



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
FROM CONCEPT TO CONSTRUCTION

Carmen Rubio, Commissioner  
David Kuhnhausen, Interim Director  
Phone: (503) 823-7300  
TTY: 711  
[www.portland.gov/bds](http://www.portland.gov/bds)

**DATE:** 1/7/24  
**TO:** LU 18-137963 DZM  
**CC:** Omar Martinez Barrera | Casa Bonita LLC  
**FROM:** Puja Bhtani, Land Use Services  
**RE:** Exhibit List for LU 18-145469 HR

The intent of the memo is to clarify the final exhibit list for case file LU 18-145469 HR. The final decision notice mailed on 9/17/18 had the incorrect exhibit list at the end of the decision. Below is the correct exhibit list.

**EXHIBITS**

NOT ATTACHED UNLESS INDICATED

**A. Applicant's Statement**

1. Original Narrative
2. Original Plan Set, Not approved-for review only
3. Photographs
4. Applicant memo, in response to Incomplete letter, 4/27/18
5. Revised Plan Set, Not approved-for review only, 4/27/18
6. Manufacturers Cutsheets, 4/27/18
7. Photographs
8. Feedback drawings, 6/11/2018
9. Feedback drawings, 6/13/2018
10. Request to hold application incomplete, 6/12/18
11. Applicant memo proposing gable dormer roof revisions, 6/20/18
12. Precedent gable dormer photographs
13. Gable and shed dormer elevations and perspectives
14. Revised plan set, not approved- for review only, 7/30/18
15. Request to hold application incomplete, 7/31/18
16. Request to declare application complete, 8/8/18
17. Revised plan set, not approved- for review only, 8/3/18
18. Revised cut sheets, not approved- for review only, 8/3/18

**B. Zoning Map (attached)**

**C. Plans/Drawings:**

1. Site Plan (attached)
2. Existing and proposed north-east, south-east elevation (attached)
3. Existing and proposed south-west, north-west elevation
4. As built floor plan
5. Proposed main level floor plan
6. 2<sup>nd</sup> level floor plan
7. Building Sections
8. Detailed window sections
9. Detailed window sections
10. Detailed window and skylight sections
11. Detailed Door sections
12. Manufacturers cut sheets

**D. Notification information:**

1. Mailing list
2. Mailed notice

**E. Agency Responses:**

1. Fire Bureau
2. Life Safety Division of Development Services



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---

F. Correspondence:

1. Henry C. Kunowski, 8/28/18, wrote in support of the proposal.

G. Other:

1. Original LU Application
2. Incomplete letter send by staff, 4/7/2018
3. Staff feedback regarding dormer design, 6/18/2018
4. Staff feedback regarding guidelines, 7/5/2018
5. Permit to replace existing garage, 3/18/91
6. Request for Extension of 120-day review period.



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
 FROM CONCEPT TO CONSTRUCTION

Ted Wheeler, Mayor  
 Rebecca Esau, Director  
 Phone: (503) 823-7300  
 Fax: (503) 823-5630  
 TTY: (503) 823-6868  
[www.portlandoregon.gov/bds](http://www.portlandoregon.gov/bds)

**RECORDER**

Please stamp the County Recorder's copy of the recording sheet and return with the attached decision to City of Portland, BDS 299/5000/BDS LUR

Please bill City of Portland, Account #1113

Multnomah County Official Records  
 E Murray, Deputy Clerk  
 2018-103989  
  
 \$101.00  
 02197672201801039890060063  
 10/04/2018 04:18:09 PM  
 2R-L U A Pgs=6 Stn=70 HUNTK  
 \$30.00 \$11.00 \$60.00

**Date:** September 17, 2018  
**To:** Interested Person  
**From:** Puja Bhutani, Land Use Services  
 503-823-7226 / [Puja.Bhutani@portlandoregon.gov](mailto:Puja.Bhutani@portlandoregon.gov)

**NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD**

The Bureau of Development Services has approved a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

**CASE FILE NUMBER: LU 18-145469 HR – ADU CONVERSION**

**GENERAL INFORMATION**

**Applicant:** Omar Martinez Barrera | Casa Bonita LLC  
 1631 NE Broadway #721 | Portland, OR 97232  
[casabonitallc@gmail.com](mailto:casabonitallc@gmail.com)

**Owner:** James E McCandlish & Yunhua Y McCandlish  
 1903 SE Elliott Ave. | Portland, OR 97214-4815

**Site Address:** 1903 SE ELLIOTT AVE

**Legal Description:** BLOCK 17 SWLY 33 1/3' OF NELY 36 2/3' OF LOT 17, LADDS ADD  
**Tax Account No.:** R463303830  
**State ID No.:** 1S1E02DB 07800

**Quarter Section:** 3232

**Neighborhood:** Hosford-Abernethy, contact chair@handpdx.org.  
**Business District:** Hawthorne Blvd. Bus. Assoc., contact explore@hawthornepdx.com  
**District Coalition:** Southeast Uplift, contact Leah Fisher at 503-232-0010.

**Plan District:** None  
**Other Designations:** Non-contributing resource in the Ladd's Addition Historic District.

**Zoning:** R5 – Residential 5,000, Single-Dwelling Residential Zone  
**Case Type:** HR – Historic Resource Review  
**Procedure:** Type II, an administrative decision with appeal to the Landmarks Commission.

**PROPOSAL:**

The applicants are seeking historic resource review approval to convert an existing garage into an accessory dwelling unit in the Ladd's Addition Historic District. The proposed exterior alterations include:

1. North East Elevation: Remove the existing garage door. Add two new wood windows, and an entrance which includes a pitched canopy and a wood door with lites.
2. South East Elevation: Remove the existing doorway and finish the opening to match the existing exterior lap siding. The roof will include a new 4/12 pitch shed dormer and a new 24"x24" skylight.
3. North West Elevation: Three (3) new 18" x18" fixed windows and two (2) new 24"x24" skylights are proposed.

Historic Resource Review is required because the proposal is for non-exempt exterior alterations to a structure within the Ladd's Addition Historic District.

**Relevant Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant approval criteria are:

- Ladd's Addition Historic District Guidelines

**CONCLUSIONS**

The proposed exterior alterations will be compatible with the existing character and architectural features of the house, adjacent properties and the rest of the district. The purpose of the Historic Resource Review process is to ensure that additions, new construction, and exterior alterations to historic resources do not compromise their ability to convey historic significance. This proposal meets the applicable Historic Resource Review criteria and therefore warrants approval.

**ADMINISTRATIVE DECISION**

Approval of historic resource review to convert an existing garage into an accessory dwelling unit in the Ladd's Addition Historic District. The proposed exterior alterations include:

1. North East Elevation: Remove the existing garage door. Add two new wood windows, and an entrance which includes a pitched canopy and a wood door with lites.
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Approved per the approved site plans, Exhibits C-1 through C-12, signed and dated September 12, 2018, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B through C) must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be

labeled "ZONING COMPLIANCE PAGE - Case File LU 18-145469 HR." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."

- B. At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.
- C. No field changes allowed.

**Staff Planner: Puja Bhutani**

**Decision rendered by:**  **on September 12, 2018**

By authority of the Director of the Bureau of Development Services

**Decision mailed: September 17, 2018**

**Last date to Appeal: October 1, 2018 by 4:30 pm.**

**EFFECTIVE DATE (IF NO APPEAL): OCTOBER 2, 2018. DECISION MAY BE RECORDED ON THIS DATE.**

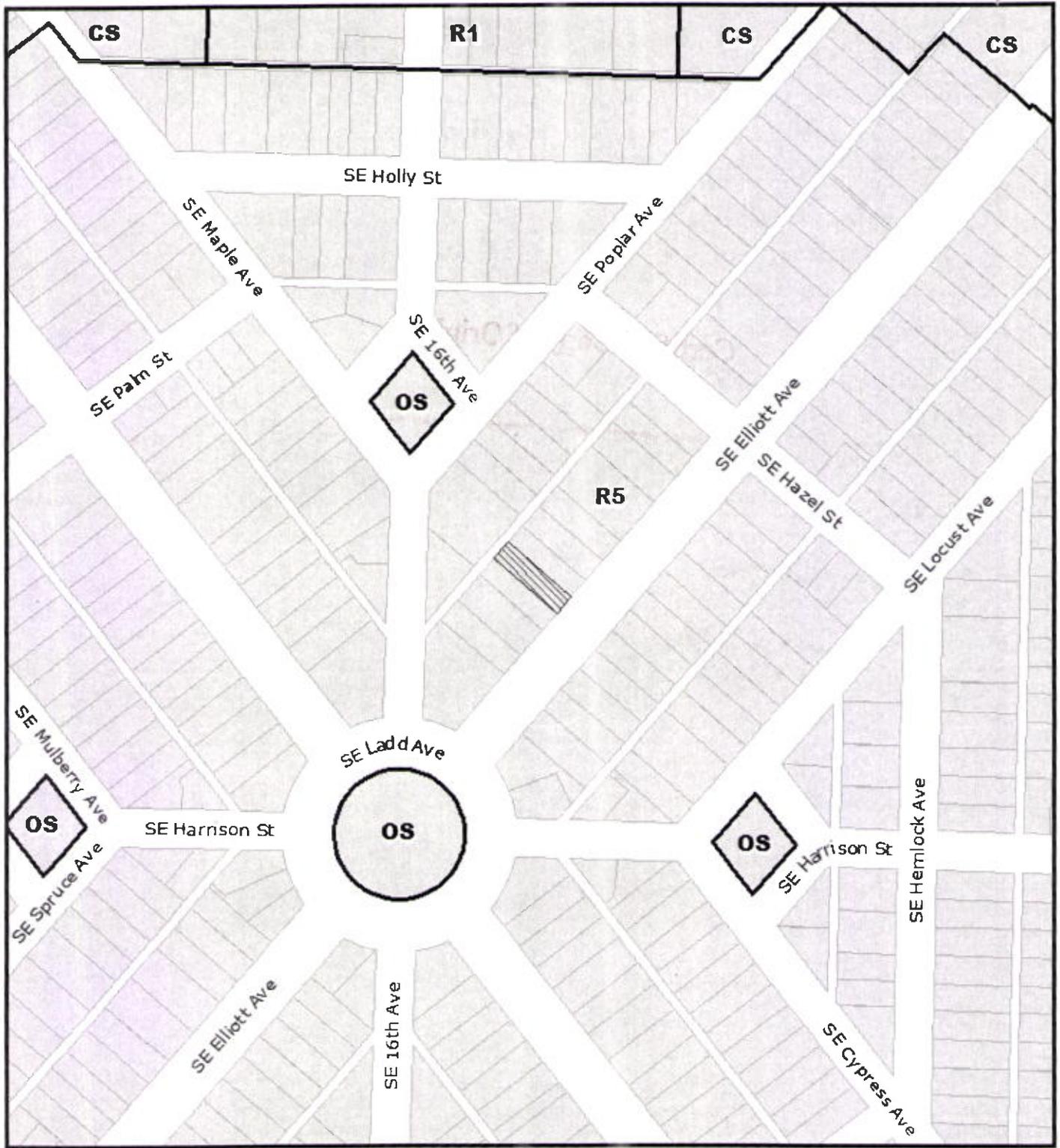
**City Stamp**

**Kimberly Tallant, Principal Planner**

**City of Portland**  
Bureau of Development Services  
1900 SW Fourth Ave, #5000  
Portland, OR 97201

Date: OCTOBER 2, 2018

  
Representative



# ZONING



THIS SITE LIES WITHIN THE:  
LADD'S ADDITION HISTORIC DISTRICT

File No.	LU 18-145469 HR
1/4 Section	3232
Scale	1 inch = 200 feet
State ID	1S1E02DB 7800
Exhibit	B Apr 06, 2018

**MCCANDLISH ADU**

412 SHED ROOF DORMER

1903 SE Elliot Ave.  
Portland, OR 97214

**Job Description:**

- Convert existing detached garage into ADU.
- Adding a dormer.
- New exterior wood door with lites.
- New wood windows.
- New covered entry.

**Building Coverage:**

Existing: 1,458 SF  
Proposed: 1,458 SF (No Changes)

**Homeowner:**

Jim McCandlish

**Contractor:**

Casa Bonita LLC  
1631 NE Broadway St #721  
Portland, OR 97232  
CCB: 189948

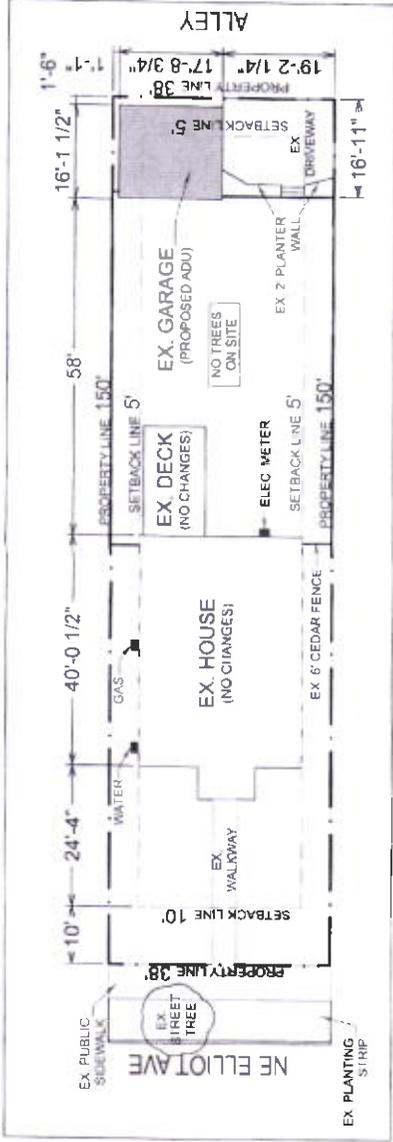
**Drawings:**

Precision  
9655 SW Sunshine Ct #700  
Beaverton, OR 97005  
CCB: 114274

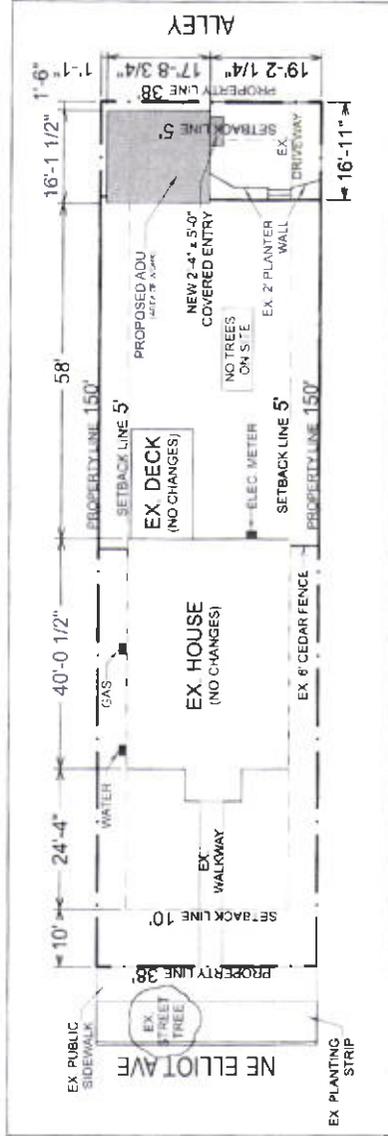
24695 571-412

**DISCLAIMER**

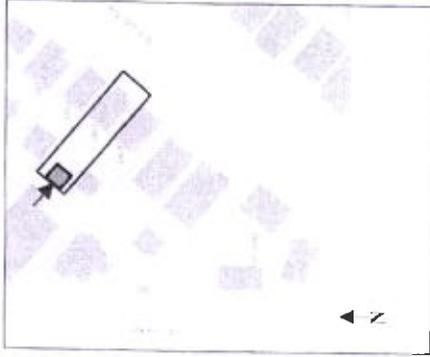
To the best of knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints are made will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. Designer is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.



**A EXISTING SITE PLAN**  
1  
1" = 20'

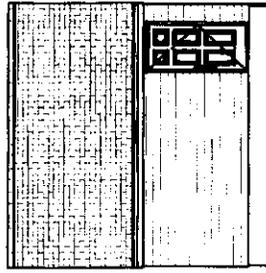
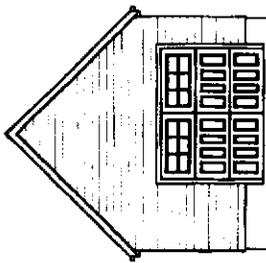


**B PROPOSED SITE PLAN**  
1  
1" = 20'



**C VICINITY MAP**  
1  
NTS

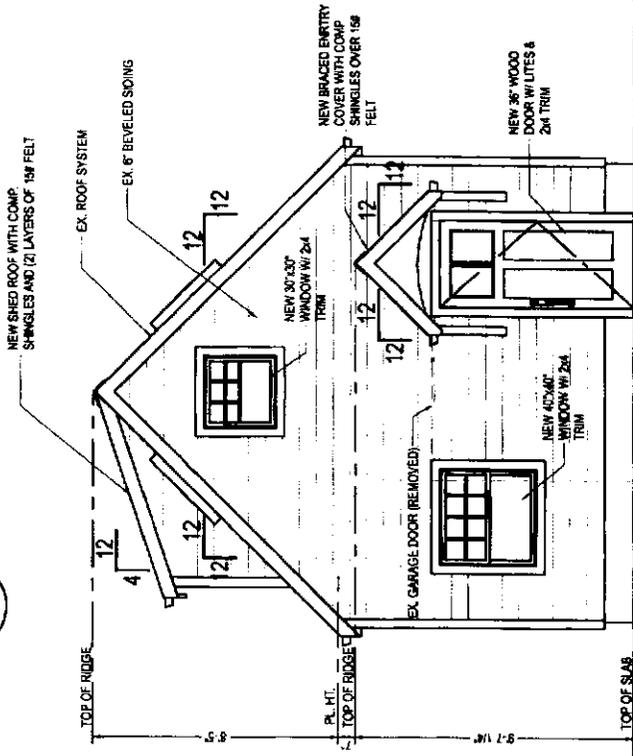
\*Approved\*  
City of Portland  
Bureau of Development Services  
Planner *db*  
Date 9.12.18  
\* This approval applies only to the features indicated and is not applicable to any other features or conditions.



**\*Approved\***  
 City of Portland  
 Bureau of Development Services  
 Planner: *pb*  
 Date: *9-12-18*  
 \* This approval applies only to the revisions requested and is subject to all conditions of approval.  
 Approved: *[Signature]*  
 Title: *[Title]*

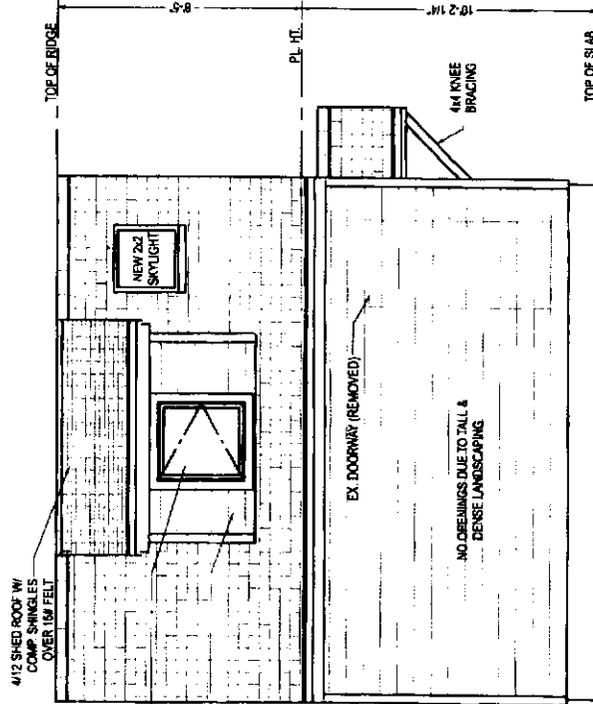
**A** EX. NORTH-EAST ELEVATION  
 2 1/8" = 1'-0"

**B** EX. SOUTH-EAST ELEVATION  
 2 1/8" = 1'-0"



**GENERAL NOTES:**  
 - ALL NEW SIDING, ROOF & TRIM TO MATCH EXISTING MATERIALS & COLORS  
**WINDOW NOTES:**  
 - ALL NEW WINDOWS AND DOORS  
 - WINDOWS AND DOORS TO BE WOOD ON THE INTERIOR AND EXTERIOR  
 - ALL WILL HAVE 2x4 TRIM ON EXTERIOR

NEW 37' x 38' CASERMENT WINDOW  
 NEW CORNER W/ 6\"/>



**C** PROP. NORTH-EAST ELEVATION  
 2 1/4" = 1'-0"

**D** PROP. SOUTH-EAST ELEVATION  
 2 1/4" = 1'-0"



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Ted Wheeler, Mayor  
Rebecca Esau, Director  
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Fax: (503) 823-5630  
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### **CASE FILE NUMBER: LU 18-145469 HR – ADU CONVERSION**

#### **GENERAL INFORMATION**

**Applicant:** Omar Martinez Barrera | Casa Bonita LLC  
1631 NE Broadway #721 | Portland, OR 97232  
[casabonitallc@gmail.com](mailto:casabonitallc@gmail.com)

**Owner:** James E McCandlish & Yunhua Y McCandlish  
1903 SE Elliott Ave. | Portland, OR 97214-4815

**Site Address:** 1903 SE ELLIOTT AVE

**Legal Description:** BLOCK 17 SWLY 33 1/3' OF NELY 36 2/3' OF LOT 17, LADDS ADD  
**Tax Account No.:** R463303830  
**State ID No.:** 1S1E02DB 07800  
**Quarter Section:** 3232

**Neighborhood:** Hosford-Abernethy, contact [chair@handpdx.org](mailto:chair@handpdx.org).  
**Business District:** Hawthorne Blvd. Bus. Assoc., contact [explore@hawthornepdx.com](mailto:explore@hawthornepdx.com)  
**District Coalition:** Southeast Uplift, contact Leah Fisher at 503-232-0010.

**Plan District:** None  
**Other Designations:** Non-contributing resource in the Ladd's Addition Historic District.

**Zoning:** R5 – Residential 5,000, Single-Dwelling Residential Zone  
**Case Type:** HR – Historic Resource Review  
**Procedure:** Type II, an administrative decision with appeal to the Landmarks Commission.

#### **PROPOSAL:**

The applicants are seeking historic resource review approval to convert an existing garage into an accessory dwelling unit in the Ladd's Addition Historic District. The proposed exterior alterations include:

1. North East Elevation: Remove the existing garage door. Add two new wood windows, and an entrance which includes a pitched canopy and a wood door with lites.
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3. North West Elevation: Three (3) new 18” x18” fixed windows and two (2) new 24”x24” skylights are proposed.

Historic Resource Review is required because the proposal is for non-exempt exterior alterations to a structure within the Ladd’s Addition Historic District.

**Relevant Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant approval criteria are:

- Ladd’s Addition Historic District Guidelines

## ANALYSIS

**Site and Vicinity:** The Peter & Katherine Krieger House was designed and built by architect Albert Brugger in 1925. The subject property is located in the north east section of Ladd’s Addition and fronts SE Elliott Avenue to the south east, with alley access off of SE 16th Avenue. The existing house is a one-and-one-half story rectangular building has a steeply-pitched gable roof with a clipped end and minimal boxed eaves. The single-bay pedimented gabled porch is partially enclosed, with a segmental-arched entry and concrete stairs with a wrought-iron railing. Windows are typically eight-over-one double-hung sashes; the front elevation windows have been replaced with aluminum sliders. The building has been sided with asbestos shingles, altering the window trim. It has a concrete foundation and basement and a typical mid-block setback; the lot has a number of flowering shrubs and hedges, including a rose garden in the north side yard. Given previous alterations noted above, this house has been inventoried in the National Register as non-contributing.

Ladd’s Addition Historic District is listed in the National Register of Historic Places for its unique contribution to the practice of community planning and landscape architecture. Its pattern of streets, alleys, and public gardens, skewed diagonally to the compass, was virtually without precedent when it was laid out by William Sergeant Ladd in 1891. Several circumstances, including Ladd’s untimely death in 1893 and a general economic downturn beginning at about the same time, contributed to a significant delay in the building up of the platted subdivision. Hence, the mean construction date for contributing buildings in the district is 1924.

**Zoning:**

The Residential 5,000 (R5) single-dwelling zone is intended to preserve land for housing and to provide housing opportunities for individual households. The zone implements the comprehensive plan policies and designations for single-dwelling housing. Minimum lot size is 3,000 square feet, with minimum width and depth dimensions of 36 and 50 feet, respectively. Minimum densities are based on lot size and street configuration. Maximum densities are 1 lot per 5,000 square feet of site area.

The Historic Resource Protection overlay is comprised of Historic and Conservation Districts, as well as Historic and Conservation Landmarks and protects certain historic resources in the region and preserves significant parts of the region’s heritage. The regulations implement Portland’s Comprehensive Plan policies that address historic preservation. These policies recognize the role historic resources have in promoting the education and enjoyment of those living in and visiting the region. The regulations foster pride among the region’s citizens in their city and its heritage. Historic preservation beautifies the city, promotes the city’s economic health, and helps to preserve and enhance the value of historic properties.

Ladd's Addition is Portland's oldest planned residential community (1891) and one of the oldest in the western United States. Ladd's radial street plan marked a dramatic break in Portland's typical grid street pattern. With a formal symmetry echoing Renaissance cities and gardens, the radial streets converge at five formal gardens, which are the showpieces of the community. Parking strips are lines with mature street trees, green archways of elms and maples. The architectural character of Ladd's Addition was established in the three decades following the turn of the century. Although the individual structures represent a variety of styles, including Bungalow, Mission, Tudor and Colonial Revival, they have a continuity of materials, scale, detailing, orientation and setback which creates a sense of architectural uniformity.

**Land Use History:** City records indicate the following prior land use reviews for this site.

1. LU15-28182HR: Historic Resource Review approval of replacement of an existing basement window with an egress window.

**Agency Review:** A "Notice of Proposal in Your Neighborhood" was mailed **August 14, 2018**. The following Bureaus have responded with no issues or concerns:

- Fire Bureau
- Site Development Section of BDS

**Neighborhood Review:** A Notice of Proposal in Your Neighborhood was mailed on August 14, 2018. One written response has been received from either the Neighborhood Association or notified property owners in response to the proposal.

1. Henry C. Kunowski, 8/28/18, wrote in support of the proposal. Refer to Exhibit F-1 for more details.

## **ZONING CODE APPROVAL CRITERIA**

### **Chapter 33.846.060 - Historic Resource Review**

#### **Purpose of Historic Resource Review**

Historic Resource Review ensures the conservation and enhancement of the special characteristics of historic resources.

#### **Historic Resource Review Approval Criteria**

Requests for Historic Resource Review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

**Findings:** The site is located within the Ladd's Addition Historic District and the proposal is for a non-exempt treatment not requiring a new foundation. Therefore Historic Resource Review approval is required. The approval criteria are the *Ladd's Addition Conservation District Design Guidelines – Exterior Rehabilitation*.

*Staff has considered all guidelines and addressed only those applicable to this proposal.*

### **Ladd's Addition Conservation District Guidelines – Exterior Rehabilitation**

1. **Façades Oriented to a Street.** In rehabilitating existing buildings, the architectural integrity of street-oriented façades should be maintained. Additions and structural alterations should be limited to the rear and side yard façades and be minimally visible from the street.

**Findings:** The exterior alterations are limited to the existing garage which is located adjacent to the rear alley way. The original garage was replaced in 1991 and is not visible from Elliott Avenue. The existing primary building and the street facing facades are not being altered. *This guideline is therefore met.*

- 2. Exterior Siding Material.** Restoration and maintenance of original siding materials is encouraged. Materials used on additions should match or be compatible with the predominant materials used on the original structure. Most single-family residences and duplexes in Ladd's Addition feature stucco, horizontal wood siding, wood shingles, brick or a combination of these materials. Most commercial and multi-family structures feature stucco or brick. The following materials are discouraged: plywood, used brick, shakes, exposed concrete block and metal.
- 3. Roof Form.** Repair and alteration of roofs should retain:
  - a. The original roof shape and pitch;
  - b. Original structural and decorative features such as gables, dormers, chimneys, cornices, parapets, pediments, frieze boards , exposed rafters and other ornamental details; and,
  - c. Whenever possible the original type, size, color, and pattern of roofing materials. New roof features including roof additions and new dormers should be compatible in size, scale, materials, and color with the original building. Skylights, solar, mechanical and service equipment, and new roof features should be inconspicuous from the street.
- 4. Windows and Doors.** Original windows and doors, including trim, should be retained or restored. If repair is not feasible, new windows or windows on additions should match or be compatible with original windows in form, materials, type, pattern and placement of openings. On residences, the removal of original wood sash windows and replacement with aluminum sash is especially discouraged. Restoration of commercial storefront windows with large fixed glass panes below and smaller glass panes above is especially encouraged.
- 8. Color.** Restoration of original colors, or colors appropriate to the style and era of the building, is encouraged.

**Findings for 2, 3, 4 & 8:** The proposal is to convert an existing garage into an accessory dwelling unit. The new door and windows will be wood, and match the size, scale and color of the original building. The new wood door will be 2 lite, with double panes. The new braced entry canopy helps identify the new entrance and has a 12/12 roof pitch that matches the existing garage roof. The window types proposed include fixed glass, single hung and casement windows. The window trim, profile and depth of placement in the wall match that of the primary structure. Staff has worked extensively with the applicant regarding the profile of the proposed dormer roof. Please refer to exhibits A8-A13 and G3-G4. The proposed shed dormer with a 4/12 pitch is proposed, which should be compatible with the steeply pitched gable of both the primary and secondary structures. The exterior siding of the dormer and where the door is being removed on the south-east elevation, will match the lap fiber siding of the existing garage. The exterior of the ADU will be repainted with the same red color as the existing garage and primary dwelling unit. *These guidelines are therefore met.*

- 12. Parking.** Required on-site parking should be located in the rear yard and within original garages, if possible. Original garages should be maintained for vehicle storage and parking and not converted to other uses. Parking areas, providing space for three or more cars, should be screened from adjacent properties; hedges and canopy trees are recommended for screening. Parking areas and driveways should not be placed in the front yard.

**Findings:** The original garage was replaced by a new garage in 1991. Refer to Exhibit G-5 for more details. On-site parking is being maintained by a parking pad on the north side of the proposed ADU, and adjacent to the alleyway. *This guideline is therefore met.*

- 13. Crime Prevention.** Crime prevention elements should be included in the design with specific attention to landscaping, parking areas, walkways, lighting, entries, and visibility. Windows and entries should not be obscured. Parking areas, walkways, and entries should be adequately illuminated for visibility.

**Findings:** The proposed conversion of a garage to an accessory dwelling unit will result in more active use adjacent to the alley. The exterior alterations include 3 new windows on the alley facing frontage, as well as a new entrance door and 2 windows on the north- east elevation. The proposed greater transparency and active uses will result in ‘more eyes on the street’ and help with crime prevention. *This guideline is therefore met.*

## DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all requirements of Title 11 can be met, and that all development standards of Title 33 can be met or have received an Adjustment or Modification via a land use review, prior to the approval of a building or zoning permit.

## CONCLUSIONS

The proposed exterior alterations will be compatible with the existing character and architectural features of the house, adjacent properties and the rest of the district. The purpose of the Historic Resource Review process is to ensure that additions, new construction, and exterior alterations to historic resources do not compromise their ability to convey historic significance. This proposal meets the applicable Historic Resource Review criteria and therefore warrants approval.

## ADMINISTRATIVE DECISION

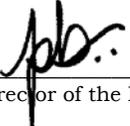
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- B. At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.
- C. No field changes allowed.

**Staff Planner: Puja Bhutani**

**Decision rendered by:**  **on September 12, 2018**  
By authority of the Director of the Bureau of Development Services

**Decision mailed: September 17, 2018**

**About this Decision.** This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

**Procedural Information.** The application for this land use review was submitted on April 4, 2018, and was determined to be complete on August 8, 2018.

*Zoning Code Section 33.700.080* states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on April 4, 2018.

*ORS 227.178* states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant requested that the 120-day review period be extended (Exhibit G6). Unless further extended by the applicant, **the 120 days will expire on: January 5, 2019.**

**Some of the information contained in this report was provided by the applicant.**

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

**Conditions of Approval.** If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

**Appealing this decision.** This decision may be appealed to the Landmarks Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on October 1, 2018** at 1900 SW Fourth Ave. Appeals can be filed at the 5<sup>th</sup> floor reception desk of 1900 SW 4<sup>th</sup> Avenue Monday through Friday between 8:00 am and 4:30 pm. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at [www.portlandonline.com](http://www.portlandonline.com).

**Attending the hearing.** If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Landmarks Commission is

final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Landmarks Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

**Recording the final decision.**

If this Land Use Review is approved the final decision will be recorded with the Multnomah County Recorder.

- *Unless appealed*, the final decision will be recorded on or after **October 2, 2018** by the Bureau of Development Services.

The applicant, builder, or a representative does not need to record the final decision with the Multnomah County Recorder.

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

**Expiration of this approval.** An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

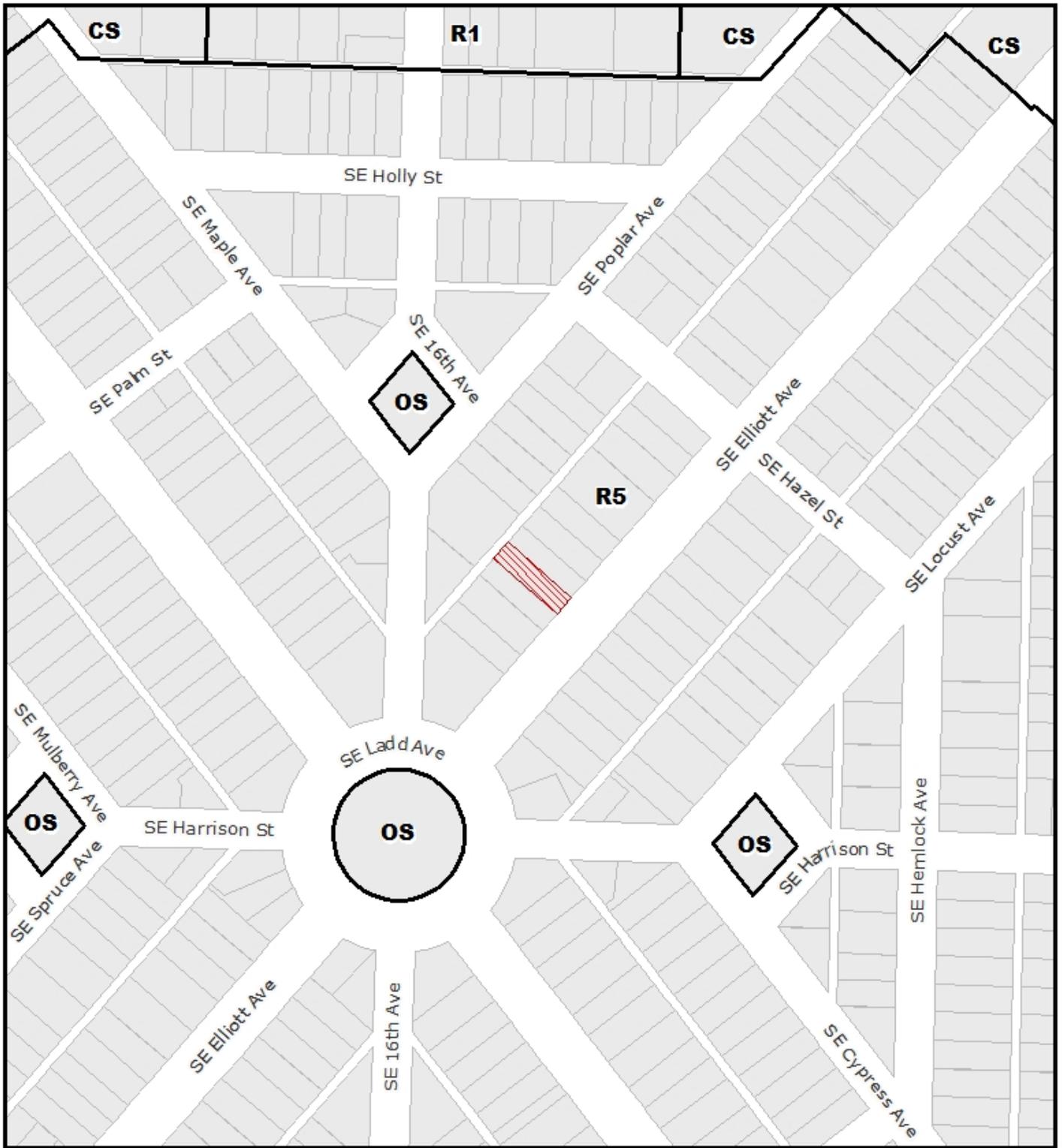
**Applying for your permits.** A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

**EXHIBITS**  
NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
  - 1. Original Narrative
  - 2. Original Plan Set, Not approved-for review only
  - 3. Photographs
  - 4. Applicant memo, in response to Incomplete letter, 4/27/18
  - 5. Revised Plan Set, Not approved-for review only, 4/27/18
  - 6. Manufacturers Cutsheets, 4/27/18
  - 7. Photographs
  - 8. Feedback drawings, 6/11/2018
  - 9. Feedback drawings, 6/13/2018
  - 10. Request to hold application incomplete, 6/12/18
  - 11. Applicant memo proposing gable dormer roof revisions, 6/20/18
  - 12. Precedent gable dormer photographs
  - 13. Gable and shed dormer elevations and perspectives
  - 14. Revised plan set, not approved- for review only, 7/30/18
  - 15. Request to hold application incomplete, 7/31/18
  - 16. Request to declare application complete, 8/8/18
  - 17. Revised plan set, not approved- for review only, 8/3/18
  - 18. Revised cut sheets, not approved- for review only, 8/3/18
- B. Zoning Map (attached)
- C. Plans/Drawings:
  - 1. Site Plan (attached)
  - 2. Existing and proposed north-east, south-east elevation (attached)
  - 3. Existing and proposed south-west, north-west elevation
  - 4. As built floor plan
  - 5. Proposed main level floor plan
  - 6. 2<sup>nd</sup> level floor plan
  - 7. Building Sections
  - 8. Detailed window sections
  - 9. Detailed window sections
  - 10. Detailed window and skylight sections
  - 11. Detailed Door sections
  - 12. Manufacturers cut sheets
- D. Notification information:
  - 1. Mailing list
  - 2. Mailed notice
- E. Agency Responses:
  - 1. Fire Bureau
  - 2. Site Development Review Section of BDS
- F. Correspondence:
  - 1. Henry C. Kunowski, 8/28/18, wrote in support of the proposal.
- G. Other:
  - 1. Original LU Application
  - 2. Incomplete letter send by staff, 4/7/2018
  - 3. Staff feedback regarding dormer design, 6/18/2018
  - 4. Staff feedback regarding guidelines, 7/5/2018
  - 5. Permit to replace existing garage, 3/18/91
  - 6. Request for Extension of 120-day review period.

**The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).**



# ZONING



THIS SITE LIES WITHIN THE:  
LADD'S ADDITION HISTORIC DISTRICT

File No.	LU 18-145469 HR
1/4 Section	3232
Scale	1 inch = 200 feet
State ID	1S1E02DB 7800
Exhibit	B Apr 06, 2018

**McCandlish ADU**

4:12 SHED ROOF DORMER

1903 SE Elliot Ave.  
Portland, OR 97214

**Job Description:**

- Convert existing detached garage into ADU.
- Adding a dormer.
- New exterior wood door with lites.
- New wood windows.
- New covered entry.

**Building Coverage:**

Existing: 1,458 SF  
Proposed: 1,456 SF (No Changes)

**Homeowner:**

Jim McCandlish

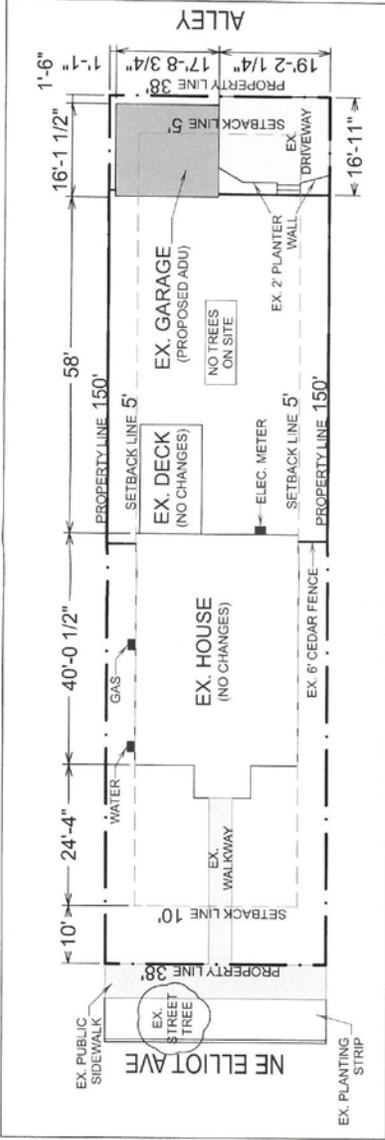
**Contractor:**

Casa Bonita LLC  
1631 NE Broadway St. #121  
Portland, OR 97232  
CCB: 189948

**Drawings:**

Precision  
4655 SW Sunshine Ct. #700  
Beaverton, OR 97005  
CCB: 174274

12 15 2014

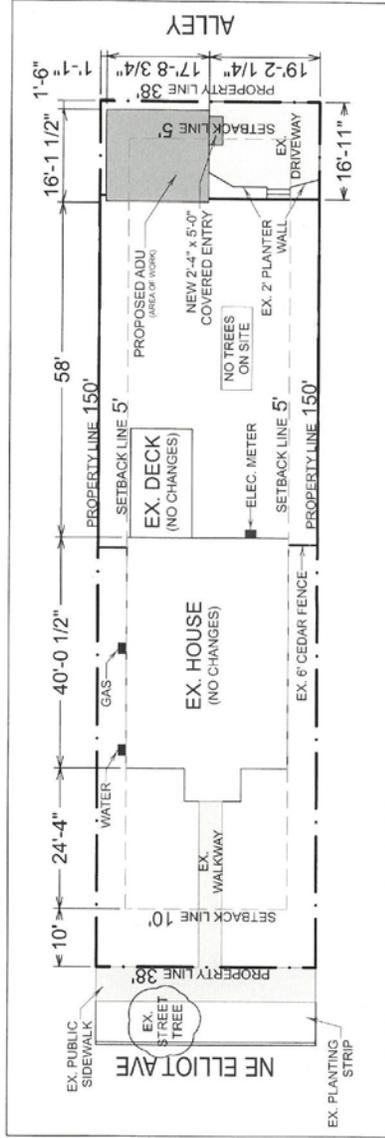


**EXISTING SITE PLAN**

1" = 20'

**A**

1



**PROPOSED SITE PLAN**

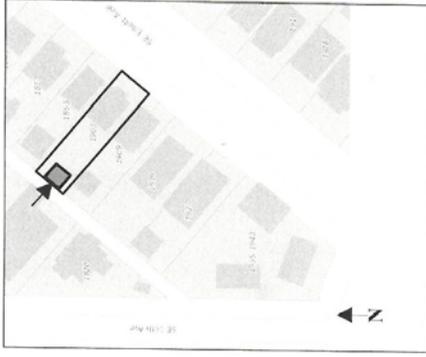
1" = 20'

**B**

1

**DISCLAIMER:**

To the best of knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. Designer is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.



**VICINITY MAP**

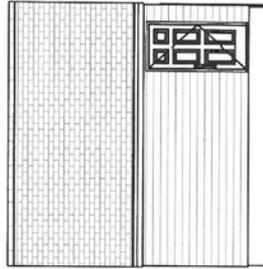
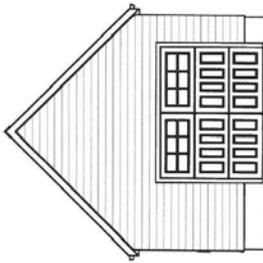
NTS

\*Approved\*  
City of Portland  
Bureau of Development Services  
Planner pb  
Date 9-12-18

\* This approval applies only to the reviews requested and is subject to all conditions of approval.  
Additional zoning requirements may apply.

C-1

PG. 1



\*Approved\*  
 City of Portland  
 Bureau of Development Services  
 Planner pb  
 Date 9.12.18  
 \* This approval applies only to the review requested and is subject to all conditions of approval. Additional conditions or interpretations may apply.

**A EX. NORTH-EAST ELEVATION**

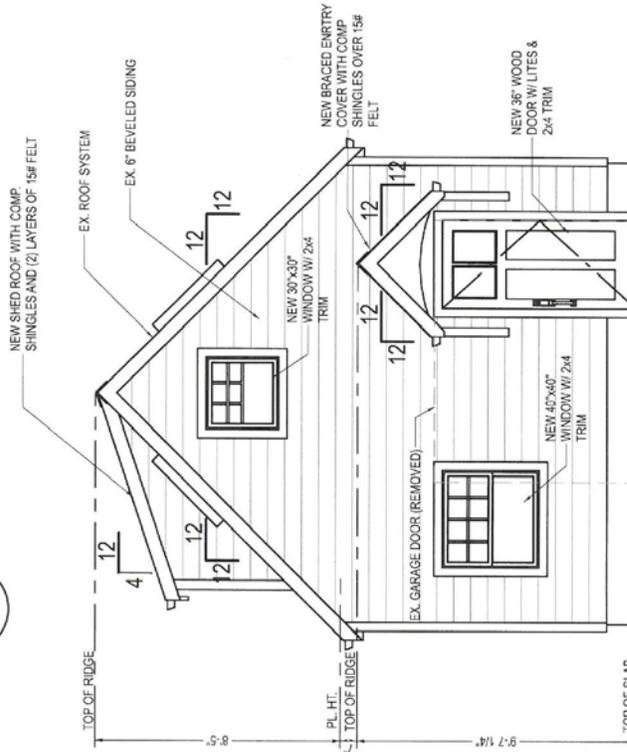
1/8" = 1'-0"

2

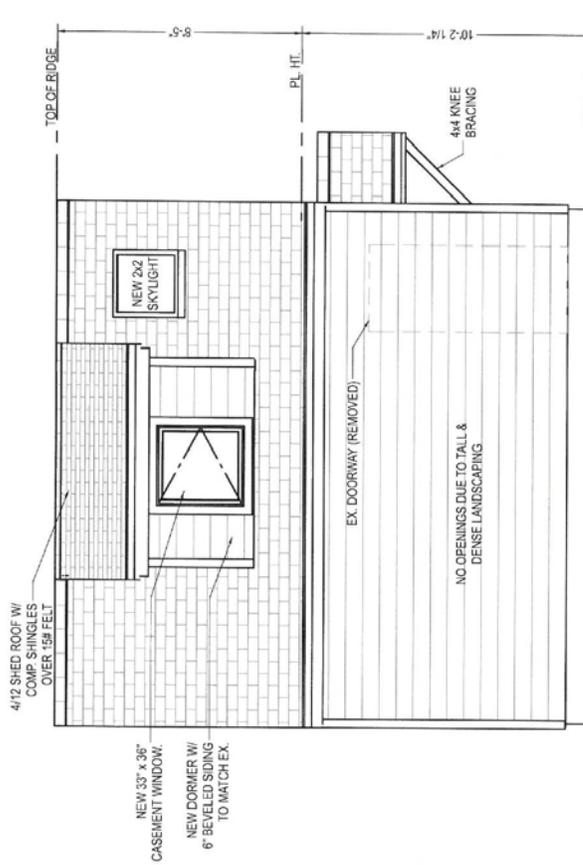
**B EX. SOUTH-EAST ELEVATION**

1/8" = 1'-0"

2



**GENERAL NOTES:**  
 -ALL NEW SIDING, ROOF & TRIM TO MATCH EXISTING MATERIALS & COLORS  
**WINDOW NOTES:**  
 -ALL NEW WINDOWS AND DOORS  
 -WINDOWS AND DOORS TO BE WOOD ON THE INTERIOR AND EXTERIOR  
 -ALL WILL HAVE 2x4 TRIM ON EXTERIOR



**C PROP. NORTH-EAST ELEVATION**

1/4" = 1'-0"

2

**D PROP. SOUTH-EAST ELEVATION**

1/4" = 1'-0"

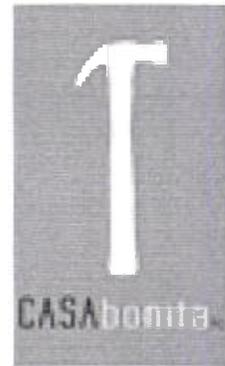
2

CL

	A	C	D	F	F
	ENDORSEMENT	INFO1	NAME	ADDRESS/IO ADDRESS	CITY/STATE/ZIP/ADDRESSER
1	RETURN SERVICE REQUESTED	151802DB 9400	YEGGY JULIE S TR	1820 SE 16TH AVE	PORTLAND OR 97214
2	RETURN SERVICE REQUESTED	151802DB 9300	& COMZALLER J PATRICK TR	1804 SE 16TH AVE	PORTLAND OR 97214-4724
3	RETURN SERVICE REQUESTED	151802DB 6900	SHAHSEN ROBERT J TR	1719 SE ELLIOTT AVE	PORTLAND OR 97214
4	RETURN SERVICE REQUESTED	151802DB 7500	POQUE ROBERT G & POQUE RITA M	1719 SE LAOD AVE	PORTLAND OR 97214-4732
5	RETURN SERVICE REQUESTED	151802DB 9100	MILLER GRAYDON M & MILLER JOAN A	1748 SE POPLAR AVE	PORTLAND OR 97214
6	RETURN SERVICE REQUESTED	151802DB 6800	LOWAS SCOTT M & LOWAS REA	1401 SE 15TH AVE	PORTLAND OR 97202
7	RETURN SERVICE REQUESTED	151802DB 8200	GIFFORD JILL C	1919 SE ELLIOTT AVE	PORTLAND OR 97214-4815
8	RETURN SERVICE REQUESTED	151802DB 8700	POSTER MARCHELLE M	1535 SW CALIFORNIA ST	PORTLAND OR 97219-1615
9	RETURN SERVICE REQUESTED	151802DB 7900	CHASS HEIDI	3081 SW ELVEREN HILE AVE	GRESHAM OR 97080-8678
10	RETURN SERVICE REQUESTED	151802DB 7501	CICCANTI MELBA L TR	36 KAUSCH ST	SAN FRANCISCO CA 94103
11	RETURN SERVICE REQUESTED	151802DB 6600	TENE LILACH	1927 SE ELLIOTT AVE	PORTLAND OR 97214-4815
12	RETURN SERVICE REQUESTED	151802DB 6400	SHEN CHARLTON & SHEN PHOEBE	1852 SE ELLIOTT AVE	PORTLAND OR 97214-4814
13	RETURN SERVICE REQUESTED	151802DB 8100	PAULUS WILLIAM P	1838 SE ELLIOTT AVE	PORTLAND OR 97214-4813
14	RETURN SERVICE REQUESTED	151802DB 8000	KUHNSAUSEN MARILYN A & NEAL S	1845 SE ELLIOTT AVE	PORTLAND OR 97214-4829
15	RETURN SERVICE REQUESTED	151802DB 9000	COHEN BRADLEY E & MOLMAR DANIELA M	1752 SE POPLAR AVE	PORTLAND OR 97202-2507
16	RETURN SERVICE REQUESTED	151802DB 9200	COFFEL WILLIAM J	3216 SE 8TH AVE	PORTLAND OR 97214
17	RETURN SERVICE REQUESTED	151802DB 7100	& SMITH CRAIG E TR	1918 SE ELLIOTT AVE	PORTLAND OR 97214-4811
18	RETURN SERVICE REQUESTED	151802DB 7000	JACOBSEN LAWRENCE A TR	1853 SE ELLIOTT AVE	PORTLAND OR 97214-4829
19	RETURN SERVICE REQUESTED	151802DB 8000	DUNN SUSAN P TR &	1736 SE POPLAR AVE	PORTLAND OR 97214
20	RETURN SERVICE REQUESTED	151802DB 9000	ROBERTSON DOBERTING JOYCE M	1909 SE ELLIOTT AVE	PORTLAND OR 97214
21	RETURN SERVICE REQUESTED	151802DB 7200	BALLEE ELIZABETH M	1986 SE ELLIOTT AVE	PORTLAND OR 97214
22	RETURN SERVICE REQUESTED			1966 SE LAOD AVE	PORTLAND OR 97214
23	RETURN SERVICE REQUESTED			1962 SE LAOD AVE	PORTLAND OR 97214
24	RETURN SERVICE REQUESTED			1943 SE ELLIOTT AVE	PORTLAND OR 97214
25	RETURN SERVICE REQUESTED			1935 SE ELLIOTT AVE	PORTLAND OR 97214
26	RETURN SERVICE REQUESTED			1928 SE ELLIOTT AVE #2	PORTLAND OR 97214
27	RETURN SERVICE REQUESTED			1928 SE ELLIOTT AVE #1	PORTLAND OR 97214
28	RETURN SERVICE REQUESTED			1914 SE 16TH AVE	PORTLAND OR 97214
29	RETURN SERVICE REQUESTED			1906 SE ELLIOTT AVE	PORTLAND OR 97214
30	RETURN SERVICE REQUESTED			1864 SE 16TH AVE	PORTLAND OR 97214
31	RETURN SERVICE REQUESTED			1863 SE ELLIOTT AVE	PORTLAND OR 97214
32	RETURN SERVICE REQUESTED			1844 SE ELLIOTT AVE	PORTLAND OR 97214
33	RETURN SERVICE REQUESTED			1819 SE ELLIOTT AVE	PORTLAND OR 97214
34	RETURN SERVICE REQUESTED			2036 SE SPRUCE AVE	PORTLAND OR 97214
35	RETURN SERVICE REQUESTED			1611 NE BRONDMAY #721	PORTLAND OR 97232
36	RETURN SERVICE REQUESTED			1903 SE ELLIOTT AVE	PORTLAND OR 97214-4815
37	RETURN SERVICE REQUESTED			PO BOX 15271	PORTLAND OR 97293
38	RETURN SERVICE REQUESTED			3534 SE MAIN ST	PORTLAND OR 97214
39	RETURN SERVICE REQUESTED			3534 SE MAIN ST	PORTLAND OR 97214
40	RETURN SERVICE REQUESTED			C/O SE UPLIFT 3534 SE MAIN ST	PORTLAND OR 97214
41	RETURN SERVICE REQUESTED			1800 SW FIRST AVE SUITE 300	PORTLAND OR 97201
42	RETURN SERVICE REQUESTED			PO BOX 3529	PORTLAND OR 97208
43	RETURN SERVICE REQUESTED			615 CAPITAL ST NE #150	SALEM OR 97301
44	RETURN SERVICE REQUESTED			18330 NW SANDYB LSL RD	PORTLAND OR 97231
45	RETURN SERVICE REQUESTED			ATTN LAND USE CONTACT	128/METRO
46	RETURN SERVICE REQUESTED			PDC	8129
47	RETURN SERVICE REQUESTED			DMN KRANTZ	8239/RS600
48	RETURN SERVICE REQUESTED			1310 NW 4TH AVE #5000	PORTLAND OR 97261
49	RETURN SERVICE REQUESTED				
50	RETURN SERVICE REQUESTED				
51	RETURN SERVICE REQUESTED				

3/26/2018

Re: APPROVAL CRITERIA (IVR NUMBER: 4186312)  
PERMIT NUMBER: 18-145469-000-00-LU



Description of property

This house is located at 1903 SE Elliott Ave. lot size is 3484 SQ. The house was built in 1925. We are proposing to convert existing two story single car garage in ADU. The ADU will have a full kitchen - living space, one full bathroom in first floor and second floor will have a bedroom. All new exterior trim, siding, windows, fascia, roof and gutters will match with existing house. ADU will be located in alley which will reduce the visibility from street.

Ladd's addition conservation district guidelines – Exterior Rehabilitation

1. Façades Oriented to a Street. In rehabilitating existing buildings, the architectural integrity of street-oriented façades should be maintained. Additions and structural alterations should be limited to the rear and side yard façades and be minimally visible from the street.

Responds:

This garage was replaced in MAR/15/1991, garage is located behind primary house, close to alley. The façade facing NE Elliot Avenue, will have a dormer in existing second floor of garage witch will have one 30"x42" egress window and one 2'x 2' skylight ; however, this façade is not visible from NE Elliott Avenue.

2. Foundations: changes to the foundation should match or be compatible with the original foundation in height and materials

Responds:

Foundation was replace in MAR/15/1991

3. Exterior Siding Material. Restoration and maintenance of original siding materials is encouraged. Materials used on additions should match or be compatible with the predominant materials used on the original structure. Most single family residences and duplexes in Ladd's Addition feature stucco, horizontal wood siding, wood shingles, brick or a combination of these materials. Most commercial and multi-family structures feature stucco or brick. The following materials are discouraged: plywood, used brick, shakes, exposed concrete block and metal.

Respond:

The existing exterior finish material on the garage is lap fiber cement siding, this siding will be retained and filled in with lap fiber siding to match where existing openings are closed and new dormer in second floor.

4. Roof form. Repair and alteration of roofs should retain:
  - A. The original roof shape and pitch;
  - B. Original structural and decorative features such as gables , dormers, chimneys, cornices, parapets, pediments, frieze boards , exposed rafters and other ornamental details; and,

A-1

LU 18 - 145469 HR

C. Whenever possible the original type, size, color, and pattern of roofing materials. New roof features including roof additions and new dormers should be compatible in size, scale, materials, and color with the original building. Skylights, solar, mechanical and service equipment, and new roof features should be inconspicuous from the street

Respond:

The existing roof will be retained and new dormer in second floor will match roof pitch of primary, contributing front porch house, skylight won't be visible from Se Elliot Avenue

5. Front façade detailing: Original entrances to building, front porches and projecting features, such as balconies, bays and dormer windows should be retained or restored.

Respond:

We are not changing anything in primary, contributing house

6. Windows and Doors. Original windows and doors, including trim, should be retained or restored. If repair is not feasible, new windows or windows on additions should match or be compatible with original windows in form, materials, type, pattern and placement of openings. On residences, the removal of original wood sash windows and replacement with aluminum sash is especially discouraged. Restoration of commercial storefront windows with large fixed glass panes below and smaller glass panes above is especially encouraged.

Respond: All the windows are proposed to be exterior white fiber glass and interior wood and style will match primary, contributing house, exterior molding will be match with primary, contributing house

8. COLOR: Restoration of original colors, or colors appropriate to the style and era of the building, is encouraged.

Respond:

After all work has been done in this ADU, exterior of ADU will be repainted with the same colors than existing garage which match with primary, contributing house

12. Required on-site parking should be located in the rear yard and within original garages, if possible. Original garages should be maintained for vehicle storage and parking and not converted to other uses. Parking areas, providing space for three or more cars, should be screened from adjacent properties; hedges and canopy trees are recommended for screening. Parking areas and driveways should not be placed in the front yard

Respond:

The proposal of converting existing garage to living space as an ADU; this garage is not original and was replaced in MAR/15/1991, onsite parking is maintained by a parking pad on north side of garage. We are not making changes to front yard

13. Crime Prevention. Crime prevention elements should be included in the design with specific attention to landscaping, parking areas, walkways, lighting, entries, and visibility. Windows and entries should not be obscured. Parking areas, walkways, and entries should be adequately illuminated for visibility.

