



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
FROM CONCEPT TO CONSTRUCTION

Carmen Rubio, Commissioner  
David Kuhnhausen, Interim Director  
Phone: (503) 823-7300  
TTY: 711  
[www.portland.gov/bds](http://www.portland.gov/bds)

**Date:** January 23, 2024  
**To:** Interested Person  
**From:** Sean Williams, Land Use Services  
503-865-6441 / [Sean.Williams@portlandoregon.gov](mailto:Sean.Williams@portlandoregon.gov)

## **NOTICE OF A DECISION ON A MIDDLE HOUSING LAND DIVISION PROPOSAL IN YOUR NEIGHBORHOOD**

The Bureau of Development Services has a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision.

The reasons for the decision are included in the version located on the BDS website <https://www.portlandoregon.gov/bds/46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you may be able to appeal. Information on how to do so is included at the end of this decision.

### **CASE FILE NUMBER: LU 23-090278 MLDS**

#### **GENERAL INFORMATION**

**Applicant:** Zac Horton, Design By Faster Permits  
2000 SW 1<sup>st</sup> Avenue, Suite 420  
Portland, OR 97201

**Owner:** Koval Holdings LLC  
2050 Beavercreek Road, #101-207  
Oregon City, OR 97045-4301

**Site Address:** 7904 SE 45<sup>th</sup> Avenue

**Legal Description:** BLOCK 22 LOT 18&19, ERROL HTS  
**Tax Account No.:** R255305440  
**State ID No.:** 1S2E19CB 02000  
**Quarter Section:** 3835  
**Neighborhood:** Brentwood-Darlington, contact at [bdlanduse@gmail.com](mailto:bdlanduse@gmail.com)  
**Business District:** Woodstock Community Business Association, contact Christopher Love at [woodstockcommunitybiz@gmail.com](mailto:woodstockcommunitybiz@gmail.com)  
**District Coalition:** Southeast Uplift, contact at [operations@seuplift.org](mailto:operations@seuplift.org)  
**Plan District:** None  
**Zoning:** Residential 5,000 (R5)

**Case Type:** Middle Housing Land Division – Subdivision (MLDS)  
**Procedure:** Expedited Land Division, an administrative decision with appeal to the Hearings Officer.

#### **Proposal:**

The applicant has requested a Middle Housing Land Division to subdivide the subject site into 9 lots. A middle housing land division allows sites with certain existing or proposed housing types to be divided concurrently with development or after development is complete. The middle housing development type that is proposed to be divided is a cottage cluster and will result in each unit being located on its own lot. Building permits are currently under review for

the proposed development (23-006700/02/06/09/14/16/18/36/38 RS). Private easements will be established for water and sanitary sewer service lines, a shared drywell, pedestrian access, and the shared common outdoor area.

For the purposes of development, the regulations of Title 33 apply to the lots collectively and not to each lot individually, and the residential structure type that is being divided remains the same (33.253.030). Additional Zoning Code regulations that apply to Middle Housing Land Divisions are located in 33.253, 33.644, and 33.671.

Review of Preliminary Plans for middle housing land divisions are processed through an Expedited Land Division (ELD) procedure (33.671.110 and ORS 197.365-380). A public notice is required for the land division portion of this proposal. The proposed housing is allowed by right.

#### **RELEVANT APPROVAL CRITERIA:**

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant criteria are found in Section **33.671.130, Middle Housing Land Divisions Approval Standards**.

### **FACTS**

**Site and Vicinity:** The site is located on the east side of SE 45<sup>th</sup> Avenue at the approximate intersection with SE Lexington Street. A single-family home and detached garage were removed from the site. The surrounding vicinity is primarily developed with single family homes. The city limits border is approximately 1,700 feet south of the site at Johnson Creek Boulevard.

**Zoning:** The Residential 5,000 (R5) zone is a single-dwelling zone that is intended to preserve land for housing and to provide housing opportunities for individual households. The zones implement the comprehensive plan policies and designations for single-dwelling housing and provide options for infill housing that is compatible with the scale of the single-dwelling neighborhood.

**Land Use History:** City records indicate there are no prior land use reviews for this site.

**Agency Review:** Several Bureaus have responded to this proposal and relevant comments are addressed under the applicable approval criteria. Exhibits "E" contain the complete responses.

**Neighborhood Review:** A Notice of Proposal in Your Neighborhood was mailed on **December 8, 2023**. Two written responses have been received from notified property owners (Exhibit F.1 & F.2) in response to the proposal. The primary concerns expressed in the responses relate to the approved development such as parking and environmental impacts and not the middle housing land division review. Note that there are no minimum parking requirements and all applicable standards related to the development were met and the permit has been issued.

### **ZONING CODE APPROVAL CRITERIA**

#### **Review of Middle Housing Land Divisions**

##### **33.671.130 Approval Standards**

The Preliminary Plan for a middle housing land division will be approved if the review body finds that the applicant has shown that all of the following approval standards have been met. Adjustments are prohibited. The approval standards are:

#### **A. Lots.**

1. The number of lots proposed is the same as the number of dwelling units proposed, approved, or legally existing on the middle housing land division site; and

2. There is only one dwelling unit per lot.

**Findings:** 9 lots are proposed to be created, which is the same number of dwelling units that are approved on the middle housing land division site. In addition, there will only be one dwelling unit per lot. Therefore, these standards are met.

## **B. Buildings, structures and other development.**

1. The proposed, approved, or legally existing development meets the standards and regulations of Title 33 applicable to development on the original site prior to the land division. See 33.644, Middle Housing Land Divisions, for development that is eligible for a middle housing land division; and
2. All of the buildings and structures on a resulting lot comply with applicable building code provisions relating to the proposed property lines and, all of the structures and buildings located on the lots comply with the Oregon residential specialty code.

**Findings:** The proposal includes an approved cottage cluster, which is a development type that is eligible for a middle housing land division, per 33.644.020.A. The cottage cluster was approved under building permit(s) 23-006700/02/06/09/14/16/18/36/38 RS and met the standards and regulations of Title 33 applicable at the time of application submittal on the original site prior to the land division.

Life Safety has indicated that each unit of the cottage cluster complies with the Oregon residential specialty code as they were approved as one family structures that meet applicable building code provisions for fire separation in relation to the proposed lot line. However, easements must be provided via the final plat for unimpeded access between the entry door and emergency escape and rescue openings to the public right-of-way (Exhibits E.4 & E7). With a condition to provide the easements, prior to final plat approval, these standards will be met.

## **C. Services.**

1. Water service. The Water Bureau or District and the Fire Bureau have verified that water facilities that meet established service levels are, or will be, available to serve each dwelling unit separately.

**Findings:** The applicant proposes to provide individual water service lines to each lot/unit from the main in SE 45<sup>th</sup> Avenue. The service lines for will be located in private easements. The Water Bureau has verified this proposal meets established service levels, provided the easement is shown on the final plat (Exhibit E.3). This standard is met with the condition described above.

2. Public sanitary sewer service. The Bureau of Environmental Services has verified that sewer facilities that meet established service levels are, or will be, available to serve each dwelling unit separately.

**Findings:** The applicant proposes to provide a shared sanitary sewer service line to serve the lots/units from the main in SE 45<sup>th</sup> Avenue. The shared service line will be located in private easements. The Bureau of Environmental Services has verified this proposal meets established service levels, provided the easement is shown on the final plat (Exhibit E.1). This standard is met.

3. Private on-site sanitary sewage disposal. Private on-site sanitary sewage disposal is prohibited as part of a middle housing land division except when the development proposed, approved, or legally existing is a duplex. When private on-site sanitary sewage disposal is proposed, BDS has verified that an onsite wastewater treatment system that meets established service levels is, or will be, available to serve each dwelling unit separately.

**Findings:** Private on-site sanitary sewage disposal is not proposed for this site, therefore, this standard is not applicable.

4. Stormwater management. The Bureau of Environmental Services has verified that a stormwater management system and stormwater disposal facilities that meet established service levels are, or will be, available to each dwelling unit.

**Findings:** The applicant proposes to provide 2 shared drywells to serve the lots. The drywells will be located in an easement and can be accessed by all of the lots served by the shared facility through an access/stormwater management easement. The Bureau of Environmental Services has verified this proposal meets established service levels, provided the easement is shown on the final plat (Exhibit E.1). This standard is met.

5. Right-of-way. For public streets, the Bureau of Transportation has preliminarily approved any proposed streets. For private streets, the Bureau of Development Services has preliminarily approved any proposed private streets.

**Findings:** A public or private street is not proposed. Therefore, this standard is not applicable.

#### **D. Tracts and easements.**

1. The preliminary plan includes easements or tracts necessary for each dwelling unit for:
  - a. Locating, accessing, replacing and servicing all services;
  - b. Pedestrian access from each dwelling unit to a street and, in a cottage cluster, to any required common outdoor area;
  - c. Any common use areas or shared building elements;
  - d. Any shared driveways or parking; and
  - e. Any shared common area;
2. The standards of Chapter 33.636, Tracts and Easements, must be met.

**Findings:** The following easements are proposed and/or required:

- Stormwater management – an easement is required on Lots 1-3, 5, and 7-9 for 2 drywells that will provide stormwater disposal for Parcels 1-9. This easement will also provide for maintenance and repair.
- Sanitary Sewer – an easement is required across Lots 1-3, 5, and 7-9 that will provide sanitary sewer disposal for Parcels 2 and 3.
- Water - an easement is required across Lots 1-3, 5, and 7-9 that will provide water access for Parcels 2 and 3.
- A Private Access Easement is required over the relevant portions of Lots 1-3, 5, and 7-9 that will provide pedestrian access to the main entry for Lots 2-8.
- An emergency access and egress easement must be provided to all portions of Lots 2-8 for fire department access and for egress from emergency escape and rescue openings to the right-of-way as required by the Fire Bureau and Life Safety (see Exhibits E.4 and E.7).

The required easements noted above may be shown on the plat as one or more “private access and egress, services and utility easements”.

As stated in Section 33.636.100 of the Zoning Code, a maintenance agreement(s) will be required describing maintenance responsibilities for the easements described above and facilities within those areas. This standard can be met with the condition that a maintenance agreement(s) is prepared and recorded with the final plat. In addition, the plat must reference the recorded maintenance agreement(s) with a recording block for each agreement, substantially similar to the following example:

*“A Declaration of Maintenance agreement for (name of feature) has been recorded as document no. \_\_\_\_\_, Multnomah County Deed Records.”*

With the conditions of approval discussed above, this criterion is met.

## DEVELOPMENT STANDARDS

The existing development on the site has been reviewed for compliance with the development standards of Title 33 based on the original site prior to the land division. Development on the Middle Housing Land Division Site is subject to the regulations of 33.253, which are summarized below:

- For the purposes of development, the regulations of Title 33 will apply to the lots resulting from a middle housing land division collectively and not to each lot individually.
- The residential structure type on a site that has been divided through a middle housing land division remains the residential structure type that was proposed with the middle housing land division. The approved cottage cluster on this site will remain a cottage cluster for the purposes of applying zoning code regulations.
- More than one dwelling unit is prohibited on a lot that has been created through a middle housing land division. Accessory dwelling units are prohibited on the lots created through this land division.
- All the primary uses on a middle housing land division site must be residential uses. Accessory home occupations are allowed (see 33.203).
- The further division of the lots created through this middle housing land division is prohibited.

## CONCLUSIONS

The applicant proposes a middle housing land division to divide the subject site into 9 lots. As discussed within this report, the relevant standards have been met, or can be met with conditions. This proposal can be approved with the conditions described below.

## ADMINISTRATIVE DECISION

**Approval** of a Preliminary Plan for a Middle Housing Land Division to divide a site with an approved cottage cluster development into 9 lots, as illustrated with Exhibit C.1, subject to the following conditions:

**A. As-built survey.** An as-built survey shall be submitted with the final plat survey for Land Use Services, Life Safety, Fire Bureau, Bureau of Environmental Services, and Water Bureau review and approval. That plan must show that structures and services are constructed in conformance with the preliminary plan and meet requirements in relation to property lines and any easements or tracts.

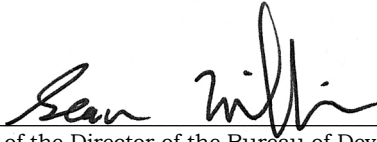
**B. The final plat must show the following:**

1. The final plat survey shall include a note with the following statement: "This plat was approved as a Middle Housing Land Division under ORS 92.031."
2. One or more private access and egress, services and utility easements, providing pedestrian access, including emergency egress and fire department access, sanitary sewer service, stormwater service, and water service, for the benefit of Lots 1-9 shall be shown and labeled over the relevant portions of Lots 1-3, 5, and 7-9
3. A recording block for each of the legal documents, required by Condition C.1 below. The recording block(s) shall, at a minimum, include language substantially similar to the following example: "A [Name of Document] has been recorded as document no. \_\_\_\_\_, Multnomah County Deed Records."

**C. The following must occur prior to final plat approval:**

1. A Maintenance Agreement shall be executed for the private access and egress, services, and utility easements described in Condition B.2 above. The agreement shall include provisions assigning maintenance responsibilities for the easement area and any facilities within that area, consistent with the purpose of the easement, and all applicable City Code standards. The agreement must be reviewed by the City Attorney and the Bureau of Development Services, and approved as to form, prior to final plat approval. The document must be referenced on and recorded with the plat.

**Staff Planner: Sean Williams**

**Decision rendered by:**  **on January 16, 2024**  
By authority of the Director of the Bureau of Development Services

**Decision mailed: January 24, 2024**

**About this Decision.** This decision is **not a permit** for development. A Final Plat must be completed and recorded before the proposed lots can be sold. For information on permitting go to <https://www.portland.gov/bds> or call 503-823-7357.

**Procedural Information.** The application for this land use review was submitted on October 4, 2023, and was determined to be complete on November 29, 2023.

*Zoning Code Section 33.700.080* states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on October 4, 2023.

*ORS 197.370* states the City must issue a decision to approve or deny this application within 63-days of the application being deemed complete.

**Some of the information contained in this report was provided by the applicant.**

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

**Conditions of Approval.** If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be

documented in all related permit or final plat applications. Plans and drawings submitted during the permit or final plat review process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

**Appealing this decision.** This decision may be appealed by the applicant, owner or any person who submitted written comments. If appealed, a hearing will be held before the Hearings Officer. The appeal application form can be accessed at <https://www.portland.gov/bds/zoning-land-use/documents>. Appeals must be received **by 4:30 PM on February 6, 2024. The completed appeal application form must be emailed to [LandUseIntake@portlandoregon.gov](mailto:LandUseIntake@portlandoregon.gov).** If you do not have access to e-mail, please call 503-823-7300 for assistance. **An appeal fee of \$300 will be charged.** Once the completed appeal application form is received, Bureau of Development Services staff will contact you regarding paying the appeal fee.

If you are interested in viewing information in this file, please contact the planner listed on the front of this notice. The planner can email you documents from the file. A fee would be required for all requests for paper copies of file documents. Additional information about the City of Portland, and city bureaus is available online at <https://www.portland.gov>. A digital copy of the Portland Zoning Code is available online at <https://www.portlandoregon.gov/zoningcode>.

**Attending the hearing.** If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Hearings Officer is the final City decision.

**Expiration of this approval and recording the land division.** This preliminary plan approval will expire unless a final plat is approved by the City within 3 years of the date of the final decision. The final plat must be approved by the County Surveyor and recorded with the County Recording Office within 90 days of City approval.

### EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
  - 1. Approval Criteria Response
  - 2. Building Permit Plans
- B. Zoning Map (attached)
- C. Plans/Drawings:
  - 1. Subdivision Plat (attached)
  - 2. Existing Conditions Survey
- D. Notification information:
  - 1. Mailing list
  - 2. Mailed notice
- E. Agency Responses:
  - 1. Bureau of Environmental Services
  - 2. Portland Bureau of Transportation
  - 3. Water Bureau
  - 4. Fire Bureau
  - 5. Site Development Review Section of Bureau of Development Services
  - 6. Bureau of Parks, Forestry Division
  - 7. Life Safety Section of Bureau of Development Services

F. Correspondence:

1. Christie Kern (12/22/23)
2. Susan Spry (12/13/23)

G. Other:

1. Application Form
2. ELD Form
3. Incomplete Letter

**The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).**



For Zoning Code in Effect Post October 1, 2022

# ZONING



Site



Plan District



Stream

File No.	LU 23 - 090278 MLDS
1/4 Section	3835
Scale	1 inch = 200 feet
State ID	1S2E19CB 2000
Exhibit	B Oct 04, 2023

PLAT BOOK	PAGE
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PLAT BOOK \_\_\_\_\_ PAGE \_\_\_\_\_



△ SET 5/8" x 30" IRON ROD W/ RED PLASTIC CAP  
MARKED "CENTERLINE CONCEPTS"  
ON \_\_\_\_\_ 2023

○ FOUND 5/8" IRON ROD W/ RED PLASTIC CAP  
MARKED "CENTERLINE CONCEPTS"  
FROM SN 68557

▲ FOUND 5/8" IRON ROD W/ YELLOW PLASTIC CAP  
MARKED "CENTERLINE CONCEPTS"  
FROM SN 68321

MARKED "CENT"  
FROM SN 6832

( ) = RECORD DISTANCES & BEARINGS  
IR = IRON ROD      IP = IRON PIPE

FD = FOUND W/ = WITH  
YPC = YELLOW PLASTIC CAP

P/L = PROPERTY LINE  
S.F. = SQUARE FEET

PPAE = PRIVATE PEDESTRIAN ACCESS EASEMENT

PSDE = PRIVATE STORM DRAINAGE EASEMENT  
PSSE = PRIVATE SANITARY SEWER EASEMENT

PUE = PUBLIC UTILITY EASEMENT  
DOC. NO. = DEED DOCUMENT NUMBER,

SN = SURVEY NUMBER, MULTNOMAH CO  
SURVEY RECORDS

S1 = SN 68557  
S2 = SN 68321

17/03

REGISTERED

PROFESSIONAL  
LAND SURVEYOR

2

OREGON  
JULY 13 2004

1081 G. BOLDEN  
60377LS

RENEWALS: DECEMBER 31, 2023

COPY OF THE ORIGINAL SUBDIVISION PLAT



## PRILINE CONCEPT

D SURVEYING, INC.

SON CITY, OREGON 97045

HOLDINGS-45TH AVE-SE-7904\DWG\5

1423-090278

## Exhibit C1

**NARRATIVE:**

THE BASIS OF BEARINGS AND BOUNDARY DETERMINATION ARE PER SURVEY NO. 68597, DEED RECORDED IN THE DEED RECORDS OF MILWAUKEE COUNTY SURVEY NO. 00-51-41 EAST BETWEEN FOUND MONUMENTS AT "A," "B" FOR BASIS OF BEARINGS, PER SAID SURVEY, I HAD ALL BEARINGS AND DISTANCES AND MONUMENTS SET PER SAID SURVEY.

**DECLARATION:**

KNOW ALL MEN BY THESE PRESENTS THAT KOVAL HOLDINGS LLC, AN OREGON LIMITED LIABILITY COMPANY, THE OWNER OF THE LAND DESCRIBED IN THE ACCOMPANYING SURVEYOR'S CERTIFICATE, DO HEREBY DESIGNATE THE ANNEKED MAP TO BE A CORRECT MAP OF THE SUBDIVISION OF SAID PROPERTY AND THAT WE HAVE CAUSED THIS SUBDIVISION PLAT TO BE PREPARED AND THE PROPERTY SUBDIVIDED AS SHOWN IN ACCORDANCE WITH THE OREGON LAND DIVISION ACT, CHAPTER 92A, OREGON REVISED STATUTES. THIS PLAT IS SUBJECT TO RESTRICTIONS AS NOTED THEREON.

FURTHERMORE, WE DO HEREBY GRANT THE EASEMENTS AS SHOWN ON SAID MAP.

## ACKNOWLEDGEMENT:

STATE OF )  
COUNTY OF )SS

KNOW ALL PEOPLE BY THESE PRESENTS, ON THIS 20TH DAY OF 2023, BEFORE ME A NOTARY PUBLIC IN AND FOR SAID STATE OF KENTUCKY, PERSONALLY APPEARED ALEXANDER KOJAL, AS MEMBER OF KOJAL HOLDINGS LLC, AN OREGON LIMITED LIABILITY COMPANY, WHO BEING DULY SWORN, DID SAY THAT HE IS THE IDENTICAL PERSON NAMED IN THE FOREGOING INSTRUMENT, AND THAT HE EXECUTED SAID INSTRUMENT FREELY AND VOLUNTARILY.

**PLAT NOTES:**

1. THIS PLAT IS SUBJECT TO THE CONDITIONS IMPOSED BY THE CITY OF PORTLAND PLANNING DEPARTMENT IN CASE FILE NO. LUR \_\_\_\_\_.
2. THIS PLAT IS SUBJECT TO A MAINTENANCE AGREEMENT RECORDED AS DOCUMENT NO. \_\_\_\_\_.
- MULTNOMAH COUNTY DEED RECORDS.

NOTARY SIGNATURE

NOTARY PUBLIC - OREGON

COMMISSION NO.: \_\_\_\_\_

**MY COMMISSION EXPIRES:** \_\_\_\_\_

### SURVEYOR'S CERTIFICATE:

I, TOBY G. BOLDEN, HEREBY CERTIFY THAT I HAVE CORRECTLY SURVEYED AND MARKED WITH PROPER MONUMENTS, THE LAND REPRESENTED ON THE ATTACHED SUBDIVISION MAP, SAID LAND BEING DESCRIBED AS FOLLOWS:

A REPLAT OF LOTS 18 AND 19, BLOCK 22, "ERROL HEIGHTS", AS CONVEYED BY DEED DOCUMENT NO. 2022-081017 IN THE S.W. 1/4 OF SECTION 19, T.1S, R.2E, W.M., CITY OF PORTLAND, MULTNOMAH COUNTY, OREGON, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

CONTAINING 10-414 SQUARE FEET.

SIGNED ON: 17 JUL 2003

**REGISTERED  
PROFESSIONAL  
LAND SURVEYOR**

OREGON  
JULY 13, 2004  
TOBY G. BOLDEN  
60377LS

RENEWALS: DECEMBER 31, 2023

I HEREBY CERTIFY THIS IS A TRUE AND EXACT  
COPY OF THE ORIGINAL SUBDIVISION PLAT

## APPROVALS:

CITY OF PORTLAND LAND DIVISION CASE FILE LUR \_\_\_\_\_  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023

CITY OF PORTLAND CITY ENGINEER'S DELEGATE

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023

BY: \_\_\_\_\_  
COUNTY SURVEYOR, MULTNOMAH COUNTY, OREGON

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023

BY: CHAIR, BOARD OF COUNTY COMMISSIONERS  
MULTNOMAH COUNTY, OREGON

ALL TAXES, FEES, ASSESSMENTS OR OTHER CHARGES AS PROVIDED  
BY O.R.S. 92.095 HAVE BEEN PAID AS OF \_\_\_\_\_, 2022  
DIRECTOR, DIVISION OF ASSESSMENT & TAXATION  
MULTNOMAH COUNTY, OREGON

BY: \_\_\_\_\_  
DEPUTY

STATE OF OREGON )  
COUNTY OF MULTNOMAH ) SS

I DO HEREBY CERTIFY THAT THE ATTACHED SUBDIVISION PLAT WAS

AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M., IN BOOK \_\_\_\_\_, PAGES \_\_\_\_\_

BY: \_\_\_\_\_  
DEPUTY \_\_\_\_\_

DOCUMENT NO.

## CENTERLINE CONCEPTS

LAND SURVEYING, INC.

19376 MOLALLA AVE., SUITE 120

OREGON CITY, OREGON 97045  
PHONE 503 650 0188 FAX 503 650 0180

PLOTTED:M:\PROJECTS\KOVAL HOLDINGS-45TH AVE-SE-7904\DWG\SUB-C3D.dwg



## Middle Housing Land Division Approval Standards

The following information is provided to help applicants prepare the narrative portion of their Middle Housing Land Division application. See the Middle Housing Land Division web page for additional information and requirements on [portland.gov/bds](http://portland.gov/bds).

### What is included in this document?

This document contains a complete list of standards that may apply to a Middle Housing Land Division Review. This document is not required to be submitted with your application. However a written narrative is required. You may use this document to create your application narrative or use this list as a reference to write a detailed response to the relevant standards in a separate document. Information in *italics* is provided to help applicants respond to the standards.

### Approval Standards

The Preliminary Plan for a middle housing land division will be approved if the review body finds that the applicant has shown that all of the approval standards of 33.671.130 have been met. Adjustments are prohibited. All applicants must respond to the standards listed in sections A through D below. Some standards may not apply depending on the specific site and proposal. Please review all standards. For those that apply, write a detailed response that explains how each standard is met. For those that do not apply, provide a brief response explaining why.

Please see additional chapters of the Zoning Code associated with Middle Housing Land Divisions. For information regarding how development on a Middle Housing Land Division site will be reviewed, please see chapter 33.253, Development on a Middle Housing Land Division Site. For information regarding when a Middle Housing Land Division is allowed, including the relationship to other land division regulations, please see chapter 33.644, Middle Housing Land Divisions. See the Zoning Code for complete code language: <https://www.portland.gov/code/33>

### 33.671.130.A. Lots

*More than one dwelling unit is prohibited on a lot that has been created through a middle housing land division. Accessory dwelling units are prohibited on lots that have been divided through middle housing land divisions.*

1. The number of lots proposed is the same as the number of dwelling units proposed, approved, or legally existing on the middle housing land division site; and
2. There is only one dwelling unit per lot.

**Please describe how the project meets this standard:**

*1 unit proposed per lot*

### 33.671.130.B. Buildings, structures and other development

*Middle housing land divisions are only allowed for proposals to divide land that contains, or is proposed to contain, a duplex, triplex, fourplex, or cottage cluster, as defined by Title 33. For the purposes of development, the regulations of Title 33 apply to the lots and tracts resulting from a middle housing land division collectively (the parent site) and not to each lot individually.*

*The existing or proposed development must meet the residential building code based on the proposed lot lines. Attached units must be built to townhouse standards. Detached units must meet separation to proposed lot lines.*

Your response should explain how existing and proposed development meets this approval standard. For sites without existing qualifying development, proof that building permit plans are under City review is required. Please list the applicable building permits numbers below. The status of the permit review should be used to document compliance with this standard. It is recommended that the building permit first review be complete and any issues that may affect site layout addressed prior to submittal of the middle housing land division.

1. The proposed, approved, or legally existing development meets the standards and regulations of Title 33 applicable to development on the original site prior to the land division. See 33.644, Middle Housing Land Divisions, for development that is eligible for a middle housing land division; and
2. All of the buildings and structures on a resulting lot comply with applicable building code provisions relating to the proposed property lines and, all of the structures and buildings located on the lots comply with the Oregon residential specialty code.

**Please describe how the project meets this standard:**

*Building permit is under review and nearly approved by all bureaus pertinent to land division.*

## 33.671.130.C. Services

Existing and proposed services and utilities for each dwelling unit must be shown on proposed land division maps. Combined services are not allowed to serve the middle housing development, with the exception of shared drywells meeting the [BDS Code Guide](#). Please note: If a Public Works Permit (PWP) is proposed or required to provide services to the site (e.g. a public sewer main extension), Concept approval must be obtained to demonstrate the proposal is feasible in order to meet the standards below. To help ensure the separate Public Works Permit process does not impact the ability to approve the Middle Housing Land Division, it is recommended that the PWP be submitted well in advance of the land division application.

Your response should explain how services will be provided to the proposed lots, consistent with what is proposed on building permit plans. City service providers will respond to your proposal during the comment period.

1. **Water service.** The Water Bureau or District and the Fire Bureau have verified that water facilities that meet established service levels are, or will be, available to serve each dwelling unit separately.

**Please describe how the project meets this standard:**

*Services provided via easement*

2. **Public sanitary sewer service.** The Bureau of Environmental Services has verified that sewer facilities that meet established service levels are, or will be, available to serve each dwelling unit separately.

**Please describe how the project meets this standard:**

*Services provided via easement*

3. **Private on-site sanitary sewage disposal.** Private on-site sanitary sewage disposal is prohibited as part of a middle housing land division except when the development proposed, approved, or legally existing is a duplex. When private on-site sanitary sewage disposal is proposed, the Bureau of Development Services has verified that an onsite wastewater treatment system that meets established service levels is, or will be, available to serve each dwelling unit separately.

**Please describe how the project meets this standard:**

*Not proposed*

4. **Stormwater management.** The Bureau of Environmental Services has verified that a stormwater management system and stormwater disposal facilities that meet established service levels are, or will be, available to each dwelling unit.

**Please describe how the project meets this standard:**

*All properties utilize drywell and connect via easement.*

5. **Right-of-way.** For public streets, the Bureau of Transportation has preliminarily approved any proposed streets. For private streets, the Bureau of Development Services has preliminarily approved any proposed private streets.

**Please describe how the project meets this standard:**

*Improvements will be completed via public works. Bond is being prepared at the time of this submittal and likely to be approved by the time this is reviewed.*

## 33.671.130.D. Tracts and easements

*These standards apply if any easements or tracts are proposed or required. The dimensions of proposed easements or tracts must be of sufficient size to accommodate elements such as services and pedestrian access for each dwelling unit. The location, dimensions, and purpose of existing and proposed easements must be shown on proposed land division maps. Your response should describe all proposed tract and easements, or why none are needed, and how ownership and maintenance of these areas will be achieved. All required maintenance agreements must be submitted for review with the final plat.*

1. The preliminary plan includes easements or tracts necessary for each dwelling unit for:
  - a. Locating, accessing, replacing and servicing all services;
  - b. Pedestrian access from each dwelling unit to a street and, in a cottage cluster, to any required common outdoor area;
  - c. Any common use areas or shared building elements;
  - d. Any shared driveways or parking; and
  - e. Any shared common area.

**Please describe how the project meets this standard:**

*Easements located on plat maps.*

2. The standards of Chapter 33.636, Tracts and Easements, must be met.

### 33.636.100 Requirements for Tracts and Easements

- A. Ownership of tracts. Tracts must be owned as follows unless otherwise specified in this Title or the land use decision:
  1. The owners of property served by the tract, or by any other individual or group of people. When the tract is owned by more than one person it must be held in common with an undivided interest;
  2. The Homeowners' Association for the area served by the tract;
  3. A public or private non-profit organization; or
  4. The City or other jurisdiction.

- B. Maintenance agreement. The applicant must record with the County Recorder a maintenance agreement that commits the owners or owners' designee to maintain all elements of the tract or easement; however, facilities within the tract or easement that will be maintained by a specified City agency may be recorded in a separate maintenance agreement. The maintenance agreement must be approved by BDS and the City Attorney in advance of Final Plat approval and must be submitted to the County Recorder to be recorded with the Final Plat. For a Planned Development not done in conjunction with a land division, the maintenance agreement must be submitted to the County Recorder to be recorded prior to issuance of the first building permit related to the development.

**Please describe how the project meets this standard:**

*Will be met.*

Scope Of Work

Construction of a 9-unit Cottage Cluster.  
Visitability standards are applied to Units A, B, & C

Deferred Submittal: Manufactured Roof Trusses

Property & Project Information

Property & Project Information

7904 SE 45TH AVE. PORTLAND, OR 97206  
R158107  
ERROL HTS, BLOCK 22, LOT 18&19

Property Owner

KOVAL HOLDINGS LLC  
PO BOX 302  
MARYLHURST OR 97036

Design Professional

Design by Faster Permits I Zac Horton  
Zac@fasterpermits.com  
(503) 438 - 9654

24 HOUR EROSION CONTROL CONTACT ALEX KOVAL,  
503.548.8008

Code Compliance Information

Zoning Code - Title 33 , Zone R5

Building Code - 2021 ORSC

Property Info

Zone - R5  
Overlay - N/A  
Site Area Pre-Dedication - 10,417.32 SF  
Dedicated Area - 399.52 SF  
Post-Dedication Site Area - 10,017.80 SF

Tree Calcs

Development Impact Area = 10,017.80 S.F.

20% of 10,017.80 SF = 2,083.464 S.F.

Plant (1) Large, (2) Medium & (1) Small Trees

General Notes

1. Drawings of the existing residence and existing conditions map are for reference. Contractor to visit and verify all dimensions and conditions on site. A survey is recommended prior to the commencement of work. Any discrepancies should be reported to the design professional (Faster Permits).

2. Contractor to verify location of all utilities prior to any ground disturbance.

Cottages Code Compliance Info

Unit 'A'

Cottage Footprint = 535 S.F.  
Max Footprint = 900 S.F.  
535 S.F. < 900 S.F.  
Proposed Footprint < Max Footprint

Cottage Square Footage = 894 S.F.

Unit 'B'

Cottage Footprint = 535 S.F.  
Max Footprint = 900 S.F.  
535 S.F. < 900 S.F.  
Proposed Footprint < Max Footprint

Cottage Square Footage = 894 S.F.

Unit 'C'

Cottage Footprint = 535 S.F.  
Max Footprint = 900 S.F.  
535 S.F. < 900 S.F.  
Proposed Footprint < Max Footprint

Cottage Square Footage = 894 S.F.

Unit 'D'

Cottage Footprint = 492 S.F.  
Max Footprint = 900 S.F.  
492 S.F. < 900 S.F.  
Proposed Footprint < Max Footprint

Cottage Square Footage = 778 S.F.

Unit 'E'

Cottage Footprint = 492 S.F.  
Max Footprint = 900 S.F.  
492 S.F. < 900 S.F.  
Proposed Footprint < Max Footprint

Cottage Square Footage = 756 S.F.

Unit 'F'

Cottage Footprint = 492 S.F.  
Max Footprint = 900 S.F.  
492 S.F. < 900 S.F.  
Proposed Footprint < Max Footprint

Cottage Square Footage = 756 S.F.

Unit 'G'

Cottage Footprint = 492 S.F.  
Max Footprint = 900 S.F.  
492 S.F. < 900 S.F.  
Proposed Footprint < Max Footprint

Cottage Square Footage = 756 S.F.

Unit 'H'

Cottage Footprint = 492 S.F.  
Max Footprint = 900 S.F.  
492 S.F. < 900 S.F.  
Proposed Footprint < Max Footprint

Cottage Square Footage = 762 S.F.

Unit 'I'

Cottage Footprint = 492 S.F.  
Max Footprint = 900 S.F.  
492 S.F. < 900 S.F.  
Proposed Footprint < Max Footprint

Cottage Square Footage = 762 S.F.

Common Space

Area = 1,856 S.F.

Code Compliance

Minimum Area Between Unit = 6ft  
Average Unit Size = <1400 SF

Radon Control Methods

2021 Oregon Residential Specialty Code, Appendix F

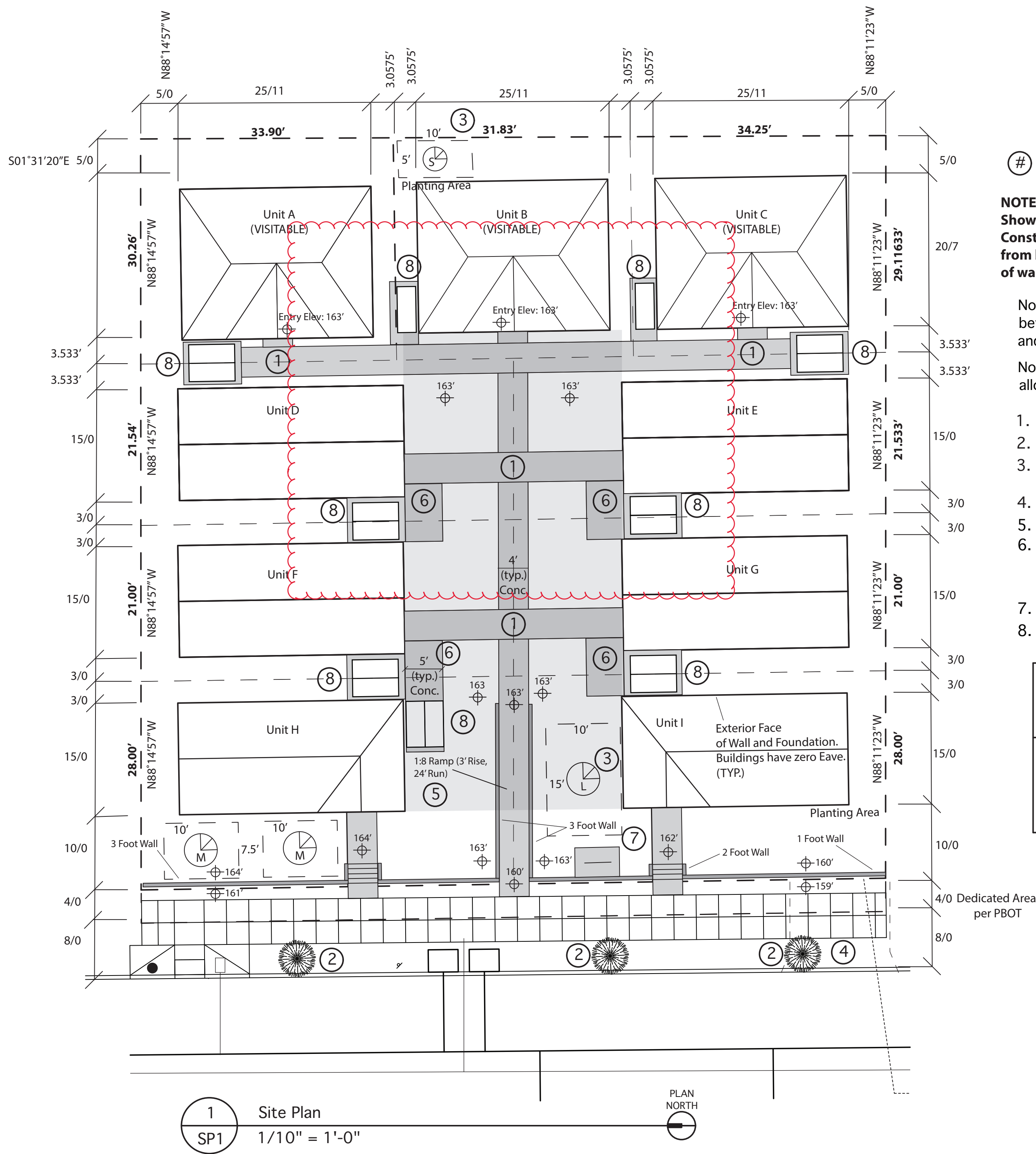
All new buildings shall have radon gas mitigation by one of the following methods:

☐ Crawl space (AF103.5):

☐ Mechanically ventilated; or  
☐ Passive sub-membrane depressurization system; or  
☐ Crawl space ventilation and building tightness

☒ Slab-on-grade (AF103.6):

☒ Passive depressurization system with AF103.2 compliant subfloor preparation under slab.



1 Site Plan  
SP1 1/10" = 1'-0"

TABLE N1101.1(2) – ADDITIONAL MEASURES	
<input type="checkbox"/>	<b>HIGH-EFFICIENCY HVAC SYSTEM*</b> a. Gas-fired furnace or boiler AFUE 94 percent, or b. Air-source heat pump HSPF 10.0/14.0 SEER cooling, or c. Ground-source heat pump COP 3.5 or Energy Star rated
<input checked="" type="checkbox"/>	<b>HIGH-EFFICIENCY WATER HEATING SYSTEM</b> a. Natural gas/propane water heater with minimum UEF 0.90, or b. Electric heat pump water heater with minimum 2.0 COP, or c. Natural gas/propane tankless/instantaneous heater with minimum 0.80 UEF and Drain Water Heat Recovery Unit installed on minimum of one shower/tub-shower
<input type="checkbox"/>	<b>WALL INSULATION UPGRADE</b> Exterior walls—U-0.045/R-21 conventional framing with R-5.0 continuous insulation
<input type="checkbox"/>	<b>ADVANCED ENVELOPE</b> Windows—U-0.21 (Area weighted average), and Flat ceiling <sup>b</sup> —U-0.017/R-60, and Framed floors—U-0.026/R-38 or slab edge insulation to F-0.48 or less (R-10 for 48"; R-15 for 36" or R-5 fully insulated slab)
<input type="checkbox"/>	<b>DUCTLESS HEAT PUMP</b> For dwelling units with all-electric heat, provide: Ductless heat pump of minimum HSPF 10 in primary zone replaces zonal electric heat sources, and programmable thermostat for all heaters in bedrooms
<input type="checkbox"/>	<b>HIGH EFFICIENCY THERMAL ENVELOPE UA<sup>c</sup></b> Proposed UA is 8 percent lower than the code UA
<input type="checkbox"/>	<b>GLAZING AREA</b> Glazing area, measured as the total of framed openings is less than 12 percent of conditioned floor area
<input type="checkbox"/>	<b>3 ACH AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION</b> Achieve a maximum of 3.0 ACH50 whole-house air leakage when third-party tested and provide a whole-house ventilation system including heat recovery with a minimum sensible heat recovery efficiency of not less than 66 percent.

# Notes:

**NOTE: All Retaining Walls Shown on Property to be Constructed as less than 48" from bottom of footing to top of wall.**

Note: Zero foot setback between outdoor easement and unit eave.

No overhang proposed or allowed. (All Units)

- Proposed 4ft-wide concrete walkways
- Proposed Street Trees (Maygar Ginkgo Biloba)
- Proposed On-Site Trees (Tree type: Small - Japanese Maple, Large - Redwood Coastal)
- 9ft wide curb cut to be closed
- 1:8 Slope ramp-up to visitable units
- 5ft wide walkway to (2) Long-term bike parking lockers  
See SP4 for details. Min 5-ft Menuevering area outside bike lockers.
- 4'x6' Short Term Bike Parking
- Long Term Bike Parking. See SP4

HVAC Note

"A balanced, whole-house ventilation system will be provided in accordance with M1505.4 for the new dwelling units. The code minimum CFM for this dwelling unit is 45 cfm

Plan Legend

Property Line

Common Area = 1,856 S.F.  
(Area within easement, outside front setback, no overhangs or structures) (29'x64')

Concrete Walkways

On-Site Trees:

Small (Japanese Maple)

Large (Redwood)

Medium (Pacific Dogwood)

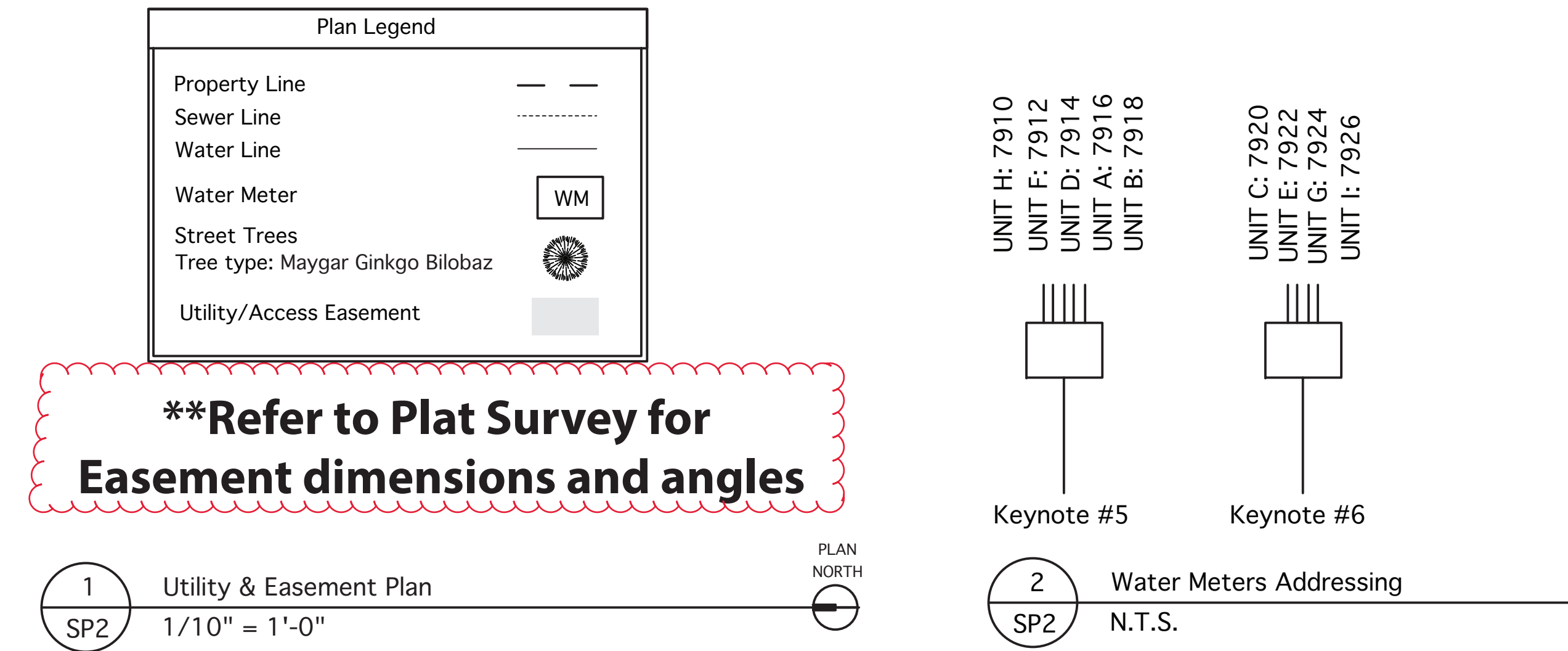
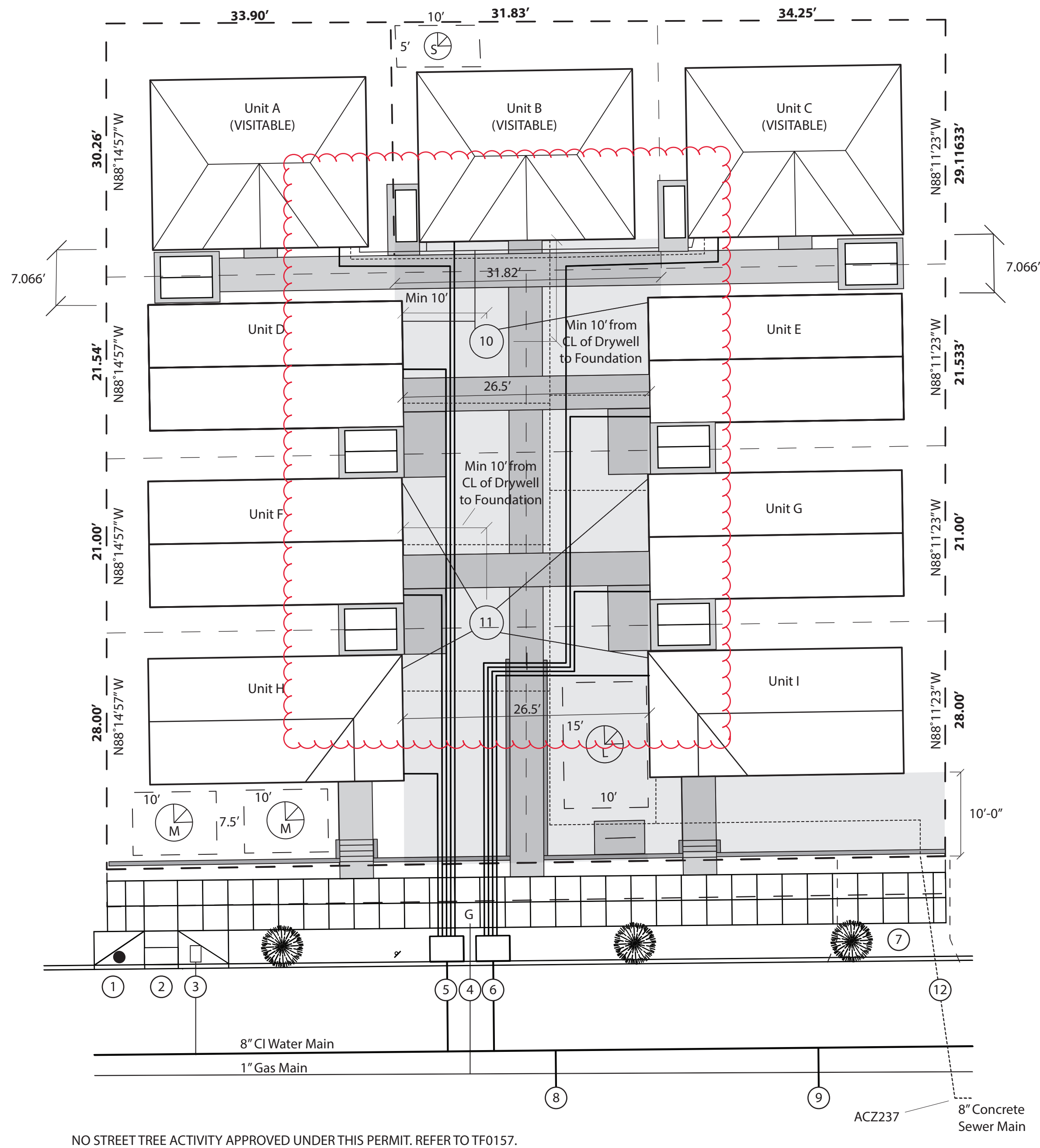
The visitable unit(s), Units A, B & C, must have an entrance that is accessible from the street lot line via a route with no stairs and a slope that does not exceed 1:8

The proposed lot lines and easements shown are for reference only and are not approved as part of this building permit. If the site is divided in the future through Middle Housing Land Division, lot lines and easements will be established through that review.

CONSTRUCTION DEWATERING NOT AUTHORIZED. IF REQUIRED:  
Batch Discharge Authorization permit is required for temporary discharges of groundwater or construction related storm water (channeled, collected and/or pumped) to the City's public sanitary or storm sewer system. If de-watering to a City sanitary or storm sewer system is necessary, pre-authorization must be obtained from the Bureau of Environmental Services at batchdischarge@portlandoregon.gov (or call 503-823-7026)

Proposed lot lines and easements shown are reference only and are not approved as part of this building permit. If the site is divided in the future through Middle Housing Land Division, lot lines and easements will be established through that review.

SUBMITTED  
10/09/2023



- # Notes:
- Utility pole to be protected per TF0157
  - ADA Ramp per TF0157
  - Existing WM to be killed (by PWB) per TF0157
  - Exisiting Gas line to be removed.
  - New WM Header Service. See P-786 on SP3 per TF0157
  - New WM Header Service. See P-786 on SP3 per TF0157
  - Remove existing curb cut.
  - Existing Water line serving property across 45th. See TF0157
  - Existing Water line serving property across 45th. See TF0157
  - Install **(Drywell #1)** 48"x5' Drywell for Units A, B, C & D. See SW-180. Drywell to be located a minimum of 10'-0" from Drywell centerline to foundation edge as shown on site plan, and a minimum 5'-0" from Drywell Centerline to property line. 6" ABS Storm Line connecting all downspouts to Drywell.
  - Install **(Drywell #2)** 48"x5' Drywell for Units E, F, G, H & I. See SW-180. Drywell to be located a minimum of 10'-0" from Drywell centerline to foundation edge as shown on site plan, and a minimum 5'-0" from Drywell Centerline to property line. 6" ABS Storm Line connecting all downspouts to Drywell.
  - Existing Sewer lateral to connect to all units via 6" PVC on property.

Utility Locations confirmed via 811 Utility locate. No utility lines interfere with proposed development.

Note: BES Approval Required Prior to Occupancy  
BES PRIVATE STORMWATER FACILITY INSPECTION REQUIRED  
Note: BES Approval Required Prior to Occupancy  
TO SCHEDULE, DIAL IVR at 503-823-7000  
REQUEST #487 BES ON-SITE STORMWATER FACILITY EVAL. NEED ASSISTANCE? CONTACT BES at 503-823-7761 Option 2

DRYWELL  
Note: Required Inspections Prior to Cover

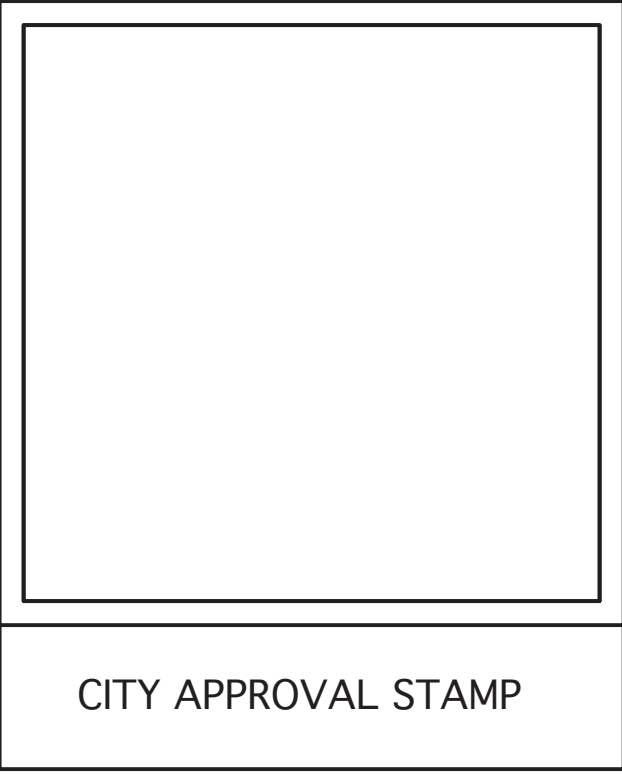
Inspection #1: Location, Size, Depth, Rock

SEPARATE BDS RESIDENTIAL INSPECTION REQUIRED FOR DOWNSPOUTS AND PRIVATE STORM SEWER PIPING OUTSIDE OF STORM FACILITY

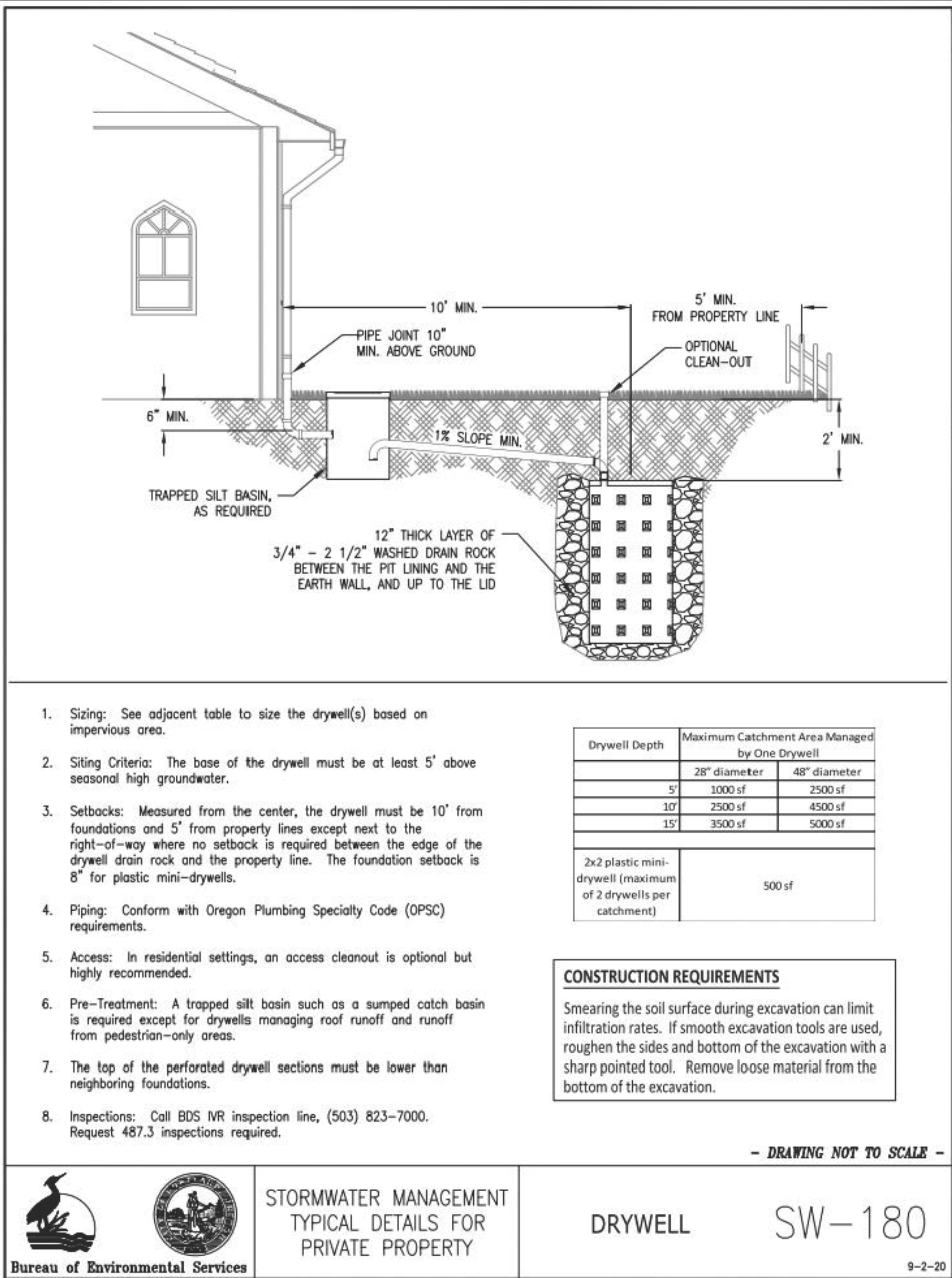
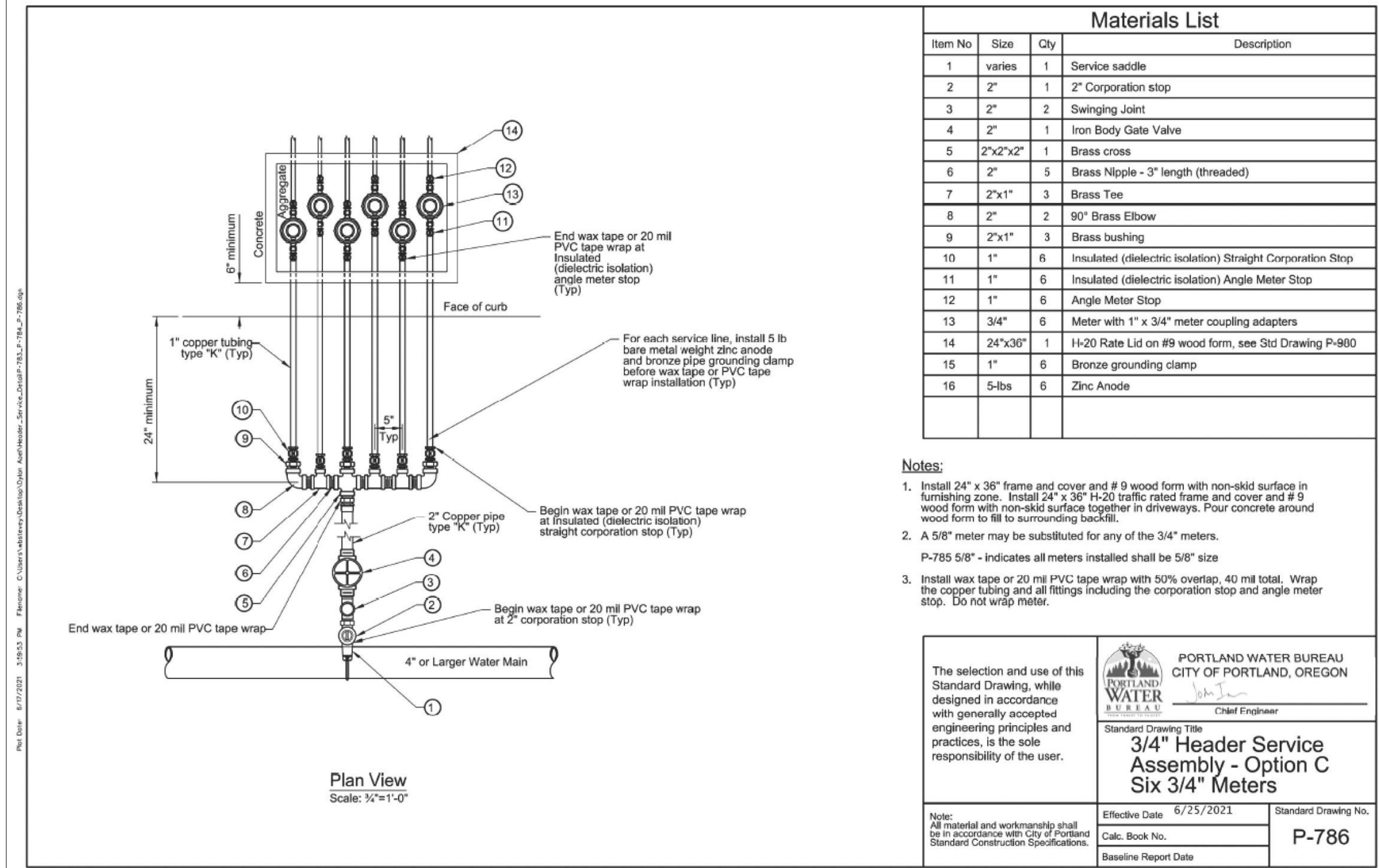
FOR WORK WORK IN THE PUBLIC RIGHT OF WAY, CALL 503-823-1026  
Email: URUCpermits@portlandoergon.gov  
Web: www.portland.gov & Search "UC"

There is no NW Natural Gas on this lot.

