUDING WATER SOURCE.
- CONTRACTOR SHALL CONTACT CITY OF PORTLAND WATER BUREAU OR APPLICABLE WATER DISTRICT TO ARRANGE FOR DRYWELL TEST WATER SUPPLY. CONTRACTOR SHALL BEAR RESPONSIBILITY FOR SECURING ALL NECESSARY PERMITS, AUTHORIZATION AND ANY FEES. IF NO WATER SUPPLY AVAILABLE, WATER TRUCK(S) MUST BE USED.
- CONTRACTOR SHALL ARRANGE FOR THE PROVISION OF ALL DRYWELL TESTING EQUIPMENT, INCLUDING BUT NOT LIMITED TO FLOW METER READING IN GPM, PIPING, AND TRAFFIC CONTROL.
- CLEAN WATER SHALL BE PROVIDED TO TEST DRYWELLS, AS APPROVED. INTRODUCTION OF SEDIMENT MAY RESULT IN FAILURE OF THE DRYWELL CAPACITY TEST.
- FILL DRYWELL ABOVE PERFORATED SECTIONS, SHUT OFF WATER, AND RECORD HEIGHT OF WATER EVERY 5 MINUTES DURING DRAWDOWN. IF DRYWELL WILL NOT FILL UP, MAINTAIN A CONSTANT FLOW RATE SHOWN ON TABLE. IF REDUCTION OF DRYWELLS IS DESIRED, CONTACT ENGINEER FOR PROCEDURE.
- SHOULD DRYWELL(S) FAIL TO TEST AT THE MINIMUM DESIGN RATE, ADDITIONAL DRYWELLS MUST BE CONSTRUCTED IN ORDER TO ACHIEVE THE REQUIRED MINIMUM DISPOSAL RATE. ENGINEER MUST GET APPROVAL OF NEW DRYWELL LOCATIONS PRIOR TO INSTALLATION.



DRYWELL TESTING TABLE	
DRYWELL	FLOW RATE (GPM)
DW-1	63
TOTAL	63

3 DRYWELL

NTS

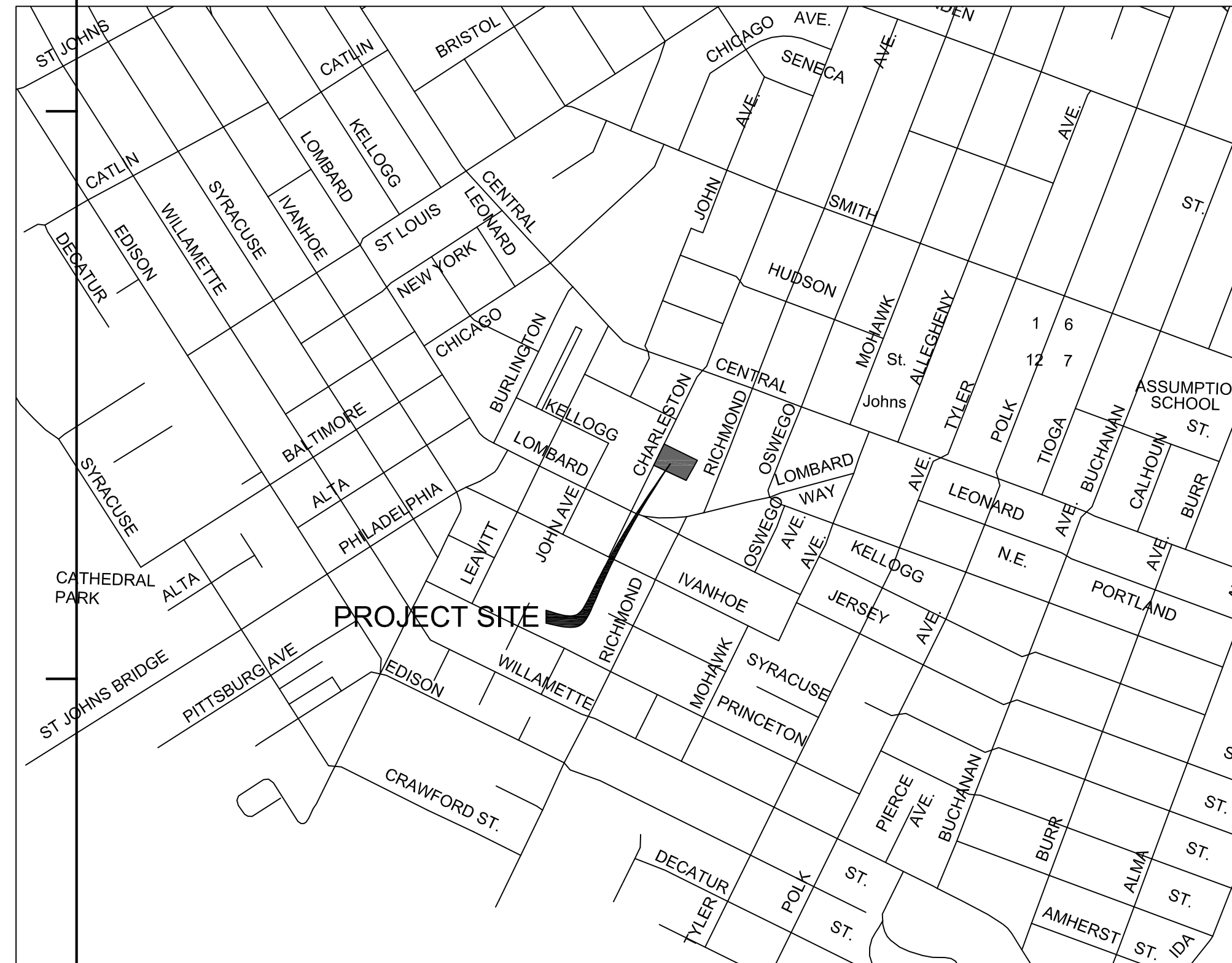


1 WATER/FIRE BACKFLOW VAULT

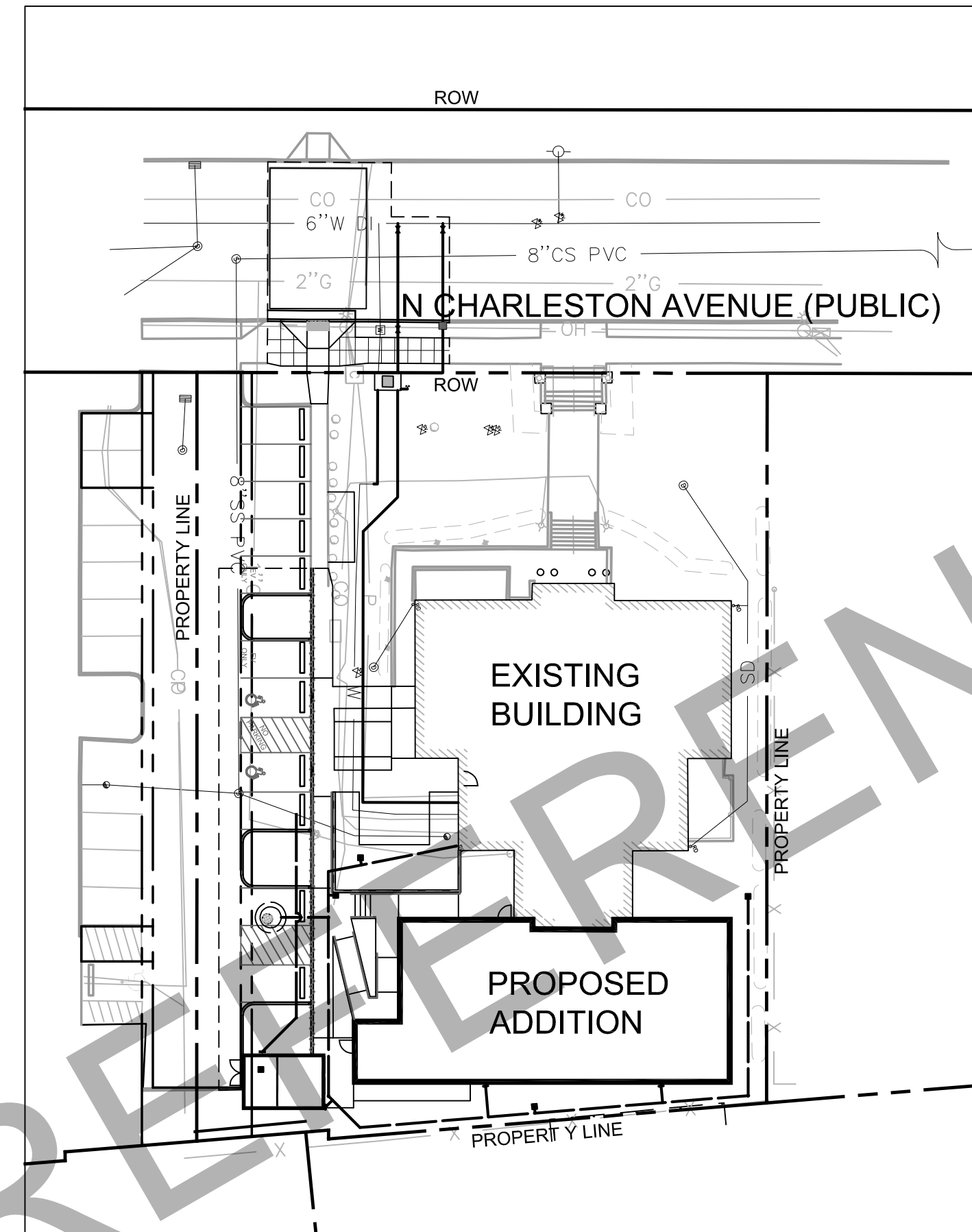
NTS



# FRONTAGE IMPROVEMENTS FOR N CHARLESTON AVENUE



VICINITY MAP  
SCALE: 1"=600'



SITE MAP  
SCALE: 1"=30'

EXISTING	DESCRIPTION	PROPOSED
⊙ ⊕	MANHOLE	
▢	CATCH BASIN	▢
⊠	WATER METER	⊠
→	GUY WIRE ANCHOR	←
⊗	UTILITY POLE	⊗
⊥	SIGN	⊥
⊙	STREET LIGHT	⊙
⊙	HYDRANT	⊙
	TREE	⊙
---	PROPERTY LINE / ROW	---
---	CENTERLINE	---
---	SAWCUT LINE	---
---	EDGE OF PAVEMENT	---
---	CURB	---
--- X" SD ---	STORM DRAIN	--- X" SD ---
--- X" SS ---	SANITARY SEWER	--- X" SS ---
--- X" CS ---	COMBINED SEWER	--- X" CS ---
--- X" W ---	FIRE	--- X" W ---
--- X" W ---	WATER	--- X" W ---
--- OH ---	OVERHEAD UTILITY	---
--- G ---	GAS	---
--- PWR ---	POWER	---
--- CO ---	COMMUNICATIONS	---
---	CONCRETE SIDEWALK	---
--- 101 ---	MINOR CONTOUR	---
--- 100 ---	MAJOR CONTOUR	---

### PROJECT CONTACTS

**OWNER:**  
MULTNOMAH COUNTY LIBRARY DISTRICT  
401 N DIXON ST  
PORTLAND, OR 97227  
(503) 988-5123  
CONTACT: ELISE HENDRICKSON

**ENGINEER:**  
VEGA CIVIL ENGINEERING, LLC  
1300 SE STARK STREET #201  
PORTLAND, OR 97214  
(503) 662-1901  
CONTACT: MARTHA WILLIAMSON, PE

**SURVEYOR:**  
PBS ENGINEERING AND ENVIRONMENTAL INC.  
4412 SW CORBETT AVENUE  
PORTLAND, OR 97239  
(503) 248-1939  
CONTACT: TERRY GOODMAN, P.L.S.

### STORMWATER NARRATIVE

PUBLIC STORMWATER WILL CONTINUE TO BE COLLECTED VIA EXISTING STORMWATER INLETS AND DISCHARGED TO THE PUBLIC COMBINED SEWER SYSTEM.

PRIVATE STORMWATER WILL BE MANAGED USING AN ONSITE INFILTRATION DRYWELL. STORMWATER WILL BE COLLECTED VIA AREA DRAINS, CATCH BASINS AND ROOF DRAINS AND DISCHARGED TO THE ONSITE DRYWELL.

### ABBREVIATIONS

AC	ASPHALTIC CONCRETE	LT	LEFT
BC	BOTTOM OF CURB	MAX	MAXIMUM
BGS	BELOW GROUND SURFACE	MIN	MINIMUM
BPZ	BACK OF PEDESTRIAN ZONE	NO	NUMBER
BZF	BUILDING FRONTAGE ZONE	NTS	NOT TO SCALE
CL	CENTERLINE	ODOT	OREGON DEPARTMENT OF TRANSPORTATION
CONC	CONCRETE	PBOT	PORTLAND BUREAU OF TRANSPORTATION
CONST	CONSTRUCT	PC	POINT OF CURVATURE
COP	CITY OF PORTLAND	PROP	PROPOSED
D	DISTANCE	PT	POINT OF TANGENCY
DWG	DRAWING	PVMT	PAVEMENT
EXIST/(E)	EXISTING	FZ	PEDESTRIAN ZONE
EG	EXISTING GROUND	R	RADIUS
FS	FIRE SERVICE	ROW	RIGHT OF WAY
FPZ	FRONT OF PEDESTRIAN ZONE	RT	RIGHT
FZ	FURNISHING ZONE	SD	STORM DRAIN
G/GUT	GUTTER	STA	STATION
GB	GRADE BREAK	STD	STANDARD
H	HORIZONTAL	TC	TOP OF CURB
HP	HIGH POINT	TP	TOP OF PAVEMENT
IE	INVERT ELEVATION	TYP	TYPICAL
L	LENGTH	V	VERTICAL

### SHEET INDEX

SHEET #	SHEET TITLE
1	COVER SHEET
2	GENERAL NOTES
2A	COMPOSITE SITE PLAN
3	N CHARLESTON AVENUE PLAN

POTENTIAL UNDERGROUND FACILITY OWNERS

**Dig Safely.**  
Call the Oregon One-Call Center  
DIAL 811 or 1-800-332-2344

**EMERGENCY TELEPHONE NUMBERS**

NW NATURAL GAS	1-800-483-1000
M-F 7am-6pm	503-226-4211 Ext.4313
AFTER HOURS	503-226-4211
PGE	503-464-7777
CENTURYLINK	1-800-573-1311
CITY BUREAU OF MAINTENANCE	503-823-1700
CITY WATER	503-823-4874
VERIZON	1-800-483-1000

**NOTICE TO EXCAVATORS:**  
ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER.  
(NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503)-232-1987).

NO.	DATE	DESCRIPTION	APPD.
		REVISIONS	
		FINAL MAP DATA	

DESIGNED BY	DATE APPROVED
BAH	
CAD BY	SECTION ENGR
PRM	
MAP CORRECTED BY	
CHECKED BY	PBOT REVIEWER
MSW	

APPROVALS:

PBOT ENGINEERING SUPERVISOR	REG. PROF. ENGR. 79427PE
PBOT CITY ENGINEER	REG. PROF. ENGR. 18563PE

PORTLAND  
BUREAU OF TRANSPORTATION

MINGUS MAPPS  
COMMISSIONER

TODD LILES, P.E.  
CITY ENGINEER

**VEGA**  
CIVIL ENGINEERING LLC  
503.662.1901 | WWW.VEGACIVIL.COM

FRONTAGE IMPROVEMENTS FOR  
N CHARLESTON AVENUE

COVER SHEET

PBOT JOB NO.	THXXXX
SHEET NO.	1 OF 3



Drawn By:	BAH	Checked By:	MSW
Building Number:	6603	Approved By:	MSW
Multico Project Number:	P78LB172021 07		

Sheet Title	PWP - GENERAL NOTES
Date	02/09/2024
Sheet No.	C-702
	C Sheet 9 Of 11

GENERAL NOTES

GENERAL

1. ERRORS AND OMISSIONS ARE THE RESPONSIBILITY OF THE "ENGINEER OF RECORD". IF ERRORS OR OMISSIONS ARE FOUND AFTER THE PERMIT HAS BEEN ISSUED, THE PERMITTEE OR ITS CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD (MARTHA WILLIAMSON OF VEGA CIVIL ENGINEERING, LLC AT 503-662-1901) TO HAVE THE CORRECTIONS MADE. ALL CHANGES WILL REQUIRE THE APPROVAL OF THE CITY ENGINEER PRIOR TO THE START OF WORK.
2. THE CONTRACTOR SHALL HAVE ON SITE AT ALL TIMES THE APPROVED CONSTRUCTION PLANS & SPECIAL SPECIFICATIONS, CITY OF PORTLAND STANDARD CONSTRUCTION SPECIFICATIONS, AND ALL OTHER APPLICABLE SPECIFICATIONS BOOKS AND MANUALS. ELECTRONIC EQUIVALENTS ARE ACCEPTABLE.
3. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THESE DRAWINGS AND THE APPLICABLE REQUIREMENTS OF THE CURRENT EDITION OF THE CITY OF PORTLAND STANDARD CONSTRUCTION SPECIFICATIONS AND ALL REVISIONS AND SPECIAL SPECIFICATIONS, IN PLACE AT THE TIME OF PLAN APPROVAL.
4. A PRECONSTRUCTION CONFERENCE WITH CITY STAFF AND AN APPROVED TEMPORARY TRAFFIC CONTROL PLAN (ISSUED IN CONJUNCTION WITH A STREET/SIDEWALK CLOSURE PERMIT) ARE REQUIRED BEFORE COMMENCING WORK. SEE PERMIT FOR SCHEDULING A PRECONSTRUCTION CONFERENCE AND ACQUISITION OF THE TTCO.
5. ELEVATIONS ARE BASED ON CITY OF PORTLAND BENCHMARK #3054, BEING A MAG NAIL WITH WASHER LOCATED AT THE SOUTHEAST CORNER OF N CENTRAL STREET AND N RICHMOND AVENUE HAVING AN ELEVATION 135.349'.
6. EXISTING UTILITIES AND SITE FEATURES SHOWN ON THESE PLANS ARE BASED ON A SURVEY BY PBS ENGINEERING AND ENVIRONMENTAL INC. AT (503) 248-1939. UTILITIES WERE LOCATED ON 7/24/2023 MT. VIEW LOCATING SERVICES.
7. THE CONTRACTOR SHALL REESTABLISH ANY SURVEY MONUMENTS DAMAGED OR DESTROYED DURING CONSTRUCTION. SURVEY MONUMENTS SHALL BE REESTABLISHED BY A LICENSED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.

UNANTICIPATED CONTAMINATED MATERIAL

8. REMOVE AND DISPOSE OF (AT A PROPER LOCATION OR LANDFILL) ALL MATERIALS EXCAVATED FROM WORK IN THE RIGHT-OF-WAY. FOR DISPOSAL ON PRIVATE PROPERTY, SECURE A FILL PERMIT, PRIOR TO BEGINNING WORK FROM THE BUREAU OF DEVELOPMENT SERVICES (BDS). PROVIDE A COPY OF THE APPROVED FILL PERMIT TO THE STREET CONSTRUCTION INSPECTOR.

FOR UNANTICIPATED CONTAMINATED MEDIA ENCOUNTERED, THE PERMITTEE/APPLICANT OR ITS AGENT SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE MANAGEMENT, AND DISPOSAL OF CONTAMINATED MEDIA ENCOUNTERED. THE PERMITTEE IS ALSO RESPONSIBLE FOR ALL RESULTANT DELAYS. CONTACT INSPECTOR AND REFER TO ALL APPLICABLE SPECIFICATIONS AND AS AMENDED BY SPECIAL PROVISIONS.

THE PERMITTEE/CONTRACTOR SHALL PROVIDE THE CITY (CONSTRUCTION ENGINEERING AND INSPECTION) WITH COPIES OF ALL DISPOSAL PERMITS FROM THE PERMITTED DISPOSAL FACILITY, ANALYTICAL RESULTS USED TO GAIN ACCEPTANCE OF THE CONTAMINATED MEDIA, AND DISPOSAL RECEIPTS/DAILY WEIGH SLIPS. DAILY WEIGH SLIP AMOUNTS SHALL BE CHECKED AGAINST INSPECTOR'S DAILY REPORTS. THE PERMITTEE MUST USE AN OREGON FACILITY FOR DISPOSAL OF THE CONTAMINATED MEDIA.

UTILITIES

9. UTILITIES SHOWN ON THESE PLANS ARE FOR INFORMATION AND COORDINATION PURPOSES ONLY AND ARE NOT AUTHORIZED FOR INSTALLATION UNDER THE PUBLIC STREET IMPROVEMENT PERMIT. PRIVATE AND PUBLIC UTILITY COMPANIES ARE REQUIRED TO SECURE SEPARATE UTILITY PERMITS FROM PBOT FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.

STREET PAVEMENT

10. ALL MANHOLE LIDS AND VALVE BOXES AND OTHER LIDS SHALL BE ADJUSTED TO FINISHED STREET GRADE.
11. EXISTING ASPHALT CONCRETE PAVEMENT SECTION SHALL BE RESTORED PER CITY STD. DWG. NO. P-505 AND P-516. THE STREET INSPECTOR WILL MAKE THE FINAL DETERMINATION OF THE LIMITS OF PAVEMENT RESTORATION, INCLUDING SAWCUT LINES. THE PERMITTEE/CONTRACTOR SHALL CONSULT WITH THE STREET INSPECTOR PRIOR TO SAWCUTTING OR DEMOLISHING PAVEMENT.

CURBS, SIDEWALKS, AND DRIVEWAYS

12. ALL DRIVEWAYS ARE REQUIRED TO HAVE A MINIMUM OF 3 FEET OF HARD SURFACING BEHIND SIDEWALK (SEE STD. DWG. P-536).

TRAFFIC AND PARKING CONTROL

13. THE CONTRACTOR MUST ACQUIRE AN APPROVED TEMPORARY STREET USE PERMIT (TSUP) PRIOR TO CLOSURE OF ANY STREET, SIDEWALK, TRAVEL LANE OR PARKING LANE. THE TSUP IS ACQUIRED FROM THE PERMIT CENTER LOCATED AT 1900 SW 4TH AVENUE, OR ONLINE AT WWW.TSUP.INFO.
14. THE CONTRACTOR SHALL NOT REMOVE OR COVER ANY TRAFFIC CONTROL SIGNS, PAVEMENT MARKINGS, OR BARRICADES THAT ARE NOT IDENTIFIED ON THE APPROVED TEMPORARY TRAFFIC CONTROL PLAN. TEMPORARY STOP SIGN SHALL BE MOUNTED SO THAT IT IS NOT MOVEABLE OR TURNABLE.
15. THE CONTRACTOR SHALL MAINTAIN ALL NECESSARY TEMPORARY TRAFFIC CONTROL DEVICES (INCLUDING BUT NOT LIMITED TO THE FOLLOWING - SIGNS, PAVEMENT MARKINGS, AND BARRICADES) UNTIL THE PERMANENT TRAFFIC CONTROL DEVICES ARE INSTALLED.
16. WHEN WORK INTERFERES WITH THE OPERATION OF A TRIMET BUS OR BUS STOP, CONTACT TRIMET AT 503-962-4949 A MINIMUM OF 14 DAYS PRIOR TO CLOSING OR DISRUPTING TRIMET'S OPERATIONS.
17. THE CONTRACTOR SHALL INSTALL OR REINSTALL ALL PERMANENT TRAFFIC CONTROL SIGNING, CURB AND PAVEMENT MARKINGS, AND BARRICADES.
18. THE CONTRACTOR SHALL SUBMIT MATERIALS LIST FOR APPROVAL 14 DAYS PRIOR TO INSTALLING PERMANENT TRAFFIC CONTROL SIGNING, CURB AND PAVEMENT MARKINGS, AND BARRICADES.
19. ALL NEW SIGN MATERIALS SHALL COMPLY WITH SECTION 2910 OF THE CITY OF PORTLAND STANDARD CONSTRUCTION SPECIFICATIONS. ALL SIGNS SHALL BE TYPE III OR IV BACKGROUND SHEETING ON ALUMINUM SIGN BLANKS. SIGN TYPES FOR EACH SIGN, AS SPECIFIED IN SECTION 2910.02, ARE NOTED IN THE PLANS.
20. SIGNS AND SIGN POSTS REMOVED BY THE PERMITTEE OR ITS AGENT THAT WILL NOT BE RE-INSTALLED SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR.
21. ALL CURB AND PAVEMENT MARKING MATERIALS SHALL BE ON THE CITY'S CONSTRUCTION PRODUCTS LIST (CPL) OR THE STATE'S QUALIFIED PRODUCTS LIST (QPL). ALL MATERIALS SHALL BE INSTALLED IN CONFORMANCE WITH THE MANUFACTURERS APPROVED APPLICATION PROCEDURE.
22. ALL LONGITUDINAL LINE WORK TO BE METHOD B (NON-PROFILE) EXTRUDED THERMOPLASTIC, 120 MILS THICK.
23. ALL TRANSVERSE LINE WORK, LEGENDS, SYMBOLS, AND ARROWS SHALL BE TYPE "B-HS" PREFORMED THERMOPLASTIC. BIKE LANE STENCILS, GREEN BICYCLE LANE MARKINGS, AND BIKE PATH RAILROAD MARKINGS SHALL BE 90 MILS THICK. ALL OTHER TRANSVERSE PAVEMENT MARKINGS SHALL BE 120-125 MILS THICK.
24. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY CURB OR PAVEMENT MARKINGS DAMAGED OR REMOVED DUE TO CONTRACTOR'S OPERATION.
25. OUTSIDE METERED DISTRICTS: PARKING CONTROL SIGNING WILL BE INSTALLED BY THE CONTRACTOR. CONTACT PARKING CONTROL AT 503-823-7275 14 DAYS PRIOR TO INSTALLATION TO LOCATE EXACT SIGN LOCATIONS.
26. ALL TREE REMOVAL SHALL COMPLY WITH THE FEDERAL MIGRATORY BIRD TREATY ACT. SEE THE SPECIAL PROVISIONS FOR REQUIREMENTS PRIOR TO CUTTING OF ANY TREE.
27. ADDITIONAL INSPECTION REQUIRED PRIOR TO CUTTING STREET TREE ROOTS. APPLY FOR A ROOT PRUNING PERMIT FROM URBAN FORESTRY (HTTPS://DEVHUB.PORTLANDOREGON.GOV) ONCE ROOTS ARE EXPOSED. CONSULTATION WITH THE URBAN FORESTER IS REQUIRED BEFORE CUTTING OF ROOTS.
28. FOR ALTERNATE TREE SPECIES OR ALTERNATE TREE PLANTING LOCATION APPROVAL (PRIOR TO PLANTING), CONTACT URBAN FORESTRY AT 503-823-8733; TO LEAVE A MESSAGE FOR THE TREE INSPECTOR, PRESS 5.
29. STREET TREES NOT APPROVED FOR REMOVAL THROUGH THIS PERMIT MUST BE PRESERVED AND PROTECTED. DO NOT DAMAGE THE TRUNK, BRANCHES, OR ROOTS. DO NOT STORE MATERIALS OR DRIVE EQUIPMENT WITHIN THE TREE'S ROOTING AREA.

FOR REFERENCE ONLY

NO.	DATE	DESCRIPTION	APPD.
		REVISIONS	
		FINAL MAP DATA	

DESIGNED BY	DATE APPROVED
BAH	
CAD BY	SECTION ENGR
PRM	
CHECKED BY	PBOT REVIEWER
MSW	



APPROVALS:

PBOT ENGINEERING SUPERVISOR	REG. PROF. ENGR. 79427PE
PBOT CITY ENGINEER	REG. PROF. ENGR. 18563PE

PORTLAND BUREAU OF TRANSPORTATION

MINGUS MAPPS	COMMISSIONER
TODD LILES, P.E.	CITY ENGINEER

VEGA CIVIL ENGINEERING LLC  
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FRONTAGE IMPROVEMENTS FOR N CHARLESTON AVENUE

GENERAL NOTES

PBOT JOB NO. THXXXX

SHEET NO. 2 OF 3



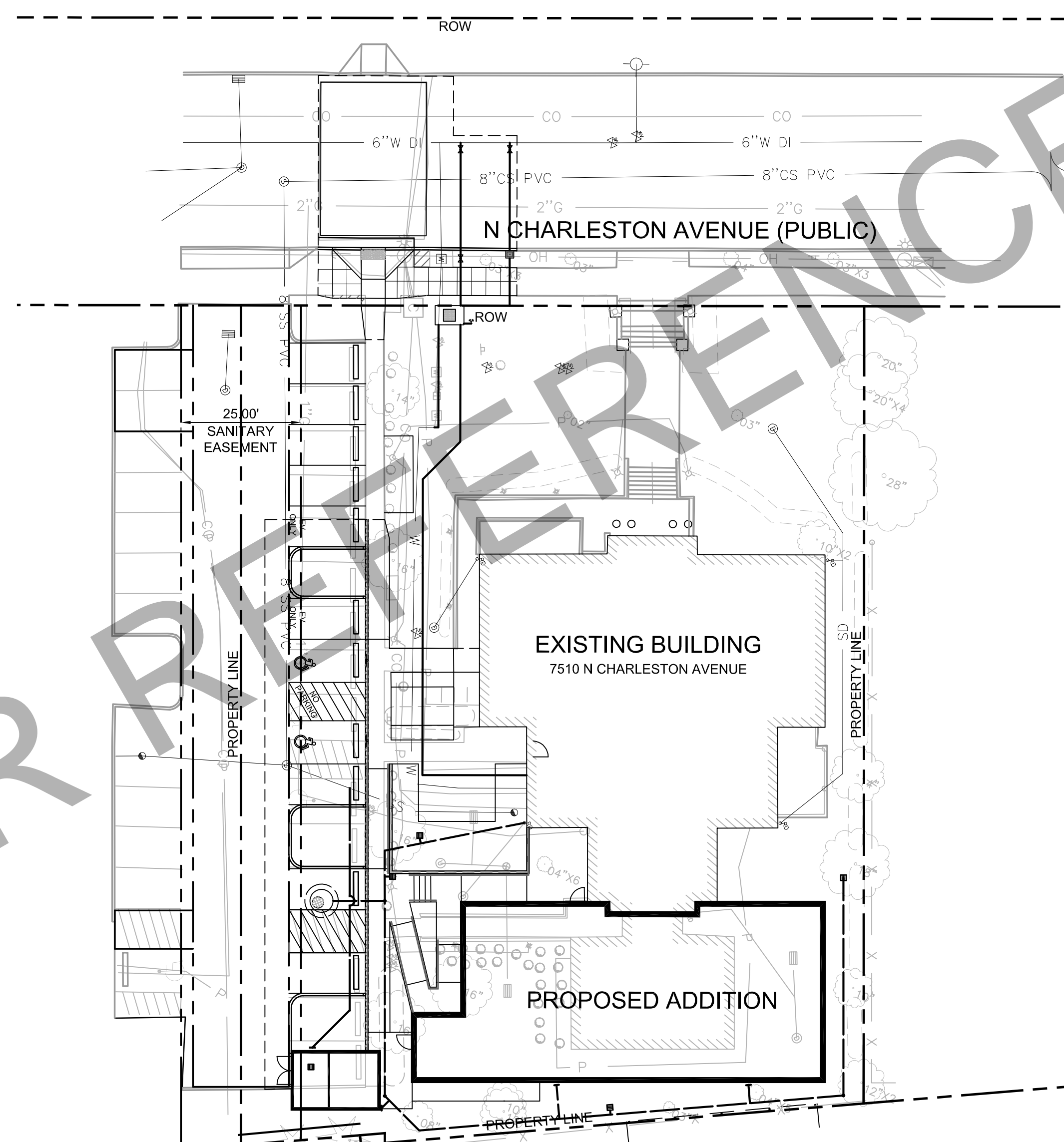
ISSUED FOR  
 INFORMATIONAL  
 PURPOSES ONLY  
 NOT FOR  
 CONSTRUCTION

STORMWATER MANAGEMENT REQUIREMENT CHECK

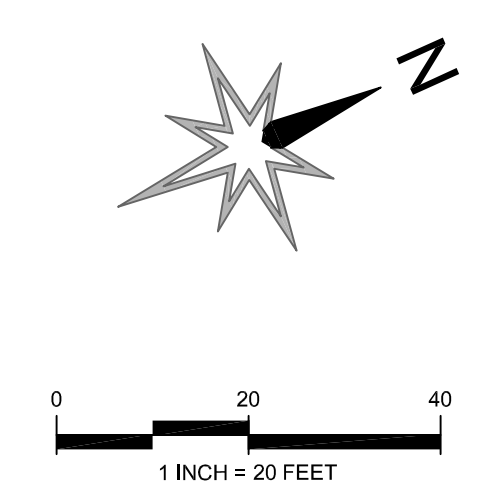
 NON-EXEMPT NEWLY CONSTRUCTED IMPERVIOUS  
 AREA= 20 SF

TOTAL NON-EXEMPT NEWLY CONSTRUCTED IMPERVIOUS  
 AREA= 20 SF

FOR REFERENCE ONLY



COMPOSITE SITE PLAN  
 SCALE: 1"=20'



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 7510 N Charleston Ave, Portland, OR 97203

Drawn By: BAH	Checked By: MSW
Building Number: 6603	Approved By: MSW
Multico Project Number: P78LB172021 07	
Sheet Title	

PBOT JOB NO. THXXXX	PWP - COMPOSITE SITE PLAN
SHEET NO. 2A OF 3	Date 02/09/2024
	C-703 C Sheet 10 Of 11

NO.	DATE	DESCRIPTION	APPD.
		REVISIONS	
		FINAL MAP DATA	

DESIGNED BY	DATE APPROVED
BAH	
CAD BY	SECTION ENGR
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CHECKED BY	PBOT REVIEWER
MSW	



APPROVALS:

PBOT ENGINEERING SUPERVISOR	REG. PROF. ENGR. 79427PE
PBOT CITY ENGINEER	REG. PROF. ENGR. 18563PE

PORTLAND  
 BUREAU OF TRANSPORTATION

MINGUS MAPPS                      COMMISSIONER  
 TODD LILES, P.E.                      CITY ENGINEER

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FRONTAGE IMPROVEMENTS FOR  
 N CHARLESTON AVENUE

COMPOSITE SITE PLAN

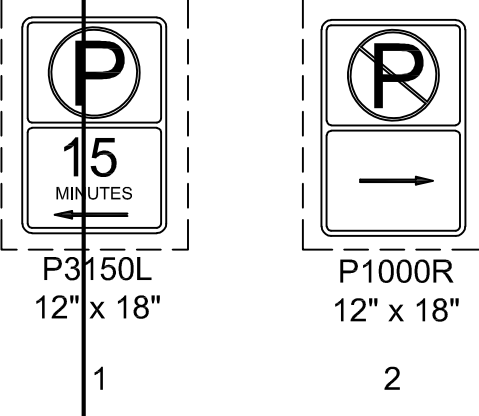
PBOT JOB NO.  
THXXXX

SHEET NO.  
2A OF 3

SIGN DATA TABLE																
SIGN NO. (N)	QTY. EX.	QTY. PROP.	SIGN DIMENSION		SIGN CODE		SIGN TYPE (PER SEC. 2910.02 COP STD. SPECS.)	TYPE OF SUPPORT						FOOTING TYPE	SIGN LEGEND / OTHER REMARKS	
			WIDTH (IN)	HEIGHT (IN)	PBOT	MUTCD		SINGLE PIPE POST	EXISTING PIPE POST	UTILITY POLE	LIGHT POLE	SIGNAL POLE	MODIFIED BIKE RACK			CANTILEVER
1	1	0	12	18	P3150L	--										[PARKING SYMBOL] + "15 MINUTES" + [LEFT ARROW]
2	1	0	12	18	P1000R	--										[NO PARKING SYMBOL] + [RIGHT ARROW]

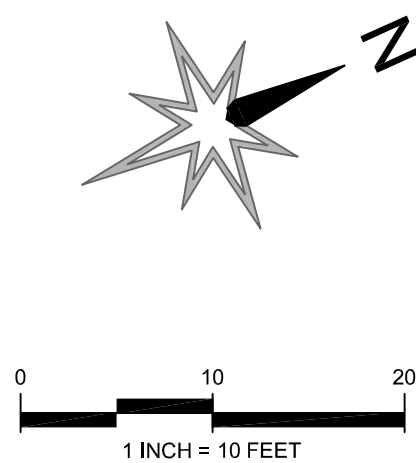
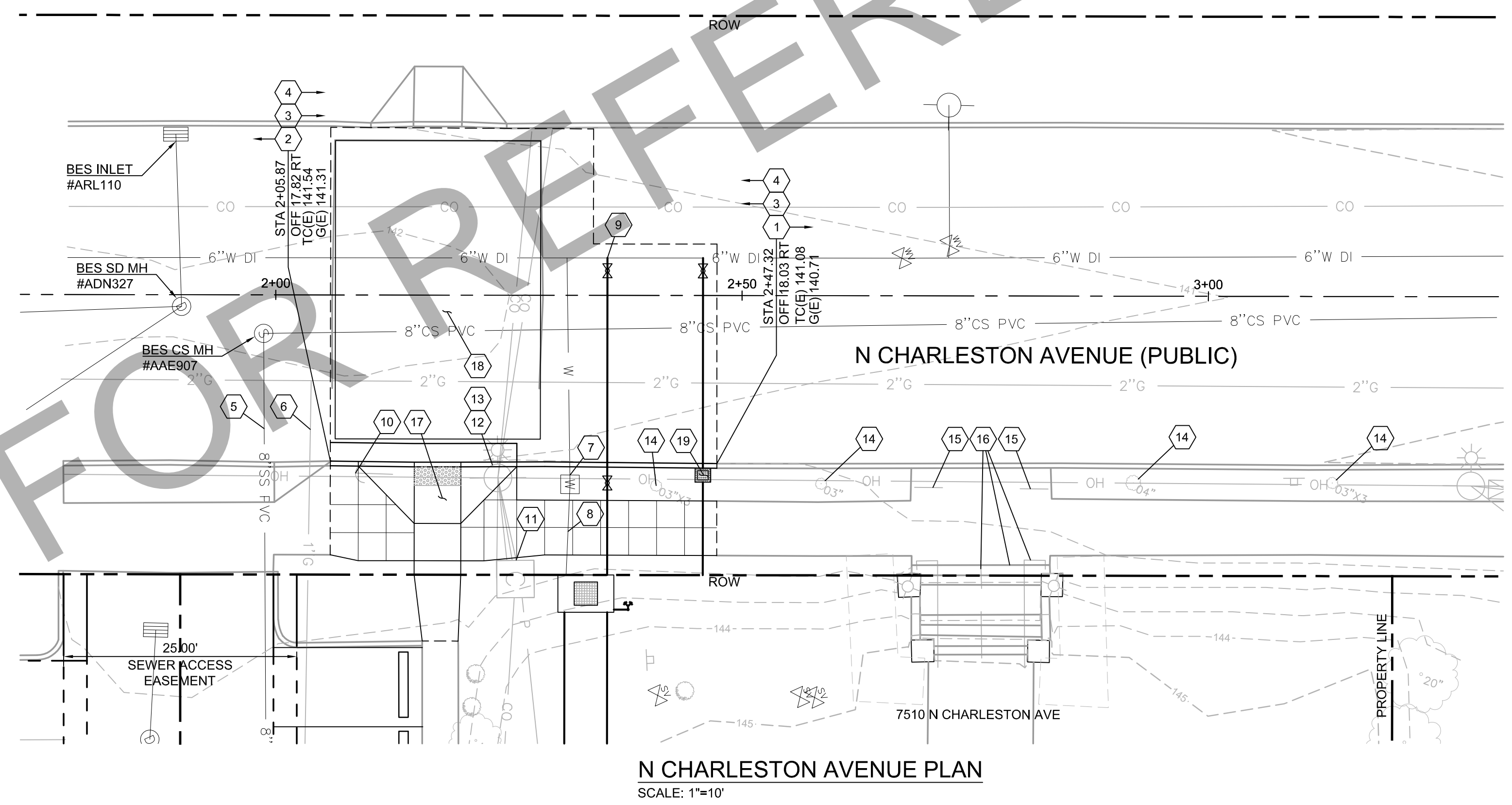
Denotes Existing Sign

SIGN DETAILS



# CONSTRUCTION NOTES

- PROTECT EXISTING CURB AND SIDEWALK.
- PROTECT EXISTING DRIVEWAY.
- SAWCUT 8.0' FROM NEW CURB LOCATION PER PBOT STD. DWG. NO. P-506 AND DETAIL 3, SHEET 3. REMOVE EXISTING AC PAVEMENT.
- CONSTRUCT AC PAVEMENT PER PBOT STD. DWG. NO. P-505.
- PROTECT EXISTING BES SANITARY MAIN.
- PROTECT EXISTING 1" GAS SERVICE.
- PROTECT EXISTING 1.5" WATER METER.
- PROTECT EXISTING WATER SERVICE.
- INSTALL 6" FIRE SERVICE BY PORTLAND WATER BUREAU. APPLICANT MUST CONTACT PWB AT DEVREV@PORTLANDOREGON.GOV TO REQUEST INSTALLATION. CONTRACTOR TO CONNECT TO THE SHORT STUB-OUT ON THE BACK SIDE OF THE CURB GATE VALVE.
- PROTECT EXISTING GUY WIRE ANCHOR AND QUEENSPOST.
- PROTECT EXISTING COMMUNICATIONS VAULT.
- PROTECT EXISTING SIGNS 1 AND 2. REFERENCE SIGN DATA TABLE.
- PROTECT EXISTING UTILITY POLE AND COBRA HEAD STREET LIGHT.
- PROTECT EXISTING STREET TREE.
- PROTECT EXISTING BIKE RACK.
- PROTECT EXISTING STAIR AND HANDRAIL.
- CONSTRUCT ACCESSIBLE CURB RAMP, PER ENLARGED PLAN AND PROFILE, DEATLS X AND X, SHEET X, AND PBOT STD. DWG. NO. P-547. ENTIRE CONCRETE ADA RAMP AREA (INCLUDING CURBS, GUTTERS, RAMPS, LANDINGS, AND FLARES/WINGS) TO BE CONSTRUCTED MONOLITHICALLY.
- RELOCATE EXISTING 22" SPEED BUMP PER PBOT STD. DWG. NO. P-441.
- INSTALL IRRIGATION METER BY PORTLAND WATER BUREAU. APPLICANT MUST CONTACT PWB AT DEVREV@PORTLANDOREGON.GOV TO REQUEST INSTALLATION. CONTRACTOR TO CONNECT TO THE SHORT STUB-OUT ON THE BACK SIDE OF THE NEW METER BOX.



N CHARLESTON AVENUE PLAN  
SCALE: 1"=10'

NO.	DATE	DESCRIPTION	APPD.
REVISIONS			
FINAL MAP DATA			

DESIGNED BY BAH	DATE APPROVED
CAD BY PRM	SECTION ENGR
CHECKED BY MSW	PBOT REVIEWER

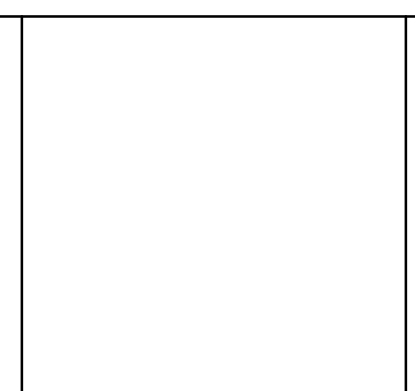


APPROVALS:

PBOT ENGINEERING SUPERVISOR	REG. PROF. ENGR. 79427PE
PBOT CITY ENGINEER	REG. PROF. ENGR. 18563PE

PORTLAND BUREAU OF TRANSPORTATION  
MINGUS MAPPS COMMISSIONER  
TODD LILES, P.E. CITY ENGINEER

VEGA CIVIL ENGINEERING LLC  
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FRONTAGE IMPROVEMENTS FOR N CHARLESTON AVENUE  
N CHARLESTON AVENUE PLAN

PBOT JOB NO. THXXXX  
SHEET NO. 3 OF 3

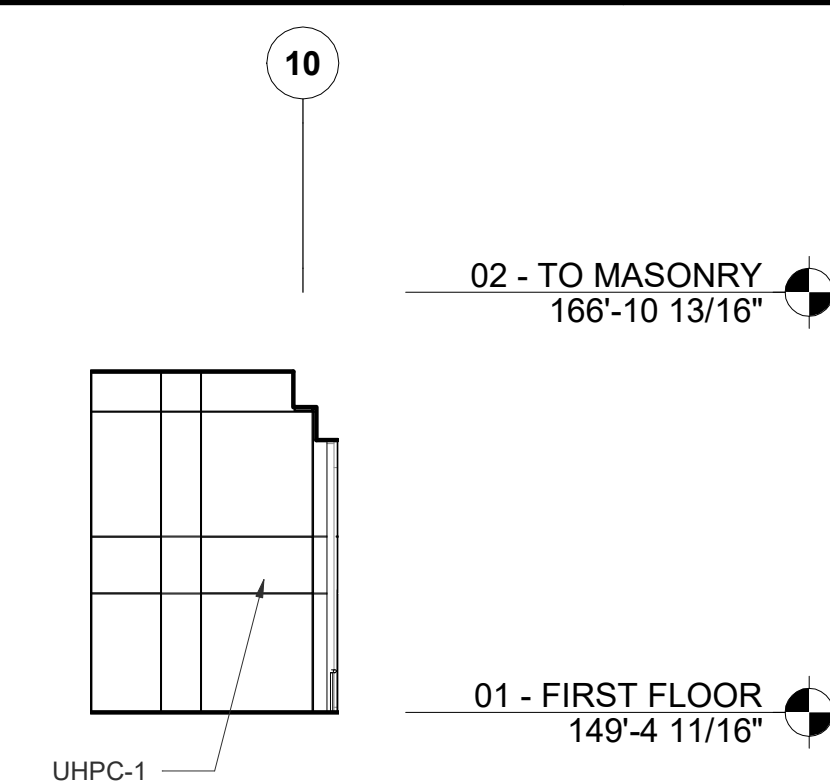


ELEVATION / SECTION NOTES

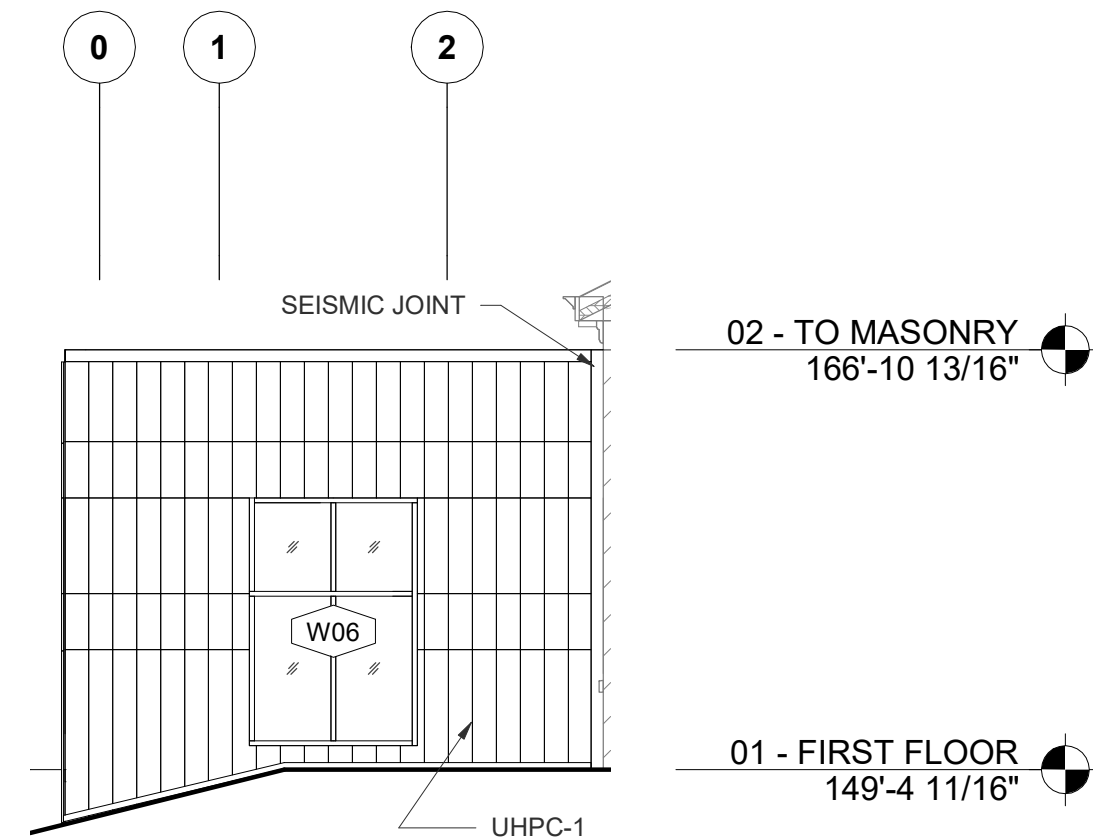
1. REFER TO ASSEMBLY SHEETS FOR WALL, ROOF, FLOOR, AND CEILING ASSEMBLIES.
2. GRADE LINES INDICATED ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO CIVIL AND LANDSCAPE DRAWINGS.
3. LINES OF FOUNDATION WALLS AND FOOTINGS ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO STRUCTURAL DRAWINGS FOR FOOTING ELEVATIONS.

GENERAL ARCHITECTURAL NOTES

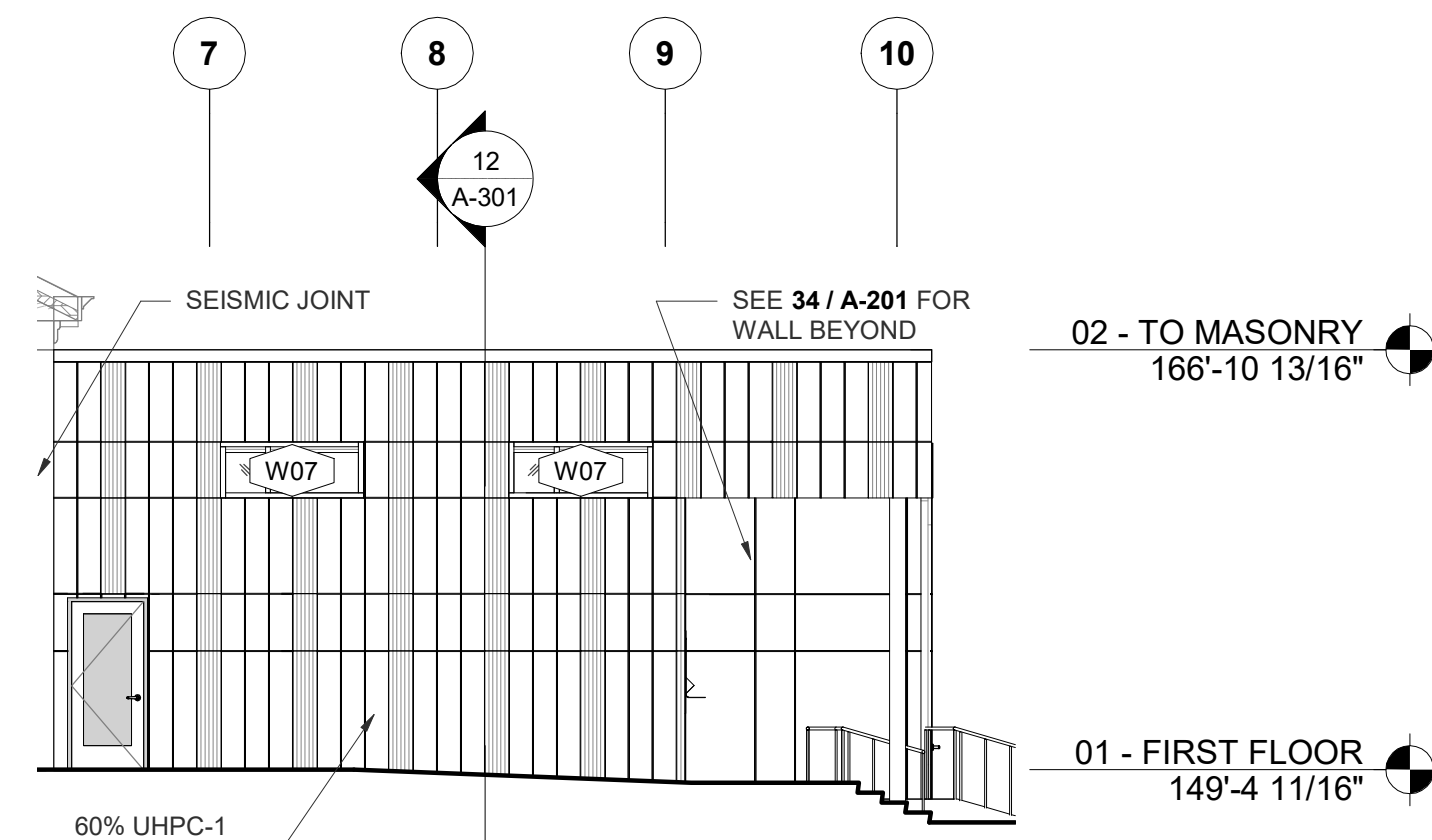
1. DO NOT SCALE DRAWINGS. REQUEST CLARIFICATION FROM ARCHITECT IF DIMENSIONS ARE NOT INDICATED.
2. DIMENSIONS ARE SHOWN TO DIMENSION POINT (DIM. PT.) OF REFERENCED DETAIL WHERE APPLICABLE.
3. PAINT EXPOSED STRUCTURAL STEEL, MISCELLANEOUS STEEL, FIREPROOFING, DUCTWORK, MECHANICAL EQUIPMENT, MECHANICAL AND SPRINKLER PIPING, ELECTRICAL CONDUIT, AND THEIR SUPPORT SYSTEMS, UNLESS OTHERWISE NOTED.



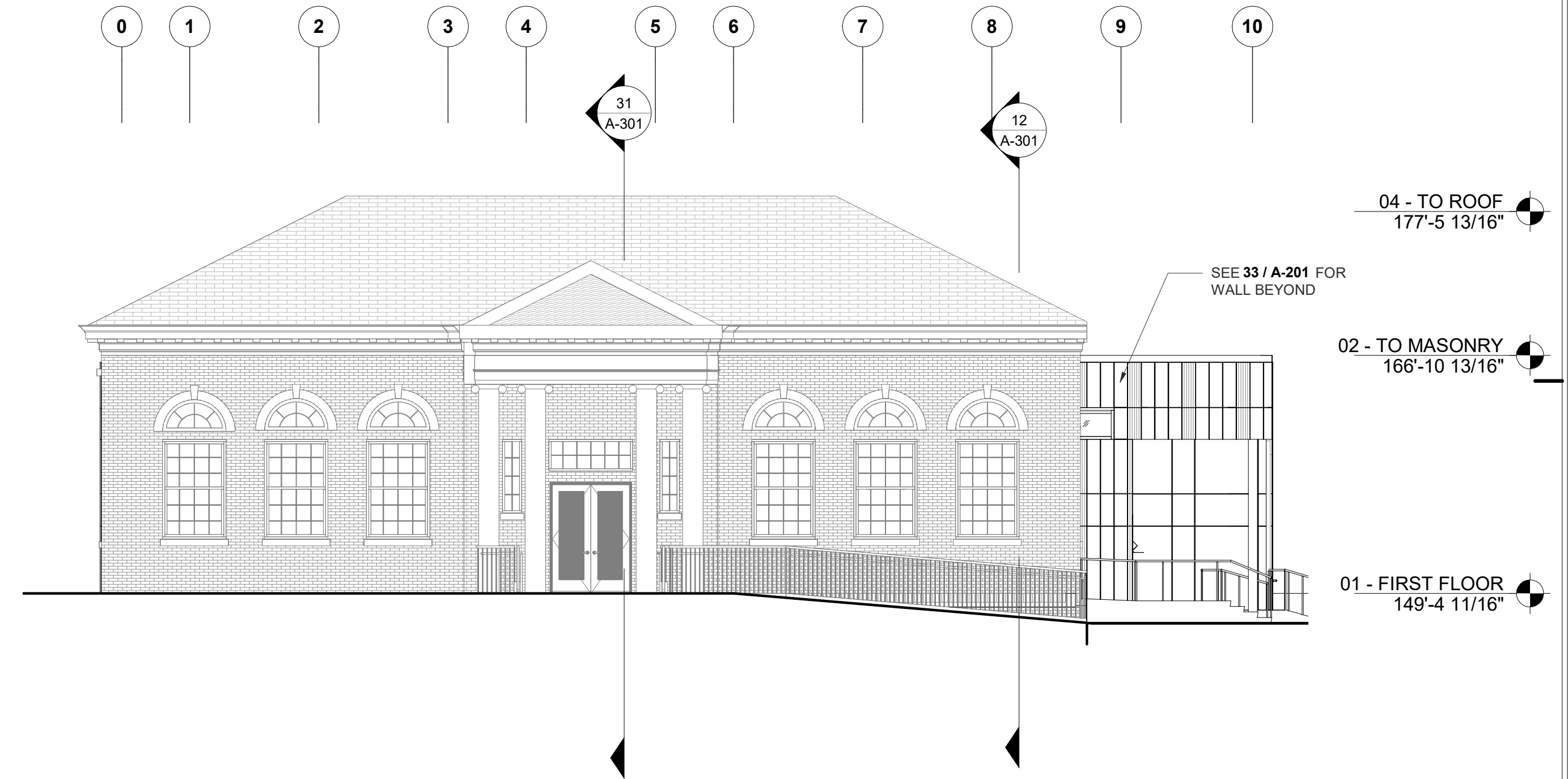
34 WEST ELEVATION - NEW ADDITION UNDER CANOPY  
1/8" = 1'-0"



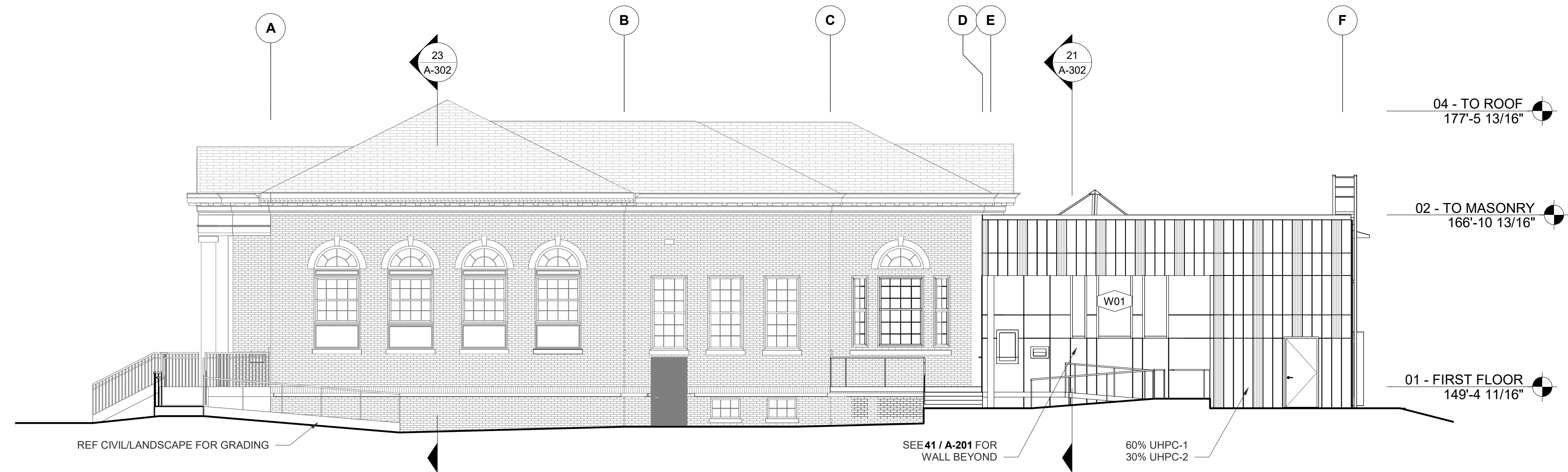
43 WEST ELEVATION - NEW ADDITION B  
1/8" = 1'-0"



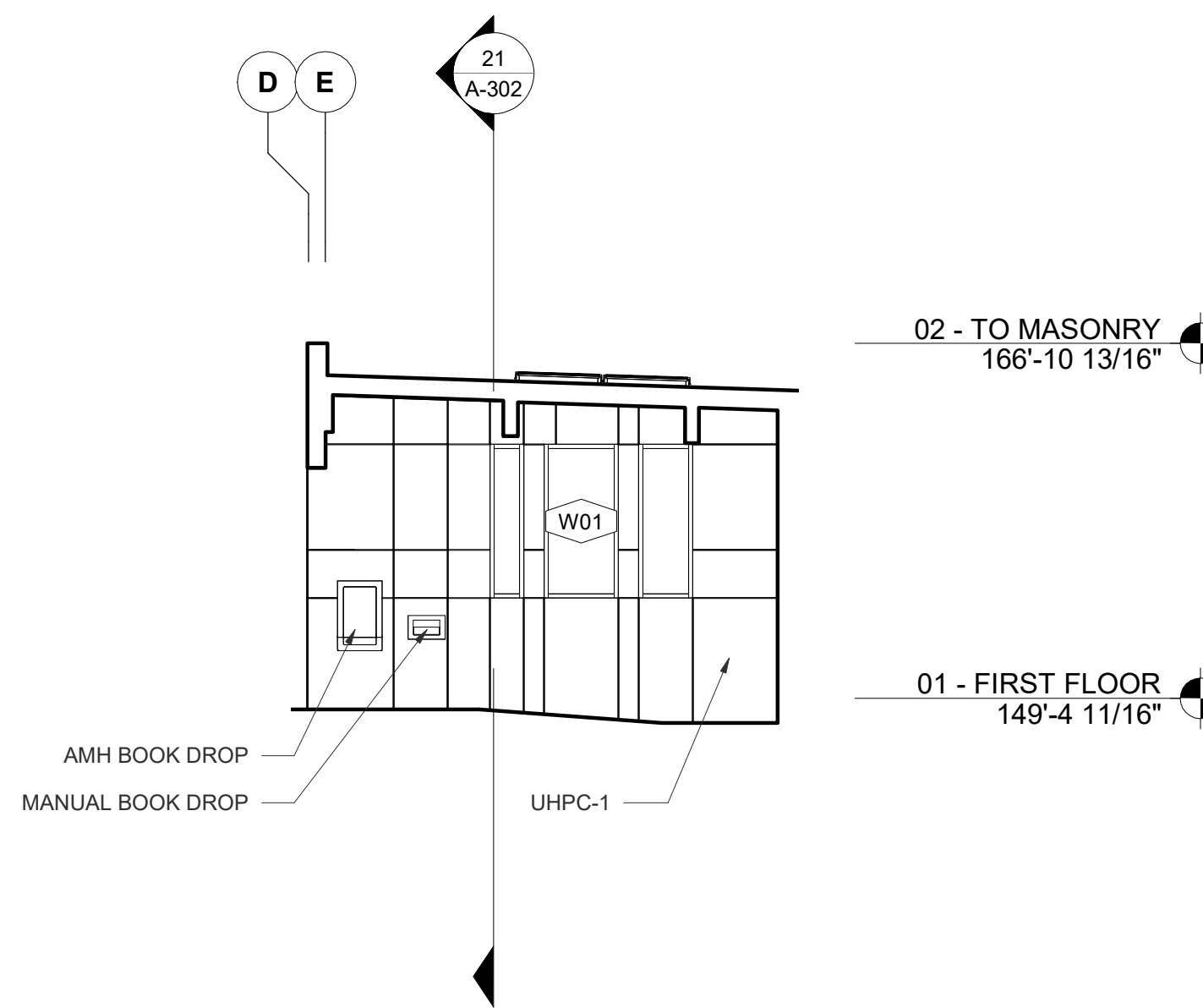
33 WEST ELEVATION - NEW ADDITION A  
1/8" = 1'-0"



23 WEST ELEVATION  
1/8" = 1'-0"



31 SOUTH ELEVATION  
1/8" = 1'-0"



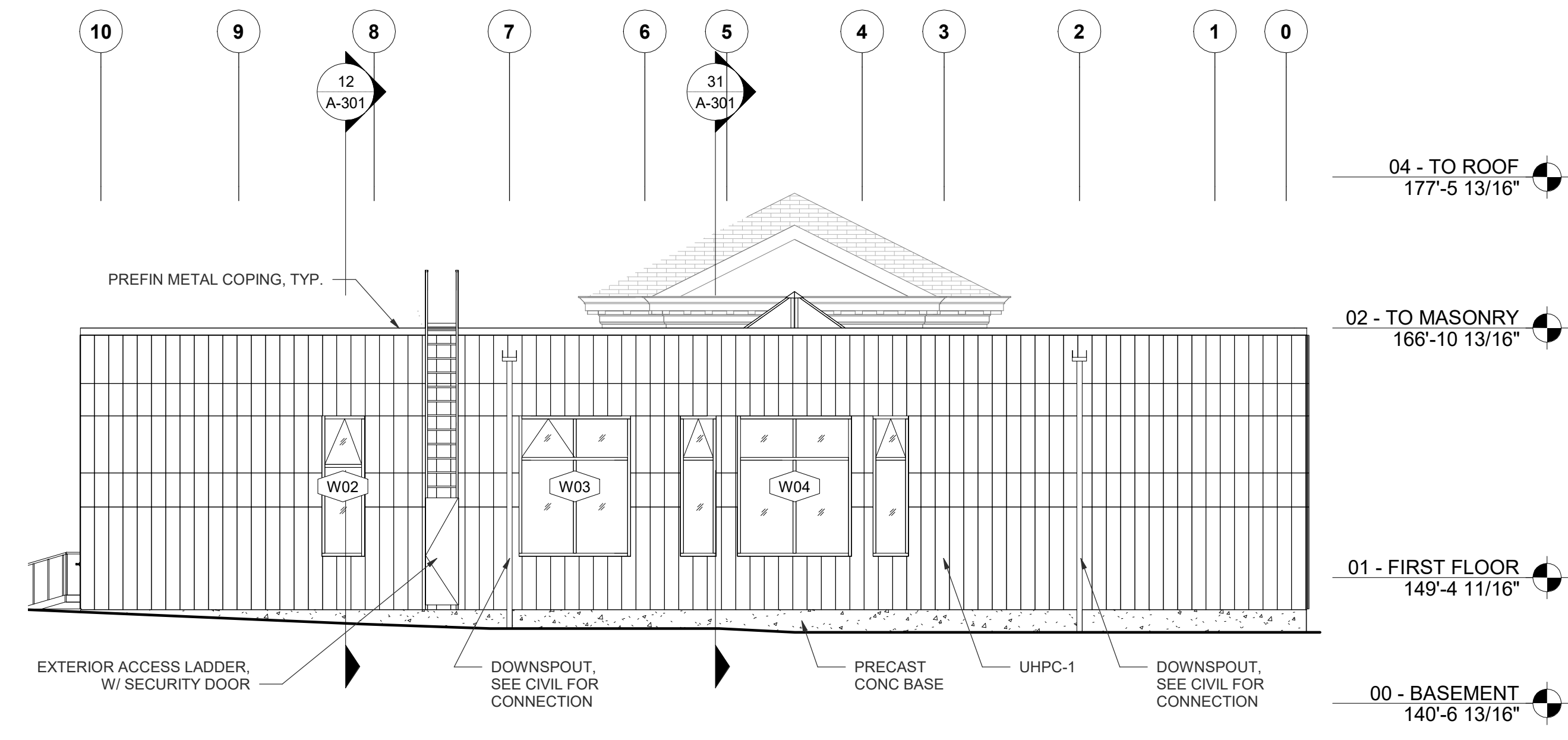
41 SOUTH ELEVATION - NEW ADDITION  
1/8" = 1'-0"

**ELEVATION / SECTION NOTES**

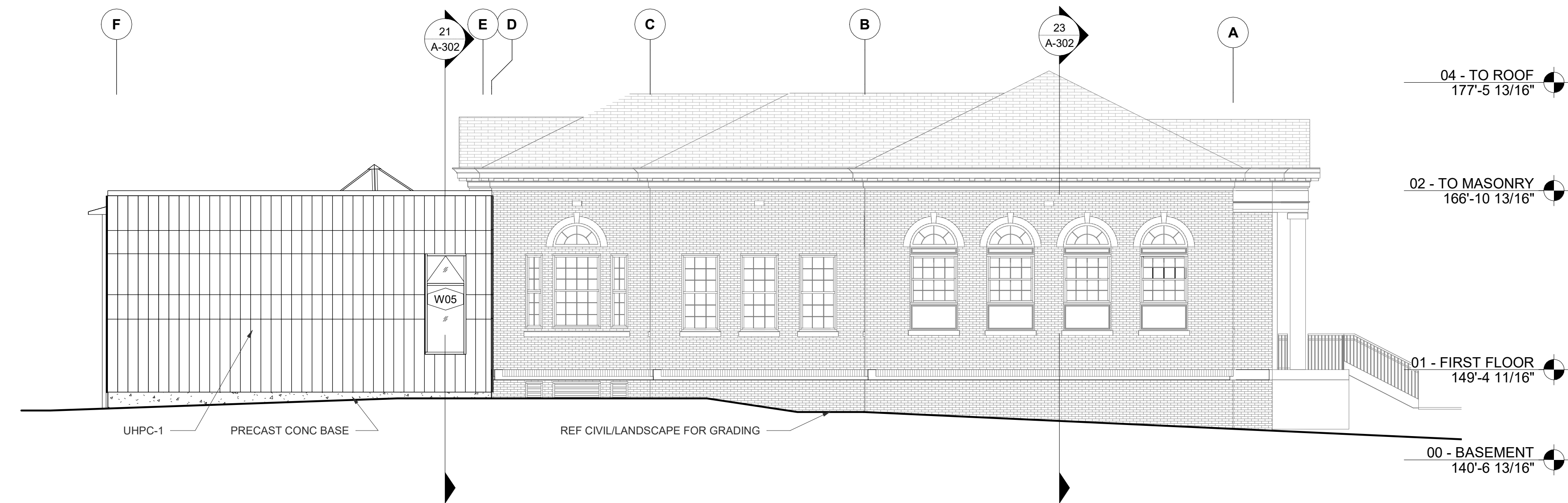
1. REFER TO ASSEMBLY SHEETS FOR WALL, ROOF, FLOOR, AND CEILING ASSEMBLIES.
2. GRADE LINES INDICATED ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO CIVIL AND LANDSCAPE DRAWINGS.
3. LINES OF FOUNDATION WALLS AND FOOTINGS ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO STRUCTURAL DRAWINGS FOR FOOTING ELEVATIONS.

**GENERAL ARCHITECTURAL NOTES**

1. DO NOT SCALE DRAWINGS. REQUEST CLARIFICATION FROM ARCHITECT IF DIMENSIONS ARE NOT INDICATED.
2. DIMENSIONS ARE SHOWN TO DIMENSION POINT (DIM. PT.) OF REFERENCED DETAIL WHERE APPLICABLE.
3. PAINT EXPOSED STRUCTURAL STEEL, MISCELLANEOUS STEEL, FIREPROOFING, DUCTWORK, MECHANICAL EQUIPMENT, MECHANICAL AND SPRINKLER PIPING, ELECTRICAL CONDUIT, AND THEIR SUPPORT SYSTEMS, UNLESS OTHERWISE NOTED.



**23 EAST ELEVATION**  
 1/8" = 1'-0"



**31 NORTH ELEVATION**  
 1/8" = 1'-0"

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Mark	Date	Description of Revision	By

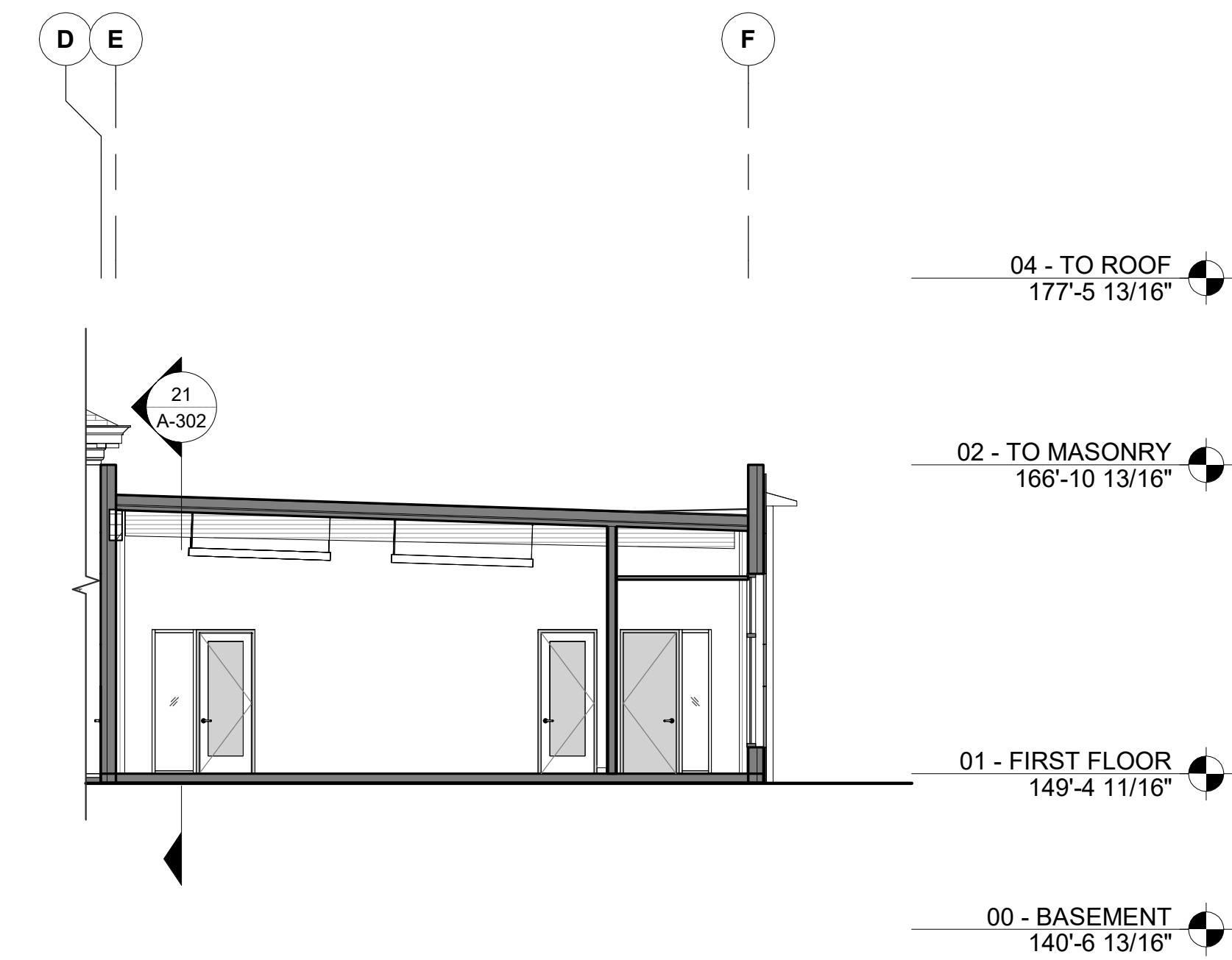
Drawn By:	Checked By:
Author	Checker
Building Number:	Approved By:
615	Approver
Multico Project Number:	
P78LB172021 09	
Sheet Title	
<b>EXTERIOR ELEVATIONS</b>	
Date	02/08/2024
<b>A-202</b>	
Sheet	Of

**ELEVATION / SECTION NOTES**

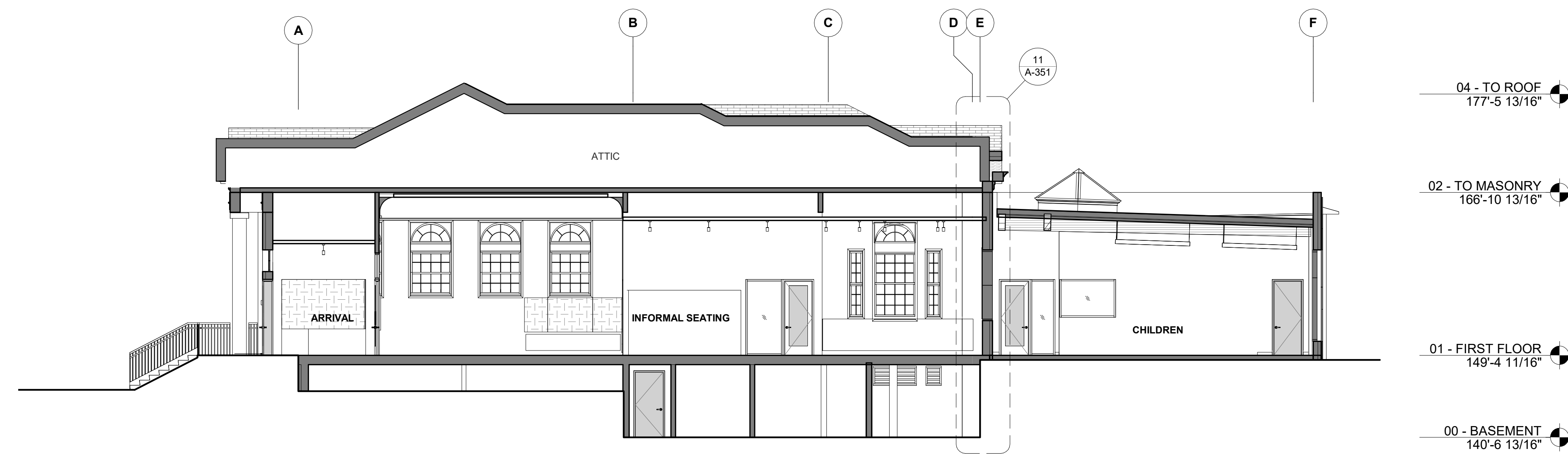
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**GENERAL ARCHITECTURAL NOTES**

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2. DIMENSIONS ARE SHOWN TO DIMENSION POINT (DIM. PT.) OF REFERENCED DETAIL WHERE APPLICABLE.
3. PAINT EXPOSED STRUCTURAL STEEL, MISCELLANEOUS STEEL, FIREPROOFING, DUCTWORK, MECHANICAL EQUIPMENT, MECHANICAL AND SPRINKLER PIPING, ELECTRICAL CONDUIT, AND THEIR SUPPORT SYSTEMS, UNLESS OTHERWISE NOTED.



**12 E/W BUILDING SECTION AT ADDITION**  
 1/8" = 1'-0"



**31 E/W BUILDING SECTION**  
 1/8" = 1'-0"

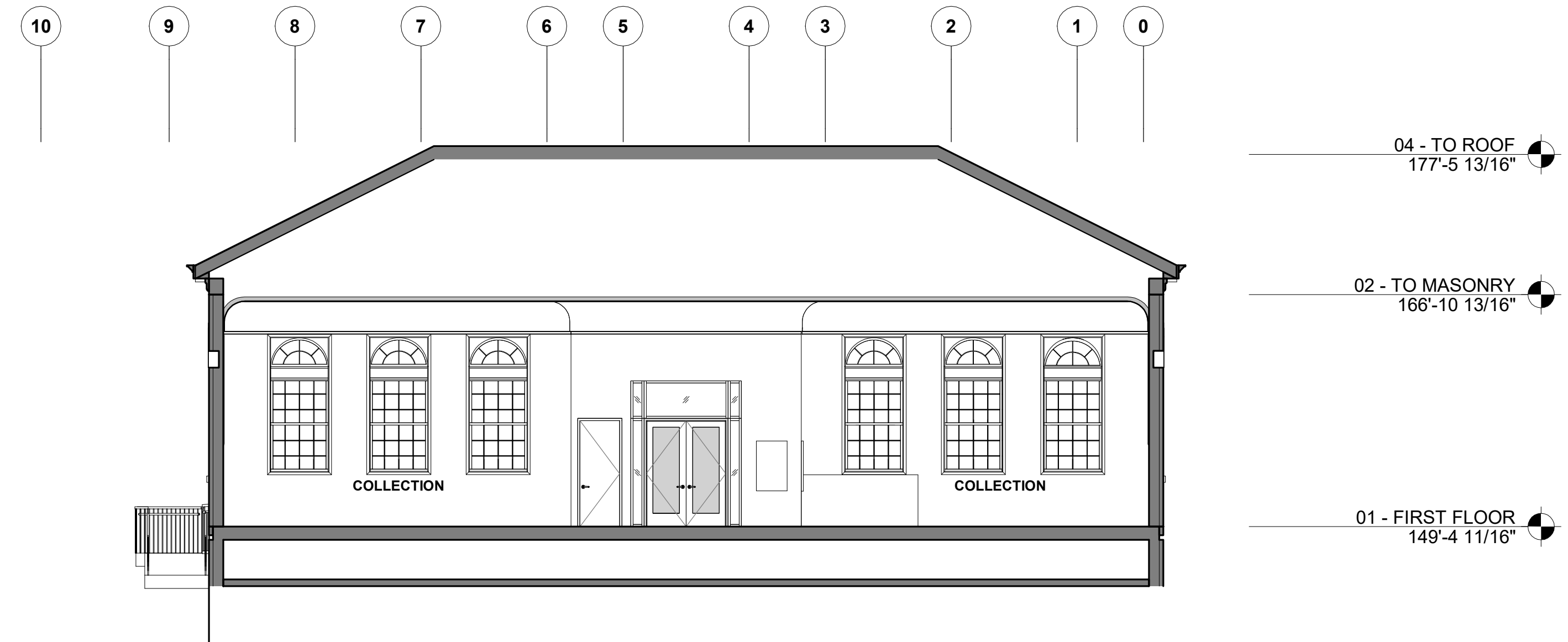
Mark	Date	Description of Revision	By

Drawn By:	Checked By:
Author	Checker
Building Number:	Approved By:
615	Approver
Multico Project Number:	
P78LB172021 09	
Sheet Title	

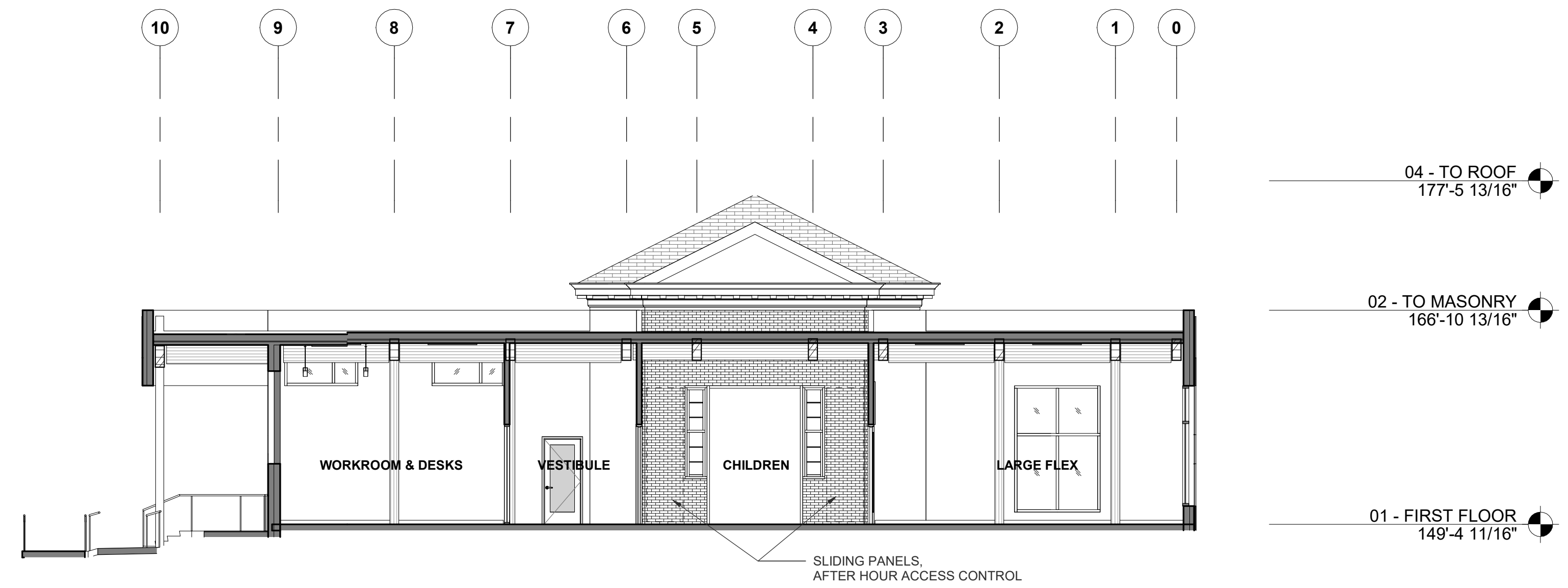
**BUILDING SECTIONS**

Date: 02/08/2024

**A-301**  
 Sheet Or



23 N/S BUILDING SECTION  
 1/8" = 1'-0"



21 N/S BUILDING SECTION AT ADDITION  
 1/8" = 1'-0"

**FLOOR PLAN NOTES**

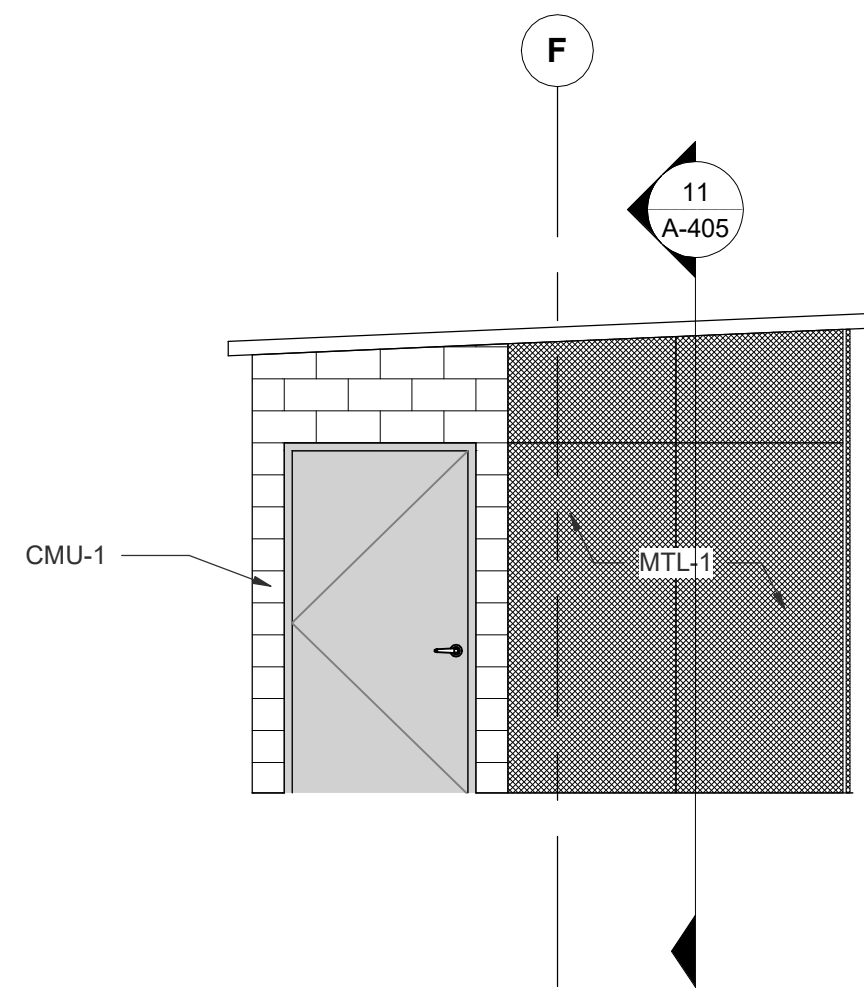
1. REFER TO ASSEMBLY SHEETS FOR WALL AND FLOOR ASSEMBLIES.
2. DIMENSIONS ARE TO FACE OF GYPSUM BOARD FINISH UNLESS OTHERWISE NOTED. REFER TO ENLARGED PLANS FOR DIMENSIONS WITHIN THOSE AREAS.
3. INTERIOR WALLS ARE WALL TYPE 03E UNLESS OTHERWISE NOTED

**ELEVATION / SECTION NOTES**

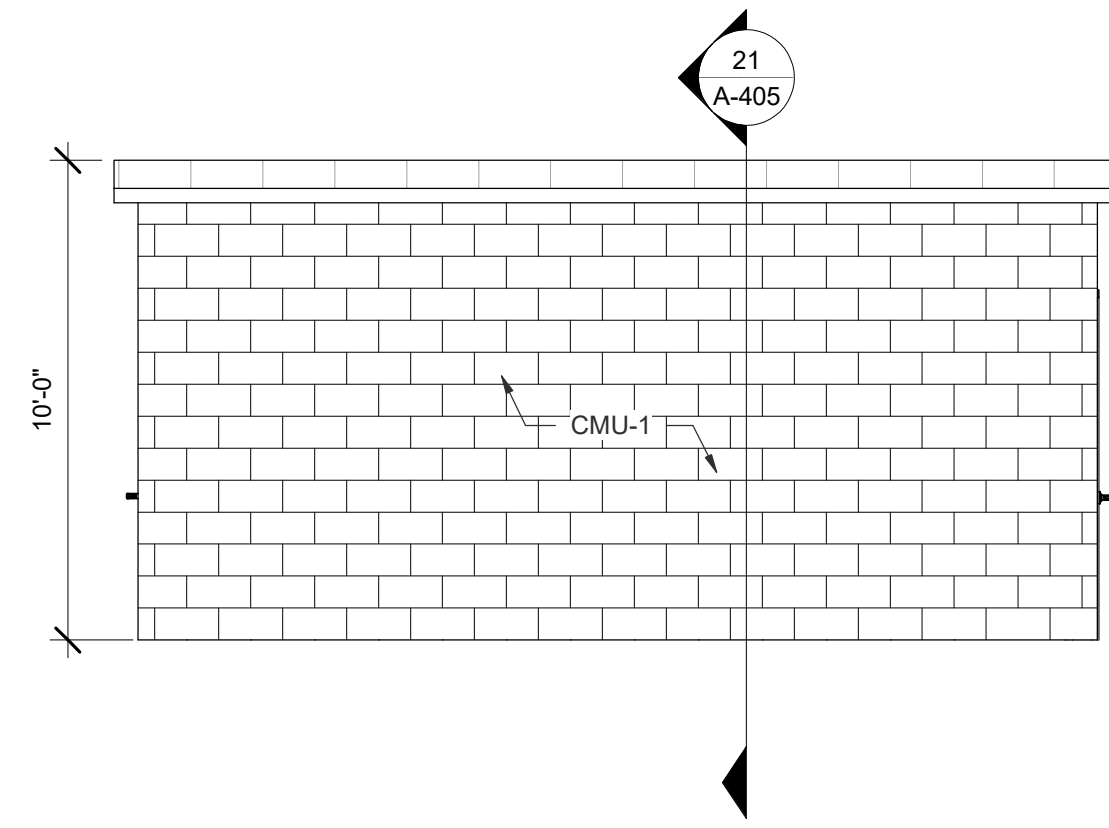
1. REFER TO ASSEMBLY SHEETS FOR WALL, ROOF, FLOOR, AND CEILING ASSEMBLIES.
2. GRADE LINES INDICATED ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO CIVIL AND LANDSCAPE DRAWINGS.
3. LINES OF FOUNDATION WALLS AND FOOTINGS ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO STRUCTURAL DRAWINGS FOR FOOTING ELEVATIONS.

**GENERAL ARCHITECTURAL NOTES**

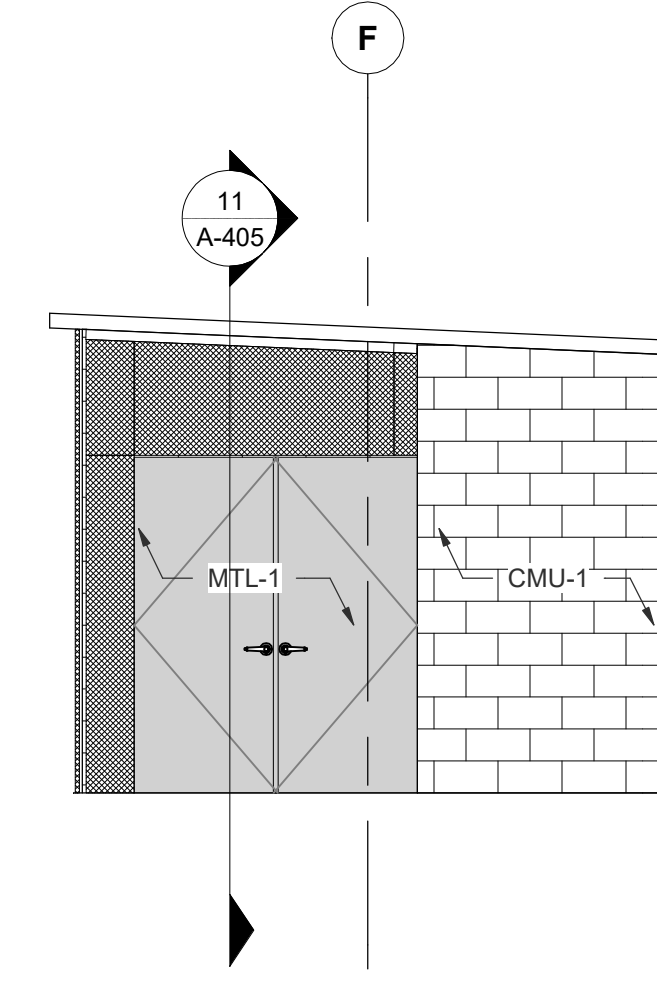
1. DO NOT SCALE DRAWINGS. REQUEST CLARIFICATION FROM ARCHITECT IF DIMENSIONS ARE NOT INDICATED.
2. DIMENSIONS ARE SHOWN TO DIMENSION POINT (DIM. PT.) OF REFERENCED DETAIL WHERE APPLICABLE.
3. PAINT EXPOSED STRUCTURAL STEEL, MISCELLANEOUS STEEL, FIREPROOFING, DUCTWORK, MECHANICAL EQUIPMENT, MECHANICAL AND SPRINKLER PIPING, ELECTRICAL CONDUIT, AND THEIR SUPPORT SYSTEMS, UNLESS OTHERWISE NOTED.



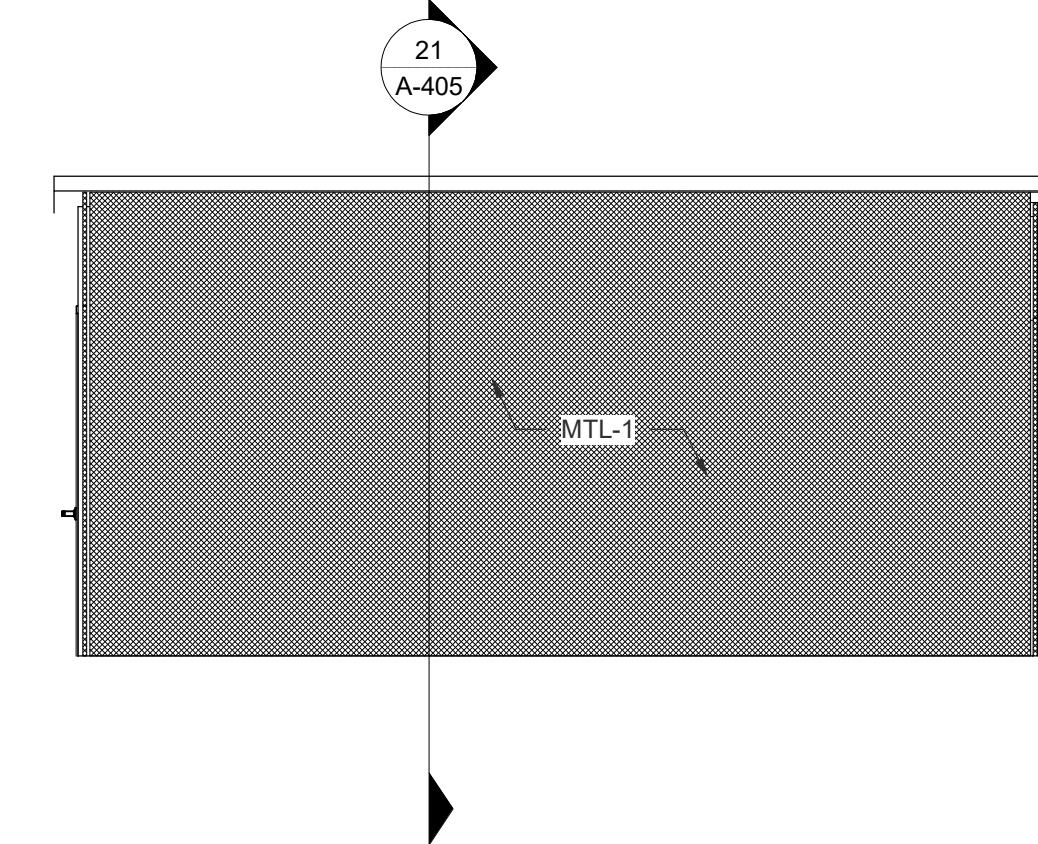
43 ELEVATION - SITE ENCLOSURE - NORTH  
1/4" = 1'-0"



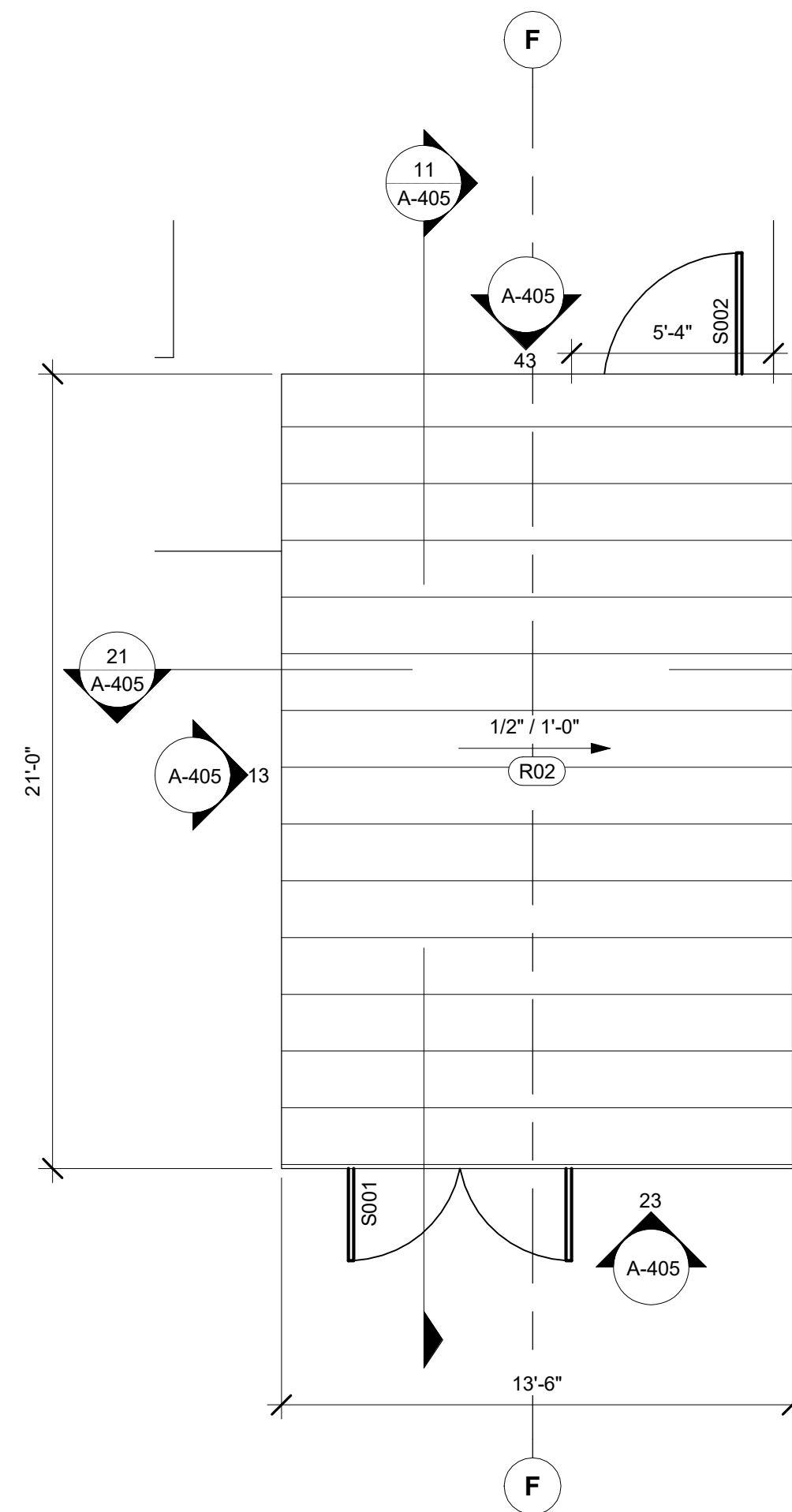
33 ELEVATION - SITE ENCLOSURE - EAST  
1/4" = 1'-0"



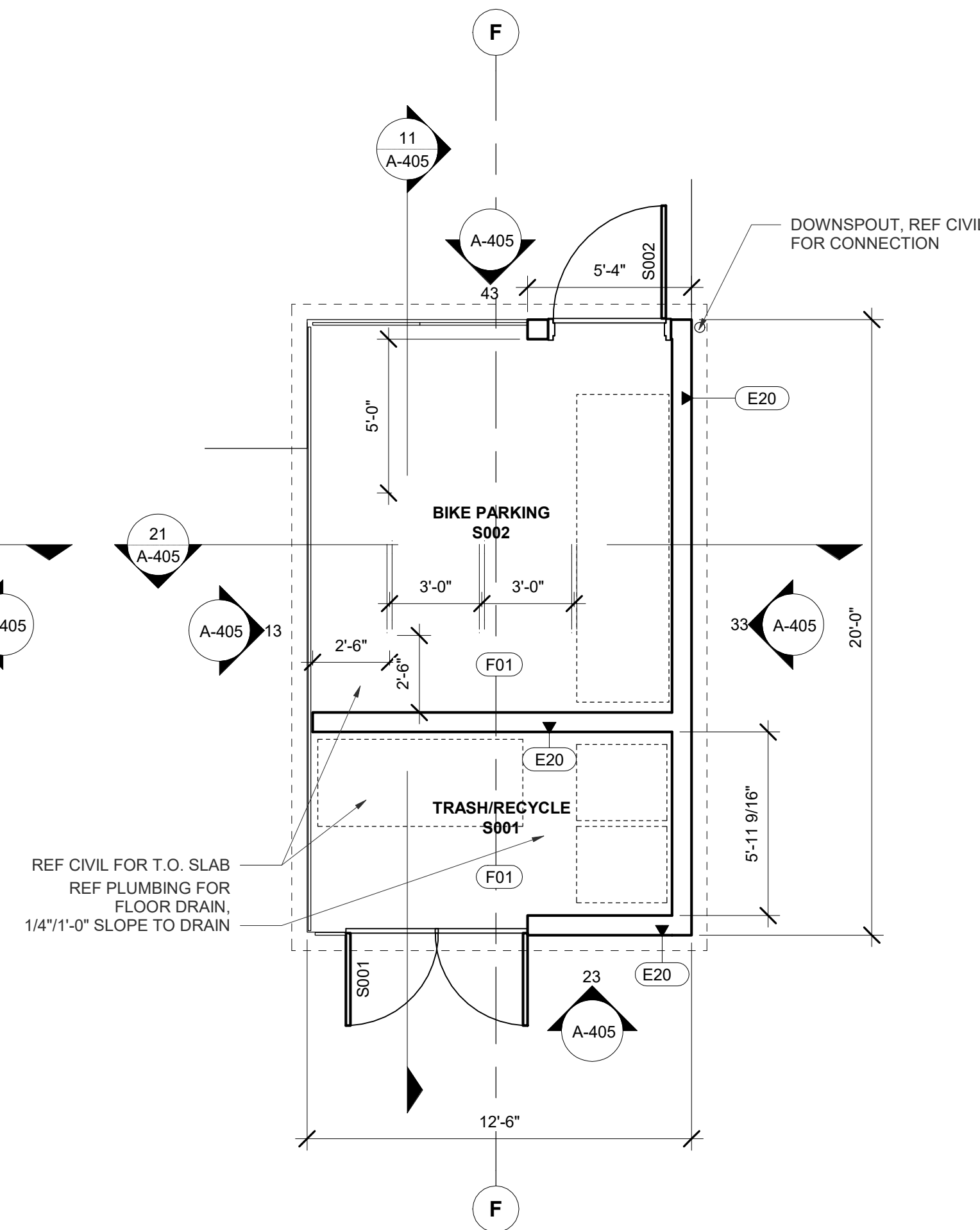
23 ELEVATION - SITE ENCLOSURE - SOUTH  
1/4" = 1'-0"



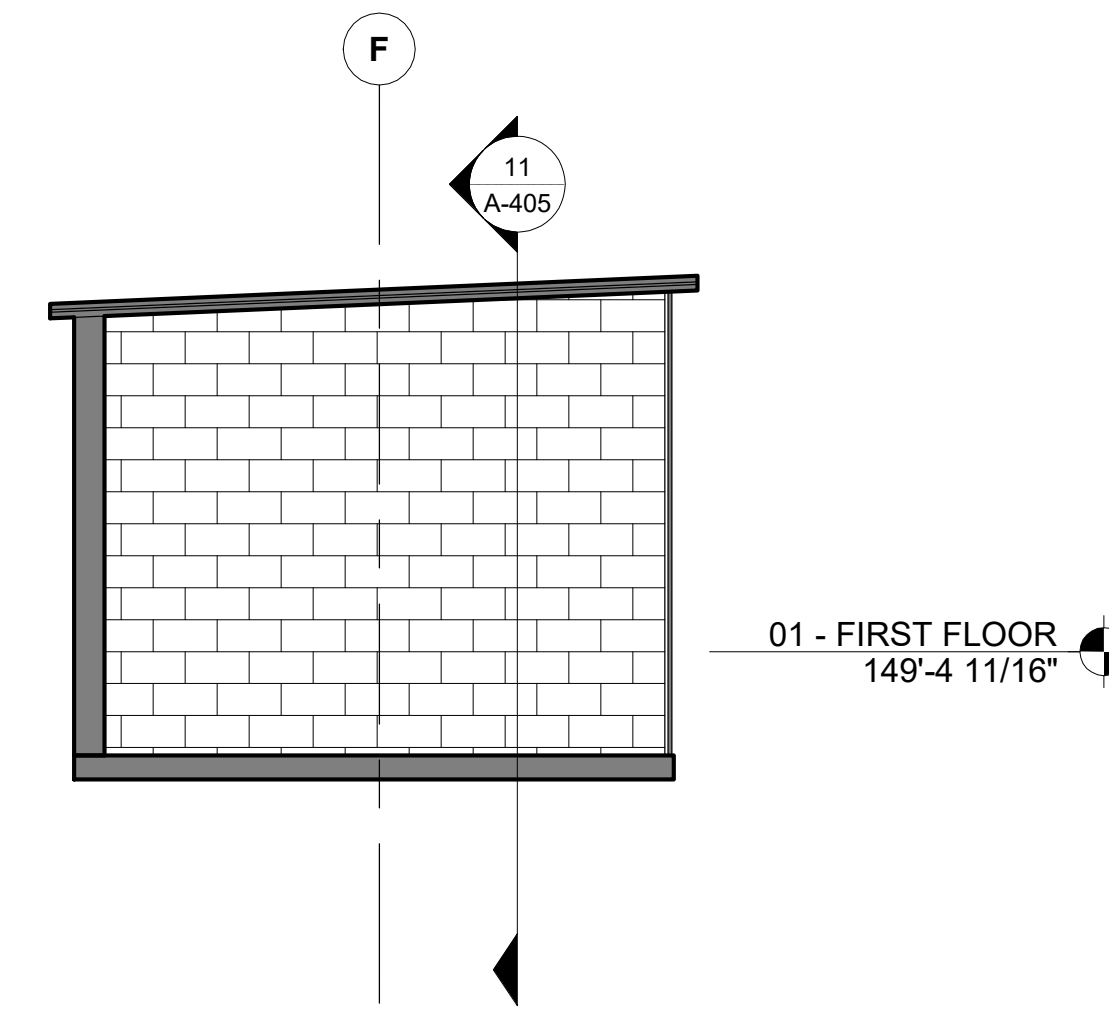
13 ELEVATION - SITE ENCLOSURE - WEST  
1/4" = 1'-0"



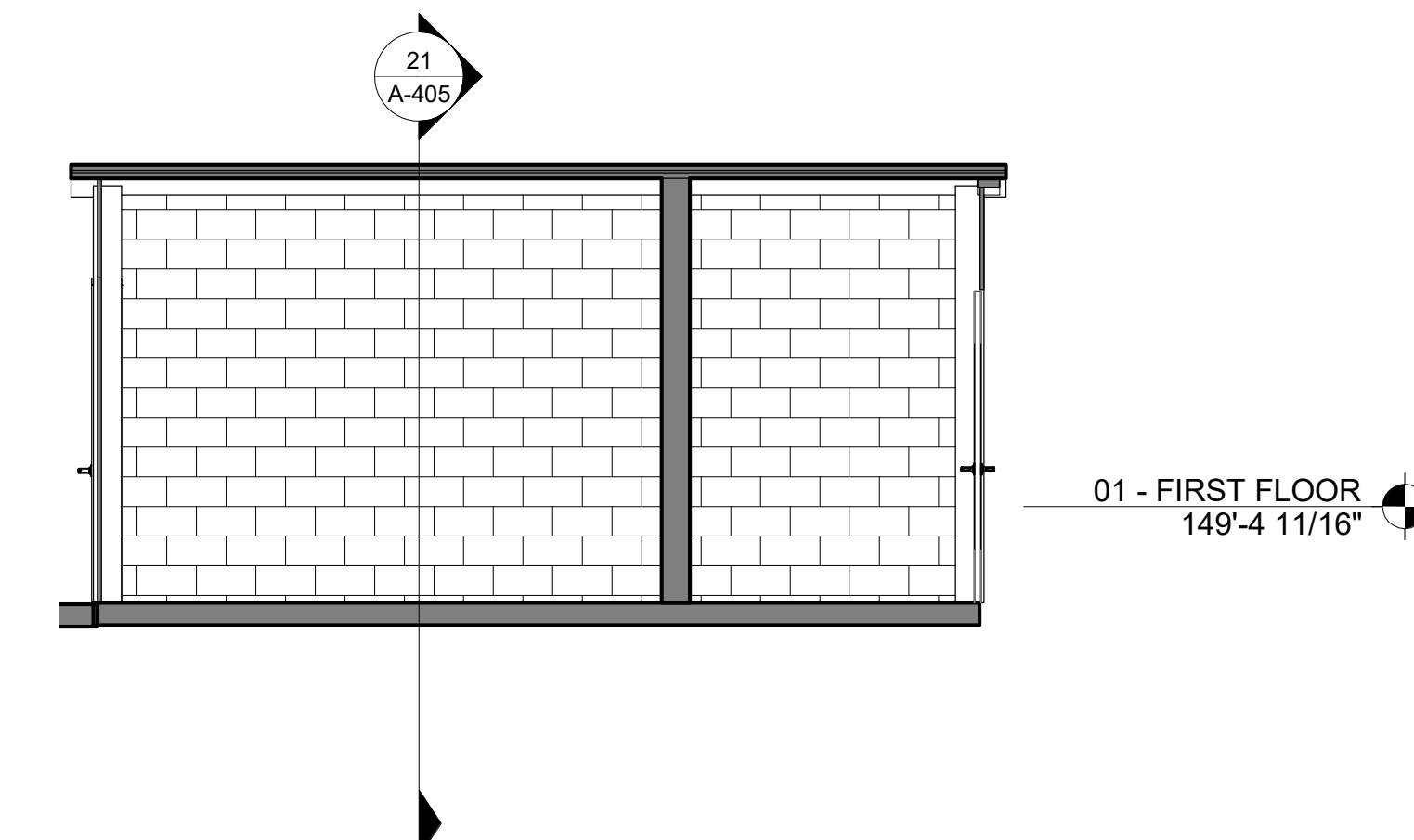
41 SITE ENCLOSURE - ROOF PLAN  
1/4" = 1'-0"



31 SITE ENCLOSURE - FLOOR PLAN  
1/4" = 1'-0"



21 SECTION - SITE ENCLOSURE - E/W  
1/4" = 1'-0"



11 SECTION - SITE ENCLOSURE - N/S  
1/4" = 1'-0"

Mark	Date	Description of Revision	By

Drawn By:	Checked By:
Author:	Checker:
Building Number:	Approved By:
615	Approver:

Multico Project Number:  
P78LB172021 09

Sheet Title:  
**ENLARGED  
TRASH/BIKE  
ENCLOSURE PLANS  
& SECTIONS**

Date:  
02/08/2024

**A-405**  
Sheet Or

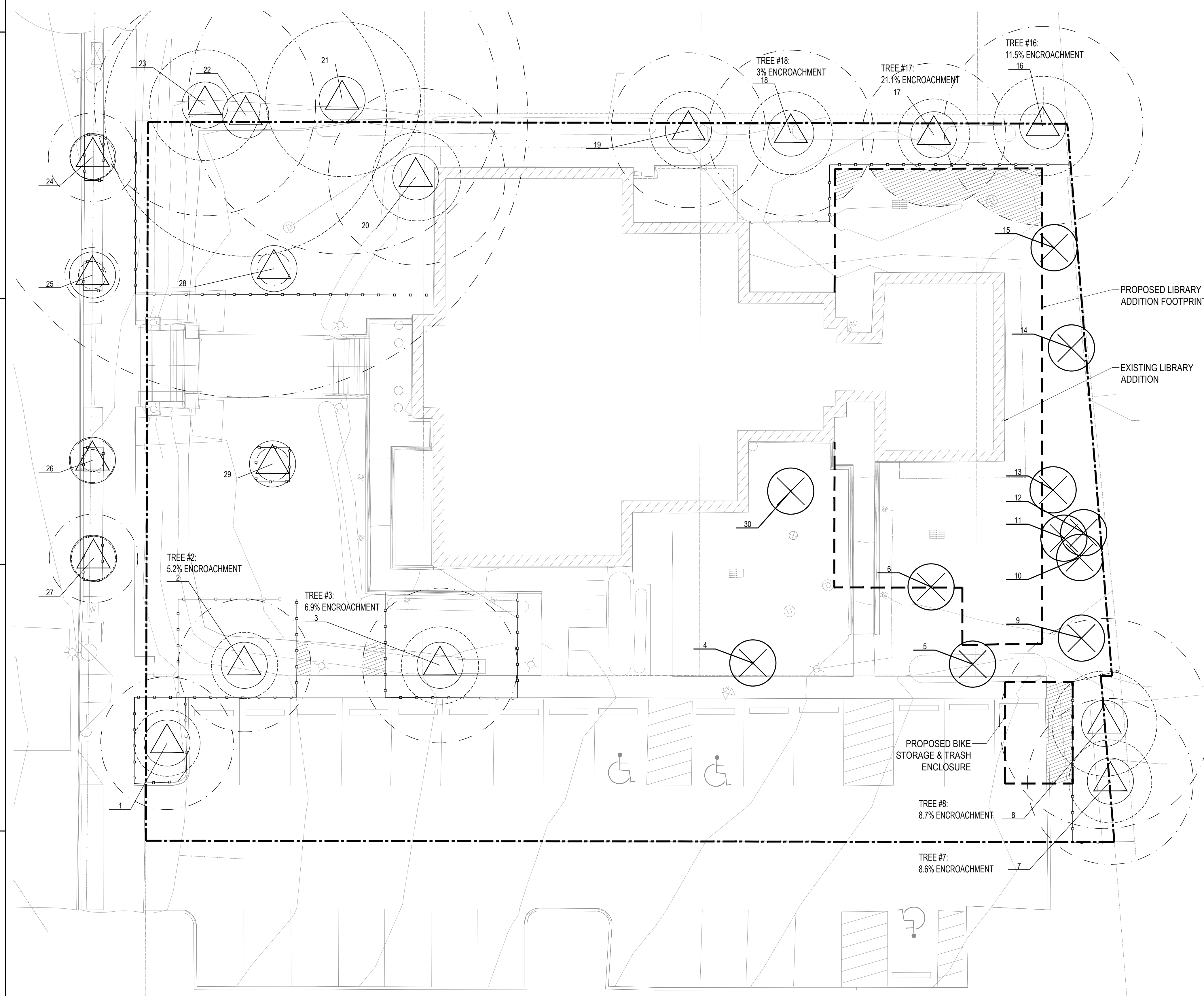


### TREE REMOVAL / PROTECTION LEGEND

- PROPERTY LINE
- ON-SITE TREE PROTECTION FENCING
- ROOT PROTECTION ZONE (RPZ) 1  
L-210
- CRITICAL ROOT ZONE (CRZ)  
- ONE HALF OF RPZ PER CITY OF PORTLAND
- TREES TO BE REMOVED  
- (NS) DENOTES TREES NOT FOUND ON SURVEY OR TREE REPORT
- TREES TO BE RETAINED

### TREE TABLE

NO.	COMMON NAME	BOTANICAL NAME	CONDITION	DBH (DIA. IN.)	DISPOSITION	NOTES
1	RED MAPLE	ACER RUBRUM	GOOD	12	PROTECT	
2	RED MAPLE	ACER RUBRUM	GOOD	12	PROTECT	
3	RED MAPLE	ACER RUBRUM	GOOD	14	PROTECT	
4	RED MAPLE	ACER RUBRUM	GOOD	18	REMOVE	
5	RED MAPLE	ACER RUBRUM	GOOD	16	REMOVE	
6	RED MAPLE	ACER RUBRUM	GOOD	16	REMOVE	
7	LEYLAND CYPRESS	CUPRESSUS x LEYLANDII	GOOD	15	PROTECT	
8	PINE	PINUS SPP.	GOOD	19	PROTECT	
9	SWEET CHERRY	PRUNUS AVIUM	FAIR	9	REMOVE	PORTLAND NUISANCE TREE
10	SWEET CHERRY	PRUNUS AVIUM	GOOD	4	REMOVE	PORTLAND NUISANCE TREE
11	SWEET CHERRY	PRUNUS AVIUM	GOOD	10	REMOVE	PORTLAND NUISANCE TREE
12	SWEET CHERRY	PRUNUS AVIUM	GOOD	12	REMOVE	PORTLAND NUISANCE TREE
13	PERSIAN IRONWOOD	PARROTIA PERSICA	GOOD	9	REMOVE	
14	PERSIAN IRONWOOD	PARROTIA PERSICA	GOOD	4	REMOVE	
15	PERSIAN IRONWOOD	PARROTIA PERSICA	GOOD	13	REMOVE	
16	BLACKHAW VIBURNUM	VIBURNUM PRUNIFOLIUM	FAIR	18	PROTECT	
17	HORNBEAM	CARPINUS BETULUS	GOOD	13	PROTECT	
18	HORNBEAM	CARPINUS BETULUS	GOOD	15	PROTECT	
19	HORNBEAM	CARPINUS BETULUS	GOOD	14	PROTECT	
20	PORTUGUESE LAUREL	PRUNUS LUSTANICA	FAIR	16	PROTECT	
21	NORWAY MAPLE	ACER PLATANOIDES	GOOD	28	PROTECT	ADJACENT PROPERTY
22	NORWAY MAPLE	ACER PLATANOIDES	GOOD	51	PROTECT	ADJACENT PROPERTY
23	NORWAY MAPLE	ACER PLATANOIDES	FAIR	20	PROTECT	ADJACENT PROPERTY
24	PAPERBARK MAPLE	ACER GRISEUM	FAIR	8	PROTECT	
25	PAPERBARK MAPLE	ACER GRISEUM	FAIR	5	PROTECT	
26	PAPERBARK MAPLE	ACER GRISEUM	GOOD	4	PROTECT	
27	PAPERBARK MAPLE	ACER GRISEUM	GOOD	8	PROTECT	
28	GINKGO	GINKGO BILOBA	FAIR	3	PROTECT	
29	GINKGO	GINKGO BILOBA	FAIR	3	PROTECT	
30	PAPERBARK MAPLE	ACER GRISEUM	GOOD	13	REMOVE	



02/08/2024

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### MATERIALS LEGEND

----- PROPERTY LINE  
TYP. TYPICAL

### MATERIALS SCHEDULE

#### PAVEMENTS

- (A1) ASPHALT PAVING - VEHICULAR - SEE CIVIL
- (B1) CONCRETE PAVING - PEDESTRIAN - SAW CUT JOINT, BROOM FINISH
- (C1) GRAVEL MULCH

#### STAIRS, RAMPS, WALLS, AND CURBS

- (H1) CAST IN PLACE CONCRETE WALL
- (G1) CAST IN PLACE CONCRETE RAMP W/ HANDRAIL
- (G2) CAST IN PLACE CONCRETE STAIRS W/ HANDRAIL
- (K1) CONCRETE CURB - RAISED - SEE CIVIL
- (K2) CONCRETE CURB - FLUSH - SEE CIVIL

#### RAILINGS, FENCING AND GATES

- (M1) GUARDRAIL - MATCH EXISTING
- (M2) HANDRAIL - TUBE STAINLESS STEEL
- (M3) DECORATIVE FENCING & GATE - 8' TALL METAL FENCE

#### PLANTING & IRRIGATION

- (EXISTING TREE) EXISTING TREE
- (PROPOSED TREE) PROPOSED TREE
- (P.A.) PLANTING AREA

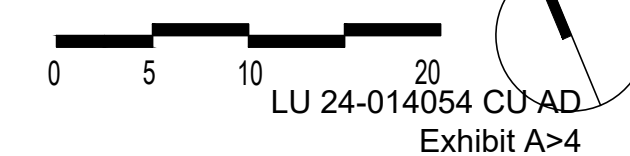
#### SITE FURNISHINGS

- (Q1) BIKE RACK - COLUMBIA CASCADE: 2170-3-06
- (Q2) TABLES & CHAIRS - LANDSCAPE FORMS CAROUSEL CASUAL HOOP
- (Q3) WOOD BENCH - LANDSCAPE FORMS NEOLIVIANO BENCH
- (Q4) PLANTER - GREEN THEORY JOIN PLANTER
- (Q5) PLANTER BENCH - GREEN THEORY JOIN BENCH SEATING
- (Q6) EV ELECTRIC CHARGING STATION w/ CONC. PAD

#### SHEET NOTES:

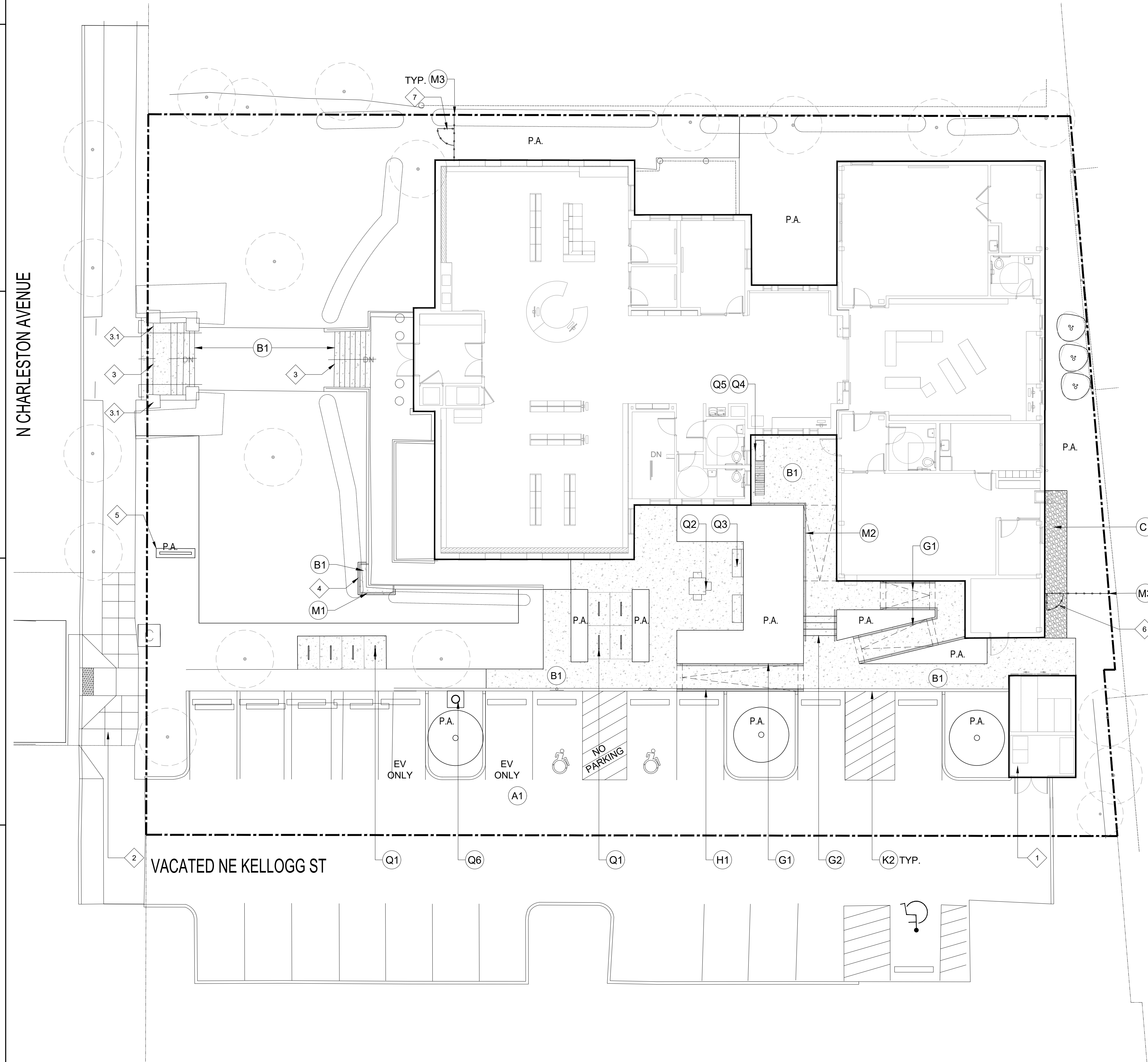
- 1 BIKE STORAGE & TRASH ENCLOSURE, SEE ARCH.
- 2 RIGHT OF WAY PAVING, SEE CIVIL.
- 3 REPLACE EXISTING STAIRS CONCRETE PAVING, SALVAGE AND REUSE HANDRAIL.
- 3.1 PROTECT EXISTING STAIR'S RETAINING WALL AND PILLARS IN PLACE.
- 4 EXPAND EXISTING RAMP LANDING, SALVAGE AND REUSE GUARDRAIL.
- 5 LIBRARY MONUMENT SIGN, MCL STANDARD TYPE AA1, SEE ARCH.
- 6 GATE WITH CARD READER, SEE HARDWARE SPECIFICATION.
- 7 GATE WITH LOCK, SEE HARDWARE SPECIFICATION.

SCALE: 1" = 10'



Mark	Date	Description of Revision	By

Drawn By: RW	Checked By: CB
Building Number: 615	Approved By: Approver
Multico Project Number: P78LB172021 09	
Sheet Title <b>SITE MATERIALS PLAN</b>	
Date 02/08/2024	
<b>LS-110</b>	
L Sheet 2 Of 12	



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Mark | Date | Description of Revision | By

Drawn By: RW  
Checked By: CB  
Building Number: 615  
Approved By: Approver  
Multico Project Number: P78LB172021 09

Sheet Title

SITE IRRIGATION  
PLAN

Date

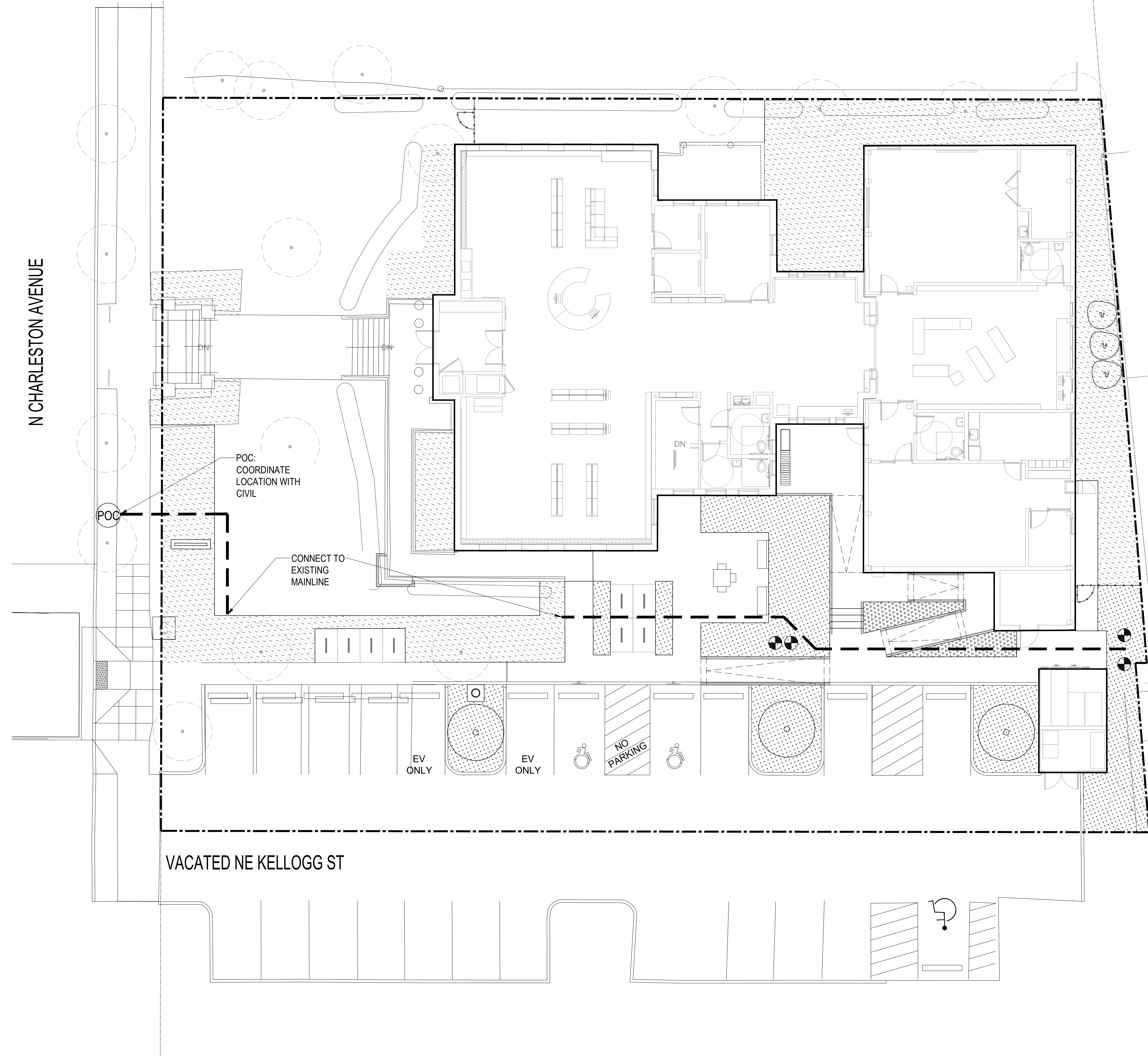
02/08/2024

LS-120

L Sheet 3 Of 12

02/08/2024

100% DESIGN DEVELOPMENT



### IRRIGATION LEGEND

- PROPERTY LINE
- [Stippled Area] SITE IRRIGATION
- [Cross-hatched Area] REPAIR EXISTING IRRIGATION

### PVC SCHEDULE 40 - PIPE SIZING CHART

GPM	PIPE SIZE
0-12	1"
13-30	1.5"
31-50	2"

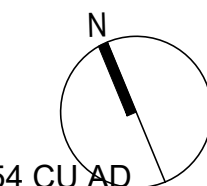
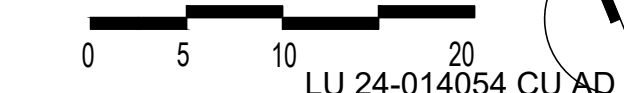
### IRRIGATION EQUIPMENT SCHEDULE

SYMBOL	DESCRIPTION	MODEL	DETAIL L/ SHEET
POC	POINT OF CONNECTION	DCVA: 1.5" WATTS-007 OR EQ. W/ BLACK CARSON 1730 VALVE BOX. SEE CIVIL FOR METER.	1/L-520
[C]	CONTROLLER: 12 STA. INTERIOR WALL MOUNT	HUNTER-IC2-800-SS W/ ICM MODULE & SOLAR SYNC.	2/L-520
[Valve Symbol]	BRONZE GATE/ ISOLATION VALVE (LINE SIZE)	NIBCO T-113K FULL PORT W/ CROSS HANDLE	5/L-520
[Valve Symbol]	REMOTE CONTROL VALVE	HUNTER ICV-101G-AS-ADJ	3/L-520
[Valve Symbol]	QUICK COUPLER VALVE WITH KEY	HUNTER HQ-44LRC 1" 2-PIECE BODY	6/L-520
[Line Symbol]	LATERAL LINE - SIZE PER SCHEDULE	CRESLINE NW, JM EAGLE, OR EQUAL.	
[Line Symbol]	1.5" SCHEDULE 40 PVC MAINLINE, UNLESS OTHERWISE NOTED	CRESLINE NW, JM EAGLE, OR EQUAL.	
[Line Symbol]	4" SCHEDULE 40 PVC SLEEVE, UNLESS OTHERWISE NOTED	CRESLINE, JM EAGLE, OR EQUAL.	
[XX.XX 1" X"]	VOLUME IN GAL/MIN ZONE NUMBER VALVE SIZE	ZONING AREAS APPROXIMATE BASED ON PROPOSED PLANTING.	

### SHEET NOTES:

- ALL WORK IN THE PUBLIC RIGHT OF WAY UNDER A SEPARATE PERMIT. TREES SHOWN FOR REFERENCE ONLY. REFER TO PUBLIC WORKS PERMIT #TH1243.
- ALL IRRIGATION COMPONENTS LOCATED IN THE PUBLIC RIGHT-OF-WAY MUST CONFORM TO THE CITY OF PORTLAND ADOPTED ADMINISTRATIVE RULE FOR PRIVATE ENCROACHMENTS IN THE RIGHT-OF-WAY. TRN-8.08 AND POLICY FOR IRRIGATION SYSTEMS IN THE RIGHT-OF-WAY.

SCALE: 1" = 10'



LU 24-014054 CU AD  
Exhibit A>4



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Drawn By: RW	Checked By: CB
Building Number: 615	Approved By: Approver
Multico Project Number: P78LB172021 09	

Sheet Title  
IRRIGATION NOTES

Date  
02/08/2024

**LS-121**  
L Sheet 4 Of 12

### IRRIGATION NOTES

THE DESIGN-BUILD IRRIGATION SYSTEM SHALL MEET THE FOLLOWING REQUIREMENTS:

1. ALL PLANTING AREAS ARE TO BE IRRIGATED WITH FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. DESIGN AND INSTALL IRRIGATION SYSTEM IN ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES. COORDINATE ALL WORK WITH OTHER TRADES INVOLVED.
2. CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE WORKING SYSTEM. SUBMIT APPROPRIATELY SCALED IRRIGATION DESIGN DRAWINGS FOR REVIEW BY LANDSCAPE ARCHITECT.
3. COORDINATE POINT OF CONNECTION, MAINLINE ROUTING, LOCATION, POWER AND SLEEVES FOR AUTOMATIC CONTROLLER, AND VERIFY AVAILABLE PRESSURE AND FLOW PRIOR TO BEGINNING WORK. NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY IF REQUIREMENTS CANNOT BE MET.
4. COORDINATE WITH OTHER SUBCONTRACTORS AND TRADES TO ENSURE PROTECTION OF THE SYSTEM INCLUDING BUT NOT LIMITED TO, WATER SERVICE, WATER METER, BACKFLOW DEVICES, CONTROLLER LOCATION, CONTROLLER ELECTRICAL SERVICE, AND WIRE CONDUITS FOR CONTROLLER.
5. VERIFY AND COORDINATE WORK AROUND ALL UNDERGROUND UTILITIES BEFORE EXCAVATION. NOTIFY ALL UTILITY PROVIDERS AT LEAST THREE (3) WORKING DAYS PRIOR TO BEGINNING WORK.
6. VERIFY THAT CONDITIONS ARE SUITABLE TO PROVIDE A COMPLETE WORKING SYSTEM. DO NOT PROCEED IF CONDITIONS ARE PRESENT THAT ARE DETRIMENTAL TO THE EQUIPMENT OR WILL NOT SUPPORT A HEALTHY GROWING ENVIRONMENT FOR PLANTS. COMMENCEMENT OF WORK CONFIRMS ACCEPTANCE OF SITE CONDITIONS.
7. PROVIDE HIGH EFFICIENCY, LOW FLOW, MULTI STREAM ROTARY NOZZLE SPRAY HEADS WITH MAXIMUM 10' RADIUS IN SHRUB AREAS. STRIP HEADS TO BE MAXIMUM 12' SPACING. BASIS OF DESIGN: HUNTER MP-PRS.
8. PROVIDE 12" POP-UP BODIES IN SHRUB AND GROUND COVER AREAS, TYP., 6" BODIES WHERE DIRECTLY ADJACENT TO HEAD-IN PARKING.
9. PROVIDE PVC LATERAL LINES, MAXIMUM 1.5" DIAMETER. SIZE PIPE TO ENSURE THAT MAXIMUM WATER VELOCITY DOES NOT EXCEED 5 FT./SEC.
10. ZONES TO BE MAXIMUM 30 GPM.
11. NEW TREES IN TREE PIT NOT WITHIN A PLANTING AREA SHALL BE IRRIGATED ON SEPARATE ZONE WITH SUBSURFACE ROOT WATERING BUBBLER SYSTEM.
12. PLACE ALL VALVE BOXES IN PLANTING BEDS WHERE POSSIBLE, AND LOCATE TO ALLOW EASE OF ACCESS FOR MAINTENANCE, CONSIDERING PLANT MATERIAL AND OBSTRUCTIONS. ALL VALVE BOX LIDS TO BE BLACK IN COLOR WITH BOXES SIZED TO ACCOMMODATE COMPLETE VALVE ASSEMBLY INCLUDING WIRE, ISOLATION VALVES, AND UNIONS. SET VALVE BOXES IN A UNIFORM MANNER, SQUARE TO ADJACENT PAVING. ALIGN AND EVENLY SPACE GROUPS OF BOXES IN A UNIFORM AND ORDERLY FASHION. ONLY ONE VALVE PER BOX. BOX LOCATIONS SHALL BE STAKED IN FIELD AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. VALVE BOXES SHALL BE OFFSET FROM EDGE OF PAVEMENT BY A MINIMUM OF 24".
13. PROVIDE LOCKABLE BOXES FOR ALL IN-GROUND IRRIGATION VALVES.
14. INSTALL ALL IRRIGATION PIPE AND WIRE IN SCHEDULE 40 PVC SLEEVES BELOW ALL PAVED SURFACES OR STRUCTURES SUCH AS WALLS, STAIRS, AND OTHER IMPROVEMENTS. SIZE OF SLEEVES SHALL BE MINIMUM TWICE (2X) THE COMBINED DIAMETER OF PIPE TO BE PLACED IN SLEEVE. MINIMUM SIZE 4" WITH 24" COVER, MINIMUM. COORDINATE PLACEMENT OF SLEEVES WITH OTHER TRADES.
15. ADJUST THE ENTIRE SYSTEM TO PROVIDE UNIFORM EVEN COVERAGE. ELIMINATE ALL FOGGING, AND OVERSPRAY ON TO PAVING, STRUCTURES, OR NON-PLANTED AREAS. PROVIDE A COMPLETE WORKING SYSTEM.