Respond:

The main entry to ADU will be located on the north side of the building which will be facing the onsite parking, the door will be 2/3 solid and 1/3 upper side of door with double pane tempered glass and new window on the right side of door, we will add one more window on the north side of second floor which will look into onsite parking and we will add 3 more 18 x18 picture windows in west side of building facing alley, existing fence will stay in the same location, all this extra windows and door will help for a better transparency between the new ADU, onsite parking and alley

Casa Bonita LLC  
Omar Martinez, General Contractor  
1631 NE Broadway #721  
Portland, OR 97232  
503-956-4866  
[casabonitallc@gmail.com](mailto:casabonitallc@gmail.com)  
[www.casabonitallc.net](http://www.casabonitallc.net)  
CCB #189948  
Bonded and Insurance

# McCANDLISH ADU

1903 SE Elliot Ave.  
Portland, OR 97214

## Job Description:

Convert existing detached garage into ADU.  
Adding a dormer.  
New exterior wood door with lites.  
New windows. Fiberglass exterior, wood interior.  
New Covered Entry.

## Homeowner:

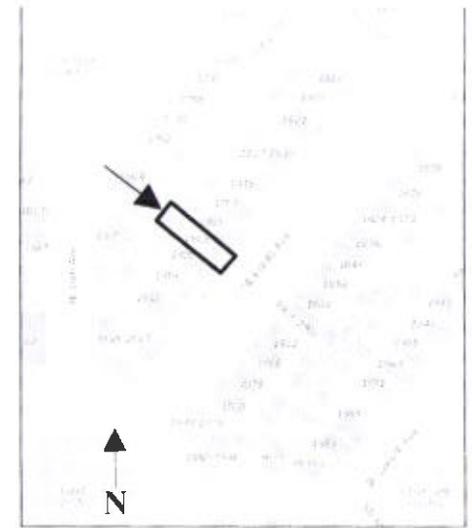
Jim McCandlish

## Contractor:

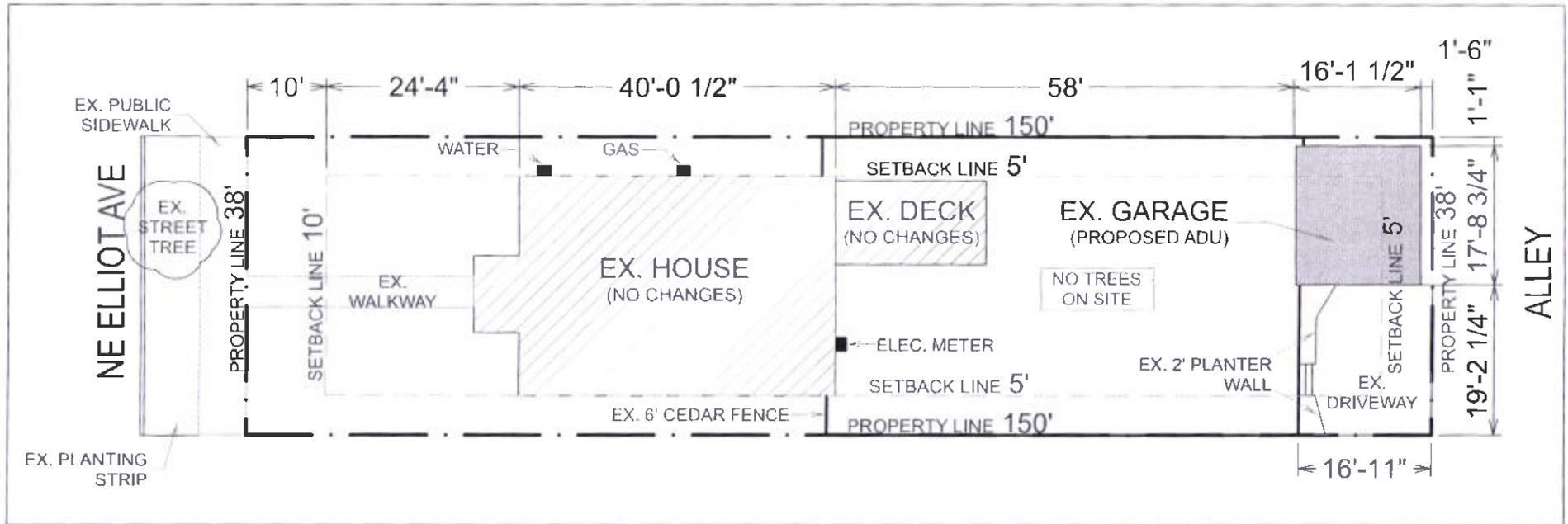
Casa Bonita LLC  
1631 NE Broadway St. #721  
Portland, OR 97232  
CCB: 189948

## Drawings:

Precision  
9655 SW Sunshine Ct. #700  
Beaverton, OR 97005  
CCB: 174274

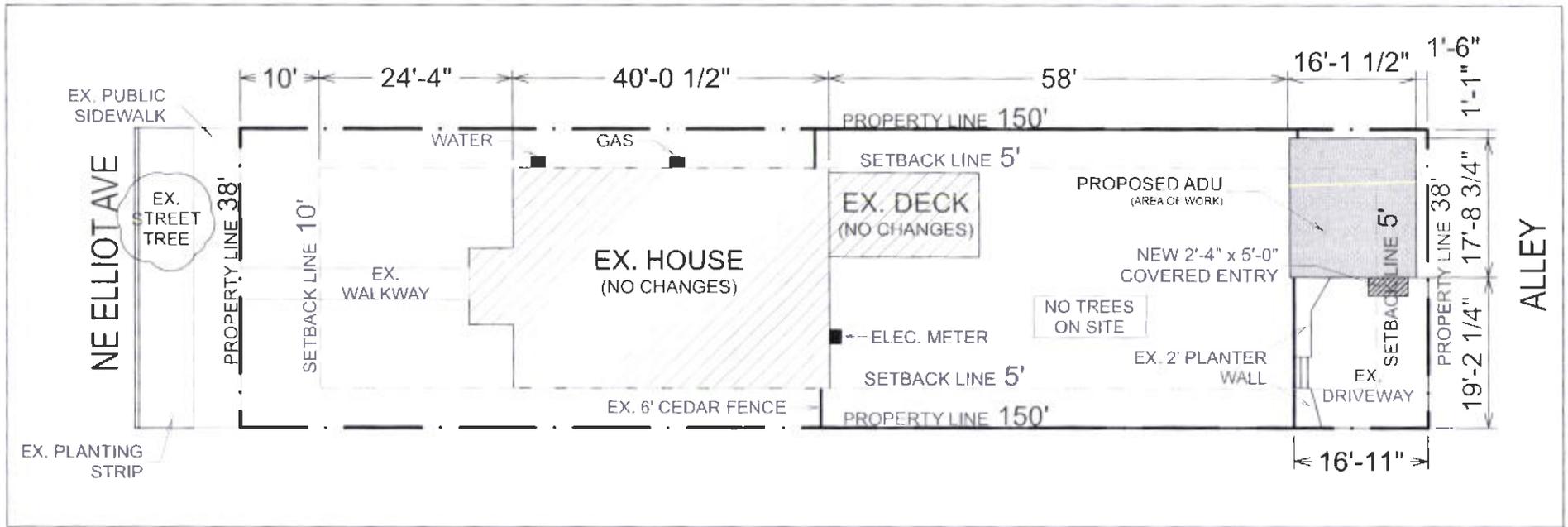


1  
A-1 VICINITY MAP  
NTS



2  
A-1 EXISTING SITE PLAN  
1" = 20'

A-2  
LU 18-145469 HR



1  
A-2

## PROPOSED SITE PLAN

1" = 20'



### DISCLAIMER:

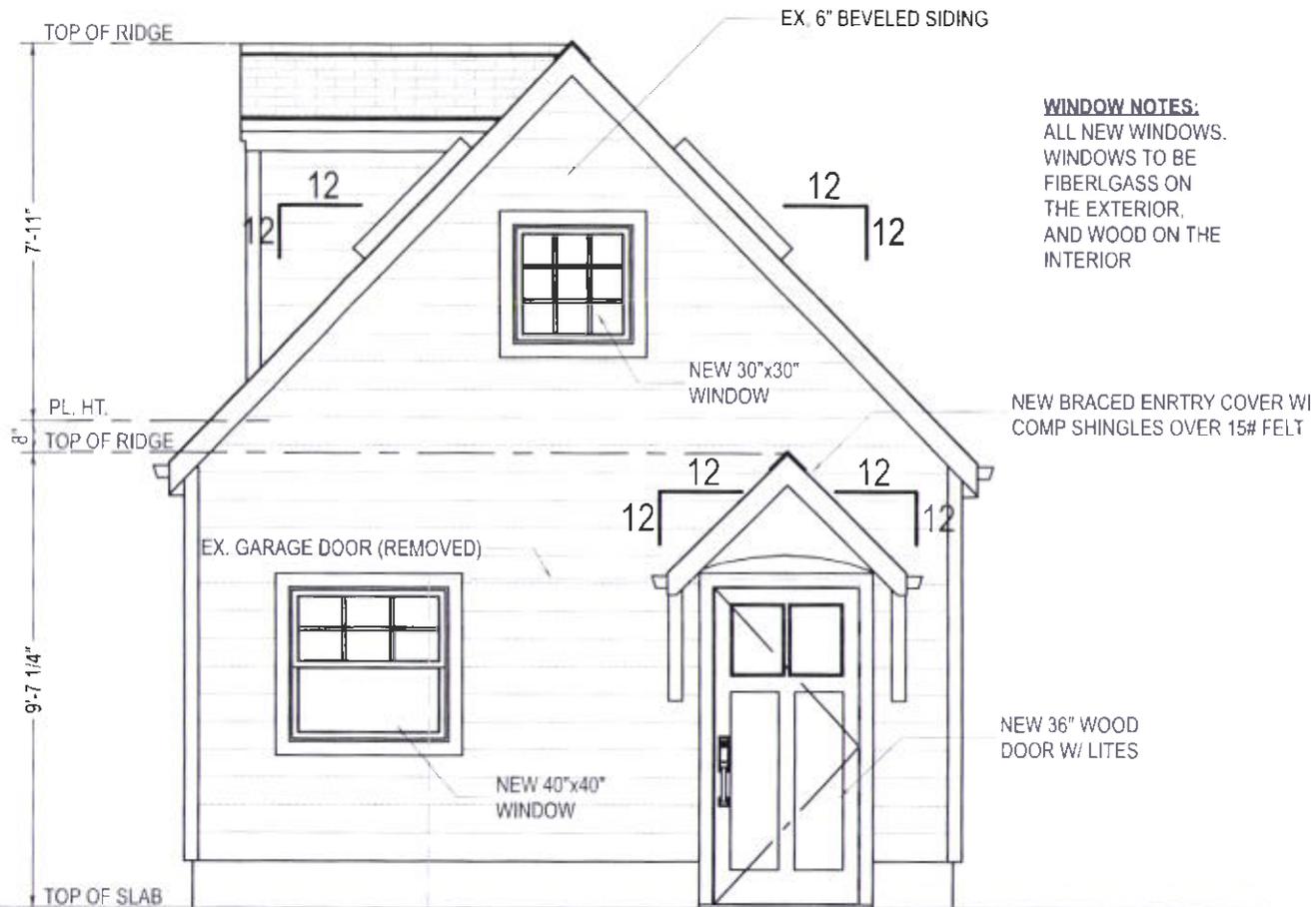
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LU 18 - 145469 HR



EX. NORTH-EAST ELEVATION

1/8" = 1'-0"



**WINDOW NOTES:**  
ALL NEW WINDOWS.  
WINDOWS TO BE  
FIBERGLASS ON  
THE EXTERIOR,  
AND WOOD ON THE  
INTERIOR

NEW BRACED ENRTRY COVER WI  
COMP SHINGLES OVER 15# FELT

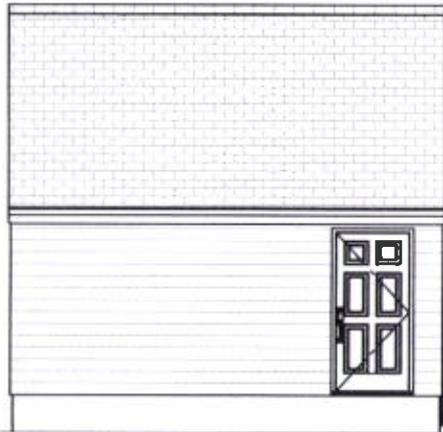
NEW 36" WOOD  
DOOR W/ LITES

1  
A-3

PROP. NORTH-EAST ELEVATION

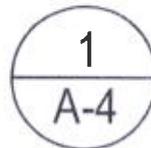
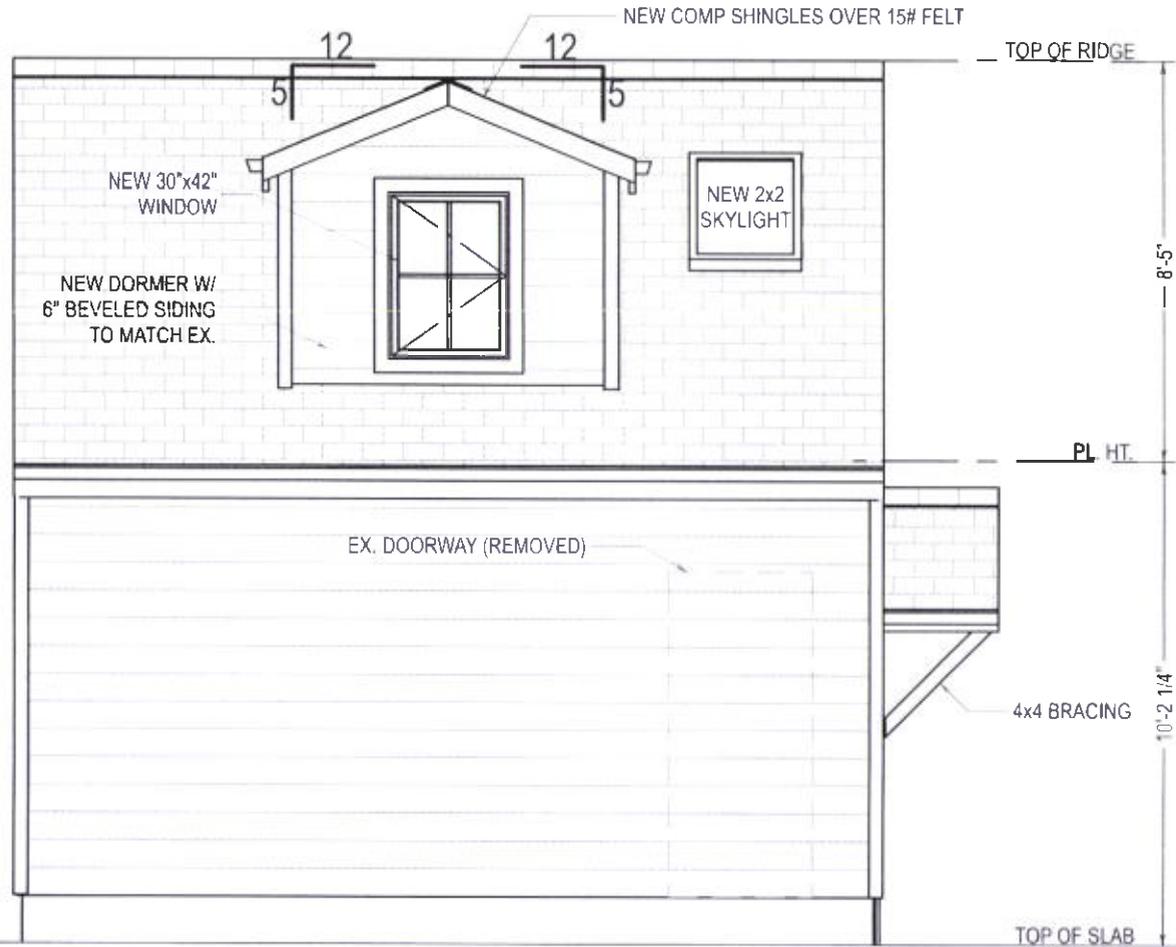
1/4" = 1'-0"

LU 18-145469 HR



EX. SOUTH-EAST ELEVATION

1/8" = 1'-0"



PROP. SOUTH-EAST ELEVATION

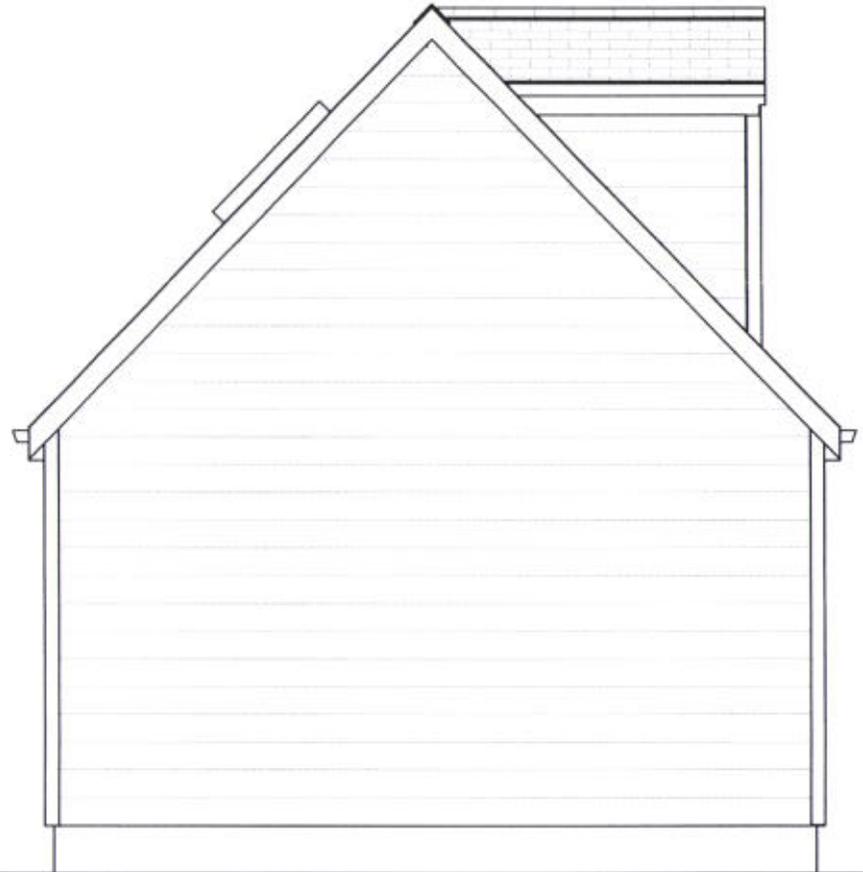
1/4" = 1'-0"

LU 18 - 145469 HR



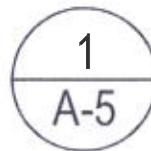
EX. SOUTH-WEST ELEVATION

1/8" = 1'-0"



PROP. SOUTH-WEST ELEVATION

1/4" = 1'-0"

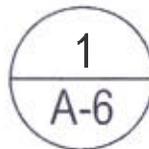
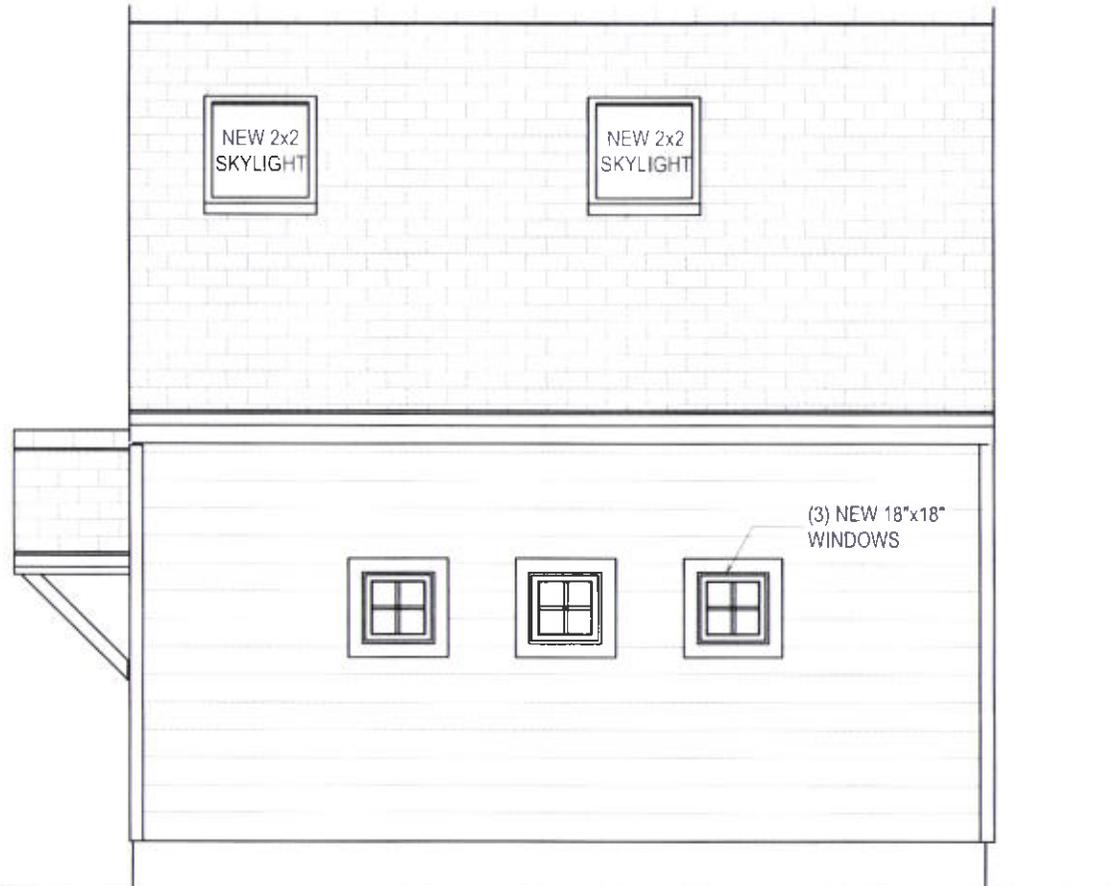


LU 18-145469 HR



EX. NORTH-WEST ELEVATION

1/8" = 1'-0"



PROP. NORTH-WEST ELEVATION

1/4" = 1'-0"

LU 18-145469 HR



BLACK LIVES  
MATTER

1903

LN 18-145469 HR  
A-3



LA 18-145469 HR



LU 18-145469HR



LM 18-145469 HR



LM 18-145469 HR



April 27, 2018

Puja Bhutani  
 City of Portland  
 Land Use Services  
 1900 SW 4<sup>th</sup> Avenue, Suite #5000  
 Portland, OR 97201

Re: APPROVAL CRITERIA **(IVR NUMBER: 4186312)**  
**PERMIT NUMBER: 18-145469-000-00-LU**

Dear Puja Bhutani:

In response to letter sent on April 17, 2018 regarding Land Use Review LU 18-145469 HR – ADU Conversion for 1903 SE Elliott Avenue.

**I. Information Necessary to Complete Application**

The following information must be submitted before your proposal can be evaluated:

1. Existing and proposed floor plans for the ADU, to scale and dimensioned  
**You will find information on page #5 and #6 of the attached plans**
2. Building Coverage calculation for the site  
**You will find information on page #1 of the attached plans**
3. Typical wall sections, through doors, windows, dormer, entrance, canopy etc.  
**You will find information of page #7 of the attached plans**
4. Enlarge sections through existing and proposed windows and doors, to scale and dimensioned. Typical sections should be provided through the proposed windows/doors, and typical original window/door of the residence do that staff can evaluate whether their profiles, trim and location depth in the wall match. See discussion about windows in the "Issues to Consider" below  
**You will find information on page #8 to #10 of the attached plans**
5. Manufacturers cut sheet- for the proposed windows and doors  
**You will find document attached to email**

**II. Issues to Considerer**

While not necessary to determine the application complete, additional information may be need to show that your proposal meets the applicable approval criteria, which are the Ladd's Addition Conservation District Guidelines, and can be found here. You are encouraged to address the following issues regarding the approvability of your proposal:

- Dormer. The proposed dormer appears too large for the existing accessory structure, and its roof pitch does not seem compatible with the steeply pitched roofs of both the accessory and the main residence. Consider an appropriately size shed roof, as it could provide a more compatible response. (guidelines 4-Roof form)

**We changed roof style from gable style to shed style and you will find new style on page #2 and #7 of the attached plans**

- Fiberglass windows. The new windows should be wood and detailed to match the original windows in material, form, type, pattern and placement of opening, (guideline 6- windows & doors)

**We are changing material of windows from fiberglass to wood windows. New wood windows will match the main residence windows, please see manufacturer cut sheet and window quote to show style and type of material**

- South East Elevation. The building façade facing the house is proposed as a blank wall, and should include windows. This is especially the case since blank walls are also proposed for the two other elevation, and very small windows are proposed for the ally facing façade. Information should be provided if there are existing condition, like a fence or dense landscaping that might preclude windows

**South wall is a 2 hr firewall and we cannot make any penetrations like windows. South wall is 1'1" away from property line. The South wall of proposed ADU is right next to the neighbor's garage, please see (south side of existing garage picture and section 1 and 2 on page #7 from plans).**

**Note: Existing vent on south wall will be closed off using same system for 2 hr fire-wall**

**East wall is 2hr firewall and this side of wall has dense landscaping (please see (existing SE elevation and section 1 and 2 in page #7 from plans)**

Please let us know if you have any additional questions.

Sincerely,

Omar Martinez  
President  
Casa Bonita LLC

Casa Bonita LLC  
Omar Martinez, General Contractor  
1631 NE Broadway #721  
Portland, OR 97232  
503-956-4866  
[casabonitallc@gmail.com](mailto:casabonitallc@gmail.com)

[www.casabonitallc.net](http://www.casabonitallc.net)

CCB #189948

Bonded and Insurance

# McCANDLISH ADU

1903 SE Elliot Ave.  
Portland, OR 97214

## Job Description:

- Convert existing detached garage into ADU.
- Adding a dormer.
- New exterior wood door with lites.
- New wood windows.
- New Covered Entry.

## Building Coverage:

Existing: 1,458 SF  
Proposed; 1,458 SF (No Changes)

## Homeowner:

Jim McCandlish

## Contractor:

Casa Bonita LLC

1631 NE Broadway St. #721

Portland, OR 97232

CCB: 189948

## Drawings:

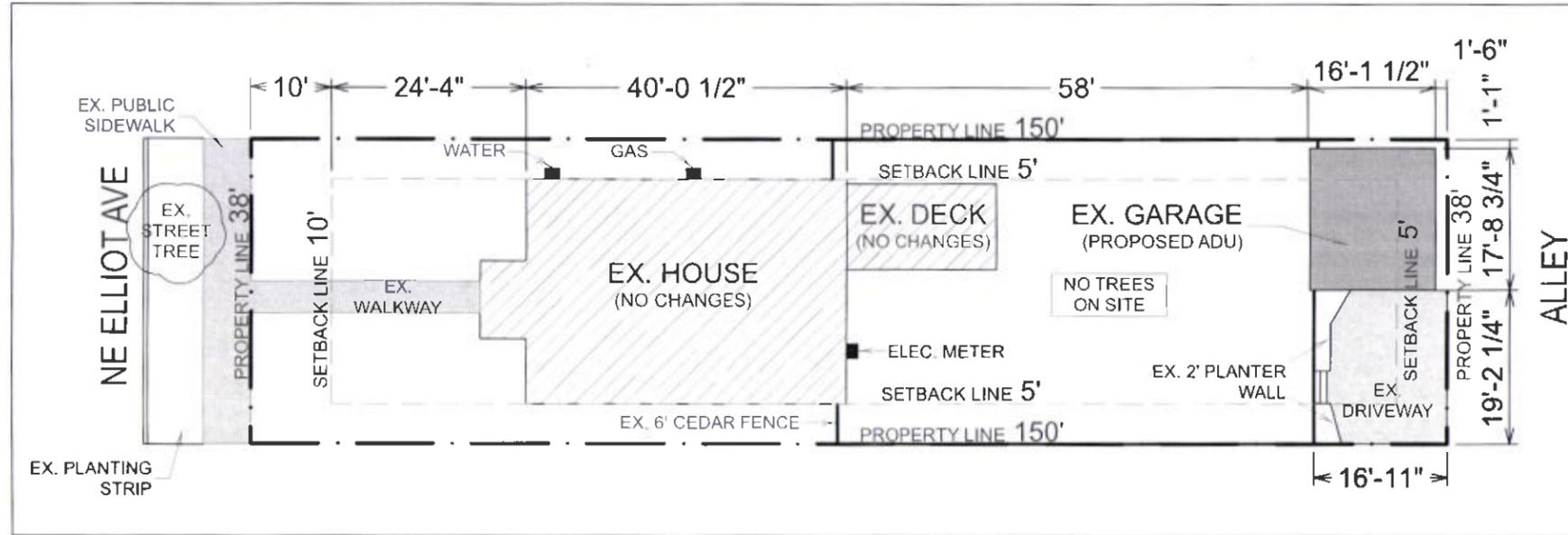
Precision

9655 SW Sunshine Ct. #700

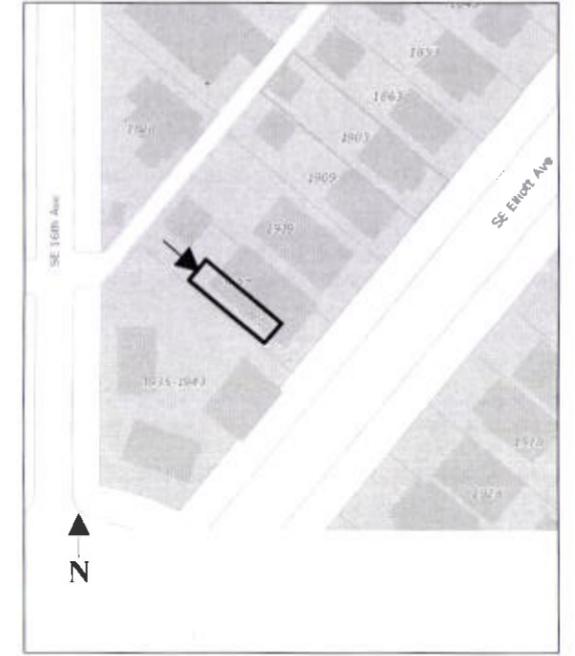
Beaverton, OR 97005

CCB: 174274

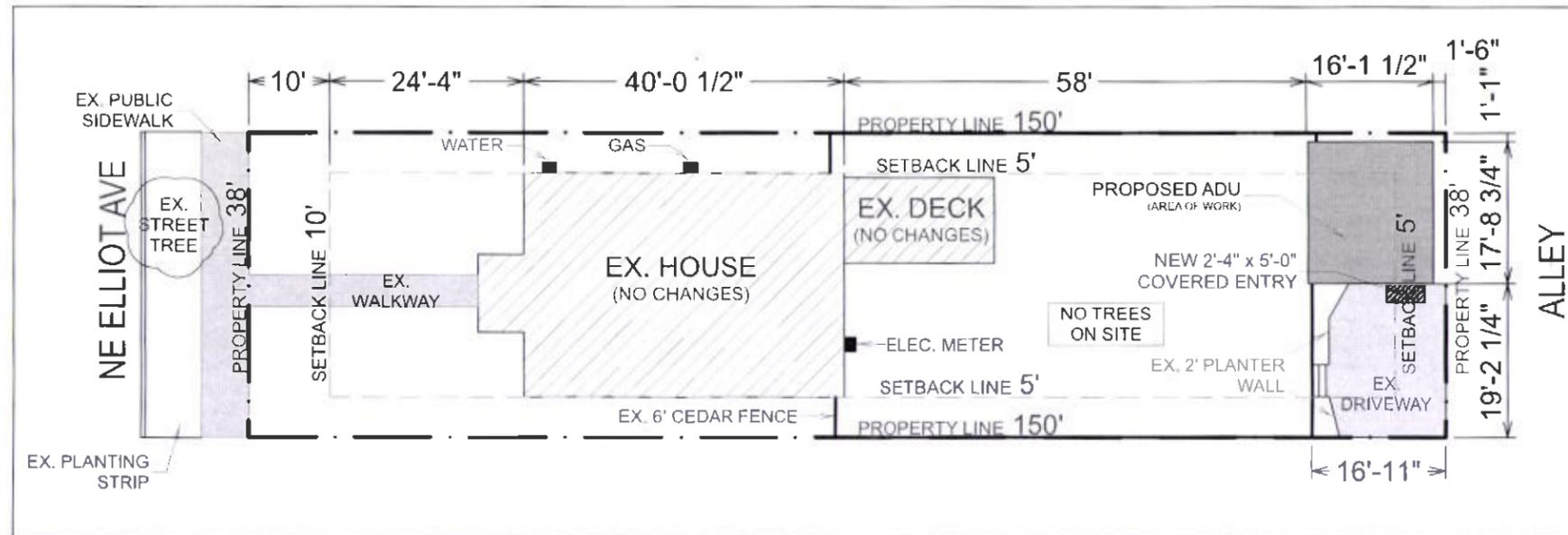
6-10-18



**A**  
1  
1" = 20'  
**EXISTING SITE PLAN**



**C**  
1  
NTS  
**VICINITY MAP**



**B**  
1  
1" = 20'  
**PROPOSED SITE PLAN**

## DISCLAIMER:

To the best of knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. Designer is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

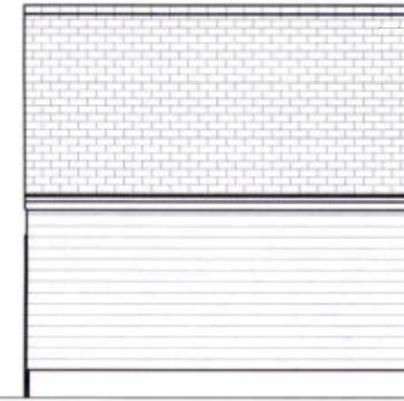




A  
3

EX. SOUTH-WEST ELEVATION

1/8" = 1'-0"



B  
3

EX. NORTH-WEST ELEVATION

1/8" = 1'-0"



NO OPENINGS  
(FIRE WALL)

WINDOW NOTES:  
ALL NEW WINDOWS.  
WINDOWS TO BE  
WOOD.



NEW 2x2  
SKYLIGHT

NEW 2x2  
SKYLIGHT

(3) NEW 18"x18" WINDOWS ON MAIN LEVEL  
(RAISED TO PROVIDE PRIVACY FROM ALLEY)  
WILL HAVE SAME HDR. HT. AS ALL OTHER  
OPENINGS ON MAIN LEVEL.

C  
3

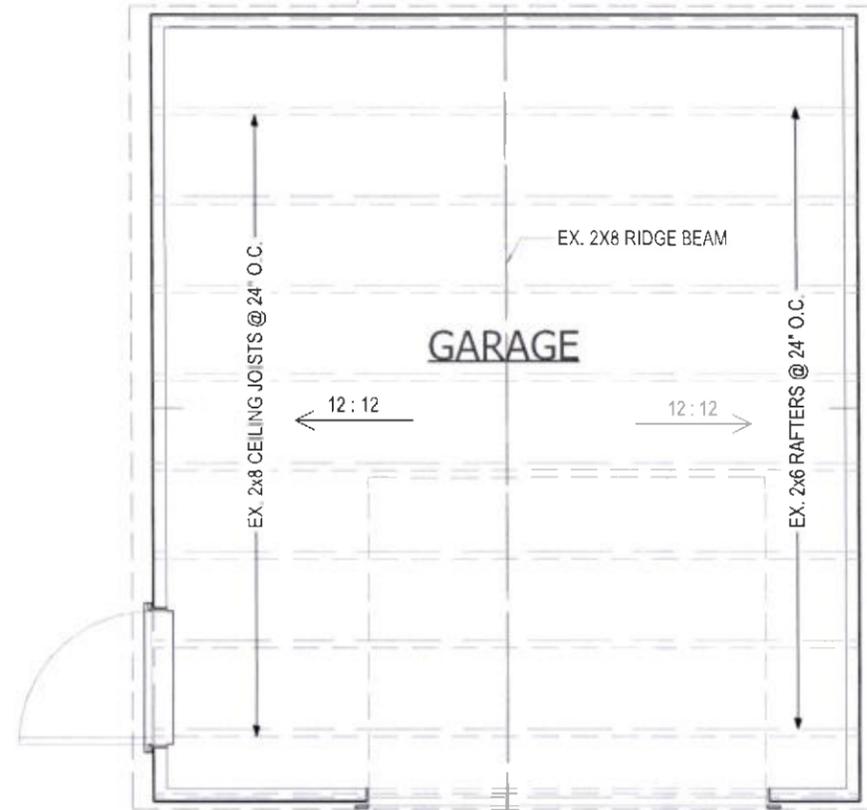
PROP. SOUTH-WEST ELEVATION

1/4" = 1'-0"

D  
3

PROP. NORTH-WEST ELEVATION

1/4" = 1'-0"



A  
4

AS-BUILT FLOOR PLAN

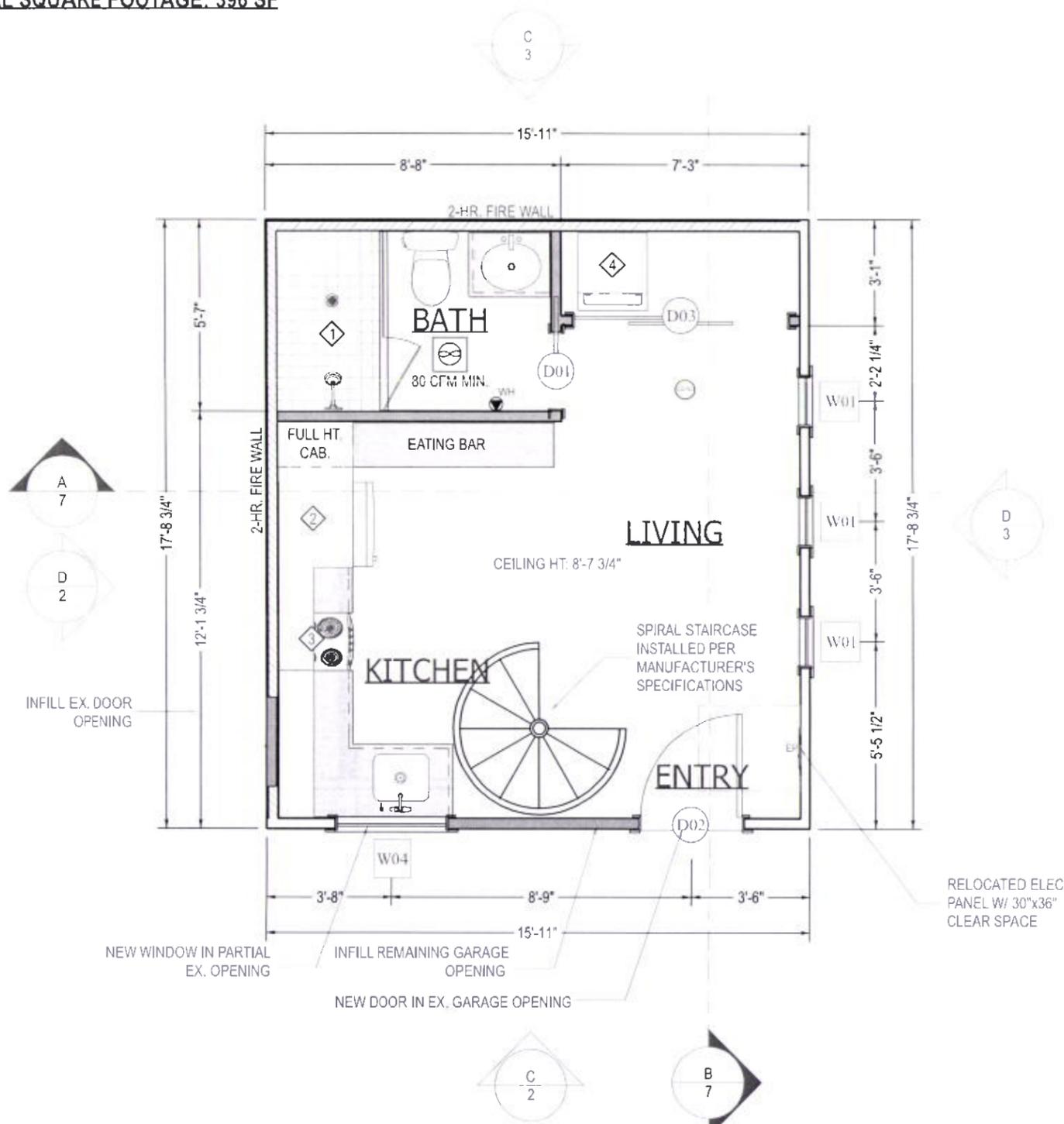
1/4" = 1'-0"

# McCANDLISH ADU

MAIN LEVEL SQUARE FOOTAGE: 262 SF

2nd LEVEL SQUARE FOOTAGE: 134 SF

TOTAL SQUARE FOOTAGE: 396 SF



DOOR SCHEDULE							
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	HINGE SIDE	DESCRIPTION	COMMENTS
D01	1	1	26"	80"	L	POCKET-PANEL	
D02	1	1	36"	80"	R	EXT. ENTRY DOOR W/ LITES	
D03	1	1	74"	80"	R	BI-PASS CLOSET DOOR	

WINDOW SCHEDULE								
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	EGRESS	TEMPERED	DESCRIPTION	COMMENTS
W01	3	1	18"	18"			FIXED GLASS	
W02	1	2	30"	30"			FIXED GLASS	
W03	1	2	30"	42"	YES		SINGLE CASEMENT-HR	
W04	1	1	40"	40"			SINGLE HUNG	

- 1 TILE SHOWER
- 2 30" REFRIGERATOR
- 3 20" HOOD & RANGE
- 4 STACKED WASHER & DRYER
- 5 TANKLESS WATER HEATER. ENCLOSING CABINET BUILT TO MANUFACTURERS MINS. NEEDS A 20.25" WIDE, 3' TALL, 9.5" DEEP CABINET. PRODUCT BASED ON "RHEEM, MODEL #RETEX-11"

- LEGEND:**
- [Thin line] = EXISTING WALL
  - [Thick line] = NEW WALL
  - [Dashed line] = FIRE WALL
  - [Circle with cross] = CARBON/SMOKE DETECTOR COMBO
  - [Circle with dot] = SMOKE DETECTOR
  - [Circle with fan symbol] = EXHAUST FAN
  - [Circle with WH symbol] = WALL HEATER

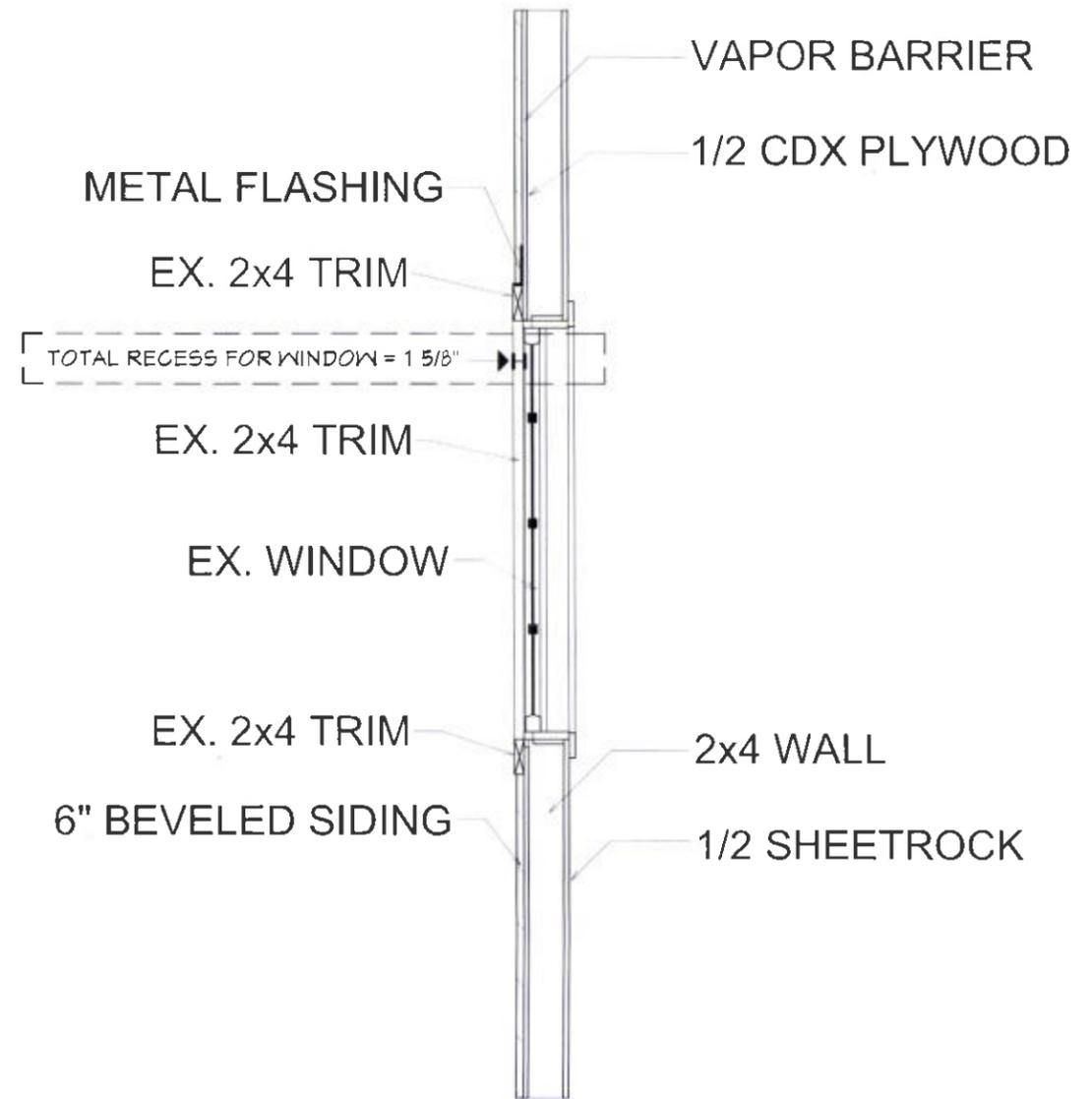
**A**  
**5**

## MAIN LEVEL FLOOR PLAN

1/4" = 1'-0"



NEW CASEMENT  
WINDOW  
(ADU)



EXISTING CASEMENT  
WINDOW  
(RESIDENCE)

# Casa Bonita\_McCannish

## All wood

Quote #: TWDCZFG

A Proposal for Window and Door Products prepared for:

**End Customer:**

Casa Bonita

**Shipping Address:**

PARR LUMBER CO-ALOHA  
5600 NW CENTURY BLVD  
HILLSBORO, OR 97124-8620

**Featuring products from:**



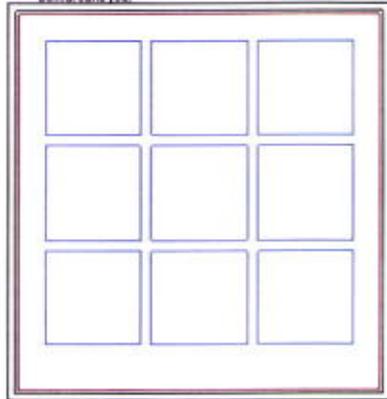
KORY JONES  
PARR LUMBER CO-ALOHA  
5630 NW CENTURY BLVD  
HILLSBORO, OR 97124-8620  
Phone: (503) 488-1403  
Fax: (503) 614-8595  
Email: kory.jones@parr.com

This report was generated on 4/27/2018 1:52:22 PM using the Marvin Order Management System, version 0002.19.00 (Current). Price in USD. Unit availability and price are subject to change. Dealer terms and conditions may apply.

## LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit: STATIONARY	Net Price:		647.40
Qty: 1		Ext. Net Price:	USD	647.40



As Viewed From The Exterior

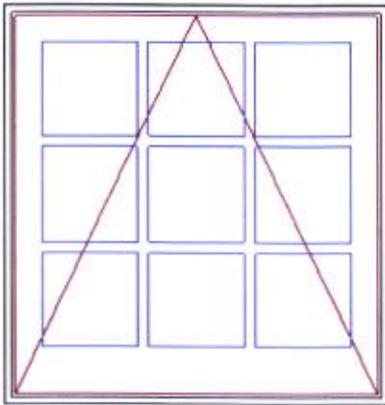
Entered As: CN  
 CN 3032  
 FS 30" X 31 1/8"  
 RO 31" X 31 5/8"  
**Egress Information**  
 No Egress Information available.  
**Performance Information**  
 U-Factor: 0.28  
 Solar Heat Gain Coefficient: 0.22  
 Visible Light Transmittance: 0.38  
 Condensation Resistance: 59  
 CPD Number: MAR-N-354-05766-00001  
 ENERGY STAR: NC, SC, S  
**Performance Grade**  
 Licensee #977  
 AAMA/WDMA/CSA/101/1 S 2/A440-08  
 CW-PG50 1016X1220 72 mm (40X48.06 in)  
 CW-PG50 DP +50/-50  
 FL13180

Primed Pine Exterior  
 Primed Pine Interior  
 Basic Unit  
 Wood Ultimate Awning - Stationary  
 CN 3032  
 Rough Opening w/o Subsill  
 31" X 31 5/8"  
 Frame Size w/o Subsill  
 30" X 31 1/8"  
 Primed Pine Sash Exterior  
 Primed Pine Sash Interior  
 IG - 3/4"  
 Low E2 w/Argon  
 Stainless Perimeter and Spacer Bar  
 7/8" SDL - With Spacer Bar - Stainless  
 Rectangular - Special Cut 3W3H  
 Primed Pine Ext - Primed Pine Int  
 Match WUDH Interior and Exterior Sash Profiles and Divided Lite Bars  
 Ovolo Interior Glazing Profile  
 Tall Bottom Rail  
 White Weather Strip  
 Solid Wood Covers  
 4 9/16" Jamb  
 Exterior Casing - None  
 No Subsill  
 Installed Installation Brackets

Line #2	Mark Unit: VENTING	Net Price:		818.22
Qty: 1		Ext. Net Price:	USD	818.22



Primed Pine Exterior  
 Primed Pine Interior  
 Basic Unit  
 Wood Ultimate Awning - Roto Operating  
 CN 3032  
 Rough Opening w/o Subsill  
 31" X 31 5/8"  
 Frame Size w/o Subsill  
 30" X 31 1/8"  
 Primed Pine Sash Exterior  
 Primed Pine Sash Interior  
 IG - 3/4"  
 Low E2 w/Argon  
 Stainless Perimeter and Spacer Bar  
 7/8" SDL - With Spacer Bar - Stainless  
 Rectangular - Special Cut 3W3H  
 Primed Pine Ext - Primed Pine Int  
 Match WUDH Interior and Exterior Sash Profiles and Divided Lite Bars



As Viewed From The Exterior

- Ovolo Interior Glazing Profile
- Tall Bottom Rail
- White Weather Strip
- Oil Rubbed Bronze Folding Handle
- Oil Rubbed Bronze Multi - Point Lock
- Aluminum Screen
- White Surround
- Charcoal Fiberglass Mesh
- 4 9/16" Jamb
- Exterior Casing - None
- No Subsill
- Installed Installation Brackets

**Entered As:** CN

CN 3032

FS 30" X 31 1/8"

RO 31" X 31 5/8"

**Egress Information**

No Egress Information available.

**Performance Information**

U-Factor: 0.28

Solar Heat Gain Coefficient: 0.22

Visible Light Transmittance: 0.38

Condensation Resistance: 59

CPD Number: MAR-N-354-05766-00001

ENERGY STAR: NC, SC, S

**Performance Grade**

Licensee #977

AAMA/WDMA/CSA/101/ I.S.2/A440-08

CW-PG50 1016X1221 mm (40X48.06 in)

CW-PG50 DP +50/-50

FL13180

Project Subtotal Net Price: USD	1,465.62
0.000% Sales Tax: USD	0.00
Project Total Net Price: USD	1,465.62

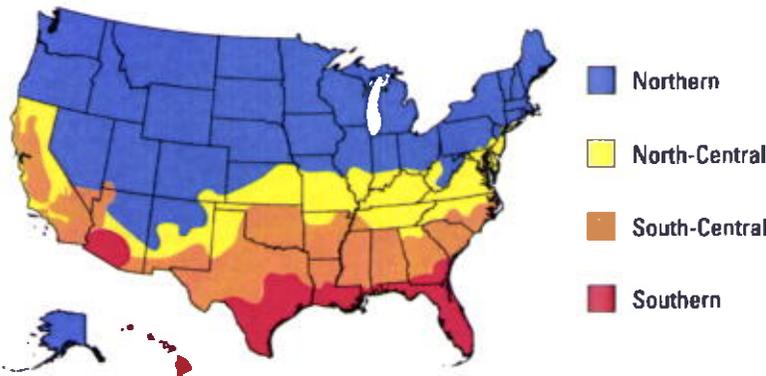
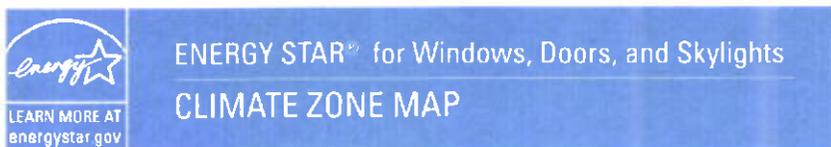
## Product and Performance Information

NFRC energy ratings and values may vary depending on the exact configuration of glass thickness used on the unit. This data may change over time due to ongoing product changes or updated test results or requirements.

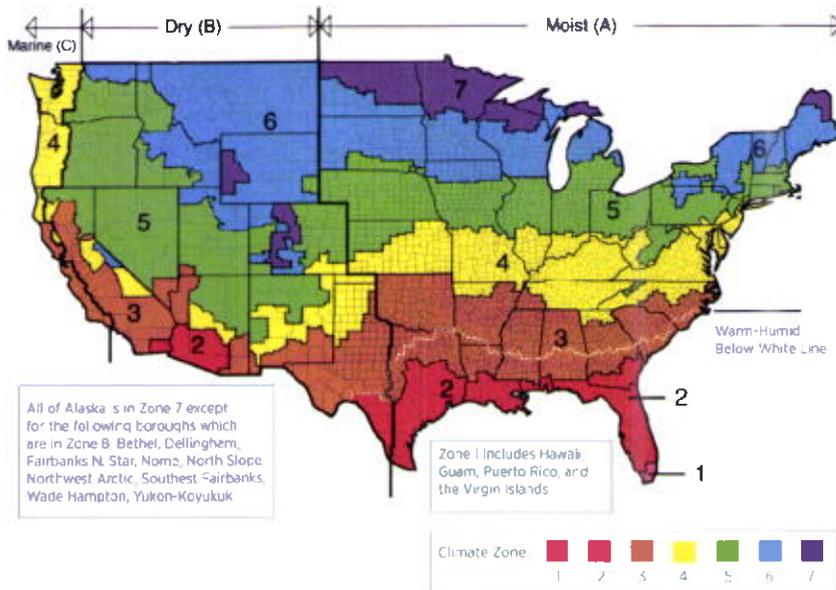
The National Fenestration Rating Council (NFRC) has developed and operates a uniform national rating system for the energy performance of fenestration products, including windows and doors. For additional information regarding this rating system, see [www.nfrc.org/WindowRatings](http://www.nfrc.org/WindowRatings).

NFRC energy values and ratings may change over time due to ongoing product changes, updated test results or requirements.

Review the map below to determine if your units meet ENERGY STAR for your location.



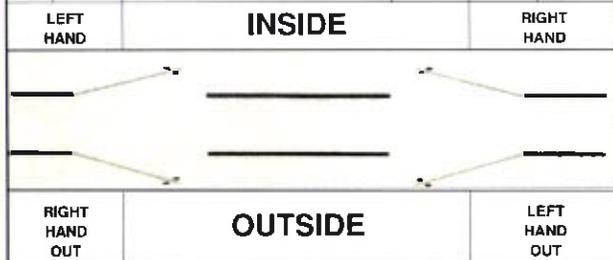
### International Energy Conservation Code (IECC) Climate Regions



**PARR LUMBER 755 NW 185TH ALOHA OR, 97006**

<b>SOLD TO:</b> Casa Bonita	<b>CONTRACTOR</b>	<b>PO#</b>
<b>SHIP TO:</b> PARR HILLSBORO LOGISTICS Jim McCanlish	<b>PHONE</b>	<b>SALESPERSON:</b> KORY JONES
	<b>VENDOR ORDER #:</b>	<b>ORDER DATE</b>
		<b>DELIVERY DATE:</b>
		<b>PARR 'S ORDER #</b>

LINE	QTY	ALLIANCE	SIZE	SWING	THICK	DOOR SPECIFICATIONS			LOCK	JAMB SPECIFICATIONS			HINGES			ROOM	PRICE
						CORE	SPECIES	STYLE		BORE	E/P	SIZE	TYPE	SPECIES	SILL		
1	1		3/0 x 6/8	?			FIR	6802	2		6-9/16		F/J-Primed	B 'Z'			\$820.00
2																	
3																	
4																	
5																	
6																	
7																	
8																	
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17																	
18																	
19																	
20																	



**COMMENT**

**APPROVA**

Page

**\$ (UNLESS NOTED OTHERWISE)**

# Casa Bonita\_McCanlish

## All Wood

Quote #: 67PAZP4

A Proposal for Window and Door Products prepared for:

**End Customer:**

Casa Bonita

**Shipping Address:**

PARR LUMBER CO-ALOHA  
5600 NW CENTURY BLVD  
HILLSBORO, OR 97124-8620

**Featuring products from:**



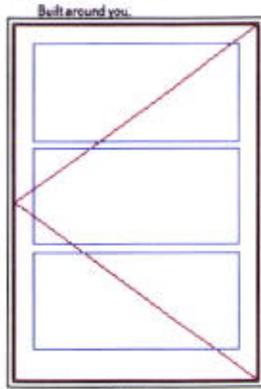
KORY JONES  
PARR LUMBER CO-ALOHA  
5630 NW CENTURY BLVD  
HILLSBORO, OR 97124-8620  
Phone: (503) 488-1403  
Fax: (503) 614-8595  
Email: kory.jones@parr.com

This report was generated on 4/25/2018 4:25:43 PM using the Marvin Order Management System, version 0002.19.00 (Current). Price in USD. Unit availability and price are subject to change. Dealer terms and conditions may apply.

## LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit: standard size	Net Price:		776.88
Qty: 1		Ext. Net Price:	USD	776.88

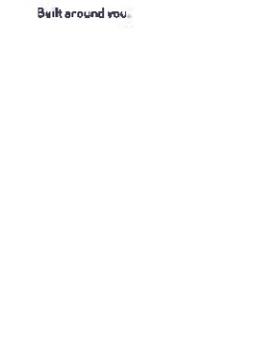


As Viewed From The Exterior

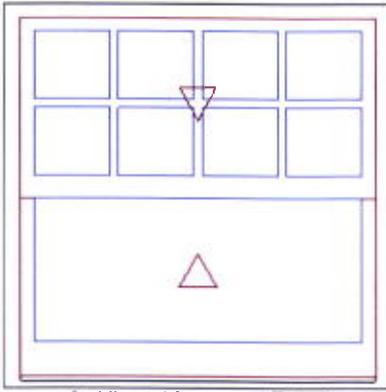
Entered As: CN  
 CN 3044  
 FS 30" X 43 1/8"  
 RO 31" X 43 5/8"  
**Egress Information**  
 Width: 22 57/64" Height: 38 1/64"  
 Net Clear Opening: 6.04 SqFt  
**Performance Information**  
 U-Factor: 0.28  
 Solar Heat Gain Coefficient: 0.25  
 Visible Light Transmittance: 0.42  
 Condensation Resistance: 59  
 CPD Number: MAR-N-347-07204-00001  
 ENERGY STAR: NC, SC, S  
**Performance Grade**  
 Licensee #1067  
 AAMA/WDMA/CSA/101/ I.S.2/A440-08  
 CW-PG50 914X2442 mm (36X96.13 in)  
 CW-PG50 DP +50/-50  
 FL 13145

Primed Pine Exterior  
 Primed Pine Interior  
 Basic Unit  
 Wood Ultimate Casement - Left Hand  
 CN 3044  
 Rough Opening w/o Subsill  
 31" X 43 5/8"  
 Frame Size w/o Subsill  
 30" X 43 1/8"  
 Primed Pine Sash Exterior  
 Primed Pine Sash Interior  
 IG - 3/4"  
 Low E2 w/Argon  
 Stainless Perimeter and Spacer Bar  
 7/8" SDL - With Spacer Bar - Stainless  
 Rectangular - Special Cut 1W3H  
 Primed Pine Ext - Primed Pine Int  
 Match WUDH Interior and Exterior Sash Profiles and Divided Lite Bars  
 Ovolo Interior Glazing Profile  
 Tall Bottom Rail  
 White Weather Strip  
 Oil Rubbed Bronze Folding Handle  
 Oil Rubbed Bronze Multi - Point Lock  
 Aluminum Screen  
 White Surround  
 Charcoal Fiberglass Mesh  
 4 9/16" Jamb  
 Exterior Casing - None  
 No Subsill  
 Installed Installation Brackets

Line #2	Mark Unit: standard size	Net Price:		806.52
Qty: 1		Ext. Net Price:	USD	806.52



Primed Pine Exterior  
 Primed Pine Interior  
 Basic Unit  
 Wood Ultimate Double Hung  
 CN 3616  
 Rough Opening w/o Subsill  
 42 3/8" X 40 13/32"  
 Top Sash  
 Primed Pine Sash Exterior  
 Primed Pine Sash Interior  
 IG  
 Low E2 w/Argon  
 Stainless Perimeter and Spacer Bar  
 7/8" SDL - With Spacer Bar - Stainless  
 Rectangular - Standard Cut 4W2H  
 Primed Pine Ext - Primed Pine Int  
 Ovolo Exterior Glazing Profile

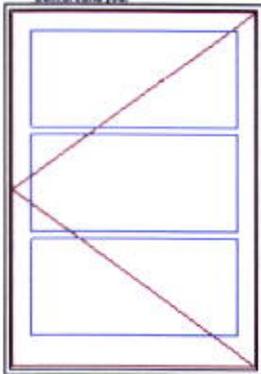


As Viewed From The Exterior

Entered As: CN  
 CN 3616  
 FS 41 3/8" X 39 29/32"  
 RO 42 3/8" X 40 13/32"  
**Egress Information**  
 Width: 37 13/16" Height: 14 1/4"  
 Net Clear Opening: 3.74 SqFt  
**Performance Information**  
 U-Factor: 0.29  
 Solar Heat Gain Coefficient: 0.26  
 Visible Light Transmittance: 0.45  
 Condensation Resistance: 57  
 CPD Number: MAR-N-75-05573-00001  
 ENERGY STAR: NC  
**Performance Grade**  
 Licensee #1109  
 AAMA/WDMA/CSA/101/ I.S.2/A440-08  
 LC-PG40 1051X2464 mm (41.38X97 in)  
 LC-PG40 DP +40/-40  
 FL15206

Ovolo Interior Glazing Profile  
 Bottom Sash  
 Primed Pine Sash Exterior  
 Primed Pine Sash Interior  
 IG - 1 Lite  
 Low E2 w/Argon  
 Stainless Perimeter Bar  
 Ovolo Exterior Glazing Profile  
 Ovolo Interior Glazing Profile  
 Oil Rubbed Bronze Sash Lock  
 Beige Jamb Hardware  
 Non Finger-Jointed Blindstop  
 Aluminum Screen  
 Stone White Surround  
 Charcoal Fiberglass Mesh  
 \*\*\*Screen/Combo Ship Loose  
 4 9/16" Jamb  
 Exterior Casing - None  
 No Subsill  
 Non Finger-Jointed Sill  
 Installed Installation Brackets  
 \*\*\*Note: Screen/Combo/Storm OSM based on factory applied casing and subsill. Field application may require special sizing.

Line #3	Mark Unit: Custom size	Net Price:		849.42
Qty: 1		Ext. Net Price:	USD	849.42



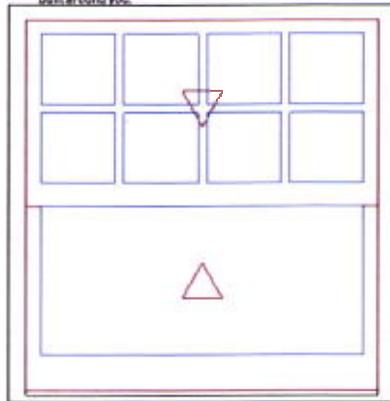
As Viewed From The Exterior

Entered As: RO  
 FS 29" X 41 1/2"  
 RO 30" X 42"  
**Egress Information**  
 Width: 21 57/64" Height: 36 25/64"  
 Net Clear Opening: 5.53 SqFt  
**Performance Information**  
 U-Factor: 0.28  
 Solar Heat Gain Coefficient: 0.25  
 Visible Light Transmittance: 0.42

Primed Pine Exterior  
 Primed Pine Interior  
 Basic Unit  
 Wood Ultimate Casement - Left Hand  
 Rough Opening w/o Subsill  
 30" X 42"  
 Frame Size w/o Subsill  
 29" X 41 1/2"  
 Primed Pine Sash Exterior  
 Primed Pine Sash Interior  
 IG - 3/4"  
 Low E2 w/Argon  
 Stainless Perimeter and Spacer Bar  
 7/8" SDL - With Spacer Bar - Stainless  
 Rectangular - Special Cut 1W3H  
 Primed Pine Ext - Primed Pine Int  
 Match WUDH Interior and Exterior Sash Profiles and Divided Lite Bars  
 Ovolo Interior Glazing Profile  
 Tall Bottom Rail  
 White Weather Strip  
 Oil Rubbed Bronze Folding Handle  
 Oil Rubbed Bronze Multi - Point Lock  
 Aluminum Screen  
 White Surround  
 Charcoal Fiberglass Mesh  
 4 9/16" Jamb  
 Exterior Casing - None  
 No Subsill  
 Installed Installation Brackets

Condensation Resistance: 59  
 CPD Number: MAR-N-347-07204-00001  
 ENERGY STAR: NC, SC, S  
**Performance Grade**  
 Licensee #1067  
 AAMA/WDMA/CSA/101/ I.S. 2/A440-08  
 CW-PG50 914X2442 mm (36X96.13 in)  
 CW-PG50 DP +50/-50  
 FL 13145

Line #4	Mark Unit: Custom size	Net Price:		917.28
Qty: 1		Ext. Net Price:	USD	917.28



As Viewed From The Exterior

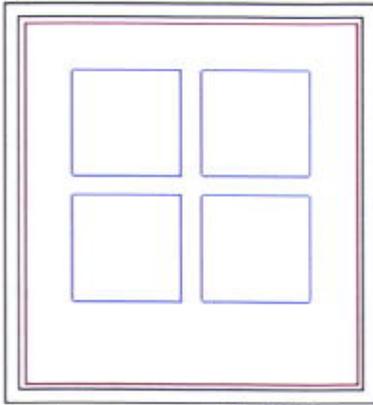
**Entered As:** RO  
**FS** 39" X 39 1/2"  
**RO** 40" X 40"  
**Egress Information**  
 Width: 35 7/16" Height: 14 3/64"  
 Net Clear Opening: 3.46 SqFt  
**Performance Information**  
 U-Factor: 0.29  
 Solar Heat Gain Coefficient: 0.26  
 Visible Light Transmittance: 0.45  
 Condensation Resistance: 57  
 CPD Number: MAR-N-75-05573-00001  
 ENERGY STAR: NC  
**Performance Grade**  
 Licensee #1109  
 AAMA/WDMA/CSA/101/ I.S. 2/A440-08  
 LC-PG40 1051X2464 mm (41.38X97 in)  
 LC-PG40 DP +40/-40  
 FL15206

Primed Pine Exterior  
 Primed Pine Interior  
 Basic Unit  
 Wood Ultimate Double Hung  
 Rough Opening w/o Subsill  
 40" X 40"  
 Top Sash  
 Primed Pine Sash Exterior  
 Primed Pine Sash Interior  
 IG  
 Low E2 w/Argon  
 Stainless Perimeter and Spacer Bar  
 7/8" SDL - With Spacer Bar - Stainless  
 Rectangular - Special Cut 4W2H  
 Primed Pine Ext - Primed Pine Int  
 Ovolo Exterior Glazing Profile  
 Ovolo Interior Glazing Profile  
 Bottom Sash  
 Primed Pine Sash Exterior  
 Primed Pine Sash Interior  
 IG - 1 Lite  
 Low E2 w/Argon  
 Stainless Perimeter Bar  
 Ovolo Exterior Glazing Profile  
 Ovolo Interior Glazing Profile  
 Oil Rubbed Bronze Sash Lock  
 Beige Jamb Hardware  
 Non Finger-Jointed Blindstop  
 Aluminum Screen  
 Stone White Surround  
 Charcoal Fiberglass Mesh  
 \*\*\*Screen/Combo Ship Loose  
 4 9/16" Jamb  
 Exterior Casing - None  
 No Subsill  
 Non Finger-Jointed Sill  
 Installed Installation Brackets  
 \*\*\*Note: Screen/Combo/Storm OSM based on factory applied casing and subsill. Field application may require special sizing

Line #5	Mark Unit: standard size	Net Price:		470.34
Qty: 3		Ext. Net Price:	USD	1,411.02



Primed Pine Exterior  
 Primed Pine Interior  
 Basic Unit  
 Wood Ultimate Casement - Stationary  
 CN 1618  
 Rough Opening w/o Subsill  
 17" X 17 5/8"  
 Frame Size w/o Subsill  
 16" X 17 1/8"  
 Primed Pine Sash Exterior  
 Primed Pine Sash Interior  
 IG - 3/4"  
 Low E2  
 Capillary Tube



As Viewed From The Exterior

Entered As: CN

CN 1618

FS 16" X 17 1/8"

RO 17" X 17 5/8"

**Egress Information**

No Egress Information available.

**Performance Information**

Product Performance Information is currently unavailable in the OMS for this product and glazing option. To request product performance information not in the OMS, contact your Marvin representative or submit an Assistance Request.

**Performance Grade**

Licensee #1067

AAMA/WDMA/CSA/101/ I.S.2/A440-08

CW-PG50 914X2442 mm (36X96.13 in)

CW-PG50 DP +50/-50

FL 13145

Stainless Perimeter and Spacer Bar  
7/8" SDL - With Spacer Bar - Stainless  
Rectangular - Special Cut 2W2H  
Primed Pine Ext - Primed Pine Int  
Ogee Interior Glazing Profile  
Tall Bottom Rail  
White Weather Strip  
Solid Wood Covers  
4 9/16" Jambs  
Exterior Casing - None  
No Sub sill  
Installed Installation Brackets

Project Subtotal Net Price: USD	4,761.12
0.000% Sales Tax: USD	0.00
Project Total Net Price: USD	4,761.12

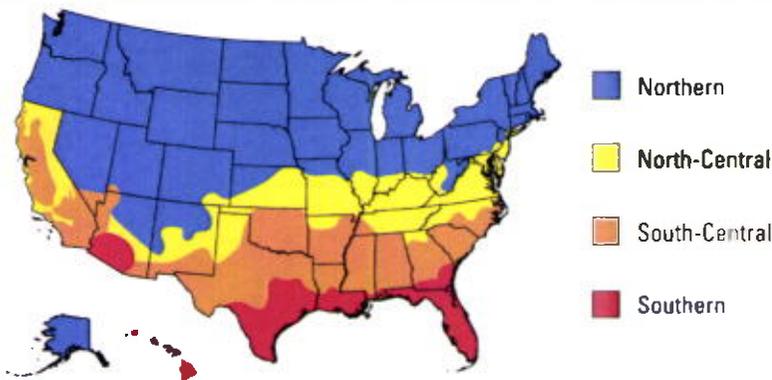
## Product and Performance Information

NFRC energy ratings and values may vary depending on the exact configuration of glass thickness used on the unit. This data may change over time due to ongoing product changes or updated test results or requirements.

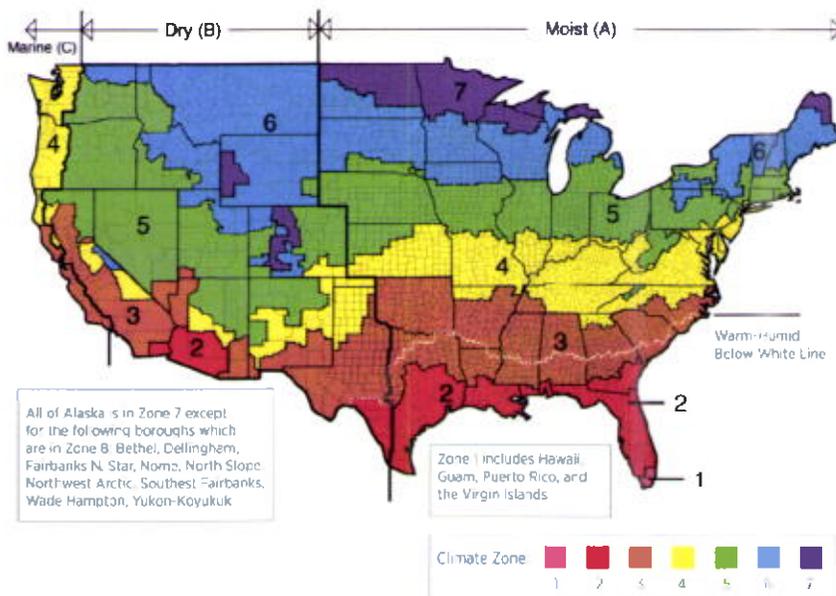
The National Fenestration Rating Council (NFRC) has developed and operates a uniform national rating system for the energy performance of fenestration products, including windows and doors. For additional information regarding this rating system, see [www.nfrc.org/WindowRatings](http://www.nfrc.org/WindowRatings).

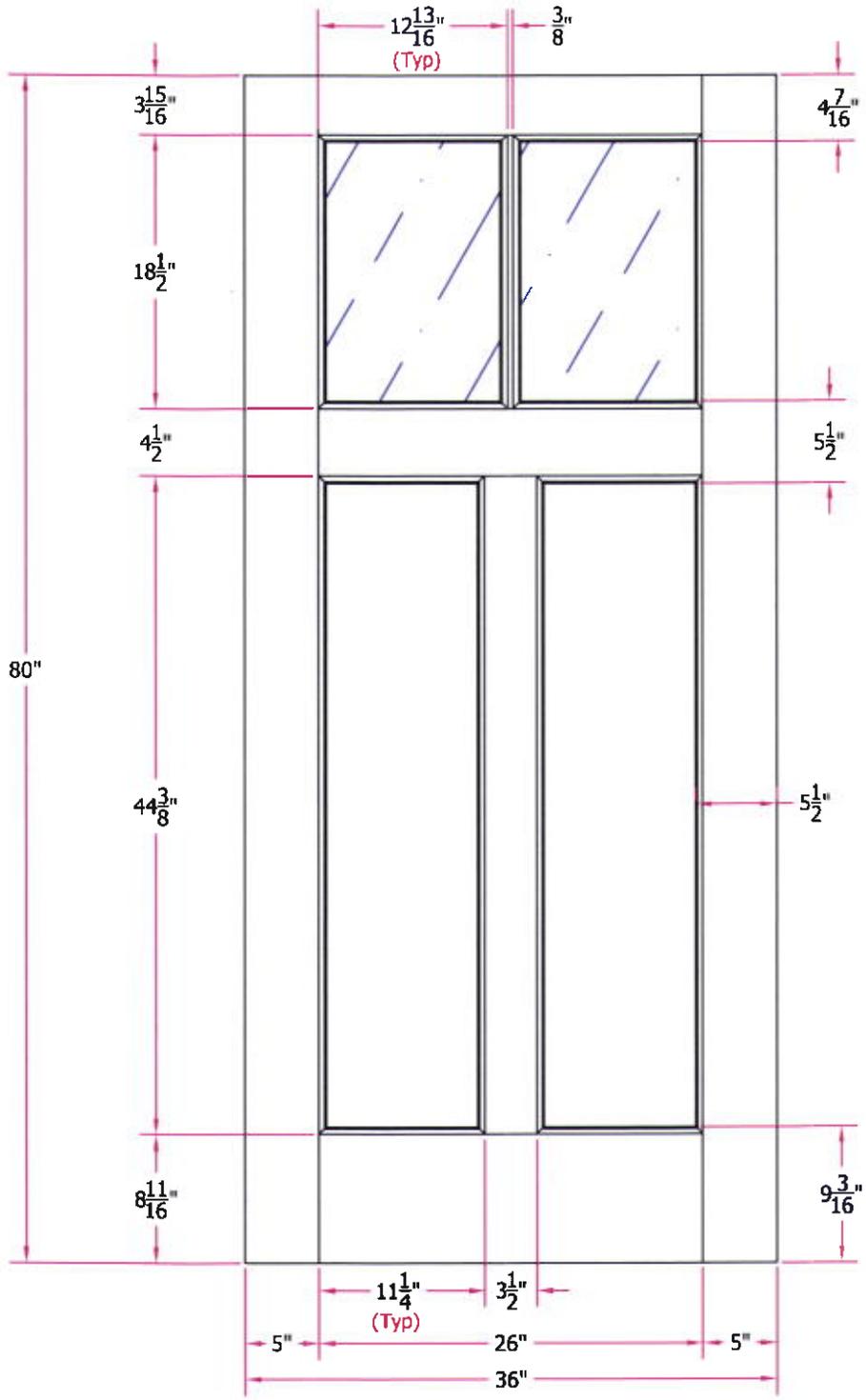
NFRC energy values and ratings may change over time due to ongoing product changes, updated test results or requirements.

Review the map below to determine if your units meet ENERGY STAR for your location.



### International Energy Conservation Code (IECC) Climate Regions





THIS DRAWING AND THE INFORMATION CONTAINED HEREIN IS PROPRIETARY TO SIMPSON DOOR COMPANY AND SHALL NOT BE REPRODUCED, COPIED OR DISCLOSED IN WHOLE OR PART, OR USED FOR MANUFACTURE OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF SIMPSON DOOR COMPANY.

TITLE **6802 3/0 x 6/8**  
**Customer Layout**

DRAWING NO. **D-6802-300-608-0700**

Rev. #	Description	Date	by Whom

LAYOUT **00** SCALE **NTS** PATTERN # **7013**  
DRAWN BY: **J. Decker** DATE **10/20/05**

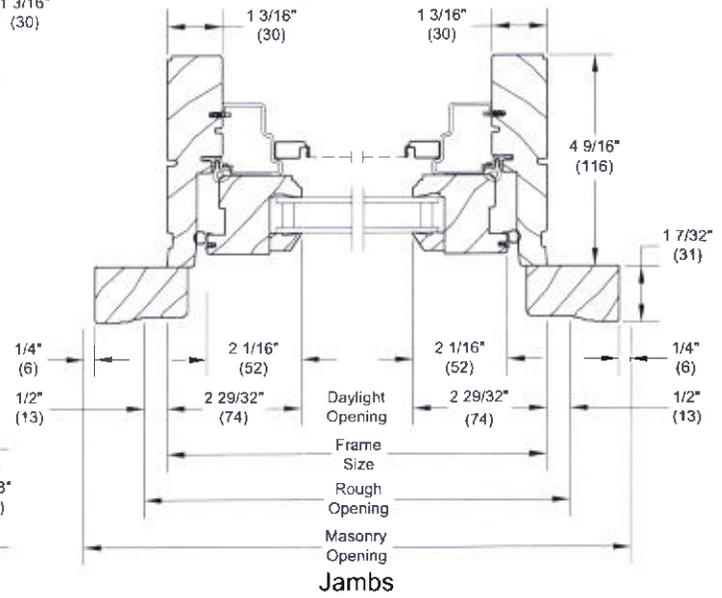
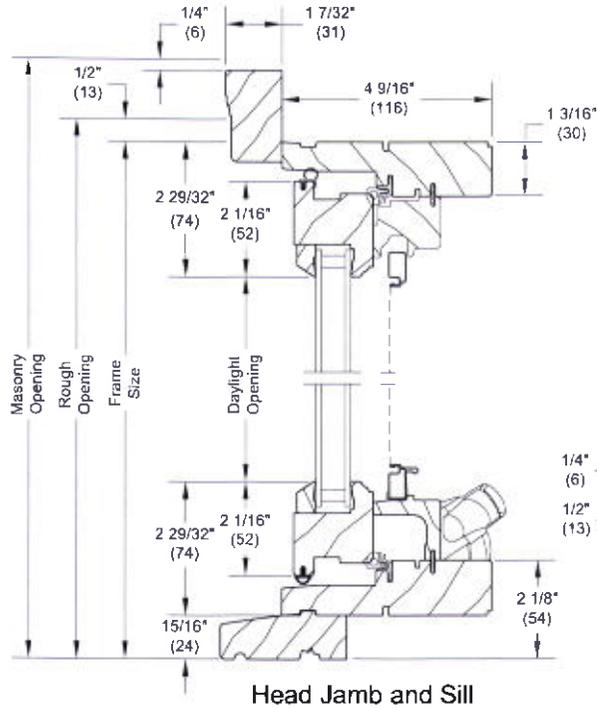


Wood Ultimate Casement, Awning and Picture

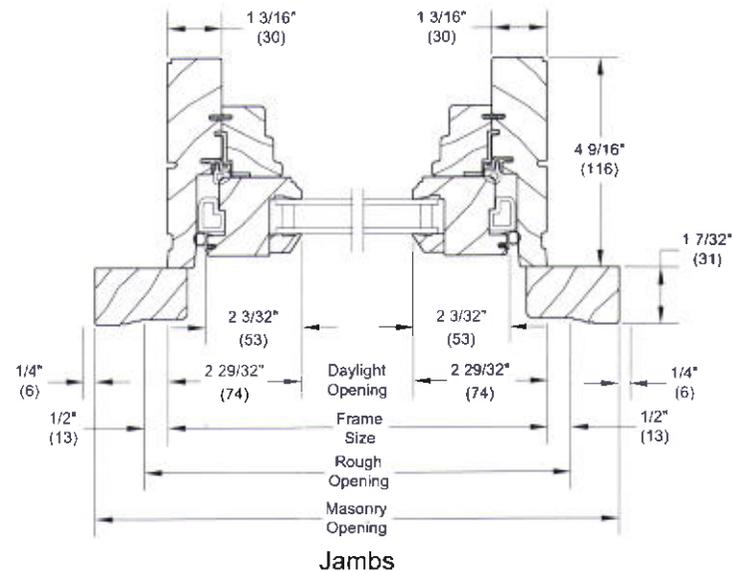
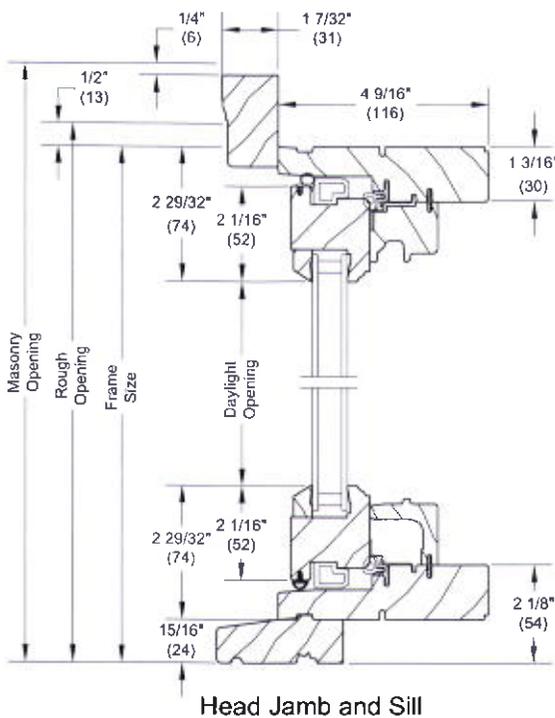
Section Details: Operating and Stationary / Picture - 3/4" (19) IG

Scale: 3" = 1' 0"

Operating



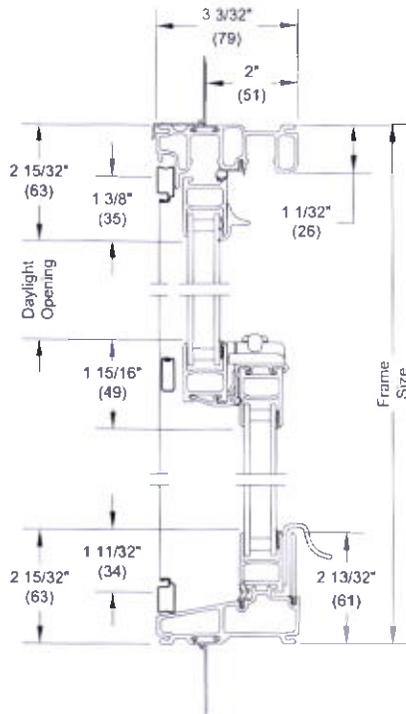
Stationary



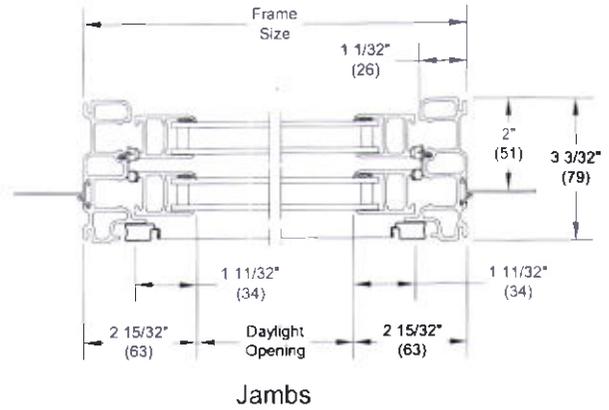
*All Ultrex Double Hung*

**Section Details: Operator**

Scale: 3" = 1' 0"

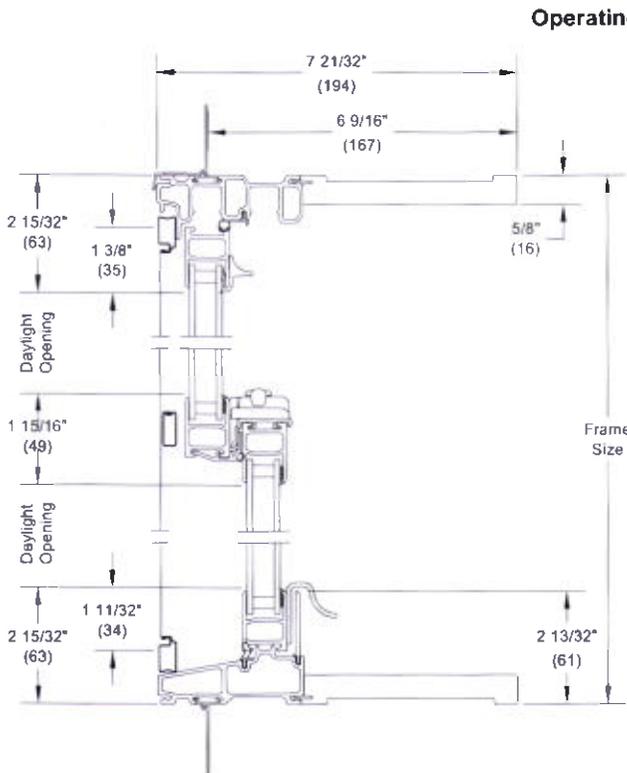


Operating - 2" (51)

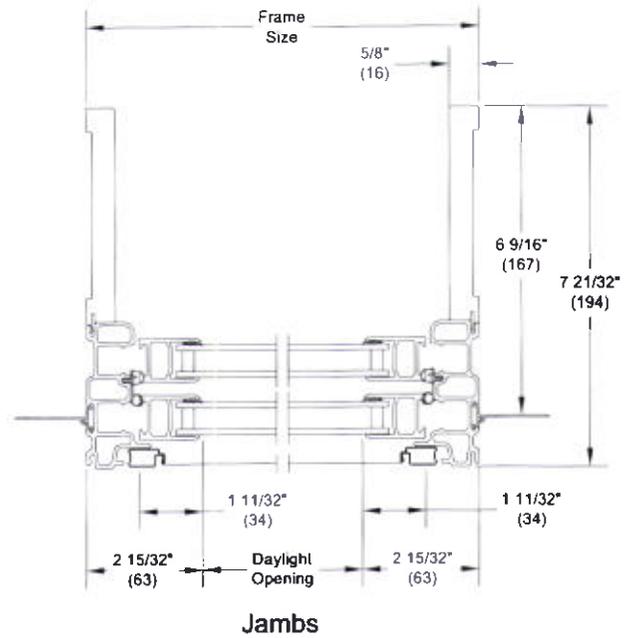


Jambs

Head Jamb and Sill



Operating - 6 9/16" (167)



Jambs

Head Jamb and Sill

**NOTE:** Units also available with 4 9/16" jamb. Same jamb extension profile as 6 9/16" jamb extension shown.





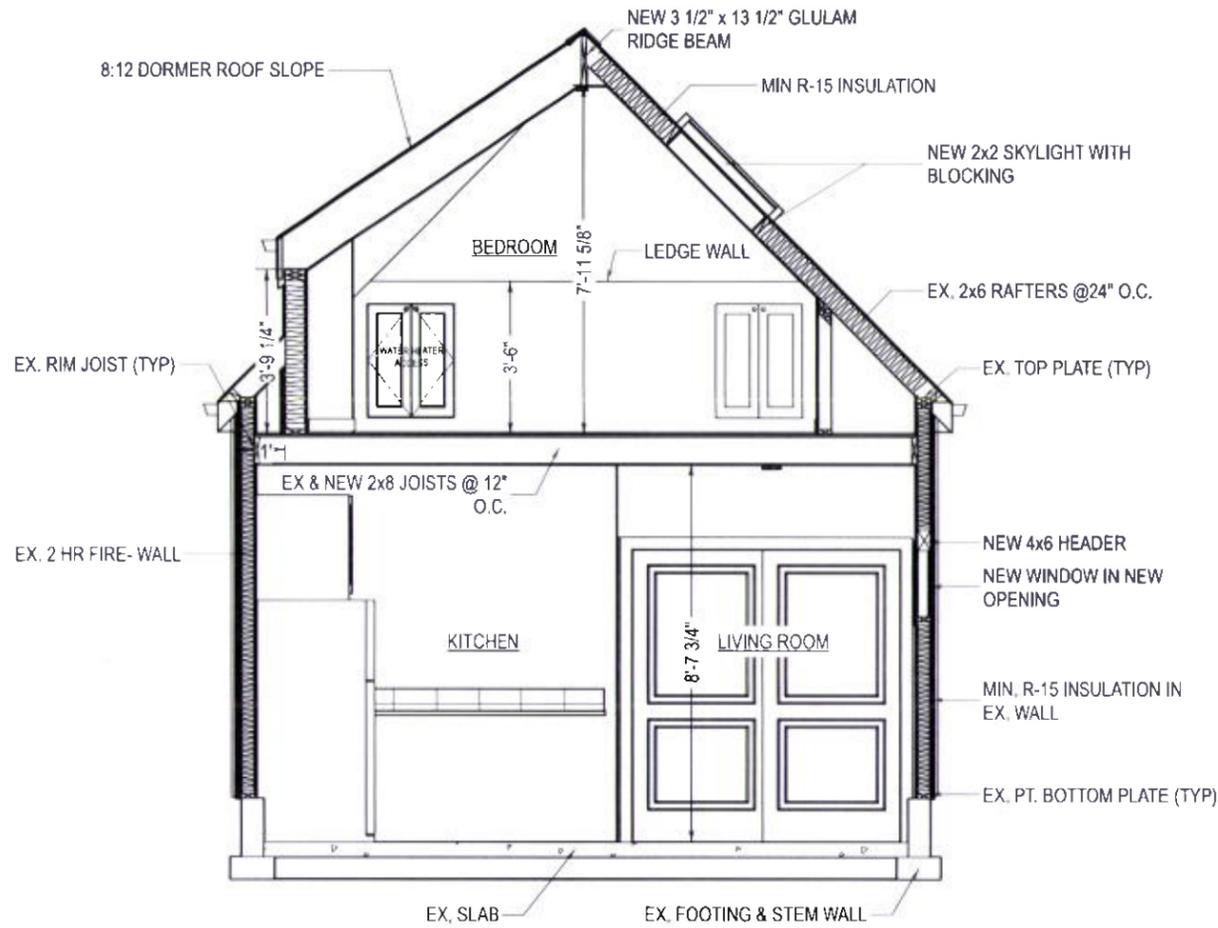




# McCANDLISH ADU

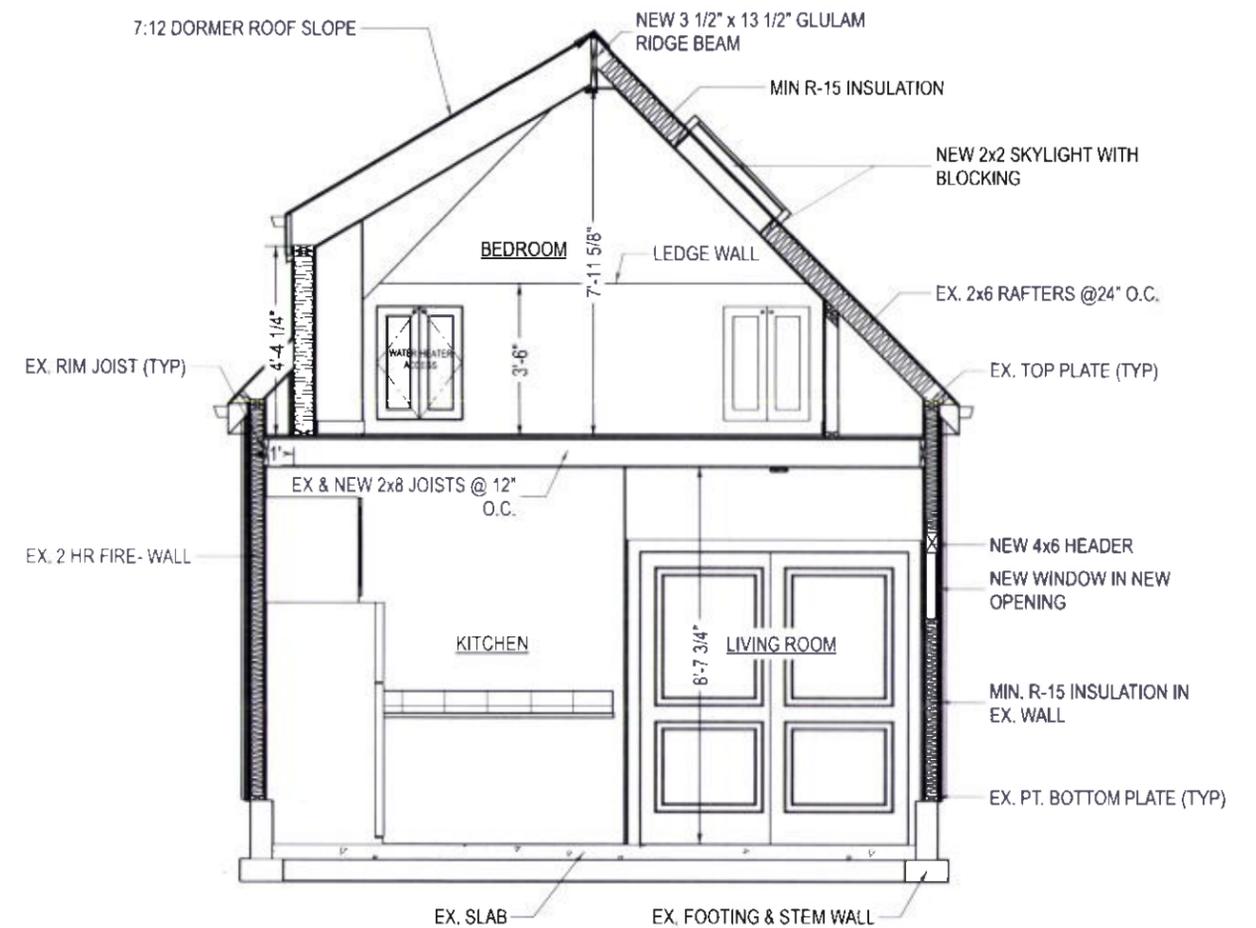
SHED DORMER ROOF REVIEW  
 STRUCTURAL DETAILS & ANNOTATIONS INCOMPLETE.  
 DRAWINGS FOR SHED DORMER REVIEW ONLY.

6-11



**A**  
**1** DORMER SECTION 8:12  
 1/4" = 1'-0"

8:12 SHED ROOF DOES NOT ALLOW FOR EGRESS WINDOW. CEILING HEIGHT DOES NOT MEET MINIMUM REQUIREMENT OF 6'-8" COMPRISING AT LEAST 50% OF ROOM AREA. CEILINGS UNDER 5'-0" DO NOT COUNT TOWARDS ROOM AREA.



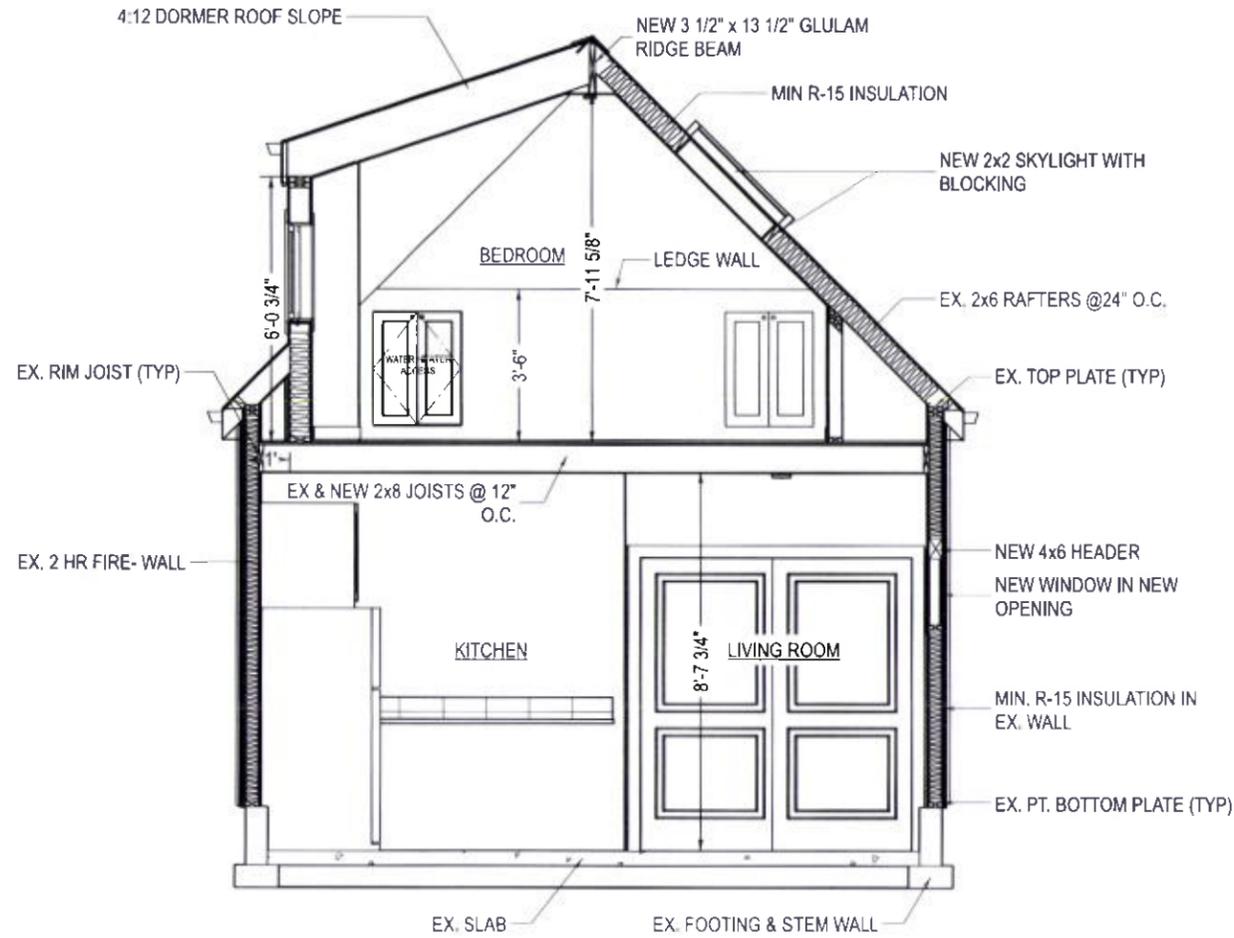
**A**  
**2** DORMER SECTION 7:12  
 1/4" = 1'-0"

7:12 SHED ROOF DOES NOT ALLOW FOR EGRESS WINDOW. CEILING HEIGHT DOES NOT MEET MINIMUM REQUIREMENT OF 6'-8" COMPRISING AT LEAST 50% OF ROOM AREA. CEILINGS UNDER 5'-0" DO NOT COUNT TOWARDS ROOM AREA.

# McCANDLISH ADU

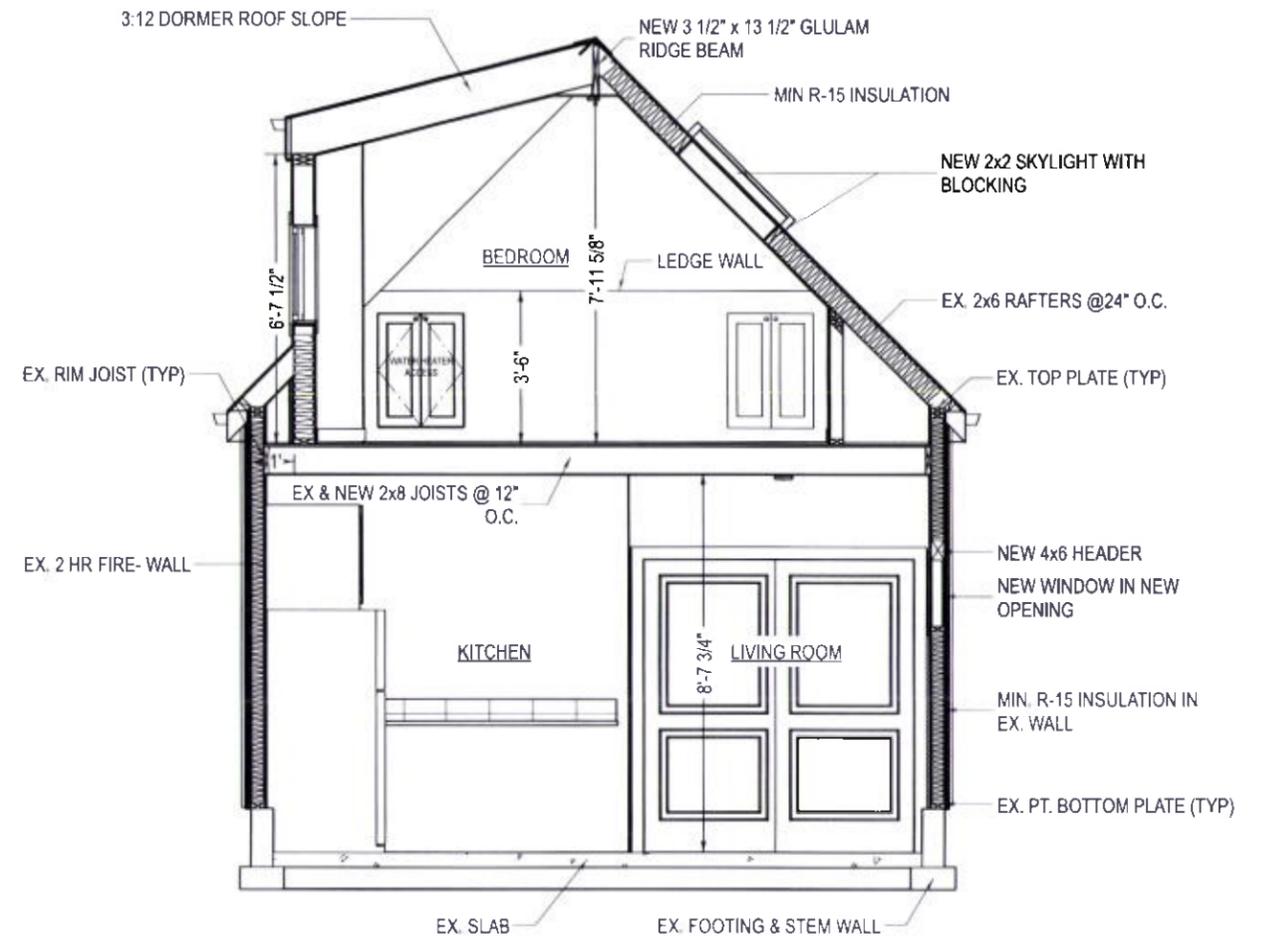
SHED DORMER ROOF REVIEW  
 STRUCTURAL DETAILS & ANNOTATIONS INCOMPLETE.  
 DRAWINGS FOR SHED DORMER REVIEW ONLY.

5.759ft  
 20/24"



**C**  
**1** DORMER SECTION 4:12  
 1/4" = 1'-0"

4:12 SHED ROOF DOES ALLOW FOR EGRESS WINDOW.  
 CEILING HEIGHT DOES NOT MEET MINIMUM REQUIREMENT  
 OF 6'-8" COMPRISING AT LEAST 50% OF ROOM AREA.  
 CEILINGS UNDER 5'-0" DO NOT COUNT TOWARDS ROOM  
 AREA.



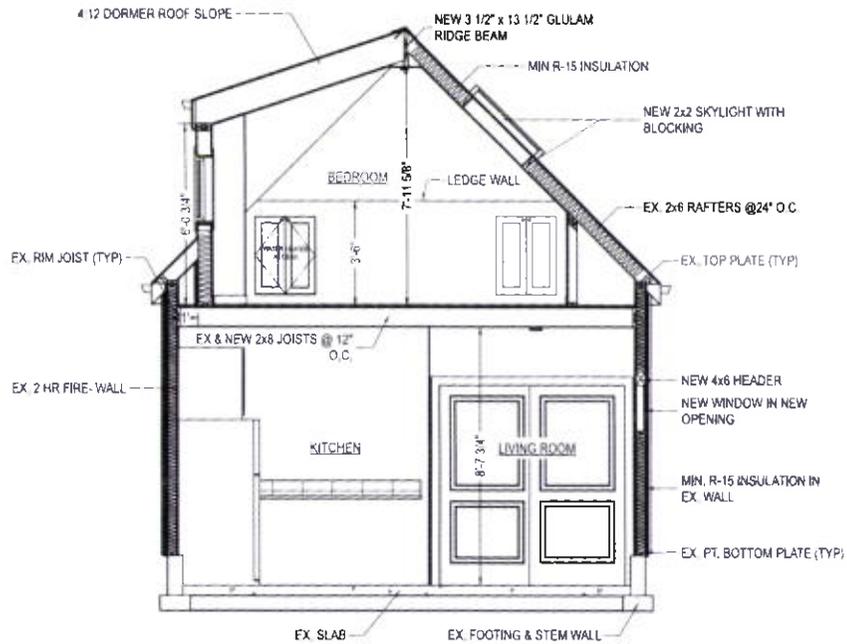
**C**  
**2** DORMER SECTION 3:12  
 1/4" = 1'-0"

6:12 SHED ROOF DOES ALLOW FOR EGRESS WINDOW.  
 CEILING HEIGHT DOES MEET MINIMUM REQUIREMENT OF  
 6'-8" COMPRISING AT LEAST 50% OF ROOM AREA.  
 CEILINGS UNDER 5'-0" DO NOT COUNT TOWARDS ROOM  
 AREA.

6-13

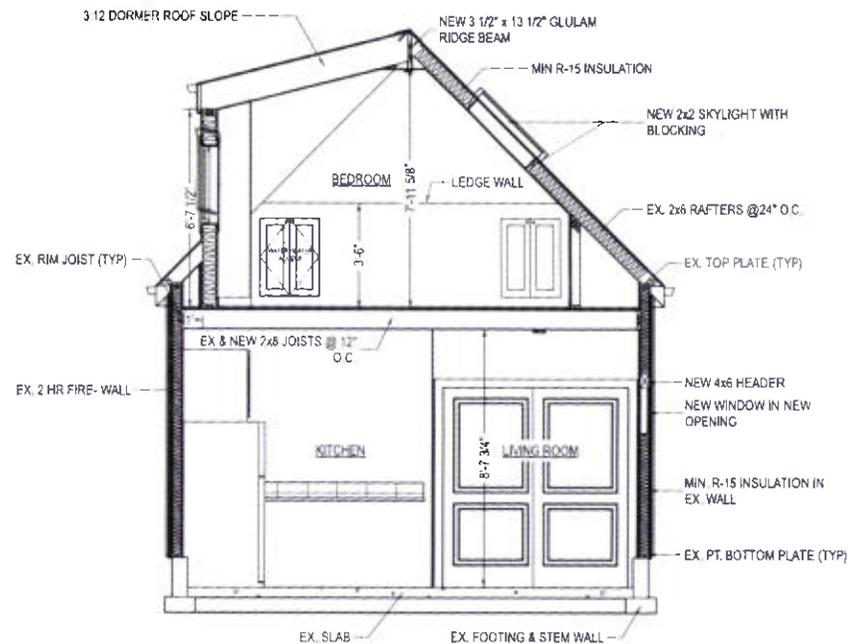
# McCANDLISH ADU

SHED DORMER ROOF REVIEW  
 STRUCTURAL DETAILS & ANNOTATIONS INCOMPLETE,  
 DRAWINGS FOR SHED DORMER REVIEW ONLY.



**C-1**  
**1** DORMER SECTION 4:12  
 1/4" = 1'-0"

4:12 SHED ROOF DOES ALLOW FOR EGRESS WINDOW.  
 CEILING HEIGHT DOES NOT MEET MINIMUM REQUIREMENT  
 OF 6'-8" COMPRISING AT LEAST 50% OF ROOM AREA.  
 CEILINGS UNDER 5'-0" DO NOT COUNT TOWARDS ROOM  
 AREA.



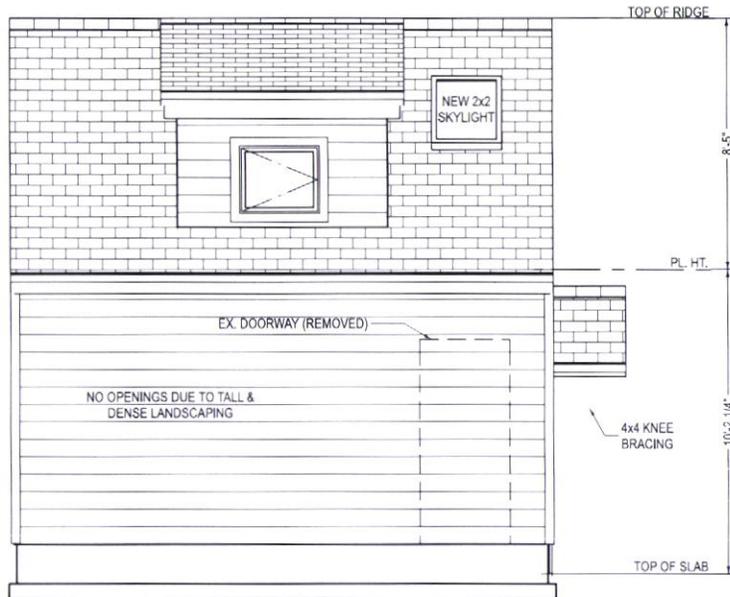
**C-1**  
**2** DORMER SECTION 3:12  
 1/4" = 1'-0"

6:12 SHED ROOF DOES ALLOW FOR EGRESS WINDOW.  
 CEILING HEIGHT DOES MEET MINIMUM REQUIREMENT OF  
 6'-8" COMPRISING AT LEAST 50% OF ROOM AREA.  
 CEILINGS UNDER 5'-0" DO NOT COUNT TOWARDS ROOM  
 AREA.

A-9

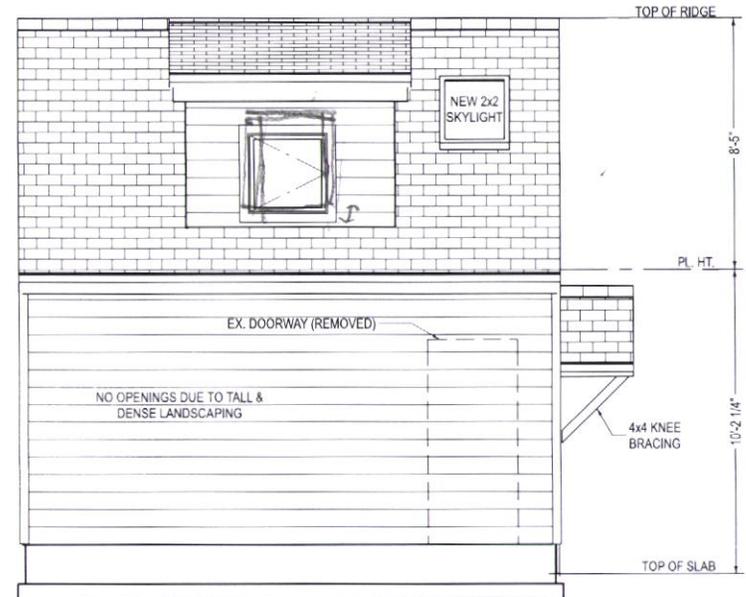
# McCANDLISH ADU

SHED DORMER ROOF REVIEW  
STRUCTURAL DETAILS & ANNOTATIONS INCOMPLETE.  
DRAWINGS FOR SHED DORMER REVIEW ONLY.



C-2  
1 DORMER SECTION 4:12  
1/4" = 1'-0"

4:12 SHED ROOF DOES ALLOW FOR EGRESS WINDOW.  
CEILING HEIGHT DOES NOT MEET MINIMUM REQUIREMENT  
OF 6'-8" COMPRISING AT LEAST 50% OF ROOM AREA.  
CEILINGS UNDER 5'-0" DO NOT COUNT TOWARDS ROOM  
AREA.

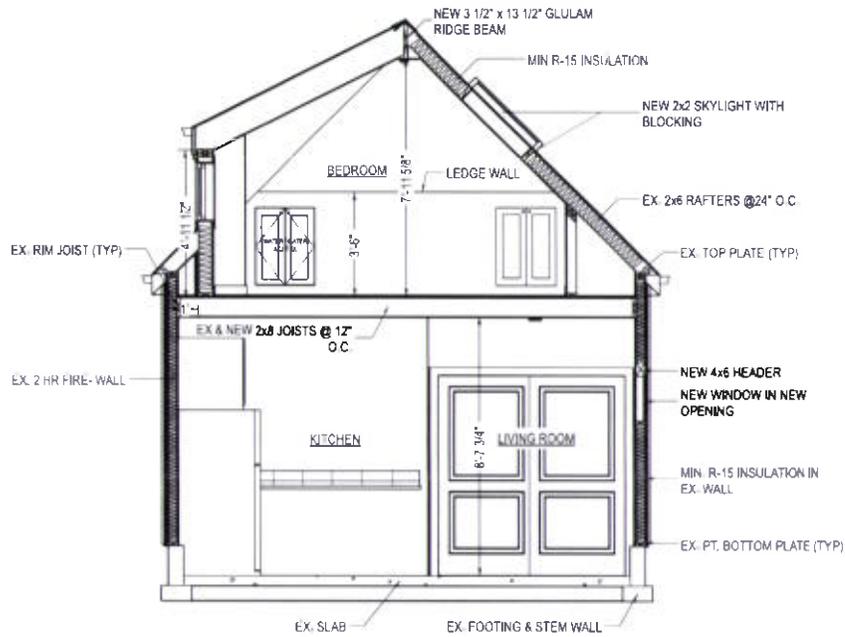


C-2  
2 DORMER SECTION 3:12  
1/4" = 1'-0"

3:12 SHED ROOF DOES ALLOW FOR EGRESS WINDOW.  
CEILING HEIGHT DOES MEET MINIMUM REQUIREMENT OF  
6'-8" COMPRISING AT LEAST 50% OF ROOM AREA.  
CEILINGS UNDER 5'-0" DO NOT COUNT TOWARDS ROOM  
AREA.

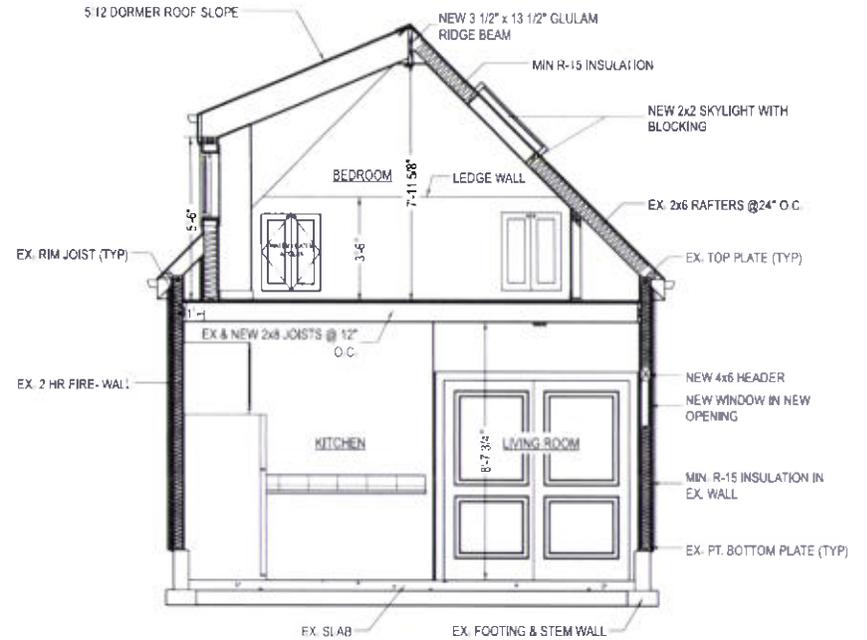
# McCANDLISH ADU

SHED DORMER ROOF REVIEW  
 STRUCTURAL DETAILS & ANNOTATIONS INCOMPLETE.  
 DRAWINGS FOR SHED DORMER REVIEW ONLY.