Impervious Area / Stormwater			
LOT 'A' Impervious Area	LOT 'B' Impervious Area	LOT 'E' Impervious Area	LOT 'F' Impervious Area
Proposed Walk-ways (Non-managed) = 0 S.F. Proposed Structure (Managed) = 535 S.F.	Proposed Walk-ways (Non-managed) = 0 S.F. Proposed Structure (Managed) = 535 S.F.	Proposed Walk-ways (Non-managed) = 0 S.F. Proposed Structure (Managed) = 492 S.F.	Proposed Walk-ways (Non-managed) = 0 S.F. Proposed Structure (Managed) = 492 S.F.
Total Proposed Impervious Area = 535 S.F.	Total Proposed Impervious Area = 535 S.F.	Total Proposed Impervious Area = 492 S.F.	Total Proposed Impervious Area = 492 S.F.
LOT 'C' Impervious Area	LOT 'D' Impervious Area	LOT 'G' Impervious Area	LOT 'H' Impervious Area
Proposed Walk-ways (Non-managed) = 0 S.F. Proposed Structure (Managed) = 535 S.F.	Proposed Walk-ways (Non-managed) = 0 S.F. Proposed Structure (Managed) = 492 S.F.	Proposed Walk-ways (Non-managed) = 0 S.F. Proposed Structure (Managed) = 492 S.F.	Proposed Walk-ways (Non-managed) = 40 S.F. Proposed Structure (Managed) = 492 S.F.
Total Proposed Impervious Area = 535 S.F.	Total Proposed Impervious Area = 492 S.F.	Total Proposed Impervious Area = 492 S.F.	Total Proposed Impervious Area = 492 S.F.
Total Impervious Area Drywell # 1 = 2,097 S.F.		Total Impervious Area Drywell # 2 = 2,460 S.F.	



P786: 3/4" Header service assembly—Option C (six 3/4" meters)

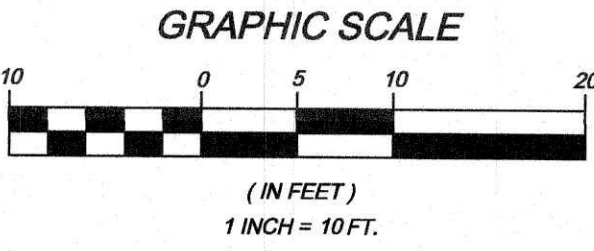
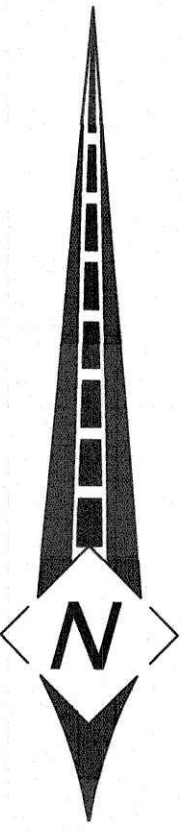




FORTY-FIFTH COMMONS

A REPLAT OF LOTS 18 AND 19, BLOCK 22, "ERROL HEIGHTS"  
LOCATED IN THE  
S.W. 1/4 SECTION 19, T.1S., R.2E., W.M.  
CITY OF PORTLAND, MULTNOMAH COUNTY, OREGON  
JULY 13, 2023 SCALE 1"=10'  
PLANNING FILE NO.  
SHEET 1 OF 2

PLAT BOOK PAGE



LEGEND:

- △ SET 5/8" x 30" IRON ROD W/ RED PLASTIC CAP MARKED "CENTERLINE CONCEPTS" ON 2023
- FOUND 5/8" IRON ROD W/ RED PLASTIC CAP MARKED "CENTERLINE CONCEPTS" FROM SN 68557
- ▲ FOUND 5/8" IRON ROD W/ YELLOW PLASTIC CAP MARKED "CENTERLINE CONCEPTS" FROM SN 68321
- ( ) = RECORD DISTANCES & BEARINGS
- IR = IRON ROD IP = IRON PIPE
- FD = FOUND W/ = WITH
- YPC = YELLOW PLASTIC CAP
- R/W = RIGHT OF WAY
- P/L = PROPERTY LINE
- S.F. = SQUARE FEET
- FBO = FOR THE BENEFIT OF
- PPAE = PRIVATE PEDESTRIAN ACCESS EASEMENT
- PSDE = PRIVATE STORM DRAINAGE EASEMENT
- PSSE = PRIVATE SANITARY SEWER EASEMENT
- PWLE = PRIVATE WATER LINE EASEMENT
- PUE = PUBLIC UTILITY EASEMENT
- DOC. NO. = DEED DOCUMENT NUMBER, MULTNOMAH COUNTY DEED RECORDS
- SN = SURVEY NUMBER, MULTNOMAH COUNTY SURVEY RECORDS
- S1 = SN 68557
- S2 = SN 68321

SIGNED ON: 17 JUL 23

REGISTERED  
PROFESSIONAL  
LAND SURVEYOR

OREGON  
JULY 13, 2004  
TOBY G. BOLDEN  
60377LS

RENEWALS: DECEMBER 31, 2023

I HEREBY CERTIFY THIS IS A TRUE AND EXACT  
COPY OF THE ORIGINAL SUBDIVISION PLAT

**CENTERLINE CONCEPTS**  
LAND SURVEYING, INC.  
19376 MOLALLA AVE., SUITE 120  
OREGON CITY, OREGON 97045  
PHONE 503.650.0188 FAX 503.650.0189

PLOTTED: M:\PROJECTS\KOVAL HOLDINGS-45TH AVE-SE-7904\DWG\SUB-C30.dwg

CITY APPROVAL STAMP

# EXISTING CONDITIONS MAP

LOTS 18 & 19, BLOCK 22, "ERROL HEIGHTS"  
LOCATED IN THE  
S.W. 1/4 SECTION 19, T.1S, R.2E., W.M.  
CITY OF PORTLAND, MULTNOMAH COUNTY, OREGON  
REVISED FEBRUARY 3, 2023 SCALE 1"=10'

## SURVEY NOTES:

THE VERTICAL DATUM FOR THIS SURVEY IS BASED UPON CITY OF PORTLAND BENCHMARK NO. 2728, BEING A STANDARD DISK LOCATED AT THE INTERSECTION OF SE 45TH AVENUE AND SE LEXINGTON STREET, ELEVATION BEING 160.876', COP DATUM.

A TRIMBLE S6-SERIES ROBOTIC INSTRUMENT WAS USED TO COMPLETE A CLOSED LOOP FIELD TRAVERSE.

THE BASIS OF BEARINGS FOR THIS SURVEY IS PER MONUMENTS FOUND AND HELD PER THE PLAT OF "ERROL HEIGHTS", RECORDS OF MULTNOMAH COUNTY.

THE PURPOSE OF THIS SURVEY IS TO RESOLVE AND DETERMINE THE PERIMETER BOUNDARY OF THE SUBJECT PROPERTY, TO SHOW ALL PERTINENT BOUNDARY ISSUES AND ENCROACHMENTS. NO PROPERTY CORNERS WERE SET IN THIS SURVEY.

NO WARRANTIES ARE MADE AS TO MATTERS OF UNWRITTEN TITLE, SUCH AS ADVERSE POSSESSION, ESTOPPEL, ACQUISITION, ETC.

NO TITLE REPORT WAS SUPPLIED OR USED IN THE PREPARATION OF THIS MAP.

## UTILITY NOTES:

THE UNDERGROUND UTILITIES AS SHOWN ON THIS MAP ARE SHOWN BASED ON A COMBINATION OF INFORMATION, INCLUDING VISIBLE ABOVE GROUND STRUCTURES, AVAILABLE AS BUILT AND GIS MAPPING FROM LOCAL JURISDICTIONS, AS WELL AS SURFACE MARKINGS BY ONE CALL TICKET NUMBER 22334927 DATED DECEMBER 3, 2022.

THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED.

THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. A STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY SURVEYOR.

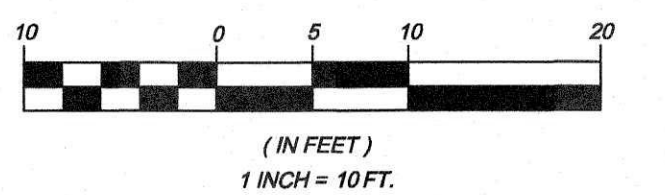
INVERT ELEVATIONS AND PIPE SIZES SHOWN ARE APPROXIMATE ONLY, BASED ON FIELD OBSERVATIONS AS WELL AS AVAILABLE AS-BUILT DATA. ALL PIPE SIZES SHALL BE FIELD VERIFIED BY THE OWNER, ENGINEER, CONTRACTOR, AND GOVERNING AGENCY PRIOR TO ANY CONSTRUCTION ACTIVITY. SURVEYOR DOES NOT WARRANT THE ACCURACY OF ANY PIPE SIZES SHOWN ON THIS SURVEY.

## LEGEND:

Some Symbols shown may not be used on map

12" DECIDUOUS TREE	SSP TRAFFIC SIGNAL POLE
24" EVERGREEN TREE	UTILITY POLE
DEAD TREE	LIGHT POLE
STORM SEWER MANHOLE	GUY WIRE
CATCH BASIN	ELECTRIC BOX
CURB INLET	ELECTRIC METER
AREA DRAIN	TRANSFORMER
DITCH INLET	ELECTRIC RISER
SANITARY SEWER CLEANOUT	HEAT PUMP
SANITARY SEWER MANHOLE	GATE POST
FIRE HYDRANT	CABLE TV BOX
WATER MANHOLE	CABLE TV RISER
WATER METER	OVERHEAD LINE
WATER VALVE	GAS LINE
HOSE BIB	ELECTRICAL LINE
IRRIGATION CONTROL VALVE	COMMUNICATIONS LINE
GAS VALVE	SANITARY SEWER LINE
GAS METER	STORM DRAIN LINE
MAILBOX	WATER LINE
UTILITY RISER	FENCE LINE
UTILITY BOX	HANDRAIL
TELEPHONE MANHOLE	ARBORVITAE ROW
TELEPHONE RISER	FD = FOUND
STORM OUTFALL	IP = IRON PIPE
SIGN	IR = IRON ROD
BOLLARD	YPC = YELLOW PLASTIC CAP
FOUND MONUMENT	ALC = ALUMINUM CAP
DOWN SPOUT TO STORM SYSTEM	RPC = RED PLASTIC CAP
DOWN SPOUT TO SPLASH GUARD OR GROUND W/ PIPE DIRECTION	
	CONCRETE SURFACE
	ASPHALT SURFACE

## GRAPHIC SCALE



SIGNED ON: 03 FEB 23

REGISTERED  
PROFESSIONAL  
LAND SURVEYOR

OREGON  
JULY 13, 2004  
TOBY C. BOLDEN  
60377LS

RENEW: DECEMBER 31, 2023



CENTERLINE CONCEPTS

LAND SURVEYING, INC.

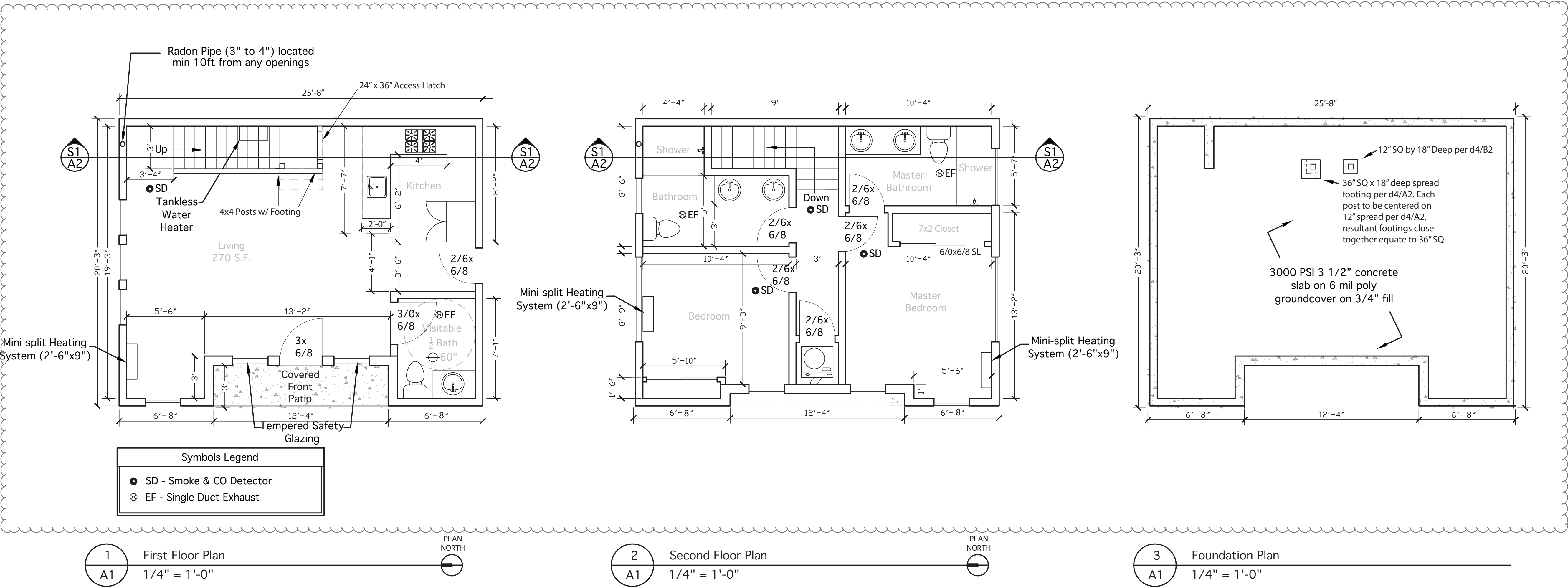
19376 MOLALLA AVE., SUITE 120  
OREGON CITY, OREGON 97045  
PHONE 503.650.0188 FAX 503.650.0189

New Sheet

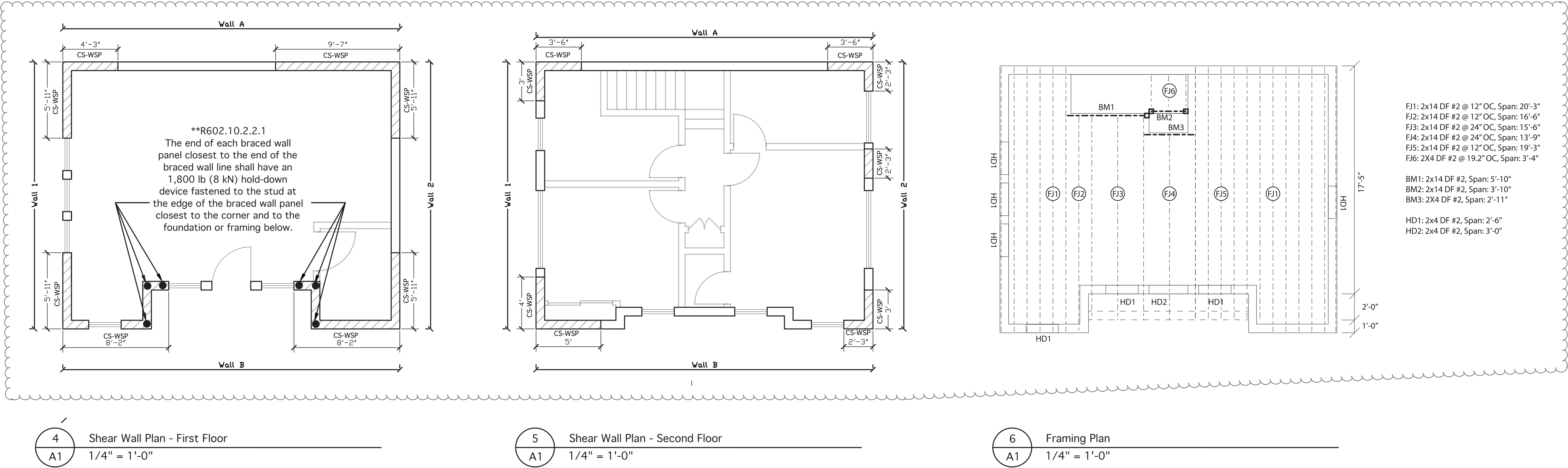
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SUBMITTED  
08/28/2023

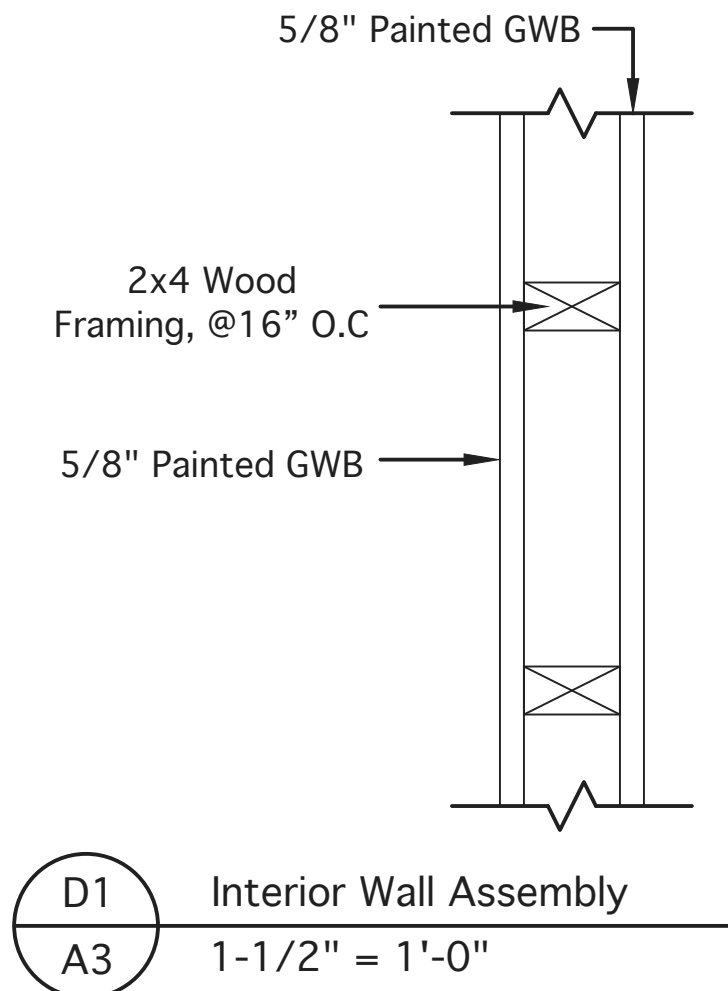
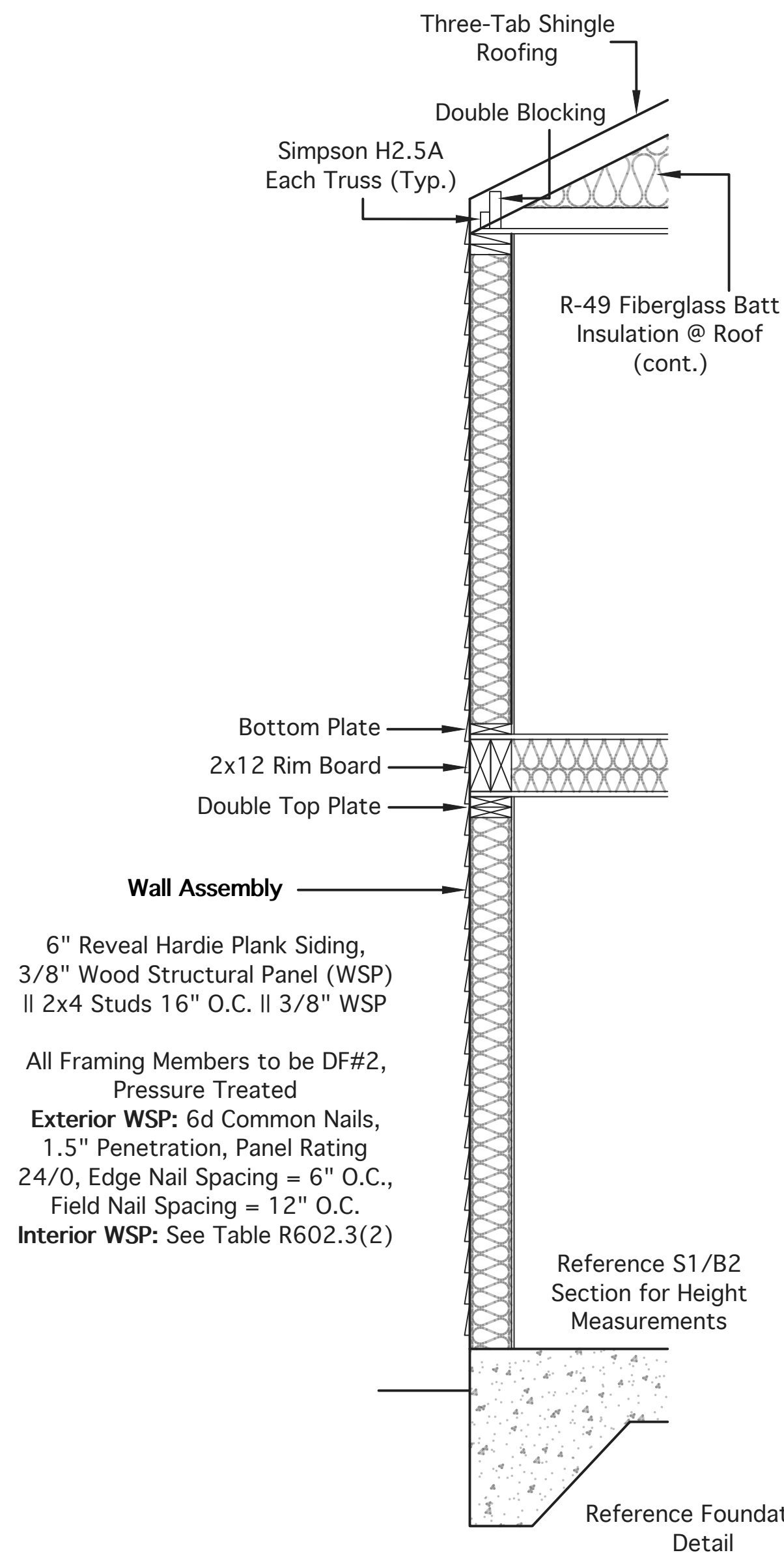
LU 23-090278 Exhibit A2



CITY APPROVAL STAMP







Bracing Method	Panel Thickness	Figure
CS-WSP Continuously sheathed wood structural panel	3/8"	

Fasteners	Spacing
Exterior sheathing per Table R602.3(3)	6" edges 12" field
Interior sheathing per Table R602.3(1) or R602.3(2)	Varies by fastener

D2

Bracing Detail - Per ORSC 2021 R602.10.4

A3

NTS

R307.1 Space Required

ILLUSTRATION

Fixtures shall be spaced in accordance with Figure R307.1, and in accordance with the requirements of the *Plumbing Code*.

For SI: 1 inch = 25.4 mm.

FIGURE R307.1

MINIMUM FIXTURE CLEARANCES (See the *Plumbing Code* for shower clearances)

R307.2 Bathtub and Shower Spaces

Bathtub and shower floors and walls above bathtubs with installed shower heads and in shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet (1829 mm) above the floor.

41/2" max

11/2" min

Handrail

Stairs

36" min

Handrail width not less than 1 1/4" not to exceed 2"

9" step run/ tread from nosing to nosing

8" max. step riser

nosing 1" overhang

LS50 hanger

Joist (see framing plan)

Stringer-To-Deck Connection Detail

SINGLE OR DOUBLE TOP PLATE

CUT PLATE TIED WITH 16 GAGE STEEL STRAP. SEE SECTION R602.6.1

STAGGER JOINTS 24 IN. OR USE SPLICE PLATES SEE SECTION R602.3.2

FIREBLOCK AROUND PIPE

WALL STUDS SEE SECTION R602.3

JACK STUDS OR TRIMMERS

HEADER—SEE TABLES R602.7(1) AND R602.7(2)

FULL-HEIGHT STUDS ADJACENT TO HEADER SEE SECTION R602.7.5

SOLID BLOCKING

FLOOR JOISTS

FOUNDATION CRIPPLE WALL—SEE SECTION R602.9

FOUNDATION WALL STUDS

ANCHOR BOLTS EMBEDDED IN FOUNDATION 6 FT. O.C. MAX.

1 IN. BY 4 IN. DIAGONAL BRACE LET INTO STUDS

CORNER AND PARTITION POSTS

APPLY APPROVED SHEATHING OR BRACE EXTERIOR WALLS WITH 1 IN. BY 4 IN. BRACES LET INTO STUDS AND PLATES AND EXTENDING FROM BOTTOM PLATE TO TOP PLATE, OR OTHER APPROVED METAL STRAP DEVICES INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. SEE SECTION R602.10.

NOTE: A THIRD STUD AND/OR PARTITION INTERSECTION BACKING STUDS SHALL BE PERMITTED TO BE OMITTED THROUGH THE USE OF WOOD BACKUP CLEATS, METAL DRYWALL CLIPS OR OTHER APPROVED DEVICES THAT WILL SERVE AS ADEQUATE BACKING FOR THE FACING MATERIALS.

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.

FIGURE R602.3(2)

FRAMING DETAILS

R602.11.1 - Plate washers, not less than 0.229 inch by 3 inches by 3 inches in size, shall be provided between the foundation sill plate and the nut. The hole in the plate washer is permitted to be diagonally slotted with a width of up to 3/16 inch (5 mm) larger than the bolt diameter and a slot length not to exceed 13/4 inches (44 mm), provided a standard cut washer is placed between the plate washer and the nut.

R403.1.6 - 1/2-inch-diameter (12.7 mm) anchor bolts spaced a maximum of 6 feet (1829 mm) on center. Bolts shall extend a minimum of 7 inches (178 mm) into concrete.

2X6 P.T. PLATE W/ SILL GASKET WITH 1/2-INCH DIAMETER X 10" ANCHOR BOLTS @ 6-FT O.C. BOLTS SHALL EXTEND A MINIMUM OF 7" INTO CONCRETE W/ 0.229"X3"X3" PLATE WASHERS

3 1/2" MIN CONCRETE SLAB PER SECTION R506.1

8" MIN

2" MIN

3" MIN

12"

18" MIN DEPTH BELOW GRADE FOR FROST PROTECTION

TYP - 12"THICK, MONO-POUR SLAB EDGE W/ #4 REBAR AT TOP WALL W/ #4 BARS @ 48" O.C. VERTICAL WITH HOOKS

Figure 110-14

Visitable Bathroom Clearances

Guardrail with vertical pattern

must not allow passage of a 4" sphere

must not allow passage of a 5" sphere

must not allow passage of a 6" sphere

36" min

34" min

Guardrail with horizontal pattern

must not allow passage of a 4" sphere

must not allow passage of a 5" sphere

must not allow passage of a 6" sphere

36" min

34" min

2X tread material

Stringers


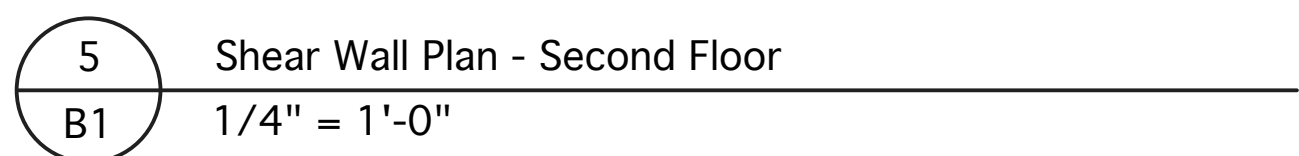
5" min.

Max. span = 8'-0" with (2) stringers

Max. span = 10'-3" with (3) stringers

Cut Stringer

CITY APPROVAL STAMP



# Design

by **Faster Permits**

22000 SW 1st Ave. Suite 420  
Portland, OR 97201  
OFFICE: 503-447-3400

45th Cottages  
7904 SE 45TH Ave. Portland, OR 97206

Koval SE 45th (7904) Cottages

JOB# R-100182

### REVISION LOG

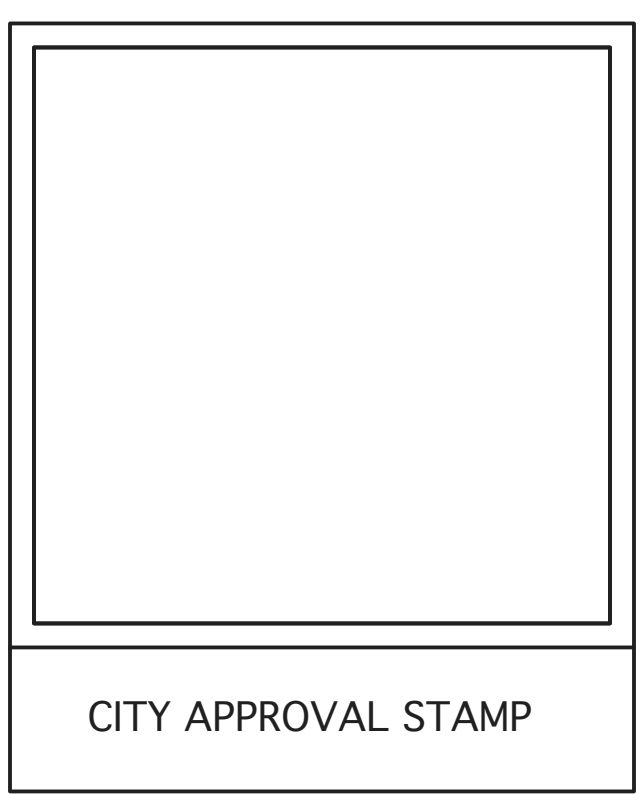
SHEET#

# B1

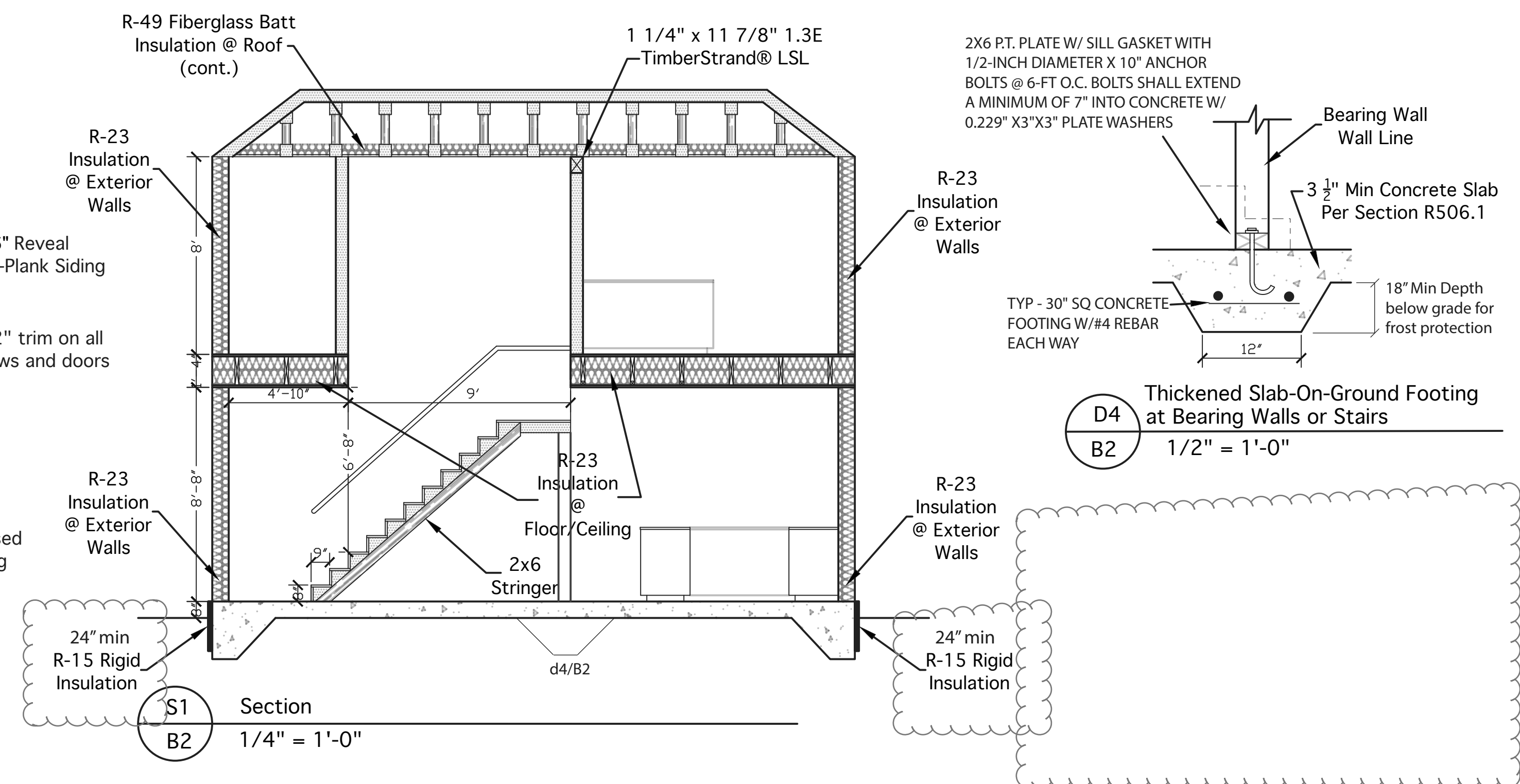
Unit 'B'  
Floor Plans

**SUBMITTED**  
08/28/2023

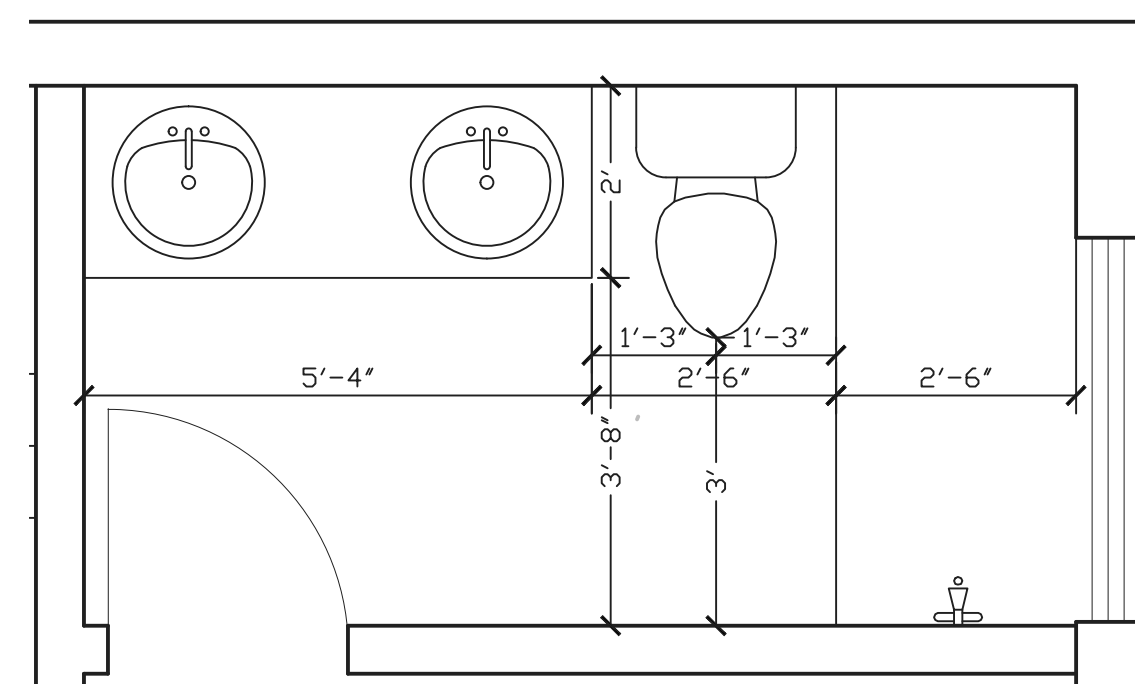
LU 23-090278 Exhibit A2



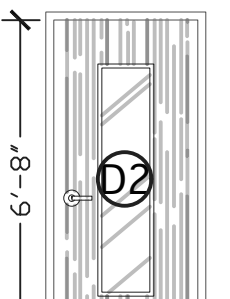
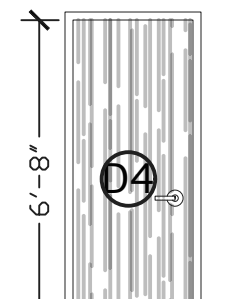

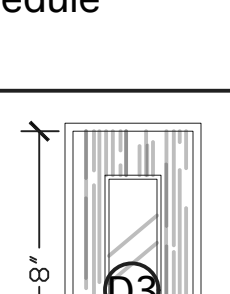
3	North Elevation
B2	1/4" = 1'-0"

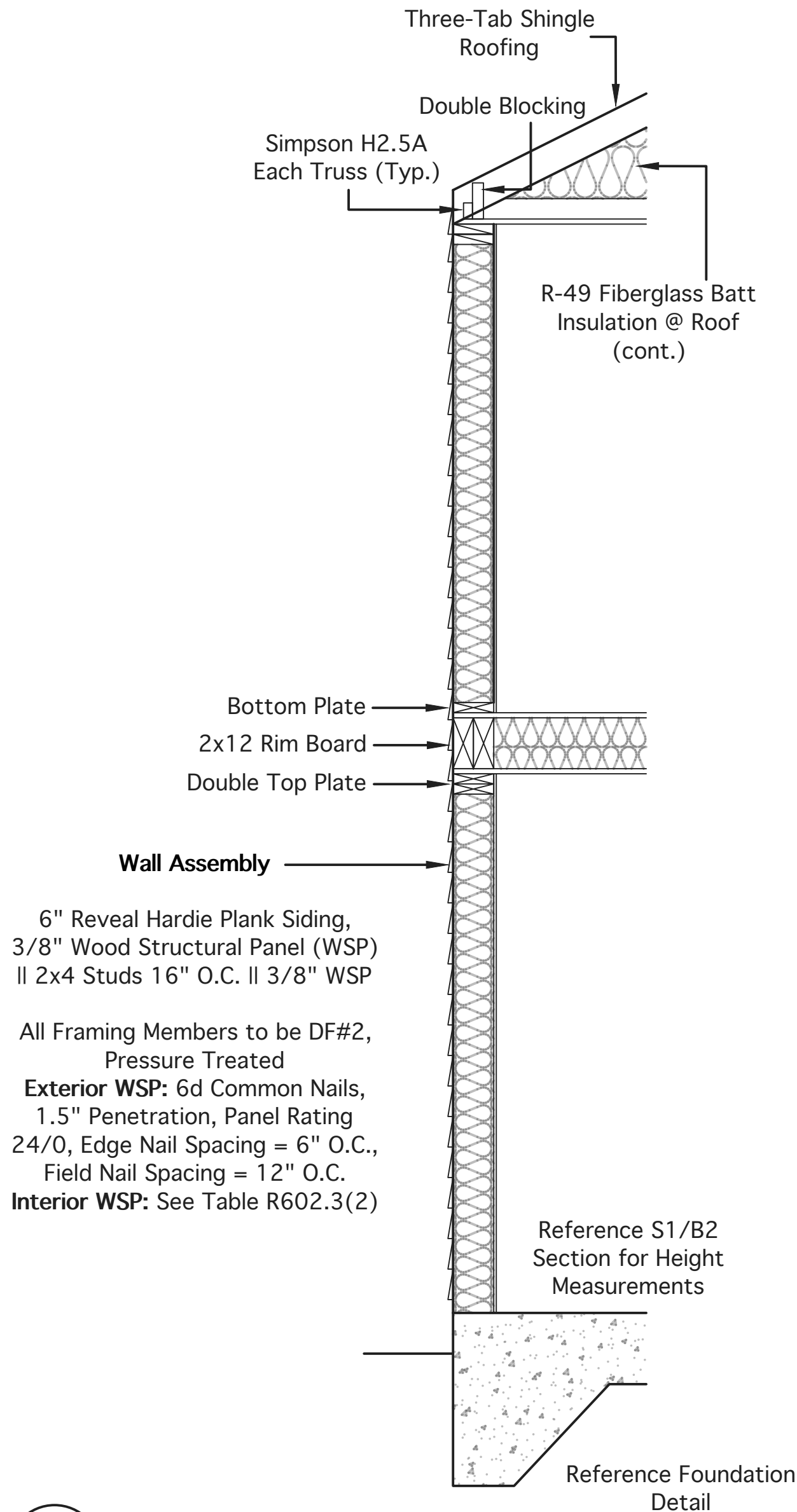


5	South Elevation
B2	1/4" = 1'-0"

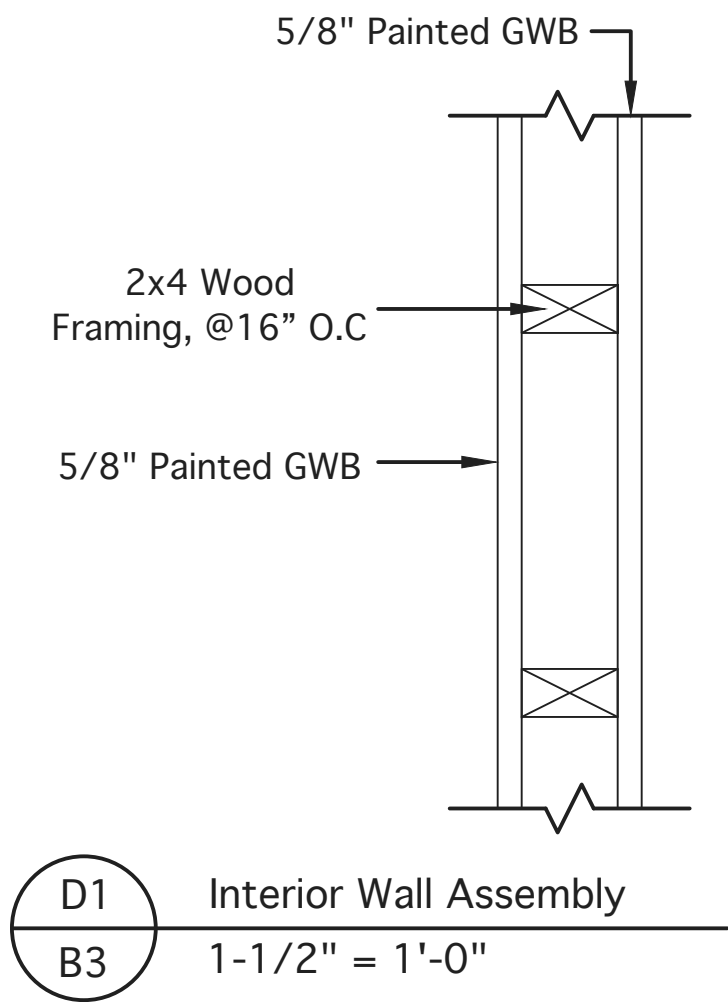


D3	Master Bathroom - Enlarged Floor Plan
B2	1/2" = 1'-0"

Door Schedule	
 <p>Diagram of door 02: A door with a height of 6'-8" and a width of 3'. It features a double-hung window with a small square handle on the left side.</p>	 <p>Diagram of door 03: A door with a height of 6'-8" and a width of 2'-6". It features a double-hung window with a small square handle on the right side.</p>
 <p>Diagram of door 04: A door with a height of 6'-8" and a width of 3'. It features a double-hung window with a small square handle on the left side.</p>	 <p>Diagram of door 05: A door with a height of 6'-8" and a width of 2'-6". It features a double-hung window with a small square handle on the right side.</p>



S1 Wall Section  
B3 1/4" = 1'-0"



D1 Interior Wall Assembly  
B3 1-1/2" = 1'-0"

Bracing Method	Panel Thickness	Figure
CS-WSP Continuously sheathed wood structural panel	3/8"	

Fasteners	Spacing
Exterior sheathing per Table R602.3(3)	6" edges 12" field
Interior sheathing per Table R602.3(1) or R602.3(2)	Varies by fastener

D2	Bracing Detail - Per ORSC 2021 R602.10.4
B3	NTS

**R307.1 Space Required**

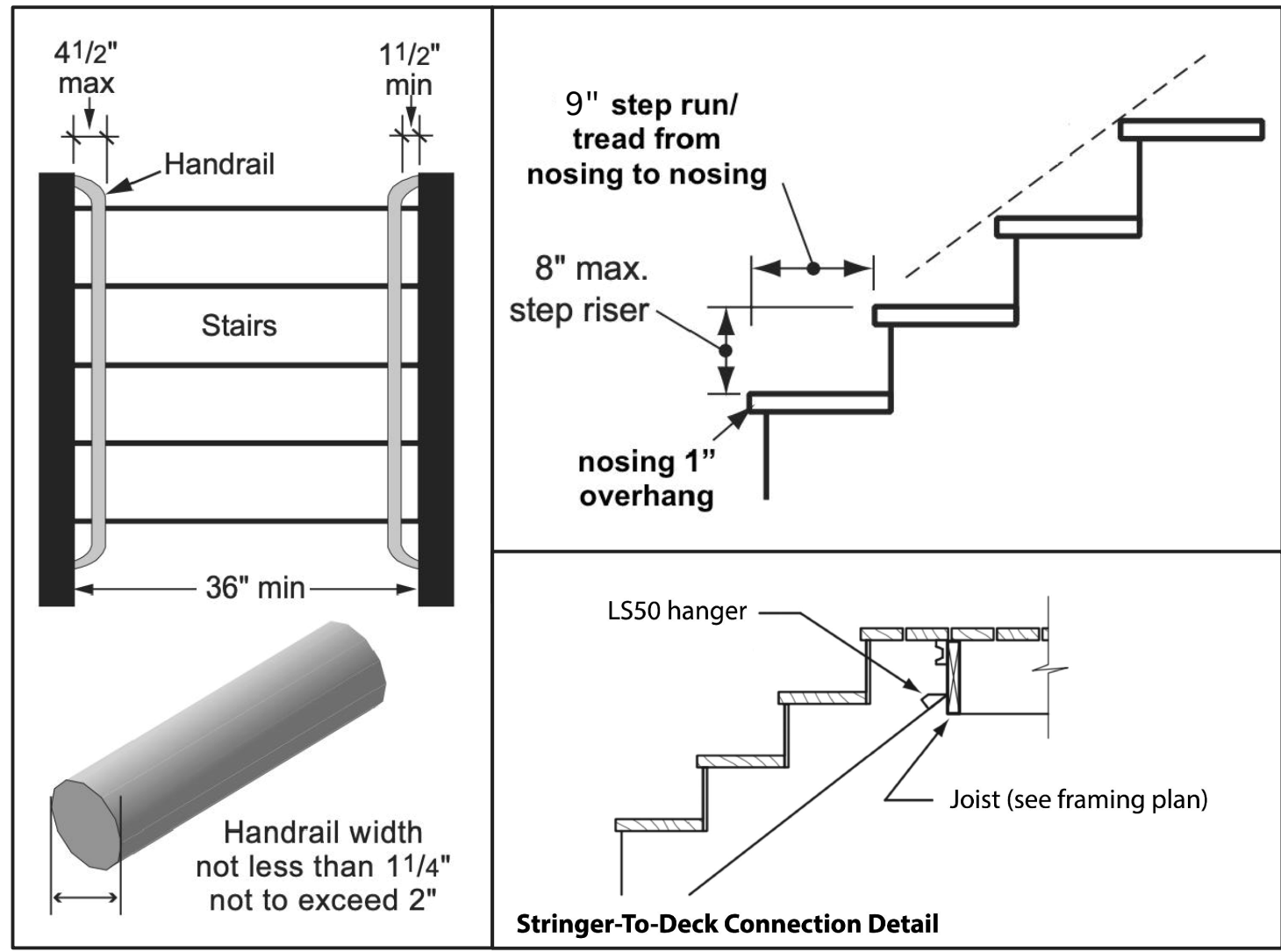
Fixtures shall be spaced in accordance with Figure R307.1, and in accordance with the requirements of the *Plumbing Code*.

For SI: 1 inch = 25.4 mm.

**FIGURE R307.1**  
MINIMUM FIXTURE CLEARANCES (See the *Plumbing Code* for shower clearances)

**R307.2 Bathtub and Shower Spaces**

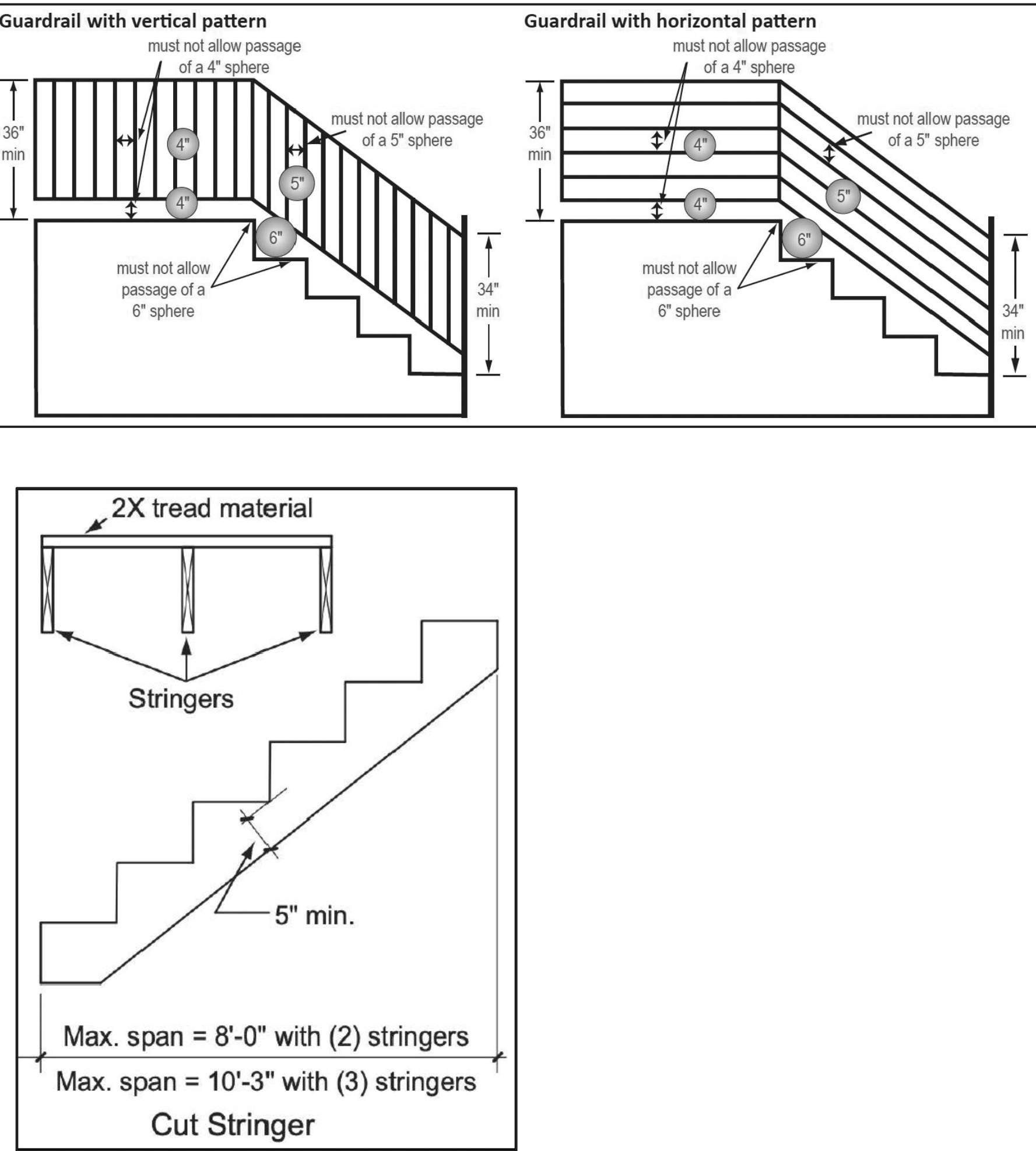
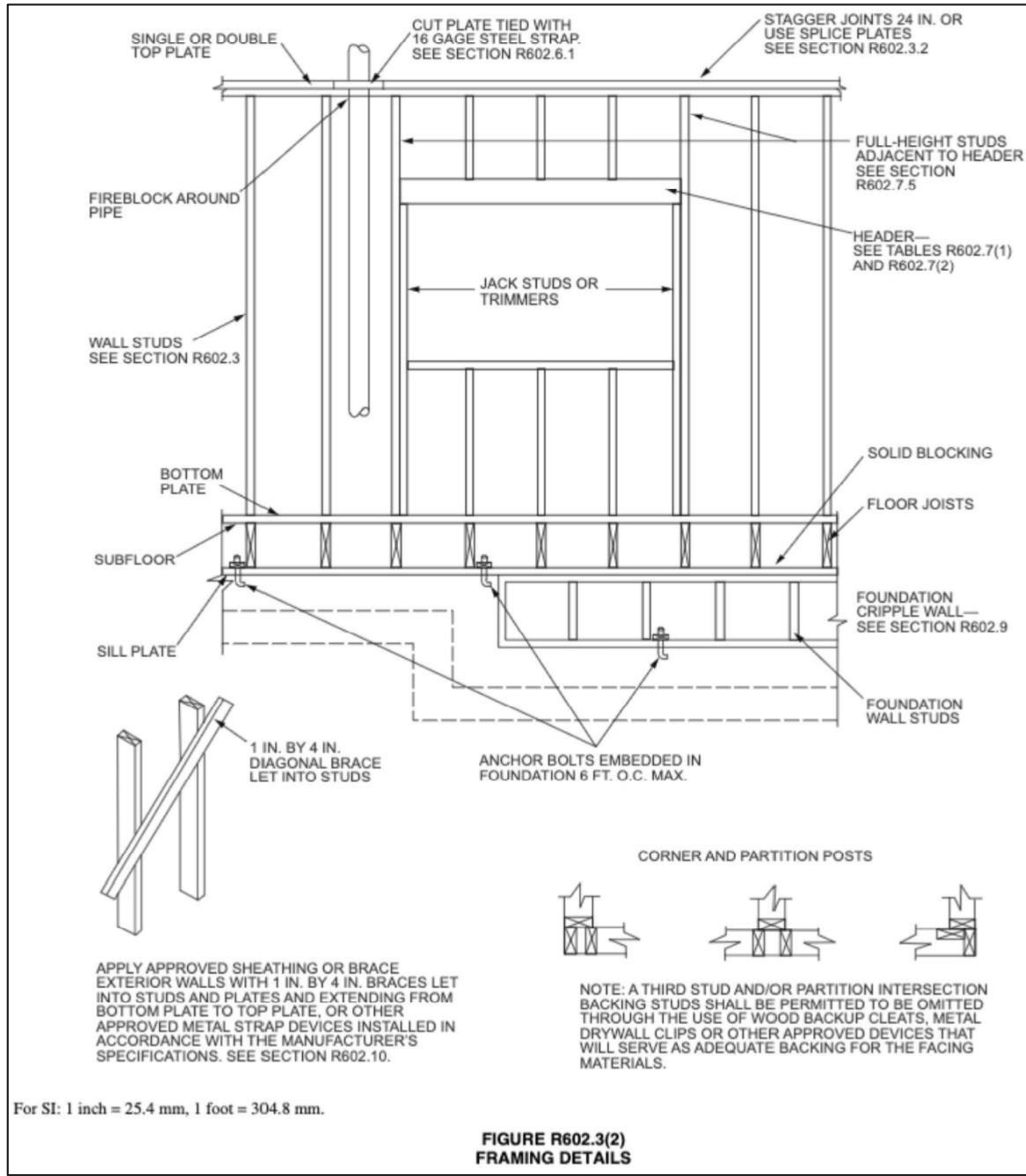
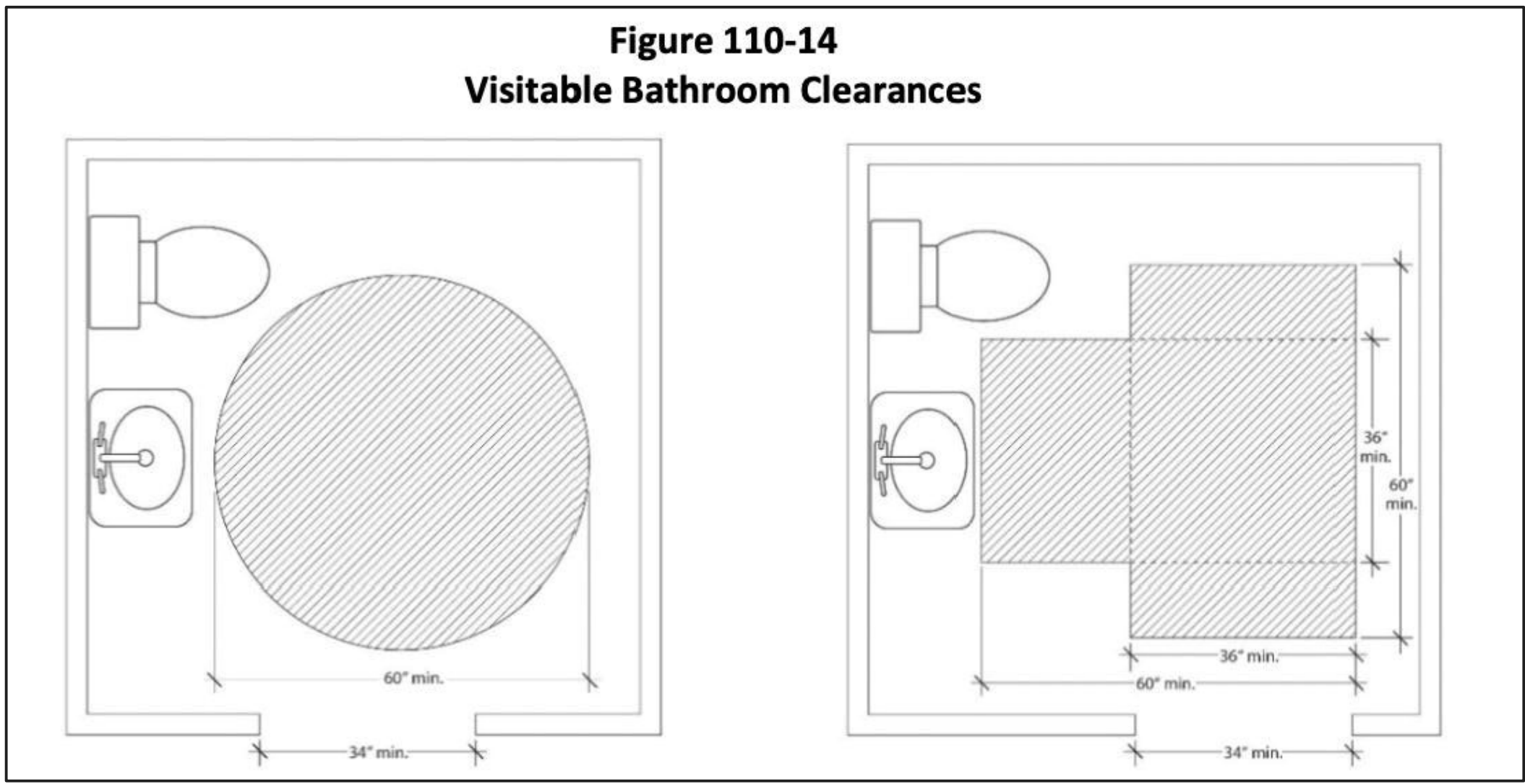
Bathtub and shower floors and walls above bathtubs with installed shower heads and in shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet (1829 mm) above the floor.