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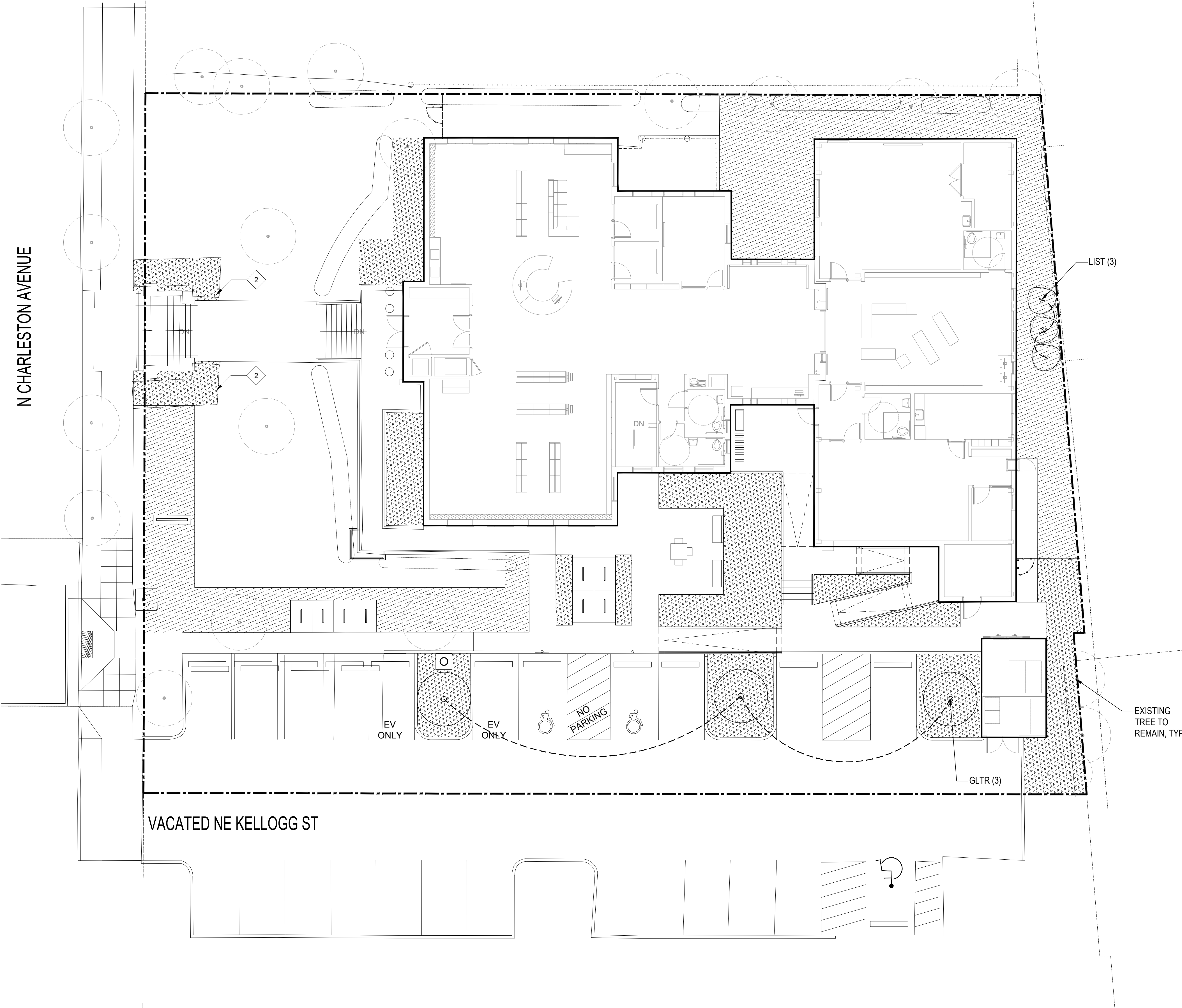
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Drawn By:	Checked By:
Building Number:	Approved By:
Multico Project Number:	Approver:
Sheet Title	

PLANTING PLAN

Date: 02/08/2024

LS-130  
 L Sheet 5 Of 12

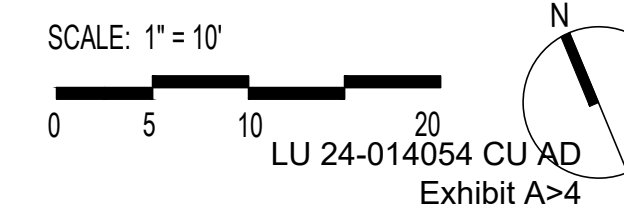


### PLANTING LEGEND

--- PROPERTY LINE  
 TYP. TYPICAL

### SHEET NOTE

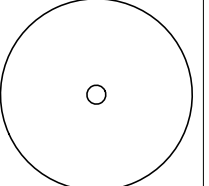

- 1 SEE PLANTING SCHEDULE & NOTES ON SHEET LS-131.
- 2 REMOVE EXISTING HEDGE.



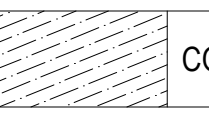







02/08/2024

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### TREE SCHEDULE

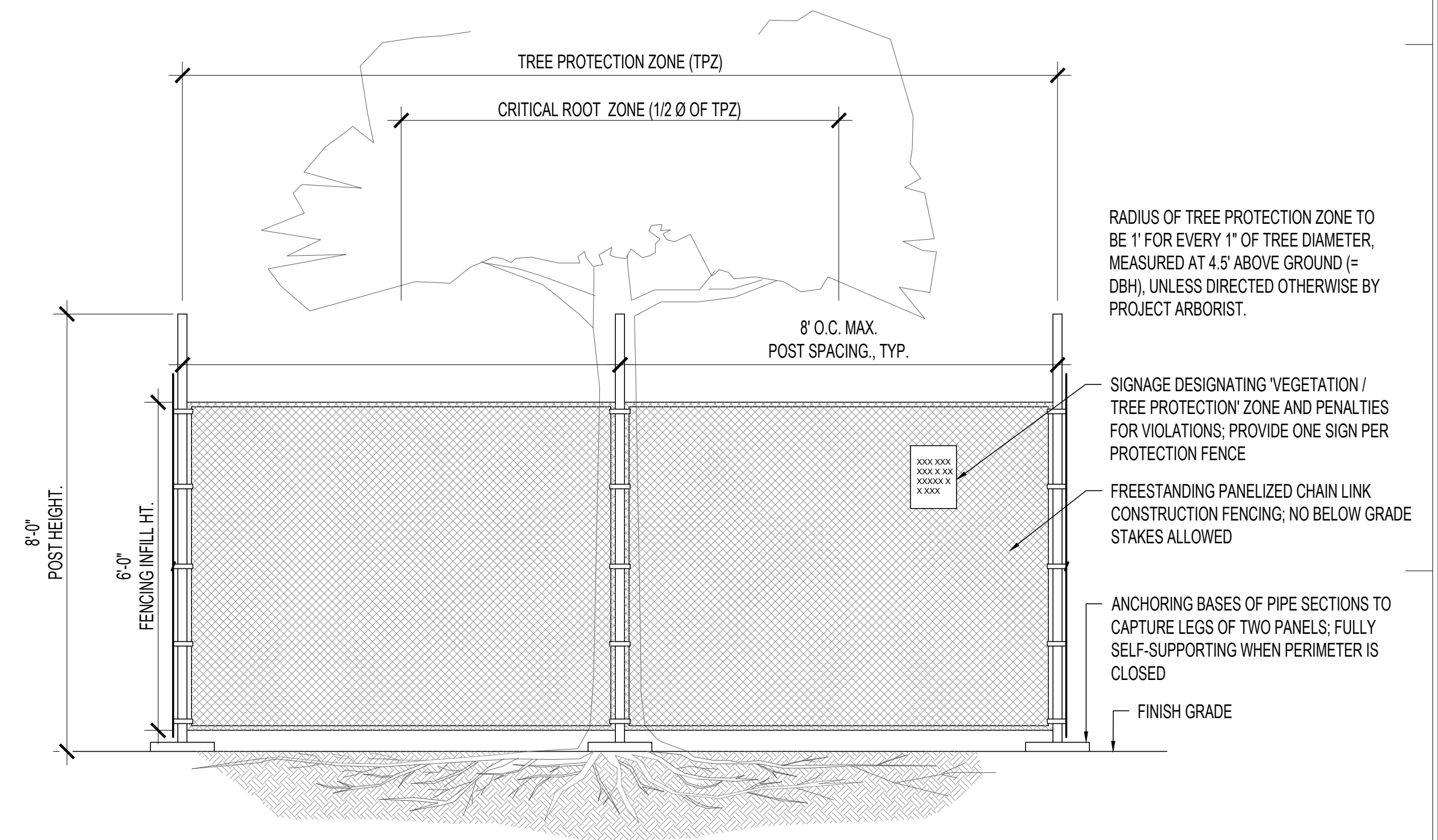
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE (HT.X SPRD.)	SPACING	QUANTITY	NOTES
	GLTR	GLEDITSIA TRIACANTHOS 'SKYCOLE'	SKYLINE HONEYLOCUST	2.5" CAL.; 10'-12' HT.	AS SHOWN	2	
	LIST	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'	'SLENDER SILHOUETTE' SWEETGUM	2" CAL.	AS SHOWN	3	

### PLANT SCHEDULE

SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE (HT.X SPRD.)	CONTAINER CLASS	SPACING	NOTES
ENHANCEMENT PLANTING							
	COHO	COTONEASTER HORIZONTALIS	ROCKSPRAY COTONEASTER	12" SPRD.	CG #1, #2	24" O.C.	EVERGREEN GROUNDCOVER
FEATURE PLANTING							
	COHO	COTONEASTER HORIZONTALIS	ROCKSPRAY COTONEASTER	12" SPRD.	CG #1, #2	24" O.C.	EVERGREEN GROUNDCOVER
	CHAZ	CHOISYA x DEWITTEANA 'AZTEC PEARL'	AZTEC PEARL MEXICAN ORANGE	18" HT. OR SPRD.; 4 CANES	CG #3	48" O.C.	TYPE 3 BROADLEAF EVERGREEN; LOW SHRUB
	MASO	MAHONIA EURYBRACTEATA 'SOFT CARESS'	SOFT CARESS MAHONIA	12" SPRD.	CG #2, #3	36" O.C.	EVERGREEN SHRUB; HEAVY, WELL FOLIAGED; DIRR SPECS: ZONES 4-8; 48" HT.x SPRD
	RISA	RIBES SANGUINEUM	RED FLOWERING CURRANT	24" HT.; 4 CANES	CG #3, #5, #7	AS SHOWN	PNW NATIVE; ATTRACTS BIRDS; HIGH SCREEN SHRUB
FOUNDATION PLANTING							
	ARUV	ARCTOSTAPHYLOS UVA-URSI 'MASSACHUSETTS'	MASSACHUSETTS KINNICKINNIK	12" SPRD.	CG #1, #2	24" O.C.	EVERGREEN GROUNDCOVER; ROOTS TO EDGE OF CONTAINER
	LIMU	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILY TURF	6" HT. x 10" SPRD.	CG #2, #3	12" O.C.	GRASS-LIKE GROUNDCOVER; ROOTS TO EDGE OF CONTAINER
	POMU	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	12" SPRD.	CG #2, #3	36" O.C.	PNW NATIVE; EVERGREEN FERN; HEAVY, WELL FOLIAGED

### PLANTING NOTES

- VERIFY LOCATION OF EXISTING TREES TO REMAIN PRIOR TO SOIL PREPARATION. PROTECT ALL TREES AND SHRUBS INDICATED TO REMAIN.
- VERIFY AND COORDINATE WORK AROUND ALL UNDERGROUND UTILITIES BEFORE EXCAVATION. NOTIFY ALL UTILITY PROVIDERS AT LEAST TWO (2) WORKING DAYS PRIOR TO BEGINNING WORK.
- VERIFY THAT THE CONDITIONS ARE SUITABLE TO PROMOTE HEALTHY PLANT GROWTH. DO NOT PROCEED IF CONDITIONS DETRIMENTAL TO HEALTHY GROWING ENVIRONMENT ARE PRESENT, INCLUDING OVER-COMPACTED SOILS, ADVERSE DRAINAGE CONDITIONS, DEBRIS, OR OTHER HARMFUL CIRCUMSTANCES. PROCEEDING WITHOUT NOTIFICATION DENOTES ACCEPTANCE.
- COORDINATE WITH OTHER SUBCONTRACTORS AND TRADES TO ENSURE PROTECTION OF GROWING CONDITIONS AND PLANT MATERIALS.
- REFER TO SPECIFICATIONS FOR ADDITIONAL PLANTING REQUIREMENTS, METHODS, AND MATERIALS.
- VERIFY PLANT QUANTITIES SHOWN ON THE PLANS BASED ON GRAPHIC REPRESENTATION. QUANTITIES SHOWN ARE FOR CONTRACTOR CONVENIENCE ONLY.
- PROVIDE POSITIVE DRAINAGE FOR ALL PLANTING AREAS.
- UNLESS OTHERWISE INDICATED, ALL PLANTINGS SHALL BE TRIANGULARLY SPACED.
- LABELING REFERS TO ALL ADJACENT IDENTICAL SYMBOLS WHERE PLANTS ARE MASSED. LABEL FOR MASS INDICATES TOTAL NUMBER OF PLANTS IN GROUP, EVEN IF THE GROUP IS SPREAD OVER MORE THAN ONE SHEET.
- WHERE SPACING DIMENSIONS ARE INDICATED AS A RANGE, USE GRAPHICALLY INDICATED NUMBER OF PLANTS DISTRIBUTED EVENLY WITHIN THE AREA SHOWN ON THE DRAWINGS.



**NOTES:**

- 1) NO SOIL GRADE CHANGES, COMPACTION OR STORAGE OF MATERIALS SHALL BE ALLOWED WITHIN THE CRITICAL ROOT ZONE (CRZ). THE FOLLOWING CONSTRUCTION ACTIVITIES SHALL NOT BE ALLOWED WITHIN THE CRZ:
  - STORAGE OR STAGING OF MATERIALS OR EQUIPMENT
  - DUMPING OF REFUSE
  - VEHICLE PARKING
  - EXCAVATION, TRENCHING, OR FILL
- 2) TREE PROTECTION ZONE (TPZ) MAY EXTEND BEYOND DRIPLINE. ARBORIST'S RECOMMENDATIONS MAY EXTEND PROTECTION METHODS BEYOND THE SCOPE OF THIS DETAIL.
- 3) ENCROACHMENT INTO THE ROOT PROTECTION ZONE (RPZ) AREA IS LIMITED TO EXISTING DEVELOPMENT AND AN ADDITIONAL 25 PERCENT OF THE TOTAL RPZ AREA ON SITE. NO ENCROACHMENT IS ALLOWED CLOSER THAN ONE HALF THE REQUIRED RADIUS DISTANCE.
- 4) THE CRZ FOR TREES 4" DIAMETER OR SMALLER SHALL BE AN AREA WITH A RADIUS AT LEAST 5' FROM THE TRUNK. THE CRZ FOR TREES OVER 4" DIAMETER SHALL BE AN AREA WITH A RADIUS AT LEAST 1'-6" FROM THE TRUNK FOR EVERY 1" OF DIAMETER SIZE.
- 5) PROTECTIVE FENCING IS REQUIRED WHEN THE WORK AREA IS WITHIN THE CRZ OF TREES, EXCEPT WHERE PORTIONS OF THE CRZ ARE COVERED WITH PAVEMENT SUCH AS STREETS OR WALKS.
- 6) WORK DONE WITHIN THE CRZ MUST MINIMIZE ROOT DISTURBANCE. SPECIAL CARE SHALL BE TAKEN DURING EXCAVATION AND REMOVAL OF EXISTING CURB, GUTTER, AND SIDEWALKS TO AVOID DAMAGE TO TREE ROOTS. LOCATE EXISTING TREE ROOTS USING HAND TOOLS OR OTHER APPROVED METHODS SUCH AS AIRSPACE.
- 7) NO ROOT OVER 2" SHALL BE CUT WITHOUT APPROVAL OF THE URBAN FORESTER OR THE APPROVED PROJECT ARBORIST. ROOTS SHALL ONLY BE CUT WITH PRUNING SAWS OR SHEARS. NO ROOTS OVER 2" SHALL BE CUT OR TORN DURING TRENCHING WITH POWER EQUIPMENT SUCH AS BACKHOES AND TRENCHERS. UTILITY LINES AND IRRIGATION OR OTHER PIPES SHALL BE INSTALLED BY HAND DIGGING OR TUNNELING UNDER ROOTS AS NECESSARY. AVOID CUTTING ROOTS 2" AND LARGER.

**1 ON-SITE TREE PROTECTION FENCING**  
NOT TO SCALE

Mark	Date	Description of Revision	By

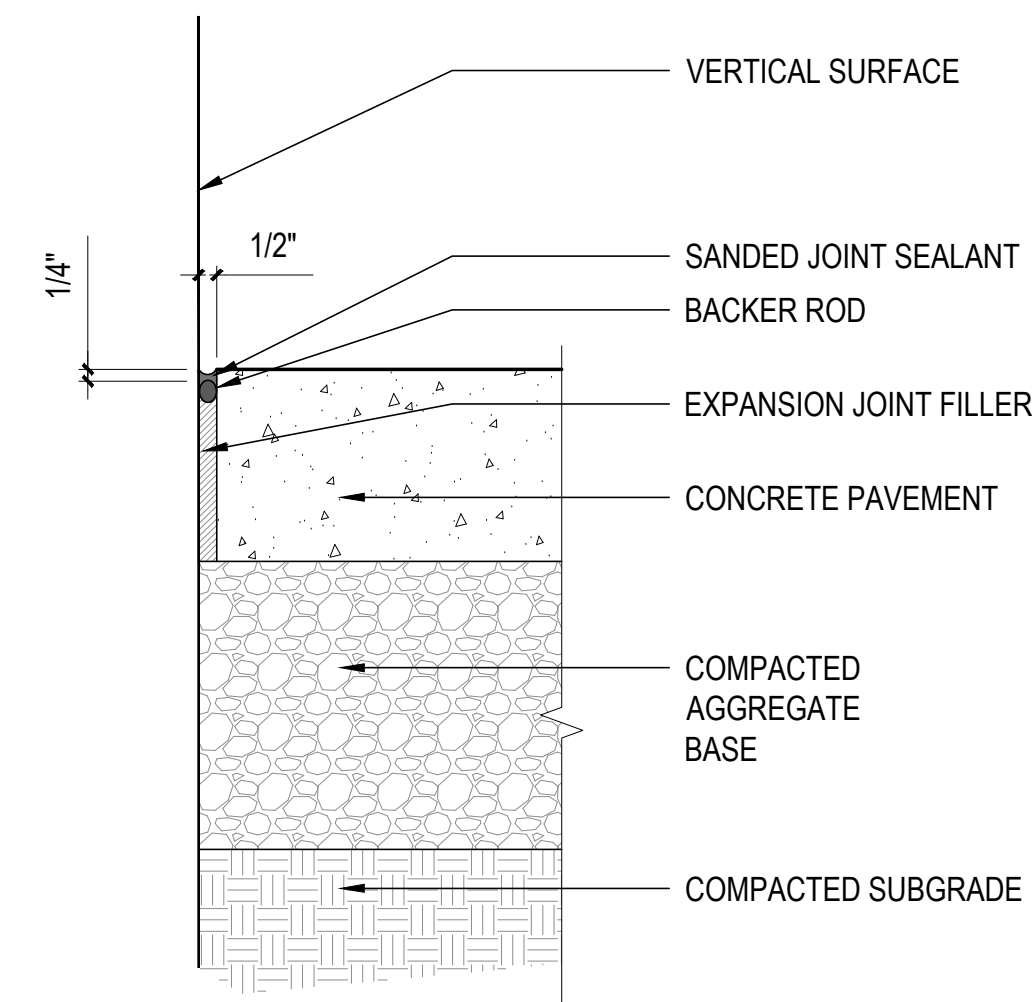
Drawn By: rw	Checked By: cb
Building Number: 615	Approved By: Approver
Multico Project Number: P78LB172021 09	
Sheet Title	

**TREE PROTECTION  
DETAIL**

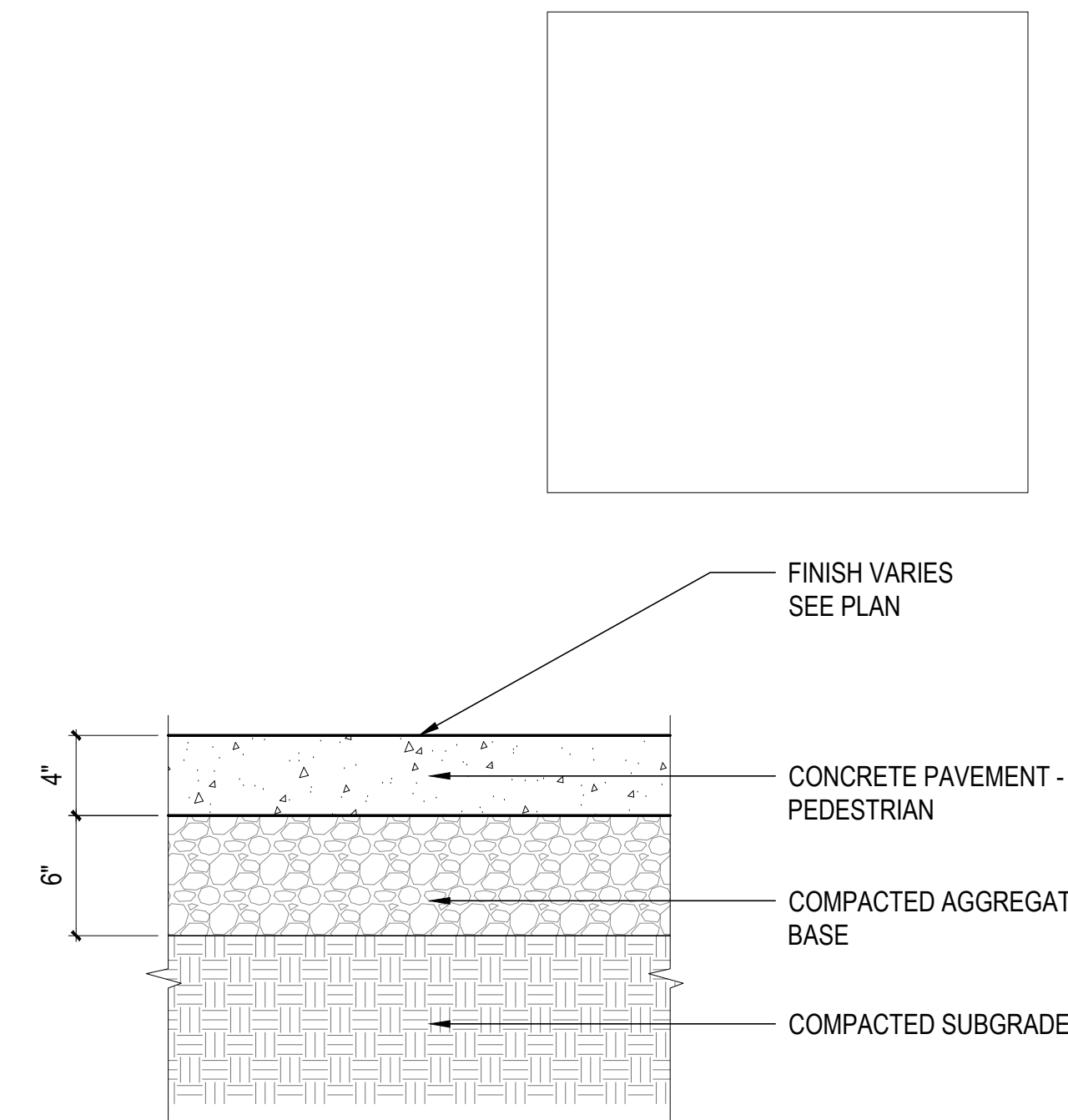
Date  
**02/08/2024**

**L-210**  
L Sheet 7 Of 12

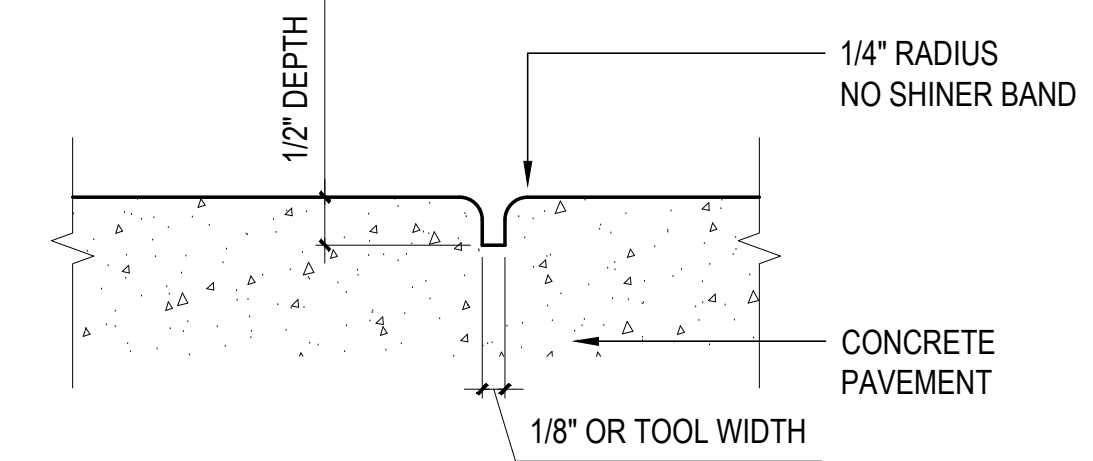
**ISSUED FOR  
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**NOT FOR  
CONSTRUCTION**



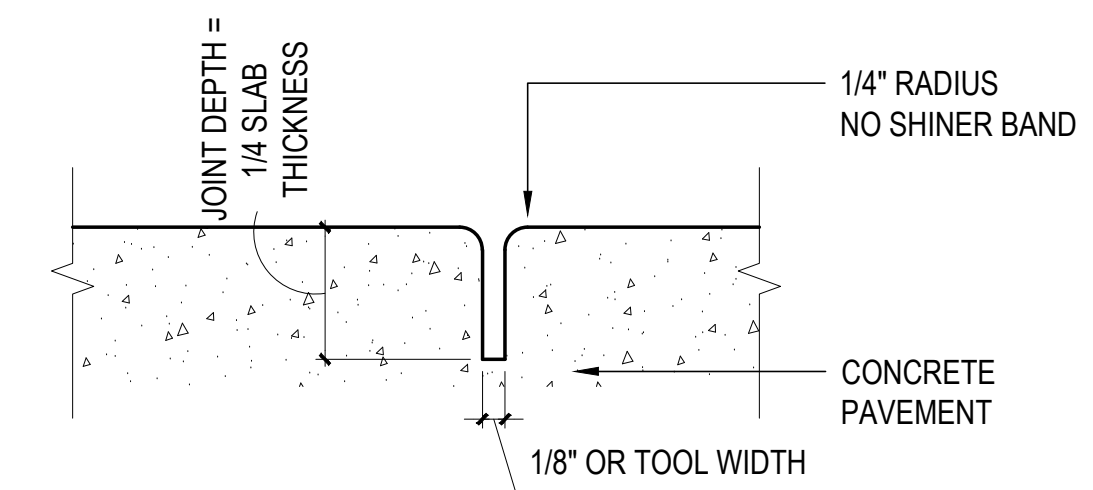
**5 ISOLATION JOINT**  
3'=1'-0"



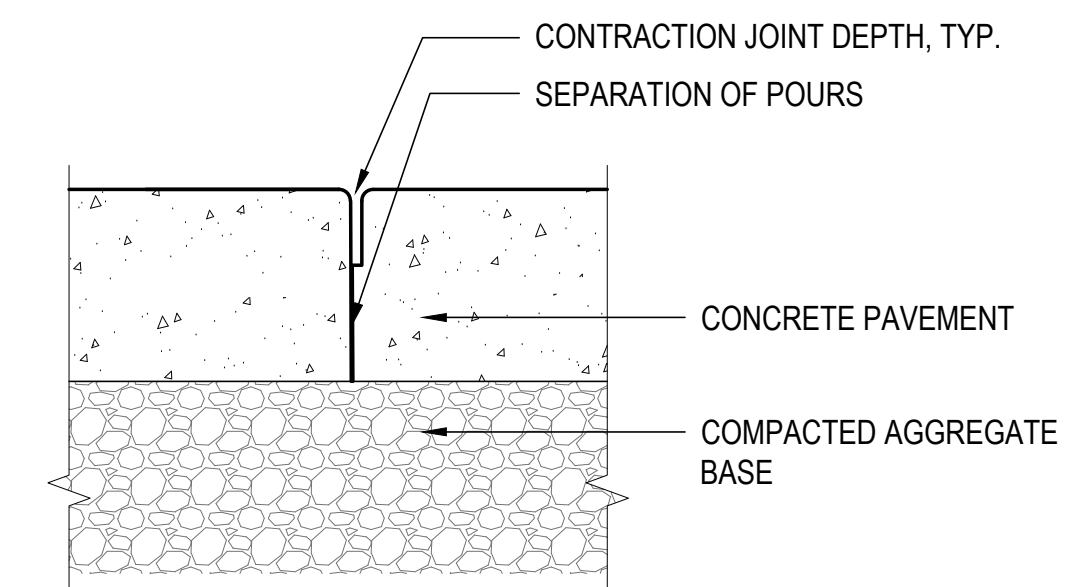
**1 CONCRETE PAVING - PEDESTRIAN**  
1-1/2'=1'-0"



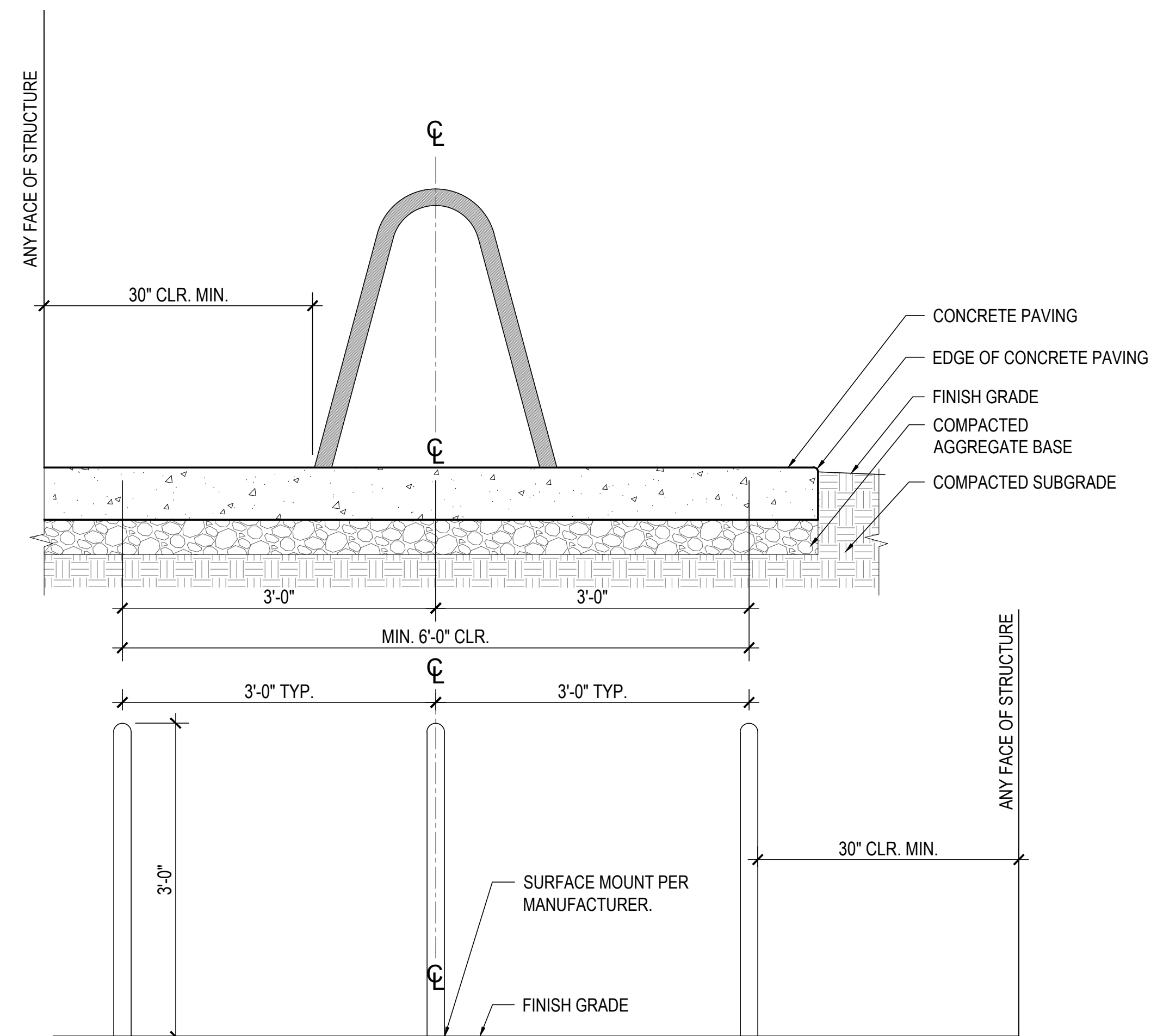
**2 SCORE JOINT**  
6'=1'-0"



**3 CONTRACTION JOINT**  
6'=1'-0"



**4 CONSTRUCTION JOINT**  
3'=1'-0"



**NOTES:**  
1. SEE SITE MATERIALS AND LAYOUT PLANS FOR LOCATIONS.  
2. CONFIRM THAT BIKE RACK ENDS AND EDGES WILL HAVE 30" CLR. MIN. OF ALL STRUCTURES.

**6 BIKE RACK**  
1'=1'-0"

Mark	Date	Description of Revision	By

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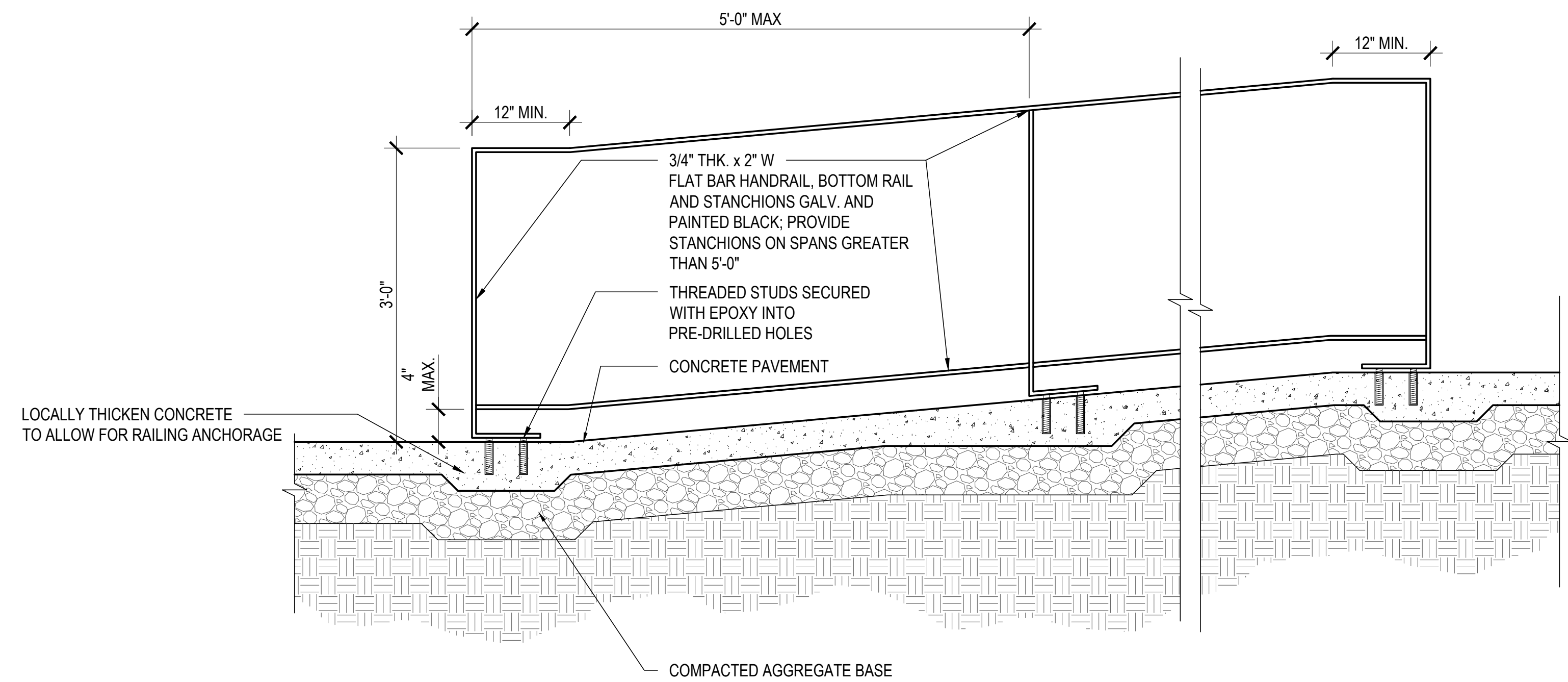
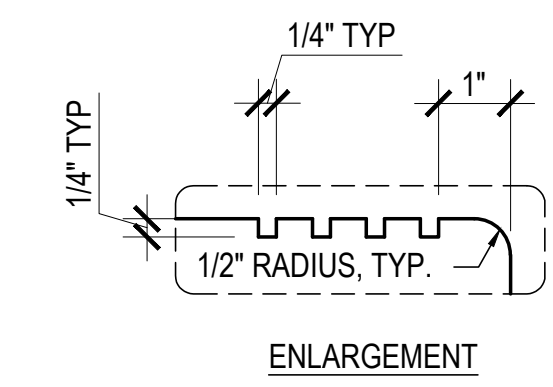
SITE DETAILS

Date: 02/08/2024

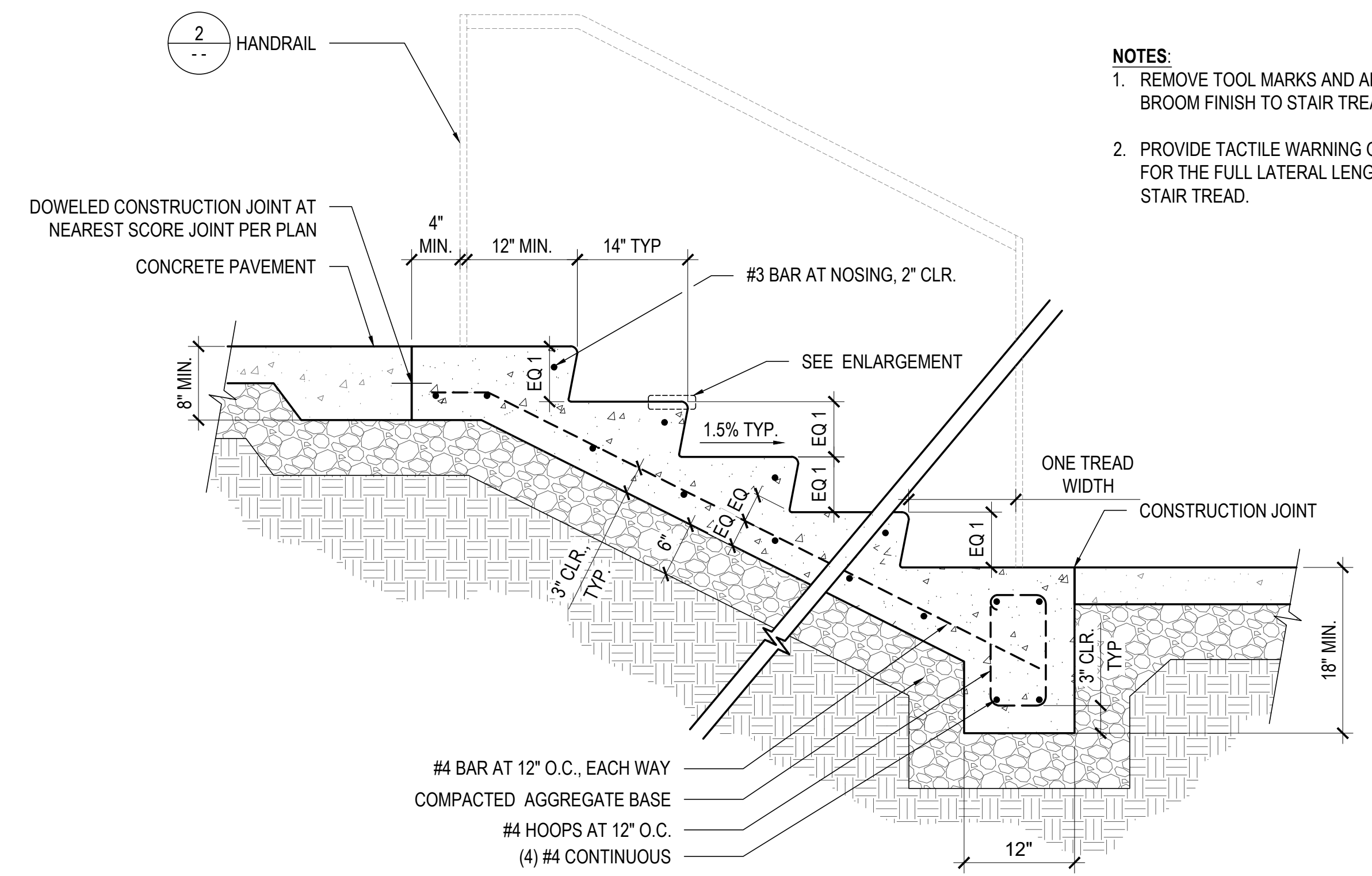
**L-211**  
L Sheet 8 Of 12

LU 24-014054 CU AD  
Exhibit A>4

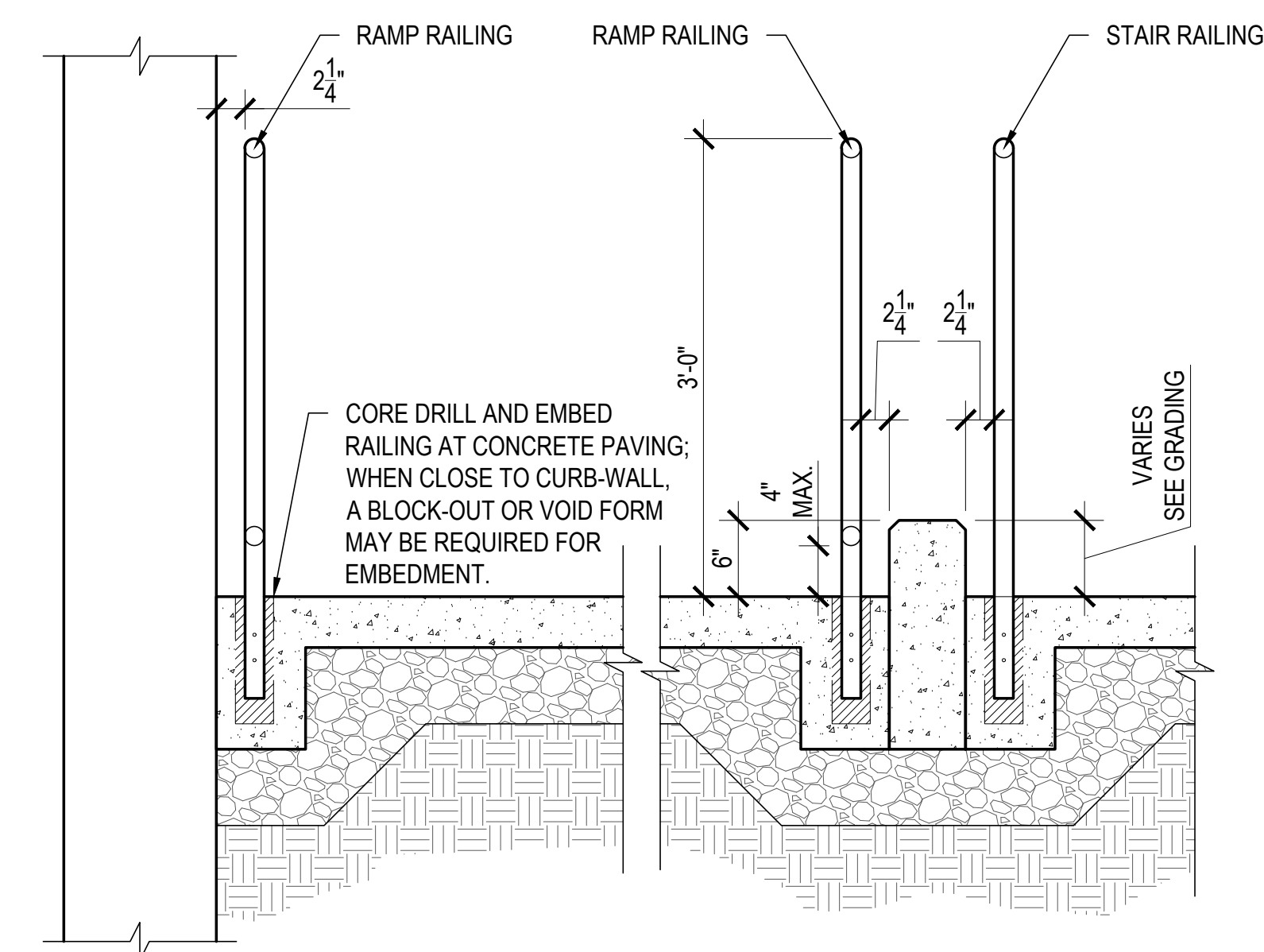




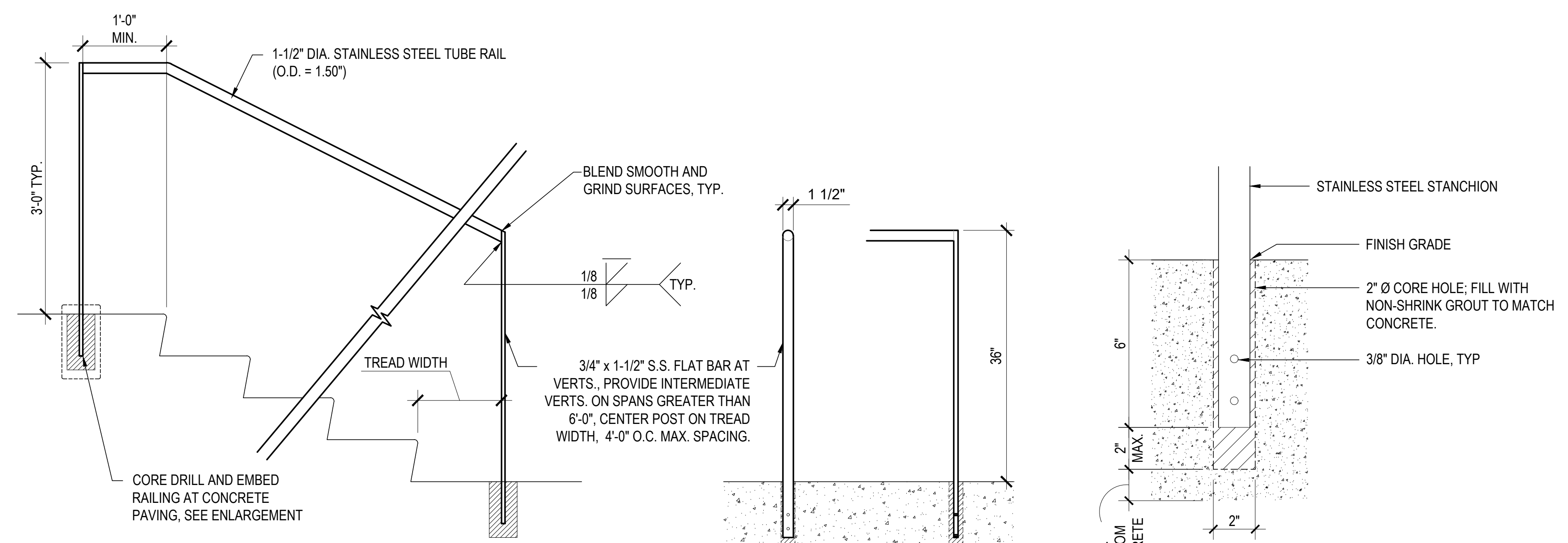
**3 C.I.P. CONCRETE RAMP**  
1"=1'-0"



**1 C.I.P. CONCRETE STAIR**  
1"=1'-0"



**4 RAMP HANDRAIL**  
1"=1'-0"



**NOTE:**  
PROVIDE SHOP DRAWINGS FOR LANDSCAPE ARCHITECT REVIEW.

**2 STAIR HANDRAIL**  
1"=1'-0"

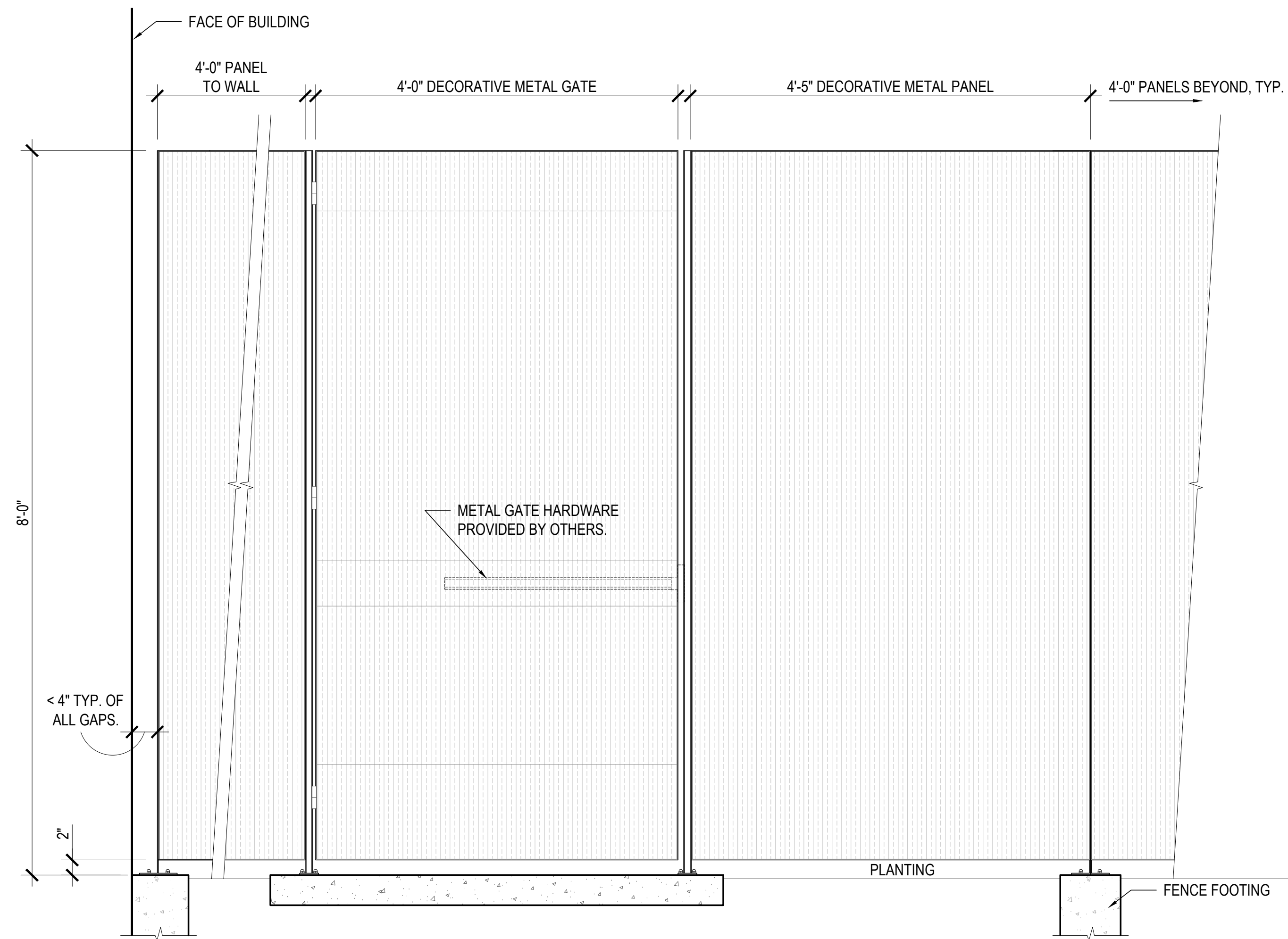
Mark	Date	Description of Revision	By

Drawn By: RW  
Checked By: CB  
Building Number: 615  
Approved By: Approver  
Multico Project Number: P78LB172021 09  
Sheet Title

**SITE DETAILS**

Date: 02/08/2024

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L Sheet 9 Of 12



**NOTES:**

1. PANIC HARDWARE TO BE COORDINATED BY HARDWARE CONSULTANT.
2. DECORATIVE METAL FENCES AND GATES TO BE DELEGATED DESIGN.
3. PROVIDE SHOP DRAWINGS FOR ALL DECORATIVE METAL FENCE PANELING AND GATES.

**1** 8' HT. DECORATIVE METAL FENCE AND GATE  
1"=1'-0"

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Drawn By: rw	Checked By: cb
Building Number: 615	Approved By: Approver
Multico Project Number: P78LB172021 09	
Sheet Title	

SITE DETAILS

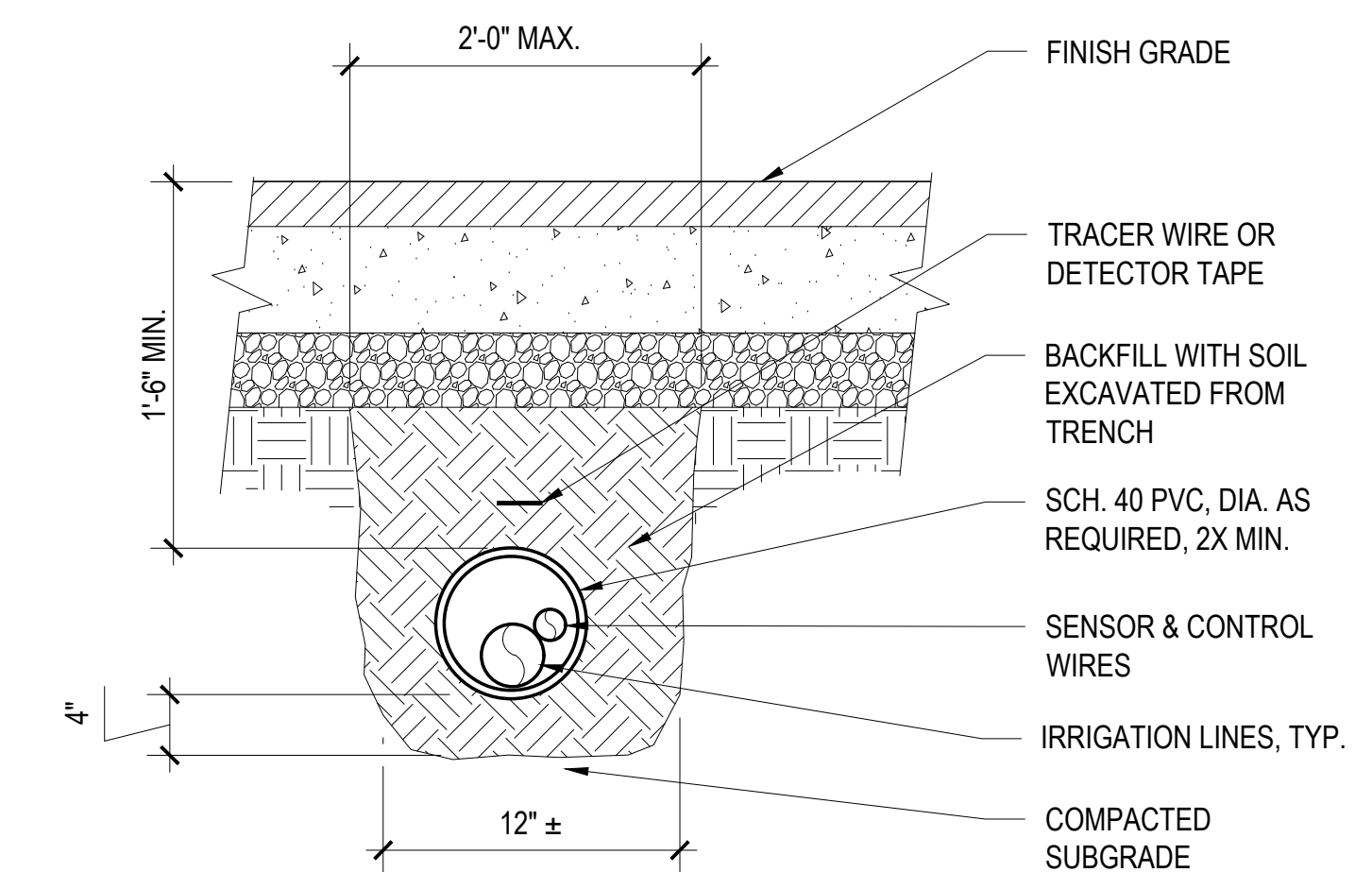
Date  
02/08/2024

**L-213**  
L Sheet 10 Of 12

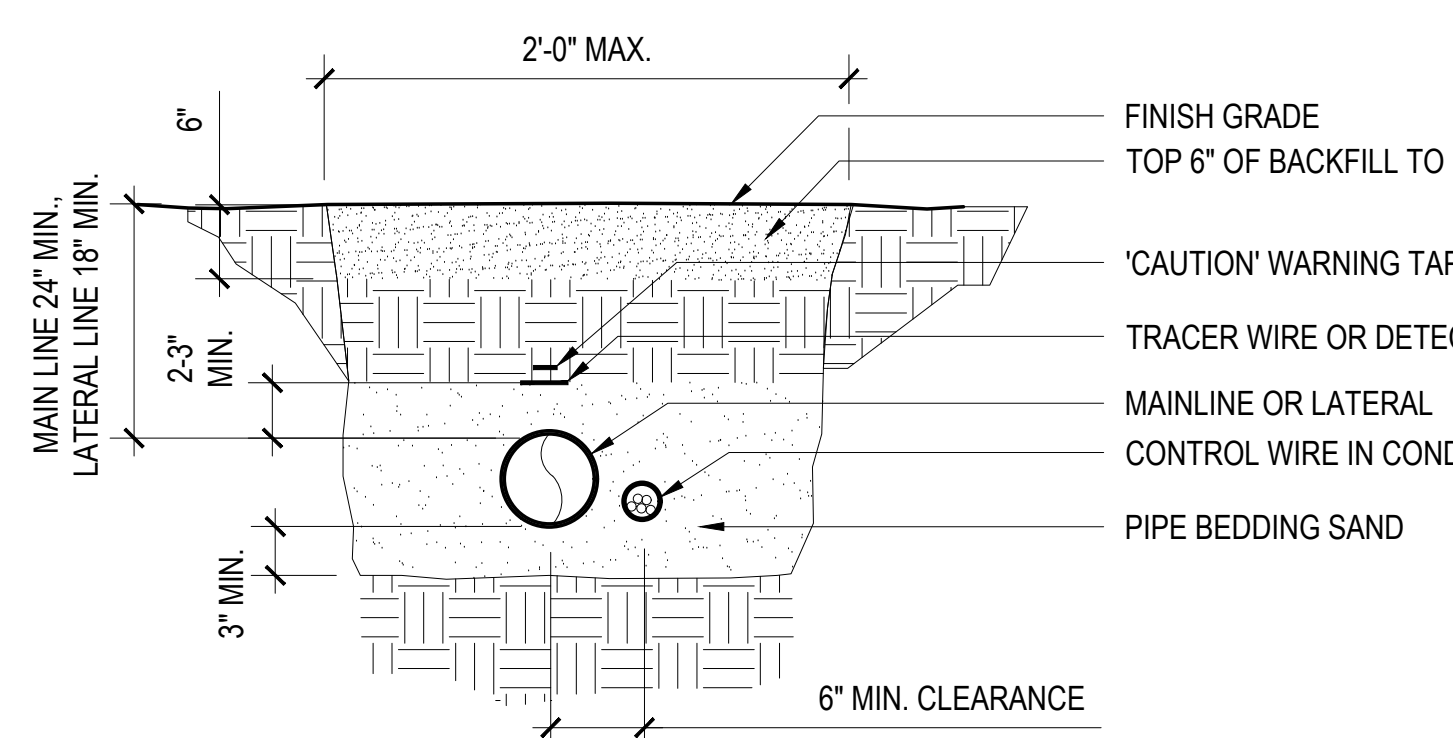
Mark	Date	Description of Revision	By

Drawn By: RW	Checked By: CB
Building Number: 615	Approved By: Approver
Multico Project Number: P78LB172021 09	
Sheet Title	

**IRRIGATION DETAILS**

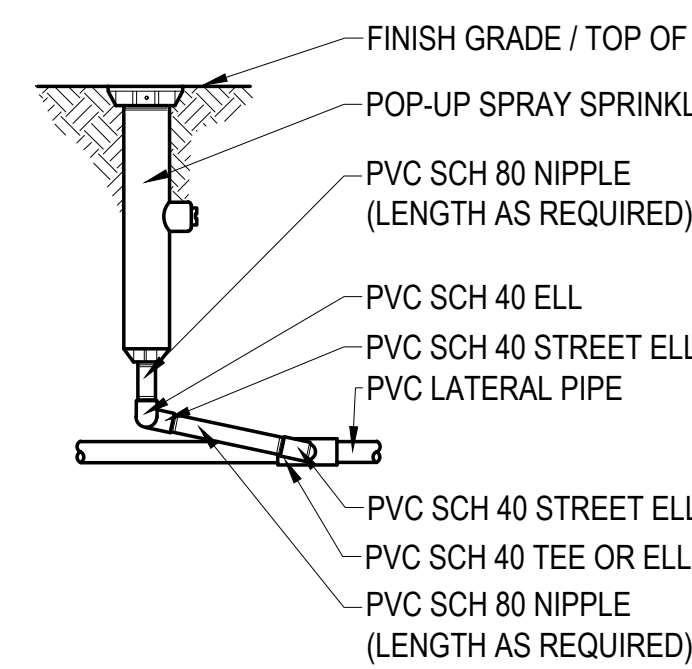


**7 SLEEVE**  
NOT TO SCALE

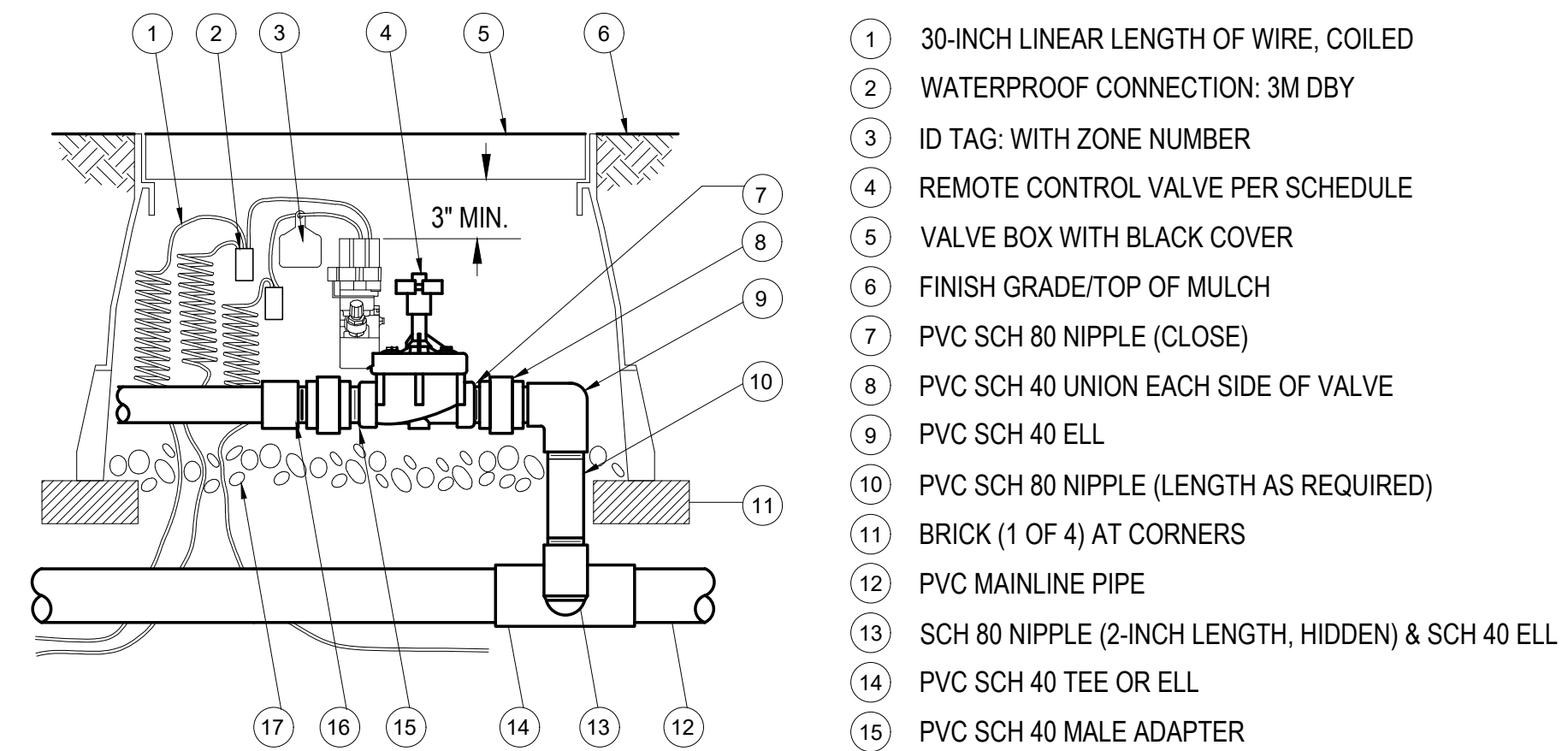


**8 TRENCH**  
NOT TO SCALE

**NOTE:**  
ON STRUCTURE USE CLOSE ELL AT INLET & SUPPORT SPRINKLER AT PERIMETER EDGING W/ (2) BLACK NYLON ZIP-TIES.

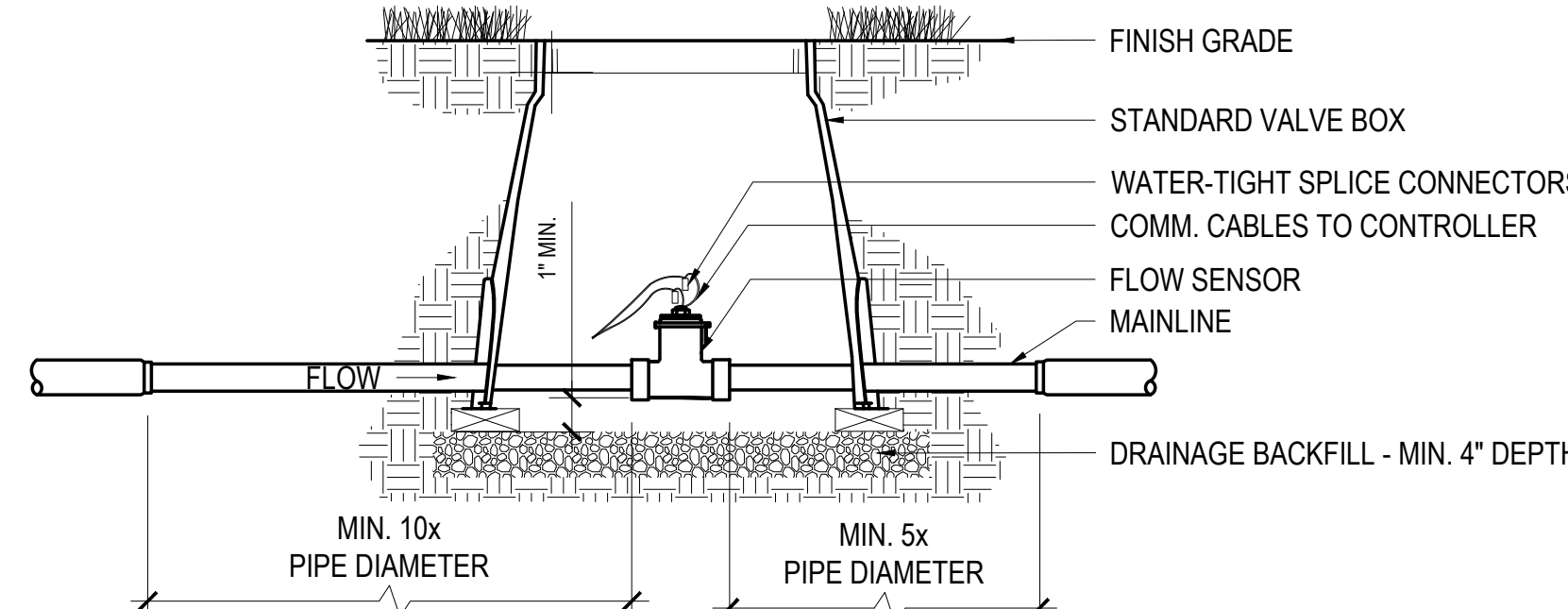


**9 POP-UP SPRAY AND ROTOR HEAD**  
NOT TO SCALE

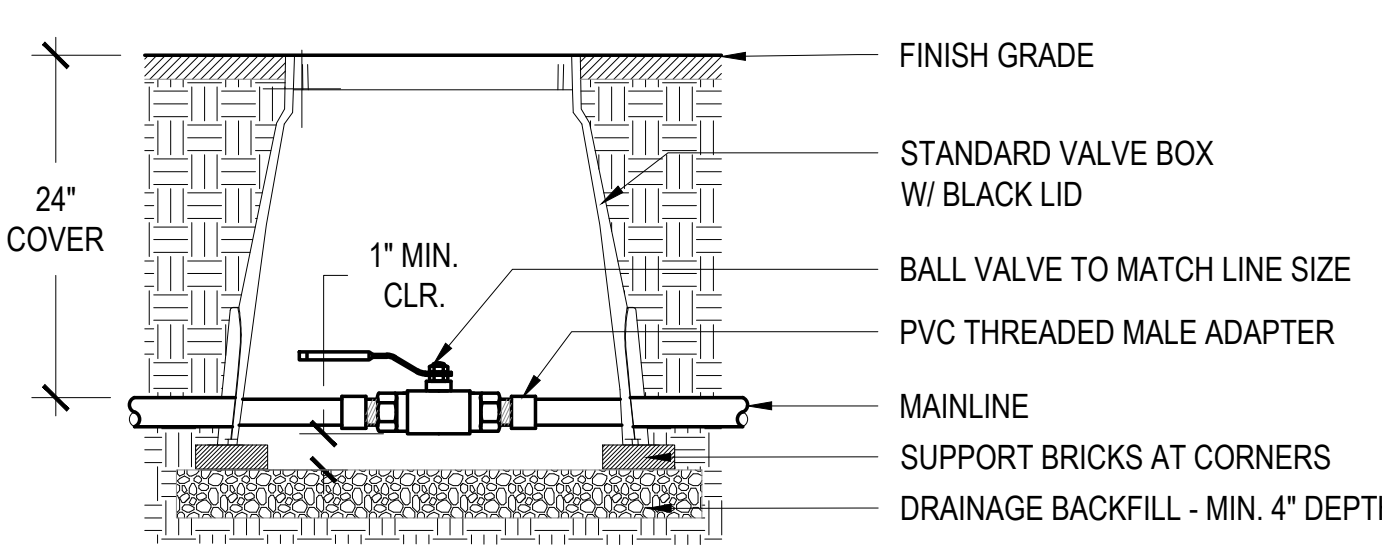


**NOTE:**  
IRRIGATION COMPONENTS AND DETAIL IS SIMILAR TO OLD CASTLE VALVE BOX IN CONCRETE PAVING.

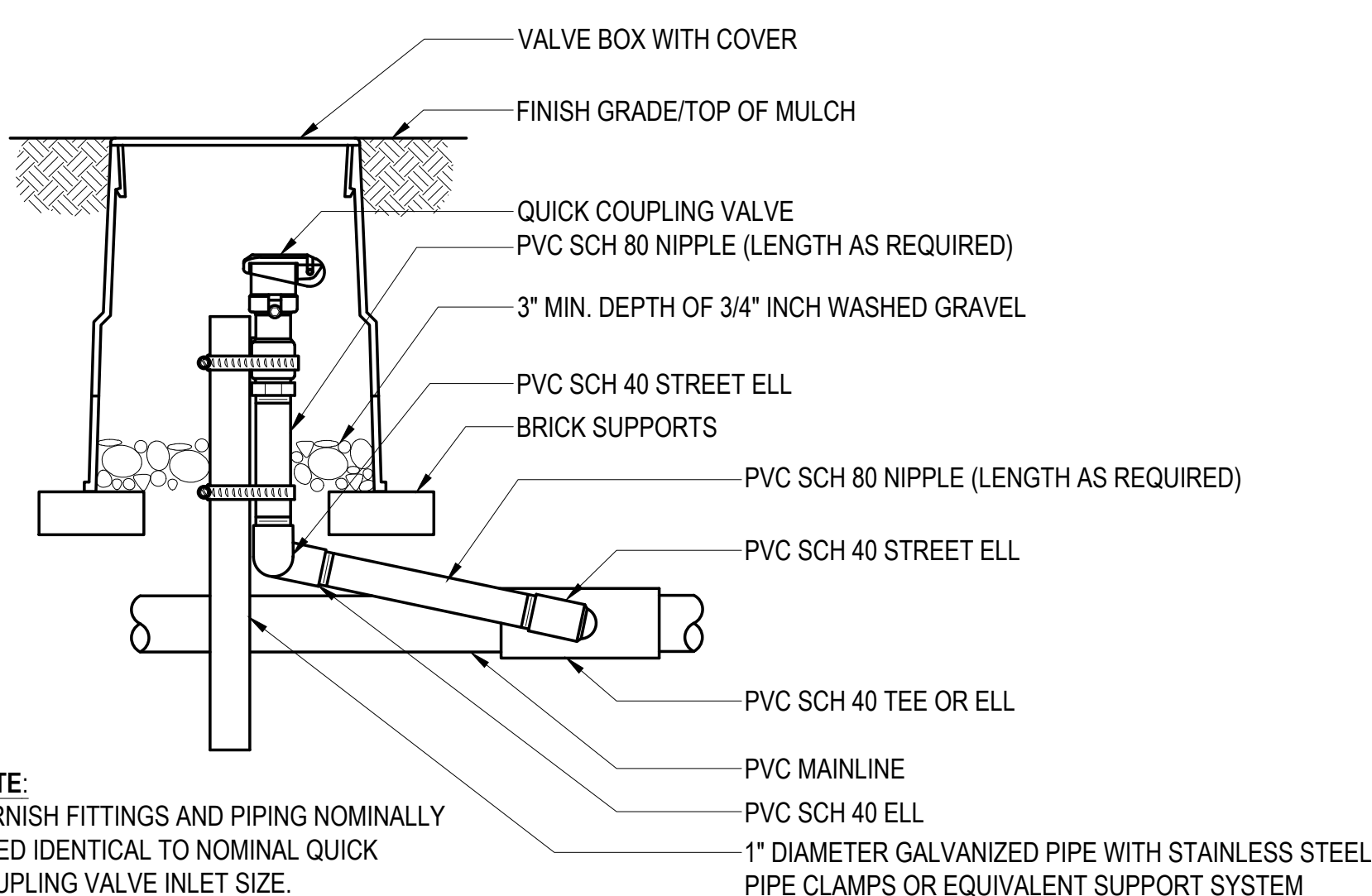
**3 REMOTE CONTROL VALVE**  
NOT TO SCALE



**4 FLOW SENSOR**  
NOT TO SCALE

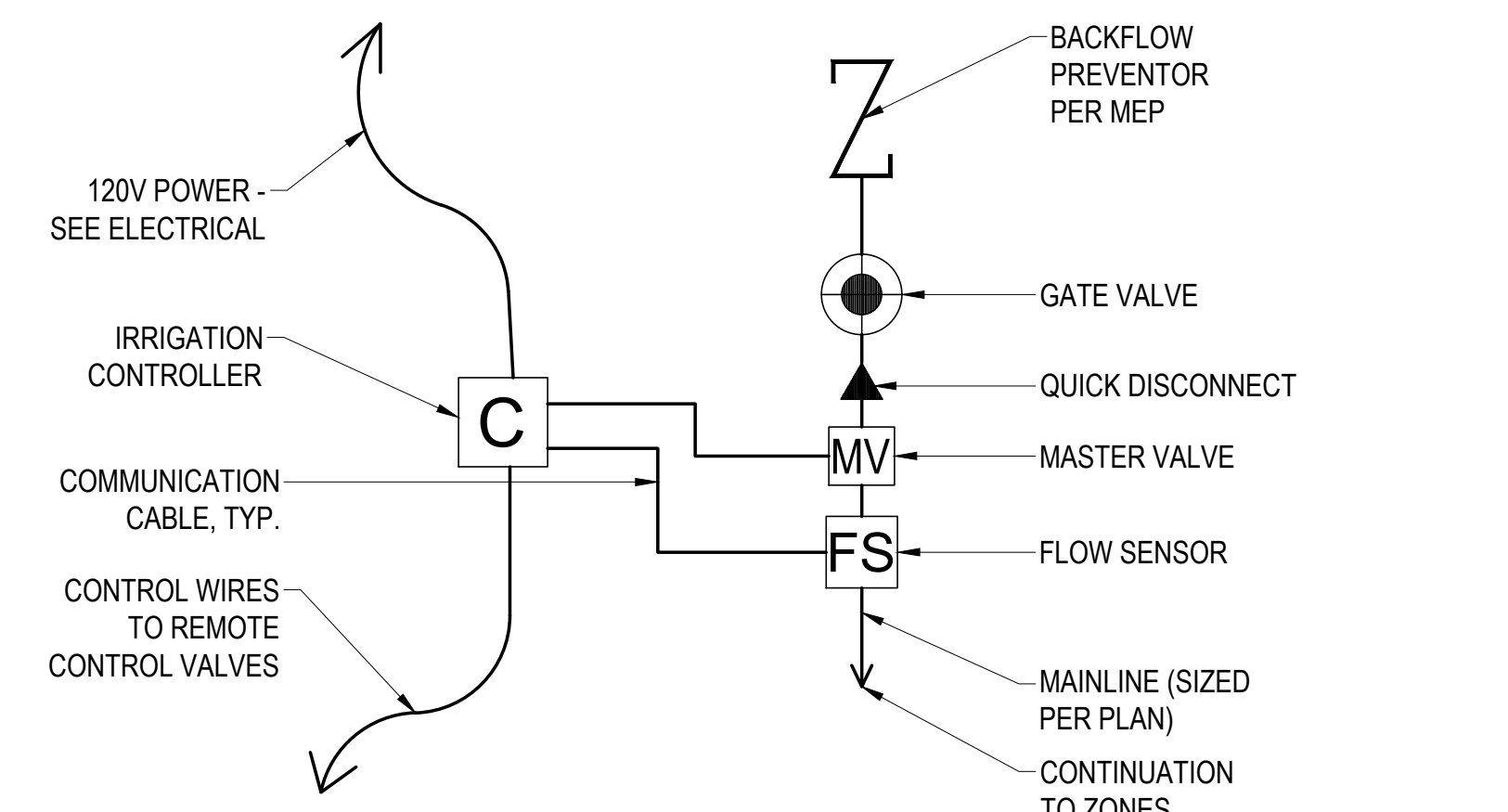


**5 MANUAL / ISOLATION VALVE**  
NOT TO SCALE

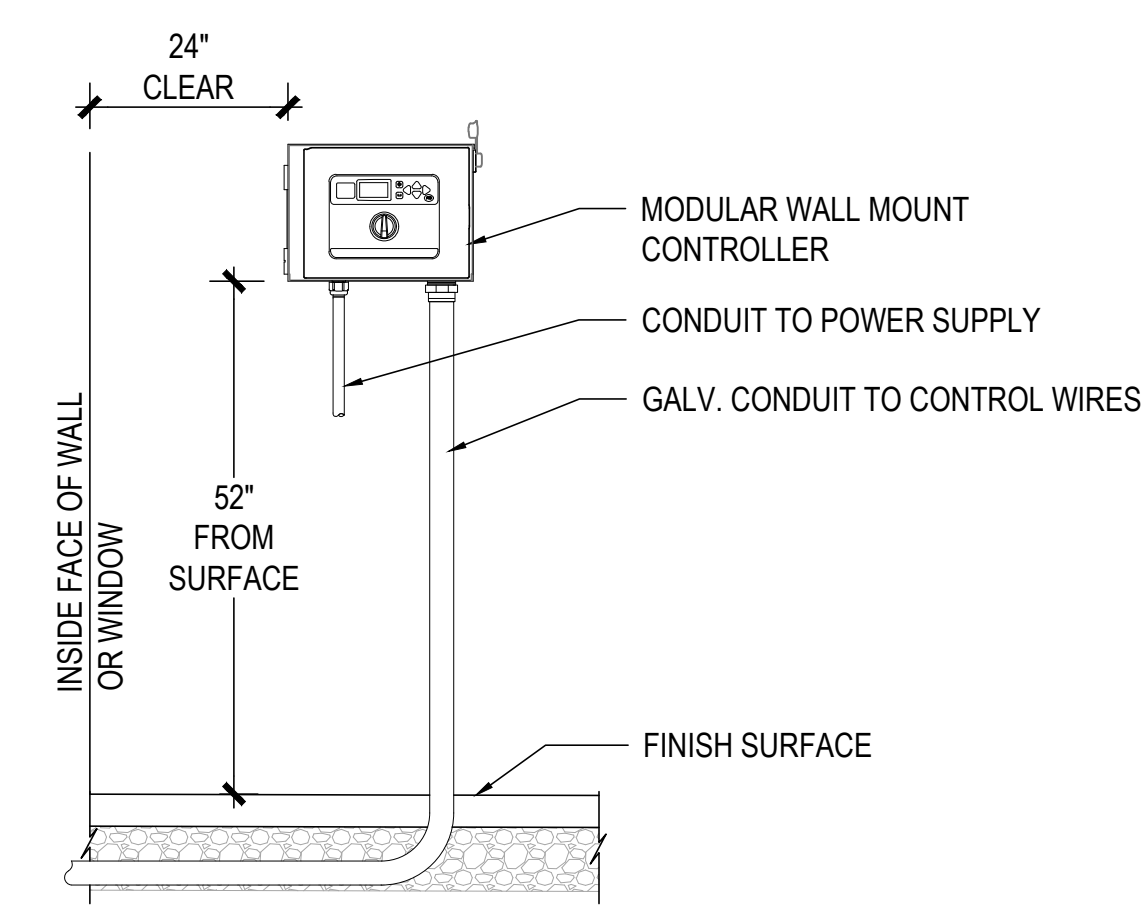


**NOTE:**  
FURNISH FITTINGS AND PIPING NOMINALLY SIZED IDENTICAL TO NOMINAL QUICK COUPLING VALVE INLET SIZE.

**6 QUICK COUPLER**  
NOT TO SCALE



**1 POINT OF CONNECTION**  
NOT TO SCALE



**2 CONTROLLER - WALL MOUNT**  
NOT TO SCALE



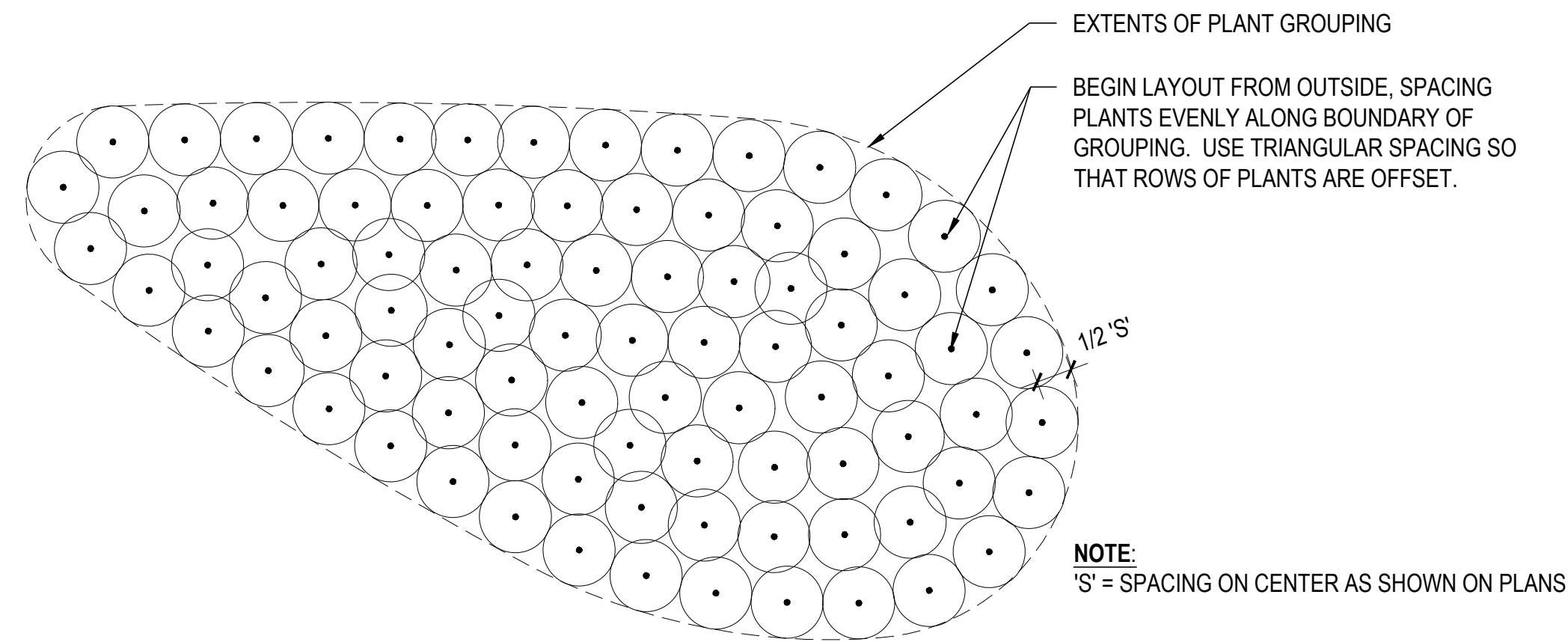
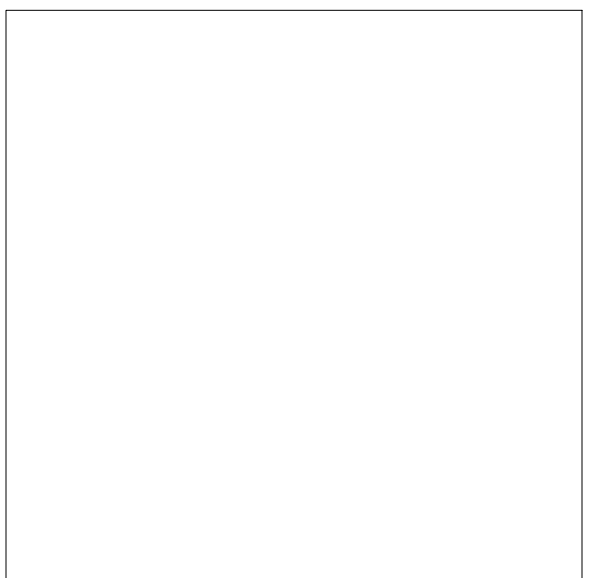
Mark	Date	Description of Revision	By

Drawn By: RW	Checked By: CB
Building Number: 615	Approved By: Approver
Multico Project Number: P78LB172021 09	
Sheet Title	

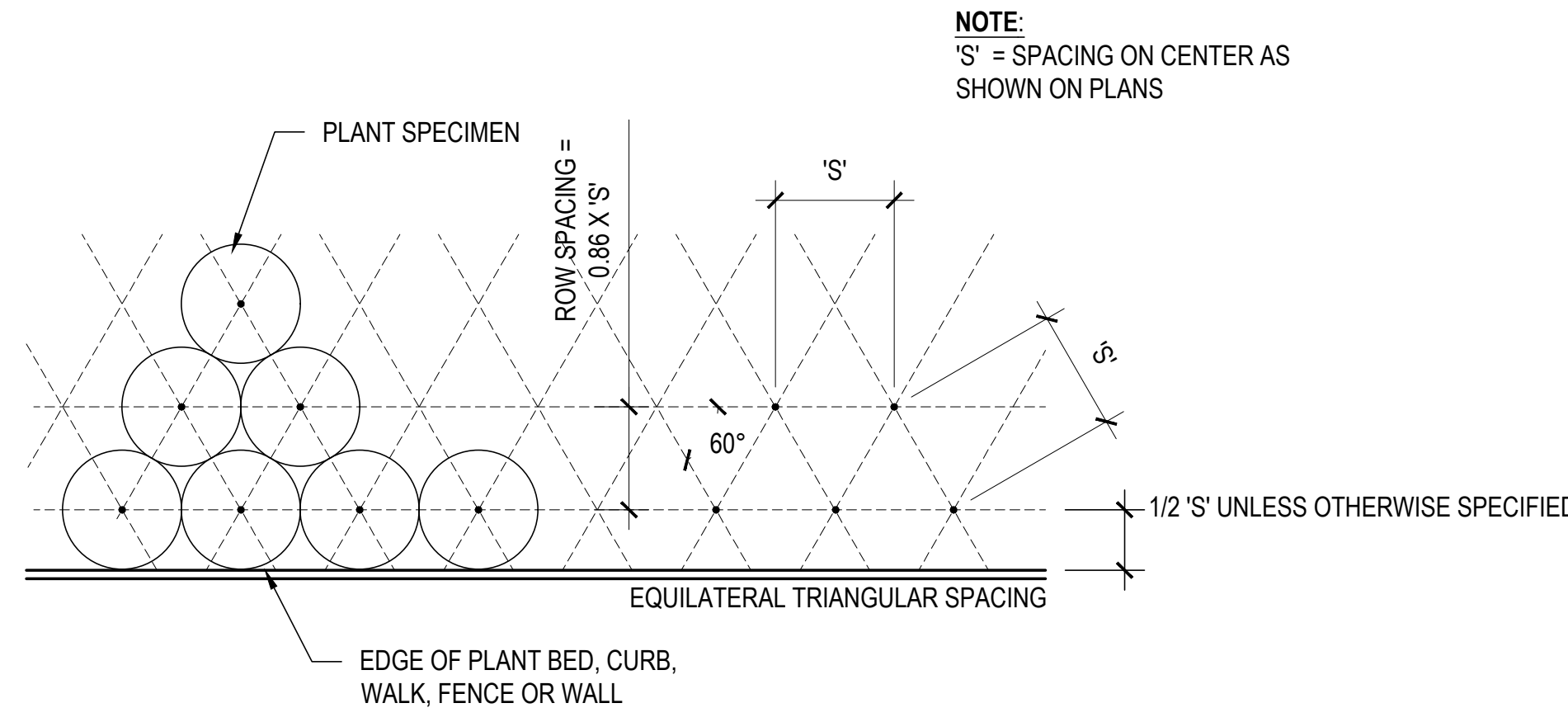
**PLANTING DETAILS**

Date: 02/08/2024

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L Sheet 12 Of 12



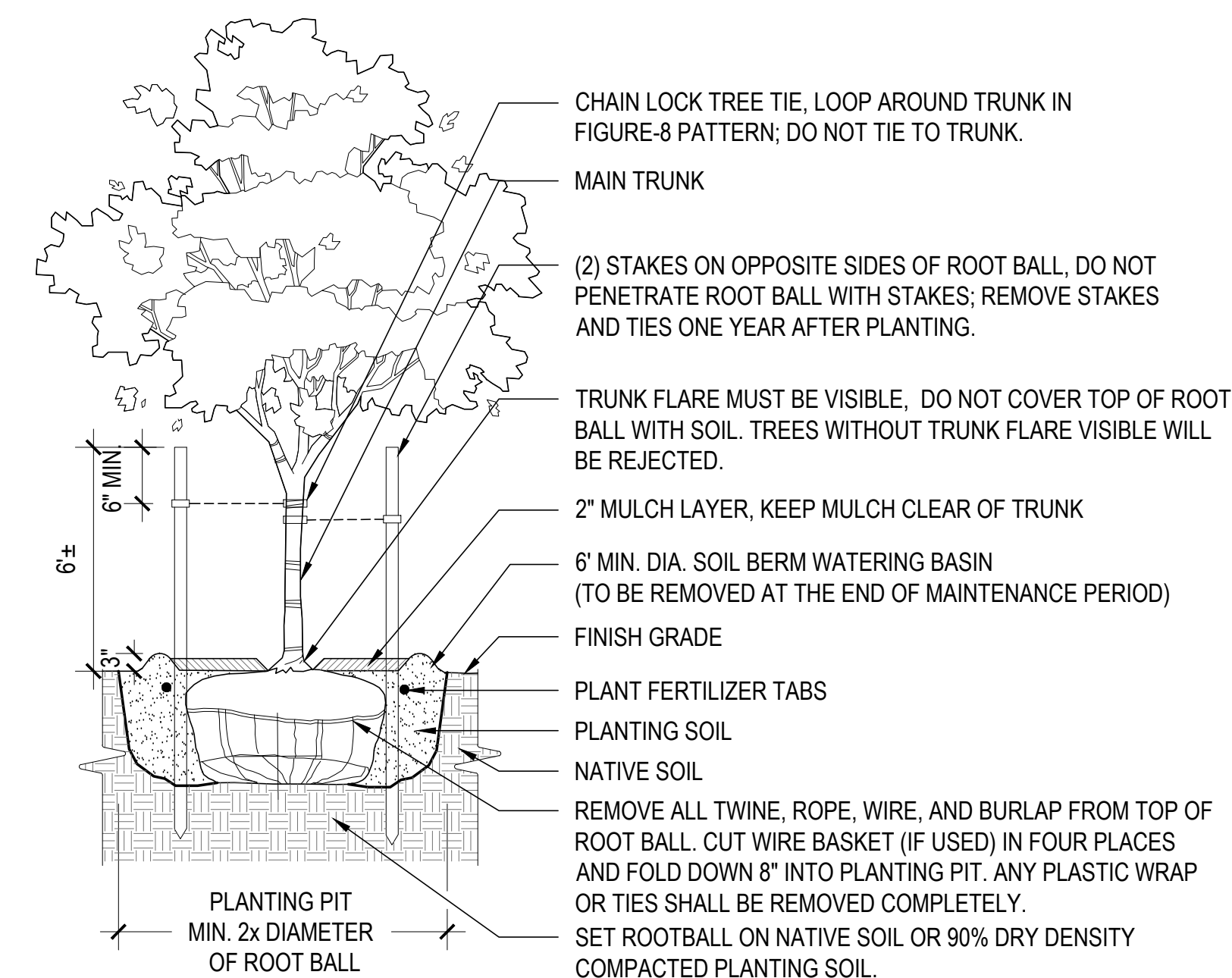
**4 MASS PLANTING LAYOUT**  
NOT TO SCALE



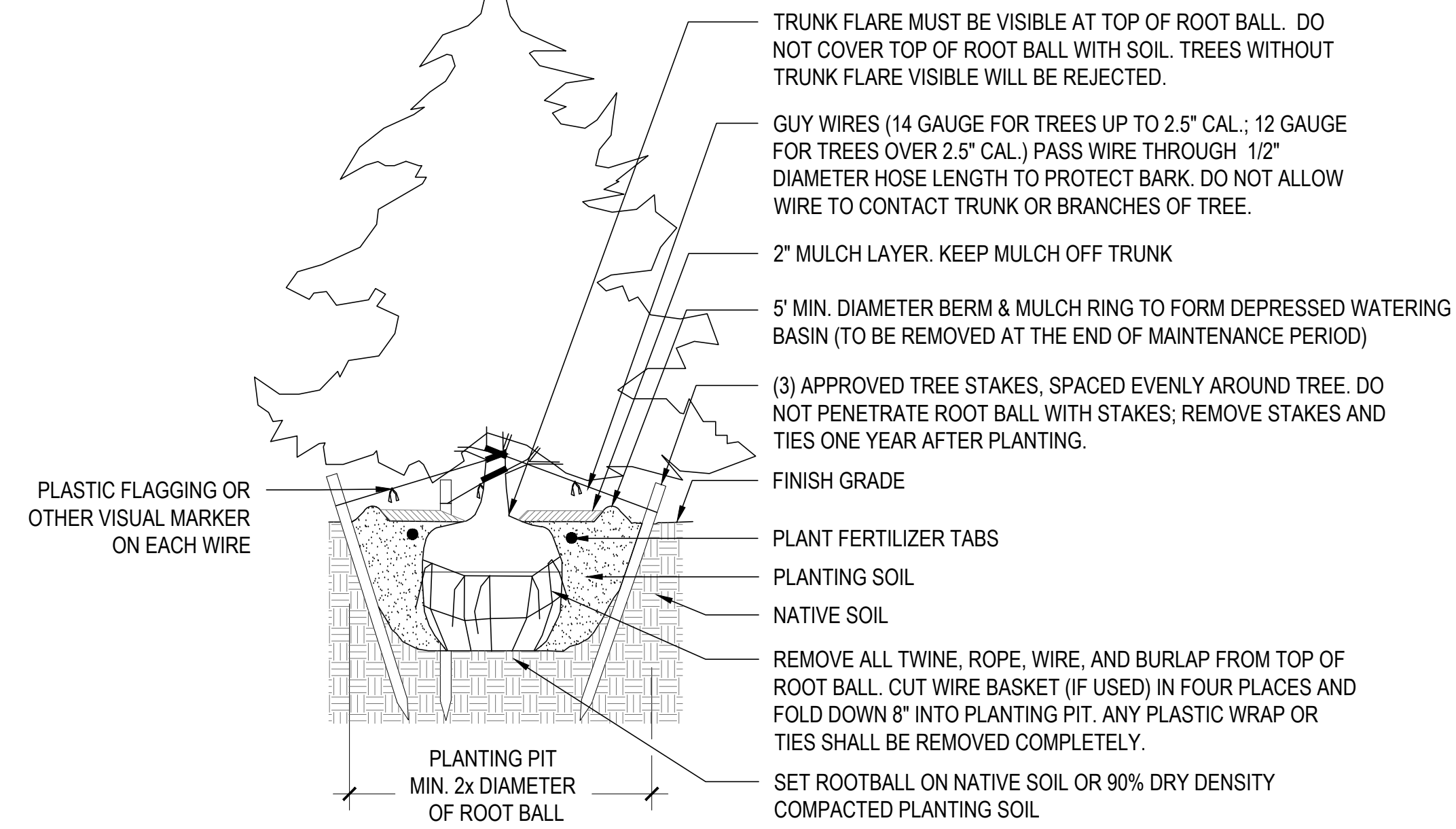
**5 GROUNDCOVER SPACING**  
NOT TO SCALE

**NOTES:**

1. ROOTBALL CROWN TO BE FLUSH WITH FINISH GRADE
2. CUT AND REMOVE ALL BINDING FROM THE TOP AND SIDES OF THE ROOTBALL BEFORE BACKFILLING



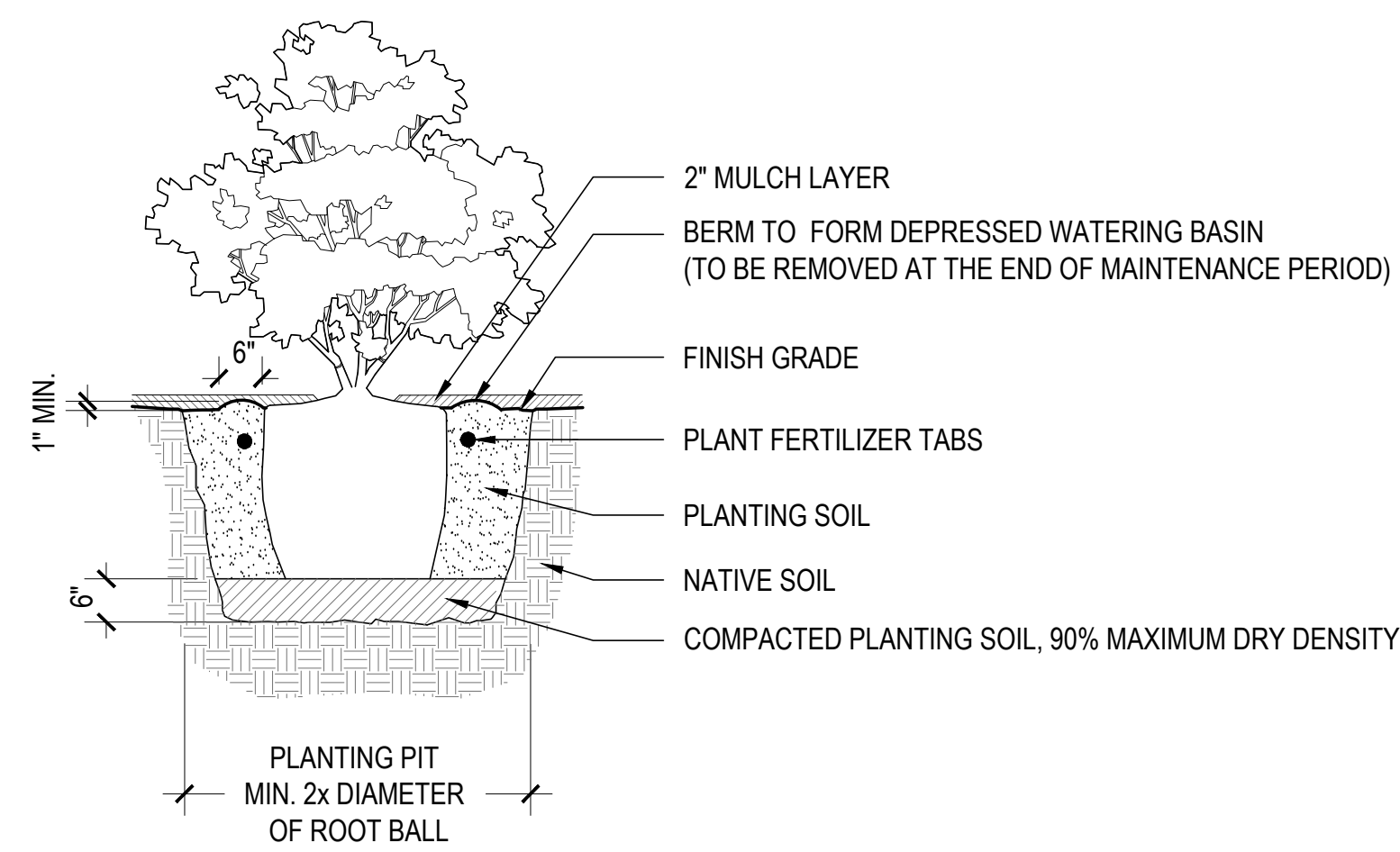
**1 DECIDUOUS TREE PLANTING w/ STAKES**  
NOT TO SCALE



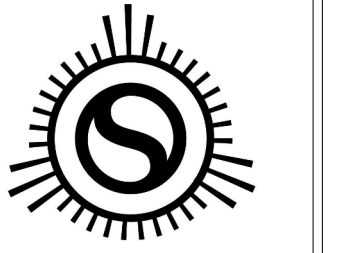
**2 EVERGREEN TREE PLANTING w/ STAKES**  
NOT TO SCALE

**NOTES:**

1. PLANTING PITS SHALL BE 2x DIAMETER AND 1-1/2x DEPTH OF ROOTBALL
2. ROOTBALL CROWN TO BE SLIGHTLY ABOVE FINISH GRADE BEFORE MULCH IS APPLIED.
3. CUT AND REMOVE ALL BINDING FROM THE TOP AND SIDES OF THE ROOTBALL BEFORE BACKFILLING. ROUGH UP EXTERIOR SURFACE OF ROOT BALL AND EXTEND ANY CIRCLING ROOTS OUTWARDS INTO PLANTING PIT.
4. KEEP MULCH AWAY FROM WOODY STEMS.



**3 SHRUB PLANTING**  
NOT TO SCALE



Mark	Date	Description of Revision	By

Drawn By: <i>gmv</i>	Checked By: <i>ajs</i>
Building Number: 615	Approved By: <i>ajs</i>
Multico Project Number: P78LB172021 09	
Sheet Title	

SITE PLAN - ELECTRICAL

Date: 02/09/2024

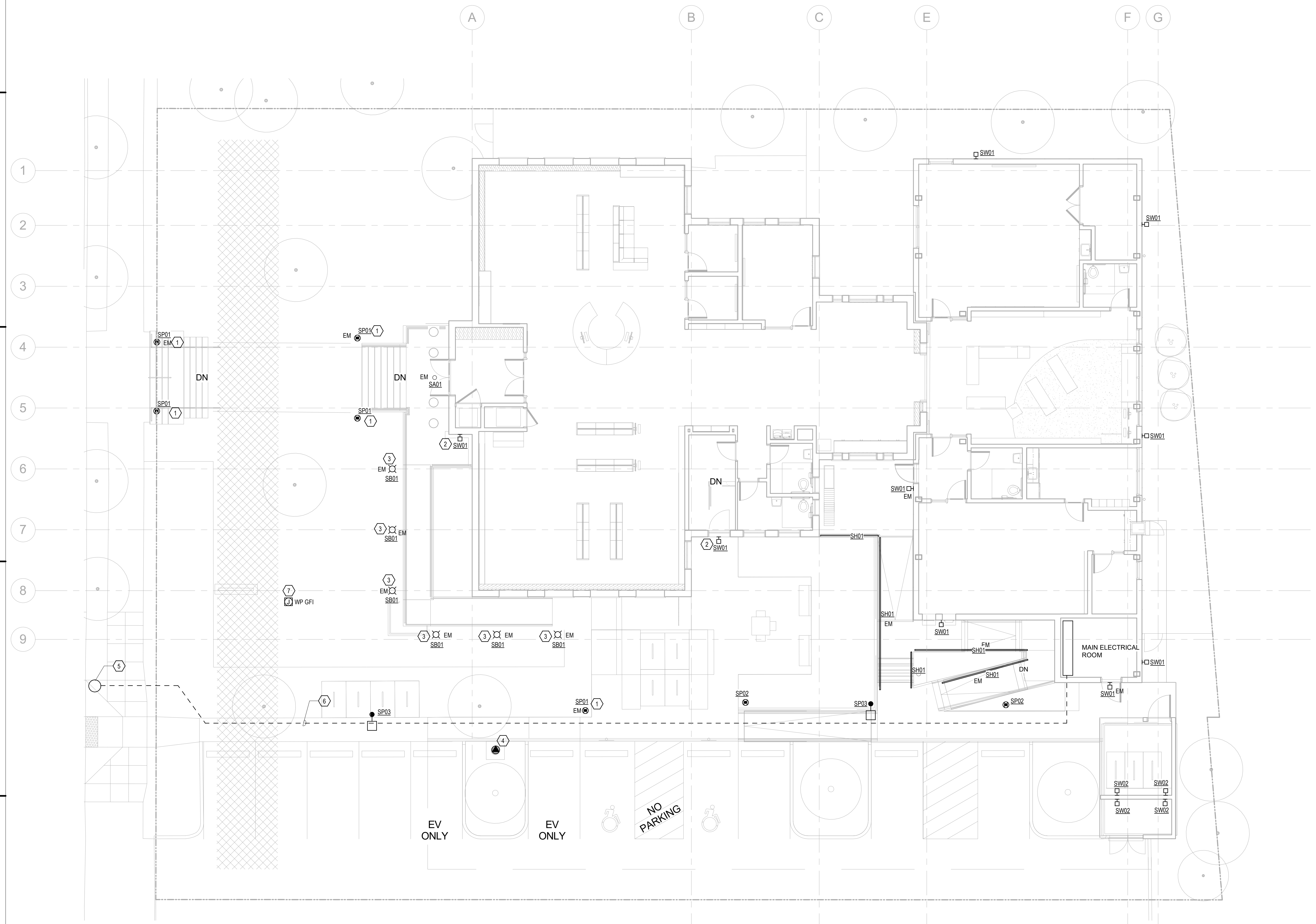
ES-101-01  
Sheet 4 Of 16

**GENERAL NOTES:**

- REFER TO CIVIL DRAWINGS FOR EXACT LOCATIONS OF SITE UTILITIES, VAULTS AND POLES.
- REFER TO LANDSCAPE ARCHITECT PLANS FOR ADDITIONAL INFORMATION.
- REFER TO SHEET E0.03 AND E0.04 FOR LIGHTING CONTROL PANEL AND LUMINAIRE SCHEDULE.
- REFER TO ARCHITECTURAL ELEVATIONS FOR BUILDING MOUNTED FIXTURE DIMENSIONS.
- CONTROL EXTERIOR RECEPTACLES VIA CONTACTOR FROM MANUAL SWITCH IN STAFF BREAKROOM.

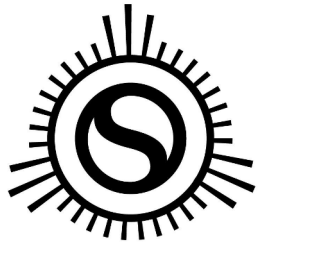
**SHEET NOTES:**  $\langle \# \rangle$

- NEW LUMINAIRE TO BE MOUNTED TO EXISTING SITE POLE. EXISTING SITE POLES TO BE EVALUATED FOR REUSE.
- REUSE EXISTING LUMINAIRE LOCATION.
- PROVIDE NEW CONCRETE BASE LOCATED CLOSER TO RAMP.
- PROVIDE (2), 40A, 208V, 1 PHASE POWER CONNECTIONS TO ELECTRICAL VEHICLE DUAL CHARGING STATION (DFC), BASIS OF DESIGN IS SEMACONNECT 7 SERIES, DUAL PEDESTAL, SMART CHARGING STATION. PROVIDE #6 WIRE FOR VOLTAGE DROP.
- EXISTING UTILITY POLE WITH NEW POLE MOUNTED SERVICE TRANSFORMERS BY UTILITY.
- PROPOSED SECONDARY ROUTING. PROVIDE (6) 4" C.O. STUB AND CAP AT POLE BASE PER PGE REQUIREMENTS.
- PROVIDE CONNECTION TO MONUMENT SIGN. CONFIRM EXACT LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN.



**1 SITE PLAN - ELECTRICAL**  
SCALE: 1/8" = 1'-0"

**ISSUED FOR INFORMATIONAL PURPOSES ONLY**  
**NOT FOR CONSTRUCTION**

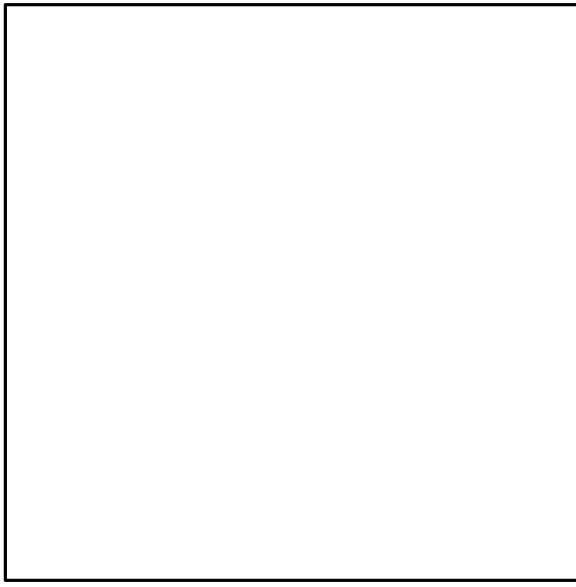


**SAMATA**  
CONSULTING ENGINEERS

MULTNOMAH COUNTY LIBRARIES  
ST. JOHNS LIBRARY  
7510 N. Charleston Ave., Portland OR 97203

Mark	Date	Description of Revision	By

Drawn By: DNW      Checked By: JRS  
 Building Number: 615      Approved By: JRS  
 Multico Project Number: P78LB172021 09  
 Sheet Title: **LUMINAIRE SCHEDULE**  
 Date: 02/09/2024  
**EL-602**  
 Sheet 8 of 16



**ST. JOHNS LIBRARY LUMINAIRE SCHEDULE**

IMAGE	TYPE	DESCRIPTION	LOCATION	MANUFACTURER	MODEL	HOUSING	OPTICS	MOUNTING	FINISH	DIMMING	CCT	CRI	LUMENS	WATTAGE	NOTES	APPROVED MANUFACTURERS	URL	
	X102	UNIVERSAL MOUNTED, THIN PROFILE EXIT SIGNS	THROUGHOUT	EXTRONICS	450 SERIES			UNIVERSAL MOUNTED	TO BE SELECTED	NON-DIMMING	RED LED			2	WATTS		LITHONIA LIGHTING, CHLORIDE, SURELITES.	<a href="#">EXTRONIC 450 SERIES.pdf</a>
<b>EXTERIOR LIGHTING</b>																		
	SA01	EXISTING PENDANT	MAIN ENTRANCE					SUSPENDED			3000K	90			EXISTING PENDANT TO BE REWIRE, RELAMP, NEW SOCKET AND REINSTALL. PROVIDE LED REPLACEMENT LAMP, MEDIUM BASE SOCKET.			
	SB01	SITE BOLLARD	RAMPS	LIGMAN LIGHTING	PRAGUE 3 LARGE BOLLARD (UPRA-10022)	10 INCH WIDE BY 6 INCH DEEP WITH OVERALL HEIGHT OF 39 INCHES	HYBRID TYPE I AND TYPE IV DISTRIBUTION	FLUSH CONCRETE BASE	TO BE SELECTED	NON-DIMMING	3000K	90	2422	LUMENS	20	WATTS	DARK SKY COMPLIANT.	<a href="#">LIGMAN PRAGUE 3 LARGE-UPRA-10022.pdf</a>
	SH01	ILLUMINATED HANDRAIL	NEW HANDRAILS	KLIK	LEDOPOD	FITS IN TYPICAL 1.8 INCH DIAMETER HANDRAIL	SYMMETRIC	RECESSED IN HANDRAIL, COORDINATE WITH HANDRAIL MANUFACTURER FOR DRILLING OF HOLES.	TO BE SELECTED	NON-DIMMING	3000K	85	162	LUMENS PER FOOT	2	WATTS PER FOOT		<a href="#">KLIK USA - LEDpod-40.pdf</a>
	SL01	WALL MOUNTED LINEAR LUMINAIRE	CANOPY	LUMENWERX	VIA4 SEAL SERIES	4 INCH WIDE BY 5 INCH DEEP IN LENGTHS AS SHOWN ON DRAWINGS	HIGH EFFICIENCY LAMBERTIAN	SIDE MOUNT TO CANOPY BEAM STRUCTURE	TO BE SELECTED	0-10V DIMMING	3500K	90	750	LUMENS PER FOOT	6	WATTS PER FOOT	CORONET LED, MARK ARCHITECTURAL LIGHTING, NEORAY, LEDALITE	<a href="#">LUMENWERX VIA4SEAL-WALL.pdf</a>
	SP01	PEDESTRIAN POLE LIGHT	WALKWAYS	SPRING CITY LIGHTING	AUGUSTA DARK SKY LED SERIES	18 INCH DIAMETER BY 31 INCH TALL	TYPE III FROSTED	MOUNTED TO EXISTING POLES	TO BE SELECTED	NON-DIMMING	3000K	90		LUMENS	80	WATTS	DARK SKY COMPLIANT. ELECTRICAL CONTRACTOR TO EVALUATE POLE CONDITION FOR REUSE PRIOR TO FINAL DRAWINGS BEING ISSUED.	<a href="#">SPRING CITY AUGUSTA DARK SKY.pdf</a>
	SP02	PEDESTRIAN POLE LIGHT	WALKWAYS	SPRING CITY LIGHTING	AUGUSTA DARK SKY LED SERIES	18 INCH DIAMETER BY 31 INCH TALL	TYPE V FROSTED	PROVIDE NEW POLES TO MATCH EXISTING, PROVIDE FLUSH CONCRETE BASE	TO BE SELECTED	NON-DIMMING	3000K	90		LUMENS	80	WATTS	DARK SKY COMPLIANT	<a href="#">SPRING CITY AUGUSTA DARK SKY.pdf</a>
	SP03	SITE LIGHTING LUMINAIRE RETROFIT KIT	PARKING LOT	TBD				MOUNTED TO EXISTING POLE	TO BE SELECTED	NON-DIMMING	3000K	90		LUMENS		WATTS	DARK SKY COMPLIANT. ELECTRICAL CONTRACTOR TO EVALUATE POLE AND LUMINAIRE CONDITION FOR REUSE PRIOR TO FINAL DRAWINGS BEING ISSUED.	
	SW01	ARCHITECTURAL EXTERIOR WALL SCONCE	EXTERIOR BUILDING LIGHTING	BEGA	33 817 SERIES	5 INCH WIDE BY 9 INCH TALL WITH PROJECTION OF 5 INCHES	ASYMMETRIC OPTICS	WALL MOUNT	TO BE SELECTED	NON-DIMMING	3000K	90	1355	LUMENS	14	WATTS	DARK SKY COMPLIANT	<a href="#">BEGA 33817.pdf</a>
	SW02	EXTERIOR WALL MOUNT	BIKE / TRASH AREA	RAB LIGHTING	SLIM1ZY SERIES	6 INCH WIDE BY 8 INCH TALL WITH PROJECTION OF 4 INCHES	FORWARD OPTICS	WALL MOUNT	TO BE SELECTED	NON-DIMMING	3000K	70	2000	LUMENS	15	WATTS	DARK SKY COMPLIANT	<a href="#">RAB LIGHTING SLIM1ZY.pdf</a>

- GENERAL NOTES:**
- LUMINAIRES TO BE COMPATIBLE WITH MULTNOMAH COUNTY STANDARDS OF WAVELINX LIGHTING CONTROL SYSTEM.
  - EXTERIOR LUMINAIRES TO BE DARK SKY CERTIFIED.
  - INTERIOR LUMINAIRES TO MEET OR EXCEED LEED REQUIREMENTS.
  - ALL LUMINAIRES TO BE LED. LED SOURCES DO NOT CONTAIN MERCURY.

Common ID	Name	Scientific Name	Condition	DBH	Observation Comments	Construction Tolerance	Preservation Priority	Basis	Likelihood of being approved for removal
1	Red maple	<i>Acer rubrum</i>	Good	12		Moderate		1 Parking shade, screening, traffic calming	Moderate - if removed, the parking shade services of this tree would have to be mitigated.
2	Red maple	<i>Acer rubrum</i>	Good	12	Previous root pruning, extent unknown. Ground disrupted & visible cut roots at surface.	Moderate		1 Parking shade, screening, traffic calming	
3	Red maple	<i>Acer rubrum</i>	Good	14		Moderate		1 Parking shade, screening, traffic calming	
4	Red maple	<i>Acer rubrum</i>	Good	18		Moderate		1 Parking shade, screening, traffic calming	
5	Red maple	<i>Acer rubrum</i>	Good	16		Moderate		1 Parking shade, screening, traffic calming	
6	Red maple	<i>Acer rubrum</i>	Good	16		Moderate		1 Landscaping, screening	
7	Leyland cypress	<i>Cupressus x leylandii</i>	Good	15	Stems 11,8"; seasonally golden cultivar	High		1 Landscaping, screening	low - this tree performs a screening service between two land uses, and is in good condition. I have seen the City ask for preservation of this type of tree on other projects.
8	Pine	<i>Pinus spp.</i>	Good	19	Stems 14,10"	High		1 Landscaping, screening	low - this pine performs a screening service between two land uses, and is in good condition. I have seen the City ask for preservation of this type of tree on other projects.
9	Sweet cherry	<i>Prunus avium</i>	Fair	9	City of Portland includes this species on their Nuisance Tree List, although these particular trees are not currently creating a discernable nuisance.	High		2 Landscaping	high - this is considered a nuisance species and is always approved for removal.
10	Sweet cherry	<i>Prunus avium</i>	Good	4	City of Portland includes this species on their Nuisance Tree List, although these particular trees are not currently creating a discernable nuisance.	High		2 Landscaping	
11	Sweet cherry	<i>Prunus avium</i>	Good	10	City of Portland includes this species on their Nuisance Tree List, although these particular trees are not currently creating a discernable nuisance.	High		2 Landscaping	
12	Sweet cherry	<i>Prunus avium</i>	Good	12	City of Portland includes this species on their Nuisance Tree List, although these particular trees are not currently creating a discernable nuisance.	High		2 Landscaping	
13	Persian ironwood	<i>Parrotia persica</i>	Good	9		High		2 Landscaping, screening	
14	Persian ironwood	<i>Parrotia persica</i>	Good	4		High		2 Landscaping, screening	high- This is below the regulated threshold for size. It is not regulated.
15	Persian ironwood	<i>Parrotia persica</i>	Good	13	Stems 4,4,4,4,2"	High		2 Landscaping, screening	low - this tree performs a screening service between two land uses, and is in good condition. I have seen the City ask for preservation of this type of tree on other projects.
16	Blackhaw viburnum	<i>Viburnum prunifolium</i>	Fair	18	Stems 13,9" estimated due to vine growth, shrub species; not regulated.	Unknown		2 Landscaping, screening	high - this is not a regulated species.
17	Hornbeam	<i>Carpinus betulus</i>	Good	13		High		2 Landscaping, screening	
18	Hornbeam	<i>Carpinus betulus</i>	Good	15		High		1 Landscaping, screening	



19	Hornbeam	<i>Carpinus betulus</i>	Good	14		High	1	Landscaping, screening	low - this tree performs a screening service between two land uses, and is in good condition. I have seen the City ask for preservation of this type of tree on other projects. Furthermore, as part of a set of 3, injury to this one could impact the other 2 due to root grafting. Depending on how close you want to get, maybe we could do some exploratory trenching. Maybe we get lucky and don't find a lot of roots?
20	Portuguese laurel	<i>Prunus lusitanica</i>	Fair	16	Stems 11,9", cavity, shrub species; not regulated.	Low; condition	2	Landscaping, screening	high - this is not a regulated species.
21	Norway maple	<i>Acer platanoides</i>	Fair	28	Adjacent Property - PROTECTED	N/A	1	Landscaping, screening	very very low - These are on adjacent property and the only way they get removed is the adjacent propoerty owner applies for a removal permit and conducts the work.
22	Norway maple	<i>Acer platanoides</i>	Good	51	Adjacent Property - PROTECTED	N/A	1	Landscaping, screening	
23	Norway maple	<i>Acer platanoides</i>	Fair	20	Adjacent Property - PROTECTED	N/A	1	Landscaping, screening	
24	Paperbark maple	<i>Acer griseum</i>	Fair	8	Clearance pruning needed for parking sign. Street tree.	High	1	Shade, screening, traffic calming	low - Street trees are seldom approved for removal in development., except when PBOT demands changes to the ROW that make the tree hazardous to preserve, or the tree is dead or dying.
25	Paperbark maple	<i>Acer griseum</i>	Fair	5	Street tree.	High	1	Shade, screening, traffic calming	
26	Paperbark maple	<i>Acer griseum</i>	Good	4	Street tree.	High	1	Shade, screening, traffic calming	
27	Paperbark maple	<i>Acer griseum</i>	Good	8	Street tree.	High	1	Shade, screening, traffic calming	
28	Ginkgo	<i>Ginkgo biloba</i>	Fair	3	Bark damage at base.	Low; condition	2	Landscaping	high- This is below the regulated threshold for size. It is not regulated.
29	Ginkgo	<i>Ginkgo biloba</i>	Fair	3	Sealing bark damage on trunk.	Low; condition	2	Landscaping	high- This is below the regulated threshold for size. It is not regulated.
30	Paperbark maple	<i>Acer griseum</i>	Good	13		High	2	Landscaping	high- you could check the measurement, but I believe this is within 10' of the existing building and if so is always approved for removal.



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
FROM CONCEPT TO CONSTRUCTION

Carmen Rubio, Commissioner  
Rebecca Esau, Director  
Phone: (503) 823-7300  
TTY: 711  
[www.portland.gov/bds](http://www.portland.gov/bds)

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## **BDS – Conference Facilitator Summary Memo**

### **Pre-Application Conference**

**Date:** December 13, 2023

**To:** Debbie Cleek, The Bookin Group, [cleek@bookingroup.com](mailto:cleek@bookingroup.com)  
Elise Hendrickson, Multnomah County, [elise.hendrickson@multco.us](mailto:elise.hendrickson@multco.us)

**From:** Matt Wickstrom, Conference Facilitator  
[Matt.Wickstrom@portlandoregon.gov](mailto:Matt.Wickstrom@portlandoregon.gov), 503-865-6513

**Case File:** EA 23-096980

**Location:** 7510 N CHARLESTON AVE

**Property ID:** R192883

**Proposal:** A Pre-Application Conference to discuss a 2,900 square foot addition to the St. Johns library. The addition will replace an 800 square foot addition that was constructed in the 1990s. A Type III Conditional Use Review is required because the addition increases the overall floor area by more than 25 percent.

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This conference summary report identifies the participants at the conference, provides an initial response to the issues and requirements for the proposed project with separate response from key bureau representatives. This memo identifies current land use review fee information and provides related information that may be helpful as the project moves from concept to completion.

Pre-Application Conferences are required for all major (Type III and IV procedure) land use reviews. The purpose of the conference is to inform the applicant of the substantive and procedural requirements of the Land Use Review, to identify the submittal requirements and documents this information for the applicant and all interested persons.

The information provided at the conference and included in this summary is based on the information that was submitted prior to and at the meeting and reflects regulations in effect at the time of the conference. The meeting is intended to convey information. It is not a public hearing and no land use decision is rendered at the conference. Interested persons may attend the conference and obtain copies of all the written information that is submitted and prepared for it.

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**You must submit your Land Use Review application within two-years of the Conference.**

**Conference date: November 21, 2023**  
**Expiration of Conference: November 20, 2025**

**A. Comments from Bureau Representatives:** The chart below identifies the staff who participated in the conference and/or who submitted written comments:

Response attached	Bureau	Responsibilities	Contact
Yes	BDS Land Use Services	Review of land use review	Don Kienholz 503-865-6716  Grace Jeffreys 503-865-6521
Yes	PBOT	Public streets	Michael Pina 503-823-4249
Yes	BES	Sanitary sewer service, public and private stormwater management, drainageways and drainage reserves, source controls	Ella Ruth 503-823-8068
Yes	BDS Site Development	Septic systems, private rights-of-way, geotechnical requirements, erosion control	Jeff Duquette 503-823-5075
Yes	Water Bureau	Connections to public water	Bryan Vittori 971-917-5458
Yes	Fire Bureau	Access grades, fire hydrants, turnarounds	Alice Johnson 971-323-3071
Yes	Urban Forestry	Street trees	Travis Jones Travis.Jones@portlandoregon.gov
Yes	Oregon Department of Transportation	Compatibility with operations of ODOT facility	Melissa Gonzalez Melissa.gonzalez-gabriel2@odot.oregon.gov
No	devTeam Portland, BDS	Further information on devTeam Portland can be accessed at:  <a href="#">Process Management - Major Projects Group   Portland.gov</a>	Alice Nielsen  503-823-3448

Please refer to the memo from Don Kienholz and Grace Jeffreys, BDS Land Use Services for the list of application submittal requirements for the required land use review(s). Also, the attached responses from the City bureaus identify additional requirements that are pertinent to the land use review or a later Building Permit submittal.

If you have questions about comments included in this Pre-Application Summary Report, please contact the representative identified in the respective memo. Please note that staff comments are based on the information submitted at the time of application. If you have questions regarding the proposal beyond those covered in this summary report, or if your proposal changes in scope or configuration, a new Pre-Application Conference may be required or an additional Early Assistance application may be needed to provide responses to your follow-up questions.

**B. Fees**

Below is an estimate of land use fees that may apply to your proposal. Fees charged will be those

in effect when the Land Use Review application is submitted. When more than one Land Use Review is requested, full fees are charged for each additional review. The fees below are current; however, fees will increase effective July 1, 2023. You may view the current [Land Use Review fees](#) at the following link: [Fee Schedules - Building Permit Costs, Trade Permit Costs and Other BDS Fees | Portland.gov](#)

Land Use Review Type	Estimated Fee
Type III Conditional Use Review	\$18,473 + \$5,503 (for each Adjustment Review, if necessary)
Type II Design Review	.040 of project valuation (min. fee \$3,358 /max fee \$18,928) +\$1,871 (combined service bureau fee) +\$1,886 (for each Design Modification, if necessary) + \$5,503 (for each Adjustment Review, if necessary)

During the building permit process, Permit Fees will be charged for review of your permits and Systems Development Charges (SDCs) may be assessed for new development. An online fee estimator is available on the BDS website at the following link: [Estimate the Cost of Your Building Permit | Portland.gov](#).

**C. Other Information**

1. Preliminary Life Safety Plan Review Consultation: For Building Code/Life Safety information, you may sign up for a Preliminary Life Safety meeting. Information can be found at the following link: [Life Safety Preliminary Meeting Request Packet | Portland.gov](#)
2. Electric Service Requirements. Information on electric service requirements for properties served by PGE can be found at the following link: <https://www.portlandgeneral.com/construction/electric-service-requirements>; and information on electric service requirements for properties served by Pacific Power can be found at the following link: <https://www.pacificpower.net/working-with-us/builders-contractors/electric-service-requirements.html>  
Please note that the service requirements included in these links may not cover all requirements associated with your project. Applicants should contact the PGE Service Coordinator at 503-736-5450 or the Pacific Power Business Center at 888-221-7070 to identify issues that are specific to your project and to coordinate electric service requirements.
3. PGE requires minimum clearances from electric wires, conductors and cables. Before building, please be aware of these clearances by calling PGE at 503-736-5450. For more information on the [PGE Minimum Clearance Requirements](#) use the following link: [Why You Should Respect Portland General Electric's Power Line Clearances | Portland.gov](#).
4. Portland Housing Bureau. The Housing Bureau provides financial assistance for various development phases to both nonprofit and for-profit affordable housing developers (typically multi-dwelling rental housing). For more information, go to the following link: <https://www.portland.gov/phb>.
5. Bureau of Planning and Sustainability. The Bureau of Planning and Sustainability delivers policy and programs related to green buildings, energy efficiency, renewable resources, waste reduction, and recycling. For more information on [Sustainability Programs and Services](#) in the



Bureau of Planning and Sustainability go to the following link:

<https://www.portlandoregon.gov/bps/67121>.

6. Energy Trust of Oregon. The [Energy Trust of Oregon](#) provides technical assistance and cash incentives for energy efficient design. For more information, go to the following link:  
<https://www.energytrust.org/>
7. Oregon Department of Energy. The [Oregon Department of Energy](#) Conservation Division provides information on a variety of programs to encourage energy conservation, including tax rebates and low-interest energy loans. For more information, go to the following link:  
<http://www.oregon.gov/energy/Pages/index.aspx>

**Attachments:**

Zoning Map

Site Plan

BDS Land Use Services Response

PBOT Response

BES Response

BDS Site Development Response

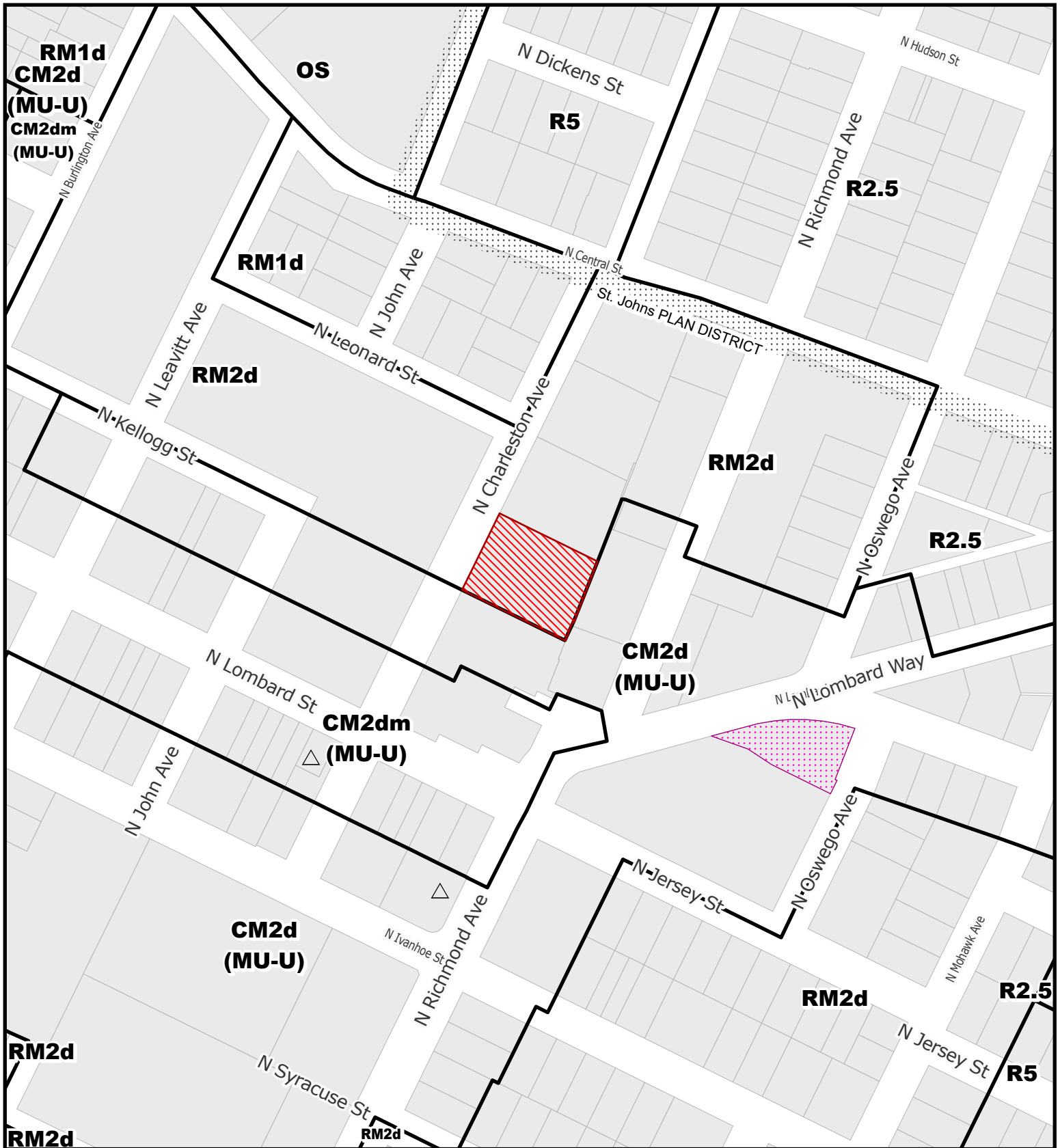
Water Bureau Response

Fire Bureau Response

Urban Forestry Response

ODOT Response


Sign-in Sheet



For Zoning Code in Effect Post October 1, 2022

# ZONING

THIS SITE LIES WITHIN THE:  
ST. JOHNS PLAN DISTRICT

-  Site
-  Also Owned Parcels
-  Plan District
-  Historic Landmark

File No.	<u>EA 23 - 096980 PC</u>
1/4 Section	<u>2122</u>
Scale	<u>1 inch = 200 feet</u>
State ID	<u>1N1W12AB 10300</u>
Exhibit	<u>B</u> <u>Oct 31, 2023</u>
	LU 24-014054 CU AD
	Exhibit A.7

MULTNOMAH COUNTY LIBRARIES  
 ST JOHNS LIBRARY  
 7510 N Charleston Ave, Portland, OR 97203

Task	Date	Description of Revision

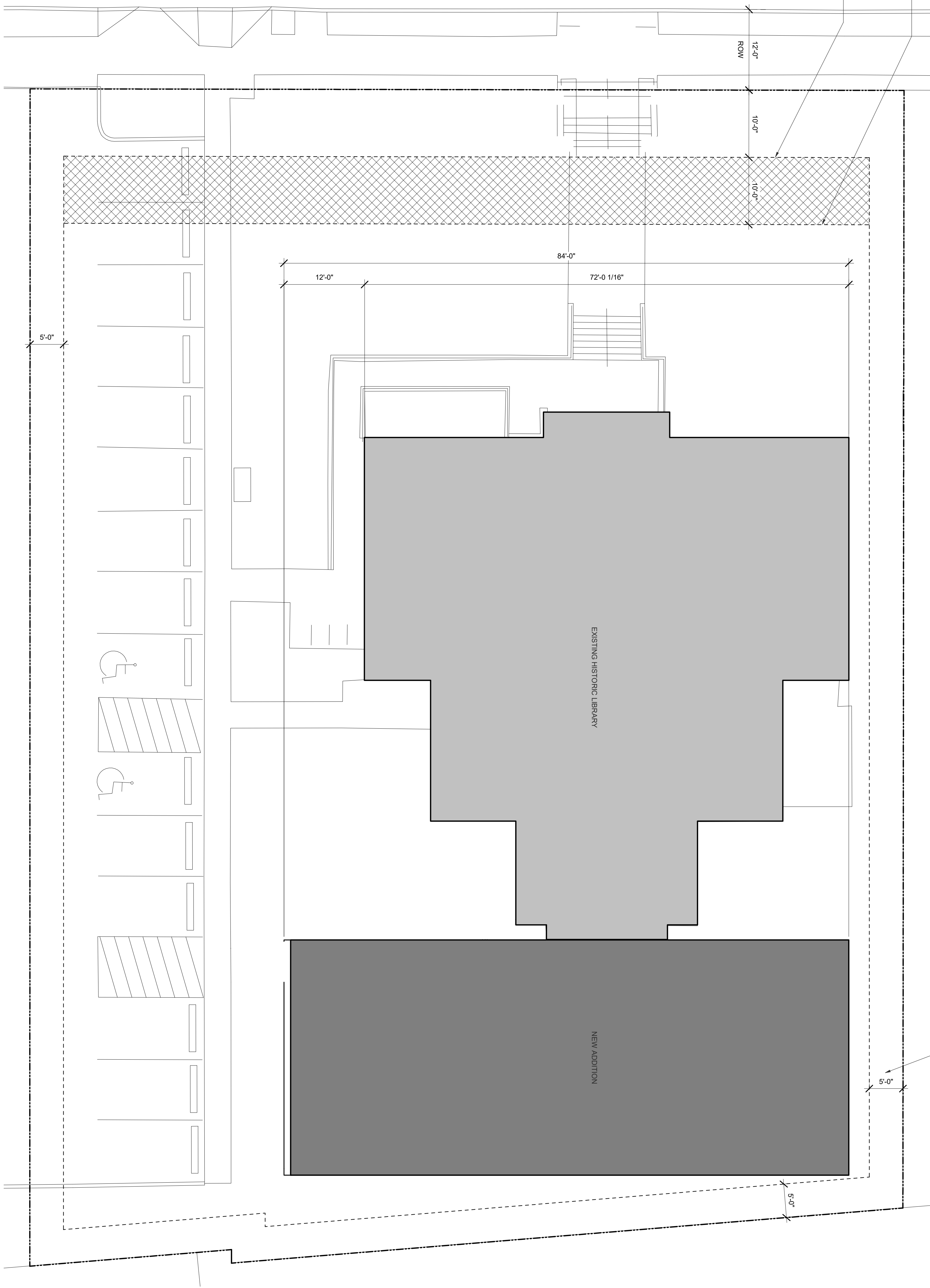
Drawn By: **AN**  
 Checked By: **AK**  
 Building: **B00**  
 Multnomah Project Number: **P718L172021\_03**  
 Street Title: **ARCHITECTURAL SITE PLAN**

Date: 10/13/2023  
 Title: **AS101-01**  
 Sheet: **OR**

**N CHARLESTON AVE**  
 LOCAL STREET WITHIN PEDESTRIAN DISTRICT

20' MAXIMUM BUILDING SETBACK  
 IN A PEDESTRIAN DISTRICT 33.120.220  
 ADDITION WITH NO STREET-FACING FACADE  
 OR ADDITION THAT DOES NOT INCREASE THE  
 LENGTH OF THE STREET-FACING FACADE IS  
 NOT SUBJECT TO THIS REQUIREMENT.  
 10' MINIMUM FRONT BUILDING SETBACK  
 FOR RM2 ZONE 33.120.220

5' MINIMUM SIDE & REAR BUILDING SETBACK  
 FOR RM2 ZONE 33.120.220



1 ARCHITECTURAL SITE PLAN  
 1/8" = 1'-0"



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
FROM CONCEPT TO CONSTRUCTION

Carmen Rubio, Commissioner  
Rebecca Esau, Director  
Phone: (503) 823-7300  
TTY: 711  
[www.portland.gov/bds](http://www.portland.gov/bds)

## **BDS – Land Use Planner Response**

### **Pre-Application Conference**

**Date:** December 1, 2023

**To:** Debbie Cleek  
(503) 789-3211  
[Cleek@Bookingroup.Com](mailto:Cleek@Bookingroup.Com)

**From:** Don Kienholz  
[Don.Kienholz@portlandoregon.gov](mailto:Don.Kienholz@portlandoregon.gov) | 503-865-6716

Grace Jeffereys  
503-865-6521, [Grace.Jeffereys@portlandoregon.gov](mailto:Grace.Jeffereys@portlandoregon.gov)

**File No.:** EA 23-096980 PC

**Location:** 7510 N CHARLESTON AVE

**Tax Account:** R192883

**State ID Number:** 1N1W12AB 10300

**Zoning:** RM2d (Multi-Development Residential 2; Design Overlay); St. Johns Plan District

**Proposal:** A Pre-Application Conference to discuss a 2,900 square foot addition to the St. Johns library. The addition will replace an 800 square foot addition that was constructed in the 1990s so the net increase in square footage will be 2,100-sf. A Type III Conditional Use Review is required because the addition increases the overall floor area by more than 25 percent.