**B-1**  
**1** **DORMER SECTION 6:12**  
 1/4" = 1'-0"

6:12 SHED ROOF MIGHT ALLOW FOR EGRESS WINDOW. CEILING HEIGHT DOES NOT MEET MINIMUM REQUIREMENT OF 6'-8" COMPRISING AT LEAST 50% OF ROOM AREA. CEILINGS UNDER 5'-0" DO NOT COUNT TOWARDS ROOM AREA.

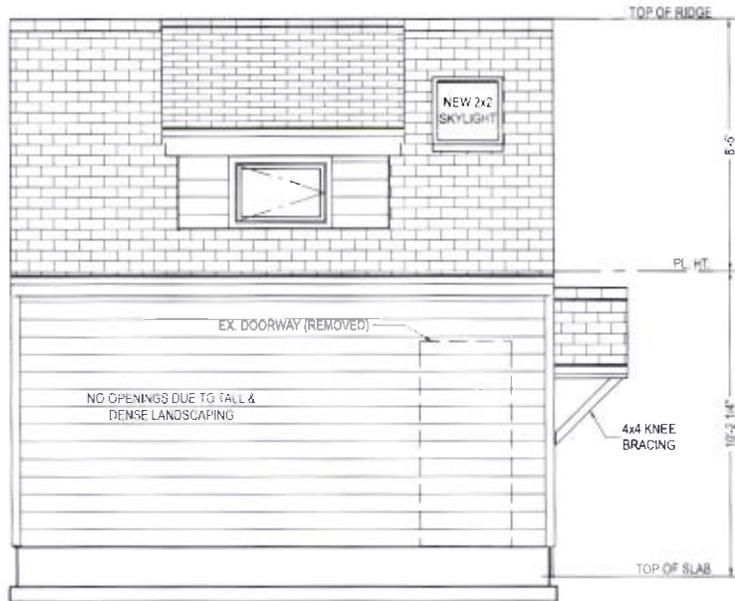


**B-1**  
**2** **DORMER SECTION 5:12**  
 1/4" = 1'-0"

5:12 SHED ROOF DOES ALLOW FOR EGRESS WINDOW. CEILING HEIGHT DOES NOT MEET MINIMUM REQUIREMENT OF 6'-8" COMPRISING AT LEAST 50% OF ROOM AREA. CEILINGS UNDER 5'-0" DO NOT COUNT TOWARDS ROOM AREA.

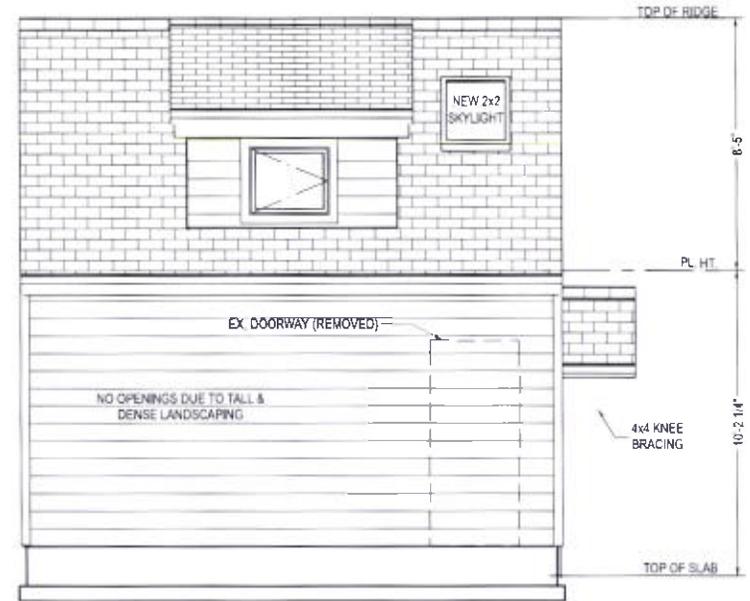
# McCANDLISH ADU

SHED DORMER ROOF REVIEW  
STRUCTURAL DETAILS & ANNOTATIONS INCOMPLETE.  
DRAWINGS FOR SHED DORMER REVIEW ONLY.



**B-2**  
**1** **DORMER SECTION 6:12**  
1/4" = 1'-0"

6:12 SHED ROOF MIGHT ALLOW FOR EGRESS WINDOW.  
CEILING HEIGHT DOES NOT MEET MINIMUM REQUIREMENT  
OF 6'-8" COMPRISING AT LEAST 50% OF ROOM AREA.  
CEILINGS UNDER 5'-0" DO NOT COUNT TOWARDS ROOM  
AREA.

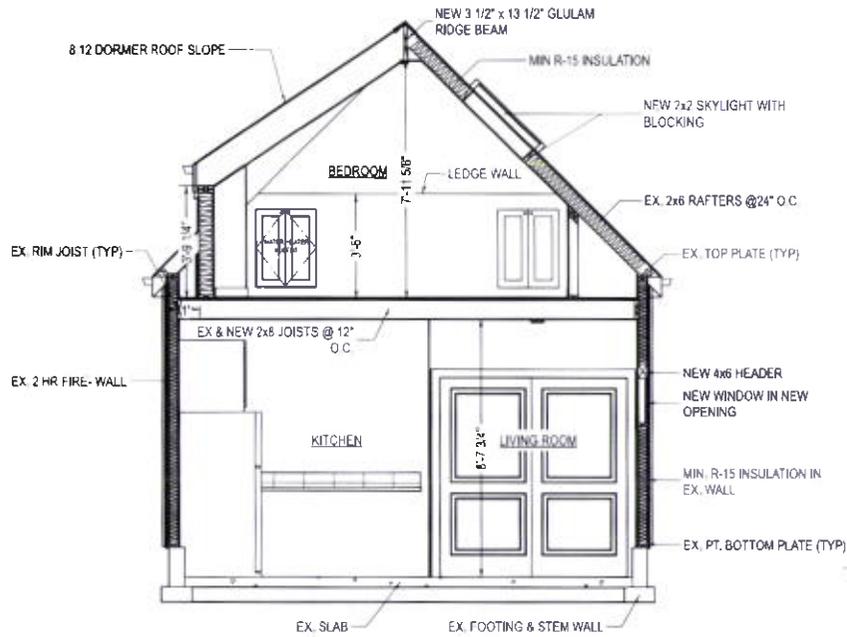


**B-2**  
**2** **DORMER SECTION 5:12**  
1/4" = 1'-0"

5:12 SHED ROOF DOES ALLOW FOR EGRESS WINDOW.  
CEILING HEIGHT DOES NOT MEET MINIMUM REQUIREMENT  
OF 6'-8" COMPRISING AT LEAST 50% OF ROOM AREA.  
CEILINGS UNDER 5'-0" DO NOT COUNT TOWARDS ROOM  
AREA.

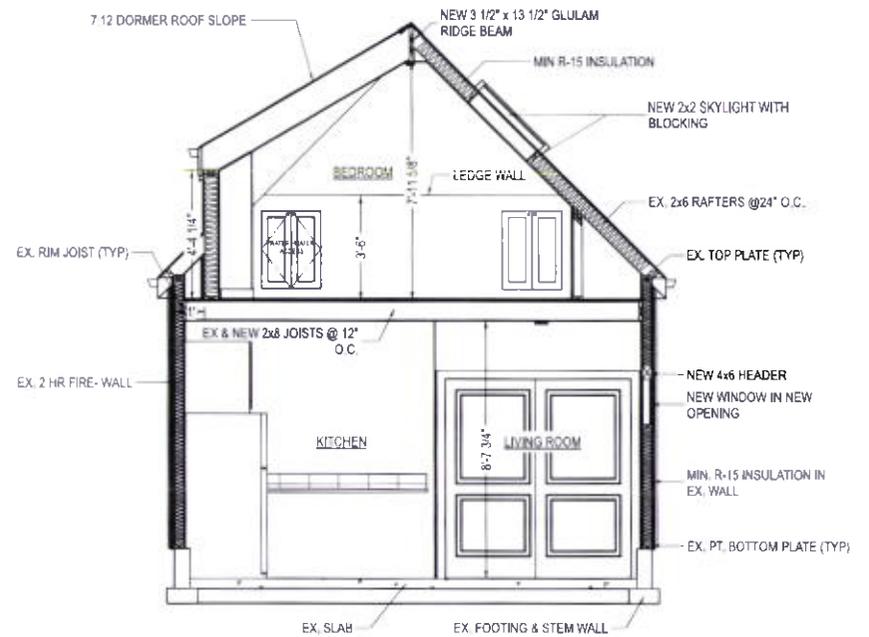
# McCANDLISH ADU

SHED DORMER ROOF REVIEW  
 STRUCTURAL DETAILS & ANNOTATIONS INCOMPLETE.  
 DRAWINGS FOR SHED DORMER REVIEW ONLY.



**A-1**  
**1** **DORMER SECTION 8:12**  
 1/4" = 1'-0"

8:12 SHED ROOF DOES NOT ALLOW FOR EGRESS WINDOW, CEILING HEIGHT DOES NOT MEET MINIMUM REQUIREMENT OF 6'-8" COMPRISING AT LEAST 50% OF ROOM AREA. CEILINGS UNDER 5'-0" DO NOT COUNT TOWARDS ROOM AREA.

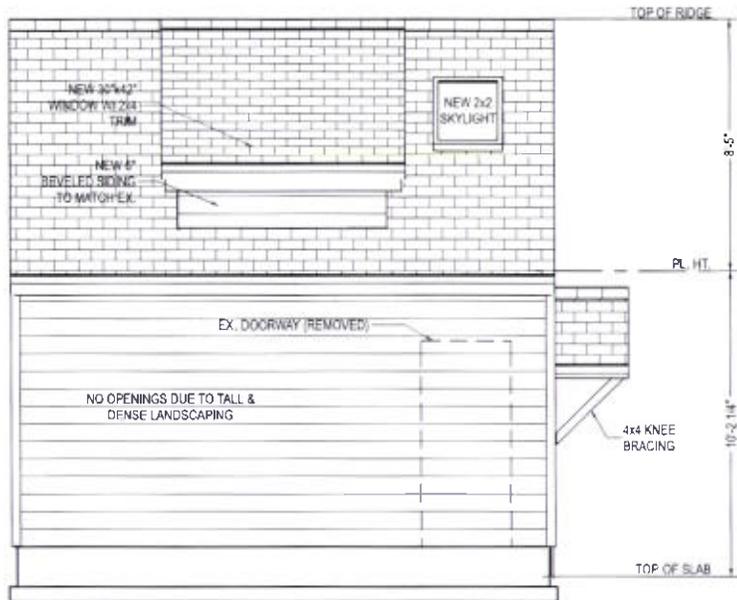


**A-1**  
**2** **DORMER SECTION 7:12**  
 1/4" = 1'-0"

7:12 SHED ROOF DOES NOT ALLOW FOR EGRESS WINDOW, CEILING HEIGHT DOES NOT MEET MINIMUM REQUIREMENT OF 6'-8" COMPRISING AT LEAST 50% OF ROOM AREA. CEILINGS UNDER 5'-0" DO NOT COUNT TOWARDS ROOM AREA.

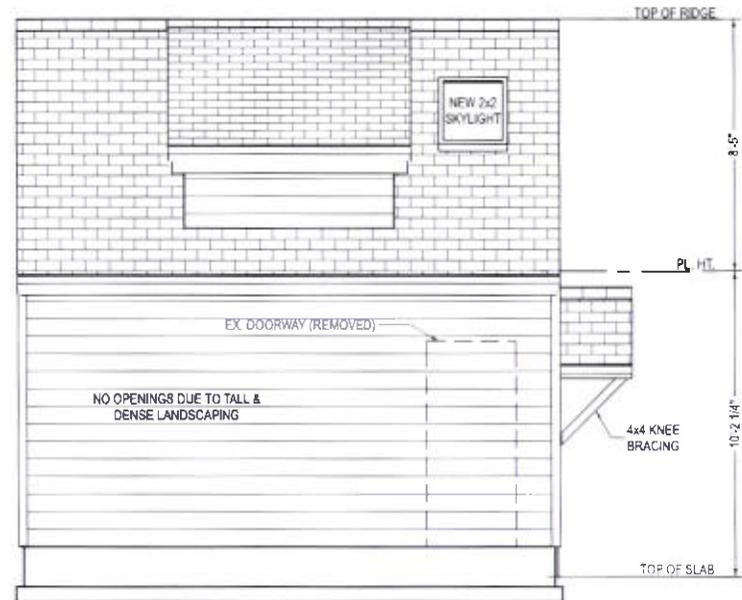
# McCANDLISH ADU

SHED DORMER ROOF REVIEW  
STRUCTURAL DETAILS & ANNOTATIONS INCOMPLETE.  
DRAWINGS FOR SHED DORMER REVIEW ONLY.



**A-2**  
**1** **DORMER SECTION 8:12**  
1/4" = 1'-0"

8:12 SHED ROOF DOES NOT ALLOW FOR EGRESS WINDOW.  
CEILING HEIGHT DOES NOT MEET MINIMUM REQUIREMENT  
OF 6'-8" COMPRISING AT LEAST 50% OF ROOM AREA.  
CEILINGS UNDER 5'-0" DO NOT COUNT TOWARDS ROOM  
AREA.



**A-2**  
**2** **DORMER SECTION 7:12**  
1/4" = 1'-0"

7:12 SHED ROOF DOES NOT ALLOW FOR EGRESS WINDOW.  
CEILING HEIGHT DOES NOT MEET MINIMUM REQUIREMENT  
OF 6'-8" COMPRISING AT LEAST 50% OF ROOM AREA.  
CEILINGS UNDER 5'-0" DO NOT COUNT TOWARDS ROOM  
AREA.

## Bhutani, Puja

---

**From:** Omar Martinez <casabonitallc@gmail.com>  
**Sent:** Tuesday, June 12, 2018 12:47 PM  
**To:** Bhutani, Puja  
**Subject:** Re: McCandlish

Hi,  
Please hold the application as incomplete.  
Thank you.  
Omar

Sent from my iPhone

> On Jun 12, 2018, at 9:19 AM, Bhutani, Puja <Puja.Bhutani@portlandoregon.gov> wrote:  
>  
> please confirm asap that you would like to hold the application incomplete.  
> Thank you.

**Bhutani, Puja**

---

**From:** James McCandlish <jmccandlish@comcast.net>  
**Sent:** Wednesday, June 20, 2018 7:50 PM  
**To:** Bhutani, Puja  
**Cc:** Omar Martinez; Amanda Haynes  
**Subject:** Re: LU18-145469HR- dormer alternatives  
**Attachments:** McCandlish Shed & Gable 6.20.pdf; ADU Title Company Lot Map of Neighborhood and Neighbor Approvals of Gable Dormer Style.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Puja,

Thank you for your response. Both Omar and Amanda inform me that your first two suggestions below do not meet code requirements. The third avenue you propose, the 4/12 shed roof style dormer, we agree does meet code; but is at the heart of our only remaining difference to be resolved. Towards that end, I've done two things to further address the dormer shed vs. gable style issue:

1. Amanda has prepared the attached renderings to orthographic scale and schematics for both styles,.
2. I've surveyed the closest neighbors, showing them the renditions and asking for their preference. The results are here, 100% in favor of the gable style. Also included is a color key on a plot map of the neighborhood identifying the residences.

Why the unanimous preference? The shed style disrupts the symmetry of the garage over-arching roof pitch. The renderings make this clear. The gable style creates a perfect triangle, or at least an isocetes triangle in the dormer interface with the garage roof. The 90 degree angles of the gable style match the pitch of the garage roof. In contrast, the shed style creates an inharmonious triangle with an approximate 110 degree grossly visible angle. Additionally, the gable style creates a visible sloping roof of indeterminate pitch, whereas the shed style shows only an unsightly roof line with zero pitch.

I appreciate your taking the time to consider these views. Best regards, Jim Mc

James E. McCandlish  
GRIFFIN & McCANDLISH  
1000 S.W. Broadway, Ste. 2400  
Portland, OR 97205  
Tel.: 503.206.8437  
Fax : 503.224.9201  
[jmccandlish@comcast.net](mailto:jmccandlish@comcast.net)

This e-mail contains confidential and/or privileged information intended for the addressee only. Please DO NOT read, copy or disseminate this communication unless you are in fact the intended addressee. If you believe you have received it in error, please call me immediately at 503.224.2349, and hit the reply button to let me know about the problem. Thank you. Jim Mc

On Jun 18, 2018, at 2:10 PM, Bhutani, Puja <[Puja.Bhutani@portlandoregon.gov](mailto:Puja.Bhutani@portlandoregon.gov)> wrote:

Hi James,

Thank you for the photographs and the voicemail. Most of the images are of a primary residence with roof pitches that are not as steep as the subject ADU. As I discussed with you earlier, staff acknowledges that many contributing resources have gabled dormers. However, the gable dormer form and roof pitch that is currently being proposed for the subject steeply pitched garage- a smaller secondary structure- is atypical. However, of the images provided, the following could be considered:

1. A gable dormer with roof pitches similar to the garage or the front porch of the existing house, as shown in the image provided below.

<image002.jpg>

2. A cross-dormer, as discussed earlier with Omar, and similar to the photograph provided below:  
<image003.jpg>

3. A shed dormer with a 4:12 pitch, as discussed earlier with Omar.

You are, of course, welcome to discuss the proposal with the neighbors and the neighborhood association. As a Type II review, a notice of proposal is mailed out to all within 400 feet of your residence, once the application is complete. Public comment is invited and taken into consideration by staff, when writing the decision. In case staff decision is appealed, the public comments will be part of the case file, and will be presented to the Landmarks Commission. Additional public comments can also be presented at the hearing.

I would like to ascertain that this is a Type II review. If the affected area is less than 150sf, then this would qualify as a Type I review with reduced fees and a quicker timeline. Omar, can you provide a calculation of the area of exterior alterations (front and side) to make sure that this is being processed under a correct review.

Please feel free to call me in case of additional questions.  
Thanks.

**Puja Bhutani, AICP**  
**Planner II | Design and Historic Review**  
City of Portland | Bureau of Development Services  
1900 SW 4th Ave | Ste 5000  
Portland OR, 97201

e: [puja.bhutani@portlandoregon.gov](mailto:puja.bhutani@portlandoregon.gov)  
p: 503-823-7226 | f: 503.823.5630

Work hours: Tue-Fri 7:30AM – 5:00PM

**From:** James McCandlish [<mailto:jmccandlish@comcast.net>]  
**Sent:** Thursday, June 14, 2018 12:21 PM  
**To:** Bhutani, Puja <[Puja.Bhutani@portlandoregon.gov](mailto:Puja.Bhutani@portlandoregon.gov)>

**Cc:** Omar Martinez <[casabonitallc@gmail.com](mailto:casabonitallc@gmail.com)>

**Subject:** Fwd:

I saw this one this morning bicycling to New Seasons, and included it because it is steep, and like our proposal, you can't tell whether it matches the pitch of the over all structure.

The basic problem that I have is that a shed roof destroys the symmetrical pitch of the garage from the only public viewing area (the alley). Thanks, for your hard work. Best regards, Jim Mc

James E. McCandlish  
GRIFFIN & McCANDLISH  
1000 S.W. Broadway, Ste. 2400  
Portland, OR 97205  
Tel.: 503.206.8437  
Fax : 503.224.9201  
[jmccandlish@comcast.net](mailto:jmccandlish@comcast.net)

This e-mail contains confidential and/or privileged information intended for the addressee only. Please DO NOT read, copy or disseminate this communication unless you are in fact the intended addressee. If you believe you have received it in error, please call me immediately at 503.224.2349, and hit the reply button to let me know about the problem. Thank you. Jim Mc

Begin forwarded message:

**From:** James McCandlish <[jmccandlish@comcast.net](mailto:jmccandlish@comcast.net)>  
**Date:** June 14, 2018 at 11:50:40 AM PDT  
**To:** James McCandlish <[jmccandlish@comcast.net](mailto:jmccandlish@comcast.net)>

<image001.jpg>

Jim Mc Sent from my iPhone



↗ The pitches of the two gables match the front porch; but not the house. You can't really tell that from this angle. Similarly, you can't tell that in our proposal either.



Not a matching pitch.



steep pitch. Looks like its matching because you can see the front and the side pitch in the same visual; unlike our situation.



Looking at the side of the house behind. Very large gable. Can't tell if pitches are matching.



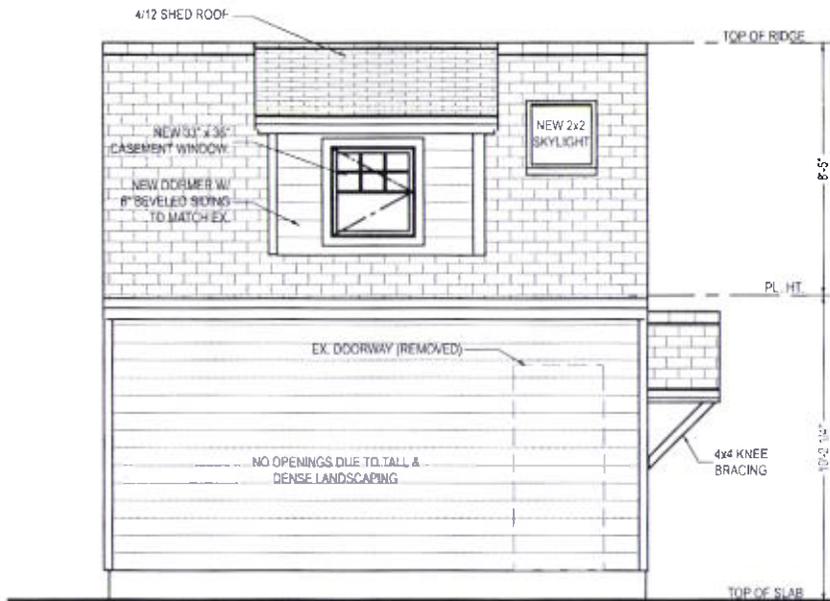
An example of matching slopes that are visible from the sidewalk...included because it is so common in this neighborhood.



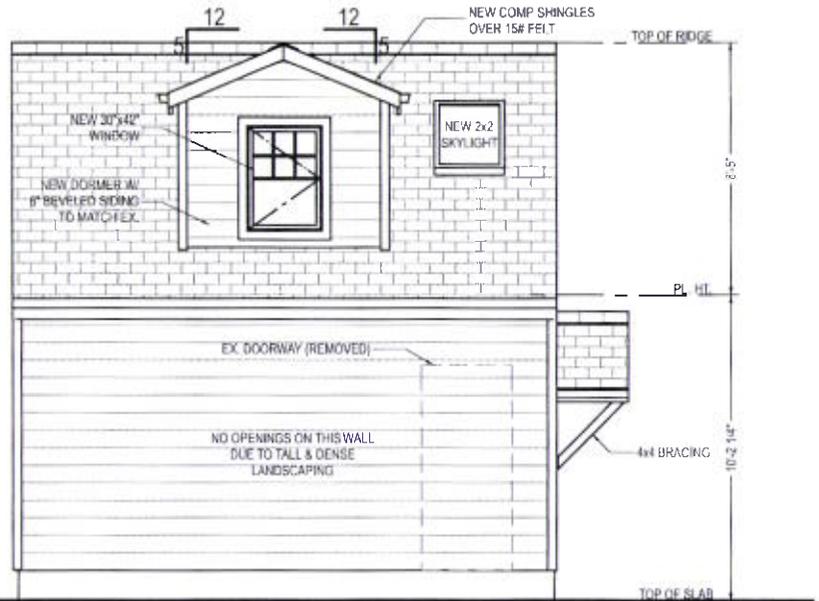
I saw this one this morning bicycling to New Seasons, and included it because it is steep, and like our proposal, you can't tell whether it matches the pitch of the over all structure.

The basic problem that I have is that a shed roof destroys the symmetrical pitch of the garage from the only public viewing area (the alley).

McCANDLISH ADU



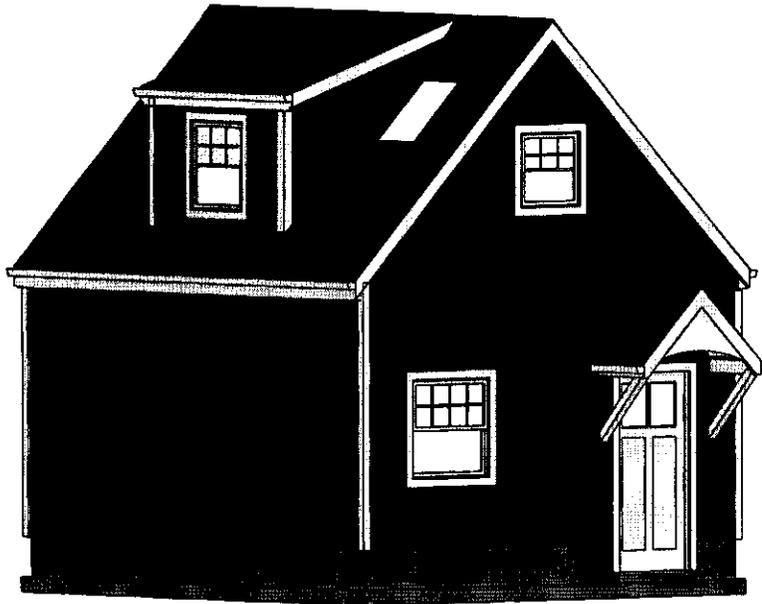
1  
A DORMER ELEVATION 4/12  
1/4" = 1'-0"



2  
A DORMER ELEVATION 4/12  
1/4" = 1'-0"

**McCANDLISH ADU**

Orthographic Scale:  
1/4" = 1'-0"



SHED- EAST RENDERING



GABLE- EAST RENDERING

**McCANDLISH ADU**

Orthographic Scale:  
1/4" = 1'-0"



SHED- NORTH EAST RENDERING



GABLE- NORTH EAST RENDERING

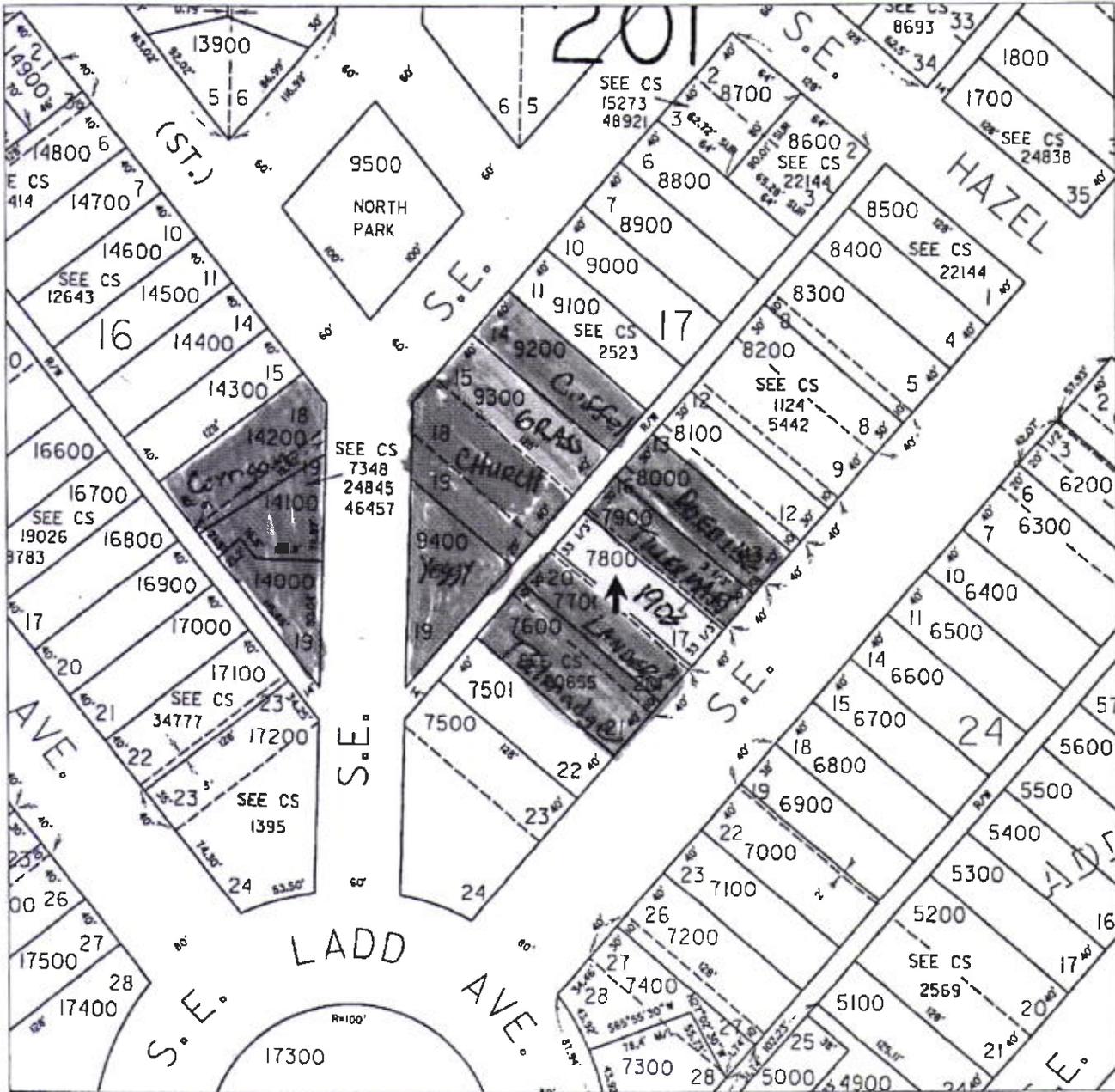


# First American Title Insurance Company of Oregon

An assumed business name of TITLE INSURANCE COMPANY OF OREGON

This map is provided as a convenience in locating property  
First American Title Insurance Company assumes no liability for any variations as may be disclosed by an actual survey

## Reference Parcel Number 1S1E02DB 07800



■ Neighbors Favoring Gable

□ 1903 SE Elliott

■ Church

■ Grass--Open Space

A-14

**McCANDLISH ADU**

Orthographic Scale:  
1/4" = 1'-0"

Name William + Kathryn Coffel

Address 1752 SE Poplar Ave

Contact 503-312-6728

**Approve**

**Shed**

**Gable**



SHED- NORTH EAST RENDERING



GABLE- NORTH EAST RENDERING

Comment We prefer the Gable design

\_\_\_\_\_  
\_\_\_\_\_

**McCANDLISH ADU**

Orthographic Scale:  
1/4" = 1'-0"

Name Julie Yeagy

Address 1820 SE 16<sup>th</sup> Ave 97214

Contact 503) 539-8389

Approve

Shed

Gable



SHED- NORTH EAST RENDERING



GABLE- NORTH EAST RENDERING

Comment approve - I think they look very

similar and there ~~are~~ <sup>are</sup> many

examples of gabled roofs in our neighborhood

McCANDLISH ADU

Orthographic Scale:  
1/4" = 1'-0"

Name TALMADGE FOSTER

Address 1919 SE ELLIOTT AVE

Contact 911-263-4253 Foster.tad@gmail.com

Approve

Shed

Gable



SHED- NORTH EAST RENDERING



GABLE- NORTH EAST RENDERING

Comment Shed roof looks cheap / crappy

\_\_\_\_\_

\_\_\_\_\_

**McCANDLISH ADU**

Orthographic Scale:  
1/4" = 1'-0"

Name Charles Corrigan

Address 1767 SE Maple Ave 97214

Contact Chuck Corrigan 503 291 0674

Approve

Shed

Gable



SHED- NORTH EAST RENDERING



GABLE- NORTH EAST RENDERING

Comment By far superior in  
light of neighborhood character

**McCANDLISH ADU**

Orthographic Scale:  
1/4" = 1'-0"

Name Marvin W Doering

Address 1853 SE Elliott Ave

Contact 503-232-2678

Approve

Shed

Gable



SHED- NORTH EAST RENDERING

GABLE- NORTH EAST RENDERING

Comment \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

McCANDLISH ADU

Orthographic Scale:  
1/4" = 1'-0"

Name RANDALL TIMMERMAN

Address 1863 SE ELLIOTT AVE.

Contact (503) 730-6869

Approve

Shed

Gable



SHED- NORTH EAST RENDERING



GABLE- NORTH EAST RENDERING

Comment IT MATCHES THE ORIGINAL PLAN OF  
MRS. LADD, PROPERTY MANAGER NEXT  
DOOR.

**McCANDLISHADU**

Orthographic Scale:  
1/4" = 1'-0"

Name ALEX LANDERS

Address 1909 SE ELLIOTT AVE

Contact 503-781-0745

Approve

Shed

Gable



SHED- NORTH EAST RENDERING



GABLE- NORTH EAST RENDERING

Comment JUST DO IT!

---

---

---

# McCANDLISH ADU

1903 SE Elliot Ave.  
Portland, OR 97214

## Job Description:

- Convert existing detached garage into ADU.
- Adding a dormer.
- New exterior wood door with lites.
- New wood windows.
- New covered entry.

## Building Coverage:

Existing: 1,458 SF  
Proposed; 1,458 SF (No Changes)

## Homeowner:

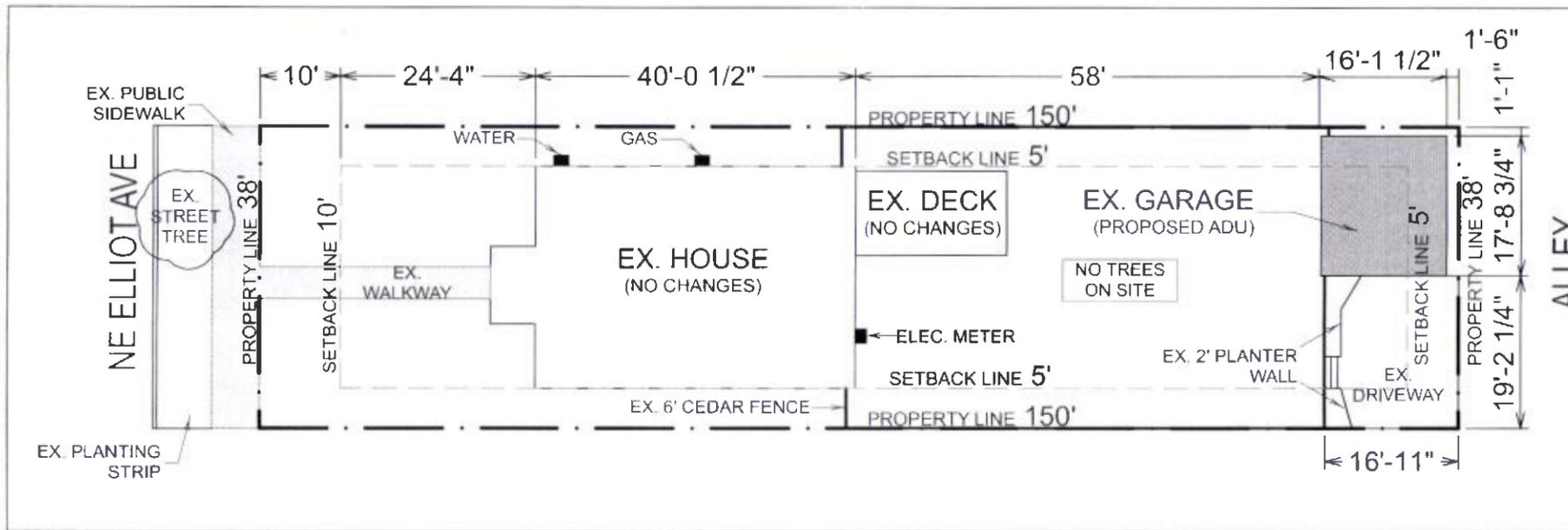
Jim McCandlish

## Contractor:

Casa Bonita LLC  
1631 NE Broadway St. #721  
Portland, OR 97232  
CCB: 189948

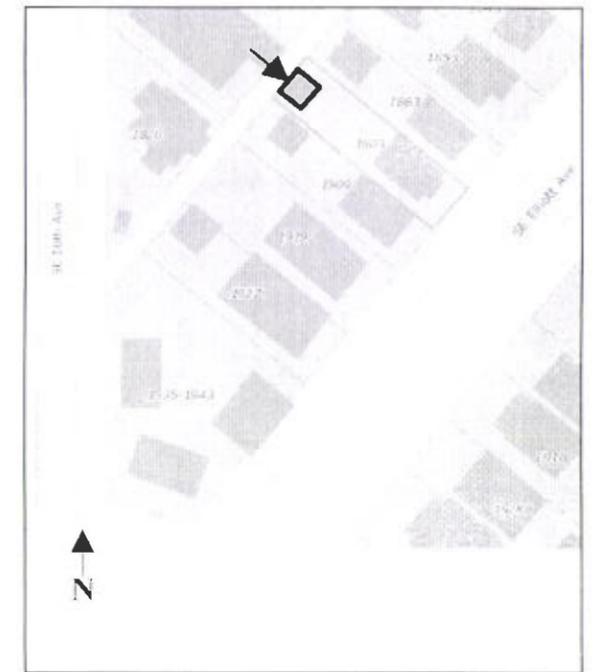
Precision  
9655 SW Sunshine Ct. #700  
Beaverton, OR 97005  
CCB: 174274

## Drawings:



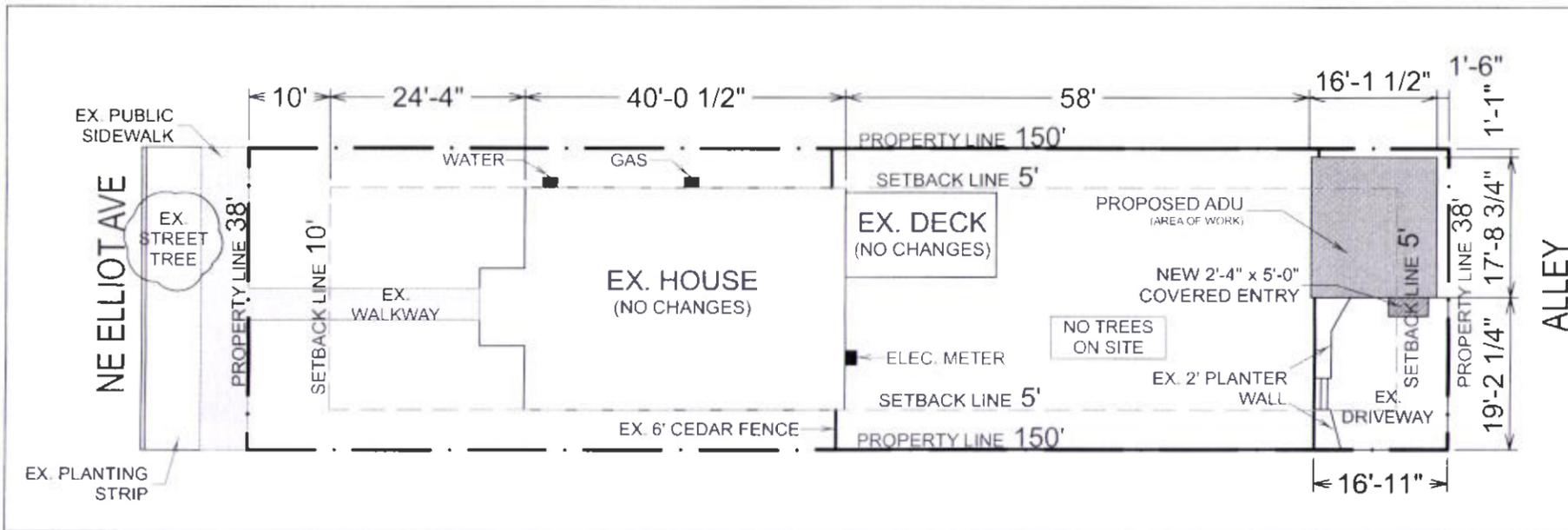
**A**  
1  
1" = 20'

**EXISTING SITE PLAN**



**C**  
1  
NTS

**VICINITY MAP**

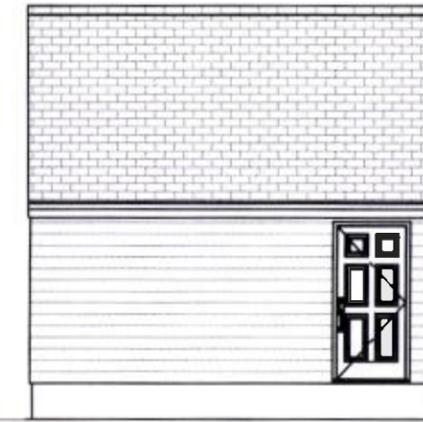


**B**  
1  
1" = 20'

**PROPOSED SITE PLAN**

## DISCLAIMER:

To the best of knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. Designer is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.



A  
2

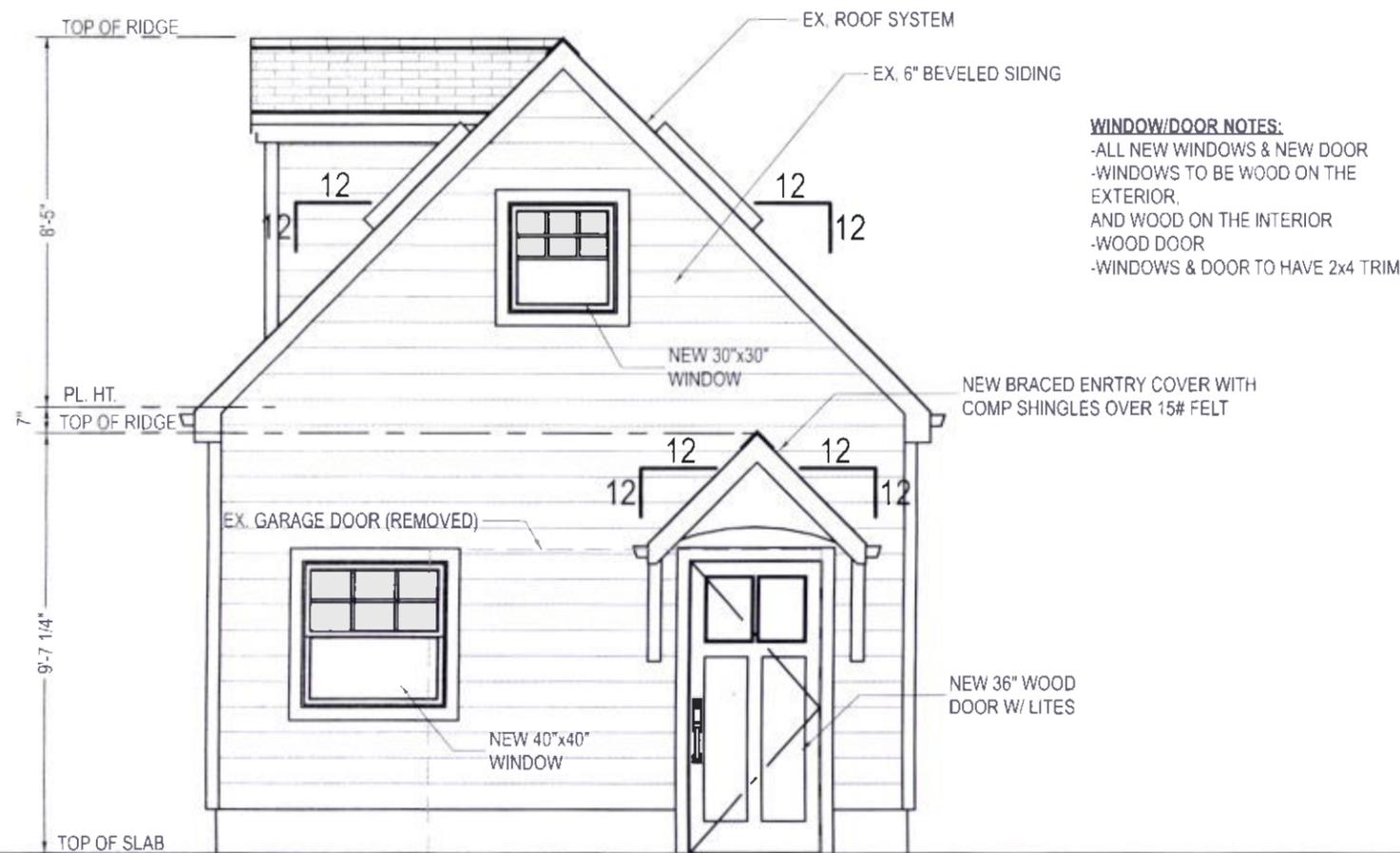
EX. NORTH-EAST ELEVATION

1/8" = 1'-0"

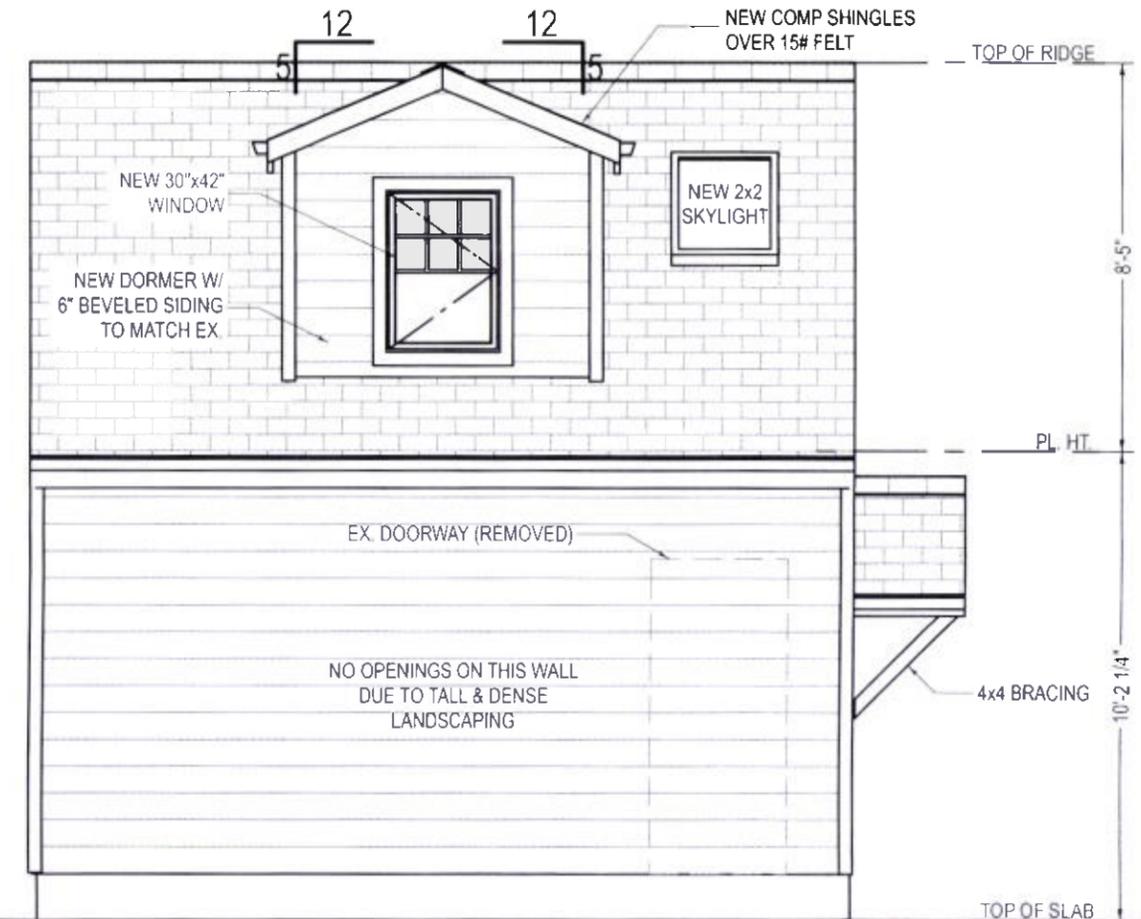
B  
2

EX. SOUTH-EAST ELEVATION

1/8" = 1'-0"



**WINDOW/DOOR NOTES:**  
 -ALL NEW WINDOWS & NEW DOOR  
 -WINDOWS TO BE WOOD ON THE EXTERIOR, AND WOOD ON THE INTERIOR  
 -WOOD DOOR  
 -WINDOWS & DOOR TO HAVE 2x4 TRIM



C  
2

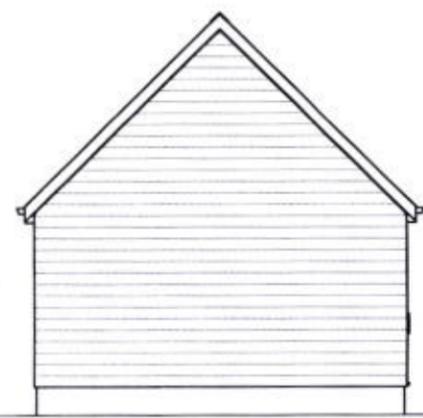
PROP. NORTH-EAST ELEVATION

1/4" = 1'-0"

D  
2

PROP. SOUTH-EAST ELEVATION

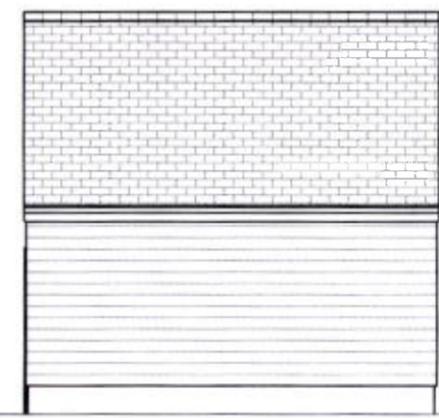
1/4" = 1'-0"



A  
3

EX. SOUTH-WEST ELEVATION

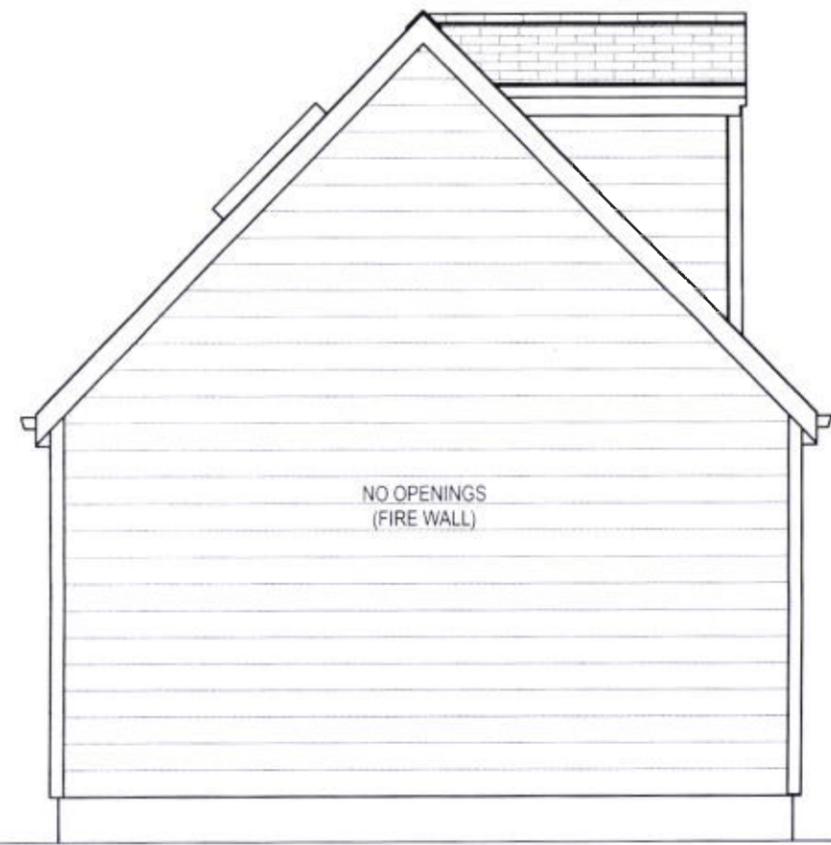
1/8" = 1'-0"



B  
3

EX. NORTH-WEST ELEVATION

1/8" = 1'-0"



NO OPENINGS  
(FIRE WALL)

**WINDOW/DOOR NOTES:**  
-ALL NEW WINDOWS & NEW DOOR  
-WINDOWS TO BE WOOD ON THE EXTERIOR, AND WOOD ON THE INTERIOR  
-WOOD DOOR  
-WINDOWS & DOOR TO HAVE 2x4 TRIM



NEW 2x2 SKYLIGHT

NEW 2x2 SKYLIGHT

(3) NEW 18"x18" WINDOWS ON MAIN LEVEL  
(RAISED TO PROVIDE PRIVACY FROM ALLEY)  
WILL HAVE SAME HDR. HT. AS ALL OTHER OPENINGS ON MAIN LEVEL.