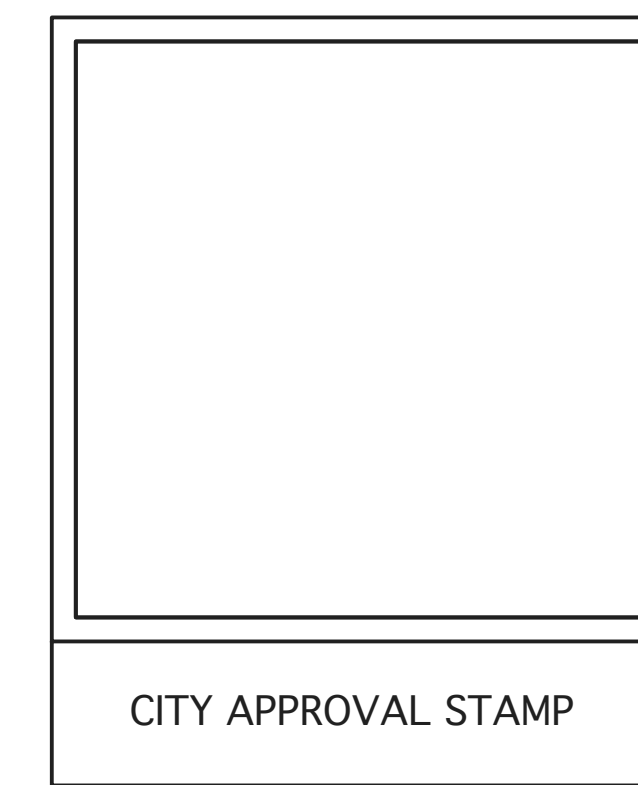
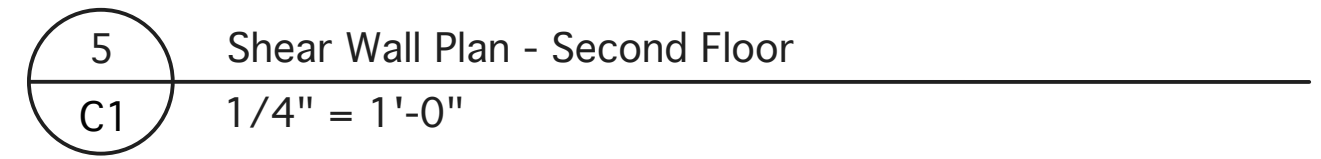
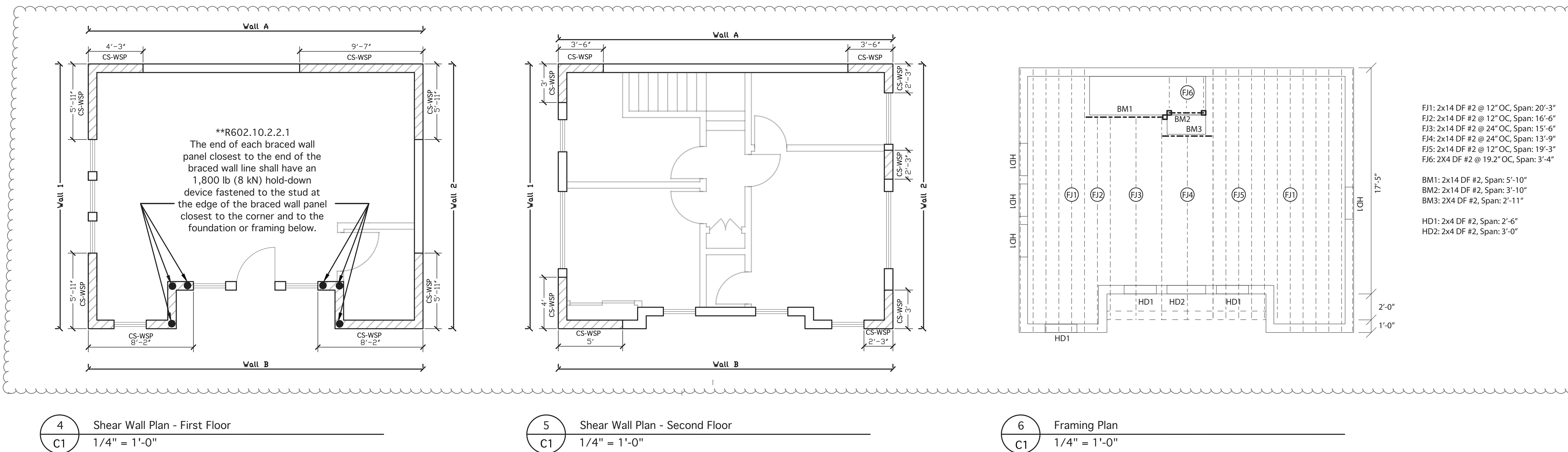
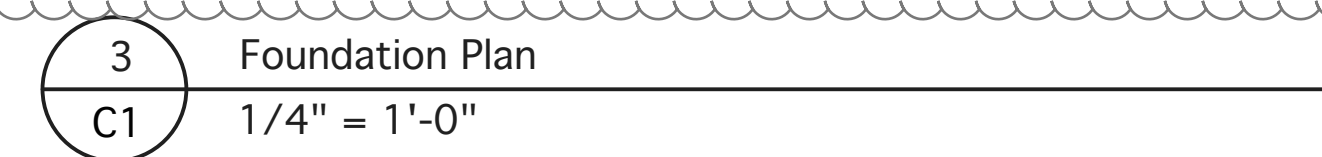
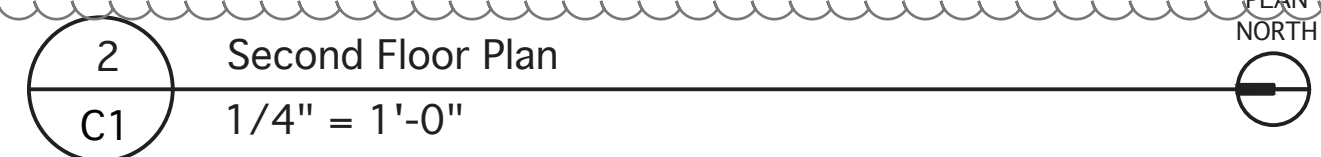
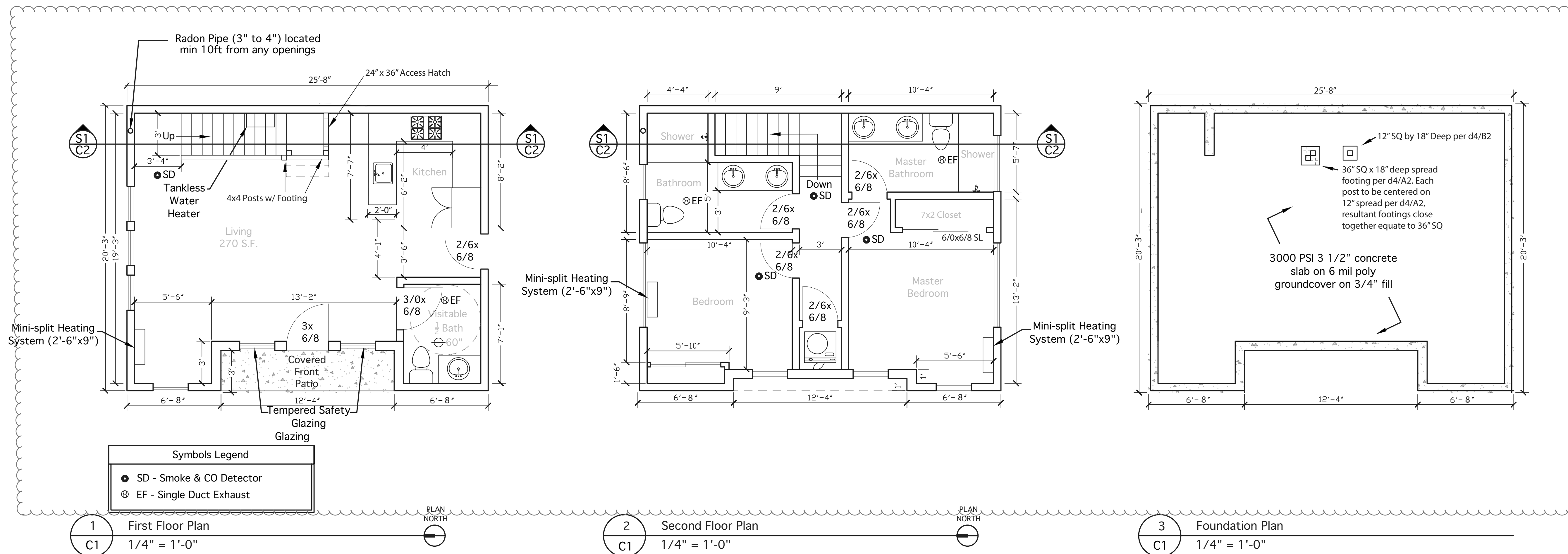


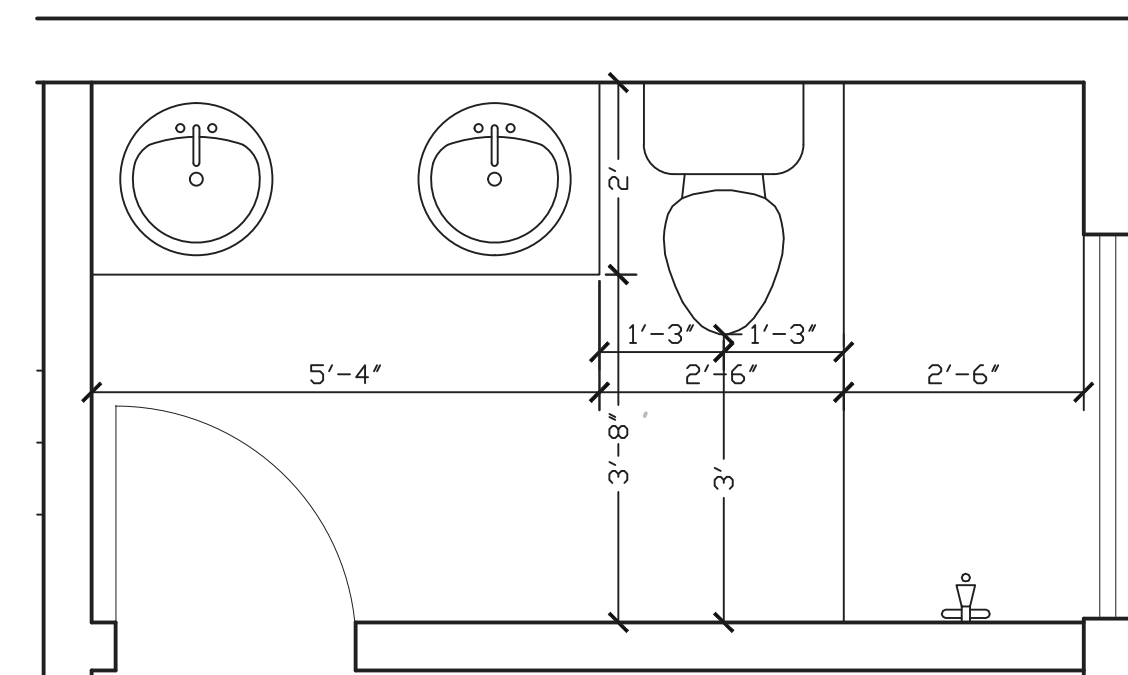
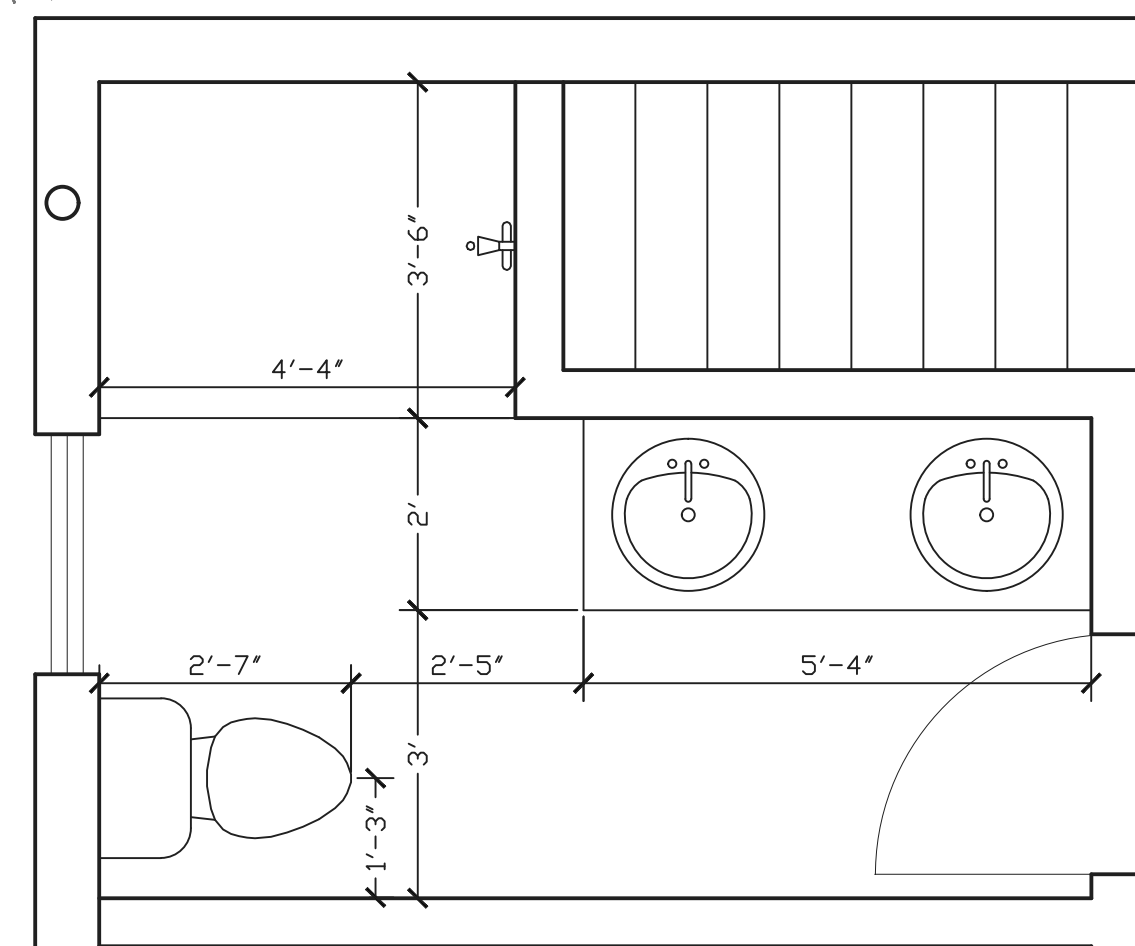
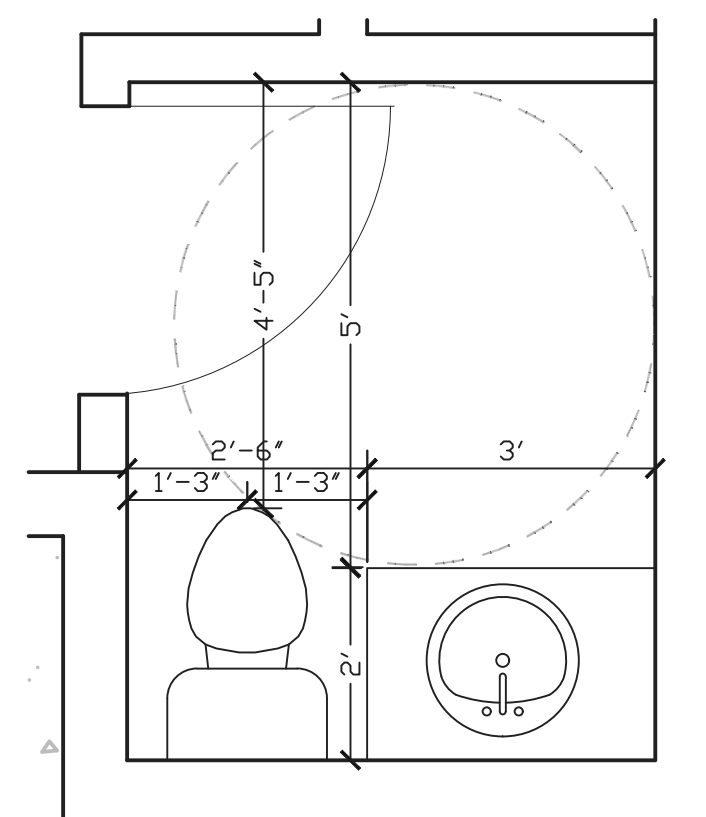
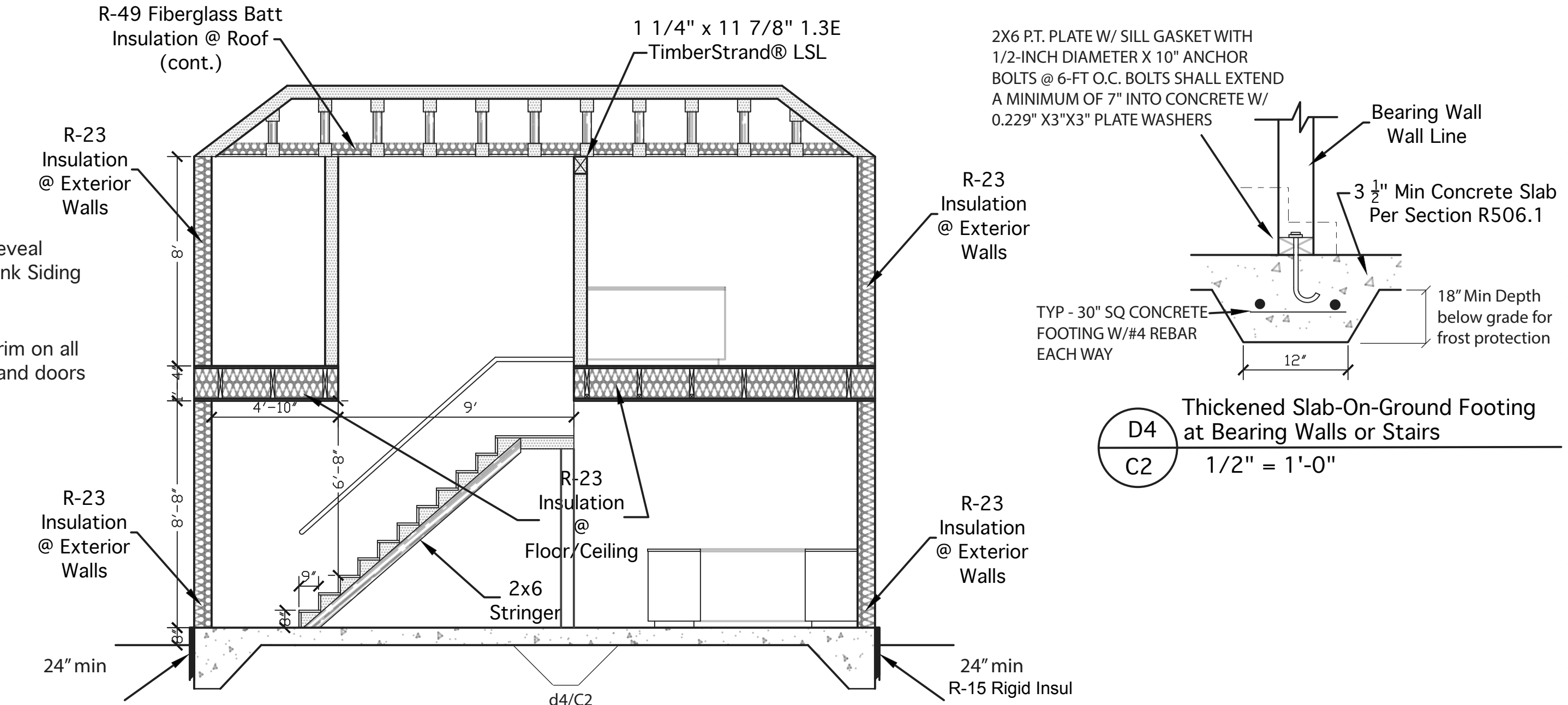
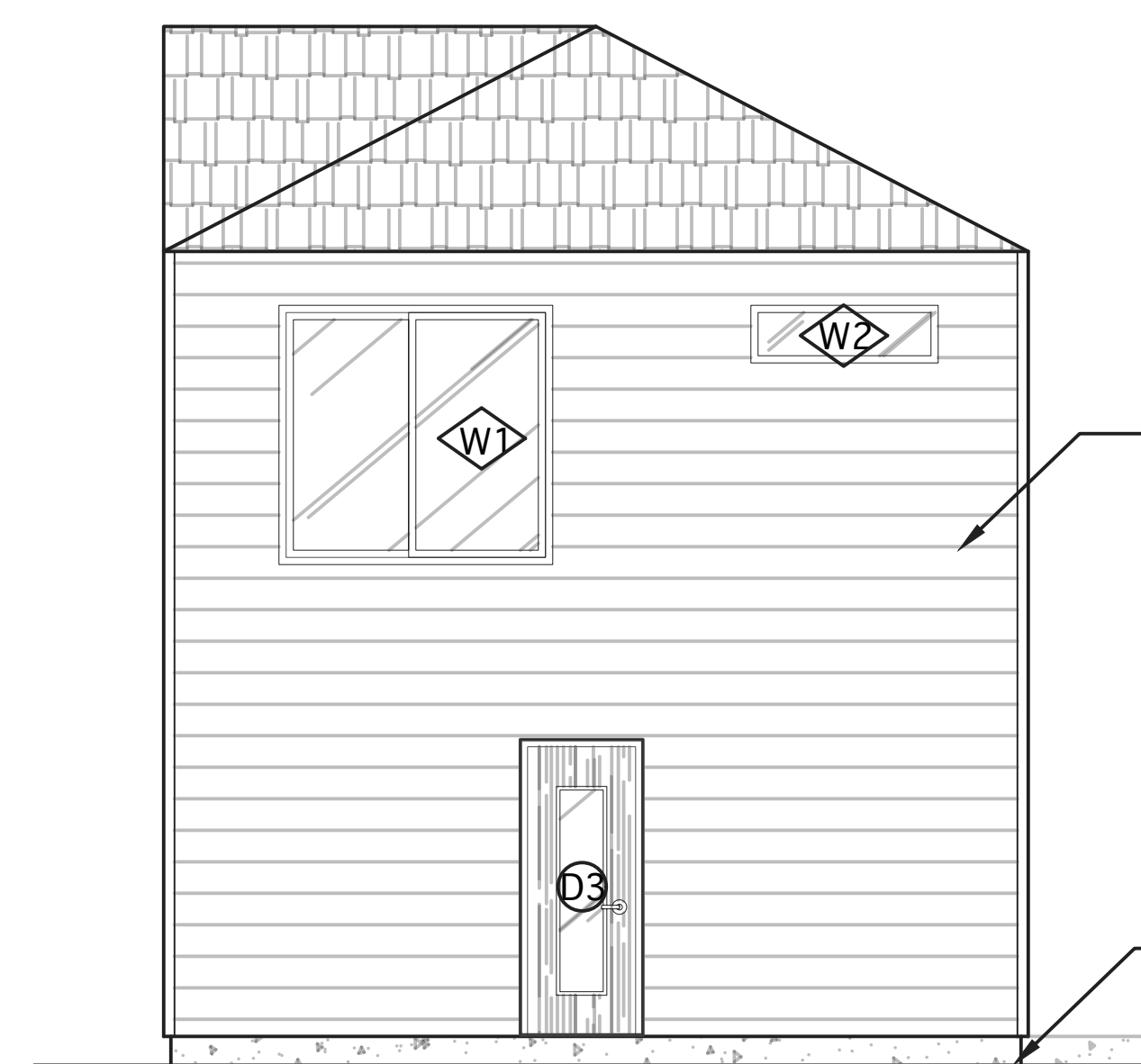
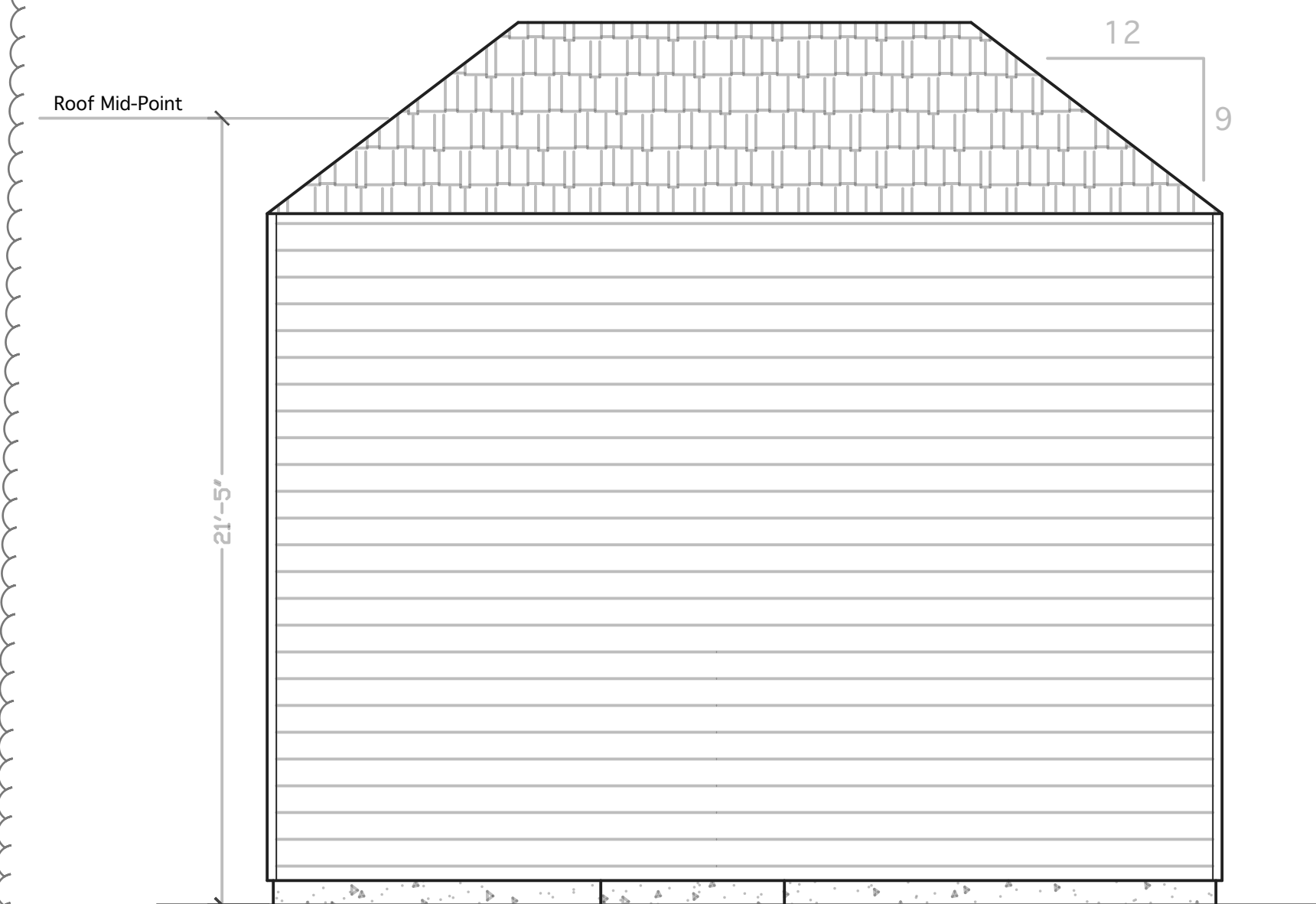
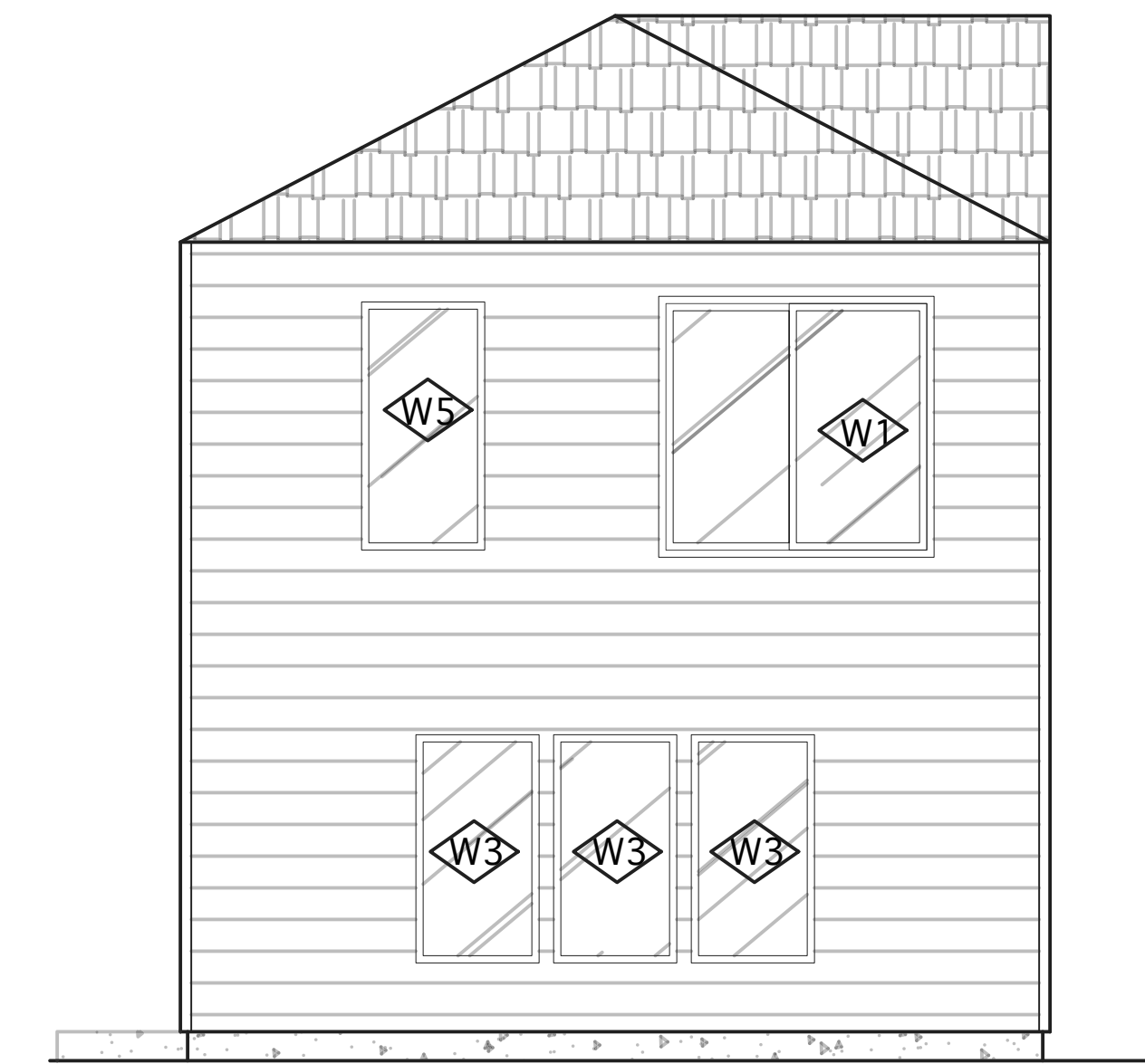
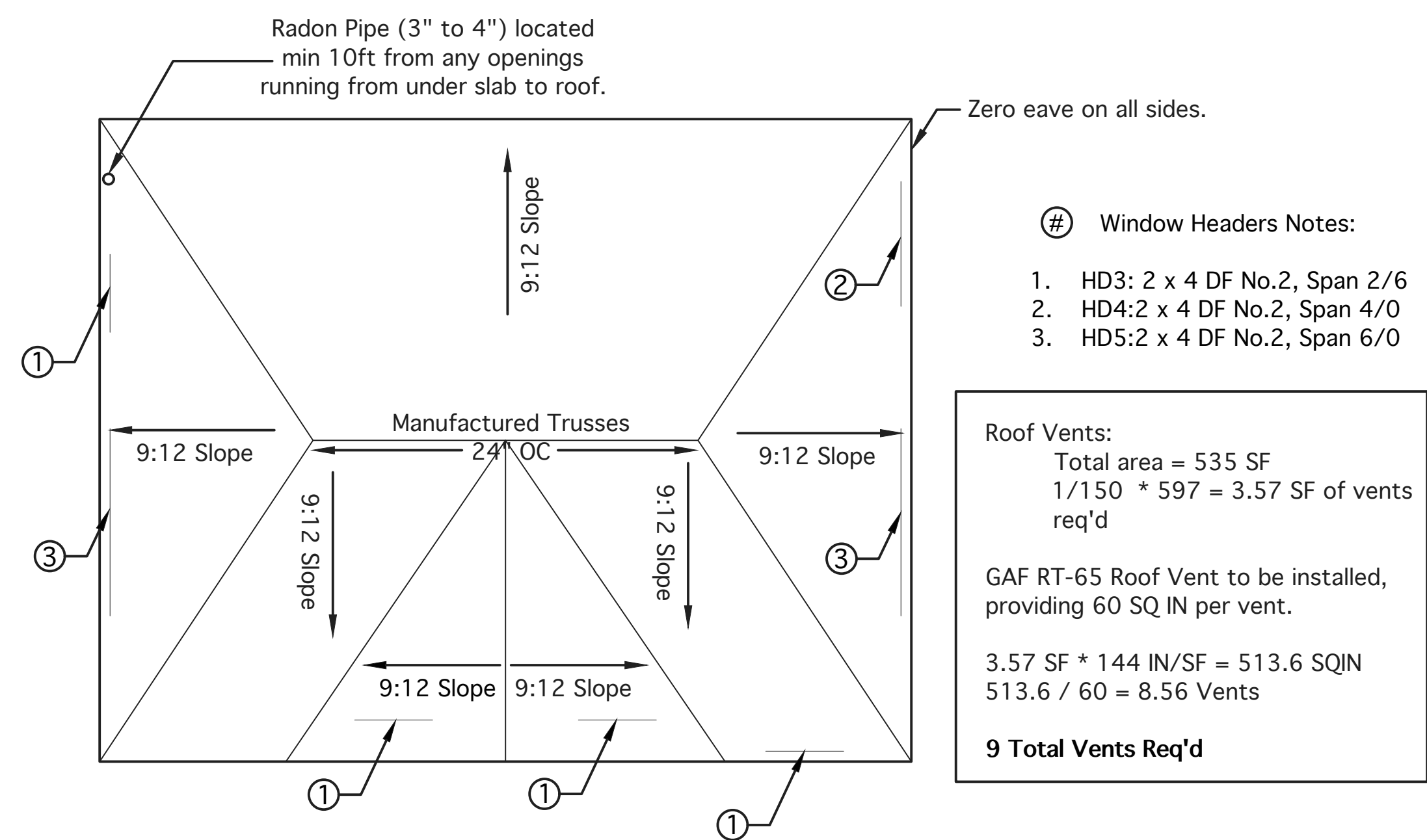
R602.11.1 - Plate washers, not less than 0.229 inch by 3 inches by 3 inches in size, shall be provided between the foundation sill plate and the nut. The hole in the plate washer is permitted to be diagonally slotted with a width of up to 3/16 inch (5 mm) larger than the bolt diameter and a slot length not to exceed 13/4 inches (44 mm), provided a standard cut washer is placed between the plate washer and the nut.

R403.1.6 - 1/2-inch-diameter (12.7 mm) anchor bolts spaced a maximum of 6 feet (1829 mm) on center. Bolts shall extend a minimum of 7 inches (178 mm) into concrete.

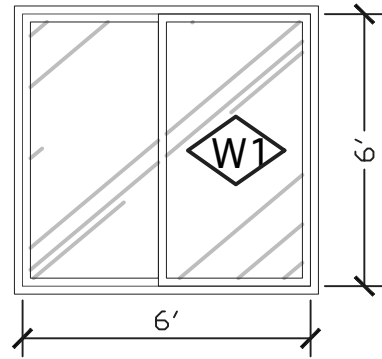
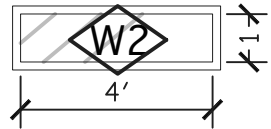
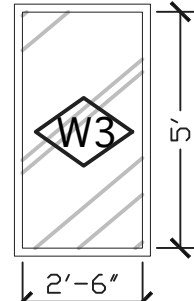
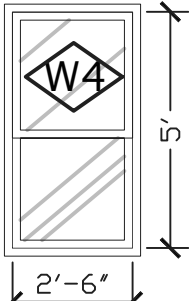
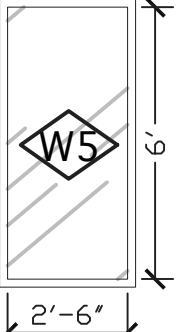
2X6 P.T. PLATE W/ SILL GASKET WITH 1/2-INCH DIAMETER X 10" ANCHOR BOLTS @ 6-FT O.C. BOLTS SHALL EXTEND A MINIMUM OF 7" INTO CONCRETE W/ 0.229" X3" X3" PLATE WASHERS  
3 1/2" MIN CONCRETE SLAB PER SECTION R506.1  
TYP - 12" THICK, MONO-POUR SLAB EDGE W/ #4 REBAR AT TOP WALL W/ #4 BARS @ 48" O.C. VERTICAL WITH HOOKS  
8" MIN  
18" MIN DEPTH BELOW GRADE FOR FROST PROTECTION  
2" MIN  
3" MIN  
12"





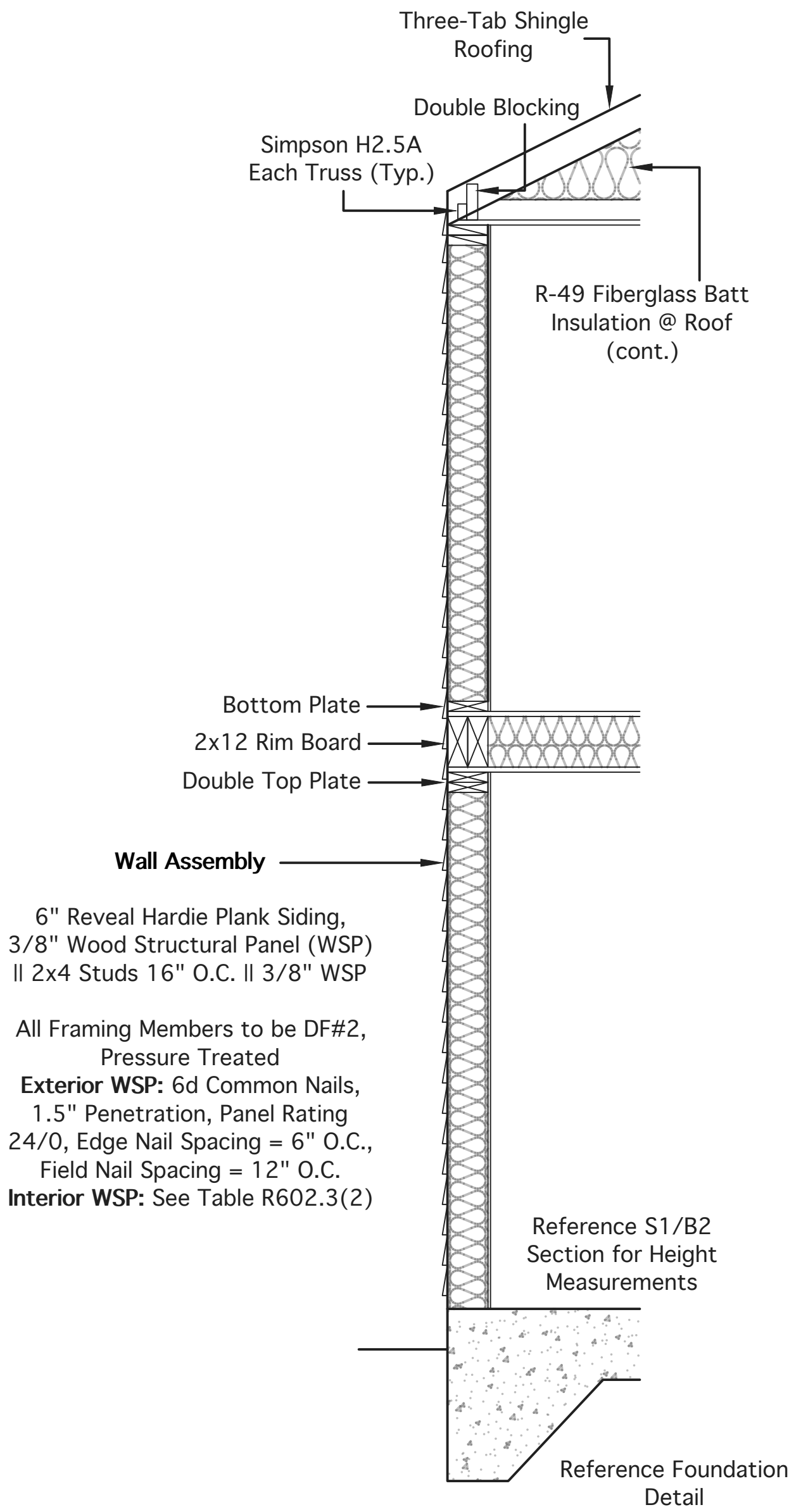


### Window Schedule

 <p>Sill Height = 2'</p>	 <p>Sill Height = 5'</p> <div style="border: 1px solid black; border-radius: 50%; height: 100px; width: 100%; margin-top: 20px;"></div>	
 <p>Sill Height = 2'</p>	 <p>Sill Height = 2'</p>	 <p>Sill Height = 2'</p>

Door Schedule	

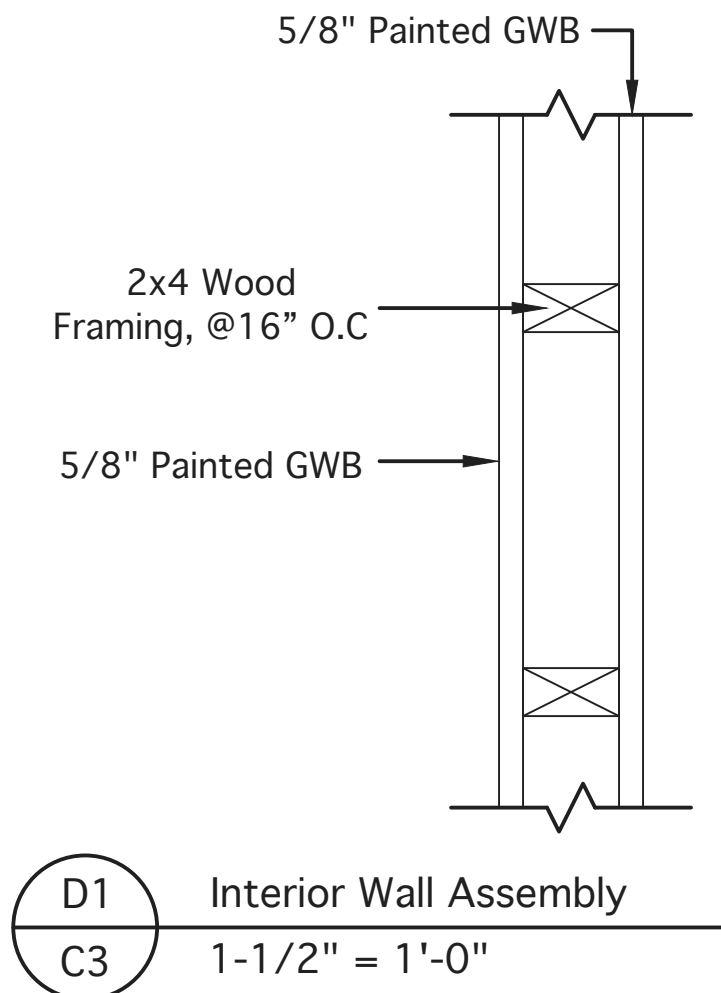
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6" Reveal Hardie Plank Siding,  
3/8" Wood Structural Panel (WSP)  
|| 2x4 Studs 16" O.C. || 3/8" WSP

All Framing Members to be DF#2,  
Pressure Treated

Exterior WSP: 6d Common Nails,  
1.5" Penetration, Panel Rating  
24/0, Edge Nail Spacing = 6" O.C.,  
Field Nail Spacing = 12" O.C.,  
Interior WSP: See Table R602.3(2)



D1 Interior Wall Assembly  
C3 1'-1 1/2" = 1'-0"

S1 Wall Section  
C3 1/4" = 1'-0"

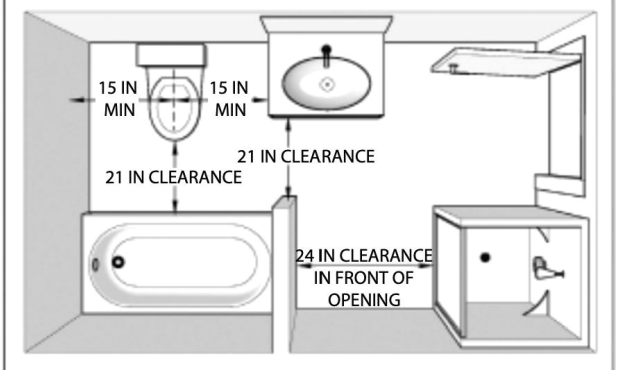
Bracing Method	Panel Thickness	Figure
CS-WSP Continuously sheathed wood structural panel	3/8"	

Fasteners	Spacing
Exterior sheathing per Table R602.3(3)	6" edges 12" field
Interior sheathing per Table R602.3(1) or R602.3(2)	Varies by fastener

D2 Bracing Detail - Per ORSC 2021 R602.10.4  
C3 NTS

### R307.1 Space Required

Fixtures shall be spaced in accordance with Figure R307.1, and in accordance with the requirements of the *Plumbing Code*.



For SI: 1 inch = 25.4 mm.

FIGURE R307.1

MINIMUM FIXTURE CLEARANCES (See the *Plumbing Code* for shower clearances)

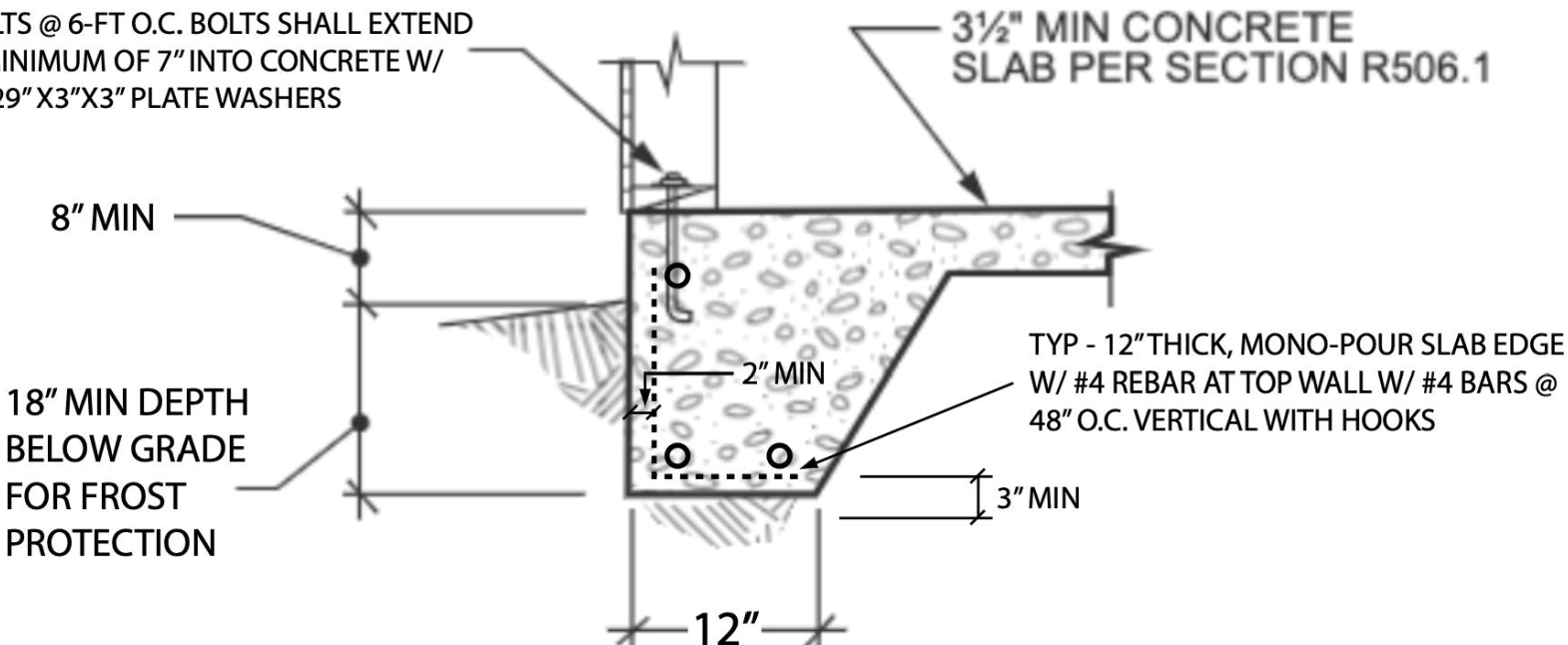
### R307.2 Bathtub and Shower Spaces

Bathtub and shower floors and walls above bathtubs with installed shower heads and in shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet (1829 mm) above the floor.