---

Please contact me with questions regarding this memo, or if I can be of further assistance as you move forward with your proposal.

The information provided at the conference and included in this response is based on the information you provided prior to and at the conference and reflects regulations in effect at the time of the conference. This response provides information and guidance only. It is preliminary in nature and based on the information the applicant provided to BDS staff. It is neither a land use review nor a final decision regarding this project. References are to the Portland Zoning Code available online at [www.portland.gov/code/33](http://www.portland.gov/code/33).

#### **Zoning and Street Classifications:**

- **Base:** RM2
- **Overlay(s):** Design (d)

- **Plan District:** St Johns
- **Pattern Area:** Inner Neighborhoods
- **Pedestrian District:** St. Johns
- **Streets:** Adjacent streets are classified as follows:
  - N Charleston Avenue: City Bikeway; Local Service Transit, Traffic and Pedestrian.
- **Transit:** Considered “close to transit”
- **Corridors:** Not on a Civic or Neighborhood Corridor
- **Neighborhood Plan:** None
- **Centers:** St Johns
- **Historic Designation:** Significant Resource, Listed on the Historic Resources Inventory

#### A. Key Issues and Requirements – Conditional Use

The following issues and requirements have been summarized for the applicant to pay special attention to as they may impact the proposed project.

1. The current proposal to demolish an existing 800-sf portion of the building and replace it with a 2,900-sf is a net increase of 2,100-sf to the site. Changes to existing conditional use sites are subject to 33.815.040.B. Because the proposal includes a net increase in floor area over 2,000-sf, a conditional use is required under 33.815.040.B.1.e. Because the proposal increases floor area on the site by more than 25%, the Conditional Use review must be a Type III land use review process. Note that if the proposal was for 2000-sf or less in floor area, a Conditional Use Review would not be required at all. Information on the Conditional Use Review begins under #3 below.
2. The proposal is in the ‘d’ overlay zone and so also requires a Design Review, subject to 33.420. Information on the Design Review land use review is found beginning with item #11 below.
3. In general, if a proposal requires more than one land use review, they should be consolidated into a single application package as one review to provide the smoothest review process. However, it is possible, although not recommended, to process the conditional use and Design Reviews separately as discussed later in these notes.
4. Under 33.730.042.B, cases with consolidated land use reviews are processed under the highest procedure type. In this case, the proposal would be processed through a Type III review due to the required Conditional Use Review being a Type III and the Design Review being a Type II land use review.
5. A Type III Conditional Use Review goes to a public hearing where the City’s Hearings Officer conducts the required evidentiary hearing and makes the City’s decision. State law provides for a 30-day review period once the application is submitted to determine if the application is complete or not although we do strive to complete the review within 14 to 21-days of submission. If an application is determined to be missing materials or in need of clarifications, an incomplete letter will be issued identifying the information necessary to make the application complete. If the application is deemed incomplete, the applicant has 180-days to provide all the necessary materials; provide some of the materials and provide in writing no more materials will be submitted; or provide a written statement they will not provide any additional materials. Once the application is deemed complete, staff will work with the Hearings Officer’s office to schedule the hearing between approximately 50 and

60-days. Additionally, staff will send out the required mailed public notice, provide a template to the applicant for posting notice of the hearing on site, and provide the City's bureaus and agency partner's notice of the proposal for their response. Staff will provide a recommendation to the Hearings Officer in the form of a staff report with written findings addressing the applicable approval criteria. The recommendation may be for approval, approval with conditions, or denial based up on the evidence in the record. City Council is the appeal body for an Appeal of a Hearings Officer's decision.

6. The applicable Conditional Use approval criteria for the proposal are found in 33.815.105 - Institutional and Other Uses in Residential and Campus Institutional Zones. A narrative must be submitted as part of the application explaining how or why the criteria are satisfied; Conclusionary statements are not adequate. The first approval criterion, 33.815.105.A, focuses on maintaining an appropriate proportion of Household Living Use in the area and not lessening the residential function and character by adding too many non-residential uses. In this case, the proposal will not be adding any new non-household living uses - rather it will be increasing the size of the existing conditional use. The criterion response should focus on the intensity of the use with the addition and the potential for additional trips to the site.
7. Criterion B focuses on the use's physical compatibility with nearby residential development based on site size, building scale, style, setbacks, etc. Differences can be mitigated for by including screening, distance to property lines or structures, landscaping, design features, etc. The subject site only has residential zoning to the west and north, and both sites are in non-household living uses. Sites to the east and south are zoned CM2, a commercial and more permissive zone.
8. Criterion C encompasses Livability, which evaluates potential adverse impacts generated by the proposed use and privacy issues on adjacent residential uses.
9. Criterion D evaluates public services and ensures there are adequate services in place, or available, for the proposed use and increase in intensity for existing uses. The major component of this criterion is the potential impact on traffic and parking. You will want to read PBOT's response and their requirements for the transportation review.
10. Lastly, Criterion E ensures the proposed use is consistent with area plans adopted by the city. For the subject site, the applicable area plan is the St. Johns/Lombard Plan, found here: <https://www.portland.gov/bps/comp-plan/documents/st-johns-lombard-plan-2004/download>. You will want to review the plan and see if there are any applicable policies or objectives that are applicable to the project.

#### **B. Key Issues – Design Review:**

The following issues and requirements have been summarized for the applicant to pay special attention to as they may impact the proposed project.

1. There are two options for Design Review:
  - a. **Design Standards Track.** The proposal is not eligible to use the non-discretionary design standards track based on the thresholds in Section 33.420.050, because this is an Institutional use in residential zone (33.420.050.B.4).

- b. **Design Review Track.** A Type II Design Review will be required per Table 825-1 of Section 33.825.025. Additional information about Design Review can be found in the sections later in these notes and below:

#### GENERAL

- Digital submittal required.
- For final drawings (C Exhibits) and Appendix set (APP Exhibits):
  - Use 11"x17" format
  - Leave a 1.5"x5" blank space at the bottom right corner for Staff to add the case number, exhibit number and stamp.
- Conduct a thorough review before submitting your drawing packet.
- Review all color quality in submittal to ensure it accurately represent the colors intended.
- When returning for a 2nd hearing, revisions to the prior submittals should be illustrated and clearly marked in a side-by-side comparison.

#### PROJECT INFORMATION & NARRATIVE

- Land Use Review application form
- Project team and project cost
- Project description
- Zoning summary
- Response to guidelines/approval criteria (Word doc.)
- Modifications and Adjustments requests & approval criteria responses (Word doc.)
- Response to DAR (narrative)
- Technical Reports - Stormwater Loading Analysis, Queuing Study, etc.

#### DRAWINGS

"C" Exhibits should represent proposed development/alterations, be at an architectural or engineering scale and use 11"x17" format:

- Title Page
- Table of Contents
- Site Plan
- Floor and Roof Plans - roof plan should show all rooftop elements, including mechanical
- Elevations - B/W and color, and without shade or shadows, include material key, street-facing elevations in their immediate context, including adjacent buildings
- Building Sections - Include some depicting relationships to adjacent buildings
- Enlarged Details - windows/doors, storefronts, canopies, balconies, signage and their attachments, etc., control joints, seismic joints, and other visible construction details
- Materials / Colors - clearly identify each building material by name
- Landscape Plans
- Lighting Plans
- Civil Plans
- Cut Sheets - only pertinent product info like type, finish, color, dimensions

#### SUPPORTING INFORMATION



Appendix (“APP” Exhibits) should include information that supports the drawings and use 11”x17” format:

- Renderings - day and night in context, must be simple and not enhanced marketing-type images, avoid dramatic lighting effects
- Context - plan area, urban (3-block radius), site
- Sightlines - sightline drawings from relevant vantage points
- Material Photos & Examples
- Massing & Design Concept
- Miscellaneous Diagrams - FAR, ground floor windows, clear vs. spandrel panels, height, Modifications, Adjustments, etc.
- Responses to DAR (diagram)

## 2. Design Review and Other Land Use Review Processes

- a. Design Review Approval Criteria. The applicable approval criteria are the Portland Citywide Design Guidelines and can be found at [www.portlandoregon.gov/designguidelines](http://www.portlandoregon.gov/designguidelines). A matrix of the guidelines for your use has been attached.
- b. Additional Land Use Reviews. Additional land use reviews can be requested in addition to the Design Review, as discussed previously in these notes. The development standards of the Zoning Code are expected to be met. However, if a standard cannot be met, a Modification or Adjustment review can be requested. Please note, approvals are not guaranteed. To be approved, requests for Modifications or Adjustments must mitigate and better meet the purpose of the standard and applicable Design Guidelines.
  1. A Modification review may be requested for site-related standards (such as setbacks, size of loading spaces) that are not met. Approval Criteria are found under Section 33.825.040.
  2. An Adjustment review may be requested as part of the design review for use-related development standards (such as building height, number of loading spaces, number of parking spaces) that are not met. Approval Criteria are found under Section 33.805.040.
3. A Conditional Use Review as previously discussed in these notes.

All additional land use reviews should be listed on the land use application, the respective fees paid, and a response provided that addresses the additional approval criteria listed in the relevant Portland Zoning Code Chapters.

- c. Fee(s). Current fee(s) for land use reviews can be found at Land Use Services Fee Schedule online here: <https://www.portland.gov/bds/zoning-land-use/land-use-review-fees-and-types#toc-land-use-review-fees>.
- d. 2022 Guide to Design Review. You are encouraged to review the Guide to the Design Review Process prepared by the Design Commission, which provides guidance and expectations of the Design Review process. This guide was adopted by the Design Commission in January 2022. The guide can be found at [https://www.portland.gov/sites/default/files/2022/2022-dz-guide-to-design-review\\_2.pdf](https://www.portland.gov/sites/default/files/2022/2022-dz-guide-to-design-review_2.pdf).

- e. Certificate of Compliance. Approval of a Design Review allows for the proposed work to be built. The expectation is that the building permit will reflect the project (including the details) that was approved. To ensure this, a Certificate of Compliance will be required at the time of building permit as indicated in a condition of approval. The Certificate of Compliance form can be found at [portland.gov/bds/documents/certificate-compliance-design-and-historic-resource-review-approvals](http://portland.gov/bds/documents/certificate-compliance-design-and-historic-resource-review-approvals).

### 3. Design Review Approval Criteria

This preliminary feedback is a response to the information in your Pre-Application Conference submittal and based on the approval criteria of the Portland Citywide Design Guidelines (PCDG).

#### a. Context (PCDG 01, 02 & 03)

Specific Comments:

1. By maintaining the integrity and active uses of the existing resource, this helps support the character of the place, and provides opportunities to create positive relationships with the surroundings and contribute to the site's uniqueness with the new addition. (PCDG 01, 02 & 03)

#### b. Public Realm

General Comments:

1. Ground Floor Activation - Maximize the ground floor glazing and active uses behind it, especially on corners (PCDG 04, 05).
2. Ground level weather protection - Pedestrian weather protection should be provided. This can be achieved with generous canopies that project out over the sidewalk or ground level setbacks for at least a majority of all street frontages (PCDG 04).
3. Signs - Signs should be sized appropriately for the building, the district and the pedestrian realm and should incorporate district-appropriate materials (PCDG 04).

#### c. Quality & Permanence

General Comments:

1. Ground level materials - Materials at the ground floor should be durable enough for use adjacent to public sidewalks, such as brick and masonry (PCDG 08).
2. Building materials - High quality, durable building materials (building skin, storefronts, windows, doors, canopies, signs, etc.), that respond to the context of the surrounding area or district, are expected. At ground level facades facing pedestrian areas, provide robust materials that ensure longevity (PCDG 08).
3. Vents/Louvers & Mechanical - Vents through the roof are preferable. If wall-mounted on the facade, vents/louvers should be integrated into the window openings. The Code Guide specific to the screening of dryer vents can be found at

portlandoregon.gov/bds/article/726141. Associated mechanical units should be organized and screened (PCDG 08).

4. Exterior Lighting - Exterior lighting should be integrated into the building's overall concept and ensure a safe pedestrian condition along the adjacent sidewalk and within open spaces on the site. Exterior lighting can be used to highlight the building's architecture, however, should not impact the skyline at night (PCDG 04, 08).
5. Landscaping – Plan for sufficient space to support large shade trees and layered landscaping. Consider locating trees to the south and west of buildings to maximize their shade benefits. This area suffers from higher-than-average urban heat island effect, and as temperatures soar, large shade trees are increasingly critical to the health and comfort of residents and occupants (PCDG 03, 07, 09)

### C. Processing the Reviews

1. As noted previously in Item A.3, it is recommended to process the reviews in a consolidated land use package.
2. If you choose to submit the Conditional Use and Design Reviews separately, they will have separate timelines under ORS 227.178. Because the Conditional Use Review requires compatibility of the building with adjacent residential developments under 33.815.105.B and it evaluates the basic design under features, and the Design Review gets into the details of the building design, it is usually best for the Design Review to be deemed complete before the Conditional Use is deemed complete. This is to ensure there is high confidence that changes associated with the Design Review, which is a more specific review, will not adversely affect the Conditional Use review and findings, which is more general. If the Conditional Use application is deemed complete prior to the Design Review and the Design Review proposal gets modified during its separate review, the Conditional Use may need to be updated or redone to be consistent and comply with the Design Review.
3. Appeals of a Hearings Officer's decision for a Conditional Use go before City Council. Appeals of Type II Design Review applications go before the Design Commission. Should there be an appeal of a consolidated review with Design Review, the review body is generally determined by the specific approval criteria being challenged (33.720.020.G). Type II Design Reviews, if on their own, also go before the Design Commission with if appealed. If the Design Review is consolidated with the Type III Conditional Use Review as a single application before the City's Hearings Officer, any appeal, even of a design related criterion, would go before City Council as the final decision maker.
4. To have a *De Novo* appeal hearing before City Council that allows new information to be considered rather than an on-the-record hearing with only existing evidence, the applicant must submit the request for a *De Novo*/evidentiary hearing that also provides a full extension of the statutory 120-day clock. The request must be made within 21-days of submission of the original land use application. That form can be found online here: <https://www.portland.gov/bds/documents/request-evidentiary-hearing-and-waiver-right-decision-within-120-days/download>

### D. Applicable Development Standards

Please note, meeting the minimum Title 33 standards does not ensure that a project will meet the Design Review approval criteria and receive approval. It is recommended you design to meet/exceed the approval criteria, and not begin with just meeting the minimum Title 33 standards.

1. Development standards that will apply to the project. These include, but are not necessarily limited to, those from the following chapters in the Zoning Code (Title 33) and other City codes available online at [portland.gov/code/33](http://portland.gov/code/33).
  - [33.825 Design Review](#).
  - [33.815 Conditional Uses](#)
  - [33.583 ST. Johns Plan District](#) - development standards in the plan district may supersede those in the base zone and chapters below.
  - [33.445 Historic Resource Overlay Zone](#)
  - [33.425 Design Overlay Zone](#)
  - [33.266 Parking and Loading](#)
  - [33.258 Nonconforming Upgrades](#) - interior or exterior improvements to a site totaling more than \$347,000 requires up to 10% of the project cost must be spent toward bringing the site into conformance with identified zoning code standards.
  - [33.248 Landscaping and Screening](#)
  - [33.120 Multi-Dwelling Zone](#) (Residential Multi-Dwelling 2 base zone)
  - [Title 32 Sign Code](#) – signs over 32 SF in size in the Design Overlay zone require Design Review.
  - [Title 11 Tree Code](#) – Exemptions for tree density and preservation of this Title only apply to private trees on properties zoned IH, on sites with more than 85% building coverage, and sites less than 5,000 SF in area.
  
2. Specific Development Standards to note for this project. This list is not intended to be comprehensive. Always reference Title 33 for all applicable development standards and the exact language of each standard.
  - a. Section 33.445.300 Significant Resources. The building on the subject site is noted as a Significant Resource in the City's Historic Resource Inventory (HRI). Demolition or major alterations constituting a demolition of Significant Resources on the City's HRI is subject to the 120-day delay as specified in Sections 33.445.330 and 33.445.340. Per Section 33.445.340, 120-day delay allows time for consideration of alternatives to demolition, such as rehabilitation, reuse, relocation, or architectural salvage. 120-day delay is a nondiscretionary administrative process with public notice but no hearing. An application for a 120-day Demolition Delay can be found at [portlandoregon.gov/bds/article/154486](http://portlandoregon.gov/bds/article/154486)
  
  - b. Section 33.120.220.C Maximum Building Setbacks: In a Pedestrian District, where an existing building is being altered, the standards apply to the ground level, street-facing facade of the entire building. At least 50 percent of the length of the ground level street-facing facade of the building must meet the maximum setback standard of 20 feet from N Charleston Avenue.
 

*Because the proposed addition is 11' wider than the main structure, the overlap facing west will create a street facing façade. As such, this would take the proposal further out of conformance with the maximum building setback standard.*
  
  - c. Chapter 11.50 Trees in Development Situations: A tree plan will be required per Section 11.50.020.

1. To meet Section 11.50.020.C. Tree Preservation Requirement, a. General tree preservation, you must “preserve and protect at least 1/3 of the non-exempt trees 12 inches and larger in diameter located completely or partially on the development site, unless mitigation occurs...”
2. To meet Section 11.50.020.C. Tree Preservation Requirement, b. Preservation of trees 20 inches or greater, you must also “preserve and protect all non-exempt trees 20 inches in diameter or greater located completely or partially on the development site, unless mitigation and notice occurs...”.

## E. Coordination with Other Agencies

Refer to individual responses from all participating bureaus, review groups and agencies for more detailed information.

1. Transportation (PBOT)
  - Public Works Permit – If PBOT requires a 30% Public Works Permit approval before their response to a Design Review, it should be noted that such approvals can often take longer than the Land Use Review process. Therefore, you are highly encouraged to initiate the Public Works Permit process before you submit the Design Review.
2. Environmental Services (BES)
  - Stormwater Management. Stormwater management information, including infiltration tests, utility plans, stormwater facility designs, and site landscaping, must be submitted with the Design Review application. BES needs to review these elements early to ensure there are no issues that could affect the building size, location, or site design.
3. Fire / Life Safety
  - Preliminary Life Safety Meeting. A separate, preliminary life safety meeting is very beneficial to identify critical life safety and building code issues early in the process and allow the Design Review proposal to address those issues. This meeting is encouraged prior to submitting the Design Review. More information and the application can be found at [portland.gov/bds/documents/life-safety-preliminary-meeting-request-packet](http://portland.gov/bds/documents/life-safety-preliminary-meeting-request-packet).
  - Glazing and Energy Calculations. If large amounts of glazing are proposed, it is highly encouraged that energy calculations are done prior to submitting the Design Review, in case the building design is affected by energy code requirements.
4. Urban Forestry – Projects that require street tree preservation and planting should reach out to Urban Forestry early in the concept design phase to understand the requirements and process

## F. Questions Raised at the Conference

1. What will the required Land Use Review(s) be for this project? Will the Conditional Use Review be a Type II or a Type III? Table 825-1 of the Zoning Code indicates that because it is an exterior alteration to existing development that is under 65 feet tall and under 50,000 sq. ft. of floor area the review.

*As proposed, the conditional use will be a Type III Conditional Use and the Design Review would be a Type II. If they are processed in a consolidated application, they will both be processed as a Type III review.*

2. If the project required a Type III CU and a Type II Design Review can the applications be submitted on different dates, with the CU application being submitted between 4 and 6 weeks before the Design Review to account for the longer process? If so, how much do the two applications have to overlap?

*See items #A.3, A.5, B.1, B.2 and C above on processing concurrently vs separately.*

3. The 1917 building is classified as a Significant Resource that is outside of any historic or conservation district. While subject to a 120-day demolition delay it is exempt from historic resource review regarding proposed alteration, addition or new construction. Will any historic review be required for this project if this portion of the building will be preserved?

*Historic Resource Review will not be required if the portion of the building that is a Significant Resource is preserved (33.445.300). See Section D.2 "Specific Development Standards to note for this project" above.*

4. An Adjustment to the Maximum Transit Street Setback on Charleston will be required to allow the new addition to be located behind the historic building. Is this Adjustment supportable?

*For an Adjustment or Modification to this standard to be supportable, you must demonstrate the proposal meets the relevant approval criteria through an Adjustment Review (33.805) with the Conditional Use Review, or a Modification with the Design Review (33.825.040) if the Design Review is processed separately. The approval criteria for an Adjustment Review are 33.805.040, and for a Modification through Design Review are 33.825.040.*

5. What, if anything, will need to be provided to document that the driveway access to the parking is shared with the lot to the south?

*Please Refer to PBOT's response.*

6. Will a Traffic Study be required for this project?

*Please Refer to PBOT's response.*

7. Please confirm that no Loading Space is required for this project.

*No loading space is required for buildings with less than 20,000 square feet of net building area in uses other than Household Living (33.266.310.C.2).*

8. Regarding the removal of existing trees. There are 30 total trees on site, 19 of which are over 12 inches DBH. Conservatively we will need to remove 15 trees, 10 of which are over 12 inches DBH. That means that we would be removing 52% of the trees the over 12 inches from the site. This means that we would preserving more than the required 1/3 of the trees required by Title 11. We would like to confirm our understanding of this

requirement and if this scenario meets the standards.

*A tree plan will be required per Section 11.50.020 .*

*To meet Section 11.50.020.C. Tree Preservation Requirement, a. General tree preservation, you must “preserve and protect at least 1/3 of the non-exempt trees 12 inches and larger in diameter located completely or partially on the development site, unless mitigation occurs...”*

*To meet Section 11.50.020.C. Tree Preservation Requirement, b. Preservation of trees 20 inches or greater, you must also “preserve and protect all non-exempt trees 20 inches in diameter or greater located completely or partially on the development site, unless mitigation and notice occurs...”*

- 9. Would an Alternative Review be required to protect the existing sidewalk corridor on Charleston? Per our survey the sidewalk corridor consists of a 6” curb / 3’.5” furnishing zone / 6’ sidewalk / 2’?

*Please Refer to PBOT’s response.*

**G. Previous Land use Reviews**

As part of your application, address relevant conditions of approval from previous land use reviews on the site and discuss the current status of compliance. Below are the relevant land use case reviews that the City of Portland has on record for the subject site:

- LU 13-207756 DZ: Approval of one mechanical unit with a 7’-0” tall solid metal fence surround in the east portion of the northeast side yard.
- LU 99-017440 CU (reference file number LUR 99-01035 CU): Conditional Use approval to renovate the existing library and construct a building addition approximately 850 feet in area.
- LU 93-010293 CU (reference file number LUR 93-00284 CU): Conditional Use approval for parking for existing library and church

**H. Land Use Reviews Required**

The following table identifies land use reviews required for your project. Please refer to the identified code citations for additional information. Information on procedure for types of reviews are available at <https://www.portland.gov/bds/zoning-land-use/land-use-review-fees-and-types>.

Review Procedure	Land Use Review	Approval Criteria
Type III	Conditional Use Review	33.815.105
Type II	Adjustment Design Review Modification	33.805.040 33.825.025 33.825.040

**I. Neighborhood Contact**



Neighborhood Contact will be required before a land use review or building permit, whichever comes first. Neighborhood Contact regulations are in Zoning Code Chapter 33.705. Additional Neighborhood Contact information is available at <https://www.portland.gov/bds/neighborhood-contact>.

**J. Neighborhood Notification**

When you apply for a Type II or III Land Use Review, all property owners within 150 or 400 feet respectively, and all neighborhood associations and recognized organizations within 400/1,000 feet respectively of your site will receive notification of your proposal.

Contact information for neighborhood associations, neighborhood district coalitions, and business associations is available at <https://www.portlandoregon.gov/civic/search/>.

**K. Submittal Requirements for Land Use**

This list identifies the materials you must submit for your application to be considered complete. For additional details see Zoning Code Section 33.730.060.

	<b>Item to submit</b>	<b>Details</b>
1.	<b>Completed application form</b>	Application Form available at: <a href="https://www.portland.gov/sites/default/files/2022/land_use_review_application_070122.pdf">https://www.portland.gov/sites/default/files/2022/land_use_review_application_070122.pdf</a>
2.	<b>Fees</b>	Land use review fees at: <a href="https://www.portland.gov/bds/documents/land-use-services-fee-schedule-city-portland-effective-july-1-2023/download">https://www.portland.gov/bds/documents/land-use-services-fee-schedule-city-portland-effective-july-1-2023/download</a>
3.	<b>Requirements for written narrative, maps, plans, etc.</b>	<a href="#">General Submittal Requirements (Zoning Code Chapter 33.730.060)</a>
4.	<b>Neighborhood contact documentation</b>	For specific requirements see <a href="https://www.portland.gov/bds/neighborhood-contact">https://www.portland.gov/bds/neighborhood-contact</a> and <a href="#">Zoning Code Chapter 33.705</a> .
5.	<b>Optional Request for an Evidentiary Hearing and Waiver of Right to a Decision within 120 Days</b>	Allows new facts and evidence (an “evidentiary hearing”) to be presented if your project is appealed to City Council. You must submit the request form within 21 days of submitting your land use review application.  The 120-day waiver can be accessed at the link below: <a href="https://www.portland.gov/sites/default/files/2021/waiver_within_120days_041421.pdf">https://www.portland.gov/sites/default/files/2021/waiver_within_120days_041421.pdf</a>

**To submit land use reviews and other LUS applications:**

When you are ready to submit a land use review application, please see the BDS Website at <https://www.portland.gov/bds/land-use-review-fees-and-types/land-use-reviews-and-final-plate-applications> for current submittal requirements. We are accepting electronic land use

applications via email at [LandUseIntake@portlandoregon.gov](mailto:LandUseIntake@portlandoregon.gov). A Land Use Services technician will reply with instructions for providing payment.

**To submit permits (after any required land use review decision is final):**

When you are ready to submit a permit, please see our website for updated information on how to apply for permits: <https://www.portland.gov/bds/permit-review-process/apply-or-pay-permits>.



1900 SW Fourth Ave., Suite 5000 Portland, OR 97201 503-823-5185  
Fax 503-823-7576 TTY 503-823-6868 www.portlandoregon.gov/transportation  
Mingus Mapps Commissioner Millicent Williams Director

## PBOT – Development Review Pre-Application Conference Response

**Date:** Novemember 2, 2023

**To:** Debbie Cleek, THE BOOKIN GROUP  
503-789-3211, cleek@bookingroup.com

**From:** Michael Pina, PBOT Development Review  
503-823-4249, Michael.Pina@portlandoregon.gov

**Case File:** EA 23-096980

**Location:** 7510 N CHARLESTON AVE

**R#:** R192883

**Proposal:** A Pre-Application Conference to discuss a 2,900 square foot addition to the St. Johns library. The addition will replace an 800 square foot addition that was constructed in the 1990s. A Type III Conditional Use Review is required because the addition increases the overall floor area by more than 25 percent.

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Portland Bureau of Transportation/Development Review (PBOT) staff has reviewed the pre-application conference materials to identify potential issues and requirements. Following is a brief summary of issues and requirements that may impact your proposed project or are submittal requirements that will require time to prepare prior to submittal of the application.

### A. KEY ISSUES AND REQUIREMENTS

- For Conditional Use permits, a Transportation Impact Study (TIS) is required to support the approval criteria for the proposed use. TIS' are to be first scoped and approved with PBOT's Traffic Engineers prior to Land Use submission. The full study is to be submitted as part of the Land Use materials. More information below.
- The project is anticipated to trigger both development thresholds listed in 17.88.020, thus triggering frontage improvements abutting the site. However, the abutting frontage meets City standards, therefore no further dedication or improvements required with the exception of the ADA ramp.
- The existing ADA receiving Ramp appears to be somewhat recently reconstructed, however, an ADA Curb Ramp Field Review Form will need to be submitted to verify if it meets current standards. Please send completed form to Vu Mai ([Vu.Mai@portlandoregon.gov](mailto:Vu.Mai@portlandoregon.gov)) as early in the process as possible.

### B. STREET CLASSIFICATION AND CONFIGURATION

TSP Classifications: At this location, the City's Transportation System Plan (TSP) classifies the abutting street(s) as follows:

Street Name	Traffic	Transit	Bicycle	Pedestrian	Freight	Emergency Response	Street Design
N Charleston Ave	Local Service	Local Service	City Bikeway	Local Service in Ped. Dist.	Local Service	Minor Emergency Response	Local Street

Existing Improvements: At this location, according to the City’s GIS data, the site’s abutting Rights-of-Way (ROW) are improved as follows:

Street Name	ROW Width*	Roadway Width*/Condition	Pedestrian Corridor Width*/Configuration			
			Curb	Furnishing	Sidewalk	Frontage
N Charleston Ave	60-ft	36-ft, paved	0.5-ft	4-ft	6-ft	1.5-ft

*NOTE: The applicant is advised the information contained herein is derived from City GIS and other databases typically used by city staff, as well as information from the applicant. It has not been confirmed via a survey. This evaluation is not implied to be more accurate than the sources that the information was obtained from. **The applicant is advised to obtain a current survey to document the location of the abutting rights-of-way and to confirm any anticipated dedication amount that is being required prior to designing a building.***

**C. REQUIRED ROW IMPROVEMENTS**

Title 17.88.020 provides PBOT the authority to require the abutting frontage be brought up to City standards when development results in a 1) Increase in Occupancy/Trip generation to the site, and/or 2) is defined as a Significant Alteration, which is defined as “changes to a property that are 35 percent or greater than the assessed value of all improvements on the site. Mandatory improvements for fire, life safety and accessibility do not count towards the threshold” (17.88.010).

According to PortlandMaps, the most recent assessed improvement value for the property is \$1,322,520. Therefore, the Significant Alteration threshold is \$462,882. With an estimated project valuation \$7 million, it is anticipated the project will trigger both thresholds. However, in this instance, the abutting frontage configuration and driveway apron meets current City standards.

There is question whether the existing ADA receiving ramp meets current ADA standards. To retain the existing ramp, an ADA ramp report is required, completed by licensed engineer to ensure the existing ramps are met the current standards. If it is, then submit the completed ADA ramp report to PBOT PWP Project Manager for review and verification. The Ramp Report form can be found at [ADA Page | Portland.gov](#). If the existing ramps cannot be retained, then a Public Works permit will be required.

**D. GENERAL COMMENTS**

**Conditional Use Criteria:** To support the approval criteria, the applicant must submit a Transportation Impact Study (TIS) prepared by an Oregon licensed Traffic Engineer addressing the increase in vehicle trips, vehicle types, site circulation, maneuvering and operation to name a few.

A scope of TIS work must first be submitted and approved by PBOT prior to preparation of the study. The applicant is required to complete the appropriate Scope Approval forms for review and approval by PBOT. Forms can be found at:

<https://www.portlandoregon.gov/transportation/74543>. Completed Scope Approval forms, supporting documentation, and/or additional questions are directed to email PBOT at [PBOTDevRevTrafficScopes@portlandoregon.gov](mailto:PBOTDevRevTrafficScopes@portlandoregon.gov).

**E. APPROVAL CRITERIA**

The applicant shall submit a written narrative adequately addressing the applicable zoning code approval criteria listed below for the required reviews:

Topic	Code and Comments	Code Citation & Link

Topic	Code and Comments	Code Citation & Link
<p><b>33.815.105. Institutional and Other Uses in the Residential and Campus Institutional zones.</b></p>	<p>Public services.</p> <ol style="list-style-type: none"> <li>1. The proposed use is in conformance with the street designations shown in the Transportation Element of the Comprehensive Plan;</li> <li>2. Transportation system:               <ol style="list-style-type: none"> <li>a. The transportation system is capable of supporting the proposed use in addition to the existing uses in the area. Evaluation factors include safety, street capacity, level of service, connectivity, transit availability, availability of pedestrian and bicycle networks, on-street parking impacts, access restrictions, neighborhood impacts, impacts on pedestrian, bicycle, and transit circulation. Evaluation factors may be balanced; a finding of failure in one or more factors may be acceptable if the failure is not a result of the proposed development, and any additional impacts on the system from the proposed development are mitigated;</li> <li>b. Measures proportional to the impacts of the proposed use are proposed to mitigate on- and off-site transportation impacts. Measures may include transportation improvements to on-site circulation, public street dedication and improvement, private street improvements, intersection improvements, signal or other traffic management improvements, additional transportation and parking demand management actions, street crossing improvements, improvements to the local pedestrian and bicycle networks, and transit improvements;</li> <li>c. Transportation improvements adjacent to the development and in the vicinity needed to support the development are available or will be made available when the development is complete or, if the development is phased, will be available as each phase of the development is completed.</li> </ol> </li> </ol>	<p><a href="https://www.portland.gov/sites/default/files/code/33.815-conditional-uses.pdf">https://www.portland.gov/sites/default/files/code/33.815-conditional-uses.pdf</a></p>

**F. SUBMITTAL REQUIREMENTS FOR LAND USE**

This list identifies Portland Transportation submittal requirements. Please see the Conference Summary Memo for all of the materials you must submit for your application to be considered complete.

1. Written narrative adequately addressing all transportation related approval criteria.
2. Transportation Impact Study

All submittal requirements should be submitted with the application.

**G. BUILDING PERMIT INFORMATION**

At the time of permit review (following the land use review) you should be aware of the following:

1. **SDCs:** System Development Charges (SDCs) may be assessed for this development. To receive an estimate of the SDC amount, the applicant is advised to leave a voicemail message to include the case file number, at (503) 823-7002, Option 2. Additional information about PBOT SDCs can be found at:  
<https://www.portlandoregon.gov/transportation/46210>.
2. **ROW Dedication:** The City's dedication process is administered by PBOT's Right-of-Way Acquisitions Section & is separate from the Building Permit process. It is important for the applicant to understand the dedication process and timeline thereof to avoid any conflicts with the Building Permit process. When dedication is required, it is the applicant's responsibility to provide a current survey if they wish to challenge the anticipated dedication amount that is being required. Building permits will not be approved prior to the completion of dedication. Additional information on the dedication process can be reviewed at the following link:  
<http://www.portlandonline.com/transportation/index.cfm?a=82666&c=38718>.
3. **ROW Improvement Permitting:** The ROW improvements will need to be designed by an Oregon licensed civil engineer and constructed under a Public Works Permit, which is separate from the Building Permit that will be necessary for construction of the proposed project. Conceptual PW Design must be submitted to Public Works Permitting in order to verify the type of PW Permit that is required and to determine the required performance guarantee amount. PW Design Review will determine specific design elements including stormwater management, bus stop, curb-cuts, landscaping, location of signage, location of utility poles and street lights, as well as other design requirements.  
  
The applicant is therefore encouraged to contact Public Works at (503) 823-1987 or at [pwp@portlandoregon.gov](mailto:pwp@portlandoregon.gov) to familiarize themselves with the process and initiate the appropriate meetings/process. Additional information on the City's Public Works Permitting process can be found at the following link: <http://www.portlandonline.com/publicworks>. It is important for the applicant to understand the Public Works process and timeline thereof to avoid any conflicts with the Building Permit process.  
  
Plans, fees, a contract (called the application for permit) and a performance guarantee for the estimated value of the improvement must be submitted prior to (Final Plat approval). The performance guarantee may be in the form of a surety bond, irrevocable letter of credit, set-aside account, or cash deposit.
4. **Accuracy of Location:** The applicant is advised that the City cannot guarantee the accuracy of location of utilities in the street, and that the information used by the City and furnished to the applicant or their representatives may be incorrect. Verification of private and public utility locations, as well as the responsibility for any and all damage caused by work in the right-of-way, will be the responsibility of the permittee at the time of performing work and right-of-way improvements associated with their project.
5. **TSUP:** PBOT's Temporary Street Use Permitting (TSUP) are responsible for managing construction activities when proposed development will prohibit use of an area of within the public right-of-way. A separate street temporary closure permit will be required. Additionally, closures that do not allow safe passage and unobstructed flow of normal public use in a partially open area or lane, will also require a City approved Traffic Control

Plan. For information on obtaining a separate temporary street closure permit, please contact: <http://www.portlandoregon.gov/transportation/permitting> (503-823-7611), for an application, general information, cost and submittal information Jesse Long (503-823-7611) [Jesse.Long@portlandoregon.gov](mailto:Jesse.Long@portlandoregon.gov).





# CITY OF PORTLAND ENVIRONMENTAL SERVICES



1120 SW Fifth Ave, Suite 613, Portland, Oregon 97204 ■ Mingus Mapps, Commissioner ■ Dawn Uchiyama, Director

## Pre-Application Conference Response

**Date:** November 21, 2023  
**To:** Matt Wickstrom, Conference Facilitator  
503-865-6513, Matt.Wickstrom@portlandoregon.gov  
**From:** Ella Ruth, BES Systems Development  
503-823-8068, Ella.Ruth@portlandoregon.gov  
**Case File:** EA 23-096980  
**Location:** 7510 N CHARLESTON AVE  
**R#:** R192883  
**Proposal:** A Pre-Application Conference to discuss a 2,900 square foot addition to the St. Johns library. The addition will replace an 800 square foot addition that was constructed in the 1990s. A Type III Conditional Use Review is required because the addition increases the overall floor area by more than 25 percent.

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The Bureau of Environmental Services (BES) has reviewed the submitted materials to identify potential issues and requirements and provide the following comments. Some references to Portland City Code (PCC) are included below; the applicant may refer to the Auditor's Office [Online Charter and Code](#).

### A. KEY ISSUES AND REQUIREMENTS

Following is a brief summary of issues and requirements that may impact your proposed project or are submittal requirements that will require time to prepare prior to submittal of the application.

1. The applicant must submit a site plan showing the existing sanitary sewer connection location(s) and stormwater disposal system(s) for the structures to remain on this site as well as all proposed sanitary connections and stormwater systems.
2. The applicant must submit a stormwater report, including the results of infiltration testing, with the land use and building permit application.

### B. SANITARY SERVICE

1. *Sanitary Infrastructure:* According to available GIS data, the following sewer infrastructure is located in the vicinity of the project site:
  - a. Public 8-inch PVC combined sewer in N Charleston Ave (BES as-built # 4984).
  - b. Public 8-inch PVC sanitary sewer located within the public sewer easement along the southern property line (BES as-built # 4984; Easement Tracking ID # 7262)
2. *Sewer Easements and Encroachments:* A 25-foot sewer easement granted to the City of Portland exists over the public sanitary sewer that runs across this site. The sewer easement grants certain rights to the City of Portland related to constructing, maintaining, and/or accessing public sewer infrastructure. Features or activities that would interfere with the City's granted rights are considered unauthorized encroachments. In evaluating a proposed encroachment, administrative rule ENB-4.07 establishes that BES "will balance the need for the encroachment against the repair and maintenance needs of that sewer." Examples of features or activities that may be limited or prohibited, depending on the easement, include building construction, utility installation or maintenance, material storage, grading, fence installation, and tree planting. BES staff review for possible easement encroachments as authorized by PCC 17.32.040.B during land use and/or building permit review. BES may

Ph: 503-823-7740 Fax: 503-823-6995 ■ [www.portlandoregon.gov/bes](http://www.portlandoregon.gov/bes) ■ Using recycled paper ■ An Equal Opportunity Employer

The City of Portland complies with all non-discrimination laws including Title VI (Civil Rights) and Title II (ADA).  
To request a translation, accommodation or additional information, please call 503-823-7740, or use City TTY 503-823-6868, or [regaffairs@portlandoregon.gov](mailto:regaffairs@portlandoregon.gov).  
BU 24-014054-CUAD  
Exhibit A.7



deny a request to encroach, approve the request, or approve the request with conditions. If the encroachment is approved, the City will obtain an executed and recorded encroachment agreement with the property owner to satisfy the authorization requirement in PCC 17.32.030.A.2. Additional information is available [here](#).

3. *Connection Requirements:* Connections to the City sewer system must meet the standards of the City of Portland's [Sewer and Drainage Facilities Design Manual](#), [PCC 17.32.090](#), administrative rules [ENB-4.07](#) and [ENB-4.17](#), and all other relevant City codes and rules. Sanitary sewage from private property must be separately conveyed to the property line and connected through individual laterals for discharge to the City separate sanitary or combined sewer. Per [ENB-4.07](#), sewer connection permits are required to make new connections to City mains and laterals, relocate or upsize existing laterals, and repair sewers in City right-of-way. The permittee is responsible for verifying the location, depth and size of an existing sewer lateral and for ensuring the lateral is clear of obstructions prior to connection.

### **C. STORMWATER MANAGEMENT**

1. *Stormwater Infrastructure:* According to available GIS data, the following stormwater infrastructure is located in the vicinity of the project site:
  - a. There are no public storm-only sewers available to this property and a public storm main extension is not required. The combined sewer described above may provide the only offsite discharge location for stormwater from the development.
  - b. Public underground injection control (UIC) systems ("sumps") in N Charleston Avenue infiltrate stormwater runoff from the public right-of-way. Stormwater from private development cannot be discharged to public UICs.
  - c. Currently, stormwater from the public right-of-way discharges to the public storm system, then to the Ramsey Lake treatment pond.
2. *General Stormwater Management Requirements:* Development and redevelopment sites that include any of the triggers listed in PCC 17.38.040 are subject to the policies and standards of PCC 17.38.035, Portland's [Stormwater Management Manual](#) (SWMM) and [Source Control Manual](#) (SCM). Projects must comply with the current adopted version of the SWMM as of the permit application date. A fundamental evaluation factor in the SWMM is the Stormwater Infiltration and Discharge Hierarchy (Section 1.3.3), which sets the framework that will be used to determine when a project's stormwater runoff must be infiltrated onsite and when offsite discharge will be permitted, and the parameters that must be met for either scenario. If tested infiltration rates on a property are greater than or equal to 2 inches per hour, onsite infiltration will be required unless the site qualifies for the ecroof exception per Section 3.2.1 or infiltration is determined infeasible based on site conditions described in Chapter 2 of the SWMM. Note that maximum building coverage allowed by the zoning code, including below grade development, does not exempt the applicant from stormwater requirements. Pollution reduction and flow control requirements must be met using vegetated facilities to the maximum extent feasible, though roof runoff and some paved impervious surfaces are exempt when discharging directly to a UIC (refer to Sections 1.3.2, 1.3.4, 3.2.4 and 4.2.2 of the SWMM).
3. *Public Right-of-Way Stormwater Management:* Stormwater runoff from the public right-of-way must comply with all applicable standards of the SWMM and Sewer and Drainage Facilities Design Manual and be conveyed to a discharge point along a route of service approved by the BES Director or the Director's designee. Additional guidance on meeting the 2020 SWMM for projects in the public right-of-way is available at <https://www.portland.gov/bes/stormwater/swmm-and-right-way-projects>.
  - a. Under the 2020 SWMM, sidewalk improvements behind an existing curb that create or replace 500 SF or more of impervious area are no longer exempt from stormwater management requirements unless they fall under a specific exemption described in Section 1.2.1.2 of the SWMM. Based on the scope of PBOT requirements, the length of

project frontage and existing conditions, BES does not expect that the required sidewalk improvements will exceed 500 SF of triggered impervious area.

4. *Private Property Stormwater Management:* Stormwater runoff from this project must comply with all applicable standards of the SWMM and SCM and be conveyed to a discharge point along a route of service approved by the BES Director or the Director's designee.
  - a. *Stormwater Report:* The applicant must submit a Presumptive (SWMM Section 2.5.2) or Performance Approach (SWMM Section 2.5.3) stormwater report and a preliminary utility plan showing stormwater management facilities sized according to SWMM standards. The report must follow the outline included in Section 3.4.3 of the SWMM and be stamped by an Oregon registered engineer or other qualified design professional. Required elements of the report include:
    - 1) Results of infiltration test(s) on the subject site performed by an Oregon-licensed engineer, certified engineering geologist, or registered geologist in accordance with the open pit, encased or double-ring infiltrometer testing methods described in Section 2.3.2 of the SWMM. To best assess the feasibility of onsite infiltration, the design team must test infiltration rates at depths that appear conducive to infiltration using field-based decisions and by referencing available soil information, geotechnical analyses and/or boring logs. To the extent feasible, proposed infiltration facilities must correspond with the location and depth of the completed infiltration testing. Indicate on a plan the approximate location of the test(s).
    - 2) Calculations prepared by an engineer using the [Presumptive Approach Calculator \(PAC\)](#). If using other software under the Performance Approach, the principles of Section 2.5.3 must be followed.
    - 3) If BES approves offsite discharge to the combined sewer, PCC 17.38 and the SWMM require stormwater discharge to be controlled so that the post-development 25-year peak flow rate is limited to the pre-development 10-year peak flow rate. The applicant must show through the Presumptive or Performance Approach stormwater report how flow and volume control standards that apply to the proposed discharge point will be met.
  - b. *Infiltration Facility Setback Requirements:* Required minimum setback distances from infiltration facilities to slopes, property lines, foundations and other features are described in Section 2.2.4 and Table 2-1 of the SWMM. Most infiltration facilities must be set back 5 feet from parcel property lines and 10 feet from foundations, as measured to the high water level at the edge of vegetated facilities, the middle of drywells, and the edge of soakage trenches. Note that no setbacks are required for property lines with the right-of-way. Additional specific setback requirements are described for rain gardens, filter strips, downspout extensions, and ponds (see Section 2.2.4 of the SWMM). BES will review all proposals to reduce required setbacks. Stormwater facilities with reduced setbacks may need to be designed under the Presumptive or Performance Approach and additional documentation and analysis (such as analysis from a geotechnical engineer, structural engineer, registered geologist or other environmental professional) may be required as described in Section 2.2.4 of the SWMM.
  - c. *Ecoroofs:* Full coverage ecoroofs may meet the entire stormwater management obligation of a building. If instead the applicant proposes an ecoroof that only partially covers a building, the following considerations must be followed, as applicable. For more information about partial-coverage ecoroofs, see <https://www.portlandoregon.gov/bes/article/691262>.
    - 1) *Building Coverage:* If a building with  $\geq 60\%$  ecoroof is proposed, onsite stormwater infiltration does not need to be investigated for the building area.
    - 2) *Ground Level:* Incidental ground-level impervious areas associated with an adjacent building that has  $\geq 60\%$  ecoroof also does not need to be evaluated for

on-site infiltration. However, larger impervious areas that allow sufficient space to install an infiltration facility, such as parking lots, must be investigated for the feasibility of infiltrating stormwater per SWMM procedures.

- 3) *Pollution Reduction*: Pollution reduction must be provided for all non-ecorooft area when discharging to a storm-only system (i.e. SWMM Hierarchy Level 2). In the combined system (Level 3), pollution reduction is not required.
- 4) *Flow Control*: Flow control must be provided for all non-ecorooft area. A partial ecorooft can contribute toward meeting the site's overall flow control obligation, and in some cases a partial ecorooft may be all that is required. To assess this, the project engineer must calculate flow control using the Santa Barbara Urban Hydrograph method using a 5-minute time of concentration, an ecorooft curve number of 61 (from SWMM Table A-8), and a weighted curve number for the entire roof area (formula is provided in guidance document linked above).
- d. *Nonconforming Parking Lot and Landscape Requirements*: If this project will bring existing parking areas into compliance with current landscaping requirements per PCC 33.258.070, then the SWMM requires that new landscaped areas must also be utilized as vegetated stormwater facilities where feasible (refer to Section 1.2.3 of the SWMM). The SWMM includes examples of criteria that will be considered to determine feasibility. Note that if a stormwater facility is determined feasible, the facility must be sized using the appropriate methodology from Section 2.5 of the SWMM and should therefore be included in the required stormwater report.
5. *Landscaping Benefits*: BES's mission includes the protection of public health, water quality and the environment by providing sewage and stormwater collection and treatment services, and by protecting the quality of surface and ground waters. Landscaping is needed to mitigate some of the negative impacts of streets and parking areas in the Willamette River watershed. New landscaping will have a dual benefit that is aligned with the two prongs of BES's mission:
  - a. Landscaping will help by lowering the temperature of runoff, facilitating infiltration of stormwater which recharges groundwater, and increasing and cooling base flows that will eventually flow into the Willamette River.
  - b. Landscaping will help the public conveyance system by intercepting stormwater thereby reducing the peak flow – and reducing the total volume – of runoff that is conveyed to the public sewer system.Note that if an Adjustment to landscaping requirements identified in Zoning Code is proposed, BES will provide input to BDS regarding whether applicable stormwater related approval criteria can be met with the requested Adjustment. The applicant will need to demonstrate in a narrative and on a site plan how the intent of the approval criteria can be met.
6. *City of Portland Green Building Policy*: The City of Portland has implemented a [Green Building Policy](#) that applies to City-owned facilities. Included in the policy as amended in 2015 is a requirement that all new City-owned buildings and structures, and all City-owned spaces undergoing a roof replacement, will be entirely covered with an ecorooft excepting skylights, mechanical systems, and fire and access routes. Each City bureau and office is responsible for incorporating this policy into their work. Compliance with the policy's ecorooft requirement may also contribute toward meeting the project's stormwater management obligations, as applicable.
7. *Clean River Rewards Program*: Clean River Rewards, Portland's stormwater discount program, offers discounts up to 100% of the City's onsite stormwater management charge to ratepayers who manage stormwater runoff on their property or retain large trees. Please note that this discount is not automatically applied; ratepayers must register their property and describe how stormwater is being managed to qualify. Be aware that some properties

discharging to the Multnomah County Drainage Districts (within the Columbia Slough watershed) are not charged an onsite stormwater management fee by the City and are therefore ineligible to register for this program. See the [Clean River Rewards website](#) or call 503-823-1371 for more information.

#### **D. GENERAL PUBLIC WORKS PERMIT INFORMATION**

*For questions related to the public improvements described throughout these notes, please contact Rod Krauter at (503) 823-7064 or [rodney.krauter@portlandoregon.gov](mailto:rodney.krauter@portlandoregon.gov) or the BES Development Engineering hotline at (503) 823-7761, option 3.*

1. *General Public Works Permit Information:* Information on the City's public works permit (PWP) process, including submittal requirements and review timelines, is available at [www.portlandoregon.gov/publicworks](http://www.portlandoregon.gov/publicworks). All submitted public works plans must meet the City's Sewer and Drainage Facilities Design Manual (SDFDM), SWMM, and public works permitting plan submittal requirements and drafting standards. Contact Public Works Permitting at (503) 823-1987 or [pwd@portlandoregon.gov](mailto:pwd@portlandoregon.gov) with questions related to the general public works permit process.
2. *Hazardous Substances Code:* The City's Hazardous Substances Code (PCC 17.24.067) requires the excavation and removal of disturbed contaminated soils from right-of-way access areas and utility corridors. The soils must be replaced with clean fill at a minimum depth of 5 feet. A demarcation/contaminant barrier is also required when it has been determined the soils are contaminated at depth. Erosion control measures for contaminated soils (Section 8.2.1 of the SCM) must be met. Soil stockpiles must be covered and contained with a barrier on all four sides, with an impervious layer underneath the stockpile to inhibit contaminants from leaching back into the soil.

#### **E. SUBMITTAL REQUIREMENTS FOR LAND USE**

1. Full land use plan set, including preliminary utility plan showing all existing and proposed sanitary and storm facilities and connections. All BES assets and easements must also be shown and labeled on plans.
2. A Presumptive or Performance approach stormwater report, including the results of infiltration testing, as described in this memo.

#### **F. PERMIT INFORMATION**

At the time of permit review the applicant should be aware of the following:

1. *Connection Fees:* Sewage system connection fees and system development charges are assessed at the time of building plan review and change every fiscal year on July 1<sup>st</sup>. For additional information on these fees, navigate [here](#) or call the BES Development Review Team at 503-823-7761.
2. *Connection Requirements:* Connection to public sewers must meet the standards of the City of Portland's [Sewer and Drainage Facilities Design Manual](#).
3. *Source Control Requirements:* Source control requirements from the [Source Control Manual](#) (SCM), [Portland City Code \(PCC\) Title 17](#), and [BES Administrative Rules](#) that may be applicable to this project are listed below with the corresponding chapter, section, code, or rule. For specific questions on the following, please contact BES Source Control at 503-823-7122.
  - a. *Site Use and Activity-Based Source Control Requirements (SCM Chapter 6):* BES recommends the applicant review the following SCM sections to understand the structural, treatment, and operational BMP requirements that may impact the project design.
    - 1) *Waste and Recycling Storage (SCM Section 6.1)*



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
FROM CONCEPT TO CONSTRUCTION

Carmen Rubio, Commissioner  
Rebecca Esau, Director  
Phone: (503) 823-7300  
TTY: 711  
[www.portland.gov/bds](http://www.portland.gov/bds)

## Site Development

### Early Assistance Conference Response

**Date:** December 6, 2023  
**To:** Matt Wickstrom, Conference Facilitator  
503-865-6513, [Matt.Wickstrom@portlandoregon.gov](mailto:Matt.Wickstrom@portlandoregon.gov)  
**From:** Jeff Duquette, 503-823-5075  
[Jeff.Duquette@portlandoregon.gov](mailto:Jeff.Duquette@portlandoregon.gov)  
**Case File:** EA 23-096980  
**Location:** 7510 N CHARLESTON AVE  
**R#:** R192883  
**Proposal:** A Pre-Application Conference to discuss a 2,900 square foot addition to the St. Johns library. The addition will replace an 800 square foot addition that was constructed in the 1990s. A Type III Conditional Use Review is required because the addition increases the overall floor area by more than 25 percent.

The Site Development Section of the Bureau of Development Services (BDS) has reviewed the pre-application conference materials to identify potential issues and requirements.

#### A. Key Issues and Requirements

Following is a brief summary of issues and requirements that may impact your proposed project or are submittal requirements that will require time to prepare prior to submittal of the application.

1. Floodplain Requirements: The site is not within a FEMA defined special flood hazard area nor is it within a 1996 Flood Inundation Area.
2. Geotechnical Engineering: A geotechnical engineering report will be required at the time of building permit application under one of the following conditions:
  - A mandatory seismic upgrade is triggered by the proposed addition. Conditions that trigger mandatory seismic upgrades are detailed with the City Charter under PCC Section 24.85. Please refer to the following City Link: <https://www.portland.gov/code/24/85>

*[NOTE: If you have additional questions related to mandatory seismic upgrades BDS Site Development recommends setting up a preliminary meeting with BDS Life Safety. Please consult the following City web page for additional information: <https://www.portland.gov/bds/early-assistance/life-safety-preliminary-meetings>]*

- The use of Non-prescriptive soil strength parameters in the design and sizing of foundations for the proposed addition. Please refer to the following web page for a list of prescriptive soil strength/design parameters:  
<https://www.portland.gov/bds/structural-engineering/commercial-structures#toc-soils-and-foundations->
  - Excavation work that can result in the temporary undermining of, or removal of lateral soil support to either the adjacent Public Right of Way, or adjacent private property.
3. Landslide Hazard Study: The site is not within a City of Portland defined special landslide hazard area.
  4. Erosion & Sediment Control: If the proposed work will result in 500square feet or more of exterior ground disturbing work, the permit application drawings must include an Erosion and Sediment Control Plan that meets the minimum requirements of PCC Title 10.



# Water Bureau

## Early Assistance Appointment Response

**Date:** November 1, 2023

**To:** Matt Wickstrom, Conference Facilitator  
503-865-6513, [Matt.Wickstrom@portlandoregon.com](mailto:Matt.Wickstrom@portlandoregon.com)

**From:** Bryan Vittori, 971-917-5458, [Bryan.Vittori@portlandoregon.gov](mailto:Bryan.Vittori@portlandoregon.gov)

**Case File:** EA 23-096980

**Location:** 7510 N CHARLESTON AVE

**Property ID:** R192883

**Proposal:** A Pre-Application Conference to discuss a 2,900 square foot addition to the St. Johns library. The addition will replace an 800 square foot addition that was constructed in the 1990s. A Type III Conditional Use Review is required because the addition increases the overall floor area by more than 25 percent.

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The Portland Water Bureau (PWB) has reviewed the Early Assistance materials to identify potential issues and requirements.

### A. WATER AVAILABILITY

1. Water is available to this site from the 6-inch Ductile Iron (DI) water main in N Charleston Ave. The static water pressure is estimated as 44 - 55 psi at 143 feet in elevation.
2. The site is currently served through a 1.5-inch meter on a 2-inch service. Service lines and meter sizes are determined by the total fixture units being served by that line and meter. If the services are found to be inadequate, they will be resized at the expense of the applicant. If an existing service is not used for the new development, it must be removed. All fees to remove services are the responsibility of the applicant.

Submission of the fixture count is required at permit application. Please refer to the [W3](#) and [W4](#) forms on our website for more information.

### B. KEY ISSUES

1. There is an abandoned 2-inch Steel water main in N Charleston Ave. offset an estimated 5-ft from the eastern curb.
2. The developer will be required to confirm through permit review that the existing and proposed PWB infrastructure will meet City standards relative to the any proposed improvements.

### C. OTHER CATEGORY

1. Backflow prevention assemblies are required for all dedicated irrigation services, dedicated fire lines, mixed-use/multi-tenant developments, certain occupancies, and meters larger

than 1.5". A backflow assembly may be required on smaller services based on the use of the property. Dedicated fire sprinkler water services are to be equipped with a state-approved detector style backflow prevention assembly.

Backflow prevention assemblies can significantly impact property frontage development. Water Bureau required backflow assembly installations are required on private property, at the public right of way line, centered on the city's water service. Some installations are required to be installed above finished grade in an approved insulated outdoor enclosure. Assemblies installed inside of buildings must be approved prior to installation. Water services to high rise buildings (measured 75-feet from lowest finished floor to top of structure) are required to be equipped with Reduced Pressure type backflow assemblies.

Please reference possible backflow assembly requirements for your project at <https://www.portland.gov/water/backflow-prevention/backflow-assembly-installation-requirements> or contact Water Quality Inspection at 503-823-7479 for more information.

2. To obtain fire flow information fill out a "Fire Flow Request Form" found at our website, <https://www.portland.gov/water/water-development-services/request-fire-flow-information> or by calling 503-823-1408.
3. If there is contamination in or near the ROW at the location of proposed water mains or services, PWB requires:
  - a. Verification of clean soils at the location of the installations; or
  - b. Identification of the extent and degree of contamination such that appropriate remediation plans can be generated prior to any PWB construction. The remediation, disposal fees, and charges are the responsibility of the applicant.
4. The developer will be required to confirm through permit review that the existing and proposed PWB infrastructure will meet City standards relative to the proposed improvements. Water Bureau infrastructure may need to be adjusted or fully reconstructed at the expense of the developer if standards cannot be met. Please review the Portland Water Bureau Engineering and Technical Standards Administrative Rule that was instituted June 2022 at <https://www.portland.gov/water/water-development-services/engineering-admin-rule>

#### D. WATER CODE REQUIREMENTS

The Portland Water Bureau's guiding code, [Title 21](#) was updated in January 2021.

- **New commercial development with no residential use, and having permanent irrigated areas of 1,000 square feet or more**, are required to have a separate water meter for irrigation use. The requirement only applies to permanent irrigation services intended to remain longer than 24 months.
- **Water services may not cross property lines.** Separate services and meters are required for **development on an individual lot, regardless of lot ownership.** An exception is when a single structure crosses a property line, in which case a single meter may serve the structure.



Topic	Code and Comments	Code Citation & Link
Title 21	City Water Code	<a href="#">Title 21 Water</a>
Engineering and Technical Standards	Administrative Rule	<a href="#">Administrative Rule</a>

## E. PERMIT INFORMATION

At the time of permit review (following the land use review) you should be aware of the following:

1. Meters will be sized during the building permit process. Sizing is based on total count of all fixtures supplied by the identified service. Applicant will provide an SDC Form, W-3, or W-4 for each meter as part of the building permit submittal. There will be no reduction in meter size based on grey water usage or the installation of low-flow fixtures.
2. All new domestic service taps and upsized meters will be assessed a [System Development Charge](#) (SDC). Fee is based on meter size except when a header service is installed, in which case the fee is based on the shared meter equivalent. See PWB Code Guide for more information: <https://www.portland.gov/water/water-development-services/separate-meter/>.
3. SDC credit will be given for meters that are permanently removed. SDC credit is applied towards services within the same lot and is not transferrable.
4. Fire lines are excluded from Systems Development Charges.
5. The applicant can consider the use of a combination domestic and fire service for domestic services of 2" or less.
6. Service/Mains work may fall outside of our Rate Ordinance requiring a Site Specific estimate. Ordinance rates for service installations and water main extensions can be found in Exhibit A of the current Water Fee Schedule: <https://www.portland.gov/water/water-development-services/water-development-fees/>.



**PORTLAND  
FIRE & RESCUE**



Rene Gonzalez, Commissioner  
Sara Boone, Fire Chief  
Kari Schimel, Fire Marshal  
Prevention Division  
1300 SE Gideon St.  
Portland, OR, 97202  
Phone: (503)823-3770

## Fire Bureau

### Pre-Application Conference Response

**Date:** November 16, 2023

**To:** Matt Wickstrom, Conference Facilitator

503-865-6513, Matt.Wickstrom@portlandoregon.gov

**From:** Alice Johnson, 971-323-3071

Alice.Johnson@portlandoregon.gov

**Case File:** EA 23-096980

**Location:** 7510 N CHARLESTON AVE

**Property ID:** R192883

**Proposal:** A Pre-Application Conference to discuss a 2,900 square foot addition to the St. Johns library. The addition will replace an 800 square foot addition that was constructed in the 1990s. A Type III Conditional Use Review is required because the addition increases the overall floor area by more than 25 percent.

Portland Fire & Rescue has reviewed the pre-application conference materials to identify potential issues and requirements in regard to **fire access and water supply**. No concerns have been identified at this time. Final determination of compliance with applicable codes and standards will be made during plan review, after building permit application has been submitted.

Please refer to Portland Fire & Rescue's code guide entitled Fire & Life Safety Requirements for Fire Department Access and Water Supplies

[Fire & Life Safety Requirements for Fire Department Access and Water Supplies \(portland.gov\)](#)

<https://www.portland.gov/sites/default/files/2020-03/fire-life-safety-requirements-for-fire-department-access-and-water-supplies-3-17-15.pdf>

This document details PF&R's requirements for fire department access and water supply; applicants will be expected to meet these requirements.

Please note that the scope of this review is limited to fire access and water supply at the site, and does not include requirements related to the building itself. Questions about requirements related to the building can be addressed in a Preliminary Life Safety meeting if needed.



# Urban Forestry

## Early Assistance Response

Date: November 20, 2023  
From: Travis Jones  
Travis.Jones@portlandoregon.gov  
Case File: EA 23-096980  
Location: 7510 N CHARLESTON AVE  
Proposal: A Pre-Application Conference to discuss a 2,900 square foot addition to the St. Johns library. The addition will replace an 800 square foot addition that was constructed in the 1990s. A Type III Conditional Use Review is required because the addition increases the overall floor area by more than 25 percent.

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Portland Parks, Urban Forestry staff has reviewed the Early Assistance materials to identify potential issues and requirements in accordance with Title 11, Trees. This response identifies potential issues and/or impacts on existing street and heritage trees, and trees on city-owned or managed sites, if applicable. Trees on private property are subject to development standards from the Bureau of Development Services. See planner requirements for private property trees.

**Please note that there may be other applicable tree requirements in Title 33 Planning & Zoning.**

### A. Response Summary

The development will be subject to Urban Forestry standards and requirements during the permit review process as detailed below.

### B. Tree Plan (11.50.060)

A tree plan must be submitted with each phase of review including land use reviews, building permit applications, and public works permits. A tree plan was not submitted with the EA application, but additional tree information is required. The plan must include the following information for street trees:

- a. The size and location of street trees adjacent to the subject property.
- b. Trees proposed to be preserved including tree protection specifications in accordance with 11.60.030.
- c. Tree(s) proposed for removal.
- d. Tree planting plan (tree species and location(s)).

### C. Street Trees

#### 1. Existing Street Conditions

- a. N Charleston Ave: The site has approximately 130 feet of street frontage. The right-of-way is improved with pavement, curbs, planting strip, sidewalks. There are overhead high voltage power lines. There are four street trees.
  - i. Paperbark Maple, 7.5", fair



- ii. Paperbark Maple, 4", fair
- iii. Paperbark Maple, 4", fair
- iv. Paperbark Maple, 8.5", fair

2. *Street Tree Preservation* (11.50.040)

Based on the proposed development it appears existing street trees may be impacted. Development proposals must be configured to avoid street trees.

All street trees can be approved for removal if necessary to facilitate development. Due to the species, size, and condition of trees removed, **four** trees are required to be planted to mitigate the loss as a result of this project.

Tree replacement for trees removed shall occur in the street planter strip, on site, or in the same watershed either by planting or by paying a fee in lieu of planting of \$1,125. for each tree not planted. Street tree planting standards must also be met in accordance with 11.50.060.C.

3. *Street Tree Protection Specifications* (11.60.030)

Tree protection is required in accordance with Title 11 Trees, Protection Methods (11.60.030). Tree protection shall follow either the Prescriptive or Performance path. Protection methods must be shown on the tree plan. If using the Performance path, the alternate tree protection plan must be prepared by an arborist who has visited the site.

4. *Street Tree Planting* (11.50.060.C)

The applicant has not provided a conceptual street tree planting plan. One street tree must be planted or retained for each full increment of 25 linear feet (11.50.060.C.1). Street trees must be planted at a minimum 2.5 caliper inches.

## D. Heritage Trees

1. *Heritage Trees* (11.20.060):

There are no heritage trees located on/adjacent to the site that is on the City of Portland's Heritage Tree list.



## **URBAN FORESTRY TREE REQUIREMENTS**

### **Early Assistance and Land Use Review**

Portland Parks & Recreation Urban Forestry staff review Early Assistance and Land Use Review materials to identify potential issues and requirements in accordance with Title 11, Trees and Title 33, Zoning Code. The purpose of these reviews is to identify potential issues and/or impacts on existing street trees, heritage trees, and trees on City-owned or managed sites (if applicable), as well as to provide adequate areas for future street tree planting on existing and proposed public streets. Trees on private property are subject to development standards from the Bureau of Development Services. See planning requirements for private property trees or call the Zoning Hotline at 503-823-7526.

#### Tree Plan Submittal Requirements (11.50.070)

A tree plan must be submitted with each phase of review including land use reviews, building permit applications, and public works permits. The tree plan information may be combined with other relevant plan sheets. The tree plan submittal shall include the following information:

- existing improvements;
- proposed alterations;
- existing street trees  $\geq 3$ " DBH including size and location;
- existing on-site trees  $\geq 6$ " DBH within 15' of the limits of disturbance;
- trees proposed for removal;
- tree planting proposal, including tree size, species and location; and
- trees to be retained and proposed tree protection measures meeting the specification in Chapter 11.60.

Any changes to an approved Tree Plan, including amending tree species must be approved by the City Forester. Please note that the City Forester may not approve revised tree planting plans based on the lack of species availability. To facilitate species availability, it is recommended that tree procurement occur approximately 6 months prior to installation.

#### Tree Mitigation (11.50.040.C.2)

Healthy street trees  $\geq 6$ " DBH that are approved for removal shall be replanted with two trees in addition to trees required to be planted to meet Street Tree Planting Standards, below. When street improvements are to partially or fully unimproved streets, healthy street trees  $\geq 12$ " DBH approved for removal shall be replanted with two trees, with trees planted to meet Street Tree Planting Standards credited towards meeting this requirement. Tree replacement for trees removed shall occur in the street planter strip, on site, or in the same watershed either by planting or by paying a fee in lieu of planting in accordance with table 60-1, below.

On City-owned or managed sites, healthy, non-nuisance trees  $\geq 6$ " DBH that are approved for removal shall be replanted per the Administrative Rule for tree replacement standards, below:



## Tree Replacement for Development on City Owned or Managed Sites

Size of tree to be removed (inches in diameter)	Number of trees to be planted
6 and up to 12	Up to 2
More than 12 and up to 20	Up to 3
More than 20 and up to 25	Up to 5
More than 25	Up to 6

### Street Tree Planting Standards (11.50.050)

One street tree shall be planted or retained for each full increment of 25 linear feet per side of street frontage. Planting is exempt when existing above or below grade utilities prevent planting of street trees, or if the existing design of the street will not accommodate street tree planting because the planting strip is less than 3 feet wide, there is not a planting strip, or there is insufficient space to add tree wells. Trees planted to meet street tree planting standards are credited toward mitigation requirements when street improvements are to partially or fully unimproved streets. When the required number of trees cannot be planted, a fee in lieu of planting will be required, in accordance with Table 60-1, below.

**Table 60-1 Broadleaf Tree Size Requirements**

Development Type	Tree Size	
	On Site	Street
One and Two Family Residential	1.5”	1.5”
Multi Dwelling Residential	1.5”	2”
All others	1.5”	2.5”

### Tree Planting Specifications

If there are fewer than 8 required trees, they may all be the same species. If there are between 8 and 24 required trees, no more than 40 percent can be of one species. If there are more than 24 required trees, no more than 24 percent can be of one species. Street tree species shall conform to the appropriate “City of Portland Approved Street Tree Planting List.” The City Forester may approve or require an alternate or unlisted species.

All required street trees shall be planted in-ground following Standard Drawing Number P-581 “Typical Street Tree installation,” except when in raised planters that are used to meet Bureau of Environmental Services storm water management requirements. Please include the Standard



Drawing Number P-581 as part of the Public Works permit application. Plant materials shall be installed to current nursery industry standards and proper arboricultural practices [American National Standards Institute, *ANSI A300 Part 6: Tree, Shrub, and Other Woody Plant Maintenance-Standard Practices (Planting and Transplanting)* 2012, Tree Care Industry Association, Inc. Londonderry, NH]. Plant materials shall be properly supported to ensure survival.

All trees required or approved to be planted by Title 11 shall be planted or payment in lieu of planting made prior to the expiration of the permit or City's final acceptance of the project, as applicable. However, it is encouraged that planting occur during the wet months or as per City Forester recommendations. Street tree planting may be deferred between May 1 and September 30 upon filing a performance guarantee as provided in Section 11.10.060 or other assurance deemed acceptable by the City Forester or BDS Director as applicable.

#### Tree Protection Specifications (11.60.030)

Trees to be retained shall be protected in accordance with Title 11 Trees, Protection Specifications (11.60.030.C). Tree protection shall be shown on the tree plan and include the distance from the trunk of the tree to the fence. A standard root protection zone is established as follows; a minimum of 1 foot radius (measured horizontally away from the face of the tree trunk) for each inch of tree diameter. Protection fencing shall be a minimum 6-foot high metal chain link construction fence, secured with 8-foot metal posts established at the edge of the root protection zone and permissible encroachment area.



November 22, 2023

ODOT # 13156

## ODOT Response

<b>Project:</b> St John's Library Improvements	<b>Applicant:</b> Debbie Cleek, The Bookin Group
<b>Jurisdiction:</b> City of Portland	<b>Jurisdiction Case #:</b> EA 23-096980
<b>Site Address:</b> 7510 N Charleston Avenue	<b>State Highway:</b> US 30BY

The site of this proposed land use action is in the vicinity of US 30BY. ODOT has permitting authority for this facility and an interest in ensuring that this proposed land use is compatible with its safe and efficient operation.

### COMMENTS/FINDINGS

ODOT attended an Early Assistance meeting held by the City of Portland to discuss the proposed improvements to the St John's Library. The applicant proposes to keep the original 4,274 square foot building and remove the 800 square foot addition to the east. The addition being demolished is proposed to be replaced by a new 2,900 square foot addition.

To evaluate the impact on the State highway system, ODOT supports the City of Portland's requirement for a traffic impact analysis (TIA). The TIA's scope of work should be submitted to the City and ODOT for approval.

### ODOT RECOMMENDED LOCAL CONDITIONS OF APPROVAL

#### Traffic Impacts

- The applicant shall submit a traffic impact analysis to assess the impacts of the proposed use on the State highway system. The analysis must be conducted by a Professional Engineer registered in Oregon. **Contact the ODOT Traffic representative identified below and the local jurisdiction to scope the study.**

**Please send a copy of the Land Use Notice to:**

ODOT Region 1 Planning  
Development Review  
123 NW Flanders St  
Portland, OR 97209

[ODOT\\_R1\\_DevRev@odot.oregon.gov](mailto:ODOT_R1_DevRev@odot.oregon.gov)

Development Review Planner: Melissa Gonzalez	<a href="mailto:Melissa.gonzalez-gabriel2@odot.oregon.gov">Melissa.gonzalez-gabriel2@odot.oregon.gov</a>
Traffic Contact: Avi Tayar, P.E.	<a href="mailto:Abraham.tayar@odot.oregon.gov">Abraham.tayar@odot.oregon.gov</a>

**23-096980 PC  
7510 N Charleston  
Sign-in Sheet  
November 21, 2023**

Matt Wickstrom, BDS Pre-Application Conference Coordinator, [matt.wickstrom@portlandoregon.gov](mailto:matt.wickstrom@portlandoregon.gov), 503-865-6513

Don Kienholz, BDS Title 33 Team, [don.kienholz@portlandoregon.gov](mailto:don.kienholz@portlandoregon.gov), 503-865-6716

Grace Jeffreys, BDS District/Historic, [grace.jeffreys@portlandoregon.gov](mailto:grace.jeffreys@portlandoregon.gov), 503-865-6521

Michael Pina, PBOT Development Review, [michael.pina@portlandoregon.gov](mailto:michael.pina@portlandoregon.gov), 503-823-4249

Melissa Gonzalez, ODOT Region 1, [melissa.gonzalex-gabriel2@odot.oregon.gov](mailto:melissa.gonzalex-gabriel2@odot.oregon.gov)

Ella Ruth, Bureau of Environmental Services, [ella.ruth@portlandoregon.gov](mailto:ella.ruth@portlandoregon.gov), 503-823-8068

Bryan Vittori, Water Bureau, [bryan.vittori@portlandoregon.gov](mailto:bryan.vittori@portlandoregon.gov), 971-917-5458

Travis Jones, Urban Forestry, [travis.jones@portlandoregon.gov](mailto:travis.jones@portlandoregon.gov), 503-679-0229

Jeff Duquette, BDS Site Development, [jeff.duquette@portlandoregon.gov](mailto:jeff.duquette@portlandoregon.gov), 503-823-8586

Debbie Cleek, Bookin Group, [cleek@bookingroup.com](mailto:cleek@bookingroup.com), 503-789-3211

Elise Hendrickson, Multnomah County, [elise.hendrickson@multco.us](mailto:elise.hendrickson@multco.us), 503-309-9209

Nicole De Jong, Bora Architects & Interiors, [dejong@bora.co](mailto:dejong@bora.co), 503-802-5017

Leslie Cliffe, Bora Architects & Interiors, [cliffe@bora.co](mailto:cliffe@bora.co)

Beth Brett, SOJ, Owner's representative, [beth@sojpdx.com](mailto:beth@sojpdx.com)

Brynne Healy, Vega Civil Engineering, [brynne@vegacivil.com](mailto:brynne@vegacivil.com)

Thuy Le, Bora Architects & Interiors, [le@bora.co](mailto:le@bora.co)

Ru Wu, PLACE, Landscape Architect, [ru.wu@place.la](mailto:ru.wu@place.la)

# Conditional Use Transportation Study

January 25, 2024

Project# 29072

To: Michael Pina & Matt Machado, PE, Portland Bureau of Transportation (PBOT)  
Avi Tayar, PE, Oregon Department of Transportation (ODOT)  
Leslie Cliff, BORA Architecture & Interiors  
Debbie Cleek, The Bookin Group

From: Julia Kuhn, PE & Chris Brehmer, PE

RE: St. John's Library Conditional Use (City EA 23-096980)

---

Multnomah County Library is preparing an application for a new Conditional Use Permit (CUP) for the St. John's Library located at 7510 N Charleston Avenue. This new CUP is being requested to renovate the existing 6,380 square foot building (including the basement), remove the existing 854 feet addition on the east side of the building and replace it with a 2,950 square feet expansion to better serve the community's needs. The proposed changes will result in a 2,096 square feet increase in overall Library space. This change to the Library is being completed as one of the Library Capital Bond Projects, which includes renovations to the Albina, Belmont, Holgate, Midland, North Portland, Northwest and St. Johns libraries as well as construction of a new East County Flagship Library.

The existing library site is zoned RM2 (Residential Multi-dwelling 2). Per Title 33 requirements, the Library is a conditional use (CU) in the RM2 zone and as such changes to the site require a Transportation Impact Study (TIS) as part of the CU application. The enclosed TIS demonstrates compliance of the continued operations and proposed renovation of the library with the applicable transportation-related approval criteria. Based on our findings summarized herein and subject to City and ODOT concurrence, we recommend the following:

- Place and maintain all vegetation, landscaping, and above ground objects adjacent to the shared library/apartment access point on N Charleston Avenue to provide adequate minimum sight distance per PBOT requirements.

Additional details of our study are contained herein.

## Conditional Use Criteria

Per Section 33.815.105.D of the City's Zoning Code, the following transportation-related criteria must be addressed to enable changes to the Library in the RM2 zone:

*D. Public services.*

*1. The proposal is supportive of the street designations of the Transportation Element of the Comprehensive Plan;*

*2. Transportation system:*

*a. The transportation system is capable of supporting the proposed use in addition to the existing uses in the area. Evaluation factors include safety, street capacity, level of service, connectivity, transit availability, availability of pedestrian and bicycle networks, on-street parking impacts, access restrictions, neighborhood impacts, impacts on pedestrian, bicycle, and transit circulation. Evaluation factors may be balanced; a finding of failure in one or more factors may be acceptable if the failure is not a result of the proposed development, and any additional impacts on the system from the proposed development are mitigated;*

*b. Measures proportional to the impacts of the proposed use are proposed to mitigate on- and off-site transportation impacts. Measures may include transportation improvements to on-site circulation, public street dedication and improvement, private street improvements, intersection improvements, signal or other traffic management improvements, additional transportation and parking demand management actions, street crossing improvements, improvements to the local pedestrian and bicycle networks, and transit improvements;*

*c. Transportation improvements adjacent to the development and in the vicinity needed to support the development are available or will be made available when the development is complete or, if the development is phased, will be available as each phase of the development is completed.*

## Description of the Proposed Changes to the Library

Multnomah County Library currently operates 19 public libraries across the region. The Library's Capital Bond project includes renovation and expansion of several of these locations and the provision of new libraries. The existing St. John's Library has been a vibrant community hub for the St. John's neighborhood and the proposed renovations are not intended to expand its geographic service district.

Today, the Library is open from 12 PM – 8 PM on Mondays and Tuesdays, 10 AM – 6 PM Wednesday – Saturday and 12 PM – 5 PM on Sundays. No Multnomah County libraries are open to the public before 9:00 AM. No changes to the Library hours are anticipated at this time.

In addition to the normal library operations, the St. John's Library occasionally hosts community events and anticipates that these will continue once the proposed changes are complete. On a weekly basis, the library offers a variety of programs and classes seven days per week. Example programs that occur weekly or every other week are listed below (these generally occur prior to 4 PM but do vary):

- Story times for family, babies, and toddlers in both English and Spanish as well as for Black Families;
- Youth-oriented Lego clubs;
- Special Programs for youths and families related to arts and crafts;
- Drop in times for adult literacy assistance/General Educational Development (GED)diploma-related tutoring;
- Legal Aid/Assistance offered by the Multnomah County District Attorney's Office;
- Workforce development training;
- Weekly times for Computer/Technical Assistance in both English and Spanish; and,
- Jazz and Movie Nights.

These events are typical of the programming offered at public libraries throughout the nation (i.e., story time and community classes) and are included in the trip generation rates associated with a library.

## Description of the Study Area

The Library is surrounded by a variety of residential and commercial uses and is directly across from the James John Elementary School. The Library shares an access onto N Charleston Avenue with apartments directly to the south. The study area was identified based on the scoping direction provided by PBOT and ODOT staff, and nearby multimodal infrastructure availability.

Per scoping direction provided by the City and ODOT and given the slight increase in vehicular trip generation associated with the small building increase for the Library, no intersection operational analyses were required. Instead, this study focuses on the qualitative evaluation of the transportation-related conditional use criteria.

*A copy of the scoping approved by the agencies is provided in Appendix A.*



## Consistency with the Street Designations

People walking, riding bikes, taking transit and driving use N Charleston Avenue to travel to the Library today. Vehicular access is and will continue to be provided via a shared location with the adjacent apartments on N Charleston Avenue across from the James John Elementary School. Given the historical significance of the Library, we postulate that much of the patrons are associated with the immediate nearby St. John's community.

Table 1 provides a summary of the City's street designations near the Library and Table 2 reflects the street characteristics.

**Table 1. Existing City of Portland Transportation System Plan (TSP) Street Designations**

Street	Traffic	Transit	Bicycle	Pedestrian	Freight
N Charleston Avenue	Local Service	Local Service	City Bikeway	Local Service	Local Service
N Ivanhoe Street	District Collector	Transit Access	City Bikeway	City Walkway	Truck Access
N Lombard Way (US 30)	District Collector	Major Transit Priority	City Bikeway	Major City Walkway	Truck Access
N Lombard Street	Local Service	Major Transit Priority	Major City Bikeway	Major City Walkway	Truck Access

**Table 2. Existing Street Characteristics**

Roadway	Cross Section	Posted Speed	Sidewalk?	Bike Lanes?	Median?	On-Street Parking?
N Charleston Avenue	2 lanes	20 mph & School Zone	Yes	No	No	Yes
N Ivanhoe Street	2 lanes	25 mph	Yes	No	No	No
N Lombard Way (US 30)	2 – 3 lanes	25 mph	Yes	No	No	No
N Lombard Street	2 lanes	20 mph & School Zone	Yes	No	No	Yes

mph = miles per hour

In addition to the existing facilities, we also note that the City is planning for the following projects that will benefit Library patrons and employees as well as the surrounding community:

- TSP Project 30050 – “Enhance pedestrian access to transit, improve safety, and enhance the streetscape such as better lighting and crossings. Improvements including realigning the "ivy" island, curb extensions, a new traffic signal at Richmond/Lombard, and pedestrian connections between St. Johns and the riverfront based on the St Johns/Lombard Plan.” This project is identified for implementation within the 0 – 10 year time frame.
- TSP Project 30035 – provide “communications infrastructure including closed circuit TV camera, Bluetooth detection, improved bus priority variable message signs for remote monitoring and control of traffic flow at the intersections with MLK Jr, Interstate, Greeley, Portsmouth, Philadelphia/Ivanhoe.” The timing of this project is uncertain per the TSP.

The Library has and will continue to serve the overall neighborhood. Given the location relative to other Multnomah County libraries and the historical significance to the community, the proposed expansion is not intended to change the programming nor the community served by the Library. Accordingly, we conclude that the changes proposed remain consistent with the conditional use criteria related to the street classifications and characteristics reflected in Tables 1 and 2 and that this criterion is met.

## Safety

The ODOT Crash Data System was queried to obtain crash records at the study intersections for the period from January 1, 2017, through December 31, 2021 (we note that the 2022 data provided by ODOT was deemed preliminary at the time this report was prepared).

Exhibit 1 identifies the reported crash locations near the library during the 5-year analysis period. The crash locations are signified by the blue and yellow circles in the exhibit. As shown, no crashes were reported at the Library access nor along N Charleston Avenue nearby.

### Exhibit 1. Reported Crashes from January 1, 2017 – December 31, 2021



Source: [ODOT TransGIS \(state.or.us\)](https://www.state.or.us/odot/transgis/)

We note that the City has identified the N Lombard Street/N Lombard Way (US 30) corridor on its high crash network but no intersections near the Library are listed as high crash intersections.

Given that there were no crashes reported on N Charleston Avenue near or at the Library Access point, we conclude that no crash-based mitigation measures are needed as part of the Conditional Use Review and that this criterion is met.

## Street Capacity and Level of Service

The City of Portland Administrative Rule TRN 10.27 - Administrative Rules for Traffic Capacity Analysis in Land Use Review Cases provides standards for traffic impact studies required in the course of land use review or development. A summary of TRN 10.27 is provided below.

*10.27 For traffic impact studies required in the course of land use review or development, the following standards apply:*

*1. For signalized intersections, adequate level of service is LOS D, based on a weighted average of vehicle delay for the intersection.*

*2. For stop-controlled intersections, adequate level of service is LOS E. Level of service for two-way stop-controlled intersections is based on individual vehicle movement, and all-way stop controlled intersections is based on a weighted average of vehicle delay for the intersection.*

*3. An amendment or other land use application that requires analysis of traffic capacity and allows development that either (1) may cause a transportation facility to perform below the standards established in sections 1 and 2, or (2) adds vehicle trips to a facility that is already performing below the standards established in sections 1 and 2 may be approved if:*

*a. Development resulting from the amendment or other land use application will mitigate the impacts of the amendment or other land use application in a manner that avoids further degradation to the performance of the facility by the time of development through one or more of the following:*

*(i) the development is limited to result in no net increase in vehicle trips over what is allowed by the existing zoning; OR*

*(ii) one or more combination of transportation improvements or measures are imposed to mitigate the transportation impacts of the amendment or other land use application in a manner that avoids further degradation to the performance of the facility by the time of any development."*

Per information contained in the *Trip Generation Manual* (11<sup>th</sup> Edition, Institute of Transportation Engineers (ITE)), Table 3 summarizes the potential increase in vehicular trips associated with the changes to the Library building size. The trips shown in Table 3 reflect use of average rates per ITE guidance.

**Table 3. Estimated Trip Generation Increase**

Land Use	ITE Code	Size (sq ft)	Total Daily Trips	Weekday AM Peak Hour			Weekday PM Peak Hour		
				Total Trips	In	Out	Total Trips	In	Out
Library	590	2,096	151	2	1	1	17	8	9

We do note that the St. John's Library Multnomah County Library is not open prior to 10 AM any day of the week. Based on the low trip generation increase anticipated as part of the 2,096 square feet net addition, no intersection capacity analyses were performed nor required by the City or ODOT. Given the location of the Library within the St. John's neighborhood, the vehicular trips were estimated to distribute 60 percent to the north and 40 percent to the south, thereby resulting in a less than 10 vehicle increase to the adjacent

intersections during the weekday PM peak hour, which does not constitute a material change to adjacent streets or intersections. As such, this criterion is met.

## Connectivity

The Library is bordered by Cathedral Park Performing Arts Collective to the north, the James John Elementary School to the west, and commercial uses to the south. The overall neighborhood is generally supported by a mature street grid system. No changes to the street connectivity are proposed as part of the building changes nor identified by the TSP.

We do note that per the City's TSP, a maximum block length of 530 feet for vehicular connections and a maximum length of 330 feet for pedestrian and bicycle connections is preferable. We note that the Library access is approximately 250 feet north of N Lombard Street and approximately 250 feet south of N Leonard Street, thereby complying with the City's block standards. Therefore, we conclude that this criterion is met.

## Transit Availability and Impacts

The nearest transit service is provided by TriMet Routes 4, 16, 44 and 75 all of which have a stop at the N Charleston Street/N Lombard Street intersection, which is a convenient one block walking distance from the Library. A brief summary of each route is provided below:

- Route 4 – Fessenden is a frequent service route that connects the St. John's neighborhood to downtown Portland
- Route 16 – Front Avenue/St. Helen's Road connects Sauvie Island and St. John's to the NW Industrial District and downtown Portland
- Route 44 – Capitol Highway/Mock's Crest connects St. John's to PCC Sylvania
- Route 75 – Cesar Chavez/Lombard is a frequent service route that connects the St. John's neighborhood to the Milwaukie City Center

The anticipated building renovations are not anticipated to materially change the need for transit and Library patrons and employees do and will continue to benefit from the convenient transit service provided. As such, this criterion is met.

## Pedestrian and Bicycle System Availability and Impacts

As shown in Table 2, the adjacent streets have sidewalks and cyclists currently share the roadway with motorists. As previously mentioned, the TSP identifies the need to enhance pedestrian access to transit, improve safety, and enhance the streetscape such as better lighting and crossings as well as to provide pedestrian connections between St. Johns and the riverfront.

No specific pedestrian or bicycle-related changes are shown in the TSP along the frontage of the Library. Further, the anticipated building renovations are not anticipated to materially change the need for walking or cycling facilities and Library employees and patrons do and will continue to benefit from the pedestrian and bicycle connectivity to the overall St. John's neighborhood. As such, we conclude that this criterion is met.

---

## On-Street Parking Impacts

Parking is no longer a requirement of the City's Zoning Code; therefore, this criterion does not apply.

## Access Restrictions

No access restrictions are proposed or needed as part of the Library expansion. Therefore, this criterion is met.

## Neighborhood Impacts

The Applicant will address non-transportation related neighborhood impacts as part of the conditional use application submittal.

## Conclusions

Based on the information contained herein, we conclude that the continued operations and proposed renovations to the St. John's Library are consistent with the applicable transportation-related conditional use criteria. A summary of the criteria and associated findings is presented below.

### Consistency with the Transportation System Plan Street Designations

The Library has and will continue to serve the overall neighborhood. Given the location relative to other Multnomah County libraries and the historical significance to the community, the proposed expansion is not intended to change the programming nor the community served by the Library. Accordingly, we conclude that the changes proposed remain consistent with the conditional use criteria related to the street classifications and characteristics and that this criterion is met.

### Transportation Safety

No crashes were reported on N Charleston Avenue near or at the Library Access point for the most recent five-year analysis period in which data was available from ODOT. Therefore, we conclude that no crash-based mitigation measures are needed as part of the Conditional Use Review and that this criterion is met.

### Street Capacity and LOS

The proposed renovations of the library are anticipated to result in a less than 10 vehicle increase to any of the adjacent intersections during the weekday PM peak hour, which does not constitute a material change to adjacent streets or intersections. As such, this criterion is met.

### Connectivity

No changes to the street connectivity are proposed by the Library or required by the TSP as part of the building changes. Further, the Library access is approximately 250 feet north of N Lombard Street and approximately 250 feet south of N Leonard Street, thereby complying with the City's block standards. Therefore, we conclude that this criterion is met.

## Transit Availability and Impacts

TriMet provides bus service via Routes 4, 16, 44 and 75 all of which have a stop at the N Charleston Street/N Lombard Street intersection, which is a convenient one block walking distance from the Library.

The anticipated building renovations are not anticipated to materially change the need for transit and Library patrons and employees do and will continue to benefit from the convenient transit service provided. As such, this criterion is met.

## Bicycle and Pedestrian Availability and Impacts

The adjacent streets have sidewalks and cyclists currently share the roadway with motorists. No specific pedestrian or bicycle-related changes are shown in the TSP along the frontage of the Library. Further, the anticipated building renovations are not anticipated to materially change the need for walking or cycling facilities and Library employees and patrons do and will continue to benefit from the pedestrian and bicycle connectivity to the overall St. John's neighborhood. As such, we conclude that this criterion is met.

## On-Street Parking

Parking is no longer a requirement of the City's Zoning Code; therefore, this criterion does not apply.

## Access Restrictions

No access restrictions are proposed or needed as part of the Library expansion. Therefore, this criterion is met.

## Neighborhood Impacts

The Applicant team will address neighborhood impacts as part of the submittal as appropriate.

Please let us know if you have any questions as you are reviewing this material.

## Appendices

A – Scoping Memo



DRAFT

# Appendix A Scoping Memo



PORTLAND BUREAU OF TRANSPORTATION

1900 SW Fourth Ave, Suite 5000, Portland OR 97201

Main: 503-823-5185 TTY: 503-823-6868 Fax: 503-823-7576

Portland.gov/Transportation

# Attachment A TRAFFIC SCOPE APPROVAL FORM

Prior to starting a traffic study, a Traffic Scope Approval Form must be completely filled out, submitted for review, and approved by PBOT's Development Review Traffic Engineer. The approved form shall be included in every traffic study submittal as Attachment A. PBOT may require additional analysis/information during the course of the review of the project. This Traffic Scope Approval Form is for City requirements only. Consultants must contact ODOT to determine requirements related to access permits and work in ODOT right-of-way.

## SITE / PROJECT INFORMATION

PROJECT NAME: St John's Library ASSOCIATED APPLICATION (EA#/LU#) EA 23-096980

SITE LOCATION: 7510 N Charleston Avenue  
(ADDRESS/ID #)

### BRIEF PROJECT DESCRIPTION (NUMBER OF STORIES, TOTAL AREA, NUMBER OF PARKING SPACES, ETC.):

Multnomah County Library is preparing an application for a new Conditional Use Permit (CUP) for the St. John's Library to renovate the existing 6,380 square foot building (including the basement), remove the existing 800 feet addition on the east size of the building and replace it with a 3,075 square feet expansion to better serve the community's future Library needs. The proposed changes will result in a 2,275 square feet increase in overall Library space. This change to the Library is being completed as one of the Library Capital Bond Projects.

APPLICANT: Multnomah County Library

TRAFFIC ENGINEER / FIRM: Julia Kuhn/Kittelson DATE: 12/4/2023

**SITE PLAN – ATTACH SITE PLAN**

## REQUIRED LAND USE REVIEW(S)

- LAND DIVISION (33.641)     CONDITIONAL USE (33.815)     ADJUSTMENT (33.805)
- CENTRAL CITY PARKING REVIEW (33.808)     COMPREHENSIVE PLAN AMENDMENT (33.810)
- ZONING MAP AMENDMENT (33.855)     TRANSPORTATION IMPACT REVIEW (33.852)
- OTHER: \_\_\_\_\_

## APPROVAL CRITERIA (LIST ALL EVALUATION FACTORS)

### D. Public services.

1. The proposal is supportive of the street designations of the Transportation Element of the Comprehensive Plan;

2. Transportation system:

a. The transportation system is capable of supporting the proposed use in addition to the existing uses in the area.

Evaluation factors include safety, street capacity, level of service, connectivity, transit availability, availability of pedestrian and bicycle networks, on-street parking impacts, access restrictions, neighborhood impacts, impacts on pedestrian, bicycle, and transit circulation. Evaluation factors may be balanced; a finding of failure in one or more factors may be acceptable if the failure is not a result of the proposed development, and any additional impacts on the system from the proposed development are mitigated;

b. Measures proportional to the impacts of the proposed use are proposed to mitigate on- and off-site transportation impacts. Measures may include transportation improvements to on-site circulation, public street dedication and improvement, private street improvements, intersection improvements, signal or other traffic management improvements, additional transportation and parking demand management actions, street crossing improvements, improvements to the local pedestrian and bicycle networks, and transit improvements;

c. Transportation improvements adjacent to the development and in the vicinity needed to support the

## REQUIRED TRAFFIC STUDY REVIEW(S)

- |  |   |   |
|--|---|---|
| <input checked="" type="checkbox"/> TRAFFIC IMPACT STUDY<br>(ATTACHMENT A.1) | <input type="checkbox"/> PARKING IMPACT STUDY<br>(ATTACHMENT A.2) | <input type="checkbox"/> LOADING DEMAND STUDY<br>(ATTACHMENT A.3) |
| <input type="checkbox"/> ASTR TRAFFIC STUDY<br>(ATTACHMENT A.4)              | <input type="checkbox"/> TDM PLAN<br>(ATTACHMENT A.5)             | <input type="checkbox"/> SIGHT DISTANCE STUDY                     |
| <input type="checkbox"/> QUEUING ANALYSIS                                    | <input type="checkbox"/> ALT TRIP RATE STUDY                      | <input type="checkbox"/> OTHER: _____                             |

### ADDITIONAL COMMENTS:

see enclosed memo

## APPROVALS

APPROVED BY: Matthew Machado, P.E.  
TRAFFIC ENGINEER  
PBOT DEVELOPMENT REVIEW

SIGNATURE: \_\_\_\_\_

DATE: December 22, 2023

Email approval forms and supporting documents in pdf format to [PBOTDevRevTrafficScopes@portlandoregon.gov](mailto:PBOTDevRevTrafficScopes@portlandoregon.gov).



PORTLAND BUREAU OF TRANSPORTATION

1900 SW Fourth Ave, Suite 5000, Portland OR 97201

Main: 503-823-5185 TTY: 503-823-6868 Fax: 503-823-7576

Portland.gov/Transportation

# Attachment A.1 TRAFFIC IMPACT STUDY

This traffic study attachment must be completely filled out and submitted for review along with the Traffic Scope Approval Form – Attachment A.

## STUDY PARAMETERS

LIST OF PROPOSED STUDY INTERSECTIONS	
1. None proposed given low trip generation	2.
3.	4.
5.	6.
7.	8.

### TRAFFIC COUNTS TO BE COLLECTED

24-HR VOLUME (HOSE) COUNTS, LOCATION: \_\_\_\_\_

TURNING MOVEMENT COUNTS AT ALL STUDY INTERSECTIONS

AM PEAK HOUR     PM PEAK HOUR     OTHER: \_\_\_\_\_

### TYPE OF TRAFFIC COUNT DATA

DATA WITHIN THE LAST 2 YEARS ARE AVAILABLE

NEW DATA WILL BE COLLECTED ON (DAY/TIME): \_\_\_\_\_

FUTURE COUNTS WILL BE ESTIMATED BASED ON A \_\_\_\_\_ GROWTH RATE

IN-PROCESS TRIPS – APPLICANT TO RESEARCH AND DOCUMENT APPROVED DEVELOPMENT IN THE AREA (PBOT WILL NOT PROVIDE THIS INFORMATION)

**TRIP GENERATION RATES – ATTACH TRIP GENERATION TABLE**

FROM ITE    OTHER: see memo

MODE SPLIT \_\_\_\_\_       PASSBY \_\_\_\_\_       INTERNAL CAPTURE \_\_\_\_\_

**TRIP DISTRIBUTION – ATTACH TRIP DISTRIBUTION AND TRIP ASSIGNMENT FIGURE**

**KEY ANALYSIS ITEMS – CHECK ALL RELEVANT ANALYSES**

OPERATIONAL LEVEL-OF-SERVICE (LOS) STUDY AT STUDY INTERSECTIONS IN THE PEAK HOUR(S)

FIELD MEASURED CONTROL DELAY STUDY AT STUDY INTERSECTIONS IN THE PEAK HOUR(S)

TRAFFIC SIGNAL WARRANTS AT \_\_\_\_\_

LEFT/RIGHT TURN LANE WARRANTS AT \_\_\_\_\_

QUEUING ANALYSIS AT \_\_\_\_\_

CRASH HISTORY ANALYSIS AT STUDY INTERSECTIONS

PARKING IMPACT STUDY (ATTACHMENT A.2)

SIGHT DISTANCE STUDY AT STUDY INTERSECTIONS AND PROPOSED DRIVEWAYS

FINDINGS MADE RELATED TO APPLICABLE APPROVAL CRITERIA

OTHER \_\_\_\_\_

SUBMIT WITH ATTACHMENT A.

EMAIL APPROVAL FORMS AND SUPPORTING DOCUMENTS IN PDF FORMAT TO:

[PBOTDevRevTrafficScopes@portlandoregon.gov](mailto:PBOTDevRevTrafficScopes@portlandoregon.gov)

**DELIVERABLES** – ALL FINAL STUDIES MUST BE SUBMITTED AT THE TIME OF LAND USE APPLICATION. ALL FINAL STUDIES AND SUBSEQUENT REVISIONS MUST BE PROVIDED TO THE ASSIGNED PBOT PLANNER IN THE FORM OF ONE (1) ELECTRONIC WORD DOC, AND ONE (1) ELECTRONIC ADOBE PDF.



PORTLAND BUREAU OF TRANSPORTATION

1900 SW Fourth Ave, Suite 5000, Portland OR 97201

Main: 503-823-5185 TTY: 503-823-6868 Fax: 503-823-7576

Portland.gov/Transportation

# Attachment A.2 PARKING IMPACT STUDY

This traffic study attachment must be completely filled out and submitted for review along with the Traffic Scope Approval Form – Attachment A.

## STUDY PARAMETERS

### PARKING GENERATION RATES – ATTACH PARKING GENERATION TABLE

FROM ITE  OTHER: not required

### PARKING OCCUPANCY OBSERVATIONS – PROVIDE ON-STREET SUPPLY, DEMAND, AND OCCUPANCY RATES BEFORE AND AFTER DEVELOPMENT

#### LOCATIONS (GENERALLY ALL BLOCK FACES WITHIN 500 FEET WALKING DISTANCE TO THE SITE)

- none
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

#### OBSERVATION DAYS AND TIMES (GENERALLY MID-WEEK NIGHT BETWEEN 11PM-5AM)

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

#### ADJACENT LAND USE(S)

- residential, commercial, elementary school

### PARKING IMPACT AREA – ATTACH FIGURE

SUBMIT WITH ATTACHMENT A.

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# Scoping Memorandum

December 4, 2023

Project# 29072

To: Michael Pina, Portland Bureau of Transportation (PBOT)  
Avi Tayar, Oregon Department of Transportation (ODOT)  
Leslie Cliff, BORA Architecture & Interiors  
Debbie Cleek, The Bookin Group

From: Julia Kuhn & Chris Brehmer

RE: St. John's Library Conditional Use Scoping Memo (City EA 23-096980)

---

Multnomah County Library is preparing an application for a new Conditional Use Permit (CUP) for the St. John's Library located at 7510 N Charleston Avenue. This new CUP is being requested to renovate the existing 6,380 square foot building (including the basement), remove the existing 800 feet addition on the east side of the building and replace it with a 3,075 square feet expansion to better serve the community's future Library needs. The proposed changes will result in a 2,275 square feet increase in overall Library space. This change to the Library is being completed as one of the Library Capital Bond Projects, which will include renovations to the Albina, Belmont, Holgate, Midland, North Portland, Northwest and St. Johns libraries as well as construction of a new East County Flagship Library.

The site is zoned RM2 (Residential Multi-dwelling 2). Per Title 33 requirements, the Library is a conditional use in the RM2 zone and as such changes to the site require a conditional use review. This letter identifies a proposed scope of work for the required Transportation Impact Study (TIS) for the conditional use review.

## DESCRIPTION OF THE PROPOSED CHANGES TO THE LIBRARY

Multnomah County Library currently operates 19 public libraries across the region. The bond projects will renovate and expand several of these facilities and will also develop two new libraries, including a new East County Flagship Library. The existing St. John's Library is available to anyone to use and has been a vibrant community hub for the St. John's neighborhood. The St. John's Library changes are intended to better meet current needs, rather than to expand its use and no changes to the Library service district are proposed.

Today, the Library is open from 12 PM – 8 PM on Mondays and Tuesdays, 10 AM – 6 PM Wednesday – Saturday and 12 PM – 5 PM on Sundays. No changes to the Library hours are anticipated at this time.

## CONDITIONAL USE CRITERIA

Per Section 33.815.105.D of the City's Zoning Code, the following transportation-related criteria must be addressed to enable changes to the Library in the RM2 zone:

### *D. Public services.*

*1. The proposal is supportive of the street designations of the Transportation Element of the Comprehensive Plan;*

### *2. Transportation system:*

*a. The transportation system is capable of supporting the proposed use in addition to the existing uses in the area. Evaluation factors include safety, street capacity, level of service, connectivity, transit availability, availability of pedestrian and bicycle networks, on-street parking impacts,*

access restrictions, neighborhood impacts, impacts on pedestrian, bicycle, and transit circulation. Evaluation factors may be balanced; a finding of failure in one or more factors may be acceptable if the failure is not a result of the proposed development, and any additional impacts on the system from the proposed development are mitigated;

b. Measures proportional to the impacts of the proposed use are proposed to mitigate on- and off-site transportation impacts. Measures may include transportation improvements to on-site circulation, public street dedication and improvement, private street improvements, intersection improvements, signal or other traffic management improvements, additional transportation and parking demand management actions, street crossing improvements, improvements to the local pedestrian and bicycle networks, and transit improvements;

c. Transportation improvements adjacent to the development and in the vicinity needed to support the development are available or will be made available when the development is complete or, if the development is phased, will be available as each phase of the development is completed.

The remainder of our memorandum outlines a proposed scope to address the above criteria.

## Consistency with the Street Designations

People walking, riding bikes, taking transit and driving use N Charleston Avenue to travel to the Library. Vehicular access is and will continue to be provided on N Charleston Avenue across from the James John Elementary School. Given the historical significance of the Library, we would postulate that much of the patrons are associated with the immediate nearby St. John's community.

Table 1 provides a summary of the City's street designations near the Library and Table 2 reflects the street characteristics.

**Table 1. Existing City of Portland Transportation System Plan (TSP) Street Designations**

Street	Traffic	Transit	Bicycle	Pedestrian	Freight
N Charleston Avenue	Local Service	Local Service	City Bikeway	Local Service	Local Service
N Ivanhoe Street	District Collector	Transit Access	City Bikeway	City Walkway	Truck Access
N Lombard Way (US 30)	District Collector	Major Transit Priority	City Bikeway	Major City Walkway	Truck Access
N Lombard Street	Local Service	Major Transit Priority	Major City Bikeway	Major City Walkway	Truck Access

**Table 2. Existing Street Characteristics**

Roadway	Cross Section	Posted Speed	Sidewalk?	Bike Lanes?	Median?	On-Street Parking?
N Charleston Avenue	2 lanes	20 mph & School Zone	Yes	No	No	Yes
N Ivanhoe Street	2 lanes	25 mph	Yes	No	No	No
N Lombard Way (US 30)	2 – 3 lanes	25 mph	Yes	No	No	No
N Lombard Street	2 lanes	20 mph & School Zone	Yes	No	No	Yes

In addition to the existing facilities, we also note that the City is planning for the following projects that will benefit Library patrons and employees as well as the surrounding community:

- TSP Project 30050 – “Enhance pedestrian access to transit, improve safety, and enhance the streetscape such as better lighting and crossings. Improvements including realigning the "ivy" island, curb extensions, a new traffic signal at Richmond/Lombard, and pedestrian connections between St. Johns and the riverfront based on the St Johns/Lombard Plan.” This project is identified for implementation within the 0 – 10 year time frame.
- TSP Project 30035 – provide “communications infrastructure including closed circuit TV camera, Bluetooth detection, improved bus priority variable message signs for remote monitoring and control of traffic flow at the intersections with MLK Jr, Interstate, Greeley, Portsmouth, Philadelphia/Ivanhoe.” The timing of this project is uncertain per the TSP.

The Library will continue to serve the overall neighborhood. Given the location relative to other Multnomah County libraries and the historical significance to the community, the proposed expansion is not intended to change the programming nor the community served by the Library. Accordingly, we conclude that the changes proposed remain consistent with the conditional use criteria related to the street classifications and characteristics reflected in Tables 1 and 2. We will document this in our study but do not anticipate any additional analyses.

## Safety

As will be discussed below, the increase in building size for the Library is only anticipated to result in a 2 vehicular trip increase in the weekday AM peak hour and 19 trips during the weekday PM peak hour. Accordingly, we are not proposing to conduct any intersection operational analyses.

For the purposes of the TIS, we will query the Oregon Department of Transportation (ODOT) crash database to obtain the most recent complete 5-year list of crash records at the Library access point (currently reflective of January 1, 2017 through December 31, 2021). We will review the crash type classifications to assess whether crash patterns might be identifiable. We will also highlight any reported crashes related to people walking or riding bikes.

In addition, we will calculate the Library access intersection crash rate and compare it to statewide crash rate performance thresholds. For this analysis, the critical crash rate will be calculated and compared to the 90<sup>th</sup> percentile crash rates for urban 3-legged stop-controlled intersections.

We do note that the City has identified the N Lombard Street/N Lombard Way (US 30) corridor on its high crash network but no intersections near the Library are listed as high crash intersections.

## Street Capacity and Level of Service

The City of Portland Administrative Rule TRN 10.27 - Administrative Rules for Traffic Capacity Analysis in Land Use Review Cases provides standards for traffic impact studies required in the course of land use review or development. A summary of TRN 10.27 is provided below.

*10.27 For traffic impact studies required in the course of land use review or development, the following standards apply:*

*1. For signalized intersections, adequate level of service is LOS D, based on a weighted average of vehicle delay for the intersection.*

*2. For stop-controlled intersections, adequate level of service is LOS E. Level of service for two-way stop-controlled intersections is based on individual vehicle movement, and all-way stop controlled intersections is based on a weighted average of vehicle delay for the intersection.*

*3. An amendment or other land use application that requires analysis of traffic capacity and allows development that either (1) may cause a transportation facility to perform below the standards established in sections 1 and 2, or (2) adds vehicle trips to a facility that is already performing below the standards established in sections 1 and 2 may be approved if:*

*a. Development resulting from the amendment or other land use application will mitigate the impacts of the amendment or other land use application in a manner that avoids further degradation to the performance of the facility by the time of development through one or more of the following:*

*(i) the development is limited to result in no net increase in vehicle trips over what is allowed by the existing zoning; OR*

*(ii) one or more combination of transportation improvements or measures are imposed to mitigate the transportation impacts of the amendment or other land use application in a manner that avoids further degradation to the performance of the facility by the time of any development."*

Per information contained in the *Trip Generation Manual* (11<sup>th</sup> Edition, Institute of Transportation Engineers (ITE)), Table 3 summarizes the potential increase in vehicular trips associated with the changes to the Library building size. The trips shown in Table 3 reflect use of average rates per ITE guidance.

**Table 3. Estimated Trip Generation Increase**

Land Use	ITE Code	Size (sq ft)	Total Daily Trips	Weekday AM Peak Hour			Weekday PM Peak Hour		
				Total Trips	In	Out	Total Trips	In	Out
Library	590	2,275	164	2	1	1	19	9	10

We do note that the St. John's Library Multnomah County Library is not open prior to 10 AM any day of the week. Based on the low trip generation increase anticipated as part of the 2,275 square feet net addition, we are not proposing to conduct any intersection capacity analyses, especially as based on the location

of the Library within the St. John's neighborhood, we estimate that the vehicular trips distribute 60 percent to the north and 40 percent to the south, thereby resulting in a less than 10 vehicle increase to the adjacent intersections during the weekday PM peak hour.

## Connectivity

The Library is bordered by residential uses to the north, the James John Elementary School to the west, and commercial uses to the south. No changes to the street connectivity are proposed as part of the building changes.

We do note that per the City's TSP, a maximum block length of 530 feet for vehicular connections and a maximum length of 330 feet for pedestrian and bicycle connections is preferable. We note that the Library access is approximately 250 feet north of N Lombard Street and approximately 250 feet south of N Leonard Street, thereby complying with the City's block standards.

We will document this information in the TIS.

## Transit Availability and Impacts

The nearest transit service is provided by TriMet Routes 4, 16, 44 and 75 all of which have a stop at the N Charleston Street/N Lombard Street intersection, which is a convenient one block walking distance from the Library. A brief summary of each route is provided below:

- Route 4 – Fessenden is a frequent service route that connects the St. John's neighborhood to downtown Portland
- Route 16 – Front Avenue/St. Helen's Road connects Sauvie Island and St. John's to the NW Industrial District and downtown Portland
- Route 44 – Capitol Highway/Mock's Crest connects St. John's to PCC Sylvania
- Route 75 – Cesar Chavez/Lombard is a frequent service route that connects the St. John's neighborhood to the Milwaukie City Center

The anticipated building renovations are not anticipated to materially change the need for transit. As such, this criterion is met, and no additional analysis is proposed as part of the TIS.

## Pedestrian and Bicycle System Availability and Impacts

As shown in Table 2, the adjacent streets have sidewalks and cyclists currently share the roadway with motorists. As previously mentioned, the TSP identifies the need to enhance pedestrian access to transit, improve safety, and enhance the streetscape such as better lighting and crossings as well as to provide pedestrian connections between St. Johns and the riverfront. We will document this information in the TIS.

## On-Street Parking Impacts

Parking is no longer a requirement of the City's Zoning Code; therefore, this criterion does not apply.

## **Access Restrictions**

No access restrictions are proposed or needed as part of the Library expansion. We will document this in the TIS.

## **Neighborhood Impacts**

The Applicant will address any non-transportation related neighborhood impacts as part of the conditional use application submittal.

## **On-Site Activities**

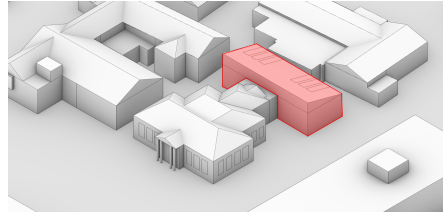
We will work with the Library to obtain information about classes and community events held at the Library and document this information in the TIS.

## **Next Steps**

We would appreciate your review and comments regarding the proposed TIS scope and methodology at your earliest convenience. Please contact us if you have questions or comments as you review this material.



# Appendix A Site Plan



**ISSUED FOR  
 INFORMATIONAL  
 PURPOSES ONLY**

**NOT FOR  
 CONSTRUCTION**

20' MAXIMUM BUILDING SETBACK  
 IN A PEDESTRIAN DISTRICT 33.120.220  
 ADDITION WITH NO STREET-FACING FACADE  
 OR ADDITION THAT DOES NOT INCREASE THE  
 LENGTH OF THE STREET-FACING FACADE IS  
 NOT SUBJECT TO THIS REQUIREMENT.

10' MINIMUM FRONT BUILDING SETBACK  
 FOR RM2 ZONE 33.120.220

5' MINIMUM SIDE & REAR BUILDING SETBACK  
 FOR RM2 ZONE 33.120.220

**N CHARLESTON AVE**  
 LOCAL STREET WITHIN PEDESTRIAN DISTRICT

EXISTING ROW TO REMAIN

EXISTING ENTRY STAIRS AND RAMP TO REMAIN

NEW FENCE WITH GATE

EXISTING FENCED MECHANICAL EQUIPMENT YARD

POTENTIAL NEW FENCED OUTDOOR PATIO

EXISTING ADDITION TO BE DEMOLISHED

POTENTIAL SECONDARY ENTRY OR AFTER HOURS ENTRY

NEW RAMP FOR DELIVERIES

NEW FENCE WITH GATE

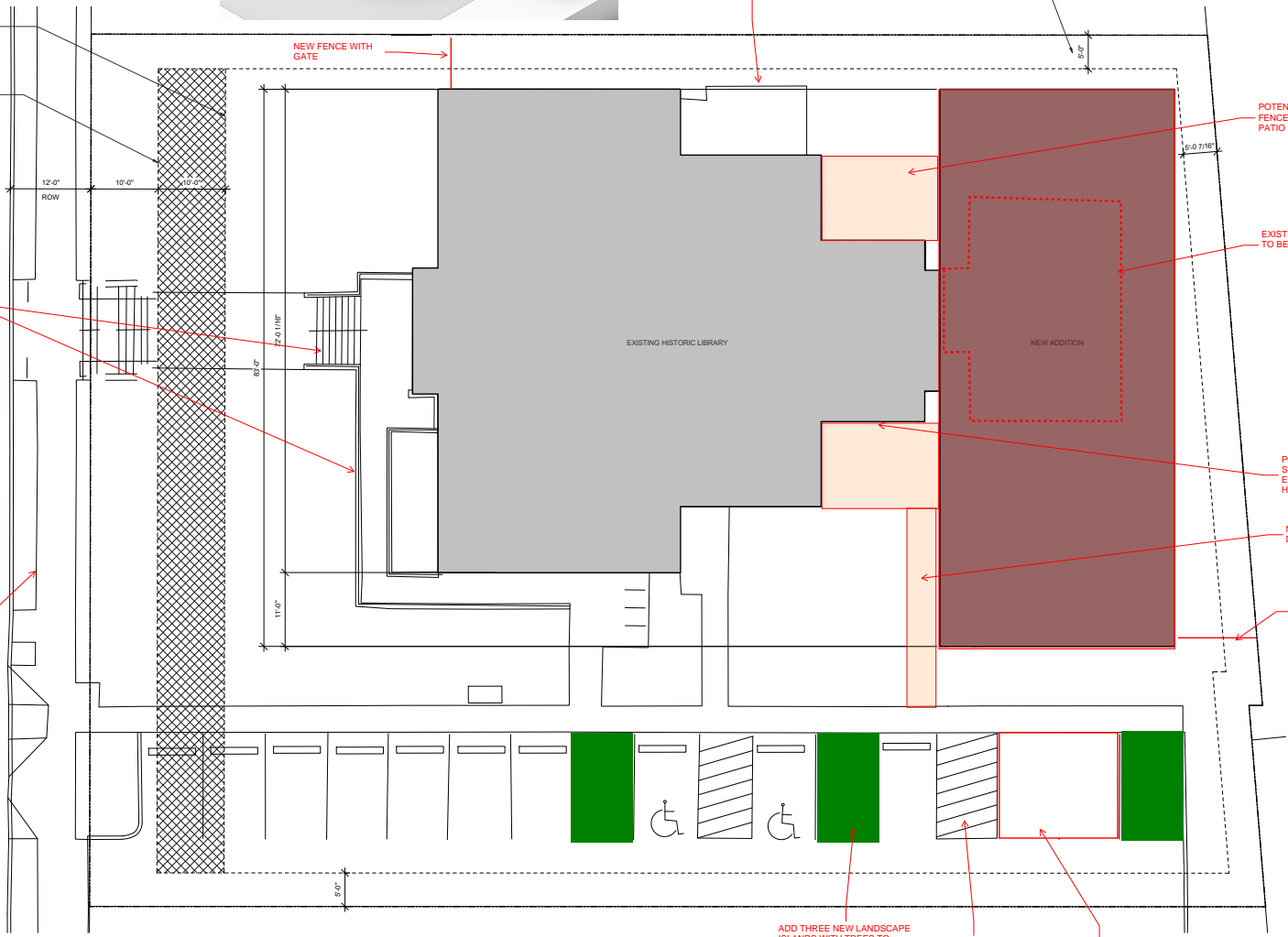
EXISTING HISTORIC LIBRARY

NEW ADDITION

ADD THREE NEW LANDSCAPE ISLANDS WITH TREES TO MEET PARKING REQUIREMENTS

LIBRARY DELIVERY SPACES

NEW TRASH ENCLOSURE



Drawn By	Checked By
Author	Apprval By
Scale	Revision
PTBL-24-12261-03	
Sheet Title	
ARCHITECTURAL SITE PLAN	
Date	10/13/2023
Sheet	AS101-01
Of	



VEGA  
CIVIL ENGINEERING LLC

# Preliminary Stormwater Report

## St Johns Library

7510 N Charleston Ave  
Portland, OR 97203

Date:

January 29, 2024

Owner:

Multnomah County  
Facilities & Property Management Division  
401 N. Dixon St.  
Portland, OR 97227

Associated Permit Numbers:

EA 23-096980

Engineer of Record:

Martha Williamson, PE  
Vega Civil Engineering, LLC  
1300 SE Stark St #201  
Portland, OR 97214  
[martha@vegacivil.com](mailto:martha@vegacivil.com)  
(503) 662-1901

I hereby certify that this Stormwater Management Report for St Johns Library has been prepared by me or under my supervision and meets minimum standards of the City of Portland and normal standards of engineering practice. I hereby acknowledge that the jurisdiction does not and will not assume liability for the sufficiency, suitability, or performance of drainage facilities designed by me.



EXPIRES 6-30-2024

## **Table of Contents**

Project Overview & Description	2
Methodology	2
Analysis	3
Engineering Conclusions	4

## **Appendices**

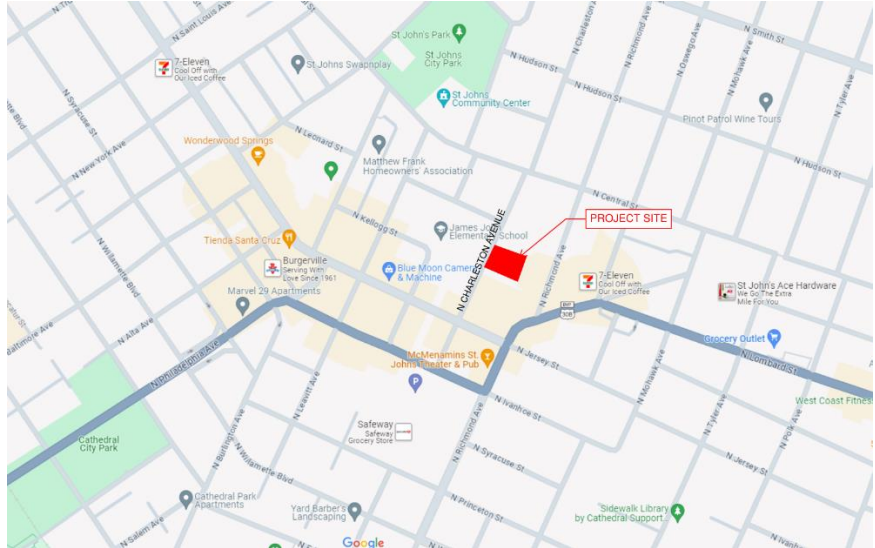
A	Stormwater Facility Details / Exhibits
	Utility Plan
	Catchment Map
	Drywell Detail
B	Calculations
	HydroCAD Report
C	Associated Reports
	Geotechnical Report

## Project Overview and Description

Location 7510 N Charleston Ave

Site Area 22,286 SF total  
7,892 SF new

Vicinity Map



Zoning RM2 – Residential Multi-Dwelling 2

Development Type Renovation and Building Addition

Watershed Columbia Slough – Lower Slough Slope

Existing Conditions Existing site consists of an existing library facility with associated parking, walkways, and landscaping.

Development Description Renovation of, and addition to, existing single-story library building with associated pedestrian plaza, landscaping, and partial parking repaving.

### Methodology

Existing Drainage The existing site drains generally east to west. Existing roof area and parking are managed via a number of drywells located around the site.

Infiltration Testing Results Geotechnical infiltration testing conducted by PBS found unfactored infiltration rates of 28.8 inches per hour at a depth of 30 feet bgs.

Stormwater Hierarchy Justification Infiltration rates are over 2 inches per hour at the project site. Therefore, the project will fall under Level 1 of the Stormwater Hierarchy and stormwater runoff for applicable storm events will be fully infiltrated onsite.

Proposed Stormwater Management System

Existing roof drains and drywells for the majority of existing roof area will be protected. Existing drywell for the parking lot will also be protected.

Stormwater runoff from new roof and plaza areas and a portion of the existing roof will be collected via roof and area drains, and will be piped to a new drywell. Stormwater will then be infiltrated via the 16.67' deep drywell with 10' perforated section.

**Analysis**

Relevant Design Storms

10yr – 3.4 inches

Computation Methods & Software

HydroCAD was used for sizing the drywell.

Safety Factors

A safety factor of 2 was used for the unfactored rate.

Curve Numbers

A CN of 98 was used for proposed impervious area. The entire area of the site being directed to the drywell was calculated as impervious to provide an additional safety factor. The pre-developed condition was not analyzed because all newly constructed impervious on-site runoff will be infiltrated on site.

Time of Concentration

5 min.

Escape Route or Inundation Level for 24-hour 100-yr event

The new drywell is designed to infiltrate the 10-year storm event. Larger storm events have safe overland flow to the existing public sump system in N Charleston Avenue.



Table 1 – Disposal Catchment and Facility Summary

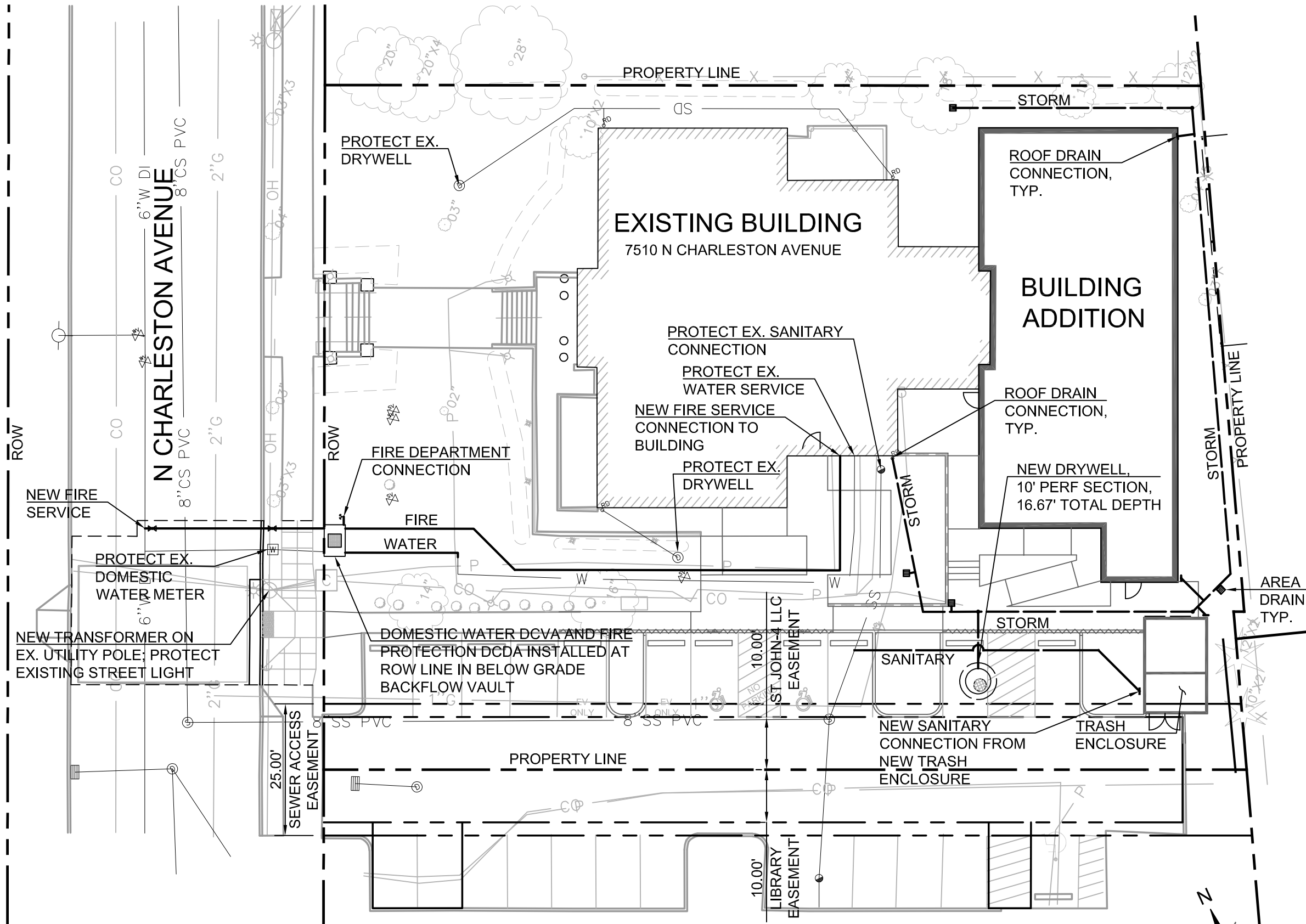
Catchment or Facility ID	Impervious Area Type	Area (sf)	Ownership (private/public)	Facility Type	Facility Size (sf)
5S	Roof, landscaping, & pedestrian walkways	7,892	Private	Drywell	(1) x 48" Dia x 10' Perforated Section

### Engineering Conclusions

Water Quality	The proposed development will meet the requirements for water quality per the 2020 City of Portland Stormwater Management Manual
Water Quantity	The proposed development will meet the requirements for water quality per the 2020 City of Portland Stormwater Management Manual
Upstream / Downstream Impacts	The proposed development will not have an impact on upstream or downstream systems.

## Appendix A - Stormwater Facility Details / Exhibits

Utility Plan  
Catchment Map  
Drywell Detail



## STORMWATER NARRATIVE

### PRIVATE SITE

STORMWATER MANAGEMENT OF NEW IMPERVIOUS AREA WILL BE PROVIDED VIA A NEW DRYWELL WITH A 10' PERFORATED SECTION LOCATED IN THE PARKING ON THE SOUTH SIDE OF THE SITE. THE DRYWELL IS SIZED TO FULLY INFILTRATE THE 10-YEAR STORM EVENT. DRYWELLS MANAGING EXISTING ROOF AREA TO THE SOUTH AND WEST OF THE EXISTING BUILDING WILL BE PROTECTED.

### PUBLIC STREET IMPROVEMENTS

THE PROJECT WILL REPLACE THE EXISTING ADA RAMP AND WILL NOT INCREASE THE IMPERVIOUS AREA IN THE ROW, SO NO NEW STORMWATER MANAGEMENT IS PROPOSED IN THE PUBLIC RIGHT OF WAY.

## UTILITY CONTACTS

### ELECTRICAL

PORTLAND GENERAL ELECTRIC

### GAS

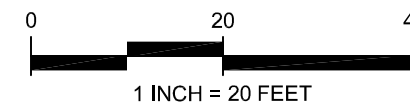
JEREMY LORENCE  
 NORTHWEST NATURAL GAS  
 JEREMY.LORENCE@NWNATURAL.COM  
 503-610-7693

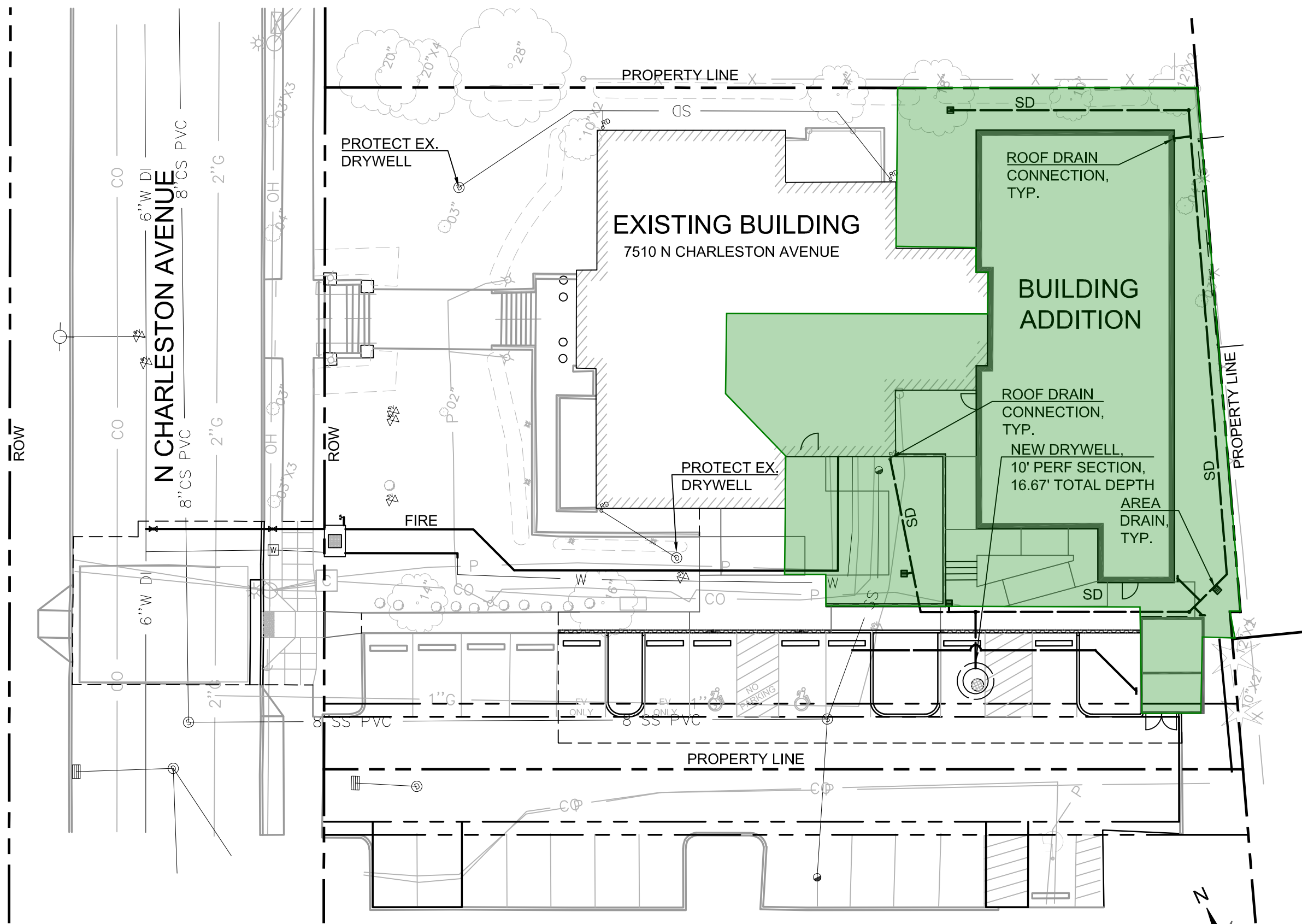
### WATER

BRYAN VITTORI  
 PORTLAND WATER BUREAU  
 BRYAN.VITTORI@PORTLANDOREGON.GOV  
 971-917-5458

### STORM/SANITARY

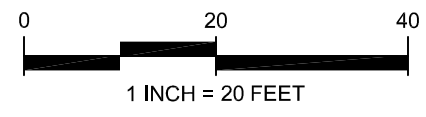
ELLA RUTH  
 PORTLAND BUREAU OF ENVIRONMENTAL SERVICES  
 ELLA.RUTH@PORTLANDOREGON.GOV  
 503-823-8068



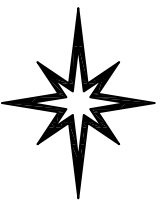


**LEGEND**

 CATCHMENT  
AREA=7,892 SF

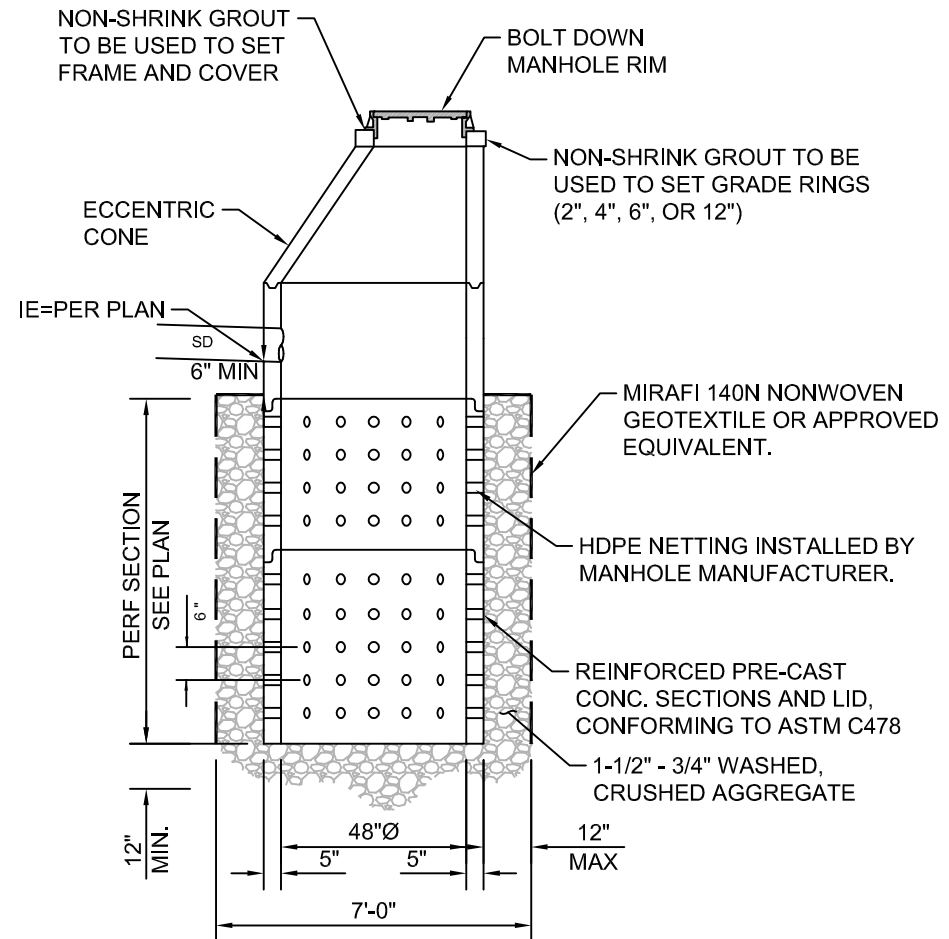


**VEGA**  
CIVIL ENGINEERING LLC  
503.662.1901 | WWW.VEGACIVIL.COM



# DRYWELL TESTING NOTES

1. DRYWELL(S) SHALL HAVE THE CAPACITY TO DISPOSE OF STORMWATER AT THE RATE LISTED IN TABLE.
2. DRYWELL(S) SHALL BE TESTED AFTER CONSTRUCTION OF THE DRYWELL STRUCTURE (INCLUDING DRAIN ROCK AND PERIMETER BACKFILL) BUT PRIOR TO THE CONSTRUCTION OF THE TOP SLAB AND FINISH BACKFILL.
3. TESTING MUST BE COMPLETED BY A COMPANY CAPABLE OF PERFORMING DRYWELL TEST AT REQUIRED RATES.
4. NOTIFY CIVIL AND GEOTECHNICAL ENGINEERS 7 DAYS PRIOR TO TESTING AND PROVIDE WRITTEN PLAN FOR TESTING INCLUDING WATER SOURCE.
5. CONTRACTOR SHALL CONTACT CITY OF PORTLAND WATER BUREAU OR APPLICABLE WATER DISTRICT TO ARRANGE FOR DRYWELL TEST WATER SUPPLY. CONTRACTOR SHALL BEAR RESPONSIBILITY FOR SECURING ALL NECESSARY PERMITS, AUTHORIZATION AND ANY FEES. IF NO WATER SUPPLY AVAILABLE, WATER TRUCK(S) MUST BE USED.
8. CONTRACTOR SHALL ARRANGE FOR THE PROVISION OF ALL DRYWELL TESTING EQUIPMENT, INCLUDING BUT NOT LIMITED TO FLOW METER READING IN GPM, PIPING, AND TRAFFIC CONTROL.
9. CLEAN WATER SHALL BE PROVIDED TO TEST DRYWELLS, AS APPROVED. INTRODUCTION OF SEDIMENT MAY RESULT IN FAILURE OF THE DRYWELL CAPACITY TEST.
10. FILL DRYWELL ABOVE PERFORATED SECTIONS, SHUT OFF WATER, AND RECORD HEIGHT OF WATER EVERY 5 MINUTES DURING DRAWDOWN. IF DRYWELL WILL NOT FILL UP, MAINTAIN A CONSTANT FLOW RATE EQUAL TO TWO TIMES THE DESIGN RATE FOR A MINIMUM OF 30 MIN. IF REDUCTION OF DRYWELLS IS DESIRED, CONTACT ENGINEER FOR PROCEDURE.
11. SHOULD DRYWELL(S) FAIL TO TEST AT THE MINIMUM DESIGN RATE, ADDITIONAL DRYWELLS MUST BE CONSTRUCTED IN ORDER TO ACHIEVE THE REQUIRED MINIMUM DISPOSAL RATE. ENGINEER MUST GET APPROVAL OF NEW DRYWELL LOCATIONS PRIOR TO INSTALLATION.