C  
3

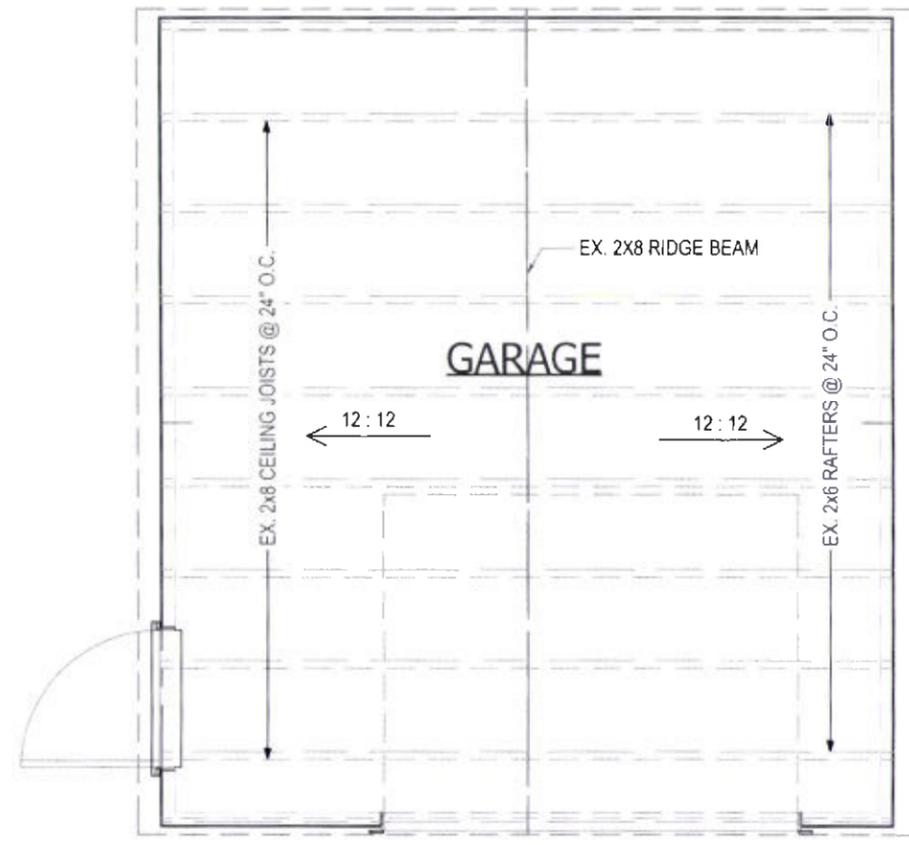
PROP. SOUTH-WEST ELEVATION

1/4" = 1'-0"

D  
3

PROP. NORTH-WEST ELEVATION

1/4" = 1'-0"



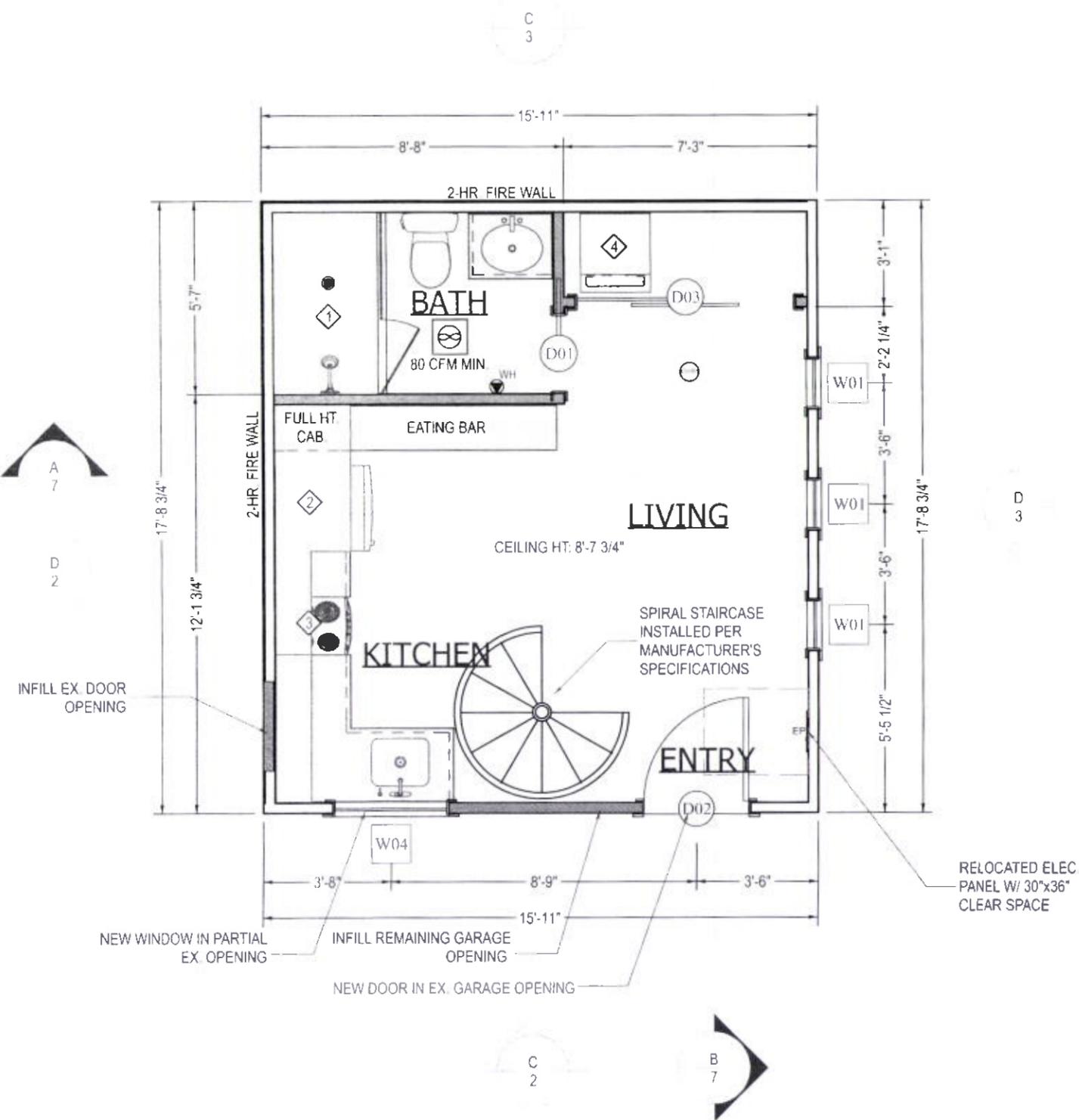
**A**  
**4** AS-BUILT FLOOR PLAN  
1/4" = 1'-0"

# McCANDLISH ADU

MAIN LEVEL SQUARE FOOTAGE: 262 SF

2nd LEVEL SQUARE FOOTAGE: 134 SF

TOTAL SQUARE FOOTAGE: 396 SF



DOOR SCHEDULE							
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	HINGE SIDE	DESCRIPTION	COMMENTS
D01	1	1	26"	80"	L	POCKET-PANEL	
D02	1	1	36"	80"	R	EXT. ENTRY DOOR W/ LITES	
D03	1	1	74"	80"	R	BI-PASS CLOSET DOOR	

WINDOW SCHEDULE								
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	EGRESS	TEMPERED	DESCRIPTION	COMMENTS
W01	3	1	18"	18"			FIXED GLASS	
W02	1	2	30"	30"			FIXED GLASS	
W03	1	2	30"	42"	YES		SINGLE CASEMENT-HR	
W04	1	1	40"	40"			DOUBLE HUNG	

- 1 TILE SHOWER
- 2 30" REFRIGERATOR
- 3 20" HOOD & RANGE
- 4 STACKED WASHER & DRYER

- LEGEND:**
- [Solid line] = EXISTING WALL
  - [Thick solid line] = NEW WALL
  - [Dashed line] = REMOVED WALL
  - [Circle with cross] = CARBON/SMOKE DETECTOR COMBO
  - [Circle with dot] = SMOKE DETECTOR
  - [Square with cross] = EXHAUST FAN
  - [Circle with WH] = WALL HEATER

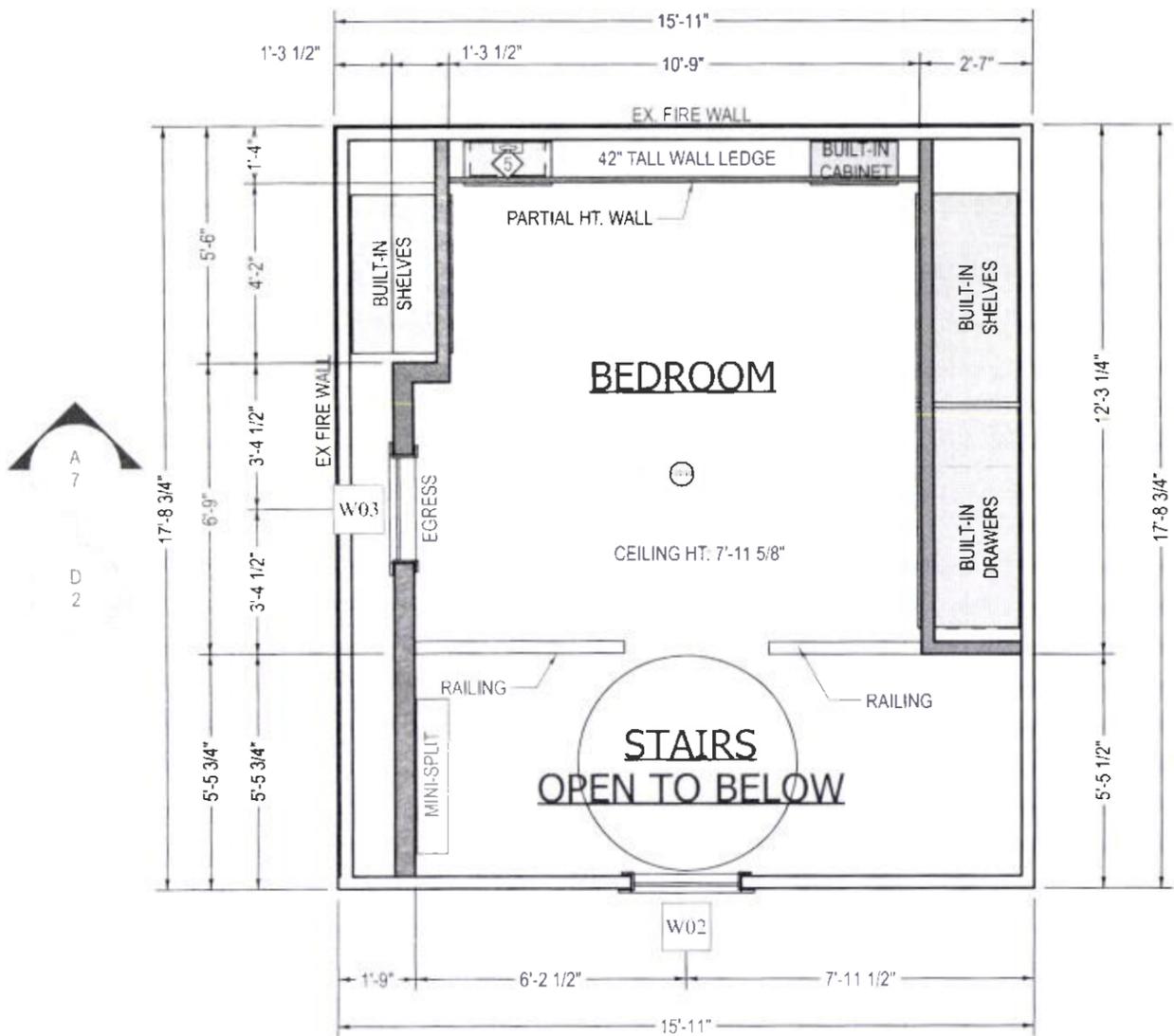
**A**  
**5** **MAIN LEVEL FLOOR PLAN**  
1/4" = 1'-0"

# McCANDLISH ADU

MAIN LEVEL SQUARE FOOTAGE: 262 SF

2nd LEVEL SQUARE FOOTAGE: 134 SF

TOTAL SQUARE FOOTAGE: 396 SF



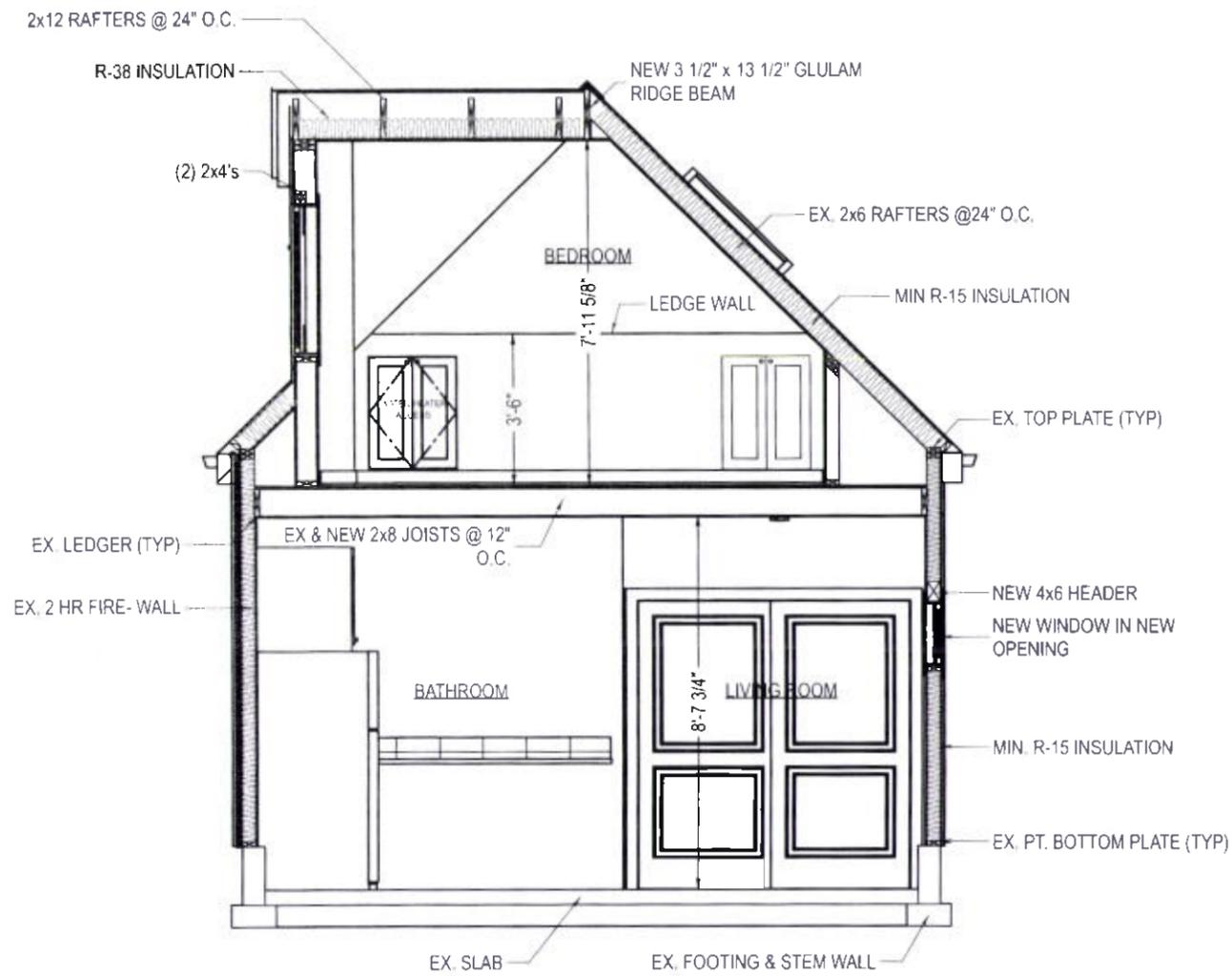
WINDOW SCHEDULE								
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	EGRESS	TEMPERED	DESCRIPTION	COMMENTS
W01	3	1	18"	18"			FIXED GLASS	
W02	1	2	30"	30"			FIXED GLASS	
W03	1	2	30"	42"	YES		SINGLE CASEMENT-HR	
W04	1	1	40"	40"			DOUBLE HUNG	

**5** TANKLESS WATER HEATER. ENCLOSING CABINET BUILT TO MANUFACTURERS MINS. NEEDS A 20.25" WIDE, 3' TALL, 9.5" DEEP CABINET. PRODUCT BASED ON "RHEEM, MODEL #RETEX-11"

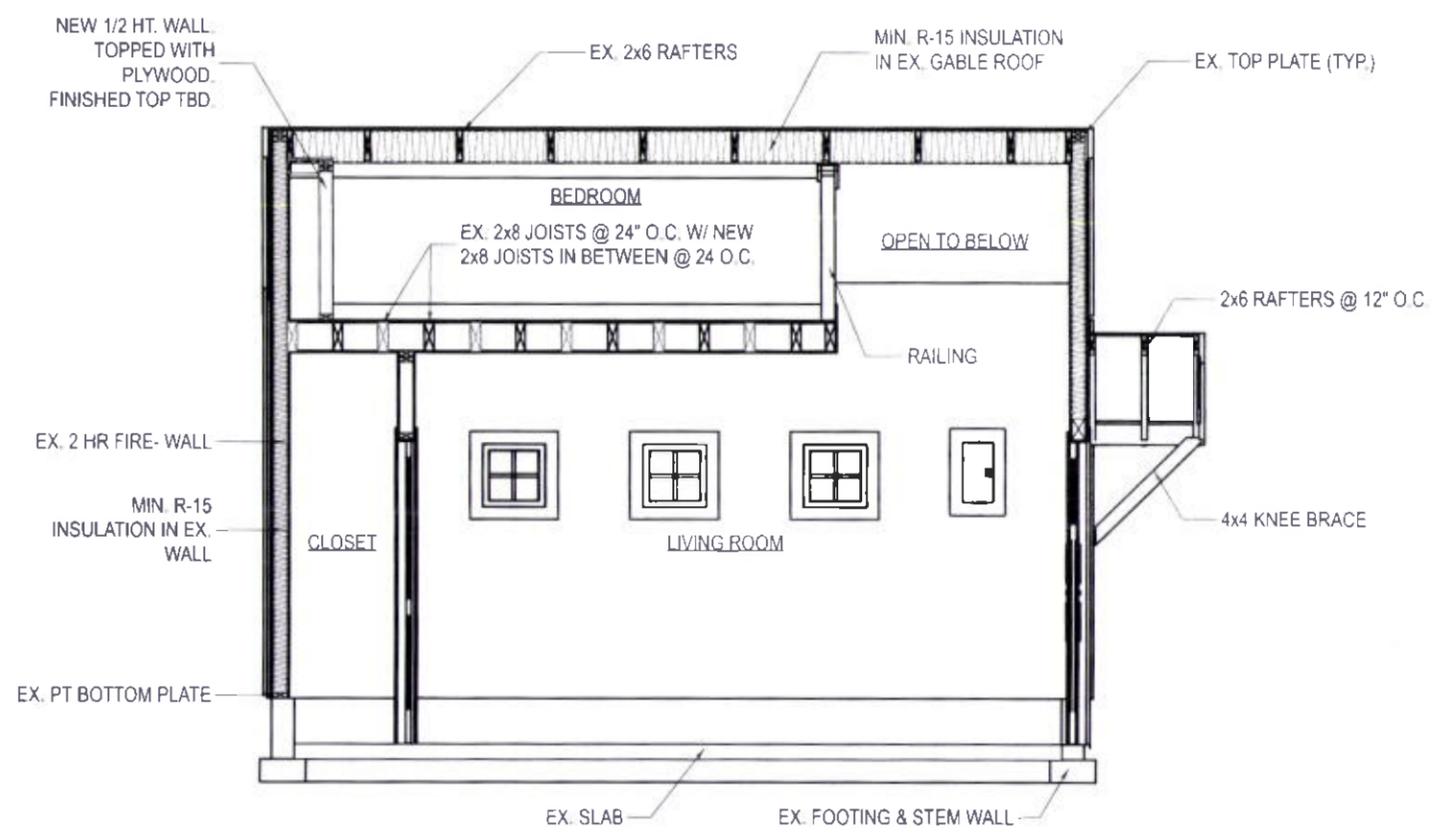
### LEGEND:

- = EXISTING WALL
- = NEW WALL
- = REMOVED WALL
- = CARBON/SMOKE DETECTOR COMBO
- = SMOKE DETECTOR
- = EXHAUST FAN
- = WALL HEATER

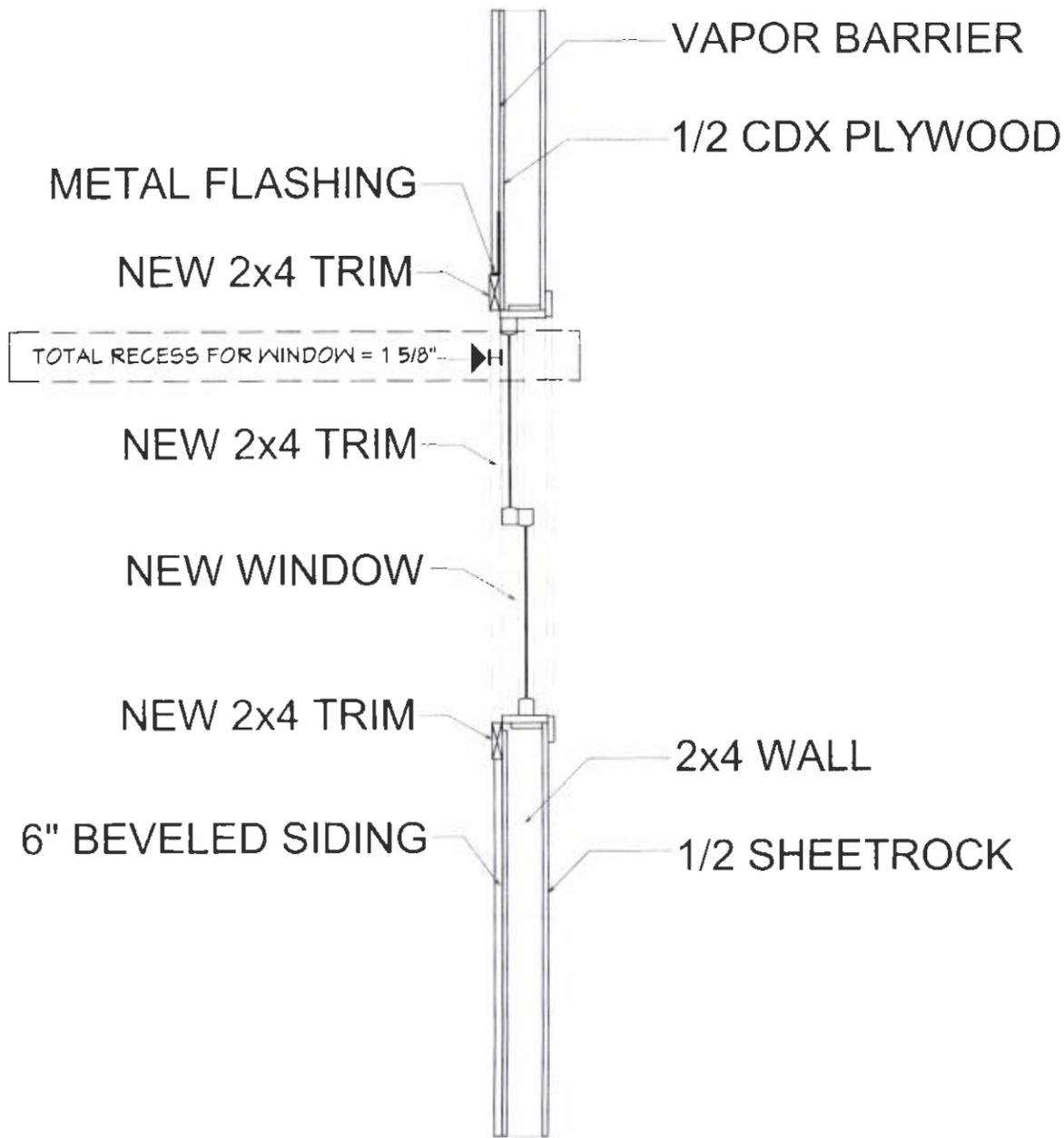
**A**  
**6** **2nd LEVEL FLOOR PLAN**  
1/4" = 1'-0"



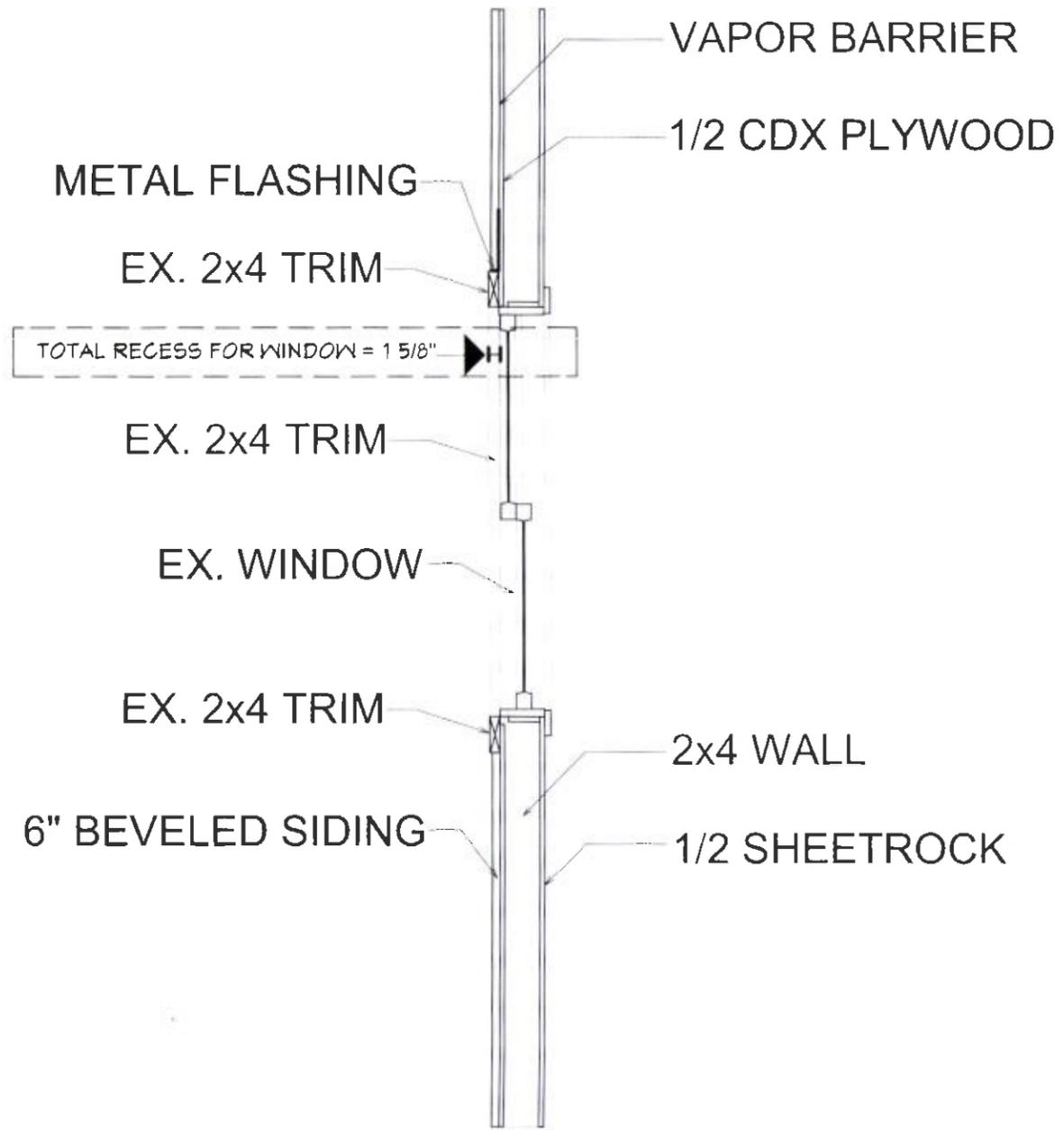
**A**  
7  
**SECTION 1**  
 1/4" = 1'-0"



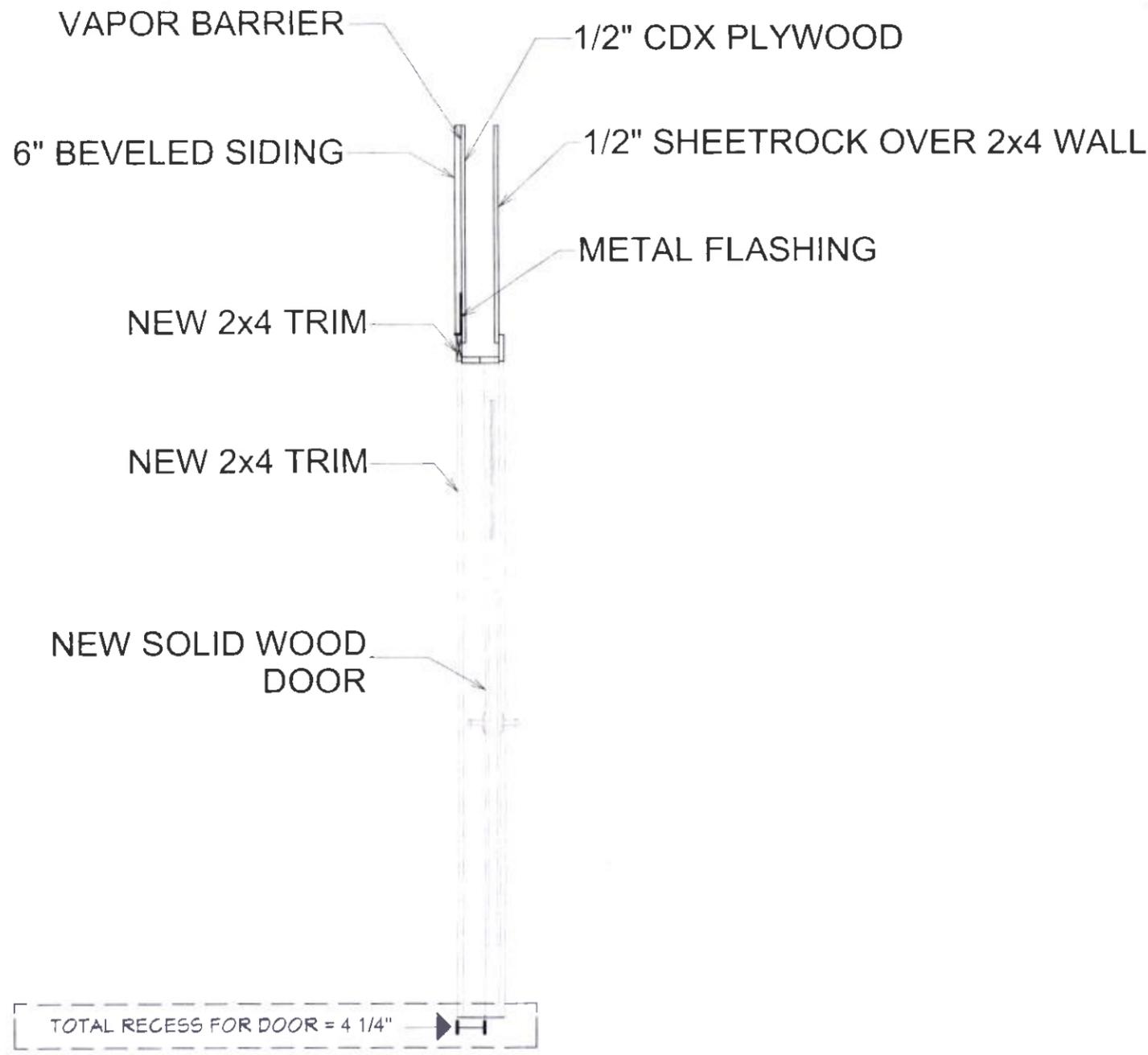
**B**  
7  
**SECTION 2**  
 1/4" = 1'-0"



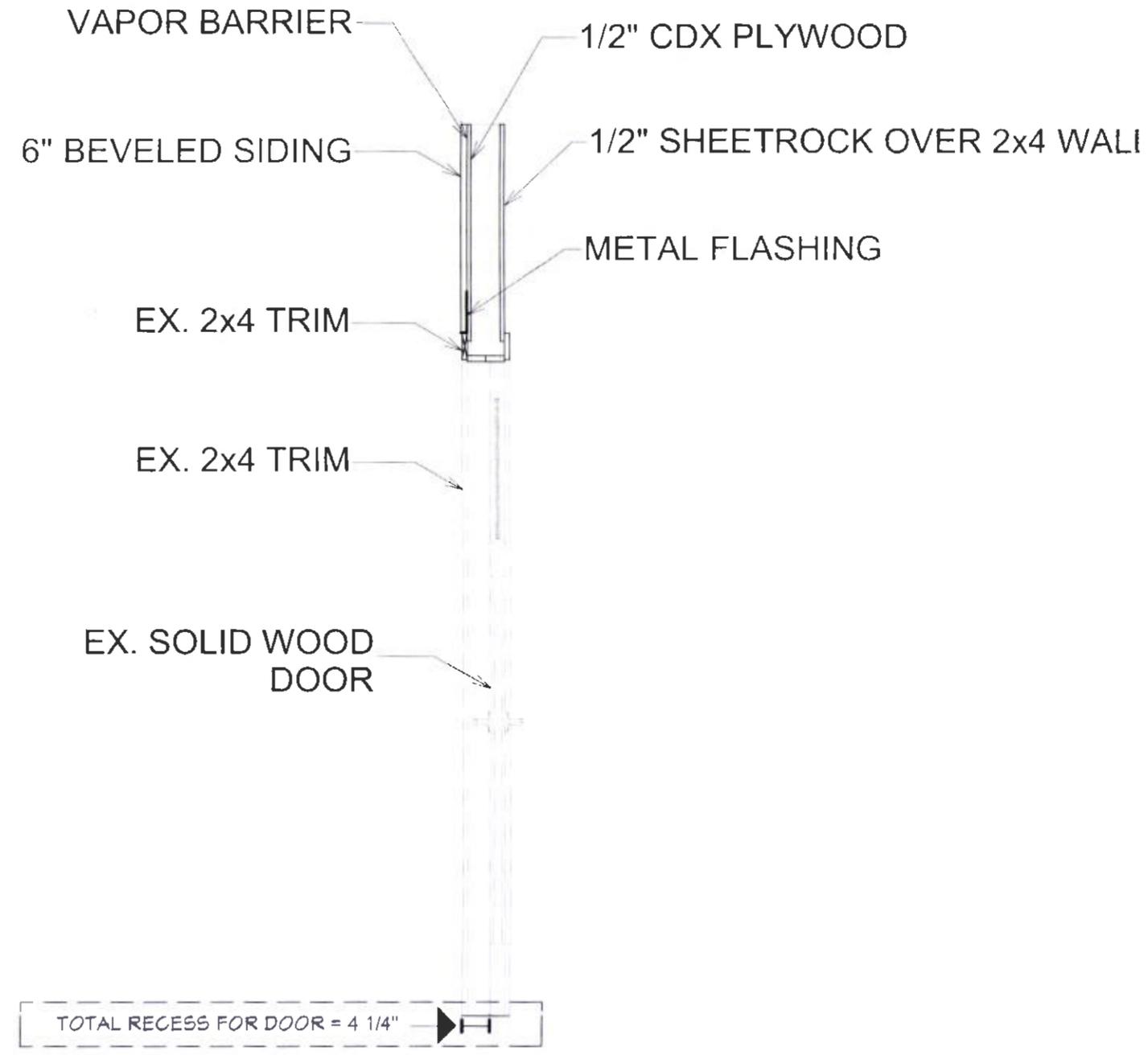
NEW DOUBLE HUNG WINDOW (ADU)



EXISTING DOUBLE HUNG WINDOW (RESIDENCE)



NEW DOOR  
(ADU)



EXISTING DOOR  
(RESIDENCE)

## Bhutani, Puja

---

**From:** Casa Bonita LLC <casabonitalc@gmail.com>  
**Sent:** Tuesday, July 31, 2018 5:01 PM  
**To:** Bhutani, Puja; James McCandlish  
**Subject:** Re: Historical Review for Jim Mccanlish

Puja, please hold application, I will send you details proposed tomorrow at the end of the day. Are this the only things we need to add ?

Omar

On Tue, Jul 31, 2018 at 4:52 PM, Bhutani, Puja <[Puja.Bhutani@portlandoregon.gov](mailto:Puja.Bhutani@portlandoregon.gov)> wrote:

Omar,

The drawing packet does not include accurate detailed sections for the proposed 4 window types. The window sections should also reflect that double panes are being proposed for the windows. The window schedule should be cross-referenced to the manufacturers cut-sheets. Note that casement windows with a fake meeting rail does not meet the approval criteria and hence are not approvable. True double hung windows should be provided. Egress could potentially be achieved through the skylight as discussed earlier.

A detailed section is also needed for the skylights, and the entrance canopy and knee brace. These details should be provided as soon as possible. Staff cannot issue a decision in support of the proposal if the requested information is not provided.

Please let me know whether to hold the application incomplete till these details are provided, or whether to deem it complete and issue the notice of proposal.

Thanks.

**Puja Bhutani, AICP**

**Planner | Design and Historic Review**

City of Portland | Bureau of Development Services

[1900 SW 4th Ave | Ste 5000](#)

Portland OR, 97201

e: [puja.bhutani@portlandoregon.gov](mailto:puja.bhutani@portlandoregon.gov)

p: 503-823-7226 | f: 503.823.5630

Work hours: Tue-Fri 7:30AM – 5:00PM

**From:** Casa Bonita LLC <[casabonitalc@gmail.com](mailto:casabonitalc@gmail.com)>  
**Sent:** Tuesday, July 31, 2018 4:27 PM  
**To:** Bhutani, Puja <[Puja.Bhutani@portlandoregon.gov](mailto:Puja.Bhutani@portlandoregon.gov)>  
**Cc:** James McCandlish <[jmccandlish@comcast.net](mailto:jmccandlish@comcast.net)>  
**Subject:** Re: Historical Review for Jim Mccanlish.

Hi Omar,

Thanks for submitting the information requested below. I am declaring the application complete and will be mailing out the notice of proposal shortly. Please clarify the following information asap:

- The dormer window is shown as a double hung, but the swing seems to suggest that it's a casement window. Please clarify.

It looks like a double hung window to match the rest of the house. It is actually an egress window.

- The Marvin window cutsheets suggest that a double pane window is being used, while the detailed section appears to be single pane window.

They are double paned.

Thanks,

Omar



Virus-free. [www.avast.com](http://www.avast.com)

On Tue, Jul 31, 2018 at 2:59 PM, Bhutani, Puja <[Puja.Bhutani@portlandoregon.gov](mailto:Puja.Bhutani@portlandoregon.gov)> wrote:

Hi Omar,

Thanks for submitting the information requested below. I am declaring the application complete and will be mailing out the notice of proposal shortly. Please clarify the following information asap:

- The dormer window is shown as a double hung, but the swing seems to suggest that it's a casement window. Please clarify.
- The Marvin window cutsheets suggest that a double pane window is being used, while the detailed section appears to be single pane window.

Thanks.

**Puja Bhutani, AICP**

**Planner | Design and Historic Review**

City of Portland | Bureau of Development Services

[1900 SW 4th Ave | Ste 5000](#)

Portland OR, 97201

e: [puja.bhutani@portlandoregon.gov](mailto:puja.bhutani@portlandoregon.gov)

p: 503-823-7226 | f: 503.823.5630

Work hours: Tue-Fri 7:30AM – 5:00PM

**From:** Bhutani, Puja  
**Sent:** Thursday, July 19, 2018 8:08 AM  
**To:** 'Omar Martinez' <[casabonitallc@gmail.com](mailto:casabonitallc@gmail.com)>  
**Subject:** RE: Historical Review for Jim Mccanlish,

Thank you Omar. Please deliver 2 sets of 11x17 plans that include the following items, as listed in the incomplete letter dated 4/17/2018:

1. Typical wall sections, through doors, windows, dormers, entrance canopy etc.
5. Manufacturers cut sheets – for the proposed window and doors.

The plans can be delivered to the 5<sup>th</sup> floor reception to my attention. Please also provide an updated electronic copy that includes the above.

Thank you

**Puja Bhutani, AICP**

**Planner II | Design and Historic Review**

City of Portland | Bureau of Development Services

[1900 SW 4th Ave | Ste 5000](#)

Portland OR, 97201

e: [puja.bhutani@portlandoregon.gov](mailto:puja.bhutani@portlandoregon.gov)

p: 503-823-7226 | f: 503.823.5630

Work hours: Tue-Fri 7:30AM – 5:00PM

**From:** Omar Martinez [<mailto:casabonitalc@gmail.com>]  
**Sent:** Wednesday, July 18, 2018 10:20 PM  
**To:** Bhutani, Puja <[Puja.Bhutani@portlandoregon.gov](mailto:Puja.Bhutani@portlandoregon.gov)>  
**Subject:** Historical Review for Jim Mccanlish.

Puja,

Here is the historic set of plans that we would like to submit for the historic review. Please let me know if you need me to send windows cut sheets. Thanks

Sent from my iPhone

--

Omar Martinez, President  
Rebecca Martinez, Vice President  
Casa Bonita LLC  
[1631 NE Broadway St. #721](#)  
Portland, Oregon 97232  
503-956-4866, 503-956-0036  
[www.casabonitalc.net](http://www.casabonitalc.net)

--

Omar Martinez, President  
Rebecca Martinez, Vice President  
Casa Bonita LLC  
1631 NE Broadway St. #721  
Portland, Oregon 97232  
503-956-4866, 503-956-0036  
[www.casabonitalc.net](http://www.casabonitalc.net)

## Bhutani, Puja

---

**From:** Omar Martinez <casabonitallc@gmail.com>  
**Sent:** Thursday, August 09, 2018 1:34 PM  
**To:** Bhutani, Puja  
**Subject:** Re: MCandlish Historical, 4-12 SHED, New Window Style.pdf

Puja,  
Please declare the application completed.  
Thanks

Sent from my iPhone

On Aug 9, 2018, at 1:27 PM, Bhutani, Puja <[Puja.Bhutani@portlandoregon.gov](mailto:Puja.Bhutani@portlandoregon.gov)> wrote:

Hi Omar,  
I am glad to see that you are going forward with the shed roof option.

Please note that the following information is still needed:

- Manufacturers cutsheets- provide cutsheets that are referenced to the window (especially for W03), and door schedule, and skylights. Window W03 should not have a double hung window expression and could also be just a simple single glass pane window.
- A detailed section is also needed for the skylights, and the entrance canopy and knee brace. These details should be provided as soon as possible. Staff cannot issue a decision in support of the proposal if the requested information is not provided.
- The proposed fixed window section should be revised to show a window recess consistent with other casement windows, or the lower pane of the double hung window.

Please let me know whether you would like me to declare the application complete with the understanding that the above information will be provided as soon as possible, and before the end of the public comment period.

Thanks.

**Puja Bhutani, AICP**  
**Planner | Design and Historic Review**  
City of Portland | Bureau of Development Services  
1900 SW 4th Ave | Ste 5000  
Portland OR, 97201

e: [puja.bhutani@portlandoregon.gov](mailto:puja.bhutani@portlandoregon.gov)  
p: 503-823-7226 | f: 503.823.5630

Work hours: Tue-Fri 7:30AM – 5:00PM

**From:** Omar Martinez <casabonitallc@gmail.com>  
**Sent:** Wednesday, August 08, 2018 9:10 PM

**To:** Bhutani, Puja <[Puja.Bhutani@portlandoregon.gov](mailto:Puja.Bhutani@portlandoregon.gov)>

**Subject:** MCandlish Historical, 4-12 SHED, New Window Style.pdf

Here is the proposal for historic review, as you can see we are submitting the shed roof option.  
Thanks

Sent from my iPhone

# McCANDLISH ADU

4:12 SHED ROOF DORMER

1903 SE Elliot Ave.  
Portland, OR 97214

### Job Description:

- Convert existing detached garage into ADU.
- Adding a dormer.
- New exterior wood door with lites.
- New wood windows.
- New covered entry.

### Building Coverage:

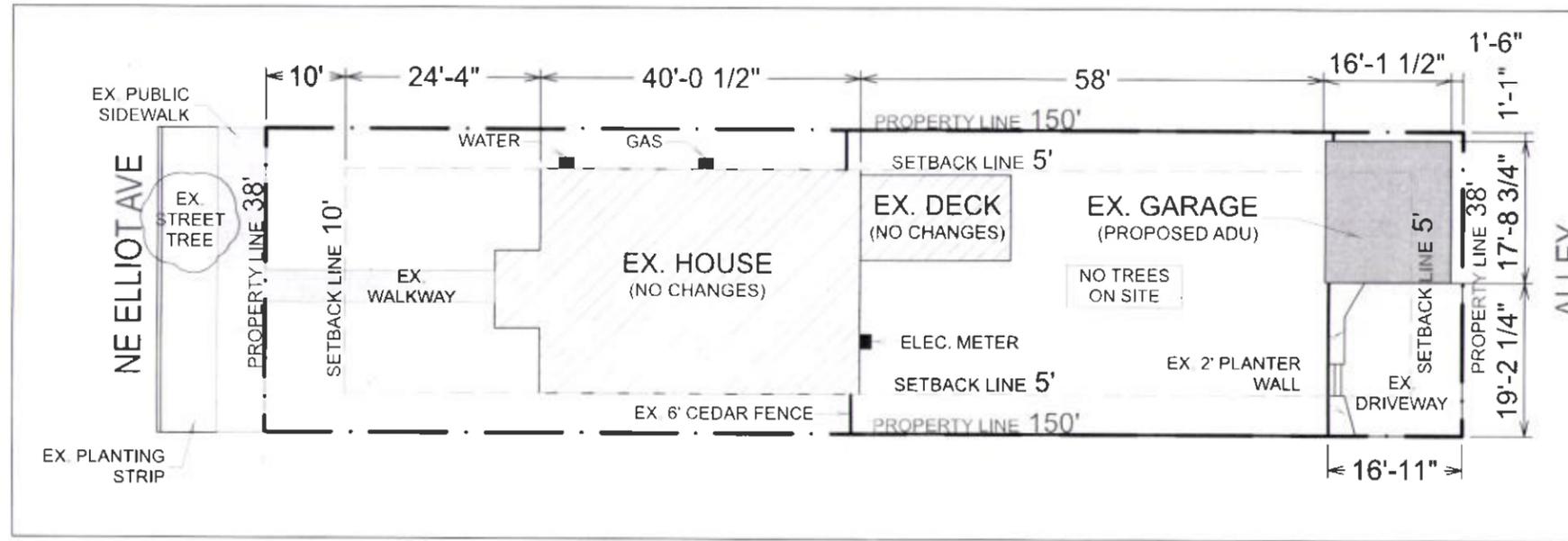
Existing: 1,458 SF  
Proposed; 1,458 SF (No Changes)

### Homeowner:

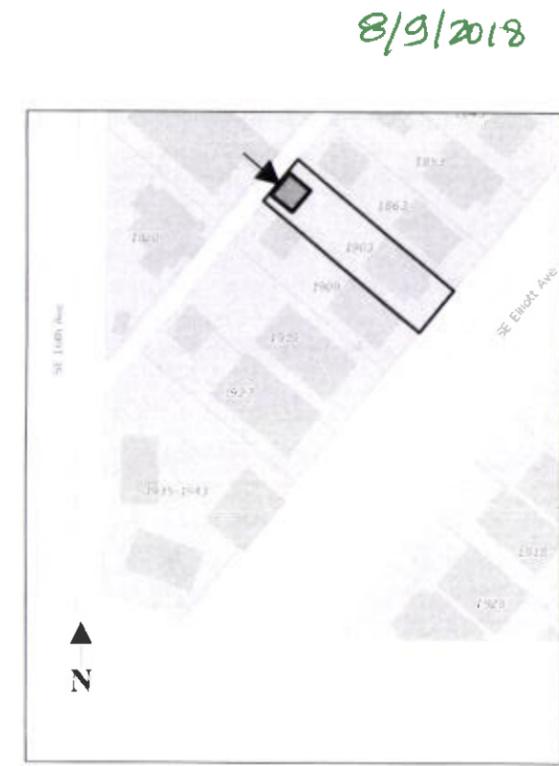
Jim McCandlish

### Contractor:

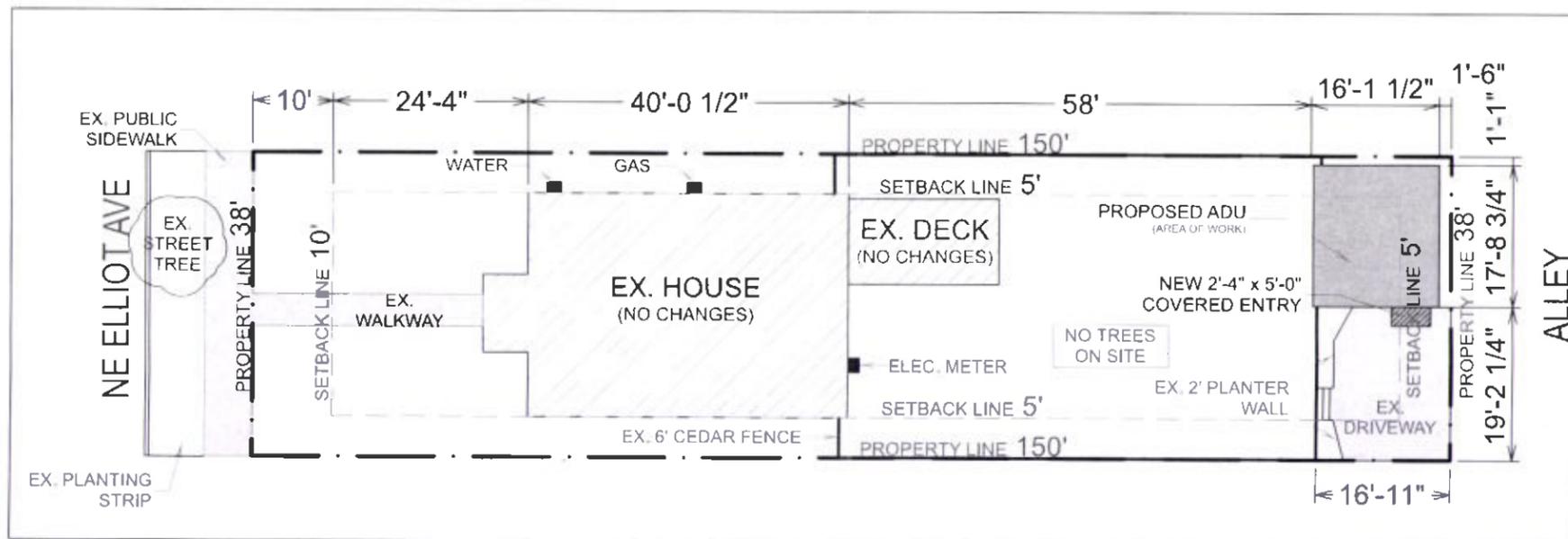
Casa Bonita LLC  
1631 NE Broadway St. #721  
Portland, OR 97232  
CCB: 189948  
Drawings:  
Precision  
9655 SW Sunshine Ct. #700  
Beaverton, OR 97005  
CCB: 174274



**A**  
1  
EXISTING SITE PLAN  
1" = 20'



**C**  
1  
VICINITY MAP  
NTS



**B**  
1  
PROPOSED SITE PLAN  
1" = 20'

### DISCLAIMER:

To the best of knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. Designer is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

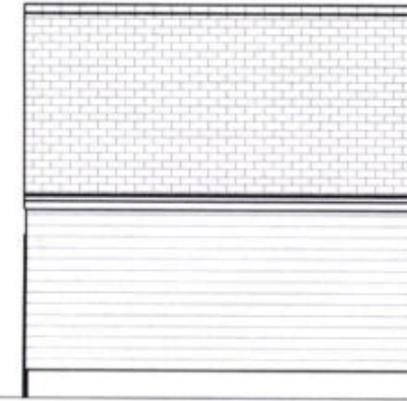




A  
3

EX. SOUTH-WEST ELEVATION

1/8" = 1'-0"



B  
3

EX. NORTH-WEST ELEVATION

1/8" = 1'-0"

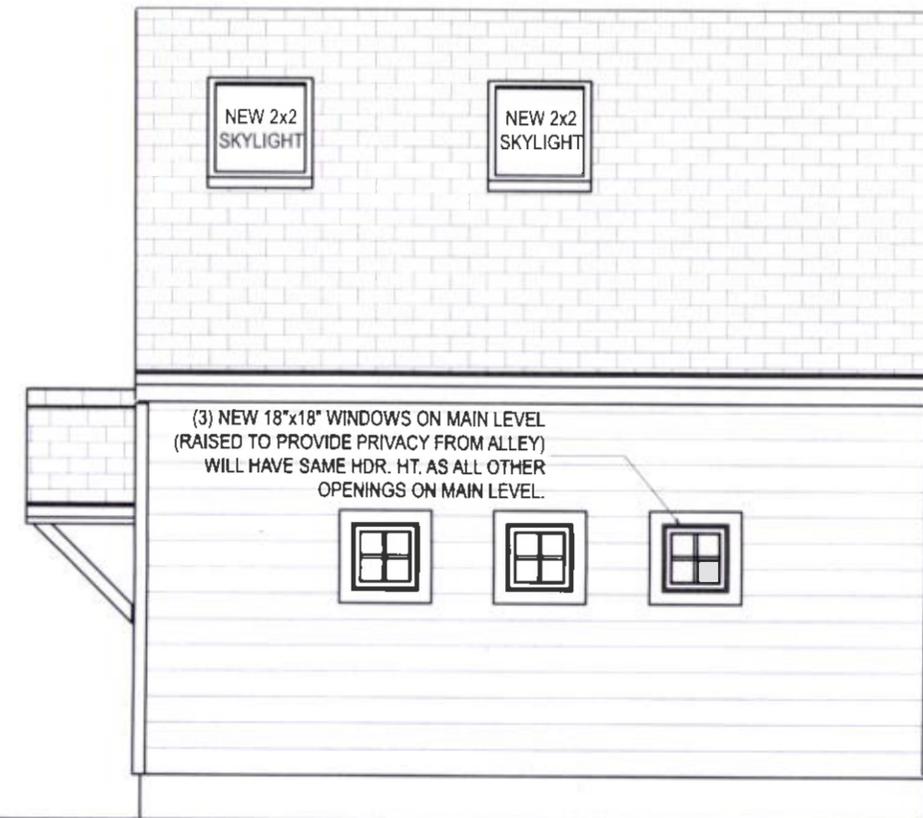


C  
3

PROP. SOUTH-WEST ELEVATION

1/4" = 1'-0"

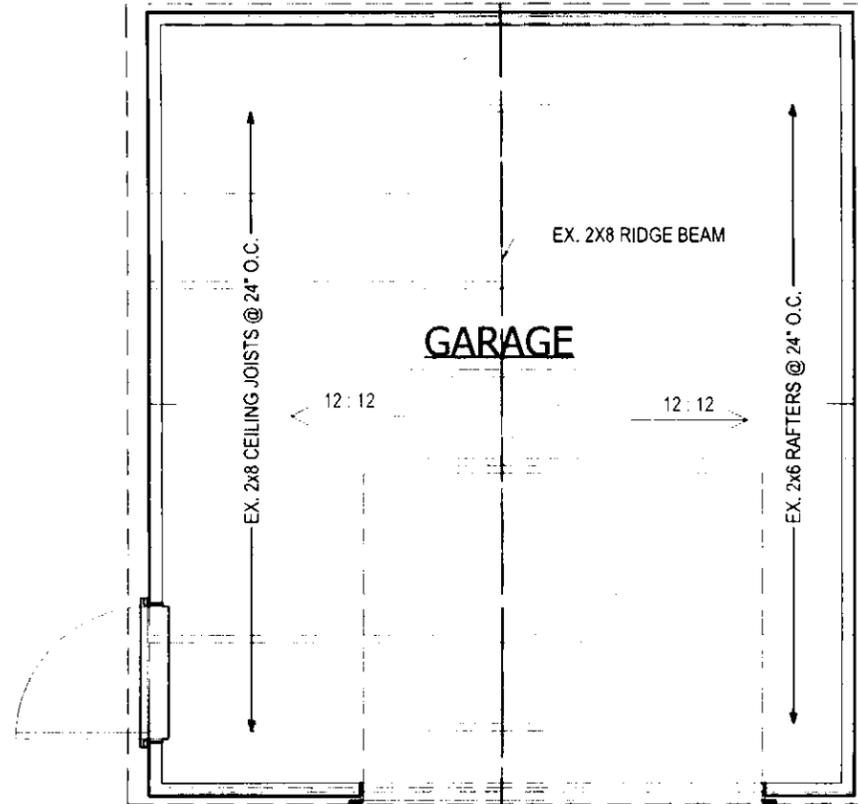
**WINDOW/DOOR NOTES:**  
-ALL NEW WINDOWS & NEW DOOR  
-WINDOWS TO BE WOOD ON THE EXTERIOR, AND WOOD ON THE INTERIOR  
-WOOD DOOR  
-WINDOWS & DOOR TO HAVE 2x4 TRIM



D  
3

PROP. NORTH-WEST ELEVATION

1/4" = 1'-0"



A  
4

AS-BUILT FLOOR PLAN

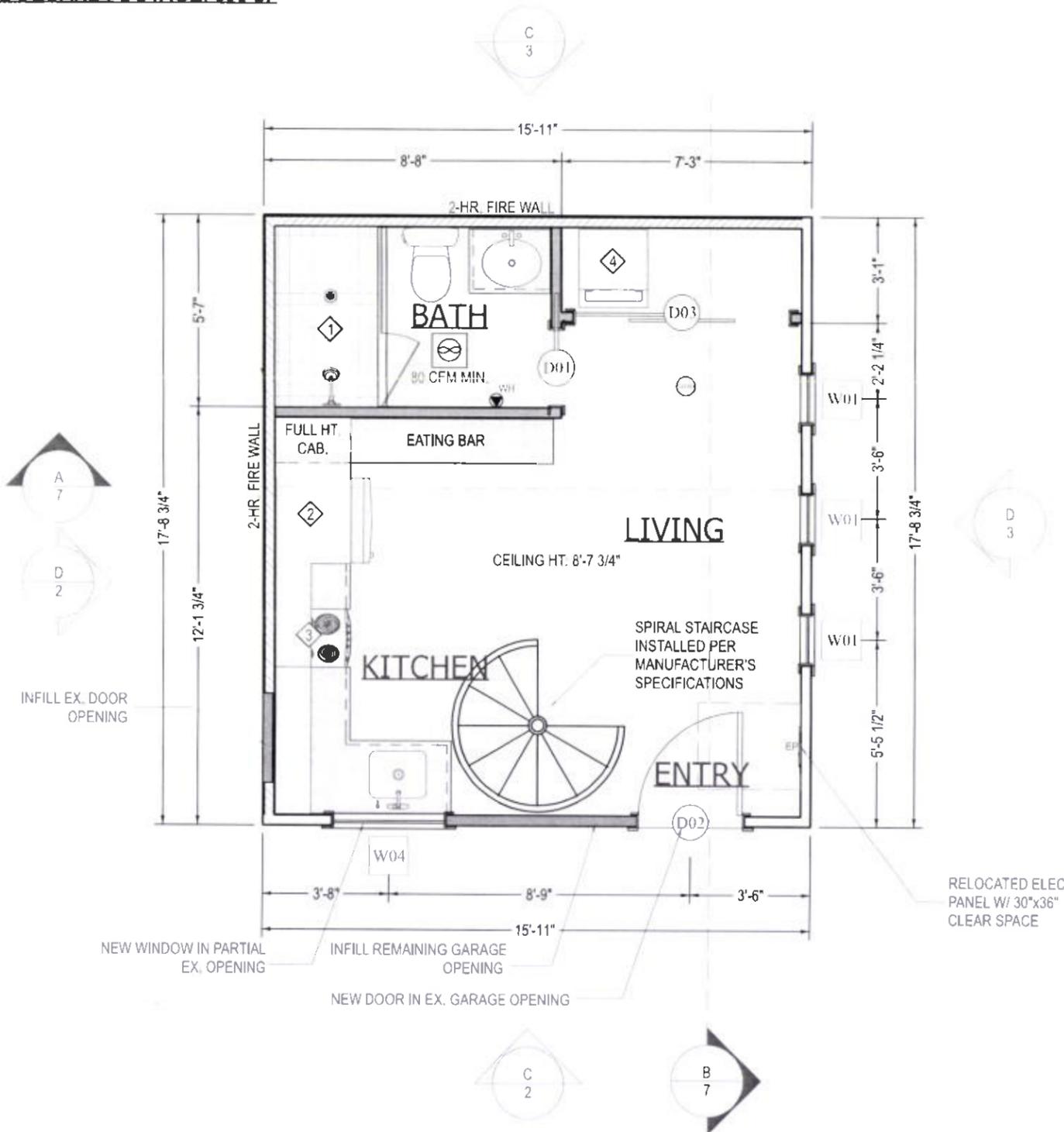
1/4" = 1'-0"

# McCANDLISH ADU

MAIN LEVEL SQUARE FOOTAGE: 262 SF

2nd LEVEL SQUARE FOOTAGE: 134 SF

TOTAL SQUARE FOOTAGE: 396 SF



DOOR SCHEDULE							
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	HINGE SIDE	DESCRIPTION	COMMENTS
D01	1	1	26"	80"	L	POCKET-PANEL	
D02	1	1	36"	80"	R	EXT. ENTRY DOOR W/ LITES	
D03	1	1	74"	80"	R	BI-PASS CLOSET DOOR	

WINDOW SCHEDULE								
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	EGRESS	TEMPERED	DESCRIPTION	COMMENTS
W01	3	1	18"	18"			FIXED GLASS	
W02	1	2	30"	30"			FIXED GLASS	
W03	1	2	33"	36"	YES		SINGLE CASEMENT-HR	
W04	1	1	40"	40"			SINGLE HUNG	

- 1 TILE SHOWER
- 2 30" REFRIGERATOR
- 3 20" HOOD & RANGE
- 4 STACKED WASHER & DRYER

### LEGEND:

- = EXISTING WALL
- = NEW WALL
- = REMOVED WALL
- = CARBON/SMOKE DETECTOR COMBO
- = SMOKE DETECTOR
- = EXHAUST FAN
- = WALL HEATER

A  
5

## MAIN LEVEL FLOOR PLAN

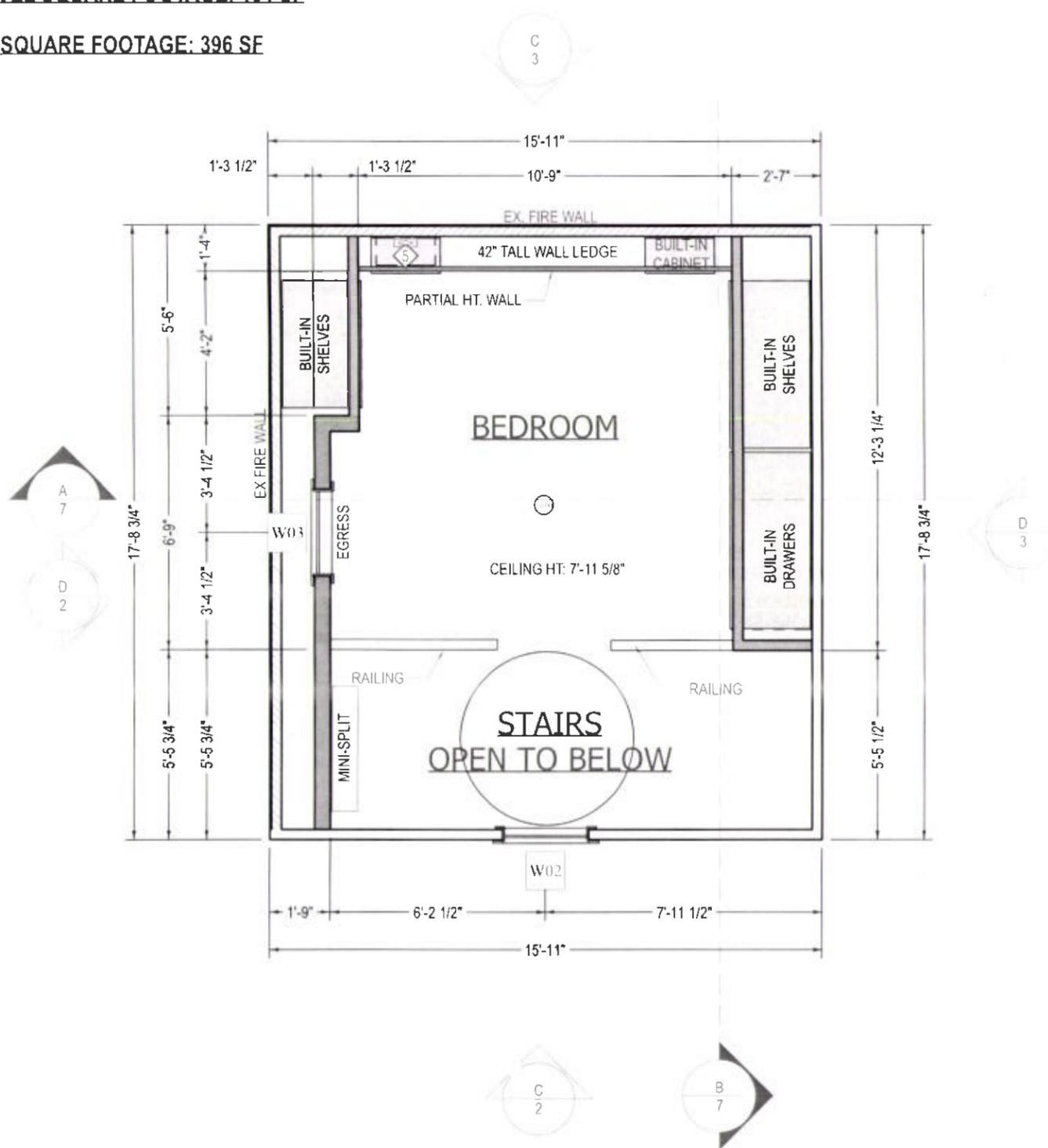
1/4" = 1'-0"