### ILLUSTRATION

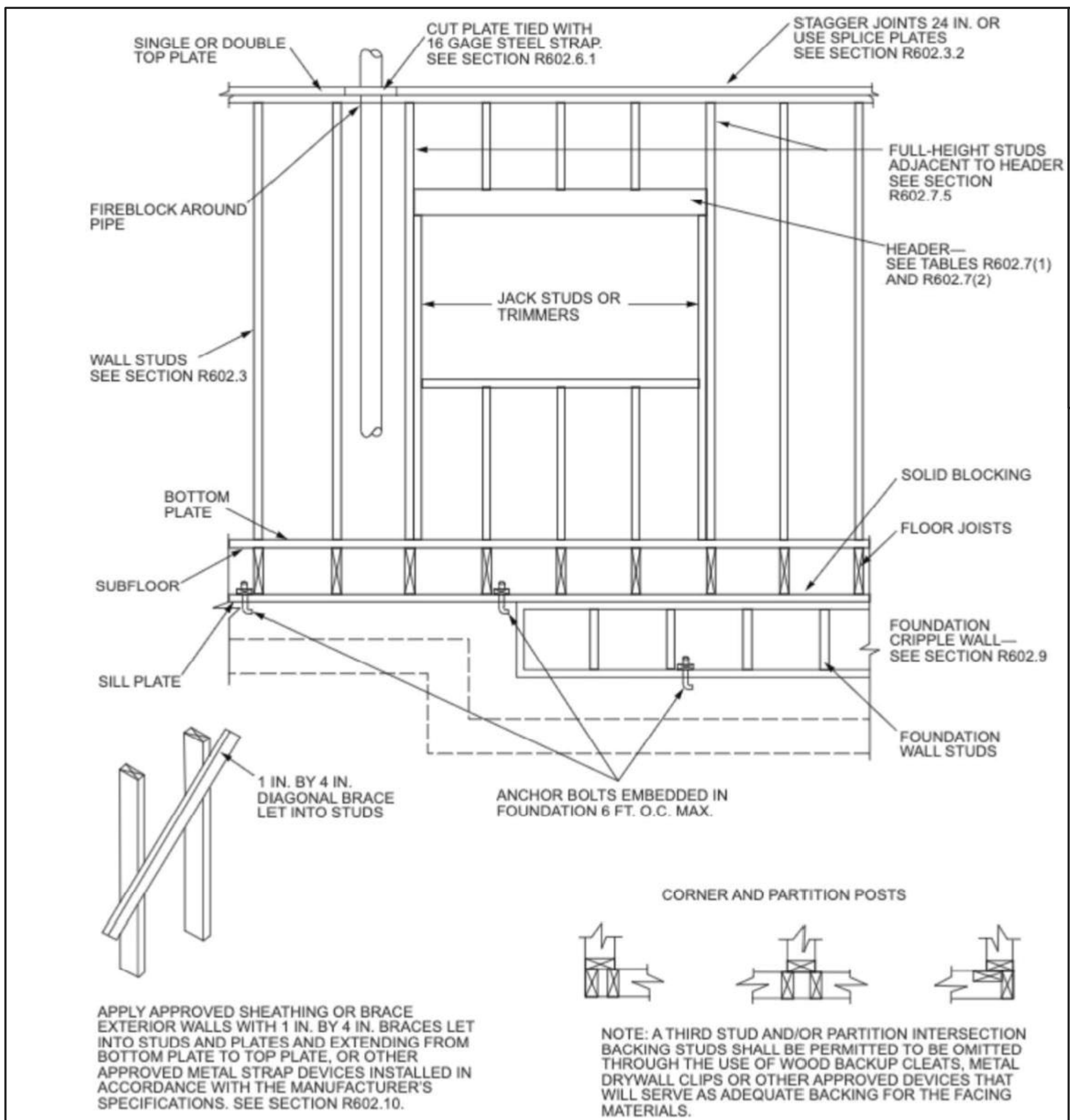
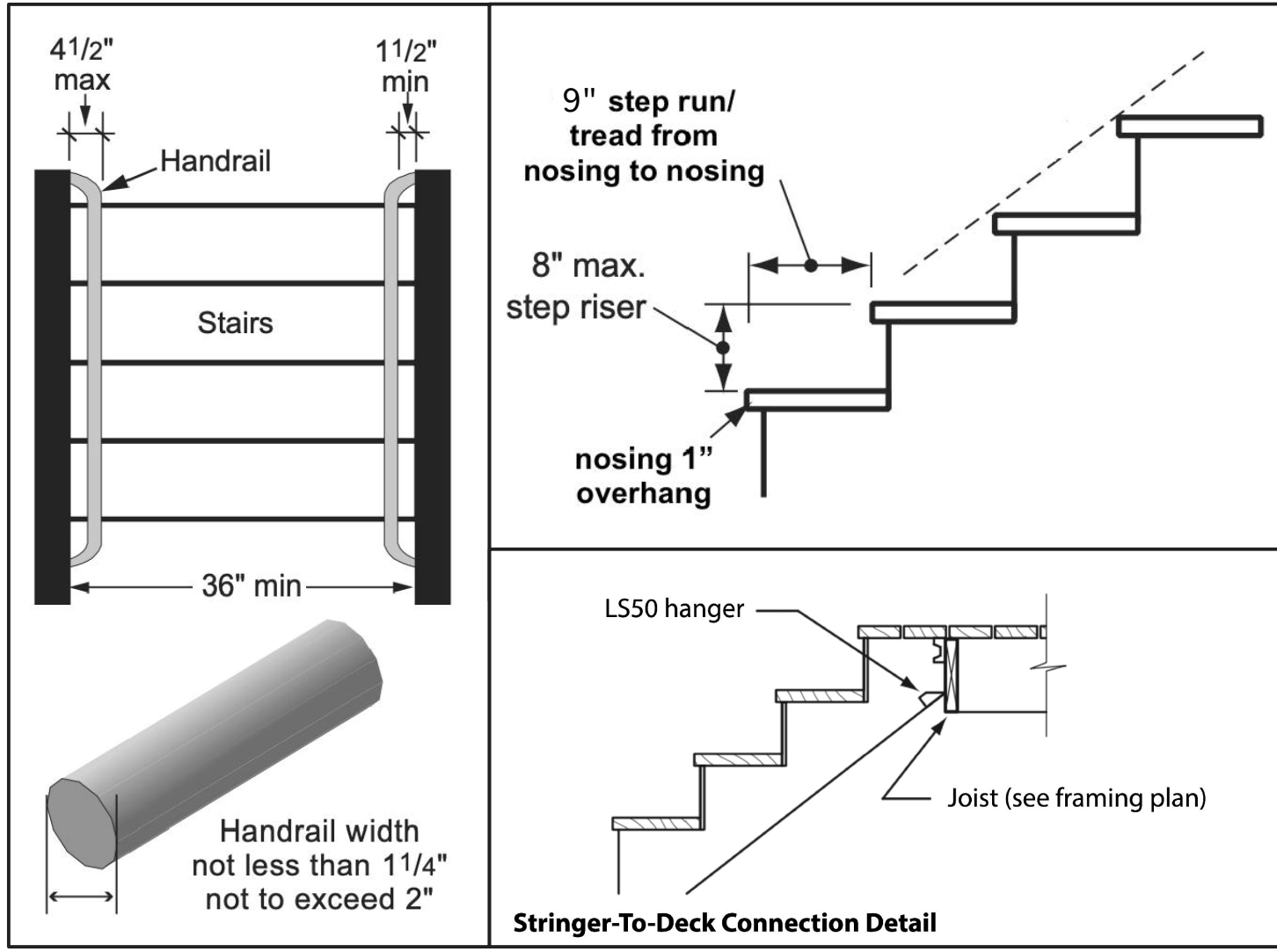
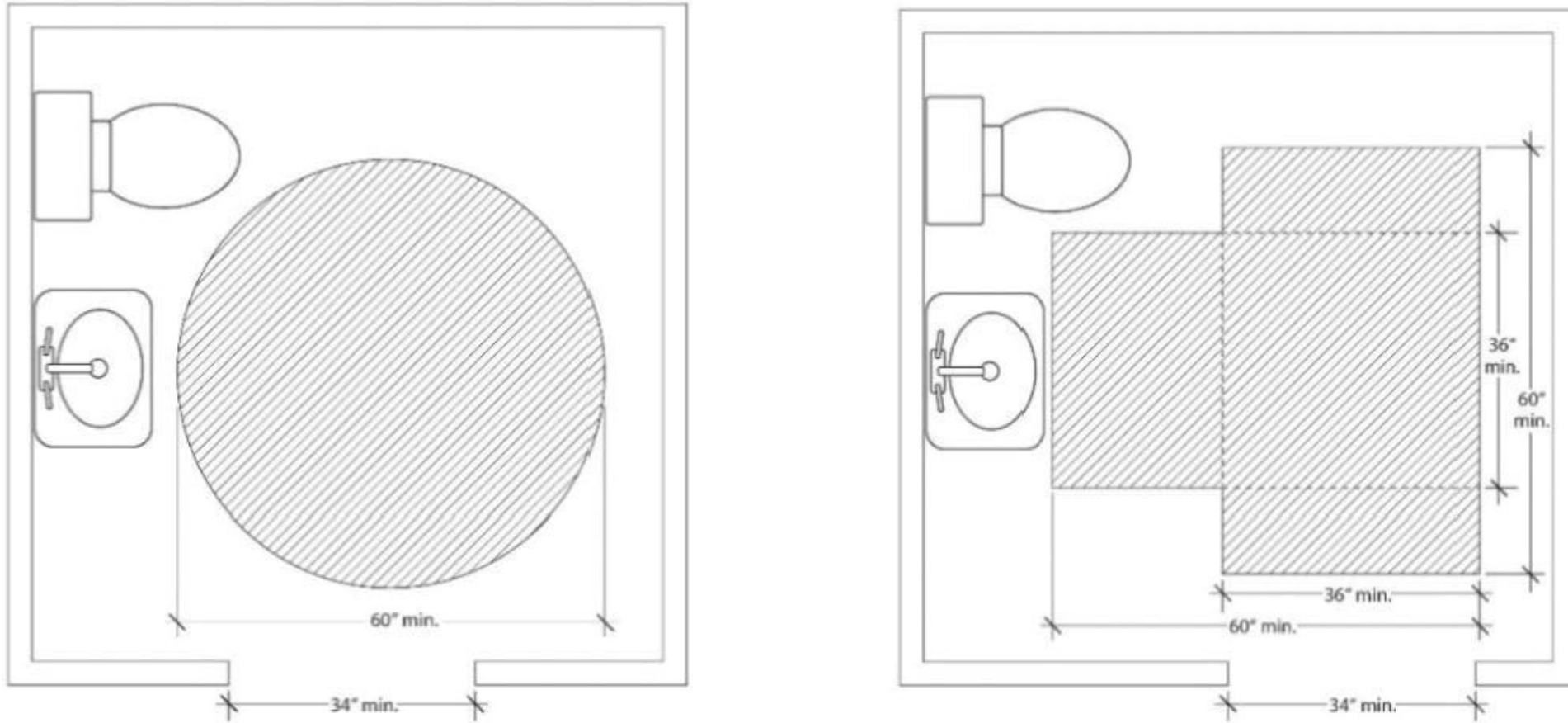
R602.11.1 - Plate washers, not less than 0.229 inch by 3 inches by 3 inches in size, shall be provided between the foundation sill plate and the nut. The hole in the plate washer is permitted to be diagonally slotted with a width of up to 3/16 inch (5 mm) larger than the bolt diameter and a slot length not to exceed 13/4 inches (44 mm), provided a standard cut washer is placed between the plate washer and the nut.

R403.1.6 - 1/2-inch-diameter (12.7 mm) anchor bolts spaced a maximum of 6 feet (1829 mm) on center. Bolts shall extend a minimum of 7 inches (178 mm) into concrete.



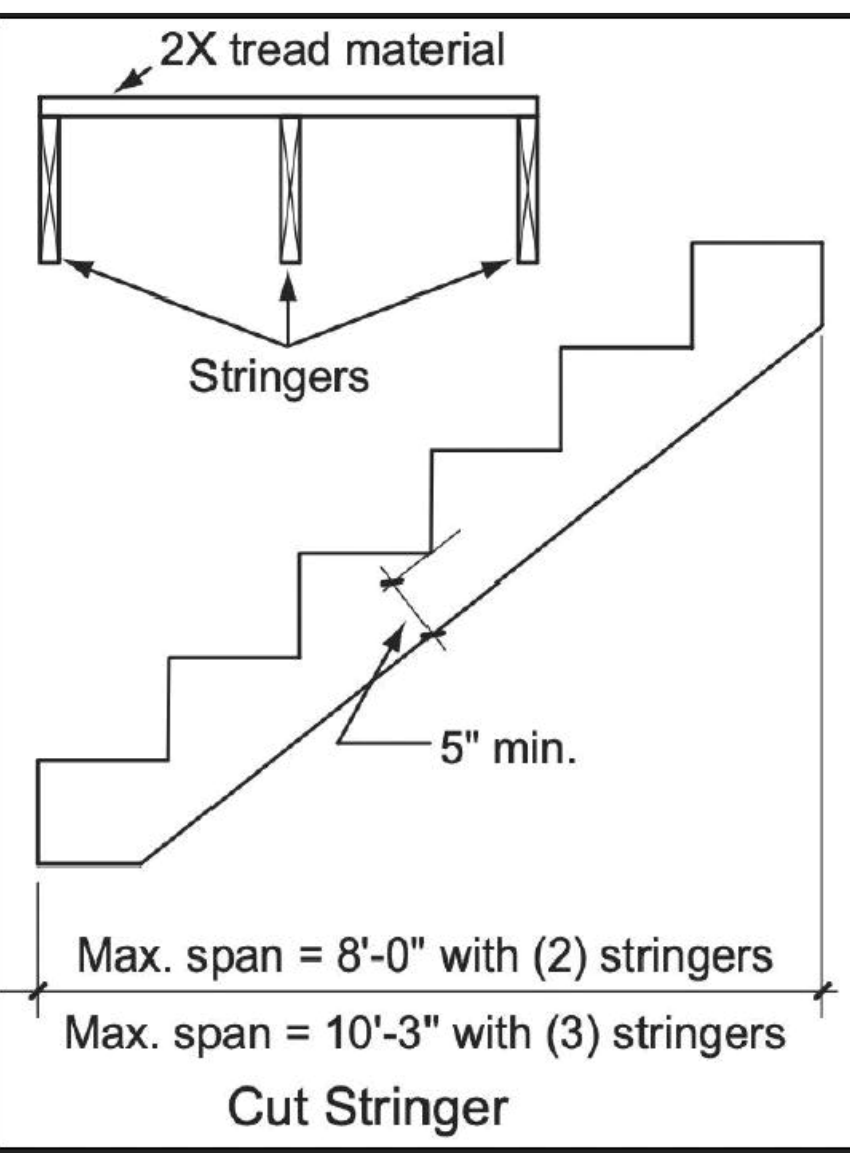
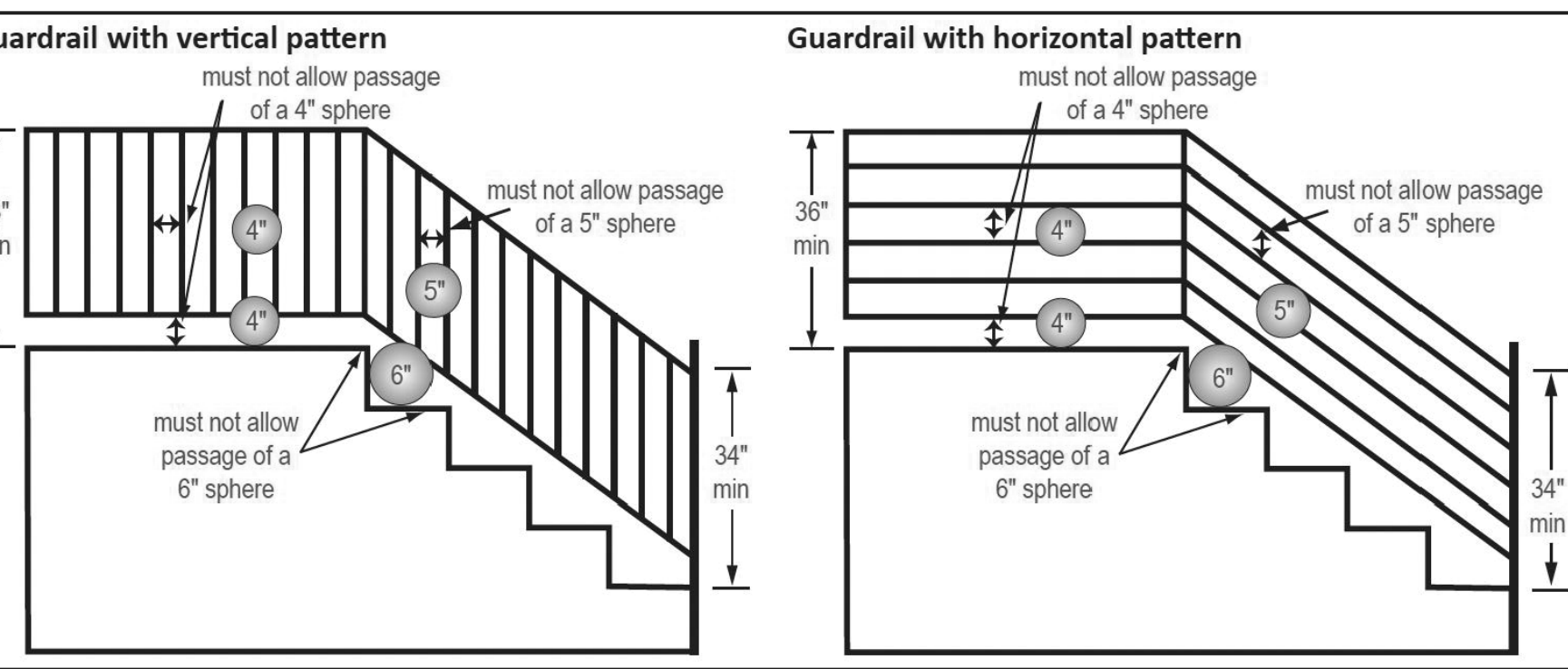
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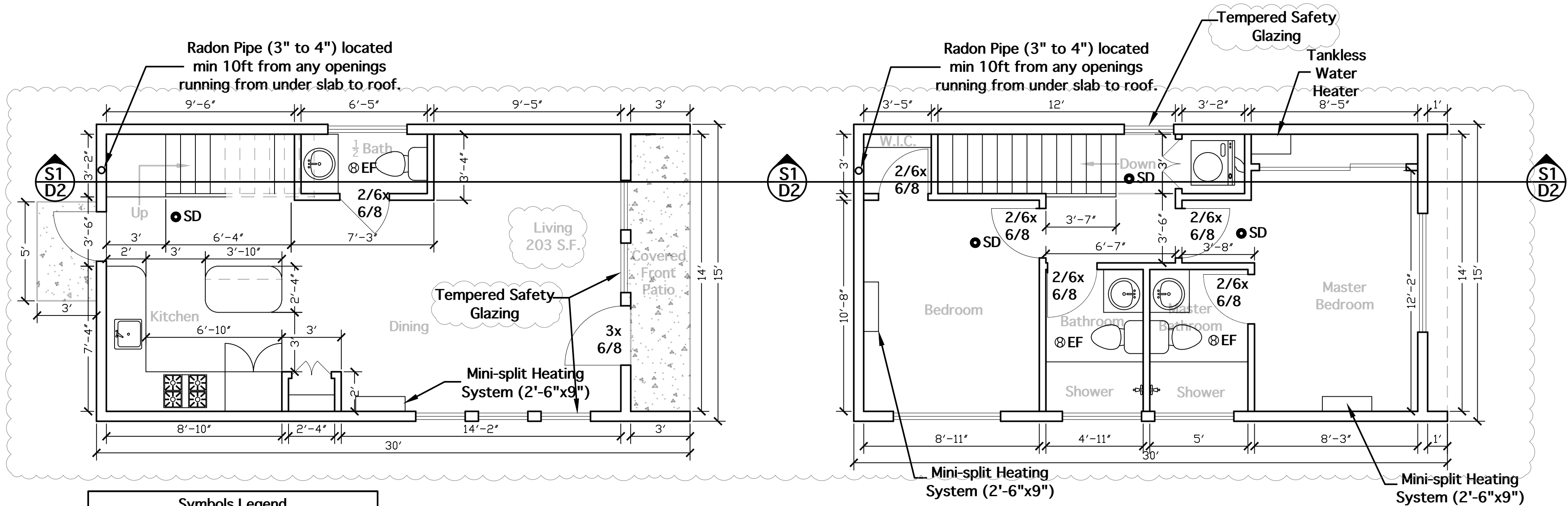
Figure 110-14  
Visitable Bathroom Clearances



For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.

FIGURE R602.3(2)  
FRAMING DETAILS





Symbols Legend	
● SD	Smoke & CO Detector
⊗ EF	Single Duct Exhaust

1

First Floor Plan

1/4" = 1'-0"

PLAN NORTH

2

Second Floor Plan

1/4" = 1'-0"

PLAN NORTH

3

Foundation Plan

1/4" = 1'-0"

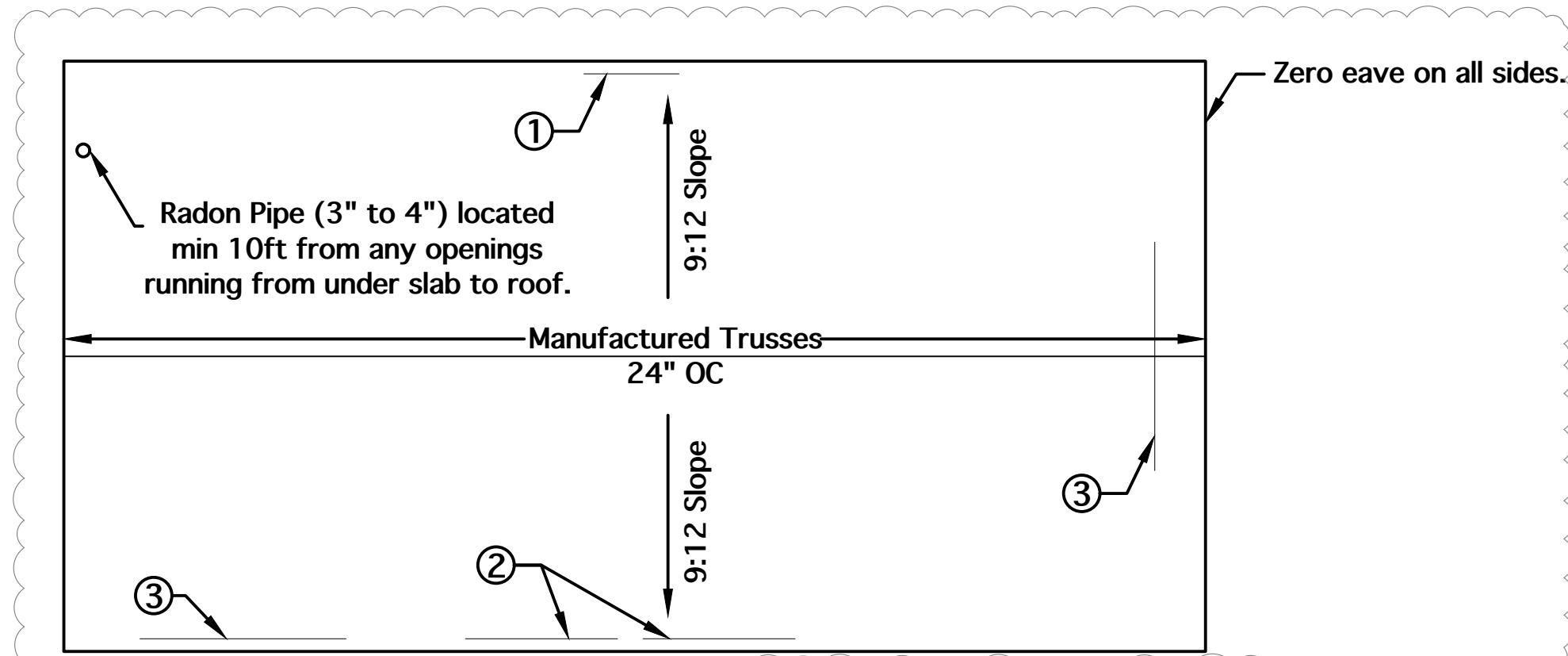
Foundation plan removed from architectural drawings.  
Please refer to structural plans.

Foundation Vents Calcs

Foundation Vents:  
Total area = 492 SF  
1/150 \* 492 = 3.28 SF of vents req'd  
  
GAF RT-65 Foundation Vent to be installed, providing 60 SQ IN per vent.  
  
3.28 SF \* 144 IN/SF = 472.32SQIN  
472.32 / 60 = 7.9Vents  
  
9 Total Vents Req'd

The minimum net area of ventilation openings shall be  
not less than 1 square foot (0.0929 m2) for each 150  
square feet (14 m2) of under-floor space area.

CITY APPROVAL STAMP



# Window Headers Notes:

- 2 x 4 DF No.2
- 2 x 4 DF No.2
- 2 x 4 DF No.2

Roof Vents:

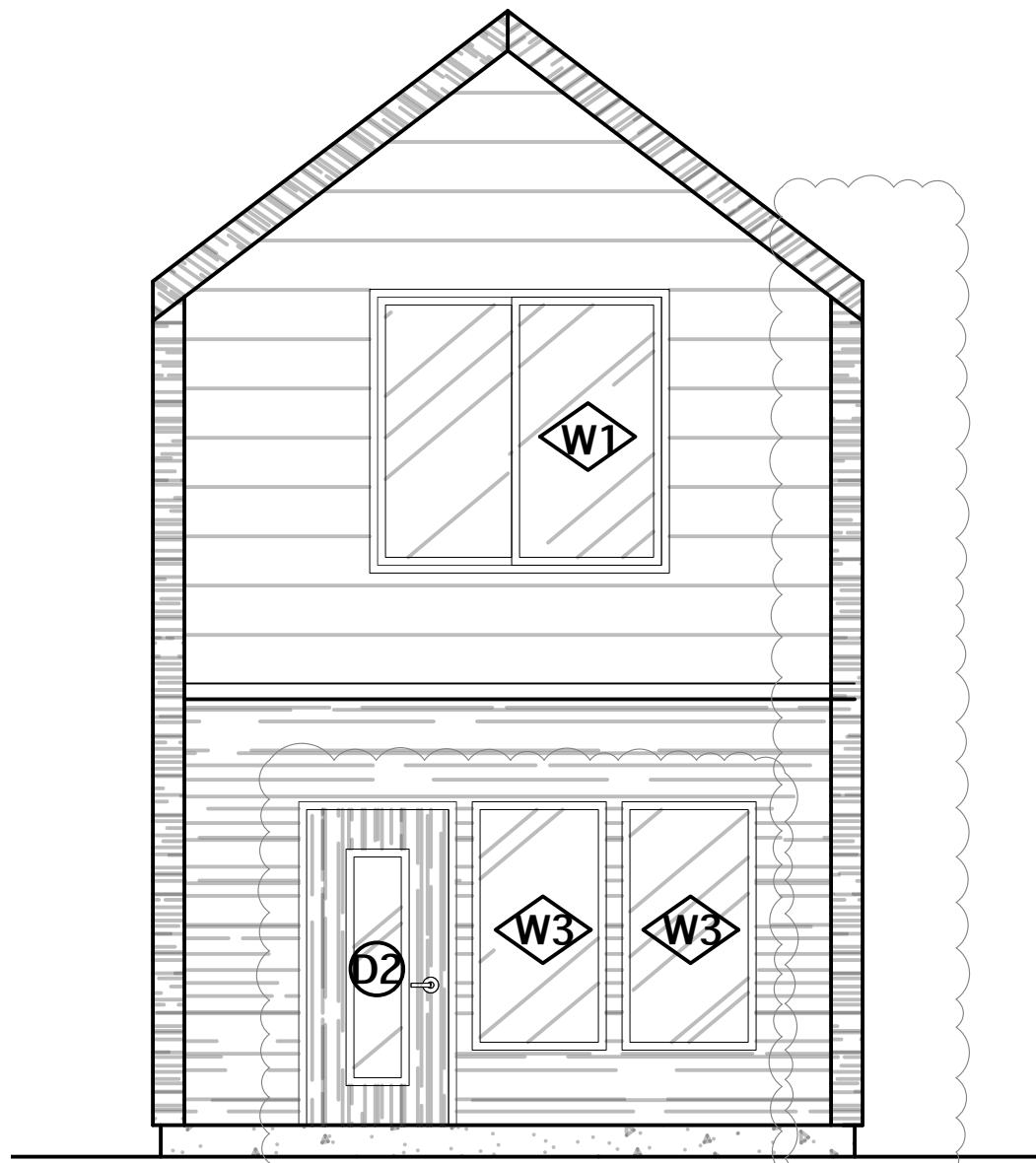
Total area = 465 SF  
 $1/150 \times 465 = 3.1$  SF of vents req'd

GAF RT-65 Roof Vent to be installed, providing 60 SQ IN per vent.

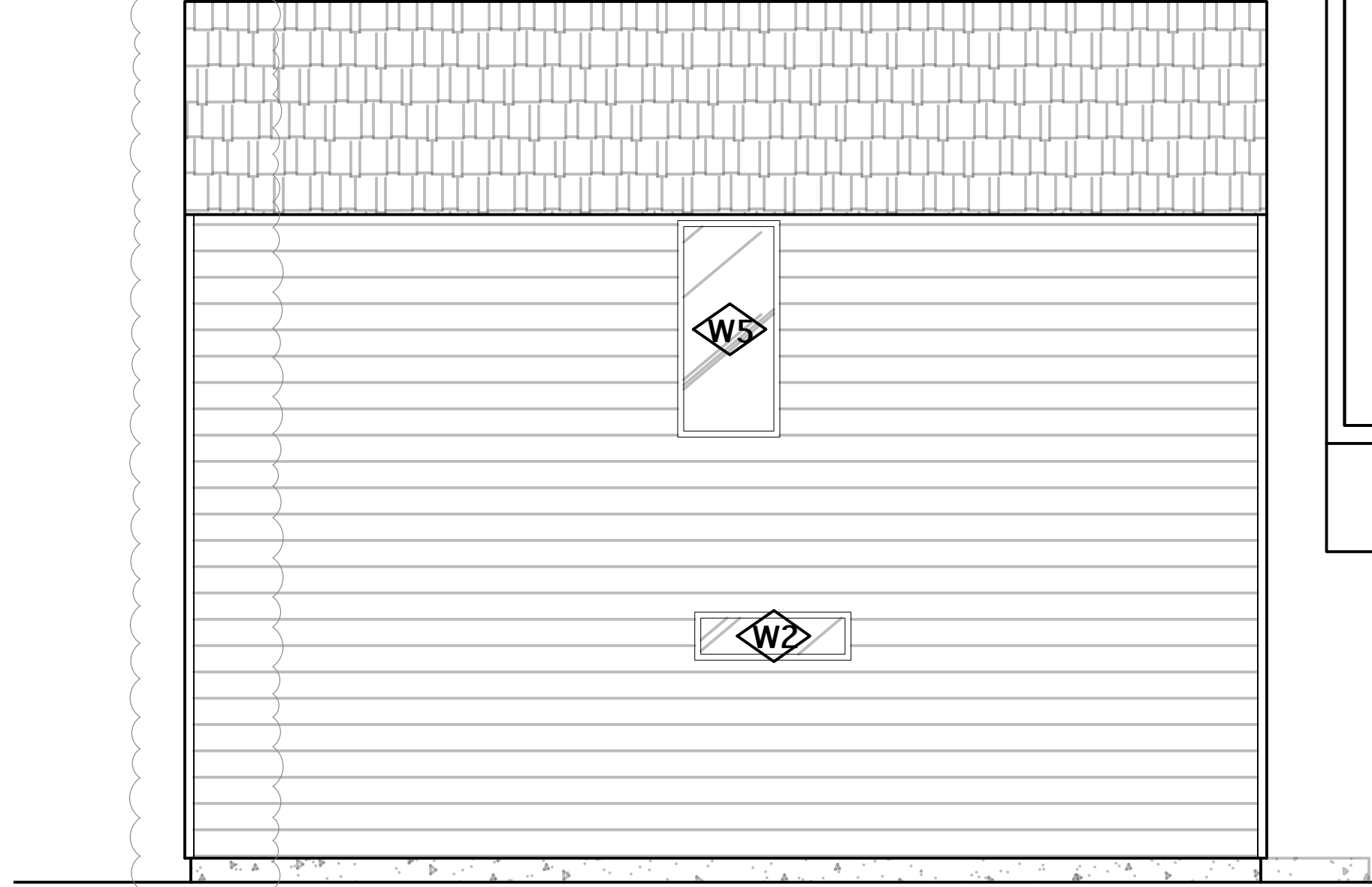
$3.1 \text{ SF} \times 144 \text{ IN/SF} = 446.4 \text{ SQIN}$   
 $446.4 / 60 = 7.44$  Vents

8 Total Vents Req'd

1 Roof Plan  
D2 1/4" = 1'-0"

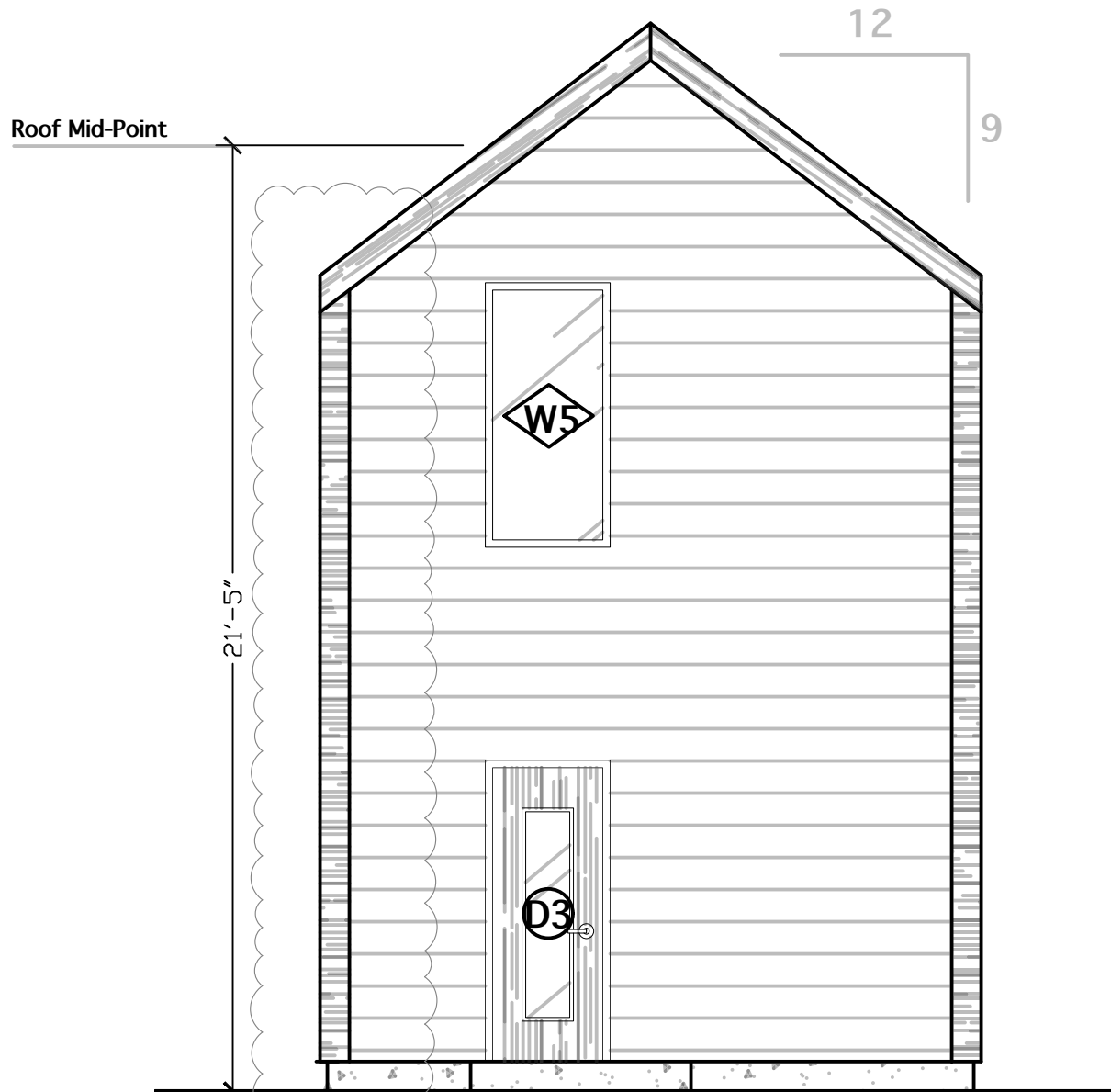


2 South (Front) Elevation  
D2 1/4" = 1'-0"

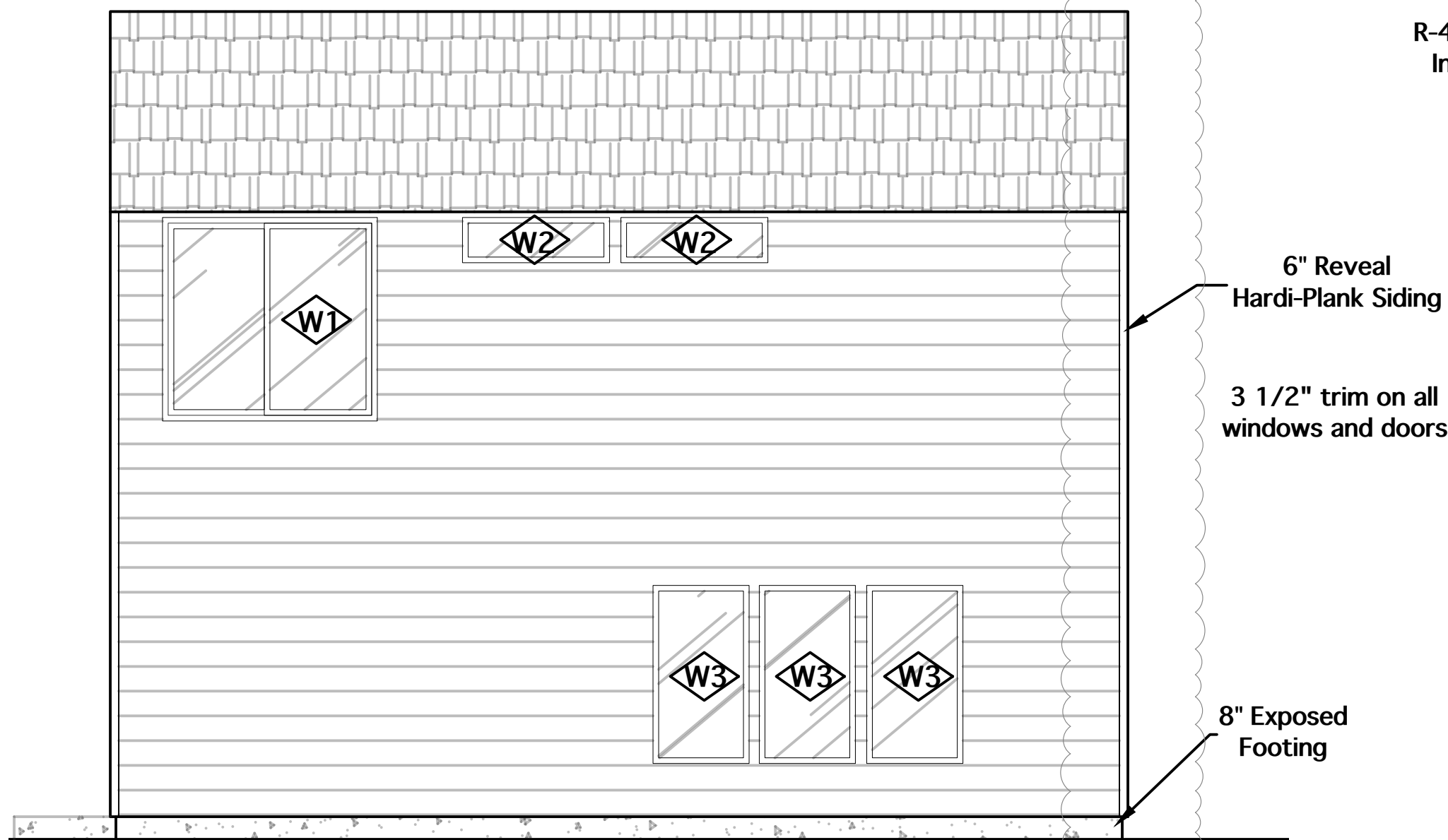


3 East Elevation  
D2 1/4" = 1'-0"

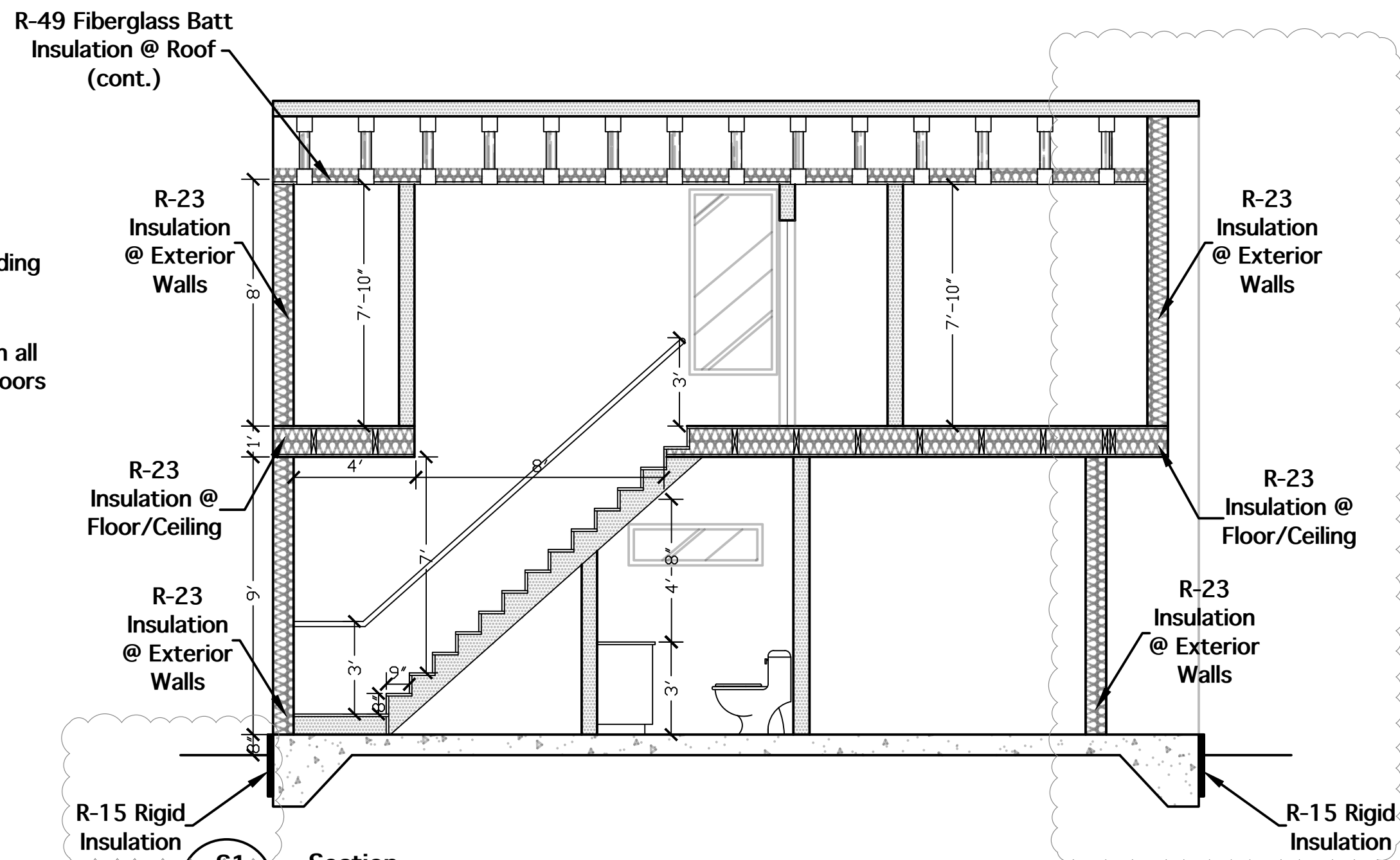
CITY APPROVAL STAMP



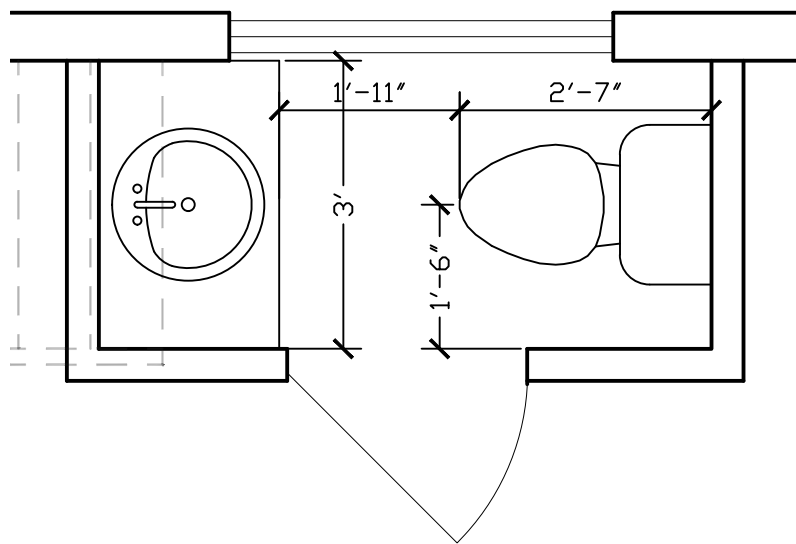
4 North Elevation  
D2 1/4" = 1'-0"



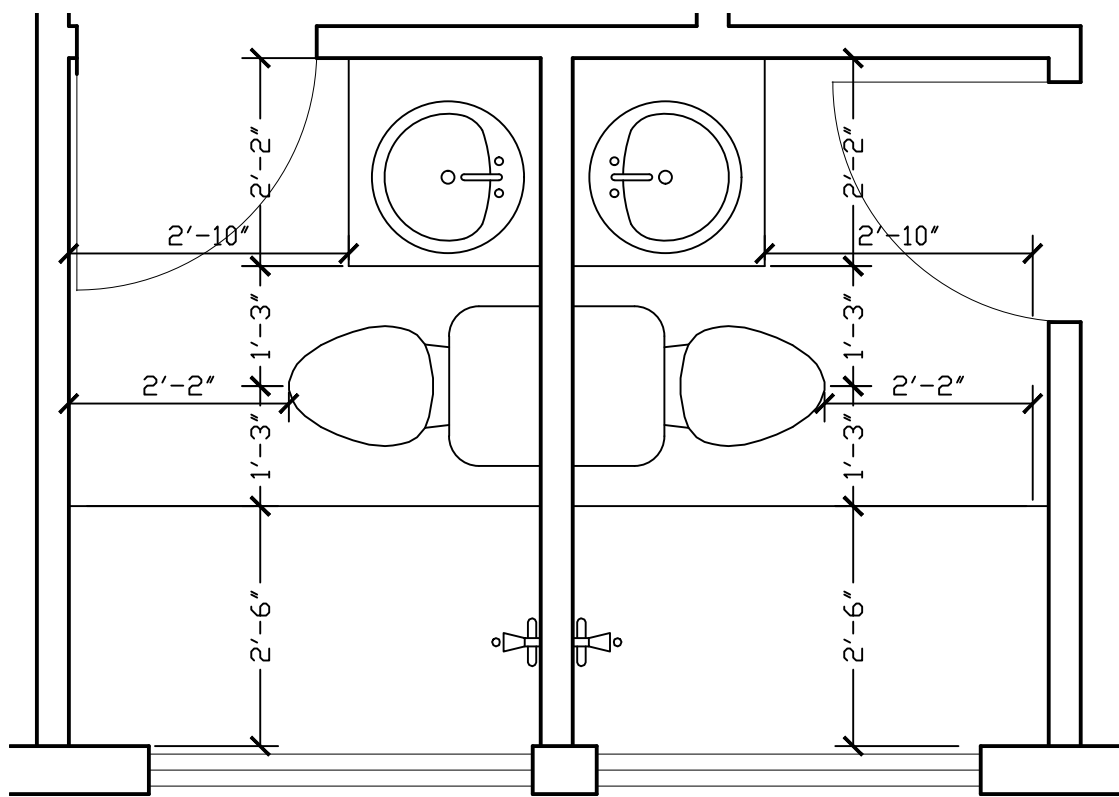
5 West Elevation  
D2 1/4" = 1'-0"



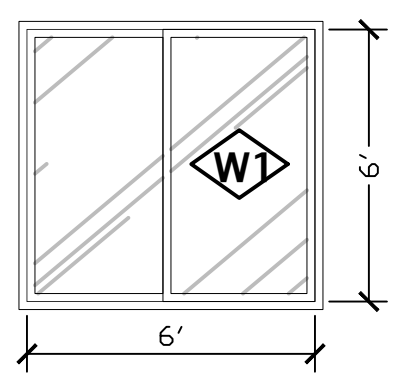
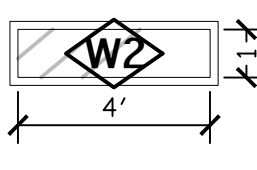
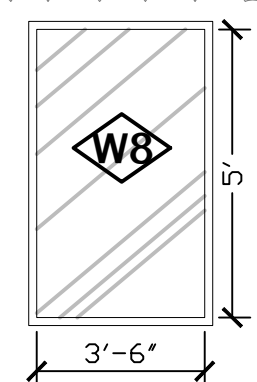
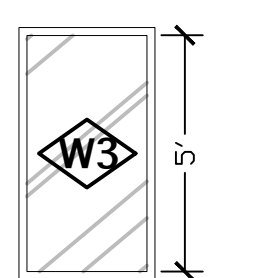
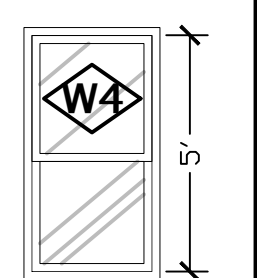
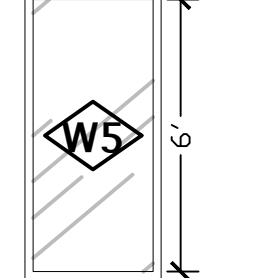
S1 Section  
D2 1/4" = 1'-0"


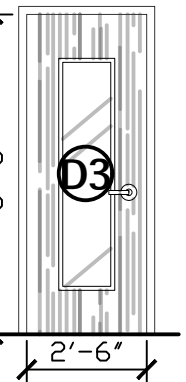
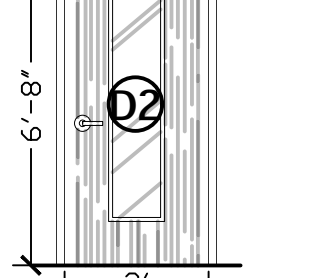
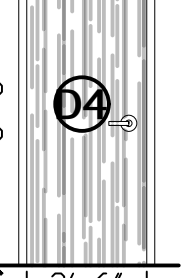


D1 Visitable Half Bath - Enlarged Floor Plan  
D2 1/2" = 1'-0"



D2 Upper Floor Bathrooms - Enlarged Floor Plan  
D2 1/2" = 1'-0"

Window Schedule		
 Sill Height = 2'	 Sill Height = 5'	 Sill Height = 2'
 Sill Height = 2'	 Sill Height = 2'	 Sill Height = 2'

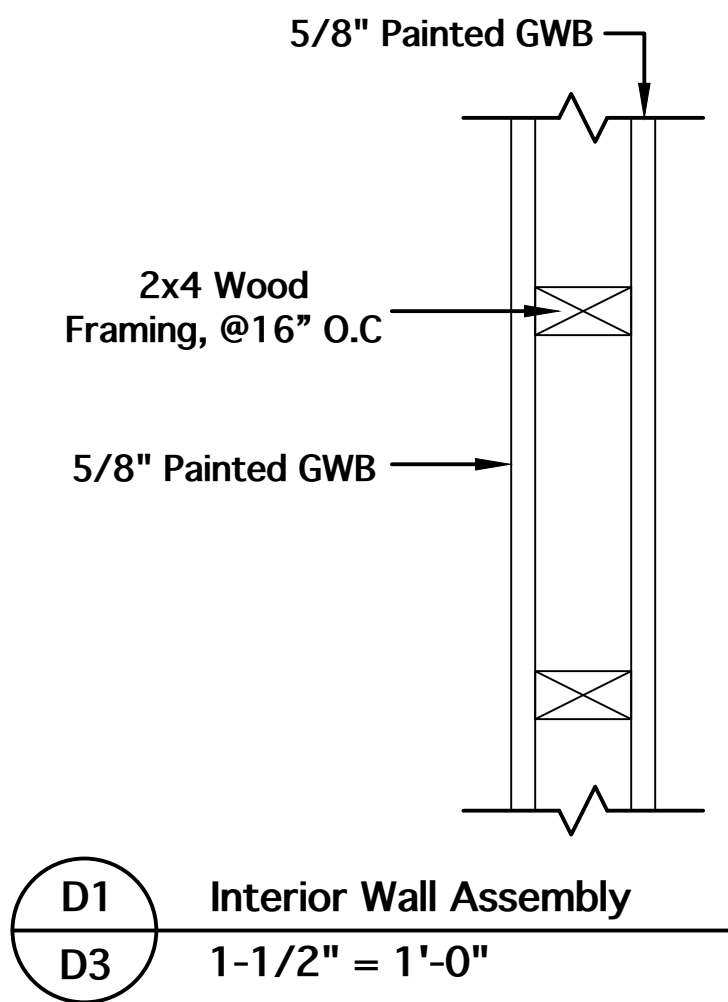
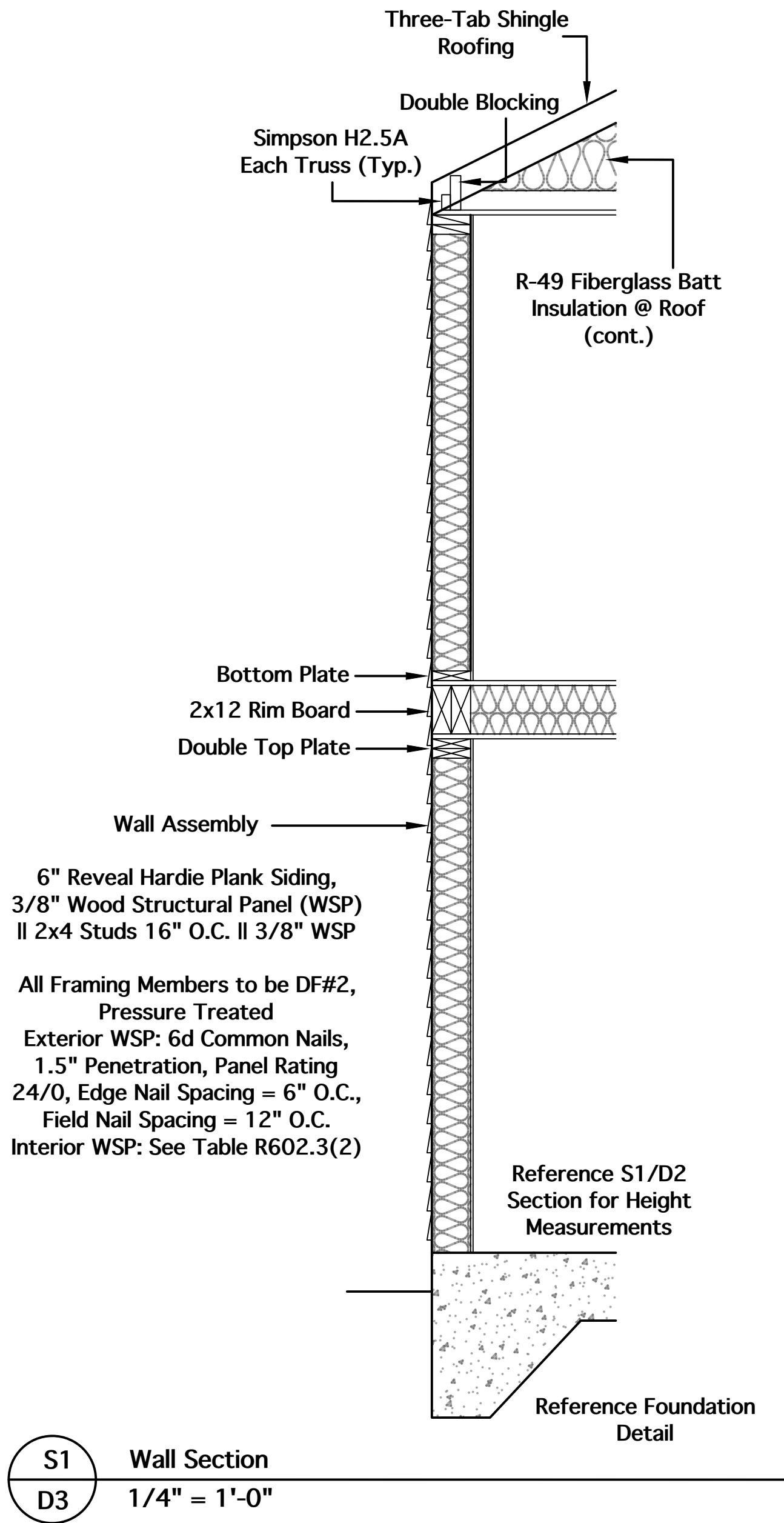
Door Schedule	
 Sill Height = 2'	 Sill Height = 2'
 Sill Height = 2'	 Sill Height = 2'

Headers Schedule:  
(Refer to Framing Calculations)

Wall Header 1 - W3, W4, W5, D3 & D4  
Wall Header 2 - W2 & W7  
Wall Header 3 - W1  
Wall Header 4 - D2

SUBMITTED  
08/28/2023

LU 23-090278 Exhibit A2



**R307.1 Space Required**

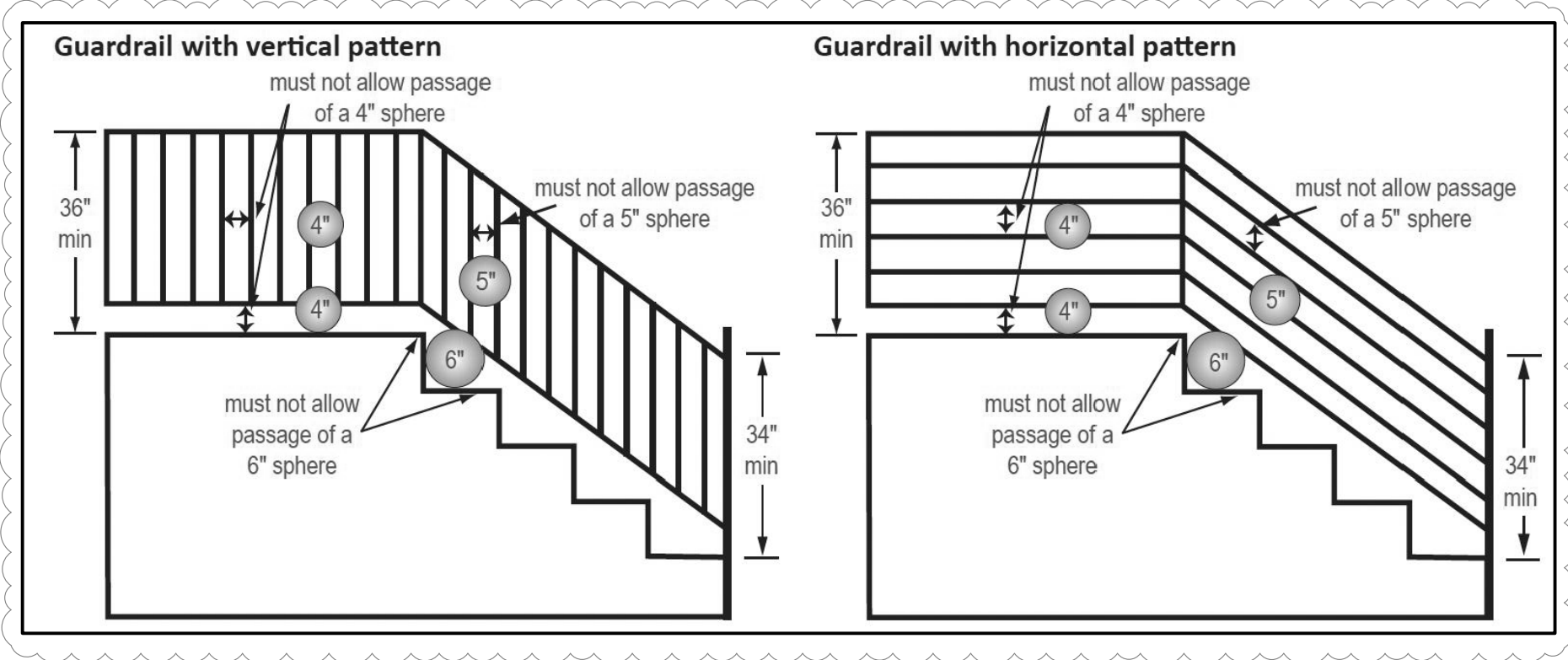
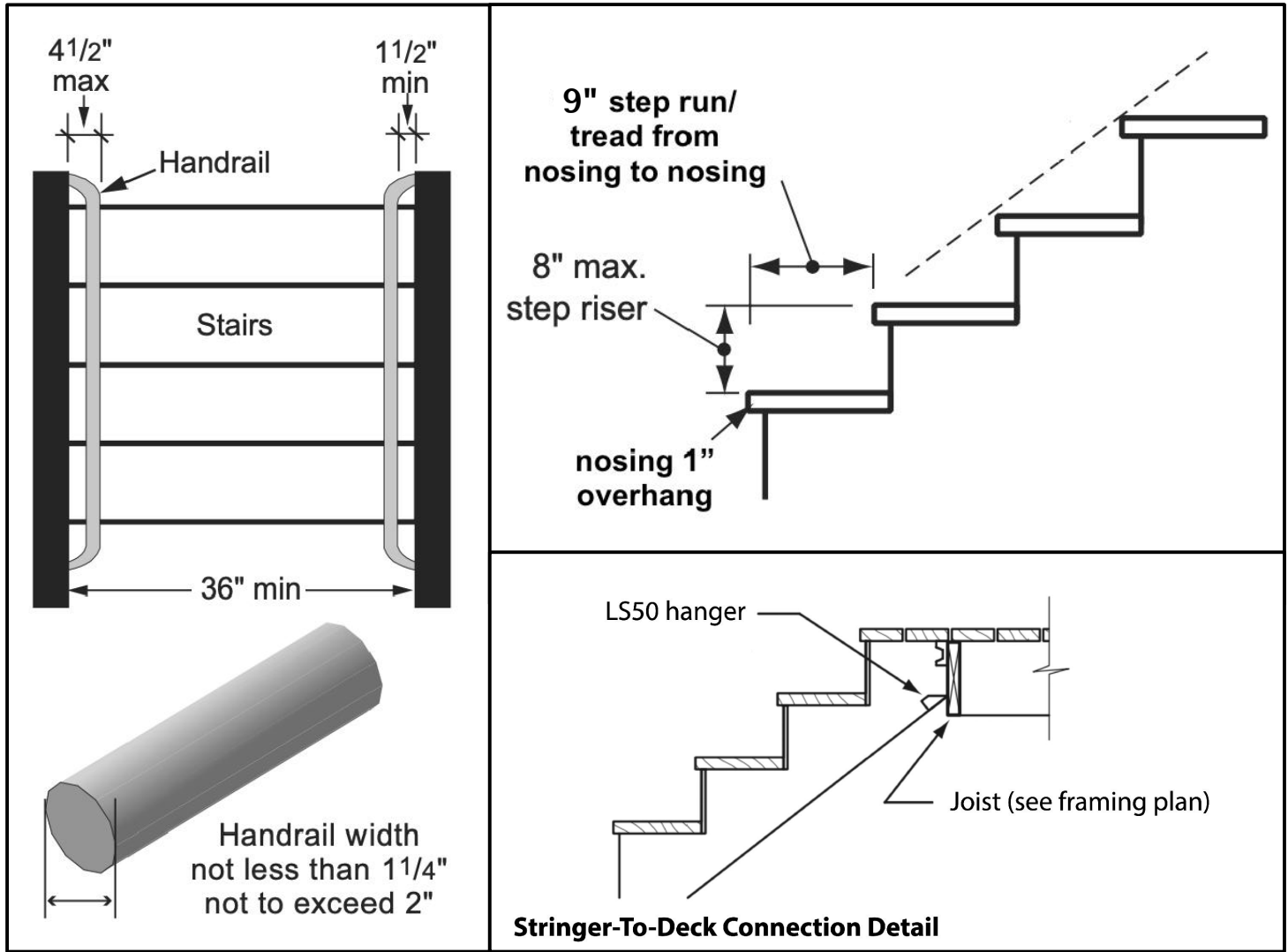
Fixtures shall be spaced in accordance with Figure R307.1, and in accordance with the requirements of the *Plumbing Code*.