DRYWELL	DESIGN RATE (GPM)
DW-1	50
TOTAL	50

**Appendix B - Calculations**

HydroCAD Report



**Summary for Subcatchment 5S: CATCHMENT**

Runoff = 0.14 cfs @ 7.90 hrs, Volume= 2,083 cf, Depth= 3.17"

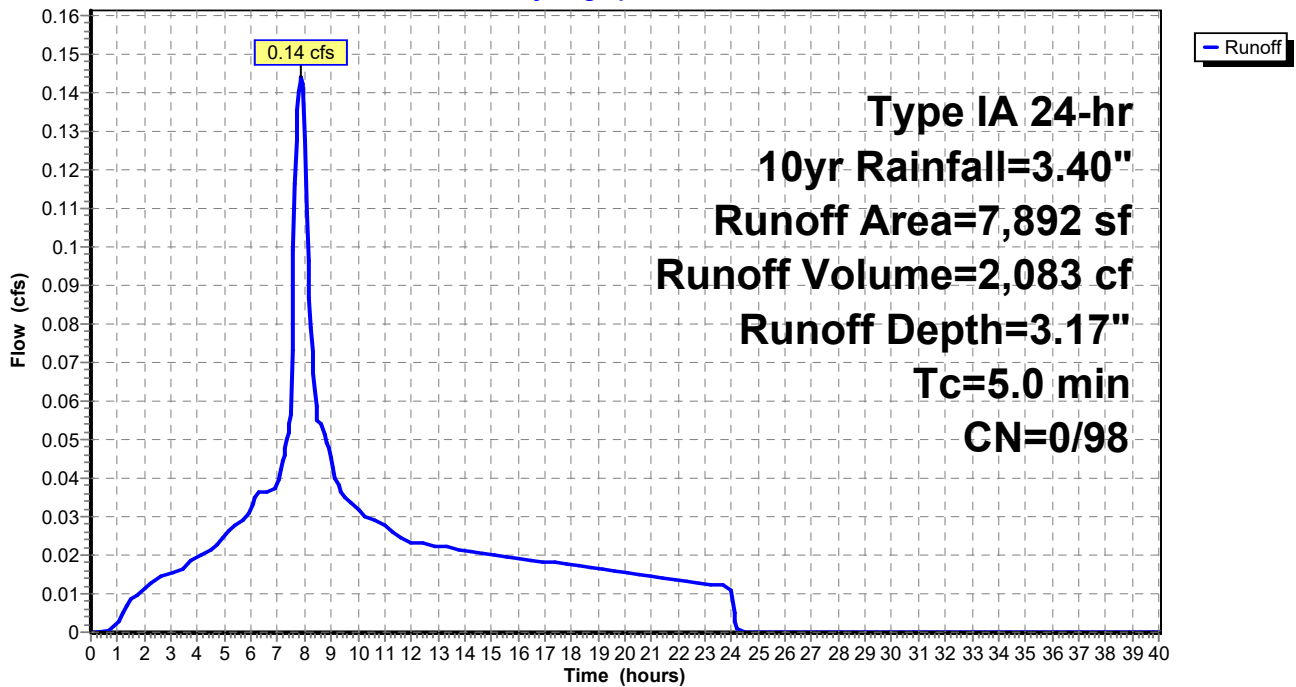
Runoff by SBUH method, Split Pervious/Imperv., Time Span= 0.00-40.00 hrs, dt= 0.05 hrs  
 Type IA 24-hr 10yr Rainfall=3.40"

Area (sf)	CN	Description
* 7,892	98	
7,892		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

**Subcatchment 5S: CATCHMENT**

Hydrograph



**Summary for Pond 1P: Drywell**

Inflow Area = 7,892 sf, 100.00% Impervious, Inflow Depth = 3.17" for 10yr event  
 Inflow = 0.14 cfs @ 7.90 hrs, Volume= 2,083 cf  
 Outflow = 0.09 cfs @ 8.10 hrs, Volume= 2,083 cf, Atten= 40%, Lag= 12.2 min  
 Discarded = 0.09 cfs @ 8.10 hrs, Volume= 2,083 cf

Routing by Stor-Ind method, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs / 2  
 Peak Elev= 110.46' @ 8.21 hrs Surf.Area= 38 sf Storage= 209 cf

Plug-Flow detention time= 23.3 min calculated for 2,083 cf (100% of inflow)  
 Center-of-Mass det. time= 23.3 min ( 688.1 - 664.8 )

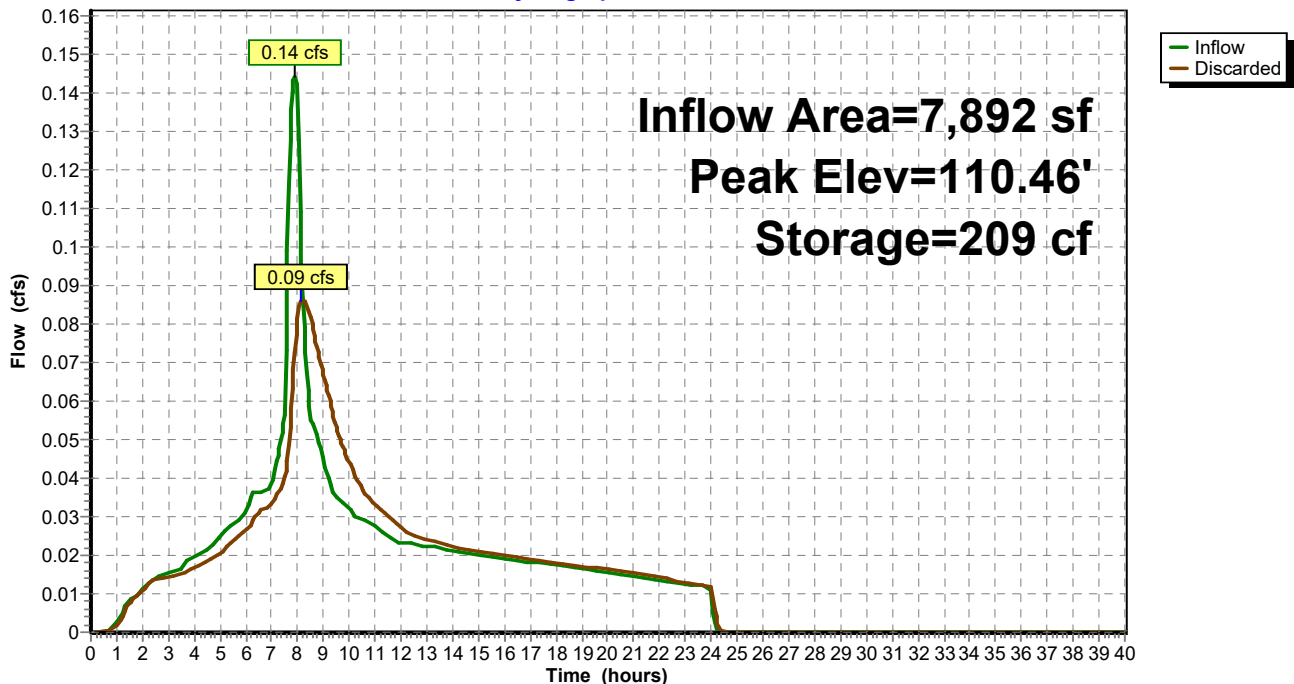
Volume	Invert	Avail.Storage	Storage Description
#1	100.00'	126 cf	<b>4.00'D x 10.00'H Vertical Cone/Cylinder</b> Inside #2
#2	100.00'	78 cf	<b>7.00'D x 10.00'H Vertical Cone/Cylinder</b>
			385 cf Overall - 126 cf Embedded = 259 cf x 30.0% Voids
#3	110.00'	84 cf	<b>4.00'D x 6.67'H Vertical Cone/Cylinder</b> Impervious
		287 cf	Total Available Storage

Device	Routing	Invert	Outlet Devices
#1	Discarded	100.00'	<b>14.400 in/hr Exfiltration over Wetted area</b>

**Discarded OutFlow** Max=0.09 cfs @ 8.10 hrs HW=110.14' (Free Discharge)  
 ↑=Exfiltration (Exfiltration Controls 0.09 cfs)

**Pond 1P: Drywell**

Hydrograph



## **Appendix C – Associated Reports**

Geotechnical Engineering Report by PBS dated September 8, 2023

# Geotechnical Engineering Report

St. Johns Library Building Addition  
7510 N Charleston Avenue  
Portland, Oregon

Prepared for:  
Multnomah County – Library Bond Office  
501 SE Hawthorne Boulevard  
Portland, Oregon 97214

September 8, 2023  
PBS Project 15194.645



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## Geotechnical Engineering Report

**St. Johns Library Building Addition**  
**7510 N Charleston Avenue**  
**Portland, Oregon**

Prepared for:  
Multnomah County – Library Bond Office  
501 SE Hawthorne Boulevard  
Portland, Oregon 97214

September 8, 2023  
PBS Project 15194.645

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## 1 INTRODUCTION

### 1.1 General

This report presents results of PBS Engineering and Environmental Inc. (PBS) geotechnical engineering services for the proposed addition to the St. Johns Library building, located at 7510 N Charleston Avenue in Portland, Oregon (site). The general site location is shown on the Vicinity Map, Figure 1. The locations of PBS' explorations in relation to existing site features are shown on the Site Plan, Figure 2.

### 1.2 Purpose and Scope

The purpose of PBS' services was to develop geotechnical design and construction recommendations in support of the planned library building addition. This was accomplished by performing the following scope of services.

#### 1.2.1 Literature and Records Review

PBS reviewed various published geologic maps of the area for information regarding geologic conditions and hazards at or near the site.

#### 1.2.2 Subsurface Explorations

Two borings were advanced to depths of approximately 31.5 feet below the existing ground surface (bgs) within the development footprint. The borings were logged and representative soil samples collected by a member of the PBS geotechnical engineering staff. The approximate boring locations are shown on the Site Plan, Figure 2. The interpreted boring logs are presented as Figures A1 and A2 in Appendix A, Field Explorations.

#### 1.2.3 Field Infiltration Testing

One cased-hole, falling-head field infiltration test was completed in boring B-2 at a depth of 30 feet bgs. Infiltration testing was monitored by PBS geotechnical engineering staff.

#### 1.2.4 Soils Testing

Soil samples were returned to our laboratory and classified in general accordance with the Unified Soil Classification System (ASTM D2487) and/or the Visual-Manual Procedure (ASTM D2488). Laboratory tests included natural moisture contents and grain-size analyses. Laboratory test results are included in the exploration logs in Appendix A, Field Explorations; and in Appendix B, Laboratory Testing.

#### 1.2.5 Geotechnical Engineering Analysis

Data collected during the subsurface exploration, literature research, and testing were used to develop site-specific geotechnical design parameters and construction recommendations.

#### 1.2.6 Report Preparation

This Geotechnical Engineering Report summarizes the results of our explorations, testing, and analyses, including information relating to the following:

- Field exploration logs and site plan showing approximate exploration locations
- Laboratory test results
- Infiltration test results
- Groundwater levels and considerations
- Liquefaction potential
- Building slab recommendations, including:

- Subgrade preparation
- Moisture mitigation
- Modulus of subgrade reaction
- Shallow foundation recommendations:
  - Minimum embedment
  - Allowable bearing pressure
  - Estimated settlement (total and differential)
  - Sliding coefficient
- Earthwork and grading, cut, and fill recommendations:
  - Structural fill materials and preparation, and reuse of on-site soils
  - Utility trench excavation and backfill requirements
  - Temporary and permanent slope inclinations
  - Wet weather considerations
- Seismic design criteria in accordance with the 2022 Oregon Structural Specialty Code (OSSC)
- Asphalt concrete (AC) pavement section recommendations

### 1.3 Project Understanding

PBS understands that Multnomah County intends to renovate the St. Johns Library building. The proposed renovations include either a new 1,500-square-foot addition to the existing building or demolition of the 1990s building addition and replacement with a new 3,000-square-foot addition. A partial basement, crawl space, and attic space are also reportedly present within the current structure. PBS has developed recommendations based on estimated column loads of up to 150 kips, wall loads of up to 4 kips per linear foot (klf), and slab loads of up to 250 pounds per square foot (psf).

## 2 SITE CONDITIONS

### 2.1 Surface Description

The site is roughly rectangular and is bordered to the west by N Charleston Avenue and to the north, east, and south by various buildings consisting of apartments/housing and a performing arts center. The current St. Johns Library building and associated landscaping areas occupy the central to northern part of the site, while the southern part of the site consists of asphalt drive lanes and parking areas. Based on review of available Oregon Department of Geology and Mineral Industries (DOGAMI) topographic and lidar data, the site is generally flat, with gentle slopes down to the west, and has ground surface elevations ranging from a maximum of about 150 feet at the southeast corner to 143 feet at the southwest corner of the site (NAVD88; DOGAMI, 2023). Outside of the site, the ground surface remains relatively flat.

### 2.2 Regional Geology

The site is located within the Portland-Vancouver Basin, a tectonic depression within the physiographic province of the Puget-Willamette Lowland that separates the Cascade Range from the Coast Range, and extends from the Puget Sound, Washington, to Eugene, Oregon (Yeats et al., 1996). The Puget-Willamette Lowland is situated along the Cascadia Subduction Zone (CSZ) where oceanic rocks of the Juan de Fuca Plate are subducting beneath the North American Plate, resulting in deformation and uplift of the Coast Range and volcanism in the Cascade Range. Northwest-trending faults accommodating clockwise rotation of the North American Plate are found throughout the Puget-Willamette Lowland (Brocher et al., 2017; USGS, 2023).

The greater Portland Basin is underlain by Columbia River Basalt Group (CRBG) flows consisting of numerous fine-grained volcanic eruptions between approximately 17 million years ago (Ma) and 6 Ma from fissures located in eastern Oregon, eastern Washington, and western Idaho (Beeson et al., 1991). These fissures released thousands of square kilometers of lava, inundating areas east of the Cascade Range and entering western Oregon through a Miocene gap in the Cascade Range (present day Columbia Gorge) before reaching the ocean. Magmatic compositions of the CRBG allow the flows to be subdivided into distinct formations that can be further divided into members-based geochemical, paleomagnetic, and lithological properties.

Numerous northwest-trending faults govern the topography within the basin. Uplift and down dropping of crustal blocks have created topographic high points by offsetting regional scale flood basalts and down dropping basement rocks, creating depressions and sediment basins that accommodate the fluvial deposition of Miocene to Pliocene age terrestrial sedimentary rocks of the Troutdale Formation and Sandy River Mudstone over the older CRBG basalt flows (Beeson et al., 1991; Everts et al., 2004). Of these sedimentary deposits, the Miocene to Pliocene Troutdale Formation is the most widespread unit within the basin. These friable to moderately strong conglomerates, with minor interbeds of sandstone and claystone, consist of well-rounded CRBG clasts and other exotic metamorphic and plutonic clasts. Above these conglomerates, younger quaternary deposits have accumulated.

Cyclical Pleistocene age cataclysmic glacial floods deposited sediments and recarved the landscape within the Portland Basin more than 40 times over a 3,000-year timespan (Burns and Coe, 2012). As floodwaters entered the basin from the Columbia River Gorge, they slowed, depositing suspended sediments and bed loads. Topographic highpoints within the basin deflected floodwaters and generated areas that were scoured and eroded into older sediments and bedrock. These geomorphic features dominate the modern-day landscape and are indistinguishable within the Portland Basin lidar.

### 2.3 Local Geology

The site is mapped as underlain by Missoula flood deposits (Wells et al., 2020). These Pleistocene sediments are described as primarily fine-grained facies, consisting of unconsolidated and stratified clay, silt, sand, and fine gravel deposited by cataclysmic floods originating from glacial Lake Missoula, which flowed down the Columbia River and flooded the Willamette Valley. The unit is reported to be up to 120 feet thick in the northern Willamette Valley and deposited over a relict topography of pre-food fluvial terraces and valleys.

### 2.4 Subsurface Conditions

The site was explored by drilling two borings, designated B-1 and B-2, to depths of 31.5 feet bgs. The drilling was performed by Dan J. Fischer Excavating, Inc., of Forest Grove, Oregon, using a trailer-mounted drill rig and solid-stem auger drilling techniques.

PBS has summarized the subsurface units as follows:

- TOPSOIL:** Approximately 4 to 6 inches of brown topsoil with roots and bark chips was encountered at the ground surface within borings B-1 and B-2. The topsoil was generally silty with roots and fine organics.
- FILL:** Possible fill consisting of brown to gray silt with variable fine- to coarse-grained sand, fine, subangular to subrounded gravel, and occasional organics was encountered beneath the topsoil in boring B-1 to a depth of approximately 5 feet. The fine-grained portion of the possible fill was generally medium stiff and exhibited low plasticity, while the granular portion of the fill was loose.

Silty SAND (SM), Well-Graded SAND (SW-SM), Poorly Graded SAND (SP-SM): Brown to gray, poorly graded to well-graded sand with varying amounts of silt was encountered in both borings and continued to the termination depths. The sands were generally moist, medium dense, and ranged from fine to coarse grained with occasional fine gravel. One loose sample was encountered at 5 feet bgs in B-1.

**2.5 Groundwater**

Static groundwater was not encountered during our explorations. Based on a review of USGS groundwater contour maps, we anticipate that the static groundwater level is present at a depth greater than 50 feet bgs. Please note that groundwater levels can fluctuate during the year depending on climate, irrigation season, extended periods of precipitation, drought, and other factors.

**2.6 Infiltration Testing**

PBS completed a cased-hole, falling-head infiltration test in boring B-2 at a depth of 30 feet bgs. The infiltration test was conducted within a 3-inch diameter PVC pipe inserted into the boring. The pipe was filled with water to achieve a minimum 1-foot-high column of water. After a period of saturation, the height of the water column in the pipe was then measured initially and at regular, timed intervals. Results of our field infiltration testing are presented in Table 1.

**Table 1. Infiltration Test Results**

Test Location	Depth (feet bgs)	Field Measured Infiltration Rate (in/hr)	Soil Classification
B-2	30	28.8	Well-graded SAND (SW-SM) with silt

The infiltration rate listed in Table 1 is not a permeability/hydraulic conductivity, but a field-measured rate, and does not include correction factors related to long-term infiltration rates. The design engineer should determine the appropriate correction factors to account for the planned level of pre-treatment, maintenance, vegetation, siltation, etc. Field-measured infiltration rates are typically reduced by a minimum factor of 2 to 4 for use in design.

Soil types can vary significantly over relatively short distances. The infiltration rates noted above are representative of one discrete location and depth. Installation of infiltration systems within the layer the field rate was measured is considered critical to proper performance of the systems.

**3 CONCLUSIONS AND RECOMMENDATIONS**

**3.1 Geotechnical Design Considerations**

The subsurface conditions at the site consist of silt and fine- to coarse-grained sand. Based on our observations and analyses, conventional foundation support on shallow spread footings is feasible for the proposed building addition. Excavation with conventional equipment is feasible at the site.

**3.2 Shallow Foundations**

Shallow spread footings bearing on native medium dense sand may be used to support loads associated with the proposed development, provided the recommendations in this report are followed. Footings should not be supported on undocumented fill.

### 3.2.1 Minimum Footing Widths and Design Bearing Pressure

Continuous wall and isolated spread footings should be at least 18 and 24 inches wide, respectively. Footings should be sized using a maximum allowable bearing pressure of 2,500 psf. This is a net bearing pressure and the weight of the footing and overlying backfill can be disregarded in calculating footing sizes. The recommended allowable bearing pressure applies to the total of dead plus long-term live loads. Allowable bearing pressures may be increased by one-third for seismic and wind loads.

Footings will settle in response to column and wall loads. Based on our evaluation of the subsurface conditions and our analysis, we estimate post-construction settlement will be less than 1 inch for the column and perimeter foundation loads. Differential settlement will be on the order of one-half of the total settlement.

### 3.2.2 Footing Embedment Depths

PBS recommends that all footings be founded a minimum of 18 inches below the lowest adjacent grade. The footings should be founded below an imaginary line projecting upward at a 1H:1V (horizontal to vertical) slope from the base of any adjacent, parallel utility trenches or deeper excavations.

### 3.2.3 Footing Preparation

Excavations for footings should be carefully prepared to a neat and undisturbed state. A representative from PBS should confirm suitable bearing conditions and evaluate all exposed footing subgrades. Observations should also confirm that loose or soft materials have been removed from new footing excavations and concrete slab-on-grade areas. Localized deepening of footing excavations may be required to penetrate loose, wet, or deleterious materials. Alternatively, loose sand subgrades may be recompacted.

PBS recommends a 6-inch-thick-layer of compacted, crushed rock be placed over the footing subgrades to help protect them from disturbance due to foot traffic and the elements.

### 3.2.4 Lateral Resistance

Lateral loads can be resisted by passive earth pressure on the sides of footings and grade beams, and by friction at the base of the footings. A passive earth pressure of 250 pounds per cubic foot (pcf) may be used for footings confined by native sands and new structural fills. The allowable passive pressure has been reduced by a factor of two to account for the large amount of deformation required to mobilize full passive resistance. Adjacent floor slabs, pavements, or the upper 12-inch depth of adjacent unpaved areas should not be considered when calculating passive resistance. For footings supported on native soils or new structural fills, use a coefficient of friction equal to 0.40 when calculating resistance to sliding. These values do not include a factor of safety (FS).

## 3.3 Floor Slabs

Satisfactory subgrade support for building floor slabs can be obtained from the native sand subgrade prepared in accordance with our recommendations presented in the Site Preparation, Wet/Freezing Weather and Wet Soil Conditions, and Select Granular Fill sections of this report. A minimum 6-inch-thick layer of imported granular material should be placed and compacted over the prepared subgrade. Thicker aggregate sections may be necessary where undocumented fill is present, soft/loose soils are present at subgrade elevation, and/or during wet conditions. Imported granular material should be composed of crushed rock or crushed gravel that is relatively well graded between coarse and fine, contains no deleterious materials, has a maximum particle size of 1 inch, and has less than 5% by dry weight passing the US Standard No. 200 Sieve.

Floor slabs supported on a subgrade and base course prepared in accordance with the preceding recommendations may be designed using a modulus of subgrade reaction (k) of 150 pounds per cubic inch (pci).

### 3.4 Seismic Design Considerations

#### 3.4.1 Code-Based Seismic Design Parameters

The current seismic design criteria for this project are based on the 2022 Oregon Structural Specialty Code (OSSC). Based on the soil conditions encountered in our subsurface explorations, Site Class D is appropriate for use in design. The seismic design criteria, in accordance with the 2022 OSSC, are summarized in Table 2.

**Table 2. 2022 OSSC Seismic Design Parameters**

Parameter	Short Period	1 Second
Maximum Credible Earthquake Spectral Acceleration	$S_s = 0.89 \text{ g}$	$S_1 = 0.41 \text{ g}$
Site Class	D	
Site Coefficient	$F_a = 1.15$	$F_v = 1.89^*$
Adjusted Spectral Acceleration	$S_{MS} = 1.01 \text{ g}$	$S_{M1} = **$
Design Spectral Response Acceleration Parameters	$S_{DS} = 0.68 \text{ g}$	$S_{D1} = **$
$MCE_G$ Peak Ground Acceleration	PGA = 0.40 g	
Site Amplification Factor at PGA	$F_{PGA} = 1.20$	
Site Modified Peak Ground Acceleration	PGA <sub>M</sub> = 0.48 g	

g = Acceleration due to gravity

\* This value of  $F_v$  shall only be used to calculate  $T_s$

\*\* Site-specific site response analysis is not required for structures on Site Class D sites with  $S_1$  greater than or equal to 0.2, provided the value of the seismic response coefficient  $C_s$  is determined by Eq. (12.8-2) for values of  $T \leq 1.5T_s$  and taken as equal to 1.5 times the value computed in accordance with either Eq. (12.8-3) for  $T_L \geq T > 1.5T_s$  or Eq. (12.8-4) for  $T > T_L$ .

#### 3.4.2 Liquefaction Potential

Liquefaction is defined as a decrease in the shear resistance of loose, saturated, cohesionless soil (e.g., sand) or low plasticity silt soils, due to the buildup of excess pore pressures generated during an earthquake. This results in a temporary transformation of the soil deposit into a viscous fluid. Liquefaction can result in ground settlement, foundation bearing capacity failure, and lateral spreading of ground.

Based on a review of the Oregon Statewide Geohazard Viewer (HazVu), the site is shown as having a low liquefaction hazard. Based on the anticipated depth to groundwater, soil types, and relative density of site soils encountered in our explorations, our current opinion is that the risk of structurally damaging liquefaction settlement at the site is low. Subsequently, the risk of structurally damaging lateral spreading is also low.

### 3.5 Temporary and Permanent Slopes

All temporary cut slopes should be excavated with a smooth-bucket excavator, with the slope surface repaired if disturbed. In addition, upslope surface runoff should be rerouted to not run down the face of the slopes. Equipment should not be allowed to induce vibration or infiltrate water above the slopes, and no surcharges are allowed within 25 feet of the slope crest.

Permanent cut and fill slopes up to 10 feet high can be inclined at 2H:1V in medium dense or better sands or compacted structural fill. If slow seepage is present, use of a rock blanket or a suitably revegetated, reinforced

erosion control blanket may be required. PBS should be consulted if seepage is present; additional erosion control measures, such as additional drainage elements, and/or flatter slopes, may also be required. Exposed soils that are soft or loose may also require these measures. Fill slopes should be over-built and cut back into compacted structural fill at the design inclination using a smooth-bucket excavator. Erosion control is critical to maintaining slopes.

### 3.6 Ground Moisture

#### 3.6.1 General

The perimeter ground surface and hard-scape should be sloped to drain away from all structures and away from adjacent slopes. Gutters should be tight-lined to a suitable discharge and maintained as free-flowing. All crawl spaces should be adequately ventilated and sloped to drain to a suitable, exterior discharge.

#### 3.6.2 Perimeter Footing Drains

Due to the potential for perched groundwater at the site, we recommend perimeter foundation drains be installed around all proposed new structures.

The foundation subdrainage system should include a minimum 4-inch diameter perforated pipe in a drain rock envelope. A non-woven geotextile filter fabric, such as Mirafi 140N or equivalent, should be used to completely wrap the drain rock envelope, separating it from the native soil and footing backfill materials. The invert of the perimeter drain lines should be placed approximately at the bottom of footing elevation. Also, the subdrainage system should be sealed at the ground surface. The perforated subdrainage pipe should be laid to drain by gravity into a non-perforated solid pipe and finally connected to the site drainage stem at a suitable location. Water from downspouts and surface water should be independently collected and routed to a storm sewer or other positive outlet. This water must not be allowed to enter the bearing soils.

#### 3.6.3 Vapor Flow Retarder

A continuous, impervious barrier must be installed over the ground surface in the crawl space and under slabs of all structures. Barriers should be installed per the manufacturer’s recommendations.

### 3.7 Pavement Design

The provided pavement recommendations were developed using the American Association of State Highway and Transportation Officials (AASHTO) design methods and references the associated Oregon Department of Transportation (ODOT) specifications for construction. Our evaluation considered a maximum of two trucks per day for a 20-year design life.

The minimum recommended pavement section thicknesses are provided in Table 3. Depending on weather conditions at the time of construction, a thicker aggregate base course section could be required to support construction traffic during preparation and placement of the pavement section.

**Table 3. Minimum AC Pavement Sections**

Traffic Loading	AC (inches)	Base Course (inches)	Subgrade
Pull-in Car Parking Only	2.5	9	Firm subgrade as verified by PBS personnel*
Drive Lanes and Access Roads	3	9	

\* Subgrade must pass proofroll



The asphalt cement binder should be selected following ODOT SS 00744.11 – Asphalt Cement and Additives. The AC should consist of ½-inch hot mix asphalt concrete (HMAC) with a maximum lift thickness of 3 inches. The AC should conform to ODOT SS 00744.13 and 00744.14 and be compacted to 91% of the maximum theoretical density (Rice value) of the mix, as determined in accordance with ASTM D2041.

Heavy construction traffic on new pavements or partial pavement sections (such as base course over the prepared subgrade) will likely exceed the design loads and could potentially damage or shorten the pavement life; therefore, we recommend construction traffic not be allowed on new pavements, or that the contractor take appropriate precautions to protect the subgrade and pavement during construction.

If construction traffic is to be allowed on newly constructed pavement sections, an allowance for this additional traffic will need to be made in the design pavement section.

## **4 CONSTRUCTION RECOMMENDATIONS**

### **4.1 Site Preparation**

Construction of the proposed addition may involve clearing and grubbing of the existing vegetation or demolition of possible existing structures. In vegetated areas, site stripping should include removing topsoil, roots, and other deleterious materials to a minimum depth of 6 inches bgs. Demolition should include removing existing pavement, utilities, etc., throughout the proposed new development. Underground utility lines or other abandoned structural elements should also be removed. The voids resulting from removal of foundations or loose soil in utility lines should be backfilled with compacted structural fill. The base of these excavations should be excavated to firm native subgrade before filling, with sides sloped at a minimum of 1H:1V to allow for uniform compaction. Materials generated during demolition should be transported off site or stockpiled in areas designated by the owner's representative.

#### **4.1.1 Proofrolling/Subgrade Verification**

Following site preparation and prior to placing aggregate base over shallow foundation, floor slab, and pavement subgrades, the exposed subgrade should be evaluated either by proofrolling or another method of subgrade verification. The subgrade should be proofrolled with a fully loaded dump truck or similar heavy, rubber-tire construction equipment to identify unsuitable areas. If evaluation of the subgrades occurs during wet conditions, or if proofrolling the subgrades will result in disturbance, they should be evaluated by PBS using a steel foundation probe. We recommend that PBS be retained to observe the proofrolling and perform the subgrade verifications. Unsuitable areas identified during the field evaluation should be compacted to a firm condition or be excavated and replaced with structural fill.

#### **4.1.2 Wet/Freezing Weather and Wet Soil Conditions**

Due to the presence of fine-grained silt and sands in the near-surface materials at the site, construction equipment may have difficulty operating on the near-surface soils when the moisture content of the surface soil is more than a few percentage points above the optimum moisture required for compaction. Soils disturbed during site preparation activities, or unsuitable areas identified during proofrolling or probing, should be removed and replaced with compacted structural fill.

Site earthwork and subgrade preparation should not be completed during freezing conditions, except for mass excavation to the subgrade design elevations.

Protection of the subgrade is the responsibility of the contractor. Construction of granular haul roads to the project site entrance may help reduce further damage to the pavement and disturbance of site soils. The actual thickness of haul roads and staging areas should be based on the contractors' approach to site development,

and the amount and type of construction traffic. The imported granular material should be placed in one lift over the prepared undisturbed subgrade and compacted using a smooth-drum, non-vibratory roller. A geotextile fabric should be used to separate the subgrade from the imported granular material in areas of repeated construction traffic. The geotextile should meet the specifications of ODOT SS Section 02320.10 and SS 02320.20, Table 02320-4 for soil separation. The geotextile should be installed in conformance with ODOT SS Section 00350 – Geosynthetic Installation.

#### **4.2 Excavation**

The near-surface soils at the site can be excavated with conventional earthwork equipment. Sloughing and caving should be anticipated. All excavations should be made in accordance with applicable Occupational Safety and Health Administration (OSHA) and state regulations. The contractor is solely responsible for adherence to the OSHA requirements. Trench cuts should stand relatively vertical to a depth of approximately 4 feet bgs, provided no groundwater seepage is present in the trench walls. Open excavation techniques may be used provided the excavation is configured in accordance with the OSHA requirements, groundwater seepage is not present, and with the understanding that some sloughing may occur. Trenches/excavations should be flattened if sloughing occurs or seepage is present. Use of a trench shield or other approved temporary shoring is recommended if vertical walls are desired for cuts deeper than 4 feet bgs. If dewatering is used, we recommend that the type and design of the dewatering system be the responsibility of the contractor, who is in the best position to choose systems that fit the overall plan of operation.

#### **4.3 Structural Fill**

The extent of site grading is currently unknown; however, PBS estimates that cuts and fills will be minimal to raise the grades within the proposed site. Structural fill should be placed over subgrade that has been prepared in conformance with the Site Preparation and Wet/Freezing Weather and Wet Soil Conditions sections of this report. Structural fill material should consist of relatively well-graded soil, or an approved rock product that is free of organic material and debris, and contains particles not greater than 4 inches nominal dimension.

The suitability of soil for use as compacted structural fill will depend on the gradation and moisture content of the soil when it is placed. As the amount of fines (material finer than the US Standard No. 200 Sieve) increases, soil becomes increasingly sensitive to small changes in moisture content and compaction becomes more difficult to achieve. Soils containing more than about 5% fines cannot consistently be compacted to a dense, non-yielding condition when the water content is significantly greater (or significantly less) than optimum.

If fill and excavated material will be placed on slopes steeper than 5H:1V, these must be keyed/benched into the existing slopes and installed in horizontal lifts. Vertical steps between benches should be approximately 2 feet.

##### **4.3.1 On-Site Soil**

On-site soils encountered in our explorations are generally suitable for placement as structural fill for mass grading to raise the site during moderate, dry weather when moisture contents can be maintained by air drying and/or addition of water. The fine-grained fraction of the site soils are moisture sensitive, and during wet weather, may become unworkable because of excess moisture content. In order to reduce moisture content, some aerating and drying of fine-grained soils may be required. The material should be placed in lifts with a maximum uncompacted thickness of approximately 8 inches and compacted to at least 92% of the maximum dry density, as determined by ASTM D1557 (modified proctor).

#### **4.3.2 Borrow Material**

Borrow material for general structural fill construction should meet the requirements set forth in ODOT SS 00330.12 – Borrow Material. When used as structural fill, borrow material should be placed in lifts with a maximum uncompacted thickness of approximately 8 inches and compacted to not less than 92% of the maximum dry density, as determined by ASTM D1557.

#### **4.3.3 Select Granular Fill**

Selected granular backfill used during periods of wet weather for structural fill construction should meet the specifications provided in ODOT SS 00330.14 – Selected Granular Backfill. The imported granular material should be uniformly moisture conditioned to within about 2% of the optimum moisture content and compacted in relatively thin lifts using suitable mechanical compaction equipment. Selected granular backfill should be placed in lifts with a maximum uncompacted thickness of 8 to 12 inches and be compacted to not less than 95% of the maximum dry density, as determined by ASTM D1557.

#### **4.3.4 Crushed Aggregate Base**

Crushed aggregate base course below floor slabs, spread footings, and asphalt concrete pavements should be clean crushed rock or crushed gravel that contains no deleterious materials and meets the specifications provided in ODOT SS 02630.10 – Dense-Graded Aggregate, and has less than 5% by dry weight passing the US Standard No. 200 Sieve. The crushed aggregate base course should be placed in lifts with a maximum uncompacted thickness of 8 to 12 inches and be compacted to at least 95% of the maximum dry density, as determined by ASTM D1557.

#### **4.3.5 Utility Trench Backfill**

Pipe bedding placed to uniformly support the barrel of pipe should meet specifications provided in ODOT SS 00405.12 – Bedding. The pipe zone that extends from the top of the bedding to at least 8 inches above utility lines should consist of material prescribed by ODOT SS 00405.13 – Pipe Zone Material. The pipe zone material should be compacted to at least 90% of the maximum dry density, as determined by ASTM D1557, or as required by the pipe manufacturer.

Under pavements, paths, slabs, or beneath building pads, the remainder of the trench backfill should consist of well-graded granular material with less than 10% by dry weight passing the US Standard No. 200 Sieve, and should meet standards prescribed by ODOT SS 00405.14 – Trench Backfill, Class B or D. This material should be compacted to at least 92% of the maximum dry density, as determined by ASTM D1557 or as required by the pipe manufacturer. The upper 2 feet of the trench backfill should be compacted to at least 95% of the maximum dry density, as determined by ASTM D1557. Controlled low-strength material (CLSM), ODOT SS 00405.14 – Trench Backfill, Class E, can be used as an alternative.

Outside of structural improvement areas (e.g., pavements, sidewalks, or building pads), trench material placed above the pipe zone may consist of general structural fill materials that are free of organics and meet ODOT SS 00405.14 – Trench Backfill, Class A. This general trench backfill should be compacted to at least 90% of the maximum dry density, as determined by ASTM D1557, or as required by the pipe manufacturer or local jurisdictions.

#### **4.3.6 Stabilization Material**

Stabilization rock should consist of pit or quarry run rock that is well-graded, angular, crushed rock consisting of 4- or 6-inch-minus material with less than 5% passing the US Standard No. 4 Sieve. The material should be free of organic matter and other deleterious material. ODOT SS 00330.16 – Stone Embankment Material can be used as a general specification for this material with the stipulation of limiting the maximum size to 6 inches.

## 5 ADDITIONAL SERVICES AND CONSTRUCTION OBSERVATIONS

In most cases, other services beyond completion of a final geotechnical engineering report are necessary or desirable to complete the project. Occasionally, conditions or circumstances arise that require additional work that was not anticipated when the geotechnical report was written. PBS offers a range of environmental, geological, geotechnical, and construction services to suit the varying needs of our clients.

PBS should be retained to review the plans and specifications for this project before they are finalized. Such a review allows us to verify that our recommendations and concerns have been adequately addressed in the design.

Satisfactory earthwork performance depends on the quality of construction. Sufficient observation of the contractor's activities is a key part of determining that the work is completed in accordance with the construction drawings and specifications. We recommend that PBS be retained to observe general excavation, stripping, fill placement, and footing subgrades. Subsurface conditions observed during construction should be compared with those encountered during the subsurface explorations. Recognition of changed conditions requires experience; therefore, qualified personnel should visit the site with sufficient frequency to detect whether subsurface conditions change significantly from those anticipated.

## 6 LIMITATIONS

This report has been prepared for the exclusive use of the addressee, and their architects and engineers, for aiding in the design and construction of the proposed development and is not to be relied upon by other parties. It is not to be photographed, photocopied, or similarly reproduced, in total or in part, without express written consent of the client and PBS. It is the addressee's responsibility to provide this report to the appropriate design professionals, building officials, and contractors to ensure correct implementation of the recommendations.

The opinions, comments, and conclusions presented in this report are based upon information derived from our literature review, field explorations, laboratory testing, and engineering analyses. It is possible that soil, rock, or groundwater conditions could vary between or beyond the points explored. If soil, rock, or groundwater conditions are encountered during construction that differ from those described herein, the client is responsible for ensuring that PBS is notified immediately so that we may reevaluate the recommendations of this report.

Unanticipated fill, soil and rock conditions, and seasonal soil moisture and groundwater variations are commonly encountered and cannot be fully determined by merely taking soil samples or completing explorations such as soil borings. Such variations may result in changes to our recommendations and may require additional funds for expenses to attain a properly constructed project; therefore, we recommend a contingency fund to accommodate such potential extra costs.

The scope of work for this subsurface exploration and geotechnical report did not include environmental assessments or evaluations regarding the presence or absence of wetlands or hazardous substances in the soil, surface water, or groundwater at this site.

If there is a substantial lapse of time between the submission of this report and the start of work at the site, if conditions have changed due to natural causes or construction operations at or adjacent to the site, or if the basic project scheme is significantly modified from that assumed, this report should be reviewed to determine the applicability of the conclusions and recommendations presented herein. Land use, site conditions (both on

and off site), or other factors may change over time and could materially affect our findings; therefore, this report should not be relied upon after three years from its issue, or in the event that the site conditions change.

## 7 REFERENCES

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# Important Information about This

# Geotechnical-Engineering Report

Subsurface problems are a principal cause of construction delays, cost overruns, claims, and disputes.

While you cannot eliminate all such risks, you can manage them. The following information is provided to help.

**The Geoprofessional Business Association (GBA) has prepared this advisory to help you – assumedly a client representative – interpret and apply this geotechnical-engineering report as effectively as possible. In that way, you can benefit from a lowered exposure to problems associated with subsurface conditions at project sites and development of them that, for decades, have been a principal cause of construction delays, cost overruns, claims, and disputes. If you have questions or want more information about any of the issues discussed herein, contact your GBA-member geotechnical engineer. Active engagement in GBA exposes geotechnical engineers to a wide array of risk-confrontation techniques that can be of genuine benefit for everyone involved with a construction project.**

## Understand the Geotechnical-Engineering Services Provided for this Report

Geotechnical-engineering services typically include the planning, collection, interpretation, and analysis of exploratory data from widely spaced borings and/or test pits. Field data are combined with results from laboratory tests of soil and rock samples obtained from field exploration (if applicable), observations made during site reconnaissance, and historical information to form one or more models of the expected subsurface conditions beneath the site. Local geology and alterations of the site surface and subsurface by previous and proposed construction are also important considerations. Geotechnical engineers apply their engineering training, experience, and judgment to adapt the requirements of the prospective project to the subsurface model(s). Estimates are made of the subsurface conditions that will likely be exposed during construction as well as the expected performance of foundations and other structures being planned and/or affected by construction activities.

The culmination of these geotechnical-engineering services is typically a geotechnical-engineering report providing the data obtained, a discussion of the subsurface model(s), the engineering and geologic engineering assessments and analyses made, and the recommendations developed to satisfy the given requirements of the project. These reports may be titled investigations, explorations, studies, assessments, or evaluations. Regardless of the title used, the geotechnical-engineering report is an engineering interpretation of the subsurface conditions within the context of the project and does not represent a close examination, systematic inquiry, or thorough investigation of all site and subsurface conditions.

## Geotechnical-Engineering Services are Performed for Specific Purposes, Persons, and Projects, and At Specific Times

Geotechnical engineers structure their services to meet the specific needs, goals, and risk management preferences of their clients. A geotechnical-engineering study conducted for a given civil engineer

will not likely meet the needs of a civil-works constructor or even a different civil engineer. Because each geotechnical-engineering study is unique, each geotechnical-engineering report is unique, prepared *solely* for the client.

Likewise, geotechnical-engineering services are performed for a specific project and purpose. For example, it is unlikely that a geotechnical-engineering study for a refrigerated warehouse will be the same as one prepared for a parking garage; and a few borings drilled during a preliminary study to evaluate site feasibility will not be adequate to develop geotechnical design recommendations for the project.

Do not rely on this report if your geotechnical engineer prepared it:

- for a different client;
- for a different project or purpose;
- for a different site (that may or may not include all or a portion of the original site); or
- before important events occurred at the site or adjacent to it; e.g., man-made events like construction or environmental remediation, or natural events like floods, droughts, earthquakes, or groundwater fluctuations.

Note, too, the reliability of a geotechnical-engineering report can be affected by the passage of time, because of factors like changed subsurface conditions; new or modified codes, standards, or regulations; or new techniques or tools. *If you are the least bit uncertain* about the continued reliability of this report, contact your geotechnical engineer before applying the recommendations in it. A minor amount of additional testing or analysis after the passage of time – if any is required at all – could prevent major problems.

## Read this Report in Full

Costly problems have occurred because those relying on a geotechnical-engineering report did not read the report in its entirety. Do not rely on an executive summary. Do not read selective elements only. *Read and refer to the report in full.*

## You Need to Inform Your Geotechnical Engineer About Change

Your geotechnical engineer considered unique, project-specific factors when developing the scope of study behind this report and developing the confirmation-dependent recommendations the report conveys. Typical changes that could erode the reliability of this report include those that affect:

- the site's size or shape;
- the elevation, configuration, location, orientation, function or weight of the proposed structure and the desired performance criteria;
- the composition of the design team; or
- project ownership.

As a general rule, *always* inform your geotechnical engineer of project or site changes – even minor ones – and request an assessment of their impact. *The geotechnical engineer who prepared this report cannot accept*



responsibility or liability for problems that arise because the geotechnical engineer was not informed about developments the engineer otherwise would have considered.

### Most of the “Findings” Related in This Report Are Professional Opinions

Before construction begins, geotechnical engineers explore a site’s subsurface using various sampling and testing procedures. *Geotechnical engineers can observe actual subsurface conditions only at those specific locations where sampling and testing is performed.* The data derived from that sampling and testing were reviewed by your geotechnical engineer, who then applied professional judgement to form opinions about subsurface conditions throughout the site. Actual sitewide-subsurface conditions may differ – maybe significantly – from those indicated in this report. Confront that risk by retaining your geotechnical engineer to serve on the design team through project completion to obtain informed guidance quickly, whenever needed.

### This Report’s Recommendations Are Confirmation-Dependent

The recommendations included in this report – including any options or alternatives – are confirmation-dependent. In other words, they are not final, because the geotechnical engineer who developed them relied heavily on judgement and opinion to do so. Your geotechnical engineer can finalize the recommendations *only after observing actual subsurface conditions* exposed during construction. If through observation your geotechnical engineer confirms that the conditions assumed to exist actually do exist, the recommendations can be relied upon, assuming no other changes have occurred. *The geotechnical engineer who prepared this report cannot assume responsibility or liability for confirmation-dependent recommendations if you fail to retain that engineer to perform construction observation.*

### This Report Could Be Misinterpreted

Other design professionals’ misinterpretation of geotechnical-engineering reports has resulted in costly problems. Confront that risk by having your geotechnical engineer serve as a continuing member of the design team, to:

- confer with other design-team members;
- help develop specifications;
- review pertinent elements of other design professionals’ plans and specifications; and
- be available whenever geotechnical-engineering guidance is needed.

You should also confront the risk of constructors misinterpreting this report. Do so by retaining your geotechnical engineer to participate in prebid and preconstruction conferences and to perform construction-phase observations.

### Give Constructors a Complete Report and Guidance

Some owners and design professionals mistakenly believe they can shift unanticipated-subsurface-conditions liability to constructors by limiting the information they provide for bid preparation. To help prevent the costly, contentious problems this practice has caused, include the complete geotechnical-engineering report, along with any attachments or appendices, with your contract documents, *but be certain to note*

*conspicuously that you’ve included the material for information purposes only.* To avoid misunderstanding, you may also want to note that “informational purposes” means constructors have no right to rely on the interpretations, opinions, conclusions, or recommendations in the report. Be certain that constructors know they may learn about specific project requirements, including options selected from the report, *only* from the design drawings and specifications. Remind constructors that they may perform their own studies if they want to, and *be sure to allow enough time* to permit them to do so. Only then might you be in a position to give constructors the information available to you, while requiring them to at least share some of the financial responsibilities stemming from unanticipated conditions. Conducting prebid and preconstruction conferences can also be valuable in this respect.

### Read Responsibility Provisions Closely

Some client representatives, design professionals, and constructors do not realize that geotechnical engineering is far less exact than other engineering disciplines. This happens in part because soil and rock on project sites are typically heterogeneous and not manufactured materials with well-defined engineering properties like steel and concrete. That lack of understanding has nurtured unrealistic expectations that have resulted in disappointments, delays, cost overruns, claims, and disputes. To confront that risk, geotechnical engineers commonly include explanatory provisions in their reports. Sometimes labeled “limitations,” many of these provisions indicate where geotechnical engineers’ responsibilities begin and end, to help others recognize their own responsibilities and risks. *Read these provisions closely.* Ask questions. Your geotechnical engineer should respond fully and frankly.

### Geoenvironmental Concerns Are Not Covered

The personnel, equipment, and techniques used to perform an environmental study – e.g., a “phase-one” or “phase-two” environmental site assessment – differ significantly from those used to perform a geotechnical-engineering study. For that reason, a geotechnical-engineering report does not usually provide environmental findings, conclusions, or recommendations; e.g., about the likelihood of encountering underground storage tanks or regulated contaminants. *Unanticipated subsurface environmental problems have led to project failures.* If you have not obtained your own environmental information about the project site, ask your geotechnical consultant for a recommendation on how to find environmental risk-management guidance.

### Obtain Professional Assistance to Deal with Moisture Infiltration and Mold

While your geotechnical engineer may have addressed groundwater, water infiltration, or similar issues in this report, the engineer’s services were not designed, conducted, or intended to prevent migration of moisture – including water vapor – from the soil through building slabs and walls and into the building interior, where it can cause mold growth and material-performance deficiencies. Accordingly, *proper implementation of the geotechnical engineer’s recommendations will not of itself be sufficient to prevent moisture infiltration.* **Confront the risk of moisture infiltration** by including building-envelope or mold specialists on the design team. **Geotechnical engineers are not building-envelope or mold specialists.**

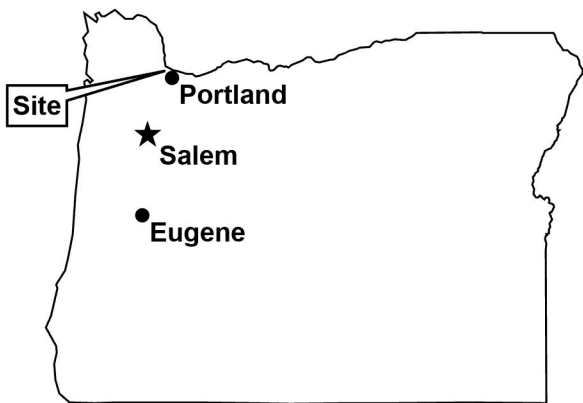
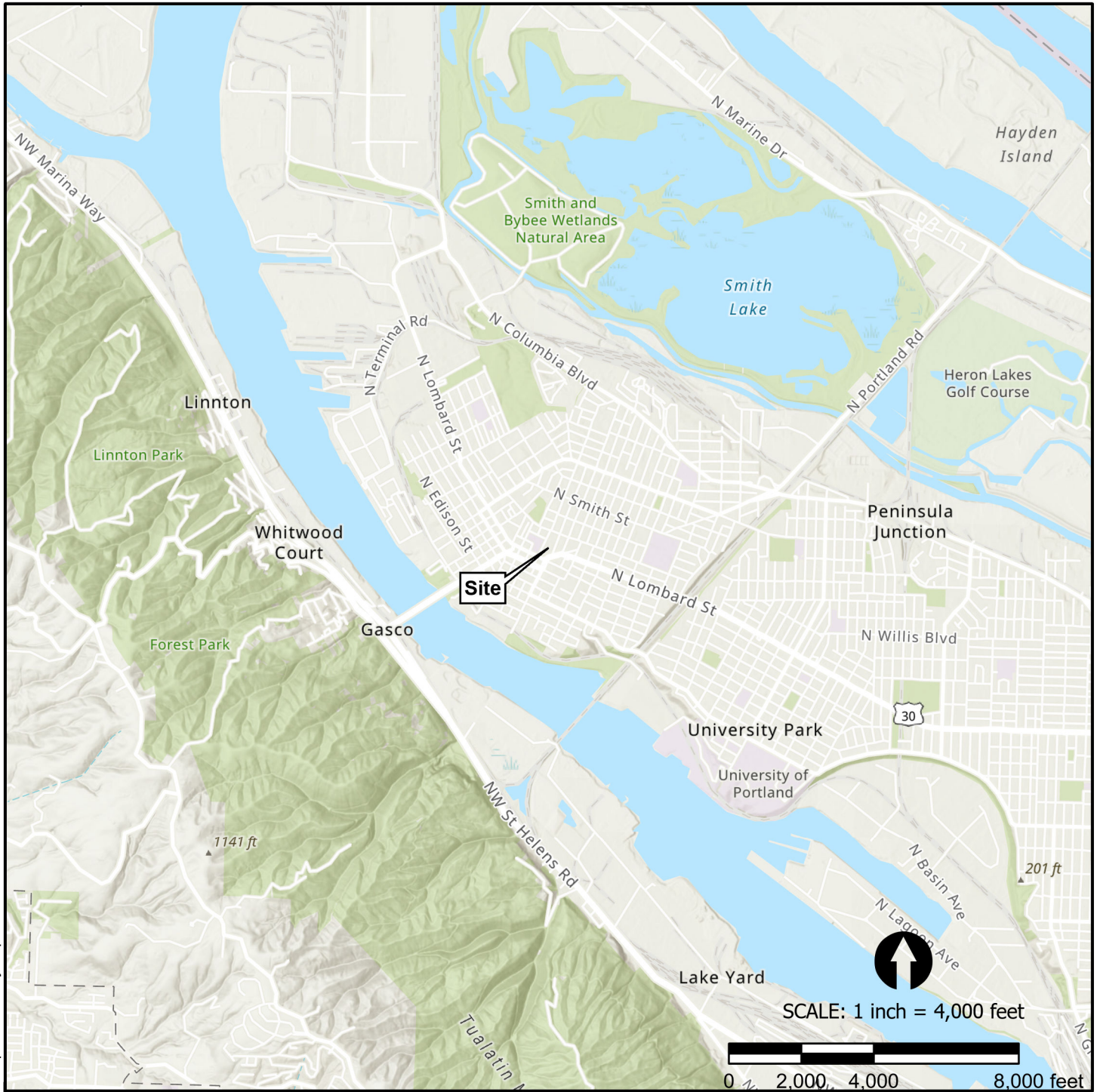


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# Figures



### VICINITY MAP

## ST. JOHNS LIBRARY BUILDING ADDITION PORTLAND, OREGON

DATE: SEP 2023 · PROJECT: 15194.645





FIGURE

1





**EXPLANATION**

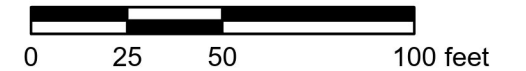
-  B-1 - Boring name and approximate location
-  B-2 - Boring name and approximate location with infiltration test

Notes: Google Earth 2022 imagery

Coordinate System: NAD 1983 2011 StatePlane Oregon North FIPS 3601 Ft Intl



SCALE: 1 inch = 50 feet



**SITE PLAN**

**ST. JOHNS LIBRARY BUILDING  
ADDITION  
PORTLAND, OREGON**

DATE: SEP 2023 · PROJECT: 15194.645



FIGURE

**2**



# **Appendix A**

## **Field Explorations**

## **Appendix A: Field Explorations**

### **A1 GENERAL**

PBS explored subsurface conditions at the project site by advancing two borings to depths of up to approximately 31.5 feet bgs on August 18, 2023. The approximate locations of the explorations are shown on Figure 2, Site Plan. The procedures used to advance the borings, collect samples, and other field techniques are described in detail in the following paragraphs. Unless otherwise noted, all soil sampling and classification procedures followed engineering practices in general accordance with relevant ASTM procedures. "General accordance" means that certain local drilling/excavation and descriptive practices and methodologies have been followed.

### **A2 BORINGS**

#### **A2.1 Drilling**

Borings were advanced using trailer-mounted Little Beaver drill rig provided and operated by Dan J. Fischer Excavating, Inc., of Forest Grove, Oregon, using solid-stem auger drilling techniques. The borings were observed by a member of the PBS geotechnical staff, who maintained a detailed log of the subsurface conditions and materials encountered during the course of the work.

#### **A2.2 Sampling**

Disturbed soil samples were taken in the borings at selected depth intervals. The samples were obtained using a standard 2-inch outside diameter, split-spoon sampler following procedures prescribed for the standard penetration test (SPT). Using the SPT, the sampler is driven 18 inches into the soil using a 140-pound hammer dropped 30 inches. The number of blows required to drive the sampler the last 12 inches is defined as the standard penetration resistance (N-value). The N-value provides a measure of the relative density of granular soils such as sands and gravels, and the consistency of cohesive soils such as clays and plastic silts. The disturbed soil samples were examined by a member of the PBS geotechnical staff and then sealed in plastic bags for further examination and physical testing in our laboratory.

#### **A2.3 Boring Logs**

The boring logs show the various types of materials that were encountered in the borings and the depths where the materials and/or characteristics of these materials changed, although the changes may be gradual. Where material types and descriptions changed between samples, the contacts were interpreted. The types of samples taken during drilling, along with their sample identification number, are shown to the right of the classification of materials. The N-values and natural water (moisture) contents are shown farther to the right.

### **A3 MATERIAL DESCRIPTION**

Initially, samples were classified visually in the field. Consistency, color, relative moisture, degree of plasticity, and other distinguishing characteristics of the soil samples were noted. Afterward, the samples were reexamined in the PBS laboratory, various standard classification tests were conducted, and the field classifications were modified where necessary. The terminology used in the soil classifications and other modifiers are defined in Table A-1, Terminology Used to Describe Soil.

### Soil Descriptions

Soils exist in mixtures with varying proportions of components. The predominant soil, i.e., greater than 50 percent based on total dry weight, is the primary soil type and is capitalized in our log descriptions (SAND, GRAVEL, SILT, or CLAY). Smaller percentages of other constituents in the soil mixture are indicated by use of modifier words in general accordance with the ASTM D2488-06 Visual-Manual Procedure. "General Accordance" means that certain local and common descriptive practices may have been followed. In accordance with ASTM D2488-06, group symbols (such as GP or CH) are applied on the portion of soil passing the 3-inch (75mm) sieve based on visual examination. The following describes the use of soil names and modifying terms used to describe fine- and coarse-grained soils.

#### Fine-Grained Soils (50% or greater fines passing 0.075 mm, No. 200 sieve)

The primary soil type, i.e., SILT or CLAY is designated through visual-manual procedures to evaluate soil toughness, dilatency, dry strength, and plasticity. The following outlines the terminology used to describe fine-grained soils, and varies from ASTM D2488 terminology in the use of some common terms.

Primary soil NAME, Symbols, and Adjectives			Plasticity Description	Plasticity Index (PI)
<b>SILT (ML &amp; MH)</b>	<b>CLAY (CL &amp; CH)</b>	<b>ORGANIC SOIL (OL &amp; OH)</b>		
SILT		Organic SILT	Non-plastic	0 – 3
SILT		Organic SILT	Low plasticity	4 – 10
SILT/Elastic SILT	Lean CLAY	Organic SILT/ Organic CLAY	Medium Plasticity	10 – 20
Elastic SILT	Lean/Fat CLAY	Organic CLAY	High Plasticity	20 – 40
Elastic SILT	Fat CLAY	Organic CLAY	Very Plastic	>40

Modifying terms describing secondary constituents, estimated to 5 percent increments, are applied as follows:

Description	% Composition	
<b>With Sand</b>	% Sand $\geq$ % Gravel	15% to 25% plus No. 200
<b>With Gravel</b>	% Sand $<$ % Gravel	
<b>Sandy</b>	% Sand $\geq$ % Gravel	$\leq$ 30% to 50% plus No. 200
<b>Gravelly</b>	% Sand $<$ % Gravel	

**Borderline Symbols**, for example CH/MH, are used when soils are not distinctly in one category or when variable soil units contain more than one soil type. **Dual Symbols**, for example CL-ML, are used when two symbols are required in accordance with ASTM D2488.

**Soil Consistency** terms are applied to fine-grained, plastic soils (i.e.,  $PI \geq 7$ ). Descriptive terms are based on direct measure or correlation to the Standard Penetration Test N-value as determined by ASTM D1586-84, as follows. SILT soils with low to non-plastic behavior (i.e.,  $PI < 7$ ) may be classified using relative density.

Consistency Term	SPT N-value	Unconfined Compressive Strength	
		tsf	kPa
<b>Very soft</b>	Less than 2	Less than 0.25	Less than 24
<b>Soft</b>	2 – 4	0.25 – 0.5	24 – 48
<b>Medium stiff</b>	5 – 8	0.5 – 1.0	48 – 96
<b>Stiff</b>	9 – 15	1.0 – 2.0	96 – 192
<b>Very stiff</b>	16 – 30	2.0 – 4.0	192 – 383
<b>Hard</b>	Over 30	Over 4.0	Over 383



**Soil Descriptions**

**Coarse - Grained Soils (less than 50% fines)**

Coarse-grained soil descriptions, i.e., SAND or GRAVEL, are based on the portion of materials passing a 3-inch (75mm) sieve. Coarse-grained soil group symbols are applied in accordance with ASTM D2488-06 based on the degree of grading, or distribution of grain sizes of the soil. For example, well-graded sand containing a wide range of grain sizes is designated SW; poorly graded gravel, GP, contains high percentages of only certain grain sizes. Terms applied to grain sizes follow.

Material NAME	Particle Diameter	
	Inches	Millimeters
<b>SAND (SW or SP)</b>	0.003 – 0.19	0.075 – 4.8
<b>GRAVEL (GW or GP)</b>	0.19 – 3	4.8 – 75
<b>Additional Constituents:</b>		
<b>Cobble</b>	3 – 12	75 – 300
<b>Boulder</b>	12 – 120	300 – 3050

The primary soil type is capitalized, and the fines content in the soil are described as indicated by the following examples. Percentages are based on estimating amounts of fines, sand, and gravel to the nearest 5 percent. Other soil mixtures will have similar descriptive names.

**Example: Coarse-Grained Soil Descriptions with Fines**

>5% to < 15% fines (Dual Symbols)	≥15% to < 50% fines
Well graded GRAVEL with silt: GW-GM	Silty GRAVEL: GM
Poorly graded SAND with clay: SP-SC	Silty SAND: SM

Additional descriptive terminology applied to coarse-grained soils follow.

**Example: Coarse-Grained Soil Descriptions with Other Coarse-Grained Constituents**










Coarse-Grained Soil Containing Secondary Constituents	
<b>With sand or with gravel</b>	≥ 15% sand or gravel
<b>With cobbles; with boulders</b>	Any amount of cobbles or boulders.

Cobble and boulder deposits may include a description of the matrix soils, as defined above.

**Relative Density** terms are applied to granular, non-plastic soils based on direct measure or correlation to the Standard Penetration Test N-value as determined by ASTM D1586-84.

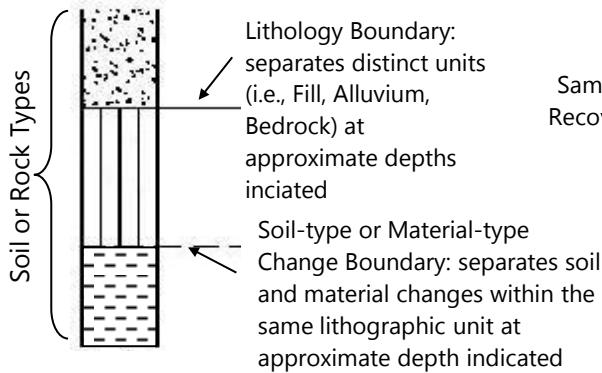
Relative Density Term	SPT N-value
<b>Very loose</b>	0 – 4
<b>Loose</b>	5 – 10
<b>Medium dense</b>	11 – 30
<b>Dense</b>	31 – 50
<b>Very dense</b>	> 50

**SAMPLING DESCRIPTIONS**

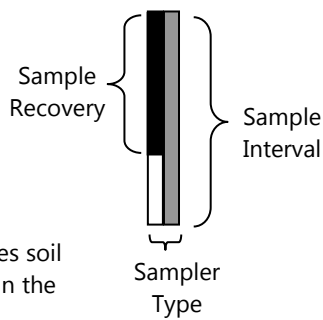
 SPT Drive Sampler Standard Penetration Test ASTM D 1586	 Shelby Tube Push Sampler ASTM D 1587	 Specialized Drive Samplers (Details Noted on Logs)	 Specialized Drill or Push Sampler (Details Noted on Logs)	 Grab Sample	 Rock Coring Interval	 Screen (Water or Air Sampling)	 Water Level During Drilling/Excavation	 Water Level After Drilling/Excavation
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**LOG GRAPHICS**

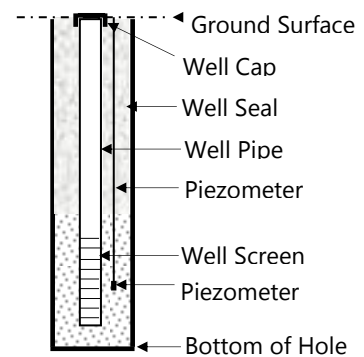
**Soil and Rock**



**Sampling Symbols**



**Instrumentation Detail**



**Geotechnical Testing Acronym Explanations**

PP	Pocket Penetrometer	HYD	Hydrometer Gradation
TOR	Torvane	SIEV	Sieve Gradation
DCP	Dynamic Cone Penetrometer	DS	Direct Shear
ATT	Atterberg Limits	DD	Dry Density
PL	Plasticity Limit	CBR	California Bearing Ratio
LL	Liquid Limit	RES	Resilient Modulus
PI	Plasticity Index	VS	Vane Shear
P200	Percent Passing US Standard No. 200 Sieve	bgs	Below ground surface
OC	Organic Content	MSL	Mean Sea Level
CON	Consolidation	HCL	Hydrochloric Acid
UC	Unconfined Compressive Strength		



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PORTLAND, OREGON

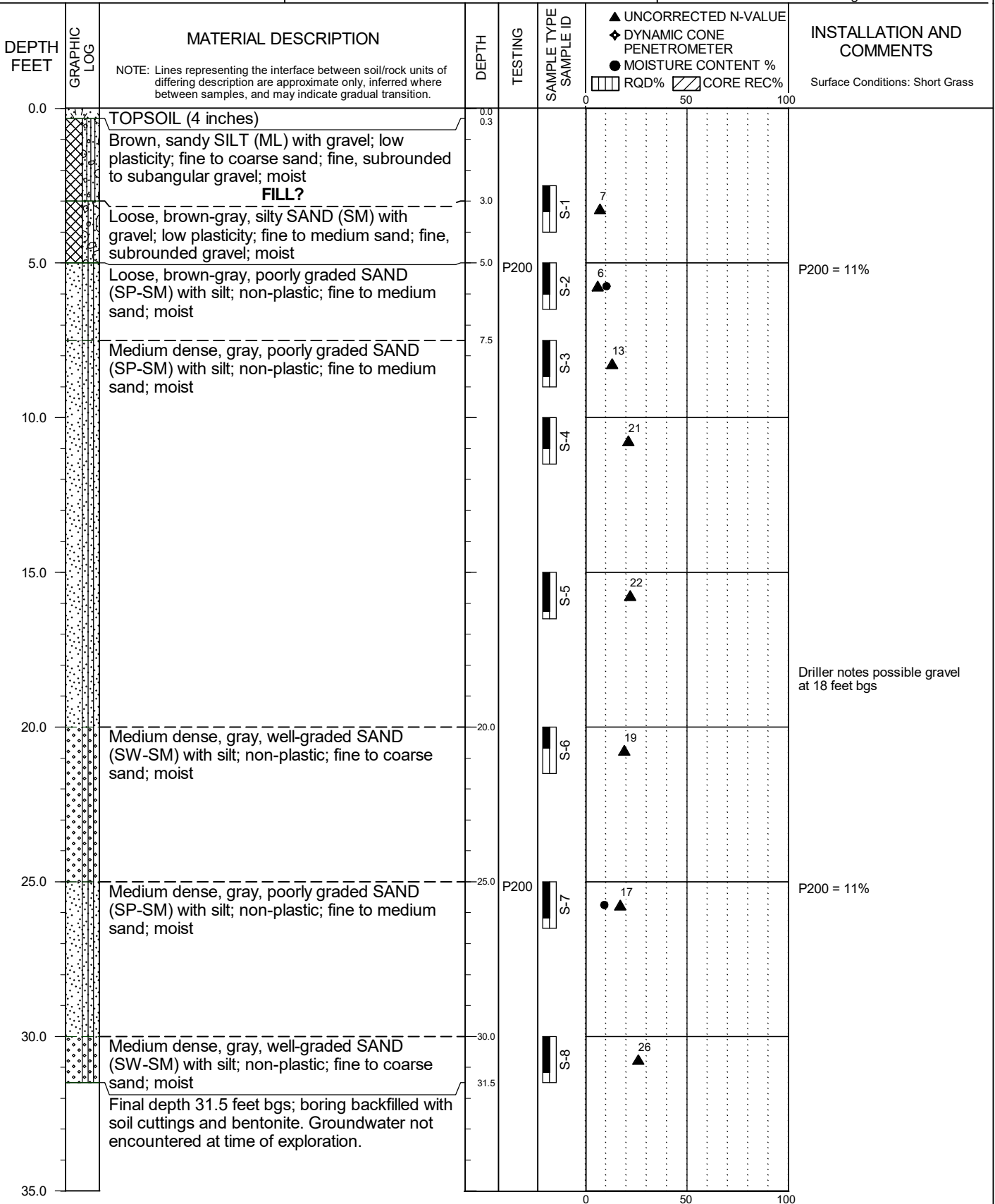
**BORING B-1**

PBS PROJECT NUMBER:  
15194.645

APPROX. BORING B-1 LOCATION:  
(See Site Plan)

Lat: 45.59003

Long: -122.75083



BORING LOG: 15194.645 B1-2\_20230825.GPJ\_PBS\_DATATMPL\_GEO.GDT PRINT DATE: 9/8/23.RPG

DRILLING METHOD: Solid-Stem Auger  
DRILLED BY: Dan J. Fischer Excavating, Inc.  
LOGGED BY: J. Powell

BIT DIAMETER: 4 inches  
HAMMER EFFICIENCY PERCENT: 60  
LOGGING COMPLETED: 8/18/2023

**FIGURE A1**



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PORTLAND, OREGON

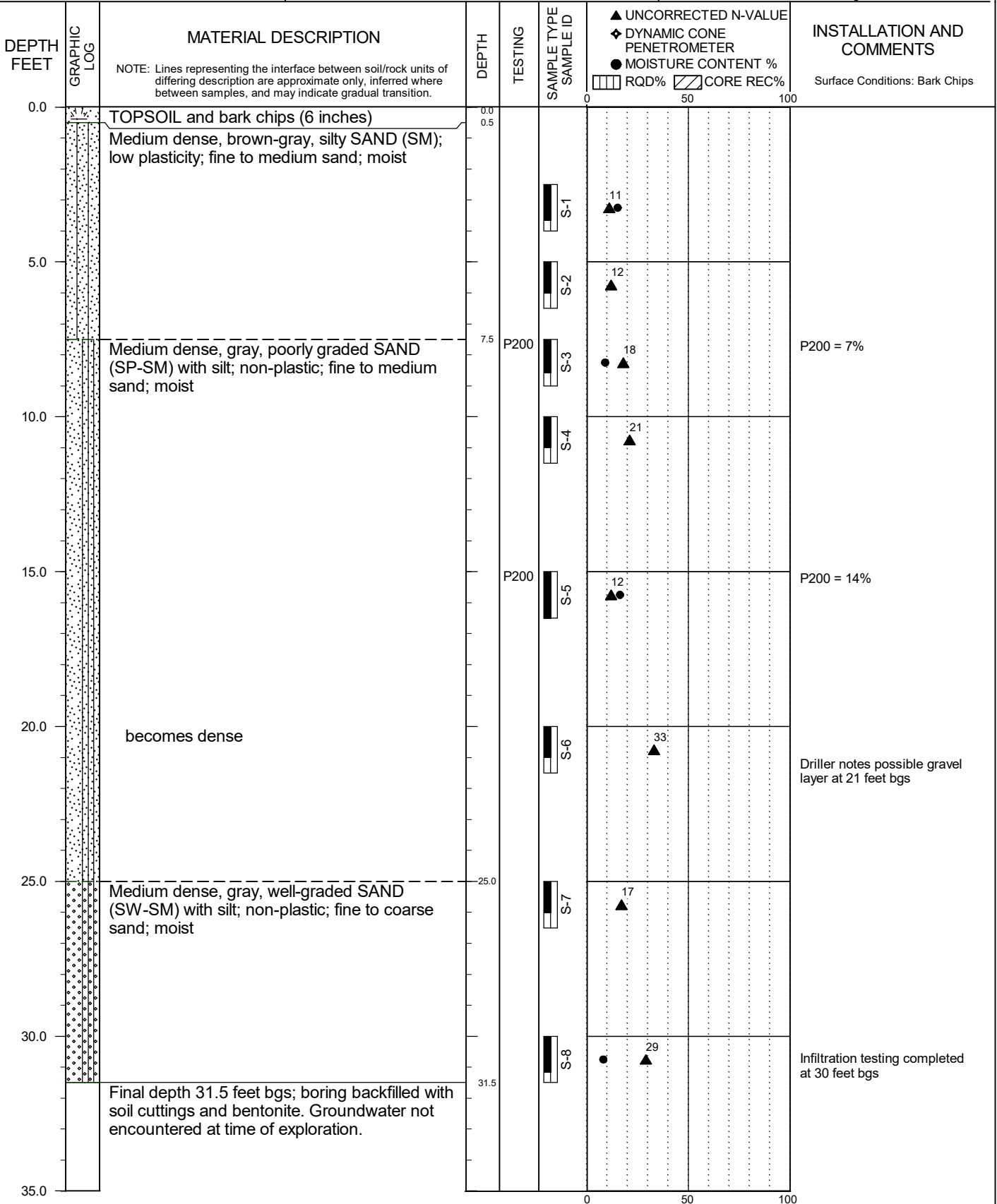
**BORING B-2**

PBS PROJECT NUMBER:  
15194.645

APPROX. BORING B-2 LOCATION:  
(See Site Plan)

Lat: 45.58989

Long: -122.75084



BORING LOG: 15194.645 B1-2\_20230825.GPJ\_PBS\_DATATMPL\_GEO.GDT PRINT DATE: 9/8/23.RPG

DRILLING METHOD: Solid-Stem Auger  
DRILLED BY: Dan J. Fischer Excavating, Inc.  
LOGGED BY: J. Powell

BIT DIAMETER: 4 inches  
HAMMER EFFICIENCY PERCENT: 60  
LOGGING COMPLETED: 8/18/2023

**FIGURE A2**

# **Appendix B**

## **Laboratory Testing**

## **Appendix B: Laboratory Testing**

### **B1 GENERAL**

Samples obtained during the field explorations were examined in the PBS laboratory. The physical characteristics of the samples were noted and field classifications were modified where necessary. During the course of examination, representative samples were selected for further testing. The testing program for the soil samples included standard classification tests, which yield certain index properties of the soils important to an evaluation of soil behavior. The testing procedures are described in the following paragraphs. Unless noted otherwise, all test procedures are in general accordance with applicable ASTM standards. "General accordance" means that certain local and common descriptive practices and methodologies have been followed.

### **B2 CLASSIFICATION TESTS**

#### **B2.1 Visual Classification**

The soils were classified in accordance with the Unified Soil Classification System with certain other terminology, such as the relative density or consistency of the soil deposits, in general accordance with engineering practice. In determining the soil type (that is, gravel, sand, silt, or clay) the term that best described the major portion of the sample is used. Modifying terminology to further describe the samples is defined in Table A-1, Terminology Used to Describe Soil, in Appendix A.

#### **B2.2 Moisture (Water) Contents**

Natural moisture content determinations were made on samples of the fine-grained soils (that is, silts, clays, and silty sands). The natural moisture content is defined as the ratio of the weight of water to dry weight of soil, expressed as a percentage. The results of the moisture content determinations are presented on the exploration logs in Appendix A and on Figure B1, Summary of Laboratory Data, in Appendix B.

#### **B2.3 Grain-Size Analyses (P200 Wash)**

Washed sieve analyses (P200) were completed on samples to determine the portion of soil samples passing the No. 200 Sieve (i.e., silt and clay). The results of the P200 test results are presented on the exploration logs in Appendix A and on Figure B1, Summary of Laboratory Data, in Appendix B.



**SUMMARY OF LABORATORY DATA**

ST. JOHNS LIBRARY  
PORTLAND, OREGON

PBS PROJECT NUMBER:  
15194.645

SAMPLE INFORMATION				MOISTURE CONTENT (PERCENT)	DRY DENSITY (PCF)	SIEVE			ATTERBERG LIMITS		
EXPLORATION NUMBER	SAMPLE NUMBER	SAMPLE DEPTH (FEET)	ELEVATION (FEET)			GRAVEL (PERCENT)	SAND (PERCENT)	P200 (PERCENT)	LIQUID LIMIT (PERCENT)	PLASTIC LIMIT (PERCENT)	PLASTICITY INDEX (PERCENT)
B-1	S-2	5		10.2			11				
B-1	S-7	25		9.2			11				
B-2	S-1	2.5		15.1							
B-2	S-3	7.5		9.0			7				
B-2	S-5	15		16.3			14				
B-2	S-8	30		8.1							



# Arborist Report & Pre-Construction Tree Inventory

*This is not a tree protection plan.*

October 2023



Prepared For:

Elise Hendrickson  
Library Bond PMO  
Sr Project Manager  
Multnomah County  
Facilities & Property Management  
Division  
503.309.9209  
St. John's Library  
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Sub for A Plus Tree/Treecology  
Contract #937015

Prepared By:

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## Notice of Disclaimer

*Assessment data provided by Community Forest Solutions is based on visual recording at the time of inspection. Visual records do not include testing or analysis and do not include aerial or subterranean inspection unless indicated. Community Forest Solutions is not responsible for discovery or identification of hidden or otherwise non-observable risks. Records may not remain accurate after inspection due to variable deterioration of surveyed material. Risk assessments are based on observable defects and mitigation recommendations do not reduce potential liability to the owner. Community Forest Solutions provides no warranty with respect to the fitness of the trees for any use or purpose whatsoever.*

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# Summary

On September 25, 2023, Ruth Williams, an International Society of Arboriculture (ISA) Board Certified Master Arborist (#WE-7317-BM) completed an assessment and inventory of the trees at and adjacent to St. John's Library as contracted by the client, Multnomah County. The arborist performed a visual assessment of all trees within client-supplied boundaries. The arborist evaluated the current condition, health, and size of each tree and photo documented the site. The results were used to determine the Tree Root Protection Zone of the trees (RPZ), as well as recommended tree protection measures required during construction in order to limit construction impacts on these trees. Prior to the assessment, no recent construction, grading, or ground disturbance had occurred. This Pre-Construction Tree Inventory can be used by the design team to determine the trees best suited for preservation, and which should be removed.

## Observations

- The site is a library property with a parking lot adjacent to a school. The site has a significant slope on the west side of the building and several stairs are used to access the main entry.
- Thirty (30) trees and shrubs were assessed.
- The condition ratings are good (21), and fair (9). Diameters at breast height (DBHs) range from 3-51"
- Tree #21-23 are on adjacent property. Trees #24 -27 are street trees.

## Analysis

Twenty eight (28) trees are good candidates for preservation, however not all require protection by the City of Portland.

- Four (4) trees are *Prunus avium*. City of Portland includes *P. avium* on their Nuisance Tree List, although these particular trees are not currently creating a discernible nuisance.
- Four (4) trees are under 6" DBH and not regulated.
- Two (2) shrubs include Portuguese laurel and viburnum and are not regulated.
- Regardless of tree protection requirements, CFS will provide protection guidelines to meet the client's preservation intent of any trees or shrubs on site designated by the design team as they are all landscape assets with value and the potential to provide the site with aesthetic and ecosystem benefits.
- Any trees or shrubs not identified for preservation should be removed in the early stages of construction.

This is not a tree protection plan. This report focuses on providing tree inventory data, and provides the RPZs of these trees for planning purposes. CFS has provided a general metric for construction tolerance by species and condition, but has not reviewed design concepts, utilities, grading, or drainage. Arborist monitoring of construction is required whenever work is within the Tree Protection Zones. All excavation and demolition within the RPZ of the tree should be completed by hand or with pneumatic excavation tools. The trees should be monitored by a Certified Arborist at the end of construction, and if any foliar browning, seasonally unusual loss, or lean is noticed.

Respectfully submitted by:



Ruth Williams, Community Forest Solutions  
ISA Board Certified Master Arborist WE-7317-BM

# Introduction

## Background

This assessment was requested by Elise Hendrickson on behalf of Multnomah County Library, in anticipation of upcoming renovation and redevelopment. This report details the health, size, and location of the trees and discusses the potential for preservation based on tree condition. Next, with design team input to determine which trees are desired for preservation or removal, Community Forest Solutions will develop a tree protection plan for submission to the City of Portland. This is not a tree protection plan.

## Limits of the Assignment

Many factors can limit specific and accurate data when performing evaluations of trees, their conditions, and values. The determinations and recommendations presented here are based on current data and conditions that existed at the time of the evaluation and cannot be a predictor of the ultimate outcomes for the trees. A visual inspection was used to develop the findings, conclusions, and recommendations found in this report. Values were assigned to grade the attributes of the trees, including structure and canopy health, and to obtain an overall condition rating. No physical inspection of the upper canopy, sounding, root crown excavation, or advanced methods were used in the evaluation of the trees.

The client has provided a site survey for reference for this project. It is assumed the locations of the trees relative to property boundaries on the survey provided are correct. CFS is not a surveyor.

The trees were assessed leaf-on. Additional assessment of tree structure leaf-off is recommended as structural features may be evaluated.

# Methods

Data was collected by an ISA Board Certified Master Arborist (Ruth Williams #WE-7317 BM). A visual inspection was used to develop the findings, conclusions, and recommendations found in this report. Using a digital tablet to record information, the arborist visually assessed the tree and recorded information. Following data collection, the tree's Root Protection Zone, (RPZ) was calculated. The tree ID numbering was assigned.

The following attributes were collected:

**Species:** Tree genus and species were identified. One pine lacked features required for identification to species.

**Diameter at Breast Height (DBH):** Trunk diameter was typically recorded to the nearest inch at 4.5 feet (breast height) above grade. When limbs or deformities occurred at breast height, measurement was taken below 4.5 ft. For multi-stemmed trees, the size was determined by measuring all the trunks, and then adding the total diameter of the largest trunk to one-half the diameter of each additional trunk.

**Condition:** The arborist evaluated the structure and health of the tree compared to other trees in urban landscapes. Good, fair, poor, or dead were used to describe condition. Good trees were performing above average. Fair trees were average with one or more significant defects. Poor trees had defects so severe there is little likelihood of improvement. Trees with less than 5% live crown were classified as dead.

**Construction Tolerance:** Each tree was evaluated for its tolerance to construction based on species, condition, and size. Additional information about specific construction impacts can help refine this rating when available.

**Preservation Potential:** Condition and species suitability to the location were evaluated to rate each tree for preservation. 1 - Tree is required to be preserved as a street tree, or tree provides significant value to the site. 2 - Tree has moderate preservation potential. 3 - Tree has poor preservation potential and should be considered for removal. 4 - Tree is hazardous and requires removal for public safety; tree is dead; or tree is young or small, and can readily be replaced with similar-sized high quality nursery stock, resulting in better project outcomes.

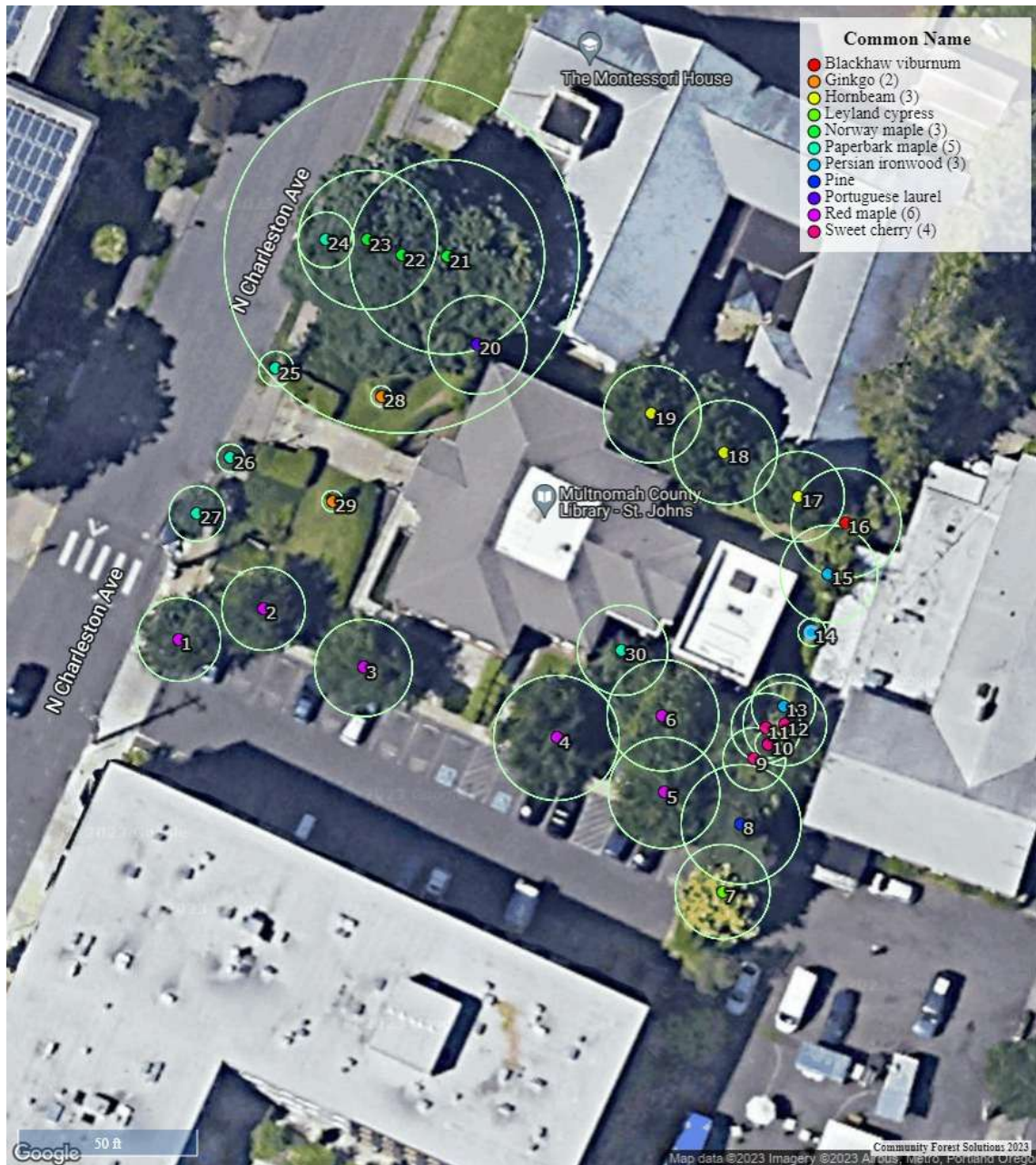


# Observations

## Site Observations

The site is a library property with a parking lot adjacent to a school and multi-family housing. There is a slope down to the northwest from the main entrance to the road that includes stairs. High voltage lines are present along N Charleston Ave. The circles below represent the estimated TPZ of the trees and shrubs included in this report.

Map 1. Site Overview



# Tree Observations

Thirty (30) trees and shrubs were assessed. The condition ratings are good (21), and fair (9). Diameters at breast height (DBHs) range from 3-51". Tree #21-23 are on adjacent property. Street trees and adjacent property trees are required to be preserved in construction. In some cases, the City also requires preservation of screening trees between two properties to be preserved.

Table 1. Tree Species, Size and Condition

ID	Common Name	Scientific Name	Condition	DBH	Observation Comments	Construction Tolerance	Preservation Priority	Basis
1	Red maple	<i>Acer rubrum</i>	Good	12		Moderate	1	Parking shade, screening, traffic calming
2	Red maple	<i>Acer rubrum</i>	Good	12	Previous root pruning, extent unknown. Ground disrupted & visible cut roots at surface.	Moderate	1	Parking shade, screening, traffic calming
3	Red maple	<i>Acer rubrum</i>	Good	14		Moderate	1	Parking shade, screening, traffic calming
4	Red maple	<i>Acer rubrum</i>	Good	18		Moderate	1	Parking shade, screening, traffic calming
5	Red maple	<i>Acer rubrum</i>	Good	16		Moderate	1	Parking shade, screening, traffic calming
6	Red maple	<i>Acer rubrum</i>	Good	16		Moderate	1	Landscaping, screening
7	Leyland cypress	<i>Cupressus x leylandii</i>	Good	15	Stems 11,8"; seasonally golden cultivar	High	1	Landscaping, screening
8	Pine	<i>Pinus spp.</i>	Good	19	Stems 14,10"	High	1	Landscaping, screening
9	Sweet cherry	<i>Prunus avium</i>	Fair	9	City of Portland includes this species on their Nuisance Tree List, although these particular trees are not currently creating a discernible nuisance.	High	2	Landscaping
10	Sweet cherry	<i>Prunus avium</i>	Good	4		High	2	Landscaping
11	Sweet cherry	<i>Prunus avium</i>	Good	10		High	2	Landscaping
12	Sweet cherry	<i>Prunus avium</i>	Good	12		High	2	Landscaping
13	Persian ironwood	<i>Parrotia persica</i>	Good	9		High	2	Landscaping, screening
14	Persian ironwood	<i>Parrotia persica</i>	Good	4		High	2	Landscaping, screening
15	Persian ironwood	<i>Parrotia persica</i>	Good	13	Stems 4,4,4,4,4,2"	High	2	Landscaping, screening
16	Blackhaw viburnum	<i>Viburnum prunifolium</i>	Fair	18	Stems 13,9" estimated due to vine growth, shrub species; not regulated.	Unknown	2	Landscaping, screening



ID	Common Name	Scientific Name	Condition	DBH	Observation Comments	Construction Tolerance	Preservation Priority	Basis
17	Hornbeam	<i>Carpinus betulus</i>	Good	13		High	2	Landscaping, screening
18	Hornbeam	<i>Carpinus betulus</i>	Good	15		High	1	Landscaping, screening
19	Hornbeam	<i>Carpinus betulus</i>	Good	14		High	1	Landscaping, screening
20	Portuguese laurel	<i>Prunus lusitanica</i>	Fair	16	Stems 11,9", cavity, shrub species; not regulated.	Low; condition	2	Landscaping, screening
21	Norway maple	<i>Acer platanoides</i>	Fair	28	Adjacent Property - PROTECTED	N/A	1	Landscaping, screening
22	Norway maple	<i>Acer platanoides</i>	Good	51	Adjacent Property - PROTECTED	N/A	1	Landscaping, screening
23	Norway maple	<i>Acer platanoides</i>	Fair	20	Adjacent Property - PROTECTED	N/A	1	Landscaping, screening
24	Paperbark maple	<i>Acer griseum</i>	Fair	8	Clearance pruning needed for parking sign. Street tree.	High	1	Shade, screening, traffic calming
25	Paperbark maple	<i>Acer griseum</i>	Fair	5	Street tree.	High	1	Shade, screening, traffic calming
26	Paperbark maple	<i>Acer griseum</i>	Good	4	Street tree.	High	1	Shade, screening, traffic calming
27	Paperbark maple	<i>Acer griseum</i>	Good	8	Street tree.	High	1	Shade, screening, traffic calming
28	Ginkgo	<i>Ginkgo biloba</i>	Fair	3	Bark damage at base.	Low; condition	2	Landscaping
29	Ginkgo	<i>Ginkgo biloba</i>	Fair	3	Sealing bark damage on trunk.	Low; condition	2	Landscaping
30	Paperbark maple	<i>Acer griseum</i>	Good	13		High	2	Landscaping

# Analysis

## Preservation Priority

Seventeen (17) trees and shrubs have a preservation priority of 1. These include established trees and shrubs that are in good condition and expected to perform well over the next decades. Thirteen (13) trees have a preservation priority of 2, having moderate preservation potential depending on proposed design impacts.

# Root Calculations

This analysis considers two types of roots.

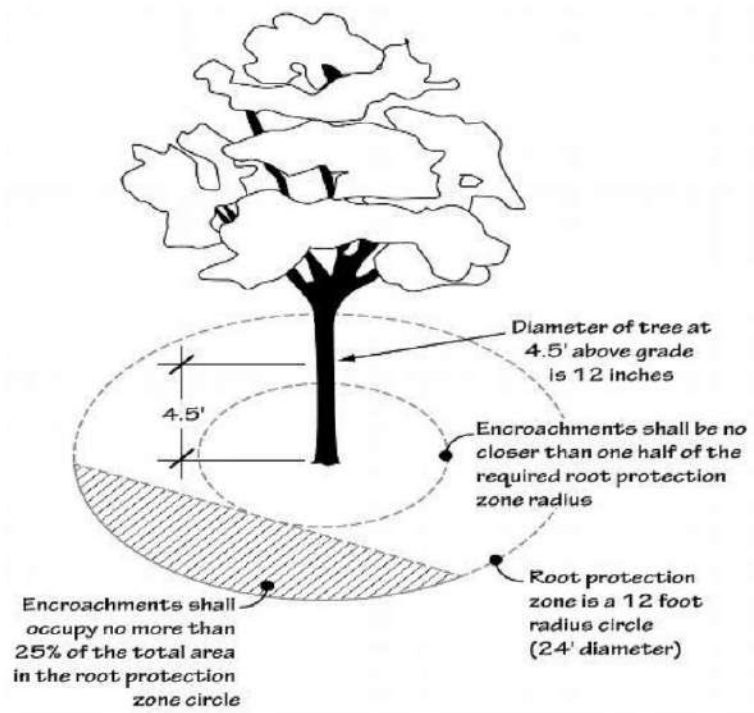
1. Structural roots near the trunk that should not be damaged or cut - Removal of these large anchoring roots can lead to structural instability or failure. These are typically within ½ RPZ.
2. Absorptive and feeder roots - These may be impacted with arborist supervision and monitoring. Removal (or compaction in the area) of the feeder roots can cause immediate water stress, limit a trees' ability to combat decay pathogens, and cause significant declines in condition. The ability of a tree to survive root loss is dependent on its tolerance of drought, tree health, and the ability to form new roots quickly. This area is called the Root Protection Zone (RPZ) in the City of Portland.

The trunk diameter (DBH) of each assessed tree was used to determine the Root Protection Zone (RPZ). The RPZ is considered the ideal preservation area of a tree. It is equal to 1 foot of radius for every inch of trunk diameter measured at 4.5 feet from grade. The RPZ represents the typical rooting area required for tree health and survival. Construction activities should be limited near or in the RPZ of any tree to be retained. This includes but is not limited to the storage of materials, parking of vehicles, contaminating soil by washing out equipment, (concrete, paint, etc.), or changing soil grade.

## Allowable Encroachment

For trees that qualify for prescriptive path tree protection, this illustration shows the City of Portland's allowable encroachment into the Tree Protection Zone for an example tree. However, the trees would benefit from as little encroachment as possible.

If designs call for encroachment beyond the prescriptive path they must be discussed and approved by the arborist in advance.



# Recommendations

1. If designs require grading, trenching, or soil compaction within the SRZ of any tree, it should be removed, or a special plan for retention is required, likely including Arborist supervision of work in the RPZ.
2. Any clearance pruning required for construction access should be conducted prior to onsite construction activities. Deadwood should be removed from any trees identified for retention prior to construction activities. This will facilitate tree condition monitoring throughout the construction period.
3. The project design team should determine a list of trees desired for preservation. These trees will require protection measures that may include the following:
  - a. Supplemental irrigation through drip hose with inline emitters may be applied May - October to support tree retention and health in the construction period. Irrigation should be continued for other already irrigated landscaping.
  - b. Tree protection fencing should be installed. The fence shall be 6 foot tall steel fencing mounted on 2 inch steel poles or t-posts driven 2 feet into the ground spaced no more than 10 feet apart, or mounted in metal fence stands secured to the ground. The City's standard tree protection zone signs shall be affixed to the fencing every 30 feet. The ideal location for the fence is outside of or along the RPZ. If no other alternative exists, fencing should be placed at the furthest extent of construction and moved outward, away from the tree, as construction is completed. Please circle "Prescriptive" on the sign.
    - i. Exception 1: Fence may be placed at the edge of paved surfaces if hardscape is not identified for removal.
4. Due to the sensitive nature of working within the RPZ of trees to be retained, any demolition, excavation or grading within the RPZ of the trees must be performed with hand or pneumatic excavation tools and supervised by a Certified Arborist to monitor and document any tree impacts. If root pruning is required in sidewalk repair, a permit is required. Any significant roots (roots 2 inches in diameter or larger) encountered should be cut cleanly and photo documented under the supervision of the project arborist. If severed roots increase failure risk beyond the property owner's tolerance, the Arborist may recommend tree removal.
5. Efforts to reduce soil compaction and disturbance throughout the site should be implemented. These may include mulch, fencing, and if needed, plywood or metal plates to distribute weight across a broader area. When designs and access routes are provided, CFS will provide specific instructions for the placement and materials of these mitigation measures.
6. No material shall be stored, nor concrete basins, painting equipment washed, or any chemical materials stored within the RPZ of the tree, and no construction chemicals or paint should be released into landscaped areas, as these can be toxic to the tree and contaminate soil.
7. A Certified Arborist should inspect the trees on construction completion, and immediately if any changes in tree health, condition or structural stability develop. If the trees decline, they should be monitored monthly or more frequently. Please call 503-880-3818 to schedule monitoring site visits.

# Conclusion

This report is the first step in preserving the health, function, and value of the trees during and after construction. Trees and green spaces provide benefits and add value to residential properties. Tree preservation starts with a basic understanding of the health and structure of each tree, and the design intent of the project. With proper care and protection, protected trees can continue to thrive well after construction is complete. Tree protection guidelines and strategies should be shared with contractors and employees prior to any disturbance at the site. Successful tree preservation requires a team effort between the property owner, arborist, and project contractors. Using the findings of this report as a guiding foundation, the design team is equipped to identify trees to preserve. Next, CFS will prepare a Tree Protection Plan.

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### GENERAL ARCHITECTURAL NOTES

1. DO NOT SCALE DRAWINGS. REQUEST CLARIFICATION FROM ARCHITECT IF DIMENSIONS ARE NOT INDICATED.
2. DIMENSIONS ARE SHOWN TO DIMENSION POINT (DIM. PT.) OF REFERENCED DETAIL WHERE APPLICABLE.
3. PAINT EXPOSED STRUCTURAL STEEL, MISCELLANEOUS STEEL, FIREPROOFING, DUCTWORK, MECHANICAL EQUIPMENT, MECHANICAL AND SPRINKLER PIPING, ELECTRICAL CONDUIT, AND THEIR SUPPORT SYSTEMS, UNLESS OTHERWISE NOTED.

**ISSUED FOR  
 INFORMATIONAL  
 PURPOSES ONLY**  
**NOT FOR  
 CONSTRUCTION**

MULTNOMAH COUNTY LIBRARIES  
 ST JOHNS LIBRARY  
 7510 N Charleston Ave, Portland, OR 97203

Mark | Date | Description of Revision | By

1  
 Drawn By: Author  
 Building Number: 615  
 Multico Project Number: P78LB172021 09  
 Checked By: Checker  
 Approved By: Approver

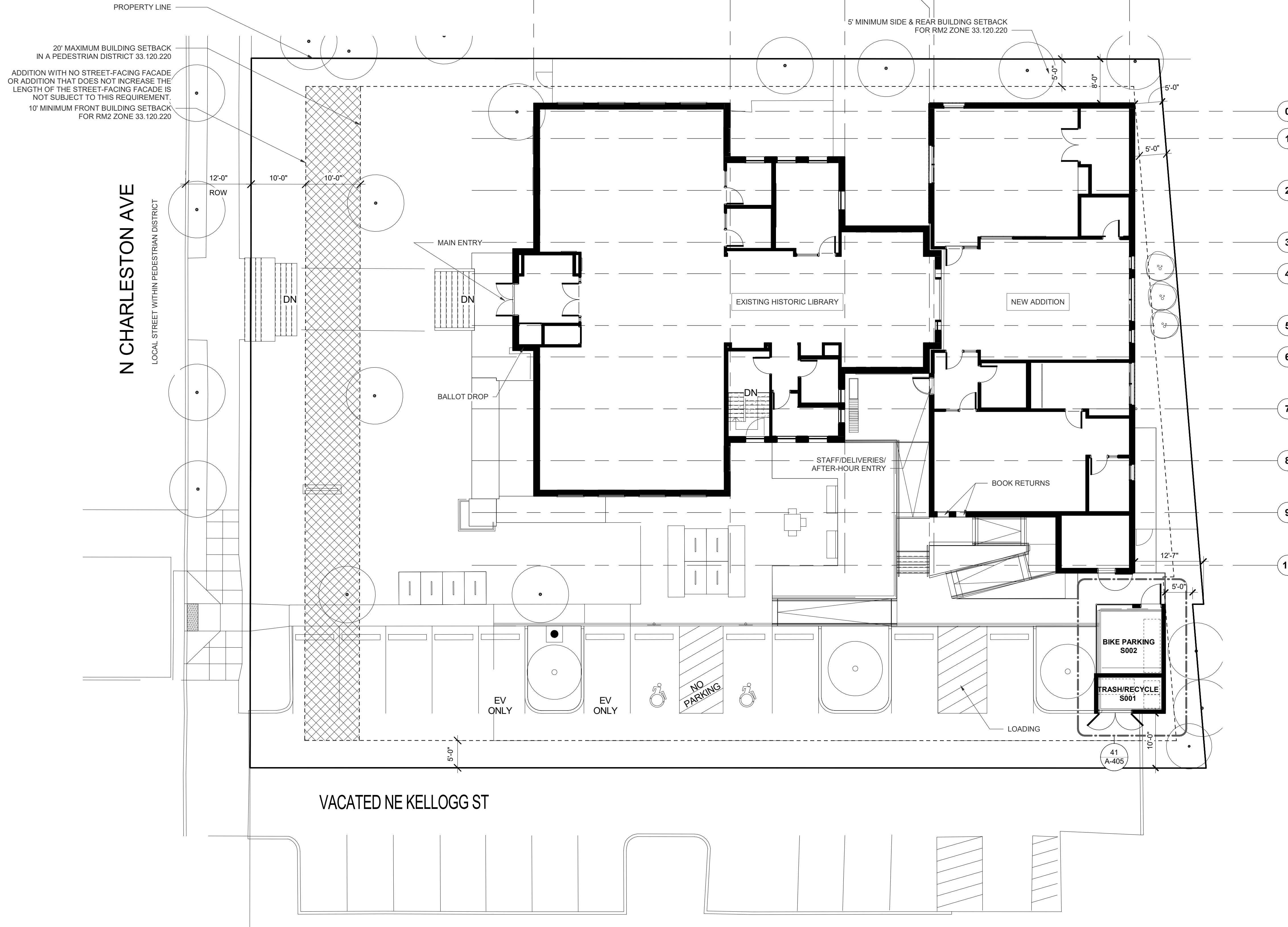
ARCHITECTURAL  
 SITE PLAN

Date: 04/26/2024

AS101-01  
 Sheet Or

04/26/2024

75% CONSTRUCTION DOCUMENTATION



20' MAXIMUM BUILDING SETBACK  
 IN A PEDESTRIAN DISTRICT 33.120.220  
 ADDITION WITH NO STREET-FACING FACADE  
 OR ADDITION THAT DOES NOT INCREASE THE  
 LENGTH OF THE STREET-FACING FACADE IS  
 NOT SUBJECT TO THIS REQUIREMENT.  
 10' MINIMUM FRONT BUILDING SETBACK  
 FOR RM2 ZONE 33.120.220

5' MINIMUM SIDE & REAR BUILDING SETBACK  
 FOR RM2 ZONE 33.120.220

N CHARLESTON AVE  
 LOCAL STREET WITHIN PEDESTRIAN DISTRICT

VACATED NE KELLOGG ST

1 ARCHITECTURAL SITE PLAN  
 1" = 10'-0"

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ELEVATION / SECTION NOTES

- 1. REFER TO ASSEMBLY SHEETS FOR WALL, ROOF, FLOOR, AND CEILING ASSEMBLIES.
- 2. GRADE LINES INDICATED ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO CIVIL AND LANDSCAPE DRAWINGS.
- 3. LINES OF FOUNDATION WALLS AND FOOTINGS ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO STRUCTURAL DRAWINGS FOR FOOTING ELEVATIONS.

GENERAL ARCHITECTURAL NOTES

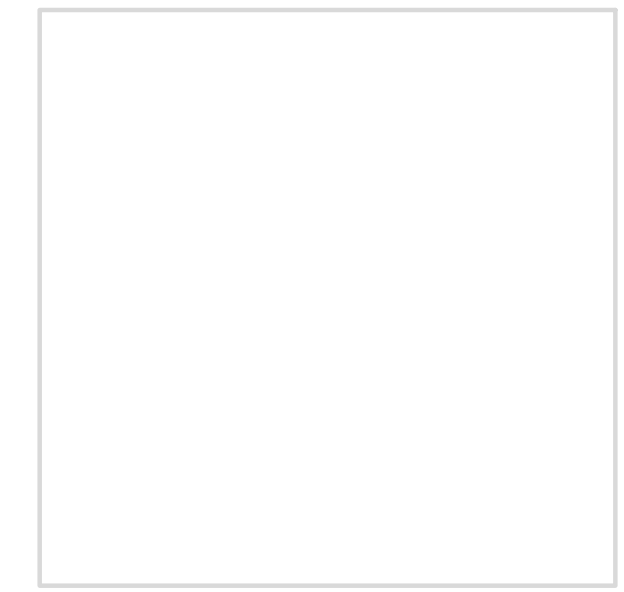
- 1. DO NOT SCALE DRAWINGS. REQUEST CLARIFICATION FROM ARCHITECT IF DIMENSIONS ARE NOT INDICATED.
- 2. DIMENSIONS ARE SHOWN TO DIMENSION POINT (DIM. PT.) OF REFERENCED DETAIL WHERE APPLICABLE.
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Mark	Date	Description of Revision	By

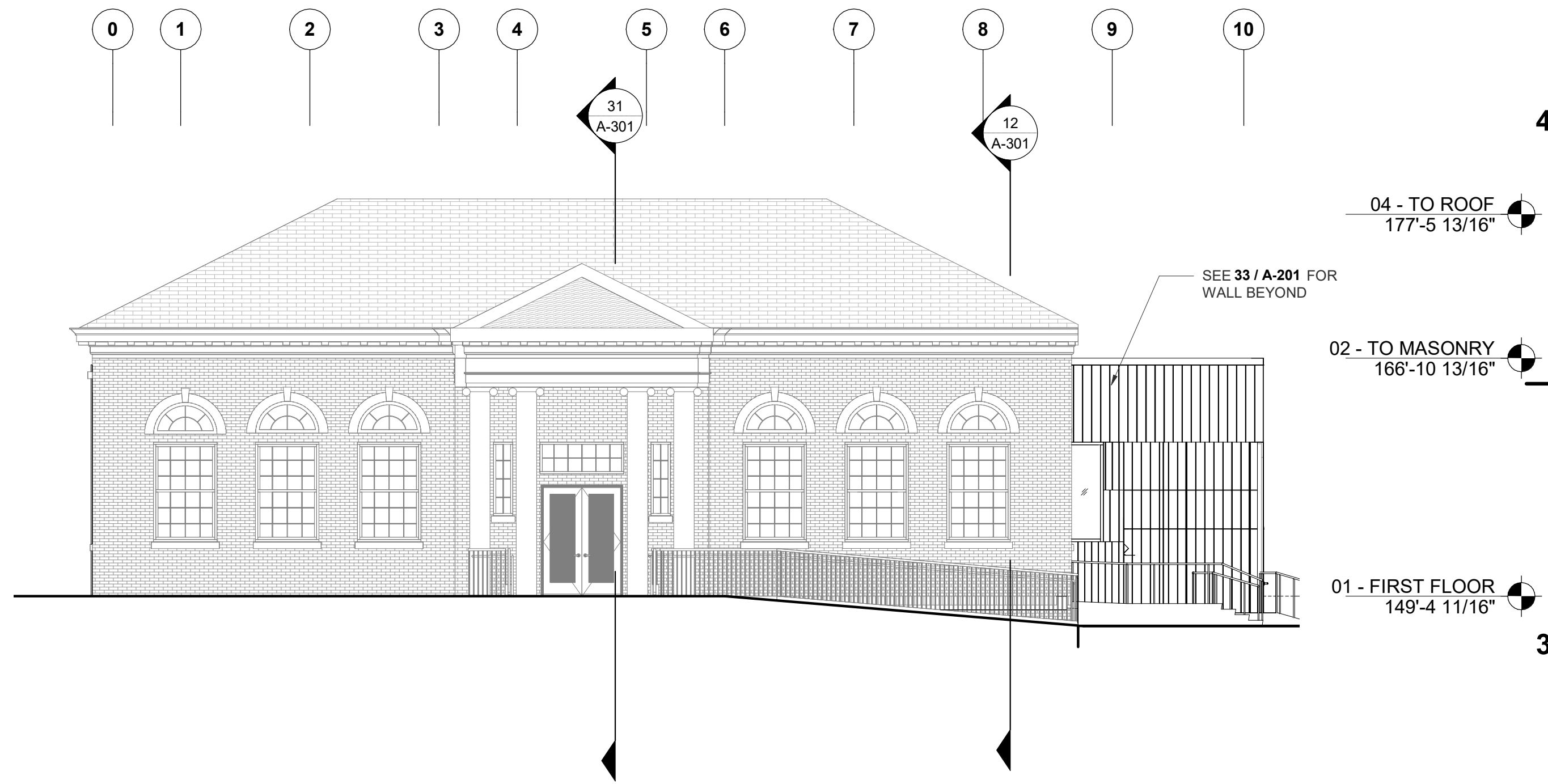
EXTERIOR  
 ELEVATIONS

Date: 04/26/2024

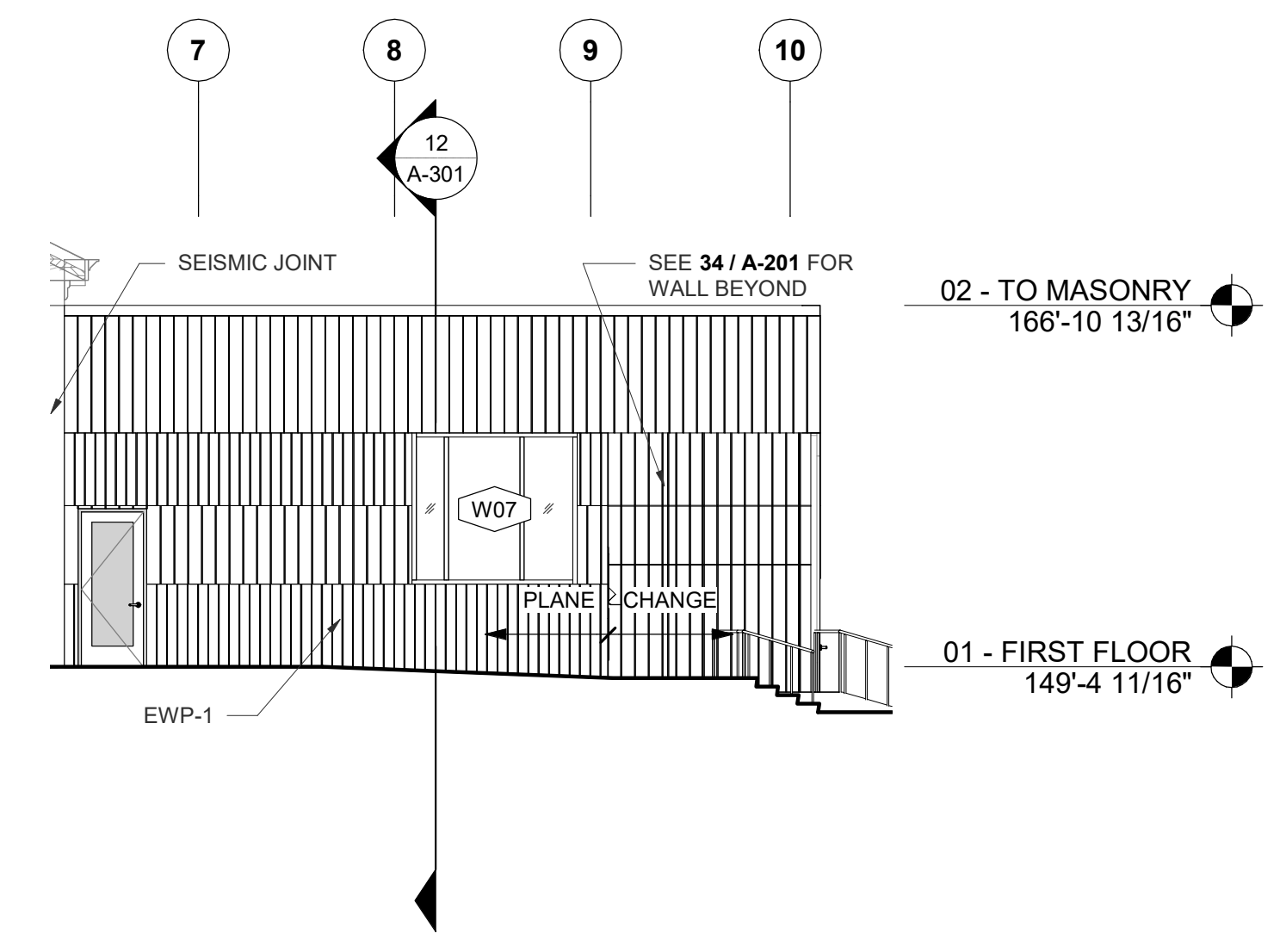
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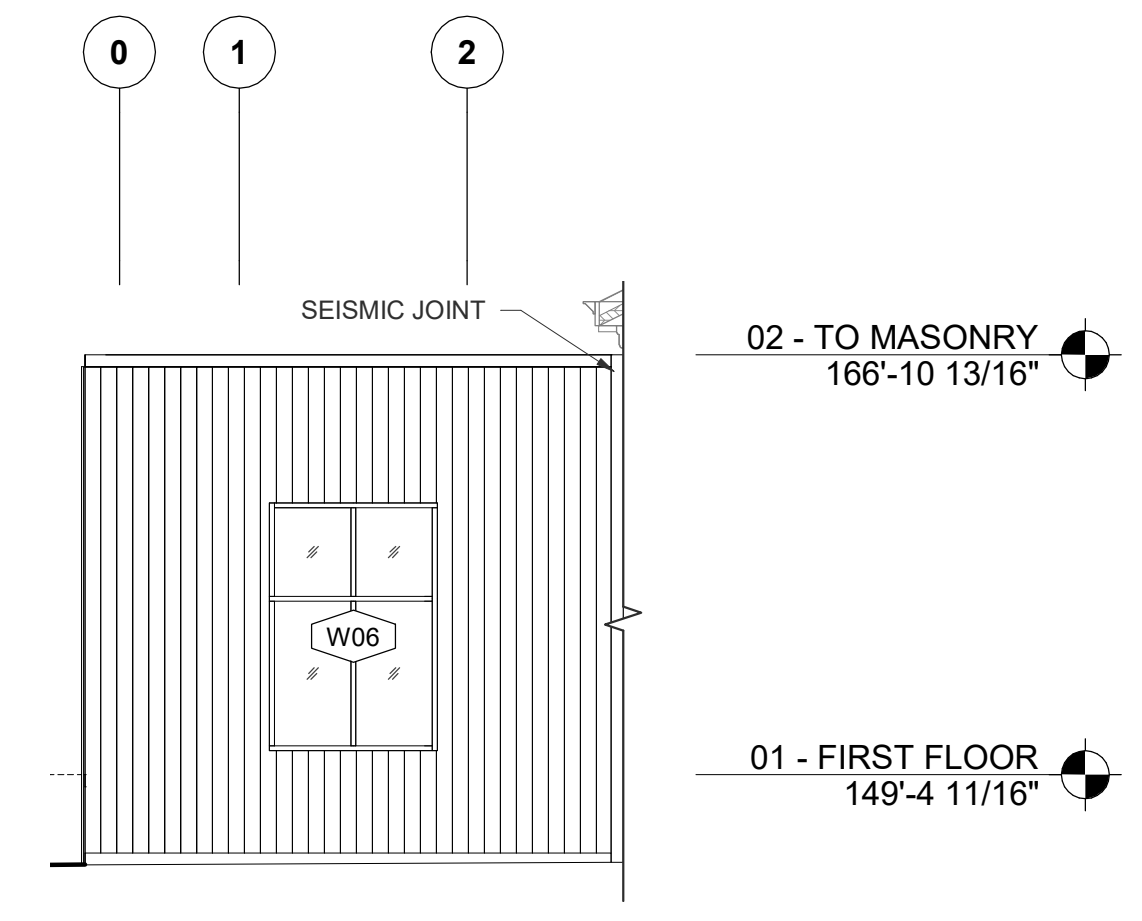
34 WEST ELEVATION - NEW ADDITION UNDER CANOPY  
 1/8" = 1'-0"



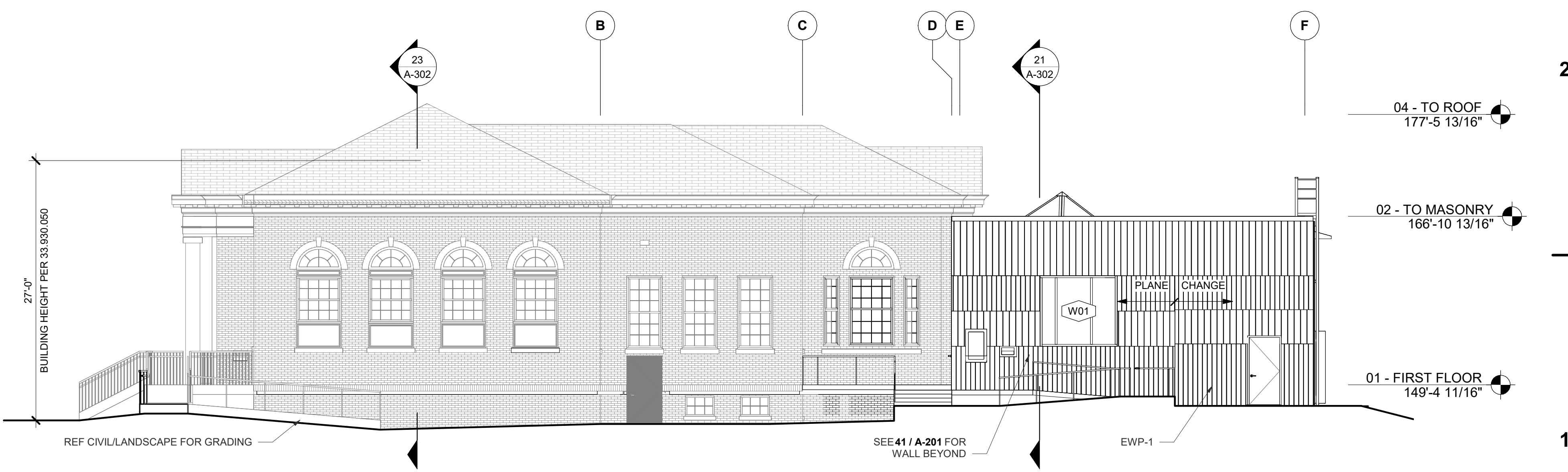
23 WEST ELEVATION  
 1/8" = 1'-0"



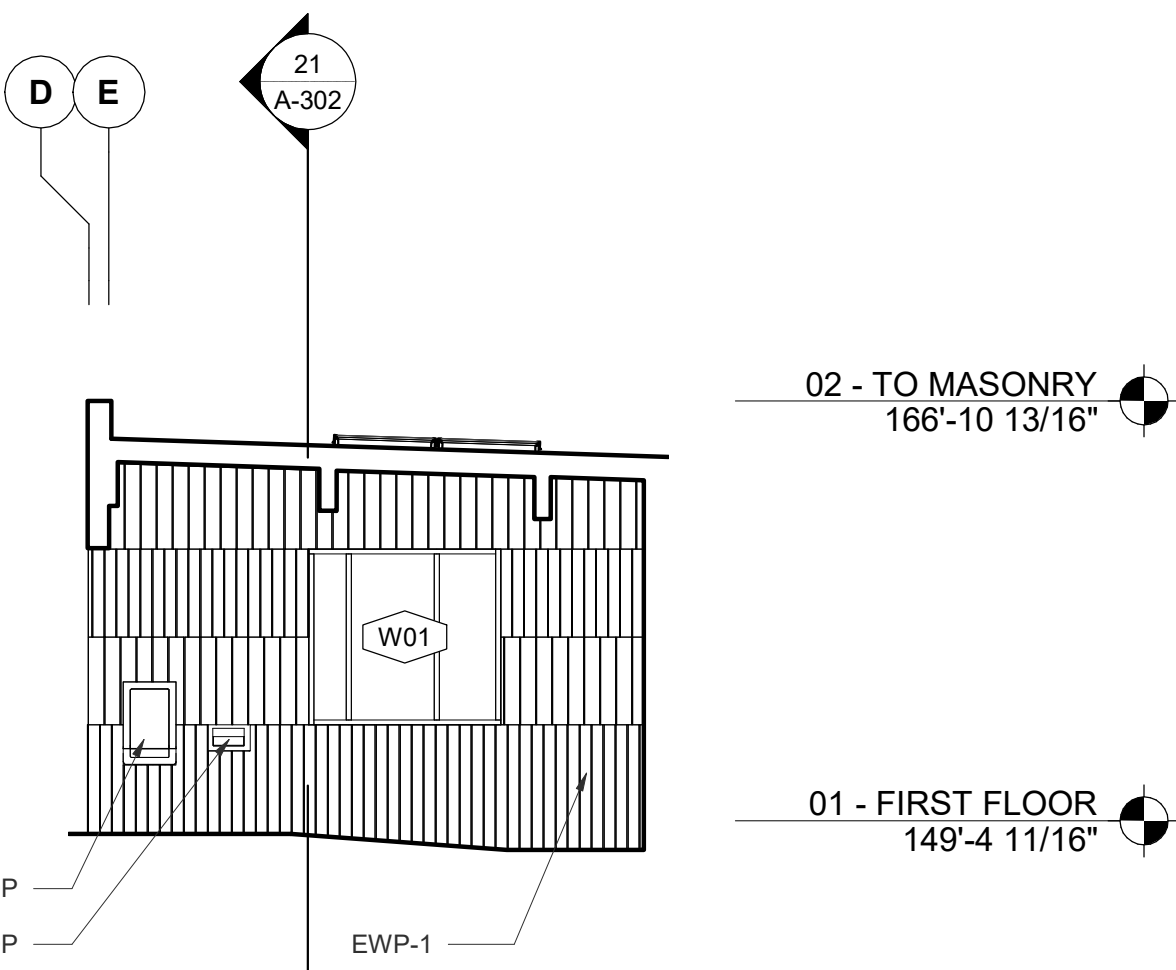
33 WEST ELEVATION - NEW ADDITION SOUTH  
 1/8" = 1'-0"



43 WEST ELEVATION - NEW ADDITION NORTH  
 1/8" = 1'-0"



31 SOUTH ELEVATION  
 1/8" = 1'-0"



41 SOUTH ELEVATION - NEW ADDITION  
 1/8" = 1'-0"

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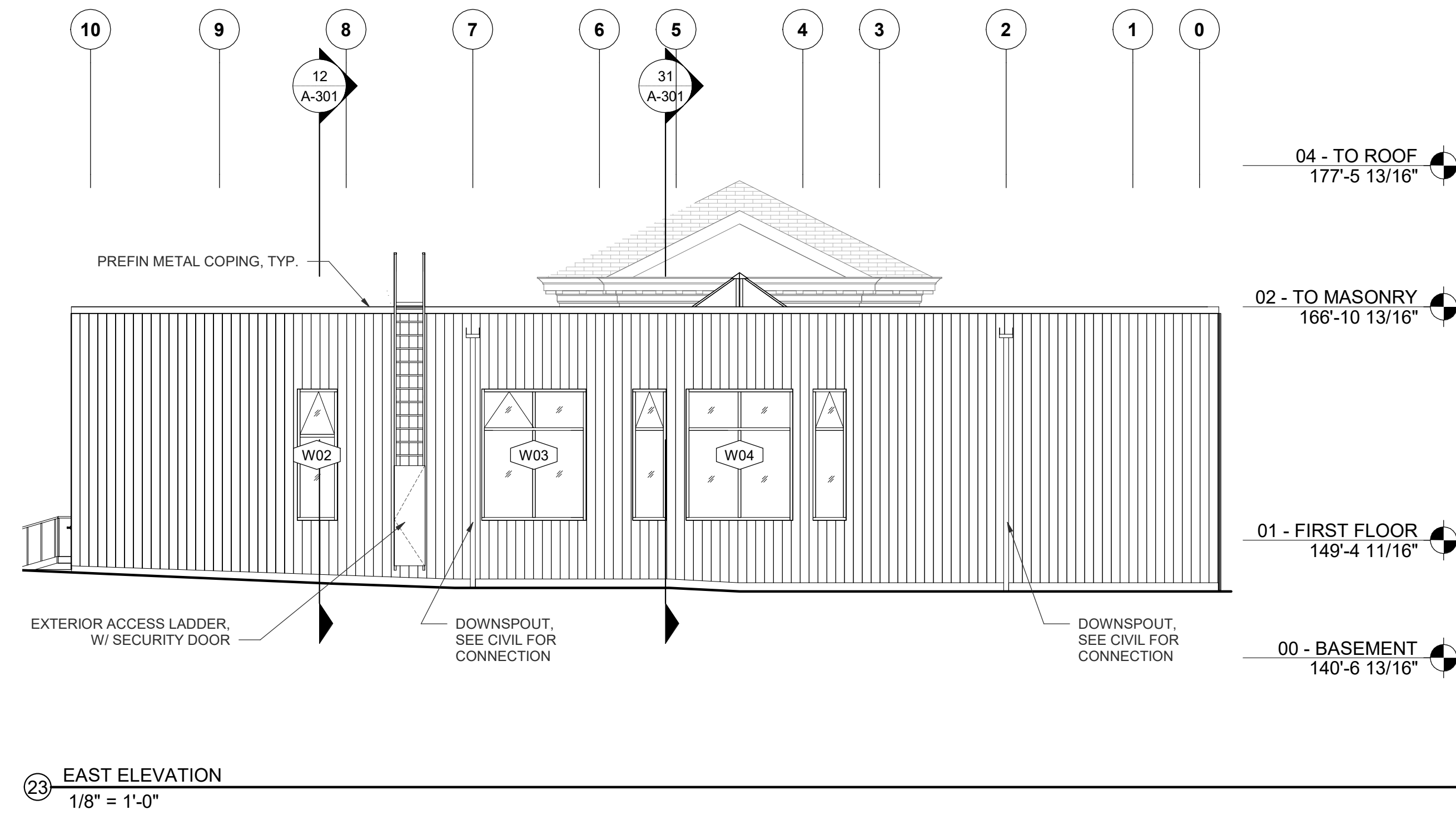
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ELEVATION / SECTION NOTES

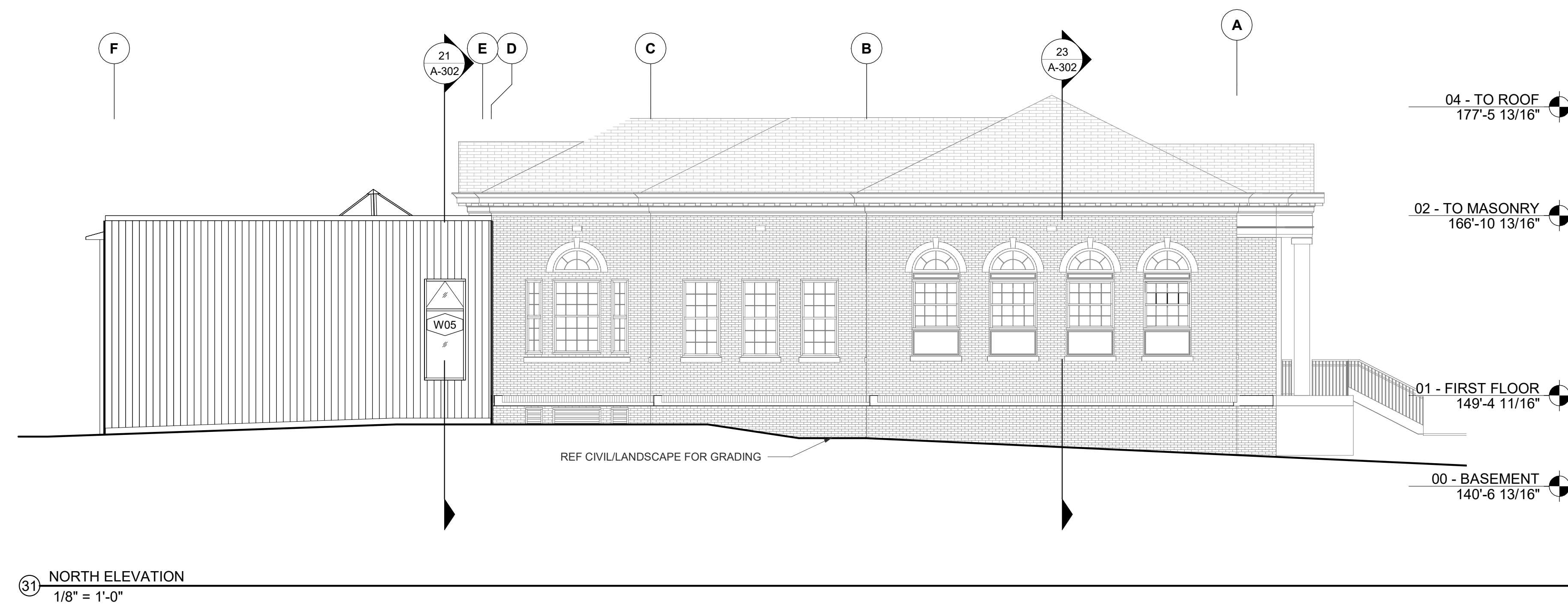
- 1. REFER TO ASSEMBLY SHEETS FOR WALL, ROOF, FLOOR, AND CEILING ASSEMBLIES.
- 2. GRADE LINES INDICATED ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO CIVIL AND LANDSCAPE DRAWINGS.
- 3. LINES OF FOUNDATION WALLS AND FOOTINGS ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO STRUCTURAL DRAWINGS FOR FOOTING ELEVATIONS.

GENERAL ARCHITECTURAL NOTES

- 1. DO NOT SCALE DRAWINGS. REQUEST CLARIFICATION FROM ARCHITECT IF DIMENSIONS ARE NOT INDICATED.
- 2. DIMENSIONS ARE SHOWN TO DIMENSION POINT (DIM. PT.) OF REFERENCED DETAIL WHERE APPLICABLE.
- 3. PAINT EXPOSED STRUCTURAL STEEL, MISCELLANEOUS STEEL, FIREPROOFING, DUCTWORK, MECHANICAL EQUIPMENT, MECHANICAL AND SPRINKLER PIPING, ELECTRICAL CONDUIT, AND THEIR SUPPORT SYSTEMS, UNLESS OTHERWISE NOTED.