# McCANDLISH ADU

MAIN LEVEL SQUARE FOOTAGE: 262 SF

2nd LEVEL SQUARE FOOTAGE: 134 SF

TOTAL SQUARE FOOTAGE: 396 SF



WINDOW SCHEDULE								
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	EGRESS	TEMPERED	DESCRIPTION	COMMENTS
W01	3	1	18 "	18 "			FIXED GLASS	
W02	1	2	30 "	30 "			FIXED GLASS	
W03	1	2	33 "	36 "	YES		SINGLE CASEMENT-HR	
W04	1	1	40 "	40 "			SINGLE HUNG	

**5** TANKLESS WATER HEATER.  
ENCLOSING CABINET BUILT TO MANUFACTURERS  
MINS.  
NEEDS A 20.25" WIDE, 3' TALL, 9.5" DEEP CABINET.  
PRODUCT BASED ON "RHEEM, MODEL #RETEX-11"

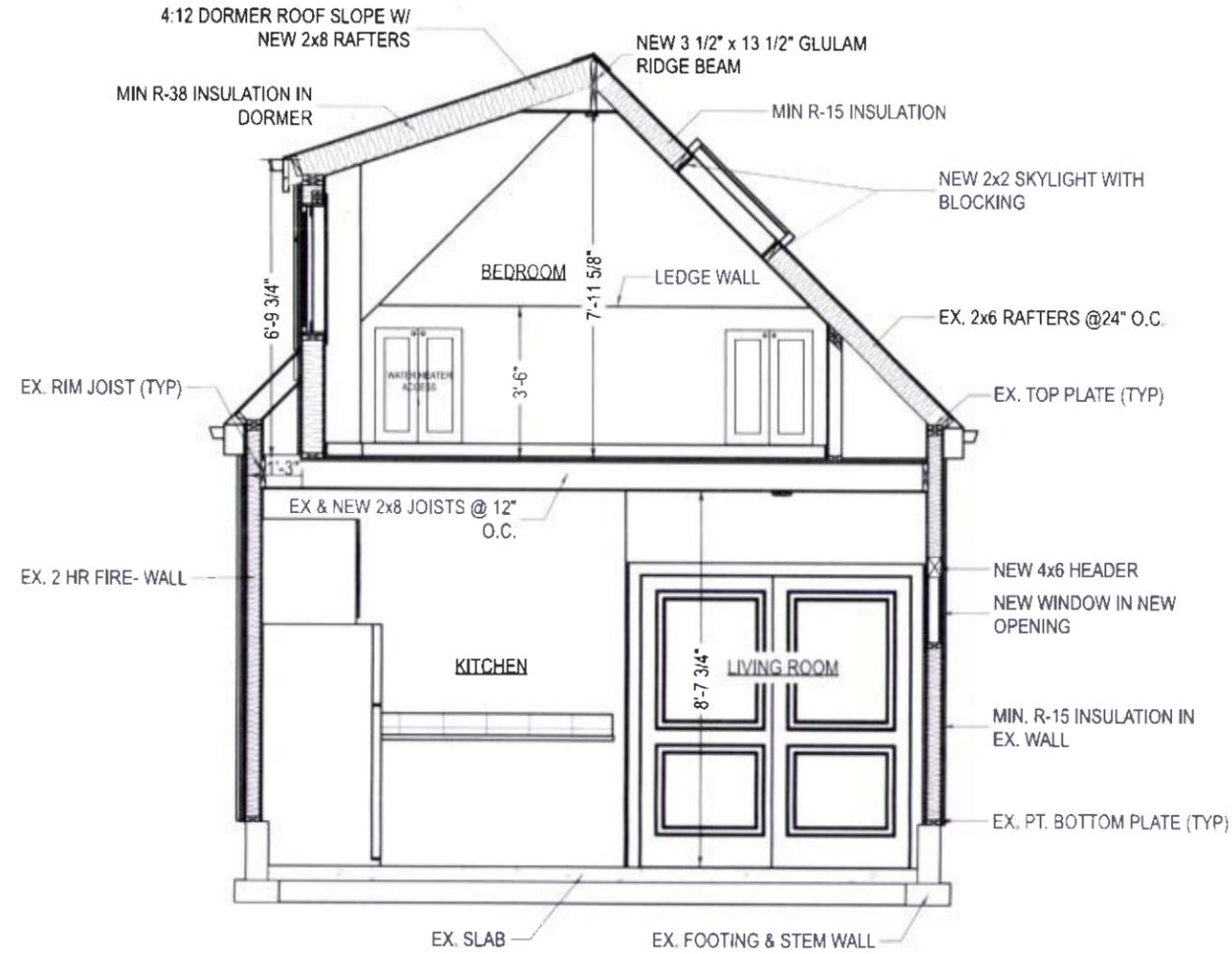
### LEGEND:

- = EXISTING WALL
- = NEW WALL
- = REMOVED WALL
- = CARBON/SMOKE DETECTOR COMBO
- = SMOKE DETECTOR
- = EXHAUST FAN
- = WALL HEATER

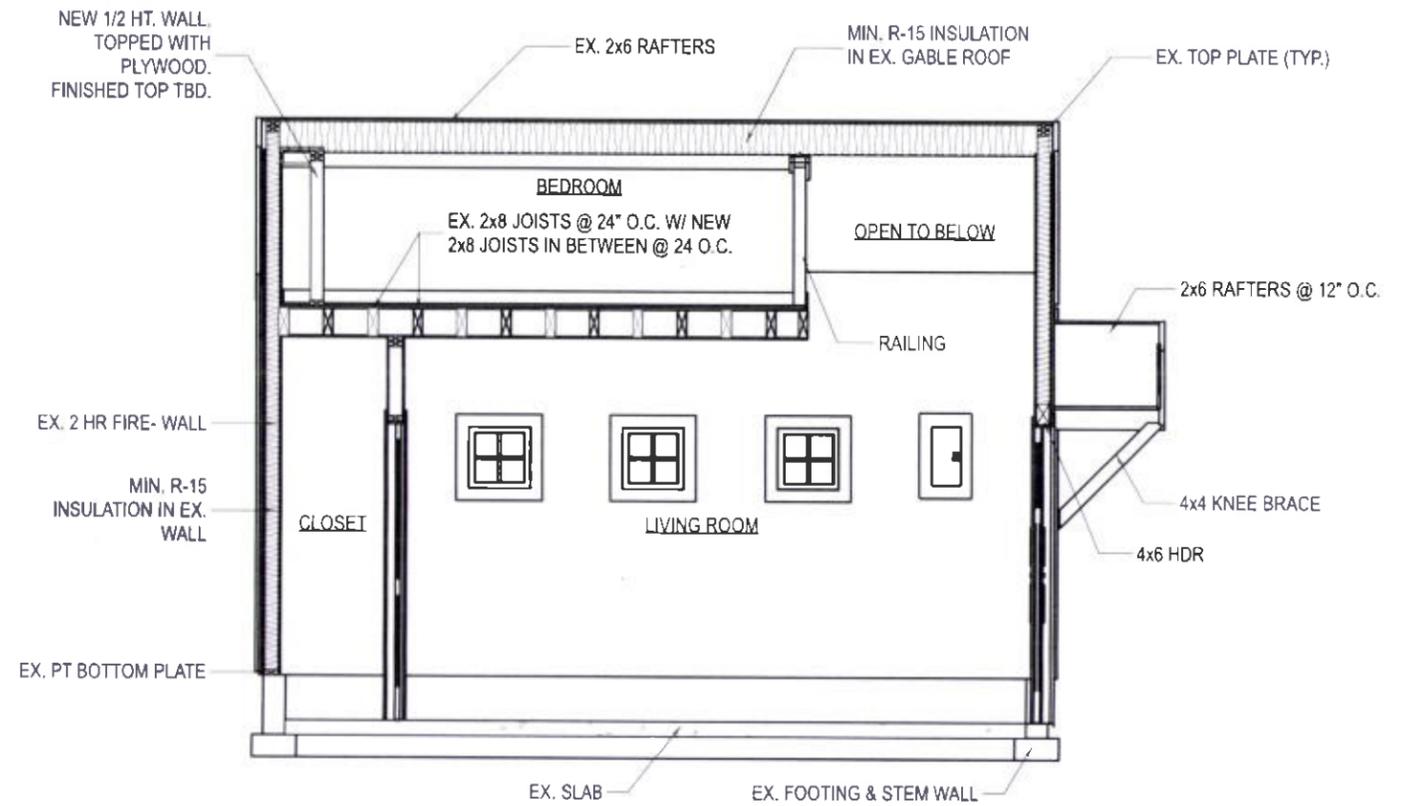
A  
6

## 2nd LEVEL FLOOR PLAN

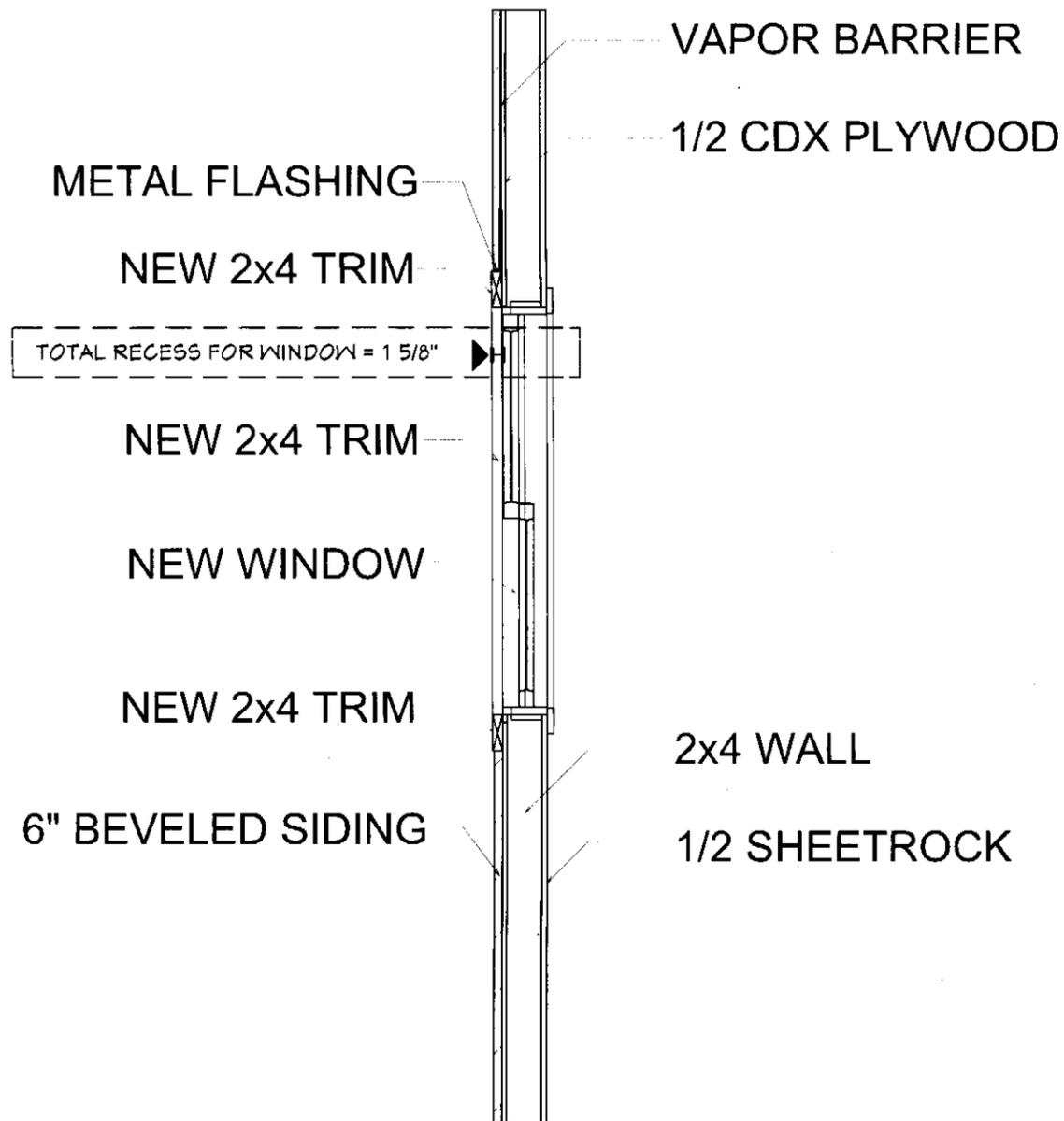
1/4" = 1'-0"



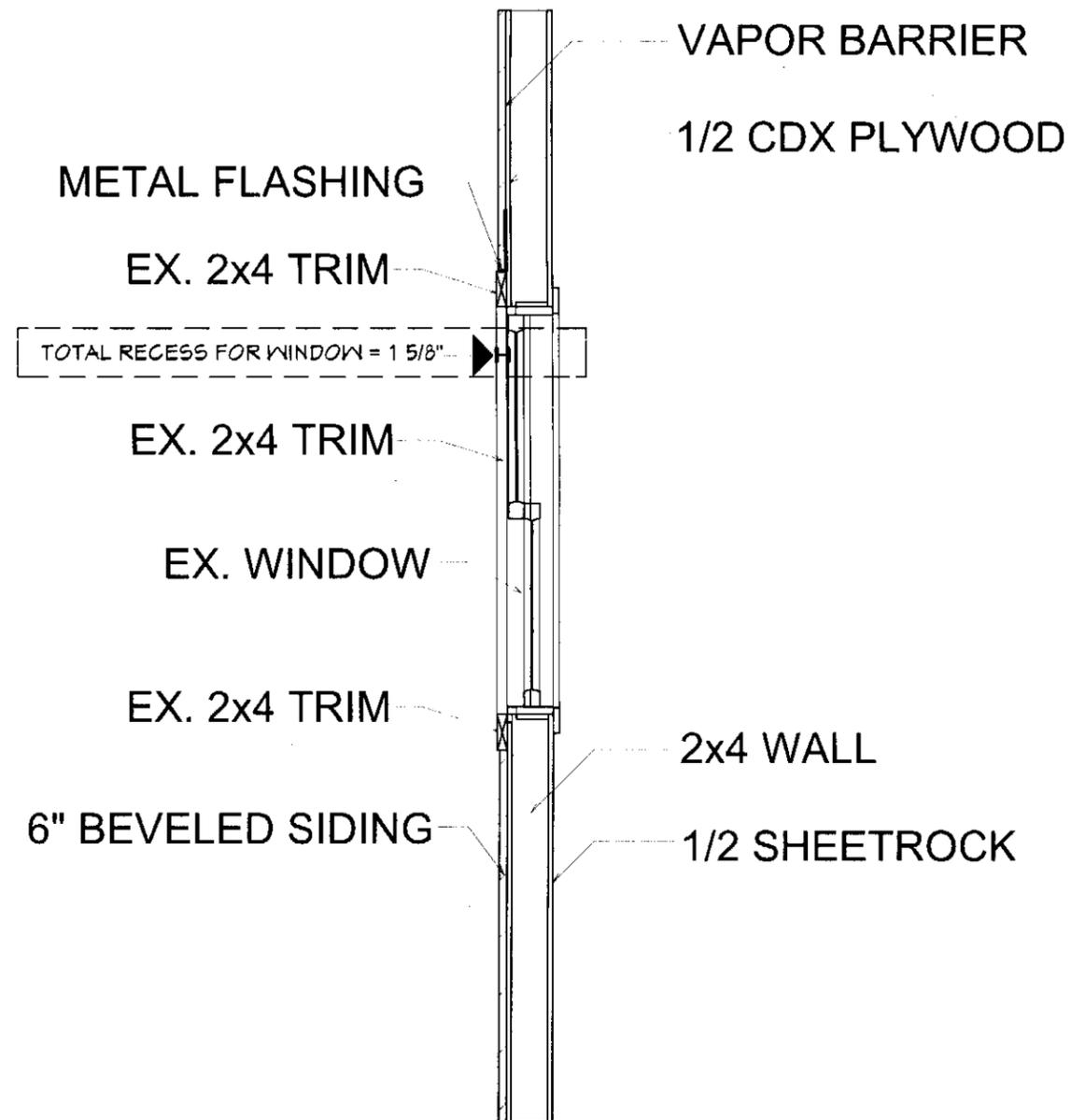
**A**  
**7** SECTION 1  
1/4" = 1'-0"



**B**  
**7** SECTION 2  
1/4" = 1'-0"



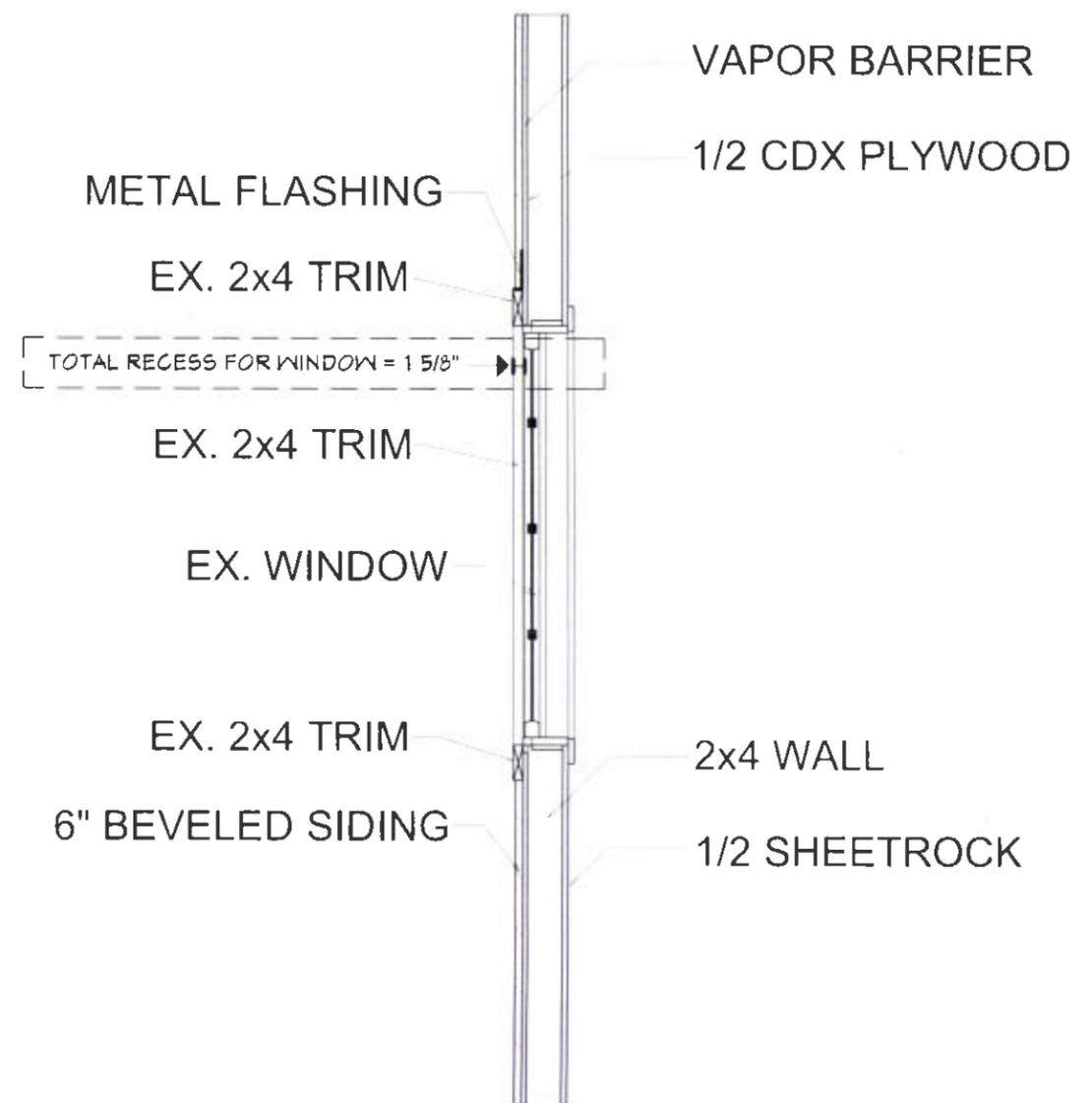
NEW DOUBLE HUNG WINDOW (ADU)



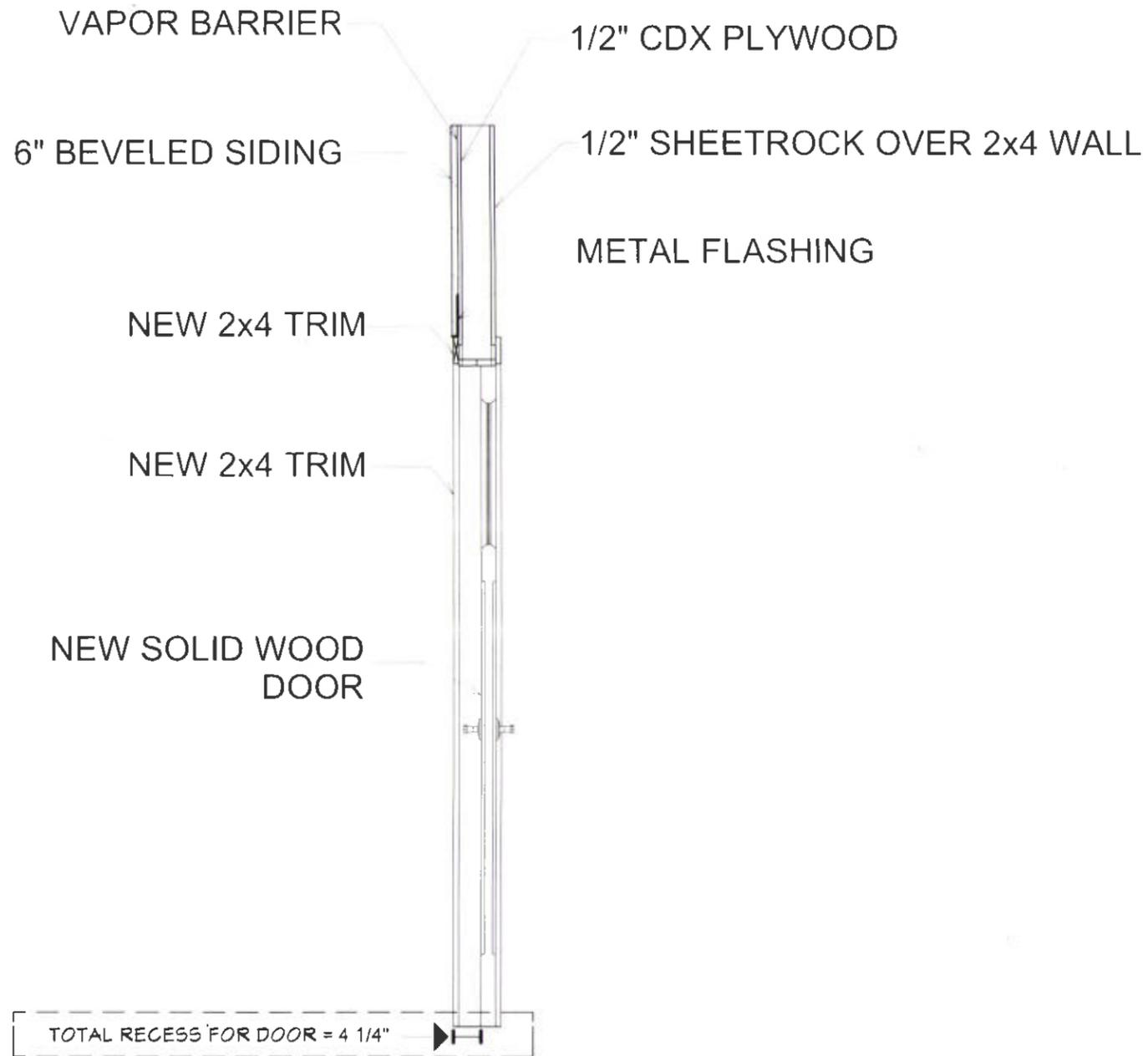
EXISTING DOUBLE HUNG WINDOW (RESIDENCE)



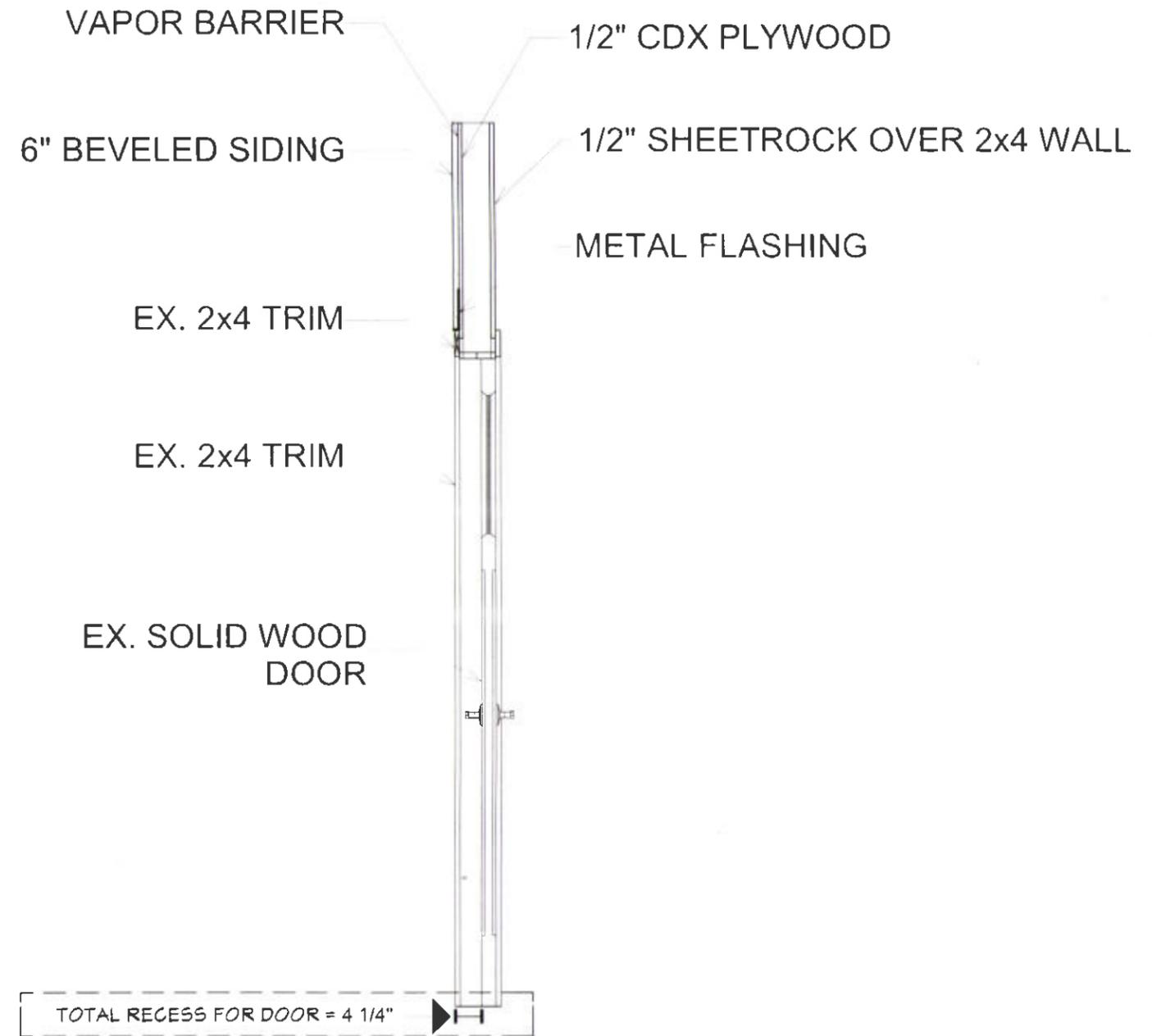
NEW CASEMENT  
WINDOW  
(ADU)



EXISTING CASEMENT  
WINDOW  
(RESIDENCE)



NEW DOOR  
(ADU)



EXISTING DOOR  
(RESIDENCE)

# Casa Bonita\_McCandleish

## All wood

Quote #: Y5MDHGU

A Proposal for Window and Door Products prepared for:

**Shipping Address:**

PARR LUMBER CO-ALOHA  
5600 NW CENTURY BLVD  
HILLSBORO, OR 97124-8620

KORY JONES  
PARR LUMBER CO-ALOHA  
5630 NW CENTURY BLVD  
HILLSBORO, OR 97124-8620  
Phone: (503) 488-1403  
Fax: (503) 614-8595  
Email: kory.jones@parr.com

This report was generated on 7/24/2018 10:34:08 AM using the Marvin Order Management System, version 0002 21.00 (Current). Price in USD. Unit availability and price are subject to change. Dealer terms and conditions may apply.

Featuring products from:

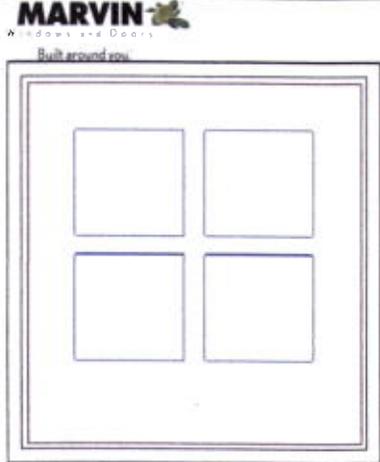
**MARVIN** 

Built around you.

## LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit: W01	Net Price:		510.72
Qty: 3		Ext. Net Price:	USD	1,532.16



- Primed Pine Exterior
- Primed Pine Interior
- Basic Unit
- Wood Ultimate Casement - Stationary
- CN 1618
- Rough Opening w/o Subsill  
17" X 17 5/8"
- Frame Size w/o Subsill  
16" X 17 1/8"
- Primed Pine Sash Exterior
- Primed Pine Sash Interior
- IG - 3/4"
- Low E2
- Capillary Tube
- Stainless Perimeter and Spacer Bar
- 7/8" SDL - With Spacer Bar - Stainless
- Rectangular - Special Cut 2W2H
- Primed Pine Ext - Primed Pine Int
- Match WUDH Interior and Exterior Sash Profiles and Divided Lite Bars
- Ovolo Interior Glazing Profile
- Tall Bottom Rail
- White Weather Strip
- Solid Wood Covers
- 4 9/16" Jamb
- Exterior Casing - None
- No Subsill
- Installed Installation Brackets

**As Viewed From The Exterior**

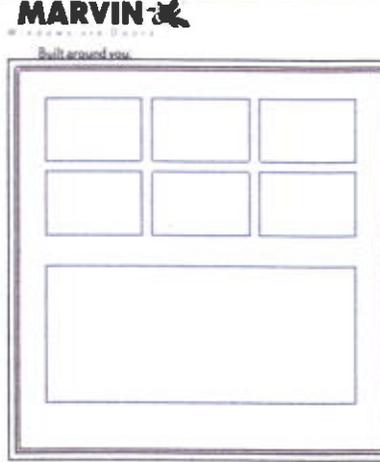
Entered As: CN  
 CN 1618  
 FS 16" X 17 1/8"  
 RD 17" X 17 5/8"

**Egress Information**  
 No Egress Information available.

**Performance Information**  
 Product Performance Information is currently unavailable in the OMS for this product and glazing option. To request product performance information not in the OMS, contact your Marvin representative or submit an Assistance Request.

**Performance Grade**  
 No Performance Grade Information available.

Line #2	Mark Unit: W02	Net Price:		703.76
Qty: 1		Ext. Net Price:	USD	703.76



- Primed Pine Exterior
- Primed Pine Interior
- Basic Unit
- Wood Ultimate Casement - Stationary
- CN 3032
- Rough Opening w/o Subsill  
31" X 31 5/8"
- Frame Size w/o Subsill  
30" X 31 1/8"
- Primed Pine Sash Exterior
- Primed Pine Sash Interior
- IG - 3/4"
- Low E2 w/Argon
- Stainless Perimeter and Spacer Bar
- 2 13/32" Simulated Rail Rectangular
- Standard 1.0:2.0
- 7/8" SDL - With Spacer Bar - Stainless
- Top Cut 3W2H - Bottom Cut 1W1H
- 7 Rect Lites
- Primed Pine Ext - Primed Pine Int
- Match WUDH Interior and Exterior Sash Profiles and Divided Lite Bars
- Ovolo Interior Glazing Profile
- Tall Bottom Rail

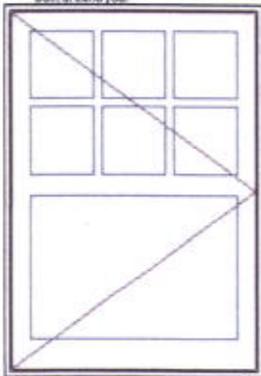
**As Viewed From The Exterior**

Entered As: CN  
 CN 3032

FS 30" X 31 1/8"  
 RO 31" X 31 5/8"  
**Egress Information**  
 No Egress Information available.  
**Performance Information**  
 U-Factor: 0.28  
 Solar Heat Gain Coefficient: 0.25  
 Visible Light Transmittance: 0.42  
 Condensation Resistance: 59  
 CPD Number: MAR-N-347-07204-00001  
 ENERGY STAR: NC, SC, S  
**Performance Grade**  
 Licensee #1067  
 AAMA/WDMA/CSA/101/ I.S.2/A440-08  
 CW-PG50 914X2442 mm (36X96.2 in)  
 CW-PG50 DP +50/-50  
 FL13145

White Weather Strip  
 Solid Wood Covers  
 4 9/16" Jambos  
 Exterior Casing - None  
 No Subsill  
 Installed Installation Brackets

Line #3	Mark Unit: W03	Net Price:		900.60
Qty: 1		Ext. Net Price:	USD	900.60



As Viewed From The Exterior

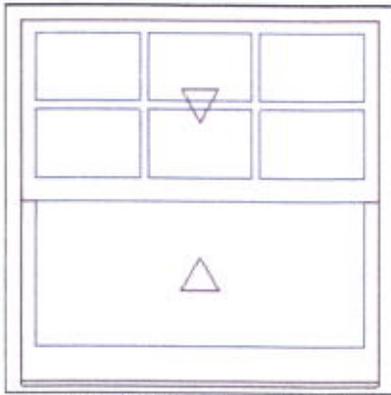
Entered As: CN  
 CN 3044  
 FS 30" X 43 1/8"  
 RO 31" X 43 5/8"  
**Egress Information**  
 Width: 22 57/64" Height: 38 1/64"  
 Net Clear Opening: 6.04 SqFt  
**Performance Information**  
 U-Factor: 0.28  
 Solar Heat Gain Coefficient: 0.25  
 Visible Light Transmittance: 0.42  
 Condensation Resistance: 59  
 CPD Number: MAR-N-347-07204-00001  
 ENERGY STAR: NC, SC, S  
**Performance Grade**  
 Licensee #1067  
 AAMA/WDMA/CSA/101/ I.S.2/A440-08  
 CW-PG50 914X2442 mm (36X96.2 in)  
 CW-PG50 DP +50/-50  
 FL13145

Primed Pine Exterior  
 Primed Pine Interior  
 Basic Unit  
 Wood Ultimate Casement - Right Hand  
 CN 3044  
 Rough Opening w/o Subsill  
 31" X 43 5/8"  
 Frame Size w/o Subsill  
 30" X 43 1/8"  
 Primed Pine Sash Exterior  
 Primed Pine Sash Interior  
 IG - 3/4"  
 Low E2 w/Argon  
 Stainless Perimeter and Spacer Bar  
 2 13/32" Simulated Rail Rectangular  
 Standard 1.0:2.0  
 7/8" SDL - With Spacer Bar - Stainless  
 Top Cut 3W2H - Bottom Cut 1W1H  
 7 Rect Lites  
 Primed Pine Ext - Primed Pine Int  
 Match WUDH Interior and Exterior Sash Profiles and Divided Lite Bars  
 Ovolo Interior Glazing Profile  
 Tall Bottom Rail  
 White Weather Strip  
 Oil Rubbed Bronze Folding Handle  
 Oil Rubbed Bronze Multi - Point Lock  
 Aluminum Screen  
 White Surround  
 Charcoal Fiberglass Mesh  
 4 9/16" Jambos  
 Exterior Casing - None  
 No Subsill  
 Installed Installation Brackets

Line #4	Mark Unit: W04	Net Price:		779.76
Qty: 1		Ext. Net Price:	USD	779.76



Primed Pine Exterior  
 Primed Pine Interior  
 Basic Unit  
 Wood Ultimate Double Hung  
 CN 3616



As Viewed From The Exterior

Entered As: CN  
CN 3616  
FS 41 3/8" X 39 29/32"  
RO 42 3/8" X 40 13/32"  
**Egress Information**  
Width: 37 13/16" Height: 14 1/4"  
Net Clear Opening: 3.74 SqFt  
**Performance Information**  
U-Factor: 0.29  
Solar Heat Gain Coefficient: 0.26  
Visible Light Transmittance: 0.45  
Condensation Resistance: 57  
CPD Number: MAR-N-68-05573-00001  
ENERGY STAR: NC  
**Performance Grade**  
Licensee #1109  
AAMA/WDMA/CSA/101/ I.S.2/A440-08  
LC-PG40 1051X2464 mm (41.4X97 in)  
LC-PG40 DP +40/-40  
FL15162

Rough Opening w/o Subsill  
42 3/8" X 40 13/32"  
Top Sash  
Primed Pine Sash Exterior  
Primed Pine Sash Interior  
IG  
Low E2 w/Argon  
Stainless Perimeter and Spacer Bar  
7/8" SDL - With Spacer Bar - Stainless  
Rectangular - Special Cut 3W2H  
Primed Pine Ext - Primed Pine Int  
Ovolo Exterior Glazing Profile  
Ovolo Interior Glazing Profile  
Bottom Sash  
Primed Pine Sash Exterior  
Primed Pine Sash Interior  
IG - 1 Lite  
Low E2 w/Argon  
Stainless Perimeter Bar  
Ovolo Exterior Glazing Profile  
Ovolo Interior Glazing Profile  
Oil Rubbed Bronze Sash Lock  
White Jamb Hardware  
Non Finger-Jointed Blindstop  
No Screen  
4 9/16" Jamb  
Exterior Casing - None  
No Subsill  
Non Finger-Jointed Sill  
Installed Installation Brackets

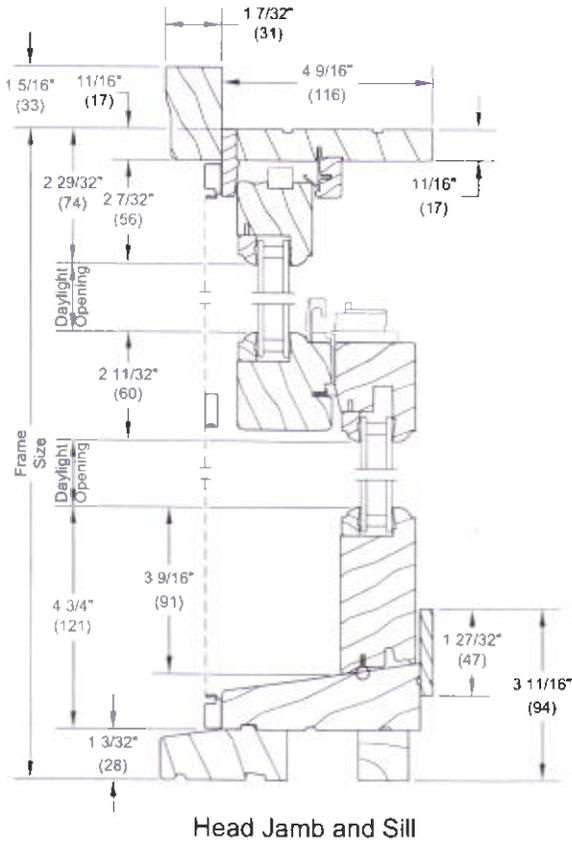
Project Subtotal Net Price: USD	3,916.28
0.000% Sales Tax: USD	0.00
Project Total Net Price: USD	3,916.28

# Wood Ultimate Double Hung

## Section Details: Operating

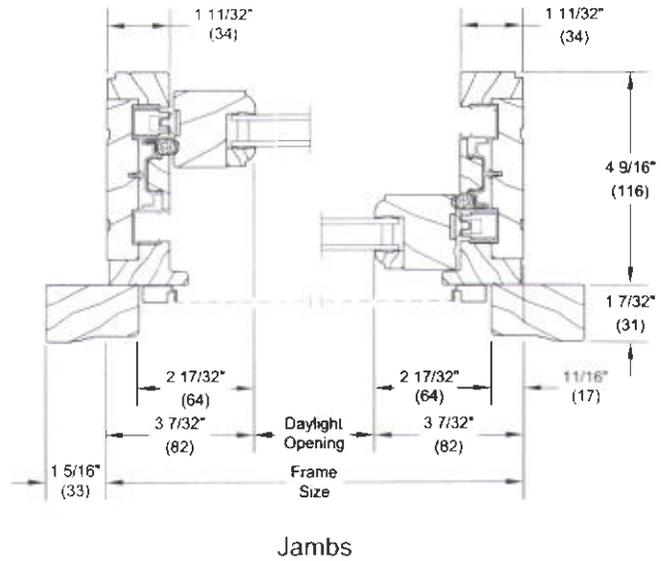
Scale: 3" = 1' 0"

### Double Hung

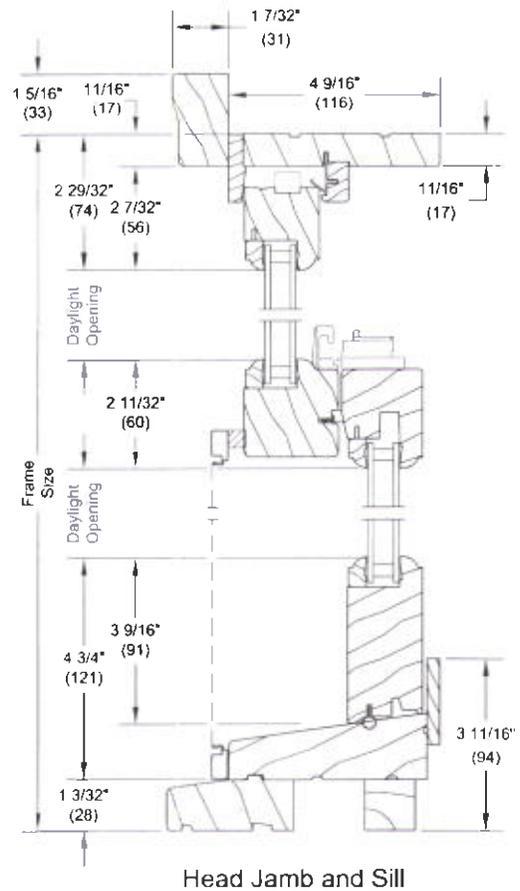
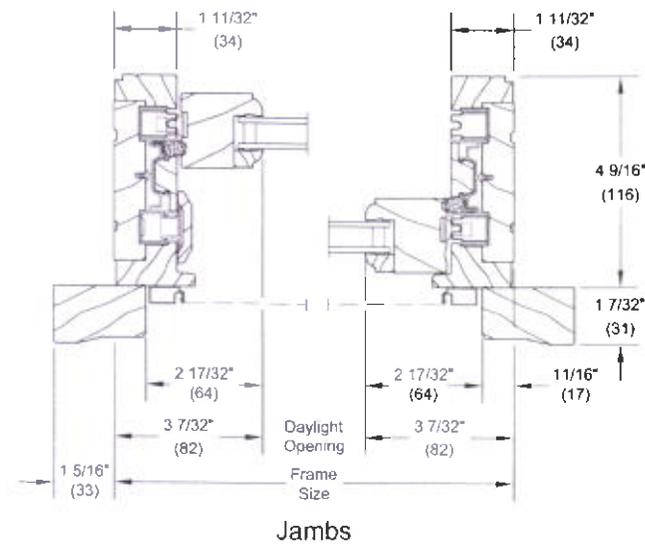


### Lower Sash

### Upper Sash



### Single Hung

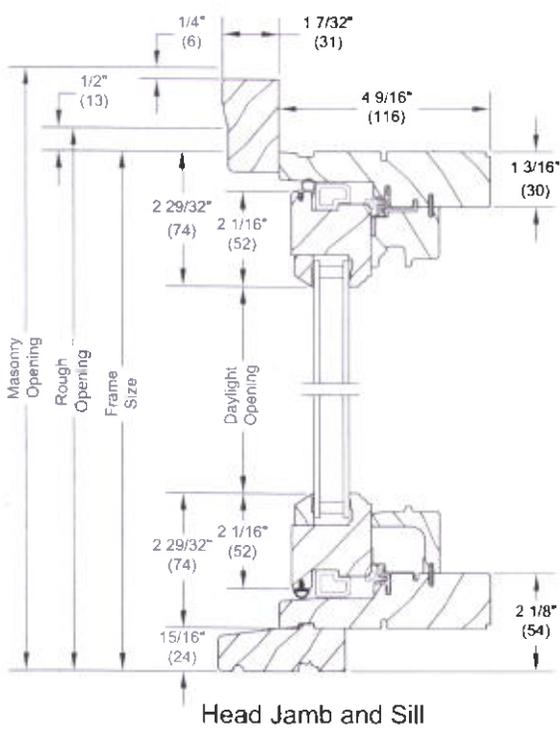
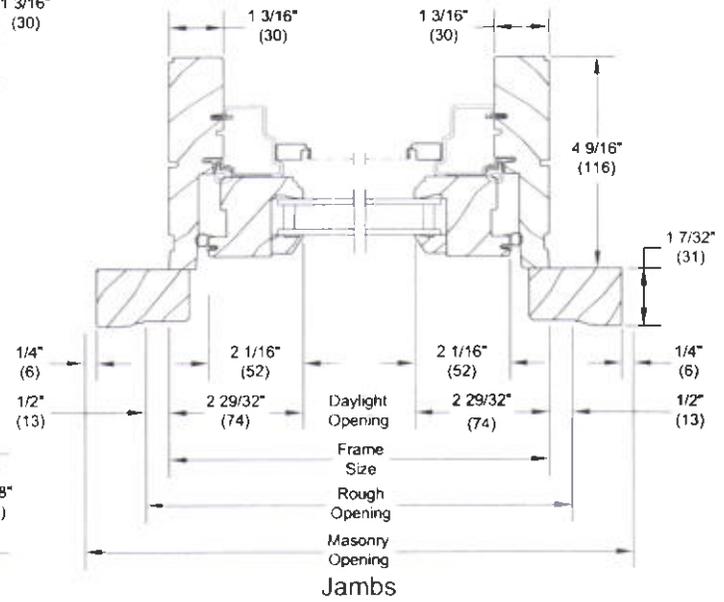
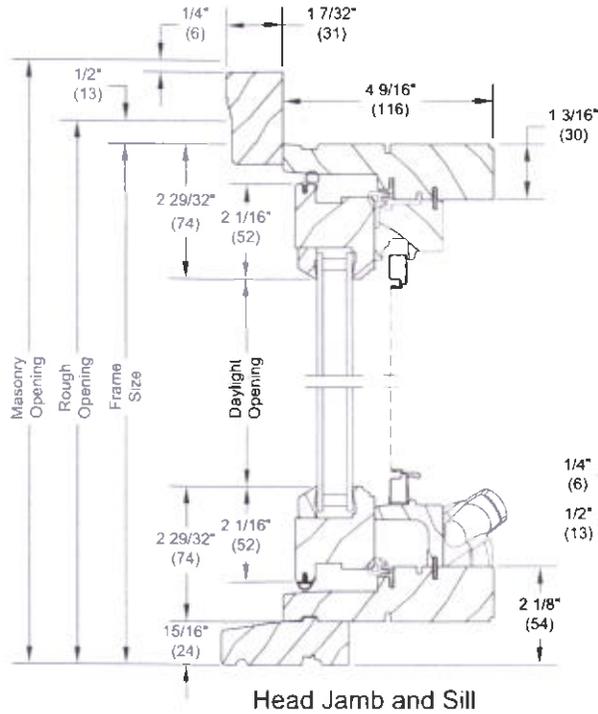


Wood Ultimate Casement, Awning and Picture

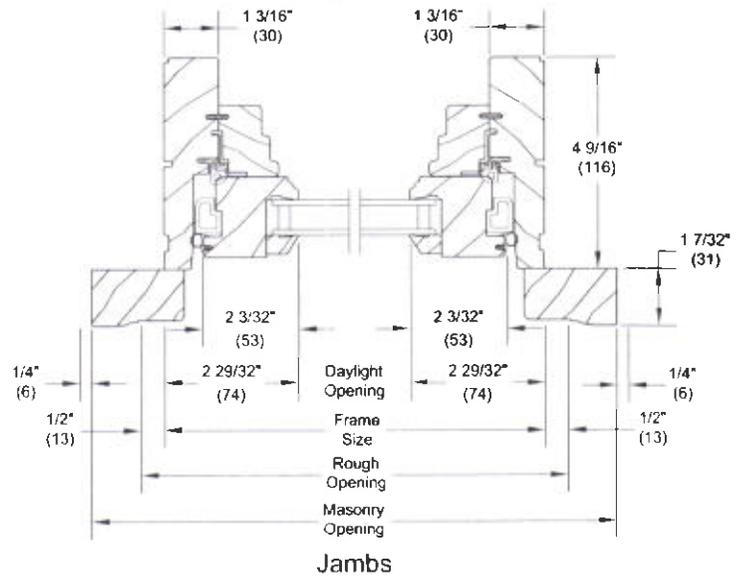
Section Details: Operating and Stationary / Picture - 3/4" (19) IG

Scale: 3" = 1' 0"

Operating



Stationary



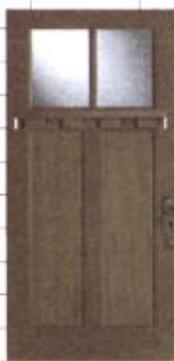
**PARR LUMBER 755 NW 185TH ALOHA OR, 97006**

<b>SOLD TO:</b> Casa Bonita	<b>CONTRACTOR</b>	<b>PO#</b>
McCandish		<b>SALESPERSON:</b> KORY JONES
<b>SHIP TO:</b> PARR HILLSBORO LOGISTICS	<b>PHONE</b>	<b>ORDER DATE</b>
	<b>VENDOR ORDER #:</b>	<b>DELIVERY DATE:</b>
		<b>PARR 'S ORDER #</b>

LINE	QTY	ALLIANCE SIZE	DOOR SPECIFICATIONS					LOCK		JAMB SPECIFICATIONS			HINGES			PRICE EACH		
			SWING	THICK	CORE	SPECIES	STYLE	BORE	E/P	SIZE	TYPE	SPECIES	SILL	B/M	FINISH		W/S	ROOM
1	1	2/4 x 6/8		1-3/8	sc	fir	66											\$223.00
2	1	6/0 x 6/8		1-3/8	sc	fir	66											\$510.00
3		72" x 80"																
4																		
5	1	3/0 x 6/8	RHI	1-3/4	sc	fir	6802			4-9/16	prime-FS	bz		us10b				\$950.00
6																		
7	2	2/0 x 2/0	FCM2222				Velux FCM fixed curb mount skylight										\$136.00	
8	2						flashing kit										\$90.00	
9																		
10																		
11																		
12																		
13																		
14																		
15																		
16																		
17																		
18																		
19																		
20																		

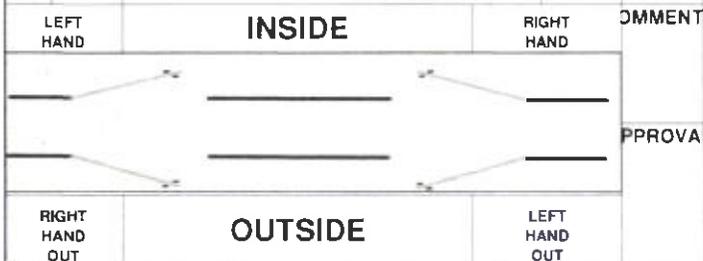


model 66

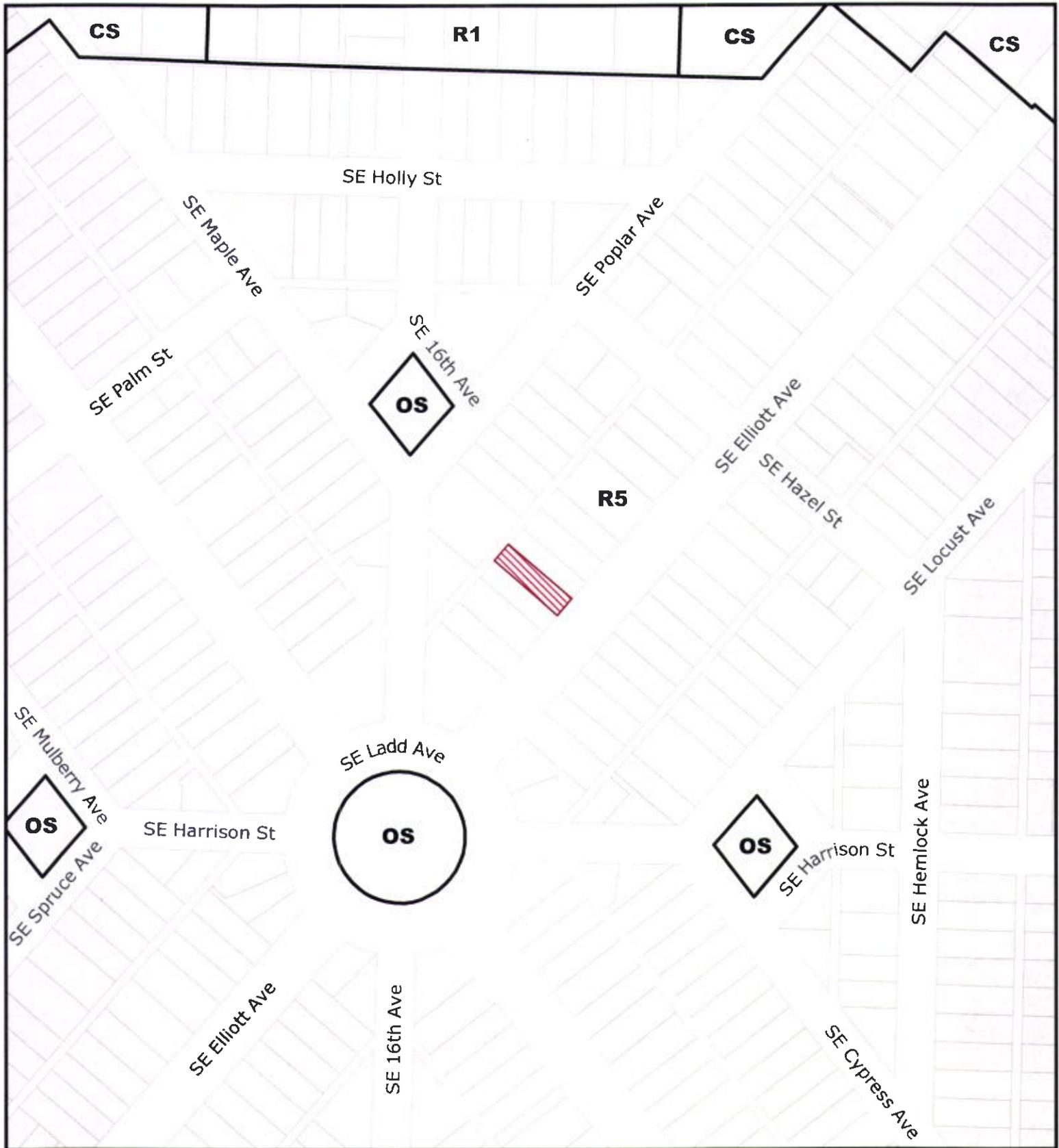


model 6802

add \$205.00 for dentil shelf



5 (UNLESS NOTED OTHERWISE)



# ZONING



Site

THIS SITE LIES WITHIN THE:  
LADD'S ADDITION HISTORIC DISTRICT

File No.	LU 18-145469 HR
1/4 Section	3232
Scale	1 inch = 200 feet
State ID	1S1E02DB 7800
Exhibit	B Apr 06, 2018

# McCANDLISH ADU

4:12 SHED ROOF DORMER

1903 SE Elliot Ave.  
Portland, OR 97214

### Job Description:

- Convert existing detached garage into ADU.
- Adding a dormer.
- New exterior wood door with lites.
- New wood windows.
- New covered entry.