For SI: 1 inch = 25.4 mm.

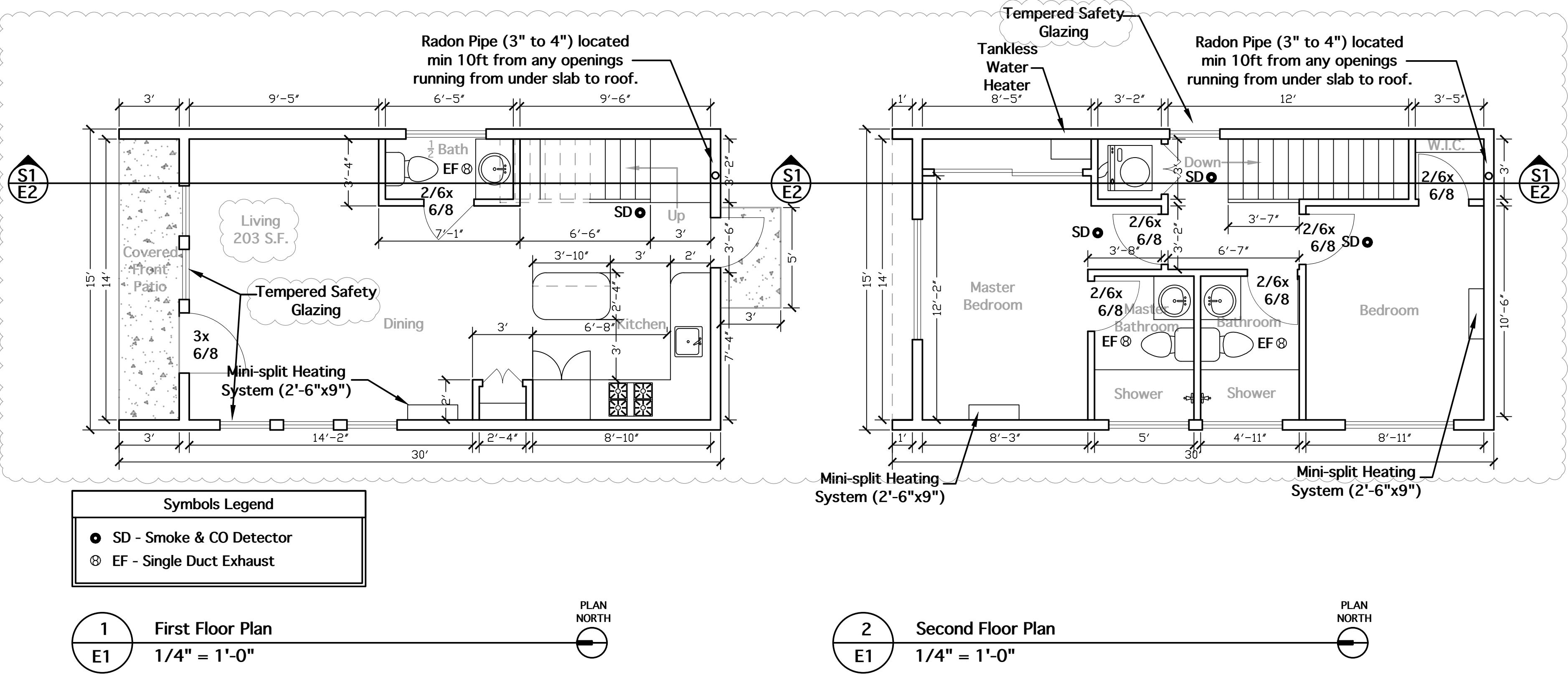
**FIGURE R307.1**  
**MINIMUM FIXTURE CLEARANCES** (See the *Plumbing Code* for shower clearances)

**R307.2 Bathtub and Shower Spaces**

Bathtub and shower floors and walls above bathtubs with installed shower heads and in shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet (1829 mm) above the floor.



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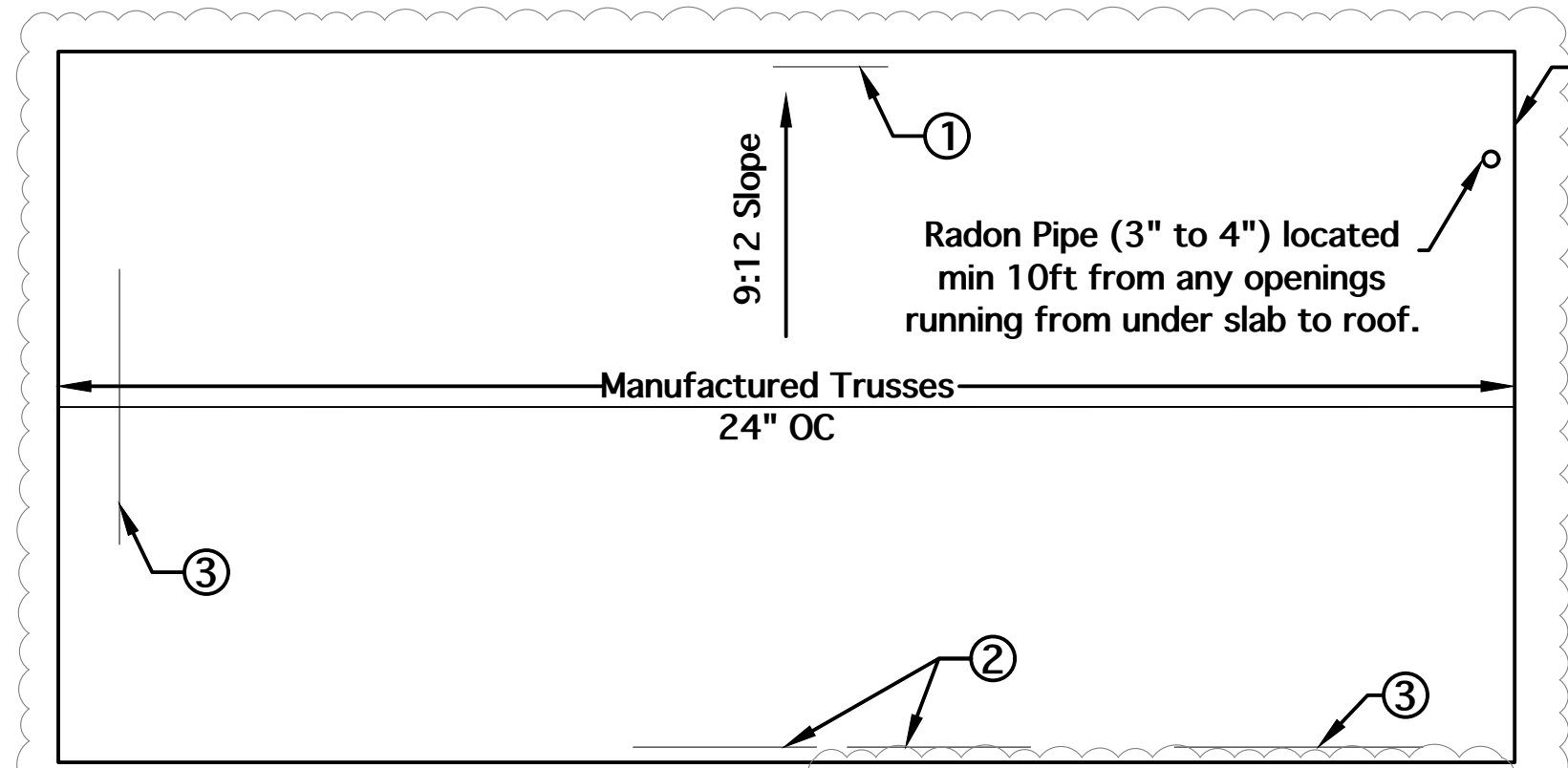


Foundation plan removed from architectural drawings.  
Please refer to structural plans.

Foundation Vents Calcs
Foundation Vents: Total area = 492 SF $1/150 * 492 = 3.28$ SF of vents req'd
GAF RT-65 Foundation Vent to be installed, providing 60 SQ IN per vent.
$3.28 \text{ SF} * 144 \text{ IN/SF} = 472.32 \text{ SQIN}$ $472.32 / 60 = 7.9 \text{ Vents}$
9 Total Vents Req'd

The minimum net area of ventilation openings shall be not less than 1 square foot (0.0929 m2) for each 150 square feet (14 m2) of under-floor space area.

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# Window Headers Notes:

- 2 x 4 DF No.2
- 2 x 4 DF No.2
- 2 x 4 DF No.2

Roof Vents:

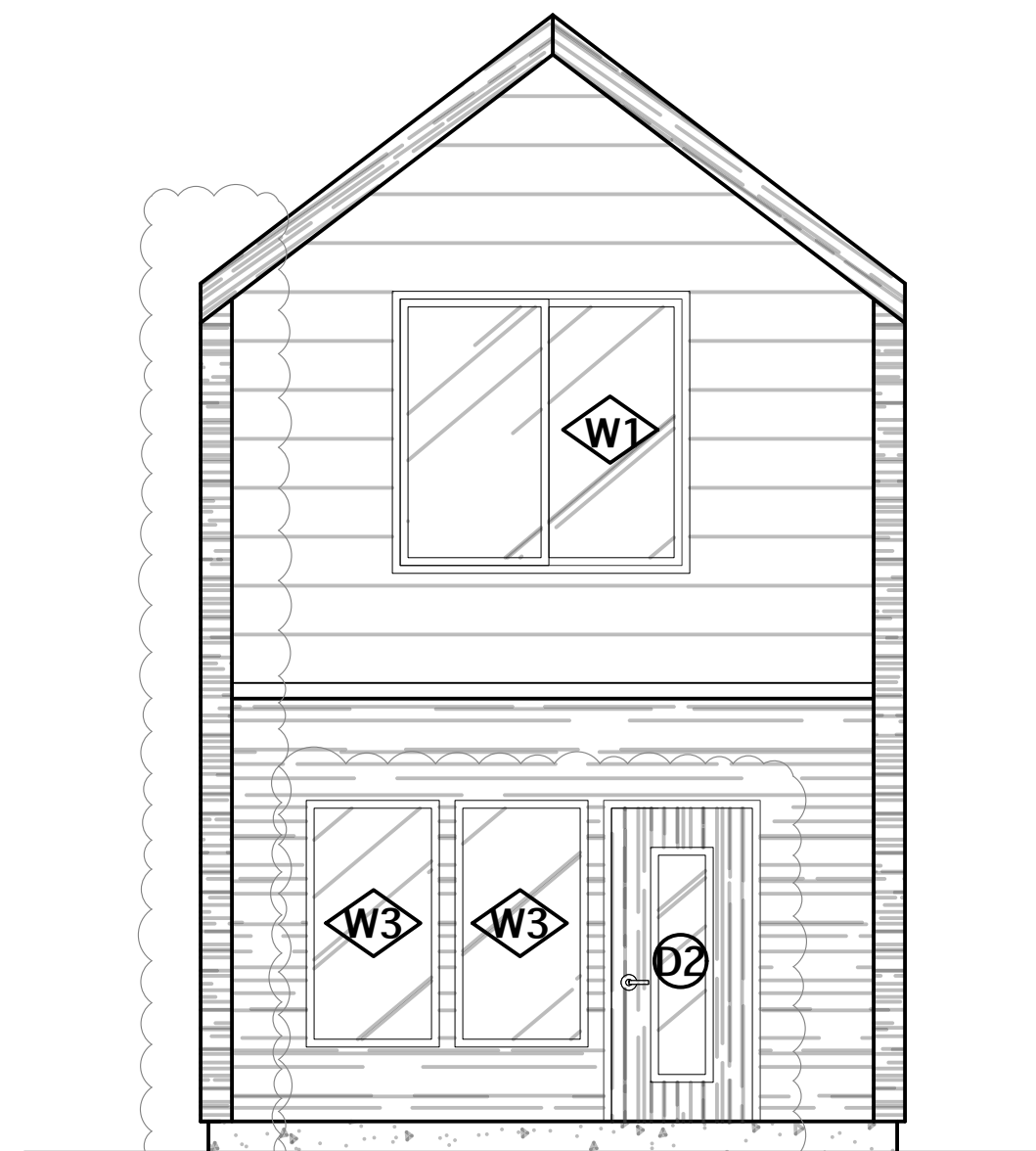
Total area = 465 SF  
 $1/150 * 465 = 3.1$  SF of vents req'd

GAF RT-65 Roof Vent to be installed, providing 60 SQ IN per vent.

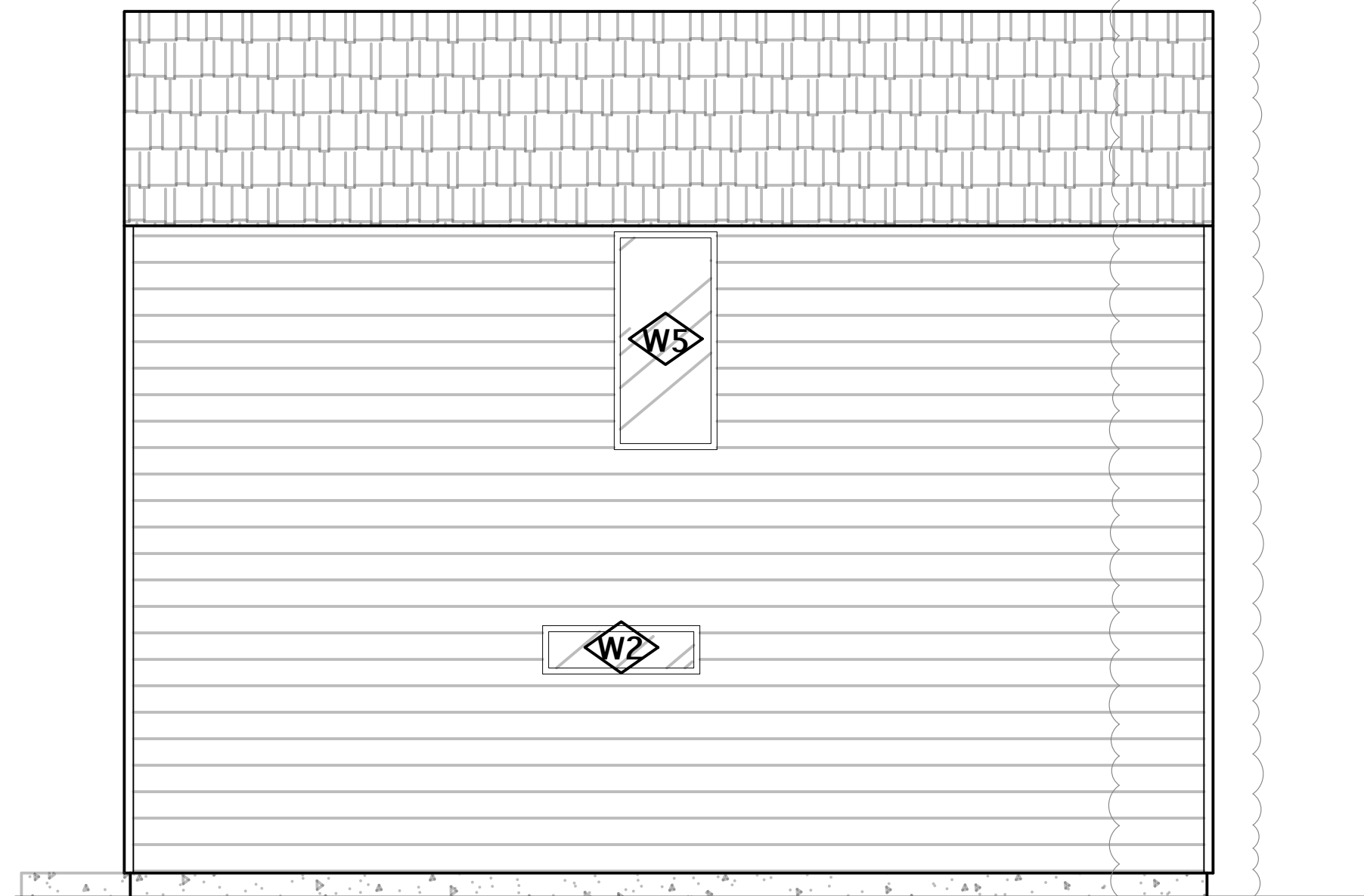
$3.1 \text{ SF} * 144 \text{ IN/SF} = 446.4 \text{ SQIN}$   
 $446.4 / 60 = 7.44$  Vents

8 Total Vents Req'd

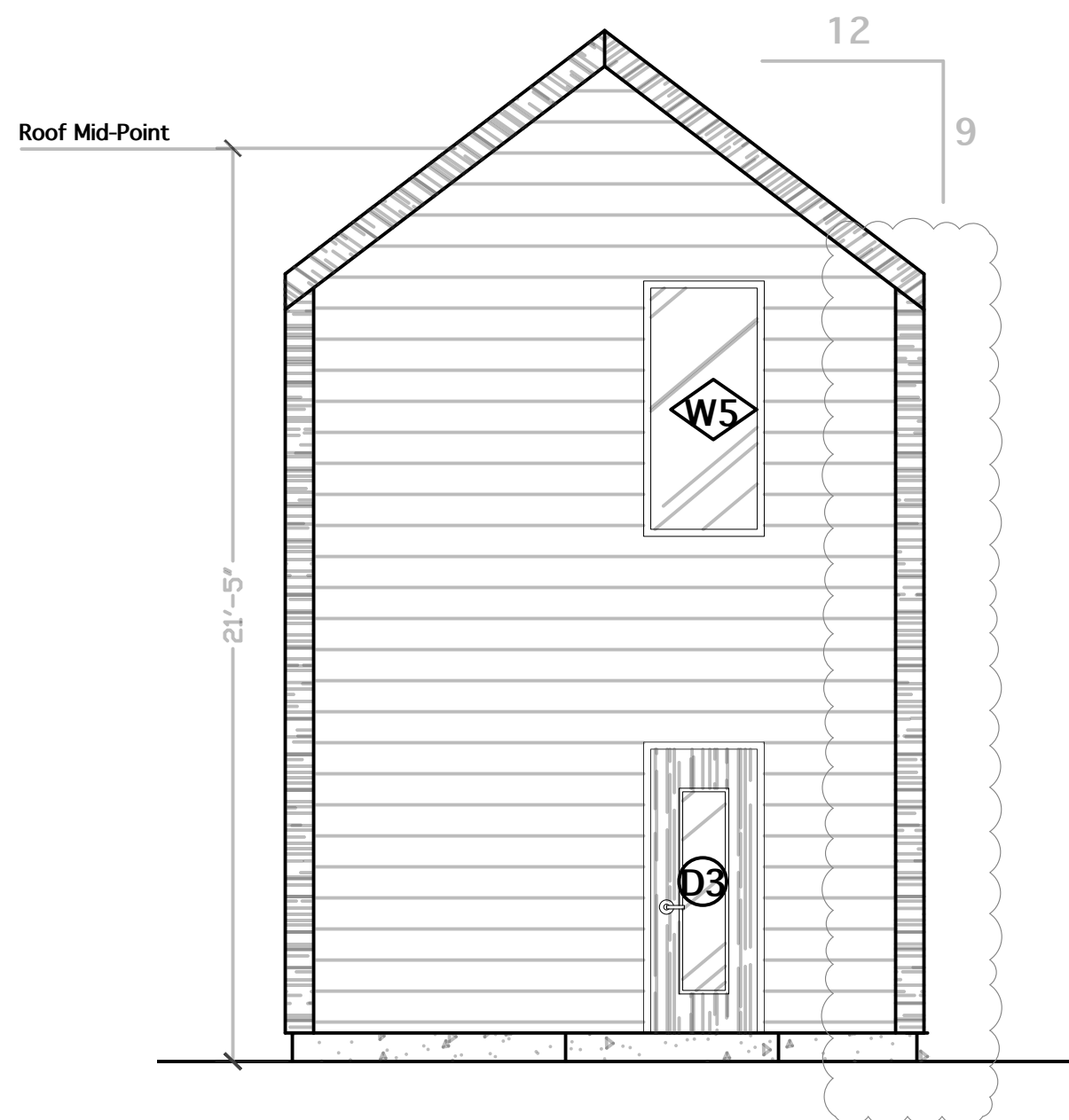
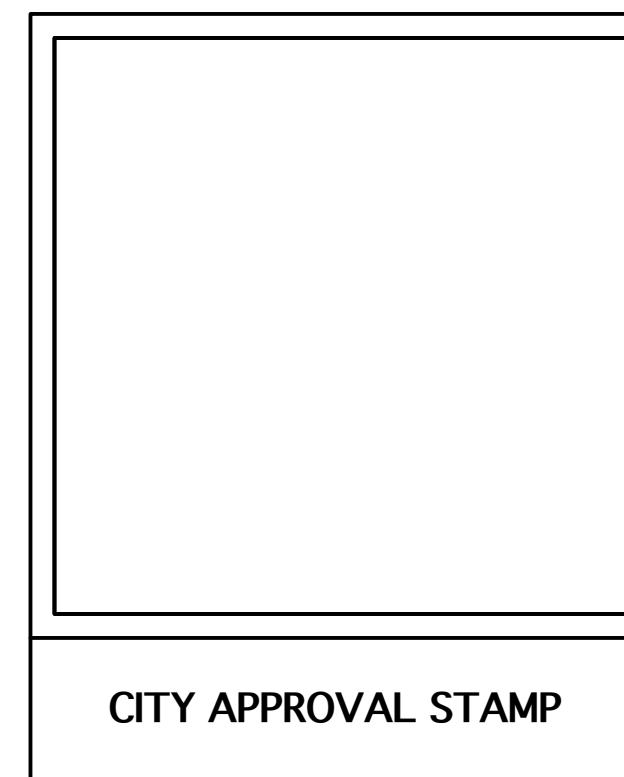
1 Roof Plan  
E2 1/4" = 1'-0"



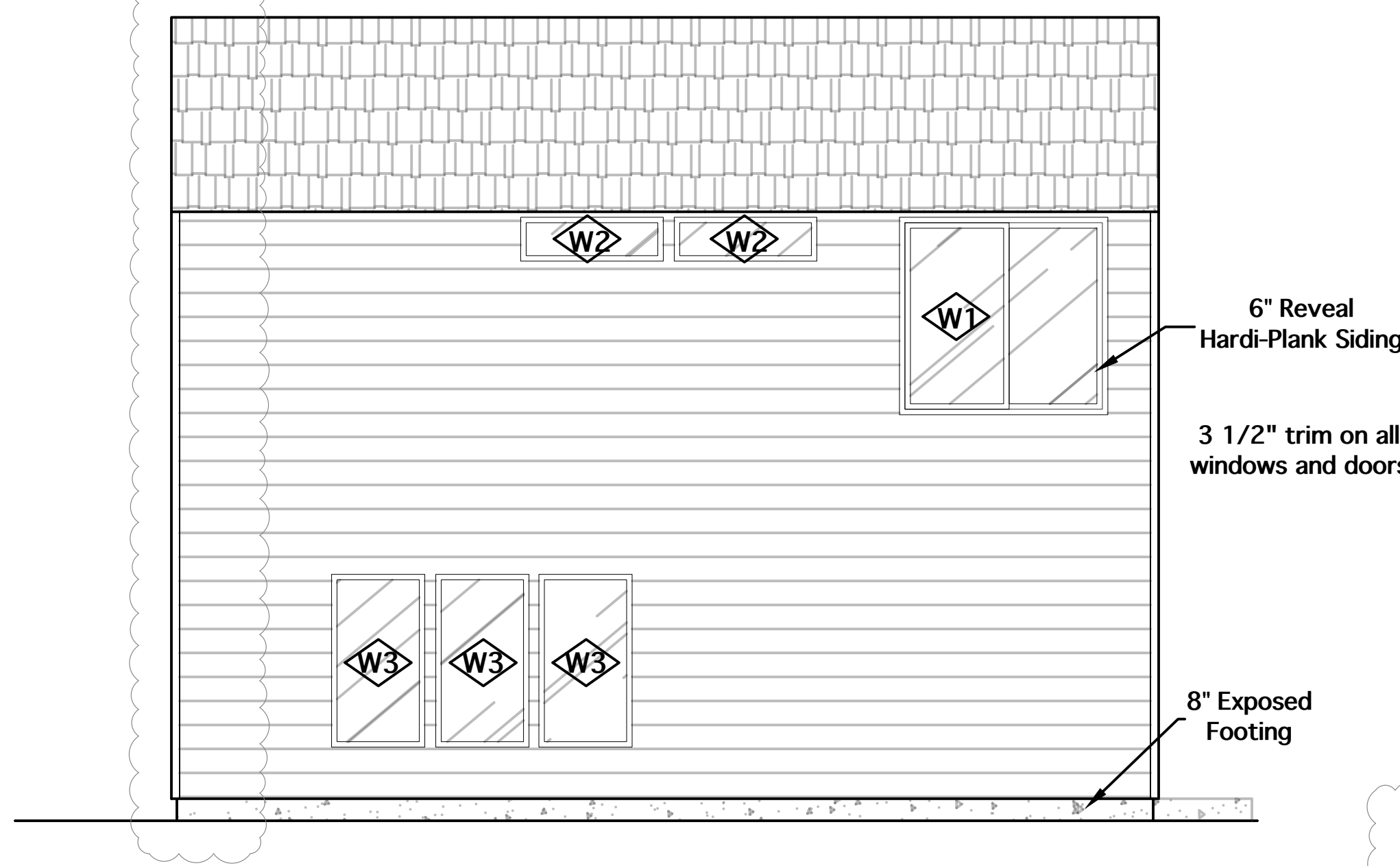
2 North (Front) Elevation  
E2 1/4" = 1'-0"



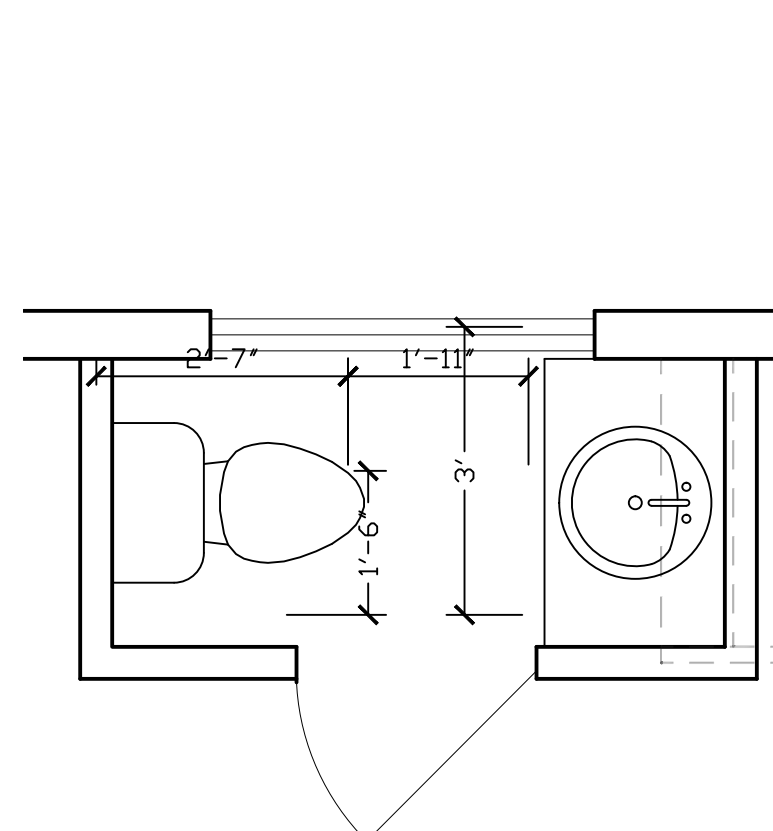
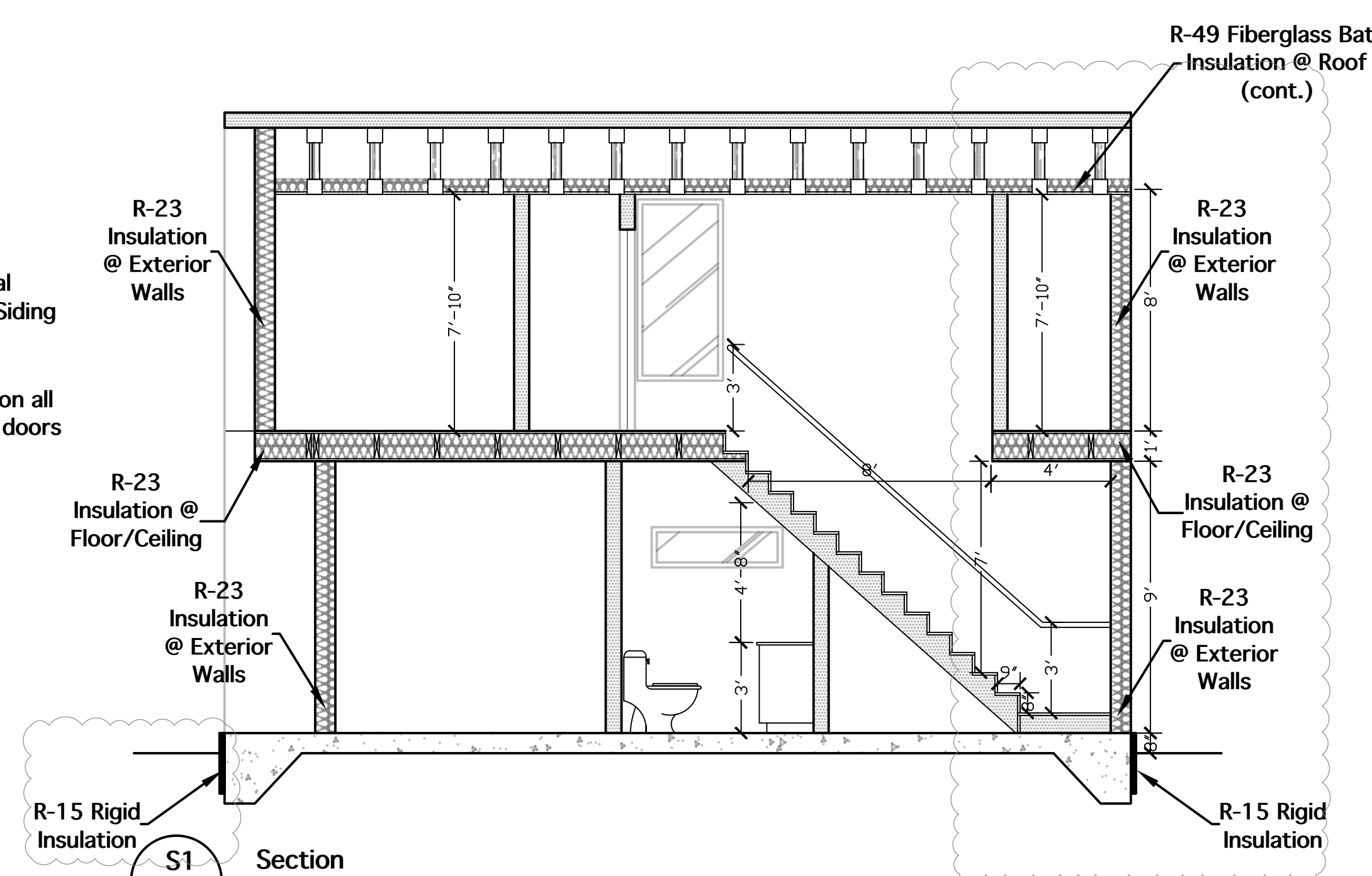
3 East Elevation  
E2 1/4" = 1'-0"



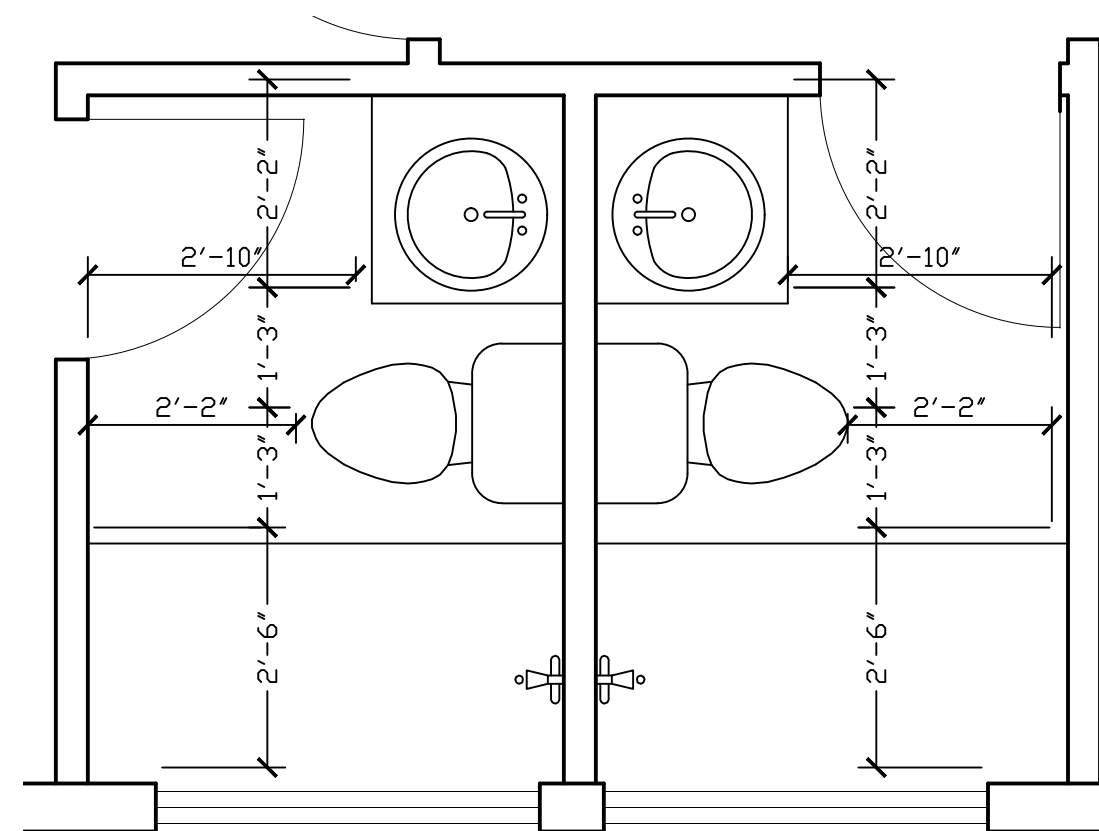
4 South Elevation  
E2 1/4" = 1'-0"



5 West Elevation  
E2 1/4" = 1'-0"



D1 Visitable Half Bath - Enlarged Floor Plan  
E2 1/2" = 1'-0"



D2 Upper Floor Bathrooms - Enlarged Floor Plan  
E2 1/2" = 1'-0"

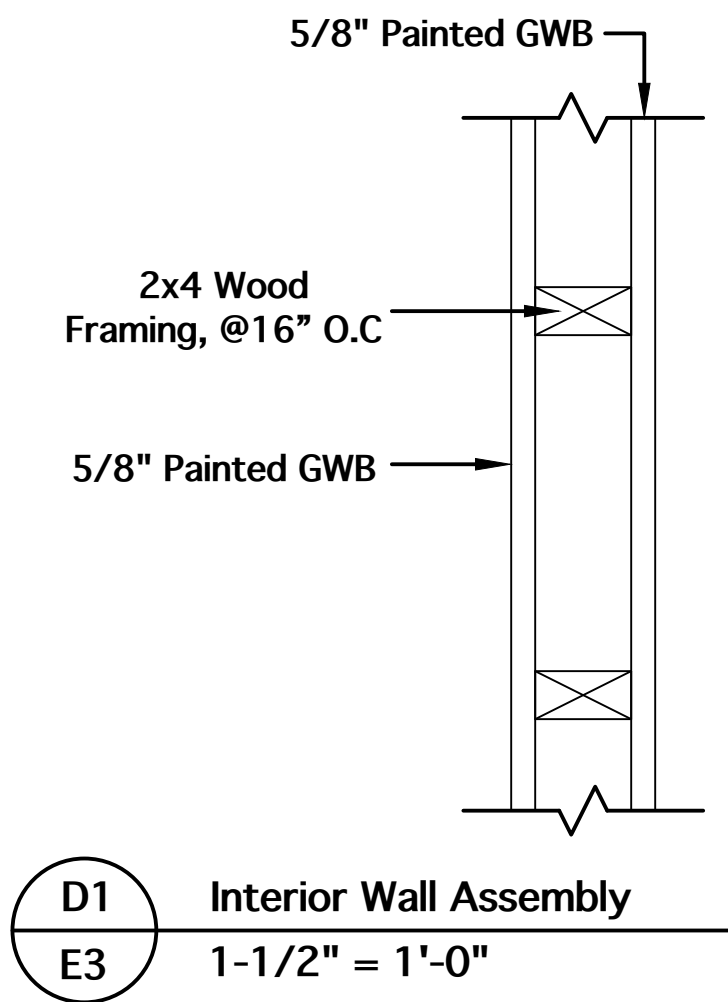
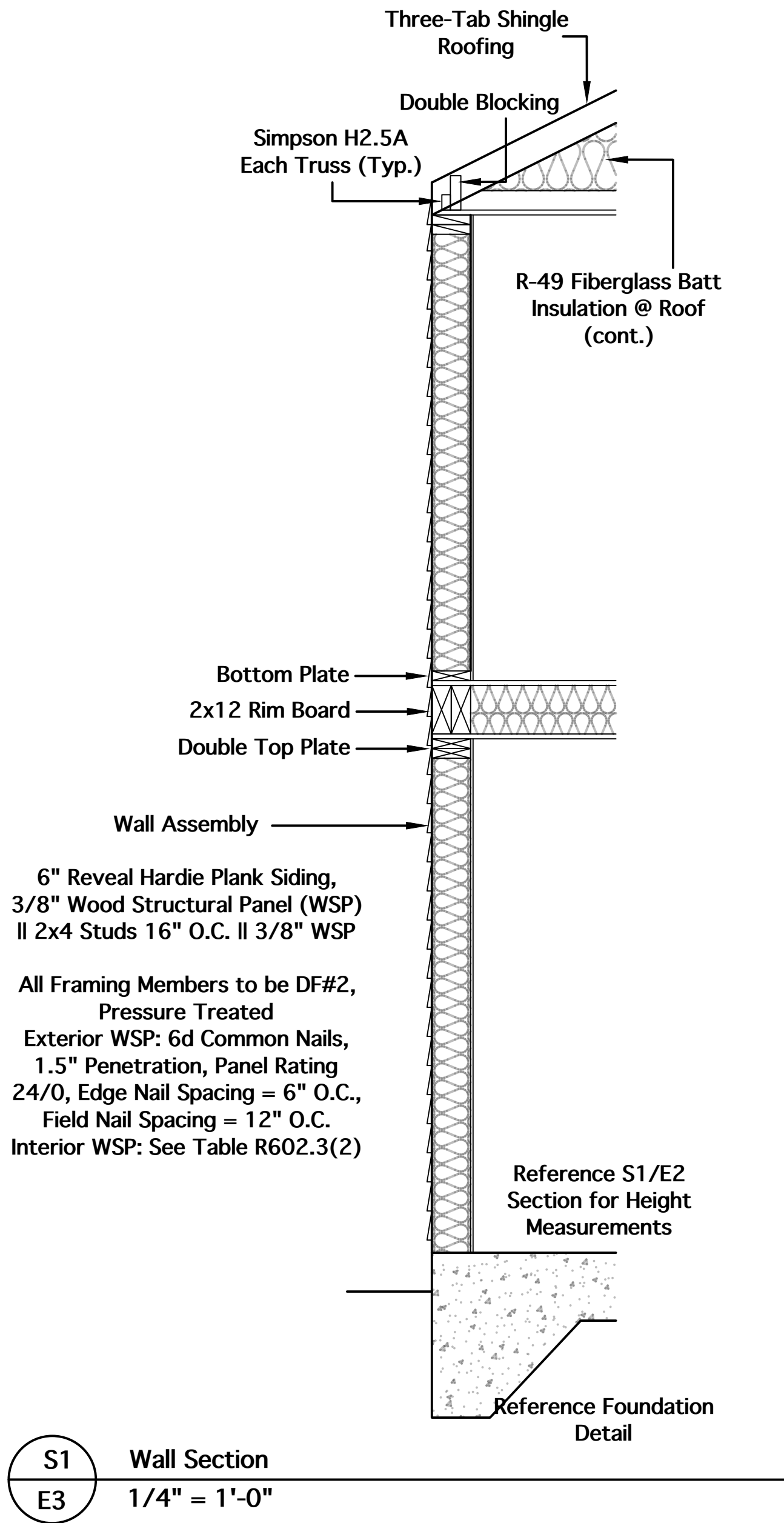
Window Schedule			
Sill Height = 2'	Sill Height = 5'	Sill Height = 2'	
Sill Height = 2'	Sill Height = 2'	Sill Height = 2'	

Door Schedule	

Headers Schedule:

(Refer to Framing Calculations)

Wall Header 1 - W3, W4, W5, D3 & D4  
Wall Header 2 - W2 & W7  
Wall Header 3 - W1  
Wall Header 4 - D2



**R307.1 Space Required**

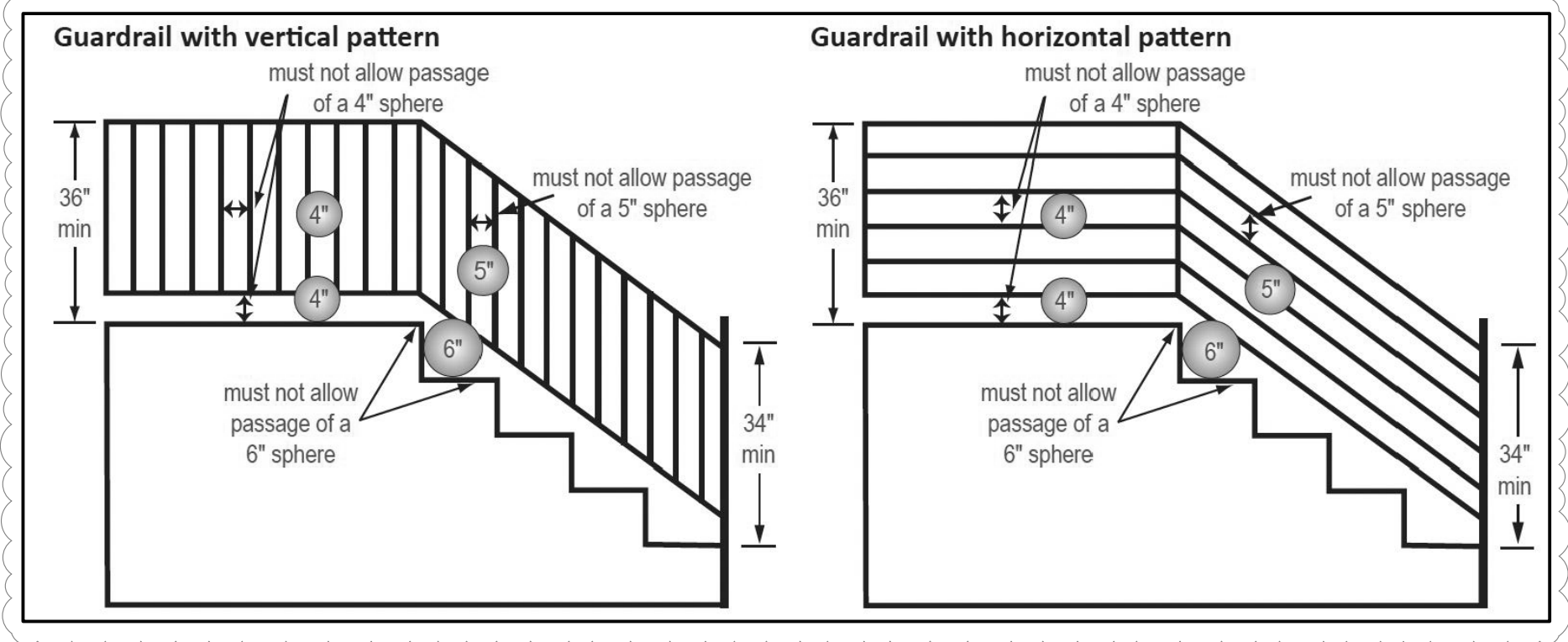
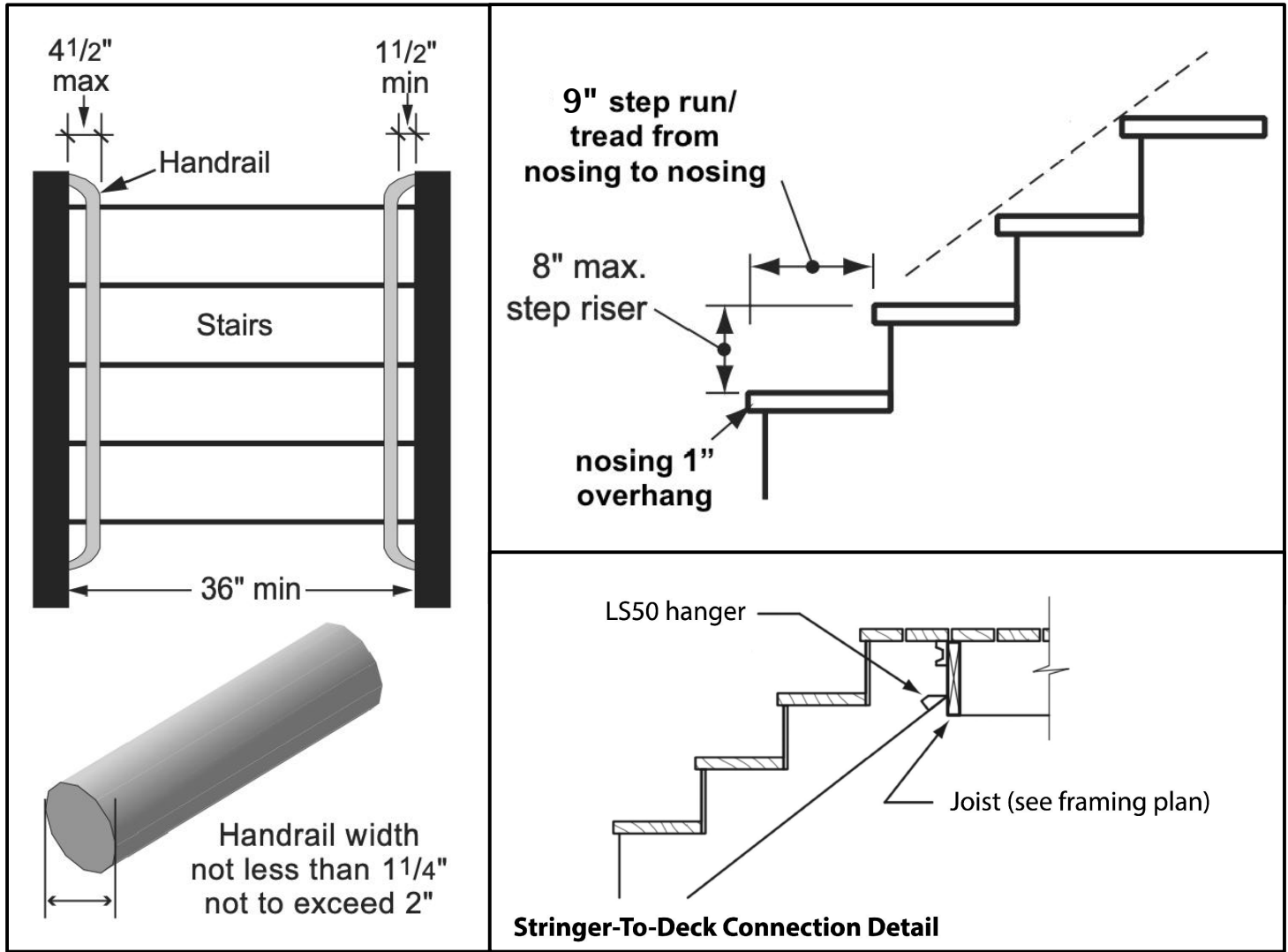
Fixtures shall be spaced in accordance with Figure R307.1, and in accordance with the requirements of the *Plumbing Code*.

For SI: 1 inch = 25.4 mm.

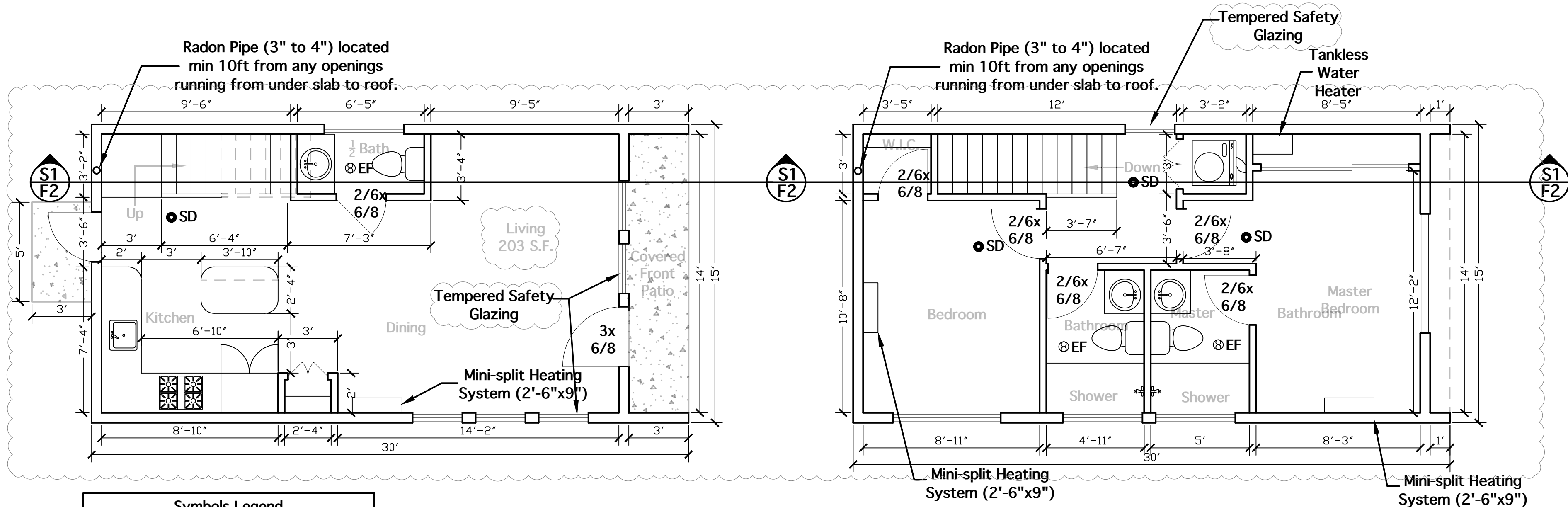
**FIGURE R307.1**  
**MINIMUM FIXTURE CLEARANCES** (See the *Plumbing Code* for shower clearances)

**R307.2 Bathtub and Shower Spaces**

Bathtub and shower floors and walls above bathtubs with installed shower heads and in shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet (1829 mm) above the floor.



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Symbols Legend	
● SD	Smoke & CO Detector
⊗ EF	Single Duct Exhaust

1 First Floor Plan  
F1  
1/4" = 1'-0"

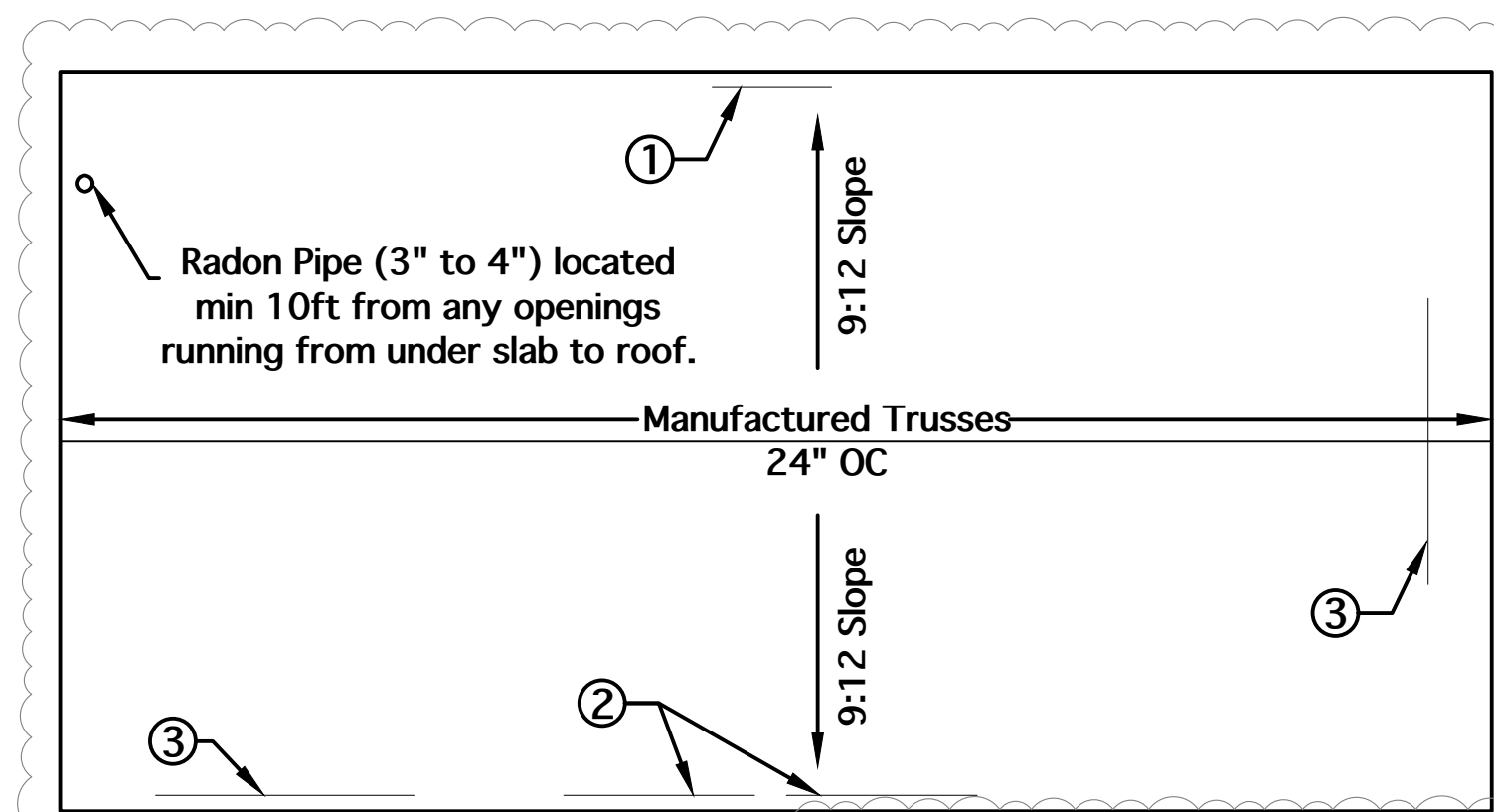
2 Second Floor Plan  
F1  
1/4" = 1'-0"

3 Foundation Plan  
F1  
1/4" = 1'-0"

Foundation Vents Calcs	
Foundation Vents: Total area = 492 SF 1/150 * 492 = 3.28 SF of vents req'd	
GAF RT-65 Foundation Vent to be installed, providing 60 SQ IN per vent.	
3.28 SF * 144 IN/SF = 472.32SQIN 472.32 / 60 = 7.9Vents	
9 Total Vents Req'd	

The minimum net area of ventilation openings shall be not less than 1 square foot (0.0929 m2) for each 150 square feet (14 m2) of under-floor space area.