23 EAST ELEVATION  
1/8" = 1'-0"



31 NORTH ELEVATION  
1/8" = 1'-0"

MULTNOMAH COUNTY LIBRARIES  
 ST. JOHNS LIBRARY  
 7510 N. Charleston Ave., Portland, OR 97203

Mark	Date	Description of Revision	By

Drawn By:	Checked By:
Author	Checker
Building Number:	Approved By:
615	Approver
Multico Project Number:	
P78LB172021 09	

Sheet Title  
EXTERIOR ELEVATIONS

Date  
04/26/2024

A-202  
Sheet Or

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FLOOR PLAN NOTES

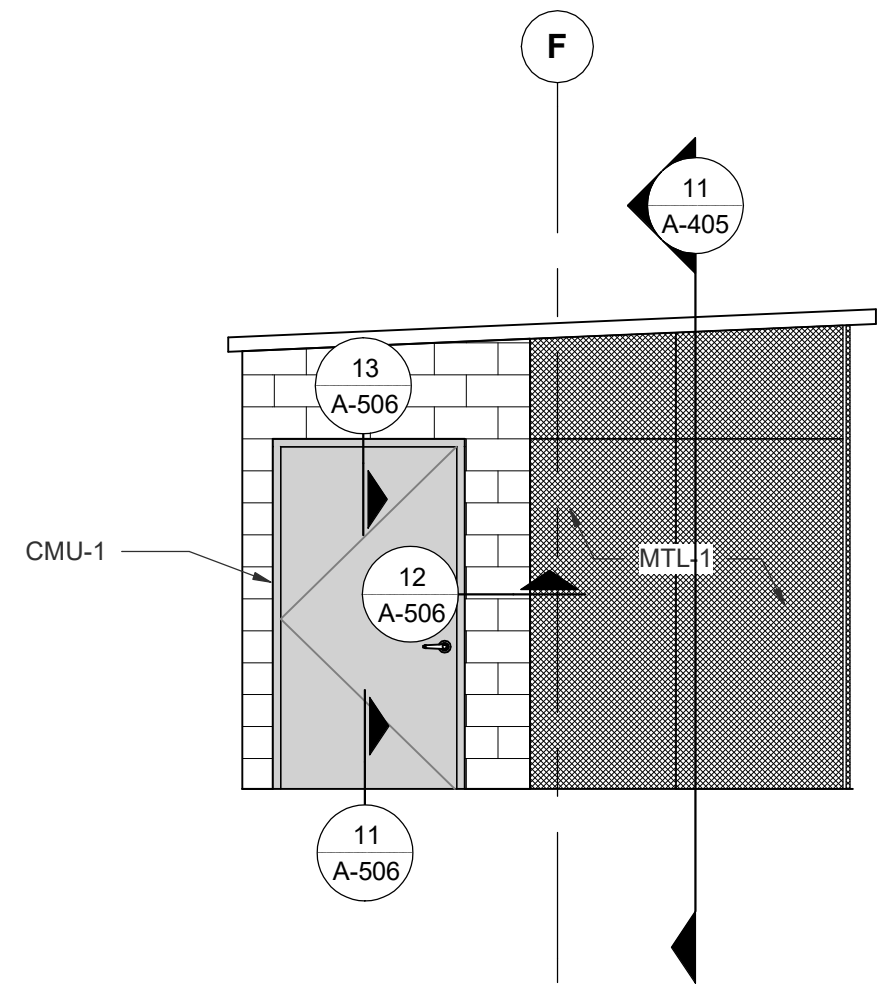
- 1. REFER TO ASSEMBLY SHEETS FOR WALL AND FLOOR ASSEMBLIES.
- 2. DIMENSIONS ARE TO FACE OF GYPSUM BOARD FINISH UNLESS OTHERWISE NOTED. REFER TO ENLARGED PLANS FOR DIMENSIONS WITHIN THOSE AREAS.
- 3. INTERIOR WALLS ARE WALL TYPE 03E UNLESS OTHERWISE NOTED

ELEVATION / SECTION NOTES

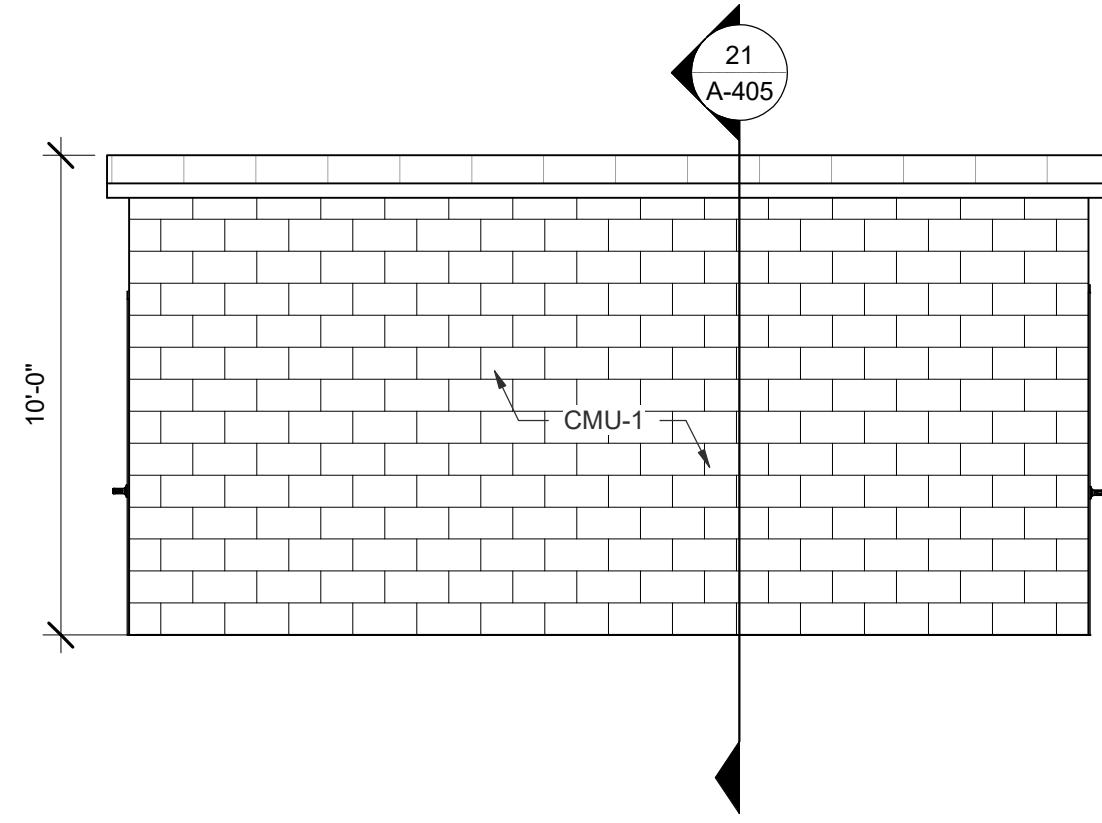
- 1. REFER TO ASSEMBLY SHEETS FOR WALL, ROOF, FLOOR, AND CEILING ASSEMBLIES.
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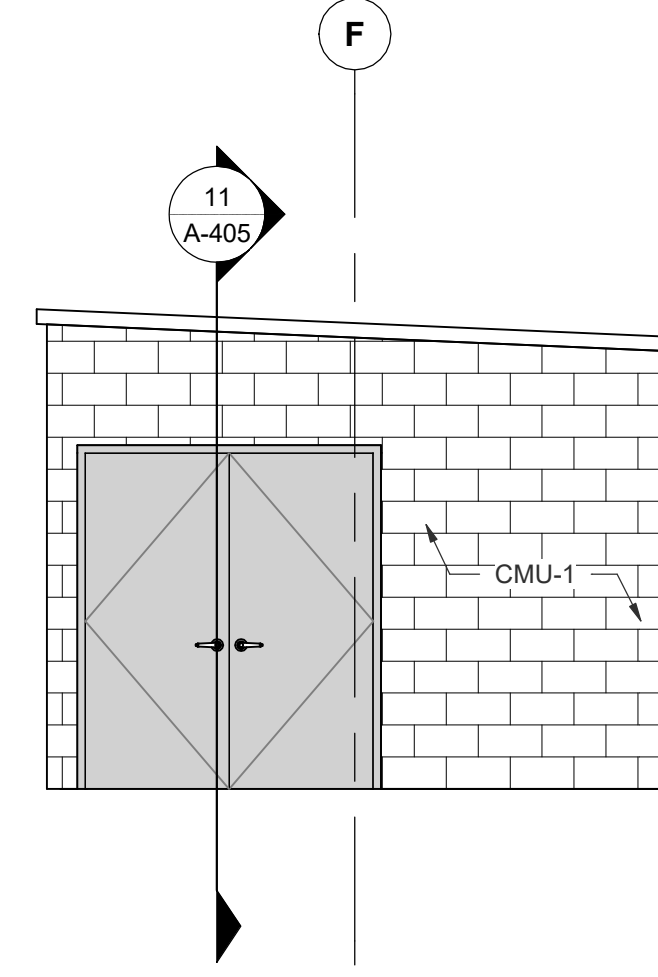
- 1. DO NOT SCALE DRAWINGS. REQUEST CLARIFICATION FROM ARCHITECT IF DIMENSIONS ARE NOT INDICATED.
- 2. DIMENSIONS ARE SHOWN TO DIMENSION POINT (DIM. PT.) OF REFERENCED DETAIL WHERE APPLICABLE.
- 3. PAINT EXPOSED STRUCTURAL STEEL, MISCELLANEOUS STEEL, FIREPROOFING, DUCTWORK, MECHANICAL EQUIPMENT, MECHANICAL AND SPRINKLER PIPING, ELECTRICAL CONDUIT, AND THEIR SUPPORT SYSTEMS, UNLESS OTHERWISE NOTED.



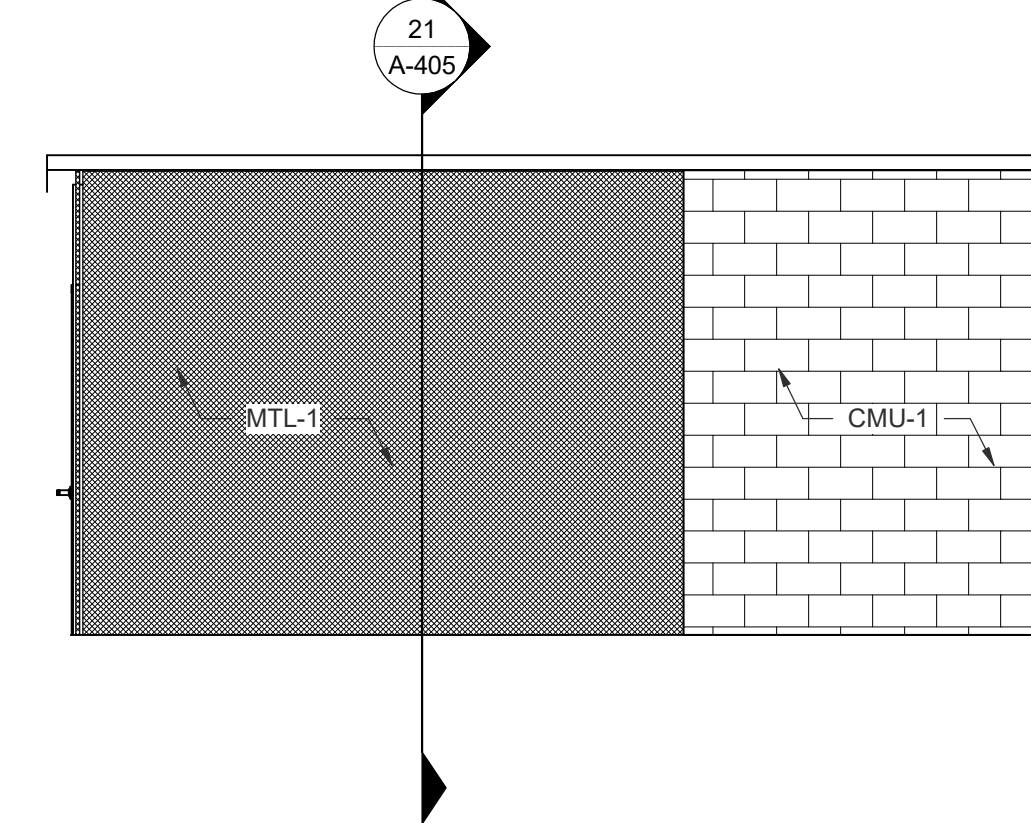
43 ELEVATION - SITE ENCLOSURE - NORTH  
 1/4" = 1'-0"



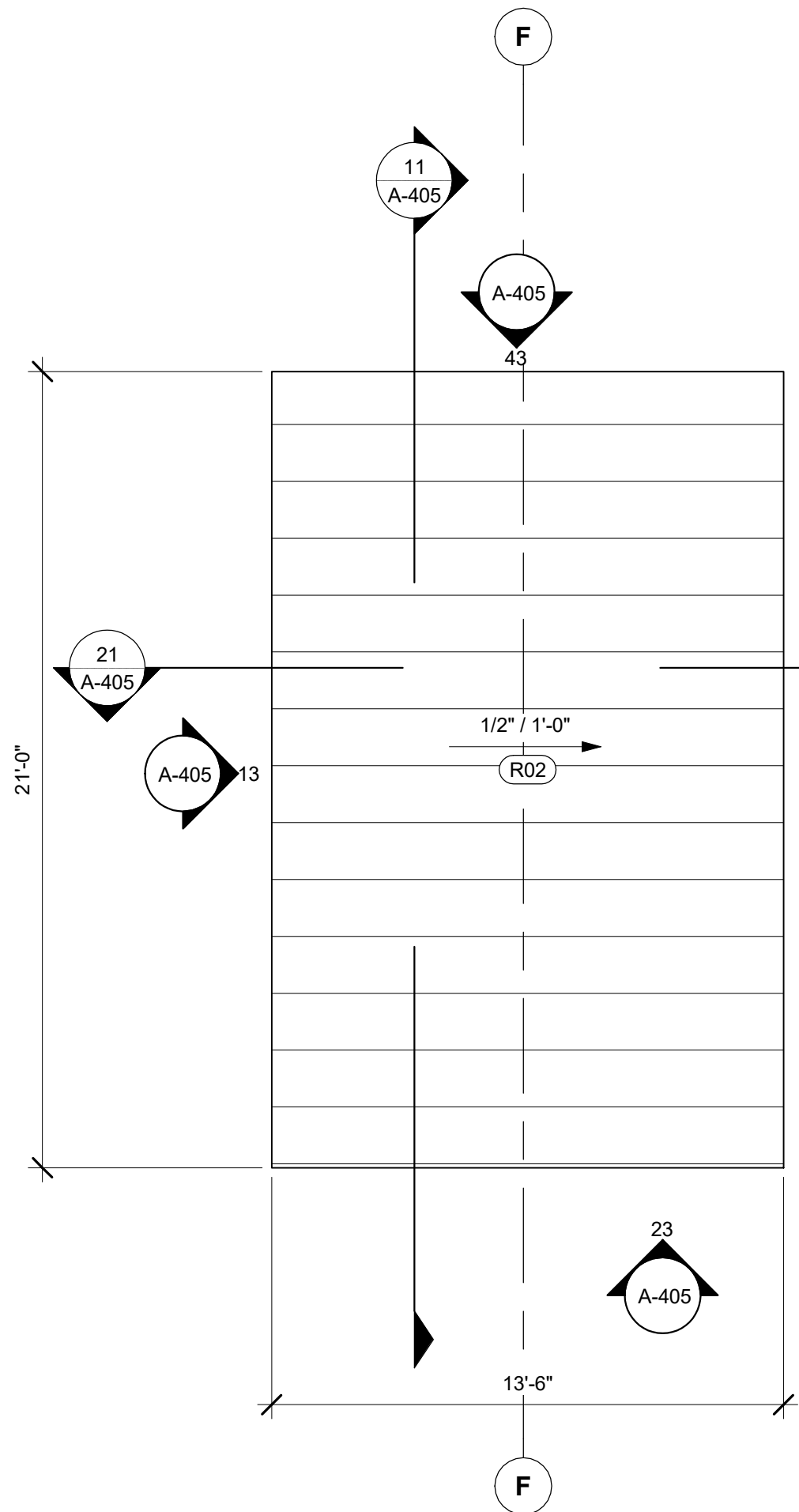
33 ELEVATION - SITE ENCLOSURE - EAST  
 1/4" = 1'-0"



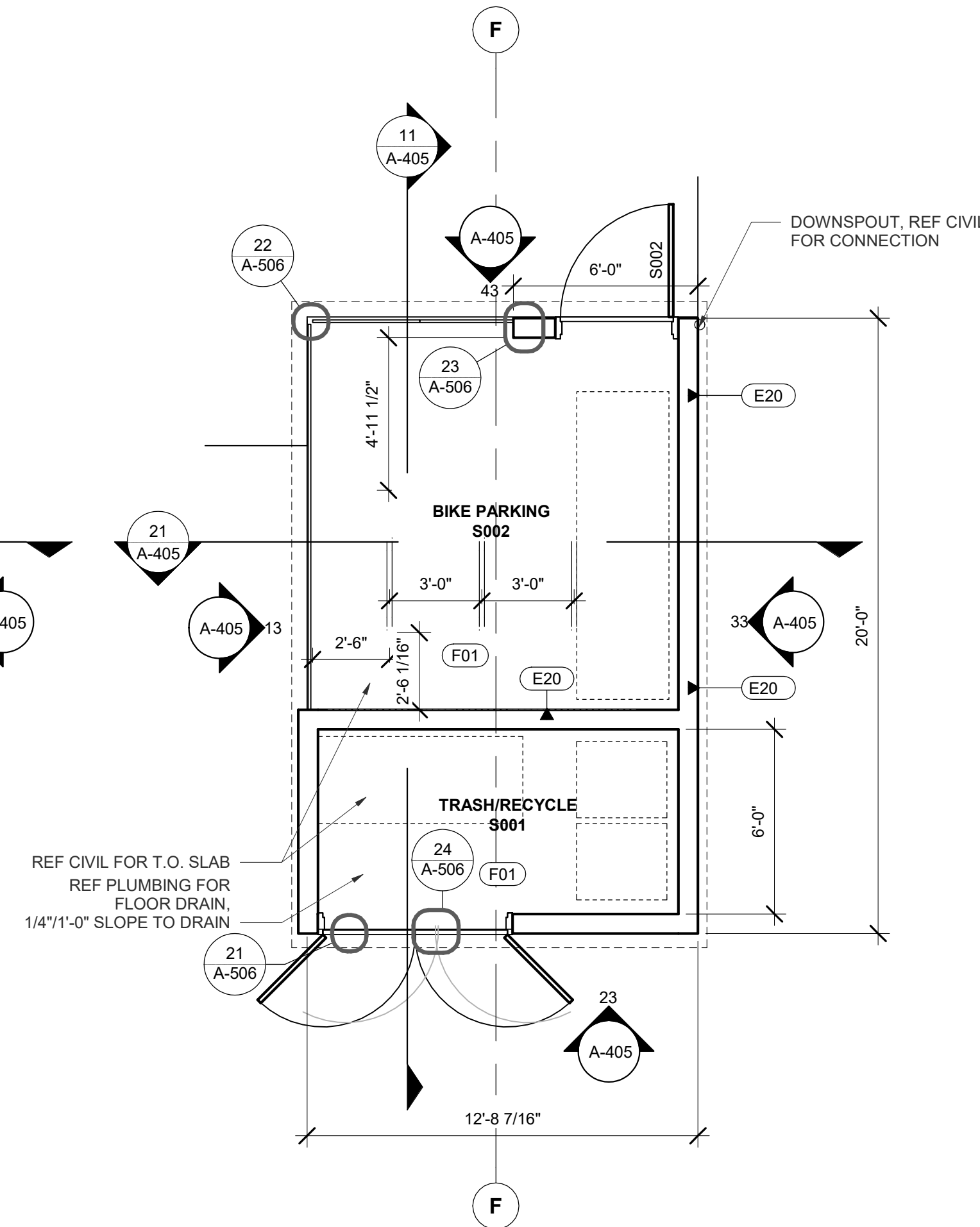
23 ELEVATION - SITE ENCLOSURE - SOUTH  
 1/4" = 1'-0"



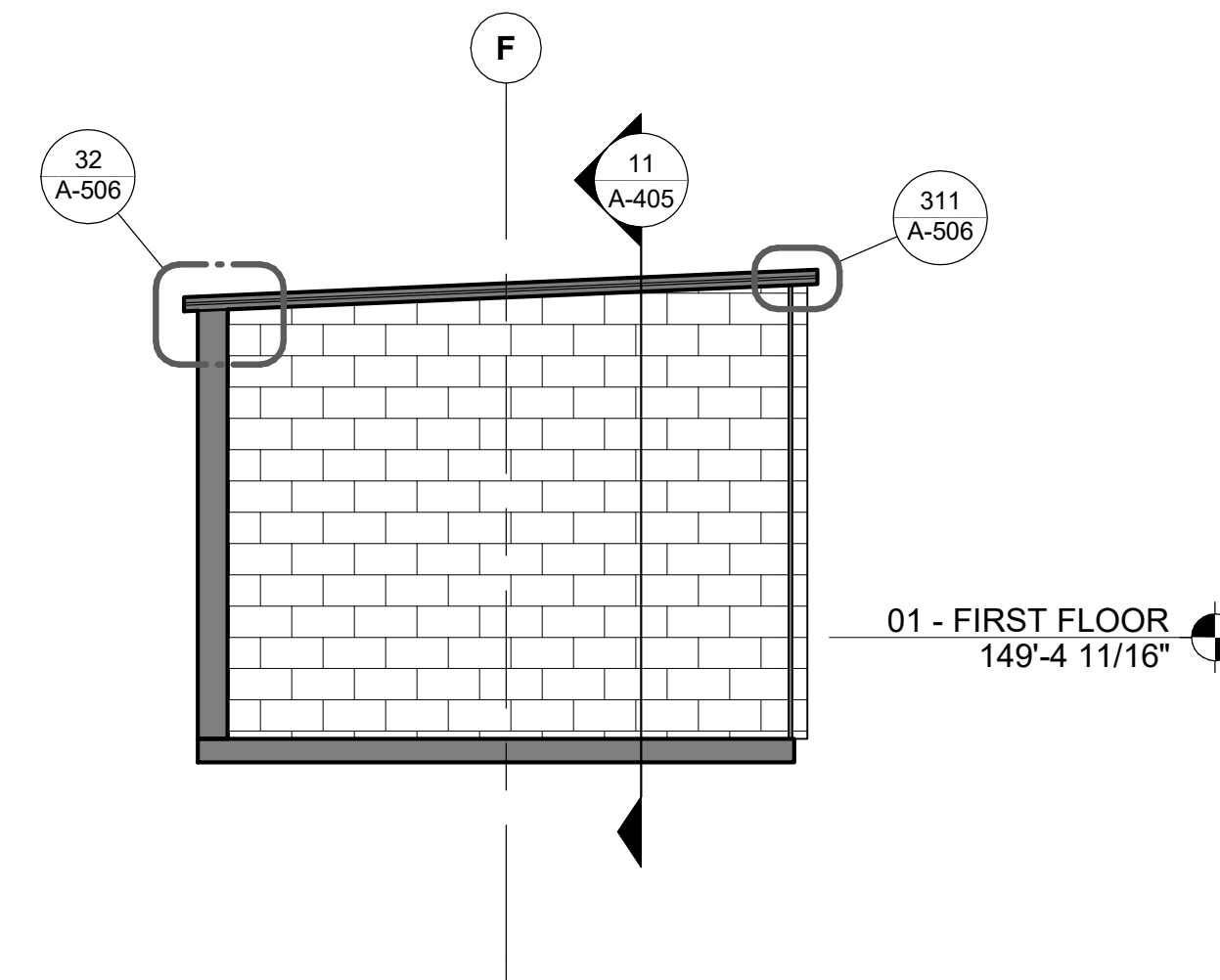
13 ELEVATION - SITE ENCLOSURE - WEST  
 1/4" = 1'-0"



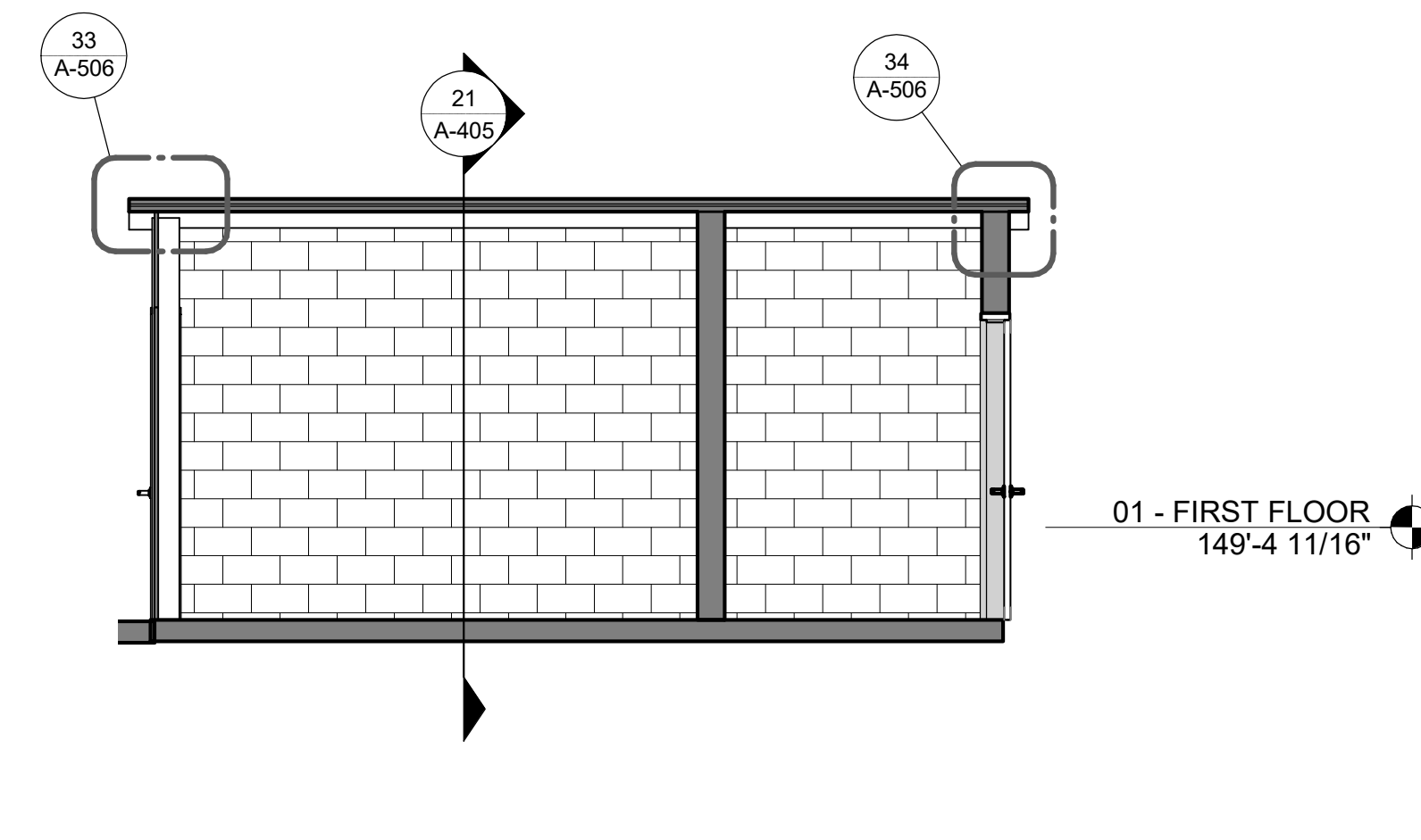
41 SITE ENCLOSURE - ROOF PLAN  
 1/4" = 1'-0"



31 SITE ENCLOSURE - FLOOR PLAN  
 1/4" = 1'-0"



2 SECTION - SITE ENCLOSURE - E/W  
 1/4" = 1'-0"



11 SECTION - SITE ENCLOSURE - N/S  
 1/4" = 1'-0"



THE  
BOOKIN  
GROUP  
LLC

Land Use &  
Institutional  
Planning

Project  
Management

Policy Analysis

**DATE:** March 20, 2024  
**TO:** Don Kienholz, Senior City Planner, Bureau of Development Services  
**FROM:** Debbie Cleek, Senior Planner, The Bookin Group  
**SUBJECT:** Response to Incompleteness Letter for St Johns Library  
LU 24-014054 CU AD

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This letter is in response to the request for additional information per your March 8, 2024 Incompleteness Letter related to the Conditional Use Review for the redevelopment of the St John's Library. With the acceptance of this information, please deem the application complete.

***1. Information Necessary to Complete Application.*** *The following information must be submitted before your proposal can be evaluated:*

**1. Site Plan.**

**Response:** An updated site plan has been provided showing the setback distances from the proposed addition and the accessory structure.

**2. Elevation Plans.**

**Response:** Updated elevations have been provided showing how the building height of the addition is measured using the methodology of 33.930.050. Since no part of the building is within 25' of the sidewalk, we used the lowest grade 5 feet from the building as base reference point. As a result, the proposed height of the building is 27 feet.

**3. Elevation Plans.**

**Response:** On the original set of plans, both "New Addition A" and "New Addition B" were elevations of the proposed library addition. These elevations have been renamed for clarity. All elevations of the accessory structure are shown on Sheet A-405.

**4. Additional Fees.**

**Response:** Review fees for three additional Adjustments (one of the ones previously requested and two new ones) have been paid.

**5. Additional Reviews.**

**Response:** A request for an Adjustment to the east setback for the accessory structure has been requested. An updated narrative that includes this request is provided with this letter.

**6. Additional Reviews.**

**Response:** A request for an Adjustment to allow vehicle area between the accessory structure and the street has been requested. An updated narrative that includes this request is provided with this letter.

**Attachments**

1. Revised Plan Set
2. Revised Narrative

## **I. SUMMARY OF PROPOSAL**

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**Applicant:** Leslie Cliffe, Project Architect  
Bora Architecture & Interiors  
1705 SE 3<sup>rd</sup> Avenue  
Portland, OR 97214  
Telephone: 503.802.5076  
Email: cliffe@bora.co

**Owner:** Elise Hendrickson, Multnomah County  
Multnomah County Library Capital Bond Program  
1006 SE Grand Ave  
Portland, OR 97214  
Telephone: 503.309.9209  
Email: elise.hendrickson@multco.us

**Planner:** Debbie Cleek  
The Bookin Group LLC  
1020 SW Taylor Street, Suite 555  
Portland, Oregon 97205  
Telephone: 503.241.2423  
Email: cleek@bookingroup.com

**Request:** Type III Conditional Use to increase the size of the existing St. Johns Library.

**Location:** 7510 N Charleston Avenue

**Property IDs:** R192883

**Site Size:** 22,286 sq. ft.

**Zoning:** RM2 – Residential Multi-Dwelling 2; with a d overlay (design)

**Plan District:** St. Johns Plan District

**Neighborhood:** St. Johns

### **Summary:**

This Conditional Use request is to add a small addition onto the existing St. Johns library building. The proposal would keep the original 1917 portion of the building intact and renovate it, but remove the 800 sq. ft. addition to the east that was constructed in the 1990's. This addition will be replaced by a new 2,950 sq. ft. addition on the east side of the site. The resulting change will increase the building size by 2,096 sq. ft. The existing parking lot on the south end of the site will remain but will be slightly reconfigured to add interior parking lot landscaping islands. This project would be funded by the Multnomah County Library Capital Bond passed by voters in 2020.

Included with this request are six Adjustments to development standards requested as part of the Conditional Use. A Type II Design Review for the project had been submitted seperately.

**Pre-Application Conference:** A Pre-Application Conference (EA 23-096980) to discuss the project was held with the City on November 21, 2023. Notes from this meeting are included as Appendix A.

**Early Neighborhood Contact:** Because the proposed project will add only 2,096 square feet of net building area to the site no early Neighborhood Contact was required (per Section 33.700.025) prior to submitting this application. However, the project team did meet with the St. Johns Neighborhood Association to discuss the project on January 9, 2024. Overall, the neighborhood association were favorable of the project.

## II. EXISTING CONDITIONS

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### **SITE CHARACTERISTICS**

**Vicinity.** The St. Johns Library site is located between N. Lombard Street and N Leonard Street on N. Charleston Avenue. The site lies within the boundaries of the St. Johns Neighborhood Association. The site is three blocks from N. Philadelphia Avenue that accesses the St. Johns Bridge and Highway 30.

**Surrounding Uses.** Most of the uses surrounding the library are non-residential uses. To the north of the site is The Montessori House, a private preschool. West across Charleston Avenue from the site is James Johns Elementary School – a public school. South of the site is a large apartment complex that shares a driveway access with the library. Directly east of the site is a small creative flex space/event space called the Colony that includes various small businesses such as a massage therapist. There are other small-scale commercial uses along N. Richmond Avenue as well. About a block and a half northwest of the site are several single-dwelling homes. The site is in the heart of St. Johns located just off the main commercial corridor of N Lombard Street and a block south of the St. Johns Farmers Market.

**Zoning.** The site is zoned RM2 – Multi-Dwelling Residential Zone. The RM2 zone is a medium-scale multi-dwelling zone applied in and around centers and corridors. Housing is characterized by 3-4 story buildings with an urban scale but providing transitions in scale and characteristics to lower-scale residential zones. Libraries are classified as a Community Service Use, which require a Conditional Use in the RM2 zone.

The site also includes the “d” Design Overlay. The d overlay zone promotes design excellence in the built environment through the application of additional design standards and design guidelines.

The site is also located in the St. Johns Plan District which provides for an urban level of mixed-use development including commercial, employment, office, housing, institutional, and recreation uses. Specific objectives of the plan district include strengthening St. Johns role as the commercial and civic center of the North Portland peninsula.

**Previous Land Use History.** The initial development of the library pre-dates the zoning on the site. There are several land use cases that occurred on the site prior to 1981 and therefore are no longer relevant to the site. The following land use cases still apply to the site:

- **LU 13-207756 DZ.** Approval of a Design Review for new ground-mounted mechanical unit in the rear yard of the library. No conditions of approval from this review are relevant to the current proposal.
- **LU 99-01035 CU.** A Conditional Use approval to renovate the existing library and construct a building addition of approximately 850 sq. ft. in area. No conditions of approval from this review are relevant to the current proposal.
- **LU 93-00294 CU.** A Conditional Use approval to develop the parking lot to the south of the library, which at that time was shared with the Messiah Lutheran Church. A condition of approval of this review was to provide an L3 landscape buffer along the north property line of the library site.

**Site Characteristics.** The existing site is developed with an approximately 6,380 square foot building (including the basement) that currently houses the St Johns branch of the Multnomah County Library. The building consists of the original 1917 building that is a Significant Resource in the City’s Historic Resource Inventory, and an addition on the east side of the building that was constructed in the 1990’s. The building sits on the north side the site with parking and vehicle circulation areas located on the south side. The access to the parking lot from N Chesterton Avenue is shared with the apartment building to the south, with the 15 parking spaces on the north side of the lot reserved for library use. The main entrance to the building faces onto Charleston Avenue and there is a pedestrian path that connects the building to this entrance. The remainder of the site is landscaping, consisting mainly of lawn and ornamental landscaping beds.

## **OPERATIONS**

**Overview.** Multnomah County Library (MCL) is the oldest public library system west of the Mississippi River, with a history that reaches back to 1864. Today, the library system house nearly 900 computer stations for the public and a collection of two million books and other library materials. As Oregon’s largest public library, Multnomah County Library serves nearly one-fifth of the state’s population with a wide variety of programs and services. The St Johns branch represent one of eighteen neighborhood libraries that make up the library system.

Overall, MCL is constrained by a severe lack of space, system wide. They are currently operating at a system level of 0.3 square feet per capita – much lower than an industry recommended 0.6-0.8 square feet per capita. For this reason, the public voted and passed a bond to expand the library’s system-wide square footage in 2020. Specifically for the St Johns Library, the current facility is undersized for the population it serves. The interior space provides few places to sit and it has a small meeting room that is highly used.

The geographical catchment area for the library will remain the same after the new addition is completed, so this project is not anticipated to create an increase in the number of patrons. However, after the upgrades patrons and staff will have more space to ‘spread out’ with additional room for patrons to study and gather and staff to organize their services and equipment.

**Operating Characteristics.** The library holds approximately 23,000 volumes on the shelves and has approximately 43,000 volumes in circulation. The average number of monthly visitors for the 2023 fiscal year was 6,147, or 73,774 for the year.

The library is open seven days a week with the following hours:

- Monday/Tuesday: 12-8 PM
- Wednesday-Saturday: 10 AM – 6 PM
- Sunday: 12-5 PM

In addition to the normal library operations, the St. John’s Library occasionally hosts community events and anticipates that these will continue once the proposed changes are complete. Additionally, on a weekly basis, the library offers a variety of programs and classes as described below. These programs occur either weekly or every other week and generally occur prior to 4 PM, though start times do vary:

- Story times for family, babies, and toddlers in both English and Spanish as well as for Black families.
- Youth-oriented Lego clubs.
- Special Programs for youths and families related to arts and crafts.
- Drop-in times for adult literacy assistance/General Educational Development (GED) diploma-related tutoring.
- Legal Aid/Assistance offered by the Multnomah County District Attorney’s Office.
- Workforce development training.
- Weekly times for Computer/Technical Assistance in both English and Spanish.
- Jazz and Movie Nights.

**Staff.** All library operations are run by 10.5 full-time staff members plus one administrator. Additionally, there are approximately 6 primary volunteers who assist with library operations.

The general operating characteristics of the library will remain fundamentally the same when the new addition is completed. The library does not intend to add more staff, and the number of volumes the building will hold generally remain the same.

## **INFRASTRUCTURE**

### **Existing Utilities and Services.**

**Water Service.** Water is available to the site from an 6-inch ductile iron main in N Charleston Avenue. The existing water service is located in the southwest corner of the building.

**Sanitary/Stormwater Sewer Service.** There is an 8” combined sewer line in N Charleston that serves the site. Additionally, there is an 8” sanitary sewer located in a 25 foot wide public sewer easement that runs along a portion of the south property line. The existing building is connected to the sewer line in this easement. There is no public storm-only sewer line available and currently the majority of the stormwater runoff on the site drains to on-site underground facilities.

**Existing Transportation System.** The site has excellent connections to the surrounding transportation network with direct access to major travel routes including N Lombard Street just to the south of the site. The site has frontage on N Charleston Avenue.

N Charleston Avenue is classified as a Local Service Street for all modes of travel except for bicycles where it is classified as a City Bikeway. The site is also located within a designated Pedestrian District. The roadway has a two-lane cross-section and has a posted speed of 20 mph. On-street parking is

permitted on both sides of the street. A curb, a six-foot wide sidewalk and a planting strip are provided along the site frontage.

**Transit Availability.** N. Lombard Street, which is one block south of the site, is a Major City Transit Street served by the #75 (Caesar Chavez/Lombard) bus, with a stop one block away from the site. This route is a TriMet designated “Regular Service Line” that provides regular, reliable service throughout most of the day, with 15-minute service or better at certain times of the day. Additional bus lines including the #4 (Fessenden), #44 (Capitol Highway/Mocks Crest), #16 (Front Avenue/St Helens) and #11 (Rivergate/Marine Drive) all operate within a block from the site.

### III. PROPOSED PLAN

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#### **OVERVIEW**

**Project Overview.** The proposed project is to add a small addition onto the existing St. Johns library building. The original 1917 portion of the building would remain intact and renovated, but the 800 sq. ft. addition to the east that was constructed in the 1990’s would be removed and replaced by a new 2,950 sq. ft. addition. The resulting change will increase the building size by 2,096 sq. ft. or 26%.

**Building Design.** The St Johns Library is designed to foster a culture of civic pride, with purposeful, sustainable, and socially just experiences to empower communities of Multnomah County. The site and building are conceived to be nimble and resilient, providing flexibility and adaptability that enable library staff to innovate and create inspiring spaces and experiences that will serve communities now and into the future. The library prioritizes interactive, diverse and healthy spaces for people with a balanced ratio of space for the library collection, seating, and library programming and activities.

St Johns Library has always been a community hub since it first opened its doors in 1913. The historic Carnegie-era library boasts beautiful original windows that remain in good shape. The project will provide more generous programmable spaces to meet the needs and desires of staff and patrons. The new addition will seek to relate to, and honor, the existing historic library through the scale and textuality of materials as well as create an iconic roof line that echoes the unique fabric of St Johns neighborhood.

The following key schematic architectural design strategies are incorporated into the design to meet the project goals and priorities:

- Strategic use & placement of glazing on facades to maximize views and daylight while maintaining operational energy efficiency.
- Opening up the central spine of the building to create a sense of togetherness and maximizing the efficiency of the building footprint via informal seating zones that double up as circulation.
- Provide buffering between children’s area and other areas to create welcoming spaces for users with different acoustical needs.
- Skylights to bring daylight into the center of the building and clerestory windows to daylight staff workspaces without compromising staff privacy.
- High performance building envelope with continuous exterior insulation.
- After-hour use of flexible program room with access to restroom.
- Updated accessible single user restrooms with dedicated staff restroom in staff space.



- Exposed timber structural members and wood decking at the new addition to foster a sense of biophilia.

Interior programming of the addition includes a new area for the children's collection, a large flexible programming meeting room, the staff work area with a private office and a general workroom, a break room and a staff-only restroom. The addition will include an after-hours entrance that will allow access to the large flexible meeting room and the restroom. The renovation of the existing building will include the creation of a general-purpose lobby and vestibule at the building entrance, two updated all-user restroom, two small and one medium sized flexible meeting rooms as well as areas for part of the collection, an area dedicated to teens and more computer stations. The only change proposed to the small basement area that is used for storage and mechanical equipment is to increase the size of the telecom room in its current location to be able to fit more equipment in it.

The project will be built in accordance with the Multnomah County facilities standards, as well as the recently developed "Library Facilities Design Standards". Per the Library Capital Bond Project guidelines, this Project will be designed to meet a minimum of LEED Gold Certification. Additionally, the project team will work with RACC to identify locations for art installations as part of the 2% for Art program.

**Site Design.** Only minor changes are proposed to the site to accommodate the new addition. In the existing parking lot two of the 15 parking spaces will be removed to provide new interior parking lot landscape islands. Additionally, the existing trash cans will be relocated into a new trash enclosure in the in the parking lot, eliminating two additional parking spaces. The current loading space in the parking lot will be maintained. These changes will reduce the total number of parking spaces on the site from 15 to 11.

A new pedestrian walkway will be constructed from the parking lot to the new addition to access a new after-hours entry door that is being developed. A new exterior patio is being proposed on the south side of the building to provide a small outdoor break area for staff. Additionally new gates are being proposed on the east and north side to secure the existing yard area on these sides of the building.

A new monument sign will be added to the site in the southwest corner of the front yard, to replace the existing sign. This sign will be 71" inches high and 78" wide with a sign face of approximately 28 sq. ft. This sign will match the standard signage used on all Multnomah County libraries.

**Utilities.** Water service and sanitary sewer service will continue to come from N Charleston Avenue with new connections to the building addition constructed on the south side. Stormwater runoff generated by the addition and portions of the parking lot will be managed with a new drywell located under the redeveloped portion of the parking lot. The existing drywells that serve the original building will remain on site and continue to provide disposal for the historic stormwater runoff.

**Public Improvements.** The site frontage on N Charleston Avenue meets current city requirements in terms of the curb, sidewalk, planter strip and street trees therefore no improvements to this frontage will be required and no dedication of new right-of-way will be necessary. An improved ADA ramp will be required to be constructed along the site frontage just to the north of the parking lot, connecting with the on-site pedestrian paths.

**DEVELOPMENT STANDARDS**

**Institutional Development Standards (Section 33.120.275)**

The Institutional Development Standards of the RM2 zone apply to the site. The development standards are found in Table 120-7. If not addressed in this section, the regular base zone development standards apply.

<b>TABLE 33.120-7 INSTITUTIONAL DEVELOPMENT STANDARDS<sup>1</sup></b>	
<i>Minimum Site Area for New Uses</i>	<i>10,000 sq. ft.</i>
<i>Maximum Floor Area Ratio (FAR)<sup>2</sup></i>	<i>2 to 1</i>
<i>Maximum Height<sup>3</sup></i>	<i>75 ft.</i>
<i>Minimum Building Setbacks<sup>2</sup></i>	<i>1 ft. back for every 2 ft. of building height, but in no case less than 10 ft.</i>
<i>Maximum Building Coverage<sup>2</sup></i>	<i>70% of site area</i>
<i>Minimum Landscaped Area<sup>2 4</sup></i>	<i>20% of site area</i>
<i>Buffering from Abutting Residential Zone</i>	<i>10' to L3 standard</i>
<i>Buffering Across the Street from a Residential Zone<sup>5</sup></i>	<i>10' to L1 standard</i>
<i>Setbacks for All Detached Accessory Structures Except Fences</i>	<i>10'.</i>
<i>Parking and Loading</i>	<i>See Chapter 33.266, Parking and Loading</i>
<i>Signs</i>	<i>See Title 32, Signs and Related Regulations</i>

<sup>1</sup> The standards in this table are minimums or maximums as indicated. Compliance with the conditional use approval criteria might preclude development to the maximum intensity permitted by these standards.

<sup>2</sup> For campus-type developments, the entire campus is treated as one site. Setbacks are only measured from the perimeter of the site.

<sup>3</sup> Towers or spires with...

<sup>4</sup> Any required landscaping, such as for required setbacks or parking lots, applies towards the landscaped area standard.

<sup>5</sup> Vehicle areas are subject to the parking lot setback and landscaping standards in Chapter 33.266, Parking and Loading.

Compliance with these standards is provided below.

**Minimum Site Area for New Uses:** **Response:** The site is 22,286 square feet in size, which exceeds the minimum 10,000 sq. ft. standard. This development standard is met.

**Maximum Floor Area Ratio:** **Response:** The proposed FAR for the site is 0.38:1 which is less than the 2.0:1 maximum allowed. This development standard is met.

**Maximum Height:** **Response:** The building is 27 feet, which is well below the 75-foot limit. This development standard is met.

**Minimum Building Setbacks:** **Response:** The minimum setback is 1' for every 2' of height or at least 10', measured from the perimeter of the site. The proposed building addition is 19 feet high requiring a 10-foot setback from all of the property lines, with the exception of N Charleston Avenue which has a maximum setback standard. The new building addition is proposed to be 8' from the north property line – matching the nonconforming setback of the existing 1917 building and 5' from the east property

line. Since neither of these setbacks meet this standard, an Adjustment is requested as part of this review. With approval of this Adjustment this development standard will be met.

Maximum Building Coverage: **Response:** The maximum allowed building coverage is 70% and the proposed building will only cover 31% of the site so this standard is met.

Minimum Landscaped Area: **Response:** The minimum required landscape area is 20%. The proposed landscaping for the project site is roughly 30% so this standard is met.

Buffering from Abutting Residential Zone: **Response:** A 10-foot-wide buffer landscaped to the L3 standard is required anywhere the site abuts a Residential zone. RM2 zoning abuts the site along the entire north property line. Along the north property line, the required buffer will only be 8 feet wide in some areas, based on the proposed setback of the addition and the existing setback of the 1917 building. The existing and proposed landscaping in this buffer will meet the L3 standard. Because this buffer is less than the minimum required width an Adjustment to this standard is requested. With approval of the Adjustment this standard will be met.

Buffering Across a Street from a Residential Zone: **Response:** The property across N Charleston Avenue from the site is zoned RM2. This residential zone requires a 10-foot-wide buffer landscaped to the L1 standard. The existing library is setback approximately 40 feet from the street lot line on Charleston and the entire front yard is landscaped in a way that meets the L1 standard. This standard is met.

Setbacks for All Detached Accessory Structures Except Fences: **Response:** The new trash enclosure will be setback more than 10 feet from N Charleston Avenue, and will be over 10 feet from the south property line. However, the structure is proposed to be setback 5 feet from the east property line, so an Adjustment to this standard is requested. With approval of this Adjustment this standard will be met.

### **Institutional Standards**

1. The development standards are stated in Table 120-7. If not addressed in this section, the regular base zone development standards apply.
2. Setbacks on a transit street or in a Pedestrian District: If the minimum setback conflicts with the maximum setback, the maximum setback supersedes the minimum. **Response:** The entire site is within a Pedestrian District requires a maximum setback. Compliance with this standard is discussed in the Base Zoning section below.
3. Exterior storage: Exterior storage of materials or equipment is prohibited. **Response:** No exterior storage areas are any planned or proposed as part of the Conditional Use. This standard is met.
4. Outdoor activity facilities: Except as specified in paragraph C.5. below, outdoor activity facilities, such as swimming pools, basketball courts, tennis courts, or baseball diamonds.... **Response:** None of these types of facilities are proposed. This standard does not apply.
5. Recreational fields for organized sports:... **Response:** None of these types of facilities are proposed. This standard does not apply.

6. Electrical substations...**Response:** This type of facility is not proposed. This standard does not apply.
7. Grassy areas. Grassy play areas, golf courses, cemeteries, and natural areas... **Response:** None of these types of facilities are proposed. This standard does not apply.
8. Access for accessory Retail Sales And Service Uses... **Response:** No Retail Sales and Service Uses are proposed as part this project. This standard does not apply.
9. Exterior signage for accessory Retail Sales And Service uses is prohibited. **Response:** No Retail Sales and Service Uses or associated signs are proposed as part this project. This standard does not apply.

### **Base Zone Development Standards (Chapter 33.120)**

The additional Development Standards of the RM2 zone apply to the site.

#### ***33.120.220.C Maximum Street Setback***

*Maximum building setbacks on a transit street or in a Pedestrian District are stated in Table 120-3. At least 50 percent of the length of the ground level street-facing façade of the building must meet the maximum building setback standard.* **Response:** The site is located within a Pedestrian District in the Transportation System Plan therefore Table 120-3 requires a 20-foot maximum setback from the street lot line on N Charleston Avenue. The street-facing façade of the existing 1917 building is setback approximately 40 feet from the N Charleston Avenue lot line, so the site is currently nonconforming with respect to this standard. Approximately 15 feet of the street-facing façade of the new addition will be visible from N Charleston Avenue and will not be within 20 feet of the street lot line, bringing the site further out of conformance with this standard. Therefore, an Adjustment to this standard is requested as part of this review. With approval of this Adjustment this standard will be met.

#### ***33.120.230.B Maximum Building Length***

*In the RM2 zone, the maximum building length for the portion of buildings located within 30 feet of a street lot line is 100 feet. The portions of buildings subject to this standard must be separated by a minimum of 10 feet.* **Response:** All of the building area that is located within 30 feet of the street lot line on N Charleston is the existing 1917 library. This building is approximately 72 feet across and so it meets this standard.

#### ***33.120.231.B.1 Main Entrances***

*The standards of this section apply to all residential structure types in the multi- dwelling zones except for accessory dwelling units, manufactured dwelling parks, and houseboat moorages. For multi-dwelling development, the standards apply only to residential structures that are located within 40 feet of a street lot line.* **Response:** Since the proposed library is not a residential structure or a multi-dwelling development these standards do not apply. However, the main entrance to the library will continue to face directly toward N. Charleston and will continue to be setback about 20 feet from the street lot line. So, if these standards applied, they would be met.

#### ***33.120.232.B.1 Street Facing Facades***

The standards of this section apply to the street-facing facades of buildings that include any residential uses. **Response:** The proposed library building will not include any residential uses, so these standards do not apply.

### **33.120.250 Screening**

**B. Garbage and recycling collection areas.** All exterior garbage cans, garbage collection areas, and recycling collection areas must be screened from the street and any adjacent properties. Trash receptacles for pedestrian use are exempt. Screening must comply with at least the L3 or F2 standards.

**Response:** The new garbage collection area will be constructed of metal tubing (HSS) with perforated metal panels and standing seam roof and a steel swing gate that will entirely screen the garbage from the street and any adjacent properties. This screening meets the F2 standards, and this standard is met.

**C. Mechanical equipment.** Mechanical equipment located on the ground, such as heating or cooling equipment, pumps, or generators must be screened from the street and any abutting residential zones by walls, fences, or vegetation. Screening must comply with at least the L2 or F2 and be tall enough to screen the equipment. Mechanical equipment placed on roofs must be screened in one of the following ways, if the equipment is within 50 feet of an R zone:

1. A parapet along facades facing the R zone that is as tall as the tallest part of the equipment;
2. A screen around the equipment that is as tall as the tallest part of the equipment; or
3. The equipment is set back from roof edges facing the R zone 3 feet for each foot of height of the equipment.

**Response:** New mechanical equipment is proposed on top of the new addition's roof. The equipment will be setback from parapet 3 feet for every 1 foot of equipment height to assure it will not be visible from the ground in compliance with these standards.

### **33.120.255 Pedestrian Standards**

**B.** The standards of this section apply to all development.

1. Connections. Pedestrian connections are required as specified below:

a. Connection between streets and entrances.

(2) Sites with more than one street frontage. Where the site has more than one street frontage, the following must be met:

- The standard of B.1.a (1) must be met to connect the main entrance of each building on the site to the closest sidewalk or roadway if there are no sidewalks.
- An additional connection, which does not have to be a straight line connection, is required between each of the other streets and a pedestrian entrance. However, if at least 50 percent of a street facing façade is within 10 feet of the street, no connection is required to that street.

**Response:** An existing pedestrian circulation system currently connects N. Charleston Avenue to the main building entrance in a straight-line connection. These standards are met.

b. Internal connections. On sites larger than 10,000 square feet, an internal pedestrian connection system must be provided. The system must connect all main entrances on the site that are more than 20 feet from the street, and provide connections to other areas of the site, such as parking areas, bicycle parking, recreational areas, common outdoor areas, and any pedestrian amenities. **Response:** The pedestrian circulation system currently connects the parking lot and bike parking to the main entrance of the building. A second pedestrian path is proposed that will connect the parking lot to the rear of the building where a new after-hours entrance is being created. These standards are met.

## 2. Materials

- a. *The circulation system must be hard-surfaced.* **Response:** The new portions of pedestrian pathway will be made of concrete. Although the standards do not designate a pathway width for non-residential uses the system will be 5 feet wide throughout the site and these standards are met.
  - b. *Where the system crosses driveways, parking areas, and loading areas, the system must be clearly identifiable, through the use of elevation changes, speed bumps, a different paving material, or other similar method. Striping does not meet this requirement. Elevation changes and speed bumps must be at least 4 inches high.* **Response:** The proposed pedestrian pathway will not need to cross the parking lot or any other vehicle areas, so this standard does not apply.
  - c. *Where the system is parallel and adjacent to an auto travel lane, the system must be a raised path or be separated from the auto travel lane by a raised curb, bollards, landscaping or other physical barrier. If a raised path is used it must be at least 4 inches high and the ends of the raised portions must be equipped with curb ramps. Bollard spacing must be no further apart than 5 feet on center.* **Response:** The proposed pedestrian pathway will not run parallel to any auto travel lanes, so this standard does not apply.
3. *Lighting. The on-site pedestrian circulation system must be lighted to a level here the system can be used at night by the employees, residents, and customers.* **Response:** Lighting of the new portions of pathway will be accomplished by the installation of fixtures adjacent to the pathway. This lighting will be sufficient to illuminate the pedestrian path and will be augmented by public street lighting on the nearby N Charleston Avenue frontage. This standard is met.

### **33.120.280 Detached Accessory Structures**

**F. Detached covered accessory structures.** *The following standards apply to all detached covered accessory buildings.*

1. *Height. In general, the height standard of the base zone apply to detached covered accessory structures.*
2. *Setbacks. Except as follows, detached covered accessory structures are subject to required building setbacks.*
3. *Building coverage. The following additional building coverage standards apply to detached covered accessory structures.*
  - a. *The combined building coverage of all detached covered accessory structures may not exceed 15 percent of the total area of the site.*
  - b. *The building coverage of a detached covered accessory structure may not be greater than the building coverage of the primary structure.*

**Response:** The new trash enclosure structure will be 10 feet tall and will not exceed a building coverage of 15% of the total site area, so these standards are met. The setbacks of the RM2 zone are superseded by the Institutional Development Standards and an Adjustment to the east setback for the detached accessory structure is requested as part of this review.

## **ADDITIONAL USE AND DEVELOPMENT REGULATIONS**

### **Off-Site Impacts (Chapter 33.262)**

**33.262.050 Noise.** *The City noise standards are stated in Title 18, Nuisance Abatement and Noise Control. In addition, the Department of Environmental Quality has regulations that apply to firms adjacent to or near noise sensitive uses such as dwellings, religious institutions, schools, and hospitals.*  
**Response:** The library will not generate noise in excess of DEQ requirements beyond its boundaries. The majority of activities will occur inside the buildings or very occasionally in the outdoor areas that are away from adjacent properties. This standard is met.

**33.262.060 Vibration.** *Continuous, frequent, or repetitive vibrations which exceed 0.002g peak may not be produced. In general, this means that a person of normal sensitivities should not be able to feel any vibrations.* **Response:** No vibrations in excess of 0.002g peak will be produced. This standard is met.

**33.262.070 Odor.** *Continuous, frequent or repetitive odors may not be produced. The odor threshold is the point at which an odor may just be detected.* **Response:** No odors will result from the new library on the site. The development will comply with all County Health Department regulations related to food preparation/disposal, and all zoning and building code regulations related to general refuse storage/disposal. This standard will be met.

**33.262.080 Glare.** *Glare is illumination caused by all types of lighting and from high temperature processes such as welding or metallurgical refining. Glare may not directly, or indirectly from reflection, cause illumination or other properties in excess of a measurement of 0.5 foot candles of light.*  
**Response:** No glare will result from the new library addition. All new outdoor lighting selected for the site will be of design to prevent illumination on adjacent residential properties. There are no other sources of glare anticipated. This standard will be met.

### **Parking and Loading (Chapter 33.266)**

#### **33.266.110 Required Carpool and Electric Vehicle parking.**

*B. Required carpool parking spaces. For office, industrial, and institutional uses where there are more than 20 parking spaces on the site, the following standards must be met...*

**Response:** The parking lot currently contains 15 parking spaces, and this number will be reduced to 11 as part of this proposal so this standard does not apply.

*C. Required electric vehicle charging spaces. For Commercial Parking uses and for sites with 5 or more dwelling units, the following standards must be met...*

**Response:** The project does not include any residential dwelling units and the parking lot for the library does not meet the definition of "Commercial Parking", so these standards do not apply.

#### **33.266.115 Maximum Allowed Parking Spaces**

*Table 266-1 and Table 266-2 – footnote 2: Uses subject to a Conditional Use review may establish parking minimum and maximum requirements through the review.*

**Response:** A Community Service use in the RM2 zone would be permitted a maximum of 1 parking space per 200 sq. ft., or no more than 43 spaces for the completed 8,530 square foot building. So, the 11 parking spaces provided are well below the allowed maximum. However, because the project is subject to a Conditional Use review the appropriate number of parking spaces required for the site will



be established as part of this review. A discussion of the adequacy of the parking provided can be found in section VI of this report.

***Development Standards for Development (33.266.130)***

**C. On-site locations of vehicle areas.**

- 1. Location of vehicle areas.** *The allowed on-site location of all vehicle areas is stated in Table 266-3. In the RM2 zone, vehicle areas are not allowed between the portion of the building that complies with the maximum street setback and the transit street. Response:* No changes are proposed to the location of the vehicle area, and it is not located between the library building and N Charleston Avenue. However, the new detached accessory structure is proposed at the rear of the parking lot, so vehicle area will be located between the accessory structure and N Charleston Avenue, therefore an Adjustment to is standard is requested. With approval of this Adjustment this standard will be met.
  
- 3. Frontage limitation.** *The standard of this paragraph applies outside the Central City plan district in the RM2 zone. No more than 40 percent of the frontage on a street may be used for vehicle area. On streets with more than one street frontage, this standard applies to the street with the highest transit designation. Response:* No changes are proposed to the location of the vehicle area, but the current parking lot only occupies 25% of the N Charleston Avenue frontage, so this standard is met.

**G. Parking area setbacks and landscaping**

**2. Setbacks and perimeter landscaping**

- c. Setbacks.** *The minimum required setbacks for surface parking areas are stated in Table 266-5. The minimum required setback for surface parking areas is five feet for lot lines both abutting a street, and an C zone. Response:* No changes are proposed to the location of the vehicle area, but the current parking lot is setback 7 feet from the Charleston property line and 10 feet from the east lot line. No setback is required on the south property line since this is an access easement shared with the property to the south. Therefore, these standards are met.
  
  - d. Perimeter landscaping.** *Where a surface parking area abuts a street lot line, or a C zone the required setbacks must be landscaped to meet the L2 low-screen standard. Landscaping must be adjacent to the parking area and driveway. Response:* The setbacks between the parking lot and Charleston Avenue, and the parking lot and the eastern property line, are both landscaped to meet the L2 standard so, this standard is met.
- 3. Interior landscaping.**
- a. Amount of interior landscaping required.** *Interior landscaping must be provided for sites where there are more than 10 parking spaces on the entire site. At least 45 square feet of interior landscaped area must be provided for each parking space. Response:* The reconfigured parking lot will provide 11 parking spaces, requiring 495 square feet of landscaping. Three new landscape islands are being developed in the parking lot combined will provide a total of 500 sq. ft. of interior parking lot landscaping is provided, and this standard is met.

- b. Landscape materials. The landscape materials must comply with the P1 standard of Chapter 33.248. Response:* As shown on the landscape plans submitted all the interior parking lot landscaping will meet the P1 standard.

### **33.266.200 Minimum Required Bicycle Parking**

- B. Number of spaces required. The required minimum number of bicycle parking spaces for each use category is shown on Table 266-6. Response:* The site is located in an area where Standard A requirements apply. According to Table 266-6, for libraries the minimum number of required long-term bike parking spaces is 1 per 3,000 sq. ft. of net building area and short-term bike parking spaces is 1 per 1,200 sq. ft. of net building area. Therefore, based on the completed building square footage of 8,530 a total of 3 long-term and 8 short-term bicycle parking spaces are required. A total of 8 short-term spaces are located on the north side of the library near the parking lot and 3 long-term spaces are provided within the trash enclosure/bike parking structure, so this standard is met.

### **33.266.210 Bicycle Parking Development Standards**

- C. Standards for all bicycle parking. Long-term and short-term bicycle parking must be provided in lockers or racks that meet the following standards:*

- 1. Bicycle parking area standards. The area devoted to bicycle parking must be hard surfaced.*
- 2. Bicycle racks. Where bicycle parking is provided in racks, the racks must meet the following standards:*
  - a. The rack must be designed so that the bicycle frame and one wheel can be locked to a rigid portion of the rack with a U-shaped shackle lock, when both wheels are left on the bicycle;*
  - b. If the rack is a horizontal rack, it must support the bicycle at two points, including the frame; and*
  - c. The rack must be securely anchored with tamper-resistant hardware.*

**Response:** The bike racks proposed for the project will all be securely anchored into the concrete and will be staple-style racks which can secure both a bicycle wheel and frame. These standards are met.

- 3. Bicycle Parking Space, Maneuvering Area, and Clearance Dimensions. Bicycle parking spaces, aisles and clearances must meet the minimum dimensions contained in Table 266-7.*

- a. Standard Bicycle Parking Space Requirements.*

- (1) The standard required bicycle space is 2 feet wide, 6 feet long and 3 feet 4 inches tall.*
- (2) There must be at least 5 feet behind all bicycle parking spaces to allow room for bicycle maneuvering. Where short-term bicycle parking is adjacent to a sidewalk, the maneuvering area may extend into the right-of-way;*
- (3) A wall clearance of 2 feet 6 inches must be provided.*

**Response:** All the bicycle parking spaces proposed meet the dimensional standards of Table 266-7 and provide at least 5 feet maneuvering area behind the spaces. These standards are met.

#### **D. Standards for Long-Term Bicycle Parking.**

- 1. Development Standards. Long-term bicycle parking must be provided in lockers or racks that meet the following standards.*
  - a. Location Standards. Long-term bicycle parking may be provided in one or more of the following locations:*
    - (2) On-site, including in parking areas and structured parking;*

**Response:** All the long-term bicycle parking will be located on-site adjacent to the parking area in the covered bike-parking/trash enclosure structure.

d. *Covered bicycle parking. All long-term bicycle parking must be covered. Where covered bicycle parking is not within a building or locker, the cover must be:*

- (1) *Permanent;*
- (2) *Impervious; and*
- (3) *The cover must project out a minimum of 2 feet beyond the bicycle parking spaces on the portion of the structure that is not enclosed by a wall.*

**Response:** The proposed bike parking structure will be sided with secure perforated metal panels and covered with a metal roof. These standards are met.

2. *Security Standards.*

a. *Long-term bicycle parking must meet the following security standards:*

(2) *Long-term bicycle parking for all other uses must be located in one of the following locations. For Schools, a minimum of 10 percent of bicycle parking must be located in the following:*

- *A restricted access, lockable room or enclosure; or*
- *A bicycle locker.*

**Response:** The proposed bike parking structure will include a locked door with entry restricted to only library staff. These standards are met.

**E. Standards for Short-term Bicycle Parking**

1. *Development Standards. Short-term bicycle parking must meet the following standards:*

a. *Location Standards. Short-term bicycle parking must meet the following location standards:*

- (1) *On-site, outside a building;*
- (2) *At the same grade as the sidewalk or at a location that can be reached by an accessible route; and*
- (3) *Within the following distances of the main entrance:*
  - *Building with one main entrance. For a building with one main entrance, the bicycle parking must be within 50 feet of the main entrance to the building as measured along the most direct pedestrian access route.*

**Response:** All proposed short-term bike parking spaces will be provided on the north side of the building adjacent to the parking lot and all are less than 50 feet from the building entrance. These standards are met.

**33.266.310 Loading Standards**

**C. Number of loading spaces.**

2. *Buildings where any of the floor area is in uses other than Household Living must meet the standards of this Paragraph.*

b. *One loading space meeting Standard A is required for buildings with at least 20,000 and up to 50,000 square feet of net building area in uses other than Household Living.*

**Response:** The total overall building area will be 8,655 sq. ft., so no loading space is required. This standard does not apply.

**33.266.410 Transportation and Parking Demand Management**

**B. Applicability.** *In the commercial/mixed use zones, a TDM plan is required when new development includes more than 10 dwelling units, or an alteration to existing development includes the addition*

*of more than 10 dwelling units. Response:* No new dwelling units are proposed on the site, so this standard does not apply.

### **Non-Conforming Development (Chapter 33.258)**

According to Section 33.258.070, an applicant must bring nonconforming site development up to code if site alterations exceed \$347,000 (2023), excluding expenses for life/safety, ADA, stormwater, seismic and energy-efficiency improvements. When the provisions of this chapter are triggered, the applicant must devote up to an additional 10% of cost of on-site improvements to correct nonconforming aspects of site development primarily related to landscaping, on-site pedestrian circulation, and bicycle parking.

**Response:** The project cost is estimated to be \$7 million dollars so this code section would be triggered. Currently the only areas of the site that are not in conformance with the standards listed in Section 33.258.070.D.2.b are the amount of interior parking lot landscaping provided and the amount of bicycle parking provided. As described above, both these areas will be upgraded as part of this proposal, bringing the site entirely into conformance at the end of this project. With these upgrades this standard will be met.

### **Design Overlay Zone (Chapter 33.420)**

The property is designated with a “d” (Design) overlay, and Section 33.420.041 requires exterior alterations to either be approved through a Design Review or meet the Design Standards. This project intends to comply with this section by applying for a Type II Design Review within the next month.

### **Trees in Development Situations (Chapter 11.50)**

According to the Arborist Report submitted with this application, there are a total of 30 existing trees on site that are in good health and over 12 inches diameter. As shown on the Landscaping Plans, 26 of these existing/regulated trees, will be preserved on the site. This equates to 86% of the large trees on site being preserved in conformance with the retention requirements of 11.50.040.C.1.a.(1) that require 1/3 of the 12 inch trees on site to be retained so these standards are met.

## **VI. LEGAL JUSTIFICATION**

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### **INTRODUCTION**

The purpose of this section is to provide the legal justification for a Conditional Use, as governed by Chapter 33.815. The request also includes three Adjustments, governed by Chapter 33.805 that will be reviewed concurrently with the Conditional Use.

### **CONDITIONAL USE APPROVAL CRITERIA**

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**33.815.105 Institutional and Other Uses in R Zones.** *These approval criteria apply to all conditional uses in R zones except those specifically listed. The approval criteria allow institutions and other non-Household Living uses in a residential zone that maintain or do not significantly conflict with the appearance and function of residential areas. The approval criteria are:*

**A. Proportion of Household Living uses.** *The overall residential appearance and function of the area will not be significantly lessened due to the increased proportion of uses not in the Household Living category in the residential area. Consideration includes the proposal by itself and in combination with other uses in the area not in the Household Living category and is specifically based on:*

- 1. The number, size, and location of other uses not in the Household Living category in the residential area.*
- 2. The intensity and scale of the proposed use and of existing Household Living uses and other uses.*

**Findings:** Because this site is already developed with the existing Holgate Library, the proposed addition to the library will have no impact on the overall residential appearance or function of the area. The site has historically been used as a library that serves and supports the surrounding residential area and the new building addition will allow the site to continue in that function.

The “residential area” under consideration for this project includes all residentially zoned properties within at least a 400-foot radius of the site’s perimeter. Because of the sites location in the heart of St Johns and in close proximity to N Lombard Street there are primarily non-residential uses within the 400-foot radius east of the site. All of the properties 400 feet south and east of the property are zoned commercially and are developed with a variety of small-scale commercial and service-oriented uses. The property directly south of the library is a large multi-family apartment building with ground floor retail spaces. Both north and west of the library site there are institutional uses (an preschool and an elementary school). Only further north across Leonard Street are there single-dwelling residential houses. Given the location and surrounding uses, the small addition proposed to the existing library would have virtually no impact on the surrounding area.

The new library addition will be larger than the previous addition, but this will not result in any substantial changes to the operational characteristics described in Section II of this report. The service area the library supports will not change, so the number of citizens the library serves will not grow. The hours of operation, programs provided, and staffing levels are not proposed to increase. Additionally, the number of volumes housed by the library will remain the same. The changes that the additional square footage will provide will be more flexible space, more community rooms and more area dedicated to staff workrooms. These functions are not anticipated to intensify the use on site so there will be no new impacts to the surrounding residential neighborhood. As such, the overall residential appearance and function of the area will not be lessened by redeveloping the library on the existing site, and this criterion is met.

**B. Physical compatibility**

- 1. The proposal will preserve any City-designated scenic resources.* **Findings:** There are no city-designated scenic resources on or in the vicinity of the site. This criterion does not apply.

2. *The proposal will be compatible with adjacent residential developments based on characteristics such as the site size, building scale and style, setbacks, tree preservation, and landscaping.*

**Site Size. Findings:** The site size is 22,286 square feet. The St. Johns Library has been part of the fabric of the St Johns Neighborhood for over 100 years. There is no intention to expand the site size with this Conditional Use proposal, so the site will continue to be compatible with the surrounding residential development and this portion of criterion (B)(2) is met.

**Building Scale. Findings:** The new building is proposed at 19 feet tall which is consistent with the maximum height limit in the surrounding RM2 zone of 35 feet. All of the surrounding uses are more than one story tall, so the height of the building addition will be compatible and shorter than neighboring structures. The footprint of the addition building is not considerably larger than the existing library's footprint. And the overall building will continue to occupy the same general location on the site. Therefore, the scale of the building will not be dramatically larger than what currently exists on the site, which has been historically considered compatible with the surrounding residential uses and this portion of criterion (B)(2) is met.

**Building Style. Findings:** The proposed addition will continue the design tradition of the existing library, by presenting a civically oriented design that distinguishes it from the surrounding uses. Because the site is already occupied by a library building that is not designed to "disappear" into residential fabric of the neighborhood, the style of the addition will be consistent with this historical development pattern and this portion of criterion (B)(2) is met.

**Setbacks. Findings:** Adjustments are requested to the Institutional Development Standards setback standards of the R2 zone. The property lines abutting these reduced setbacks are zoned commercially (west setback) and zoned residentially but developed with an institutional use (north setback) therefore there are few compatibility issues relating to the reduced setbacks and the properties abutting the site. This portion of criterion (B)(2) is met.

**Tree Preservation. Findings:** Only four of the 30 healthy, regulated trees on site will be removed to accommodate the new addition. All other large trees on the site will be preserved. All of the existing trees located on the northern edge of the site to help buffer and screen the site where it abuts the residential zoning. By preserving trees on-site, the development will blend into the existing neighborhood better, and this portion of criterion (B)(2) is met.

**Landscaping. Findings:** The overall site will provide approximately 30% landscaping, which exceeds the requirements of the Institutional Development Standards. The site will feature lush landscaping throughout, and this portion of criterion (B)(2) is met.

3. *The proposal will mitigate differences in appearance or scale through such means as setbacks, screening, landscaping, tree preservation and other design features. Findings:* As described above, the building addition is designed to complement the existing neighborhood and generally match the location of the existing addition. Because the existing library has been on the site for over a century, it is a large part of the context of the surrounding neighborhood and pre-dates many of the adjacent uses. This criterion is met.

**C. Livability.** *The proposal will not have significant adverse impacts on the livability of nearby residential zoned lands due to:*

1. *Noise, glare from lights, late-night operations, odors, and litter.*

**Noise. Findings:** In general, the library will continue to function much as it does now, with the vast majority of activities undertaken inside the buildings. Only occasional outdoor activities will occur during typical library operation hours and could include story time programming or other small gatherings. Given the nature of the site as a library, providing a calm, quiet atmosphere to read and study is paramount to the use of the building and so noise will be controlled both inside and outside of the building.

The project does include new mechanical equipment placed on the roof of the building addition. The new equipment will be setback from the roof edges to help mitigate any associated noise. This portion of the criterion is satisfied.

**Glare from lights. Findings:** New outdoor lighting is proposed around the site as demonstrated on Sheet ES-101-01 which shows the location, fixture type and wattage of all proposed lighting. The luminaires are also all Dark Sky certified. The lighting has been designed with fully shielded fixtures to prevent the spill-over of light off the site. Therefore, glare from lights will be prevented and this portion of the criterion is satisfied.

**Late-night operations. Findings:** The majority of the library's operations occur during the daytime and early evening hours, with the latest the library is open to the public being 8 pm. It is anticipated that the community rooms may be used after library hours, but all meetings will be finished by 10 pm. As a result, there is little night-time activity associated with the use and this portion of the criterion is satisfied.

**Odors. Findings:** There are no unpleasant odors associated with the operation of a library. The only potential source of odor is the refuse stored outdoors, which will be carefully regulated in compliance with all Multnomah County Health Department regulations. The proposed trash enclosure has been designed in compliance with City requirements which should help to mitigate odors. Thus, odor should not be an issue with this proposal and this portion of the criterion is satisfied.

**Litter. Findings:** The St Johns Library is a long-standing neighborhood use, with a strong commitment to the appearance and upkeep of their property. The library will continue to maintain a clean and attractive site after the redevelopment. As a public building, trash and recycling containers will be provided inside and outside of the facility, including directly adjacent to the building entrance. This portion of the criterion is satisfied.

2. *Privacy and safety issues*

**Privacy. Findings:** The site will include screening along the north property line of the site that will assure that the privacy of the adjacent neighbor is respected. The property to the west is a commercial building and parking lot that is orientated toward Richmond Avenue and therefore does not require as much privacy, though setbacks and screening landscaping will still be provided on the library site. On the south property line is the shared access easement, so screening along this property line is not feasible. As shown, on all sides of the site the privacy of the adjacent used will be respected to the extent practical given their uses and this portion of the criterion is satisfied.



**Safety. Findings:** As noted above, the site has long been used as a public library. As a facility that welcomes the public, the library has policies in place to handle any situations on the property that are unsafe. Additionally, the landscaping and lighting on the site has been designed to allow full views of the plazas and parking lot, especially at night. Finally, fencing is being installed on the west and north sides to prevent trespassing in the site's setbacks. As such the library does not pose a security threat to the neighborhood or adjacent properties, and this portion of the criterion is satisfied.

#### **D. Public services**

1. *The proposal is supportive of the street designations of the Transportation Element of the Comprehensive Plan.* **Findings:** N. Charleston Avenue is designated as a Local Service Street. For the most part these are facilities of moderate capacity/function in the hierarchy established in the City's Transportation System Plan (TSP). The proposed expansion of the library is not intended to change the programming provided nor the sized community served by the library. As such, this street is adequate to handle the library's existing and proposed traffic demand. This criterion is met.
- 2.a *The transportation system is capable of supporting the proposal in addition to the existing uses in the area. Evaluation factors include safety, street capacity, level of service, connectivity, transit availability; availability of pedestrian and bicycle networks, on-street parking impacts; access restrictions; neighborhood impacts; impacts on pedestrian, bicycle, and transit circulation. Evaluation factors may be balanced; a finding of failure in one or more factors may be acceptable if the failure is not a result of the proposed development, and any additional impacts on the system from the proposed development are mitigated.*

**Safety. Findings:** The transportation system in the site vicinity can safely accommodate all modes of transportation and is adequate for the proposed conditional use in addition to the existing uses in the area. This evaluation factor is met.

**Street Capacity/Level of Service. Findings:** The area roadways and intersections are currently operating within capacity and with acceptable levels of service. The proposed renovations of the library are anticipated to result in a less than 10 vehicle increase to any of the adjacent intersections during the weekday PM peak hour, which does not constitute a material change to adjacent streets or intersections. Therefore, the roadways and intersections are projected to continue to operate acceptably per City of Portland standards and well within capacity. No operational mitigations are necessary or recommended in conjunction with the proposed conditional use. This evaluation factor is met.

**Connectivity. Findings:** No changes to the street connectivity are proposed by the library or required by the TSP as part of the building changes. Further, the library access is approximately 250 feet north of N Lombard Street and approximately 250 feet south of N Leonard Street, thereby complying with the City's block standards. This evaluation factor is met.

**Transit Availability. Findings:** TriMet provides bus service via Routes 4, 16, 44 and 75 all of which have a stop at the N Charleston Street/N Lombard Street intersection, which is a convenient one block walking distance from the library. This excellent availability of transit to the site will be an asset to the library staff and the public visiting the site. The anticipated

building renovations are not anticipated to materially change the need for transit and library patrons and employees do and will continue to benefit from the convenient transit service provided. This evaluation factor is met.

Availability of Pedestrian and Bicycle Networks. **Findings:** The adjacent streets have sidewalks and cyclists currently share the roadway with motorists. No specific pedestrian or bicycle-related changes are shown in the TSP along the frontage of the library. Further, the anticipated building renovations are not anticipated to materially change the need for walking or cycling facilities. Based on the analysis, adequate pedestrian and bicycle networks are available within the vicinity of the site. No specific mitigations beyond those included in the proposal are recommended in conjunction with the development and this evaluation factor is met.

On-Street Parking Impacts. **Findings:** On-street parking is plentiful in this neighborhood with on-street parking being permitted on most surrounding streets. As such, the proposed addition to the library would not meaningfully impact the availability of on-street parking in the site vicinity. This evaluation factor is met.

Access Restrictions. **Findings:** There are currently no restrictions on access in the site vicinity therefore this evaluation factor does not apply.

Neighborhood Impacts. **Findings:** The subject property is currently used as a library. Following approval of the proposed Conditional Use, it will continue to be used for this purpose. This evaluation factor is met.

Impacts on Pedestrian, Bicycle and Transit Circulation. **Findings:** Any impacts the proposal will have on the pedestrian, bicycle and transit circulation systems will be positive since the project includes a minor improvement to public sidewalk corridor by upgrading the ADA ramp. The existing transportation network in the vicinity provides safe connections for transit users, pedestrians, and people riding bicycles. This evaluation factor is met.

**Summary Findings:** The proposal meets all the required evaluation factors, demonstrating the transportation system is capable of supporting the proposal, and this criterion is met.

b. *Measures proportional to the impacts of the proposed use are proposed to mitigate on- and off-site transportation impacts. Measures may include transportation improvements to on-site circulation, public street dedication and improvement, private street improvements, intersection improvements, signal or other traffic management improvements, additional transportation and parking demand management actions, street crossing improvements, improvements to the local pedestrian and bicycle networks, and transit improvements;*

**Findings:** No significant new impacts are associated with continued use of the site as a library. The proposal meets all the required evaluation factors that apply, demonstrating the adequacy of the transportation system surrounding the site. Improvements will be made to upgrade the ADA ramp on N Charleston Avenue to mitigate the impacts from the proposal. This criterion is met.

c. *Transportation improvements adjacent to the development and in the vicinity needed to support the development are available or will be made available when the development is complete or, if the development is phased, will be available as each phase of the development*

*is completed*; **Findings:** As described above, a small improvement to N. Charleston Avenue will be made as part of this project and completed before the library opens. This criterion is met.

2. *Public services for water supply, police and fire protection are capable of serving the proposed use, and proposed sanitary waste disposal and stormwater disposal systems are acceptable to the Bureau of Environmental Services.* **Findings:** The site is already served with public services for water, sanitary sewer, police and fire protection, so its continued use as a library will have no impact on the availability of services. The following improvements to the public services that serve the site are proposed.

- The existing water and sanitary sewer service will be extended to the building addition.
- All stormwater runoff generated by the site will be discharged to on-site drywells and the existing drywells on the site will be protected during construction.

This criterion is and will continue to be met.

#### **E. Area plans.**

*The proposal is consistent with any area plans adopted by the City Council as part of the Comprehensive Plan, such as neighborhood or community plans.* **Findings:** The site is located within the boundaries of the St Johns neighborhood that has an adopted the St. Johns/Lombard Neighborhood Plan. The applicable policies of that plan are described below:

**Policy 1: Land Use and Placemaking.** *Accommodate growth and change in a manner that fosters the area's sense of place as a small town and main street within the city.* **Response:** The library has been a part of the town of St Johns since 1917 and adds to the overall sense of place in the commercial heart of St Johns. The proposed addition to the library facility will help to accommodate growth and change since expanding and modernizing the library will help the library better serve the citizens of St Johns and remain a vital and relevant part of the neighborhood.

**Policy 2: History and Identity.** *Strengthen the identity of the St. Johns and Lombard Street areas through development and community activities that integrate and build on the area's distinctive history and architecture.* **Response:** The proposed expansion of the library in order to better serve the surrounding community is consistent with this policy. The new addition and renovation will help to bolster the functionality of the 1917 building that is classified a Significant Resource in the City's Historic Resource Inventory and therefore an important part of the architectural history of St Johns.

**Policy 6: Environment.** *Promote the development of a built environment that fosters ecological quality and uses sustainable development practices.* **Response:** The proposal involves reusing and refurbishing much of the existing library structure versus starting over with a new building, so the project avoids some of the environmental impacts associated with disposing of demolition debris and the manufacturing and transportation of new building materials. Additionally, the project is targeting a high level of sustainability with the new design that will feature a high-performance building envelope with continuous exterior insulation to help conserve energy.

**Policy 8: Community Involvement and Services.** *Support and enhance the St. Johns town center and Lombard main street with a mix of public and private community services.* **Response:** The library is a public community service located in St Johns town center, therefore refurbishing and modernizing the building so that it can continue to serve the surrounding neighborhood for decades to come is consistent with this policy.

**Summary Finding:** As shown above, the proposal consistent with the applicable policies of the St Johns/Lombard Neighborhood Plan and this criterion is met.

### **ADJUSTMENT APPROVAL CRITERIA**

The purpose of this section is to provide the legal justification for the requested Adjustments as governed by Chapter 33.805.

#### **Adjustment #1 & #2 – Minimum Setbacks of the Institutional Development Standards.**

**Request:** The project seeks relief from the setbacks found in Table 120-7 (Institutional Development Standards) that requires a minimum setback of 1 foot for every 2 feet of building height, but in no case less than 10 feet. On the north property line, the new addition will be setback 8 feet from the property line and on the east property line it will be setback 5 feet, both of which are less than the 10-foot minimum.

**Discussion.** The existing 1917 building is setback from the north property line 8 feet, and the new addition is designed to match this setback line. The property to the north of the library is zoned RM2 but is developed with a historic building that houses a preschool. On the east side the abutting property is zoned commercially and is developed with a flex-space building that contains a variety of tenants and parking lot. The building for the most part turns away from the west and is orientated toward Richmond Avenue. The Institutional Development Standards apply to all property lines regardless of the zoning or usage of the abutting property, even though the intent of the standards is to limit the impacts on surrounding residential uses. In this case a reduced setback is appropriate because neither of the adjacent uses are residential.

#### **Adjustment #3 – Buffering from Abutting Residential Zones**

**Request:** The project seeks relief from the buffering standard found in Table 120-7 (Institutional Development Standards) that require a 10 foot wide buffer planted to the L3 landscaping standard. Along the north property line, the project is proposing to provide an 8 foot wide buffer planted to the L3 landscape standard instead.

**Discussion:** In connection with the Adjustment to the setback standards on the north property line described above, the fact that the building will be setback only 8 feet from the property line means that there is not enough area to provide the 10 foot wide buffer. The existing 1917 building is already setback 8 feet from the property line, so the site is currently not in conformance with this standard, but the new addition will move the site further out of conformance with this standard. As stated above, the property to the north of the library site is zoned residential but is developed with a commercial use so a reduced buffer in the area is appropriate.

#### **Adjustment #4 – Maximum Building Setback.**

**Request:** The project seeks relief from the maximum building setback of 20 feet from N Charleston Avenue, which is required because the site is located within a Pedestrian District. The portions of the new addition and accessory structure that are street facing will be setback over 100 feet from the street lot line.

**Discussion:** The existing 1917 building is setback approximately 40 feet from the street lot line on Charleston Avenue, so the site is already non-conforming in regard to this standard. Approximately 15 feet of new street facing façade is proposed with the building addition, plus an additional 20 feet with the accessory structure, moving the site further out of conformance with this standard. The addition was placed at the rear of the site to preserve the historic façade of the 1917 building. Meeting the maximum building setback standard would have required adding building area in front of the 1917 building which would have destroyed the historic character of the site.

**Adjustment #5 – Accessory Structure Setbacks of the Institutional Development Standards.**

**Request:** The project seeks relief from the setbacks found in Table 120-7 (Institutional Development Standards) that require a minimum setback of 10 feet for accessory structures. On the east property line the proposed accessory structure will be setback 5 feet, which is less than the 10-foot minimum.

**Discussion.** The proposed accessory structure, which will be used as a trash enclosure and long-term bike parking, is located at the rear of the site to preserve as many existing parking spaces as possible and not interfere with vehicle maneuvering. The uses proposed in the accessory structure are relatively passive in nature, so they will not be disruptive to the adjacent neighbors to the east. The abutting property to the east is zoned commercially and is developed with a building that contains commercial uses. The Institutional Development Standards apply to all property lines regardless of the zoning or usage of the abutting property, though the intent of the standards is to limit the impacts on surrounding residential uses. In this case a reduced setback is appropriate because the adjacent use impacted by the accessory structure is neither zoned nor used for residential use.

**Adjustment #6 – Vehicle Area Located Between the Building and the Street**

**Request:** The project seeks relief from Section 33.266.130.C.1. Table 266-3 states that in the RM2 zone vehicle area is not allowed between the portion of the building that complies with the maximum street setback and the transit street (or in this case the Pedestrian District). An Adjustment to the maximum street setback is requested for the addition and the accessory structure. The existing parking lot will be located between the new accessory structure and N Charleston Street so an Adjustment to this parking standard is also necessary.

**Discussion:** The proposed accessory structure has been located at the rear of the site in order to have the least amount of visual impact on the historic library building and the views from N Charleston Street. Because the accessory structure will be used as a trash enclosure, vehicle access to the structure is necessary, so it is located within the parking lot. The accessory structure is small in size, under 10 feet tall and setback over 120 feet from Charleston, so it will have a very nominal impact on the overall pedestrian experience at the street lot line.

**Approval Criteria.** *Adjustment requests will be approved if the review body finds that approval criteria A through F have been met.*

A. *Granting the adjustment will equally or better meet the purpose of the regulation to be modified.*

**Findings:** The purpose of the Institutional Development Standards (Section 33.120.275.A) is “to maintain compatibility with and limit the negative impacts on surrounding residential areas”. As described in the discussion of the minimum setback, accessory structure setback and buffering standards above, neither the property to the east or the north is developed with a residential use. Therefore, applying a more relaxed standard, that is more consistent with the historic development of the site and the surrounding context is more appropriate in this case, and will not

have a negative impact on any surrounding residential uses. The new addition will be a single-story in height so even with the reduced setbacks it will not overwhelm or loom over the neighboring properties. Additionally, the setbacks will be landscaped to provide a buffer between the library and the neighbors to assure privacy. Given the site specifics, the purpose of the Institutional Development Standards can be met with the reduced setbacks and buffer and this part of the criterion is met.

The purpose of the maximum building setback (Section 33.120.220.A) is to “...create an environment that is inviting to pedestrians and transit users.” Along the N. Charleston Avenue frontage, the pedestrian experience will involve mainly seeing the historic 1917 building, with the new addition setback over 100 feet towards the rear of the property. The architectural detailing and articulation on the historic building is inviting to the public and provides an interesting and welcoming façade. Additionally, the landscaped yard in front of the library provides additional visual interest. Adding new street facing façade in front of this historic building is not necessary to create an environment that is inviting to pedestrian and doing so would detract from the historic character of the site, therefore adjusting the maximum building setback meets the purpose of the standard and this part of the criterion is met.

The purpose of the parking development standards is to “promote vehicle areas that are safe and attractive for motorists and pedestrians.” More specifically, the transit street setbacks and the vehicle area location regulations aim to “create an environment that is inviting to pedestrians and transit users” and “limit the prominence of vehicle areas along street frontages.” The vehicle area located between the accessory structure and N Charleston Street will be consistent with this purpose statement because by locating the accessory structure at the rear of the site it will help keep the focus on the historic library building which is interesting and inviting to pedestrians at the street. Additionally, the vehicle area on the site will not become more prominent with the addition of the accessory structure, since the driveway and parking lot layout on the site will remain unchanged. Therefore, adjusting this parking standard meets the purpose statement and this part of the criterion is met.

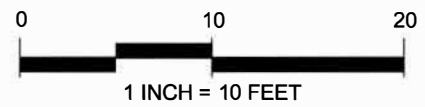
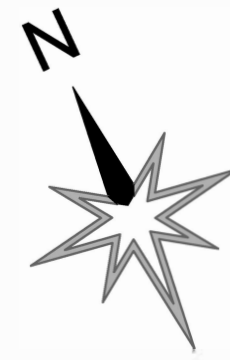
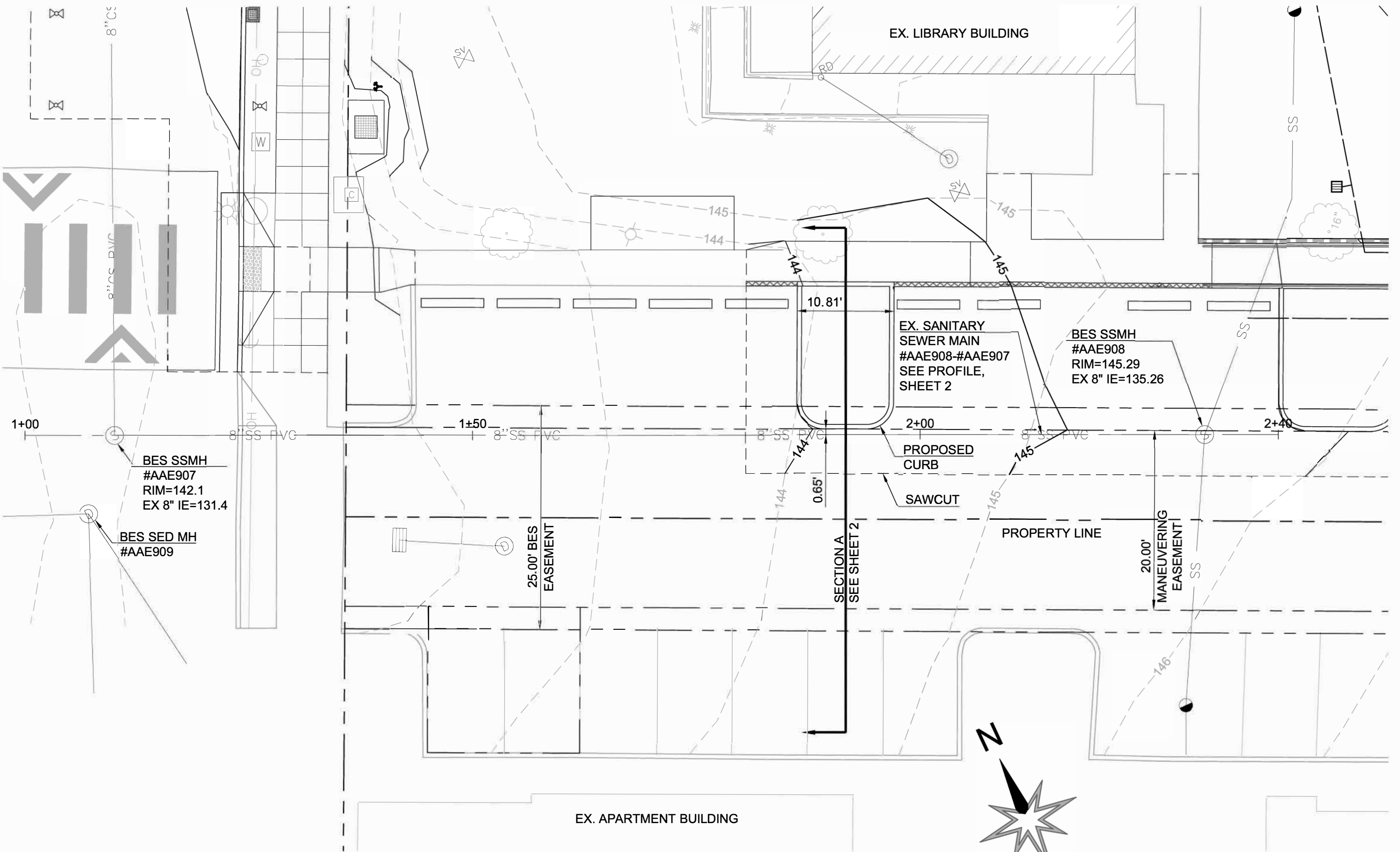
- B. If in a residential zone, the proposal will not significantly detract from the livability or appearance of the residential area. **Findings:** As described above, the proposal will not detract from the livability of the residential area, because although the area is zoned residentially, none of the surrounding properties are developed or used for strictly residential uses. The reduced setbacks to the adjacent residential uses are more appropriate given the context surrounding the site. Additionally, the library has been located on the site for over a century and is part of the fabric of the neighborhood. The proposal involves keeping the existing historic library building intact which will allow the appearance of the area to be retained. This criterion is met.
- C. *If more than one adjustment is being requested, the cumulative effect of the adjustments results in a project which is still consistent with the overall purpose of the zone.* **Findings:** In this case six Adjustments are required to overcome the obstacles created by keeping the historic structure in place on a relatively small site. However, the cumulative effect of these Adjustments does not result in a project that is inconsistent with the purpose of RM2 zone, which is “to preserve land for urban housing and to provide opportunities for multi-dwelling housing.” Because the site has been used as a library since 1917 this site has not been available for multi-dwelling housing for decades therefore continuing this use by preserving the historic building is not eliminating an opportunity for housing. This criterion is met.

- D. *City-designated scenic resources and historic resources are preserved.* **Findings:** There are no scenic or historic resources on the site, so this criterion does not apply.
- E. *Any impacts resulting from the adjustment are mitigated to the extent practical.* **Findings:** There are no likely impacts resulting from the requested Adjustments. The setbacks and landscaping on the north and east sides will be adequate to provide a standard separation between buildings and will help to maintain the privacy for the neighboring sites without additional mitigation being required, therefore this criterion is met.
- F. *If in an environmental zone, the proposal has a few significant detrimental environmental impacts on the resource and resource values as is practicable.* **Findings:** The site is not within an environmental zone, so this criterion does not apply.

## **CONCLUSION**

As shown in this report, the requested Conditional Use and Adjustments have been found to meet the approval criteria of the Zoning Code. The approval of the land use review will allow the library to update and modernize assuring that it will continue to be a vital part of St Johns, serving the surrounding neighbors. The Adjustments to the development standards will allow the flexibility needed to facilitate this redevelopment project. Therefore, this review should be approved.

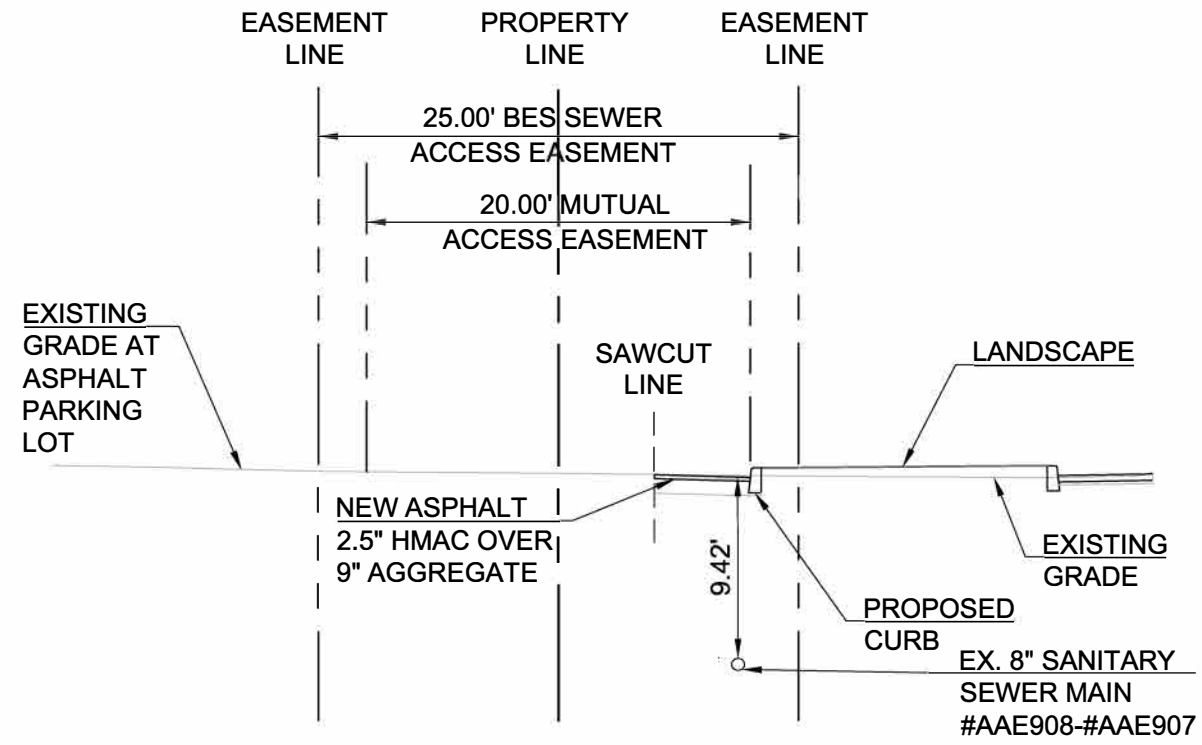




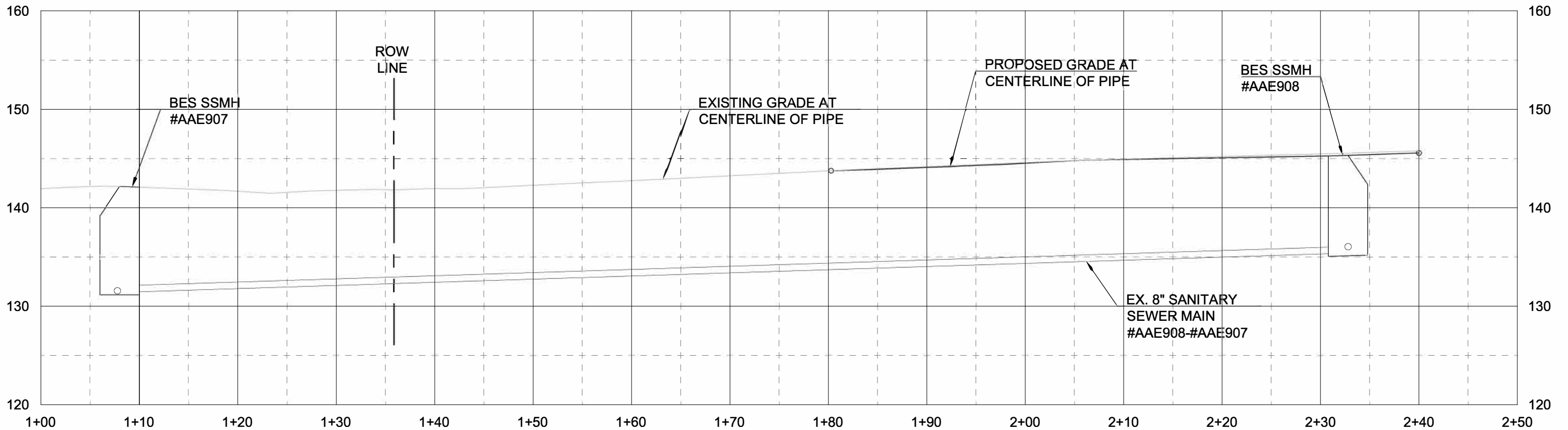
LU 24-014054 CU AD  
Exhibit A.14

# ST JOHNS LIBRARY

EXISTING SANITARY SEWER PROFILE AND SECTION  
4/18/2024  
SHEET 1/2



**SECTION A**  
SCALE: 1"=10'



**PROFILE**  
SCALE: 1"=10'

LU 24-014054 CU AD  
Exhibit A.14

**ST JOHNS LIBRARY**

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30

20

10

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### ELEVATION / SECTION NOTES

1. REFER TO ASSEMBLY SHEETS FOR WALL, ROOF, FLOOR, AND CEILING ASSEMBLIES.
2. GRADE LINES INDICATED ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO CIVIL AND LANDSCAPE DRAWINGS.
3. LINES OF FOUNDATION WALLS AND FOOTINGS ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO STRUCTURAL DRAWINGS FOR FOOTING ELEVATIONS.

### GENERAL ARCHITECTURAL NOTES

1. DO NOT SCALE DRAWINGS. REQUEST CLARIFICATION FROM ARCHITECT IF DIMENSIONS ARE NOT INDICATED.
2. DIMENSIONS ARE SHOWN TO DIMENSION POINT (DIM. PT.) OF REFERENCED DETAIL WHERE APPLICABLE.
3. PAINT EXPOSED STRUCTURAL STEEL, MISCELLANEOUS STEEL, FIREPROOFING, DUCTWORK, MECHANICAL EQUIPMENT, MECHANICAL AND SPRINKLER PIPING, ELECTRICAL CONDUIT, AND THEIR SUPPORT SYSTEMS, UNLESS OTHERWISE NOTED.

**ISSUED FOR INFORMATIONAL PURPOSES ONLY**  
**NOT FOR CONSTRUCTION**

MULTNOMAH COUNTY LIBRARIES  
 ST JOHNS LIBRARY  
 7510 N Charleston Ave, Portland, OR 97203

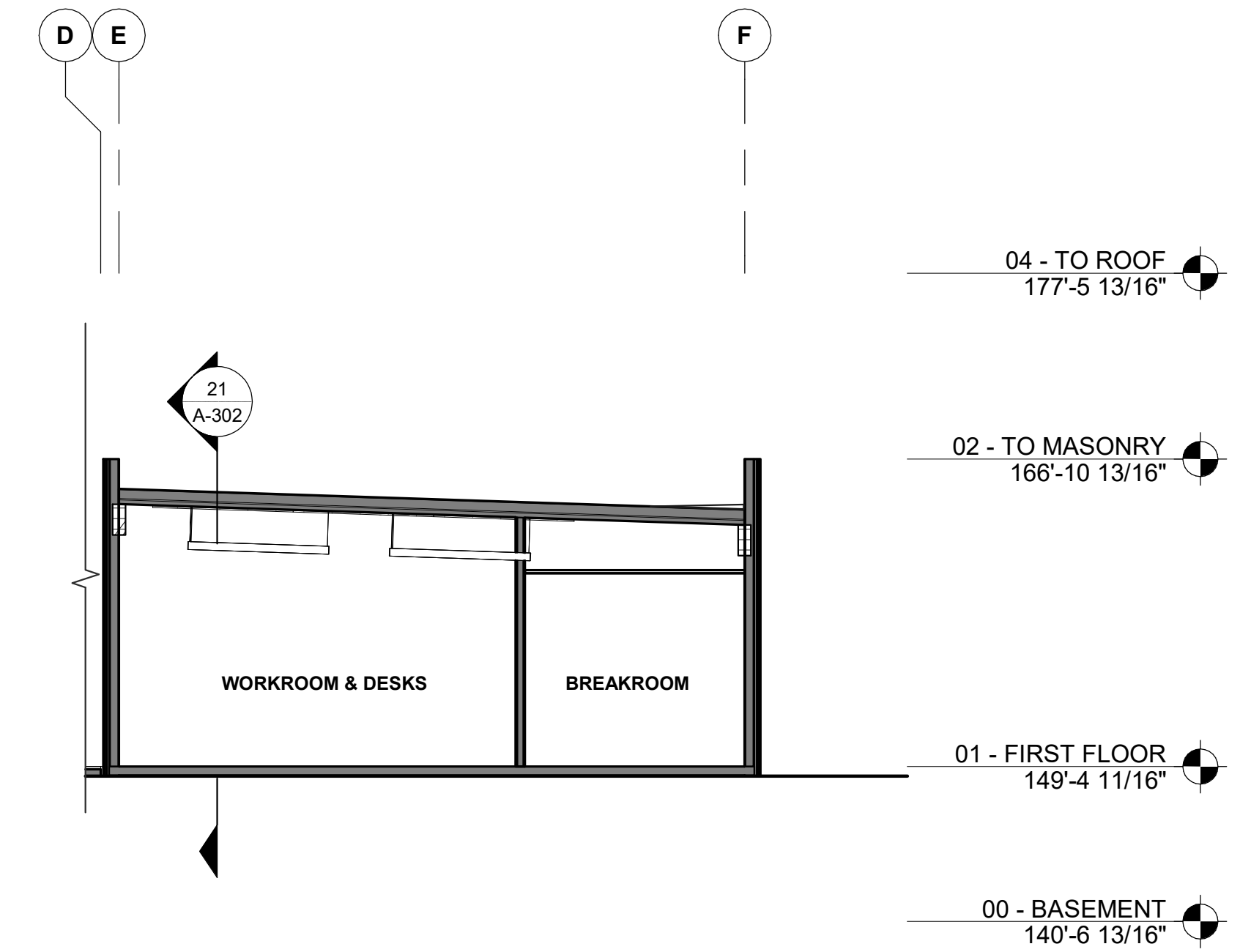
Mark	Date	Description of Revision	By

Drawn By:	Checked By:
Author	Checker
Building Number:	Approved By:
615	Approver
Multico Project Number:	
P78LB172021 09	
Sheet Title	

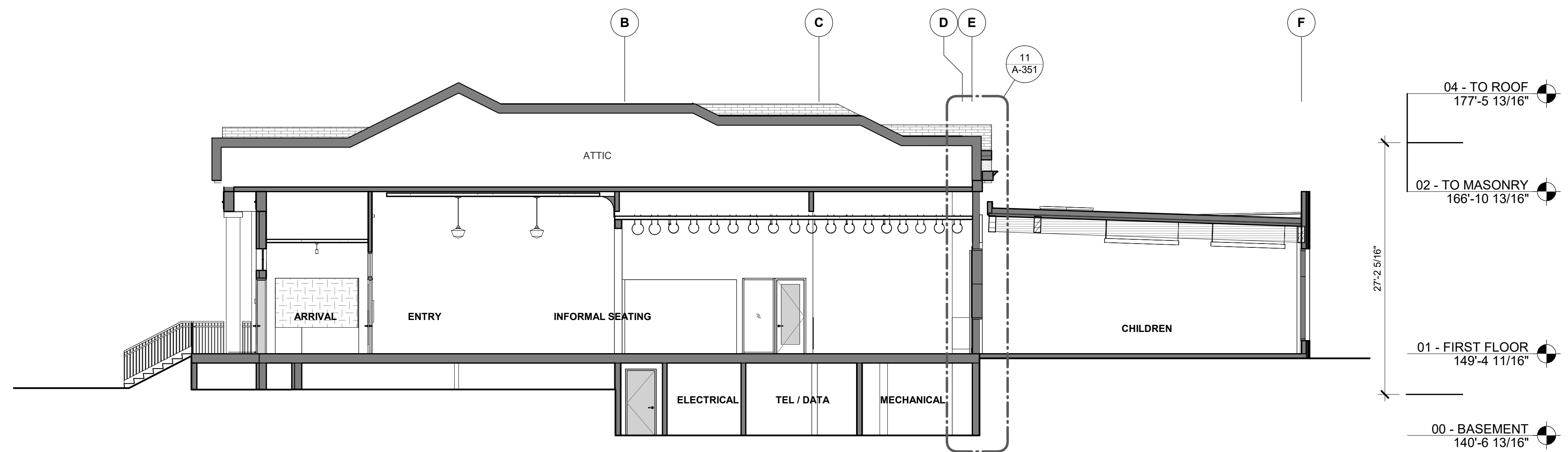
**BUILDING SECTIONS**

Date: 05/17/2024

**A-301**  
 Sheet Or



12 E/W BUILDING SECTION AT ADDITION  
 1/8" = 1'-0"



31 E/W BUILDING SECTION  
 1/8" = 1'-0"

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ELEVATION / SECTION NOTES

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MULTNOMAH COUNTY LIBRARIES  
 ST JOHNS LIBRARY  
 7510 N Charleston Ave, Portland, OR 97203

Mark	Date	Description of Revision	By

Drawn By:	Checked By:
Building Number:	Approved By:
Multico Project Number:	Approver

Sheet Title

BUILDING SECTIONS

Date 05/17/2024

A-302 Sheet Or

5

4

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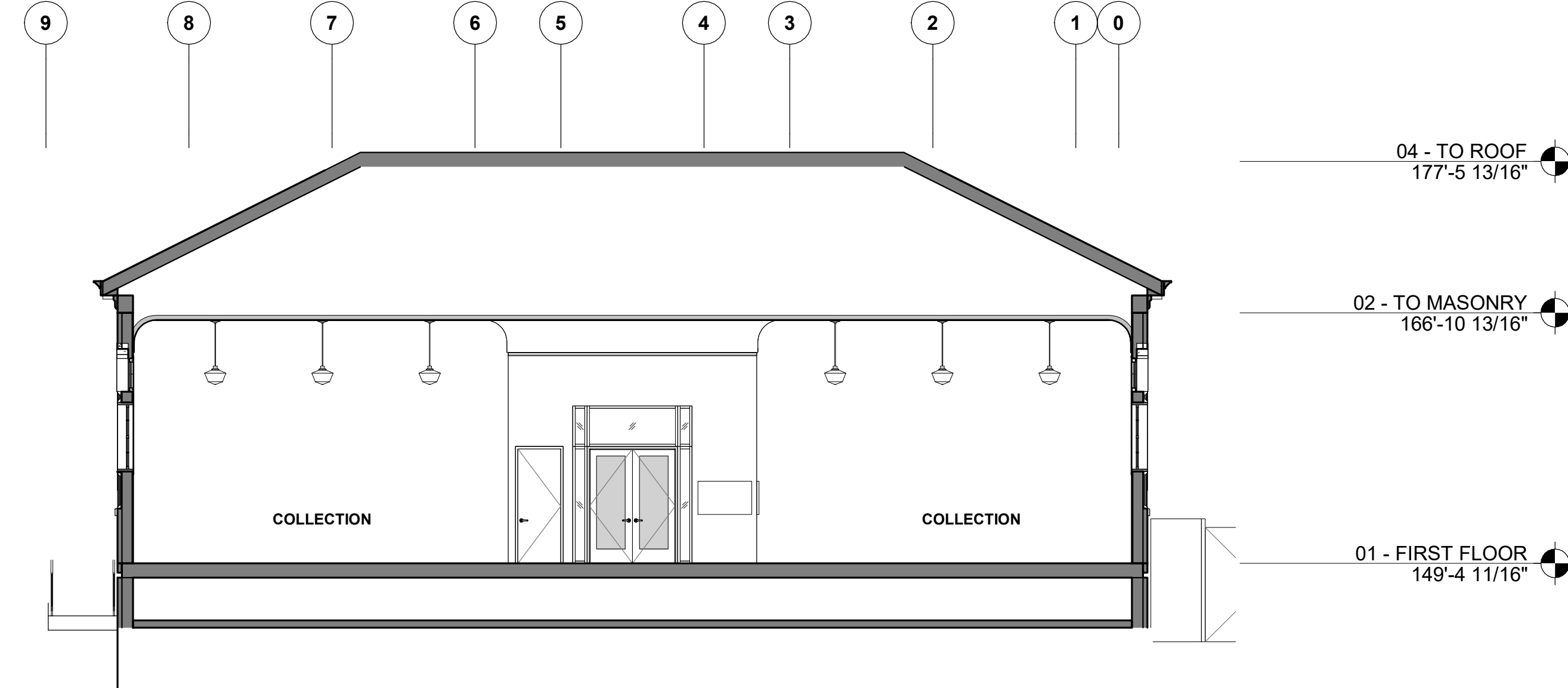
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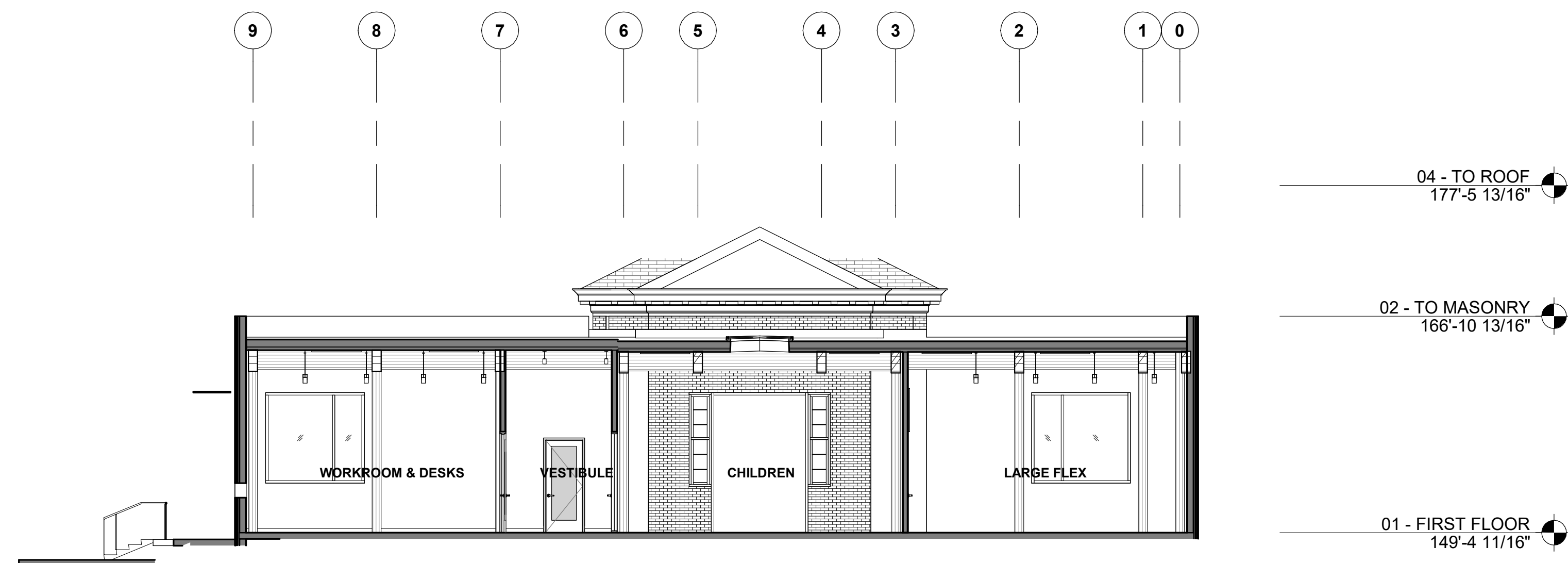
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2

1



23 N/S BUILDING SECTION  
1/8" = 1'-0"



21 N/S BUILDING SECTION AT ADDITION  
1/8" = 1'-0"

### MATERIALS LEGEND

----- PROPERTY LINE  
TYP. TYPICAL

### MATERIALS SCHEDULE

#### PAVEMENTS

- (A1) ASPHALT PAVING - VEHICULAR - SEE CIVIL
- (B1) CONCRETE PAVING - PEDESTRIAN  
- SAW CUT JOINT, BROOM FINISH
- (C1) GRAVEL MULCH

#### STAIRS, RAMPS, WALLS, AND CURBS

- (H1) CAST IN PLACE CONCRETE WALL
- (G1) CAST IN PLACE CONCRETE RAMP W/ HANDRAIL
- (G2) CAST IN PLACE CONCRETE STAIRS W/ HANDRAIL
- (K1) CONCRETE CURB - RAISED - SEE CIVIL
- (K2) CONCRETE CURB - FLUSH - SEE CIVIL

#### RAILINGS, FENCING AND GATES

- (M1) GUARDRAIL  
- MATCH EXISTING
- (M2) HANDRAIL  
- TUBE STAINLESS STEEL
- (M3) DECORATIVE FENCING & GATE  
- 8' TALL METAL FENCE

#### PLANTING & IRRIGATION

- (EXISTING TREE) EXISTING TREE
- (PROPOSED TREE) PROPOSED TREE
- (P.A.) PLANTING AREA

#### SITE FURNISHINGS

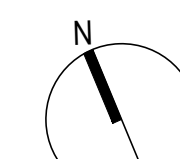
- (Q1) BIKE RACK  
- COLUMBIA CASCADE: 2170-3-06
- (Q2) TABLES & CHAIRS  
- LANDSCAPE FORMS CAROUSEL CASUAL HOOP
- (Q3) WOOD BENCH  
- LANDSCAPE FORMS NEOLIVIANO BENCH
- (Q4) PLANTER  
- GREEN THEORY JOIN PLANTER
- (Q5) PLANTER BENCH  
- GREEN THEORY JOIN BENCH SEATING
- (Q6) EV ELECTRIC CHARGING STATION w/ CONC. PAD

#### SHEET NOTES:

- 1 BIKE STORAGE & TRASH ENCLOSURE, SEE ARCH.
- 2 RIGHT OF WAY PAVING, SEE CIVIL.
- 3 REPLACE EXISTING STAIRS CONCRETE PAVING, SALVAGE AND REUSE HANDRAIL.
- 3.1 PROTECT EXISTING STAIR'S RETAINING WALL AND PILLARS IN PLACE.
- 4 EXPAND EXISTING RAMP LANDING, SALVAGE AND REUSE GUARDRAIL.
- 5 LIBRARY MONUMENT SIGN, MCL STANDARD TYPE AA1, SEE ARCH.
- 6 GATE WITH CARD READER, SEE HARDWARE SPECIFICATION.
- 7 GATE WITH LOCK, SEE HARDWARE SPECIFICATION.
- 8 PROTECT (3) EXISTING BIKE RACKS IN PLACE.

SCALE: 1" = 10'

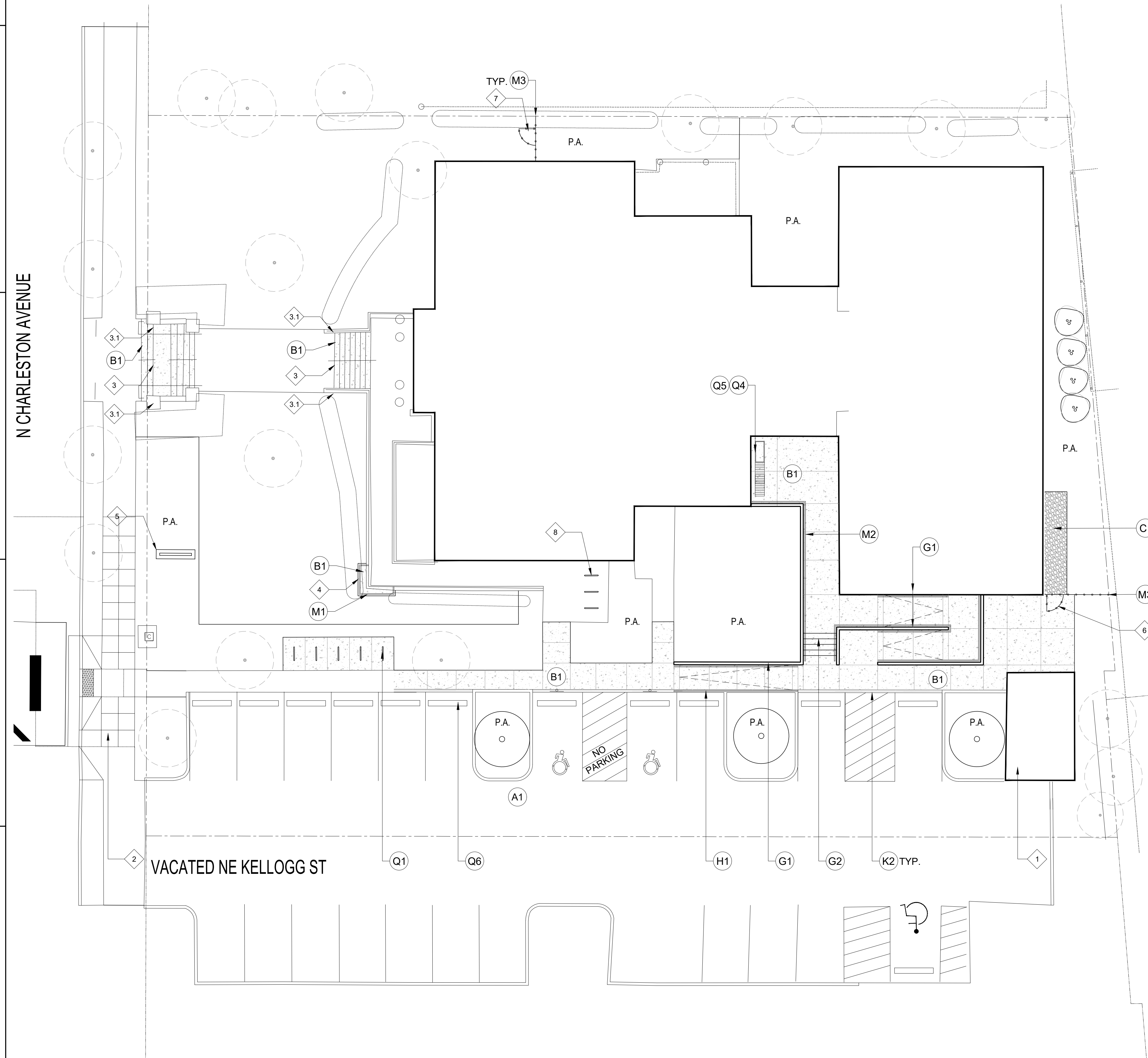
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Exhibit A.15

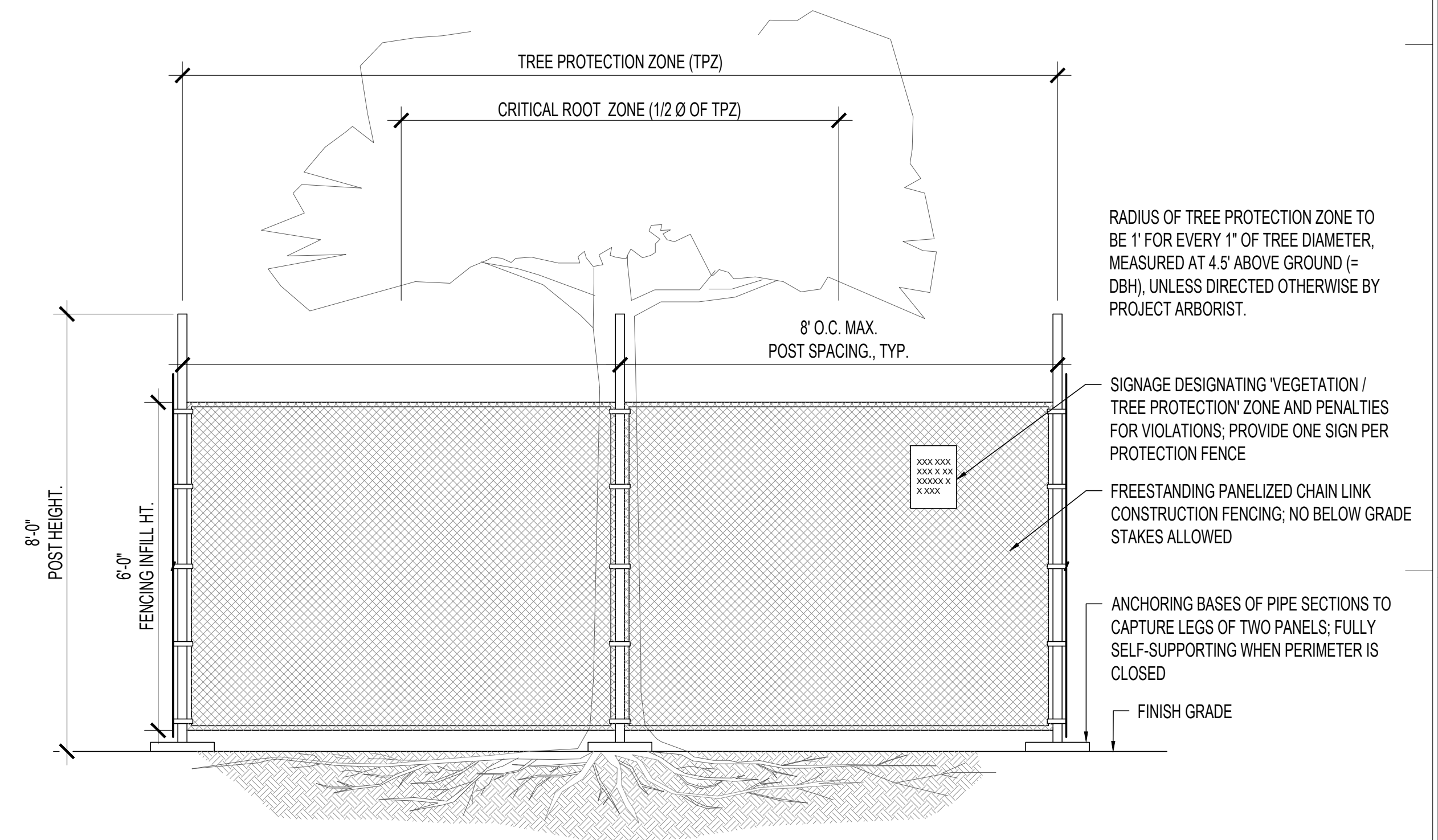


Mark	Date	Description of Revision	By

Drawn By: RW	Checked By: CB
Building Number: 615	Approved By: Approver
Multico Project Number: P78LB172021 09	Sheet Title: <b>SITE MATERIALS PLAN</b>
Date: 04/23/2024	
<b>LS-110</b>	L Sheet 2 Of 12





**NOTES:**

- 1) NO SOIL GRADE CHANGES, COMPACTION OR STORAGE OF MATERIALS SHALL BE ALLOWED WITHIN THE CRITICAL ROOT ZONE (CRZ). THE FOLLOWING CONSTRUCTION ACTIVITIES SHALL NOT BE ALLOWED WITHIN THE CRZ:
  - STORAGE OR STAGING OF MATERIALS OR EQUIPMENT
  - DUMPING OF REFUSE
  - VEHICLE PARKING
  - EXCAVATION, TRENCHING, OR FILL
- 2) TREE PROTECTION ZONE (TPZ) MAY EXTEND BEYOND DRIPLINE. ARBORIST'S RECOMMENDATIONS MAY EXTEND PROTECTION METHODS BEYOND THE SCOPE OF THIS DETAIL.
- 3) ENCROACHMENT INTO THE ROOT PROTECTION ZONE (RPZ) AREA IS LIMITED TO EXISTING DEVELOPMENT AND AN ADDITIONAL 25 PERCENT OF THE TOTAL RPZ AREA ON SITE. NO ENCROACHMENT IS ALLOWED CLOSER THAN ONE HALF THE REQUIRED RADIUS DISTANCE.
- 4) THE CRZ FOR TREES 4" DIAMETER OR SMALLER SHALL BE AN AREA WITH A RADIUS AT LEAST 5' FROM THE TRUNK. THE CRZ FOR TREES OVER 4" DIAMETER SHALL BE AN AREA WITH A RADIUS AT LEAST 1'-6" FROM THE TRUNK FOR EVERY 1" OF DIAMETER SIZE.
- 5) PROTECTIVE FENCING IS REQUIRED WHEN THE WORK AREA IS WITHIN THE CRZ OF TREES, EXCEPT WHERE PORTIONS OF THE CRZ ARE COVERED WITH PAVEMENT SUCH AS STREETS OR WALKS.
- 6) WORK DONE WITHIN THE CRZ MUST MINIMIZE ROOT DISTURBANCE. SPECIAL CARE SHALL BE TAKEN DURING EXCAVATION AND REMOVAL OF EXISTING CURB, GUTTER, AND SIDEWALKS TO AVOID DAMAGE TO TREE ROOTS. LOCATE EXISTING TREE ROOTS USING HAND TOOLS OR OTHER APPROVED METHODS SUCH AS AIRSPACE.
- 7) NO ROOT OVER 2" SHALL BE CUT WITHOUT APPROVAL OF THE URBAN FORESTER OR THE APPROVED PROJECT ARBORIST. ROOTS SHALL ONLY BE CUT WITH PRUNING SAWS OR SHEARS. NO ROOTS OVER 2" SHALL BE CUT OR TORN DURING TRENCHING WITH POWER EQUIPMENT SUCH AS BACKHOES AND TRENCHERS. UTILITY LINES AND IRRIGATION OR OTHER PIPES SHALL BE INSTALLED BY HAND DIGGING OR TUNNELING UNDER ROOTS AS NECESSARY. AVOID CUTTING ROOTS 2" AND LARGER.

**1 ON-SITE TREE PROTECTION FENCING**  
NOT TO SCALE

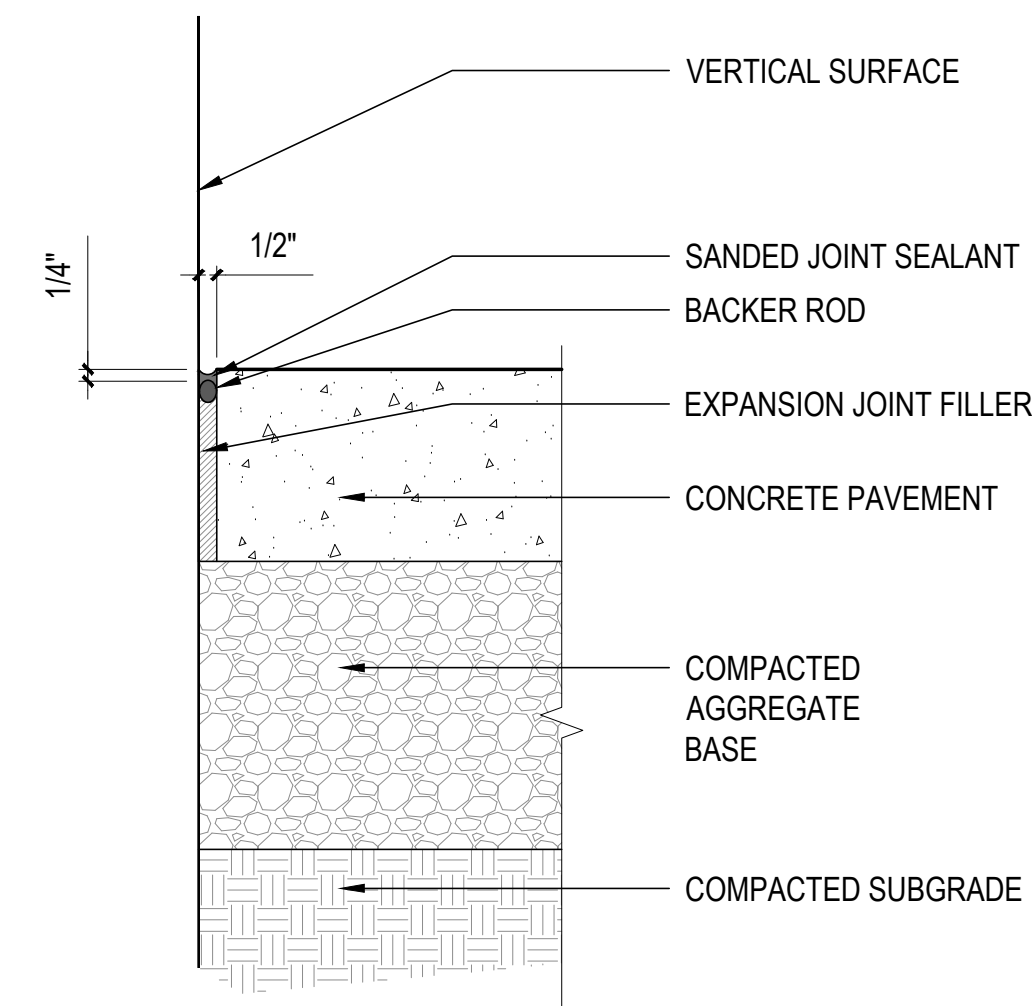
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Multico Project Number: P78LB172021 09	
Sheet Title	

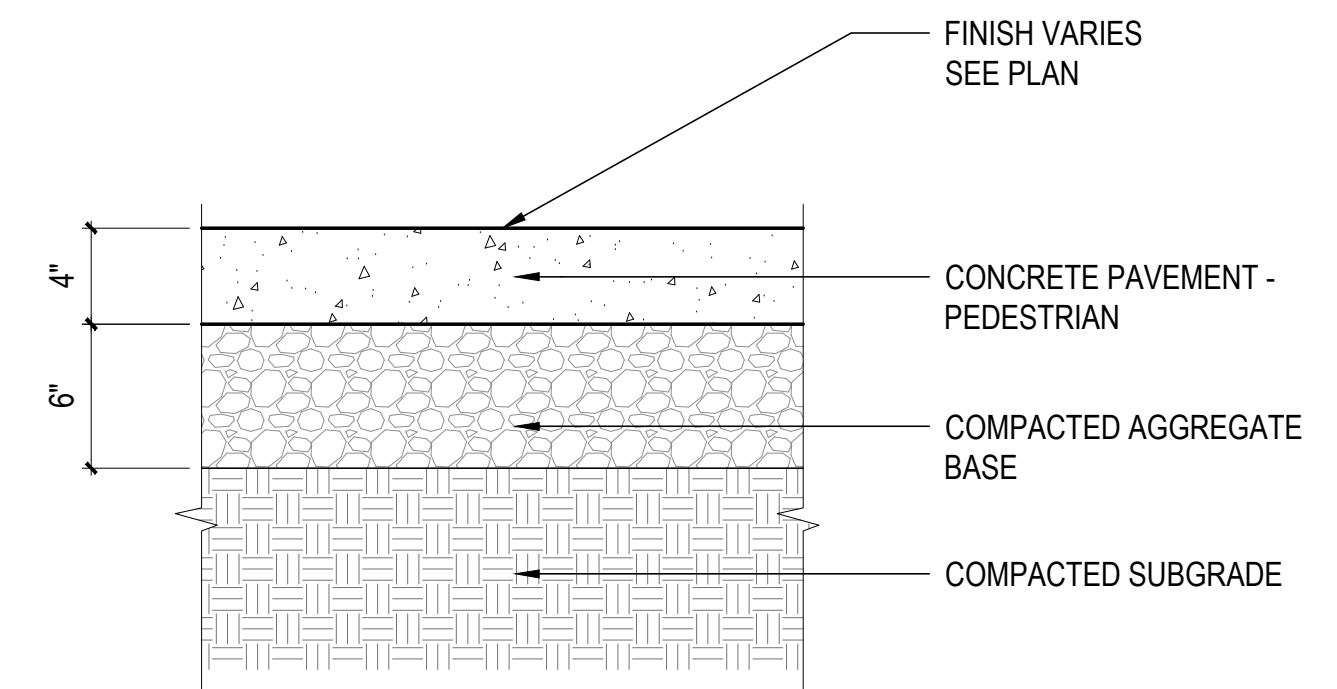
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DETAIL

Date  
04/23/2024

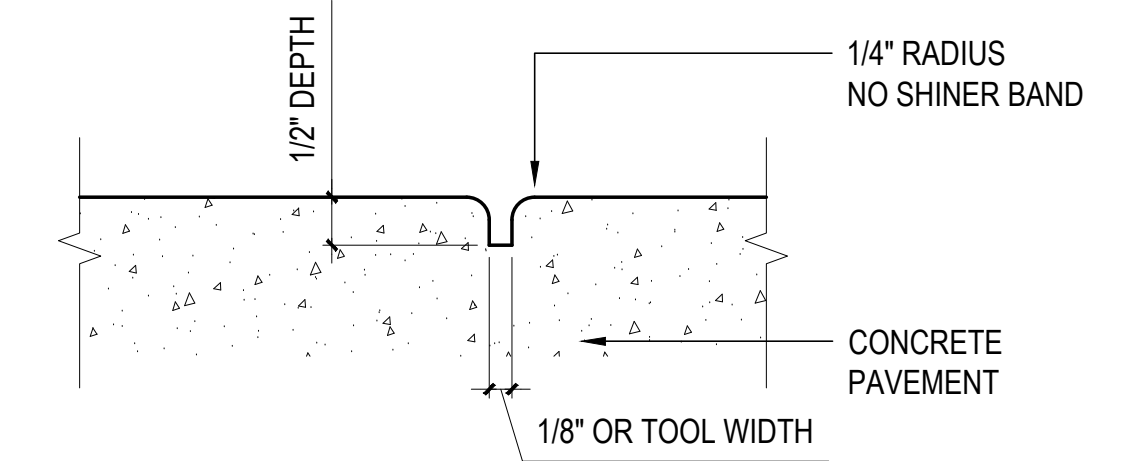
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L Sheet 7 Of 12



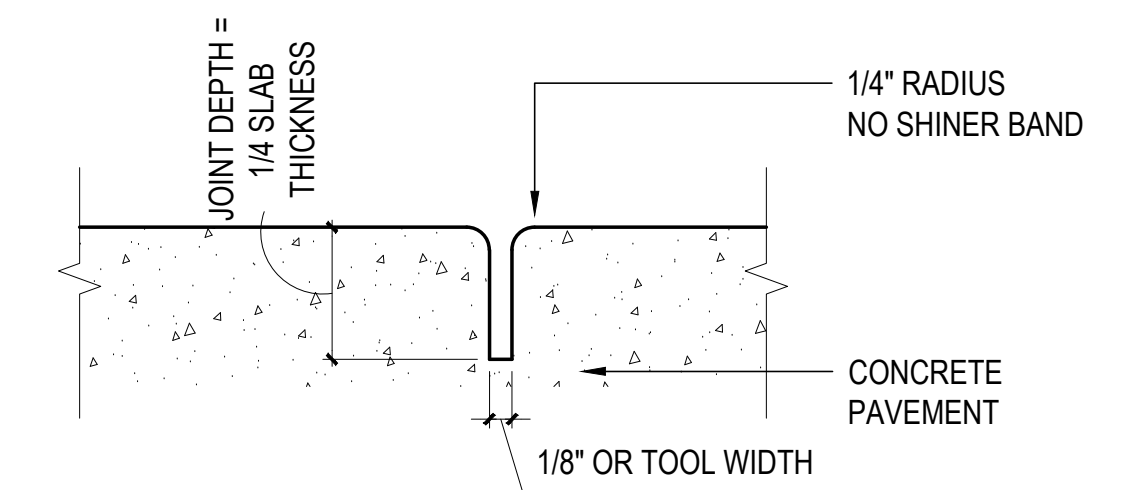
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3'=1'-0"



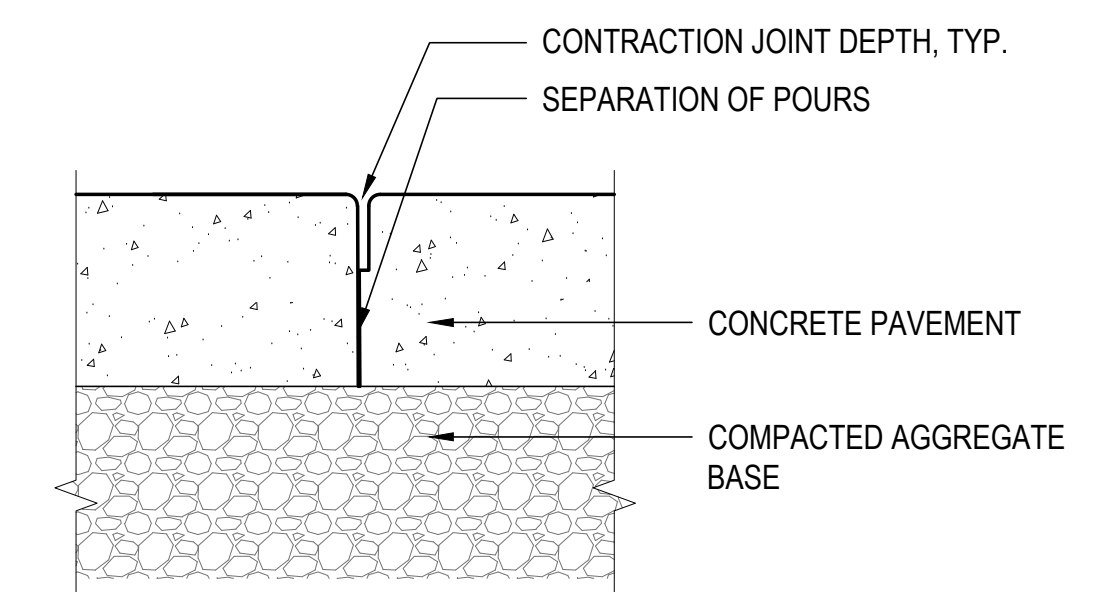
**1 CONCRETE PAVING - PEDESTRIAN**  
1-1/2'=1'-0"



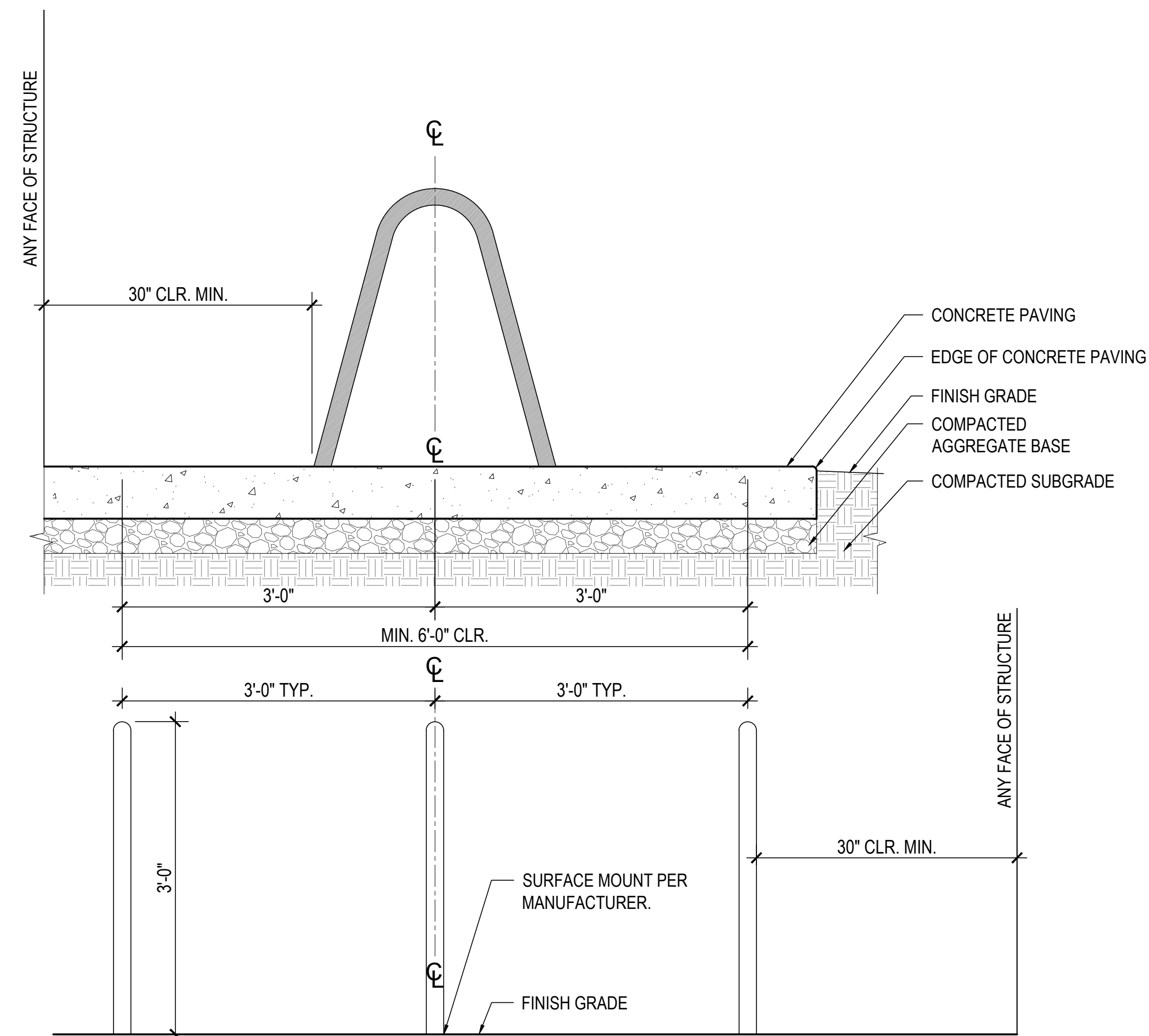
**2 SCORE JOINT**  
6'=1'-0"



**3 CONTRACTION JOINT**  
6'=1'-0"



**4 CONSTRUCTION JOINT**  
3'=1'-0"



**NOTES:**  
1. SEE SITE MATERIALS AND LAYOUT PLANS FOR LOCATIONS.  
2. CONFIRM THAT BIKE RACK ENDS AND EDGES WILL HAVE 30" CLR. MIN. OF ALL STRUCTURES.