### Building Coverage:

Existing: 1,458 SF  
Proposed; 1,458 SF (No Changes)

### Homeowner:

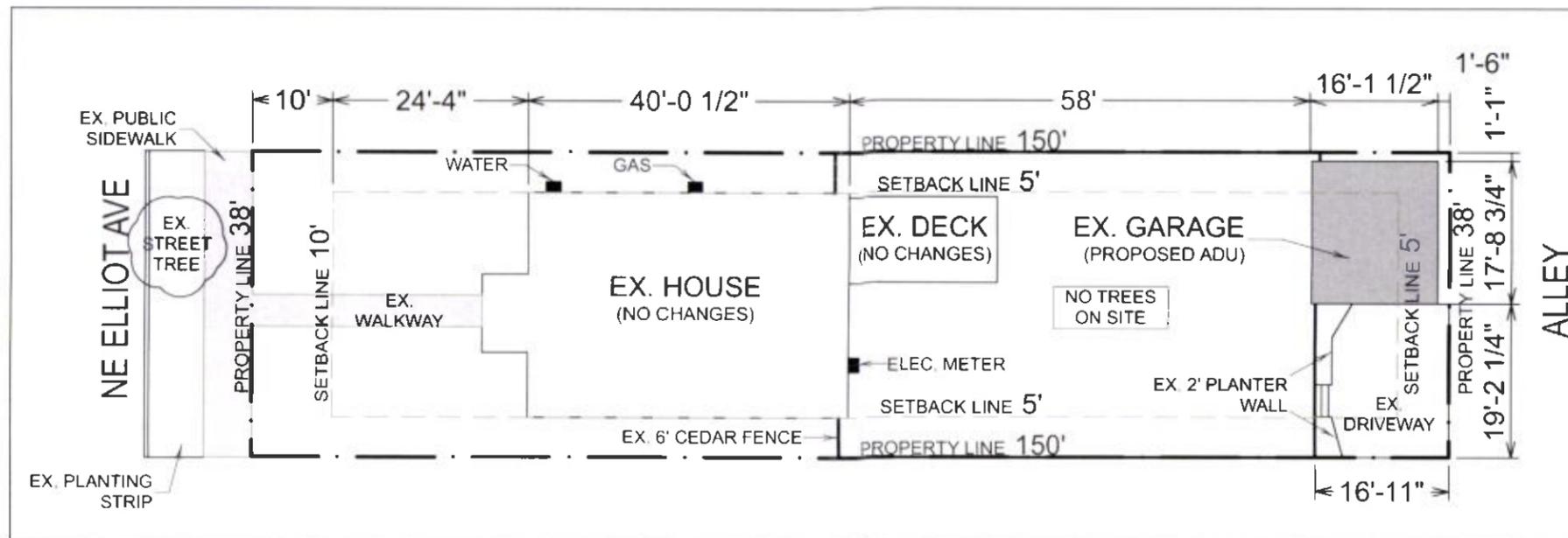
Jim McCandlish

### Contractor:

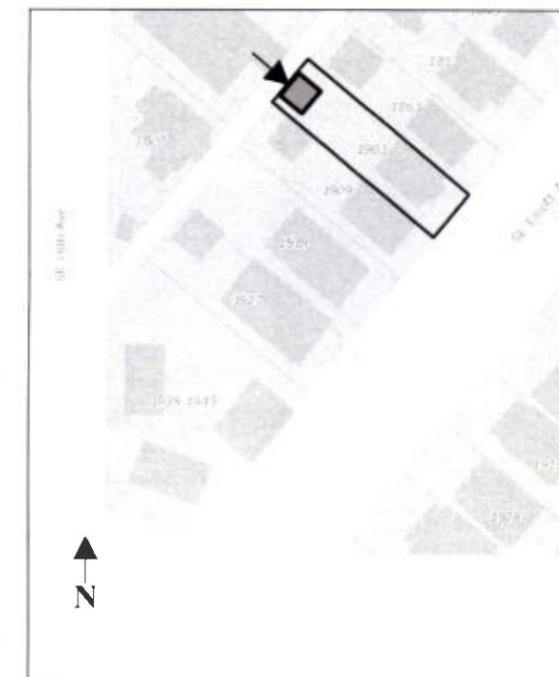
Casa Bonita LLC  
1631 NE Broadway St. #721  
Portland, OR 97232  
CCB: 189948

Drawings:  
Precision  
9655 SW Sunshine Ct. #700  
Beaverton, OR 97005  
CCB: 174274

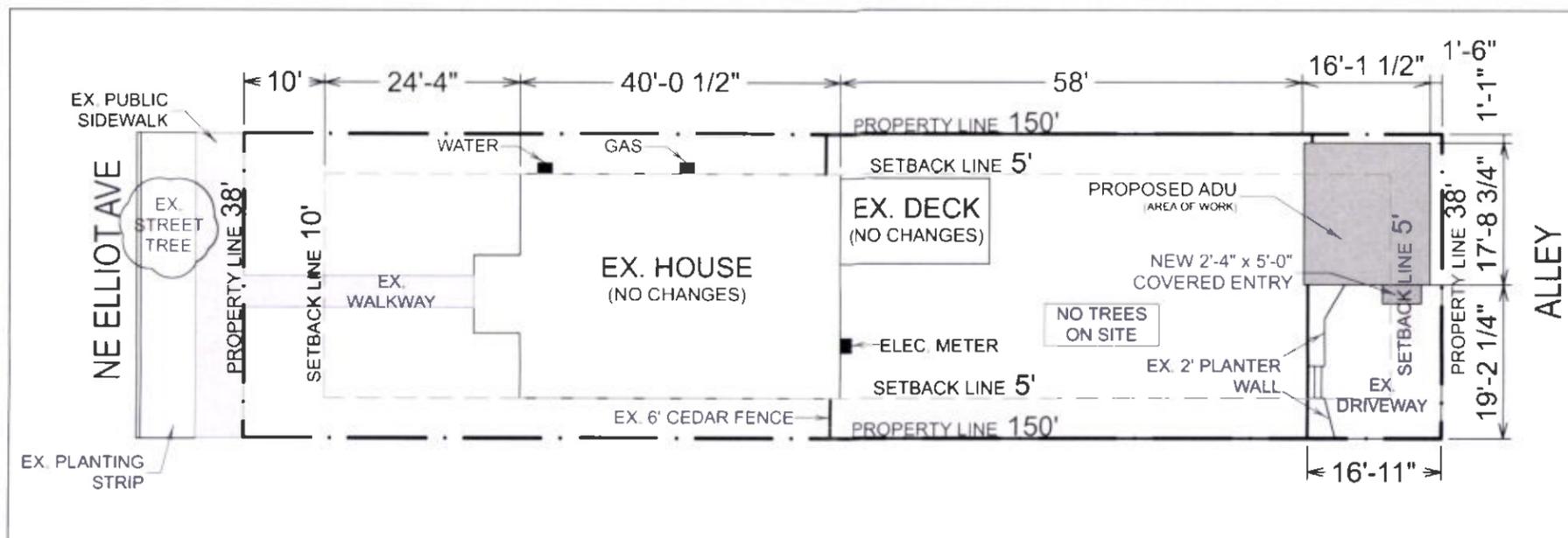
2469451-8107



**A**  
1  
EXISTING SITE PLAN  
1" = 20'



**C**  
1  
VICINITY MAP  
NTS



**B**  
1  
PROPOSED SITE PLAN  
1" = 20'

\*Approved\*  
 City of Portland  
 Bureau of Development Services  
 Planner pk  
 Date 9-12-18  
 \* This approval applies only to the reviews requested and is subject to all conditions of approval.  
 Additional zoning requirements may apply.

**DISCLAIMER:**  
To the best of knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. Designer is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

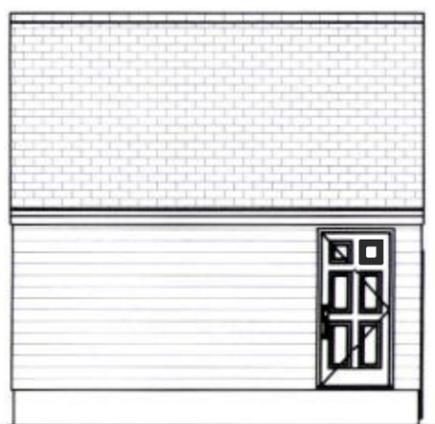


\*Approved\*  
 City of Portland  
 Bureau of Development Services

Planner \_\_\_\_\_ *pb*

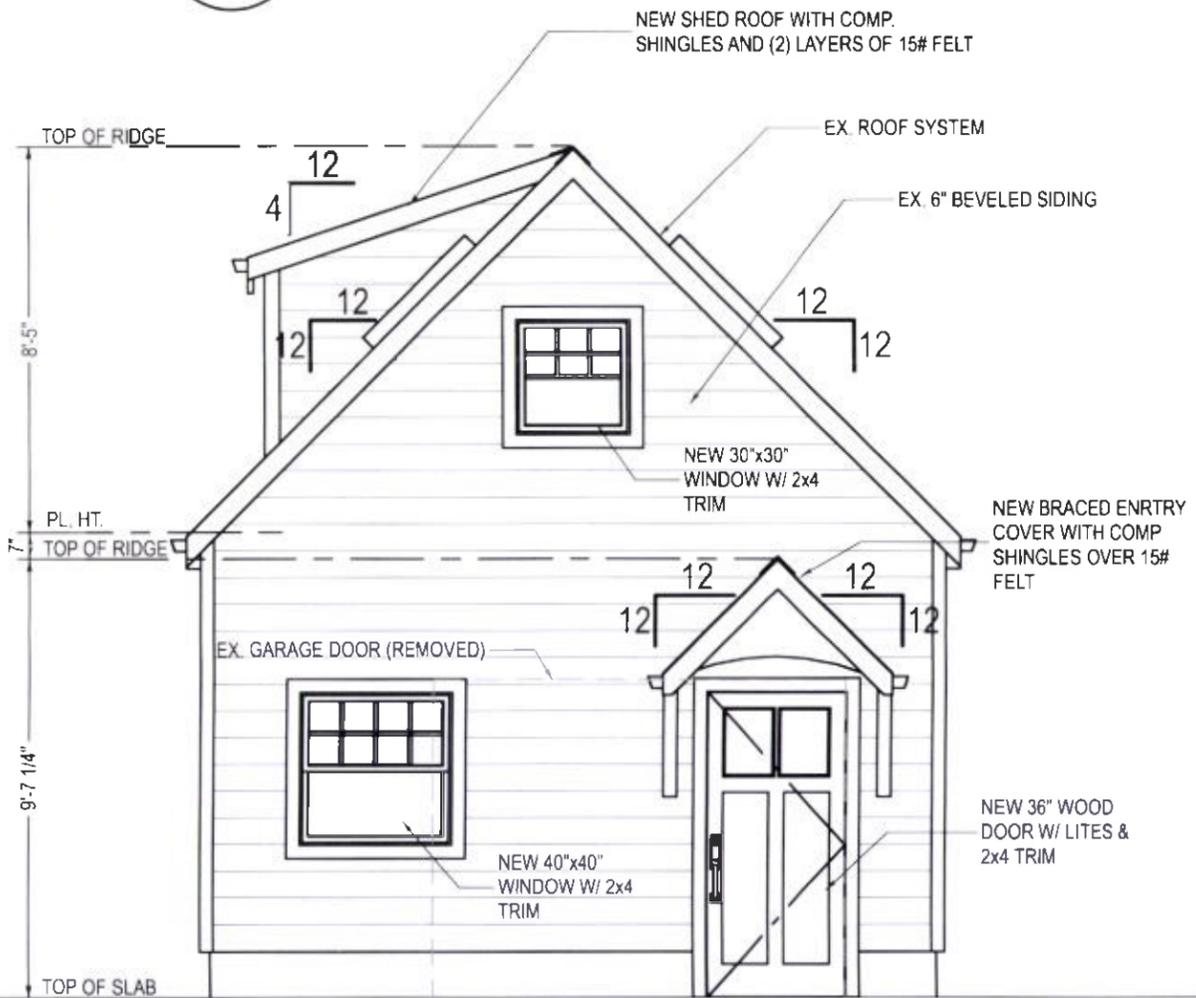
Date \_\_\_\_\_ *9-12-18*

\* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



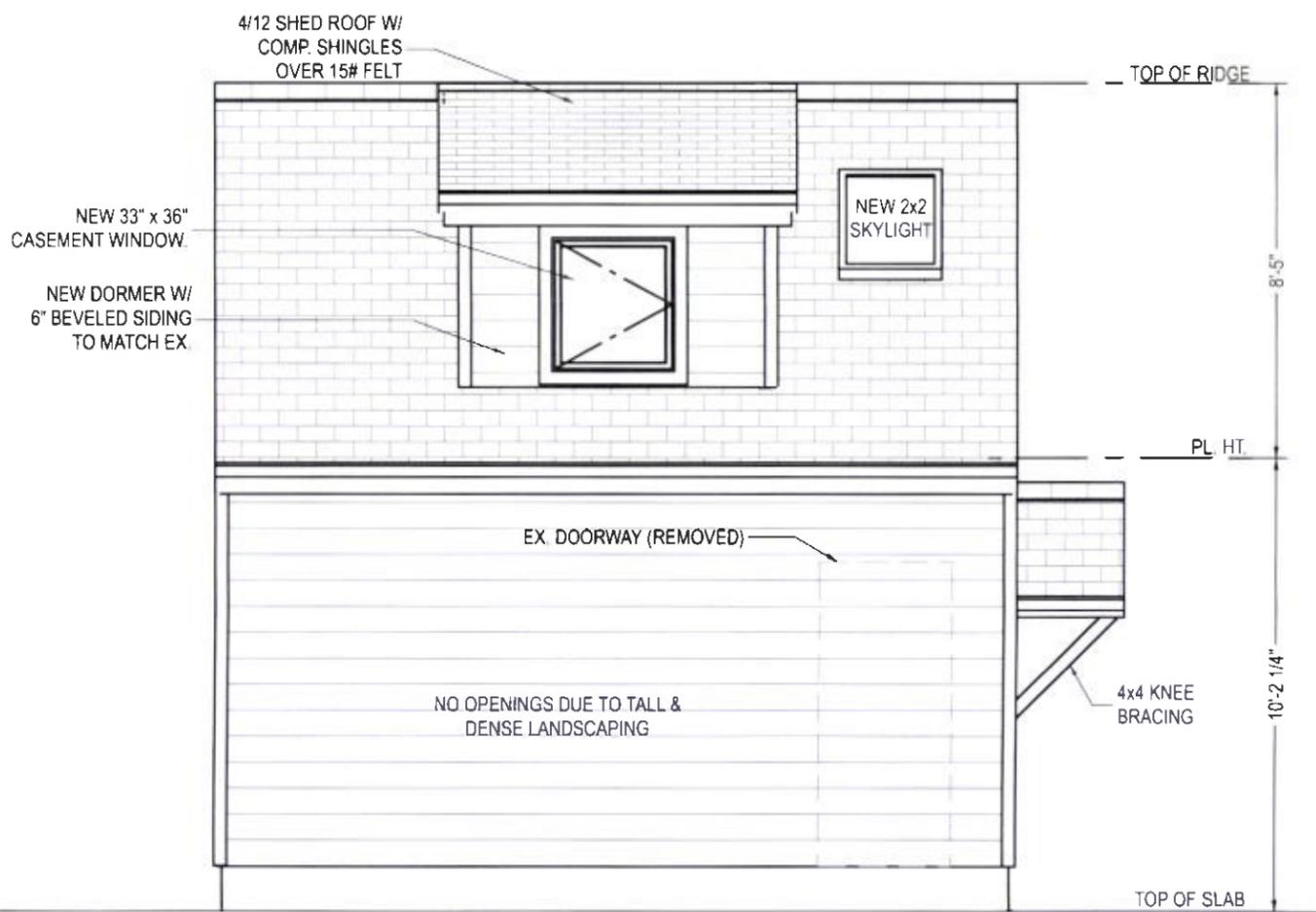
**A**  
 2  
 EX. NORTH-EAST ELEVATION  
 1/8" = 1'-0"

**B**  
 2  
 EX. SOUTH-EAST ELEVATION  
 1/8" = 1'-0"



**GENERAL NOTES:**  
 -ALL NEW SIDING, ROOF, & TRIM TO MATCH EXISTING MATERIALS & COLORS

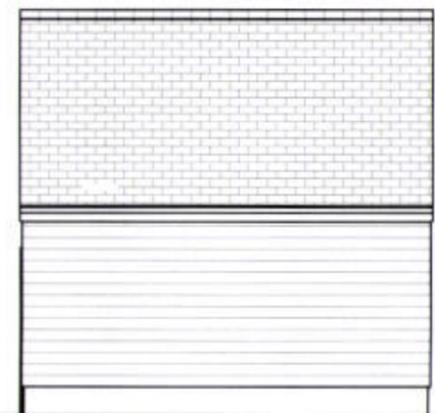
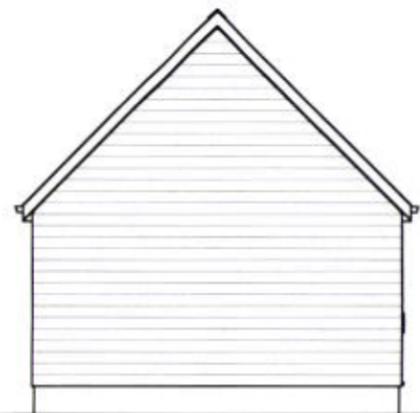
**WINDOW NOTES:**  
 -ALL NEW WINDOWS AND DOORS  
 -WINDOWS AND DOORS TO BE WOOD ON THE INTERIOR AND EXTERIOR.  
 -ALL WILL HAVE 2x4 TRIM ON EXTERIOR.



**C**  
 2  
 PROP. NORTH-EAST ELEVATION  
 1/4" = 1'-0"

**D**  
 2  
 PROP. SOUTH-EAST ELEVATION  
 1/4" = 1'-0"

LU 18-145469 HR



A  
3

**EX. SOUTH-WEST ELEVATION**

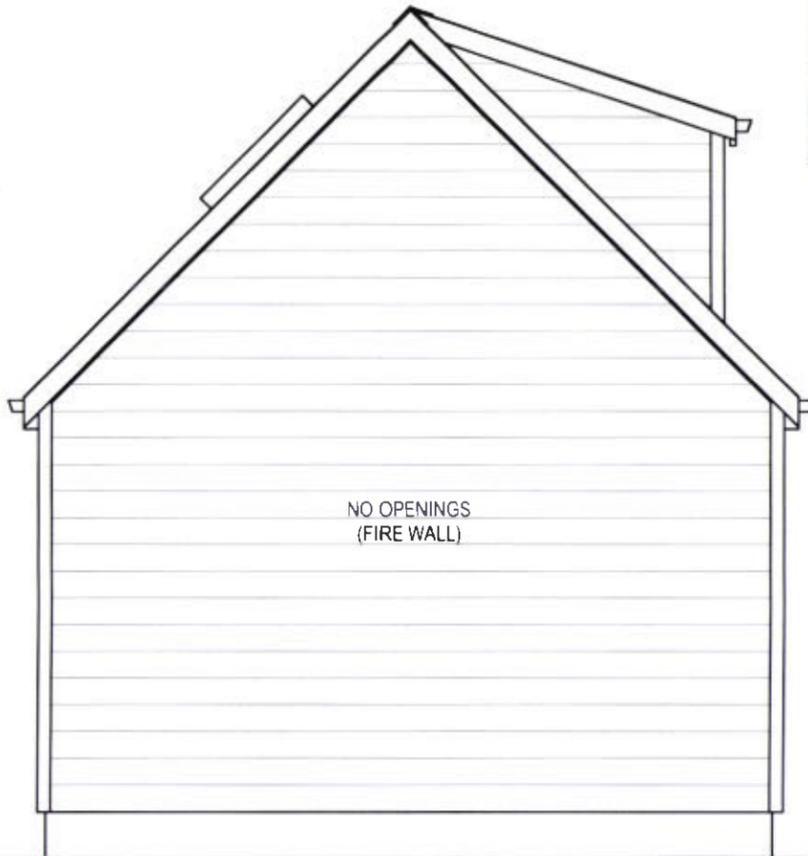
1/8" = 1'-0"

B  
3

**EX. NORTH-WEST ELEVATION**

1/8" = 1'-0"

**\*Approved\***  
 City of Portland  
 Bureau of Development Services  
 Planner pb  
 Date 9-12-18  
 \* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



**WINDOW NOTES:**  
ALL NEW WINDOWS.  
WINDOWS TO BE WOOD.



C  
3

**PROP. SOUTH-WEST ELEVATION**

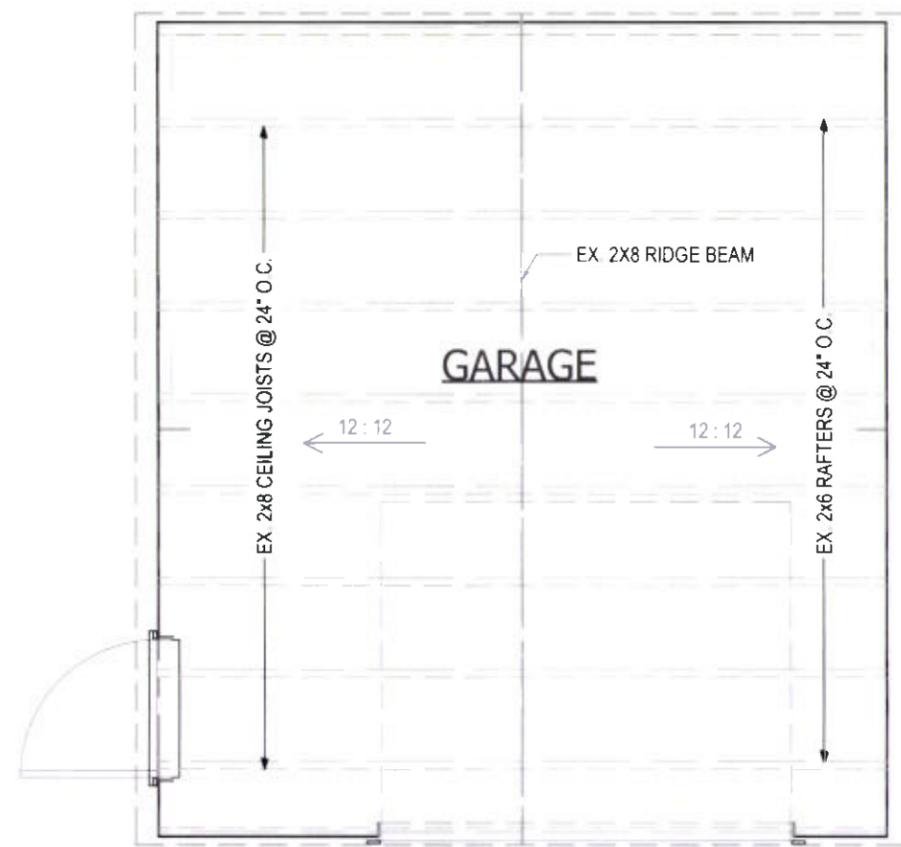
1/4" = 1'-0"

D  
3

**PROP. NORTH-WEST ELEVATION**

1/4" = 1'-0"

LU 18-145469 HR



\*Approved\*  
 City of Portland  
 Bureau of Development Services  
 Planner AK  
 Date 9-12-18  
 \* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

A  
 4 AS-BUILT FLOOR PLAN  
 1/4" = 1'-0"

LU 18-145469 HR

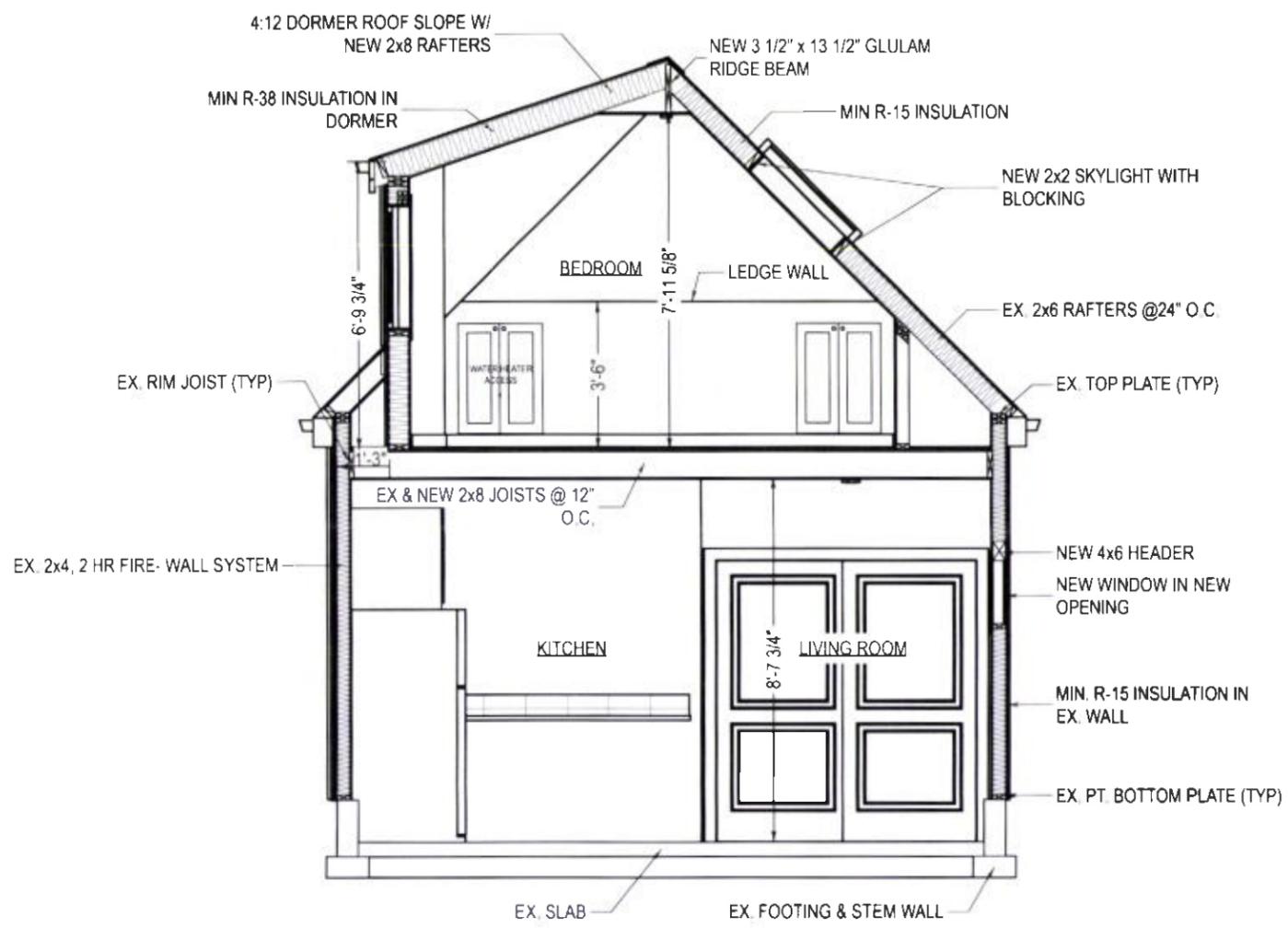




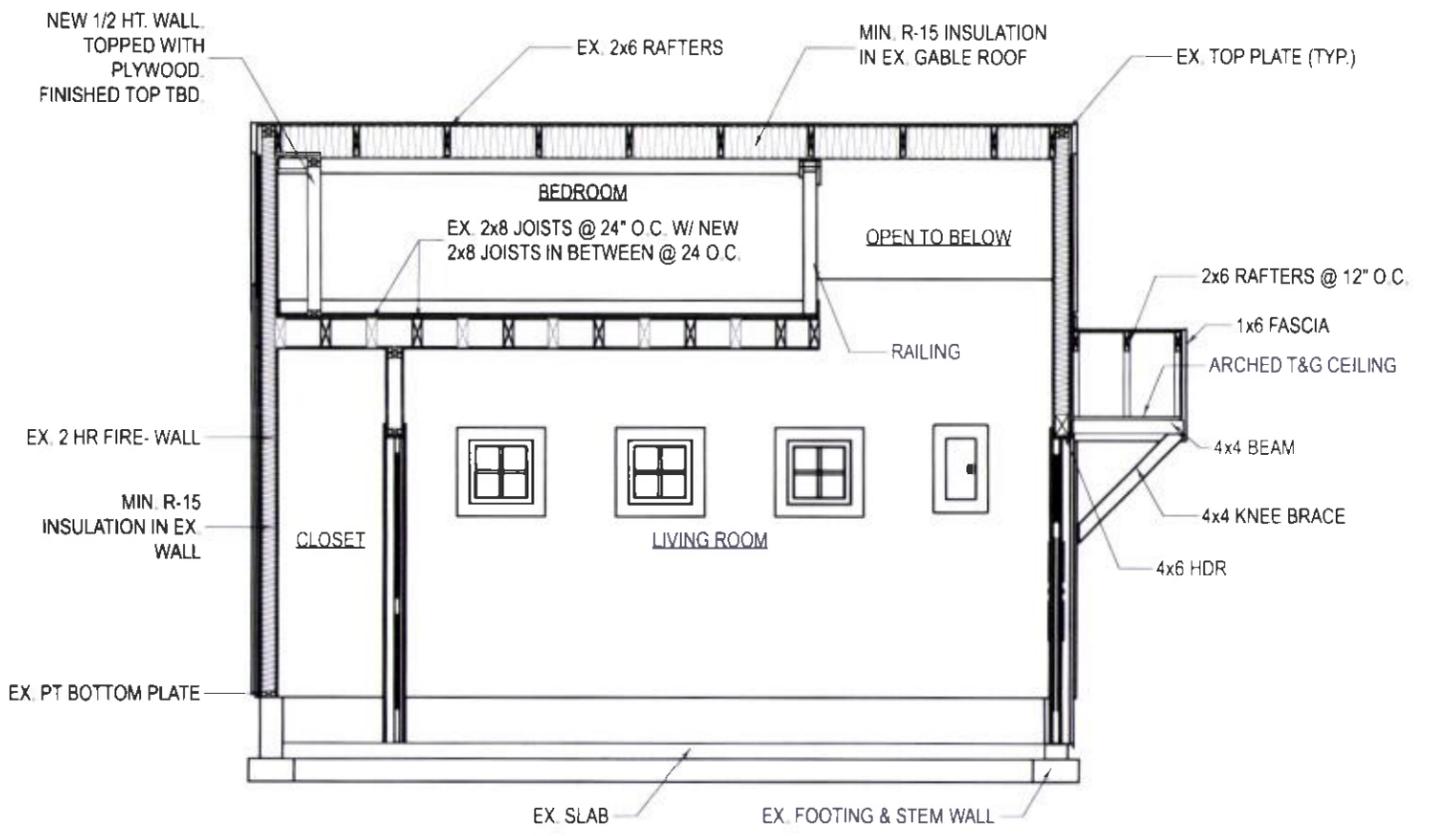
\*Approved\*  
 City of Portland  
 Bureau of Development Services

Planner jb  
 Date 9-12-18

\* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning rules or standards may apply.



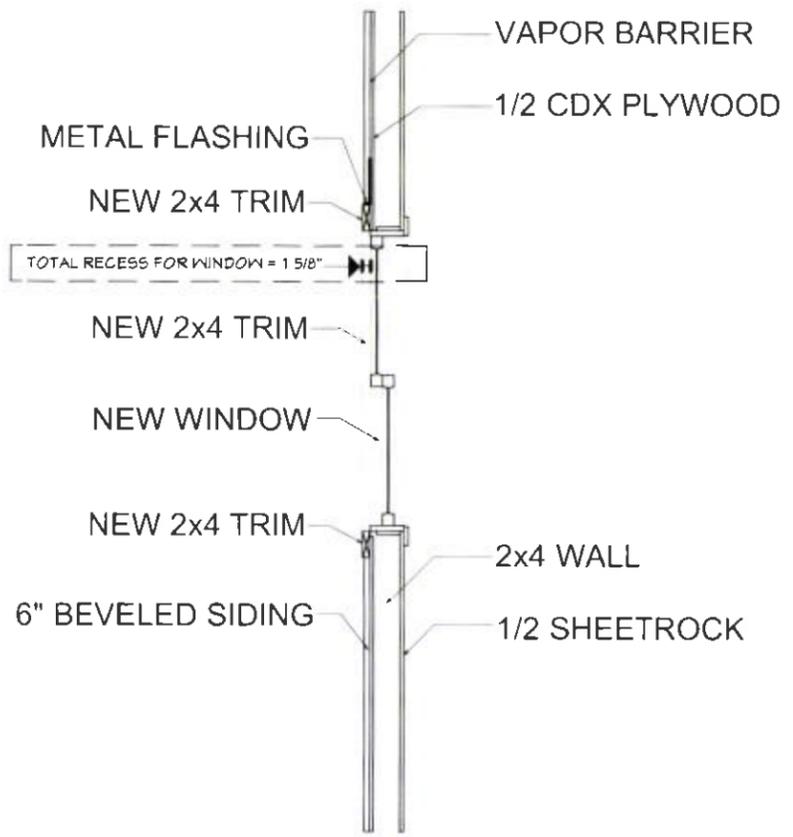
**A**  
**SECTION 1**  
 1/4" = 1'-0"



**B**  
**SECTION 2**  
 1/4" = 1'-0"

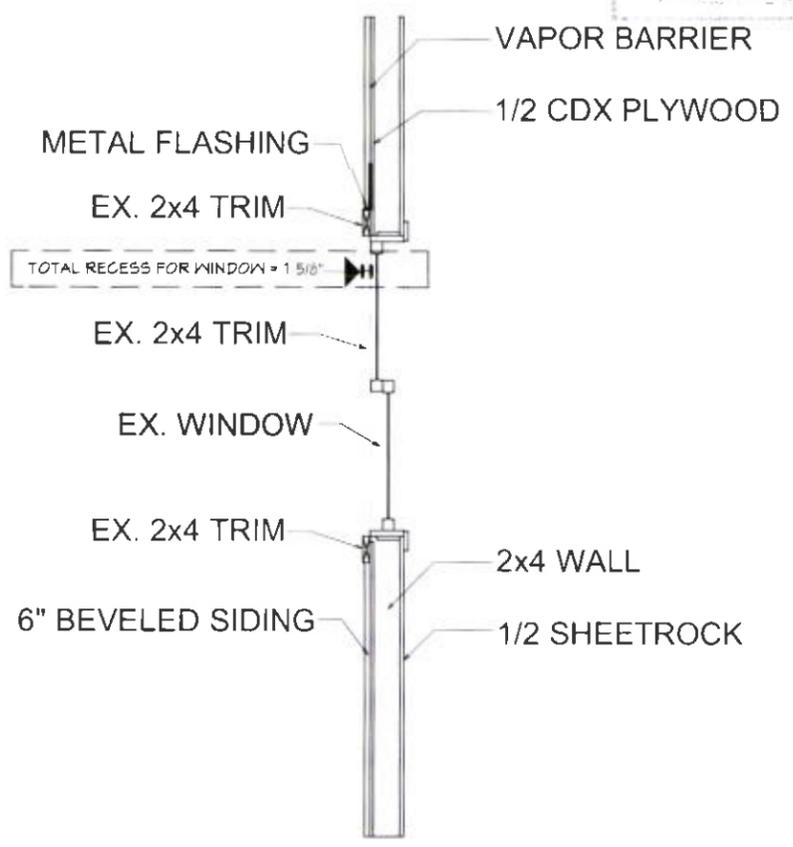
LU 18-145469 HR

\*Approved\*  
 City of Portland  
 Bureau of Development Services  
 Planner fel  
 Date 9-12-18  
\* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



NEW DOUBLE HUNG WINDOW  
(ADU)

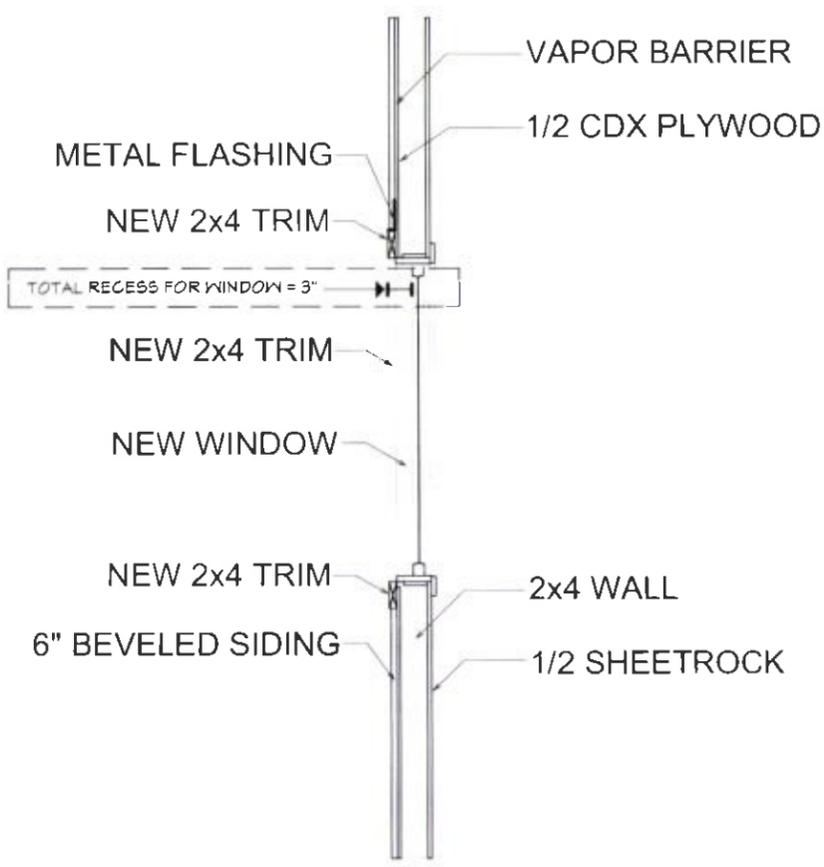
SCALE: 1/2" - 1'-0"



EXISTING DOUBLE HUNG WINDOW  
(RESIDENCE)

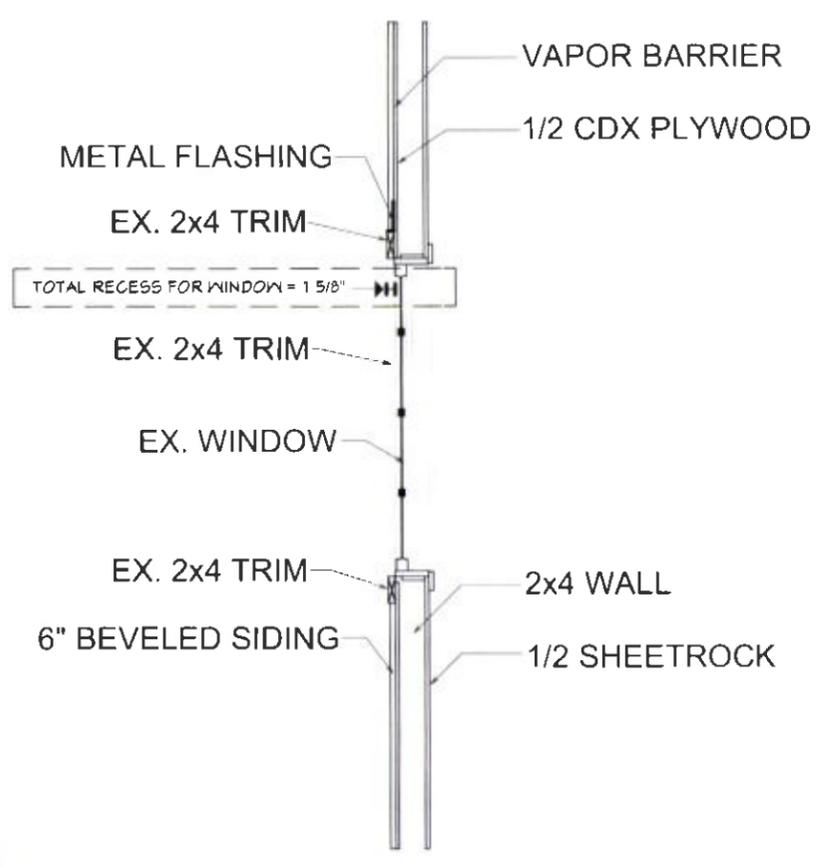
SCALE: 1/2" - 1'-0"

LD 18-145469 HR



NEW CASEMENT WINDOW (ADU)

SCALE: 1/2" - 1'-0"

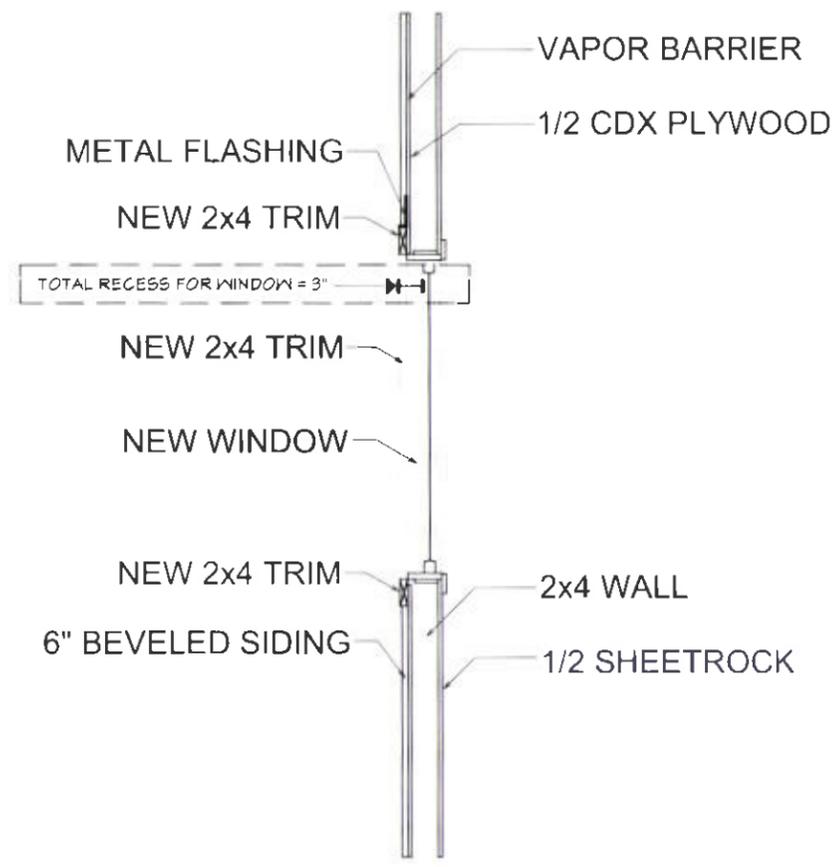


EXISTING CASEMENT WINDOW (RESIDENCE)

SCALE: 1/2" - 1'-0"

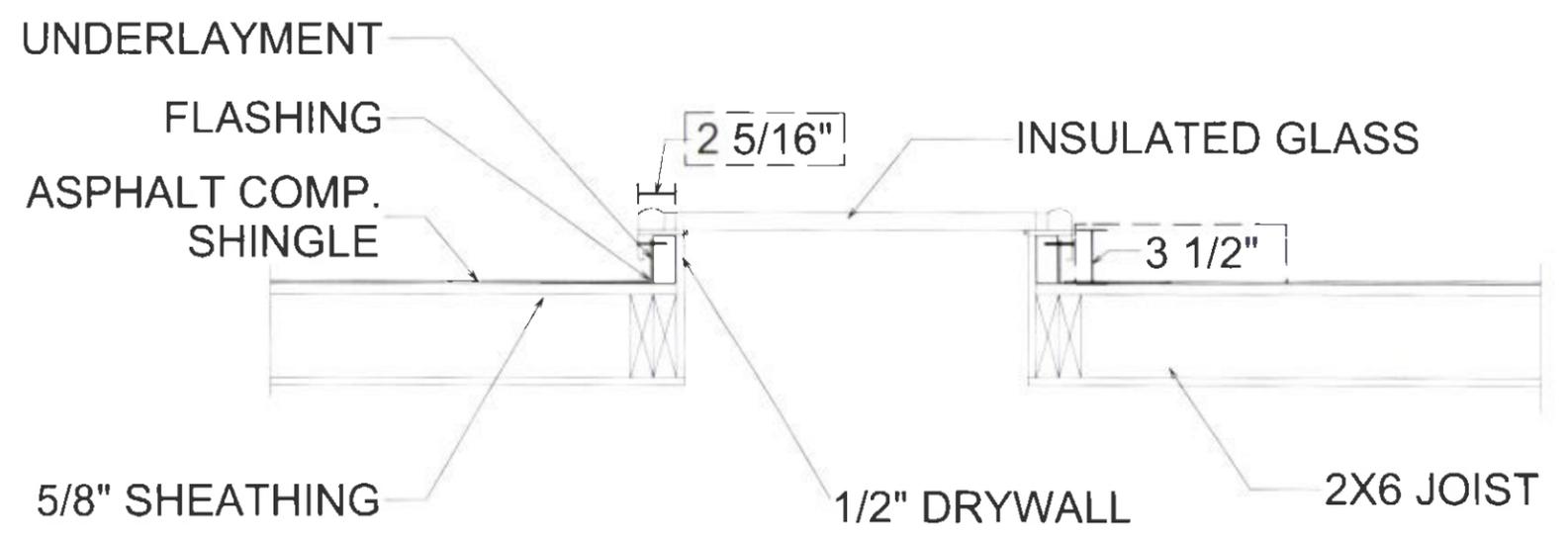
\*Approved\*  
 City of Portland  
 Bureau of Development Services  
 Planner pb  
 Date 9.12.18

LU 18-145469 HR



**NEW FIXED WINDOW**  
**(ADU)**

SCALE: 1/2" - 1'-0"



**NEW SKYLIGHT**

SCALE: 1" - 1'-0"

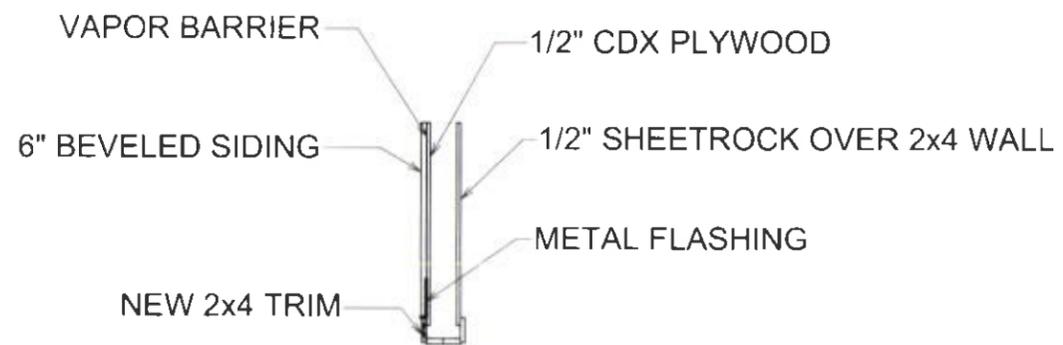
\*Approved\*  
City of Portland  
Bureau of Development Services

Planner fb

Date 9.12.18

\* This approval applies only to the reviews requested and is subject to all conditions of approval.  
Additional zoning requirements may apply.

LU 18-145469 HR



NEW 2x4 TRIM

NEW SOLID WOOD DOOR

TOTAL RECESS FOR DOOR = 4 1/4" →

NEW DOOR

(ADU)

SCALE: 1/2" - 1'-0"



EX. 2x4 TRIM

EX. SOLID WOOD DOOR

TOTAL RECESS FOR DOOR = 4 1/4" →

EXISTING DOOR

(RESIDENCE)

SCALE: 1/2" - 1'-0"

\*Approved\*  
City of Portland  
Bureau of Development Services  
Planner pb  
Date 9-12-18  
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LU 18-145469 HR

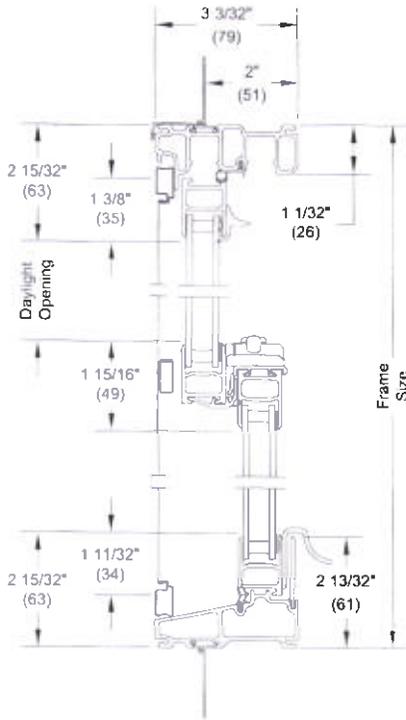
CH



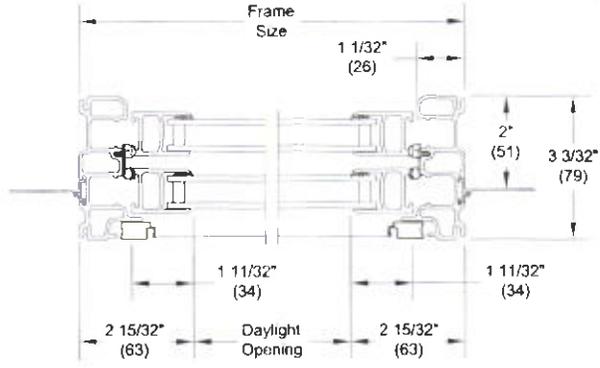
**All Ultrex Double Hung**

**Section Details: Operator**

Scale: 3" = 1' 0"



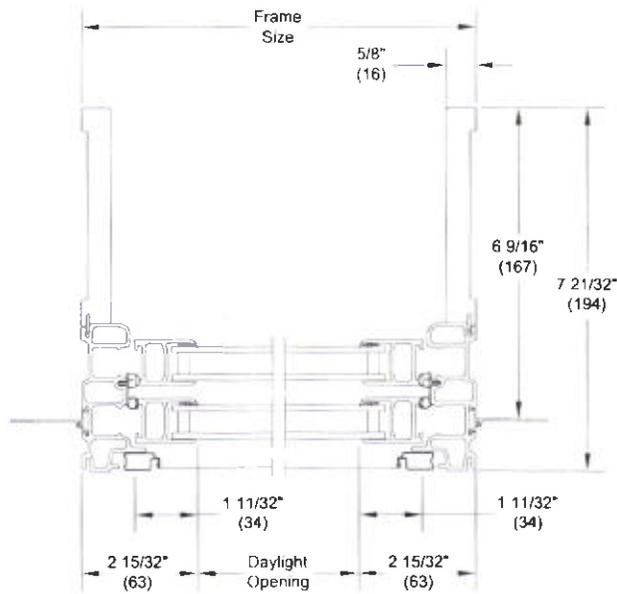
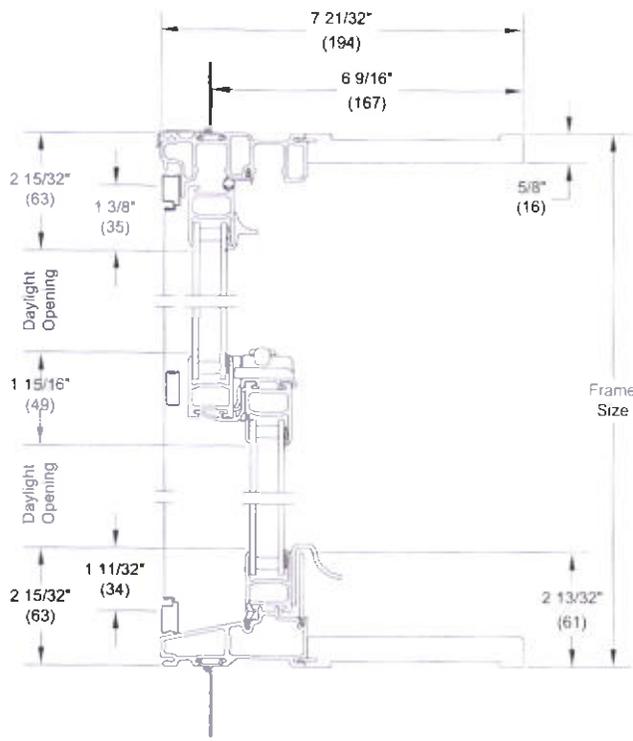
Operating - 2" (51)



Jambs

Head Jamb and Sill

Operating - 6 9/16" (167)



Jambs

Head Jamb and Sill

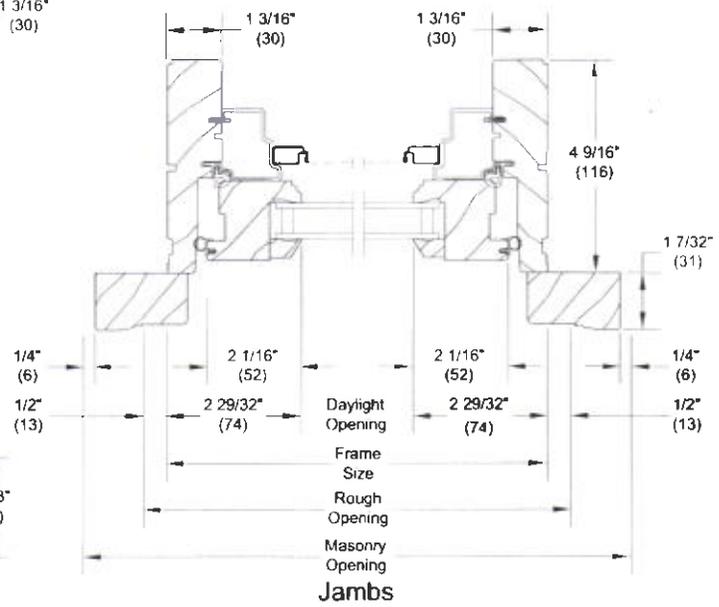
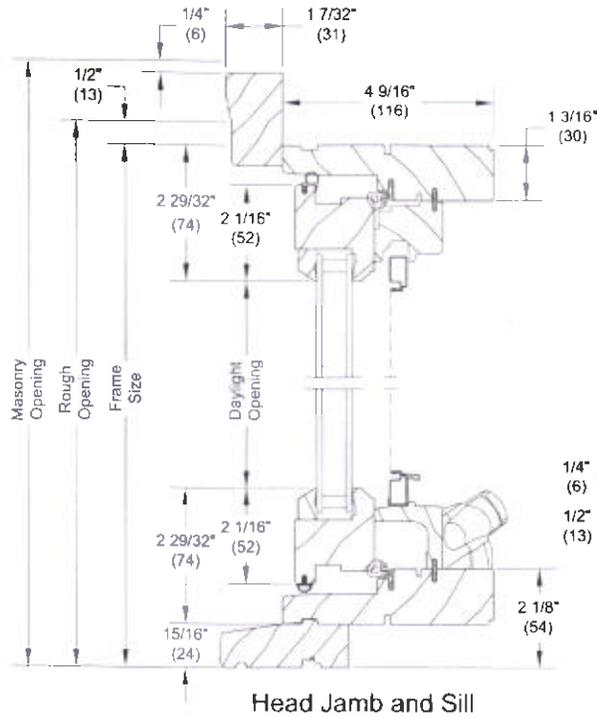
NOTE: Units also available with 4 9/16" jamb. Same jamb extension profile as 6 9/16" jamb extension shown.

Wood Ultimate Casement, Awning and Picture

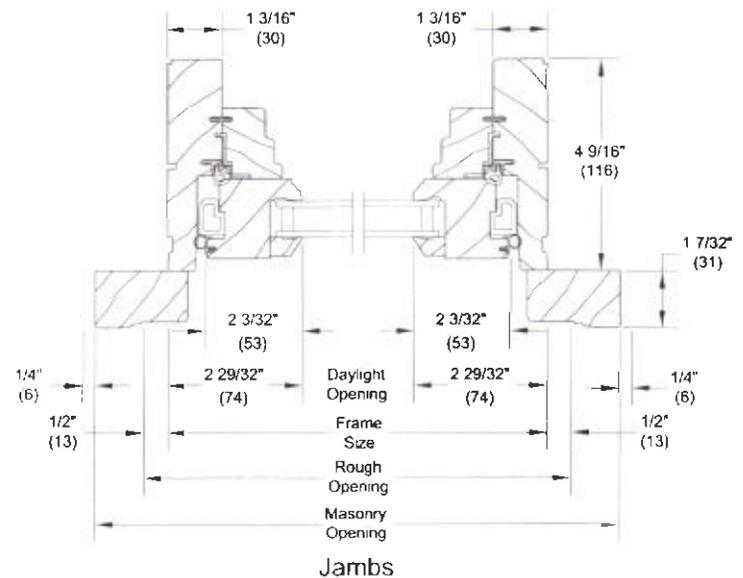
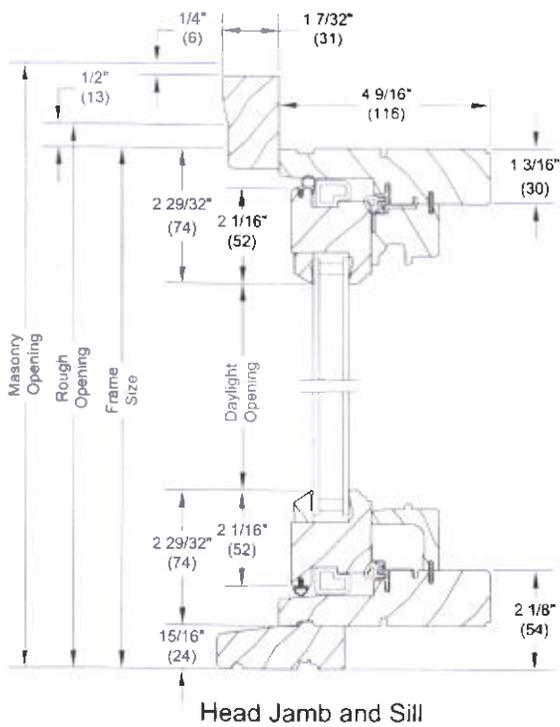
Section Details: Operating and Stationary / Picture - 3/4" (19) IG

Scale: 3" = 1' 0"

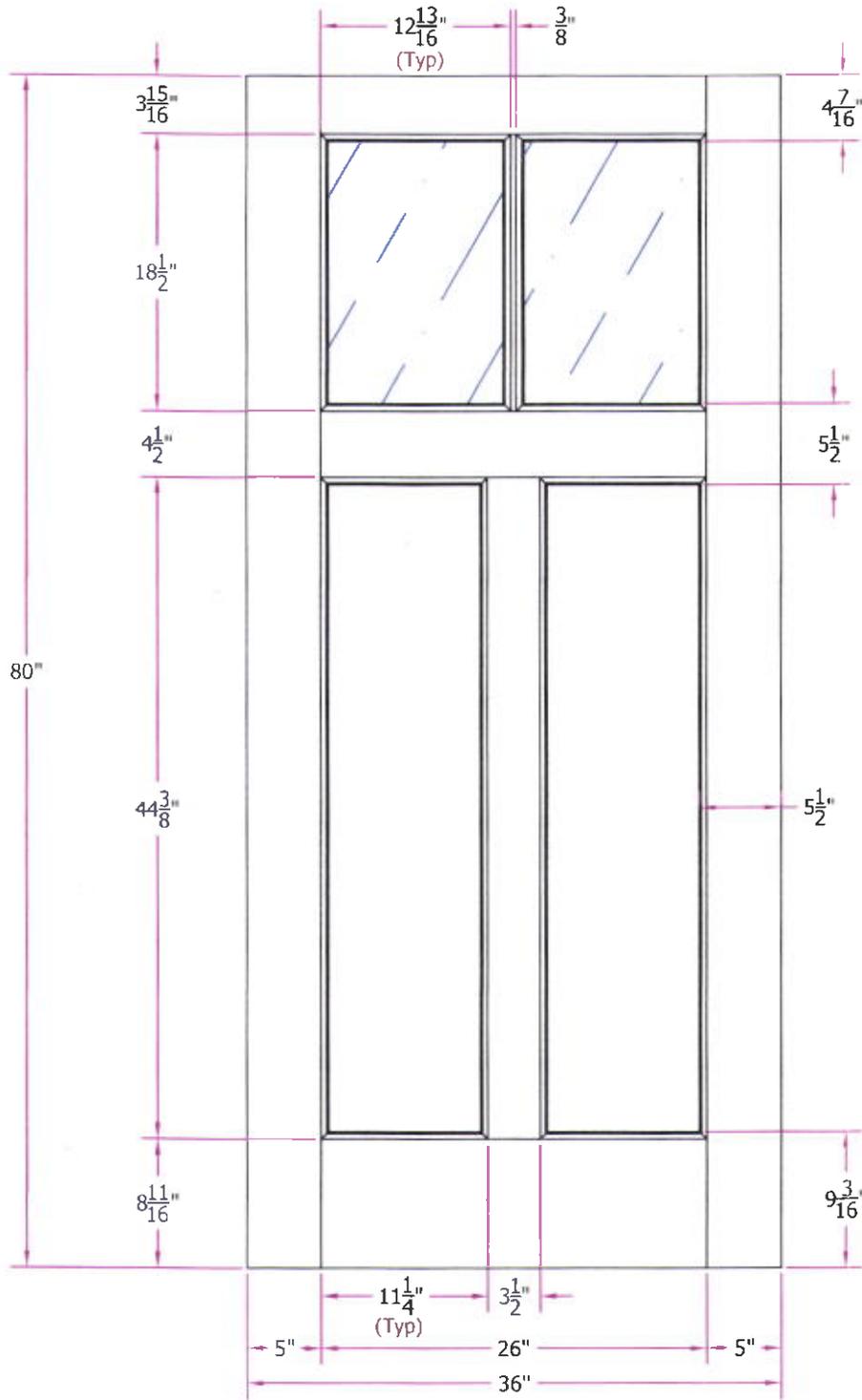
Operating



Stationary



# Cut sheet for ext wood door



THIS DRAWING AND THE INFORMATION CONTAINED HEREIN IS PROPRIETARY TO SIMPSON DOOR COMPANY AND SHALL NOT BE REPRODUCED, COPIED OR DISCLOSED IN WHOLE OR PART, OR USED FOR MANUFACTURE OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF SIMPSON DOOR COMPANY.