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# Window Headers Notes:

1. 2 x 4 DF No.2
2. 2 x 4 DF No.2
3. 2 x 4 DF No.2

Roof Vents:

Total area = 465 SF  
 $1/150 \times 465 = 3.1$  SF of vents req'd

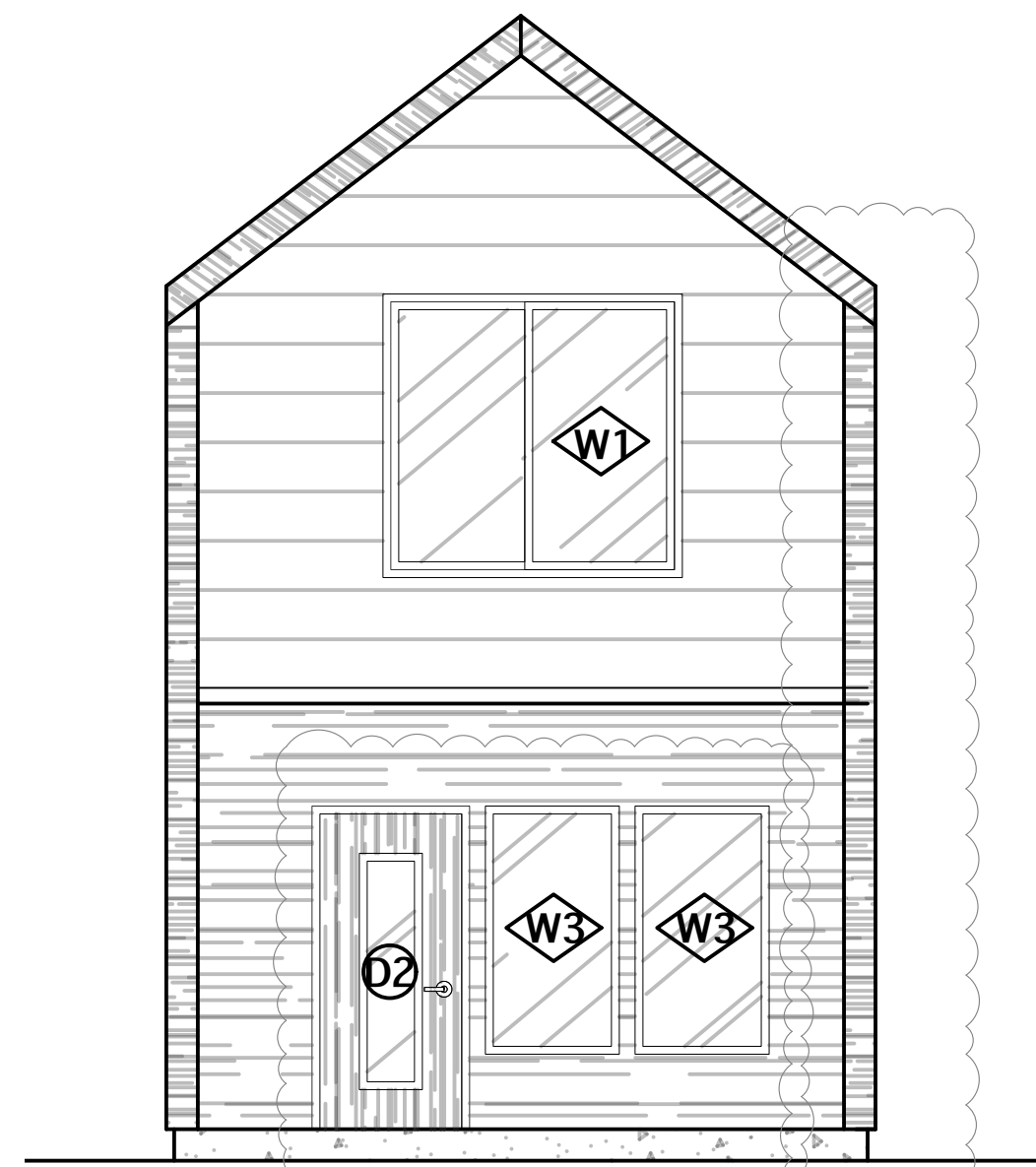
GAF RT-65 Roof Vent to be installed, providing 60 SQ IN per vent.

$3.1 \text{ SF} \times 144 \text{ IN/SF} = 446.4 \text{ SQIN}$   
 $446.4 / 60 = 7.44$  Vents

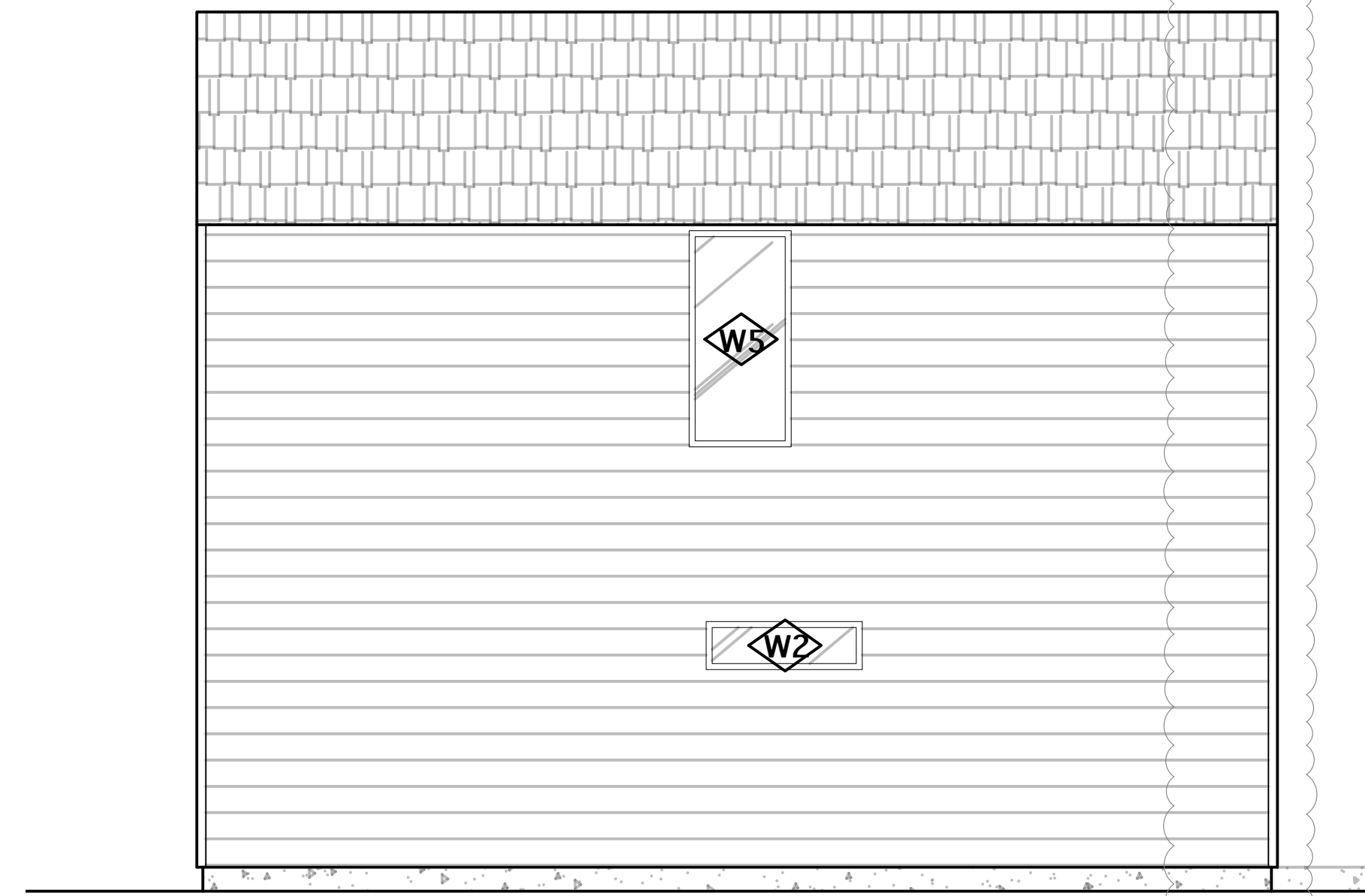
8 Total Vents Req'd

1 Roof Plan  
F2 1/4" = 1'-0"

Zero eave on all sides.

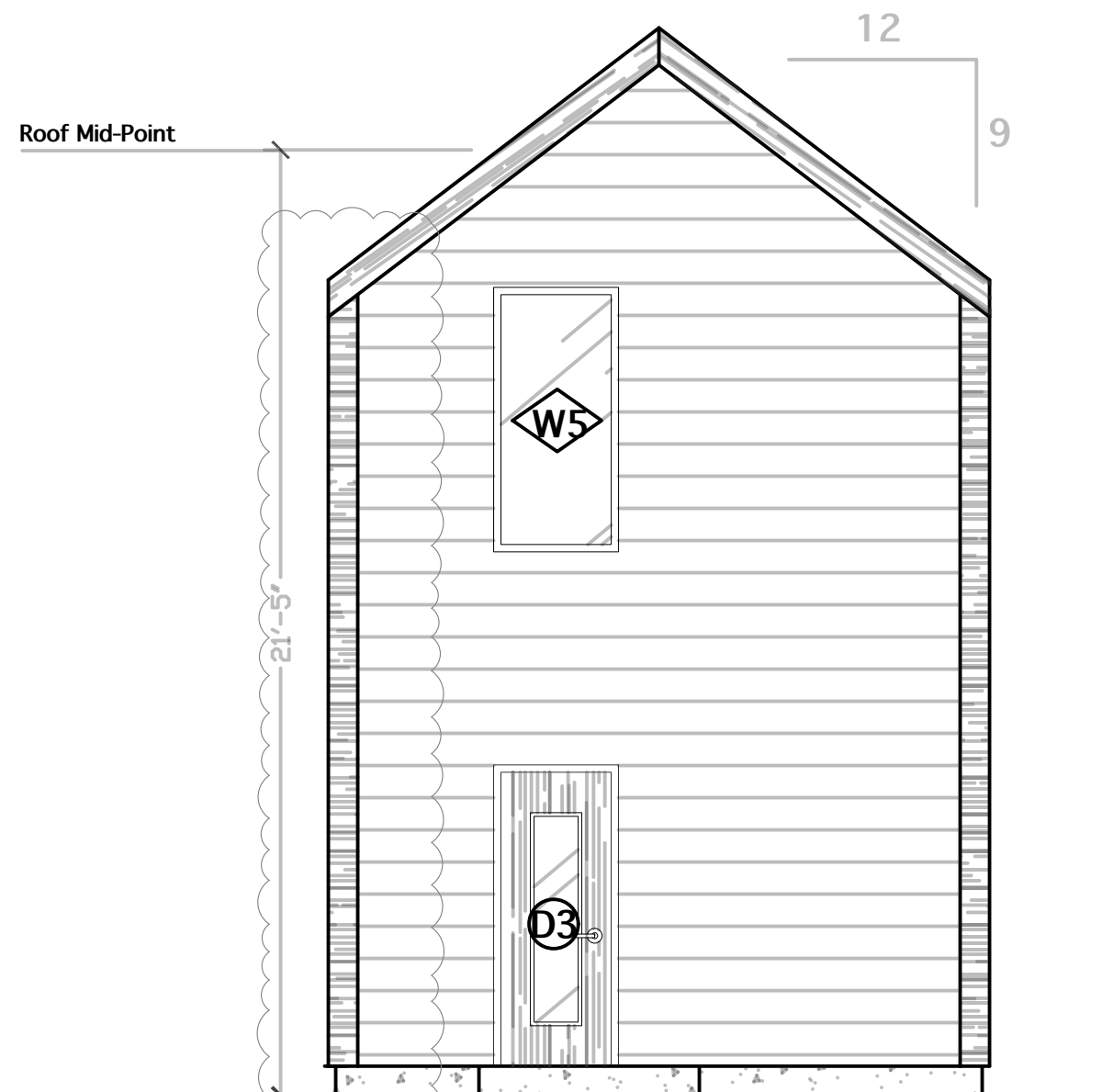


2 South (Front) Elevation  
F2 1/4" = 1'-0"

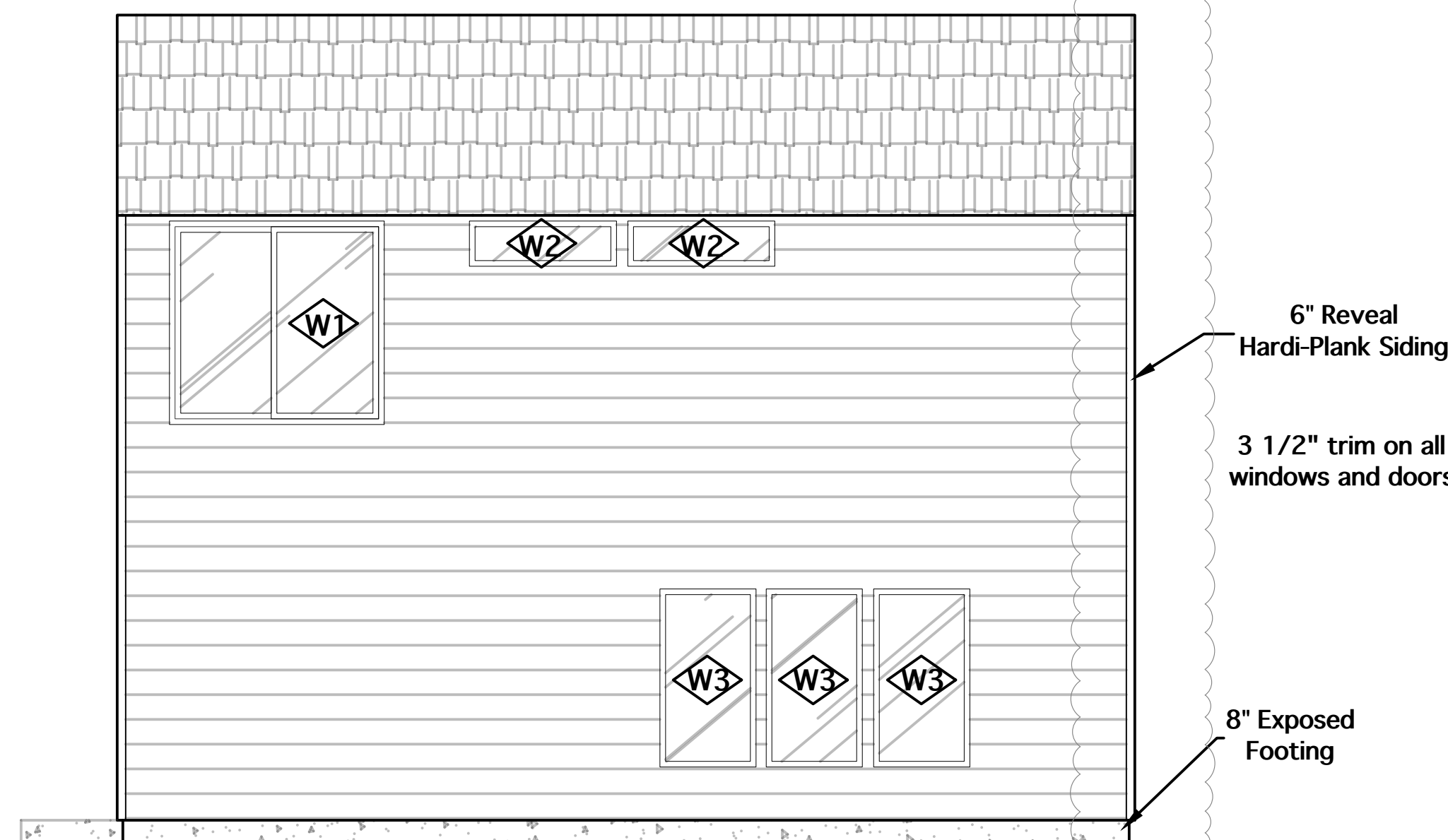


3 East Elevation  
F2 1/4" = 1'-0"

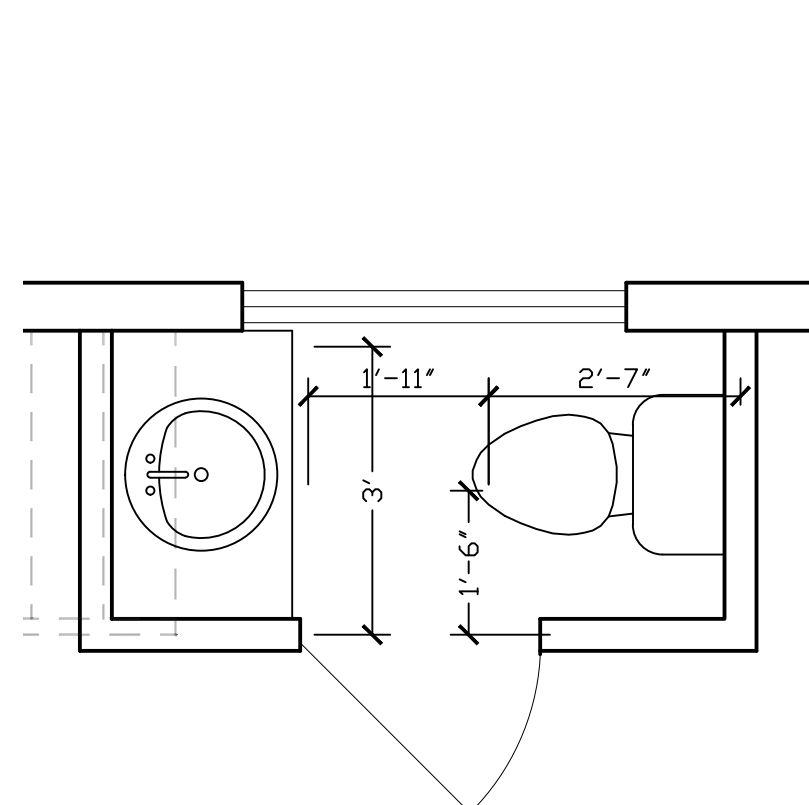
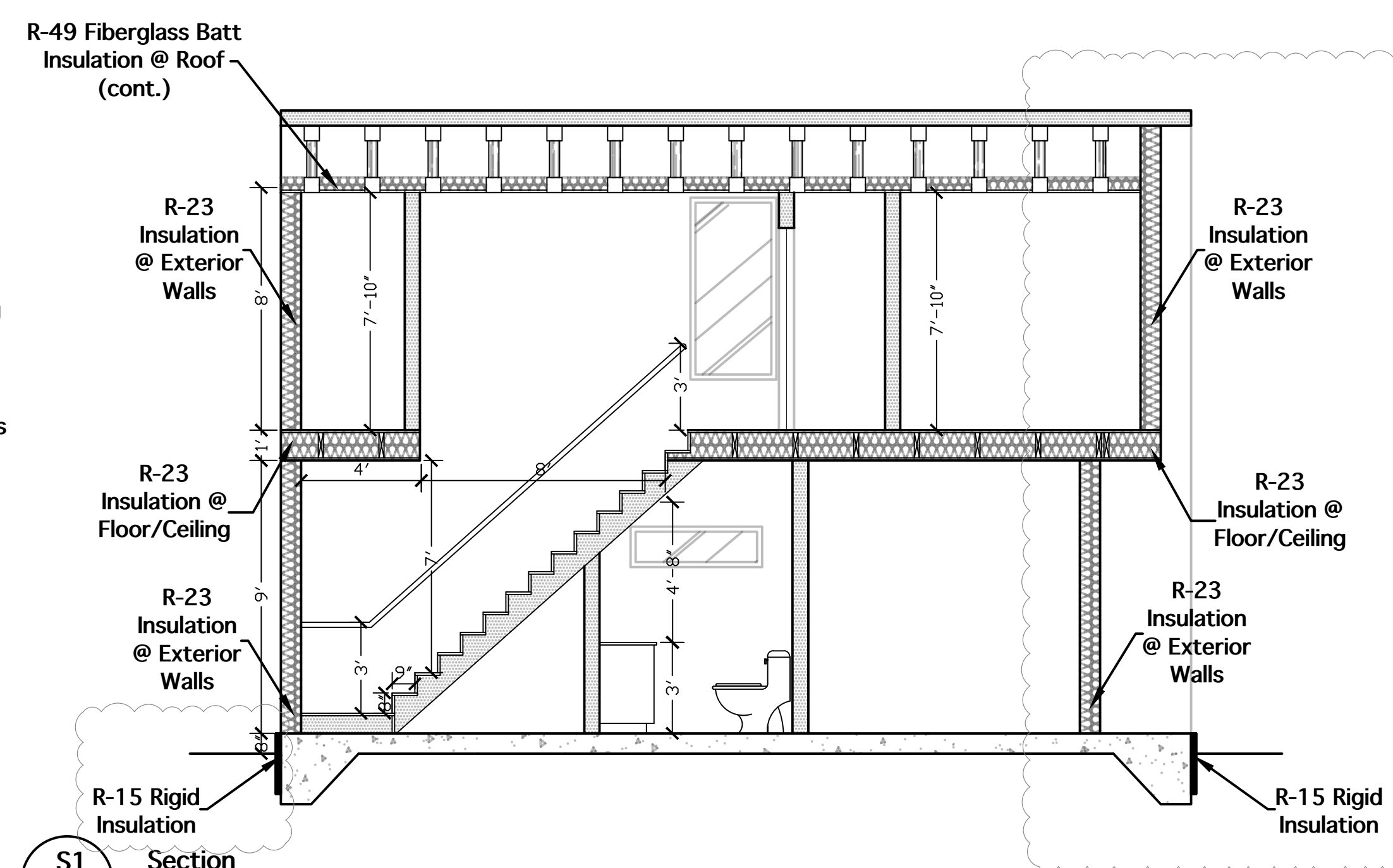
CITY APPROVAL STAMP



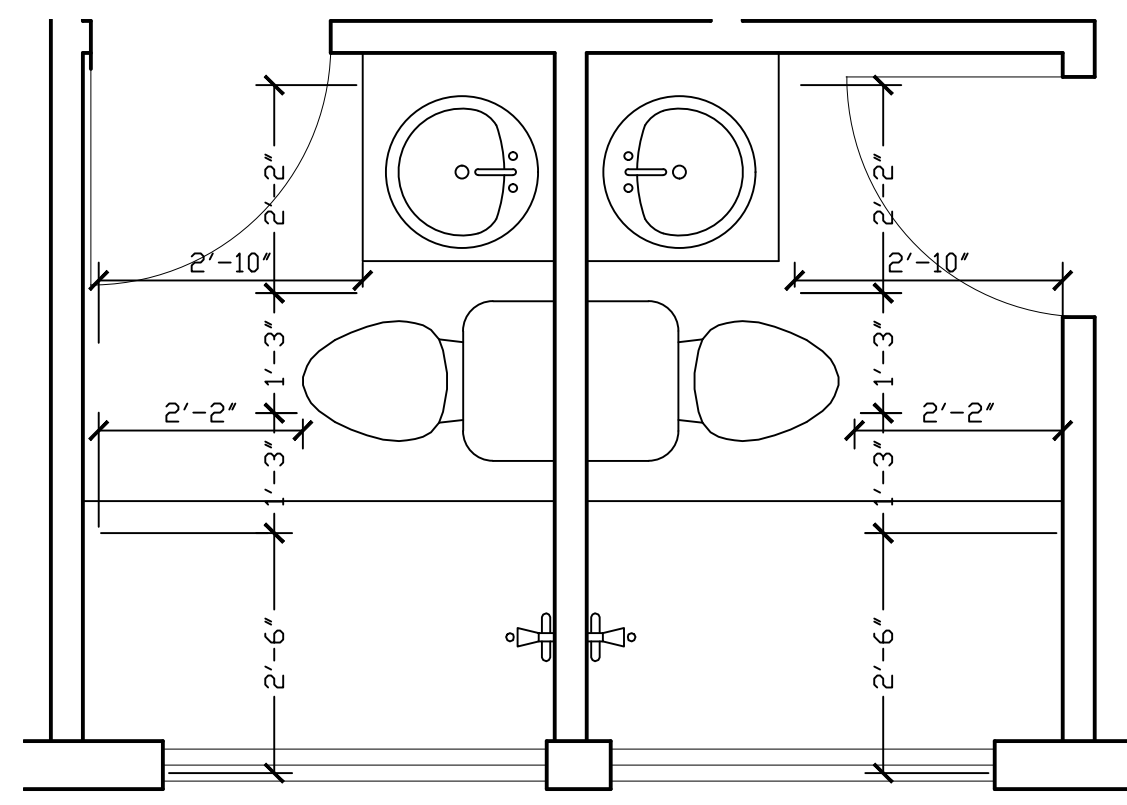
4 North Elevation  
F2 1/4" = 1'-0"



5 West Elevation  
F2 1/4" = 1'-0"



D1 Visitable Half Bath - Enlarged Floor Plan  
F2 1/2" = 1'-0"



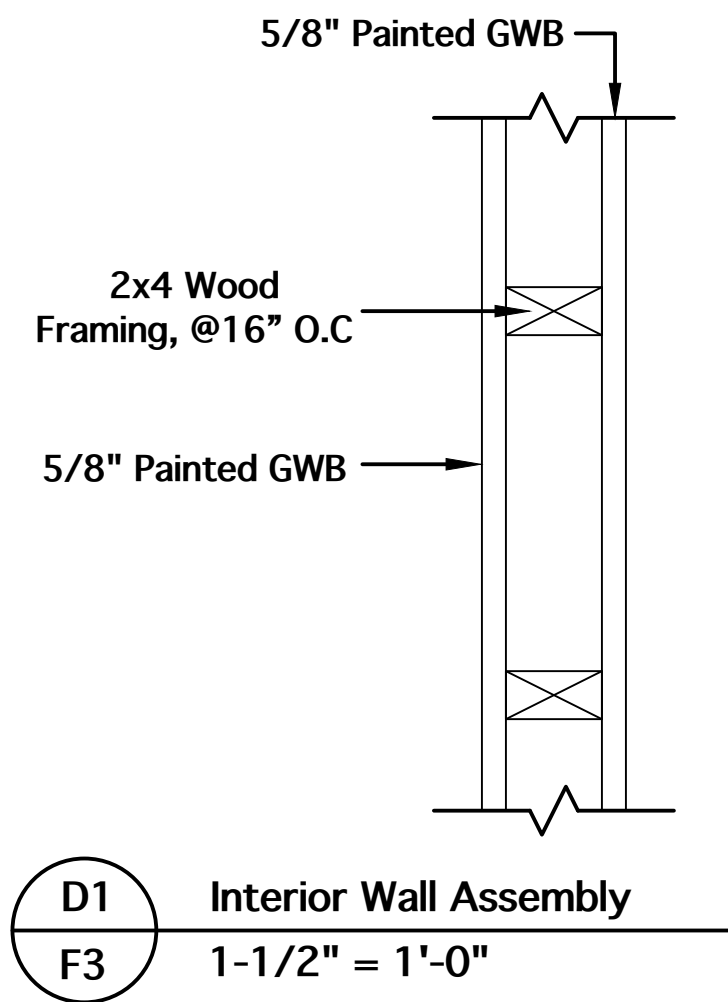
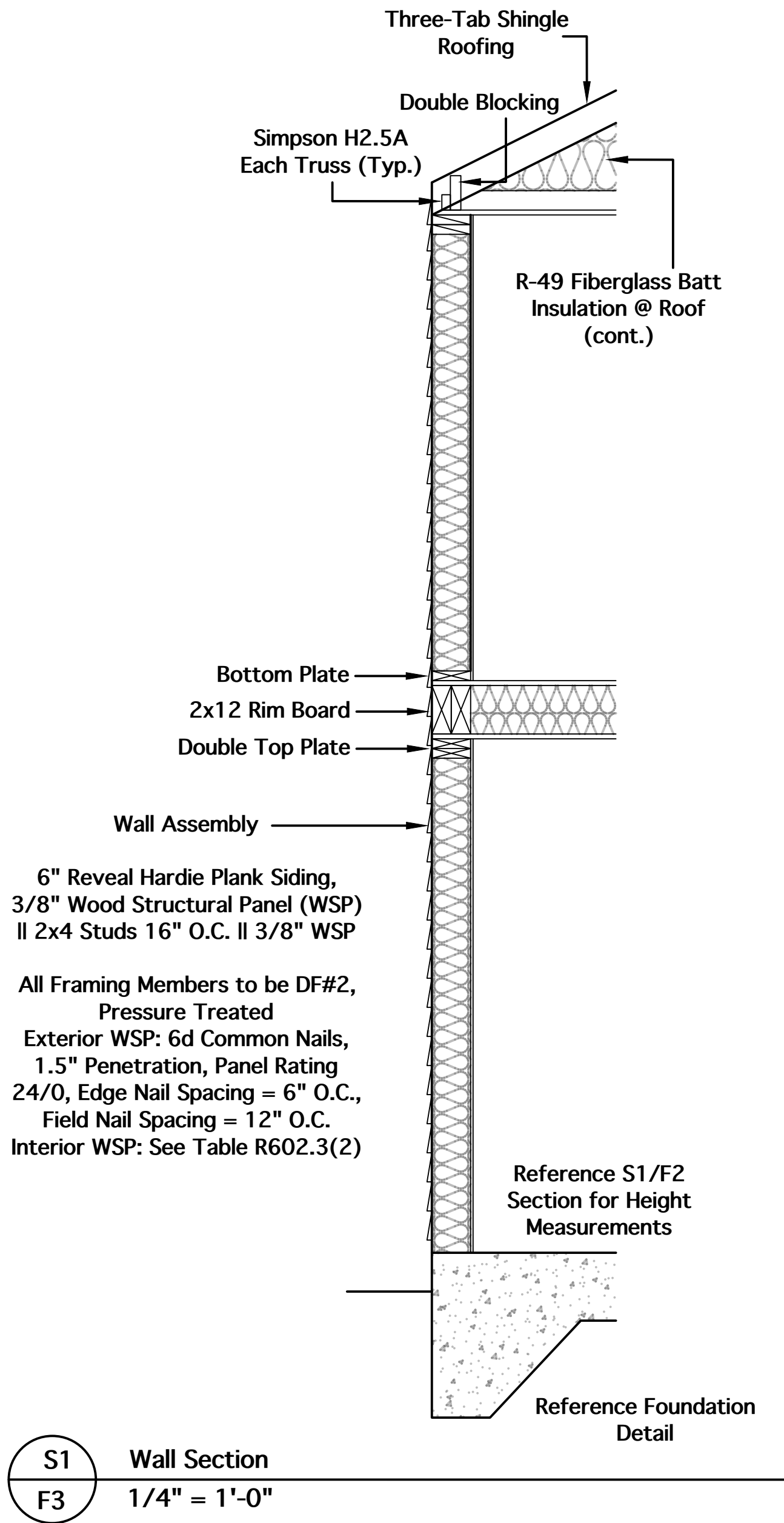
D2 Upper Floor Bathrooms - Enlarged Floor Plan  
F2 1/2" = 1'-0"

Window Schedule		
Sill Height = 2'	Sill Height = 5'	Sill Height = 2'
Sill Height = 2'	Sill Height = 2'	Sill Height = 2'

Door Schedule	

Headers Schedule:  
(Refer to Framing Calculations)

Wall Header 1 - W3, W4, W5, D3 & D4  
Wall Header 2 - W2 & W7  
Wall Header 3 - W1  
Wall Header 4 - D2



**R307.1 Space Required**

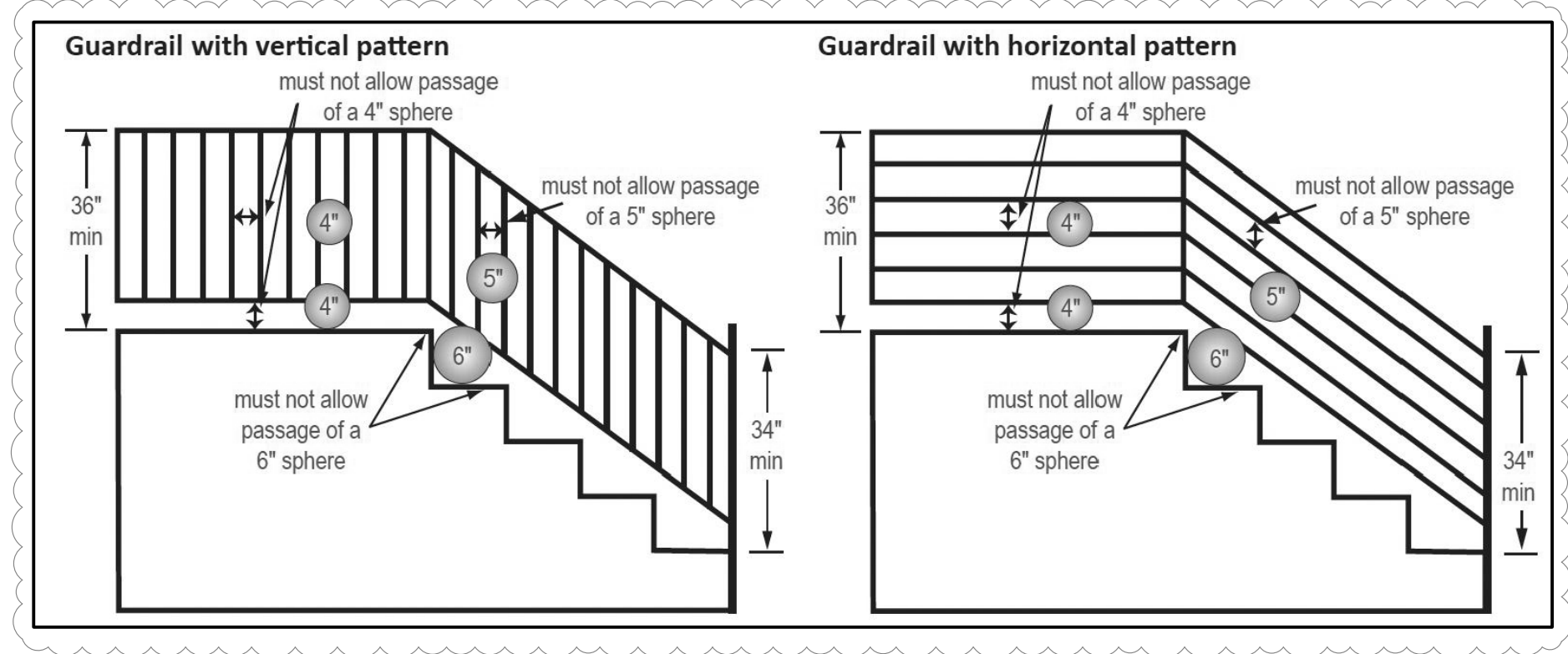
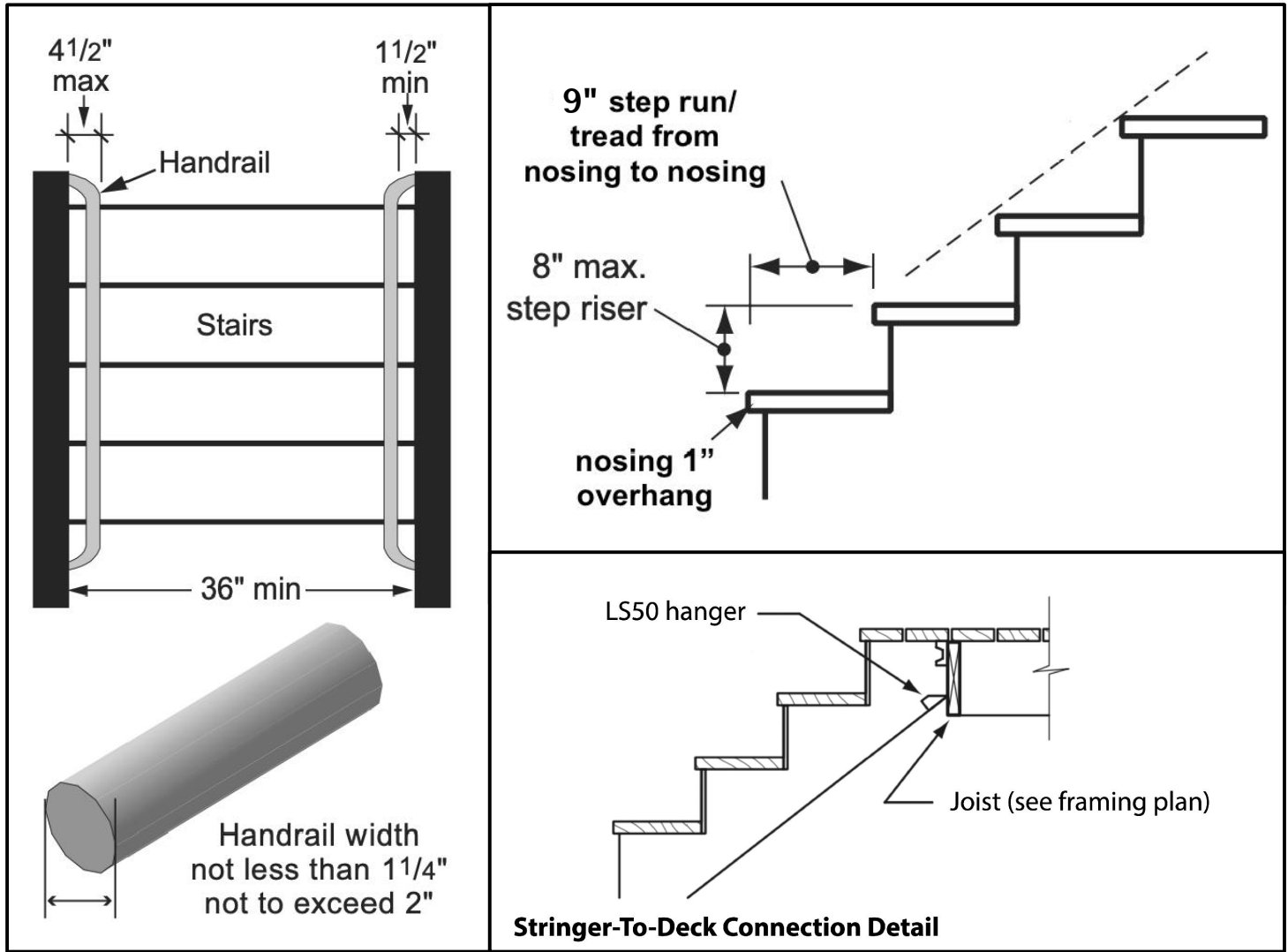
Fixtures shall be spaced in accordance with Figure R307.1, and in accordance with the requirements of the *Plumbing Code*.

For SI: 1 inch = 25.4 mm.

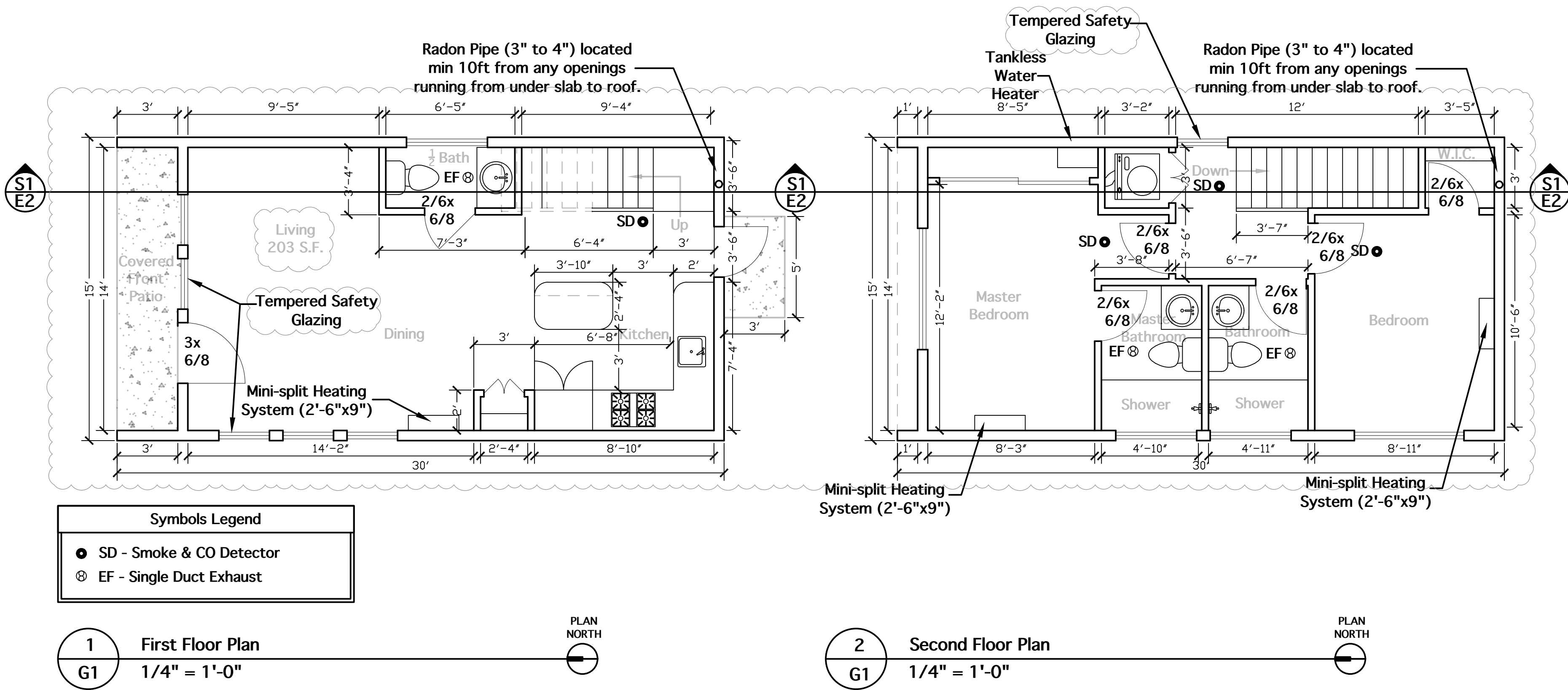
**FIGURE R307.1**  
**MINIMUM FIXTURE CLEARANCES** (See the *Plumbing Code* for shower clearances)

**R307.2 Bathtub and Shower Spaces**

Bathtub and shower floors and walls above bathtubs with installed shower heads and in shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet (1829 mm) above the floor.



CITY APPROVAL STAMP

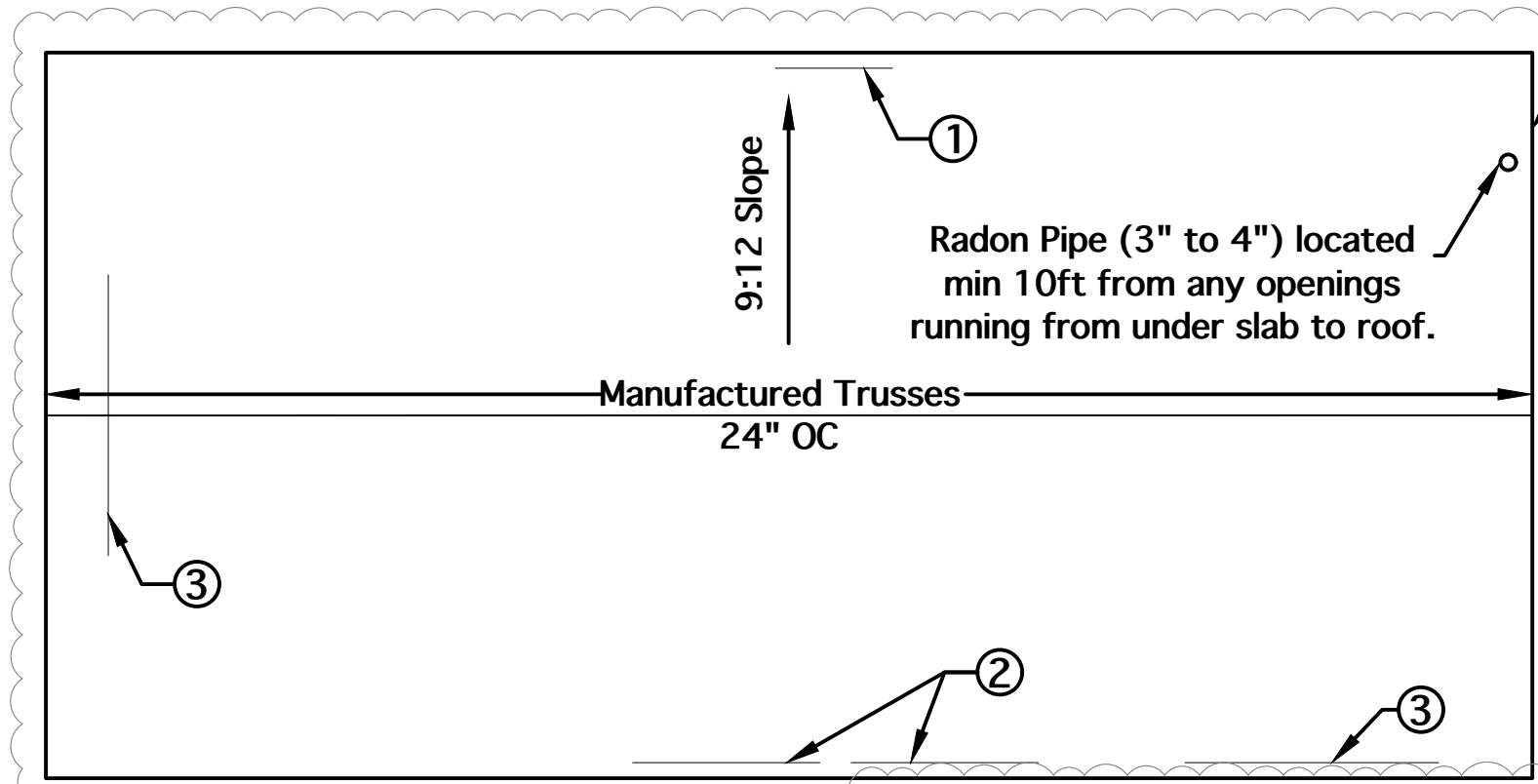


Foundation plan removed from architectural drawings.  
Please refer to structural plans.

Foundation Vents Calcs
Foundation Vents: Total area = 492 SF $1/150 * 492 = 3.28$ SF of vents req'd
GAF RT-65 Foundation Vent to be installed, providing 60 SQ IN per vent.
$3.28 \text{ SF} * 144 \text{ IN/SF} = 472.32 \text{ SQIN}$ $472.32 / 60 = 7.9 \text{ Vents}$
9 Total Vents Req'd

The minimum net area of ventilation openings shall be not less than 1 square foot (0.0929 m2) for each 150 square feet (14 m2) of under-floor space area.

CITY APPROVAL STAMP

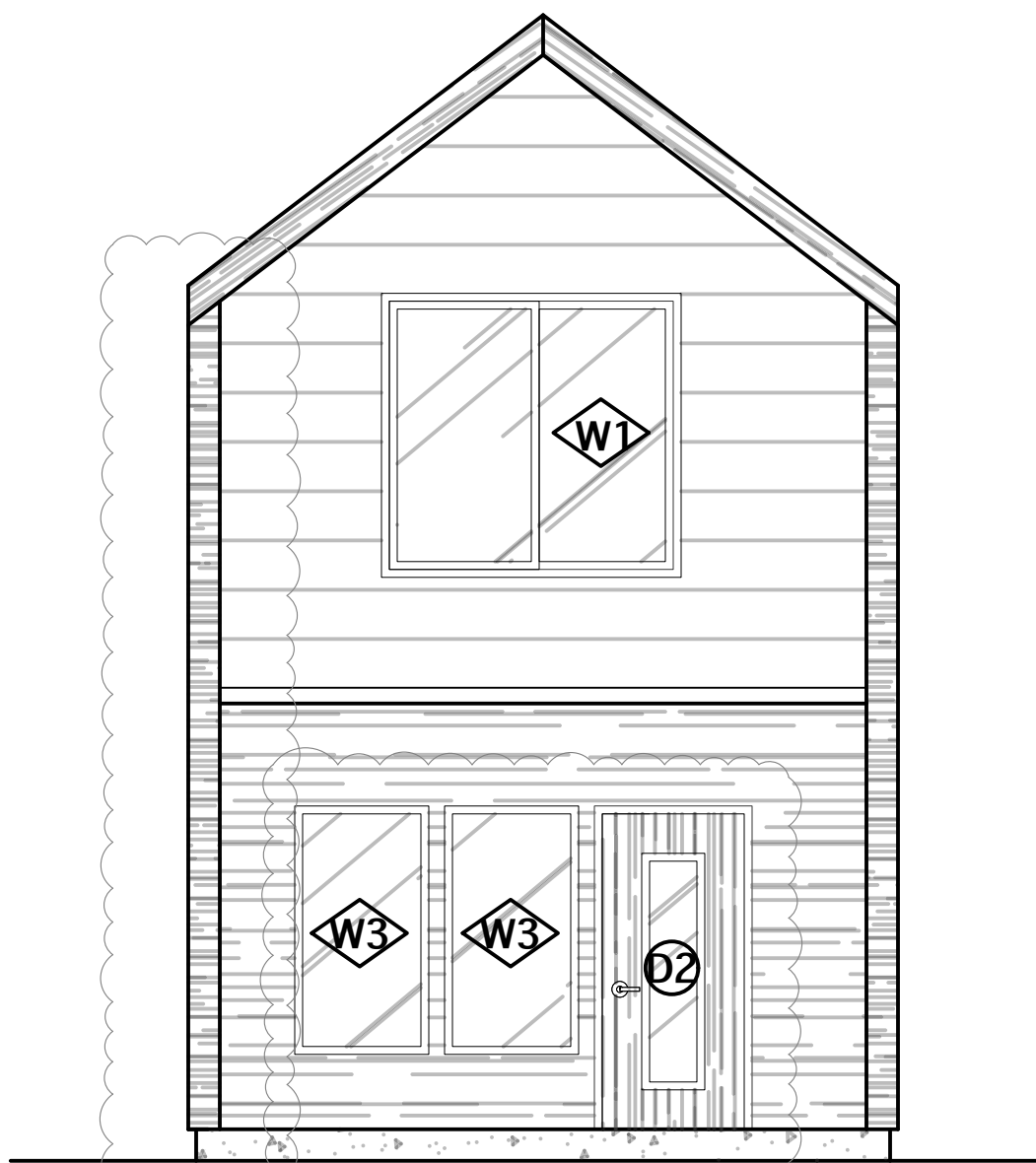



# Window Headers Notes:

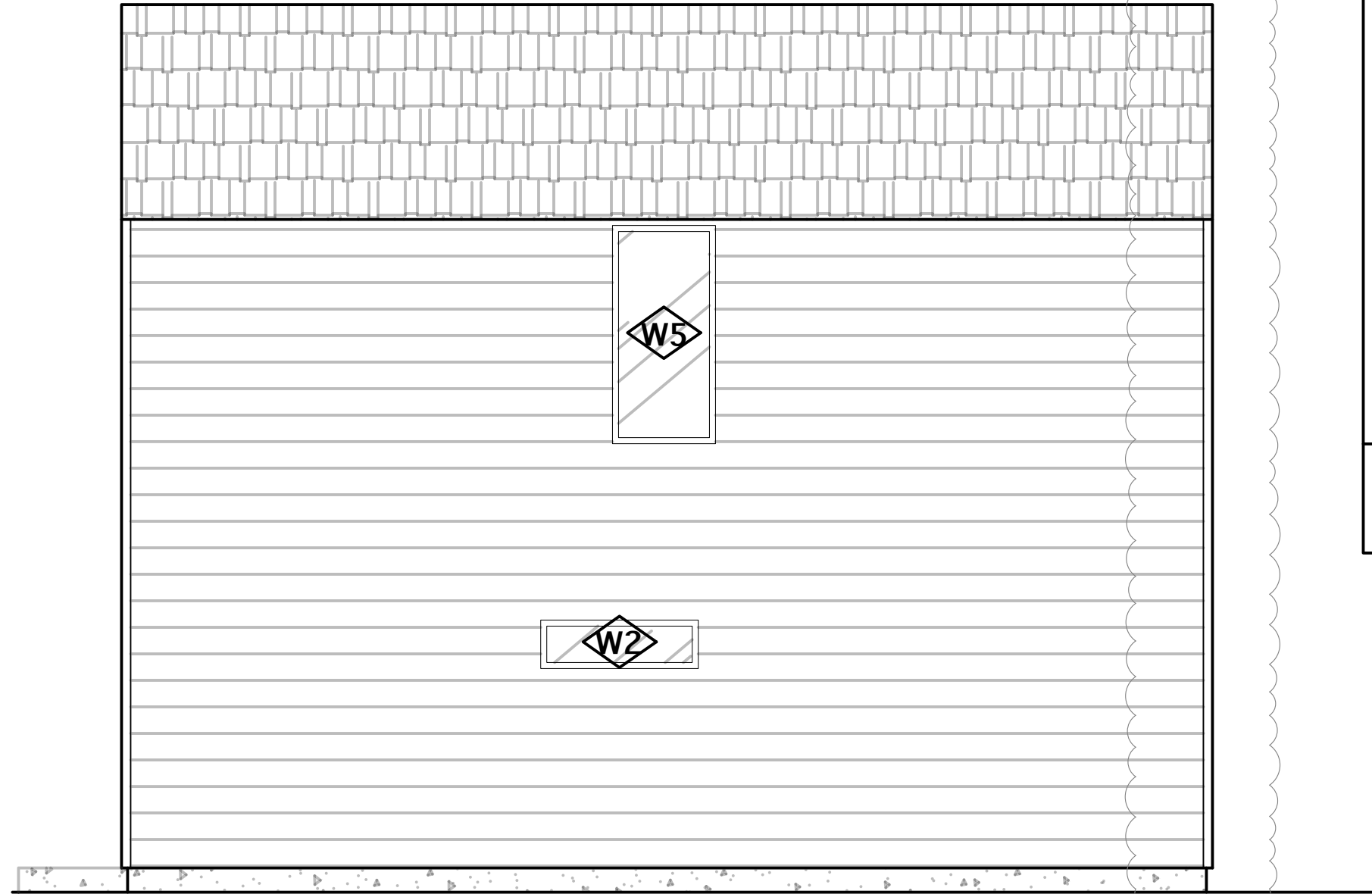
- 1. 2 x 4 DF No.2
- 2. 2 x 4 DF No.2
- 3. 2 x 4 DF No.2

Roof Vents:  
Total area = 465 SF  
 $1/150 \times 465 = 3.1$  SF of vents req'd  
  
GAF RT-65 Roof Vent to be installed, providing 60 SQ IN per vent.  
  