**6 BIKE RACK**  
1'=1'-0"

Mark	Date	Description of Revision	By

Drawn By: RW	Checked By: CB
Building Number: 615	Approved By: Approver
Multico Project Number: P78LB172021 09	
Sheet Title	

SITE DETAILS

Date  
04/23/2024

**L-211**  
L Sheet 8 Of 12



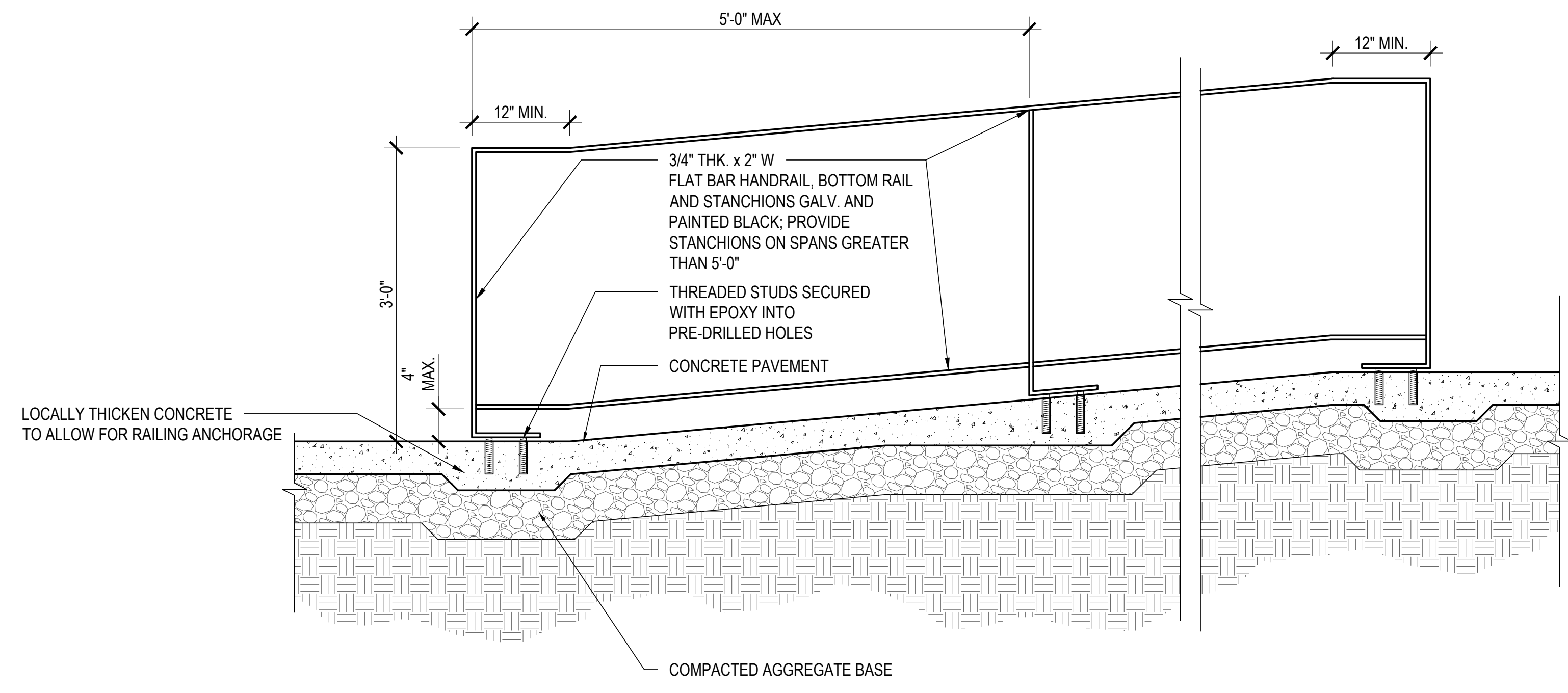
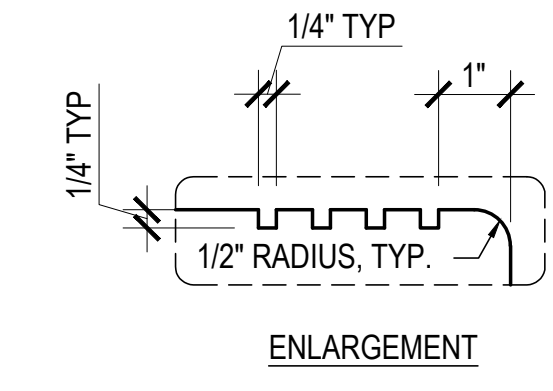
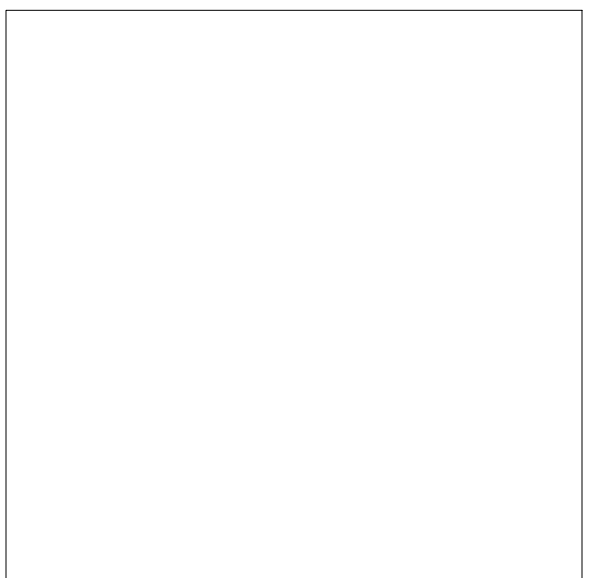
Mark	Date	Description of Revision	By

Drawn By: RW  
Checked By: CB  
Building Number: 615  
Approved By: Approver  
Multico Project Number: P78LB172021 09  
Sheet Title

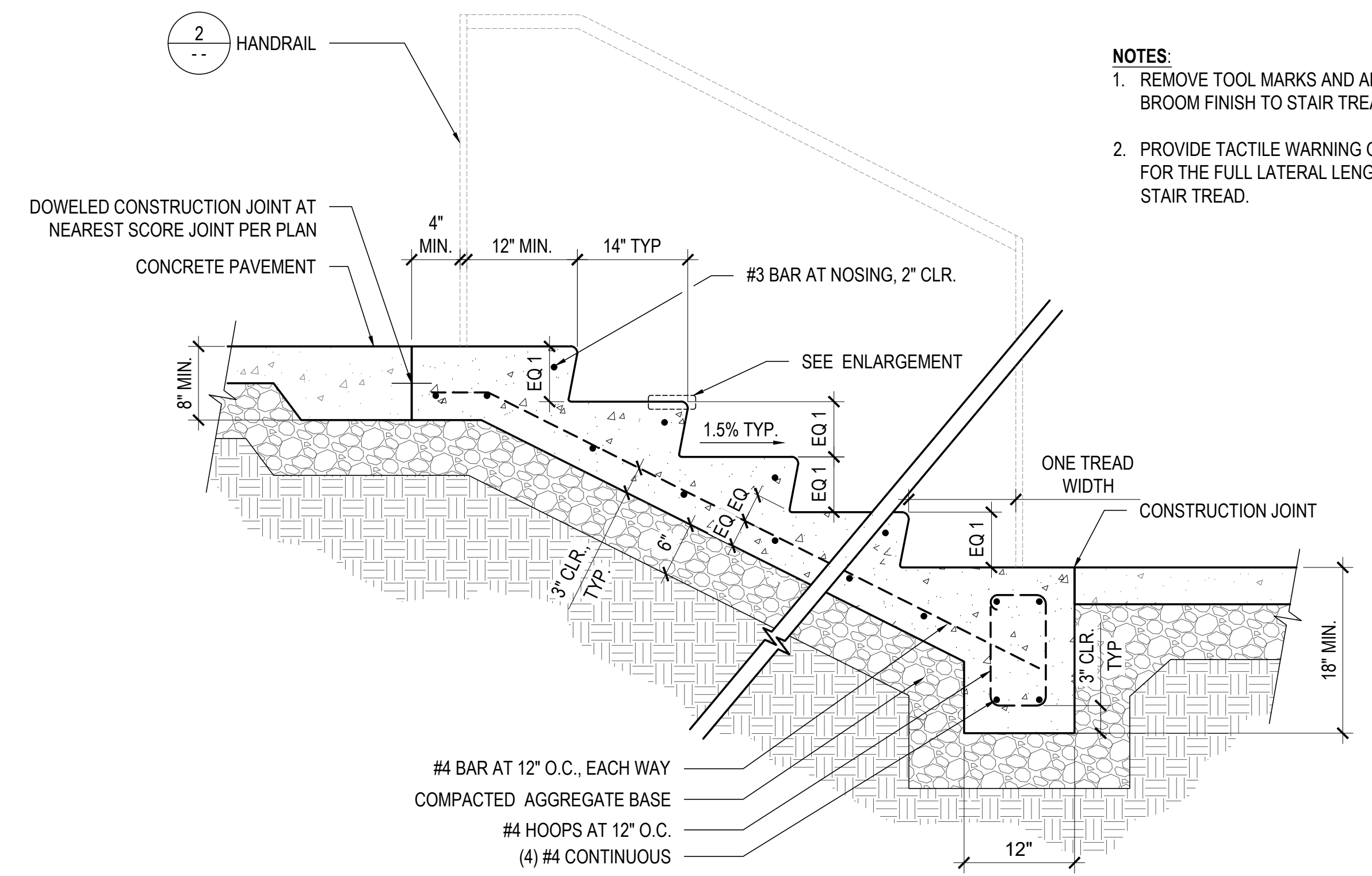
SITE DETAILS

Date: 04/23/2024

L-212  
L Sheet 9 Of 12

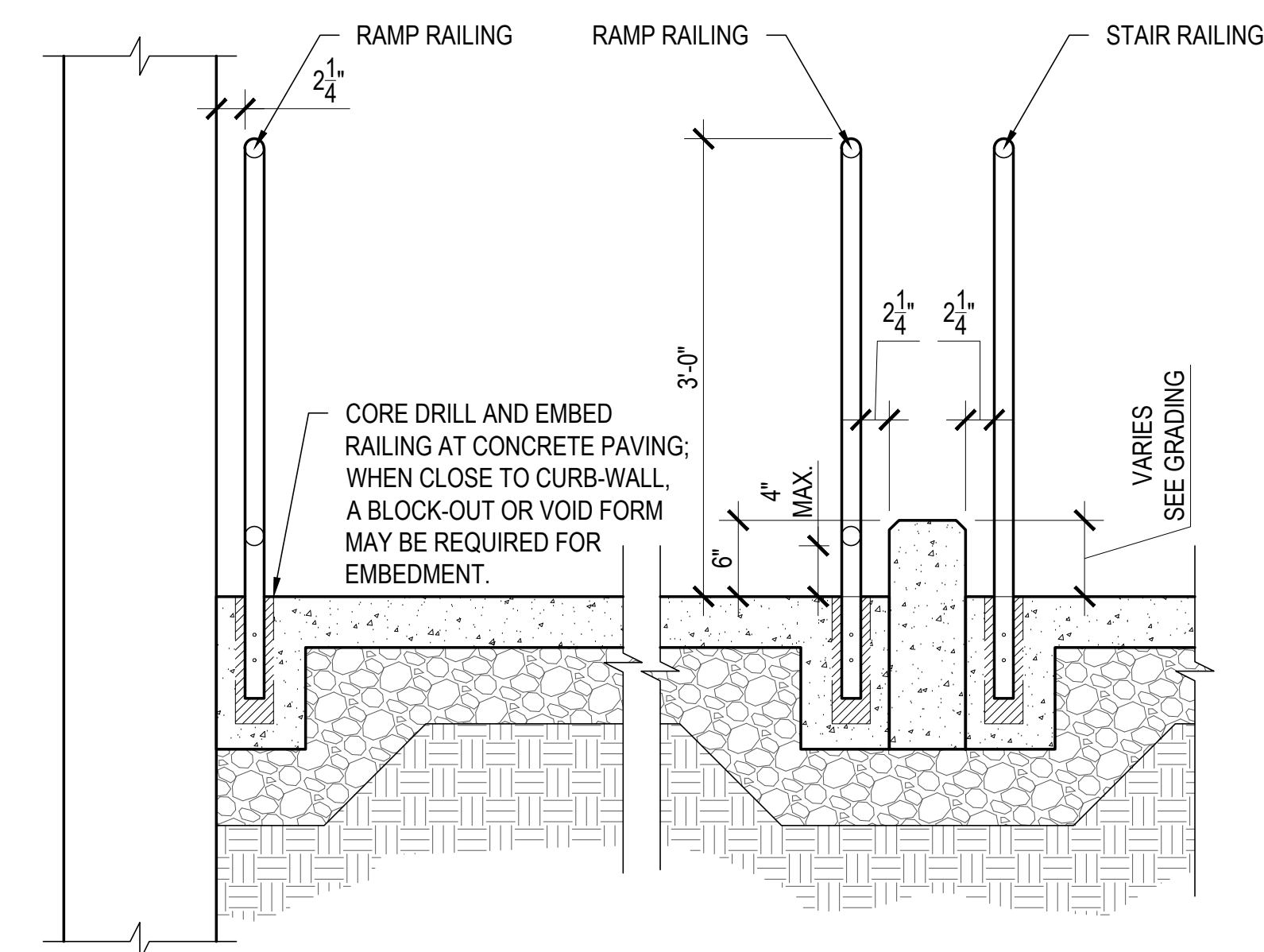


3 C.I.P. CONCRETE RAMP  
1"=1'-0"

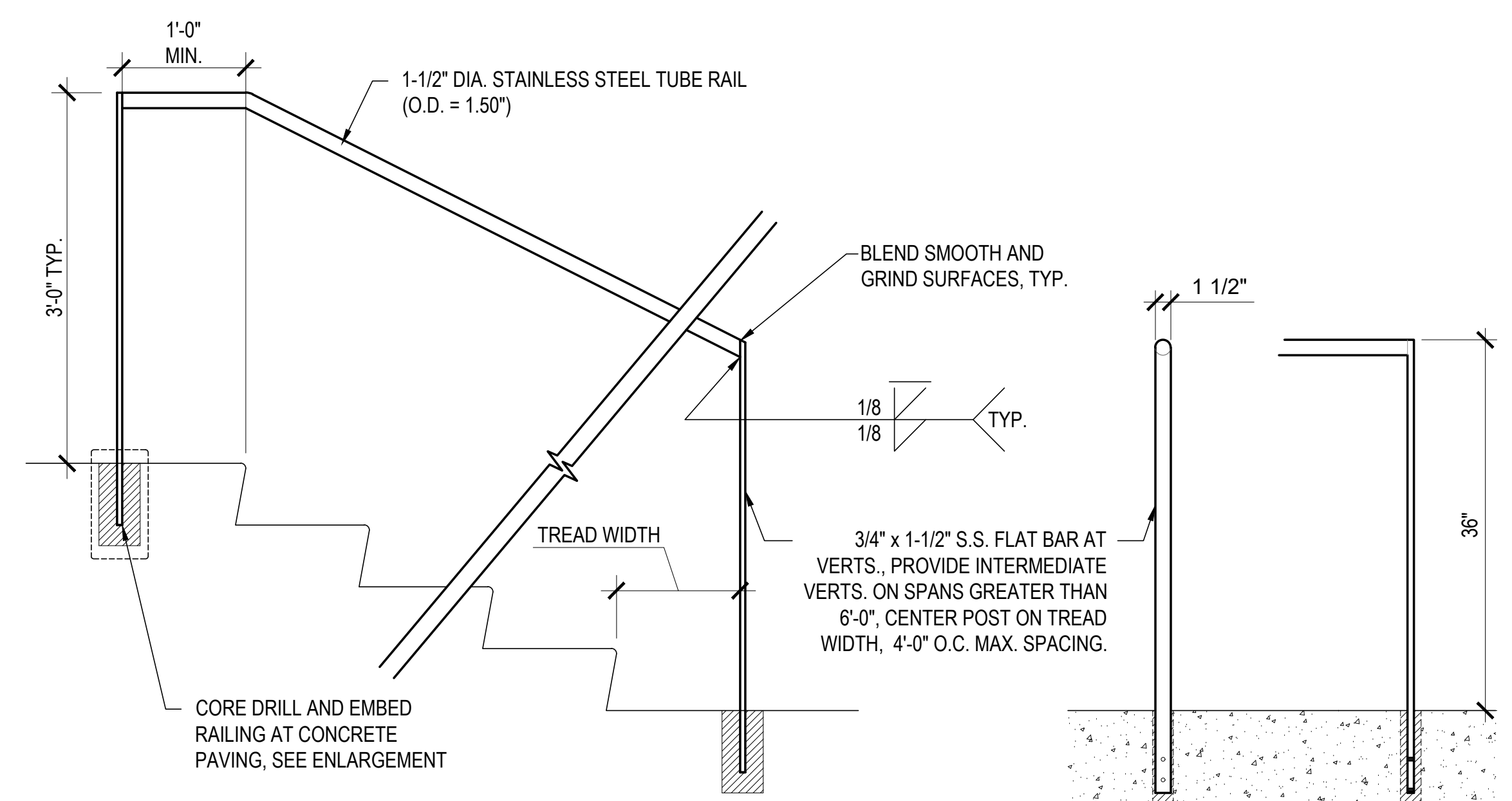


1 C.I.P. CONCRETE STAIR  
1"=1'-0"

- NOTES:**
1. REMOVE TOOL MARKS AND APPLY MEDIUM BROOM FINISH TO STAIR TREAD.
  2. PROVIDE TACTILE WARNING GROOVES FOR THE FULL LATERAL LENGTH OF EACH STAIR TREAD.

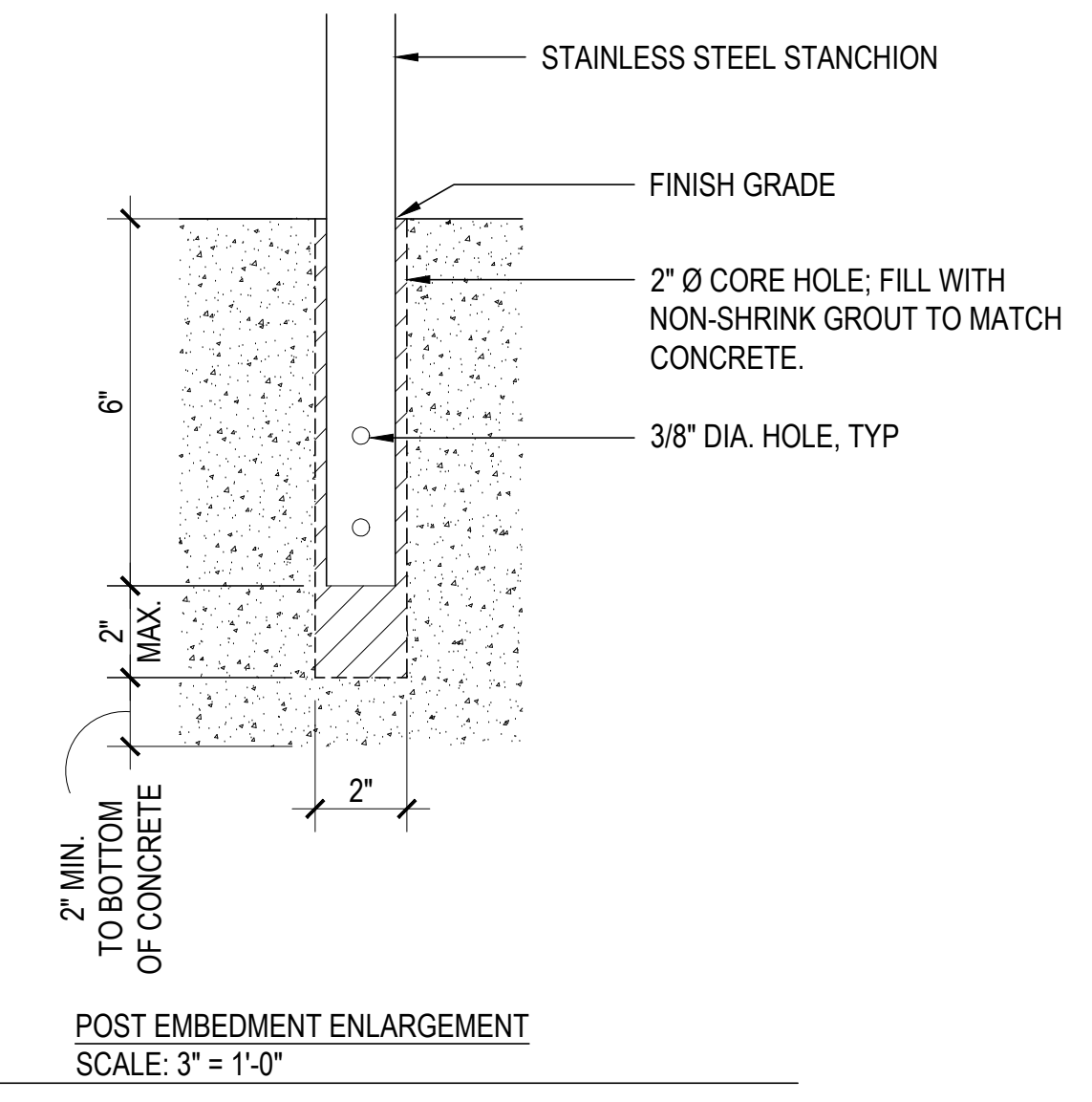


4 RAMP HANDRAIL  
1"=1'-0"

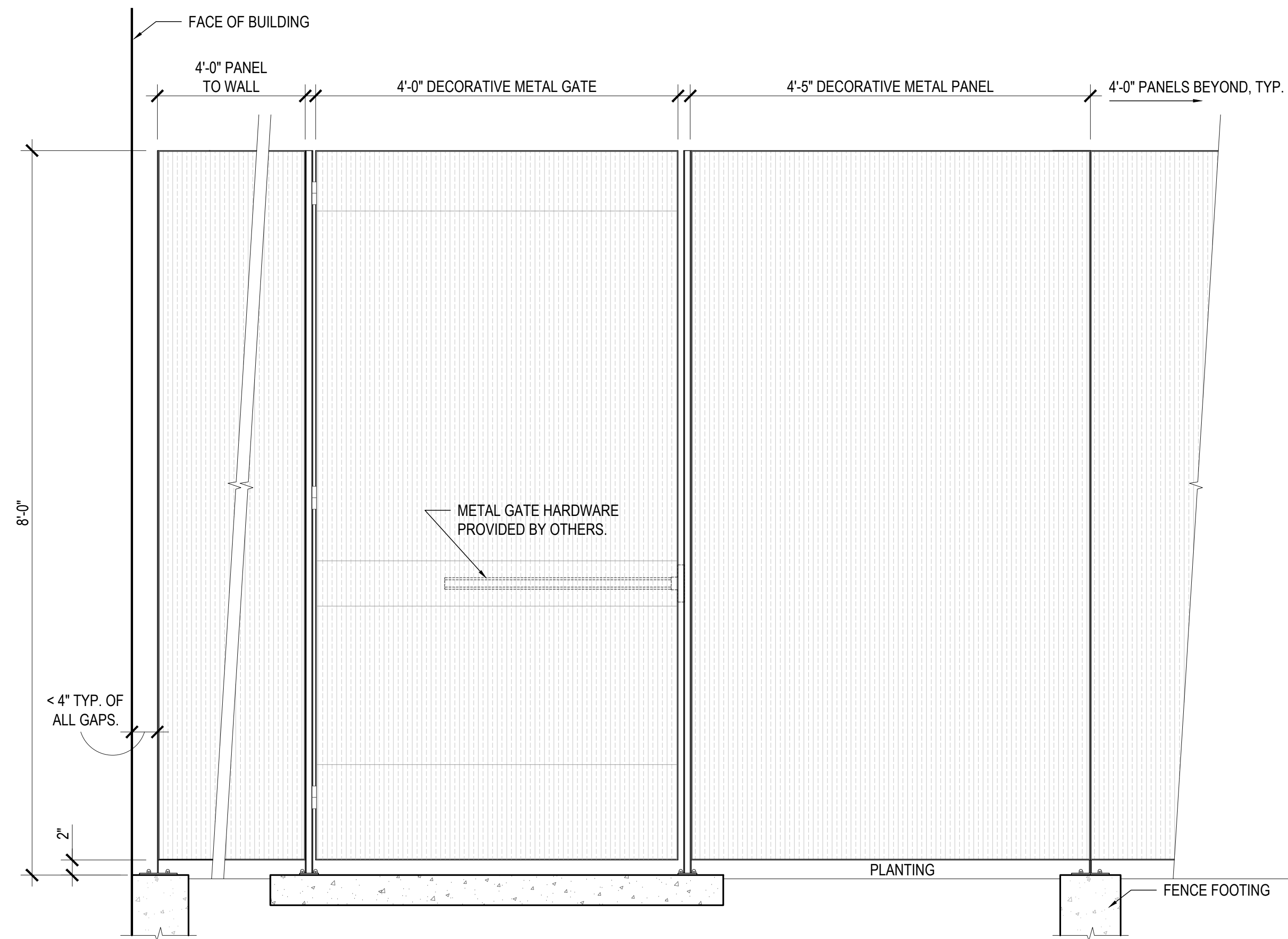


2 STAIR HANDRAIL  
1"=1'-0"

**NOTE:**  
PROVIDE SHOP DRAWINGS FOR LANDSCAPE ARCHITECT REVIEW.



POST EMBEDMENT ENLARGEMENT  
SCALE: 3" = 1'-0"



**NOTES:**

1. PANIC HARDWARE TO BE COORDINATED BY HARDWARE CONSULTANT.
2. DECORATIVE METAL FENCES AND GATES TO BE DELEGATED DESIGN.
3. PROVIDE SHOP DRAWINGS FOR ALL DECORATIVE METAL FENCE PANELING AND GATES.

**1** 8' HT. DECORATIVE METAL FENCE AND GATE  
1"=1'-0"

Mark	Date	Description of Revision	By

Drawn By: rw  
Building Number: 615  
Multico Project Number: P78LB172021 09  
Checked By: cb  
Approved By: Approver  
Sheet Title

**SITE DETAILS**

Date: 04/23/2024

**L-213**  
L Sheet 10 Of 12

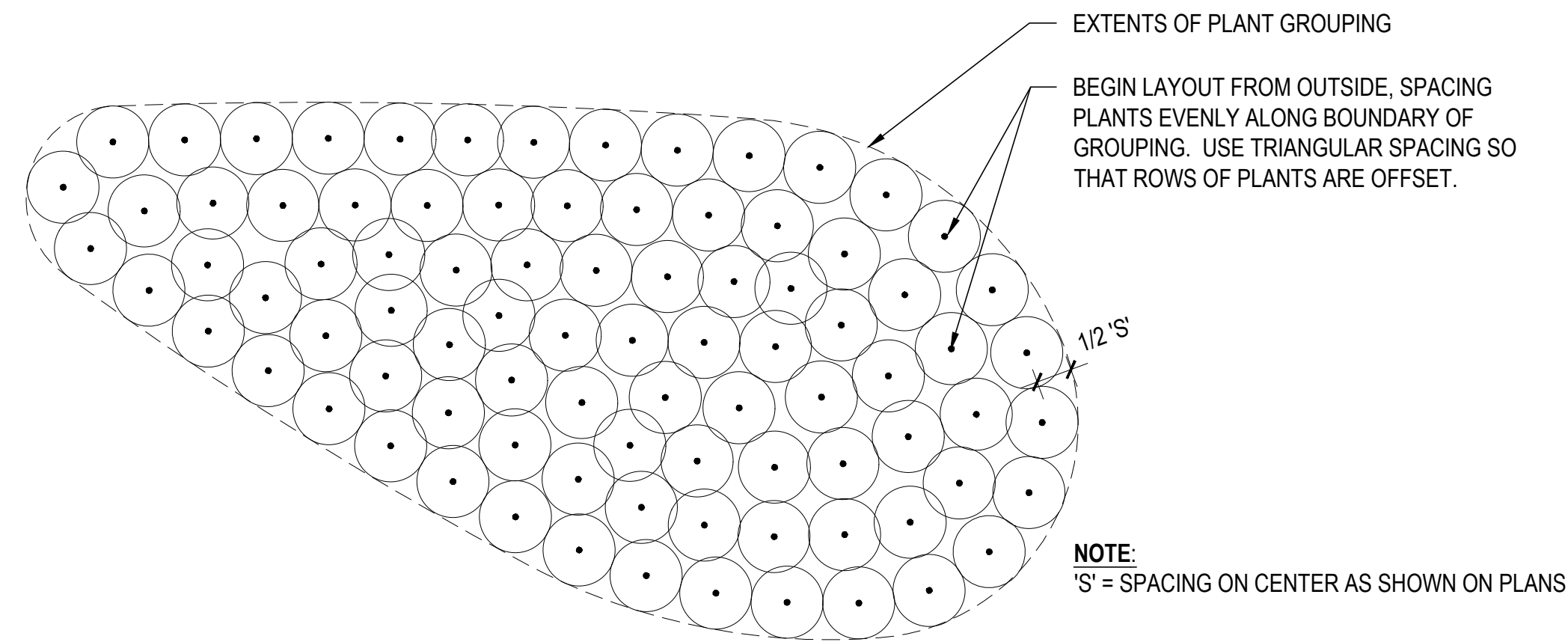
Mark	Date	Description of Revision	By

Drawn By: rw	Checked By: cb
Building Number: 615	Approved By: Approver
Multico Project Number: P78LB172021 09	
Sheet Title	

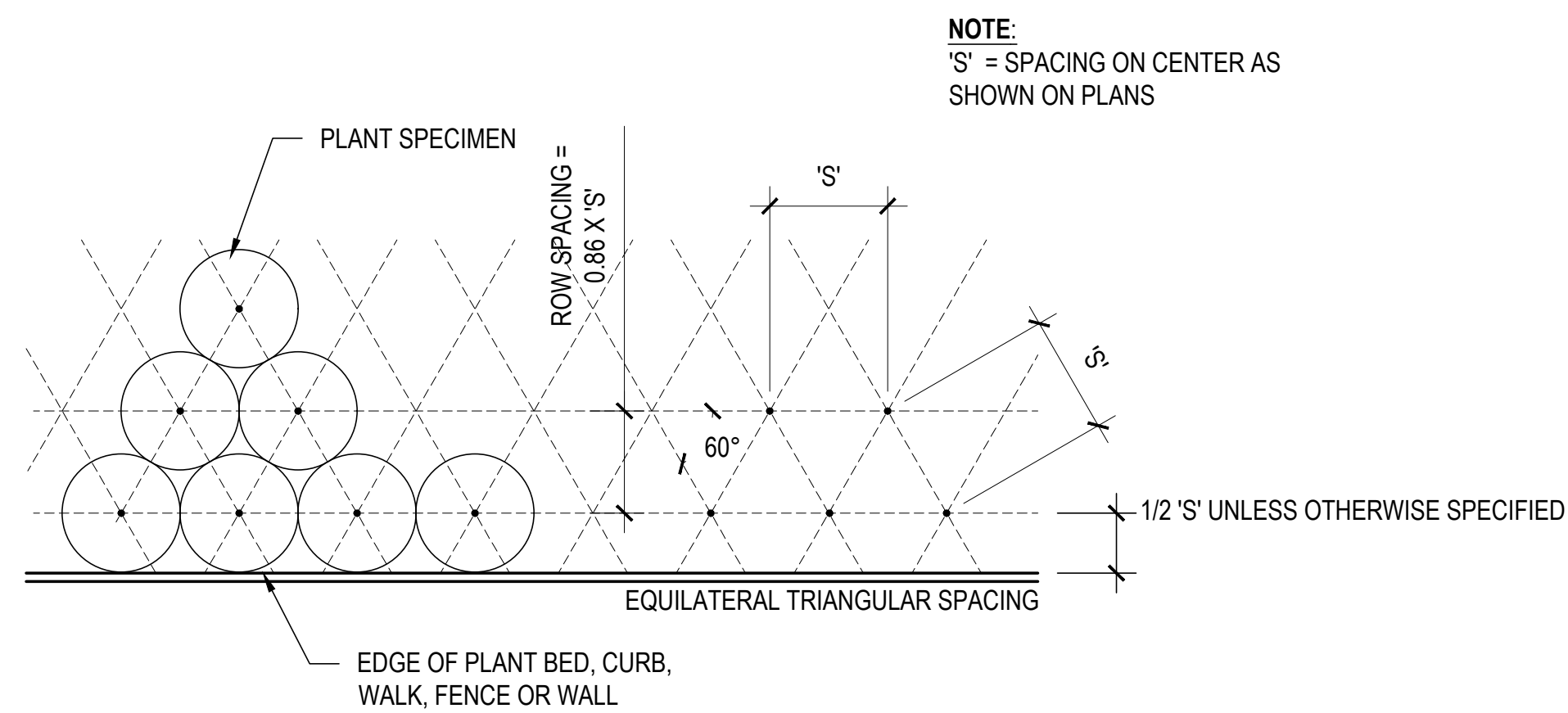
PLANTING DETAILS

Date  
04/23/2024

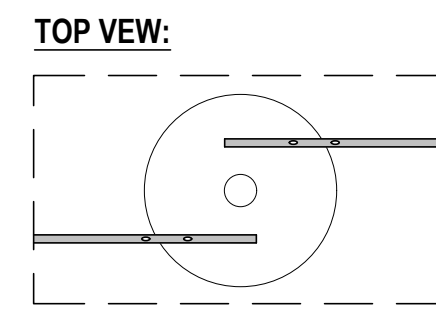
L-230  
L Sheet 12 Of 12



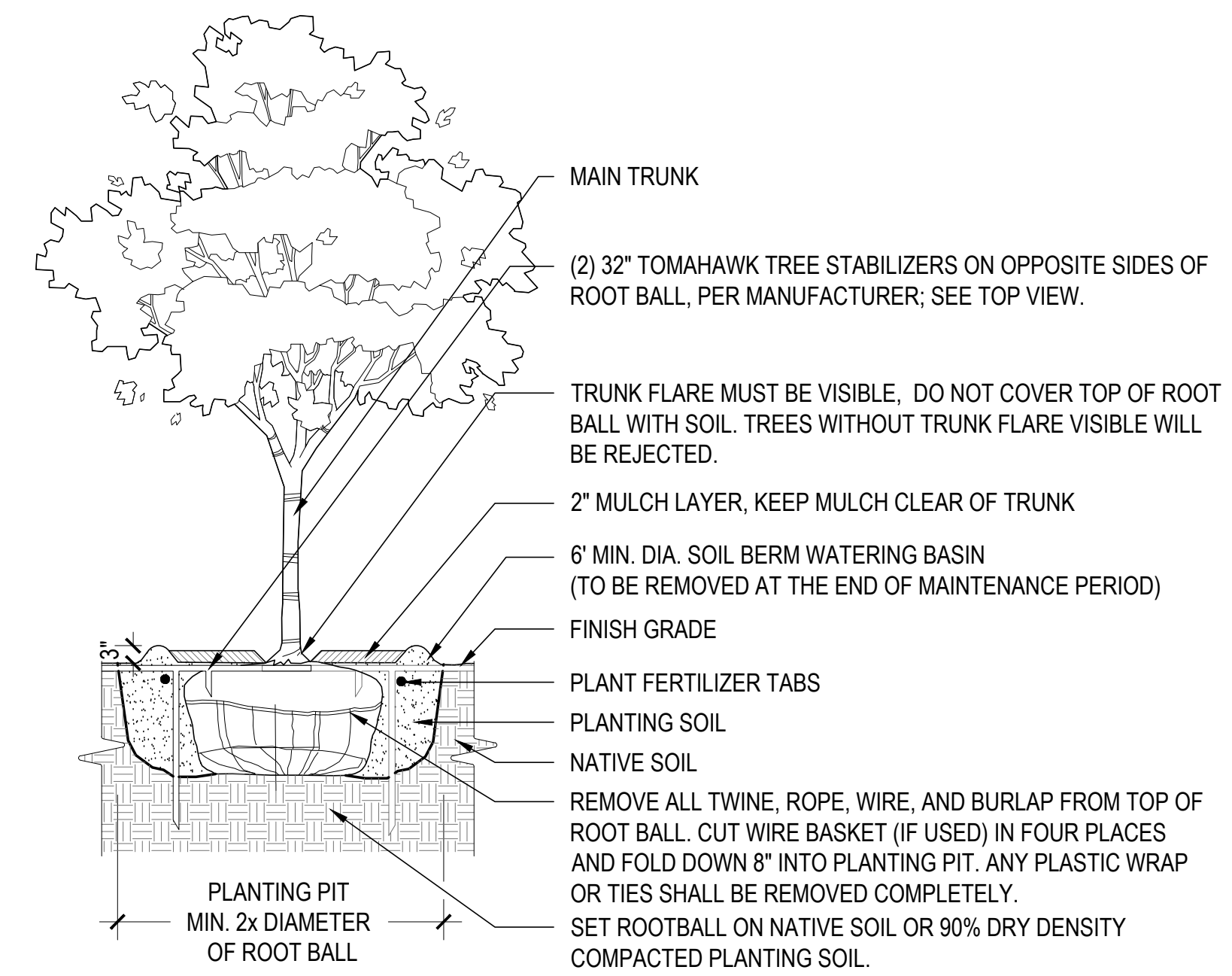
**4 MASS PLANTING LAYOUT**  
NOT TO SCALE



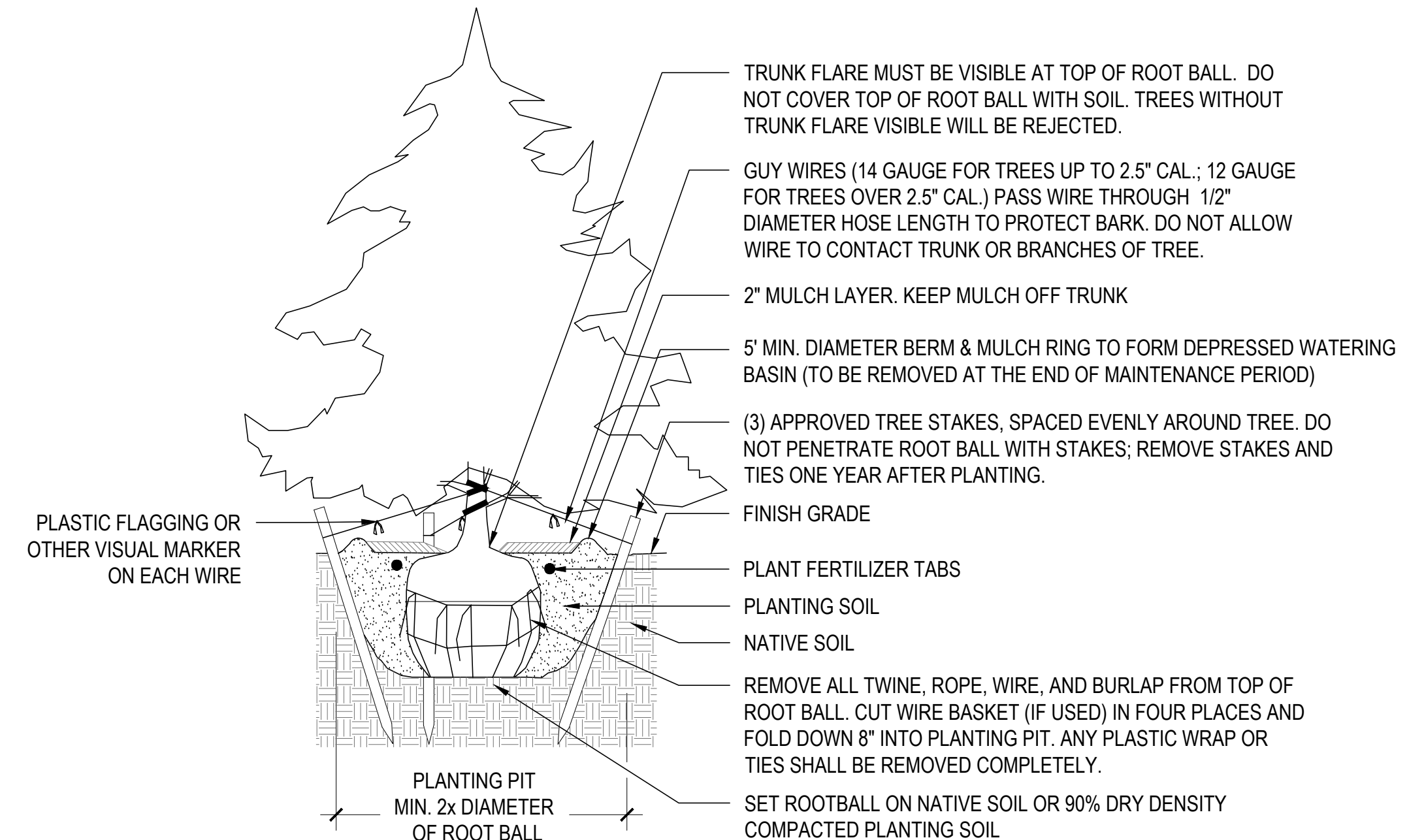
**5 GROUNDCOVER SPACING**  
NOT TO SCALE



- NOTES:**
1. ROOTBALL CROWN TO BE FLUSH WITH FINISH GRADE
  2. CUT AND REMOVE ALL BINDING FROM THE TOP AND SIDES OF THE ROOTBALL BEFORE BACKFILLING

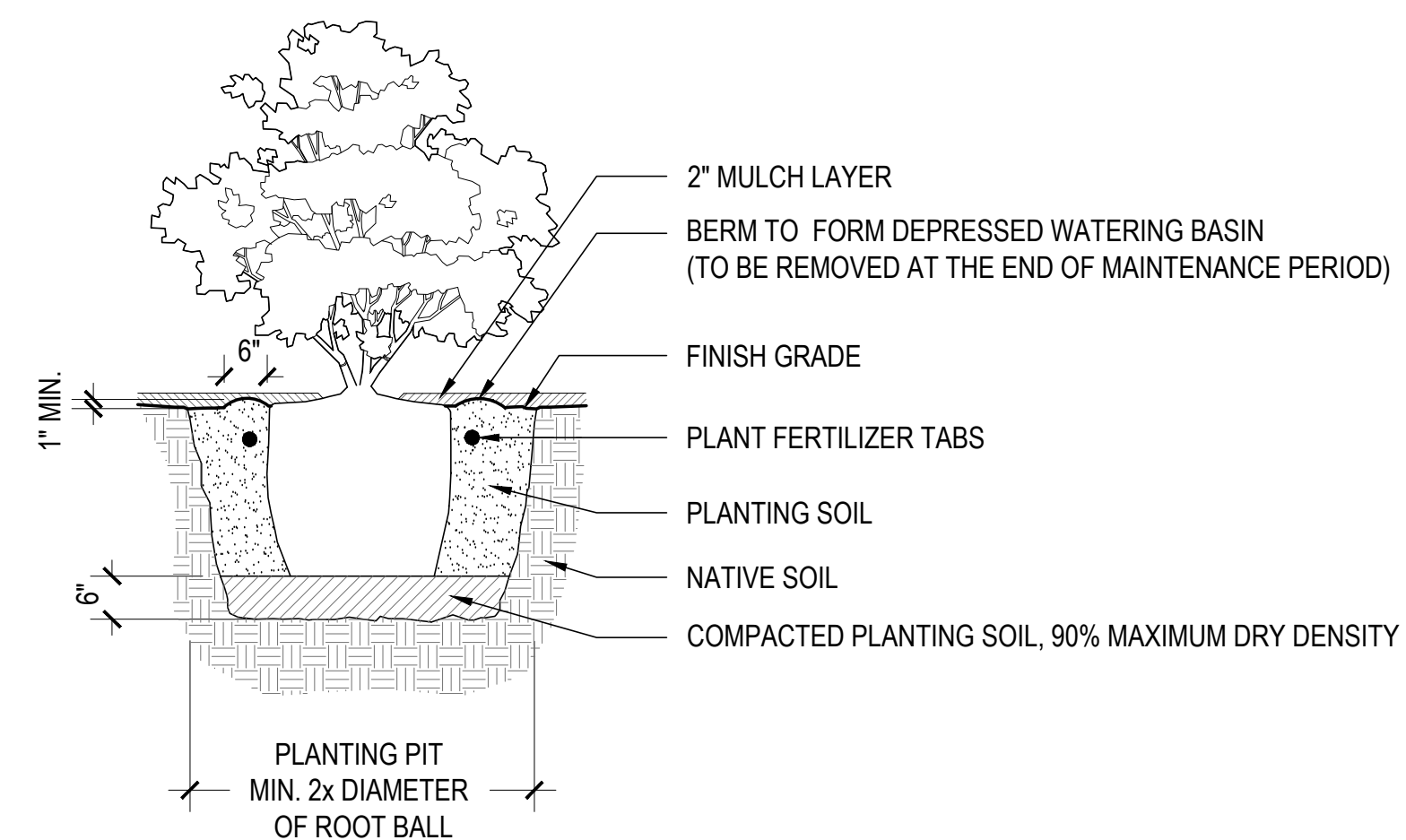


**1 DECIDUOUS TREE PLANTING w/ STAKES**  
NOT TO SCALE

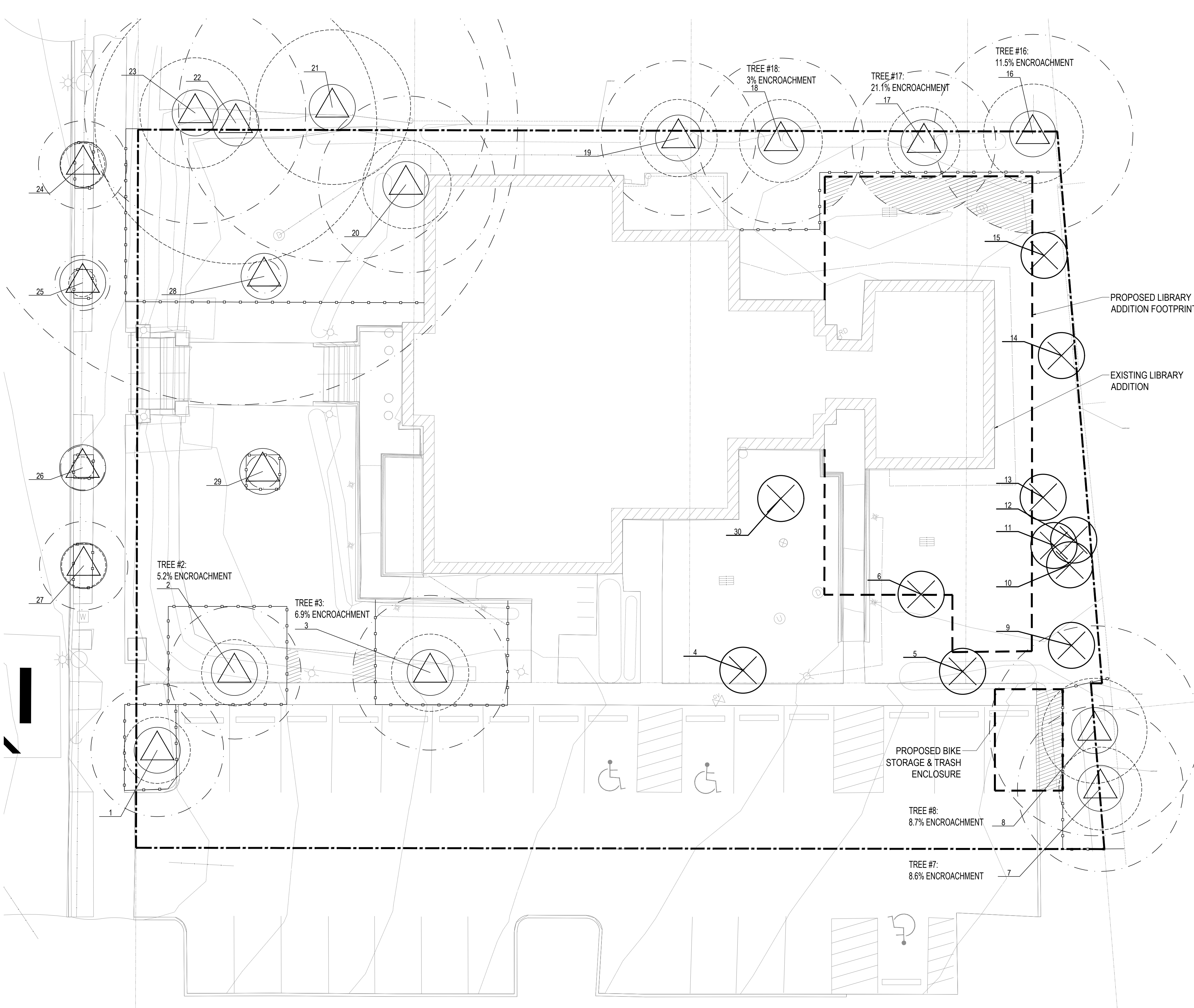


**2 EVERGREEN TREE PLANTING w/ STAKES**  
NOT TO SCALE

- NOTES:**
1. PLANTING PITS SHALL BE 2x DIAMETER AND 1-1/2x DEPTH OF ROOTBALL
  2. ROOTBALL CROWN TO BE SLIGHTLY ABOVE FINISH GRADE BEFORE MULCH IS APPLIED.
  3. CUT AND REMOVE ALL BINDING FROM THE TOP AND SIDES OF THE ROOTBALL BEFORE BACKFILLING. ROUGH UP EXTERIOR SURFACE OF ROOT BALL AND EXTEND ANY CIRCLING ROOTS OUTWARDS INTO PLANTING PIT.
  4. KEEP MULCH AWAY FROM WOODY STEMS.



**3 SHRUB PLANTING**  
NOT TO SCALE

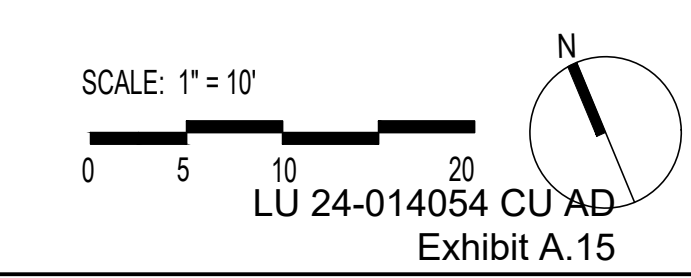


### TREE REMOVAL / PROTECTION LEGEND

- PROPERTY LINE
- ON-SITE TREE PROTECTION FENCING
- ROOT PROTECTION ZONE (RPZ) - 1 L-210
- CRITICAL ROOT ZONE (CRZ) - ONE HALF OF RPZ PER CITY OF PORTLAND
- TREES TO BE REMOVED  
- (NS) DENOTES TREES NOT FOUND ON SURVEY OR TREE REPORT
- TREES TO BE RETAINED

### TREE TABLE

NO.	COMMON NAME	BOTANICAL NAME	CONDITION	DBH (DIA. IN.)	DISPOSITION	TREE CREDITS	NOTES
1	RED MAPLE	ACER RUBRUM	GOOD	12	PROTECT	2 MED TREES	
2	RED MAPLE	ACER RUBRUM	GOOD	12	PROTECT	2 MED TREES	
3	RED MAPLE	ACER RUBRUM	GOOD	14	PROTECT	2 MED TREES	
4	RED MAPLE	ACER RUBRUM	GOOD	18	REMOVE	-	
5	RED MAPLE	ACER RUBRUM	GOOD	16	REMOVE	-	
6	RED MAPLE	ACER RUBRUM	GOOD	16	REMOVE	-	
7	LEYLAND CYPRESS	CUPRESSUS x LEYLANDII	GOOD	15	PROTECT	2 MED TREES	
8	PINE	PINUS SPP.	GOOD	19	PROTECT	3 MED TREES	
9	SWEET CHERRY	PRUNUS AVIUM	FAIR	9	REMOVE	-	PORTLAND NUISANCE TREE
10	SWEET CHERRY	PRUNUS AVIUM	GOOD	4	REMOVE	-	PORTLAND NUISANCE TREE
11	SWEET CHERRY	PRUNUS AVIUM	GOOD	10	REMOVE	-	PORTLAND NUISANCE TREE
12	SWEET CHERRY	PRUNUS AVIUM	GOOD	12	REMOVE	-	PORTLAND NUISANCE TREE
13	PERSIAN IRONWOOD	PARROTIA PERSICA	GOOD	9	REMOVE	-	
14	PERSIAN IRONWOOD	PARROTIA PERSICA	GOOD	4	REMOVE	-	
15	PERSIAN IRONWOOD	PARROTIA PERSICA	GOOD	13	REMOVE	-	
16	BLACKHAW VIBURNUM	VIBURNUM PRUNIFOLIUM	FAIR	18	PROTECT	3 MED TREES	
17	HORNBEAM	CARPINUS BETULUS	GOOD	13	PROTECT	2 MED TREES	
18	HORNBEAM	CARPINUS BETULUS	GOOD	15	PROTECT	2 MED TREES	
19	HORNBEAM	CARPINUS BETULUS	GOOD	14	PROTECT	2 MED TREES	
20	PORTUGUESE LAUREL	PRUNUS LUSTANICA	FAIR	16	PROTECT	2 MED TREES	
21	NORWAY MAPLE	ACER PLATANOIDES	GOOD	28	PROTECT	4 MED TREES	ADJACENT PROPERTY
22	NORWAY MAPLE	ACER PLATANOIDES	GOOD	51	PROTECT	8 MED TREES	ADJACENT PROPERTY
23	NORWAY MAPLE	ACER PLATANOIDES	FAIR	20	PROTECT	3 MED TREES	ADJACENT PROPERTY
24	PAPERBARK MAPLE	ACER GRISEUM	FAIR	8	PROTECT	1 MED TREE	
25	PAPERBARK MAPLE	ACER GRISEUM	FAIR	5	PROTECT	1 SMALL TREE	
26	PAPERBARK MAPLE	ACER GRISEUM	GOOD	4	PROTECT	1 SMALL TREE	
27	PAPERBARK MAPLE	ACER GRISEUM	GOOD	8	PROTECT	1 MED TREE	
28	GINKGO	GINKGO BILOBA	FAIR	3	PROTECT	1 SMALL TREE	
29	GINKGO	GINKGO BILOBA	FAIR	3	PROTECT	1 SMALL TREE	
30	PAPERBARK MAPLE	ACER GRISEUM	GOOD	13	REMOVE	-	



04/23/2024

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# BORA

Bora Architects, Inc.  
1705 SE 3rd Ave  
Portland, Oregon 97214  
503.226.1575  
www.bora.co

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MULTNOMAH COUNTY LIBRARIES  
ST JOHNS LIBRARY  
7510 N Charleston Ave, Portland, OR 97203

Mark | Date | Description of Revision | By

Drawn By: *rw* Checked By: *cb*  
Building Number: 615 Approved By: *Approver*  
Multico Project Number: P78LB172021 09  
Sheet Title

PLANTING PLAN

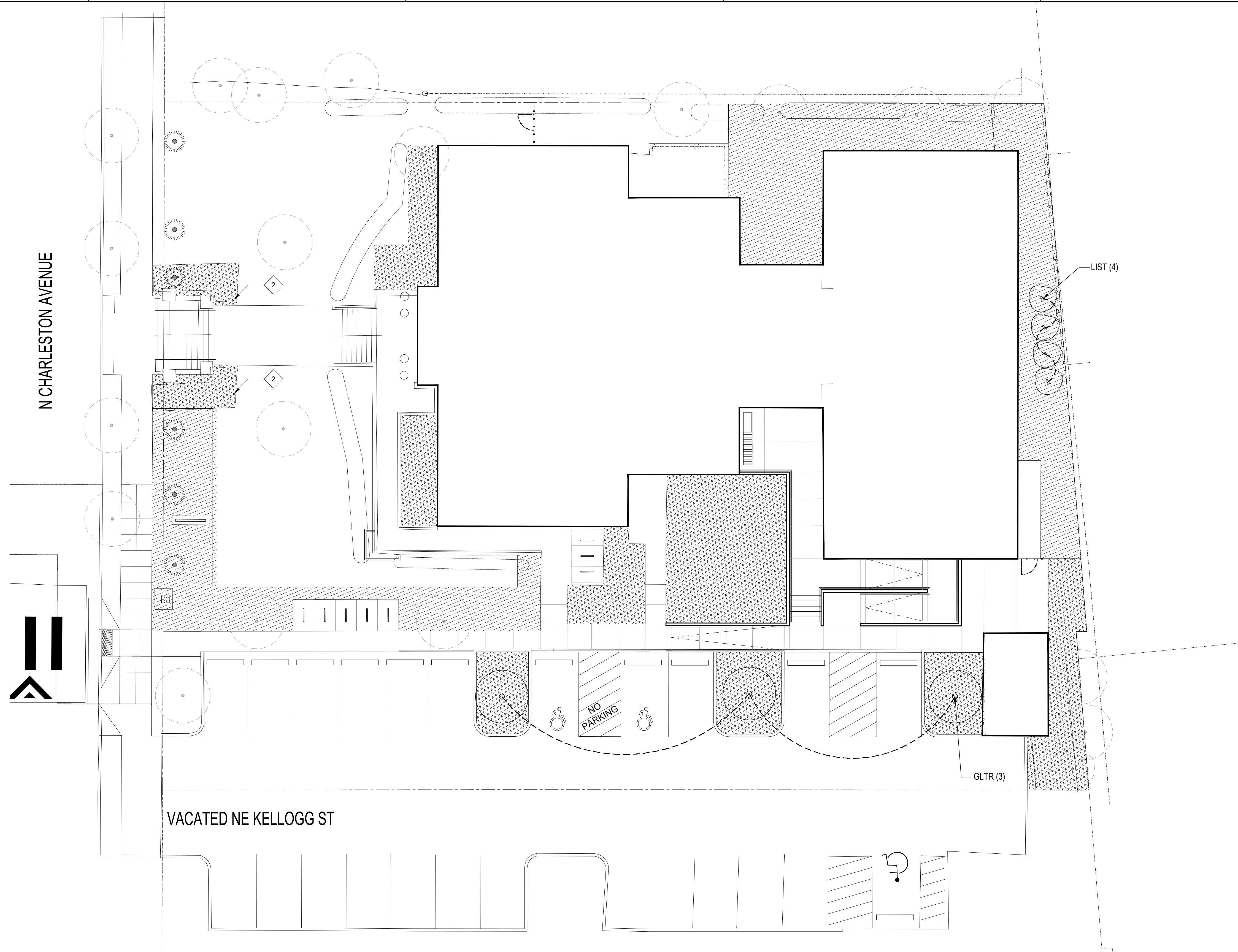
Date: 04/23/2024

LS-130

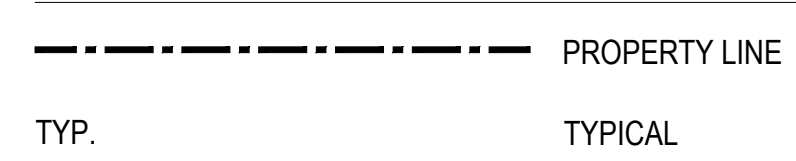
L Sheet 5 Of 12

04/23/2024

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**PLANTING LEGEND**



**SHEET NOTE**

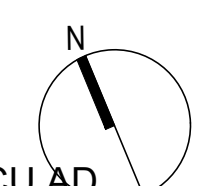
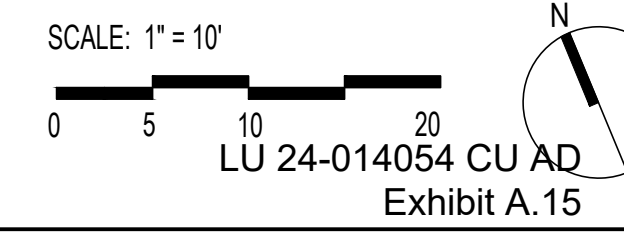
- 1 SEE PLANTING SCHEDULE & NOTES ON SHEET LS-131.
- 2 REMOVE EXISTING HEDGE.

**BUILDING SETBACKS LANDSCAPE REQUIREMENT**

	REQUIRED TREES	PROVIDED TREES	REQUIRED SHRUBS	PROVIDED SHRUBS
BLDG SETBACK ALONG N. CHARLESTON AVE	5 MEDIUM TREES & 2 SMALL TREES	EXISTING TREE CREDITS = 2 MED. TREES & 2 SMALL TREES (REQUEST MODIFICATION)	4 HIGH SCREEN SHRUBS OR 6 LOW SCREEN SHRUBS	6 LOW SCREEN SHRUBS ADDED (REQ. MET)
BLDG SETBACK ALONG NORTH LOT LINE	8 MEDIUM TREES	EXISTING TREE CREDITS = 23 MEDIUM TREES (REQ. MET)	N/A	N/A
BLDG SETBACK ALONG EAST LOT LINE	4 MEDIUM TREES	4 MEDIUM TREES ADDED (REQ. MET)	N/A	N/A

**SITE MINIMUM LANDSCAPED AREA ZONE RM2**

	MINIMUM REQUIRED	AREA PROVIDED
SITE BOUNDARY AREA	N/A	22,245 sq. ft.
SITE LANDSCAPE	20 % OF SITE = 4,449 sq. ft.	7,839 sq. ft.
TREE DENSITY	25 % OF SITE = 5,561.25 sq. ft.	20,700 sq. ft. (39 MEDIUM TREES & 4 SMALL TREES)



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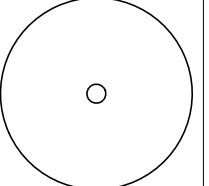
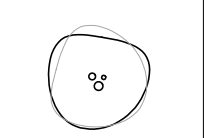
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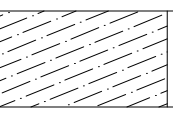







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TREE SCHEDULE							
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE (HT. X SPRD.)	SPACING	QUANTITY	NOTES
	GLTR	GLEDITSIA TRIACANTHOS 'SKYCOLE'	SKYLINE HONEYLOCUST	2.5" CAL.; 10'-12' HT.	AS SHOWN	2	
	LIST	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'	'SLENDER SILHOUETTE' SWEETGUM	2" CAL.	AS SHOWN	3	

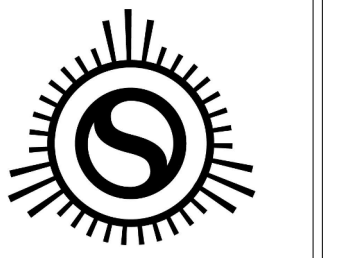
PLANT SCHEDULE							
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE (HT. X SPRD.)	CONTAINER CLASS	SPACING	NOTES
ENHANCEMENT PLANTING							
	COHO	COTONEASTER HORIZONTALIS	ROCKSPRAY COTONEASTER	12" SPRD.	CG #1, #2	24" O.C.	EVERGREEN GROUNDCOVER
FEATURE PLANTING							
	COHO	COTONEASTER HORIZONTALIS	ROCKSPRAY COTONEASTER	12" SPRD.	CG #1, #2	24" O.C.	EVERGREEN GROUNDCOVER
	CHAZ	CHOISYA x DEWITTEANA 'AZTEC PEARL'	AZTEC PEARL MEXICAN ORANGE	18" HT. OR SPRD.; 4 CANES	CG #3	48" O.C.	TYPE 3 BROADLEAF EVERGREEN; LOW SHRUB
	MASO	MAHONIA EURYBRACTEATA 'SOFT CARESS'	SOFT CARESS MAHONIA	12" SPRD.	CG #2, #3	36" O.C.	EVERGREEN SHRUB; HEAVY, WELL FOLIAGED; DIRR SPECS: ZONES 4-8; 48" HT. x SPRD
	RISA	RIBES SANGUINEUM	RED FLOWERING CURRANT	24" HT.; 4 CANES	CG #3, #5, #7	AS SHOWN	PNW NATIVE; ATTRACTS BIRDS; HIGH SCREEN SHRUB
FOUNDATION PLANTING							
	ARUV	ARCTOSTAPHYLOS UVA-URSI 'MASSACHUSETTS'	MASSACHUSETTS KINNIKINNIK	12" SPRD.	CG #1, #2	24" O.C.	EVERGREEN GROUNDCOVER; ROOTS TO EDGE OF CONTAINER
	LIMU	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILY TURF	6" HT. x 10" SPRD.	CG #2, #3	12" O.C.	GRASS-LIKE GROUNDCOVER; ROOTS TO EDGE OF CONTAINER
	POMU	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	12" SPRD.	CG #2, #3	36" O.C.	PNW NATIVE; EVERGREEN FERN; HEAVY, WELL FOLIAGED

### PLANTING NOTES

- VERIFY LOCATION OF EXISTING TREES TO REMAIN PRIOR TO SOIL PREPARATION. PROTECT ALL TREES AND SHRUBS INDICATED TO REMAIN.
- VERIFY AND COORDINATE WORK AROUND ALL UNDERGROUND UTILITIES BEFORE EXCAVATION. NOTIFY ALL UTILITY PROVIDERS AT LEAST TWO (2) WORKING DAYS PRIOR TO BEGINNING WORK.
- VERIFY THAT THE CONDITIONS ARE SUITABLE TO PROMOTE HEALTHY PLANT GROWTH. DO NOT PROCEED IF CONDITIONS DETRIMENTAL TO HEALTHY GROWING ENVIRONMENT ARE PRESENT, INCLUDING OVER-COMPACTED SOILS, ADVERSE DRAINAGE CONDITIONS, DEBRIS, OR OTHER HARMFUL CIRCUMSTANCES. PROCEEDING WITHOUT NOTIFICATION DENOTES ACCEPTANCE.
- COORDINATE WITH OTHER SUBCONTRACTORS AND TRADES TO ENSURE PROTECTION OF GROWING CONDITIONS AND PLANT MATERIALS.
- REFER TO SPECIFICATIONS FOR ADDITIONAL PLANTING REQUIREMENTS, METHODS, AND MATERIALS.
- VERIFY PLANT QUANTITIES SHOWN ON THE PLANS BASED ON GRAPHIC REPRESENTATION. QUANTITIES SHOWN ARE FOR CONTRACTOR CONVENIENCE ONLY.
- PROVIDE POSITIVE DRAINAGE FOR ALL PLANTING AREAS.
- UNLESS OTHERWISE INDICATED, ALL PLANTINGS SHALL BE TRIANGULARLY SPACED.
- LABELING REFERS TO ALL ADJACENT IDENTICAL SYMBOLS WHERE PLANTS ARE MASSED. LABEL FOR MASS INDICATES TOTAL NUMBER OF PLANTS IN GROUP, EVEN IF THE GROUP IS SPREAD OVER MORE THAN ONE SHEET.
- WHERE SPACING DIMENSIONS ARE INDICATED AS A RANGE, USE GRAPHICALLY INDICATED NUMBER OF PLANTS DISTRIBUTED EVENLY WITHIN THE AREA SHOWN ON THE DRAWINGS.

Mark	Date	Description of Revision	By

Drawn By: RW	Checked By: CB
Building Number: 615	Approved By: Approver
Multico Project Number: P78LB172021 09	
Sheet Title	
PLANTING SCHEDULE & NOTES	
Date 04/23/2024	
LS-131	
L Sheet 6 Of 12	

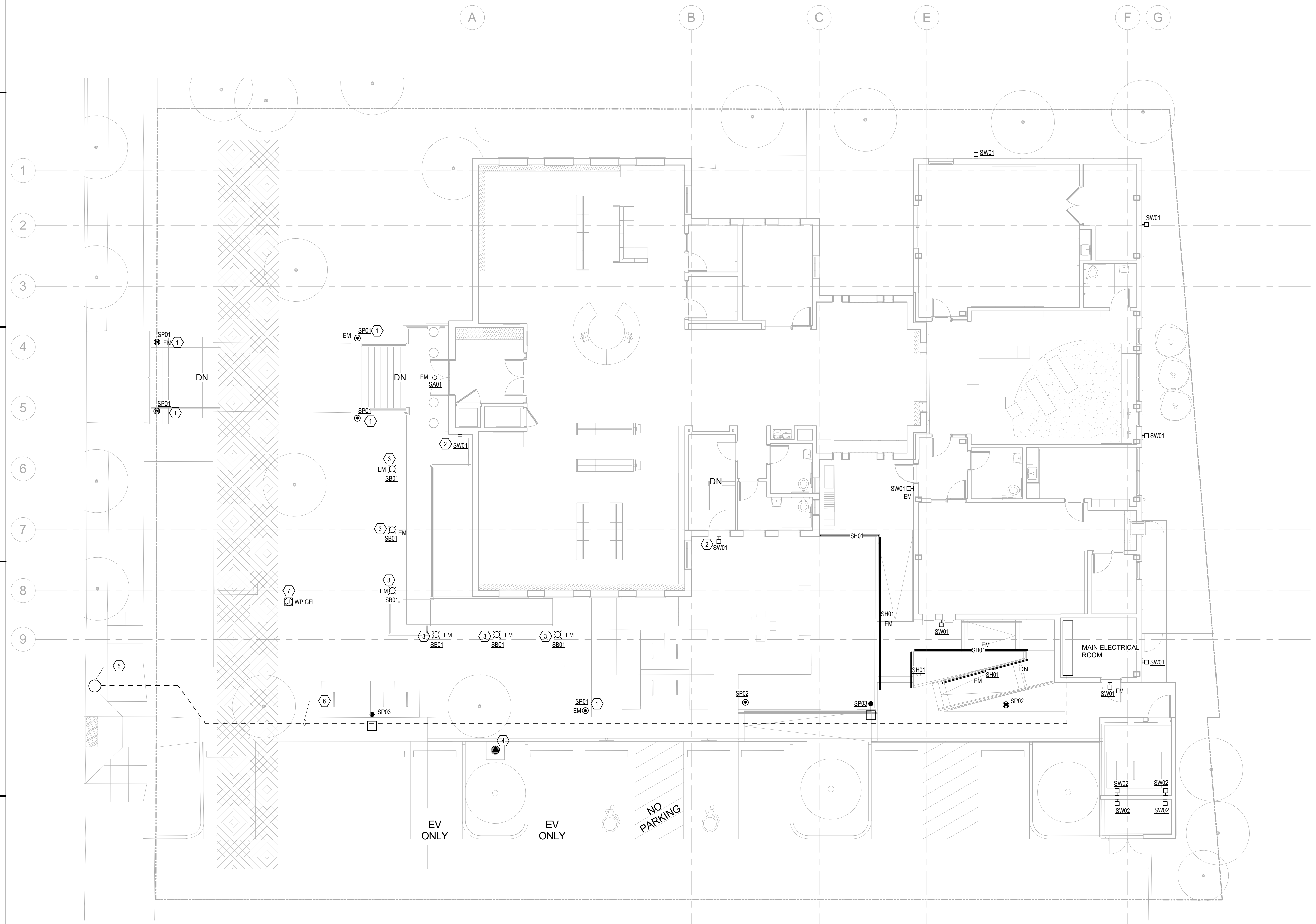


**GENERAL NOTES:**

- REFER TO CIVIL DRAWINGS FOR EXACT LOCATIONS OF SITE UTILITIES, VAULTS AND POLES.
- REFER TO LANDSCAPE ARCHITECT PLANS FOR ADDITIONAL INFORMATION.
- REFER TO SHEET E0.03 AND E0.04 FOR LIGHTING CONTROL PANEL AND LUMINAIRE SCHEDULE.
- REFER TO ARCHITECTURAL ELEVATIONS FOR BUILDING MOUNTED FIXTURE DIMENSIONS.
- CONTROL EXTERIOR RECEPTACLES VIA CONTACTOR FROM MANUAL SWITCH IN STAFF BREAKROOM.

**SHEET NOTES:**  $\langle \# \rangle$

- NEW LUMINAIRE TO BE MOUNTED TO EXISTING SITE POLE. EXISTING SITE POLES TO BE EVALUATED FOR REUSE.
- REUSE EXISTING LUMINAIRE LOCATION.
- PROVIDE NEW CONCRETE BASE LOCATED CLOSER TO RAMP.
- PROVIDE (2), 40A, 208V, 1 PHASE POWER CONNECTIONS TO ELECTRICAL VEHICLE DUAL CHARGING STATION (DFC). BASIS OF DESIGN IS SEMACONNECT 7 SERIES, DUAL PEDESTAL, SMART CHARGING STATION. PROVIDE #6 WIRE FOR VOLTAGE DROP.
- EXISTING UTILITY POLE WITH NEW POLE MOUNTED SERVICE TRANSFORMERS BY UTILITY.
- PROPOSED SECONDARY ROUTING. PROVIDE (6) 4" C.O. STUB AND CAP AT POLE BASE PER PGE REQUIREMENTS.
- PROVIDE CONNECTION TO MONUMENT SIGN. CONFIRM EXACT LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN.



**1 SITE PLAN - ELECTRICAL**  
 SCALE: 1/8" = 1'-0"

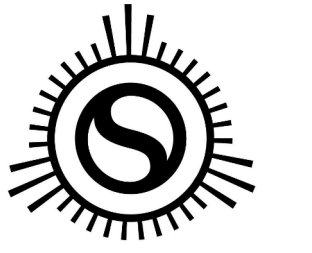
LU 24-014054 CU AD  
 Exhibit A.16

02/09/2024

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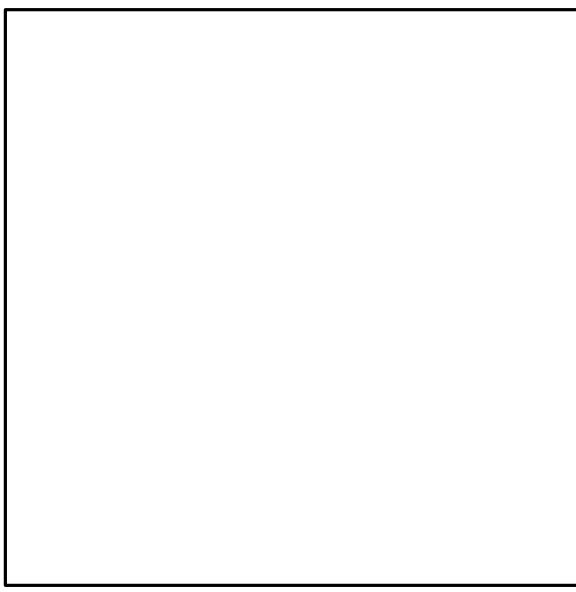


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Mark	Date	Description of Revision	By

Drawn By: DMW  
Checked By: JKS  
Building Number: 615  
Approved By: JKS  
Multico Project Number: P78LB172021 09  
Sheet Title: LUMINAIRE SCHEDULE  
Date: 02/09/2024  
EL-602  
Sheet 8 Of 16



ST. JOHNS LIBRARY LUMINAIRE SCHEDULE

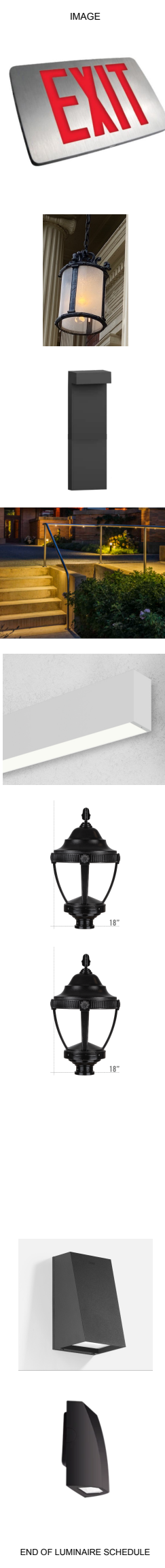
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	X102	UNIVERSAL MOUNTED, THIN PROFILE EXIT SIGNS	THROUGHOUT	EXTRONICS	450 SERIES			UNIVERSAL MOUNTED	TO BE SELECTED	NON-DIMMING	RED LED			2 WATTS		LITHONIA LIGHTING, CHLORIDE, SURE LITES.	<a href="#">EXTRONIC 450 SERIES.pdf</a>
<b>EXTERIOR LIGHTING</b>																	
	SA01	EXISTING PENDANT	MAIN ENTRANCE					SUSPENDED			3000K	90			EXISTING PENDANT TO BE REWIRE, RELAMP, NEW SOCKET AND REINSTALL. PROVIDE LED REPLACEMENT LAMP, MEDIUM BASE SOCKET.		
	SB01	SITE BOLLARD	RAMPS	LIGMAN LIGHTING	PRAGUE 3 LARGE BOLLARD (UPKA-10022)	10 INCH WIDE BY 6 INCH DEEP WITH OVERALL HEIGHT OF 39 INCHES	HYBRID TYPE I AND TYPE IV DISTRIBUTION	FLUSH CONCRETE BASE	TO BE SELECTED	NON-DIMMING	3000K	90	2422 LUMENS	20 WATTS	DARK SKY COMPLIANT.		<a href="#">LIGMAN PRAGUE 3 LARGE UPKA-10022.pdf</a>
	SH01	ILLUMINATED HANDRAIL	NEW HANDRAILS	KLIK	LEDOPOD	FITS IN TYPICAL 1.8 INCH DIAMETER HANDRAIL	SYMMETRIC	RECESSED IN HANDRAIL, COORDINATE WITH HANDRAIL MANUFACTURER FOR DRILLING OF HOLES.	TO BE SELECTED	NON-DIMMING	3000K	85	162 LUMENS PER FOOT	2 WATTS PER FOOT			<a href="#">KLIK USA - LEDpod-40.pdf</a>
	SL01	WALL MOUNTED LINEAR LUMINAIRE	CANOPY	LUMENWERX	V44 SEAL SERIES	4 INCH WIDE BY 5 INCH DEEP IN LENGTHS AS SHOWN ON DRAWINGS	HIGH EFFICIENCY LAMBERTIAN	SIDE MOUNT TO CANOPY BEAM STRUCTURE	TO BE SELECTED	0-10V DIMMING	3500K	90	750 LUMENS PER FOOT	6 WATTS PER FOOT		CORONET LED, MARK ARCHITECTURAL LIGHTING, NEORAY, LEDALITE	<a href="#">LUMENWERX V44SEAL-WALL.pdf</a>
	SP01	PEDESTRIAN POLE LIGHT	WALKWAYS	SPRING CITY LIGHTING	AUGUSTA DARK SKY LED SERIES	18 INCH DIAMETER BY 31 INCH TALL	TYPE III FROSTED	MOUNTED TO EXISTING POLES	TO BE SELECTED	NON-DIMMING	3000K	90	LUMENS	80 WATTS	DARK SKY COMPLIANT. ELECTRICAL CONTRACTOR TO EVALUATE POLE AND LUMINAIRE CONDITION FOR REUSE PRIOR TO FINAL DRAWINGS BEING ISSUED.		<a href="#">SPRING CITY AUGUSTA DARK SKY.pdf</a>
	SP02	PEDESTRIAN POLE LIGHT	WALKWAYS	SPRING CITY LIGHTING	AUGUSTA DARK SKY LED SERIES	18 INCH DIAMETER BY 31 INCH TALL	TYPE V FROSTED	PROVIDE NEW POLES TO MATCH EXISTING, PROVIDE FLUSH CONCRETE BASE	TO BE SELECTED	NON-DIMMING	3000K	90	LUMENS	80 WATTS	DARK SKY COMPLIANT		<a href="#">SPRING CITY AUGUSTA DARK SKY.pdf</a>
	SP03	SITE LIGHTING LUMINAIRE RETROFIT KIT	PARKING LOT	TBD				MOUNTED TO EXISTING POLE	TO BE SELECTED	NON-DIMMING	3000K	90	LUMENS	WATTS	DARK SKY COMPLIANT. ELECTRICAL CONTRACTOR TO EVALUATE POLE AND LUMINAIRE CONDITION FOR REUSE PRIOR TO FINAL DRAWINGS BEING ISSUED.		
	SW01	ARCHITECTURAL EXTERIOR WALL SCONCE	EXTERIOR BUILDING LIGHTING	BEGA	33 817 SERIES	5 INCH WIDE BY 9 INCH TALL WITH PROJECTION OF 5 INCHES	ASYMMETRIC OPTICS	WALL MOUNT	TO BE SELECTED	NON-DIMMING	3000K	90	1355 LUMENS	14 WATTS	DARK SKY COMPLIANT		<a href="#">BEGA 33817.pdf</a>
	SW02	EXTERIOR WALL MOUNT	BIKE / TRASH AREA	RAB LIGHTING	SLIM1ZY SERIES	6 INCH WIDE BY 8 INCH TALL WITH PROJECTION OF 4 INCHES	FORWARD OPTICS	WALL MOUNT	TO BE SELECTED	NON-DIMMING	3000K	70	2000 LUMENS	15 WATTS	DARK SKY COMPLIANT		<a href="#">RAB LIGHTING SLIM1ZY.pdf</a>

- GENERAL NOTES:**
- LUMINAIRES TO BE COMPATIBLE WITH MULTNOMAH COUNTY STANDARDS OF WAVELINK LIGHTING CONTROL SYSTEM.
  - EXTERIOR LUMINAIRES TO BE DARK SKY CERTIFIED.
  - INTERIOR LUMINAIRES TO MEET OR EXCEED LEED REQUIREMENTS.
  - ALL LUMINAIRES TO BE LED. LED SOURCES DO NOT CONTAIN MERCURY.

LU 24-014054 CU AD  
Exhibit A.16

02/09/2024

100% DESIGN DEVELOPMENT



END OF LUMINAIRE SCHEDULE



# Request for an Evidentiary Hearing and Extension of Decision Deadline

State law requires the City to issue a final decision on your land use proposal within 120 days of receiving a complete application. In order to ensure that the decision on your land use review application is rendered within 120 days, any appeal of your proposal to City Council will be held based on evidence submitted as part of your first hearing to the Hearings Officer, Design Commission, or Historic Landmarks Commission.

If you prefer a hearing on appeal to City Council where anyone may bring in new facts and evidence (an "evidentiary hearing"), you must request a full 245-day extension of the 120-day review period by completing this form within 21 days of submitting your land use review application. You may choose to extend the 120-day review period for up to 245 days at any point in the land use review process. However, if the request is received more than 21 days after the application date, any appeal to City Council will be on-the-record and no new evidence can be submitted.

**STAFF USE ONLY**

Date Land Use Application received by BDS 2/15/24 Case File No. LU 24-014054 CU AD  
Date this form is due to BDS for evidentiary hearing March 7, 2024

**APPLICANT: Complete all sections below. Please Print Legibly.**

DATE: March 7, 2024

TO: Bureau of Development Services  
Attention: Case Planner  
1900 SW Fourth Avenue, Suite 4500  
Portland, OR 97201

REGARDING: Type of Land Use Review Conditional Use

Site Address/Street 7510 N Charleston

Tax Account Number(s) R192883

**I understand the following information:**

1. I have the right, under State law, to a final decision on my application no more than 120 days after my application is determined to be complete by BDS staff.
2. I am not required to sign this form. If I do not sign this form, the City of Portland will process my application to meet the 120-day requirement.
3. By signing this form, I am making an irrevocable decision to extend the review period a full 245 days, and may not change my mind later except by withdrawing this application, filing a new application, and paying the associated fee.
4. By signing this form, I am waiving my right under State law to a final decision on my application with the 120-day review period. I am waiving my right to file any legal action to enforce the 120-day review period.

**All applicants must print their name and sign this form.**




Print Name <u>Debbie Cleek</u>	Day Phone <u>503-789-3211</u>
Signature <u><i>Debbie Cleek</i></u>	
Print Name _____	Day Phone _____
Signature _____	



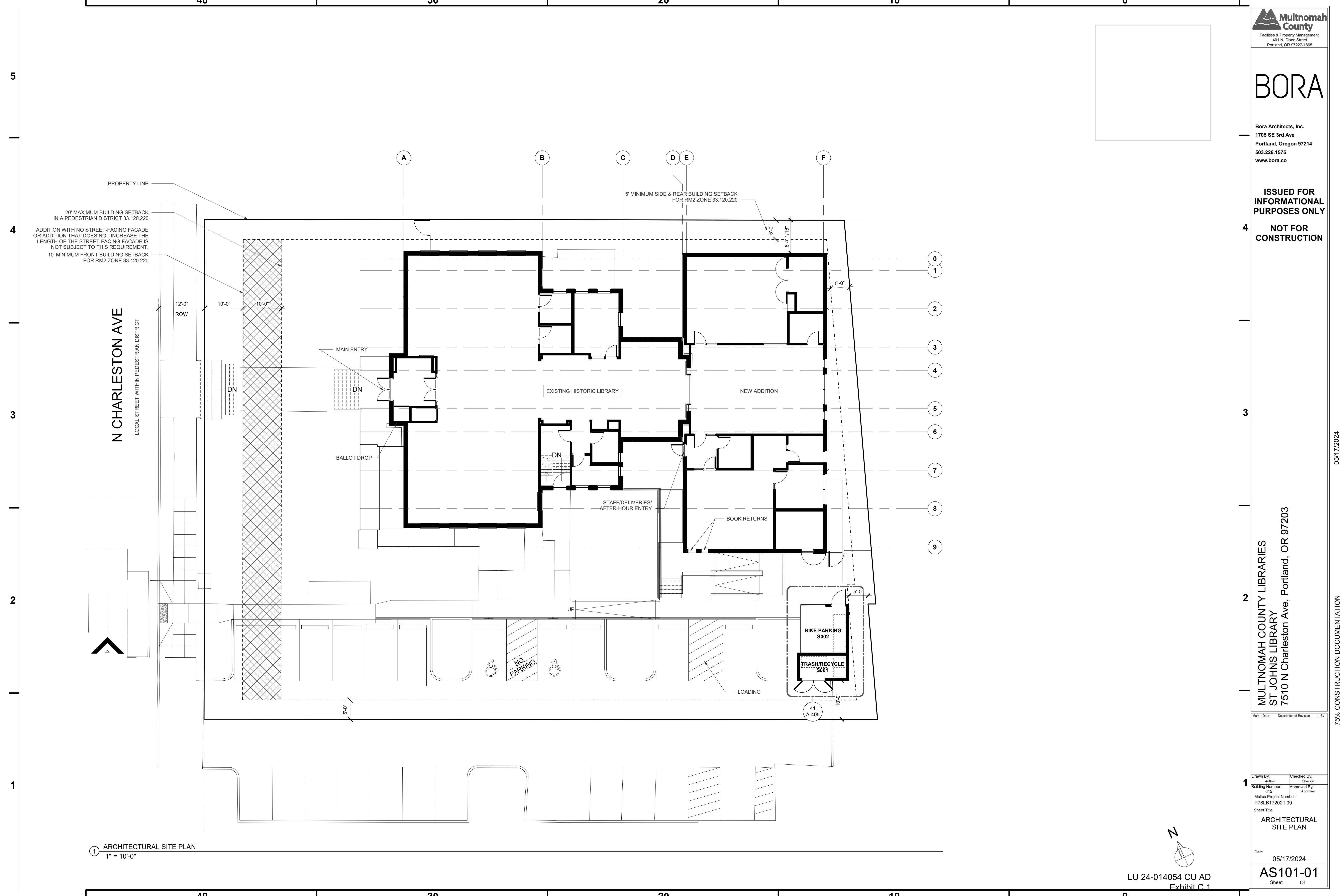
For Zoning Code in Effect Post October 1, 2022

# ZONING

THIS SITE LIES WITHIN THE:  
ST. JOHNS PLAN DISTRICT

-  Site
-  Plan District
-  Historic Landmark

File No.	<u>LU 24 - 014054 CU AD</u>
1/4 Section	<u>2122</u>
Scale	<u>1 inch = 200 feet</u>
State ID	<u>1N1W12AB 10300</u>
Exhibit	<u>B</u> <u>Feb 15, 2024</u>



1 ARCHITECTURAL SITE PLAN  
 1" = 10'-0"

40

30

20

10

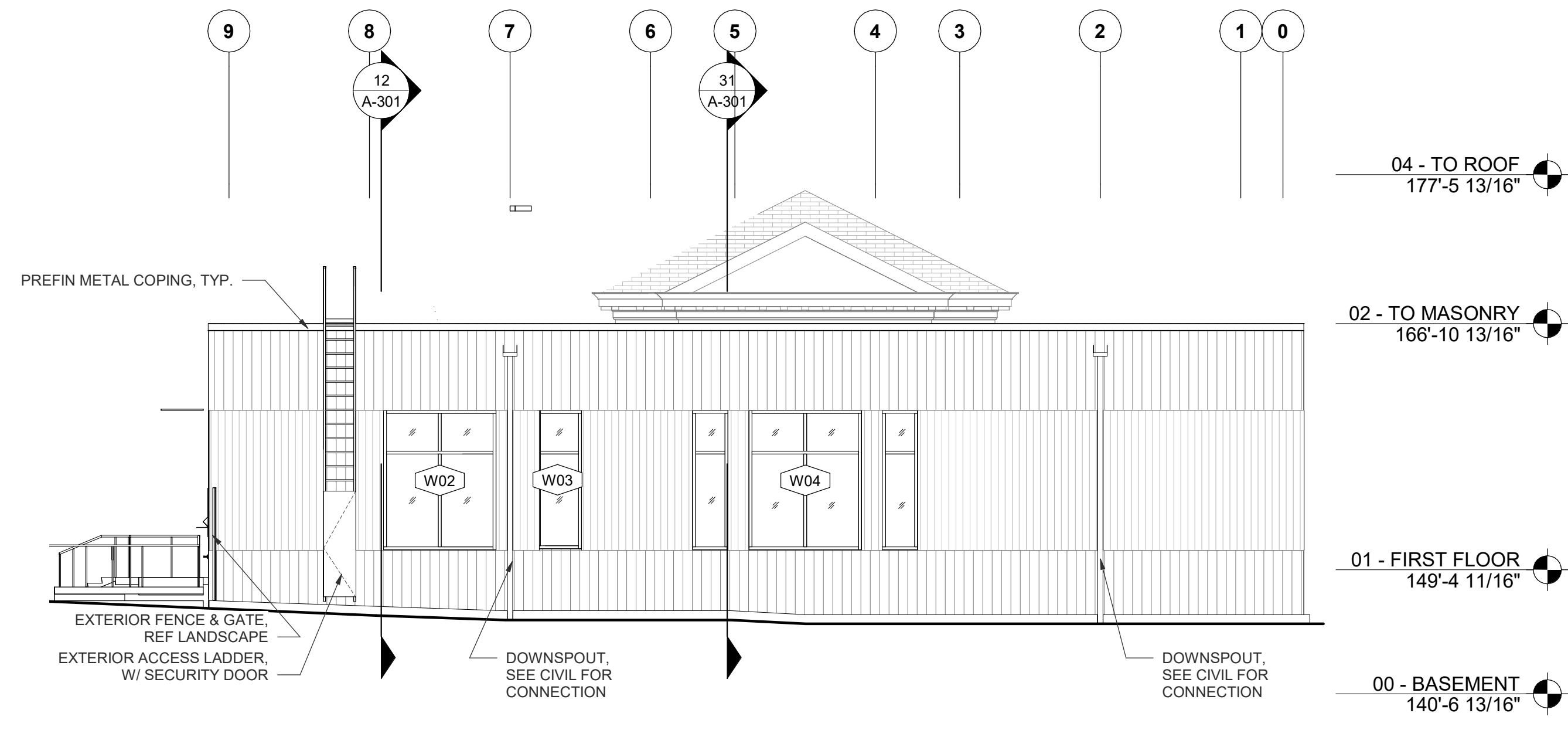
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ELEVATION / SECTION NOTES

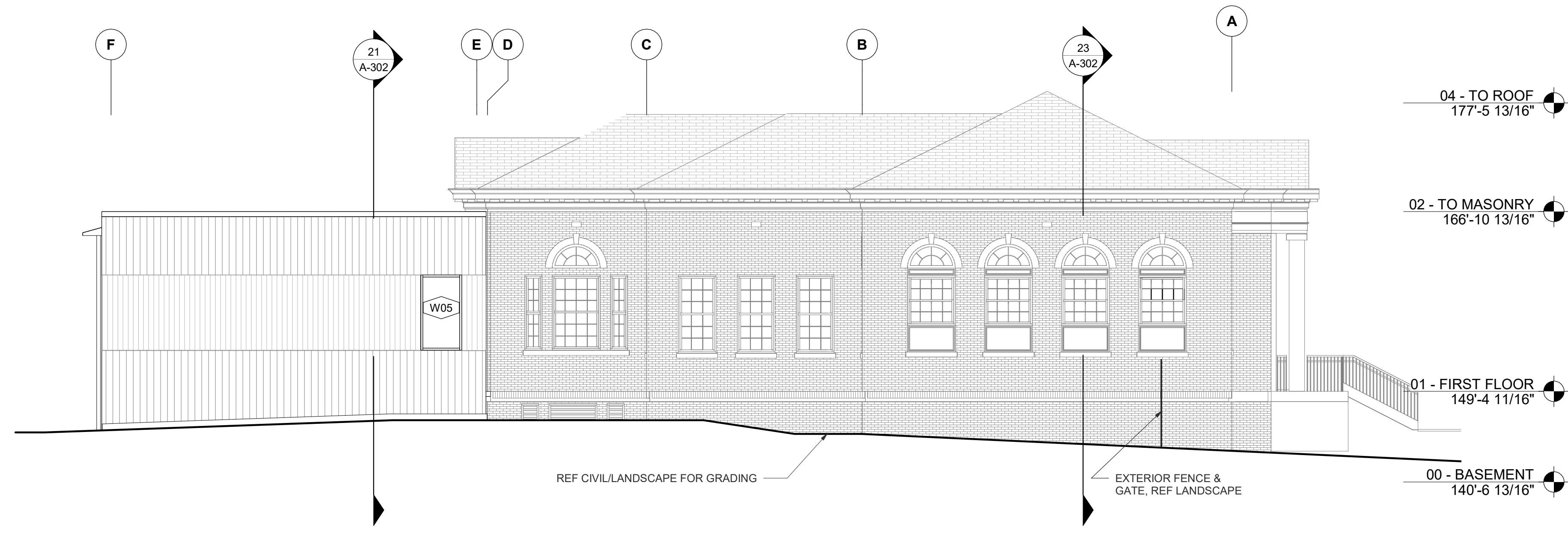
- 1. REFER TO ASSEMBLY SHEETS FOR WALL, ROOF, FLOOR, AND CEILING ASSEMBLIES.
- 2. GRADE LINES INDICATED ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO CIVIL AND LANDSCAPE DRAWINGS.
- 3. LINES OF FOUNDATION WALLS AND FOOTINGS ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO STRUCTURAL DRAWINGS FOR FOOTING ELEVATIONS.

GENERAL ARCHITECTURAL NOTES

- 1. DO NOT SCALE DRAWINGS. REQUEST CLARIFICATION FROM ARCHITECT IF DIMENSIONS ARE NOT INDICATED.
- 2. DIMENSIONS ARE SHOWN TO DIMENSION POINT (DIM. PT.) OF REFERENCED DETAIL WHERE APPLICABLE.
- 3. PAINT EXPOSED STRUCTURAL STEEL, MISCELLANEOUS STEEL, FIREPROOFING, DUCTWORK, MECHANICAL EQUIPMENT, MECHANICAL AND SPRINKLER PIPING, ELECTRICAL CONDUIT, AND THEIR SUPPORT SYSTEMS, UNLESS OTHERWISE NOTED.



23 EAST ELEVATION  
 1/8" = 1'-0"



31 NORTH ELEVATION  
 1/8" = 1'-0"

05/17/2024

75% CONSTRUCTION DOCUMENTATION

MULTNOMAH COUNTY LIBRARIES  
 ST. JOHNS LIBRARY  
 7510 N. Charleston Ave., Portland, OR 97203

Mark	Date	Description of Revision	By

Drawn By: Author  
 Building Number: 615  
 Multico Project Number: P78LB172021 09  
 Sheet Title

EXTERIOR ELEVATIONS

Date: 05/17/2024

A-202  
 Sheet Or

40

30

20

10

0

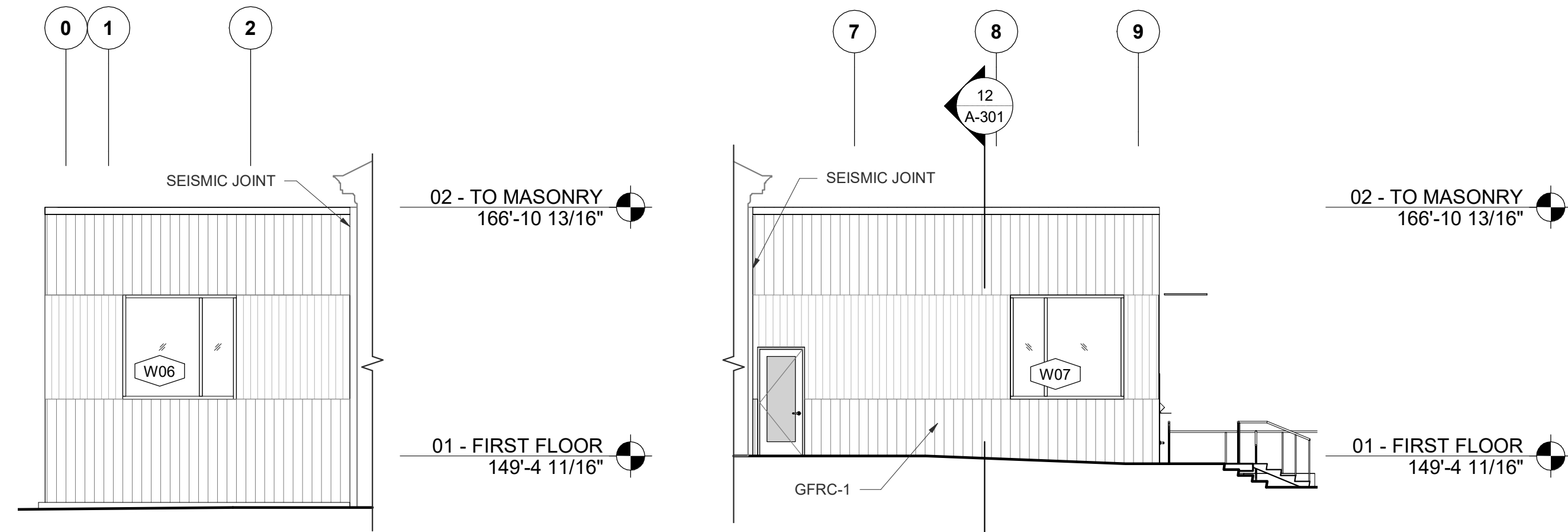


ELEVATION / SECTION NOTES

- 1. REFER TO ASSEMBLY SHEETS FOR WALL, ROOF, FLOOR, AND CEILING ASSEMBLIES.
- 2. GRADE LINES INDICATED ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO CIVIL AND LANDSCAPE DRAWINGS.
- 3. LINES OF FOUNDATION WALLS AND FOOTINGS ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO STRUCTURAL DRAWINGS FOR FOOTING ELEVATIONS.

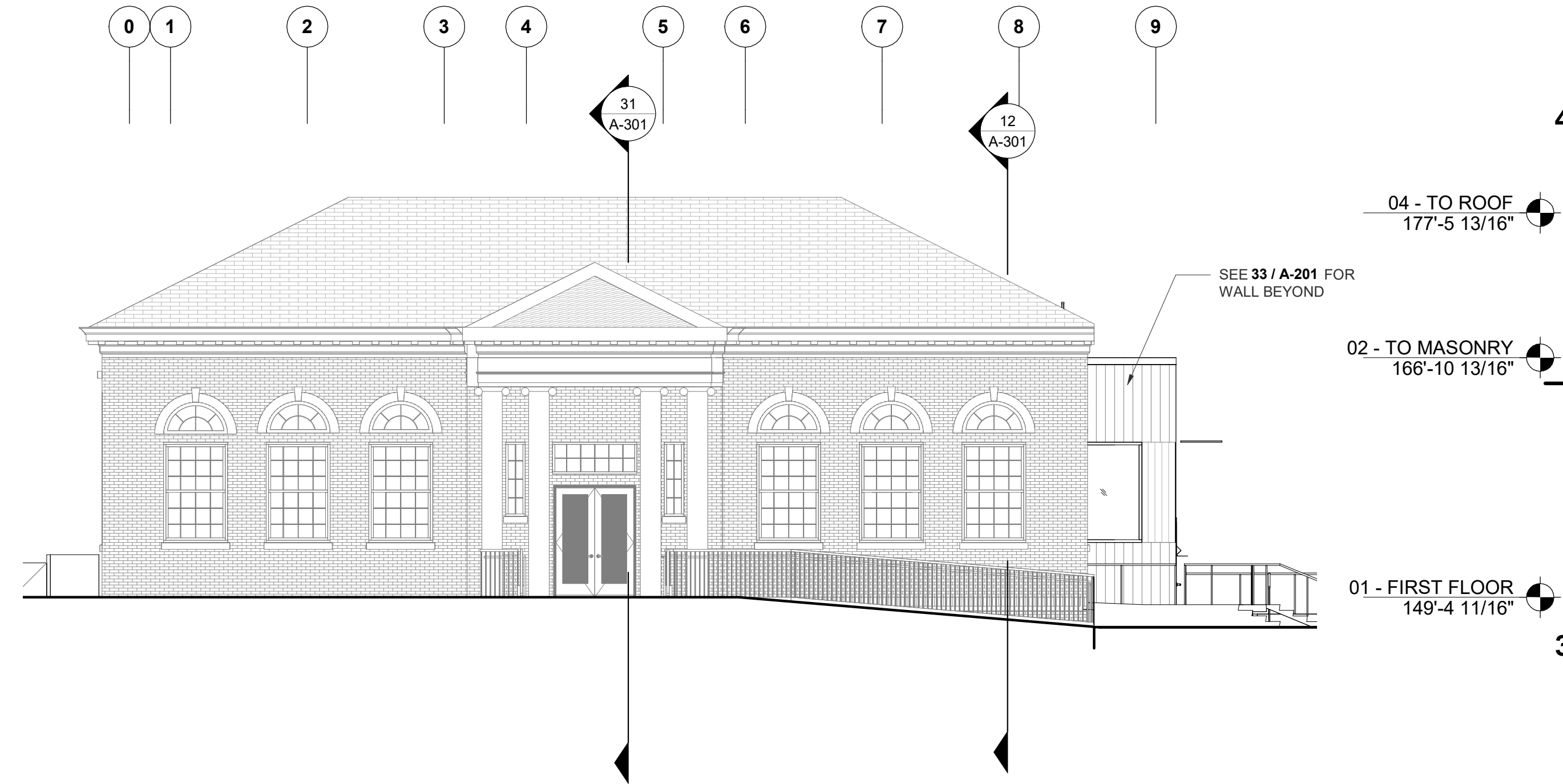
GENERAL ARCHITECTURAL NOTES

- 1. DO NOT SCALE DRAWINGS. REQUEST CLARIFICATION FROM ARCHITECT IF DIMENSIONS ARE NOT INDICATED.
- 2. DIMENSIONS ARE SHOWN TO DIMENSION POINT (DIM. PT.) OF REFERENCED DETAIL WHERE APPLICABLE.
- 3. PAINT EXPOSED STRUCTURAL STEEL, MISCELLANEOUS STEEL, FIREPROOFING, DUCTWORK, MECHANICAL EQUIPMENT, MECHANICAL AND SPRINKLER PIPING, ELECTRICAL CONDUIT, AND THEIR SUPPORT SYSTEMS, UNLESS OTHERWISE NOTED.

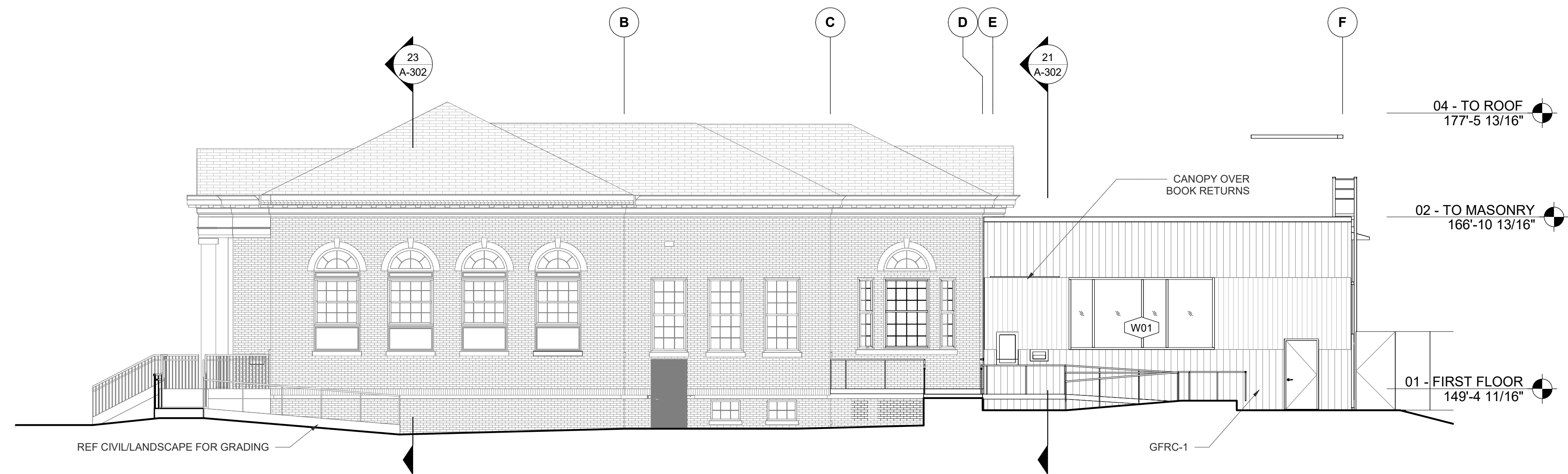


43 WEST ELEVATION - NEW ADDITION NORTH  
 1/8" = 1'-0"

33 WEST ELEVATION - NEW ADDITION SOUTH  
 1/8" = 1'-0"



23 WEST ELEVATION  
 1/8" = 1'-0"



31 SOUTH ELEVATION  
 1/8" = 1'-0"

MULTNOMAH COUNTY LIBRARIES  
 ST. JOHNS LIBRARY  
 7510 N. Charleston Ave., Portland, OR 97203

Mark	Date	Description of Revision	By

EXTERIOR  
 ELEVATIONS

Date: 05/17/2024

A-201  
 Sheet Or

FLOOR PLAN NOTES

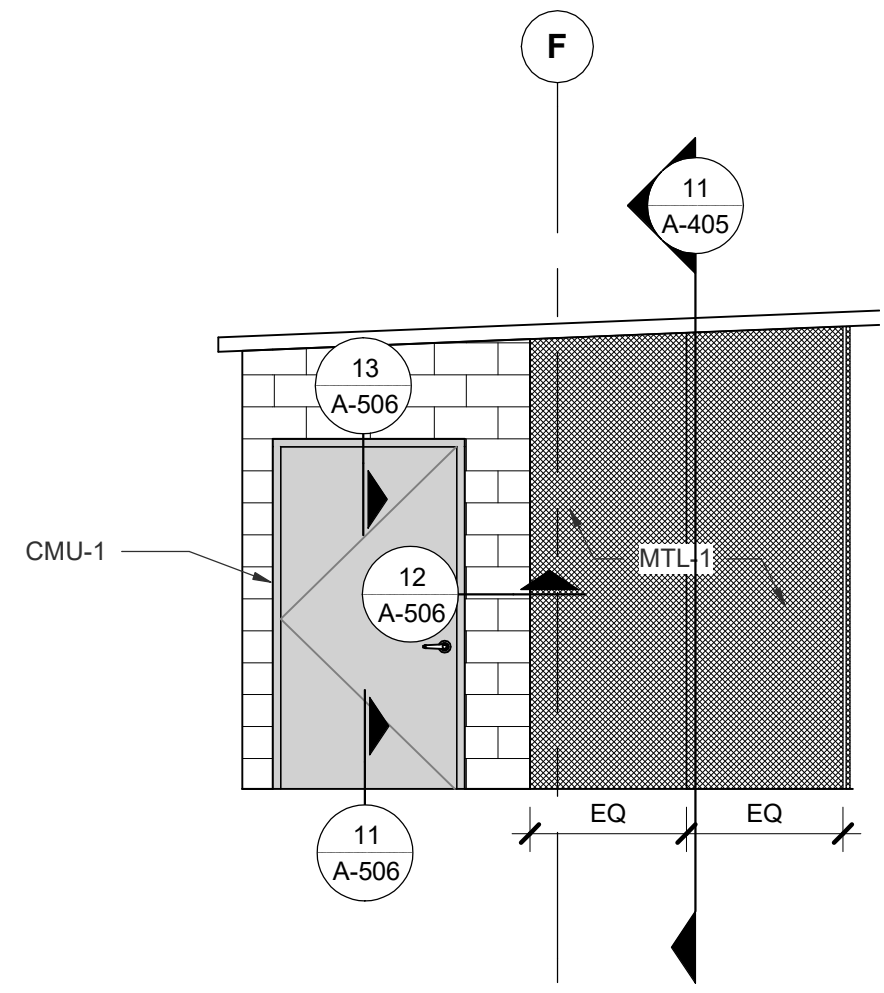
1. REFER TO ASSEMBLY SHEETS FOR WALL AND FLOOR ASSEMBLIES.
2. DIMENSIONS ARE TO FACE OF GYPSUM BOARD FINISH UNLESS OTHERWISE NOTED. REFER TO ENLARGED PLANS FOR DIMENSIONS WITHIN THOSE AREAS.
3. INTERIOR WALLS ARE WALL TYPE 03E UNLESS OTHERWISE NOTED
4. EXISTING FLOOR DATUM: 100'-0" EQUALS 149.40'. SEE CIVIL.
5. WHERE ITEMS OR EQUIPMENT ARE REMOVED FROM FINISHED SURFACES TO REMAIN, PATCH AND REPAIR TO MATCH ADJACENT SURFACES.

ELEVATION / SECTION NOTES

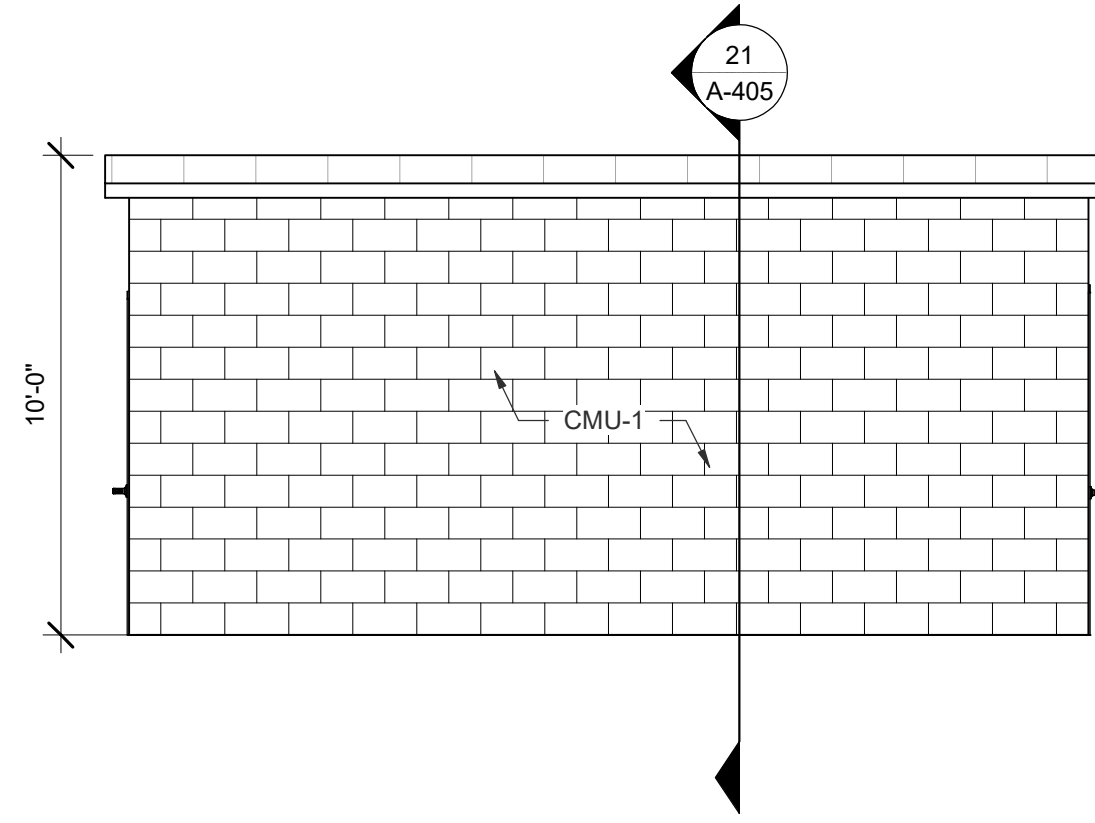
1. REFER TO ASSEMBLY SHEETS FOR WALL, ROOF, FLOOR, AND CEILING ASSEMBLIES.
2. GRADE LINES INDICATED ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO CIVIL AND LANDSCAPE DRAWINGS.
3. LINES OF FOUNDATION WALLS AND FOOTINGS ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO STRUCTURAL DRAWINGS FOR FOOTING ELEVATIONS.

GENERAL ARCHITECTURAL NOTES

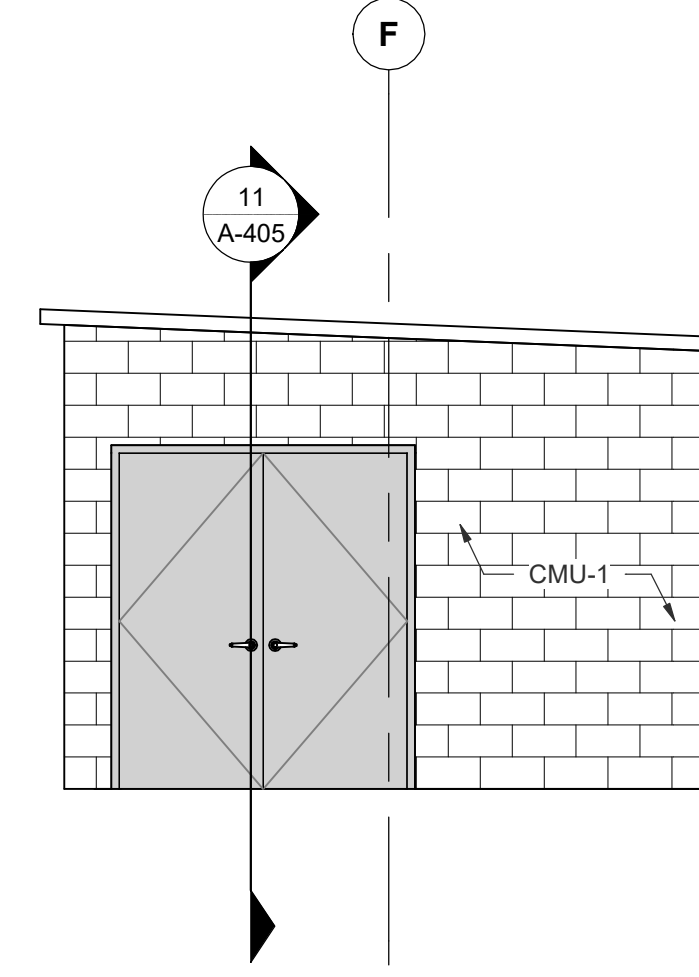
1. DO NOT SCALE DRAWINGS. REQUEST CLARIFICATION FROM ARCHITECT IF DIMENSIONS ARE NOT INDICATED.
2. DIMENSIONS ARE SHOWN TO DIMENSION POINT (DIM. PT.) OF REFERENCED DETAIL WHERE APPLICABLE.
3. PAINT EXPOSED STRUCTURAL STEEL, MISCELLANEOUS STEEL, FIREPROOFING, DUCTWORK, MECHANICAL EQUIPMENT, MECHANICAL AND SPRINKLER PIPING, ELECTRICAL CONDUIT, AND THEIR SUPPORT SYSTEMS, UNLESS OTHERWISE NOTED.



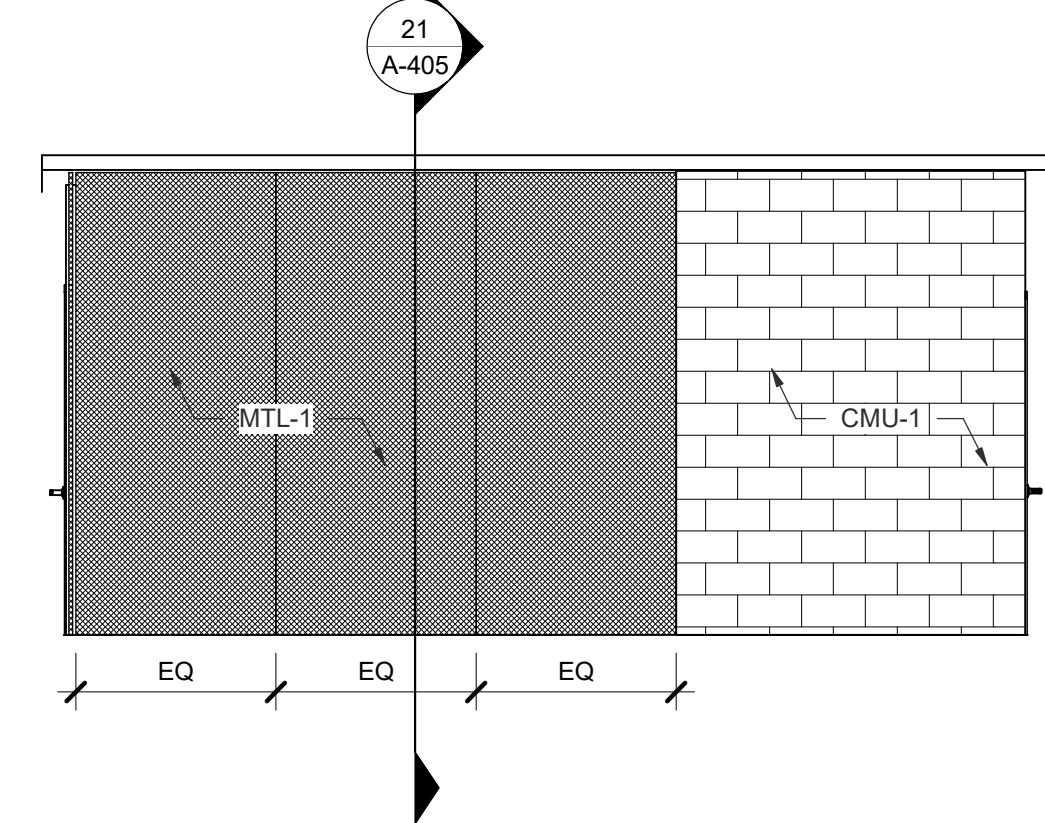
43 ELEVATION - SITE ENCLOSURE - NORTH  
 1/4" = 1'-0"



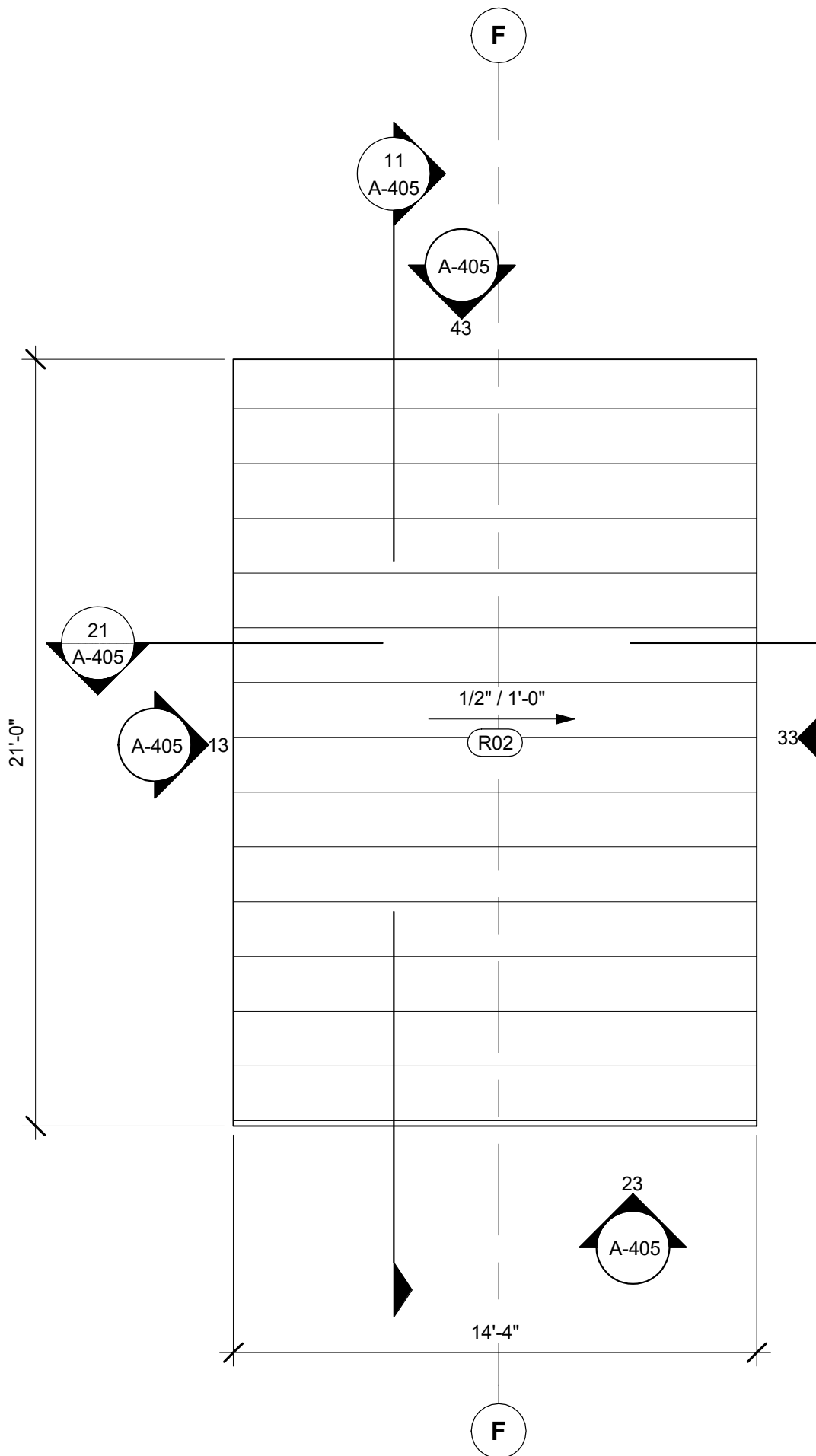
33 ELEVATION - SITE ENCLOSURE - EAST  
 1/4" = 1'-0"



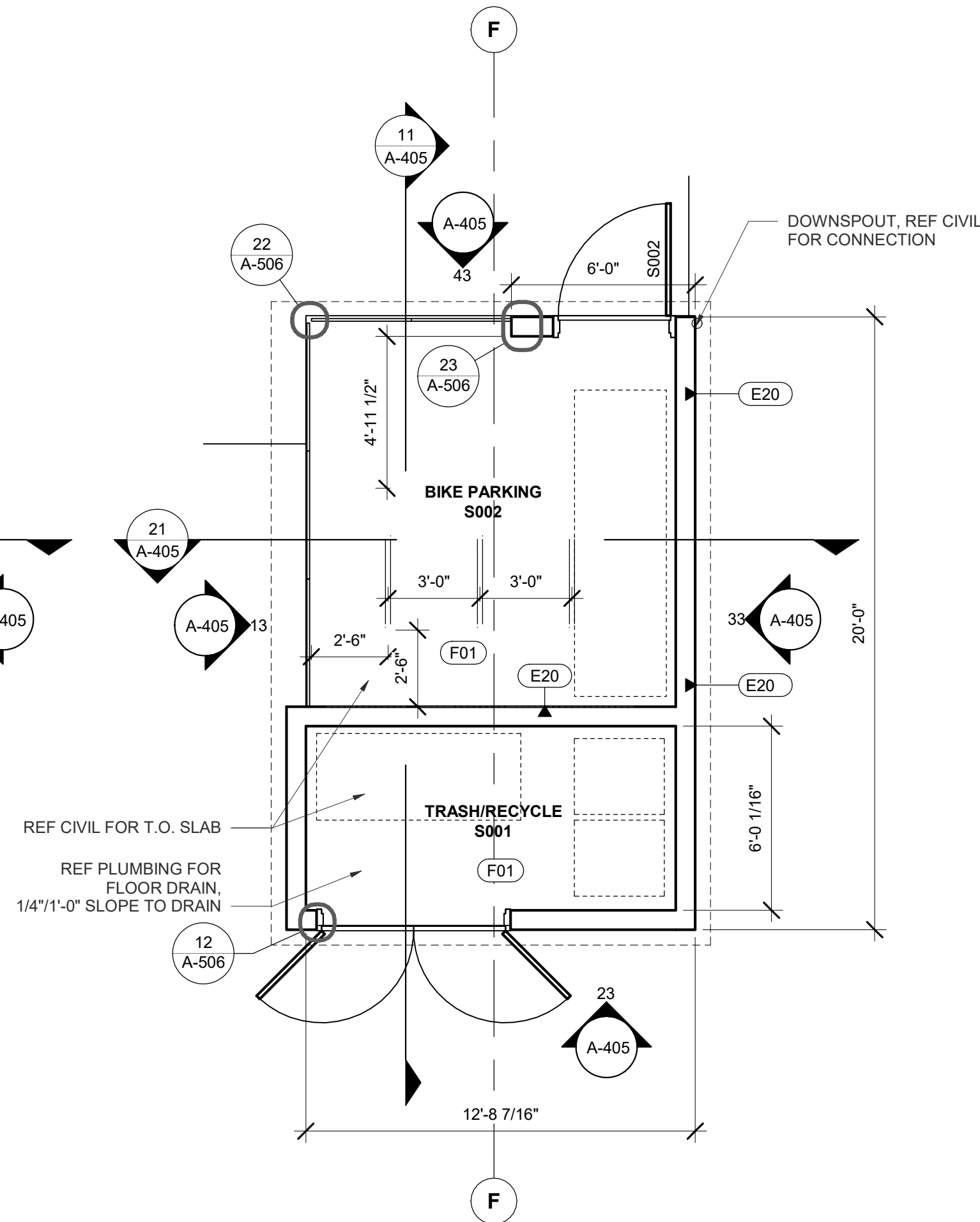
23 ELEVATION - SITE ENCLOSURE - SOUTH  
 1/4" = 1'-0"



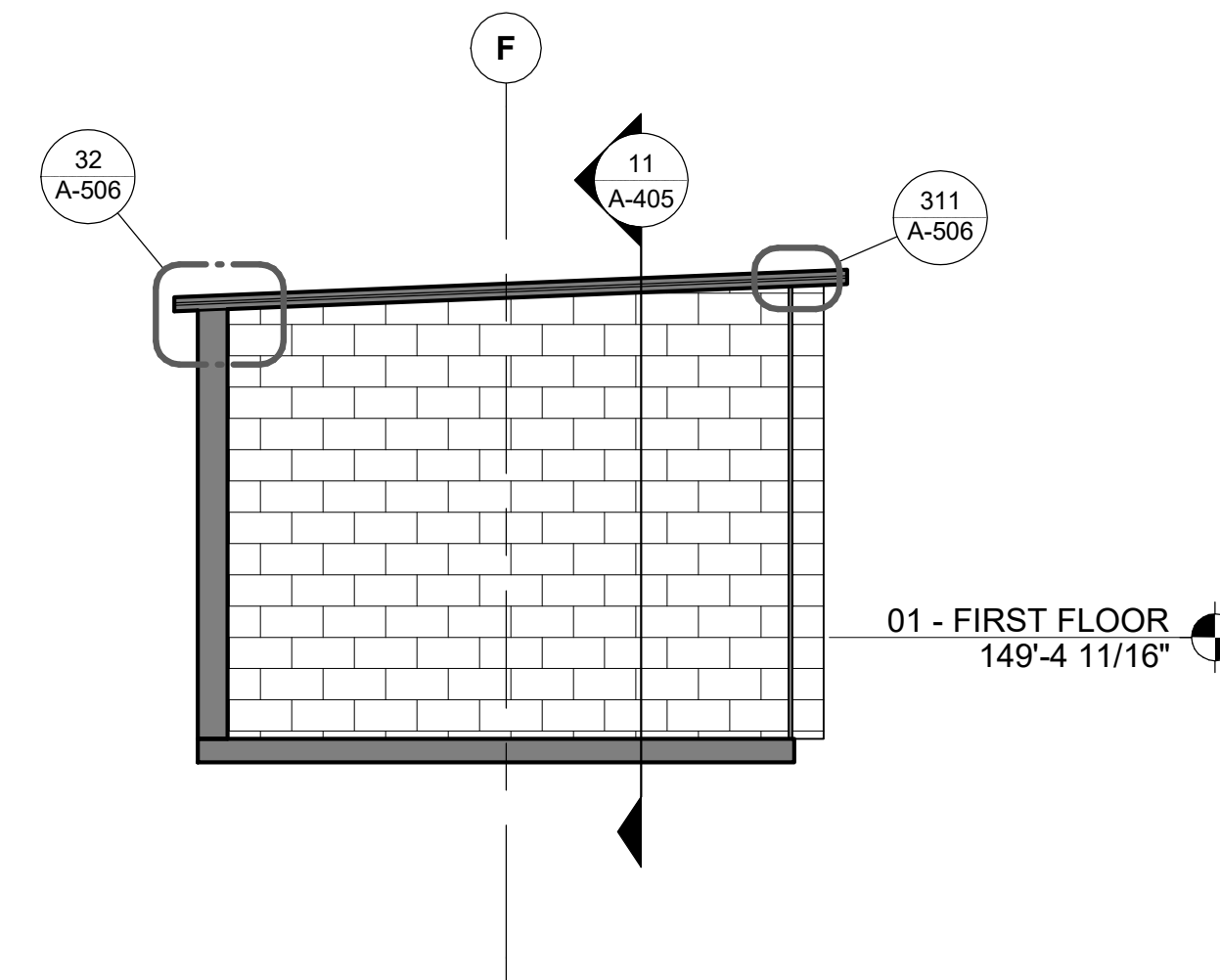
13 ELEVATION - SITE ENCLOSURE - WEST  
 1/4" = 1'-0"



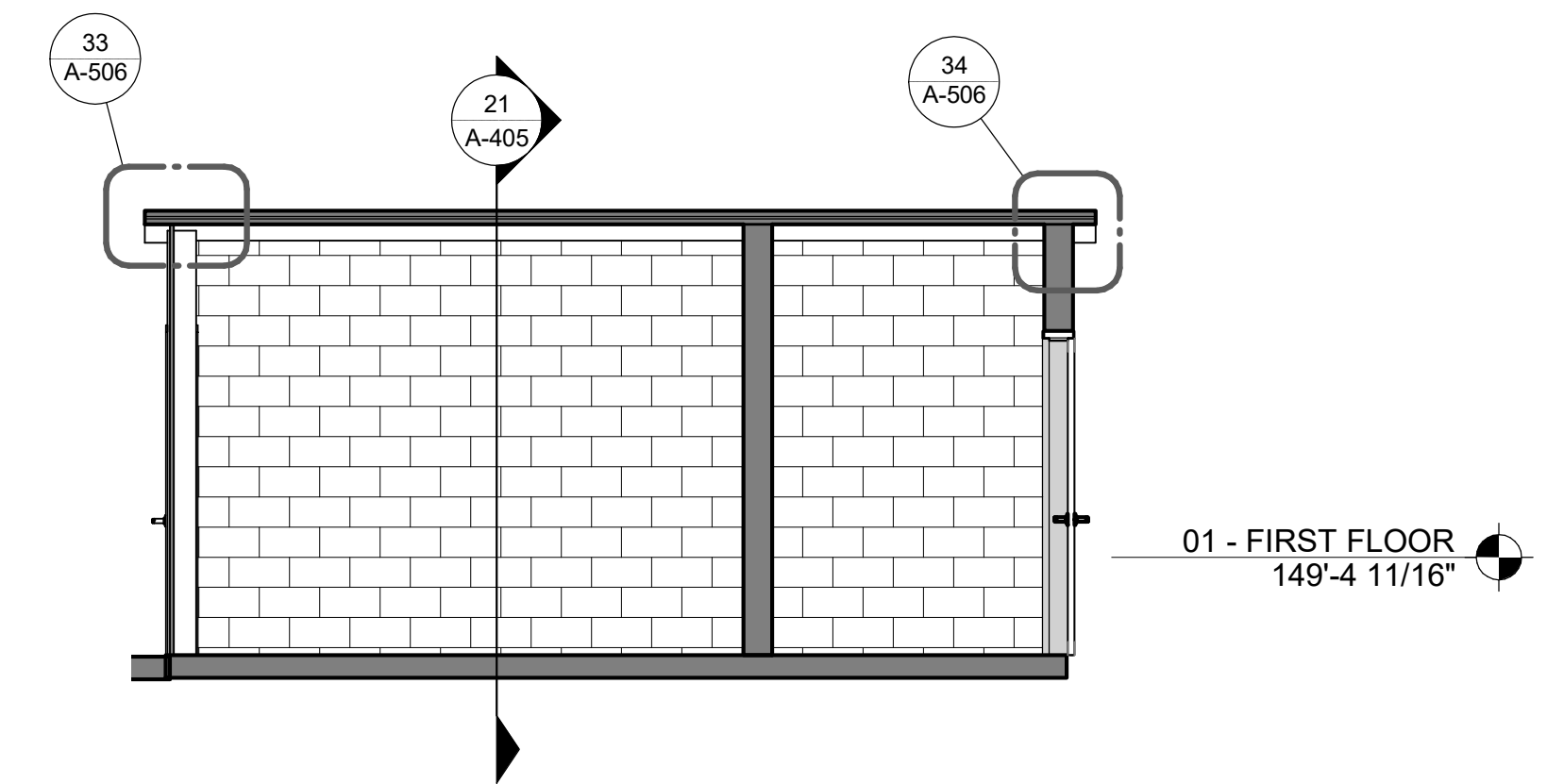
41 SITE ENCLOSURE - ROOF PLAN  
 1/4" = 1'-0"



31 SITE ENCLOSURE - FLOOR PLAN  
 1/4" = 1'-0"



2 SECTION - SITE ENCLOSURE - E/W  
 1/4" = 1'-0"



11 SECTION - SITE ENCLOSURE - N/S  
 1/4" = 1'-0"





**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
FROM CONCEPT TO CONSTRUCTION

Carmen Rubio, Commissioner  
David Kuhnhausen, Interim Director  
Phone: (503) 823-7300  
TTY: 711  
www.portland.gov/bds

Date: March 29, 2024

From: Don Kienholz, Land Use Services  
503-865-6716 / Don.Kienholz@portlandoregon.gov

## **REQUEST FOR RESPONSE**

**Case File: LU 24-014054 CU AD**  
**Pre App: PC # 23-096980**

This notice is being sent to all service and technical review agencies for their input on the proposal described below. Neighborhood Associations also receive this advance notice via e-mail. Your timely response, as indicated below, will help the assigned planner determine if applicable approval criteria can be met, or what conditions might be required.