TITLE 6802 3/0 x 6/8  
Customer Layout

DRAWING NO. D-6802-300-608-0700

Revisions			
Rev. #	Description	Date	by Whom

LAYOUT	00	SCALE	NTS	PATTERN #	7013
DRAWN BY:	J. Decker	DATE	10/20/05		

**Simpson®**

C.12 4/4

A	B	C	D	E	F
ENDORSEMENT	INFO1	INFO2	NAME	ADDRESS/IO ADDRESS	CITY/STATE/ZIP/ADDRESSER
1	151E02DB 9400	YEGGY JULIE E TR	& GONZALES J PATRICK TR	1820 SE 16TH AVE	PORTLAND OR 97214
2	151E02DB 9300	SHAHREEN ROBERT J TR	SHAHREEN ROBERT J TR	1804 SE 16TH AVE	PORTLAND OR 97214-4724
3	151E02DB 6900	POGUE ROBERT G & POGUE RITA M	POGUE ROBERT G & POGUE RITA M	1912 SE ELLIOTT AVE	PORTLAND OR 97214
4	151E02DB 7500	MILLER GRAVDON M & MILLER JOAN A	MILLER GRAVDON M & MILLER JOAN A	1719 SE LADD AVE	PORTLAND OR 97214-4732
5	151E02DB 9100	LOMAS SCOTT M & LOMAS REA	LOMAS SCOTT M & LOMAS REA	1748 SE POPLAR AVE	PORTLAND OR 97214
6	151E02DB 6800	GIFFORD JILL C	GIFFORD JILL C	3403 SE 15TH AVE	PORTLAND OR 97202
7	151E02DB 7400	FOSTER JENNIFER R	FOSTER MARCHELLE M	1919 SE ELLIOTT AVE	PORTLAND OR 97214-4815
8	151E02DB 8200	CHASE HEIDI	CHASE HEIDI	3435 SW CALIFORNIA ST	PORTLAND OR 97219-1615
9	151E02DB 6700	CECCANTI MELBA L TR	CECCANTI MELBA L TR	3881 SW ELVEVEN MILE AVE	GRESHAM OR 97080-8678
10	151E02DB 7900	TEWE LITLACH	TEWE LITLACH	36 RAUSCH ST	SAN FRANCISCO CA 94103
11	151E02DB 7501	SHEN CHARLTON & SHEN PROEBE	SHEN CHARLTON & SHEN PROEBE	1927 SE ELLIOTT AVE	PORTLAND OR 97214-4815
12	151E02DB 6400	PAULIS WILLIAM F	PAULIS WILLIAM F	1852 SE ELLIOTT AVE	PORTLAND OR 97214-4814
13	151E02DB 8100	COHEN BRADLEY E & MOLNAR DANIELA N	COHEN BRADLEY E & MOLNAR DANIELA N	1845 SE ELLIOTT AVE	PORTLAND OR 97214-4813
14	151E02DB 7100	COFFEL WILLIAM J	COFFEL WILLIAM J	1752 SE POPLAR AVE	PORTLAND OR 97214-4829
15	151E02DB 8000	JACOBSEN LAWRENCE A TR	& SMITH CRAIG E TR	3216 SE 8TH AVE	PORTLAND OR 97202-2507
16	151E02DB 8000	DUNN SUSAN P TR & PETERSON-DOERING JOYCE M	KORINKA MARGARET M TR	1918 SE ELLIOTT AVE	PORTLAND OR 97214
17	151E02DB 9000	BATLEY ELIZABETH M	STEPHENS JOE K	1853 SE ELLIOTT AVE	PORTLAND OR 97214-4813
18	151E02DB 7200	LANDERS ALEX & LANDERS STACY	LANDERS ALEX & LANDERS STACY	1736 SE POPLAR AVE	PORTLAND OR 97214-4829
19	151E02DB 7200	BASCO MATTHEW & BASCO HILARY R	BASCO MATTHEW & BASCO HILARY R	1909 SE ELLIOTT AVE	PORTLAND OR 97214
20	151E02DB 7200	CURRENT RESIDENT	CURRENT RESIDENT	1938 SE ELLIOTT AVE	PORTLAND OR 97214
21	151E02DB 7200	CURRENT RESIDENT	CURRENT RESIDENT	1966 SE LADD AVE	PORTLAND OR 97214
22	151E02DB 7200	CURRENT RESIDENT	CURRENT RESIDENT	1962 SE LADD AVE	PORTLAND OR 97214
23	151E02DB 7200	CURRENT RESIDENT	CURRENT RESIDENT	1943 SE ELLIOTT AVE	PORTLAND OR 97214
24	151E02DB 7200	CURRENT RESIDENT	CURRENT RESIDENT	1935 SE ELLIOTT AVE	PORTLAND OR 97214
25	151E02DB 7200	CURRENT RESIDENT	CURRENT RESIDENT	1928 SE ELLIOTT AVE #2	PORTLAND OR 97214
26	151E02DB 7200	CURRENT RESIDENT	CURRENT RESIDENT	1928 SE ELLIOTT AVE #1	PORTLAND OR 97214
27	151E02DB 7200	CURRENT RESIDENT	CURRENT RESIDENT	1914 SE 16TH AVE	PORTLAND OR 97214
28	151E02DB 7200	CURRENT RESIDENT	CURRENT RESIDENT	1906 SE ELLIOTT AVE	PORTLAND OR 97214
29	151E02DB 7200	CURRENT RESIDENT	CURRENT RESIDENT	1906 SE 16TH AVE	PORTLAND OR 97214
30	151E02DB 7200	CURRENT RESIDENT	CURRENT RESIDENT	1864 SE ELLIOTT AVE	PORTLAND OR 97214
31	151E02DB 7200	CURRENT RESIDENT	CURRENT RESIDENT	1864 SE ELLIOTT AVE	PORTLAND OR 97214
32	151E02DB 7200	CURRENT RESIDENT	CURRENT RESIDENT	1863 SE ELLIOTT AVE	PORTLAND OR 97214
33	151E02DB 7200	CURRENT RESIDENT	CURRENT RESIDENT	1844 SE ELLIOTT AVE	PORTLAND OR 97214
34	151E02DB 7200	CURRENT RESIDENT	CURRENT RESIDENT	1839 SE ELLIOTT AVE	PORTLAND OR 97214
35	151E02DB 7200	CURRENT RESIDENT	CURRENT RESIDENT	1837 SE ELLIOTT AVE	PORTLAND OR 97214
36	151E02DB 7200	CURRENT RESIDENT	CURRENT RESIDENT	1631 NE BROADWAY #721	PORTLAND OR 97232
37	151E02DB 7800	MCGANDLISH JAMES E & YUNHUA Y	MCGANDLISH JAMES E & YUNHUA Y	1903 SE ELLIOTT AVE	PORTLAND OR 97214-4815
38	151E02DB 7800	DIYISION/CLINTON BUSINESS ASSOC	DIYISION/CLINTON BUSINESS ASSOC	C/O SE UPLIFT 3534 SE MAIN ST	PORTLAND OR 97214
39	151E02DB 7800	HAWTHORNE BLVD BUSINESS ASSOC	HAWTHORNE BLVD BUSINESS ASSOC	PO BOX 15271	PORTLAND OR 97293
40	151E02DB 7800	NEIGHBORHOOD DISTRICT	NEIGHBORHOOD DISTRICT	C/O SE UPLIFT 3534 SE MAIN ST	PORTLAND OR 97214
41	151E02DB 7800	TRANSIT DEVELOPMENT	TRANSIT DEVELOPMENT	1800 SW FIRST AVE SUITE 300	PORTLAND OR 97201
42	151E02DB 7800	PORT OF PORTLAND PLANNING	PORT OF PORTLAND PLANNING	PO BOX 3529	PORTLAND OR 97208
43	151E02DB 7800	PLAN AMENDMENT SPECIALIST	PLAN AMENDMENT SPECIALIST	635 CAPITAL ST NE #150	PORTLAND OR 97301
44	151E02DB 7800	STATE FISH & WILDLIFE	STATE FISH & WILDLIFE	1830 NW SAUVIE ISL RD	PORTLAND OR 97231
45	151E02DB 7800	SOUTHEAST UPLIFT	SOUTHEAST UPLIFT	3534 SE MAIN ST	PORTLAND OR 97214
46	151E02DB 7800	ATTN LAND USE CONTRACT	ATTN LAND USE CONTRACT	PDC	PORTLAND OR 97214
47	151E02DB 7800	DAMN KRANTZ	DAMN KRANTZ	B129	PORTLAND OR 97214
48	151E02DB 7800	B299/R6000	B299/R6000		PORTLAND OR 97214
49	151E02DB 7800				PORTLAND OR 97214
50	151E02DB 7800				PORTLAND OR 97214

18-145469 PROP 08-14-18 CASE FILE BHUTANI

D-1



CITY OF PORTLAND  
 Bureau of Development Services  
 1900 SW Fourth Avenue, Suite 5000  
 Portland, OR 97201 P524  
**Land Use Notice Enclosed**  
**Case # LU 18-145469 HR**

16

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 First Class Mail  
 CombiasPrice



U.S. POSTAGE >>> PITNEY BOWES

ZIP 97204 \$ 000.37<sup>8</sup>  
 02 1W  
 0001392854 AUG 14 2018

**RETURN SERVICE REQUESTED**

18-145469 PROP 08-14-18  
 CASE FILE BHUTANI  
 1900 SW 4TH AVE #5000  
 PORTLAND OR 97201

60 GRANN51 97201



City of Portland, Oregon | Bureau of Development Services | 1900 SW Fourth Avenue, Portland, Oregon 97201 | www.portlandoregon.gov/bds



The City of Portland is committed to providing meaningful access. For accommodations, modifications, translation, interpretation or other services, please call 503-823-7300, the TTY at 503-823-6868 or the Oregon Relay Service at 711.

503-823-7300 | BDS@PortlandOregon.gov | www.PortlandOregon.gov/bds/translated

Traducción e interpretación | Chuyên Ngữ hoặc Phiên Dịch | 翻译或传译  
 Turjumida ama Fasiraadda | 翻訳または通訳 | Письменный или устный перевод  
 Traducere sau Interpretare | 번역 및 통역 | الشفوية أو الشفهية الترجمة  
 மருவியல் அல்லது மருவியல் புகாரம் | Письмовий або усний переклад

D-2



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
 FROM CONCEPT TO CONSTRUCTION

Chloe Eudaly, Commissioner  
 Rebecca Esau, Director  
 Phone: (503) 823-7300  
 Fax: (503) 823-5630  
 TTY: (503) 823-6868  
[www.portlandoregon.gov/bds](http://www.portlandoregon.gov/bds)

**Date:** August 14, 2018  
**To:** Interested Person  
**From:** Puja Bhutani, Land Use Services  
 503-823-7226/Puja.Bhutani@portlandoregon.gov

**NOTICE OF A TYPE II PROPOSAL IN YOUR NEIGHBORHOOD**

Development has been proposed in your neighborhood. The proposed development requires a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map is attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Because we must publish our decision within 28 days, **we need to receive your written comments by 5 p.m. on 9/4/2018**. Please mail or deliver your comments to the address at the bottom of the page, and include the Case File Number, LU 18-145469 HR, in your letter. It also is helpful to address your letter to me, Puja Bhutani. You can also e-mail your comments to me at my e-mail address identified above.

**CASE FILE NUMBER: LU 18-145469 HR – ADU CONVERSION**

**Applicant:** Omar Martinez Barrera, Casa Bonita LLC  
 1631 NE Broadway #721, Portland, OR 97232

**Owner:** James E Mccandlish & Yunhua Y Mccandlish  
 1903 SE Elliott Ave, Portland, OR 97214-4815

**Site Address:** 1903 SE ELLIOTT AVE

**Legal Description:** BLOCK 17 SWLY 33 1/3' OF NELY 36 2/3' OF LOT 17, LADDS ADD  
**Tax Account No.:** R463303830  
**State ID No.:** 1S1E02DB 07800  
**Quarter Section:** 3232

**Neighborhood:** Hosford-Abernethy, contact chair@handpdx.org.  
**Business District:** Hawthorne Blvd. Bus. Assoc., contact Greg Moon at  
 gmoon@westernseminary.edu

**District Coalition:** Southeast Uplift, contact Leah Fisher at 503-232-0010.

**Plan District:** None  
**Other Designations:** Non-contributing resource in the Ladd's Addition Historic District. The garage is listed as a contributing resource.

**Zoning:** R5 – Residential 5,000, Single-Dwelling Residential Zone

**Case Type:** HR – Historic Resource Review  
**Procedure:** Type II, an administrative decision with appeal to the Landmarks Commission.

**Proposal:**

The applicants are seeking historic resource review approval to convert an existing garage into an accessory dwelling unit in the Ladd's Addition Historic District. The proposed exterior alterations include:

1. North East Elevation: Remove the existing garage door. Add two new wood windows, and an entrance which includes a pitched canopy and a wood door with lites.
2. South East Elevation: Remove the existing doorway and finish the opening to match the existing exterior lap siding. The roof will include a new 4/12 pitch shed dormer and a new 24"x24" skylight.
3. North West Elevation: Three (3) new 18" x18" fixed windows and two (2) new 24"x24" skylights are proposed.

Historic Resource Review is required because the proposal is for non-exempt exterior alterations to a structure within the Ladd's Addition Historic District.

**Relevant Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant criteria are:

- Ladd's Addition Historic District Guidelines

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on April 4, 2018 and determined to be complete on 8/8/2018.

**DECISION MAKING PROCESS**

The Bureau of Development Services will make a decision on this proposal. We will consider your comments, and

- Approve the proposal.
- Approve the proposal with conditions.
- Deny the proposal.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at [www.portlandonline.com](http://www.portlandonline.com).

**APPEAL PROCESS**

If you disagree with the Bureau of Development Services administrative decision, you can appeal the decision to the Landmarks Commission. This review body will hold a public hearing for the appeal. When the decision is mailed, the criteria used to make the decision and information on how to file an appeal will be included. If you do not send any comments, you can still appeal the decision. There is a 14-day deadline to file an appeal beginning on the day the decision is mailed. The reason for the appeal must be specifically defined in order for the

review body to respond to the appeal. If an appeal is filed, you will be notified of the time and location of the appeal hearing.

There is a fee charged for appeals. Recognized neighborhood associations may qualify for an appeal fee waiver.

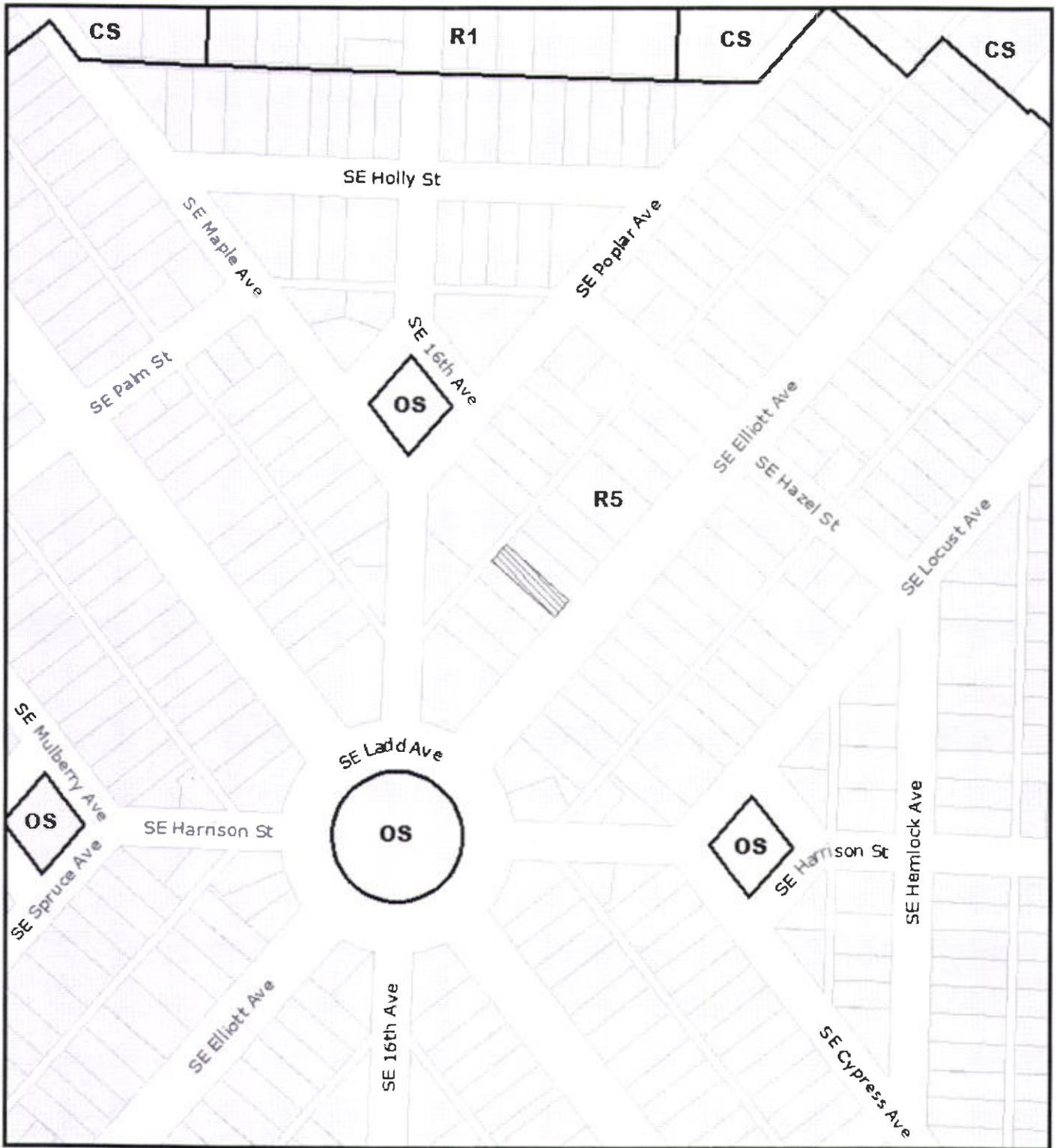
**APPEAL OF THE FINAL CITY DECISION**

After an appeal hearing, the review body decision may be appealed to the Oregon Land Use Board of Appeals (LUBA) at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283. The phone number for LUBA is 1-503-373-1265. Issues that may provide the basis for an appeal to LUBA must be raised prior to the comment deadline or prior to the conclusion of the hearing if a local appeal is requested. If you do not raise an issue with enough specificity to give the Bureau of Development Services an opportunity to respond to it, that may also preclude an appeal to LUBA on that issue.

**The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).**

**Enclosures:**

Zoning Map  
Site Plan  
Elevations



# ZONING

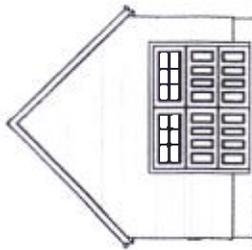


THIS SITE LIES WITHIN THE:  
LADD'S ADDITION HISTORIC DISTRICT

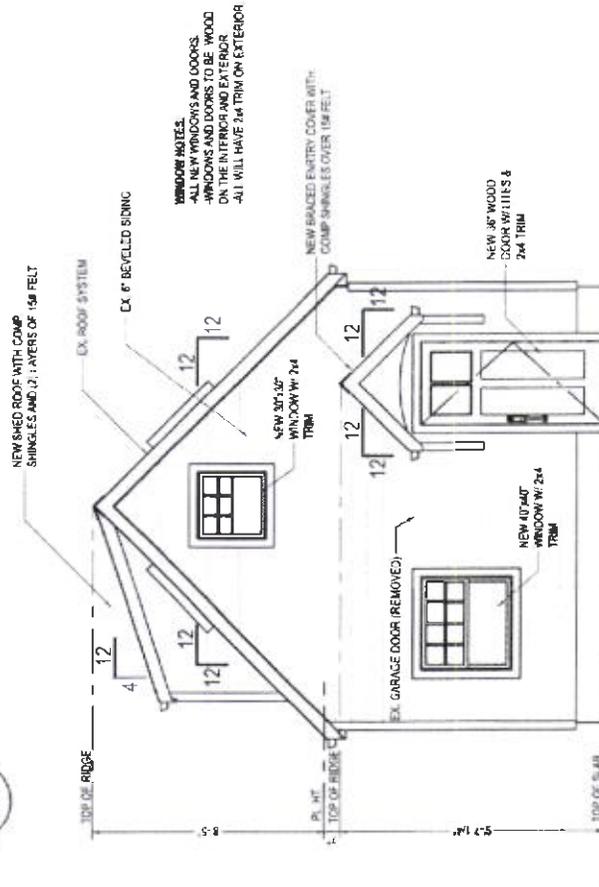
File No.	LU 18-145469 HR
1/4 Section	3232
Scale	1 inch = 200 feet
State ID	1S1E02DB 7800
Exhibit	B Apr 06, 2018



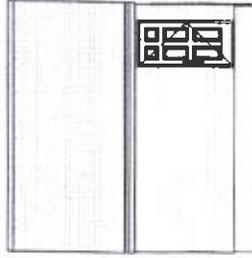
McCANDLISH ADU



**A** EX. NORTH-EAST ELEVATION  
2 1/8" = 1'-0"



**C** PROP. NORTH-EAST ELEVATION  
2 1/4" = 1'-0"

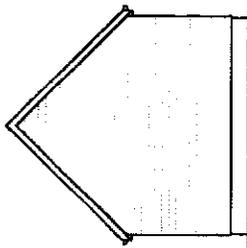


**B** EX. SOUTH-EAST ELEVATION  
2 1/8" = 1'-0"

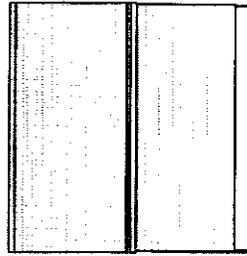


**D** PROP. SOUTH-EAST ELEVATION  
2 1/4" = 1'-0"

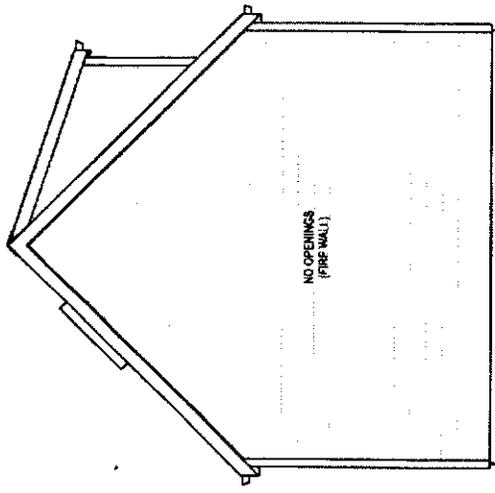
**McCANDLISH ADU**



**A** EX. SOUTH-WEST ELEVATION  
1/8" = 1'-0"

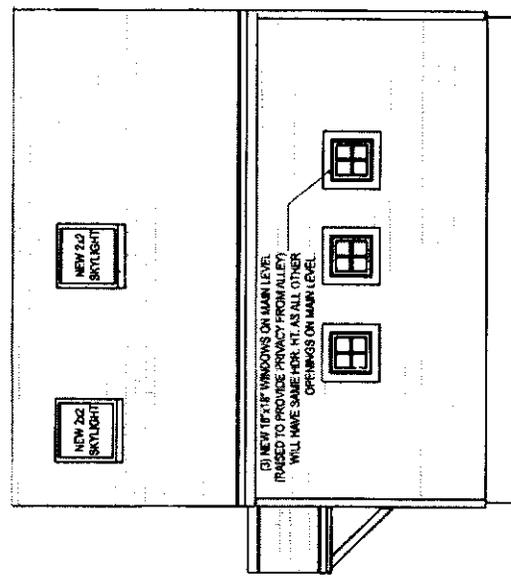


**B** EX. NORTH-WEST ELEVATION  
1/8" = 1'-0"



**C** PROP. SOUTH-WEST ELEVATION  
1/4" = 1'-0"

**WINDOW/DOOR NOTES:**  
- ALL NEW WINDOWS & NEW DOOR  
- WINDOWS TO BE WOOD ON THE  
EXTERIOR,  
- NO WOOD ON THE INTERIOR  
- WINDOWS & DOOR TO HAVE 2x4 TRIM



**D** PROP. NORTH-WEST ELEVATION  
1/4" = 1'-0"

General Folder 1903 SE ELLIOTT AVE [...]

Folder | Property(1) | People(3) | Info(86) | Fee(2) | **Process(15)** | Document(4) | File | Comment(1) | Attachment(7) | Correspondence(11)

2018 145469 000 00 LU Land Use Review **Recorded** [Collapse All Sections](#) [Options](#)

	Re-opening	Completed	10/03/2018	10/04/2018	10/05/2018
<b>- Life Safety (1)</b>					
<input type="checkbox"/>	Life Safety Review - LU	Response Sen...	08/14/2018	09/04/2018	09/04/2018
<b>- Fire Bureau (1)</b>					
<input type="checkbox"/>	Fire Review - LU	No concerns	08/14/2018	09/04/2018	08/31/2018



**City of  
Portland, Oregon**  
**Bureau of Development Services**  
FROM CONCEPT TO CONSTRUCTION

Chloe Eudaly, Commissioner  
Rebecca Esau, Director  
Phone: (503) 823-7300  
Fax: (503) 823-6983  
TTY: (503) 823-6868  
[www.portlandoregon.gov/bds](http://www.portlandoregon.gov/bds)

## **LIFE SAFETY RESIDENTIAL PLAN REVIEW RESPONSE**

To: Puja Bhutani  
From: Chanel Horn, Life Safety Plans Examiner  
Date: September 4, 2018  
RE: 1903 SE ELLIOTT AVE, 18-145469-LU

The following comments are based on the plans and documents provided to the Life Safety Plan Reviewer. They are intended to provide the applicant with preliminary Building Code information that could affect this Land Use review and/or future Building Permit reviews. The comments may not identify all conflicts between this proposal and the Building Codes. A complete Life Safety plan review will be provided at the time of Building Permit submittal. The comments are based on the 2017 Oregon Residential Specialty Code (ORSC), henceforward referred to as the Building Code.

### **RESPONSE SUMMARY**

Life Safety Plan Review does not object to the approval of this proposal. The applicant should be aware that several building code requirements may impact the final design of this building. For information regarding future compliance, see the **GENERAL LIFE SAFETY COMMENTS** below.

### **GENERAL LIFE SAFETY COMMENTS**

#### **Item # Comment**

- 1** A separate Building Permit is required for the work proposed and the proposal must be designed to meet all applicable building codes and ordinances. More information regarding building code requirements can be obtained by visiting the Bureau of Development Services Center - 1900 SW 4th Ave, 1st floor. The Development Services Center is open Monday through Friday from 8:00 a.m. to 3:00 p.m. (close at noon on Thursday). No appointment is necessary. Building Code information is also available online at: <http://www.portlandonline.com/bds/>, or by calling (503) 823-1456.
- 2** Where an Accessory Dwelling Unit is created by converting non-habitable space within an existing detached garage, the conversion shall comply with the 2017 Oregon Residential Specialty Code (ORSC), except as modified by the Accessory Dwelling Unit Program Guide. See the following link for more information: <https://www.portlandoregon.gov/bds/article/68689>
- 3** It is recommended the applicant visit the Development Services Center for more information at 1900 SW 4<sup>th</sup> Ave, 1<sup>st</sup> floor.

**Bhutani, Puja**

---

**From:** Henry Kunowski <onri.henri@gmail.com>  
**Sent:** Tuesday, August 28, 2018 11:40 AM  
**To:** Bhutani, Puja  
**Cc:** Christopher Eykamp; Nettekoven, Linda  
**Subject:** Regarding LU 18-145469 HR - ADU Conversion

Dear Puja Bhutani, Land Use Services. In regards to you August 14, 2018 Notice of a Type II Proposal as noted above.

**Plan District:** None **Other Designations:** Non-contributing resource in the Ladd's Addition Historic District. **The garage is listed as a contributing resource.** As stated in the Notice: Historic Resource Review is required because the proposal is for non-exempt exterior alterations to a structure within the Ladd's Addition Historic District.

According to the City of Portland database on the status of properties in the Ladd's Addition, the subject garage is not a Contributing Resource. It appears that the garage of the 1988 survey was demolished some time ago and a new, non-historic garage built in it's place. Therefore, The Historic Review Sub-Committee of the HAND land Use Committee finds that the proposed garage ADU conversion project will have no effect on a historic property and, the design of the new ADU is compatible with the Ladd's Guidelines.

Please feel free to contact if you have any questions

*Henry*

Henry C. Kunowski  
2036 SE Spruce Avenue | Portland | Oregon | 97214  
Direct: 503.680.8596 | onri.henri@gmail.com



# City of Portland, Oregon - Bureau of Development Services

1900 SW Fourth Avenue · Portland, Oregon 97201 | 503-823-7300 | www.portlandoregon.gov/bds



## Land Use Review Application

File Number: LU 18-145469 HR

### FOR INTAKE, STAFF USE ONLY

Date Rec 4/1/18 by Mary

Qtr Sec Map(s) 3232 Zoning R5

Plan District NONE

Type I  Type Ix  Type II  Type Iix  Type III  Type IV

Historic Land/or Design District Ladd's Addition

LU Reviews HR

Neighborhood Hosford-Abernethy

[Y]  Unincorporated MC

District Coalition SEU

[Y] [N] Flood Hazard Area (LD & PD only)

Business Assoc Hawthorne Blvd

[Y] [N] Potential Landslide Hazard Area (LD & PD only)

Related File #

APPLICANT: Complete all sections below that apply to the proposal. Please print legibly.

### Development Site

Address or Location 1903 SE Elliot Ave, Portland, OR 97214

Cross Street SE ELLIOT AVE Sq. ft./Acreage .10 acres

### Site tax account number(s)

R 463303830 = R 200415 R

R R R

### Adjacent property (in same ownership) tax account number(s)

R R R

Describe project (attach additional page if necessary)

Convert existing garage to ADU  
Non-contributing structure

Describe proposed stormwater disposal methods

Identify requested land use reviews

Type II - Tier C

• Design & Historic Reviews - For new development, provide project valuation. \$ \_\_\_\_\_

For renovation, provide exterior alteration value. \$ 9,800

AND provide total project valuation. \$ 65,000

• Land Divisions - Identify number of lots (include lots for existing development).

New street (public or private)?  yes  no

**Applicant Information**

- Identify the primary contact person, applicant, property owner and contract purchaser. Include any person that has an interest in your property or anyone you want to be notified. Information provided, including telephone numbers and e-mail addresses, may be included in public notices.
- For all reviews, the applicant must sign the Responsibility Statement.
- For land divisions, all property owners must sign the application.

What contact below do you want recording documents sent to: \_\_\_\_\_

PRIMARY CONTACT, check all that apply  Applicant  Owner  Other \_\_\_\_\_

Name Omar Martinez Signature 

Company/Organization Casa Bonitalle

Mailing Address 1631 NE Broadway St #721

City Portland State OR Zip Code 97214

Day Phone 503-956-4866 FAX \_\_\_\_\_ email casabonitalle@gmail.com

Check all that apply  Applicant  Owner  Other \_\_\_\_\_

Name \_\_\_\_\_ Signature \_\_\_\_\_

Company/Organization \_\_\_\_\_

Mailing Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_

Day Phone \_\_\_\_\_ FAX \_\_\_\_\_ email \_\_\_\_\_

Check all that apply  Applicant  Owner  Other \_\_\_\_\_

Name \_\_\_\_\_ Signature \_\_\_\_\_

Company/Organization \_\_\_\_\_

Mailing Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_

Day Phone \_\_\_\_\_ FAX \_\_\_\_\_ email \_\_\_\_\_

Check all that apply  Applicant  Owner  Other \_\_\_\_\_

Name \_\_\_\_\_ Signature \_\_\_\_\_

Company/Organization \_\_\_\_\_

Mailing Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_

Day Phone \_\_\_\_\_ FAX \_\_\_\_\_ email \_\_\_\_\_

**Responsibility Statement** As the applicant submitting this application for a land use review, I am responsible for the accuracy of the information submitted. The information being submitted includes a description of the site conditions. I am also responsible for gaining the permission of the owner(s) of the property listed above in order to apply for this review and for reviewing the responsibility statement with them. If the proposal is approved, the decision and any conditions of the approval must be recorded in the County Deed Records for the property. The City of Portland is not liable if any of these actions are taken without the consent of the owner(s) of the property. In order to process this review, City staff may visit the site, photograph the property, or otherwise document the site as part of the review. I understand that the completeness of this application is determined by the Director. By my signature, I indicate my understanding and agreement to the Responsibility Statement.

Print name of person submitting this application Omar Martinez Barrera

Signature 

Phone number 503-956-4866 Date 3/26/2018



CITY OF  
**PORTLAND, OREGON**  
 BUREAU OF DEVELOPMENT SERVICES  
 1900 SW 4th Ave., Suite 5000  
 Portland, OR 97201



RECEIPT #: 2101089

4/4/2018

Site Address: 1903 SE ELLIOTT AVE

IVR Number: **4186312**

Permit Number: 18-145469-000-00-LU

Land Use Review

**APPLICANT** CASA BONITA LLC \*OMAR MARTINEZ BARRERA\* Phone: (503) 956-4866

Fee Code	Fee Description	Fee Amount	Paid to Date	Balance	This Transaction	New Balance
2504	Life Safety Review - Land Use	\$66.00				
2520	Design / Historic Review Type C	\$925.00				
Bill #4292613	Sub Total	\$991.00	\$0.00	\$991.00	\$991.00	\$0.00
	TOTAL	\$991.00	\$0.00	\$991.00	\$991.00	\$0.00

Shaded items indicate fees not yet calculated.

\* Fees marked with an asterisk are due at application.

**PAYOR** CASA BONITA LLC \*OMAR MARTINEZ BARRERA\* Phone: (503) 956-4866  
 Payment #: 2101089 Method of Payment: 109704 VS CASA BONITA Receipt By: Aan Gondoputro

**CITY CONTACT** Phone:  
 E-Mail: Fax: (503) 823-4172

**Notice:** This document is not a permit. This document may not represent all fees owing for this permit. All fees are subject to change based on new or corrected information. For more information, consult your City of Portland Contact listed above.



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
FROM CONCEPT TO CONSTRUCTION

Chloe Eudaly, Commissioner  
Rebecca Esau, Director  
Phone: (503) 823-7300  
Fax: (503) 823-5630  
TTY: (503) 823-6868  
[www.portlandoregon.gov/bds](http://www.portlandoregon.gov/bds)

April 17, 2018

Omar Martinez Barrera  
Casa Bonita LLC  
1631 NE Broadway #721  
Portland, OR 97232

Re: Land Use Review LU 18-145469 HR – ADU Conversion

Dear Omar Martinez Barrera:

The Bureau of Development Services received your application for a Historic Resource Review located at 1903 SE Elliott Avenue on April 4, 2018. Your case has been assigned to me, Puja Bhutani. In order to continue to review your application, additional information is needed. Once you submit this information, your application will be considered complete, and I will proceed with a full review of your proposal. Up to this point, your application has been reviewed only to determine if all required information has been submitted. The application has not been fully reviewed to determine if it meets the relevant approval criteria, however some issues you may want to consider are identified in Section II below.

**I. Information Necessary to Complete Application**

The following information must be submitted before your proposal can be evaluated:

1. Existing and proposed floor plans for the Accessory Dwelling Unit (ADU), to scale and dimensioned.
2. Building Coverage calculations for the site.
3. Typical wall sections, through doors, windows, dormers, entrance canopy etc.
4. Enlarged sections through existing and proposed windows and doors, to scale and dimensioned. Typical sections should be provided through the proposed windows/door and a typical original window/door of the residence so that staff can evaluate whether their profiles, trim and location depth in the wall match. See discussion about windows in the "Issues to Consider" below.
5. Manufacturers cut sheets – for the proposed window and doors.

**II. Issues to Consider**

While not necessary to determine the application complete, additional information may be needed to show that your proposal meets the applicable approval criteria, which are the Ladd's Addition Conservation District Guidelines, and can be found [here](#). You are encouraged to address the following issues regarding the approvability of your proposal:

- Dormer. The proposed dormer appears too large for the existing accessory structure, and its roof pitch does not seem compatible with the steeply pitched roofs of both the accessory and the main residence. Consider an appropriately sized shed roof, as it could provide a more compatible response. (Guidelines 4- Roof Form.)

- **Fiberglass windows.** The new windows should be wood and detailed to match the original windows in materials, form, type, pattern and placement of opening. (Guideline 6- Windows & Doors)
- **South East Elevation.** The building façade facing the house is proposed as a blank wall, and should include windows. This is especially the case since blank walls are also proposed for the two other elevations, and very small windows are proposed for the alley facing façade. Information should be provided if there are existing conditions, like a fence or dense landscaping that might preclude windows.

### III. Time to Complete Application

The Portland Zoning Code allows you up to 180 days to complete your application. Since the 180-day period began on the day we received the application, the deadline to make your application complete is **Monday, October 1, 2018**.

### IV. Determination of a Complete Application

The application will be determined complete when you have submitted:

1. All of the requested information included in Section I, above. If you cannot provide all of the requested information at one time and intend to submit additional information, please include a written statement with each separate submittal indicating that you still intend to provide the additional missing information by the **Monday, October 1, 2018** deadline, **or**
2. Some of the requested information included in Section I, above, and a written statement that no additional information will be provided; **or**
3. A written statement that none of the requested information included in Section I, above, will be provided.

Please be aware that not submitting the requested information may result in your application being denied. The information is needed to demonstrate the approval criteria are met. Once the application is deemed complete, review of your application can proceed using the information you have provided.

Your application will be approved if it meets the relevant land use review approval criteria. It is your responsibility to document how the approval criteria are met. The items listed above will help provide that documentation.

### Voiding of Application

If your application is not complete by **Monday, October 1, 2018**, it will be voided, and the application fee will not be refunded. The City's land use review procedures are outlined in Chapter 33.730 of the Portland Zoning Code.

Please contact me if you have any questions about this letter. My telephone number is **503-823-7226**, and my e-mail address is [Puja.Bhutani@portlandoregon.gov](mailto:Puja.Bhutani@portlandoregon.gov). You may mail correspondence to me at the Bureau of Development Services, Suite 5000, 1900 SW Fourth Avenue, Portland, OR 97201. If you deliver the requested material in person, please bring it to the **fifth** floor receptionist at 1900 SW Fourth Avenue. Please label all correspondence and materials you submit with the case number LU 18-145469.

Sincerely,



Puja Bhutani, Planner  
Land Use Services Division  
cc: Application Case File

## Bhutani, Puja

---

**From:** Bhutani, Puja  
**Sent:** Monday, June 18, 2018 2:10 PM  
**To:** 'James McCandlish'  
**Cc:** Omar Martinez  
**Subject:** LU18-145469HR- dormer alternatives

Hi James,

Thank you for the photographs and the voicemail. Most of the images are of a primary residence with roof pitches that are not as steep as the subject ADU. As I discussed with you earlier, staff acknowledges that many contributing resources have gabled dormers. However, the gable dormer form and roof pitch that is currently being proposed for the subject steeply pitched garage- a smaller secondary structure- is atypical. However, of the images provided, the following could be considered:

1. A gable dormer with roof pitches similar to the garage or the front porch of the existing house, as shown in the image provided below.



2. A cross-dormer, as discussed earlier with Omar, and similar to the photograph provided below:



3. A shed dormer with a 4:12 pitch, as discussed earlier with Omar.

You are, of course, welcome to discuss the proposal with the neighbors and the neighborhood association. As a Type II review, a notice of proposal is mailed out to all within 400 feet of your residence, once the application is complete. Public comment is invited and taken into consideration by staff, when writing the decision. In case staff decision is appealed, the public comments will be part of the case file, and will be presented to the Landmarks Commission. Additional public comments can also be presented at the hearing.

I would like to ascertain that this is a Type II review. If the affected area is less than 150sf, then this would qualify as a Type I review with reduced fees and a quicker timeline. Omar, can you provide a calculation of the area of exterior alterations (front and side) to make sure that this is being processed under a correct review.

Please feel free to call me in case of additional questions.  
Thanks.

**Puja Bhutani, AICP**  
**Planner II | Design and Historic Review**  
City of Portland | Bureau of Development Services  
1900 SW 4th Ave | Ste 5000  
Portland OR, 97201

e: [puja.bhutani@portlandoregon.gov](mailto:puja.bhutani@portlandoregon.gov)  
p: 503-823-7226 | f: 503.823.5630

Work hours: Tue-Fri 7:30AM – 5:00PM

**From:** James McCandlish [mailto:[jmccandlish@comcast.net](mailto:jmccandlish@comcast.net)]  
**Sent:** Thursday, June 14, 2018 12:21 PM  
**To:** Bhutani, Puja <[Puja.Bhutani@portlandoregon.gov](mailto:Puja.Bhutani@portlandoregon.gov)>  
**Cc:** Omar Martinez <[casabonitallc@gmail.com](mailto:casabonitallc@gmail.com)>  
**Subject:** Fwd:

I saw this one this morning bicycling to New Seasons, and included it because it is steep, and like our proposal, you can't tell whether it matches the pitch of the over all structure.

The basic problem that I have is that a shed roof destroys the symmetrical pitch of the garage from the only public viewing area (the alley). Thanks, for your hard work. Best regards, Jim Mc

James E. McCandlish  
GRIFFIN & McCANDLISH  
1000 S.W. Broadway, Ste. 2400  
Portland, OR 97205  
Tel.: 503.206.8437  
Fax : 503.224.9201  
[jmccandlish@comcast.net](mailto:jmccandlish@comcast.net)

This e-mail contains confidential and/or privileged information intended for the addressee only. Please DO NOT read, copy or disseminate this communication unless you are in fact the intended addressee. If you believe you have received it in error, please call me immediately at 503.224.2349, and hit the reply button to let me know about the problem. Thank you. Jim Mc

## Bhutani, Puja

---

**From:** Bhutani, Puja  
**Sent:** Thursday, July 05, 2018 11:29 AM  
**To:** 'James McCandlish'  
**Cc:** Omar Martinez; Amanda Haynes  
**Subject:** RE: LU18-145469HR- dormer alternatives  
**Attachments:** Ladds Addition.pdf

James,

Please see my comments in red below. The Ladd's addition Historic District nomination is attached for your information. Let me know how you would like to proceed.  
Thanks.

**Puja Bhutani, AICP**  
**Planner II | Design and Historic Review**  
City of Portland | Bureau of Development Services  
1900 SW 4th Ave | Ste 5000  
Portland OR, 97201

e: [puja.bhutani@portlandoregon.gov](mailto:puja.bhutani@portlandoregon.gov)  
p: 503-823-7226 | f: 503.823.5630

Work hours: Tue-Fri 7:30AM – 5:00PM

**From:** James McCandlish [mailto:jmccandlish@comcast.net]  
**Sent:** Thursday, June 28, 2018 1:14 PM  
**To:** Bhutani, Puja <Puja.Bhutani@portlandoregon.gov>  
**Cc:** Omar Martinez <casabonitallc@gmail.com>; Amanda Haynes <amandah@precisionhomesbuilding.com>  
**Subject:** Re: LU18-145469HR- dormer alternatives

Puja,

Three things: First Type II vs Type 1. I reviewed the applicable regulations and guidelines, and prefer the hearing/Historic Landmarks Commission review in the event we are not able to agree, so we will continue as a Type II application. But thank you for the suggestion. From a quick review it appears that the total area of exterior alterations would probably exceed 150 sf, and so a Type II application would probably apply. Please provide area calculations for all exterior changes (original garage door, windows, dormers etc.) so that staff can verify.

Second, the Ladd's Addition Conservation District Guidelines at p. 14, Sec. 4 describes in three sections the features that "[r]epair and alteration of roofs should retain". The first section reads "The original roof shape and pitch". The gable dormer style that we are proposing and uniformly favored by the neighbors is in keeping with "the original roof shape". Gable on gable style is maintained. The shed style violates this directive. At p. 12 the Guidelines illustrate the distaste for the shed style by comparing the original gabled look of the Donahoe House front facade with the shed style remodel from 1989. The shed roof pictured is an "EXAMPLE OF INAPPROPRIATE EXTERIOR CHANGES".

The guideline4, (pg 14) states that new roof features including new dormers should be compatible in size, scale, materials and colors with the original building. Staff had provided two options for a gable dormer addition which would comply with the approval criteria- gable dormer with roof pitches similar to the garage or the front porch of the existing house, or a cross dormer. The gable dormer as proposed with a shallow roof pitch would not be compatible with the

original resource, and hence not meet the approval criteria. Since gable roofs do not seem to be an option, a shed dormer with an appropriate pitch would be the next best option to meet the compatibility criteria.

Please note that the residence and garage are both contributing resources in the Ladd's Historic District. Furthermore, the Ladd's district HR nomination states:

*"The alleys bisecting the blocks have their own spatial order, with narrow streets, private gardens, and garages, many of them small scale versions of the houses for which they were built"; (2<sup>nd</sup> page)*

*"All but three are garages or carports, and all are considered to be "Utilitarian" in style. They usually have eight to ten foot high eaves; single or double bay garage doors; gable, jerkinhead gable, hipped or flat roofs, usually reflecting the roof form of the houses for which they were built; horizontal board siding or stucco. The roof forms, siding and fenestration often match the houses for which they were built." (pg 7.7, section #7)*

*"Because of the distinctive layout of the district, the alleys have been determined to be a significant physical feature with their own characteristic spatial ordering system. Thus, all auxiliary buildings, most of them garages located along the edges of the alleys, have been counted as resources within the district." (pg 7.18, Section #7)*

*"A number of the auxiliary buildings have been altered.... These factors alter the ratio of contributing to non-contributing resources in the district as a whole, despite the fact that most of the auxiliary resources are not visible from the streets in Ladd's Addition." Pg.7.19, Section #7*

Compliance with this guideline is important given the emphasis placed in the Historic District nomination on the auxiliary buildings, and their contribution to the character of the resource and historic district.

The example on page 12 cannot be taken to imply that shed style roofs "violates this directive." The example is illustrating a shed roof dormer built on the front façade of a steeply pitched gable wall of a primary structure, which clearly is not appropriate. Staff is recommending an appropriately pitched shed dormer that is not located on the gable façade and for an auxiliary structure.

And finally, although it is contained in the New Construction section (pp 8-11), the Guidelines expressly and clearly favor gabled construction. P. 10, Section 9 reads:

"ROOF FORM: Non-commercial buildings should have gable or hip roofs with medium to steep pitch. Dormers and gable roofed projections are encouraged."

New construction section is not applicable. This guideline applies only for new structures.

Thank you for the opportunity to present these views. Best regards, Jim Mc

James E. McCandlish  
GRIFFIN & McCANDLISH  
1000 S.W. Broadway, Ste. 2400  
Portland, OR 97205  
Tel.: 503.206.8437  
Fax : 503.224.9201  
[jmccandlish@comcast.net](mailto:jmccandlish@comcast.net)

This e-mail contains confidential and/or privileged information intended for the addressee only. Please DO NOT read, copy or disseminate this communication unless you are in fact the intended addressee. If you believe you have received it in error, please call me immediately at 503.224.2349, and hit the reply button to let me know about the problem. Thank you. Jim Mc

On Jun 25, 2018, at 12:32 PM, Bhutani, Puja <[Puja.Bhutani@portlandoregon.gov](mailto:Puja.Bhutani@portlandoregon.gov)> wrote:

Hi James,

All the applicable guidelines under "Exterior Rehabilitation" would apply. For instance, guideline 9 & 12 would not apply since you are not proposing signs or parking. I pulled out Guideline 4- roof form just to note the guideline that specifically applies to the proposed dormer.

Regards,

**Puja Bhutani, AICP**

**Planner II | Design and Historic Review**

City of Portland | Bureau of Development Services

1900 SW 4th Ave | Ste 5000

Portland OR, 97201

e: [puja.bhutani@portlandoregon.gov](mailto:puja.bhutani@portlandoregon.gov)

p: 503-823-7226 | f: 503.823.5630

Work hours: Tue-Fri 7:30AM – 5:00PM

**From:** James McCandlish [<mailto:jmccandlish@comcast.net>]

**Sent:** Monday, June 25, 2018 12:11 PM

**To:** Bhutani, Puja <[Puja.Bhutani@portlandoregon.gov](mailto:Puja.Bhutani@portlandoregon.gov)>

**Cc:** Omar Martinez <[casabonitallc@gmail.com](mailto:casabonitallc@gmail.com)>; Amanda Haynes

<[amandah@precisionhomesbuilding.com](mailto:amandah@precisionhomesbuilding.com)>

**Subject:** Re: LU18-145469HR- dormer alternatives

Hi Puja. Your responsiveness has been greatly appreciated. It's important on this end for sure. I searched the link to find "Guideline 4, Exterior Rehabilitation Guideline", and came up with this from the Ladd's Addition Conservation District Guidelines":

Roof Form

Repair and alteration of roofs should retain:

- a. The original roof shape and pitch;
- b. Original structural and decorative features such as gables, dormers, chimneys, cornices, parapets, pediments, frieze boards, exposed rafters and other ornamental details; and,
- c. Whenever possible the original type, size, color, and pattern of roofing materials. New roof features including roof additions and new dormers should be compatible in size, scale, materials, and color with the original building. Skylights, solar, mechanical and service equipment, and new roof features should be inconspicuous from the street.

Am I correct that this is the applicable guideline you are using? Is there any other guideline or regulation in play here that I should take into consideration? Best regards, Jim Mc

James E. McCandlish  
GRIFFIN & McCANDLISH  
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[jmccandlish@comcast.net](mailto:jmccandlish@comcast.net)

This e-mail contains confidential and/or privileged information intended for the addressee only. Please **DO NOT** read, copy or disseminate this communication unless you are in fact the intended addressee. If you believe you have received it in error, please call me immediately at 503.224.2349, and hit the reply button to let me know about the problem. Thank you. Jim Mc

On Jun 21, 2018, at 5:48 PM, Bhutani, Puja <[Puja.Bhutani@portlandoregon.gov](mailto:Puja.Bhutani@portlandoregon.gov)> wrote:

Hi James,

Thank you for the drawings and neighborhood responses. We have had an extensive discussion earlier as to why the gable dormer, as proposed, would not be compatible with the form of the subject secondary structure which has a steeply pitched roof. This is also supported by the photographs you provided. We have tried our best to work with you to find an acceptable option for a gable dormer, as suggested in the email below. If this is not feasible, then the shed dormer would be an acceptable option. Please refer to Guideline 4, Exterior Rehabilitation Guidelines linked [here](#), which provide the approval criteria for this proposal.

Best regards,

**Puja Bhutani, AICP**  
**Planner II | Design and Historic Review**  
City of Portland | Bureau of Development Services  
1900 SW 4th Ave | Ste 5000  
Portland OR, 97201

e: [puja.bhutani@portlandoregon.gov](mailto:puja.bhutani@portlandoregon.gov)  
p: 503-823-7226 | f: 503.823.5630

Work hours: Tue-Fri 7:30AM – 5:00PM

**From:** James McCandlish [<mailto:jmccandlish@comcast.net>]  
**Sent:** Wednesday, June 20, 2018 7:50 PM  
**To:** Bhutani, Puja <[Puja.Bhutani@portlandoregon.gov](mailto:Puja.Bhutani@portlandoregon.gov)>  
**Cc:** Omar Martinez <[casabonitallc@gmail.com](mailto:casabonitallc@gmail.com)>; Amanda Haynes

## 6. Function or Use

Historic Functions (enter categories from instructions)

Domestic--Single Dwelling  
Domestic--Multiple Dwelling  
Landscape--Park  
Domestic--Garage

Current Functions (enter categories from instructions)

Domestic--Single Dwelling  
Domestic--Multiple Dwelling  
Landscape--Park  
Domestic--Garage

## 7. Description

Architectural Classification

(enter categories from instructions)

Bungalow/Craftsman  
Late 19th and 20th Century Revivals  
Other: 20th Century Colonial

Materials (enter categories from instructions)

foundation Concrete  
walls Weatherboard  
Shingle  
roof Asphalt  
other Wood (porches)  
Stucco (Walls)

Describe present and historic physical appearance.

Ladd's Addition is a cohesive neighborhood of early twentieth century buildings, primarily residential, platted in a distinctive formal geometric pattern which differentiates it from any of its contemporaries on the West Coast. The 126 acre rectangular district, located on the east side of Portland's Willamette River, has a hierarchical series of intersecting diagonal and right-angle streets, creating thirty-two polygonal blocks of varying sizes and shapes organized around a circular central park and four secondary diamond-shaped parks. The clear two-dimensional layout of the district creates complex spatial sequences and unexpected visual juxtapositions when experienced in three dimensions. It is one of the few plats in Portland with alleys. This reinforces the continuity of the street elevations, largely uninterrupted by curb cuts, giving the buildings on each block the appearance of being placed in a large garden. More than eighty-seven percent of the buildings in the neighborhood were built between 1905 and 1939, resulting in an architecturally rich mix of compatible early twentieth century styles. With the exception of the Ladd Circle Grocery, located in the heart of the district, commercial development has been limited to the outermost edges of the neighborhood, providing a transition from the auto-oriented thoroughfares delineating the boundaries to the district's residential streets. Five dedicated public parks, nine religious buildings, a public school and nine apartment buildings within Ladd's Addition reinforce its historic functional, social and typologic completeness as an inner-city neighborhood. The alleys bisecting the blocks have their own spatial order, with narrow streets, private gardens, and garages, many of them small scale versions of the houses for which they were built; seventy percent of these auxiliary buildings were constructed between 1905 and 1939.

### The Setting

Ladd's Addition is part of the Hosford-Abernethy Neighborhood Development, an irregularly shaped inner-city district extending east from the edge of the Willamette River, which bisects the City of Portland along a north-south axis, to S.E. 29th Avenue, and south from Hawthorne Boulevard to Powell Boulevard. Hosford-Abernethy encompasses a wide range of building types, land uses, and periods of development, ranging from the earliest east side residential district in Portland, Stephen's Addition, to the inner east side industrial area of warehouses and manufacturing along the river. The Southern Pacific Railroad mainline tracks, cross the southwest corner of Hosford-Abernethy enroute to California. Ladd's Addition extends south from the northern border of Hosford-Abernethy, beginning approximately 1/2 mile east of the Willamette River.

The east side was initially settled by farmers occupying Donation Land claims oriented along Township lines; the claim boundaries became roads, then, often, streetcar routes, and finally major automobile arterials. Rapid residential development of the east side followed the 1891 consolidation of the east and west sides of the Willamette River into one city, and the construction of bridges in the late 1880s. Pieces of east side farmland were sold to real estate companies who frequently worked with streetcar

United States Department of the Interior  
National Park Service

## National Register of Historic Places Continuation Sheet

Section number 7 Page 7.7

Porches are generally supported by modified classical columns, or consist of bracketed overdoors sheltering concrete stoops. Wall cladding is primarily narrow weatherboards, shingles or stucco. Fenestration generally consists of double-hung windows with multiple lights in the upper sashes. Most were built according to stock plans available to builders; a few were designed by architects, and have a slightly higher design quality.

Forty-eight houses and multi-family residences were built in the English Cottage style (6.9%); twenty-three in the Norman Farmhouse style (3%); and three (0.4%) in the Tudor style. The characteristics of these styles have been discussed above. There are two small California Mission style residences dating to this period, with flat roofs, shaped parapets and stuccoed siding; five identical California Mission style duplexes, and a pair of identical triplexes. The duplexes, with flat roofs, shaped parapets and stuccoed siding, were not particularly well built and have experienced some unfortunate alterations. The triplexes, constructed as a pair with a central court, are better built, and have several ornamental features, such as niches, which distinguish them from other residential units built in this style within the district.

Eighty (12.4%) of the 643 major buildings in the district were built after the historic period. The styles of the post-World War II residential buildings have been discussed. There are, in addition, several post-historic commercial buildings, most of which have no identifiable stylistic attributes: these have been categorized by building type, such as Commercial Strip and Modern Commercial. There is one Half-Modern religious building, and two Post-Modern structures built within the last five years. The features of these buildings are discussed in the Inventory later in this section.

The remaining 4% of the major buildings in the district are constructed in a variety of styles: several of these are historic buildings with unique stylistic attributes within the district. There are two Twentieth Century Italian Renaissance brick ecclesiastic structures, built in 1913 and 1916; one 1891 Gothic Revival church, moved into the district in 1911; one 1909 Twentieth Century Gothic church; one Prairie style church building, constructed in 1924; one 1928 Art Deco commercial building, and several Early Commercial and Stripped Classical buildings dating to the 1920s. Most of these are contributing structures, compatible in scale, proportion and materials with other buildings in the district; their particular attributes are addressed in the Inventory later in this section.

There are 469 auxiliary buildings within the district. All but three are garages or carports, and all are considered to be "Utilitarian" in style. They usually have eight to ten foot high eaves; single or double bay garage doors; gable, jerkinhead gable, hipped or flat roofs, usually reflecting the roof form of the houses for which they were built; horizontal board siding or stucco. The roof forms, siding and fenestration often match the houses for which they were built.

INDICATE OF OCCUPANCY REQUIRED <input type="checkbox"/>					FINAL APPROVAL <input type="checkbox"/>			
SANITATION	PLUMBING	P/W USE	ZONING	BUILDING	FIRE DEPT.	ELECTRICAL	HVAC	

1903 SE ELLIOTT AV  
 BLOCK 17 TAX LOT ACCT R463303830  
 LADDS ADD MAP 3232 SEC T/R  
 LARRY WASSERMAN/OWNER ZONERS VALUATION 3765  
 JUDITH ROMANO/LARRY WASSERMAN PHONE 646-3466

PERMIT NUMBER 91-101246  
 DATE ISSUED 03/18/91  
 PLAN EXAMINER SLS

EXISTING GARAGE, SAME FOUNDATION

IRP. R3 M1 CODE ED CONSTRUCTION TYPE VN  
 N DETEC Y VZ CU  
 INSP.  
 M PLANS EXAMINERS



## Request for Extension of 120-Day Review Period

State law requires the City to issue a final decision on land use reviews within 120 days of receiving a complete application. State law also allows the applicant to request in writing an extension of the 120-day review period for up to an additional 245 days. When extensions are requested, it is important to ensure that there is adequate time to accommodate the required public review, drafting the decision, and any required hearings (including appeals) within the extended review period. Generally, a final decision must be rendered approximately 60 days prior to the end of the review period in order to accommodate appeals.

If requesting an extension of the 120-day review period, please sign this form and return it to the Bureau of Development Services (BDS) planner assigned to your case.

### Case Information

1. Applicant Name: Omar Martinez Barrera
2. Land Use Case Number: LU # LU 18-145469 HR
3. BDS Planner Name: Puja Bhutani

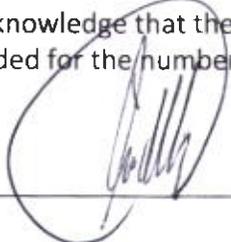
### Extension Request

Please check one of the following:

- Extend the 120-day review period for an additional 30 days.  
(insert number)
- Maximum allowed extension: 245 days

The total number of extensions requested cannot exceed 245 days.

By signing this form, I acknowledge that the 120-day review period for my land use review application will be extended for the number of days specified.

Applicant Signature:  Date 9/16/18

### BDS Staff Complete This Section

Received by (print name): \_\_\_\_\_ Date Received \_\_\_\_\_