 $3.1 \text{ SF} \times 144 \text{ IN/SF} = 446.4 \text{ SQIN}$   
 $446.4 / 60 = 7.44$  Vents  
  
8 Total Vents Req'd

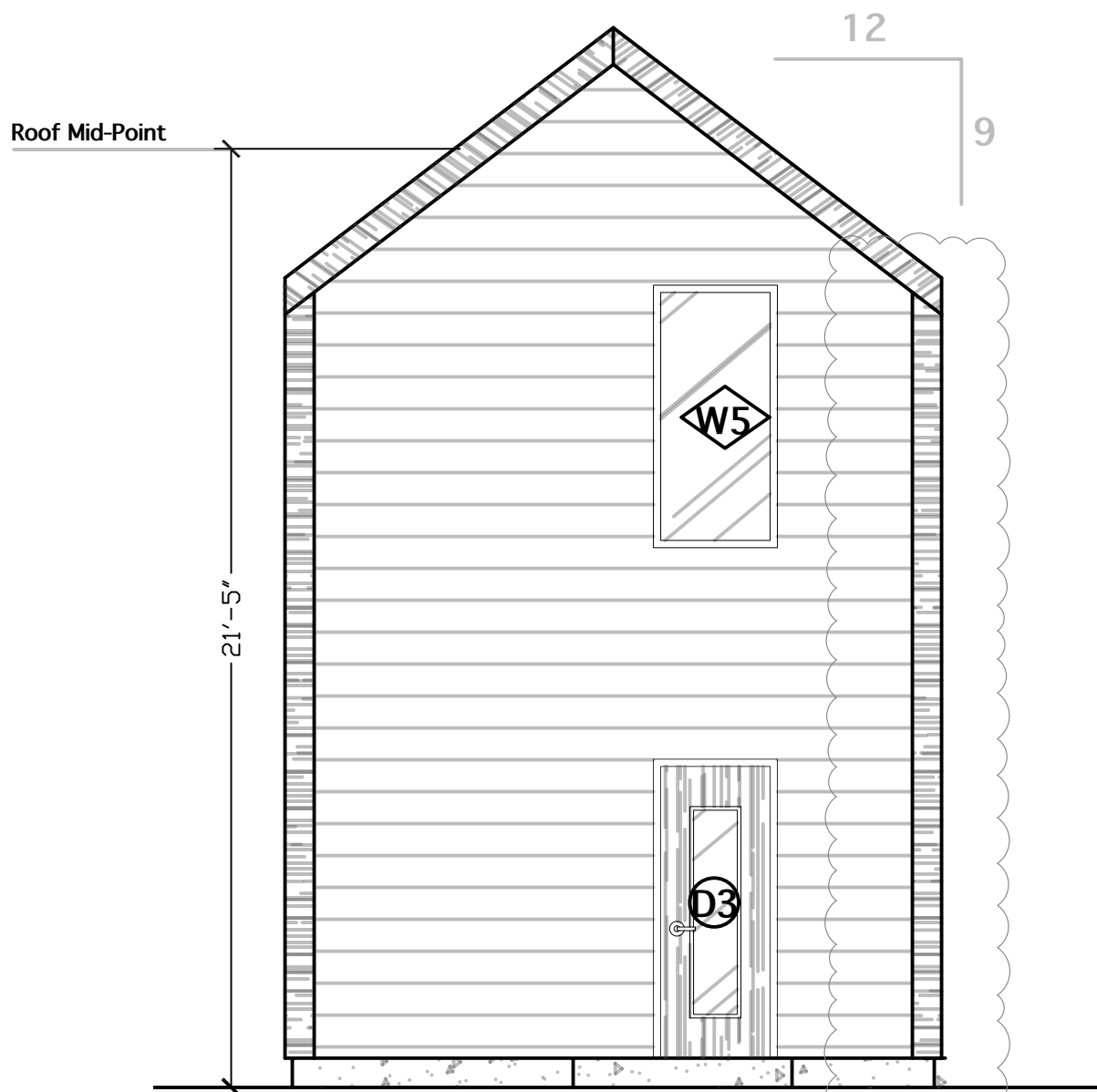
1 Roof Plan  
G2 1/4" = 1'-0"



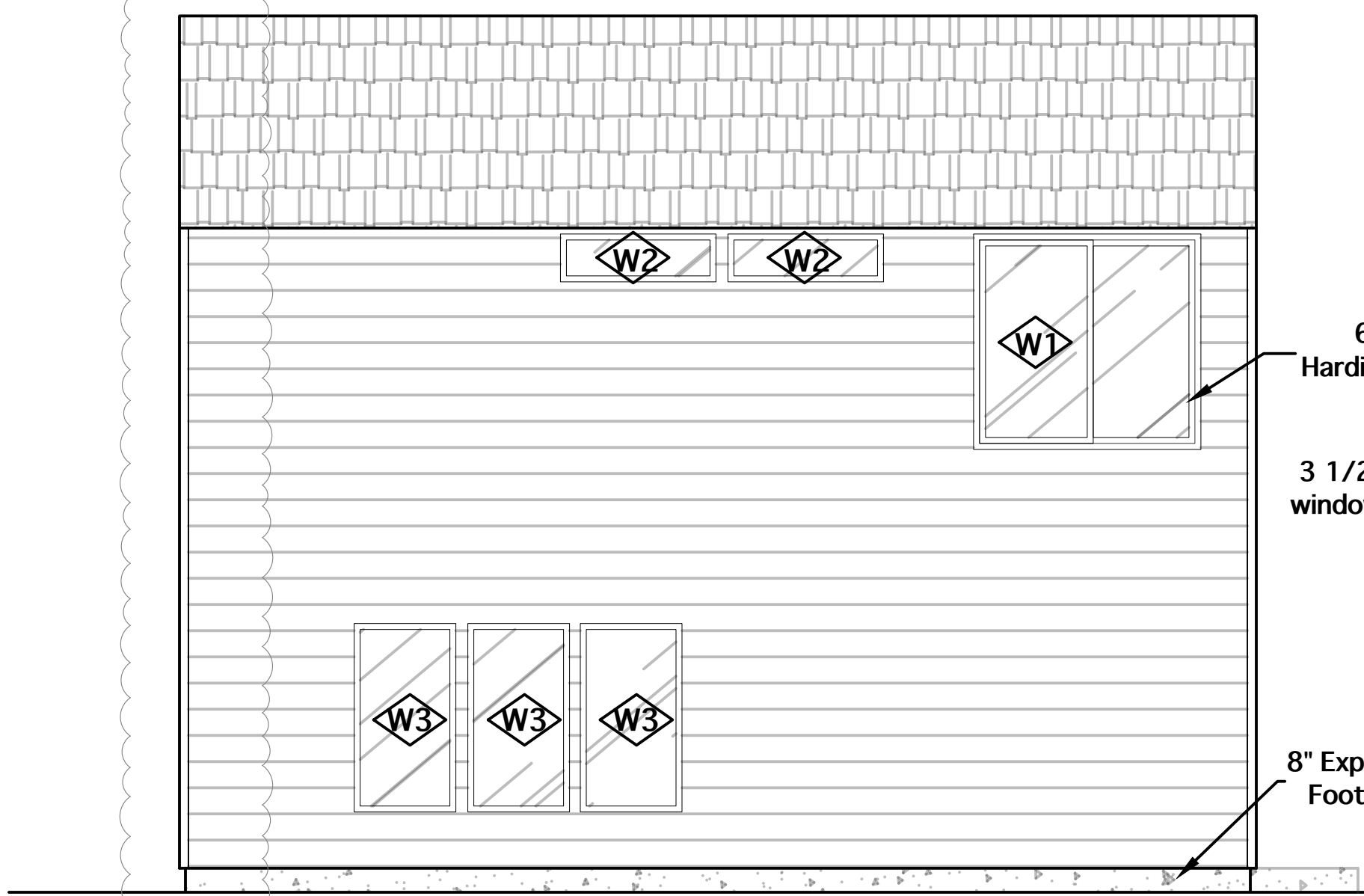
2 North (Front) Elevation  
G2 1/4" = 1'-0"



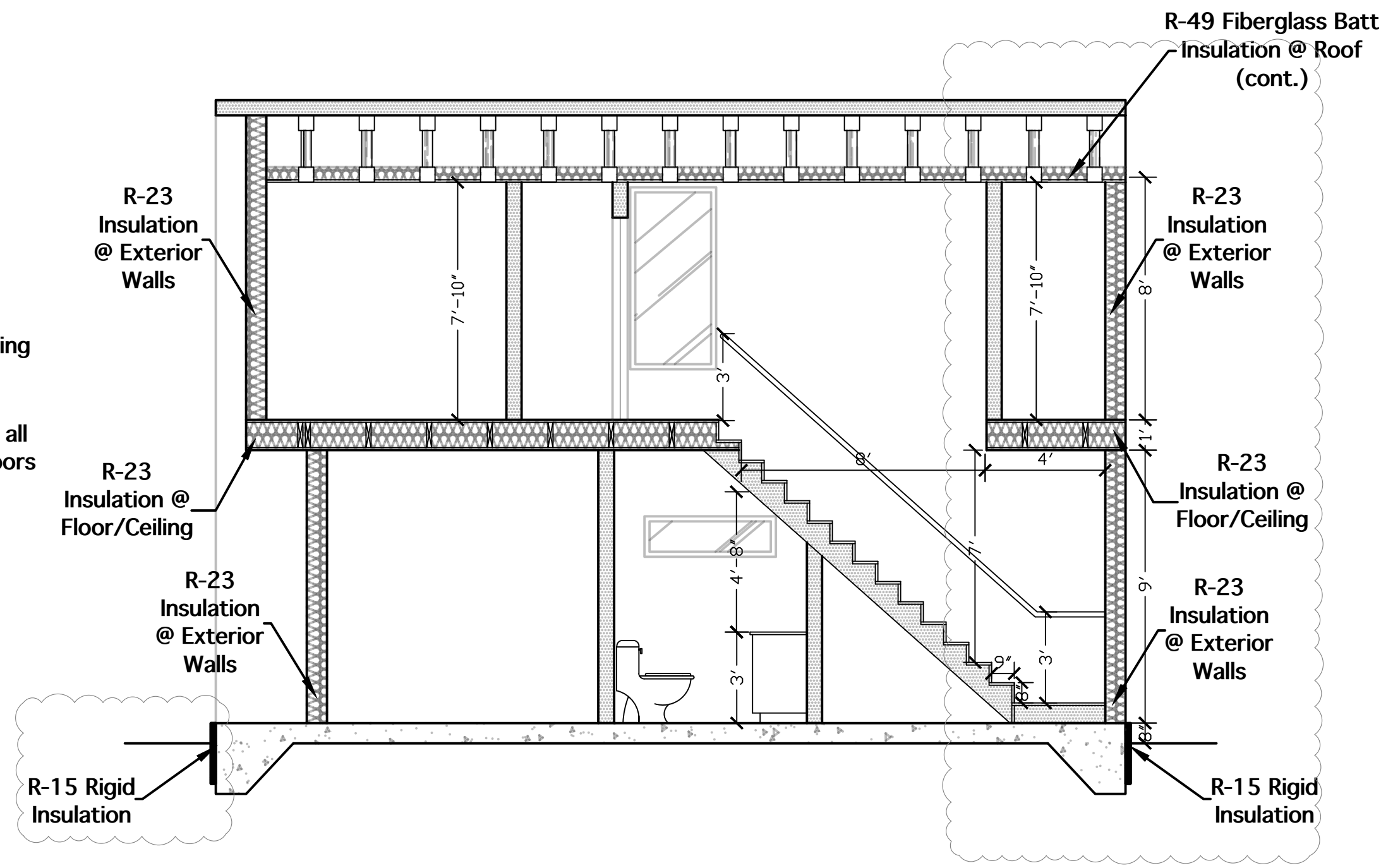
3 East Elevation  
G2 1/4" = 1'-0"



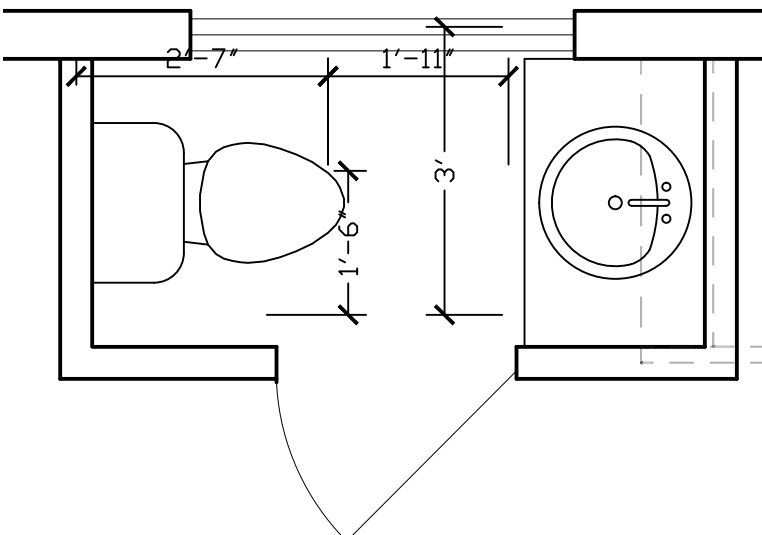
4 South Elevation  
G2 1/4" = 1'-0"



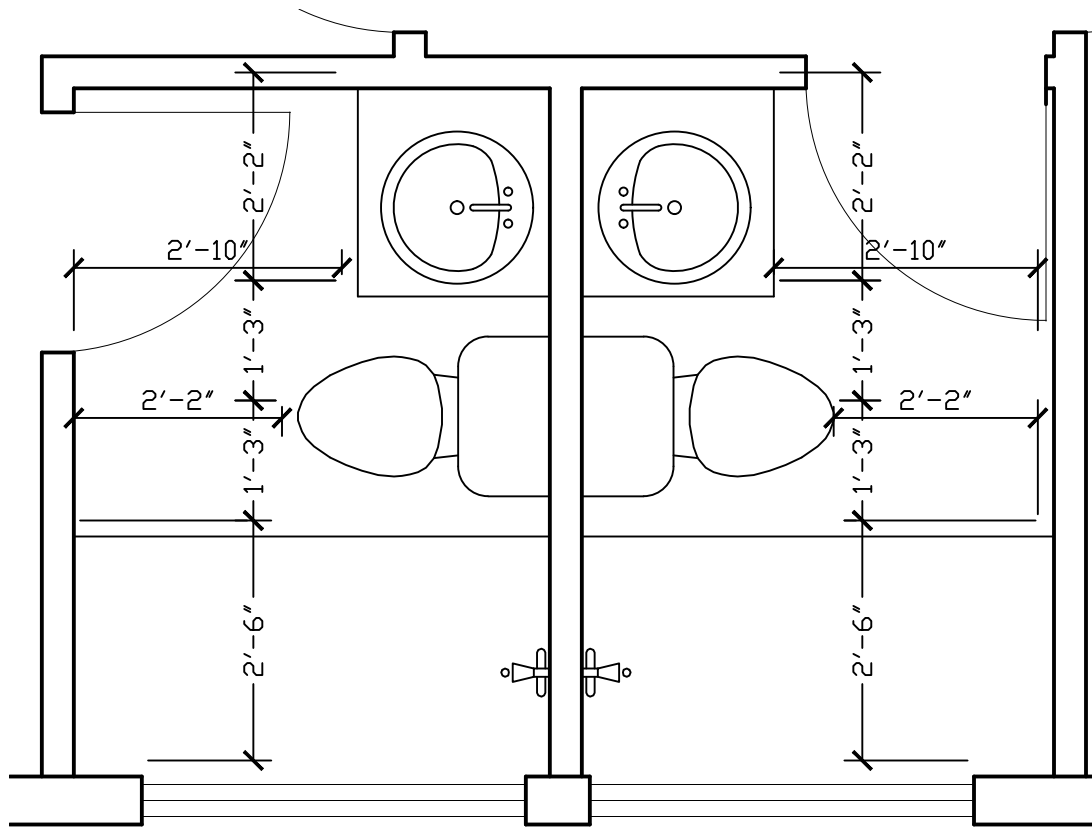
5 West Elevation  
G2 1/4" = 1'-0"



S1 Section  
G2 1/4" = 1'-0"



D1 Visitable Half Bath - Enlarged Floor Plan  
G2 1/2" = 1'-0"



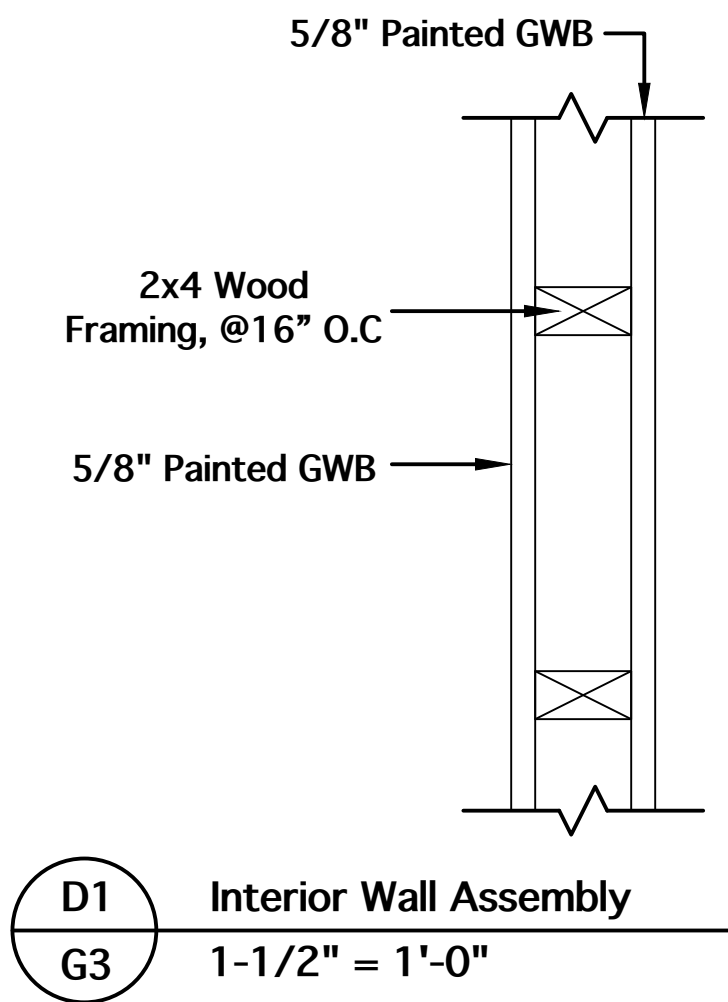
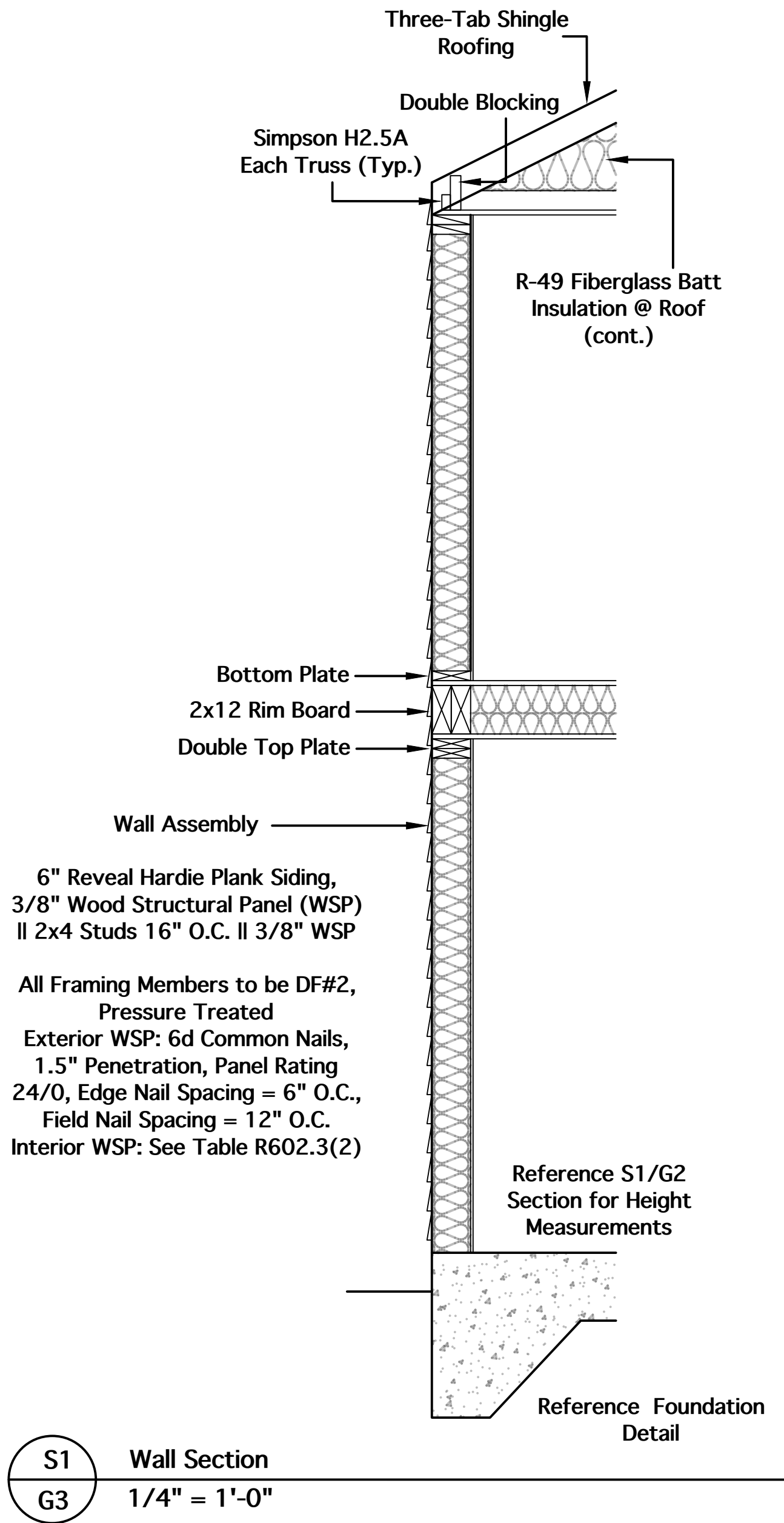
D2 Upper Floor Bathrooms - Enlarged Floor Plan  
G2 1/2" = 1'-0"

Window Schedule		

Door Schedule	

CITY APPROVAL STAMP

submitted 8.29.23



**R307.1 Space Required**

Fixtures shall be spaced in accordance with Figure R307.1, and in accordance with the requirements of the *Plumbing Code*.

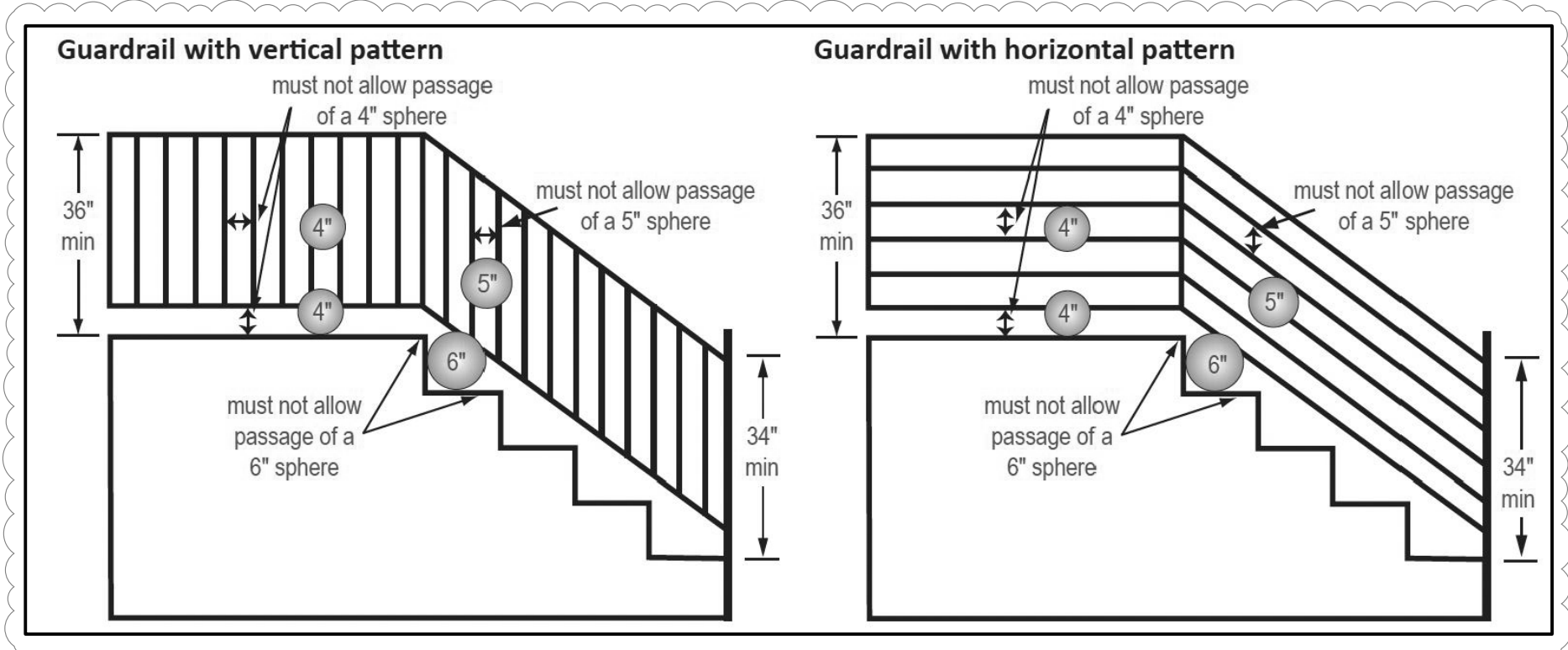
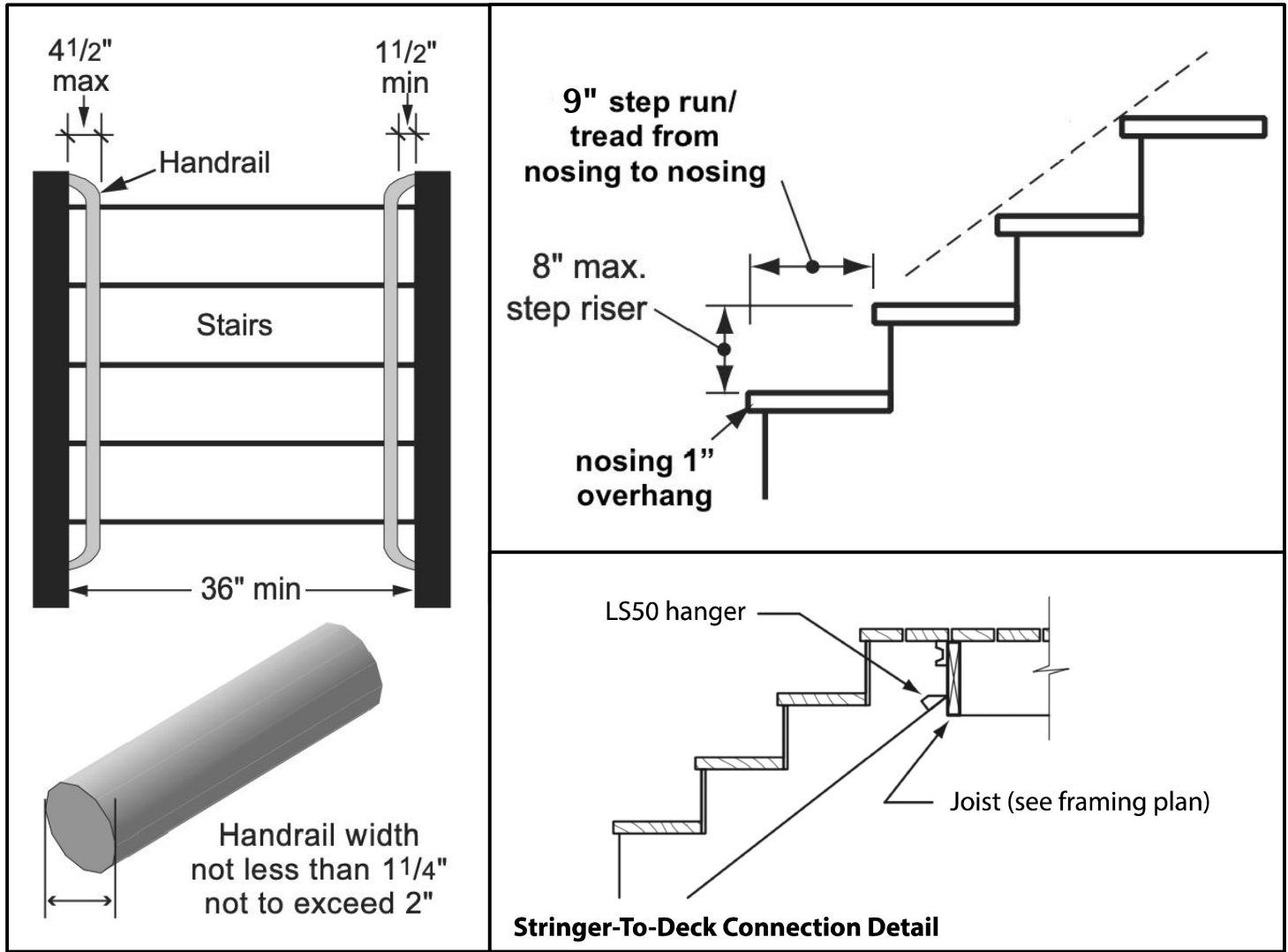
For SI: 1 inch = 25.4 mm.

**FIGURE R307.1**

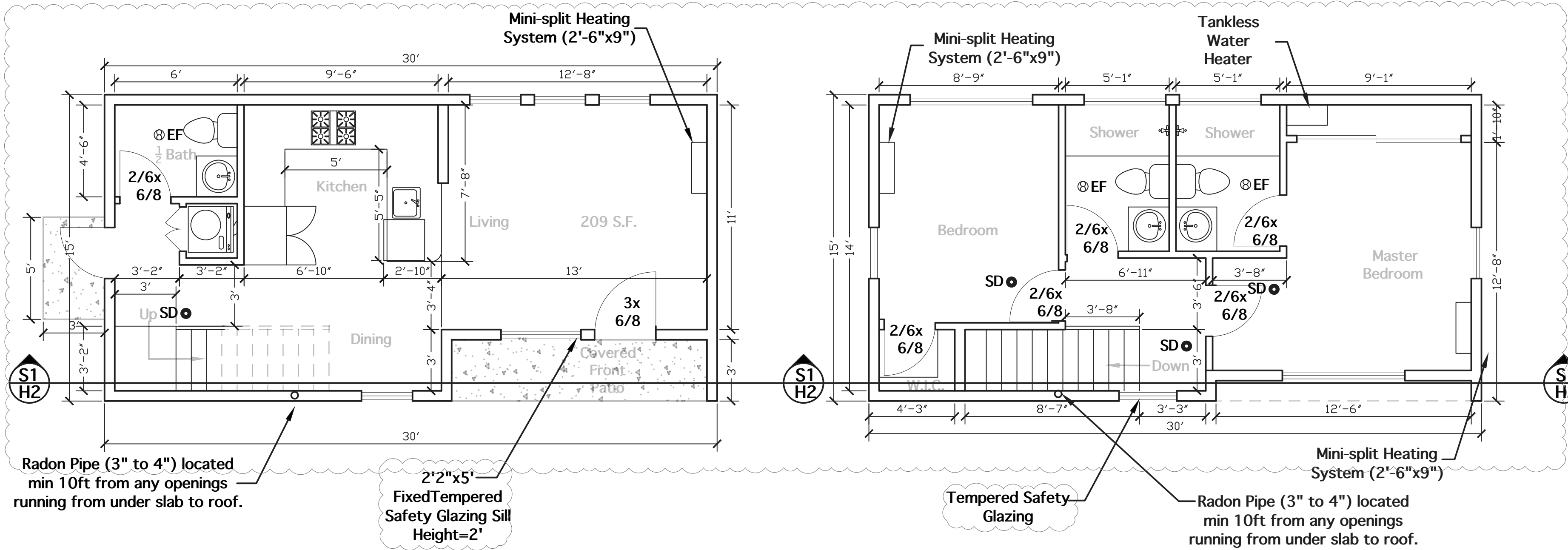
**MINIMUM FIXTURE CLEARANCES** (See the *Plumbing Code* for shower clearances)

**R307.2 Bathtub and Shower Spaces**

Bathtub and shower floors and walls above bathtubs with installed shower heads and in shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet (1829 mm) above the floor.



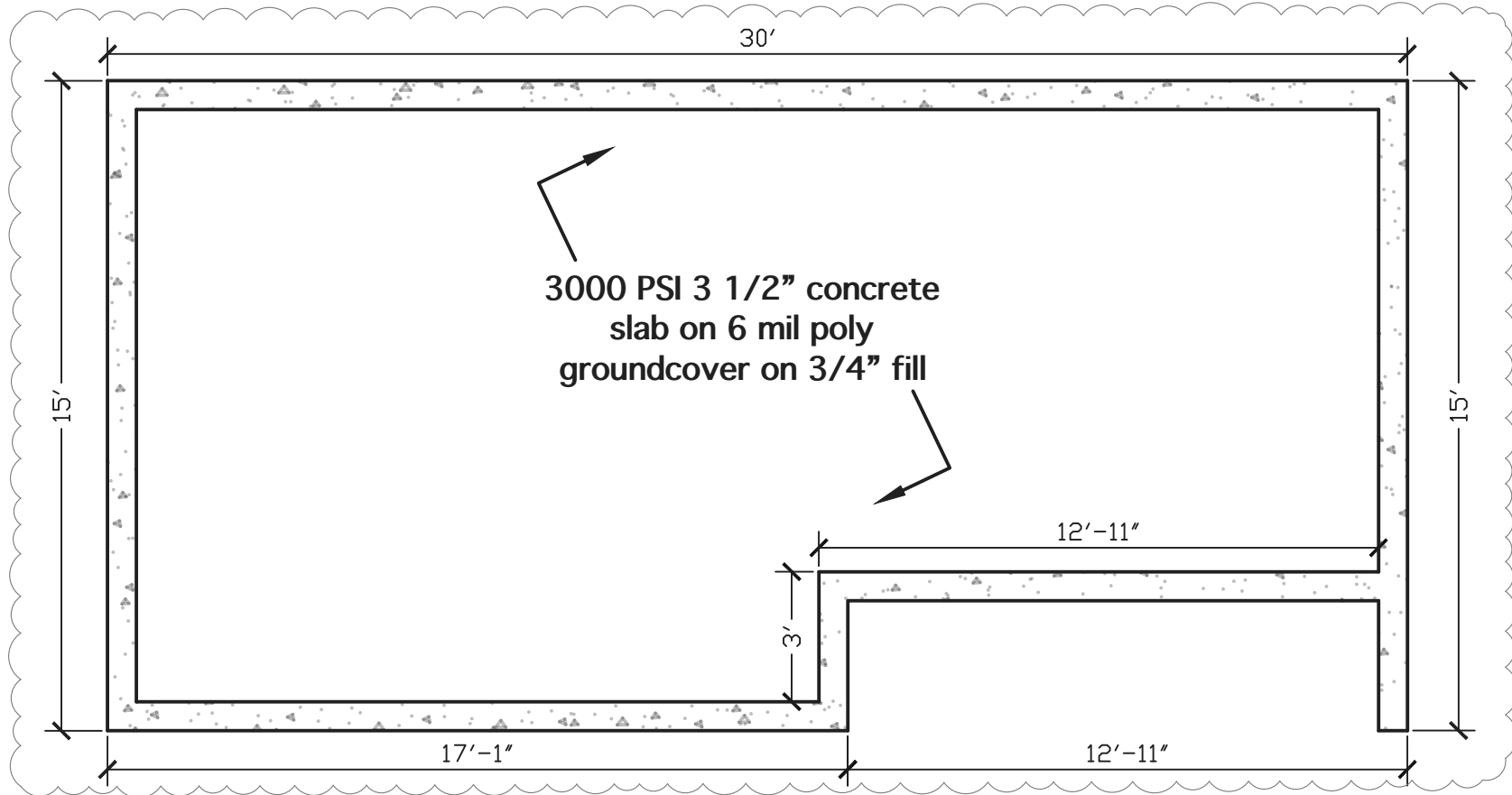
CITY APPROVAL STAMP



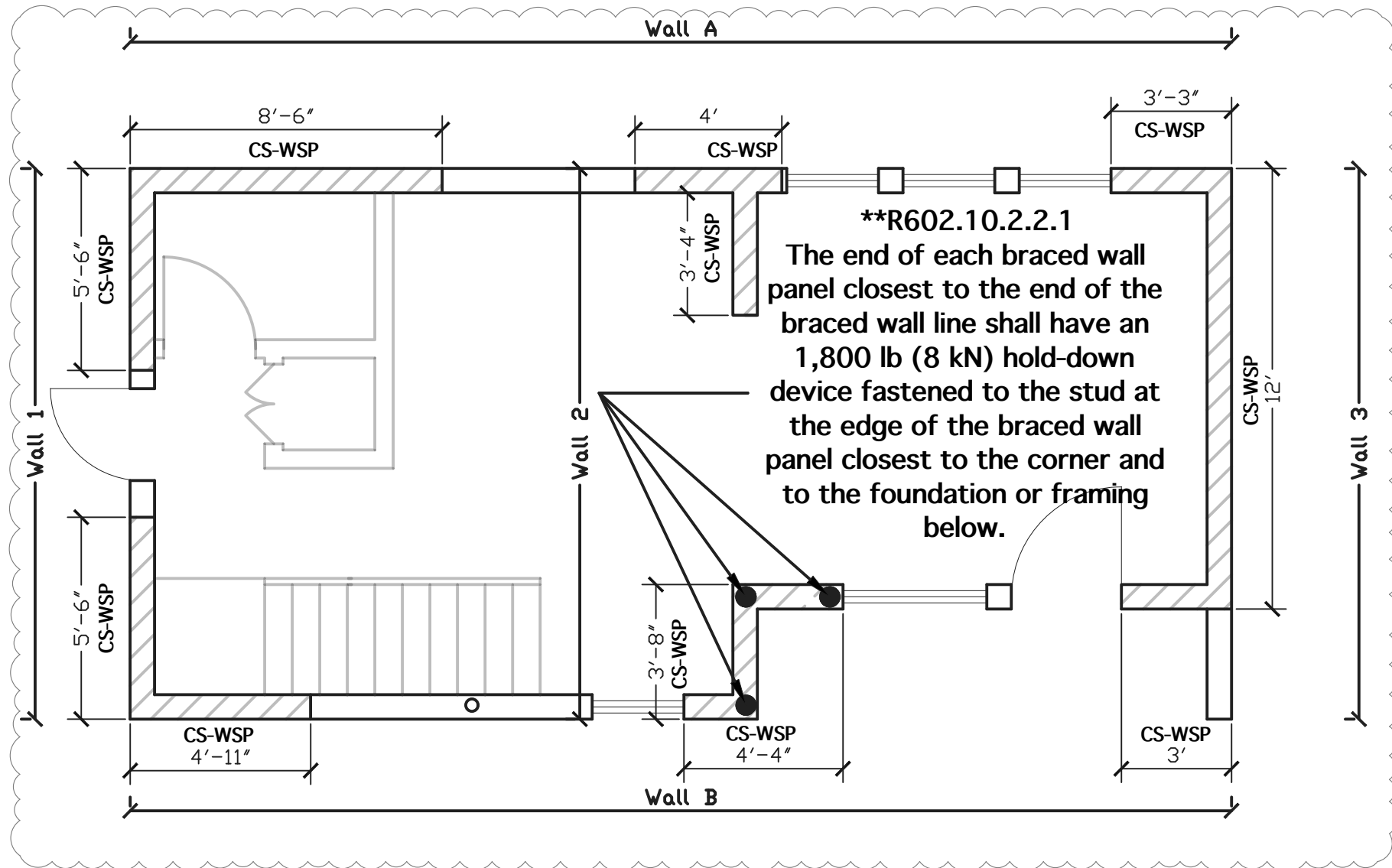
Symbols Legend	
●	SD - Smoke & CO Detector
⊙	EF - Single Duct Exhaust

1 First Floor Plan  
H1 1/4" = 1'-0"

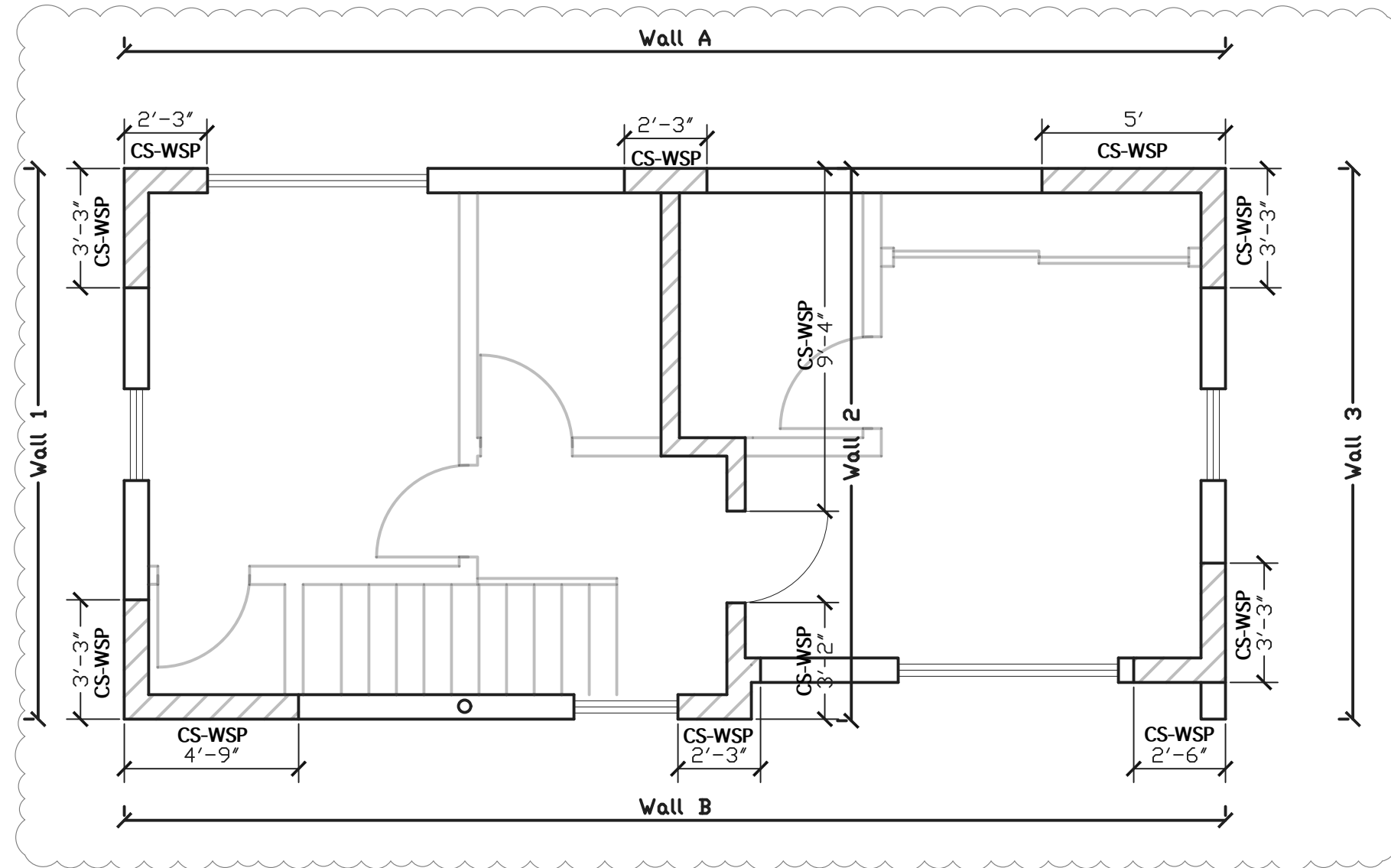
2 Second Floor Plan  
H1 1/4" = 1'-0"



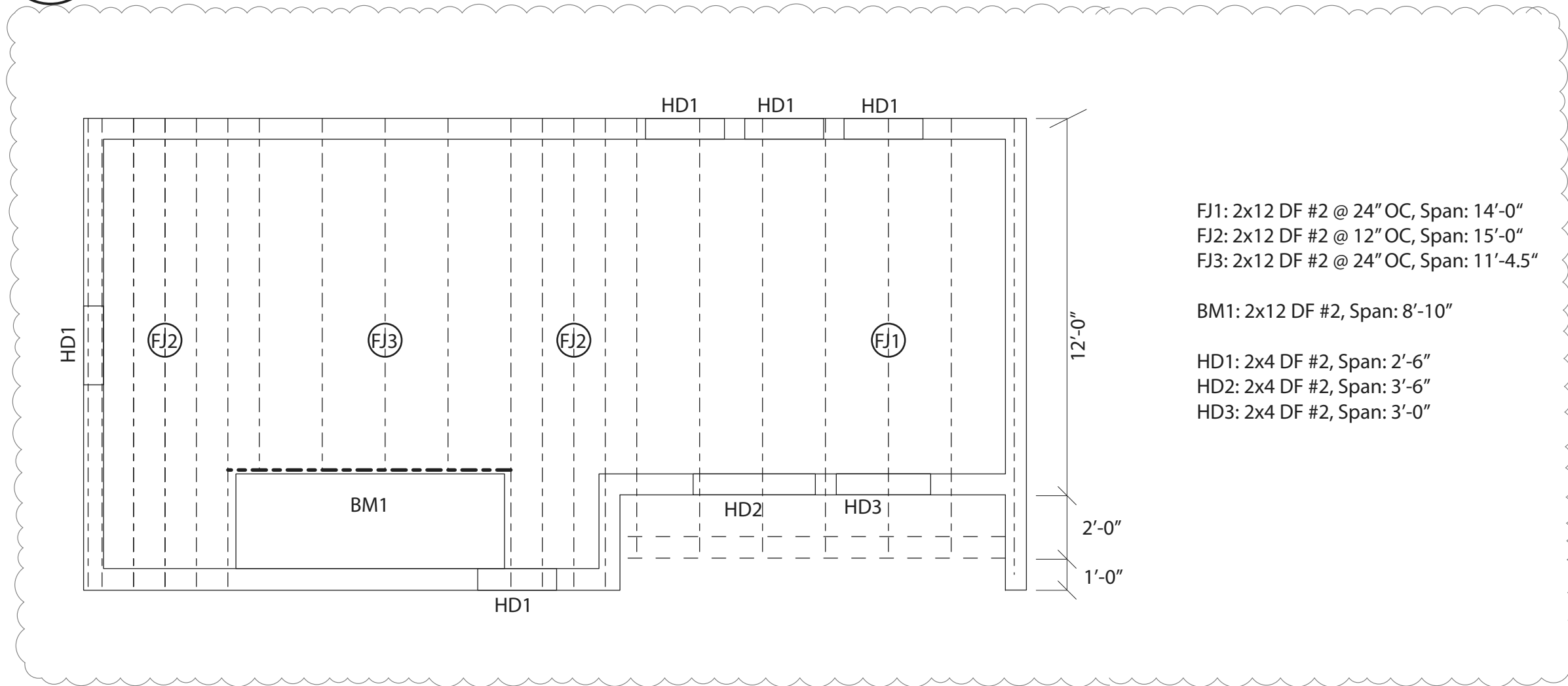
3 Foundation Plan  
H1 1/4" = 1'-0"



4 Shear Wall Plan - First Floor  
H1 1/4" = 1'-0"

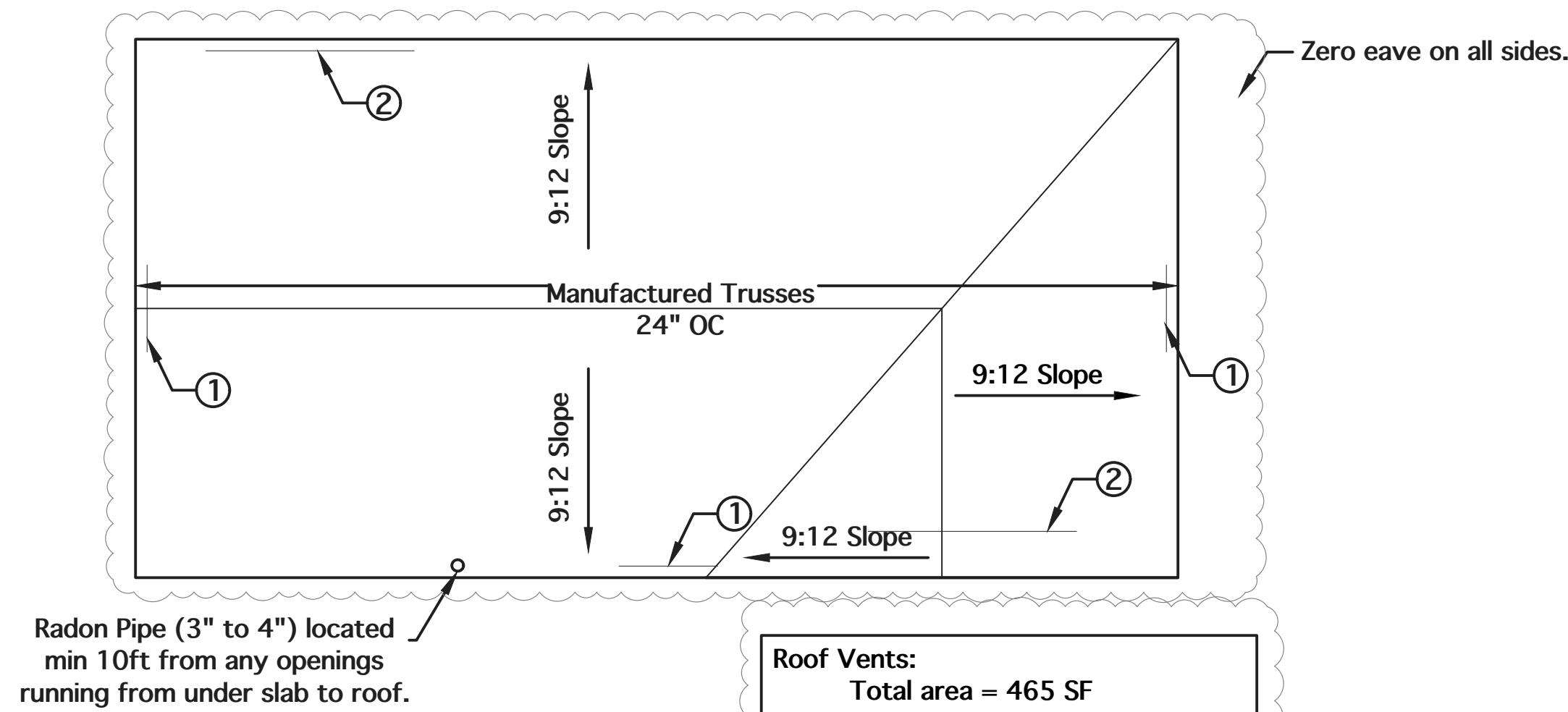


5 Shear Wall Plan - Second Floor  
H1 1/4" = 1'-0"



6 Framing Plan  
H1 1/4" = 1'-0"

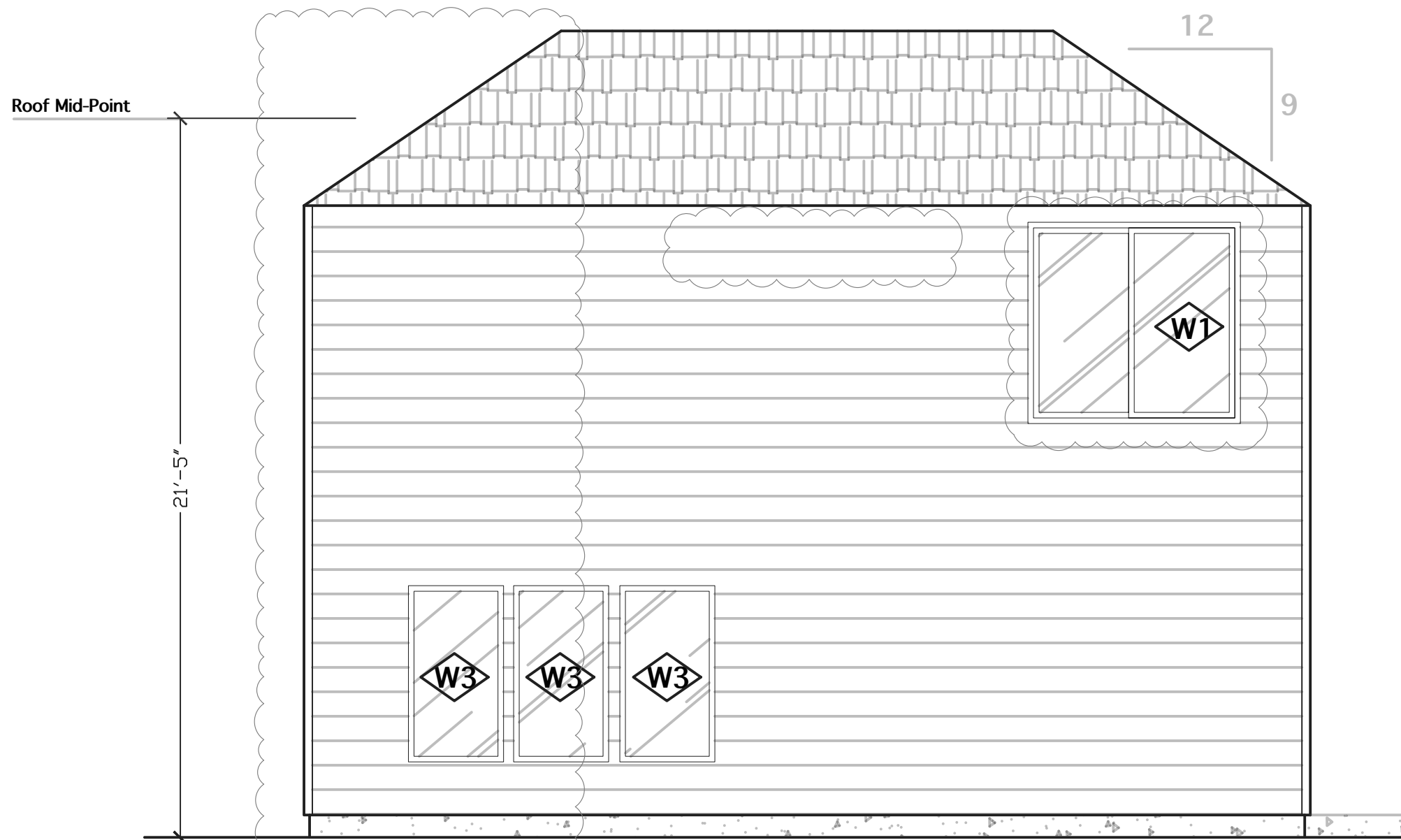
CITY APPROVAL STAMP



- # Window Headers Notes:
- HD4: 2 x 4 DF No.2, Span 2'-6"
  - HD5: 2 x 4 DF No.2, Span 6'-0"

Roof Vents:  
Total area = 465 SF  
 $1/150 \times 465 = 3.1$  SF of vents req'd  
  
GAF RT-65 Roof Vent to be installed, providing 60 SQ IN per vent.  
  