- The approval criteria are listed below. Although we are interested in any comments you may have, please consider your response in terms of these criteria.
- All agencies are encouraged to use this as an opportunity to inform the applicant of any additional requirements that may be imposed by your agency during building permit phase – especially those that would significantly affect the proposal.
- Please note in your response which requirements are specifically associated with the applicable land use review approval criteria, and which requirements you have the independent authority to impose at time of building permits.
- Neighborhood Associations are encouraged to submit comments by the deadline noted below. To comment, you may write to Don Kienholz at 1900 SW Fourth Ave., Suite 4500, Portland, OR 97201. You can also e-mail your comments to me at my e-mail address identified above. After the staff report is published, please submit your comments to the Hearings Officer at 1900 SW Fourth Ave., Suite 3100, Portland, OR 97201 and fax them to 503-823-4347.

The Bureau of Development Services recommendation will be published ten days before the scheduled hearing date. You will also receive a Notice of Public Hearing for this proposal, with hearing date and time confirmed, mailed twenty days prior to the hearing.

- **Please send your response to BDS no later than: April 26, 2024** (If I receive comments after this date, I may not have enough time to include them in the staff report).
- **We anticipate publishing our report by: May 10, 2024**
- **A public hearing before the Hearings Officer is tentatively scheduled for May 22, 2024**

**Contact Person:** Debbie Cleek  
The Bookin Group  
1020 SW Taylor St, #555  
Portland, OR 97205  
[cleek@bookingroup.com](mailto:cleek@bookingroup.com), 503-789-3211

**Owner/Applicant:** Multnomah County Library District  
401 N Dixon St  
Portland, OR 97227-1865

**Owner's Agent:** Elise Hendrickson  
Multnomah County  
1006 SE Grand Ave  
Portland, OR 97214

**Site Address:** 7510 N CHARLESTON AVE

**Legal Description:** BLOCK 2 INC PT VAC ST LOT 5-8, JERSEY ST ADD  
**Tax Account No.:** R429000210  
**State ID No.:** 1N1W12AB 10300  
**Quarter Section:** 2122

**Neighborhood:** St. Johns, contact Brennan Scarlett at [landuse@stjohnspdx.org](mailto:landuse@stjohnspdx.org)  
**Business District:** St. Johns Boosters Business Association, contact at [info@stjohnsboosters.org](mailto:info@stjohnsboosters.org)  
**District Coalition:** North Portland Neighborhood Services, contact at 503-823-8877.

**Plan District:** St. Johns  
**Zoning:** RM2d – Residential Multi-Dwelling – 2 with a Design Review Overlay Zone ('d').

**Case Type:** CU AD – Conditional Use Review with an Adjustment Review  
**Procedure:** Type III, with a public hearing before the Hearings Officer. The decision of the Hearings Officer can be appealed to City Council.

**Proposal:**

The applicant is proposing to remove an 800-sf addition from the rear of the St. Johns Library built in the 1990's and replace it with an approximately 2,950-sf addition. The proposal will not alter the original 1917 library on site but will connect to the rear of the building where the previous addition was located. The proposal also includes a detached covered accessory building in the southeast portion of the site that will house covered bike parking and the trash and recycling area.

A Type III Conditional Use Review is required because the addition will be a net increase of more than 2000-sf and increase the overall floor area by more than 25 percent. The applicant is also requesting six Adjustments for the addition and accessory structure:

1. Reduce the required side building setback from the north lot line from 10-ft to 8-ft (33.120.275 C.1 and Table 120-7);
2. Reduce the required rear building setback from 10-ft to 5-ft. (33.120.275 C.1 and Table 120-7);
3. Reduce required rear building setback for the detached covered accessory building from 10-ft to 5-ft. (33.120.275 C.1 and Table 120-7);
4. Modify the required 10-ft of L3 buffer and landscaping between the proposed addition and the north side lot line that is adjacent to a residential zone from 10-ft to 8-ft. (33.120.275 C.1 and Table 120-7);

5. Increase the maximum building setback from a street in a pedestrian district to the proposed addition from 20-ft to approximately 116-ft (33.120.220.C and Table 120-3); and
6. Allow vehicle area between accessory building and street (33.266.130.C.1 and Table 266-3).

**Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The applicable approval criteria are found in 33.815.105 - Institutional and Other Uses in Residential and Campus Institutional Zones and in 33.805.040.A through F Adjustment Approval Criteria.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was filed, provided that the application is complete at the time of filing, or complete within 180 days. This application was filed on February 15, 2024 and determined to be complete on March 27, 2024.

Enclosures:




Zoning Map  
Site Plan  
Elevation Plans



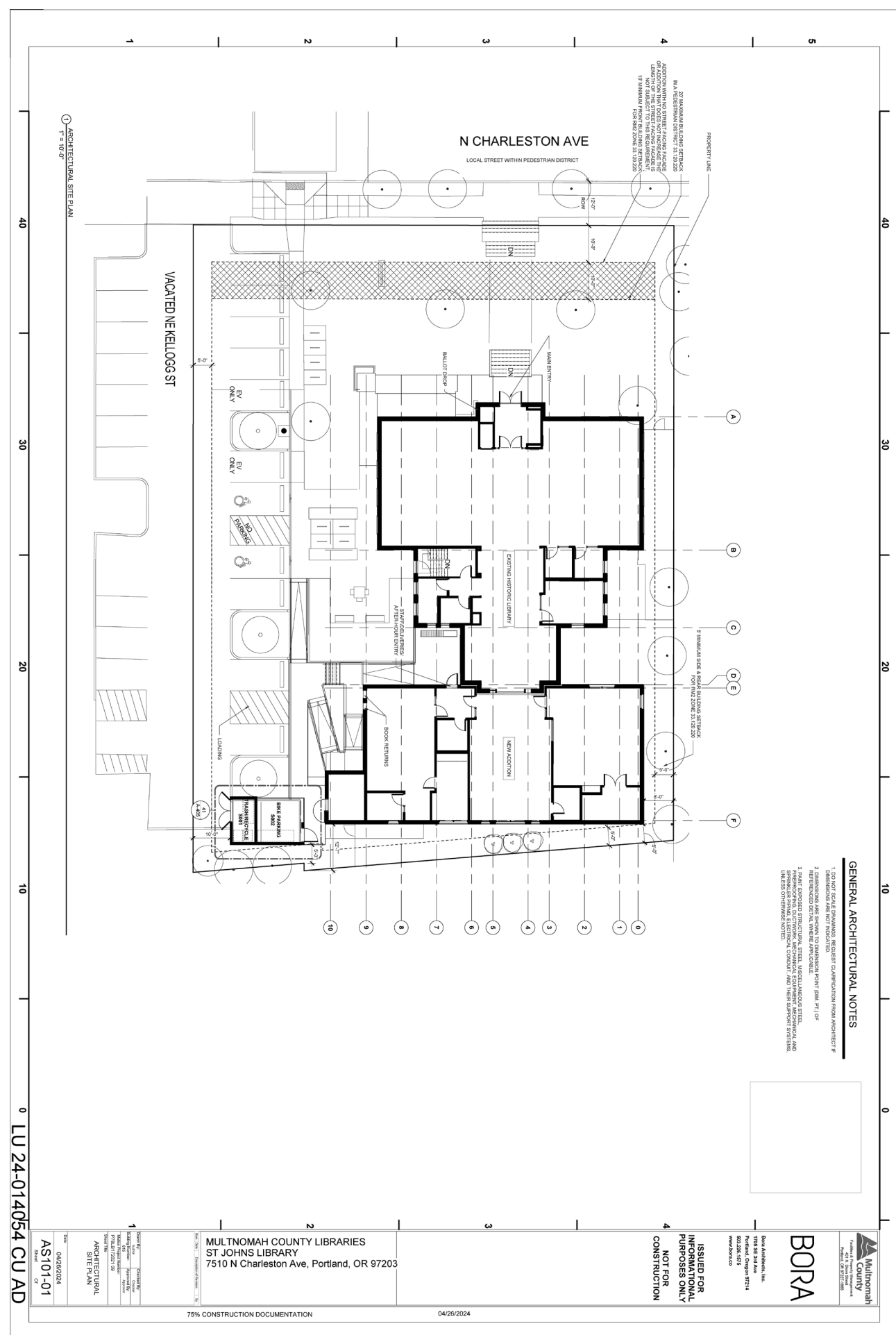
For Zoning Code in Effect Post October 1, 2022

# ZONING

THIS SITE LIES WITHIN THE:  
ST. JOHNS PLAN DISTRICT

-  Site
-  Plan District
-  Historic Landmark

File No. LU 24 - 014054 CU AD  
 1/4 Section 2122  
 Scale 1 inch = 200 feet  
 State ID 1N1W12AB 10300  
 Exhibit B Feb 15, 2024



- GENERAL ARCHITECTURAL NOTES**
1. DO NOT SCALE DIMENSIONS. REQUEST CLARIFICATION FROM ARCHITECT IF DIMENSIONS ARE NOT INDICATED.
  2. DIMENSIONS ARE GIVEN TO DIMENSION POINT (DIP) UNLESS OTHERWISE NOTED.
  3. FINISH TOP OF CONCRETE SLAB, MECHANICAL AND ELECTRICAL EQUIPMENT SHALL BE AS SHOWN. FINISH TOP OF CONCRETE SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.



**Multnomah County**  
 Public Works Department  
 1000 NE Oregon Street  
 Portland, OR 97232-3899  
 Phone: 503.273.7800

**BORA**  
 Building Officials and Regulatory Administrators  
 1700 SE 34th Ave  
 Portland, Oregon 97214  
 503.235.1575  
 www.bora.or.us

**ISSUED FOR INFORMATIONAL PURPOSES ONLY NOT FOR CONSTRUCTION**

**MULTNOMAH COUNTY LIBRARIES**  
**ST JOHNS LIBRARY**  
 7510 N Charleston Ave, Portland, OR 97203

75% CONSTRUCTION DOCUMENTATION 04/26/2024

Drawn By: [Name] Title: [Title]  
 Checked By: [Name] Title: [Title]  
 Project No: [Number]  
 Project Name: [Name]  
 Architect: [Name]  
 Architectural Site Plan

Scale: 1/8" = 10'-0"  
 AS101-01  
 Sheet of [Number]

LU 24-014054 CU AD

**ELEVATION / SECTION NOTES**

1. REFER TO ASSEMBLY SHEETS FOR WALL, ROOF, FLOOR AND CEILING
2. GRADE LINES INDICATED ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO CIVIL AND LANDSCAPE DRAWINGS.
3. LIMIT OF FOUNDATION WALLS AND FOOTINGS ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO STRUCTURAL DRAWINGS FOR FLOORING ELEVATIONS.

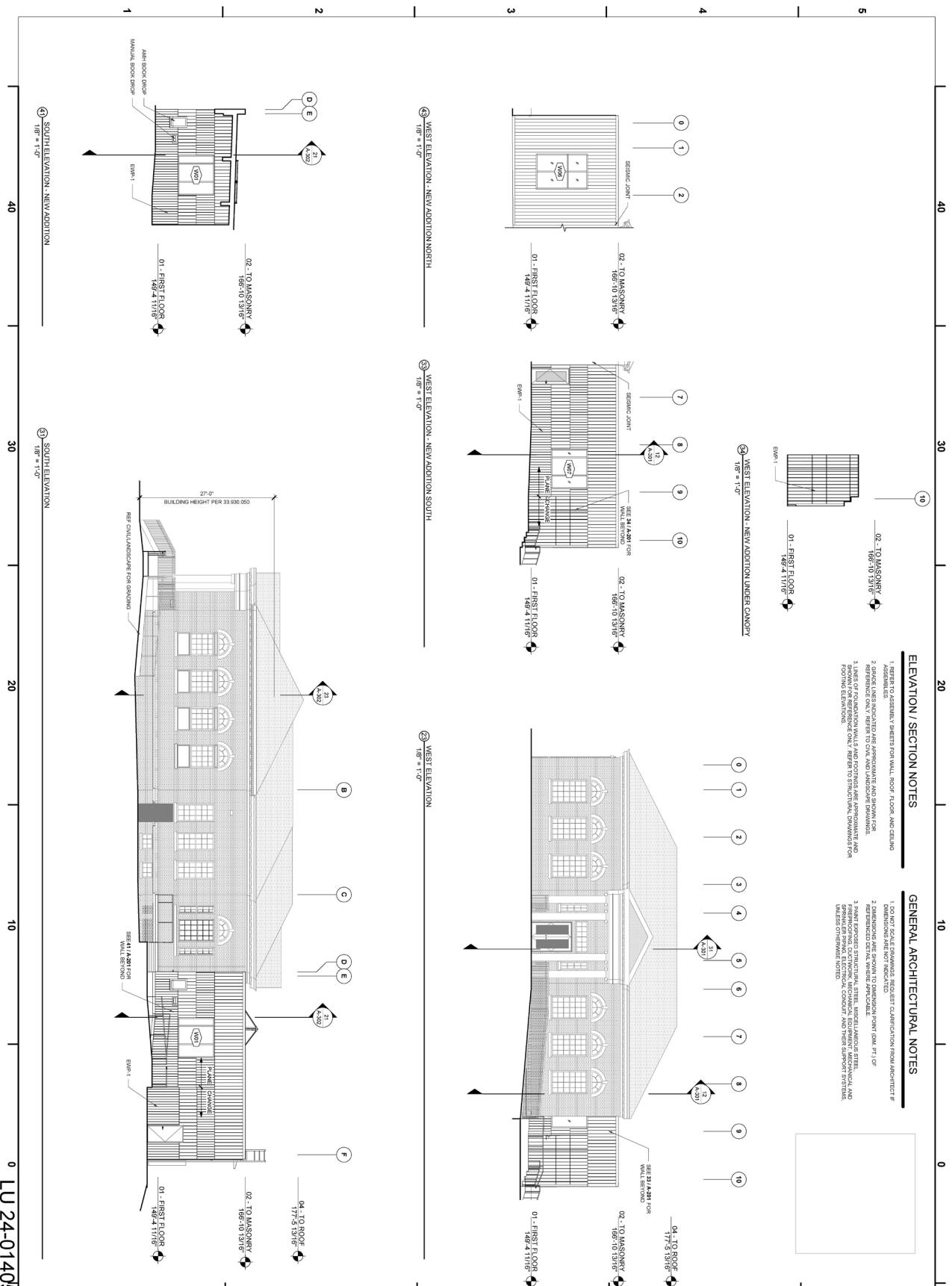
**GENERAL ARCHITECTURAL NOTES**

1. DO NOT SCALE DRAWINGS. REQUEST CLARIFICATION FROM ARCHITECT IF YOU DO NOT UNDERSTAND ANY DIMENSIONS.
2. DIMENSIONS ARE SHOWN TO DIMENSION POINT DIM PT OR DIMENSION LINE.
3. HATCH PATTERN FOR CONCRETE, STEEL, METAL LAMINATE STRUCTURE, GLASS, CERAMIC TILE, MECHANICAL, ELECTRICAL AND PLUMBING IS SHOWN FOR REFERENCE ONLY. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR DETAILS.



BORA  
 802.234.1575  
 Portland, Oregon 97214  
 www.bora.com

**ISSUED FOR INFORMATIONAL PURPOSES ONLY NOT FOR CONSTRUCTION**



DATE	04/26/2024
BY	A-201
CHECKED BY	
SCALE	AS SHOWN
PROJECT	MULTNOMAH COUNTY LIBRARIES ST JOHNS LIBRARY
LOCATION	7510 N Charleston Ave, Portland, OR 97203
OWNER	MULTNOMAH COUNTY
ARCHITECT	BORA
ENGINEER	
DATE	04/26/2024
BY	A-201
CHECKED BY	
SCALE	AS SHOWN
PROJECT	MULTNOMAH COUNTY LIBRARIES ST JOHNS LIBRARY
LOCATION	7510 N Charleston Ave, Portland, OR 97203
OWNER	MULTNOMAH COUNTY
ARCHITECT	BORA
ENGINEER	

75% CONSTRUCTION DOCUMENTATION

04/26/2024

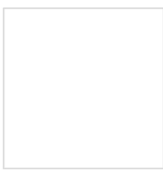
LU 24-014054 CU AD

**ELEVATION / SECTION NOTES**

- 1 REFER TO ASSEMBLY SHEETS FOR WALL, ROOF, FLOOR AND CEILING
- 2 GRADE LINES INDICATE ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO CIVIL AND LANDSCAPE DRAWINGS.
- 3 LEVEL OF FOUNDATION WALLS AND FOOTINGS ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO STRUCTURAL DRAWINGS AND FOUNDING ELEVATIONS.

**GENERAL ARCHITECTURAL NOTES**

- 1 DO NOT REMOVE OR ALTER ANY BEST CLASSIFICATION FROM ARCHITECT #
- 2 DIMENSIONS ARE SHOWN TO DIMENSION POINT DIM PT OR REFERENCED DETAIL WHERE APPLICABLE.
- 3 MARK DIMENSIONS TO FACE UNLESS SPECIFIED OTHERWISE. DIMENSIONS ON PLANS, ELECTRICAL, MECHANICAL AND PLUMBING DRAWINGS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

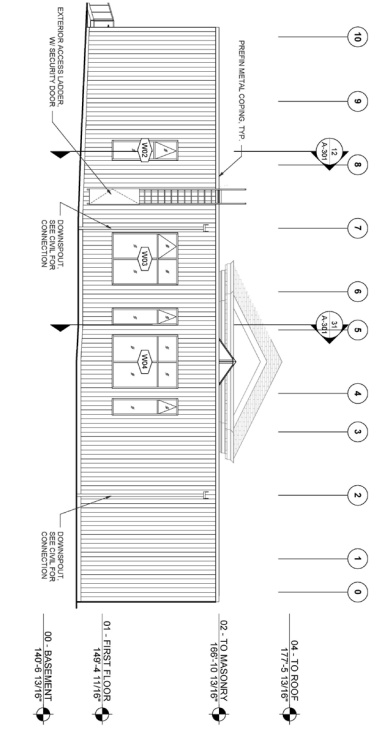


**Multnomah County**  
 1000 NE Oregon Street  
 Portland, OR 97232-3999  
 Phone: 503.944.3000  
 Fax: 503.944.3001  
 www.multnomah.gov

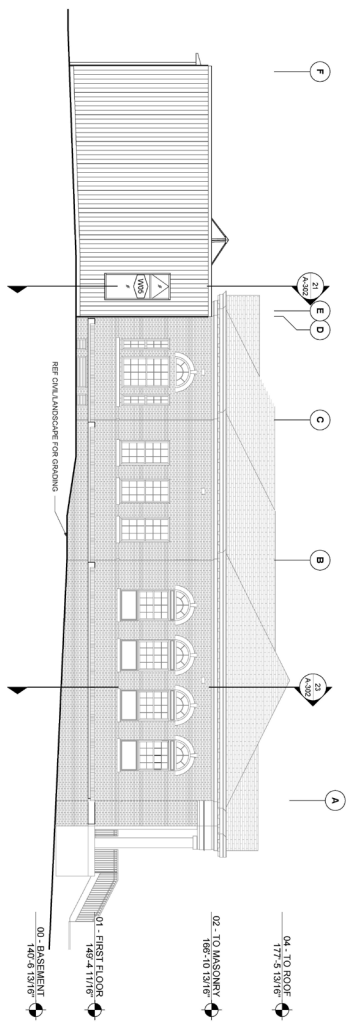
**BORA**  
 Building & Construction  
 1705 SE Shaw Ave  
 Portland, Oregon 97214  
 503.226.1575  
 www.boraco.com

ISSUED FOR INFORMATIONAL PURPOSES ONLY NOT FOR CONSTRUCTION

**29 EAST ELEVATION**  
 1/8" = 1'-0"



**30 NORTH ELEVATION**  
 1/8" = 1'-0"



LU 24-014054 CU AD

**MULTNOMAH COUNTY LIBRARIES**  
**ST JOHNS LIBRARY**  
 7510 N Charleston Ave, Portland, OR 97203

Drawn By:	Checked By:
Designed By:	Reviewed By:
Project No:	Project Name:
Sheet No:	Sheet Title:
Scale:	Date:
Author:	Client:
Designer:	Contract No.:
Checker:	Project No.:
Exterior Elevation	
A-202	04/26/2024
Scale:	



**Multnomah County**  
 1200 NE Oregon Street  
 Portland, OR 97232-3299  
 phone: 503.988.3000

**BORA**  
 Building Envelope Research Association  
 1705 SE Shaw Ave.  
 Portland, Oregon 97214  
 503.226.1575  
 www.borainc.com

ISSUED FOR INFORMATIONAL PURPOSES ONLY  
 NOT FOR CONSTRUCTION

MULTNOMAH COUNTY LIBRARIES  
 ST JOHNS LIBRARY  
 7510 N Charleston Ave, Portland, OR 97203

75% CONSTRUCTION DOCUMENTATION	
04/26/2024	
Drawn By:	Checked By:
Designed By:	Approved By:
Project No:	Sheet No:
UNENLARGED ENCLOSURE ELEVATIONS & SECTIONS	
Scale:	Date:
A-405	04/26/2024

**FLOOR PLAN NOTES**

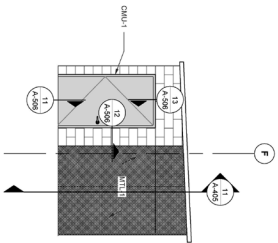
- REFER TO ASSEMBLY SHEETS FOR WALL AND FLOOR ASSEMBLIES
- CONSTRUCTION PER TO FACE OF ORIGINAL EXISTING FLOOR FINISH UNLESS OTHERWISE NOTED
- INTERIOR WALLS ARE WALL TYPE 02 UNLESS OTHERWISE NOTED

**ELEVATION / SECTION NOTES**

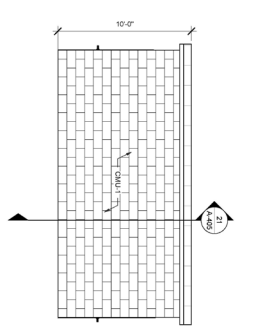
- REFER TO ASSEMBLY SHEETS FOR WALL, ROOF/FLOOR AND CEILING ASSEMBLIES
- GRADE LINES INDICATED ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY, REFER TO CIVIL AND LANDSCAPE DRAWINGS
- LINES OF FOUNDATION WALLS AND FOOTINGS ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY, REFER TO FOUNDATION DRAWINGS FOR FINISH ELEVATIONS

**GENERAL ARCHITECTURAL NOTES**

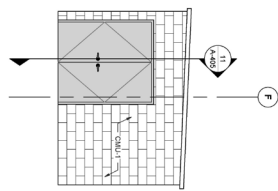
- DO NOT SCALE DRAWINGS, REQUEST CLASSIFICATION FROM ARCHITECT IF REQUIRED
- CONSTRUCTION TO FACE OF ORIGINAL EXISTING FINISH UNLESS OTHERWISE NOTED
- CONSTRUCTION TO FACE OF ORIGINAL EXISTING FINISH UNLESS OTHERWISE NOTED



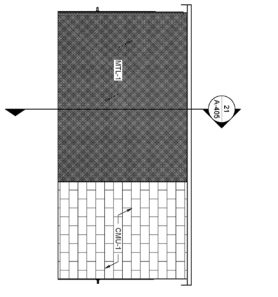
21 ELEVATION - SITE ENCLOSURE - NORTH  
1/4" = 1'-0"



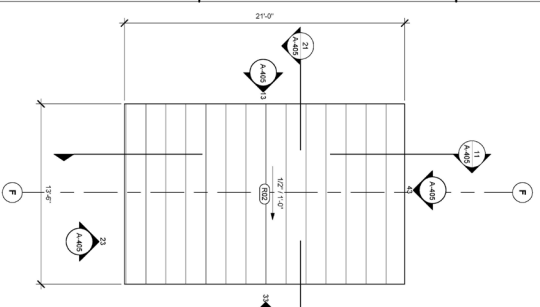
22 ELEVATION - SITE ENCLOSURE - EAST  
1/4" = 1'-0"



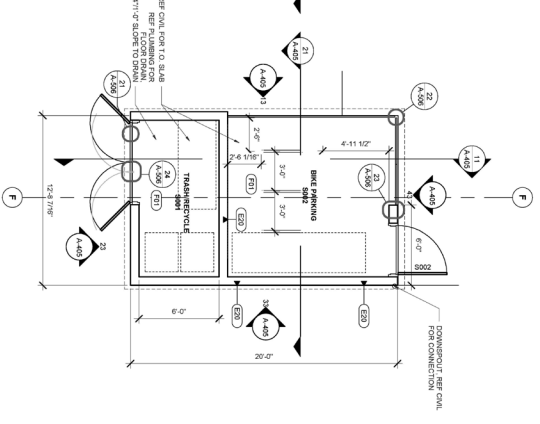
23 ELEVATION - SITE ENCLOSURE - SOUTH  
1/4" = 1'-0"



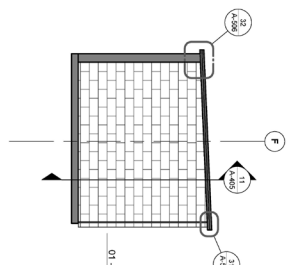
24 ELEVATION - SITE ENCLOSURE - WEST  
1/4" = 1'-0"



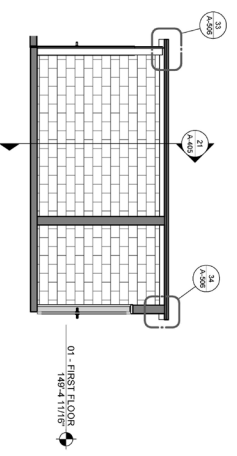
25 SITE ENCLOSURE - ROOF PLAN  
1/4" = 1'-0"



26 SITE ENCLOSURE - FLOOR PLAN  
1/4" = 1'-0"



27 SECTION - SITE ENCLOSURE - EW  
1/4" = 1'-0"



28 SECTION - SITE ENCLOSURE - NS  
1/4" = 1'-0"



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
**FROM CONCEPT TO CONSTRUCTION**

Carmen Rubio, Commissioner  
David Kuhnhausen, Interim Director  
Phone: (503) 823-7300  
TTY: 711  
[www.portland.gov/bds](http://www.portland.gov/bds)

Date: April 30, 2024

To: Debbie Cleek  
The Bookin Group  
1020 SW Taylor St. #555  
Portland, OR

From: Don Kienholz  
[Don.Kienholz@portlandoregon.gov](mailto:Don.Kienholz@portlandoregon.gov)  
503-865-6716

RE: LU 24-014054 CU AD

Dear Applicant:

I have received your application for a Conditional Use AD at 7510 N CHARLESTON AVE. Your application was deemed complete on **March 27, 2024** and the hearing is scheduled for **June 3, 2024 at 2:00 PM**.

The Zoning Code requires you to post notice on the site of your proposal at least 30 days before the hearing. The information below will help you do this. **It is recommended that you work with a sign manufacturer to prepare the posting board.** I am enclosing a digital copy of the posting board, a copy of the notice that must be placed on the posting boards, and instructions for printing and installation.

- A. Because the hearing for your case is scheduled for **June 3, 2024 at 2:00 PM**, you must post the notice by May 4, 2024, 30 days before the hearing.
- B. **A certification statement is enclosed, which you must sign and return.** The statement affirms that you posted the site. It also confirms your understanding that if you do not post the notice by the date above, your hearing will be automatically postponed. In addition, time limits on our processing of your case will be waived. You must return this statement to us by May 20, 2024, 14 days before the hearing.
- C. You must post one of these signs every 600 feet, or fraction thereof, on each street frontage of the property. Because you have approximately 130 feet of street frontage, you need to post 1 sign.
- D. These signs must be placed within 10 feet of the street frontage line and must be visible to pedestrians and motorists. You may not post in the public right-of-way.
- E. You should not remove the notice before the hearing, but it must be taken down within two weeks after the final decision is made on your request.

Encl: Posting Notice  
Statement Certifying Posting

cc: Application Case File

POSTING NOTICE

CASE FILE: LU 24-014054 CU AD  
PC # 23-096980  
REVIEW BY: Hearings Officer  
WHEN: June 3, 2024 at 2:00 PM

This land use hearing will take place online using the Zoom platform. More information on how to participate remotely (online or by phone) is available at [www.portland.gov/omf/hearings/land-use](http://www.portland.gov/omf/hearings/land-use) and will be provided with the Notice of Public Hearing mailed 20 days before the hearing and posted at <https://www.portland.gov/bds/zoning-land-use/events>. You may also contact the planner at the phone number or email address at the bottom of this page.

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**Location:** 7510 N CHARLESTON AVE  
**Legal Description:** BLOCK 2 INC PT VAC ST LOT 5-8, JERSEY ST ADD  
**Zoning/Designation:** RM2d – Multi-Dwelling Residential 2 with a Design (‘d’) overlay zone

**Proposal:** The applicant is proposing to remove an 800-sf addition from the rear of the St. Johns Library built in the 1990’s and replace it with an approximately 2,950-sf addition. The proposal will not alter the original 1917 library on site but will connect to the rear of the building where the previous addition was located. The proposal also includes a detached covered accessory building in the southeast portion of the site that will house covered bike parking and the trash and recycling area.

A Type III Conditional Use Review is required because the addition will be a net increase of more than 2000-sf and increase the overall floor area by more than 25 percent. The applicant is also requesting six Adjustments for the addition and accessory structure:

1. Reduce the required side building setback from the north lot line from 10-ft to 8-ft (33.120.275 C.1 and Table 120-7);
2. Reduce the required rear building setback from 10-ft to 5-ft. (33.120.275 C.1 and Table 120-7);
3. Reduce required rear building setback for the detached covered accessory building from 10-ft to 5-ft. (33.120.275 C.1 and Table 120-7);
4. Modify the required 10-ft of L3 buffer and landscaping between the proposed addition and the north side lot line that is adjacent to a residential zone from 10-ft to 8-ft. (33.120.275 C.1 and Table 120-7);
5. Increase the maximum building setback from a street in a pedestrian district to the proposed addition from 20-ft to approximately 116-ft (33.120.220.C and Table 120-3); and
6. Allow vehicle area between accessory building and street (33.266.130.C.1 and Table 266-3).

---

Further information is available from the Bureau of Development Services. Please contact Don Kienholz at [Don.Kienholz@portlandoregon.gov](mailto:Don.Kienholz@portlandoregon.gov) or (503) 865-6716.

**The Bureau of Development Services is committed to providing equal access to information and hearings. To request an accommodation or alternative format of communication, please contact us at least five business days prior to the hearing at 503-823-7300 (TTY 503-823-6868).**

Debbie Cleek  
The Bookin Group  
1020 SW Taylor St. #555  
Portland, OR

DATE: \_\_\_\_\_

TO: Don Kienholz  
Don.Kienholz@portlandoregon.gov  
Bureau of Development Services  
1900 SW Fourth Ave., Suite 5000  
Portland, OR 97201

**APPLICANT'S STATEMENT CERTIFYING POSTING**

**Case File LU 24-014054**

This certifies that I have posted notice on my site as required by the Zoning Code. I understand that the hearing is scheduled for June 3, 2024 at 2:00 PM, and that I was required to post the property at least 30 days before the hearing.

The required number of poster boards, with the notices attached, were set up on \_\_\_\_\_(date). These were placed within 10 feet of the street frontage line so that they were visible to pedestrians and motorists.

I understand that this form must be returned to the Bureau of Development Services no later than May 20, 2024, 14 days before the scheduled hearing. I also understand that if I do not post the notices by 30 days before the hearing, or return this form by 14 days before the hearing, my hearing will automatically be postponed. I also understand this will result in a waiver of the time limits for processing my case.

In addition, I understand that I may not remove the notices before the hearing, but am required to remove them within two weeks of the final decision on my request.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Print Name

\_\_\_\_\_  
Address

\_\_\_\_\_  
City/State/Zip Code

Debbie Cleek  
The Bookin Group  
1020 SW Taylor St. #555  
Portland, OR

DATE: **May 2, 2024** \_\_\_\_\_

TO: Don Kienholz  
Don.Kienholz@portlandoregon.gov  
Bureau of Development Services  
1900 SW Fourth Ave., Suite 5000  
Portland, OR 97201

**APPLICANT'S STATEMENT CERTIFYING POSTING**

**Case File LU 24-014054**

This certifies that I have posted notice on my site as required by the Zoning Code. I understand that the hearing is scheduled for June 3, 2024 at 2:00 PM, and that I was required to post the property at least 30 days before the hearing.

The required number of poster boards, with the notices attached, were set up on **May 2, 2024** (date). These were placed within 10 feet of the street frontage line so that they were visible to pedestrians and motorists.

I understand that this form must be returned to the Bureau of Development Services no later than May 20, 2024, 14 days before the scheduled hearing. I also understand that if I do not post the notices by 30 days before the hearing, or return this form by 14 days before the hearing, my hearing will automatically be postponed. I also understand this will result in a waiver of the time limits for processing my case.

In addition, I understand that I may not remove the notices before the hearing, but am required to remove them within two weeks of the final decision on my request.



\_\_\_\_\_  
Signature

**Debbie Cleek**

\_\_\_\_\_  
Print Name

**1020 SW Taylor St., Suite 555**

\_\_\_\_\_  
Address

**Portland, OR 97205**

\_\_\_\_\_  
City/State/Zip Code

	A	B	C	D	E	F
1	ENDORSEMENT	INFO1	INFO2	NAME	ADDRESS/IO ADDRESS	CITYSTATEZIP/ADDRESSEE
2	RETURN SERVICE REQUESTED		1N1W01DC 9900	BENKE CARYN	8032 N JOHN AVE	PORTLAND OR 97203
3	RETURN SERVICE REQUESTED		1N1W12AB 1000	LOMBARD LOFTS LLC	300 W 15TH ST #300 PMB 4	VANCOUVER WA 98660-2911
4	RETURN SERVICE REQUESTED		1N1W12AB 10200	F9-7525 RICHMOND LLC	16130 VENTURA BLVD #250	ENCINO CA 91436
5	RETURN SERVICE REQUESTED	1N1W12AB 10300	MULTNOMAH COUNTY LIBRARY	ST JOHN'S BRANCH	7510 N CHARLESTON AVE	PORTLAND OR 97203
6	RETURN SERVICE REQUESTED	1N1W12AB 10400	PIONEER UNITED METHODIST	CHURCH OF PORTLAND	7528 N CHARLESTON AVE	PORTLAND OR 97203
7	RETURN SERVICE REQUESTED		1N1W12AB 10600	SUMMA WEALTH MANAGEMENT INC	4535 SE WOODSTOCK BLVD	PORTLAND OR 97206
8	RETURN SERVICE REQUESTED		1N1W12AB 10600	REAL PDX LLC	1834 SW GREENWAY CIR	WEST LINN OR 97068
9	RETURN SERVICE REQUESTED		1N1W12AB 10700	MULTNOMAH COUNTY TAX TITLE	PO BOX 2716	PORTLAND OR 97208-2716
10	RETURN SERVICE REQUESTED		1N1W12AB 10800	LIVE YOUR LIFE ON PURPOSE LLC	3733 NE 8TH AVE	PORTLAND OR 97212
11	RETURN SERVICE REQUESTED		1N1W12AB 10900	ST JOHNS CHRISTIAN CHURCH	8044 N RICHMOND AVE	PORTLAND OR 97203-3148
12	RETURN SERVICE REQUESTED		1N1W12AB 1100	NICHOLAS PARTNERS LLC ET AL	300 W 15TH ST #200	VANCOUVER WA 98660-2927
13	RETURN SERVICE REQUESTED		1N1W12AB 11000	ST JOHNS BACHELOR CLUB	8204 N CENTRAL ST	PORTLAND OR 97203-3114
14	RETURN SERVICE REQUESTED		1N1W12AB 11200	KO JANA & STOVALL GABRIEL	8031 N CHARLESTON AVE	PORTLAND OR 97203-3710
15	RETURN SERVICE REQUESTED		1N1W12AB 11300	RIDGLEY DEREK & RIDGLEY MARCIA	7500 MAGNOLIA DR	NEEDLAND CO 80466
16	RETURN SERVICE REQUESTED		1N1W12AB 11400	SCOTT BRENNAN	8011 N CHARLESTON AVE	PORTLAND OR 97203
17	RETURN SERVICE REQUESTED		1N1W12AB 11500	RAYMOND SCOTT	9427 N CHARLESTON AVE	PORTLAND OR 97203
18	RETURN SERVICE REQUESTED		1N1W12AB 11600	HALL-GEISLER KRISTEN & GEISLER DOUG	8325 N LEONARD ST	PORTLAND OR 97203-3724
19	RETURN SERVICE REQUESTED		1N1W12AB 11700	MAPLETHORPE CHRISTOPHER	8335 N LEONARD ST	PORTLAND OR 97203-3724
20	RETURN SERVICE REQUESTED		1N1W12AB 11800	KERLEY MARTA J & POHLMAN JAYME	54351 FREEMAN RD	SCAPOOSE OR 97056
21	RETURN SERVICE REQUESTED		1N1W12AB 11900	MESTAYER WILLIAM	8015 N JOHN AVE	PORTLAND OR 97203
22	RETURN SERVICE REQUESTED		1N1W12AB 12000	CLARKE JULIA R	8005 N JOHN AVE	PORTLAND OR 97203
23	RETURN SERVICE REQUESTED		1N1W12AB 1201	BLUE LEI ST JOHNS LLC	PO BOX 711	DALLAS TX 75221-0711
24	RETURN SERVICE REQUESTED	1N1W12AB 12100	SCHOOL DISTRICT NO 1	ATTN REAL ESTATE & ASSET MGMT	PO BOX 3107	PORTLAND OR 97208-3107
25	RETURN SERVICE REQUESTED		1N1W12AB 1300	ST JOHNS FOOD SHARE INC	8100 N LOMBARD ST	PORTLAND OR 97203
26	RETURN SERVICE REQUESTED	1N1W12AB 1300	8100 N LOMBARD LLC	ATTN WEBB CLIFFORD	PO BOX 5282	PORTLAND OR 97208
27	RETURN SERVICE REQUESTED		1N1W12AB 1400	IQ CREDIT UNION	PO BOX 1739	VANCOUVER WA 98668
28	RETURN SERVICE REQUESTED	1N1W12AB 1400	BANK OF AMERICA NA	BUSINESS PERSONAL PROPERTY	PO BOX 32727	CHARLOTTE NC 28232
29	RETURN SERVICE REQUESTED	1N1W12AB 1400	NSA PROPERTY HOLDINGS LLC	ATTN NATIONAL STORAGE AFFILIATES	8400 E PRENTICE AVE 9TH FLOOR	GREENWOOD VILLAGE CO 80111
30	RETURN SERVICE REQUESTED		1N1W12AB 1400	FEACEHEALTH NETWORKS ON DEMAND LLC	PO BOX 3340	VANCOUVER WA 98668-3340
31	RETURN SERVICE REQUESTED		1N1W12AB 2700	ELORRIAGA NORMA M	8140 N JERSEY ST	PORTLAND OR 97203
32	RETURN SERVICE REQUESTED		1N1W12AB 2800	GOOD SAMARITAN CENTER OF N PORTLAND	2823 N ROSA PARKS WAY	PORTLAND OR 97217-5053
33	RETURN SERVICE REQUESTED		1N1W12AB 2800	CONVERGENCE ARCHITECTURE PC	7302 N RICHMOND AVE	PORTLAND OR 97203
34	RETURN SERVICE REQUESTED		1N1W12AB 2800	OREGON READY NORTH LLC	PO BOX 83583	PORTLAND OR 97283
35	RETURN SERVICE REQUESTED		1N1W12AB 400	HYAMS JULIET ANN	2324 NW MARSHALL ST #4	PORTLAND OR 97210
36	RETURN SERVICE REQUESTED		1N1W12AB 500	BUTT ASAD M & RIFE ERICA D	8007 N OSWEGO AVE	PORTLAND OR 97203-3139
37	RETURN SERVICE REQUESTED		1N1W12AB 600	BEDE DEBORAH	7543 N OSWEGO AVE	PORTLAND OR 97203-3160
38	RETURN SERVICE REQUESTED		1N1W12AB 6500	KENNEDY SCHOOL INC	430 N KILLINGSWORTH ST	PORTLAND OR 97217
39	RETURN SERVICE REQUESTED		1N1W12AB 6500	MC MENAMINS INC	430 N KILLINGSWORTH ST	PORTLAND OR 97217
40	RETURN SERVICE REQUESTED		1N1W12AB 6600	THE FIXIN' TO LLC	8218 N LOMBARD ST	PORTLAND OR 97203-3102
41	RETURN SERVICE REQUESTED		1N1W12AB 6600	WOO PIG SOOIE LLC	8218 N LOMBARD ST	PORTLAND OR 97203-3102
42	RETURN SERVICE REQUESTED		1N1W12AB 6700	LUMEN TECHNOLOGIES INC	1025 ELDERADO BLVD	BROOMFIELD CO 80021-8254
43	RETURN SERVICE REQUESTED	1N1W12AB 6900	SEMM JOHNNY	SEMM ENTERPRISES INC	8242 N LOMBARD ST	PORTLAND OR 97203
44	RETURN SERVICE REQUESTED		1N1W12AB 700	SAUL MICAH H & SAUL KATHERINE A G	7535 N OSWEGO AVE	PORTLAND OR 97203-3160
45	RETURN SERVICE REQUESTED		1N1W12AB 7000	MCMENAMIN MICHAEL & MCMENAMIN BRIAN	430 N KILLINGSWORTH ST	PORTLAND OR 97217-2441
46	RETURN SERVICE REQUESTED		1N1W12AB 7000	N IVANHOE PROPERTY LLC	430 N KILLINGSWORTH ST	PORTLAND OR 97217
47	RETURN SERVICE REQUESTED		1N1W12AB 701	RUNNING AARON J	340 ARANEO DR	WEST ORANGE NJ 07052-4142
48	RETURN SERVICE REQUESTED		1N1W12AB 7101	COOK MOORE INC	8302 N LOMBARD ST	PORTLAND OR 97203
49	RETURN SERVICE REQUESTED		1N1W12AB 7101	ST JOHN-1 LLC	12251 S RIVERSIDE DR	PORTLAND OR 97219-8474
50	RETURN SERVICE REQUESTED		1N1W12AB 7102	ST JOHN-2 LLC	12251 S RIVERSIDE DR	PORTLAND OR 97219-8474
51	RETURN SERVICE REQUESTED		1N1W12AB 7200	CASCADE COMMERCIAL REAL ESTATE LLC	2828 SE 14TH AVE	PORTLAND OR 97202-2204
52	RETURN SERVICE REQUESTED		1N1W12AB 7400	GRITZMACHER KENN S	8316 N LOMBARD ST	PORTLAND OR 97203-3727
53	RETURN SERVICE REQUESTED	1N1W12AB 7400	GRITZMACHER KENN S &	GRITZMACHER BARBARA J N	2233 SE 46TH AVE	PORTLAND OR 97215
54	RETURN SERVICE REQUESTED		1N1W12AB 7600	HAZENOATS LLC	7028 N CENTRAL ST	PORTLAND OR 97203
55	RETURN SERVICE REQUESTED		1N1W12AB 7700	TRE BONE INC	8326 N LOMBARD ST	PORTLAND OR 97203
56	RETURN SERVICE REQUESTED		1N1W12AB 7700	DI CARLO RAYMOND V	2604 SE 15TH AVE	PORTLAND OR 97202
57	RETURN SERVICE REQUESTED		1N1W12AB 7800	ISARA CAFE N RESTAURANT LLC	8338 N LOMBARD ST	PORTLAND OR 97203
58	RETURN SERVICE REQUESTED	1N1W12AB 7800	NOEHREN JAMISON A S TR &	NOEHREN MARIE E TR	835 SE LAMBERT ST	PORTLAND OR 97202-6325
59	RETURN SERVICE REQUESTED		1N1W12AB 7800	TOBIASON TOBY	8332 N LOMBARD ST	PORTLAND OR 97203
60	RETURN SERVICE REQUESTED		1N1W12AB 8900	STORMBREAKER BREWING LLC	832 N BEECH ST	PORTLAND OR 97227
61	RETURN SERVICE REQUESTED		1N1W12AB 8900	ST JOHNS DENTAL ARTS PC	PO BOX 788	OREGON CITY OR 97045
62	RETURN SERVICE REQUESTED		1N1W12AB 8900	BREAKERSTORM HOLDINGS LLC	832 N BEECH ST	PORTLAND OR 97227
63	RETURN SERVICE REQUESTED		1N1W12AB 9200	BLUE MOON CAMERA & MACHINE LLC	8417 N LOMBARD ST	PORTLAND OR 97203
64	RETURN SERVICE REQUESTED		1N1W12AB 9200	THIRD ECHO PROPERTIES LLC	8417 N LOMBARD ST	PORTLAND OR 97203-3728
65	RETURN SERVICE REQUESTED		1N1W12AB 9900	ST JOHN-4 LLC	12250 S BREYMAN AVE	PORTLAND OR 97219-8418
66	RETURN SERVICE REQUESTED		1N1W12AB 9900	WILLWOOD DENTAL LLC	8225 N LOMBARD ST #103	PORTLAND OR 97203
67				CURRENT RESIDENT	7525 N RICHMOND AVE	PORTLAND OR 97203
68				CURRENT RESIDENT	7529 N OSWEGO AVE #4	PORTLAND OR 97203
69				CURRENT RESIDENT	7537 N RICHMOND AVE #B	PORTLAND OR 97203
70				CURRENT RESIDENT	8191 N LOMBARD ST	PORTLAND OR 97203
71				CURRENT RESIDENT	8193 N LOMBARD ST	PORTLAND OR 97203
72				CURRENT RESIDENT	8205 N LOMBARD ST	PORTLAND OR 97203
73				CURRENT RESIDENT	8250 N LOMBARD ST	PORTLAND OR 97203



	A	B	C	D	E	F
74				CURRENT RESIDENT	8316 N LOMBARD ST #300	PORTLAND OR 97203
75				CURRENT RESIDENT	8316 N LOMBARD ST #374	PORTLAND OR 97203
76				CURRENT RESIDENT	8328 N LOMBARD ST	PORTLAND OR 97203
77				CURRENT RESIDENT	7311 N CHARLESTON AVE	PORTLAND OR 97203
78				CURRENT RESIDENT	7410 N RICHMOND AVE	PORTLAND OR 97203
79				CURRENT RESIDENT	7529 N OSWEGO AVE #2	PORTLAND OR 97203
80				CURRENT RESIDENT	8024 N JOHN AVE	PORTLAND OR 97203
81				CURRENT RESIDENT	8160 N JERSEY ST	PORTLAND OR 97203
82				CURRENT RESIDENT	8179 N LOMBARD ST	PORTLAND OR 97203
83				CURRENT RESIDENT	8316 N LOMBARD ST #428	PORTLAND OR 97203
84				CURRENT RESIDENT	8322 N LOMBARD ST	PORTLAND OR 97203
85				CURRENT RESIDENT	8324 N CENTRAL ST	PORTLAND OR 97203
86				CURRENT RESIDENT	8400 N KELLOGG ST	PORTLAND OR 97203
87				CURRENT RESIDENT	7321 N CHARLESTON AVE	PORTLAND OR 97203
88				CURRENT RESIDENT	7327 N CHARLESTON AVE	PORTLAND OR 97203
89				CURRENT RESIDENT	7440 N CHARLESTON AVE	PORTLAND OR 97203
90				CURRENT RESIDENT	7450 N CHARLESTON AVE	PORTLAND OR 97203
91				CURRENT RESIDENT	7529 N OSWEGO AVE #1	PORTLAND OR 97203
92				CURRENT RESIDENT	7529 N OSWEGO AVE #3	PORTLAND OR 97203
93				CURRENT RESIDENT	8015 N OSWEGO AVE	PORTLAND OR 97203
94				CURRENT RESIDENT	8051 N RICHMOND AVE	PORTLAND OR 97203
95				CURRENT RESIDENT	8101 N LOMBARD ST	PORTLAND OR 97203
96				CURRENT RESIDENT	8110 N LOMBARD ST	PORTLAND OR 97203
97				CURRENT RESIDENT	8181 N LOMBARD ST	PORTLAND OR 97203
98				CURRENT RESIDENT	8190 N LOMBARD ST	PORTLAND OR 97203
99				CURRENT RESIDENT	8203 N IVANHOE ST	PORTLAND OR 97203
100				CURRENT RESIDENT	8240 N LOMBARD ST	PORTLAND OR 97203
101				CURRENT RESIDENT	7439 N CHARLESTON AVE	PORTLAND OR 97203
102				CURRENT RESIDENT	7530 N RICHMOND AVE	PORTLAND OR 97203
103				CURRENT RESIDENT	8010 N CHARLESTON AVE	PORTLAND OR 97203
104				CURRENT RESIDENT	8137 N JERSEY ST	PORTLAND OR 97203
105				CURRENT RESIDENT	8138 N JERSEY ST	PORTLAND OR 97203
106				CURRENT RESIDENT	8142 N JERSEY ST	PORTLAND OR 97203
107				CURRENT RESIDENT	8160 N LOMBARD ST	PORTLAND OR 97203
108				CURRENT RESIDENT	8169 N LOMBARD ST	PORTLAND OR 97203
109				CURRENT RESIDENT	8170 N LOMBARD ST	PORTLAND OR 97203
110				CURRENT RESIDENT	8195 N LOMBARD ST	PORTLAND OR 97203
111				CURRENT RESIDENT	8319 N LEONARD ST	PORTLAND OR 97203
112	RETURN SERVICE REQUESTED	OWNER/APPLICANT	1N1W12AB 10300	MULTNOMAH COUNTY LIBRARY DISTRICT	401 N DIXON ST	PORTLAND OR 97227-1865
113	RETURN SERVICE REQUESTED	OWNERS AGENT	MULTNOMAH COUNTY	HENDRICKSON ELISE	1006 SE GRAND AVE	PORTLAND OR 97214
114	RETURN SERVICE REQUESTED	CONTACT PERSON	THE BOOKIN GROUP	CLEEK DEBBIE	1020 SW TAYLOR ST #555	PORTLAND OR 97205
115	RETURN SERVICE REQUESTED	CONTACT PERSON	BORA ARCHITECTURE & INTERIORS	CLIFFE LESLIE	1705 SE 3RD AVE	PORTLAND OR 97214
116	RETURN SERVICE REQUESTED	LAND USE CONTACT		NORTH PORTLAND NEIGHBORHOOD SRVCS	2209 N SCHOFIELD ST	PORTLAND OR 97217
117	RETURN SERVICE REQUESTED	LAND USE CONTACT	ST JOHNS NEIGHBORHOOD ASSOCIATION	SCARLETT BRENNAN C/O NPNS	2209 N SCHOFIELD	PORTLAND OR 97217
118	RETURN SERVICE REQUESTED	LAND USE CONTACT		ST JOHNS BOOSTERS	PO BOX 83291	PORTLAND OR 97283
119	RETURN SERVICE REQUESTED	LAND USE CONTACT	CATHEDRAL PARK NEIGHBORHOOD ASSOC	BARNETT SARAH C/O NPNS	2209 N SCHOFIELD ST	PORTLAND OR 97217
120	RETURN SERVICE REQUESTED	LAND USE CONTACT	PORTLAND METRO REGIONAL SOLUTIONS	C/O DLCD REGIONAL REPRESENTATIVE	1600 SW FOURTH AVE #109	PORTLAND OR 97201
121	RETURN SERVICE REQUESTED	LAND USE CONTACT		PORT OF PORTLAND PLANNING	PO BOX 3529	PORTLAND OR 97208
122	RETURN SERVICE REQUESTED	LAND USE CONTACT		TRANSIT DEVELOPMENT	1800 SW FIRST AVE #300	PORTLAND OR 97201
123	RETURN SERVICE REQUESTED	LAND USE CONTACT		KARLA MOORE-LOVE (CITY HALL)	1221 SW 4TH AVE #130	PORTLAND OR 97204
124	RETURN SERVICE REQUESTED	RISK & LAND DEPARTMENT		NW NATURAL	250 SW TAYLOR ST	PORTLAND OR 97204-3038
125	RETURN SERVICE REQUESTED	LAND USE CONTACT		PACIFIC POWER & LIGHT	7544 NE 33RD DR	PORTLAND OR 97211
126	RETURN SERVICE REQUESTED	LAND USE CONTACT		JUDY PETERS	6916 NE 40TH ST	VANCOUVER WA 98661
127	RETURN SERVICE REQUESTED	LAND USE CONTACT	PORTLAND SCHOOL DISTRICT	LAND USE NOTICE CONTACT	501 N DIXON	PORTLAND OR 97227
128				PORTLAND HARBOR OUTFALL BASIN	DIRECTORS OFFICE BES	113/400
129				LAND USE CONTACT	PORTLAND POLICE BUREAU	B119/R1552
130				LAND USE CONTACT	PROSPER PORTLAND	129/FROSPER
131					COMMUNICATIONS MANAGER (911/COMM)	911/COMM



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
FROM CONCEPT TO CONSTRUCTION

Carmen Rubio, Commissioner  
David Kuhnhausen, Interim Director  
Phone: (503) 823-7300  
TTY: 711  
[www.portland.gov/bds](http://www.portland.gov/bds)

**Date:** May 14, 2024  
**To:** Interested Person  
**From:** Don Kienholz, Land Use Services  
503-865-6716 / [Don.Kienholz@portlandoregon.gov](mailto:Don.Kienholz@portlandoregon.gov)

**NOTICE OF A PUBLIC HEARING ON A PROPOSAL IN YOUR NEIGHBORHOOD**

**CASE FILE:** LU 24-014054 CU AD  
PC # 23-096980

**REVIEW BY:** Hearings Officer  
**WHEN:** June 3, 2024 at 2PM

**This land use hearing will be limited to remote participation via Zoom. Please refer to the instructions included with this notice to observe and participate remotely (online or by phone).**

Additional Hearings Office information is available at [www.portland.gov/omf/hearings/land-use](http://www.portland.gov/omf/hearings/land-use).

The development proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map are attached. I am the staff person handling the case. Please contact me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

**Contact Person:** Debbie Cleek  
The Bookin Group  
1020 SW Taylor St, #555  
Portland, OR 97205  
[cleek@bookingroup.com](mailto:cleek@bookingroup.com), 503-789-3211

**Owner/Applicant:** Multnomah County Library District  
401 N Dixon St  
Portland, OR 97227-1865

**Owner's Agent:** Elise Hendrickson  
Multnomah County  
1006 SE Grand Ave  
Portland, OR 97214

**Site Address:** 7510 N CHARLESTON AVE

**Legal Description:** BLOCK 2 INC PT VAC ST LOT 5-8, JERSEY ST ADD  
**Tax Account No.:** R429000210  
**State ID No.:** 1N1W12AB 10300  
**Quarter Section:** 2122

**Neighborhood:** St. Johns, contact Brennan Scarlett at [landuse@stjohnspdx.org](mailto:landuse@stjohnspdx.org)

- Business District:** St. Johns Boosters Business Association, contact at [info@stjohnsboosters.org](mailto:info@stjohnsboosters.org)
- District Coalition:** North Portland Neighborhood Services, contact at 503-823-8877.
- Plan District:** St. Johns
- Zoning:** RM2d – Multi-Dwelling Residential 2 with a Design (‘d’) overlay zone
- Case Type:** CU AD – Conditional Use Review with an Adjustment Review
- Procedure:** Type III, with a public hearing before the Hearings Officer. The decision of the Hearings Officer can be appealed to City Council.

**Proposal:** The applicant is proposing to remove an 800-sf addition from the rear of the St. Johns Library built in the 1990’s and replace it with an approximately 2,950-sf addition. The proposal will not alter the original 1917 library on site but will connect to the rear of the building where the previous addition was located. The proposal also includes a detached covered accessory building in the southeast portion of the site that will house covered bike parking and the trash and recycling area.

A Type III Conditional Use Review is required because the addition will be a net increase of more than 2000-sf and increase the overall floor area by more than 25 percent. The applicant is also requesting six Adjustments for the addition and accessory structure:

1. Reduce the required side building setback from the north lot line from 10-ft to 8-ft (33.120.275 C.1 and Table 120-7);
2. Reduce the required rear building setback from 10-ft to 5-ft. (33.120.275 C.1 and Table 120-7);
3. Reduce required rear building setback for the detached covered accessory building from 10-ft to 5-ft. (33.120.275 C.1 and Table 120-7);
4. Modify the required 10-ft of L3 buffer and landscaping between the proposed addition and the north side lot line that is adjacent to a residential zone from 10-ft to 8-ft. (33.120.275 C.1 and Table 120-7);
5. Increase the maximum building setback from a street in a pedestrian district to the proposed addition from 20-ft to approximately 116-ft (33.120.220.C and Table 120-3); and
6. Allow vehicle area between accessory building and street (33.266.130.C.1 and Table 266-3).

Relevant Approval Criteria: In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The applicable approval criteria are found in 33.815.105 - Institutional and Other Uses in Residential and Campus Institutional Zones and in 33.805.040.A through F Adjustment Approval Criteria.

The Portland Zoning Code is available online at <https://www.portland.gov/code/33>.

Zoning Code Section 33.700.080 states that land use review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on February 15, 2024 and determined to be complete on March 27, 2024.

**Decision Making Process:** The Bureau of Development Services will make a recommendation on this proposal; our report and recommendation will be available 10 days before the hearing. The staff report will be posted on the Bureau of Development Services website at <https://www.portland.gov/bds/zoning-land-use/public-notices>. Land use review notices are listed on the website by the District Coalition in which the site is located; the District Coalition for this site is identified at the beginning of this notice. If you are interested in viewing the file, please contact the planner listed on the front of this notice. The planner can provide information over the phone or via email. Only digital copies of the material in the file are available for viewing.

To comment, you may testify at the hearing, submit comments at [www.portland.gov/omf/hearings/land-use](http://www.portland.gov/omf/hearings/land-use); email your comments to [HearingsOfficeClerks@portlandoregon.gov](mailto:HearingsOfficeClerks@portlandoregon.gov); write to the Land Use Hearings Officer, 1900 SW Fourth Ave., Suite 3100, Portland, OR 97201; or FAX your comments to 503-823-4347. **Please see the enclosed insert for further information on how to testify.** In your comments, you should address the approval criteria. Please refer to the file number when seeking information or submitting testimony. Written comments must be received by the end of the hearing. Please note that all correspondence and testimony received will become part of the public record. The applicant and Bureau of Development Services staff will be available during the hearing to answer questions and respond to comments. The general order of appearance for oral testimony at the hearing is as follows: Bureau of Development Services staff report, applicant testimony, testimony of interested parties who wish to ask questions or testify, staff response and closing comments, and applicant's closing comments. The Hearings Officer will make a decision about this proposal within 17 days of the close of the record.

**Written comments must be received by the close of the record and should include the case file number.** Any new written testimony should be emailed to Don Kienholz at [Don.Kienholz@portlandoregon.gov](mailto:Don.Kienholz@portlandoregon.gov).

**Please note regarding USPS mail:** If you choose to mail written testimony via USPS, testimony must be received before the close of the record. Therefore, please mail testimony well in advance of the hearing date.

**If you plan to testify at the hearing, please refer to instructions included with this notice.**

ORS 227.178 states the City must issue a final decision on land use review applications within 120 days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

**Appeal Process:** You can appeal the decision of the Hearings Officer to the City Council. If appealed, City Council will hold an evidentiary hearing. New evidence can be submitted to the City Council in the event of an appeal of an evidentiary hearing.

A fee is charged for appeals. Recognized neighborhood associations may qualify for an appeal fee waiver. The City Council's decision may be appealed to the Oregon Land Use Board of Appeals (LUBA).

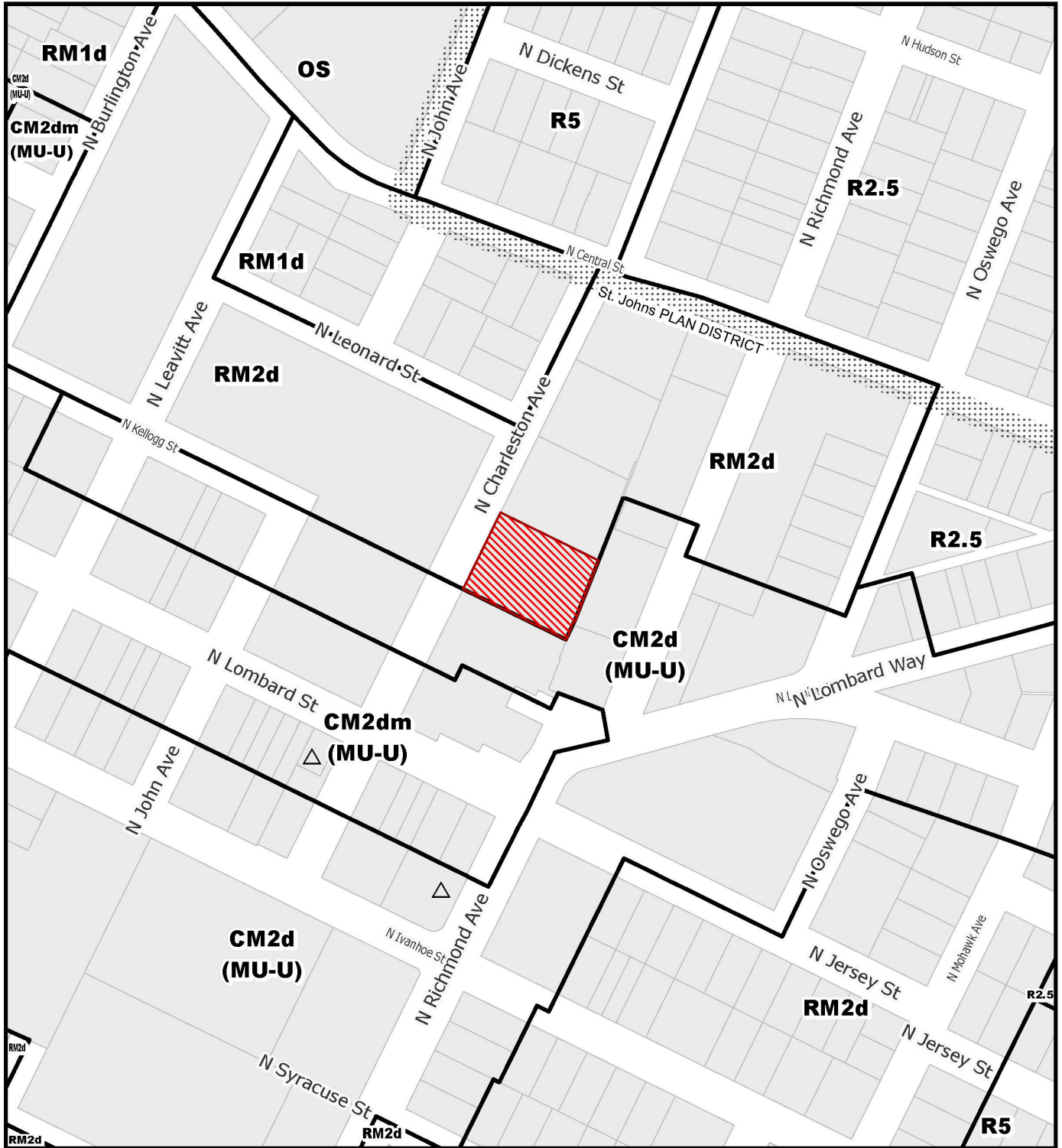
Failure to raise an issue in person or in writing by the close of the record at or following the final evidentiary hearing on this case may preclude an appeal to LUBA on that issue. If you do not provide enough detailed information to the Hearings Officer, they may not be able to respond to the issue you are trying to raise. In such a situation an appeal to LUBA based on that issue may not be allowed.

**Hearing Cancellation:** This public hearing may be canceled due to inclement weather or other emergency. Contact the Hearings Office at 503-823-7307 or [HearingsOfficeClerks@portlandoregon.gov](mailto:HearingsOfficeClerks@portlandoregon.gov) for immediate information regarding cancellations or rescheduling. If canceled, the hearing will be rescheduled for the earliest possible date. A renotification notice will not be sent. Additional information about the Hearings Office is available at [www.portland.gov/omf/hearings/land-use](http://www.portland.gov/omf/hearings/land-use).

**The Bureau of Development Services is committed to providing equal access to information and hearings. To request an accommodation or alternative format of communication, please contact us at least five business days prior to the hearing at 503-823-7300 (TTY 503-823-6868).**

**Enclosures:**




Zoning Map  
Site Plan  
Elevation Plans  
Land Use Hearing Participation Information



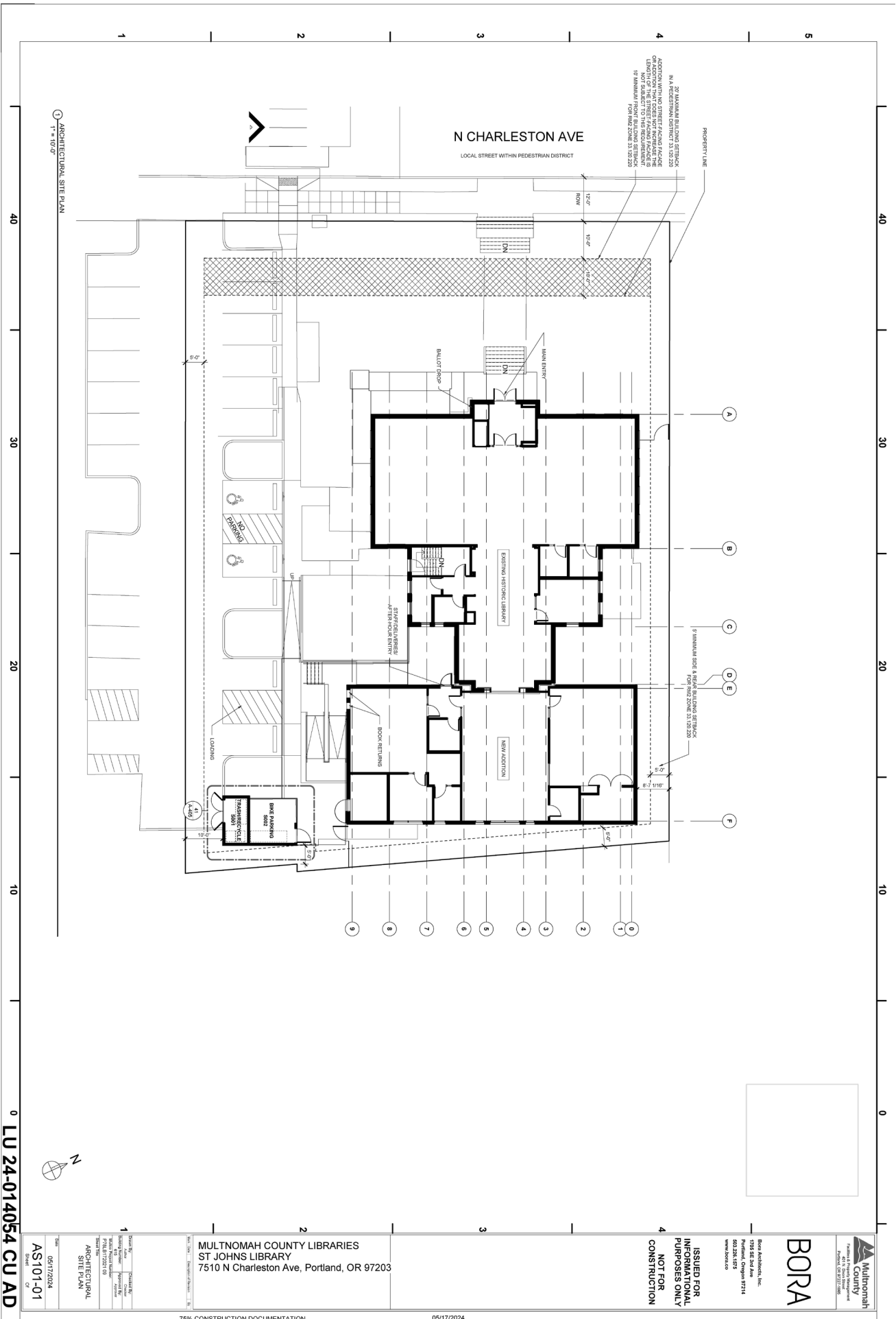
For Zoning Code in Effect Post October 1, 2022

# ZONING

THIS SITE LIES WITHIN THE:  
ST. JOHNS PLAN DISTRICT

-  Site
-  Plan District
-  Historic Landmark

File No. LU 24 - 014054 CU AD  
 1/4 Section 2122  
 Scale 1 inch = 200 feet  
 State ID 1N1W12AB 10300  
 Exhibit B Feb 15, 2024



20' MINIMUM BUILDING SETBACK FROM N. CHARLESTON AVENUE PER PORTLAND ZONING ORDINANCE 12.02.200  
 10' MINIMUM SIDE & REAR BUILDING SETBACK FROM PORTLAND ZONING ORDINANCE 12.02.200  
 5' MINIMUM SIDE & REAR BUILDING SETBACK FROM PORTLAND ZONING ORDINANCE 12.02.200

N CHARLESTON AVE  
 LOCAL STREET WITHIN PEDESTRIAN DISTRICT

ARCHITECTURAL SITE PLAN  
 1/8" = 1'-0"

LU 24-014054 CU AD

**Multnomah County**  
 Public Works Department  
 Planning & Design Services  
 1705 SE 3rd Ave  
 Portland, Oregon 97214  
 503.944.1200  
 www.bora.co

**BORA**  
 Bora Architects, Inc.  
 1705 SE 3rd Ave  
 Portland, Oregon 97214  
 503.944.1200  
 www.bora.co

**ISSUED FOR INFORMATIONAL PURPOSES ONLY NOT FOR CONSTRUCTION**

MULTNOMAH COUNTY LIBRARIES  
 ST. JOHNS LIBRARY  
 7510 N Charleston Ave, Portland, OR 97203

75% CONSTRUCTION DOCUMENTATION

05/17/2024

Project No.	05/17/2024
Revision No.	AS101-01
Project Name	MULTNOMAH COUNTY LIBRARIES ST. JOHNS LIBRARY
Project Address	7510 N Charleston Ave, Portland, OR 97203
Project Date	05/17/2024
Project Status	ARCHITECTURAL SITE PLAN

40

30

20

10

0

ELEVATION / SECTION NOTES

- 1 REFER TO ASSEMBLY SHEETS FOR WALL, FLOOR, AND CEILING ASSEMBLIES
- 2 REFER TO ARCHITECTURE AND ANNOTATED FOR REFERENCE ONLY. REFER TO CIVIL AND LANDSCAPE DRAWINGS
- 3 LINE OF FOUNDATION WALLS AND FOOTINGS ARE APPROXIMATE AND FLOORING ELEVATIONS

GENERAL ARCHITECTURAL NOTES

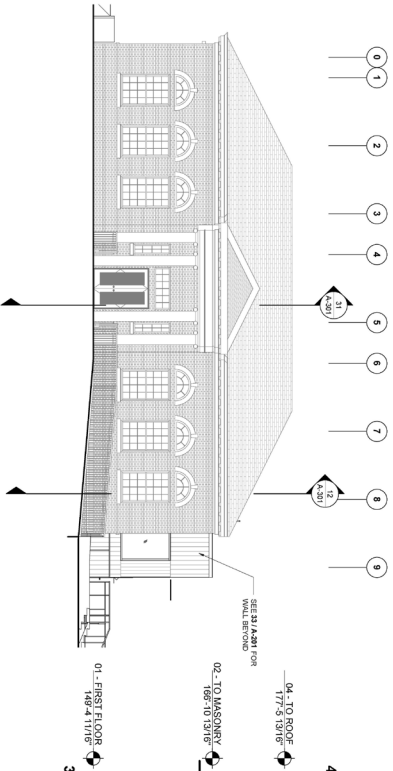
- 1 DO NOT SCALE DRAWINGS. REQUEST CLARIFICATION FROM ARCHITECT IF DIMENSIONS ARE NOT INDICATED.
- 2 REFERENCED DETAIL NUMBER APPLICABLE.
- 3 PART EXPOSED STRUCTURAL STEEL, UNCEILINGING STEEL, AND BRACKET BRANCH ELECTRICAL CONDUIT AND THEIR SUPPORT SYSTEMS UNLESS OTHERWISE NOTED.



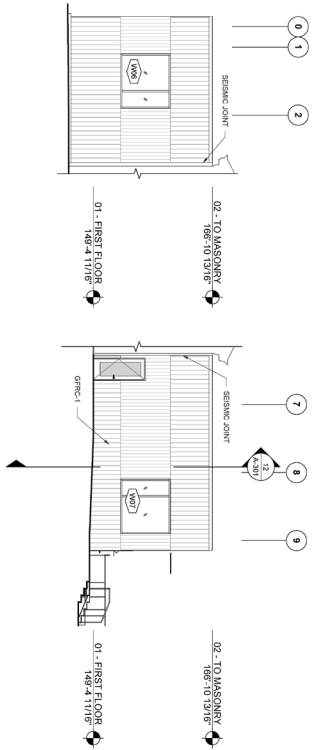
**Multnomah County**  
 1500 SE 2nd Ave  
 Portland, OR 97214  
 503.238.3100  
 www.bora.co

**BORA**  
 Bora Architects, Inc.  
 1505 SE 2nd Ave  
 Portland, OR 97214  
 503.238.3100  
 www.bora.co

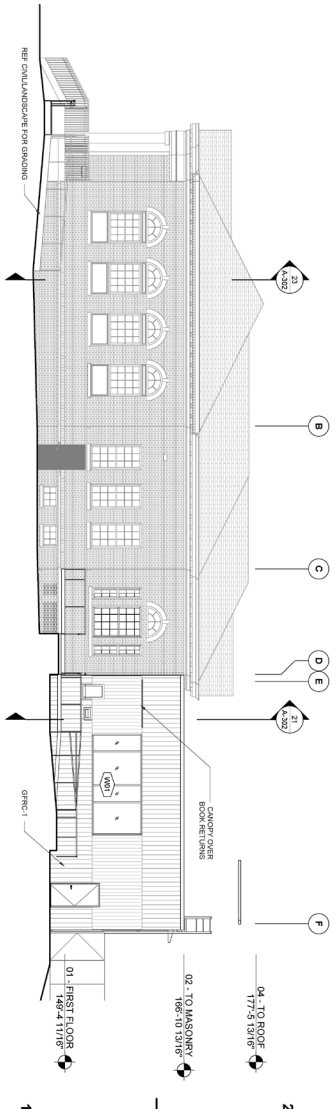
ISSUED FOR INFORMATIONAL PURPOSES ONLY. NOT FOR CONSTRUCTION



23 WEST ELEVATION - NEW ADDITION SOUTH  
1/8" = 1'-0"



24 WEST ELEVATION - NEW ADDITION NORTH  
1/8" = 1'-0"



25 SOUTH ELEVATION  
1/8" = 1'-0"

MULTNOMAH COUNTY LIBRARIES  
 ST JOHNS LIBRARY  
 7510 N Charleston Ave, Portland, OR 97203

75% CONSTRUCTION DOCUMENTATION

05/17/2024

Project No.	7510
Client	Multnomah County
Architect	Bora Architects, Inc.
Contract No.	2021-01
Revision	06/17/2024
Sheet	A-201
Scale	1/8" = 1'-0"
Date	06/17/2024
Author	CS
Check	CS
Drawn	CS
Reviewed	CS
Project Name	MULTNOMAH COUNTY LIBRARIES - ST JOHNS LIBRARY
Project Location	7510 N CHARLESTON AVE, PORTLAND, OR 97203
Project No.	7510
Sheet No.	A-201
Scale	1/8" = 1'-0"
Date	06/17/2024
Author	CS
Check	CS
Drawn	CS
Reviewed	CS

LU 24-014054 CU AD

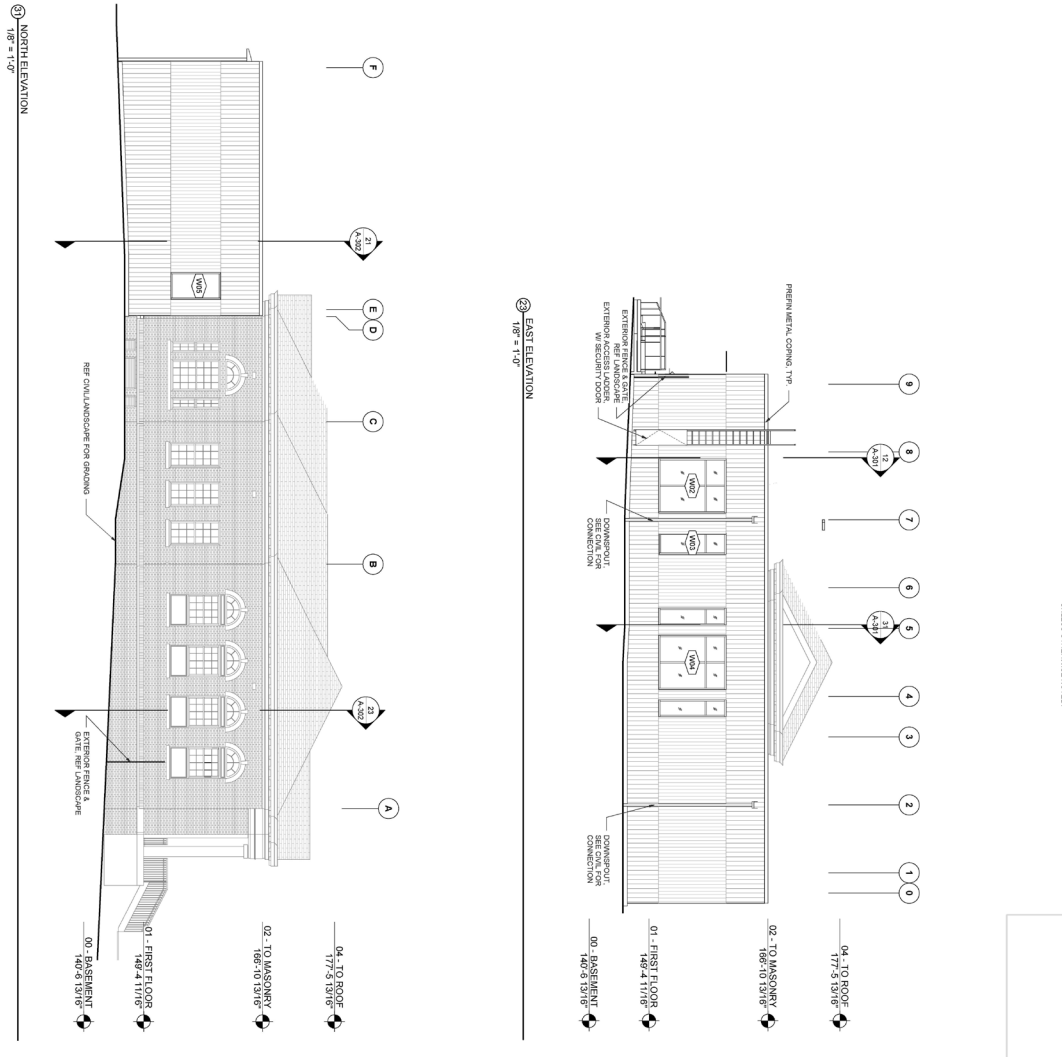


**ELEVATION / SECTION NOTES**

1. REFER TO ASSEMBLY SHEETS FOR WALL, FLOOR, AND CEILING ASSEMBLIES.
2. REFER TO ARCHITECTURAL DRAWINGS FOR WINDOW AND DOOR SCHEDULES AND FINISHES.
3. UNLESS OTHERWISE NOTED, REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION WALLS AND FOOTINGS ARE APPROXIMATE AND PROVIDED FOR INFORMATION ONLY. REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION WALLS.

**GENERAL ARCHITECTURAL NOTES**

1. DO NOT SCALE DRAWINGS. REQUEST CLARIFICATION FROM ARCHITECT IF DIMENSIONS ARE NOT INDICATED.
2. REFER TO ARCHITECTURAL DRAWINGS FOR WINDOW AND DOOR SCHEDULES AND FINISHES.
3. PAINT EXPOSED STRUCTURAL STEEL, UNDEVELOPED STEEL, AND STRUCTURAL STEEL CONNECTIONS. REFER TO ARCHITECTURAL DRAWINGS FOR FINISHES AND UNLESS OTHERWISE NOTED.



<p><b>Multnomah County</b>          Public &amp; Technical Assistance          1000 NE Oregon Street, Suite 200          Portland, OR 97232-1886          Phone: 503.973.2222</p>	<p><b>BORA</b>          Bora Architects, Inc.          1705 SE 3rd Ave          Portland, Oregon 97214          Phone: 503.231.1111          www.bora.co</p>	<p><b>ISSUED FOR INFORMATIONAL PURPOSES ONLY NOT FOR CONSTRUCTION</b></p>	<p>75% CONSTRUCTION DOCUMENTATION</p> <p>05/17/2024</p> <p>MULTNOMAH COUNTY LIBRARIES          ST. JOHNS LIBRARY          7510 N Charleston Ave, Portland, OR 97203</p> <p>Project No: 2023-001          Title: EXTERIOR ELEVATIONS          Date: 05/17/2024          Sheet: A-202 of 202</p>
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Hearings Office

City of Portland

1900 SW 4th Avenue, Room 3100, Portland, OR 97201 phone: 503.823.7307  
www.portland.gov/omf/hearings fax: 503.823.4347  
email: HearingsOfficeClerks@portlandoregon.gov



**Land Use Hearing Participation Information**

**Case Number:** 24-014054 CU AD (Hearings Office Case Number 4240008)

**Site Address:** 7510 N Charleston

**Hearing Date:** June 3, 2024

**Hearing Time:** 2:00 PM

The above-referenced land use hearing will take place via the Zoom platform.

**Zoom Participation Options and Instructions**

**Zoom Option**

- You will need an internet connection and a personal computer or other internet capable device.
- You can listen, view the City Planner’s PowerPoint presentation, and you have the opportunity to provide oral testimony.
- Instructions:

Go to:

<https://us06web.zoom.us/j/89942307060>

**Telephone Option**

- You will need a telephone.
- You will be able to listen and testify but you will not be able to view documents and presentations shared on the Zoom platform (if any).
- Instructions:

Dial: +1 669 900 6833

Meeting ID: 899 4230 7060#

**Written Testimony**

- Prior to the Hearing and until the close of evidence, you may submit written testimony. In other words, written testimony can be provided up to the close of the record, which will be announced at the hearing.
- *Note: A document’s timeliness is determined by the date/time when it is received by the Hearings Office Clerks.*
- Please reference the case number in any documents you wish to submit.

- Instructions/Options:

Online Case Management System

<https://www.portland.gov/omf/hearings/land-use>



Email: [HearingsOfficeClerks@portlandoregon.gov](mailto:HearingsOfficeClerks@portlandoregon.gov)

Fax: 503-823-4347

Mail: Hearings Office, 1900 SW 4th Avenue, Room 3100,  
Portland, OR 97201

### **View File Contents**

We use a fully electronic case file. Your online viewing options are available at our website: <https://www.portland.gov/omf/hearings/land-use>

If you do not have online access, you may make a written request for a hard copy of any exhibit to be mailed to you.

### **Meaningful Access**

The City of Portland is committed to providing meaningful access.

For accommodations, modifications, translation, interpretation, or other services, please call 503-823-7307, the TTY at 503-823-6868 or the Oregon Relay Service: 711. Traducción e interpretación | Chuyển Ngữ hoặc Phiên Dịch | 翻译或传译

Письменный или устный перевод | 翻訳または通訳 | Traducere sau

Interpretare 번역 및 통역 | Письмовий або усний переклад | Turjumida ama Fasiraadda|

### **Questions or Concerns**

You may contact the Hearings Clerks via email at

[HearingsOfficeClerks@portlandoregon.gov](mailto:HearingsOfficeClerks@portlandoregon.gov) or by calling 503-823-7307.



To: Don Kienholz
From: Geoffrey Harker, Life Safety Plans Examiner
Date: April 17, 2024
RE: 7510 N CHARLESTON AVE, 24-014054-LU

LIFE SAFETY PLAN REVIEW RESPONSE

The following comments are based on the plans and documents provided to the Life Safety Plan reviewer. They are intended to provide the applicant with preliminary Building Code information that could affect the Land Use Review, Public Records request and/or future Building Permit reviews. The comments may not identify all conflicts between the Land Use proposal and the Building Codes. A complete Life Safety plan review will be provided at the time of Building Permit submittal at which time any additional Building Code issues will be noted. The comments are based on the Oregon Structural Specialty Code (OSSC), the International Existing Building Code (IEBC), the Oregon Mechanical Specialty Code (OMSC), or the Oregon Residential Specialty Code (ORSC).

RESPONSE SUMMARY

- Life Safety Plan Review does not object to the approval of this proposal. The applicant should be aware that several building code requirements may impact the final design of this building. For information regarding future compliance, see the GENERAL LIFE SAFETY COMMENTS below.
Life Safety Plan Review does not object to the approval of this proposal. This approval is conditional on the finalization of the property line adjustment approved through this LUR/PR. If this public record is not finalized, a Covenant Not to Sell the Properties Separately must be established for this project. For information regarding future compliance, see the GENERAL LIFE SAFETY COMMENTS below.
Life Safety Plan Review does not object to the approval of this proposal. Prior to Life Safety approval of the final plat or Land Use proposal, the applicant must address the Building Code issues listed as part of the GENERAL LIFE SAFETY COMMENTS below.
Life Safety Plan Review cannot support approval of the current Land Use proposal. Prior to Life Safety approval of the final plat, the applicant must address the Building Code issues listed as part of the GENERAL LIFE SAFETY COMMENTS below.

Table with 2 columns: Item # and GENERAL LIFE SAFETY COMMENTS. Contains 3 rows of comments regarding Building Permit Required, Preliminary Meeting Recommended, and Fire Rated Exterior Walls.

4	<b>Opening Allowances</b> - Openings in exterior walls less than 3 feet to a property line are not allowed. Unprotected openings in exterior walls less than 5 feet to a property line are not allowed in an un-sprinklered building. (OSSC 705.8)
5	<b>Floor Elevation and Landings</b> - Landings are required on both sides of a doorway. The landings must be as wide as the doorway and at least 44 inches long in the direction of travel. The landing must be level, except the exterior landing may have a slope of not more than 2 percent. The door threshold must be not more than ½ inch higher than the landing surface on both sides. (OSSC 1010.1.5, 1010.1.6, 1010.1.7.)
6	<b>Exterior Stairways</b> - Exterior stairways shall be located at least 10 feet from adjacent lot lines. Exterior stairways located less than 10 feet to an adjacent lot line must be provided with a 1-hour fire-rated wall between the stair and the adjacent lot line, extending to a height of not less than 6'-8" feet above the stair treads and landings. (OSSC 1027.5 & 1003.2)
7	<b>Exit Discharge</b> - The exit discharge shall provide a direct and unobstructed access to a public way. (OSSC 1028.5)
8	<b>Accessible Route</b> - At least one accessible route shall be provided within the boundary of the site from public transportation stops, accessible parking spaces, passenger loading and drop off zones, and public streets or sidewalks to an accessible entry. (OSSC 1104.1)
9	<b>Accessible Parking</b> - Accessible parking is required. Accessible van parking spaces must be at least 9 feet wide with an adjacent access aisle at least 8 feet wide. Accessible parking spaces must be at least 9 feet wide with an adjacent access aisle at least 6 feet wide. (OSSC 1106.7, ANSI 117.1 –Section 502, Standards for Accessible Parking Places – Oregon Transportation Commission).



## CITY OF PORTLAND, OREGON



### Bureau of Police

Ted Wheeler, Mayor

Robert Day, Chief of Police

1111 S.W. 2nd Avenue • Portland, OR 97204 • Phone: 503-823-0000

Integrity • Compassion • Accountability • Respect • Excellence • Service

**Date:** April 3, 2024  
**To:** Don Kienholz, Land Use Services  
**From:** Jonathan Miller, Strategic Services Division  
**Subject:** Land Use Review Response  
**Case Number:** LU 24-014054 CU AD  
**Site Address:** 7510 N CHARLESTON AVE

The Police Bureau has reviewed this land use case and has no concerns with the proposal.

The proposal was evaluated on whether police can provide adequate public safety services to the proposed Conditional Use and Adjustments. The Police Bureau is currently able to serve the existing site and will be able to provide services after the proposed change.

Police officers can reasonably access the site using the existing or proposed right of ways by foot and vehicle without restriction.

The Portland Police Bureau does not request any conditions of approval.

Please contact me with any questions.



# PORTLAND FIRE & RESCUE



Rene Gonzalez, Commissioner  
Ryan Gillespie, Fire Chief  
Kari Schimel, Fire Marshal  
Prevention Division  
1300 SE Gideon St.  
Portland, OR, 97202  
Phone: (503)823-3770

## LAND USE REVIEW RESPONSE

**TO:** Don Kienholz, City of Portland, Land Use Review  
**FROM:** Dawn Krantz, Portland Fire Bureau 971-313-3675  
**DATE:** April 25, 2024  
**SUBJECT:** LU 24-014054 CU  
**SITE LOCATION :** 7510 N CHARLESTON AVE

The following conditions of approval and informational comments are based on the land use review information provided to the Fire Bureau. Fire Bureau requirements are generated from the 2021 Portland Fire Code. All current Fire Code requirements apply and are required to be met. If these conditions cannot be met, an appeal providing an alternative method is an option for the applicant. If the applicant chooses to appeal a requirement, the appeal must be listed as a condition in the decision. Fire Code Appeals can be obtained at the Fire Bureau web page, [www.portlandonline.com](http://www.portlandonline.com).

### CONDITIONS OF APPROVAL AT TIME OF DEVELOPMENT

A separate building permit is required for this proposal. All applicable Fire Code requirements shall apply at the time of permit review and development.





**Amanda Fritz, Commissioner**  
Michael Stuhr, P.E., Administrator  
1120 SW 5th Avenue, Room 600  
Portland, Oregon 97204-1926  
Information: 503-823-7404  
[www.portlandoregon.gov/water](http://www.portlandoregon.gov/water)



An Equal Opportunity Employer

DATE: October 15, 2013  
TO: Kate Marcello  
Bureau of Development Services  
FROM: Terry Wenz  
Development Review and Services  
SUBJECT: Review of **13-207756 DZ**

The Water Bureau has reviewed the proposed action and has the following comments:

The Water Bureau has no concerns regarding the requested Design Review as described in this LUR, for the property located at 7510 N Charleston Ave.


There is an existing 1.5" metered service (Serial #20001025, Account #2983236900) which provides water to this location from the existing 6" DI water main in N Charleston Ave.

The estimated static water pressure range for this location is 44 psi to 55 psi at the existing service elevation of 141 ft.

Conditions of Approval: None

Please call me if you have any questions or comments. My phone number is 503-823-7171.

Urban Forestry Response

 2013 207756 000 00 LU Land Use Review **Recorded**

Process Status To Start

+ Land Use Review (9)

+ Site Development (1)

+ Life Safety (1)

+ Fire Bureau (1)

+ Environmental Services (3)

+ Transportation (1)

+ Water Bureau Review (1)

- Parks Bureau (1)

Urban Forestry - LU No concerns 10/08/2013

+ Status Change (4)

## Land Use Review Response

### Site Development Section, BDS

To: Don Kienholz, LUR Division  
From: Jeff Duquette, Site Development (503-823-5075)

Location/Legal: BLOCK 2 INC PT VAC ST LOT 5-8, JERSEY ST ADD

Land Use Review: LU 24-014054

Proposal: HO HEARING - The applicant is proposing to remove an 800-sf addition from the rear of the St. Johns Library built in the 1990s and replace it with an approximately 2,950-sf addition. The proposal will not alter the original 1917 library on site but will connect to the rear of the building where the previous addition was located. The proposal also includes a detached covered accessory building in the southeast portion of the site that will house covered bike parking and the trash and recycling area. A Type III Conditional Use Review is required because the addition will be a net increase of more than 2000-sf and increase the overall floor area by more than 25 percent. The applicant is also requesting six Adjustments for the addition and accessory structure: 1. Reduce the required side building setback from the north lot line from 10-ft to 8-ft (33.120.275 C.1 and Table 120-7); 2. Reduce the required rear building setback from 10-ft to 5-ft. (33.120.275 C.1 and Table 120-7); 3. Reduce required rear building setback for the detached covered accessory building from 10-ft to 5-ft. (33.120.275 C.1 and Table 120-7); 4. Modify the required 10-ft of L3 buffer and landscaping between the proposed addition and the north side lot line that is adjacent to a residential zone from 10-ft to 8-ft. (33.120.275 C.1 and Table 120-7); 5. Increase the maximum building setback from a street in a pedestrian district to the proposed addition from 20-ft to approximately 116-ft (33.120.220.C and Table 120-3); and 6. Allow vehicle area between accessory building and street (33.266.130.C.1 and Table 266-3).

Quarter Sec. Map: 2122

Date: April 24, 2024

The Site Development Section of the Bureau of Development Services (BDS) has reviewed the pre-application conference materials to identify potential issues and requirements.

### A. Key Issues and Requirements

Following is a brief summary of issues and requirements that may impact your proposed project or are submittal requirements that will require time to prepare prior to submittal of the application.

1. Floodplain Requirements: The site is not within a FEMA defined special flood hazard area nor is it within a 1996 Flood Inundation Area.
2. Geotechnical Engineering: A geotechnical engineering report will be required at the time of building permit application under one of the following conditions:

- A mandatory seismic upgrade is triggered by the proposed addition. Conditions that trigger mandatory seismic upgrades are detailed with the City Charter under PCC Section 24.85. Please refer to the following City Link:

<https://www.portland.gov/code/24/85>

*[NOTE: If you have additional questions related to mandatory seismic upgrades BDS Site Development recommends setting up a preliminary meeting with BDS Life Safety. Please consult the following City web page for additional information:*

<https://www.portland.gov/bds/early-assistance/life-safety-preliminary-meetings>]

- The use of Non-prescriptive soil strength parameters in the design and sizing of foundations for the proposed addition. Please refer to the following web page for



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Site Development**  
**FROM CONCEPT TO CONSTRUCTION**

Carmen Rubio, Commissioner  
David Kuhnhausen, Interim Director  
Phone: (503) 823-7300  
TTY: 711  
[www.portland.gov/bds](http://www.portland.gov/bds)

a list of prescriptive soil strength/design parameters:

<https://www.portland.gov/bds/structural-engineering/commercial-structures#toc-soils-and-foundations->

- The use of deep foundations as defined in the OSSC, Chapter 18 – this to include piles, micro piles, helical piles, piers, and etc.
  - An addition of three or more stories will trigger the need for a geotechnical report submittal at the time of building permit application.
  - Excavation work that can result in the temporary undermining of, or removal of lateral soil support to either the adjacent Public Right of Way, or adjacent private property.
3. Landslide Hazard Study: The site is not within a City of Portland defined special landslide hazard area.
  4. Erosion & Sediment Control: If the proposed work will result in 500square feet or more of exterior ground disturbing work, the permit application drawings must include an Erosion and Sediment Control Plan that meets the minimum requirements of PCC Title 10.



# CITY OF PORTLAND ENVIRONMENTAL SERVICES



1120 SW Fifth Ave, Suite 613, Portland, Oregon 97204 ■ Mingus Mapps, Commissioner ■ Dawn Uchiyama, Director

## Land Use Response

**Date:** April 26, 2024

**To:** Don Kienholz, BDS Land Use Services  
503-865-6716, Don.Kienholz@portlandoregon.gov

**From:** Ella Ruth, BES Systems Development  
503-823-8068, Ella.Ruth@portlandoregon.gov

**Case File:** LU 24-014054

**Location:** 7510 N CHARLESTON AVE

**R#:** R192883

**Proposal:** HO HEARING - The applicant is proposing to remove an 800-sf addition from the rear of the St. Johns Library built in the 1990s and replace it with an approximately 2,950-sf addition.

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The following comments are based on the land use review plans and documents provided to the Bureau of Environmental Services (BES). Some references to Portland City Code (PCC) are included below; the applicant may also refer to the Auditor's Office [Online Charter and Code page](#).

### A. RESPONSE SUMMARY

BES does not object to approval of the conditional use application. The proposed development will be subject to BES standards and requirements during the permit review process.

The requested landscaping adjustment does not appear to have an impact on the location of a stormwater management system or sanitary connection for the current project. Therefore, BES does not object to the requested adjustment. Note that there are no BES-specific approval criteria in adjustment reviews; the information in this memo has been provided to assist BDS Land Use Services with review of the relevant approval criteria. The proposed development will be subject to BES standards and requirements during the permit review process.

### B. SANITARY SERVICE

*For the conditional use application to be approved, the applicant must show that the proposal complies with the public services approval criterion related to sanitary waste disposal (PCC 33.815.105.D.3). The comments below are in response to this criterion.*

1. **Existing Sanitary Infrastructure:** According to available GIS data, the following sewer infrastructure is located in the vicinity of the project site:
  - a. Public 8-inch PVC combined sewer in N Charleston Ave (BES as-built # 4984).
  - b. Public 8-inch PVC sanitary sewer located within the public sewer easement along the southern property line (BES as-built # 4984; Easement Tracking ID # 7262)
2. **Service Availability:** Sanitary connections from private property that are to be permitted according to PCC 17.32.090 must be separately conveyed to the property line and connected through individual laterals to a City sanitary or combined sewer. All discharge must be connected via a route of service approved by the BES Chief Engineer.
  - a. **Existing Development:** According to City records, the existing structure is currently connected to the sewer on property within the public sewer easement.
  - b. **Proposed Development:** No changes to the sanitary system have been proposed.

3. *Sewer Easements and Encroachments:* A 25-foot sewer easement granted to the City of Portland exists over the public sanitary sewer that runs across this site. The sewer easement grants certain rights to the City of Portland related to constructing, maintaining, and/or accessing public sewer infrastructure. Features or activities that would interfere with the City's granted rights are considered unauthorized encroachments. In evaluating a proposed encroachment, administrative rule ENB-4.07 establishes that BES "will balance the need for the encroachment against the repair and maintenance needs of that sewer." Examples of features or activities that may be limited or prohibited, depending on the easement, include building construction, utility installation or maintenance, material storage, grading, fence installation, and tree planting. BES has preliminarily reviewed the proposed easement encroachment and determined that it is acceptable for the purpose of the conditional use review. BES staff will officially review the encroachments as authorized by PCC 17.32.040.B during building permit review. If the encroachment is approved, the City will obtain an executed and recorded encroachment agreement with the property owner to satisfy the authorization requirement in PCC 17.32.030.A.2. Additional information is available [here](#).
4. *Connection Requirements:* Connections to the City sewer system must meet the standards of the City of Portland's [Sewer and Drainage Facilities Design Manual](#), [PCC 17.32.090](#), administrative rules [ENB-4.07](#) and [ENB-4.17](#), and all other relevant City codes and rules. Sanitary sewage from private property must be separately conveyed to the property line and connected through individual laterals for discharge to the City separate sanitary or combined sewer. Per [ENB-4.07](#), sewer connection permits are required to make new connections to City mains and laterals, relocate or upsize existing laterals, and repair sewers in City right-of-way. The permittee is responsible for verifying the location, depth and size of an existing sewer lateral and for ensuring the lateral is clear of obstructions prior to connection.

*Staff finds the applicant's proposed sanitary sewer service acceptable for the purpose of reviewing the conditional use application against the sanitary sewer disposal approval criterion.*

### **C. STORMWATER MANAGEMENT**

*For the conditional use application to be approved, the applicant must show that the proposal complies with the public services approval criterion related to stormwater disposal (PCC 33.815.105.D.3). The comments below are in response to this criterion.*

1. *Existing Stormwater Infrastructure:* According to available GIS data, the following stormwater infrastructure is located in the vicinity of the project site:
  - a. There are no public storm-only sewers available to this property.
2. *Private Property Stormwater Management:* Stormwater runoff from this project must comply with all applicable standards of the SWMM and the SCM and be conveyed to a discharge point along a route of service approved by the BES Director or the Director's designee. Staff review the submitted Performance Approach stormwater report from Vega Civil (1/28/24) and infiltration testing report. The submitted infiltration testing report indicates test results of 28 inches per hour on this site. The applicant proposes to infiltrate runoff from the development onsite via a drywell that can meet minimum setbacks as established in the facility design standards and Table 2-1 of the SWMM.
3. *Public Right-of-Way Stormwater Management:* Stormwater runoff from public right-of-way improvements as required by the City of Portland Bureau of Transportation (PBOT) must be managed according to the standards of the SWMM and the Sewer and Drainage Facilities Design Manual. There are no public right-of-way improvements that will trigger BES public stormwater drainage improvements.
4. *Adjustment to Landscaping:* The applicant is proposing an adjustment to landscaping

requirements identified in the Zoning Code. For the adjustment to be approved, the applicant must show that granting the adjustment will equally or better meet the purpose of the regulation to be modified. In this case, the purpose statements include specific stormwater-related benefits. Based on the submitted stormwater report, the proposal includes installation of a drywell to infiltrate stormwater from the proposed parking lot area. This stormwater facility will help to reduce the amount and rate of stormwater runoff from the parking lot. Therefore, BES does not have concerns related to the proposed adjustment to parking lot landscaping.

5. *Clean River Rewards Program*: Clean River Rewards, Portland's stormwater discount program, offers discounts up to 100% of the City's onsite stormwater management charge to ratepayers who manage stormwater runoff on their property or retain large trees. Please note that this discount is not automatically applied; ratepayers must register their property and describe how stormwater is being managed to qualify. Be aware that some properties discharging to the Multnomah County Drainage Districts (within the Columbia Slough watershed) are not charged an onsite stormwater management fee by the City and are therefore ineligible to register for this program. See the [Clean River Rewards website](#) or call 503-823-1371 for more information.

*Staff finds the applicant's proposed stormwater management plan acceptable for the purpose of reviewing the conditional use application against the stormwater management approval criterion.*

#### **D. CONDITIONS OF APPROVAL**

BES has no recommended conditions of approval.

#### **E. PERMIT INFORMATION**

At the time of permit review the applicant should be aware of the following:

1. *Connection Fees*: Sewer system development charges and connection fees are assessed at the time of building plan review and change every fiscal year on July 1<sup>st</sup>. For additional information on these fees use the [BDS Online Fee Estimator](#) or call the BES Development Review Team at 503-823-7761, option 2.
2. *Building Plans*: Building plans for this project must include a detailed site utility plan which shows proposed and existing sanitary connections, as well as stormwater management that meets the requirements of the version of the SWMM that is in effect at the time permit applications are submitted.
3. *UIC Registration*: The Oregon Department of Environmental Quality (DEQ) regulates underground injection control (UIC) facilities to protect groundwater. Drywells and soakage trenches are examples of UICs. It is the applicant's responsibility to register all onsite UICs with DEQ, as appropriate. To learn more visit [DEQ's website](#) or contact the DEQ UIC Program at 503-229-5623. The SWMM also includes general UIC information.
4. *Source Control Requirements*: Source control requirements from the [Source Control Manual \(SCM\)](#), [Portland City Code \(PCC\) Title 17](#), and [BES Administrative Rules](#) that may be applicable to this project are listed below with the corresponding chapter, section, code, and/or rule. For specific questions on the following, please contact BES Source Control at 503-823-7122.
  - a. *Site Use and Activity-Based Source Control Requirements (SCM Chapter 6)*: BES recommends the applicant review the following SCM sections to understand the structural, treatment, and operational BMP requirements that may impact the project design.



1) *Waste and Recycling Storage (SCM Section 6.1)*

**G. ADMINISTRATIVE REVIEW**

The applicant may request a modification of a decision presented in this response, as applicable, via an administrative review as outlined in PCC sections 17.06.050, 17.32.150, 17.33.100, 17.34.115, 17.36.110, 17.38.060 and 17.39.120 and in those sections' associated administrative rules. Some portions of this response are not decisions, but guidance related to requirements that this proposal may be subject to during City review of other processes, such as a building permit or public works permit review. While these are not decisions that are ripe to be considered through an administrative review, if the outcome of a future administrative review needs to be anticipated at this time in order to inform the land use action, the administrative review process may be utilized. Some items, such as technical standards, are not reviewable. For guidance on whether a modification can be requested and whether the land use process is the proper time to request it, consult with the BES staff identified above prior to submitting a request.

There is no fee charged for an administrative review, and all BES penalties and late fees will be stayed pending the outcome of the review process, as applicable. To request an administrative review, the applicant must complete the Administrative Review Request Form (located here: [www.portlandoregon.gov/bes/68285](http://www.portlandoregon.gov/bes/68285)) and submit it to the Systems Development staff listed above within 20 business days of the mailing date of this response. The applicant should coordinate with the BDS planner to determine whether applying for an administrative review would have an impact on state-mandated land use timelines.



1900 SW Fourth Ave., Suite 5000 Portland, OR 97201 503-823-5185  
Fax 503-823-7576 TTY 503-823-6868 www.portlandoregon.gov/transportation

**RESPONSE TO THE BUREAU OF DEVELOPMENT SERVICES  
LAND USE REVIEW REQUEST**

**Portland Transportation  
Development Review  
Bureau of Transportation Engineering & Development**

LU: 24-014054-000-00-LU Date: April 25, 2024  
To: Don Kienholz, Bureau of Development Services, B299/R5000  
From: Michael Pina, B106/800, 503-823-4249  
Applicant: MULTNOMAH COUNTY LIBRARY DISTRICT  
401 N DIXON ST  
PORTLAND, OR 97227  
Location: 7510 N CHARLESTON AVE  
TYPE OF REQUEST: Type 3 procedure CU - Conditional Use

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**DESCRIPTION OF PROJECT**

HO HEARING - The applicant is proposing to remove an 800-sf addition from the rear of the St. Johns Library built in the 1990's and replace it with an approximately 2,950-sf addition. The proposal will not alter the original 1917 library on site but will connect to the rear of the building where the previous addition was located. The proposal also includes a detached covered accessory building in the southeast portion of the site that will house covered bike parking and the trash and recycling area. A Type III Conditional Use Review is required because the addition will be a net increase of more than 2000-sf and increase the overall floor area by more than 25 percent. The applicant is also requesting six Adjustments for the addition and accessory structure: 1) Reduce the required side building setback from the north lot line from 10-ft to 8-ft (33.120.275 C.1 and Table 120-7); 2) Reduce the required rear building setback from 10-ft to 5-ft. (33.120.275 C.1 and Table 120-7); 3) Reduce required rear building setback for the detached covered accessory building from 10-ft to 5-ft. (33.120.275 C.1 and Table 120-7); 4) Modify the required 10-ft of L3 buffer and landscaping between the proposed addition and the north side lot line that is adjacent to a residential zone from 10-ft to 8-ft. (33.120.275 C.1 and Table 120-7); 5) Increase the maximum building setback from a street in a pedestrian district to the proposed addition from 20-ft to approximately 116-ft (33.120.220.C and Table 120-3); and 6) Allow vehicle area between accessory building and street (33.266.130.C.1 and Table 266-3).

**RESPONSE**

Portland Transportation/Development Review has reviewed the application for its potential impacts regarding the public right-of-way, traffic impacts and conformance with adopted policies, street designations, Title 33, Title 17, and for potential impacts upon transportation services.

**Institutional and Other Uses in Residential and Campus Institutional Zones (33.815.105)**

To address the transportation approval criteria, the applicant submitted a professionally prepared Transportation Impact Study (TIS) by Kittelson and Associates, dated January 25, 2025. The Portland Bureau of Transportation (PBOT) Traffic Engineers has reviewed the materials and agrees

with the methodologies, analyses, assumptions, findings and conclusions including intersection capacity, safety of all modes, neighborhood impacts, etc. to confirm that the transportation-related approval criteria are satisfied.

At this location, the City's Transportation System Plan (TSP) classifies N Charleston Ave as a *City Bikeway, Local Service* for all modes. The street is currently improved with an approximate 36-ft wide paved roadway and 12-ft wide pedestrian corridor within a 60-ft wide Right-of-Way (ROW). Vehicular access to the site is and will continue to be provided by a curb cut located on the south side of the site. Therefore, The TSP designations and existing street characteristics are reflective of and appropriate for the existing neighborhood and this criterion is met.

To address the street capacity and Level of Service (LOS) evaluation factors, the applicant's traffic engineer cited TRN 10.27, which noted that a LOS study is not required when proposed development results in no net increase to vehicle trips. Per information contained in the Institute of Transportation Engineers (ITE), *Trip Generation Manual* (11th Edition), vehicular trip generation for the facility is calculated using the total building size on site utilizing ITE Land Use code 500. Both the weekday AM and PM peak hour trip generation rates for this land use are approximately 13 trips per 1,000 square feet. The St. John's Library Multnomah County Library is not open prior to 10 AM any day of the week. Based on the low trip generation increase anticipated as part of the 2,096 square feet net addition, no intersection capacity analyses were performed nor required by the City or ODOT. Given the location of the Library within the St. John's neighborhood, the vehicular trips were estimated to distribute 60 percent to the north and 40 percent to the south, thereby resulting in a less than 10 vehicle increase to the adjacent intersections during the weekday PM peak hour, which does not constitute a material change to adjacent streets or intersections. Therefore, PBOT finds all the intersections are deemed to operating at current LOS and the existing intersections are capable of handling the proposed site improvements without negatively impacting the City of Portland's operational standards.

No crashes were reported on N Charleston Avenue near or at the Library Access point for the most recent five-year analysis period in which data was available from ODOT. TriMet provides bus service via Routes 4, 16, 44 and 75 all of which have a stop at the N Charleston Street/N Lombard Street intersection, which is a convenient one block walking distance from the library. There are continuous sidewalk infrastructure and marked crossings at signalized and other crosswalks in the immediate area. For bicycles, N Central two blocks to the north is the primary east-west Neighborhood Greenway, whereas N Buchanan Ave six blocks to the east is the primary north-south route, which is a shared roadway. remaining surrounding streets are low-volume neighborhood streets which provide a safe and comfortable traveling environment for cyclists. No specific pedestrian or bicycle-related changes are identified in the TSP along the frontage of the library, and the proposed library addition will not change or modify the surrounding transportation system. Therefore, PBOT finds the resulting proposed development will not negatively impact transit access or other transportation modes, nor have an adverse impact on safety of the neighborhood.

The City's TSP identifies a general standard of vehicle connections for every 530 feet and pedestrian / bicycle connections every 330 feet. The subject site is located approximately mid-block between two ROWs which meets City's connectivity goals.

There are no access restrictions for this site. Primary access to the facility is and will continue to be provided by a curb cut along the south property line. As of July 1, 2023, PZC 33.266 has eliminated the requirement for on-site parking for all uses and development within the city. The existing library has 11 on-site parking spaces immediately adjacent in the existing parking lot. There is sufficient on-street parking in the immediate vicinity to accommodate the additional demand. Therefore, PBOT finds the proposed development will not impact the existing on-street parking supply in any way. Therefore, this criterion is met.

The transportation-related neighborhood impacts associated with the proposed use typically involve impacts to on-street parking and potential increases in traffic at area intersections. As documented, the proposed library expansion will not significantly alter or increase the increased traffic surrounding

the use, and with the existing parking lot and adequate on-street parking supply. Therefore, transportation-related impacts as a result of the proposed library expansion will be negligible.

In conclusion, based on the evidence included in the record, and primarily, the applicant has demonstrated to PBOT's satisfaction that "the transportation system is capable of supporting the proposed use in addition to the existing uses in the area".

---

## **RECOMMENDATION**

PBOT has no objections to the proposed Conditional Use Permit request.



# Land Use Review Application

File Number: \_\_\_\_\_

## FOR INTAKE, STAFF USE ONLY

Date Rec \_\_\_\_\_ by \_\_\_\_\_

Type I  Type Ix  Type II  Type IIx  Type III  Type IV

LU Reviews \_\_\_\_\_

[Y] [N] Unincorporated MC

[Y] [N] Flood Hazard Area (LD & PD only)

[Y] [N] Potential Landslide Hazard Area (LD & PD only)

[Y] [N] 100-year Flood Plain [Y] [N] DOGAMI

Qtr Sec Map(s) \_\_\_\_\_ Zoning \_\_\_\_\_

Plan District \_\_\_\_\_

Historic and/or Design District \_\_\_\_\_

Neighborhood \_\_\_\_\_

District Coalition \_\_\_\_\_

Business Assoc \_\_\_\_\_

Related File # \_\_\_\_\_

**APPLICANT: Complete all sections below that apply to the proposal. Please print legibly.  
Email this application and supporting documents to: [LandUseIntake@portlandoregon.gov](mailto:LandUseIntake@portlandoregon.gov)**

### Development Site

Address or Location \_\_\_\_\_

Cross Street \_\_\_\_\_ Sq. ft./Acreage \_\_\_\_\_

### Site tax account number(s)

R \_\_\_\_\_ R \_\_\_\_\_ R \_\_\_\_\_

R \_\_\_\_\_ R \_\_\_\_\_ R \_\_\_\_\_

Describe project (attach additional page if necessary)

### Describe proposed stormwater disposal methods

### Identify requested land use reviews

• **Design & Historic Reviews** - For **new development**, provide project valuation. \$ \_\_\_\_\_

For **renovation**, provide exterior alteration value. \$ \_\_\_\_\_

**AND** provide total project valuation. \$ \_\_\_\_\_

• **Land Divisions** - Identify number of lots (include lots for existing development). \_\_\_\_\_

New street (public or private)?  yes  no

• **Affordable Housing** - For buildings containing five or more dwelling units, will  yes  no  N/A

50% or more of the units be affordable to households with incomes equal to or less than 60% of the median family income for the county or state, whichever is greater?

**continued / over**

**Applicant Information**

- Identify the primary contact person, applicant, property owner and contract purchaser. Include any person that has an interest in your property or anyone you want to be notified. Information provided, including telephone numbers and e-mail addresses, will be included in public notices.
- For all reviews, the applicant must sign the Responsibility Statement.
- For land divisions, all property owners must sign the application.

**PRIMARY CONTACT:**

Typed Full Name \_\_\_\_\_ I acknowledge this typed name as my signature

Company/Organization \_\_\_\_\_

Mailing Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_

Day Phone \_\_\_\_\_ FAX \_\_\_\_\_ email \_\_\_\_\_

**Check all that apply**  Applicant  Owner  Other

Typed Full Name \_\_\_\_\_ I acknowledge this typed name as my signature

Company/Organization \_\_\_\_\_

Mailing Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_

Day Phone \_\_\_\_\_ FAX \_\_\_\_\_ email \_\_\_\_\_

**Check all that apply**  Applicant  Owner  Other

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Company/Organization \_\_\_\_\_

Mailing Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_

Day Phone \_\_\_\_\_ FAX \_\_\_\_\_ email \_\_\_\_\_

**Check all that apply**  Applicant  Owner  Other

Typed Full Name \_\_\_\_\_ I acknowledge this typed name as my signature

Company/Organization \_\_\_\_\_

Mailing Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_

Day Phone \_\_\_\_\_ FAX \_\_\_\_\_ email \_\_\_\_\_

**Check all that apply**  Applicant  Owner  Other

**Responsibility Statement** As the applicant submitting this application for a land use review, I am responsible for the accuracy of the information submitted. The information being submitted includes a description of the site conditions. I am also responsible for gaining the permission of the owner(s) of the property listed above in order to apply for this review and for reviewing the responsibility statement with them. If the proposal is approved, the decision and any conditions of the approval must be recorded in the County Deed Records for the property. The City of Portland is not liable if any of these actions are taken without the consent of the owner(s) of the property. In order to process this review, City staff may visit the site, photograph the property, or otherwise document the site as part of the review. I understand that the completeness of this application is determined by the Director. By my signature, I indicate my understanding and agreement to the Responsibility Statement.

Name of person submitting this application agrees to the above Responsibility Statement and acknowledges typed name as signature:

\_\_\_\_\_ Date: \_\_\_\_\_

Phone number: \_\_\_\_\_

Email this application and supporting documents to [LandUseIntake@portlandoregon.gov](mailto:LandUseIntake@portlandoregon.gov) | Submittal of locked or password protected documents will delay intake of your application. 2



CITY OF  
**PORTLAND, OREGON**  
 BUREAU OF DEVELOPMENT SERVICES  
 1900 SW 4th Ave, Suite 5000  
 Portland, OR 97201  
 Phone: 503-823-7300



**Billing Summary**

Today's Date: 5/22/2024

Site Address: 7510 N CHARLESTON AVE

IVR Number: **5014958**

Permit Number: 24-014054-000-00-LU

Land Use Review

**APPLICANT** MULTNOMAH COUNTY LIBRARY DISTRICT **Phone:** (503) 330-0449

Fee Code	Fee Description	Fee Amount	Paid To Date	Balance
1090	Site Development - Land Use Reviews	\$198.00		
2323	Conditional Use-Existing (III)	\$6241.00		
2504	Life Safety Review - Land Use	\$150.00		
254	Hearings Officer Fee	\$2345.00		
324	BES Land Use Rvw-Engineering	\$650.00		
381	PBOT Conditional Use	\$8674.00		
404	Water Available Plan Rvw - Type C	\$165.00		
711	Fire - Land Use Reviews	\$50.00		
<b>Bill #5257920</b>	<b>Sub Total</b>	<b>\$18473.00</b>	<b>\$18473.00</b>	<b>\$0.00</b>
1090	Site Development - Land Use Reviews	\$150.00		
242	Adjust. Review - Non-Res.	\$11811.00		
2504	Life Safety Review - Land Use	\$150.00		
324	BES Land Use Rvw-Engineering	\$540.00		
373	PBOT Adjustment Review	\$511.00		
404	Water Available Plan Rvw - Type C	\$165.00		
711	Fire - Land Use Reviews	\$50.00		
<b>Bill #5257921</b>	<b>Sub Total</b>	<b>\$13377.00</b>	<b>\$13377.00</b>	<b>\$0.00</b>
242	Adjust. Review - Non-Res.	\$11811.00		
<b>Bill #5268578</b>	<b>Sub Total</b>	<b>\$11811.00</b>	<b>\$11811.00</b>	<b>\$0.00</b>
<b>TOTAL</b>		<b>\$43,661.00</b>	<b>\$43,661.00</b>	<b>\$0.00</b>

\* Fees marked with an asterisk are due at application.

**CITY CONTACT** **Phone:**  
**E-Mail:** **Fax:** (503) 823-4172

**Notice:** This document is not a permit. This document may not represent all fees owing for this permit. All fees are subject to change based on new or corrected information. For more information, consult your City of Portland Contact listed above.





**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
FROM CONCEPT TO CONSTRUCTION

Carmen Rubio, Commissioner  
David Kuhnhausen, Interim Director  
Phone: (503) 823-7300  
TTY: 711  
www.portland.gov/bds

March 8, 2024

Debbie Cleek  
THE BOOKIN GROUP  
1020 SW Taylor St, #555  
Portland OR 97205

Re: Land Use Review LU 24-014054 CU AD

Dear Debbie Cleek:

The Bureau of Development Services received your application for a Conditional Use located at 7510 N CHARLESTON AVE on February 15, 2024. Your case has been assigned to me, Don Kienholz. In order to continue to review your application, additional information is needed. Once you submit this information, your application will be considered complete, and I will proceed with a full review of your proposal. Up to this point, your application has been reviewed only to determine if all required information has been submitted. The application has not been fully reviewed to determine if it meets the relevant approval criteria, however some issues you may want to consider are identified in Section II below.

**I. Information Necessary to Complete Application**

The following information must be submitted before your proposal can be evaluated:

1. Site Plan: The submitted site plan did not include the distances of the proposed addition and detached accessory structure to the property lines. Please update the site plan or submit an additional site plan with the proposed setbacks, particularly from the addition to the front, north side and rear lot lines and from the accessory structure to the rear lot line.
2. Elevation Plans: The elevation plans include survey elevation points but do not show the building height of the addition as defined in 33.930.050. It appears the first-floor elevation is above the adjacent grade by a foot or more. That will change the technical height of the building and the required setback. Please provide an updated plan documenting the building height.
3. The elevation plans include west elevations for "New Addition B and New Addition A." "New Addition B" may be the detached accessory structure but it is not clear. Directly below the west elevation of "New Addition B" is a south elevation for a new addition that appears to have the same scale as "New Addition B" but also looks like a close up of the south elevation of new addition to the library. If it is for the accessory structure, the other elevations need to be submitted. If it is not for the accessory building, please explain what it is and submit the four elevations plans for the accessory building.
4. Additional Fees: The proposal as submitted includes four adjustment requests:
  - a. Reduce the required setback from the north side lot line to the proposed addition from 10-ft to 8-ft;
  - b. Reduce the required setback from the rear lot line to the proposed addition from 10-ft to 5-ft;

- c. Modify the required 10-ft of L3 buffering landscaping between the proposed addition and the north side lot line that is adjacent to a residential zone from 10-ft to 8-ft; and
- d. Increase the maximum setback from a street in a pedestrian district to the proposed addition from 20-ft to approximately 100-ft (needs to be identified as discussed under Item 1 above).

However, only three land use fees were submitted. Please submit an additional land use fee for the fourth Adjustment requested. We will have one of our Development Services Techs contact you for the additional payment.

- 5. Additional Reviews: Accessory buildings accessory to an Institutional Use, such as the subject library, are subject to the setback requirements in 33.120.275.C.1 and Table 120-7. The listed setback is 10-ft. The accessory structure appears to be approximately 5-ft (the distance needs to be included in the site plan, see Item 1 above) while the setback is 10-ft. As designed, the accessory structure needs an Adjustment to the required setback or moved to conform to the standard. If an adjustment is requested, please update the narrative to include the accessory structure in the findings and submit an additional land use fee.
- 6. The location of the detached accessory building included vehicle area between it and the street. Portland Zoning Code Section 33.266.130.C.1 and Table 266-3 regulate the location of vehicle areas and for sites zoned Rm2 that are over 10,000 square feet and in a pedestrian district, vehicle areas are not allowed between a building (any building) and the street.

Zone	General Standard	Exception for Through Lots and Sites with Three Frontages	Exception for Full-Block Sites
OS, RF, EG2, I	No restrictions.		
<b>RMP, IR, CE, EG1, CI; sites in RM1, RM2, and RM3 that are more than 10,000 square feet in total area; sites in CM1, CM2, and CM3 that are more than 2 acres in total area</b>	Vehicle areas not allowed between the portion of the building that complies with the maximum street setback and the transit street or streets in a Pedestrian District.	May have vehicle areas between the portion of the building that complies with the maximum street setback and one Local Service Transit Street.	May have vehicle areas between the portion of the building that complies with the maximum street setback and two Local Service Transit Streets.
<b>R20-R2.5, RM4, RX, CX, CR, EX; sites in RM1, RM2, and RM3 that are 10,000 square feet or less in total area; sites in CM1, CM2, and CM3 that are 2 acres or less in total area</b>	Not allowed between a building and any street.	May have vehicle areas between the building and one Local Service Transit Street.	May have vehicle areas between the building and two Local Service Transit Streets.

Notes:

[1] Driveways that provide a straight-line connection between the street and a parking area inside a building are not subject to these regulations.

[2] Vehicle areas that are separated from a street by a building are not subject to these regulations.

As designed, the accessory building will need an Adjustment to the standard. Please update the narrative to include the Adjustment and submit an additional land use fee.

**II. Time to Complete Application**

The Portland Zoning Code allows you up to 180 days to complete your application. Since the 180-day period began on the day we received the application, the deadline to make your application complete is **Tuesday August 13, 2024**.

**III. Determination of a Complete Application**

The application will be determined complete when you have submitted:

1. All of the requested information included in Section I, above. If you cannot provide all of the requested information at one time and intend to submit additional information, please include a written statement with each separate submittal indicating that you still intend to provide the additional missing information by the **Tuesday August 13, 2024** deadline, **or**
2. Some of the requested information included in Section I, above, and a written statement that no additional information will be provided; **or**
3. A written statement that none of the requested information included in Section I, above, will be provided.

Please be aware that not submitting the requested information may result in your application being denied. The information is needed to demonstrate the approval criteria are met. Once the application is deemed complete, review of your application can proceed using the information you have provided.

Your application will be approved if it meets the relevant land use review approval criteria. It is your responsibility to document how the approval criteria are met. The items listed above will help provide that documentation.

**Voiding of Application**

If your application is not complete by **Tuesday August 13, 2024**, it will be voided, and the application fee will not be refunded. The City's land use review procedures are outlined in Chapter 33.730 of the Portland Zoning Code.

Please contact me if you have any questions about this letter. My telephone number is **503-865-6716**, and my e-mail address is [Don.Kienholz@portlandoregon.gov](mailto:Don.Kienholz@portlandoregon.gov). Requested information noted above should be emailed to me. Please e-mail me for file dropbox instructions if document or drawing file sizes are greater than 5MB. Please label all correspondence and materials you submit with the case number LU 24-014054.

Sincerely,



Don Kienholz, Planner  
Land Use Services Division

cc: Application Case File

## Land Use Hearing Intake Form Template

- Hearings Office Case No.: 4240008
- BDS Assigned Case Number: LU 24-01454 CU AD
- Applicant/Owner: Debbie Cleek
- Appellant: \_\_\_\_\_
- Site Address: 7510 N Charleston
- Planner: DON KIENHOLZ
- Planner's Phone Number: (503) 865-6716
- Deemed complete date: March 27, 2024
- Length of time needed: 1.5
- Level of complexity: Low
- Level of controversy: Low
- Type: III
- Is the HO Hearings Room 3000 large enough? (Capacity: 49)  
Yes
- Is this case subject to 100 day clock?: No
- Current date of 120th-day (re-calculate if necessary): March 05, 2025
- What date is the 51st day?: \_\_\_\_\_
- Do you have a signed waiver or extension: Yes
- Preferred hearing dates (include 3): May 22, 2024, May 27, 2024, May 29, 2024, (Monday or Wednesday priority days)



## Hearings Office

### City of Portland

1900 SW 4<sup>th</sup> Avenue, Room 3100, Portland, OR 97201 phone: 503.823.7307  
www.portland.gov/omf/hearings fax: 503.823.4347  
email: HearingsOfficeClerks@portlandoregon.gov



## Land Use Hearing Participation Information

**Case Number:** 24-014054 CU AD (Hearings Office Case Number 4240008)

**Site Address:** 7510 N Charleston

**Hearing Date:** June 3, 2024

**Hearing Time:** 2:00 PM

The above-referenced land use hearing will take place via the Zoom platform.

### Zoom Participation Options and Instructions

#### Zoom Option

- You will need an internet connection and a personal computer or other internet capable device.
- You can listen, view the City Planner’s PowerPoint presentation, and you have the opportunity to provide oral testimony.
- Instructions:

Go to:

<https://us06web.zoom.us/j/89942307060>

#### Telephone Option

- You will need a telephone.
- You will be able to listen and testify but you will not be able to view documents and presentations shared on the Zoom platform (if any).
- Instructions:

Dial: +1 669 900 6833

Meeting ID: 899 4230 7060#

### Written Testimony

- Prior to the Hearing and until the close of evidence, you may submit written testimony. In other words, written testimony can be provided up to the close of the record, which will be announced at the hearing.
- *Note: A document’s timeliness is determined by the date/time when it is received by the Hearings Office Clerks.*
- Please reference the case number in any documents you wish to submit.

- Instructions/Options:

Online Case Management System

<https://www.portland.gov/omf/hearings/land-use>



Email: [HearingsOfficeClerks@portlandoregon.gov](mailto:HearingsOfficeClerks@portlandoregon.gov)

Fax: 503-823-4347

Mail: Hearings Office, 1900 SW 4th Avenue, Room 3100,  
Portland, OR 97201

### **View File Contents**

We use a fully electronic case file. Your online viewing options are available at our website: <https://www.portland.gov/omf/hearings/land-use>

If you do not have online access, you may make a written request for a hard copy of any exhibit to be mailed to you.

### **Meaningful Access**

The City of Portland is committed to providing meaningful access.

For accommodations, modifications, translation, interpretation, or other services, please call 503-823-7307, the TTY at 503-823-6868 or the Oregon Relay Service: 711. Traducción e interpretación | Chuyển Ngữ hoặc Phiên Dịch | 翻译或传译

Письменный или устный перевод | 翻訳または通訳 | Traducere sau

Interpretare 번역 및 통역 | Письмовий або усний переклад | Turjumida ama Fasiraadda|

### **Questions or Concerns**

You may contact the Hearings Clerks via email at

[HearingsOfficeClerks@portlandoregon.gov](mailto:HearingsOfficeClerks@portlandoregon.gov) or by calling 503-823-7307.



# Hearing Office

City of Portland

1900 SW 4th Avenue, Room 3100, Portland, OR 97201

[www.portlandoregon.gov/hearings](http://www.portlandoregon.gov/hearings)

email: [HearingsOfficeClerks@portlandoregon.gov](mailto:HearingsOfficeClerks@portlandoregon.gov)

phone: 503.823.7307

fax: 503.823.4347



## Land Use Hearing scheduled

A public hearing in land use case no. 4240008 has been scheduled for 2:00 PM, June 3 2024. The Hearings Office Land Use Administrative Rules require that the Bureau of Development Services make available a copy of its staff report and recommendation in a Type III proceeding at least 10 days before the date of the hearing, and the administrative decision and appeal in a Type II proceeding at least 7 days before the date of the hearing.

In the discretion of the Hearings Officer, failure of the Bureau of Development Services to make available the report or administrative decision and appeal within the time required by the Code may constitute grounds for continuing the hearing or holding the record open. In so determining, the Hearings Officer will consider the particular circumstances of the case, the possible prejudice to the persons failing to receive a copy of the material or to any other party, and the reason for the failure to comply.





**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
 FROM CONCEPT TO CONSTRUCTION

Carmen Rubio, Commissioner  
 David Kuhnhausen, Interim Director  
 Phone: (503) 823-7300  
 TTY: 711  
[www.portland.gov/bds](http://www.portland.gov/bds)

**STAFF REPORT AND RECOMMENDATION TO THE HEARINGS OFFICER**

CASE FILE: LU 24-014054 CU AD  
 PC # 23-096980  
 HEARINGS OFFICE FILE # 4240008  
 REVIEW BY: Hearings Officer  
 WHEN: June 3, 2024 at 2:00 PM

This land use hearing will take place online using the Zoom platform. See the instructions on how to participate remotely (online or by phone) at this link: <https://www.portland.gov/bds/zoning-land-use/events/2024/6/3/notice-land-use-hearing-lu-24-014054-cu-ad> or contact the Hearings Office at [HearingsOfficeClerks@portlandoregon.gov](mailto:HearingsOfficeClerks@portlandoregon.gov) or 503-823-7307. Additional Hearings Office information is available at [www.portland.gov/omf/hearings/land-use](http://www.portland.gov/omf/hearings/land-use).

**BUREAU OF DEVELOPMENT SERVICES STAFF: DON KIENHOLZ / [DON.KIENHOLZ@PORTLANDOREGON.GOV](mailto:DON.KIENHOLZ@PORTLANDOREGON.GOV)**

**GENERAL INFORMATION**

**Applicant:** Debbie Cleek  
 The Bookin Group  
 1020 SW Taylor St, #555  
 Portland OR 97205  
[cleek@bookingroup.com](mailto:cleek@bookingroup.com)

**Owner:** Multnomah County Library District  
 C/O Elise Hendrickson  
 401 N Dixon St  
 Portland, OR 97227-1865

**Site Address:** 7510 N CHARLESTON AVE

**Legal Description:** BLOCK 2 INC PT VAC ST LOT 5-8, JERSEY ST ADD  
**Tax Account No.:** R429000210  
**State ID No.:** 1N1W12AB 10300  
**Quarter Section:** 2122

**Neighborhood:** St. Johns, contact Patrick Theiss at [landuse@stjohnspdx.org](mailto:landuse@stjohnspdx.org)  
**Business District:** St. Johns Boosters Business Association, contact at [info@stjohnsboosters.org](mailto:info@stjohnsboosters.org)

**District Coalition:** North Portland Neighborhood Services, contact Mary Jaron Kelley at 503-823-8877.

**Plan District:** St. Johns  
**Zoning:** RM2d – Residential Multi-Dwelling – 2 with a Design Overlay Zone ('d').  
**Case Type:** CU AD – Conditional Use Review with Adjustments  
**Procedure:** Type III, with a public hearing before the Hearings Officer. The decision of the Hearings Officer can be appealed to City Council.

**Proposal:**

The applicant is proposing to remove an 800-sf addition from the rear of the St. Johns Library built in the 1990s and replace it with an approximately 2,950-sf addition. The proposal will not alter the original 1917 library on site but will connect to the rear of the building where the previous addition was located. The proposal also includes a detached covered accessory building in the southeast portion of the site that will house covered bike parking and the trash and recycling area.

A Type III Conditional Use Review is required because the addition will be a net increase of more than 2000-sf and increase the overall floor area by more than 25 percent. The applicant is also requesting six Adjustments for the addition and accessory structure:

1. Reduce the required side building setback from the north lot line from 10-ft to 8-ft (33.120.275 C.1 and Table 120-7);
2. Reduce the required rear building setback from 10-ft to 5-ft. (33.120.275 C.1 and Table 120-7);
3. Reduce required rear building setback for the detached covered accessory building from 10-ft to 5-ft. (33.120.275 C.1 and Table 120-7);
4. Reduce the required L3 landscaping buffer between the proposed addition and the north side lot line that is adjacent to a residential zone from 10-ft to 8-ft. (33.120.275 C.1 and Table 120-7);
5. Increase the maximum building setback from a street in a pedestrian district to the proposed addition from 20-ft to approximately 116-ft (33.120.220.C and Table 120-3); and
6. Allow vehicle area between accessory building and street (33.266.130.C.1 and Table 266-3).

**Relevant Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The applicable approval criteria are found in 33.815.105 - Institutional and Other Uses in Residential and Campus Institutional Zones and in 33.805.040.A through F Adjustment Approval Criteria.

The Portland Zoning Code is available online at <https://www.portland.gov/code/33>.

**ANALYSIS**

**Site and Vicinity:** The subject site is located on the irregularly shaped block bounded by N. Charleston Ave., N. Central St., N Richmond Ave., and N. Lombard St. in the St Johns neighborhood. The existing library building on the subject site was built in 1915 and is a single story tall and was originally paid for by a grant from the Carnegie Corporation of New York which provided funding for libraries across the country. It went under a renovation most recently in 2000-2001, which included the small addition off the rear of the building that is proposed to be removed as part of the subject project. The parking lot along the south is shared with an apartment building on the adjacent lot. Across the street is James John Elementary School and a playground.

**Zoning:** The RM2 zone is a medium-scale multi-dwelling zone that is generally applied in and around a variety of centers and corridors that are well-served by transit. Allowed housing is characterized by buildings of up to three or four stories with a higher percentage of building

coverage than in the RM1 zone, while still providing opportunities for landscaping and outdoor spaces that integrate with residential neighborhood characteristics. The major types of new housing development will be a diverse range of multi-dwelling structures and other compact housing that contribute to the intended urban scale of centers and corridors, while providing transitions in scale and characteristics to lower-scale residential neighborhoods.

The Design (d) overlay zone promotes the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. This is achieved through the creation of design districts and applying the Design overlay zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. In addition, Design Review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

The St. Johns plan district provides for an urban level of mixed-use development including commercial, employment, office, housing, institutional, and recreation uses. Specific objectives of the plan district include strengthening St. Johns' role as the commercial and civic center of the North Portland peninsula. These regulations:

- Stimulate business and economic vitality;
- Promote housing and mixed-use development;
- Discourage auto-oriented uses and development;
- Enhance the pedestrian environment;
- Enhance the character of buildings in the plan district; and
- Support the Willamette greenway and opportunities to celebrate the Willamette River as a unique element of the urban environment.

**Land Use History:** City records indicate that there have been multiple prior land use reviews, including the following:

- LU 13-207756 DZ: Approval of a Design Review for a ground-mounted mechanical unit in the rear of the property,
- LU 93-010293 CU: Conditional Use approval for parking for existing library and church.
- LU 99-017440 CU: Conditional Use approval to renovate the existing library and construct a building addition approximately 850 feet in area.

**Agency Review:** A "Request for Response" was mailed March 29, 2024. The following Bureaus have responded with no issues or concerns:

- Life Safety Section of BDS (Exhibit E.1);
- Police Bureau (Exhibit E.2);
- Fire Bureau (Exhibit E.3);
- Water Bureau (Exhibit E.4); and
- Urban Forestry (Exhibit E.5).

The Site Development Section of BDS reviewed the proposal and provided a response (Exhibit E.6) identifying requirements that will be necessary at the time of building permit.

The Bureau of Environmental Services provided a response (Exhibit E.7) that went over the existing sanitary sewer, stormwater management and drainage way facilities and requirements. BES found the existing and proposed facilities as adequate and acceptable and will review new systems at the time of building permit. They had no concerns for the proposal and included no conditions of approval.

The Portland Bureau of Transportation reviewed the proposal and provided a response (Exhibit E.8) documenting the classifications of the adjacent street, nearby infrastructure, and evaluating the proposal's potential impacts on the public right-of-way. After evaluating the applicant's materials and Transportation Impact Study, PBOT found the transportation system is capable of supporting the proposed use.

**Neighborhood Review:** No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

## ZONING CODE APPROVAL CRITERIA

### Conditional Use

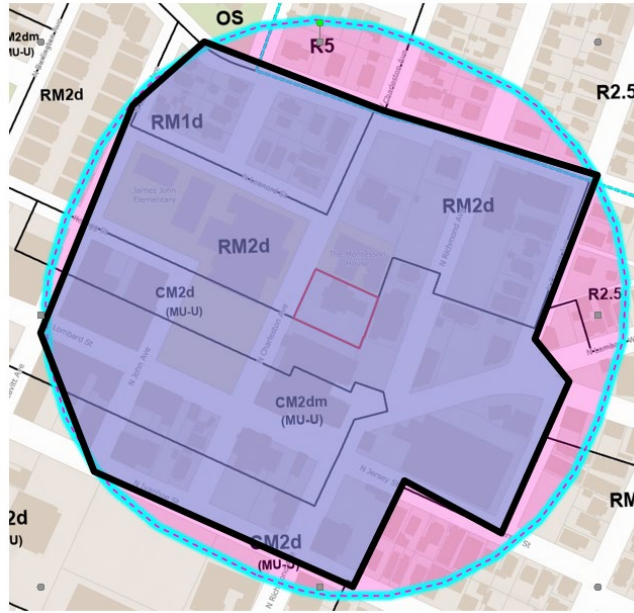
#### **33.815.105 Institutional and Other Uses in Residential and Campus Institutional Zones**

**These approval criteria apply to all conditional uses in R and campus institutional zones except those specifically listed in sections below. The approval criteria allow institutions and other non-Household Living uses in residential and campus institutional zones that maintain or do not significantly conflict with the appearance and function of residential or campus areas. Criteria A through E apply to institutions and other non-Household Living uses in residential zones. Criteria B through E apply to all other conditional uses in campus institutional zones. The approval criteria are:**

- A. Proportion of Household Living uses. The overall residential appearance and function of the area will not be significantly lessened due to the increased proportion of uses not in the Household Living category in the residential area. Consideration includes the proposal by itself and in combination with other uses in the area not in the Household Living category and is specifically based on:**
- 1. The number, size, and location of other uses not in the Household Living category in the residential area; and**
  - 2. The intensity and scale of the proposed use and of existing Household Living uses and other uses.**

**Finding:** Generally, the "residential area" is determined by using boundaries such as major streets, commercial zoning, or topographic features in combination with the required noticing area, which in this case was 400-feet. To ensure the limitation of potential adverse impacts, we usually expand the 'residential area' another one or two hundred feet beyond the noticing area providing the area does not extend over hard physical or topographic barriers.

Using the approximate 600-ft distance, the natural and hard boundaries are N. Ivanhoe to the south; N. Leavitt Ave. to the west; N. Central St. to the north; and N. Oswego to the east. The 600-ft boundary goes slightly beyond the named streets but the streets serve as a hard boundary and the properties on the other side of the streets are not considered as in the 'area.' The 'area' used for this review is depicted below in blue:



This area reflects a much more urban and mixed-use development pattern than the vast majority of Portland. The zoning to the south and east of the subject site is CM2. Zoning to the west and north is RM2. There is a small pocket of RM1 to the far NW of the site that contains many single-family dwellings.

Sites immediately adjacent to the library are zoned CM2 and those in a residential zone are in non-household living uses. The adjacent and nearby residentially zoned sites contain several non-household living uses that aren't adjacent to the site. These uses include:

- James John Elementary School (school use);
- A Montessori school immediately to the north (school use);
- St Johns Church (religious institutional use);
- St Johns Village (community service use);
- St Johns Bachelor Club (social club – retail sales and service - entertainment-oriented); and
- St. Johns Farmers Market (retail sales and service use – sales-oriented)

The proposal is an addition to the existing St. Johns Library resulting in a net increase of approximately 2,100-sf of building area and a small detached accessory trash and bike enclosure, but not an increase in non-household living uses as the use already exists. While the library is being enlarged, the geographical catchment and usage of the library is not changing, so there is no anticipated change in patronage. The applicant has described the addition and accessory building as a move by the library district to increase the operating square footage per capita from the current 0.3-sf per capital to the industry standard of 0.6 to 0.8-sf to allow the existing library to spread out materials and customers within the footprint. While the library will be larger than the existing one, it will not change the operational characteristics or character of the site.

In the mapped area above, the sites with household living uses in a residential zone are located in the far northwest portion of the area. Those homes are separated from the St. Johns Library by distance and by intervening non-household living uses. Given the facts above, the residential appearance and function of the identified residentially zoned area will not be lessened due to the net addition of 2,100-sf to the existing library and a small detached accessory building.

*Criteria met.*

**B. Physical compatibility.**

**1. The proposal will preserve any City-designated scenic resources; and**

**Findings:** City-designated scenic resources are protected with an “s” or Scenic Resource Overlay Zone. There are no designated scenic resources on the site.

**2. The proposal will be compatible with adjacent residential developments based on characteristics such as the site size, building scale and style, setbacks, tree preservation, and landscaping; or**

**Finding:** The proposal is not adjacent to any household living uses. The site is adjacent to residentially zoned properties that have other non-household living uses such as churches, community services, and schools. That said, the proposal will be compatible with nearby residential developments because:

- The site is of a similar size as the other residentially zoned lots. The subject site is just over 22,000-sf while the other residentially zoned properties include:
  - A two-story elementary school and playground sitting on a 53,000-sf lot across the street;
  - A two and a half story Montessori school on a 23,000-sf lot immediately north of the subject site.
  - A 63,000-sf church site that hosts a church and safe rest village;
  - A 9,100-sf site that has a retail sales and service social club; and
  - A 15,000-sf site that hosts the St. Johns Farmers Market.
  
- The existing library and proposed addition is only 1.5-stories in height, which is less tall than the two adjacent schools. The accessory bike and trash enclosure is 10-ft in height.
  
- The site is well below the maximum building coverage and floor area ratio, so will not be overbearing or out of place.
  
- The library is an historic building with design elements from the early 20th century that blends with the early-century architecture most homes in the area have.
  
- While the proposal includes setback Adjustments to the north and east, the development reflects the more urban development of the St. Johns neighborhood core the site resides in.
  
- The proposal meets all landscaping requirements.

*Criterion met.*

**3. The proposal will mitigate differences in appearance or scale through such means as setbacks, screening, landscaping, tree preservation, and other design features.**

**Finding:** Based on the findings to #1 and 2 above, there are no anticipated differences in appearance or scale that would necessitate mitigation.

*Criterion not applicable.*

**C. Livability. The proposal will not have significant adverse impacts on the livability of nearby residential zoned lands due to:**

- 1. Noise, glare from lights, late-night operations, odors, and litter; and**
- 2. Privacy and safety issues.**

**Finding:** The proposal is for an addition to the existing library that will result in a net increase of approximately 2,100-sf of building area and a small detached accessory building for trash and bike storage. Since the use is not new and the operations will not fundamentally change from the existing operations, there will be no anticipated increase in noise, late night operations, odors or litter. The parking lot will see some changes by coming into conformance with the parking and landscaping requirements but overall, the parking lot will remain. New outdoor lighting is proposed as part of the project and shown on Exhibit A.16. The applicant has stated all lights will be dark sky compliant. Dark Sky compliant lighting meets the lighting standards of DarkSky International that helps limit light pollution by focusing low level light on targeted areas and ensuring light doesn't bleed into the sky. A condition of approval will be included to ensure the lights are dark sky compliant to ensure no adverse impacts from glare are created.

There are no anticipated impacts to privacy or safety as the use has been on site since 1915 and the proposal is an addition and small detached accessory bike and trash enclosure. The adjacent properties are all in non-household living uses and will not have safety or privacy impacts from the addition and accessory building.

*Criterion met.*

**D. Public services.**

- 1. The proposal is supportive of the street designations of the Transportation Element of the Comprehensive Plan;**

**Finding:** PBOT provided the following response (Exhibit E.8) to address these criteria:

*“To address the transportation approval criteria, the applicant submitted a professionally prepared Transportation Impact Study (TIS) by Kittelson and Associates, dated January 25, 2025. The Portland Bureau of Transportation (PBOT) Traffic Engineers has reviewed the materials and agrees with the methodologies, analyses, assumptions, findings and conclusions including intersection capacity, safety of all modes, neighborhood impacts, etc. to confirm that the transportation-related approval criteria are satisfied.*

*At this location, the City’s Transportation System Plan (TSP) classifies N Charleston Ave as a City Bikeway, Local Service for all modes. The street is currently improved with an approximate 36-ft wide paved roadway and 12-ft wide pedestrian corridor within a 60-ft wide Right-of-Way (ROW). Vehicular access to the site is and will continue to be provided by a curb cut located on the south side of the site. Therefore, The TSP designations and existing street characteristics are reflective of and appropriate for the existing neighborhood and this criterion is met.”*

Staff concurs with PBOT’s analysis and conclusions.

*Criterion met.*

- 2. Transportation system:**



- a. **The transportation system is capable of supporting the proposed use in addition to the existing uses in the area. Evaluation factors include safety, street capacity, level of service, connectivity, transit availability, availability of pedestrian and bicycle networks, access restrictions, neighborhood impacts, impacts on pedestrian, bicycle, and transit circulation. Evaluation factors may be balanced; a finding of failure in one or more factors may be acceptable if the failure is not a result of the proposed development, and any additional impacts on the system from the proposed development are mitigated;**
- b. **Measures proportional to the impacts of the proposed use are proposed to mitigate on- and off-site transportation impacts. Measures may include transportation improvements to on-site circulation, public street dedication and improvement, private street improvements, intersection improvements, signal or other traffic management improvements, additional transportation and parking demand management actions, street crossing improvements, improvements to the local pedestrian and bicycle networks, and transit improvements;**
- c. **Transportation improvements adjacent to the development and in the vicinity needed to support the development are available or will be made available when the development is complete or, if the development is phased, will be available as each phase of the development is completed;**

**Finding:** PBOT provided the following response (Exhibit E.8) to address these criteria:

*“To address the street capacity and Level of Service (LOS) evaluation factors, the applicant’s traffic engineer cited TRN 10.27, which noted that a LOS study is not required when proposed development results in no net increase to vehicle trips. Per information contained in the Institute of Transportation Engineers (ITE), Trip Generation Manual (11th Edition), vehicular trip generation for the facility is calculated using the total building size on site utilizing ITE Land Use code 500. Both the weekday AM and PM peak hour trip generation rates for this land use are approximately 13 trips per 1,000 square feet. The St. John’s Library Multnomah County Library is not open prior to 10 AM any day of the week. Based on the low trip generation increase anticipated as part of the 2,096 square feet net addition, no intersection capacity analyses were performed nor required by the City or ODOT. Given the location of the Library within the St. John’s neighborhood, the vehicular trips were estimated to distribute 60 percent to the north and 40 percent to the south, thereby resulting in a less than 10 vehicle increase to the adjacent intersections during the weekday PM peak hour, which does not constitute a material change to adjacent streets or intersections. Therefore, PBOT finds all the intersections are deemed to be operating at current LOS and the existing intersections are capable of handling the proposed site improvements without negatively impacting the City of Portland’s operational standards.*

*No crashes were reported on N Charleston Avenue near or at the Library Access point for the most recent five-year analysis period in which data was available from ODOT. TriMet provides bus service via Routes 4, 16, 44 and 75 all of which have a stop at the N Charleston Street/N Lombard Street intersection, which is a convenient one block walking distance from the library. There are continuous sidewalk infrastructure and marked crossings at signalized and other crosswalks in the immediate area. For bicycles, N Central two blocks to the north is the primary east-west Neighborhood Greenway, whereas N Buchanan Ave six blocks to the east is the primary north-south route, which is a shared roadway. Remaining surrounding streets are low-volume neighborhood streets which provide a safe and comfortable traveling environment for*

*cyclists. No specific pedestrian or bicycle-related changes are identified in the TSP along the frontage of the library, and the proposed library addition will not change or modify the surrounding transportation system. Therefore, PBOT finds the resulting proposed development will not negatively impact transit access or other transportation modes, nor have an adverse impact on safety of the neighborhood.*

*The City's TSP identifies a general standard of vehicle connections for every 530 feet and pedestrian / bicycle connections every 330 feet. The subject site is located approximately mid-block between two ROWs which meets City's connectivity goals.*

*There are no access restrictions for this site. Primary access to the facility is and will continue to be provided by a curb cut along the south property line. As of July 1, 2023, PZC 33.266 has eliminated the requirement for on-site parking for all uses and development within the city. The existing library has 11 on-site parking spaces immediately adjacent in the existing parking lot. There is sufficient on-street parking in the immediate vicinity to accommodate the additional demand. Therefore, PBOT finds the proposed development will not impact the existing on-street parking supply in any way. Therefore, this criterion is met.*

*The transportation-related neighborhood impacts associated with the proposed use typically involve impacts to on-street parking and potential increases in traffic at area intersections. As documented, the proposed library expansion will not significantly alter or increase the increased traffic surrounding the use, and with the existing parking lot and adequate on-street parking supply. Therefore, transportation-related impacts as a result of the proposed library expansion will be negligible.*

*In conclusion, based on the evidence included in the record, and primarily, the applicant has demonstrated to PBOT's satisfaction that "the transportation system is capable of supporting the proposed use in addition to the existing uses in the area".*

Staff concurs with PBOT's findings.

*Criteria met.*

**3. Public services for water supply, police and fire protection are capable of serving the proposed use, and proposed sanitary waste disposal and stormwater disposal systems are acceptable to the Bureau of Environmental Services.**

**Finding:** The Portland Bureau of Police provided a response (Exhibit E.2) stating they have no objections and police can access and serve the site. The Portland Fire Bureau provided a response (Exhibit E.3) without any identified objections and stating a building permit will be required for the buildings. BES provided a response (Exhibit E.7) stating they have no objections to the proposal. Additionally, BES notes they find the applicant's proposed sanitary sewer service, the proposed stormwater management plan and drainage acceptable as required by the criterion. Lastly, BES notes that some materials and fees will be required at the time of building permit.

*Criterion met.*

**E. Area plans. The proposal is consistent with any area plans adopted by the City Council as part of the Comprehensive Plan, such as neighborhood or community plans.**

**Finding:** The subject site is in the St. Johns/Lombard Neighborhood Area Plan. The applicant identified four policies from the area plan that have applicability to the proposal. After

reviewing the identified policies and the area plan, staff concurs with the applicant. The identified policies are as follows:

Policy 1: Land Use and Placemaking

Accommodate growth and change in a manner that fosters the area’s sense of place as a small town and main street within the city.

**Finding:** The proposal is to expand the St. Johns Library, a public institution in the neighborhood for over 100 years. The proposed expansion will maintain an important community institution in the St. Johns neighborhood core for the community and maintain that sense of place and of a small town.

Policy 2: History and Identity

Strengthen the identity of the St. Johns and Lombard Street areas through development and community activities that integrate and build on the area’s distinctive history and architecture.

**Finding:** The St. Johns Library is a historic building that was originally constructed in the early 20<sup>th</sup> century as part of the philanthropic push for libraries by the Carnegie Corporation. The proposal will keep the library in the community and allow it to be used by many future generations, maintaining its historic significance.

Policy 6: Environment

Promote the development of a built environment that fosters ecological quality and uses sustainable development practices.

**Finding:** The proposal to add onto the library ensures the building isn’t torn down and a new library built in its place. This option uses fewer resources and avoids the environmental impacts from entirely new construction.

Policy 8: Community Involvement and Services

Support and enhance the St. Johns town center and Lombard main street with a mix of public and private community services. Continue the high level of community involvement in project and program activities recommended in this plan.

**Finding:** The proposal will maintain an existing community institution and allow it to be used by future generations as a meeting place, research and entertainment resource and other various community activities.

*Criterion met.*

**Adjustments**

**33.805.040 Approval Criteria**

**The approval criteria for signs are stated in Title 32. All other adjustment requests will be approved if the review body finds that the applicant has shown that either approval criteria A. through F. or approval criteria G. through I., below, have been met.**

**A. Granting the adjustment will equally or better meet the purpose of the regulation to be modified; and**

**Finding:** Six adjustments are requested as part of the proposal. Five of the requested Adjustments are associated with setbacks. The Adjustments are to the addition to the main library and the detached accessory building for trash and bike storage. The sixth adjustment

is to allow vehicle area between the accessory building and a street. The Adjustments to each building will be addressed below.

Addition to Library

- Reduce the required side building setback for the addition from the north lot line from 10-ft to 8-ft (33.120.275 C.1 and Table 120-7);
- Reduce the required rear building setback from 10-ft to 5-ft. (33.120.275 C.1 and Table 120-7);
- Reduce the required L3 landscaping buffer between the proposed addition and the north side lot line that is adjacent to a residential zone from 10-ft to 8-ft. (33.120.275 C.1 and Table 120-7);
- Increase the maximum building setback for the addition from a street in a pedestrian district to the proposed addition from 20-ft to approximately 116-ft (33.120.220.C and Table 120-3); and

The purpose statement for the above requested Adjustments is in the institutional development standards section (33.120.275.A) and is as follows:

*“Purpose. The general base zone development standards in the multi-dwelling zones are designed for residential buildings. Different development standards are needed for institutional uses which may be allowed in multi-dwelling zones. The intent is to maintain compatibility with and limit the negative impacts on surrounding residential areas.”*

Staff found in the findings for the Conditional Use approval criteria above, specifically 33.815.105.B and C, that the proposal is compatible with adjacent residential development and zoning and the proposal will not adversely impact the livability of nearby residentially zoned lands.

The site is unique in that the properties to the south and east are zoned CM2, a non-residential zoning. The properties to the west and north are residentially zoned, but have non-household living uses on them (schools) and will not be impacted by the proposed addition and accessory building. Residentially zoned properties further north and to the northeast have other non-household uses on them such as a church, retail sales and service social club, and a farmers market. The closest residentially zoned properties with household living uses are over 150-ft away off of N. Leonard St from the closest point of the property. The addition and accessory building will be more than 250-ft away with intervening buildings and roads.

Reducing the required 10-ft of L3 landscaping between the proposed addition and the north lot line from 10-ft to 8-ft will not negatively impact the use on the adjacent property to the north because the reduced setback is the same as the setback for the existing library further west on the property and the use on the adjacent property is not a household living use, the intended beneficiary of the landscaped buffer. Regardless, the reduction of the landscaped buffer from 10-ft to 8-ft is inconsequential considering there is no exterior activity along that area of the subject property that the buffer would help shield or muffle.

Given the distance to any residential properties with household living uses, the proposed reduced setbacks will have no negative impact on surrounding residential areas and the purpose is equally met.

Detached accessory building

- Reduce required rear building setback for the detached covered accessory building from 10-ft to 5-ft. (33.120.275 C.1 and Table 120-7);

The proposal includes a request to reduce the rear setback for the detached accessory building from 10-ft to 5-ft. The accessory building is an enclosed trash and bike enclosure set to the rear of the parking lot. The 5-ft distance will match the new additions 5-ft setback and allow continued full use of the parking lot. The property closest to the common property line is zoned CM2, a commercial zone that when adjacent to another commercial property has a 0-ft setback, and occupied by a commercial building called The Colony that is an event space. In the vicinity of the accessory building, the adjacent property contains a parking lot. Since the purpose of the standard is to protect residentially zoned areas and the adjacent property is commercially zoned, there will be no adverse impact on a residential area and the purpose is equally met.

- Increase the maximum building setback from a street in a pedestrian district to the proposed addition from 20-ft to approximately 116-ft (33.120.220.C and Table 120-3); and

The purpose for the maximum setback standard is found in 33.120.220.A, which states:

*“Purpose. The building setback regulations serve several purposes:*

- *They maintain light, air, separation for fire protection, and access for fire fighting;*
- *They reflect the general building scale and placement of multi-dwelling development in the City's neighborhoods;*
- *They promote a reasonable physical relationship between residences;*
- *They promote options for privacy for building residents and neighboring properties;*
- *They provide adequate flexibility to site a building so that it may be compatible with the neighborhood, fit the topography of the site, allow for required outdoor areas, and allow for architectural diversity;*
- ***Setback requirements along transit streets create an environment that is inviting to pedestrians and transit users; and***
- *They provide room for a car to park in front of a garage door without overhanging the street or sidewalk, and they enhance driver visibility when backing onto the street.”*

As the setback section includes both minimum setbacks and maximum setbacks, only some of the listed purpose statements are relevant to the proposal. The relevant sections are identified by being in **bold**.

The Pedestrian district identifies the area as one that the development pattern is intended to be up close to the street to bring the commercial and household living uses closer to the street to create a more walkable neighborhood, promote walking and reduce reliance on vehicles. Since the existing library is historic and the main building with its columned main entrance is the focal point of the site, it should be preserved to the maximum extent practicable. As such, the addition must necessarily be located to the rear of the library to allow the existing library and its columned entrance to be the prominent feature on the site while still expanding the available square footage for use. The columned main entrance is a visual and historic pedestrian draw to the site and building. Considering these facts, the purpose is equally met.

Location of Vehicle area

- Allow vehicle area between accessory building and street (33.266.130.C.1 and Table 266-3).

Vehicle area between a street and building is regulated in 33.266.130.C.1 and Table 266-3. The site is in a Pedestrian District and the detached accessory is located to the rear of the site approximately 116-ft from the front property line with the parking lot between them. Table 266-3 does not allow vehicle area between buildings and a street in a pedestrian district:

<p><b>RMP, IR, CE, EG1, CI; sites in RM1, RM2, and RM3 that are more than 10,000 square feet in total area; sites in CM1, CM2, and CM3 that are more than 2 acres in total area</b></p>	<p>Vehicle areas not allowed between the portion of the building that complies with the maximum street setback and the transit street or streets in a Pedestrian District.</p>
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The applicable purpose statement is found in the first half of 33.266.130.A:

*“Purpose. The development standards promote vehicle areas that are safe and attractive for motorists and pedestrians. Vehicle area locations are restricted in some zones to promote the desired character of those zones.*

*Together with the transit street building setback standards in the base zone chapters, the vehicle area location regulations:*

- *Provide pedestrian access that is protected from auto traffic;*
- *Create an environment that is inviting to pedestrians and transit users, especially on transit streets and in Pedestrian Districts;*
- *Limit the prominence of vehicle areas along street frontages and create a strong relationship between buildings and the sidewalk;*
- *Create a sense of enclosure on transit and pedestrian street frontages; and*
- *Limit the size of paved parking area and the type of paving material allowed in order to limit increases in temperature associated with asphalt and reduce impacts from urban heat islands.”*

Provide pedestrian access that is protected from auto traffic:

The accessory building, which will contain a bike storage area and the trash/recycling storage, is to the rear of the property and connected to the on-site pedestrian system. Bike riders will be able to drive into the parking lot since they are a vehicle and go right up to the bike parking in the accessory building. The trash and recycling areas are only used by employees and not ordinary pedestrians who may come from the right-of-way’s sidewalk. Employees taking out trash and recycling will be able to use the on-site pedestrian system to stay out of the vehicle area. The proposed design protects pedestrians from auto traffic.

Create an environment that is inviting to pedestrians and transit users, especially on transit streets and in Pedestrian Districts:

The site fronts N. Charleston Ave. which is not a transit street but which is in the St. Johns Pedestrian District. The library is an existing historic building on the Historic Resource Inventory and designed with a large pedestrian path to a grand main entrance connecting to the front sidewalk and street. The design creates a very strong existing pedestrian connection environment for the community in front of the library. The addition is on the rear of the building and connects directly to the existing library and will maintain the existing, strong, pedestrian environment.

Limit the prominence of vehicle areas along street frontages and create a strong relationship between buildings and the sidewalk:

The site is approximately 130-ft wide and has an existing parking lot that is shared with the site to the south. Half the parking lot is on the subject site and half is on the site to the south with a shared access. The portion on the subject site is approximately 30-ft wide and 165-ft deep. No new additional vehicle area is proposed and two of the existing parking spaces will be removed for the placement of the accessory building. As such, the proposal continues to limit the amount of vehicle area on site and maintains the strong pedestrian connection from the street to the library’s main entrance.

Create a sense of enclosure on transit and pedestrian street frontages:

N. Charleston Ave. is not a transit street nor a pedestrian street. However, the site is within the St. Johns Pedestrian District, so a strong pedestrian environment is desired. The proposal to locate the accessory building to the rear of the property help maintains the strong existing pedestrian connection from the street frontage to the library’s grand main entrance.

Limit the size of paved parking area and the type of paving material allowed in order to limit increases in temperature associated with asphalt and reduce impacts from urban heat islands:

The site has an existing parking along the southern property line. The proposal includes the removal of two parking spaces and locating the accessory building in their place. As such, the proposal reduces the amount of paved parking area reduces impacts heat island impacts from paving.

Based on the above, the proposal equally meets the purpose of the standards being adjusted.

*Criterion met.*

**B. If in a residential, CI1, or IR zone, the proposal will not significantly detract from the livability or appearance of the residential area, or if in an OS, C, E, I, or CI2 zone, the proposal will be consistent with the classifications of the adjacent streets and the desired character of the area; and**

**Finding:** The subject site is in a residential zone, so the proposal for six adjustments must not significantly detract from the livability or appearance of the residential area. As found above under the Conditional Use approval criterion 33.815.105.A, the overall residential appearance will not be lessened from the addition to the library or the detached accessory building. Properties to the south and east are zoned CM2 and not part of the residential area. The sites immediately to the west and north are schools and are not household living uses. The site has an historic landmark building it and the addition will be to the rear of the main building, allowing the historic library to be the focal point of the entire site.

As determined in the Conditional Use approval criteria above, specifically, 33.815.105.C, the proposed addition and accessory structure will not adversely impact the livability of the nearby residential area.

*Criterion met.*

**C. If more than one adjustment is being requested, the cumulative effect of the adjustments results in a project which is still consistent with the overall purpose of the zone; and**



**Finding:** The proposal includes six Adjustment requests so the cumulative effect of the adjustments must be consistent with the overall purpose of the RM2 zone. The purpose of the multi-dwelling zones is found in 33.120.010.A:

*“The multi-dwelling zones are intended to preserve land for urban housing and to provide opportunities for multi-dwelling housing.*

- A. *Use regulations. The use regulations are intended to create and maintain higher density residential neighborhoods. At the same time, they allow for institutional, limited commercial, and other nonresidential uses, but not to such an extent as to sacrifice the overall residential neighborhood character of the multi-dwelling zones and their intended role as places for housing.*
- B. *Development standards. The six multi-dwelling zones are distinguished primarily by their allowed scale and development standards. The development standards work together to create desirable residential areas by promoting aesthetically pleasing environments, safety, privacy, energy conservation, and recreational opportunities. The development standards generally assure that new development will be compatible with the City’s character and contribute to the intended characteristics of each zone. At the same time, the standards allow for flexibility for new development. In addition, the regulations provide certainty to property owners, developers, and neighbors about the limits of what is allowed. The development standards are generally written for development on flat, regularly shaped lots. Other situations are addressed through special standards or exceptions.”*

The six Adjustment requests meet the purpose of the multi-dwelling zones and do not have a negative cumulative effect because:

- They do not significantly increase the bulk on site as viewed from the street. The Adjustments are to allow the addition and accessory structure on the rear of the property and behind the library to ensure the historic library remains the prominent feature on site. If the addition and accessory building met standards, they would need to be in front of the existing library near the frontline of the property, concealing the library from view.
  - The requested setback adjustments to the property lines are to properties in a commercial zoning and use and in a school use. Neither property contains household living and will not be adversely impacted by the proposal.
  - The proposed addition and accessory building meet the height, building coverage and floor area limitations of the RM2 zone while keeping the existing historic library intact.
  - The proposal reduces the amount of vehicle area on site to reduce the heat island effect, increase landscaping and improve water filtration due to the new landscaping.
  - As staff found in the Conditional Use approval criteria, the proposal will be consistent with the nearby residential area and fit the aesthetic and residential character of the neighborhood.
- D. City-designated scenic resources and historic resources in Historic, Conservation and National Register Districts and within the boundaries of Historic, Conservation and National Register Landmarks are preserved; and**

**Finding:** The subject site has an historic building that is on the City’s Historic Resource Inventory (HRI), but it is not designated an Historic Landmark nor within an Historic, Conservation, or National Register District. This criterion does not apply.

**E. Any impacts resulting from the adjustment are mitigated to the extent practical; and**

**Finding:** There are no discernible or identified impacts that would result from granting the requested adjustment.

*Criterion met*

**F. If in an environmental zone, the proposal has as few significant detrimental environmental impacts on the resource and resource values as is practicable.**

**Finding:** Environmental overlay zones are designated on the Official Zoning Map with either a lowercase “p” (Environmental Protection overlay zone) or a “c” (Environmental Conservation overlay zone). No environmental zoning is applied to the site; therefore, this criterion is not applicable.

**DEVELOPMENT STANDARDS**

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

**CONCLUSIONS**

The applicant has demonstrated that the proposed addition of 2,100-sf of net building area to the library and the detached accessory building meets the Conditional Use approval criteria in 33.815.105. Specifically, there will be no change in the proportion of non-household uses in the residential area or in the intensity of the use located at the site; the addition to the historic library and the new accessory building will be compatible with adjacent residential development; the proposal will not adversely impact the livability of the neighborhood with noise, lights, glare, late night operations, odor or litter; there will be adequate city services for the use; and the proposal is consistent with area plans.

Additionally, the applicant has demonstrated that the six adjustments equally meet the purpose of the respective development standard purpose statements; will not adversely affect the livability or appearance of the residential area; will have no impact on scenic resources; and will preserve an historic building.

Because Staff found the proposal meets the applicable approval criteria, the proposal should be approved.

**TENTATIVE STAFF RECOMMENDATION**

(May be revised upon receipt of new information at any time prior to the Hearings Officer decision)

Approval of a Conditional Use Review for an additional 2,100-sf of net building area to the existing library and a detached accessory building for bike storage and the trash and recycling.

The recommendation also includes approval of six Adjustments:

1. Reduce the required side building setback from the north lot line from 10-ft to 8-ft (33.120.275 C.1 and Table 120-7);
2. Reduce the required rear building setback from 10-ft to 5-ft. (33.120.275 C.1 and Table 120-7);
3. Reduce required rear building setback for the detached covered accessory building from 10-ft to 5-ft. (33.120.275 C.1 and Table 120-7);
4. Reduce the required L3 landscaping buffer between the proposed addition and the north side lot line that is adjacent to a residential zone from 10-ft to 8-ft. (33.120.275 C.1 and Table 120-7);
5. Increase the maximum building setback from a street in a pedestrian district to the proposed addition from 20-ft to approximately 116-ft (33.120.220.C and Table 120-3); and
6. Allow vehicle area between the accessory building and street (33.266.130.C.1 and Table 266-3).

Subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (Condition B) must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE - Case File LU 24-014054 CU AD." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED." No field changes allowed.
- B. New exterior lights must be DarkSky International compliant.

**PROCEDURAL INFORMATION**

The application for this land use review was submitted on February 15, 2024, and was determined to be complete on March 27, 2024

Zoning Code Section 33.700.080 states that land use review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore, this application was reviewed against the Zoning Code in effect on February 15, 2024.

ORS 227.178 states the City must issue a final decision on land use review applications within 120 days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant. In this case, the applicant requested that the 120-day review period be extended the full 245-days allowed by statute to ensure a de novo hearing before City Council if the hearings officer’s decision is appealed as stated with (Exhibit A.17). **The statutory clock will expire on March 27, 2025**

**Some of the information contained in this report was provided by the applicant.**

As required by Zoning Code Section 33.800.060, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only

where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the recommendation of the Bureau of Development Services with input from other City and public agencies.

**Conditions of Approval.** If approved, this project may be subject to specific conditions of approval, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

**This report is not a decision. The review body for this proposal is the Hearings Officer who will make the decision on this case.** This report is a recommendation to the Hearings Officer by the Bureau of Development Services. The review body may adopt, modify, or reject this recommendation. The Hearings Officer will make a decision about this proposal within 17 days of the close of the record. To comment, you may testify at the hearing, submit comments at [www.portland.gov/omf/hearings/land-use](http://www.portland.gov/omf/hearings/land-use); email your comments to [HearingsOfficeClerks@portlandoregon.gov](mailto:HearingsOfficeClerks@portlandoregon.gov); write to the Land Use Hearings Officer, 1900 SW Fourth Ave., Suite 3100, Portland, OR 97201; or FAX your comments to 503-823-4347.

You will receive mailed notice of the decision if you write a letter received before the hearing or testify at the hearing, or if you are the property owner or applicant. This Staff Report will be posted on the Bureau of Development Services website at <https://www.portland.gov/bds/zoning-land-use/public-notices>. Land use review notices are listed on the website by the District Coalition in which the site is located; the District Coalition for this site is identified at the beginning of this staff report.

**Appeal of the decision:** The decision of the Hearings Officer may be appealed to City Council, who will hold a public hearing. If you or anyone else appeals the decision of the Hearings Officer, City Council will hold an evidentiary hearing, one in which new evidence can be submitted to them. Upon submission of their application, the applicant for this land use review chose to waive the 120-day time frame in which the City must render a decision. This additional time allows for any appeal of this proposal to be held as an evidentiary hearing.

**Who can appeal:** You may appeal the decision only if you submit written comments which are received before the close of the record, if you testify at the hearing, or if you are the property owner or applicant. Appeals must be filed within 14 days of the decision. **An appeal fee of \$6,079 will be charged.** Assistance in filing the appeal and information on fee waivers are available from the Bureau of Development Services website: <https://www.portland.gov/bds/zoning-land-use/land-use-review-fees-and-types/appeals-fees-and-fee-waivers>.

**Appeal Fee Waivers:** Neighborhood associations recognized by the Office of Community & Civic Life may qualify for a waiver of the appeal fee provided that the association has standing to appeal. The appeal must contain the signature of the Chair person or other person authorized by the association, confirming the vote to appeal was done in accordance with the organization’s bylaws.

Neighborhood associations, who wish to qualify for a fee waiver, must complete the Type III Appeal Fee Waiver Request for Organizations Form and submit it prior to the appeal deadline. The Type III Appeal Fee Waiver Request for Organizations Form contains instructions on how to apply for a fee waiver, including the required vote to appeal.

Assistance in filing the appeal and information on fee waivers are available from the Bureau of Development Services website: <https://www.portland.gov/bds/zoning-land-use/land-use-review-fees-and-types/appeals-fees-and-fee-waivers>.

**Recording the final decision.**

If this land use review is approved the final decision will be recorded with the County Recorder. *Unless appealed*, the final decision will be recorded by the Bureau of Development Services.

**Expiration of this approval.** Generally, land use approvals (except Comprehensive Plan and Zoning Map Amendments) expire five years from the date of the final decision unless one of the actions below has occurred (see Zoning Code Section 33.730.130 for specific expiration rules):

- A City permit has been issued for the approved development,
- The approved activity has begun (for situations not requiring a permit), or

In situations involving only the creation of lots, the final plat must be submitted within three years.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within seven years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

**Applying for permits.** A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

Planner’s Name: Don Kienholz

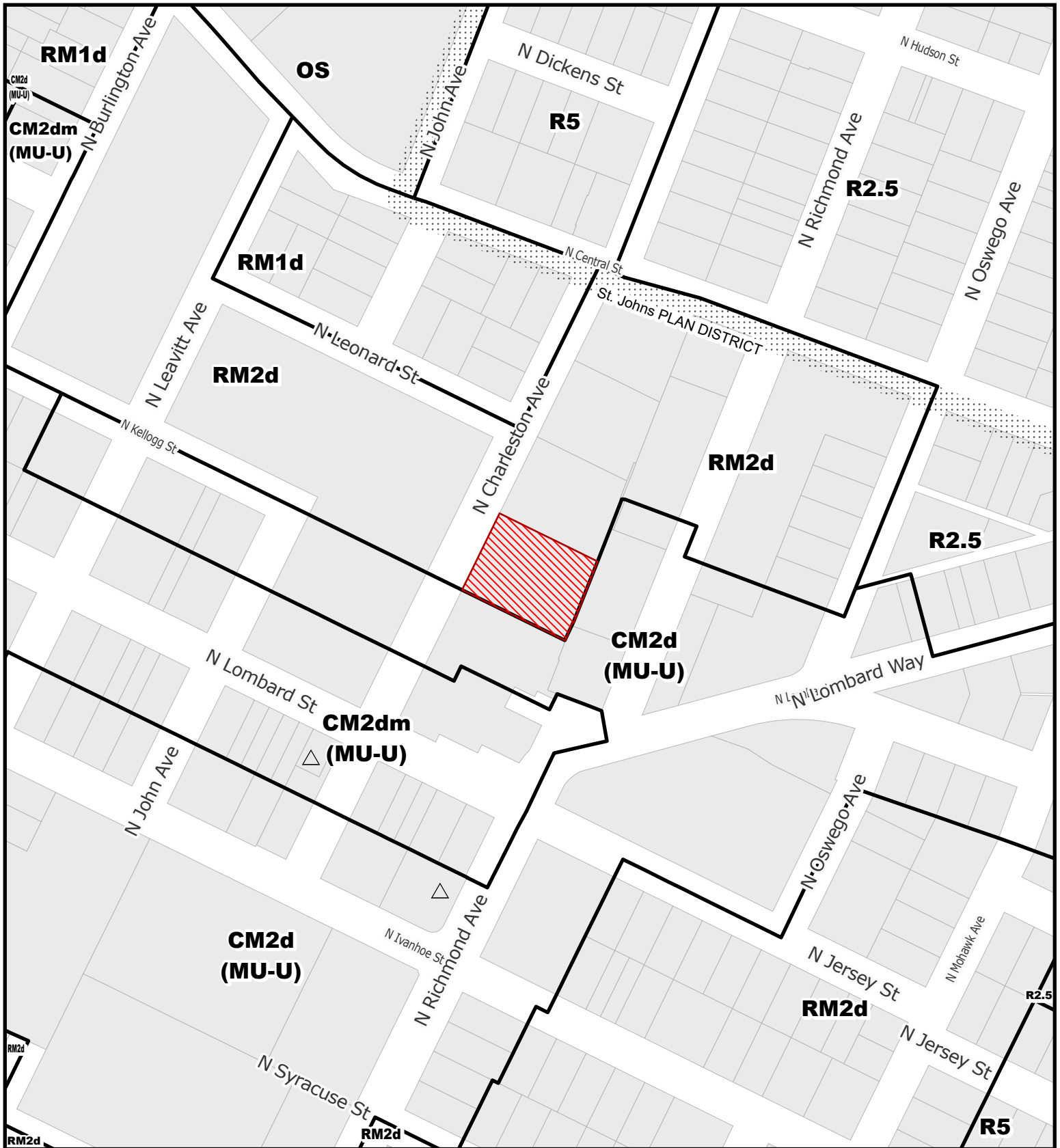
Date: May 24, 2024

**EXHIBITS (not attached unless indicated)**

- A. Applicant’s Materials:
  1. Original narrative
  2. Original civil plans
  3. Original building plans

4. Landscaping, planting and irrigation plan
  5. Lighting Plan
  6. Existing Trees table
  7. Pre-Application Conference EA 23-096980 notes
  8. Transportation Impact Analysis
  9. Preliminary Stormwater Report
  10. Arborist Report
  11. 3-21-24 Updated Plan set
  12. Summary of incomplete letter response
  13. 3-21-24 updated narrative
  14. Parking lot and easement profile for BES
  15. 5-10-24 updated plan set
  16. Updated Lighting Plan
  17. 120-day timeline extension and Request for Evidentiary Hearing
- B. Zoning Map (attached):
1. Zoning Map
- C. Plans & Drawings:
1. Site Plan (Attached)
  2. East and North Elevation Plan (Attached)
  3. West and South Elevation Plan (Attached)
  4. Trash and bike storage enclosure plans (Attached)
- D. Notification information:
1. Request for response
  2. Posting letter sent to applicant and notice to be posted
  3. Applicant's statement certifying posting
  4. Mailing list
  5. Mailed notice
- E. Agency Responses:
1. Life Safety Section of BDS
  2. Police Bureau
  3. Fire Bureau
  4. Water Bureau
  5. Urban Forestry
  6. Site Development section of BDS
  7. Bureau of Environmental Services
  8. Portland Bureau of Transportation
- F. Letters: none
- G. Other:
1. Original LUR Application
  2. Summary of fees paid
  3. March 8, 2024 incomplete letter
- H. Hearing Exhibits
- 1.




**The Bureau of Development Services is committed to providing equal access to information and hearings. To request an accommodation or alternative format of communication, please contact us at least five business days prior to the hearing at 503-823-7300 (TTY 503-823-6868).**



For Zoning Code in Effect Post October 1, 2022

# ZONING

THIS SITE LIES WITHIN THE:  
ST. JOHNS PLAN DISTRICT

-  Site
-  Plan District
-  Historic Landmark

File No. LU 24 - 014054 CU AD

1/4 Section 2122

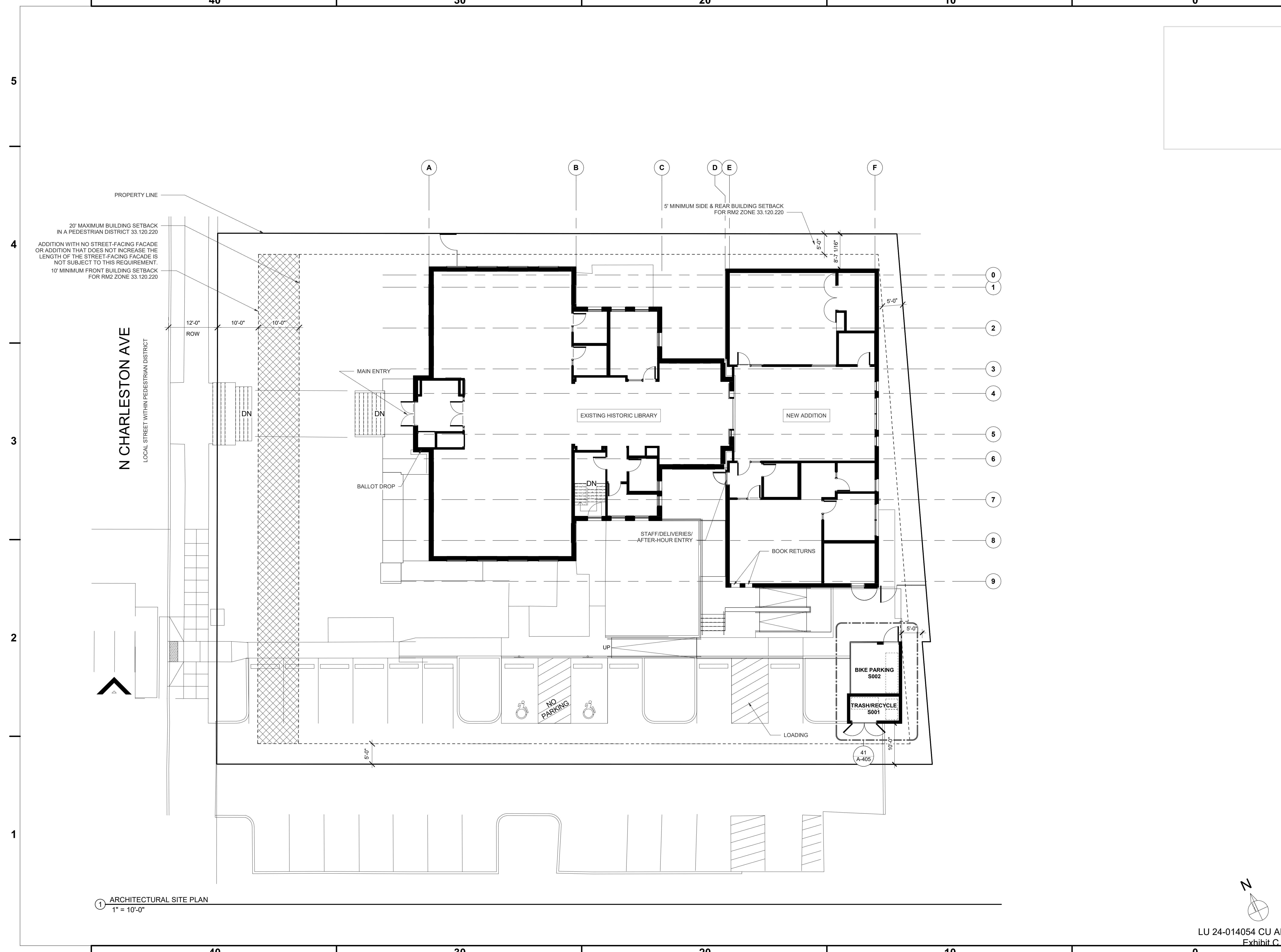
Scale 1 inch = 200 feet

State ID 1N1W12AB 10300

Portland Hearings Office  
Case #411111  
Bureau Case #LU 24 - 014054 CU AD  
Exhibit #4  
Page 21 of 25

**Exhibit B** Feb 15, 2024





# BORA

Bora Architects, Inc.  
1705 SE 3rd Ave  
Portland, Oregon 97214  
503.226.1575  
www.bora.co

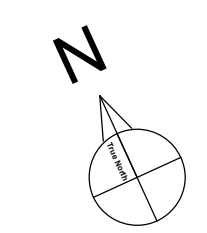
**ISSUED FOR INFORMATIONAL PURPOSES ONLY**  
**NOT FOR CONSTRUCTION**

MULTNOMAH COUNTY LIBRARIES  
ST. JOHNS LIBRARY  
7510 N Charleston Ave., Portland, OR 97203

Mark	Date	Description of Revision	By
1		Drawn By: Author Building Number: 615 Multico Project Number: P78LB172021 09 Sheet Title: ARCHITECTURAL SITE PLAN	Checked By: Checker Approved By: Approver
	05/17/2024		

1 ARCHITECTURAL SITE PLAN  
1" = 10'-0"

LU 24-014054 CU AD  
Exhibit C.1



05/17/2024

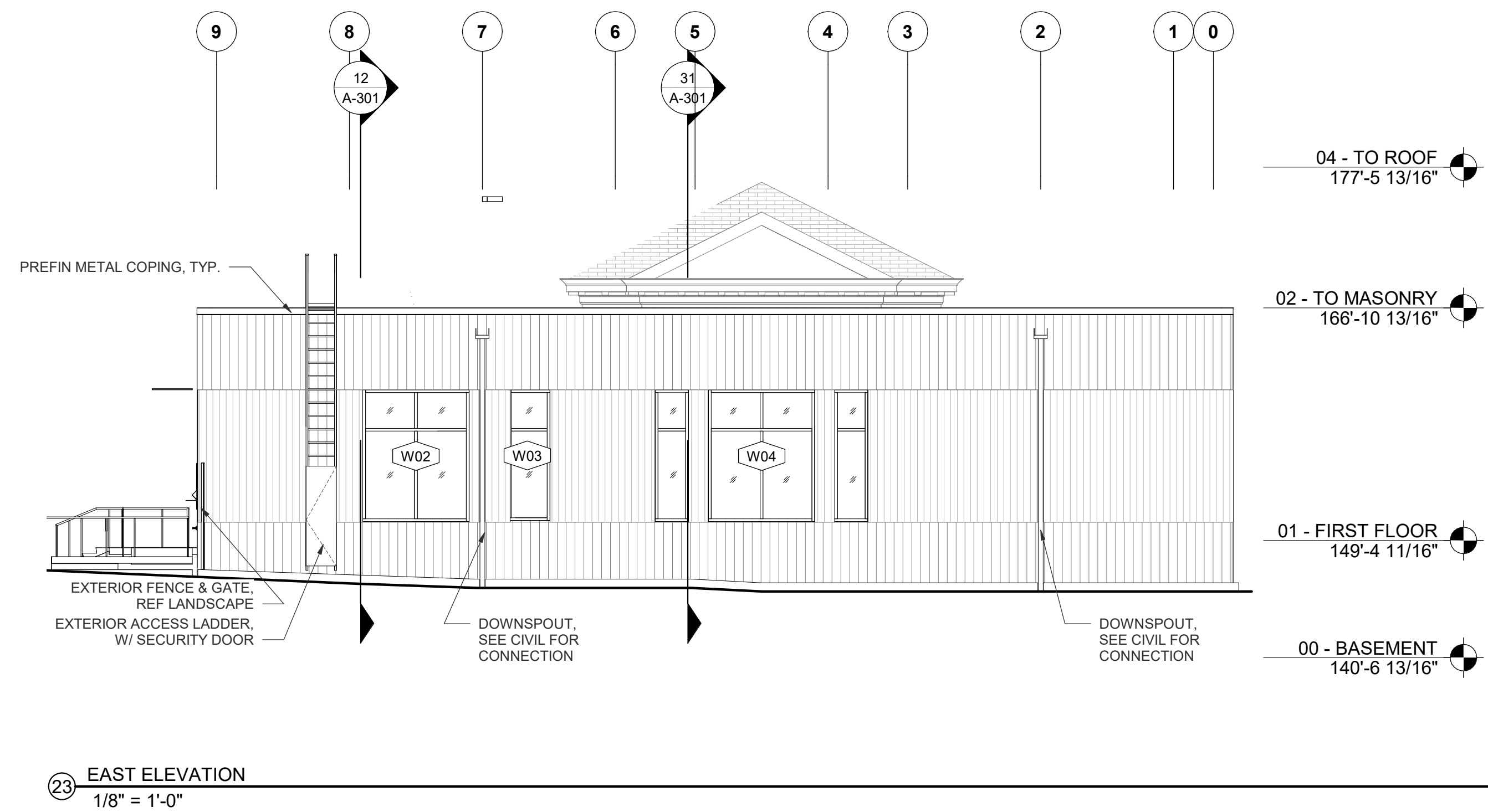
75% CONSTRUCTION DOCUMENTATION

ELEVATION / SECTION NOTES

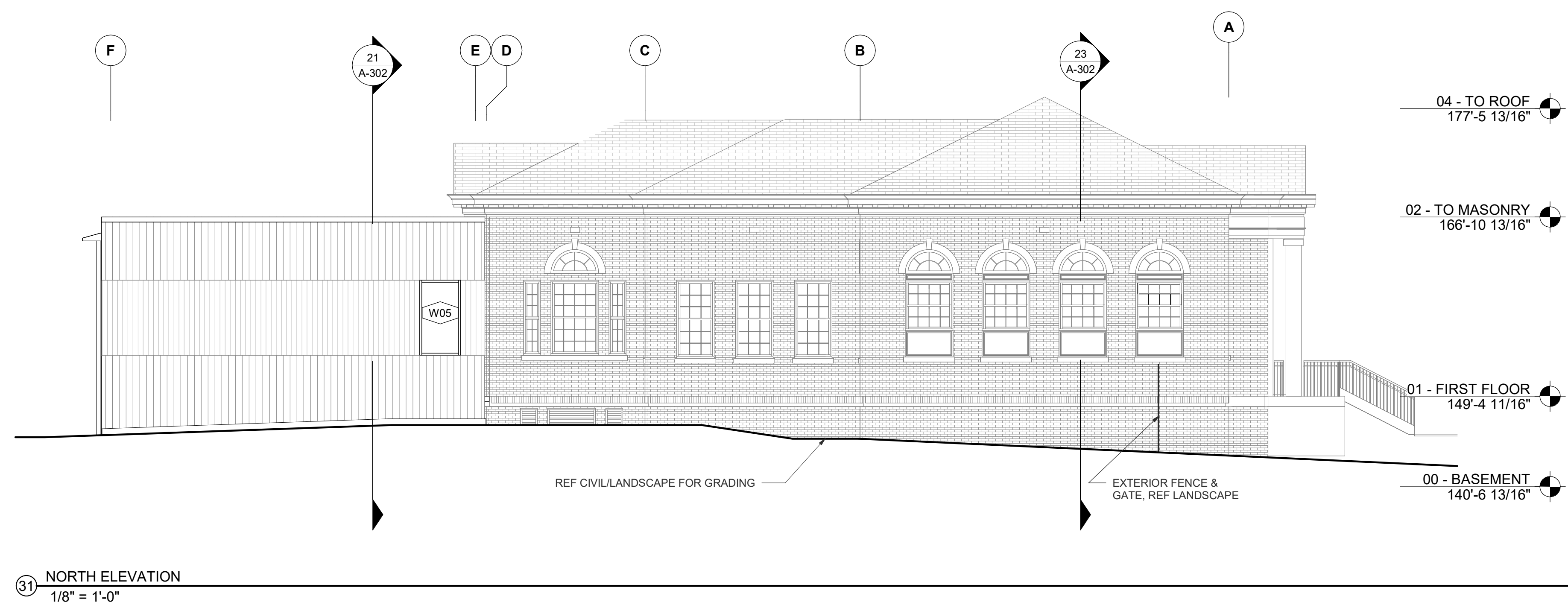
- 1. REFER TO ASSEMBLY SHEETS FOR WALL, ROOF, FLOOR, AND CEILING ASSEMBLIES.
- 2. GRADE LINES INDICATED ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO CIVIL AND LANDSCAPE DRAWINGS.
- 3. LINES OF FOUNDATION WALLS AND FOOTINGS ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO STRUCTURAL DRAWINGS FOR FOOTING ELEVATIONS.

GENERAL ARCHITECTURAL NOTES

- 1. DO NOT SCALE DRAWINGS. REQUEST CLARIFICATION FROM ARCHITECT IF DIMENSIONS ARE NOT INDICATED.
- 2. DIMENSIONS ARE SHOWN TO DIMENSION POINT (DIM. PT.) OF REFERENCED DETAIL WHERE APPLICABLE.
- 3. PAINT EXPOSED STRUCTURAL STEEL, MISCELLANEOUS STEEL, FIREPROOFING, DUCTWORK, MECHANICAL EQUIPMENT, MECHANICAL AND SPRINKLER PIPING, ELECTRICAL CONDUIT, AND THEIR SUPPORT SYSTEMS, UNLESS OTHERWISE NOTED.



23 EAST ELEVATION  
 1/8" = 1'-0"



31 NORTH ELEVATION  
 1/8" = 1'-0"

MULTNOMAH COUNTY LIBRARIES  
 ST. JOHNS LIBRARY  
 7510 N. Charleston Ave., Portland, OR 97203

Mark	Date	Description of Revision	By

Drawn By:	Checked By:
Building Number:	Approved By:
Multico Project Number:	Approver:

Sheet Title  
 EXTERIOR ELEVATIONS

Date  
 05/17/2024

A-202

ELEVATION / SECTION NOTES

- 1. REFER TO ASSEMBLY SHEETS FOR WALL, ROOF, FLOOR, AND CEILING ASSEMBLIES.
- 2. GRADE LINES INDICATED ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO CIVIL AND LANDSCAPE DRAWINGS.
- 3. LINES OF FOUNDATION WALLS AND FOOTINGS ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO STRUCTURAL DRAWINGS FOR FOOTING ELEVATIONS.

GENERAL ARCHITECTURAL NOTES

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- 2. DIMENSIONS ARE SHOWN TO DIMENSION POINT (DIM. PT.) OF REFERENCED DETAIL WHERE APPLICABLE.
- 3. PAINT EXPOSED STRUCTURAL STEEL, MISCELLANEOUS STEEL, FIREPROOFING, DUCTWORK, MECHANICAL EQUIPMENT, MECHANICAL AND SPRINKLER PIPING, ELECTRICAL CONDUIT, AND THEIR SUPPORT SYSTEMS, UNLESS OTHERWISE NOTED.

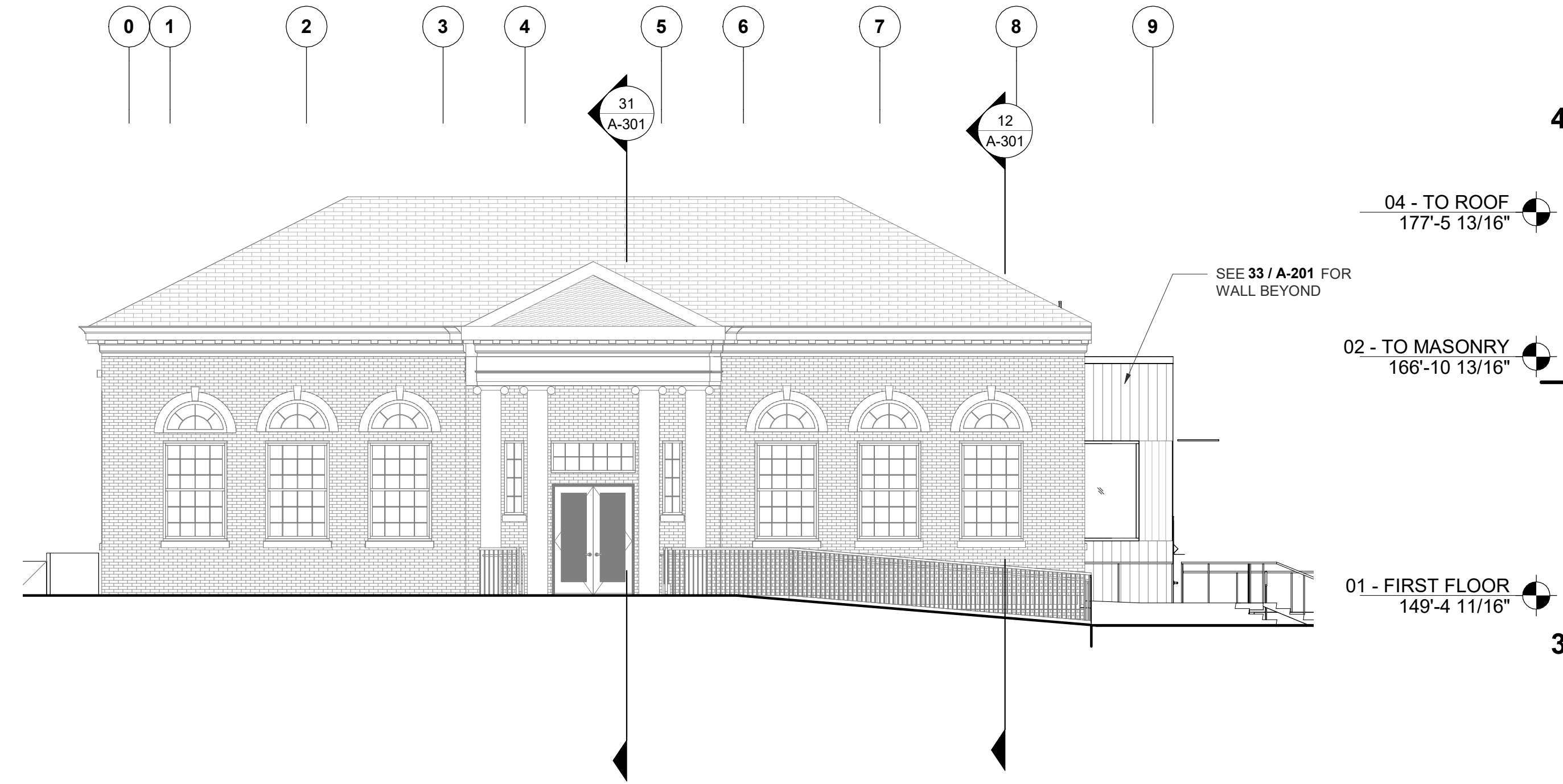
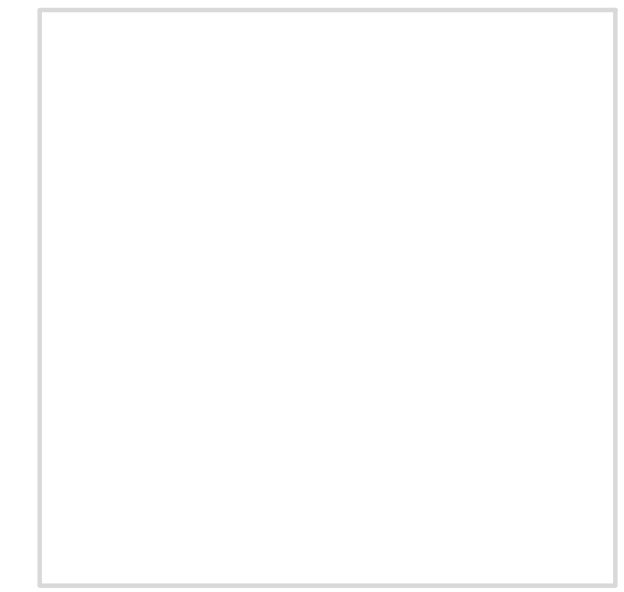
Mark	Date	Description of Revision	By

Drawn By: Author  
 Building Number: 615  
 Multico Project Number: P78LB172021 09  
 Sheet Title

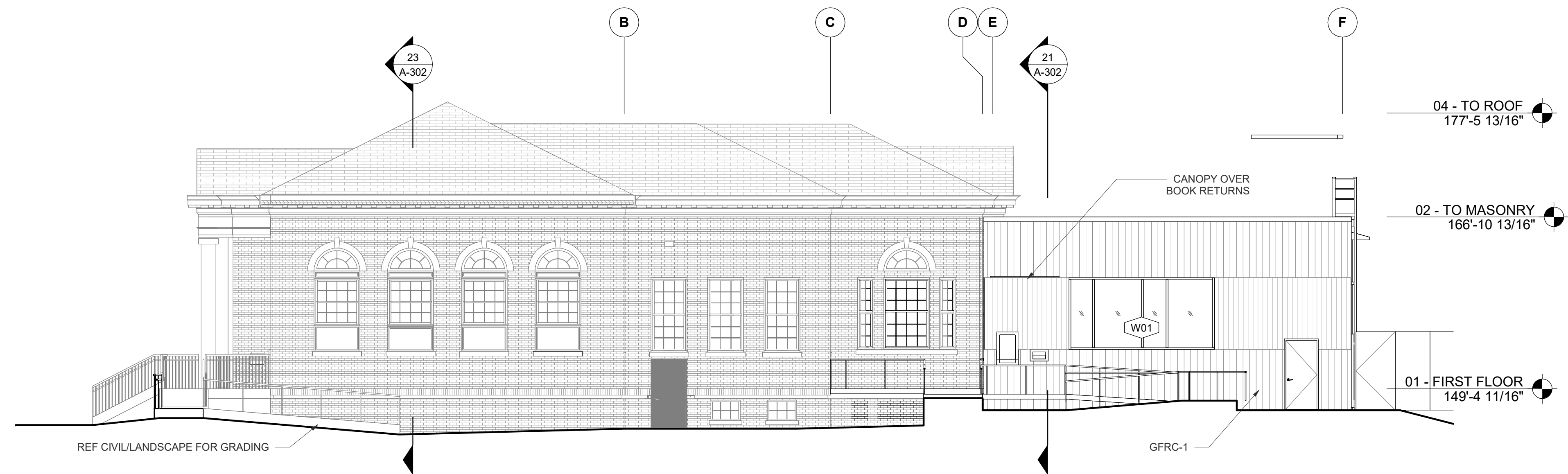
Checked By: Checker  
 Approved By: Approver

Date: 05/17/2024

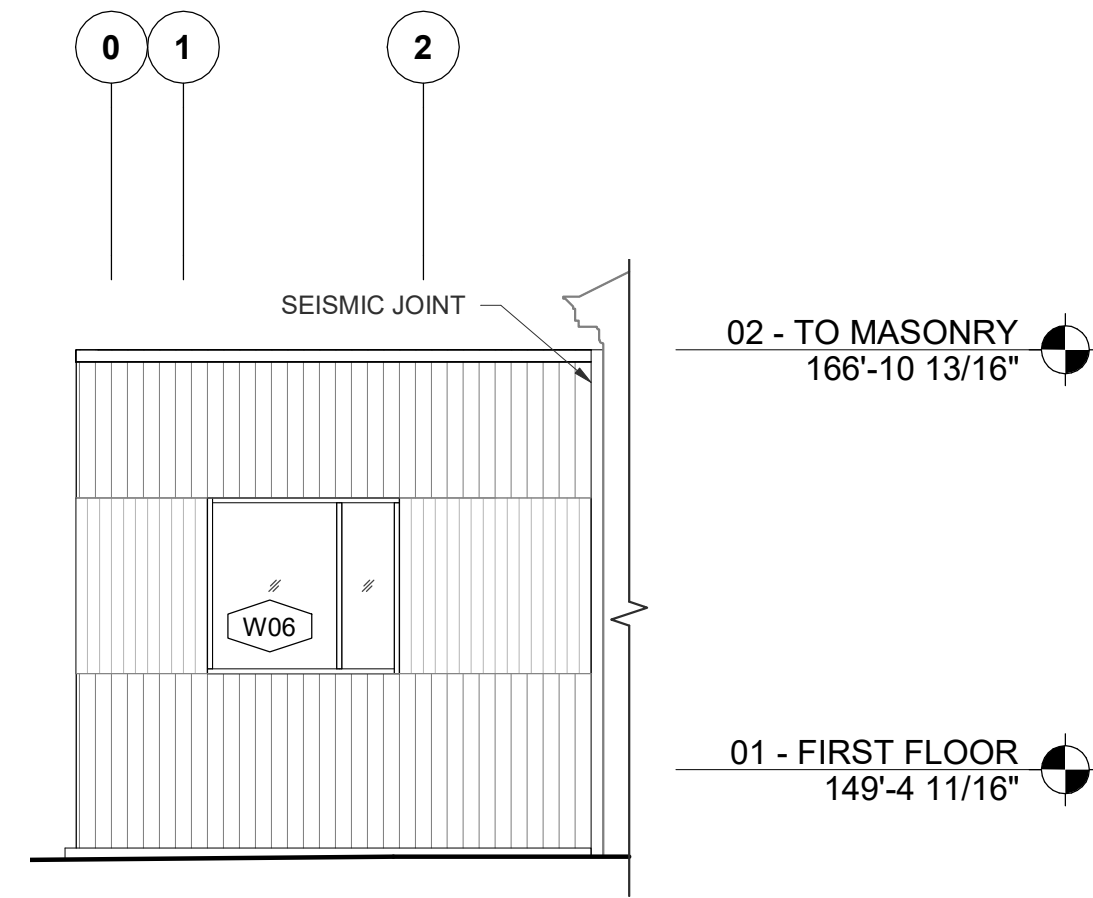
A-201



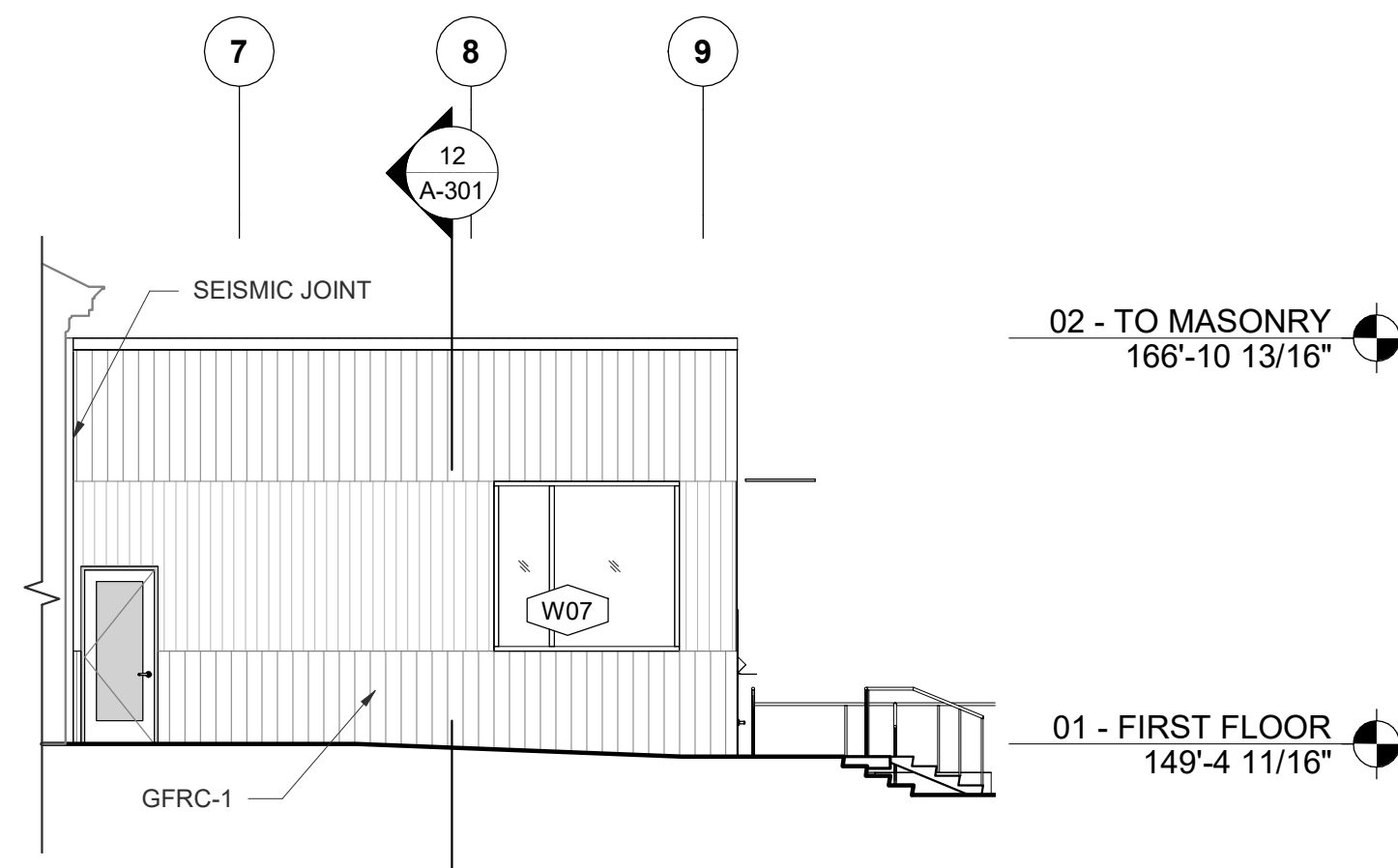
23 WEST ELEVATION  
 1/8" = 1'-0"



31 SOUTH ELEVATION  
 1/8" = 1'-0"



43 WEST ELEVATION - NEW ADDITION NORTH  
 1/8" = 1'-0"



33 WEST ELEVATION - NEW ADDITION SOUTH  
 1/8" = 1'-0"

FLOOR PLAN NOTES

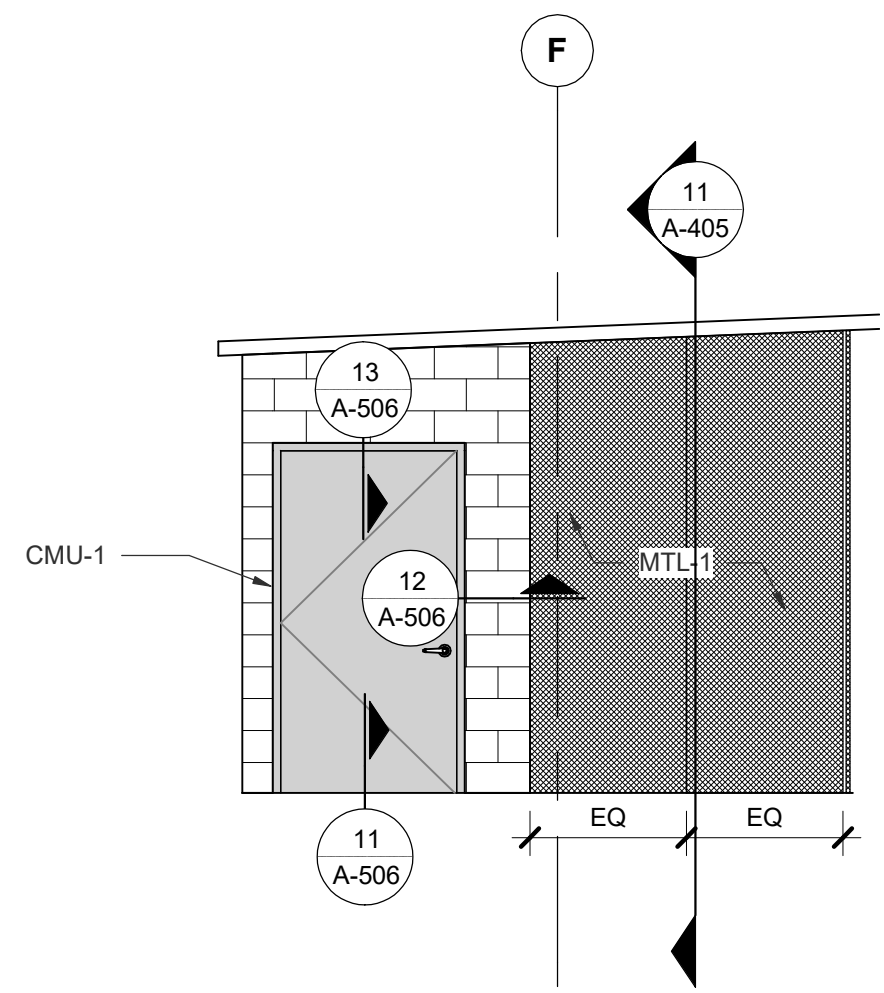
1. REFER TO ASSEMBLY SHEETS FOR WALL AND FLOOR ASSEMBLIES.
2. DIMENSIONS ARE TO FACE OF GYPSUM BOARD FINISH UNLESS OTHERWISE NOTED. REFER TO ENLARGED PLANS FOR DIMENSIONS WITHIN THOSE AREAS.
3. INTERIOR WALLS ARE WALL TYPE 03E UNLESS OTHERWISE NOTED
4. EXISTING FLOOR DATUM: 100'-0" EQUALS 149.40'. SEE CIVIL.
5. WHERE ITEMS OR EQUIPMENT ARE REMOVED FROM FINISHED SURFACES TO REMAIN, PATCH AND REPAIR TO MATCH ADJACENT SURFACES.

ELEVATION / SECTION NOTES

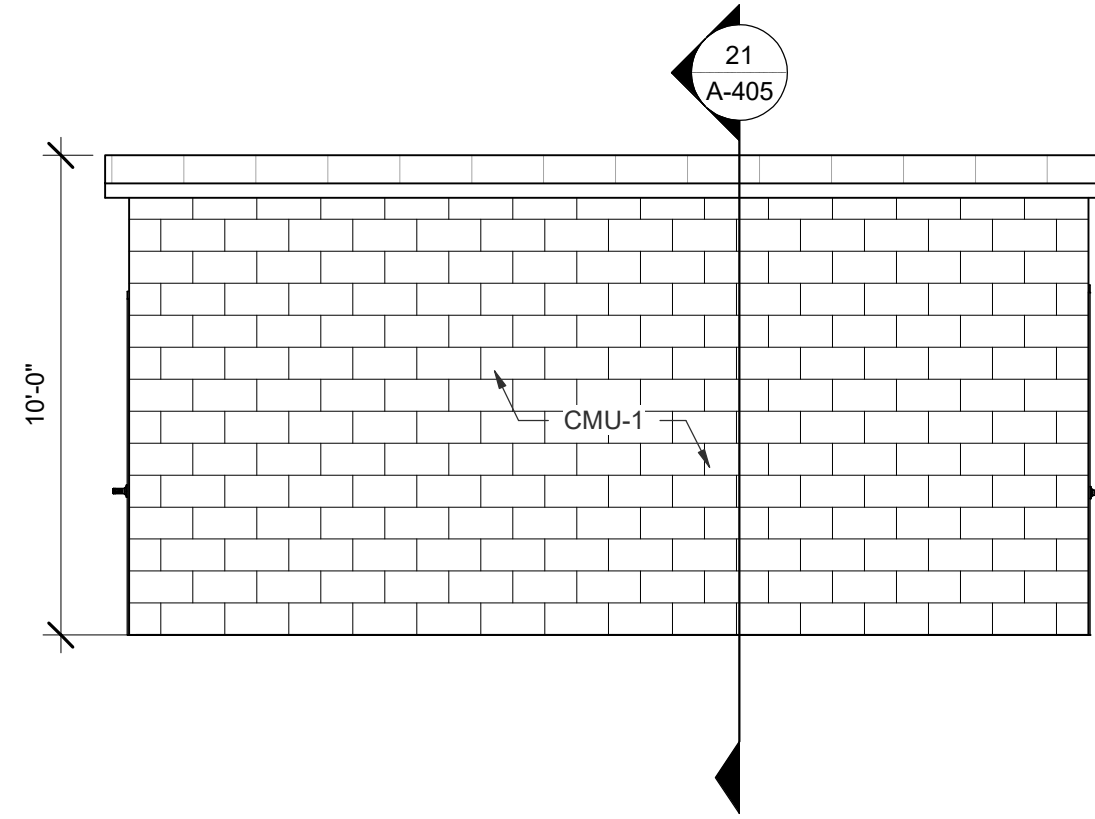
1. REFER TO ASSEMBLY SHEETS FOR WALL, ROOF, FLOOR, AND CEILING ASSEMBLIES.
2. GRADE LINES INDICATED ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO CIVIL AND LANDSCAPE DRAWINGS.
3. LINES OF FOUNDATION WALLS AND FOOTINGS ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO STRUCTURAL DRAWINGS FOR FOOTING ELEVATIONS.

GENERAL ARCHITECTURAL NOTES

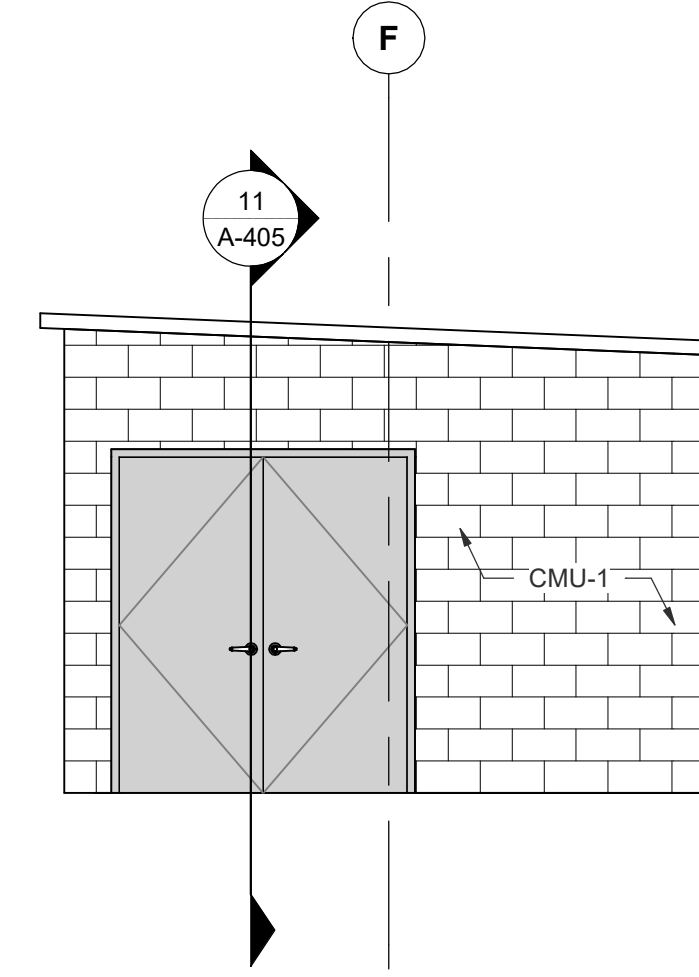
1. DO NOT SCALE DRAWINGS. REQUEST CLARIFICATION FROM ARCHITECT IF DIMENSIONS ARE NOT INDICATED.
2. DIMENSIONS ARE SHOWN TO DIMENSION POINT (DIM. PT.) OF REFERENCED DETAIL WHERE APPLICABLE.
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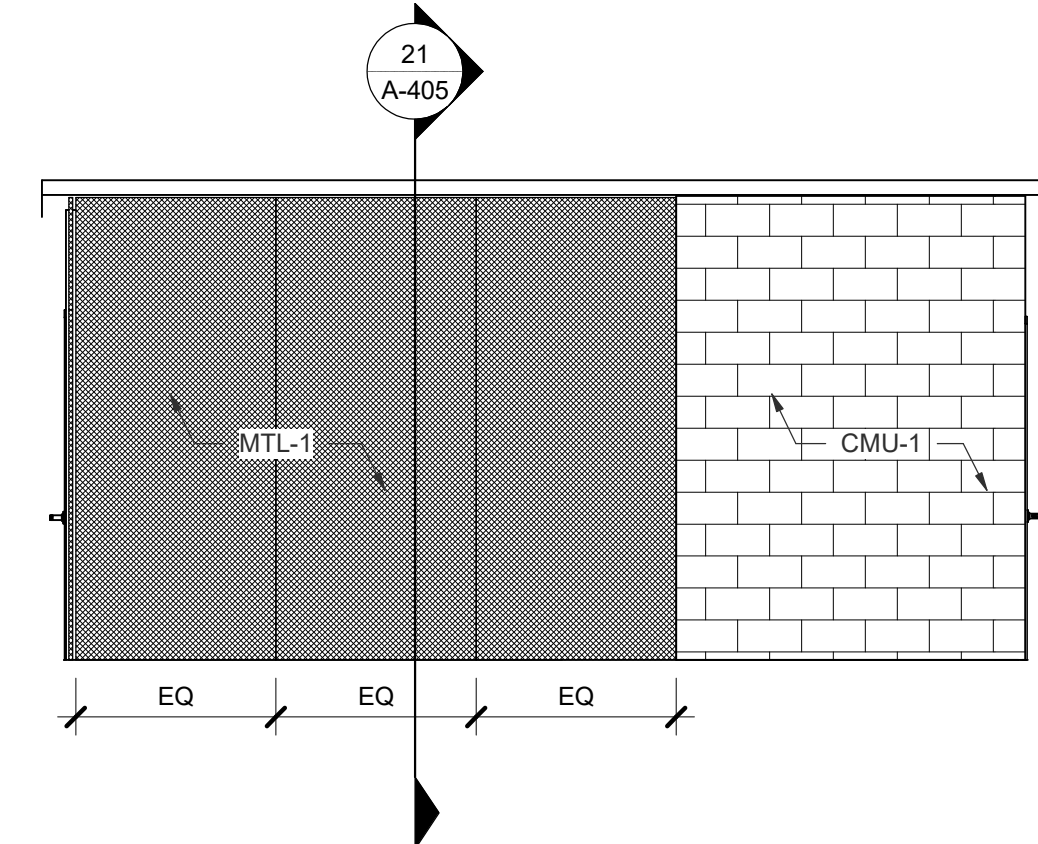
43 ELEVATION - SITE ENCLOSURE - NORTH  
 1/4" = 1'-0"



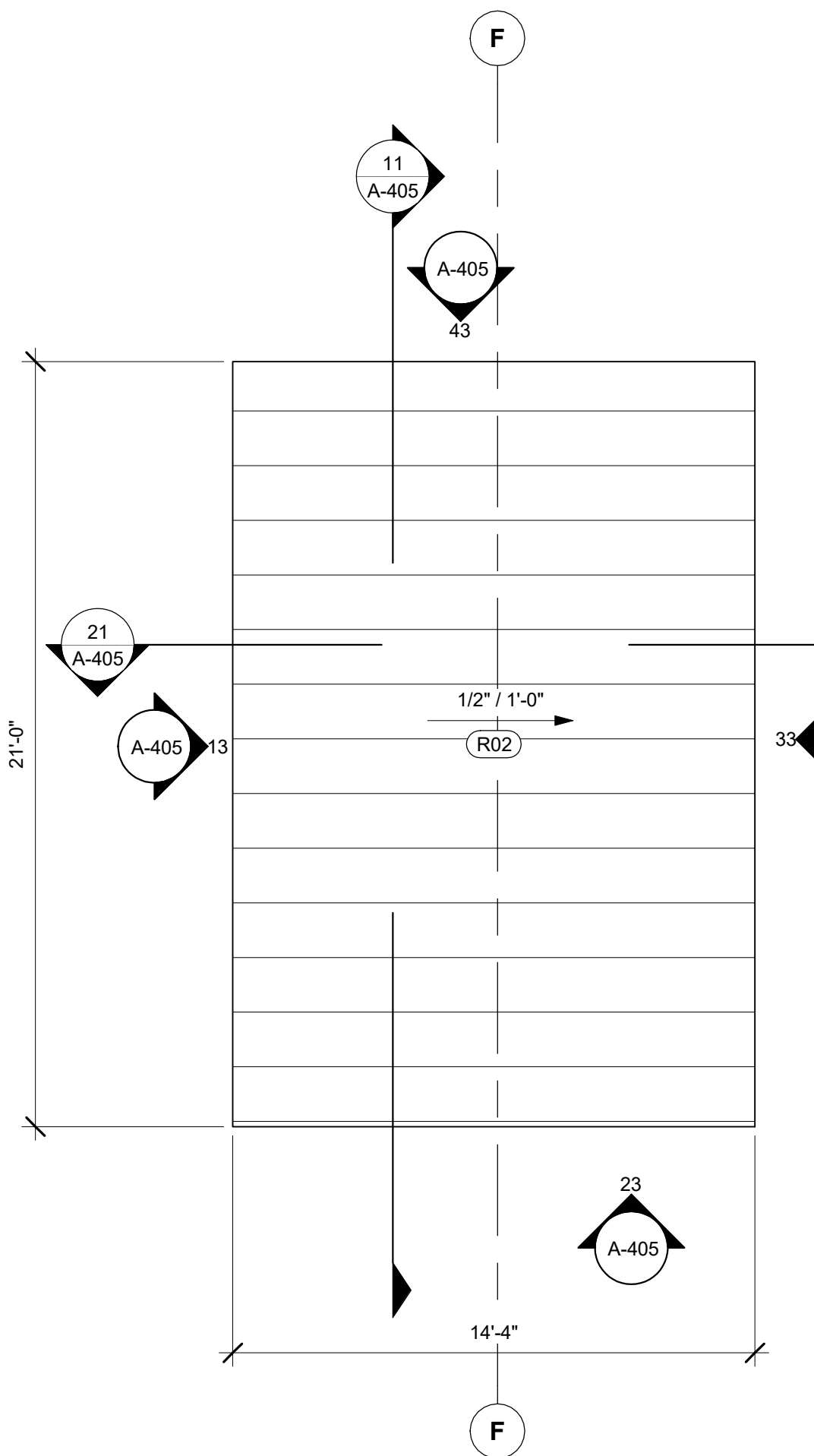
33 ELEVATION - SITE ENCLOSURE - EAST  
 1/4" = 1'-0"



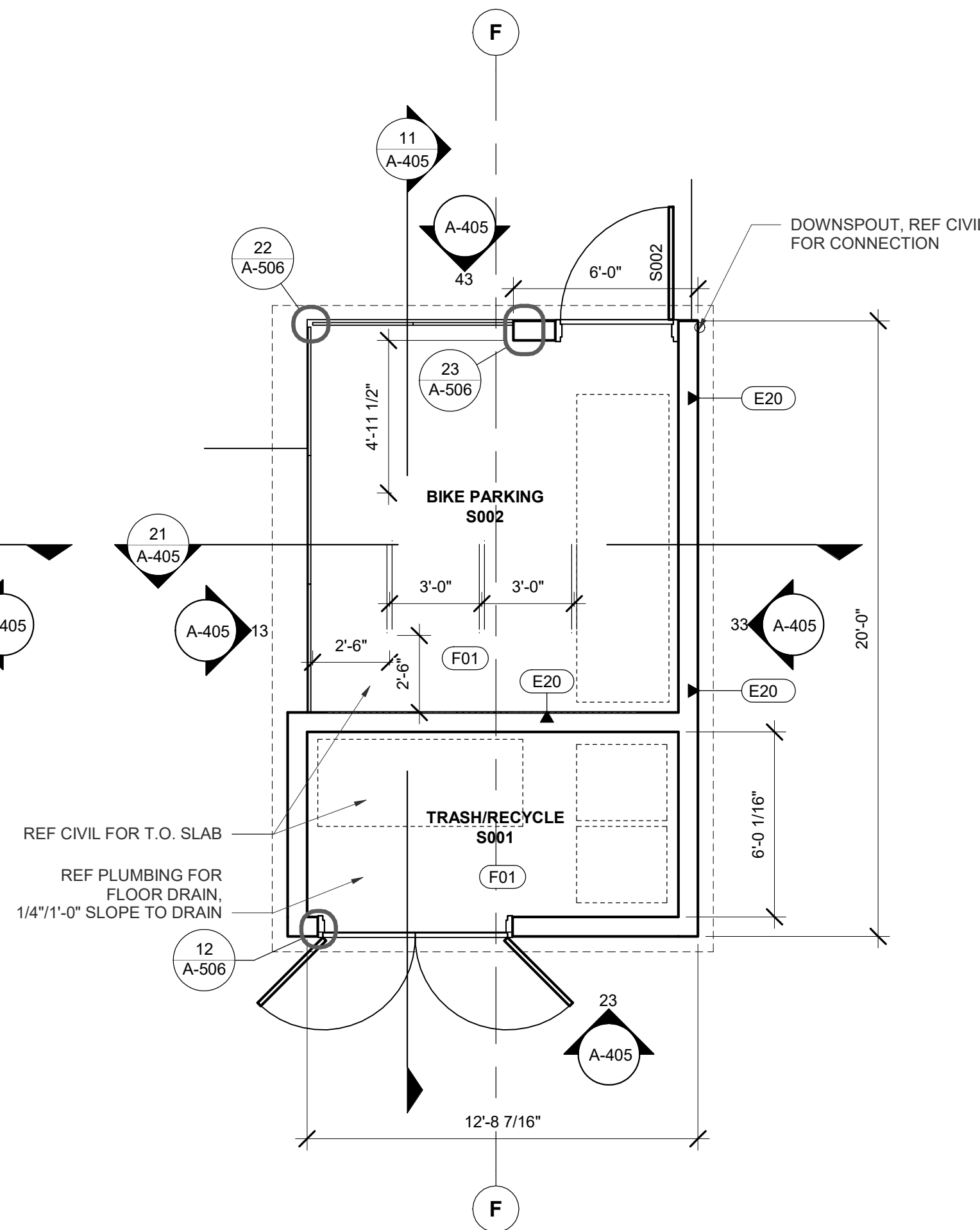
23 ELEVATION - SITE ENCLOSURE - SOUTH  
 1/4" = 1'-0"



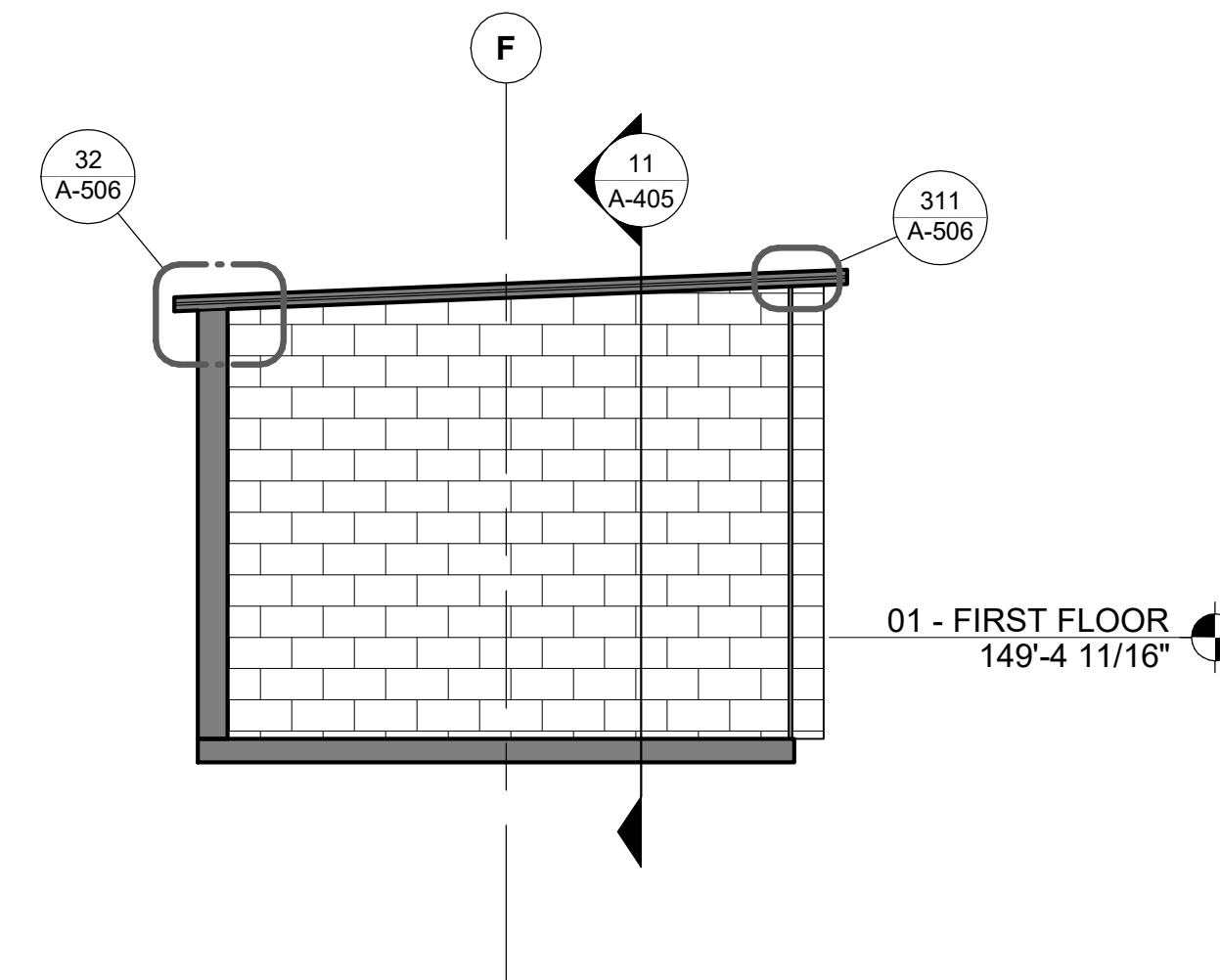
13 ELEVATION - SITE ENCLOSURE - WEST  
 1/4" = 1'-0"



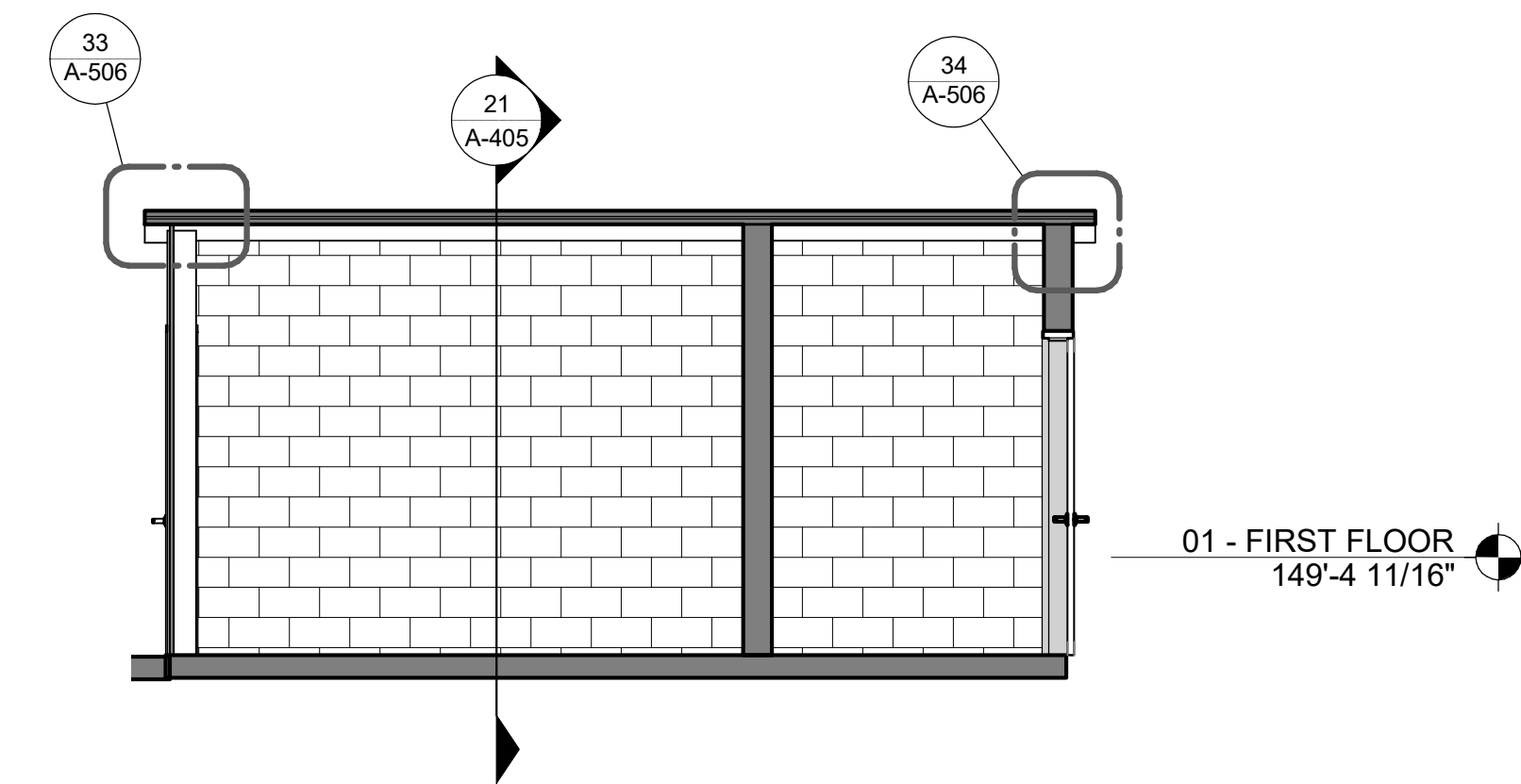
41 SITE ENCLOSURE - ROOF PLAN  
 1/4" = 1'-0"



31 SITE ENCLOSURE - FLOOR PLAN  
 1/4" = 1'-0"



2 SECTION - SITE ENCLOSURE - E/W  
 1/4" = 1'-0"



11 SECTION - SITE ENCLOSURE - N/S  
 1/4" = 1'-0"

01 - FIRST FLOOR  
 149'-4 11/16"

LU 24-014054 CU AD  
 Exhibit C.4

MULTNOMAH COUNTY LIBRARIES  
 ST JOHNS LIBRARY  
 7510 N Charleston Ave, Portland, OR 97203

Mark	Date	Description of Revision	By

Drawn By:	Checked By:
Author	Checker
Building Number:	Approved By:
615	Approver
Multico Project Number:	
P78LB172021 09	

Date: 05/17/2024

ENLARGED  
 TRASH/BIKE  
 ENCLOSURE PLANS  
 & SECTIONS

Sheet A-405  
 Case # LU 24-014054 CU AD  
 Exhibit #4  
 Page 25 of 25





# Conditional Use Review

## LU 24-014054 CU AD

STAFF PRESENTATION TO THE HEARINGS OFFICER

JUNE 3, 2024

BDS STAFF: DON KIENHOLZ, SENIOR PLANNER

# Significant Case Dates

- Application submitted February 15, 2024
- Full 245-Day extension to the 120-day clock (now 365-day clock) and request for evidentiary appeal hearing submitted February 15, 2024
- Application deemed March 27, 2024
- Statutory clock expires on February 27, 2025
- Signs posted on site May 2, 2024
- Affidavit of posting received May 2, 2024
- Public Notice of Hearing mailed May 14, 2024

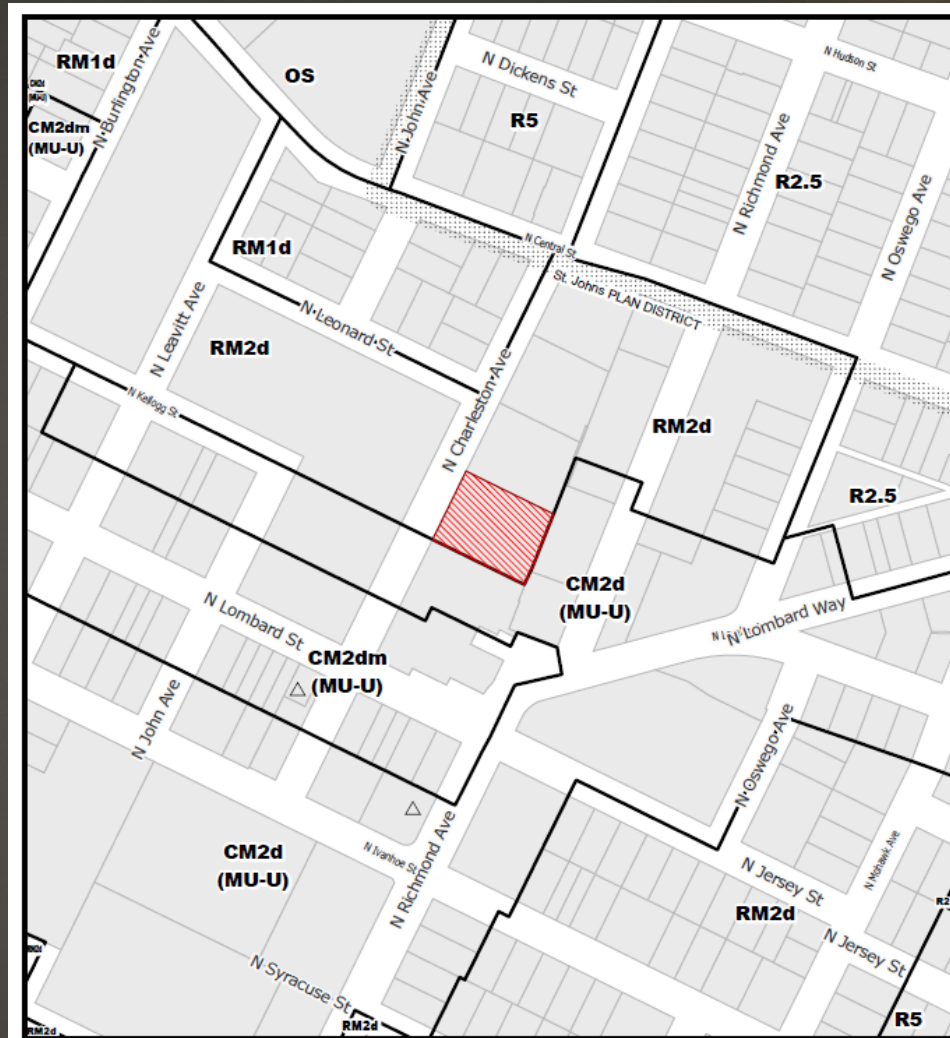


# Applicant's Request:

1. Approval of a Conditional Use Review to remove an 800-sf addition from the rear of the St. Johns Library built in the 1990's and replace it with an approximately 2,950-sf addition for a net increase of approximately 2,100 sf of building area and add a detached accessory building for bike storage and a trash/recycling area.
2. Approval of six Adjustments:
  - Reduce the required side building setback for the addition from the north lot line from 10-ft to 8-ft (33.120.275 C.1 and Table 120-7)
  - Reduce the required rear building setback for the addition from 10-ft to 5-ft. (33.120.275 C.1 and Table 120-7);
  - Reduce required rear building setback for the detached covered accessory building from 10-ft to 5-ft. (33.120.275 C.1 and Table 120-7);
  - Reduce the required L3 landscaping buffer between the proposed addition and the north side lot line that is adjacent to a residential zone from 10-ft to 8-ft. (33.120.275 C.1 and Table 120-7)
  - Increase the maximum building setback from a street in a pedestrian district to the proposed addition from 20-ft to approximately 116-ft (33.120.220.C and Table 120-3); and
  - Allow vehicle area between accessory building and street (33.266.130.C.1 and Table 266-3) in a pedestrian district.



# Zoning Map



For Zoning Code in Effect Post October 1, 2022

**ZONING**

THIS SITE LIES WITHIN THE:  
ST. JOHNS PLAN DISTRICT

- Site
- Plan District
- Historic Landmark

File No. LU 24 - 014054 CU AD  
1/4 Section 2122  
Scale 1 inch = 200 feet  
State ID 1N1W12AB 10300  
Exhibit B Feb 15, 2024

## The SITE

7510 N Charleston Ave.

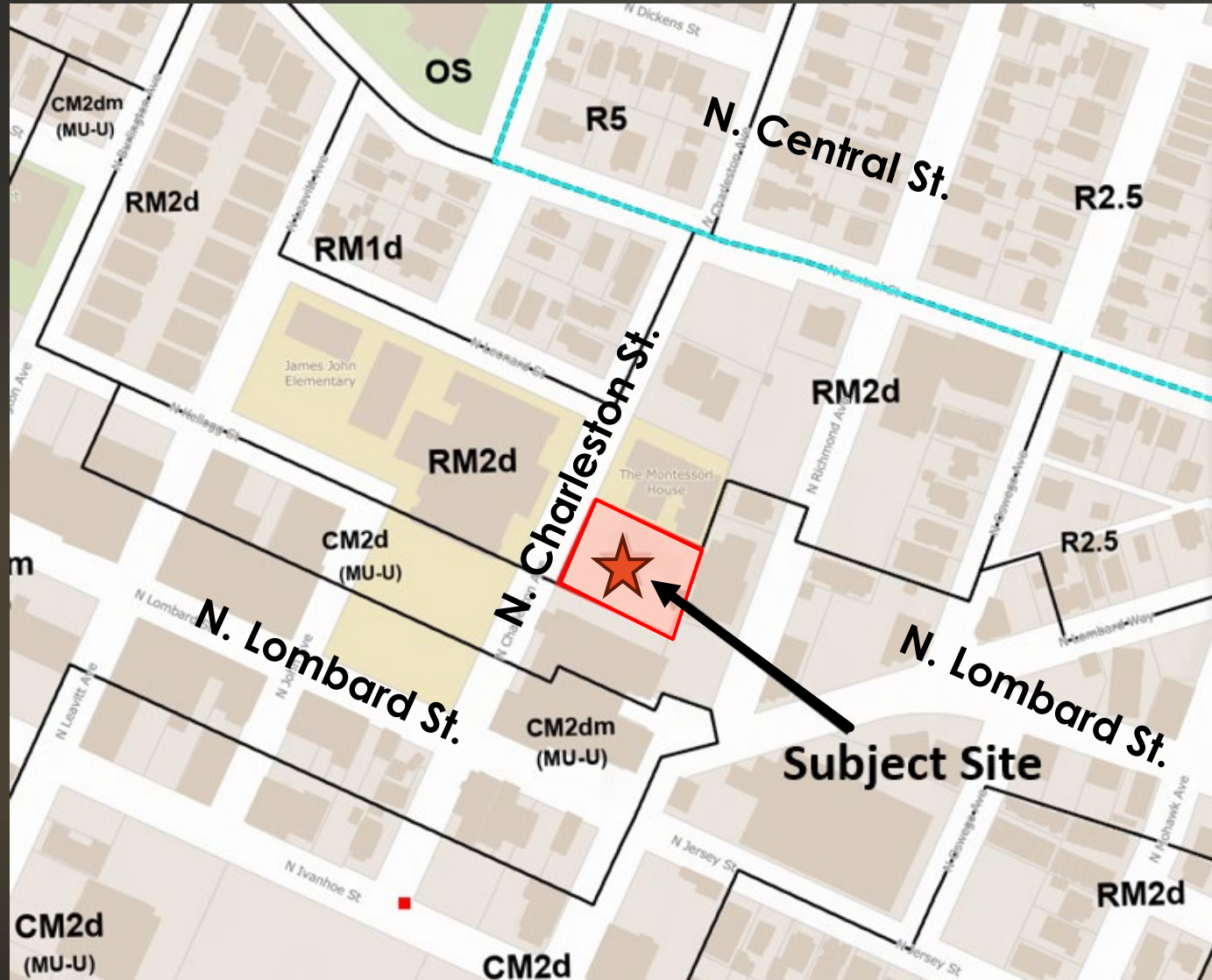
## Zoning:

RM2d





# Vicinity Map



## The SITE

7510 N Charleston Ave.

## Zoning:

RM2d

## Large Scale Area Map





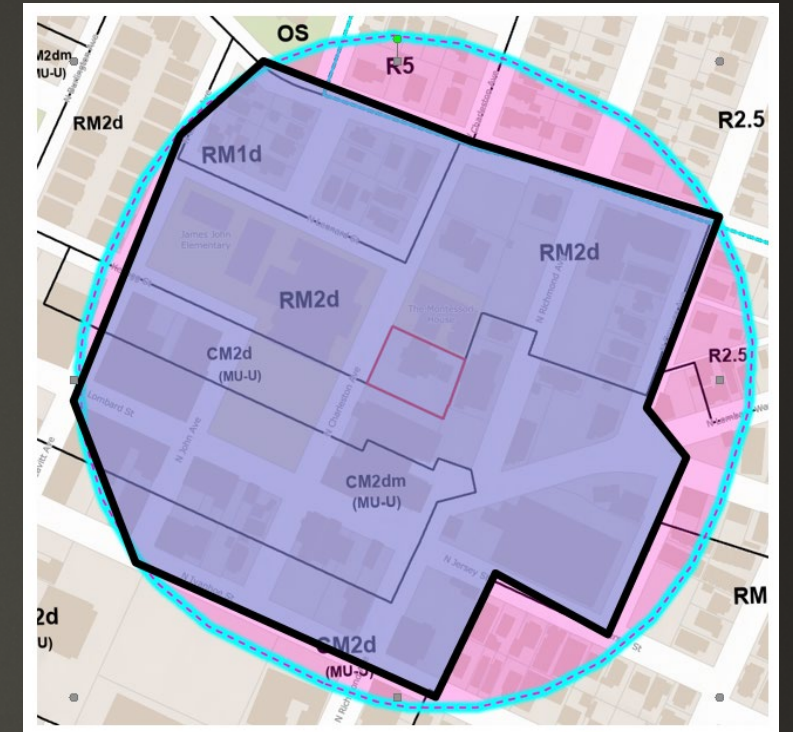
# Conditional Use Approval Criteria 33.815.105: Institutional and Other Uses in Residential and Campus Institutional Zones

A. Proportion of Household Living uses. The overall residential appearance and function of the area will not be significantly lessened due to the increased proportion of uses not in the Household Living category in the residential area. Consideration includes the proposal by itself and in combination with other uses in the area not in the Household Living category and is specifically based on:

1. The number, size, and location of other uses not in the Household Living category in the residential area; and
2. The intensity and scale of the proposed use and of existing Household Living uses and other uses.

*Staff identified an area approximately 600-ft in all directions. Natural boundaries are N. Central St to the north, N. Oswego Ave. to the east, N. Ivanhoe St. to the south and N. Leavitt Ave to the west.*

- *CM2 zoning to south and east;*
- *RM2 to west, north and northeast*
- *RM1 further northwest*





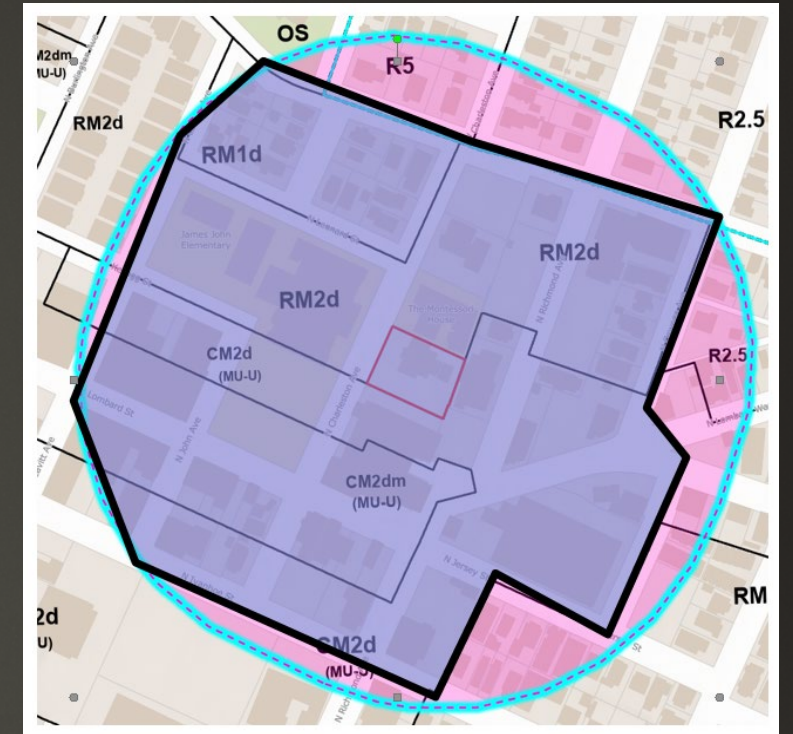
# Conditional Use Approval Criteria

## 33.815.105: Institutional and Other Uses in R Zones

A. **Proportion of Household Living uses.** The overall residential appearance and function of the area will not be significantly lessened due to the increased proportion of uses not in the Household Living category in the residential area. Consideration includes the proposal by itself and in combination with other uses in the area not in the Household Living category and is specifically based on:

1. The number, size, and location of other uses not in the Household Living category in the residential area; and
2. The intensity and scale of the proposed use and of existing Household Living uses and other uses.

- *Addition to an existing non-household living use – doesn't change number or proportion of non-household living uses.*
- *Non-household uses are in the residential zones adjacent of the site - such as schools, religious institutions, retail sales and services, etc.*
- *In the RM zones, only household living uses are found in the RM1 section more than 150-ft away*





# Conditional Use Approval Criteria

## 33.815.105: Institutional and Other Uses in R Zones

### B. Physical compatibility.

1. The proposal will preserve any City-designated scenic resources; and
2. The proposal will be compatible with adjacent residential developments based on characteristics such as the site size, building scale and style, setbacks, tree preservation, and landscaping; or
3. The proposal will mitigate differences in appearance or scale through such means as setbacks, screening, landscaping, tree preservation, and other design features.

*No City-designated scenic resources in area.*

*There are no household-living uses adjacent to the site. Adjacent uses on residentially zoned areas are schools.*

*Development meets the development standards - is below maximum height; below max building coverage, below max FAR; and adds landscaping.*

*Design of proposal maintains existing historic library and is similar in height, design, building coverage, and FAR of development on all adjacent sites.*

*No mitigation necessary.*

# Conditional Use Approval Criteria

## 33.815.105: Institutional and Other Uses in R Zones

C. **Livability.** The proposal will not have significant adverse impacts on the livability of nearby residential zoned lands due to:

1. **Noise, glare from lights, late-night operations, odors, and litter; and**
2. **Privacy and safety issues.**

*Proposal is an addition to an existing library – so no changes to use. Building will increase in size but not change functionally or operationally.*

*Adjacent residentially zoned properties do not have household-living uses.*

*No change in noise, late-night operations, odors or liters. New lights will be Dark Sky Compliant.*

*No changes to use, functionality or operations means there will be no privacy or safety issues.*



# Conditional Use Approval Criteria

## 33.815.105: Institutional and Other Uses in R Zones

### D. Public services.

1. The proposal is supportive of the street designations of the Transportation Element of the Comprehensive Plan;
2. Transportation system:
  - a. The transportation system is capable of supporting the proposed use in addition to the existing uses in the area. Evaluation factors include safety, street capacity, level of service, connectivity, transit availability, availability of pedestrian and bicycle networks, on-street parking impacts, access restrictions, neighborhood impacts, impacts on pedestrian, bicycle, and transit circulation. Evaluation factors may be balanced; a finding of failure in one or more factors may be acceptable if the failure is not a result of the proposed development, and any additional impacts on the system from the proposed development are mitigated;
  - b. Measures proportional to the impacts of the proposed use are proposed to mitigate on- and off-site transportation impacts. Measures may include transportation improvements to on-site circulation, public street dedication and improvement, private street improvements, intersection improvements, signal or other traffic management improvements, additional transportation and parking demand management actions, street crossing improvements, improvements to the local pedestrian and bicycle networks, and transit improvements;
  - c. Transportation improvements adjacent to the development and in the vicinity needed to support the development are available or will be made available when the development is complete or, if the development is phased, will be available as each phase of the development is completed;

*The Portland Bureau of Transportation has reviewed the applicant's Transportation Impact Study authored by registered professional traffic engineers and found the methodologies and analysis were appropriate. PBOT found all intersections operating at acceptable Level of Service, good connectivity for multiple modes, and the conclusions satisfy the approval criteria.*



# Conditional Use Approval Criteria

## 33.815.105: Institutional and Other Uses in R Zones

**3. Public services for water supply, police and fire protection are capable of serving the proposed use, and proposed sanitary waste disposal and stormwater disposal systems are acceptable to the Bureau of Environmental Services.**

**E. Area plans. The proposal is consistent with any area plans adopted by the City Council as part of the Comprehensive Plan, such as neighborhood or community plans.**

*The Water Bureau, Police Bureau and Fire Bureau all reviewed the proposal and determined they could provide adequate service.*

*The Bureau of Environmental Services reviewed the proposal and determined the sanitary, stormwater and drainage systems are acceptable.*

*Site is in the St. Johns-Lombard Neighborhood Plan area. A few policies were identified centering on maintaining a sense of place and small-town feel; preserving the history and identity of the neighborhood; preserving the environment and enhancing the community. Staff found the proposal is supportive and consistent.*



# 6 Adjustments requested

## Adjustment Review Approval Criteria 33.805.040

- A. Granting the adjustment will equally or better meet the purpose of the regulation to be modified
- B. If in a residential, C11, or IR zone, the proposal will not significantly detract from the livability or appearance of the residential area
- C. The cumulative effect of the adjustments results in a project which is still consistent with the overall purpose of the zone
- D. City-designated scenic resources and historic resources are preserved
- E. Any impacts resulting from the adjustment are mitigated to the extent practical
- F. If in an environmental zone, the proposal has as few detrimental environmental impacts on the resource and resource values as is practicable.

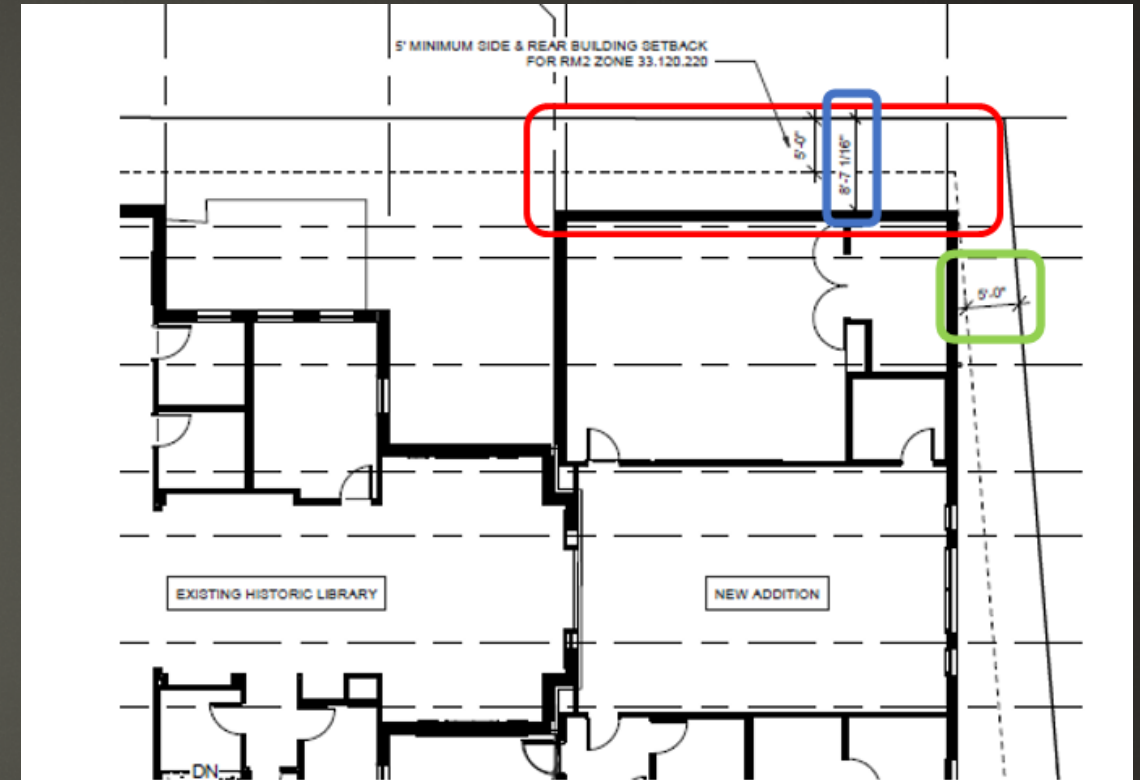
## 33.805.040 – Adjustment Approval Criteria


Criterion A: Granting the adjustment will equally or better meet the purpose of the regulation to be modified.





# Adjustments related to Addition: #1, 2 and 4:

1. Reduce the required side building setback from the north lot line from 10-ft to 8-ft (33.120.275 C.1 and Table 120-7).
2. Reduce the required rear building setback from 10-ft to 5-ft. (33.120.275 C.1 and Table 120-7).
4. Reduce the required L3 landscaping buffer between the proposed addition and the north side lot line that is adjacent to a residential zone from 10-ft to 8-ft. (33.120.275 C.1 and Table 120-7).



Adjustment 1 - reduce side setback for addition from 10-ft to 8-ft 

Adjustment 2 – Reduce rear setback for addition from 10-ft to 5 ft 

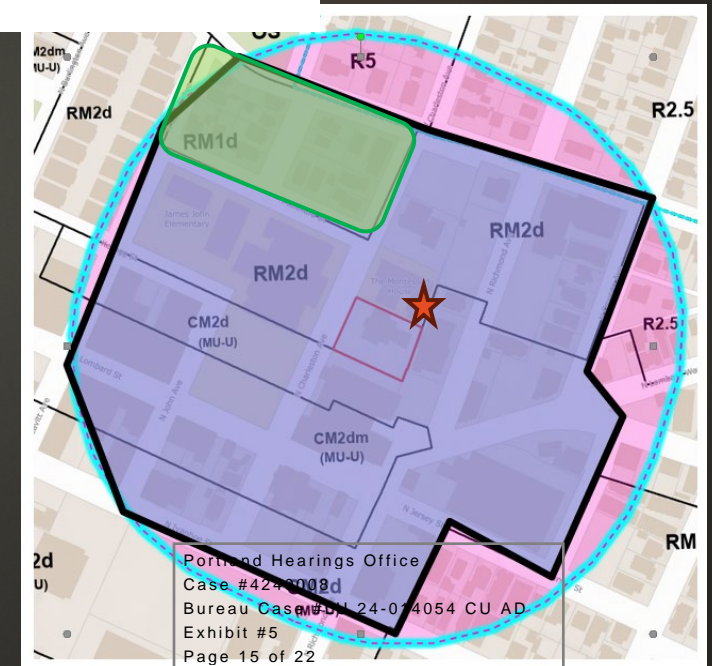
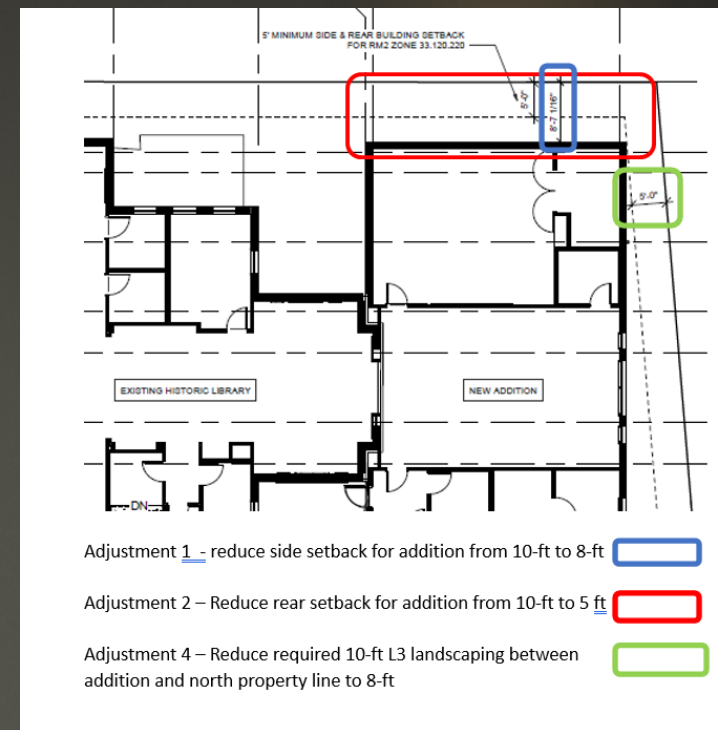
Adjustment 4 – Reduce required 10-ft L3 landscaping between addition and north property line to 8-ft 

# Applicable purpose statement for Adjustments 1, 2 and 4 for Addition:

## 33.120.275.A:

“... is to maintain compatibility with and limit the negative impacts on surrounding residential areas.”

- Area of concern is in green, approximately 250-ft away.
- Impacts discussed in Conditional Use approval Criteria 33.815.105.B and C and found to be met.
  - Transportation impacts; livability impacts.
- Adjacent properties are non-household uses (Schools, Religious Institutional Use, Retail Sales and Service).
- Reduced landscaping is only 20% in width and adjacent to a school (non-household living use) with its own buffer.





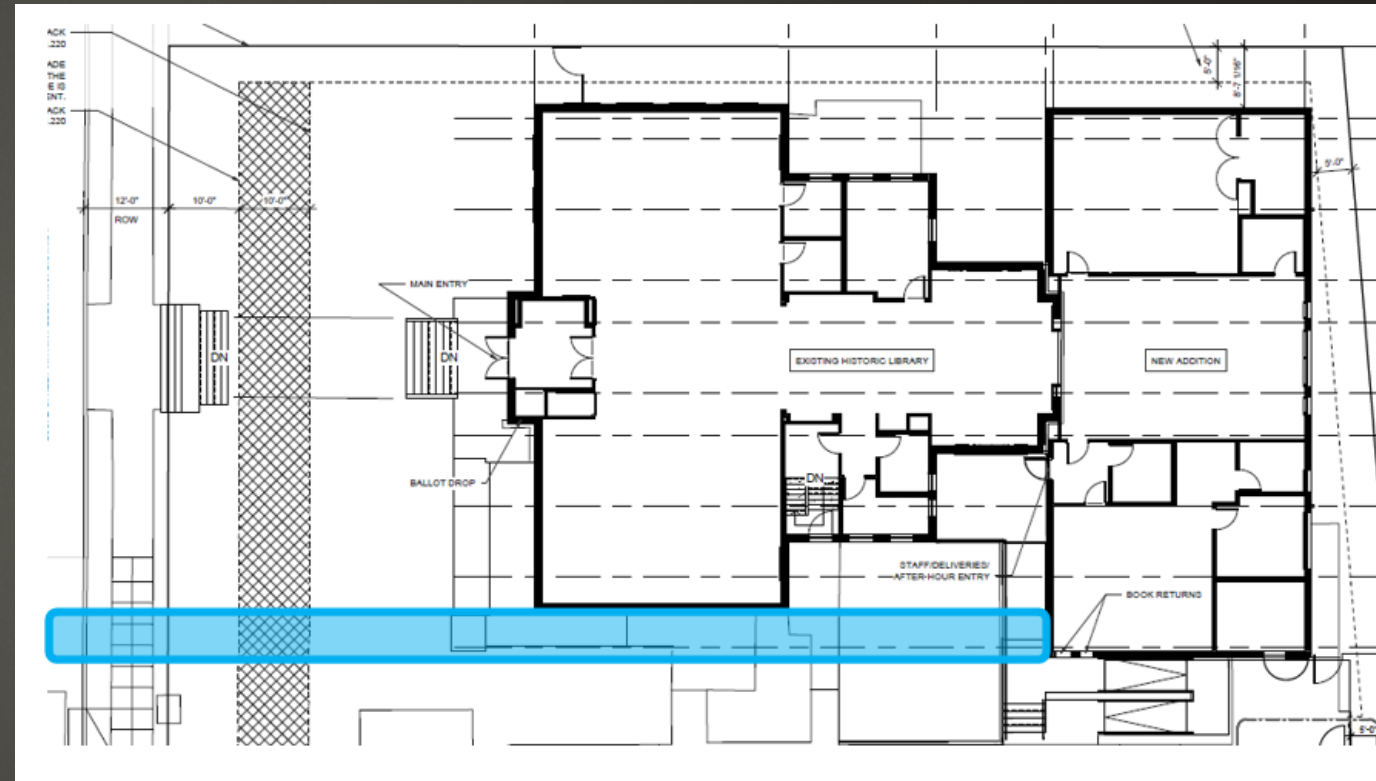
# Adjustments related to addition: #5:

#5 - Increase the maximum building setback from a street in a pedestrian district from 20-ft to approximately 116-ft (33.120.220.C and Table 120-3)

## 33.120.220.A:

*“Setback requirements along transit streets create an environment that is inviting to pedestrians and transit users.”*

- The area of addition subject to maximum setback is a narrow 15-ft section
- Adjustment preserves the existing historic library by not demolishing it or blocking it from view by building in front of it.
- Retained historic library has grand main entrance that connects to the sidewalk and is the primary focal point for pedestrians and transit users.



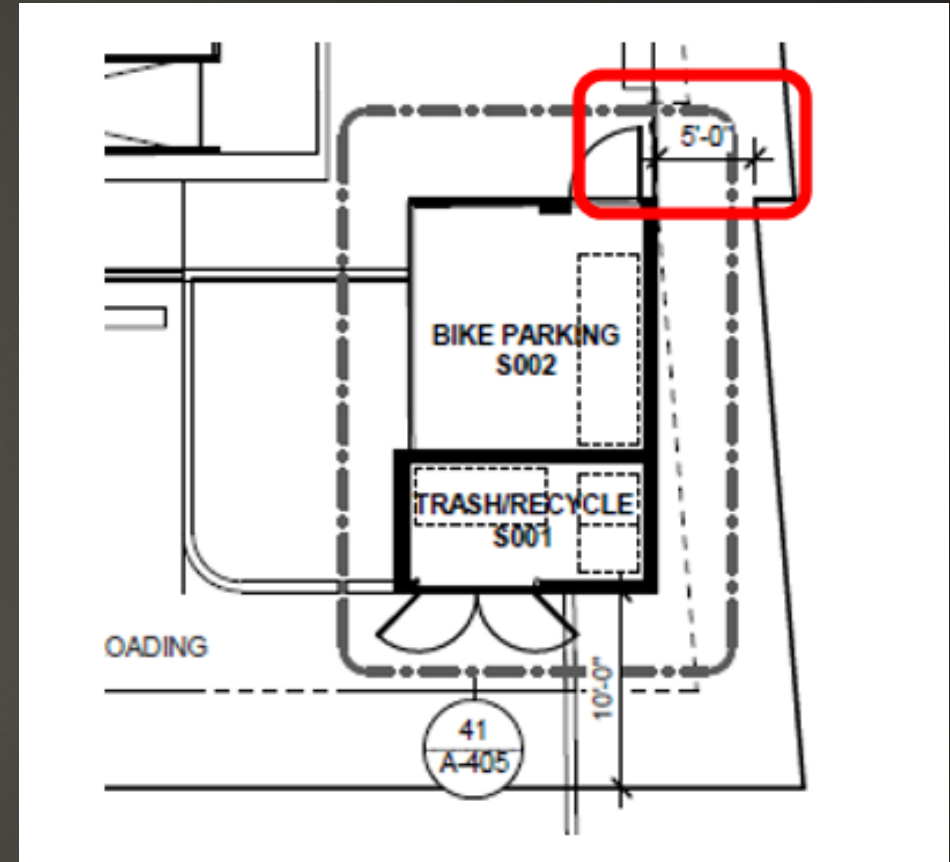
# Adjustment related to Accessory Building: #3:

3. Reduce required rear building setback for the detached covered accessory building from 10-ft to 5-ft. (33.120.275 C.1 and Table 120-7).

## 33.120.275.A:

*“... to maintain compatibility with and limit the negative impacts on surrounding residential areas.”*

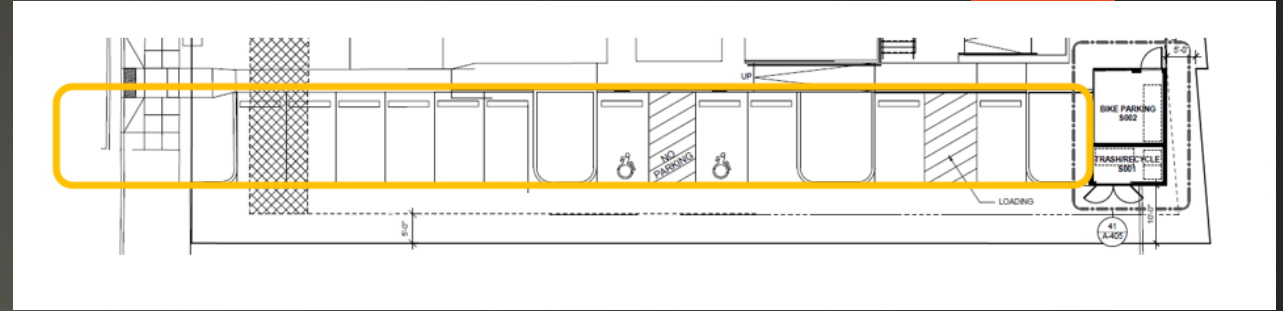
- Residential area as identified is northwest of the site more than 250-ft from accessory building.
- Property adjacent to reduced rear setback is zoned CM2, so not part of residential area.
- Property to north is approximately 100-ft away, zoned RM2 and has a School use. Since not household living use, it will not be impacted.





# Adjustments related to Accessory Building: #6

6. Allow vehicle area between building and street (33.266.130.C.1 and Table 266-3) in Pedestrian District.



*Purpose statement from 33.266.130.A:*

*“Together with the transit street building setback standards in the base zone chapters, the vehicle area location regulations:*

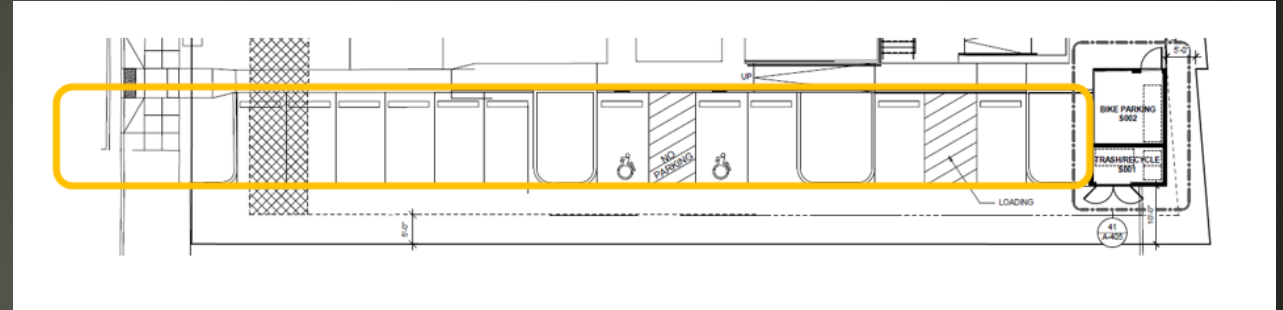
- Provide pedestrian access that is protected from auto traffic;*
- Create an environment that is inviting to pedestrians and transit users, especially on transit streets and in Pedestrian Districts;*
- Limit the prominence of vehicle areas along street frontages and create a strong relationship between buildings and the sidewalk;*
- Create a sense of enclosure on transit and pedestrian street frontages; and*
- Limit the size of paved parking area and the type of paving material allowed in order to limit increases in temperature associated with asphalt and reduce impacts from urban heat islands.”*

# Adjustments #6 Details

6. Allow vehicle area between building and street (33.266.130.C.1 and Table 266-3).

Staff found:

- The accessory building is connected to existing pedestrian system and protected from vehicles by the curb and new landscaping.
- Site is in a pedestrian district and the existing historic library building has a grand main entrance that creates an environment that is inviting to pedestrians.
- The accessory building is small and so far away, a person will not see a relationship between the street and building.
- The existing vehicle area is limited to the southern 30-ft of the 130-ft wide lot and is being reduced in size with the elimination of 2 parking spaces.
- The existing paving is being reduced and amount of landscaping increased.





## 33.805.040 – Adjustment Approval Criteria

Criterion B: If in a residential zone...the proposal will not significantly detract from the livability of appearance of the residential area.

Staff found:

- An evaluation on both livability and appearance were already conducted under the conditional use approval criteria (33.815.105.A and 33.815.105.C) and the standard met.
- Area of concern more than 150-ft from property line
- Adjacent properties in non-household living uses or zoned CM2

## 33.805.040 – Adjustment Approval Criteria

Criterion C: If more than one adjustment is being requested, the cumulative effect of the adjustments results in a project which is still consistent with the overall purpose of the zone

The proposal was evaluated against the purpose of the multi-dwelling zones in 33.120.010.A and staff found the Adjustments met the purpose because:

- The adjustments do not increase the bulk on site as viewed from the street. They modify setbacks to allow the addition and accessory structure while preserving the historic library and keep it the prominent feature on site.
- The modified setbacks are to properties in a school use (north) and in the CM2 zone (east). Neither property has household living and will not be adversely impacted by the proposal.
- The proposal meets the height, building coverage and floor area limitations of the RM2 zone while keeping the existing historic library intact.
- The proposal reduces the amount of vehicle area on site to reduce the heat island effect, increases landscaping and improves water filtration due to the new landscaping.
- As staff found in the Conditional Use approval criteria, the proposal will be consistent with the nearby residential area and fit the aesthetic and residential character of the neighborhood



# SUMMARY

Staff recommends the Hearings officer approve the application with conditions

## RECOMMENDED CONDITIONS OF APPROVAL:

- A. As part of the building permit application submittal, the following development-related conditions (Condition B) must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE - Case File LU 24-014054 CU AD." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED." No field changes allowed.**
- B. New exterior lights must be DarkSky International compliant.**



Hearings Office

City of Portland

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www.portland.gov/omf/hearings fax: 503.823.4347
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RECORD CLOSING INFORMATION

LU CASE # 24-014054 CU AD

Hearings Officer: Nancy Hochman

HO CASE # 4240008

Hearing began at 2:00 a.m. p.m. on June 3, 2024 and closed at 2:45 a.m. p.m.

THE RECORD WAS CLOSED AT THAT TIME.

Hearing is continued to a.m. p.m. on because:

Record was held open until:

- 4:00 p.m. for
4:00 p.m. for
4:00 p.m. for
4:00 p.m. for

The record will close at 4:00 p.m. on the latest date shown. If, in the applicant's final rebuttal, the Hearings Officer receives a request from the applicant to close the record early, the Hearings Officer has discretion to grant or deny the request.

The applicant waived applicant's rights granted by ORS 197.763 (6)(e), if any, to an additional seven day time period to submit written rebuttal into the record.

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