 $3.1 \text{ SF} \times 144 \text{ IN/SF} = 446.4 \text{ SQIN}$   
 $446.4 / 60 = 7.44$  Vents  
  
8 Total Vents Req'd

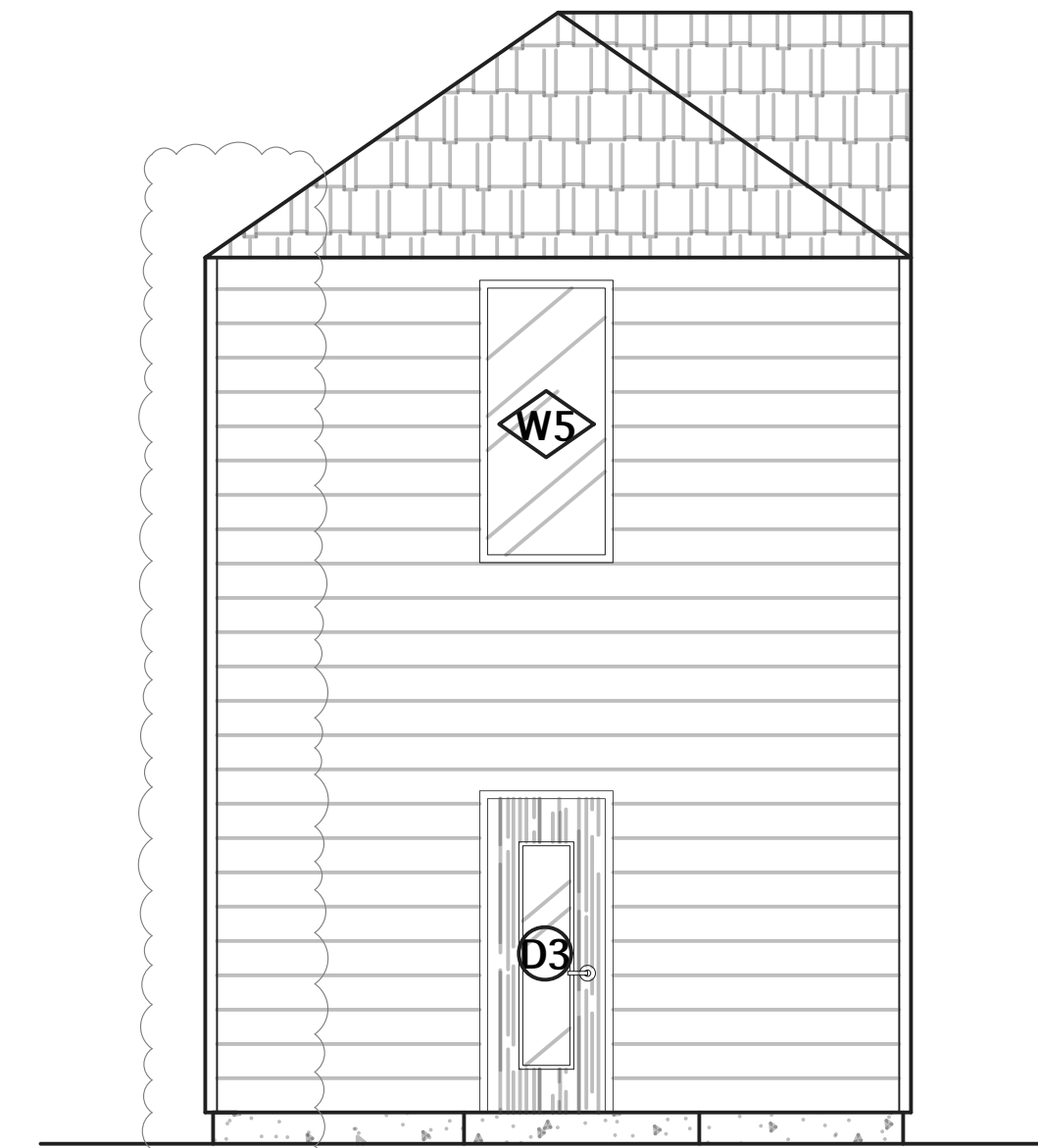
1 Roof Plan  
H2 1/4" = 1'-0"



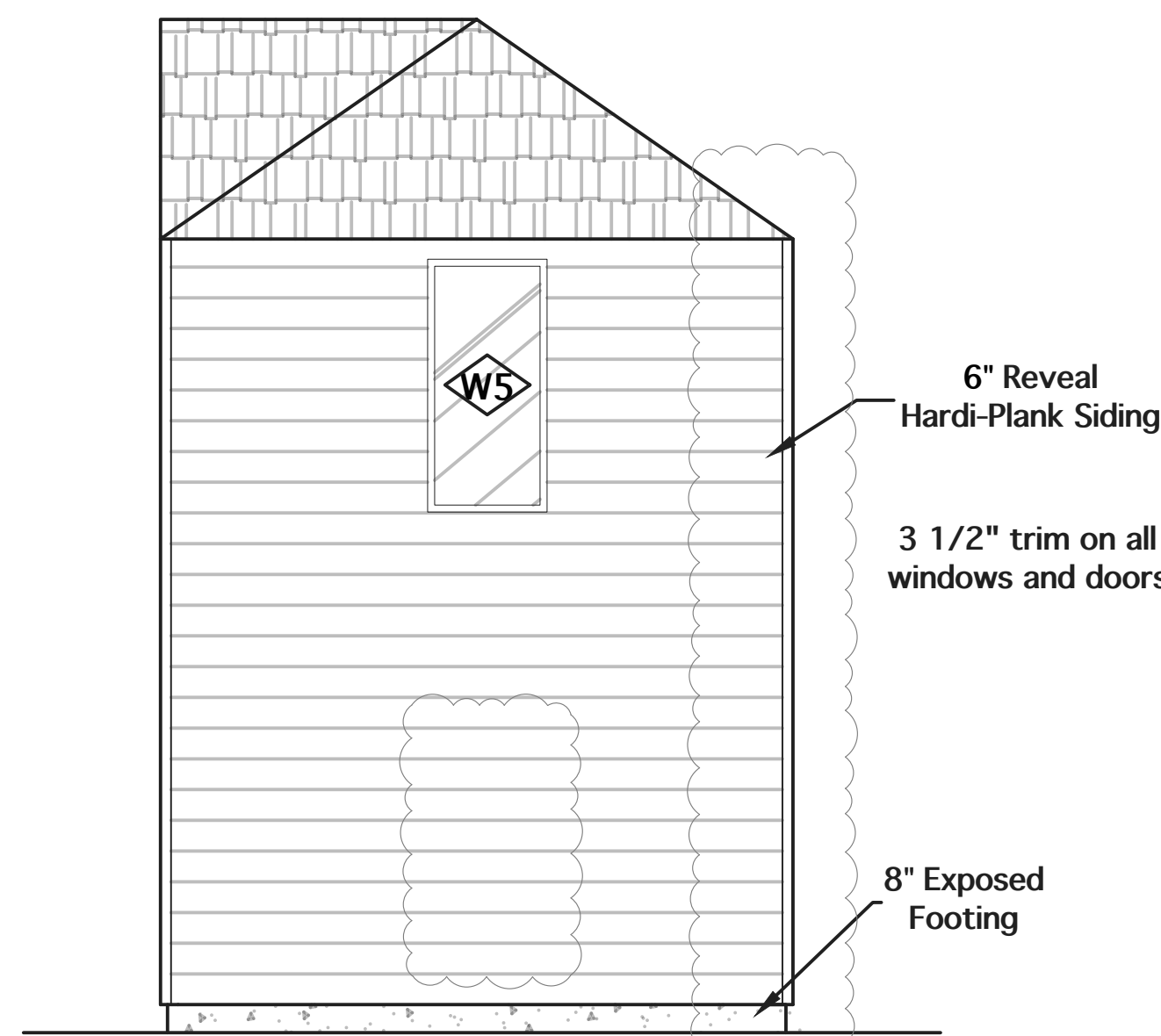
4 East Elevation  
H2 1/4" = 1'-0"



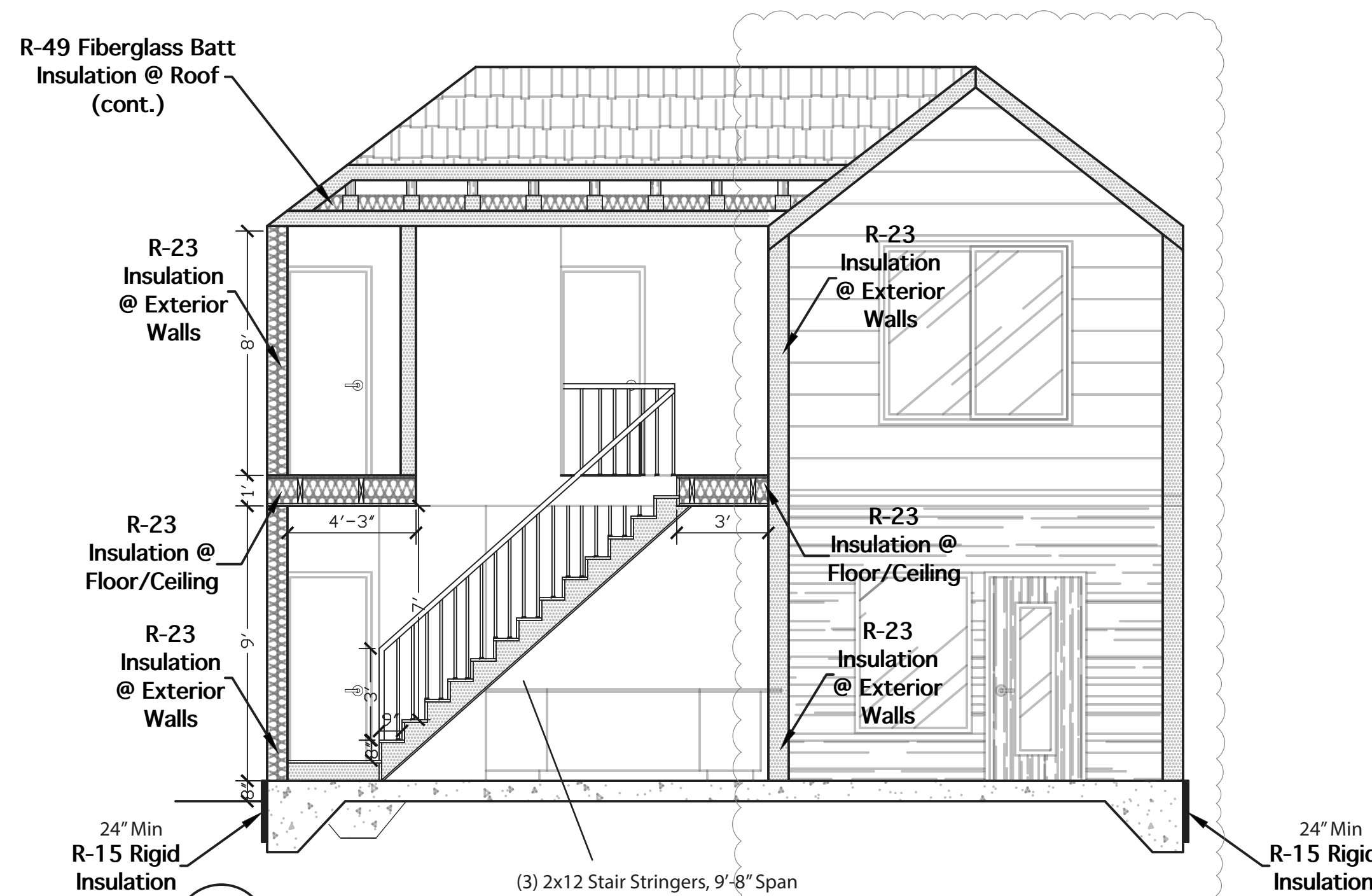
2 West (Front) Elevation  
H2 1/4" = 1'-0"



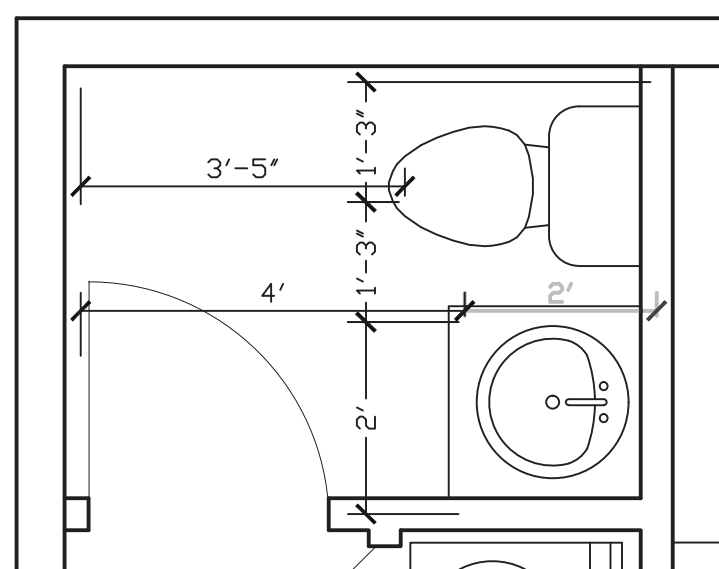
3 North Elevation  
H2 1/4" = 1'-0"



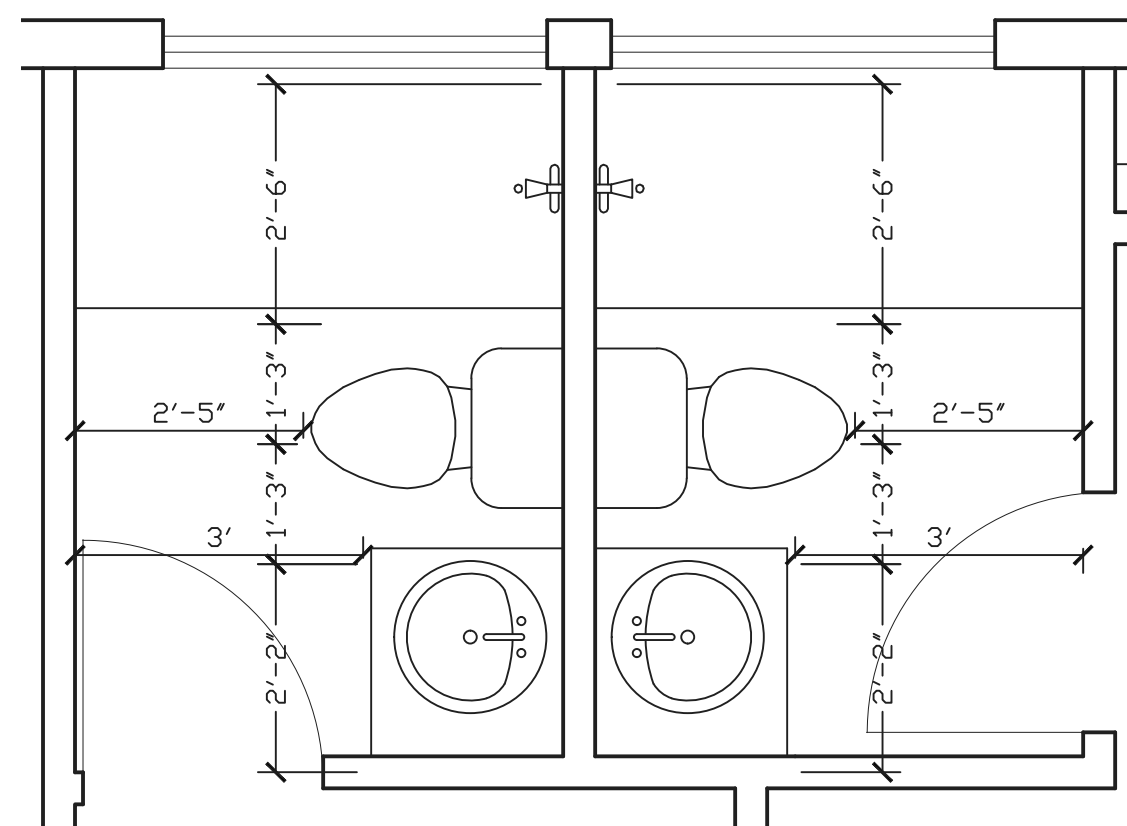
5 South Elevation  
H2 1/4" = 1'-0"



S1 Section  
H2 1/4" = 1'-0"



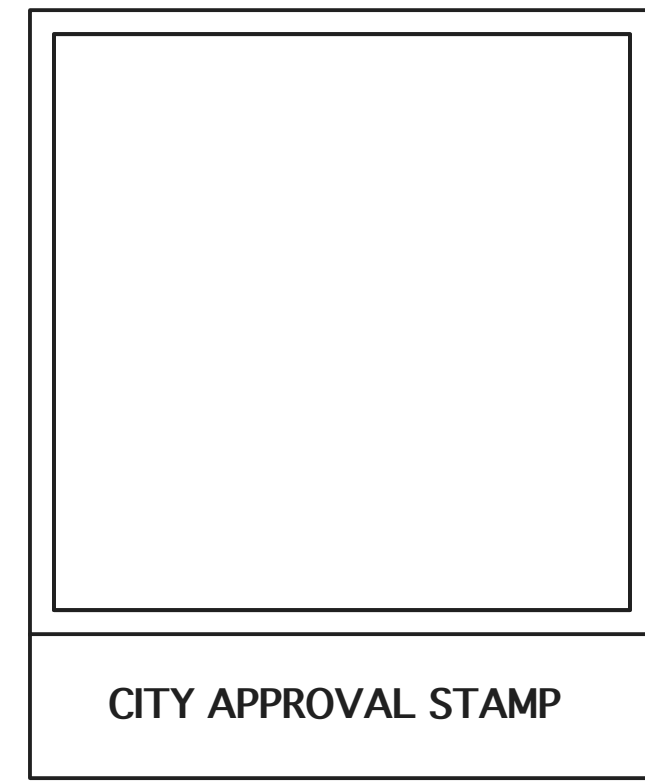
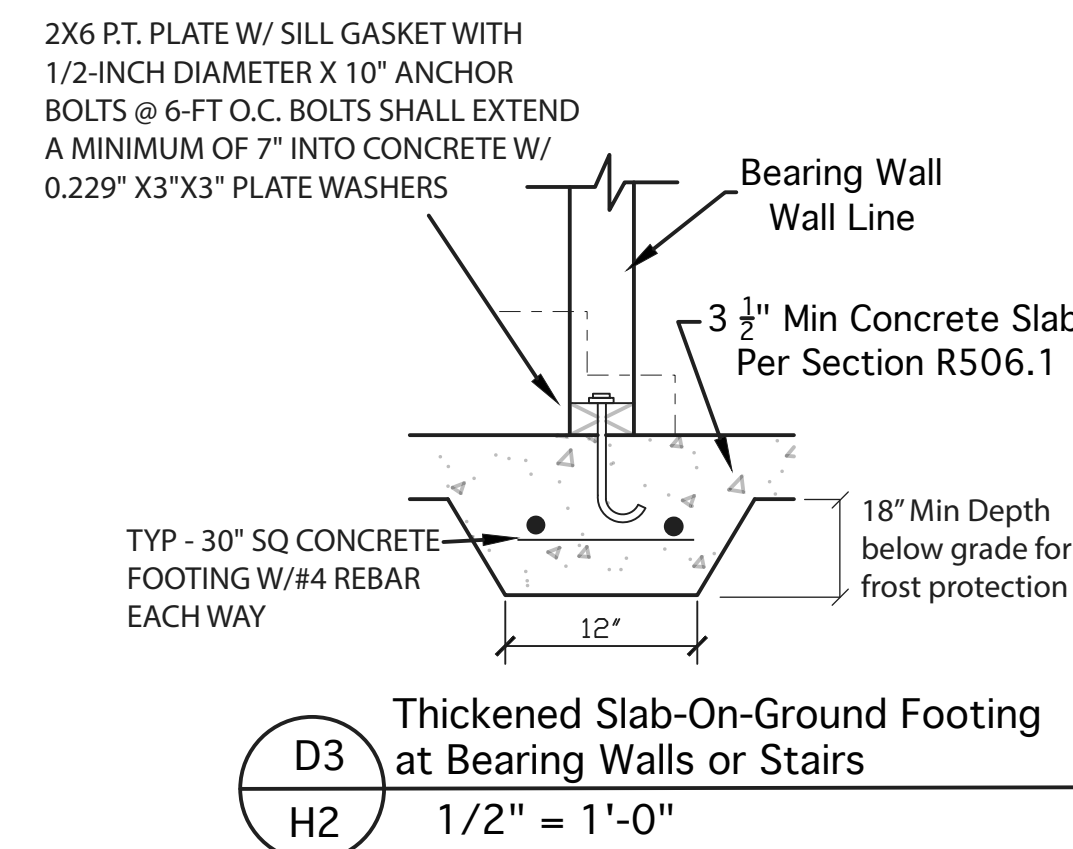
D1 Visitable Half Bath - Enlarged Floor Plan  
H2 1/2" = 1'-0"

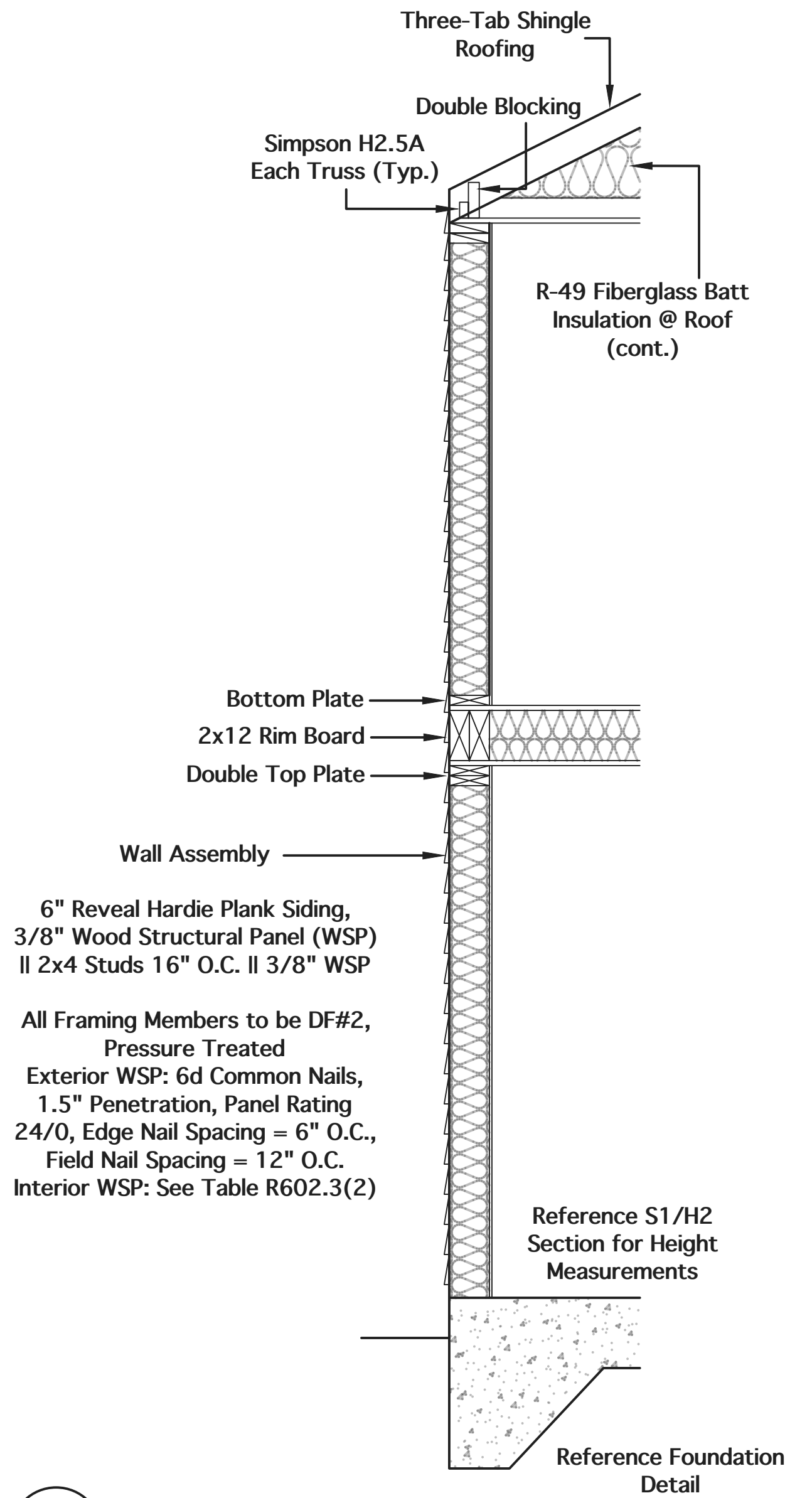


D2 Upper Floor Bathrooms - Enlarged Floor Plan  
H2 1/2" = 1'-0"

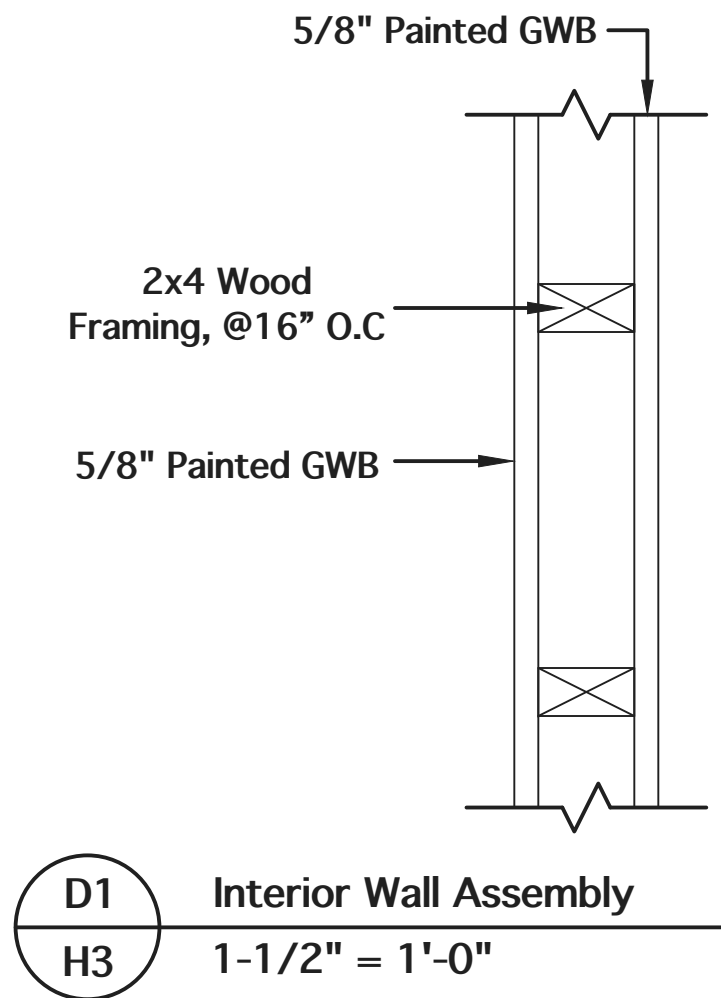
Window Schedule		
Sill Height = 2'	Sill Height = 5'	Sill Height = 2'
Sill Height = 2'	Sill Height = 2'	Sill Height = 2'

Door Schedule	
6'-8" x 2'-6"	6'-8" x 2'-6"





S1 H3 Wall Section  
1/4" = 1'-0"



D1 H3 Interior Wall Assembly  
1-1/2" = 1'-0"

Bracing Method	Panel Thickness	Figure
CS-WSP Continuously sheathed wood structural panel	3/8"	

Fasteners	Spacing
Exterior sheathing per Table R602.3(3)	6" edges 12" field
Interior sheathing per Table R602.3(1) or R602.3(2)	Varies by fastener

D2 H3 Bracing Detail - Per ORSC 2021 R602.10.4  
NTS

**R307.1 Space Required**

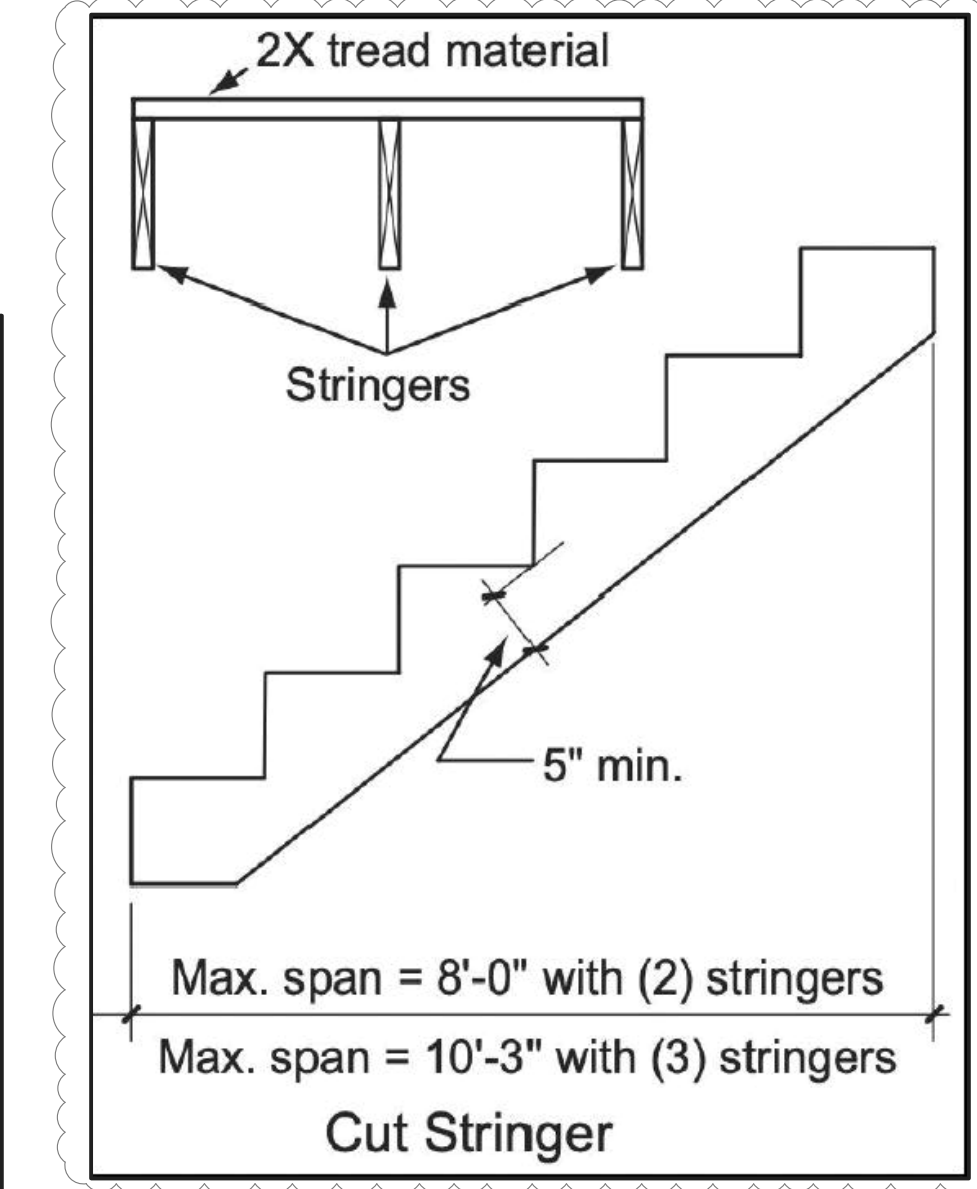
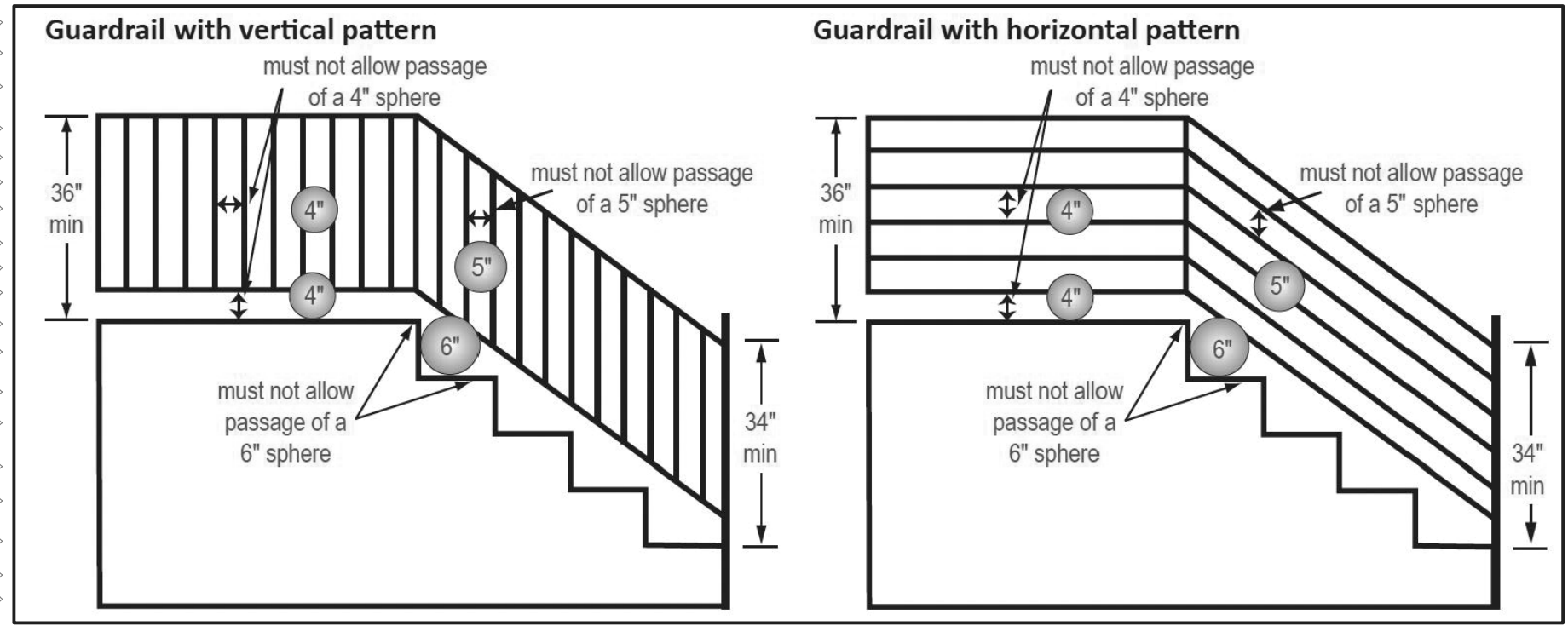
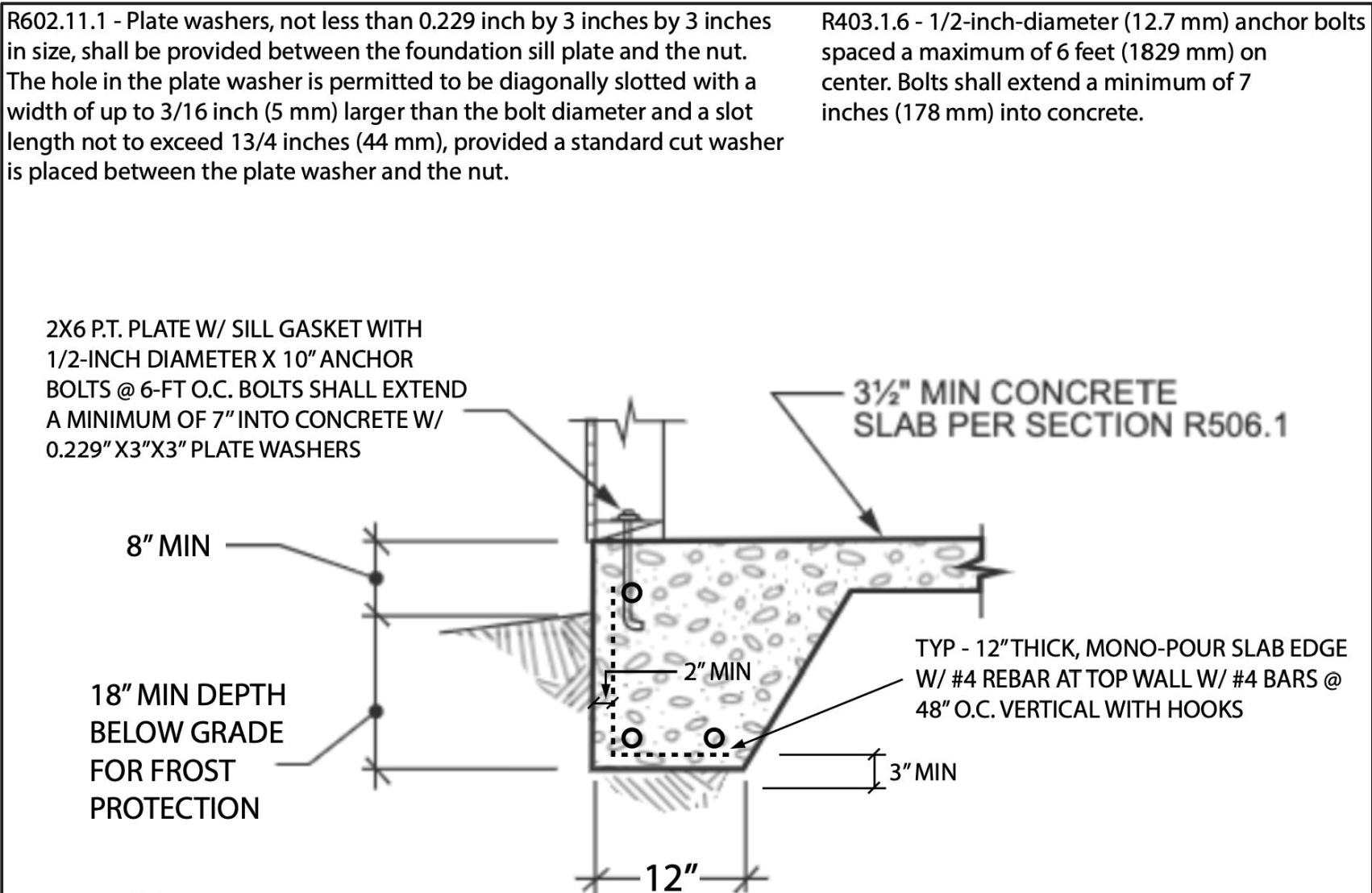
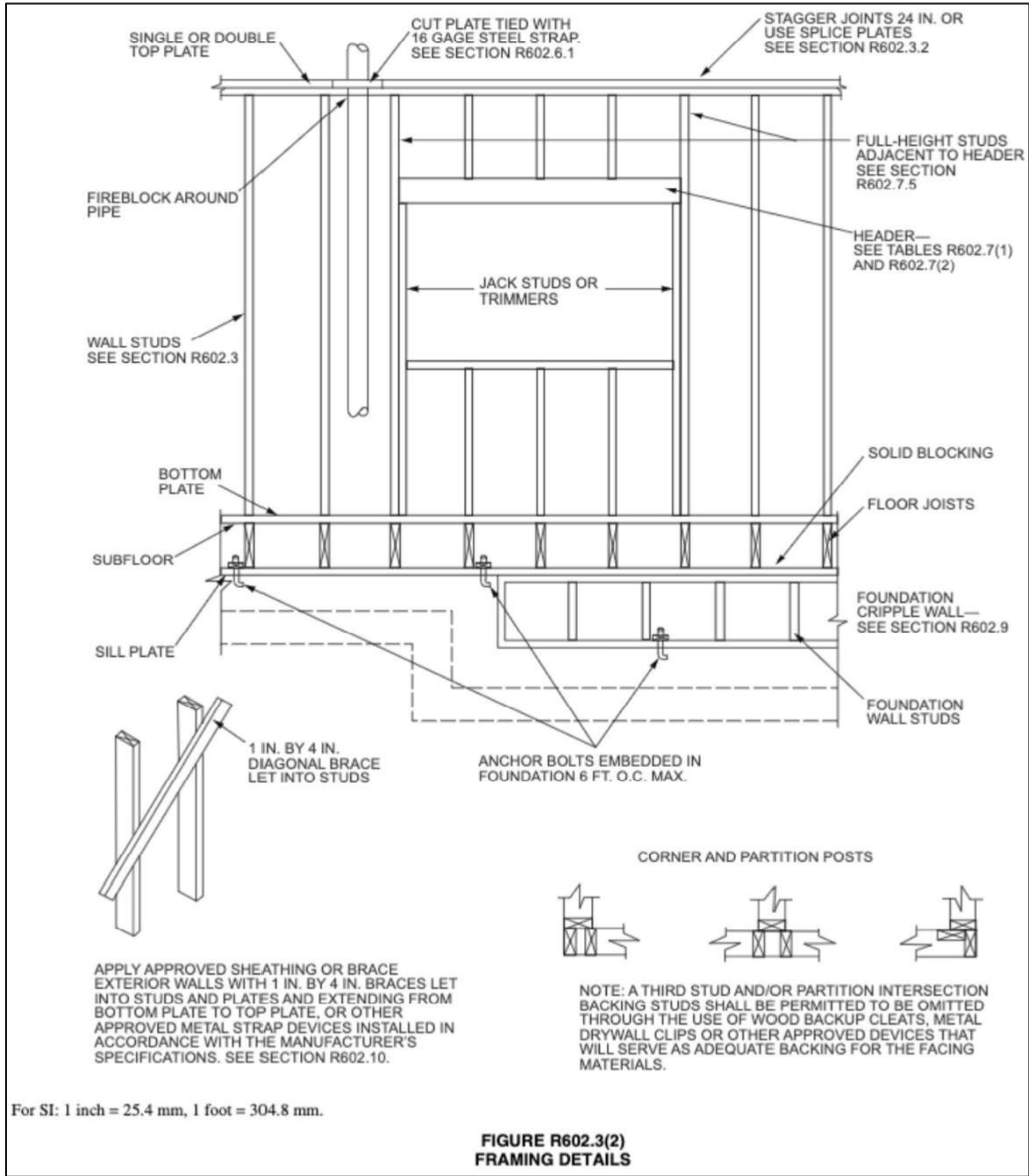
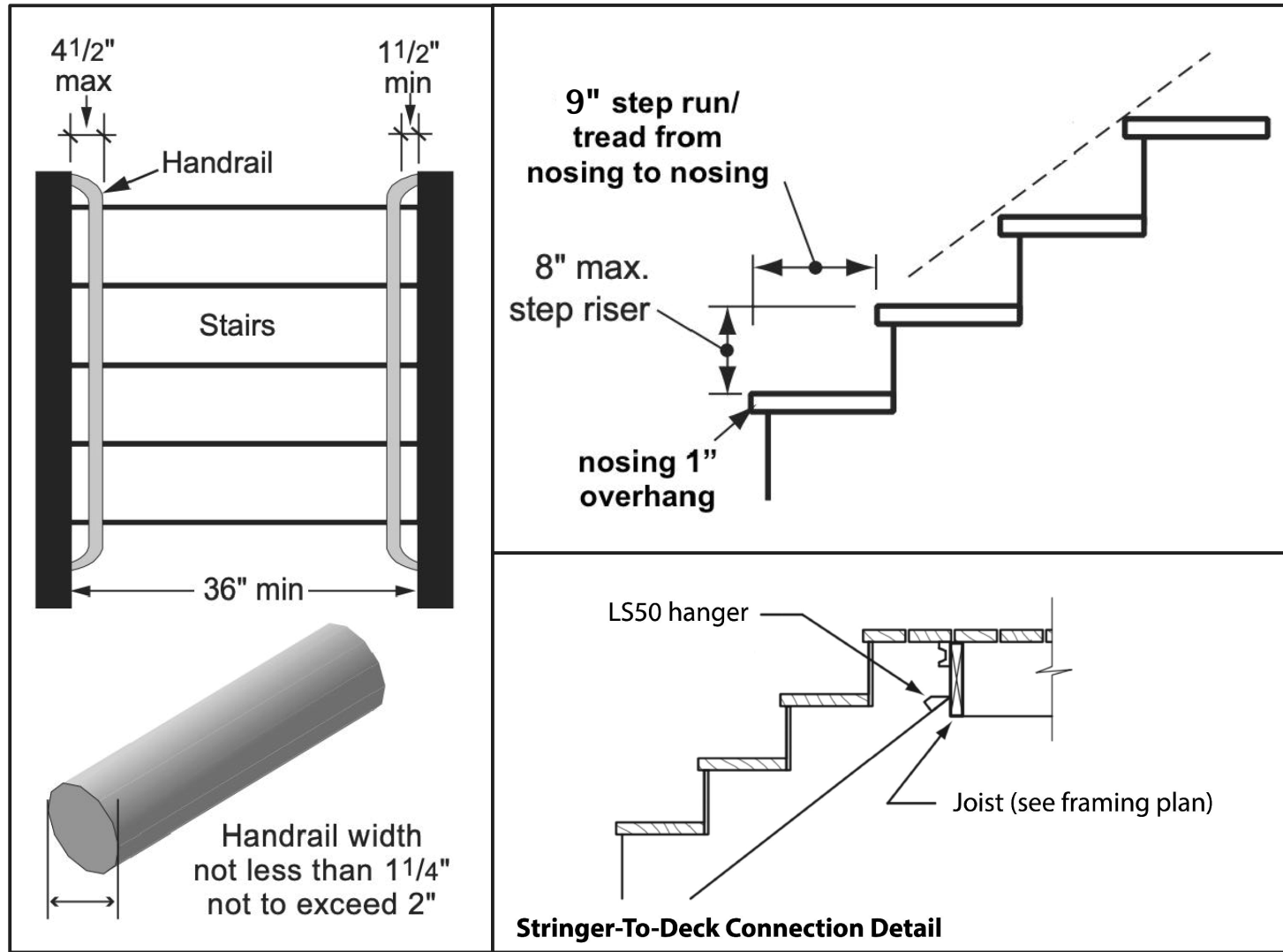
Fixtures shall be spaced in accordance with Figure R307.1, and in accordance with the requirements of the *Plumbing Code*.

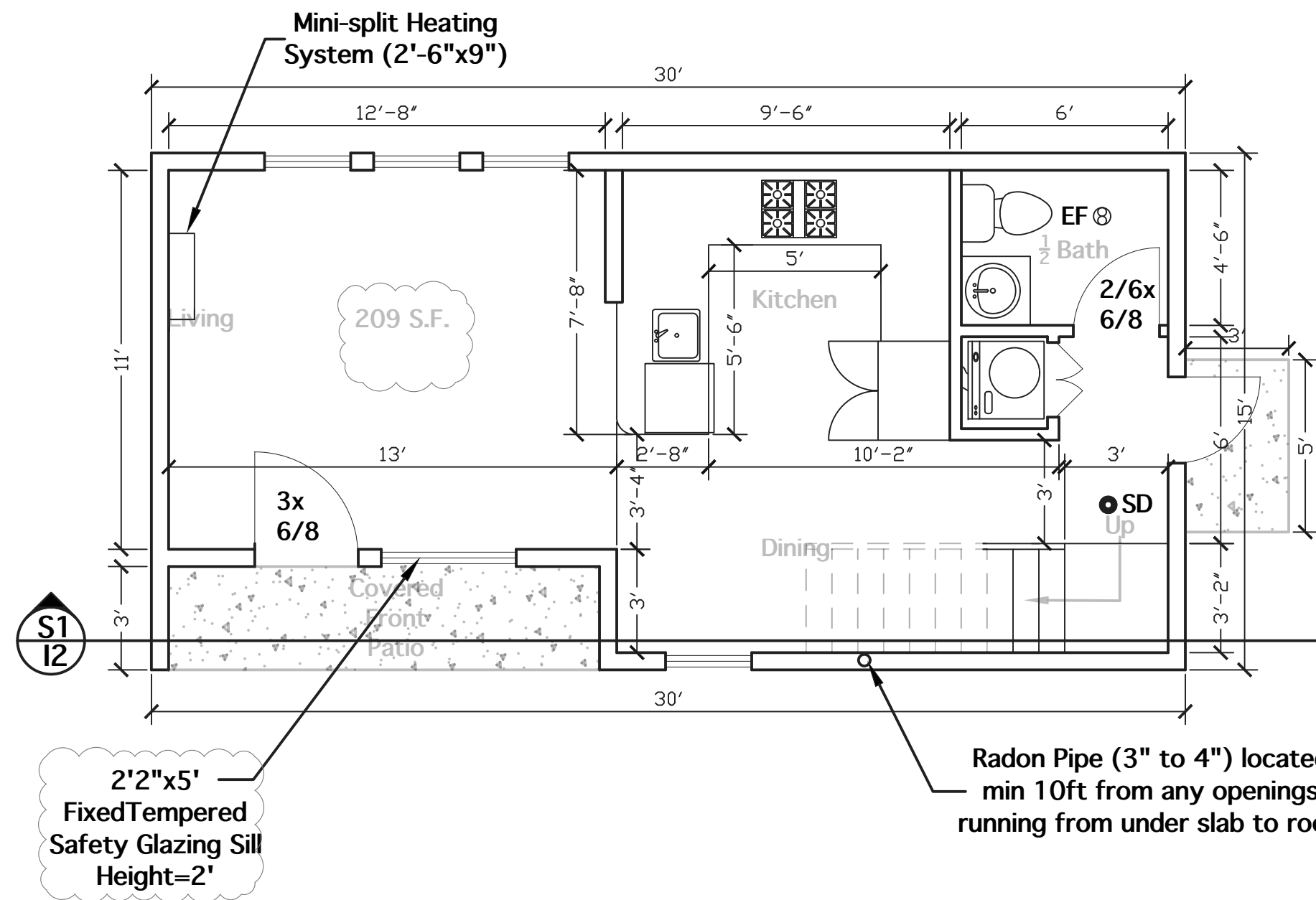
For SI: 1 inch = 25.4 mm.

**FIGURE R307.1**  
MINIMUM FIXTURE CLEARANCES (See the *Plumbing Code* for shower clearances)

**R307.2 Bathtub and Shower Spaces**

Bathtub and shower floors and walls above bathtubs with installed shower heads and in shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet (1829 mm) above the floor.

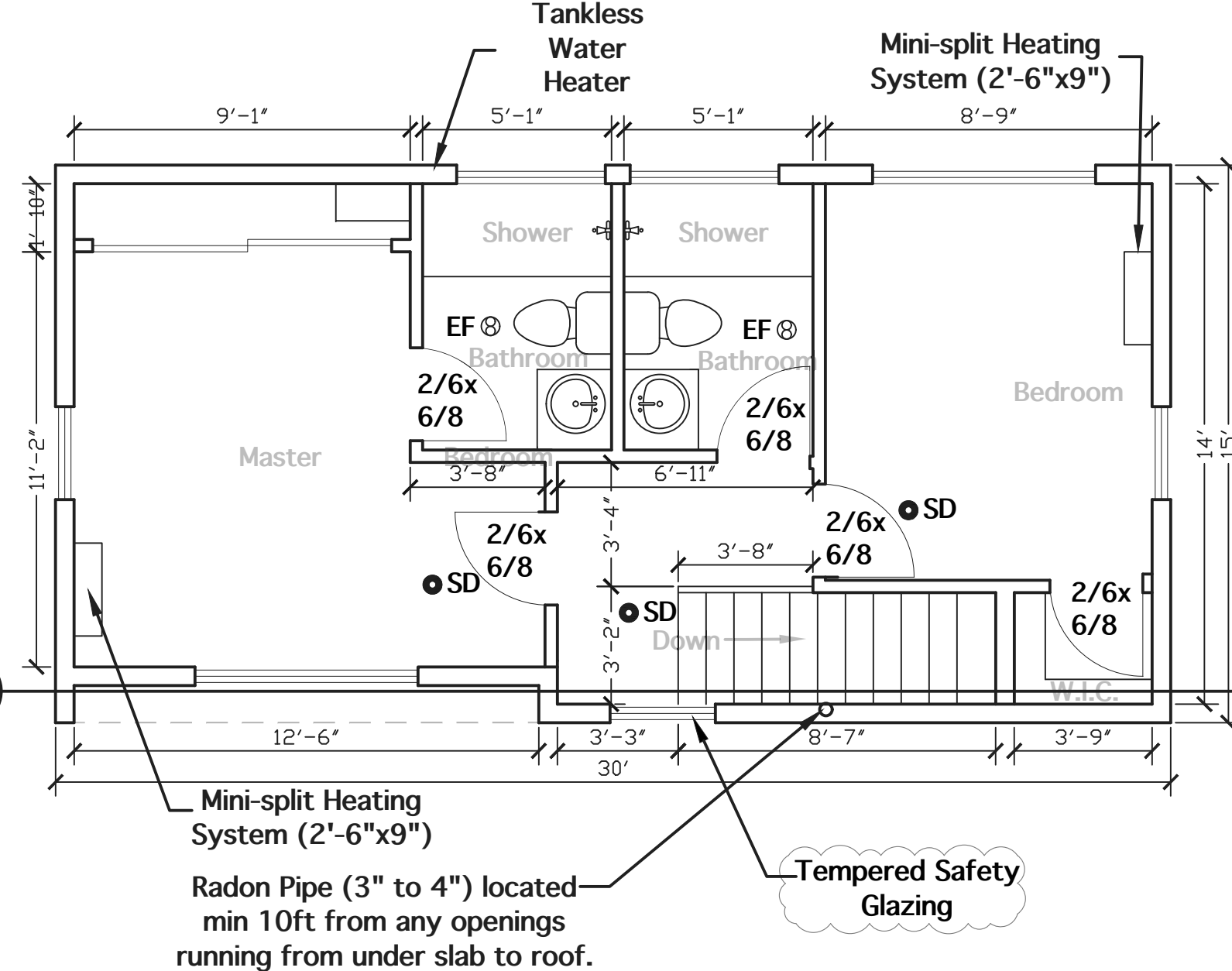




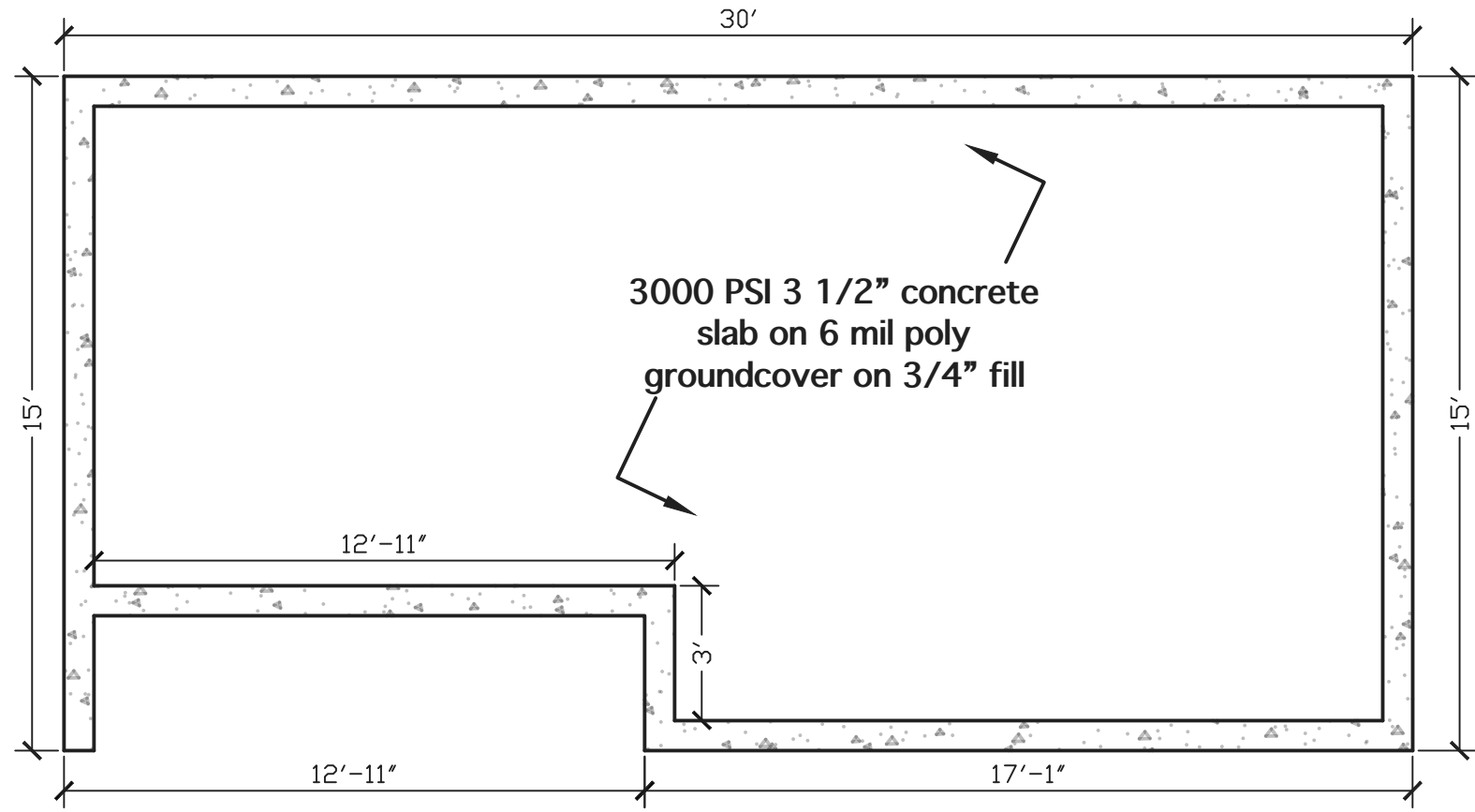
Symbols Legend

- SD - Smoke & CO Detector
- ⊙ EF - Single Duct Exhaust

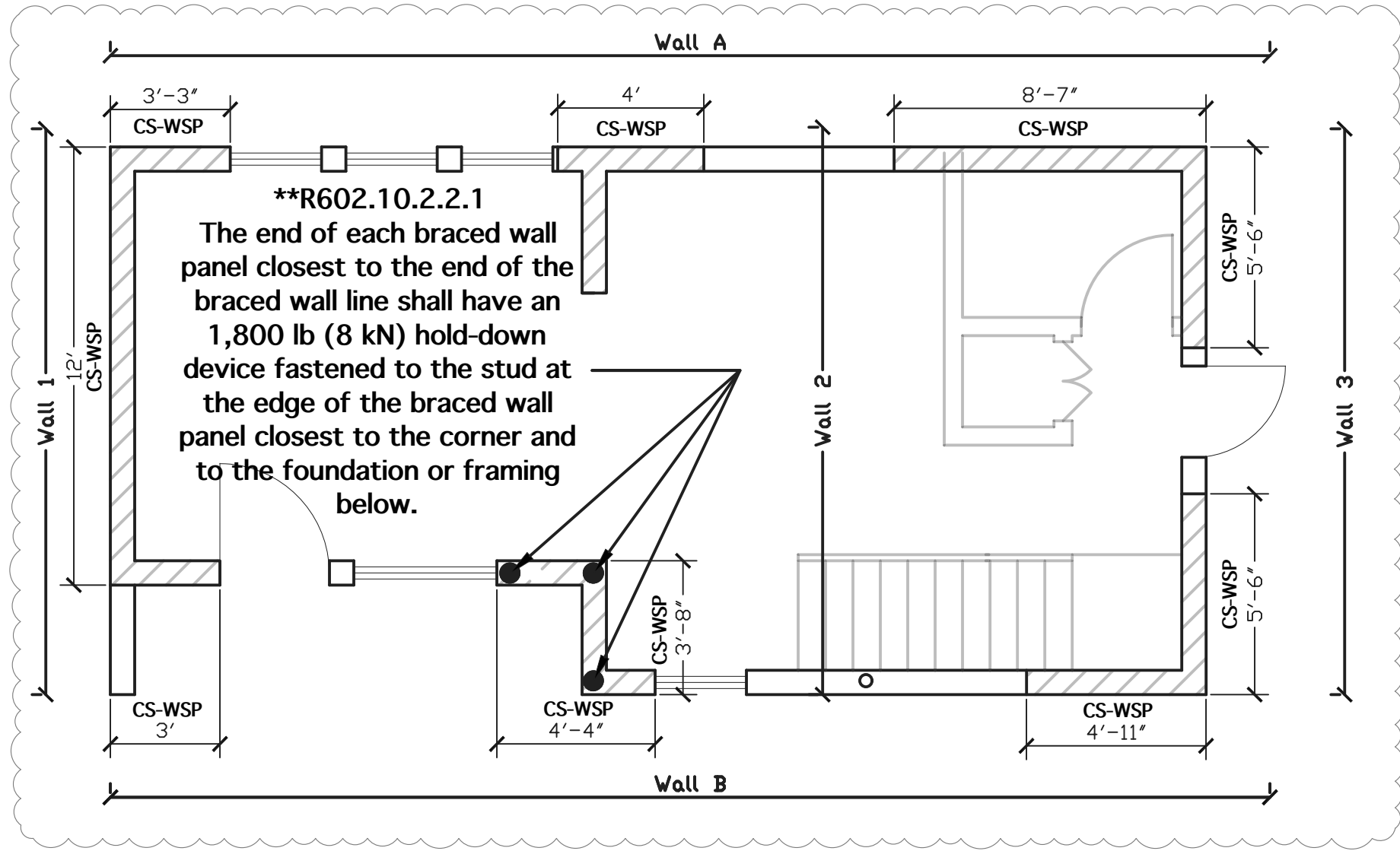
1 First Floor Plan  
1/4" = 1'-0"



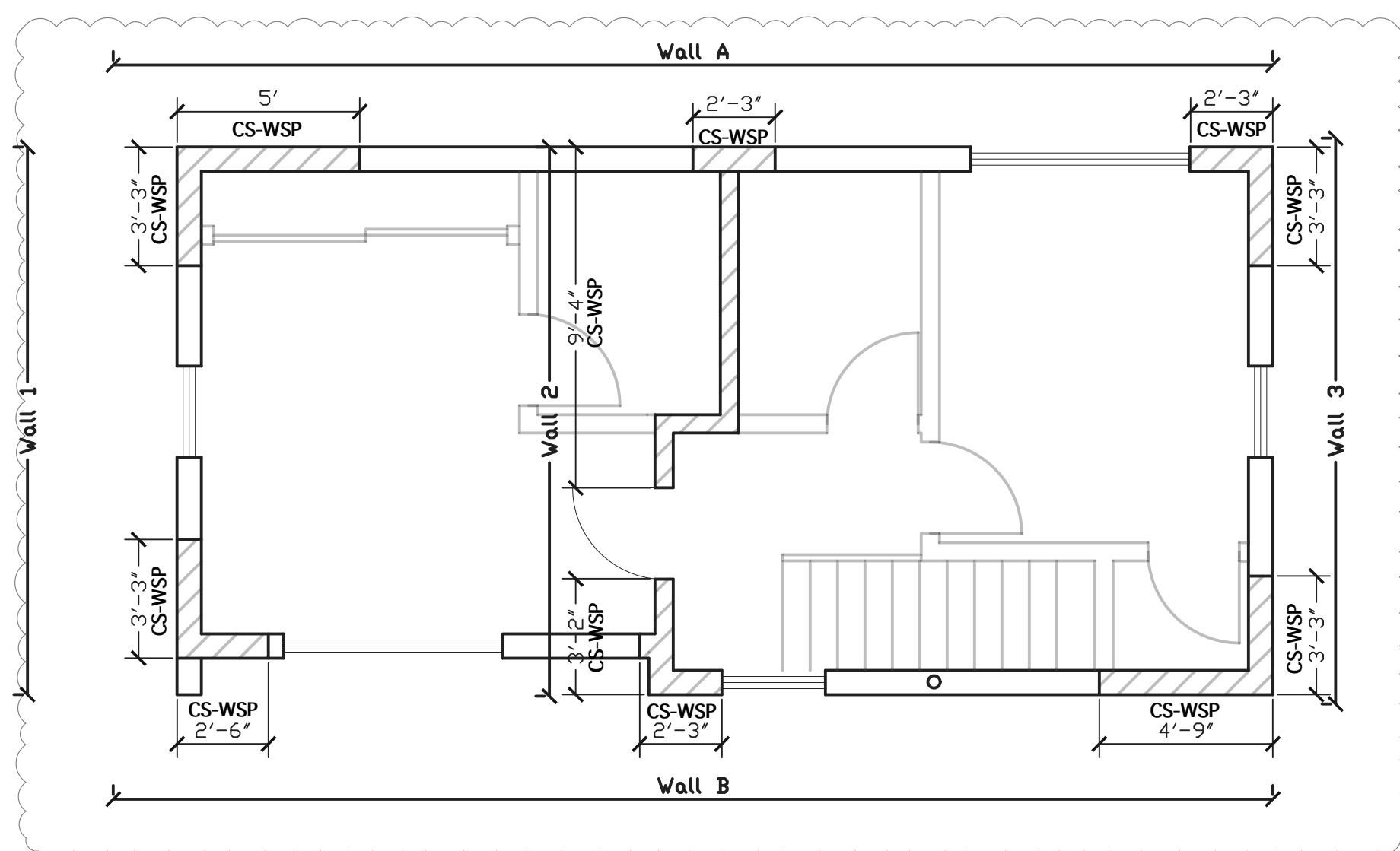
2 Second Floor Plan  
1/4" = 1'-0"



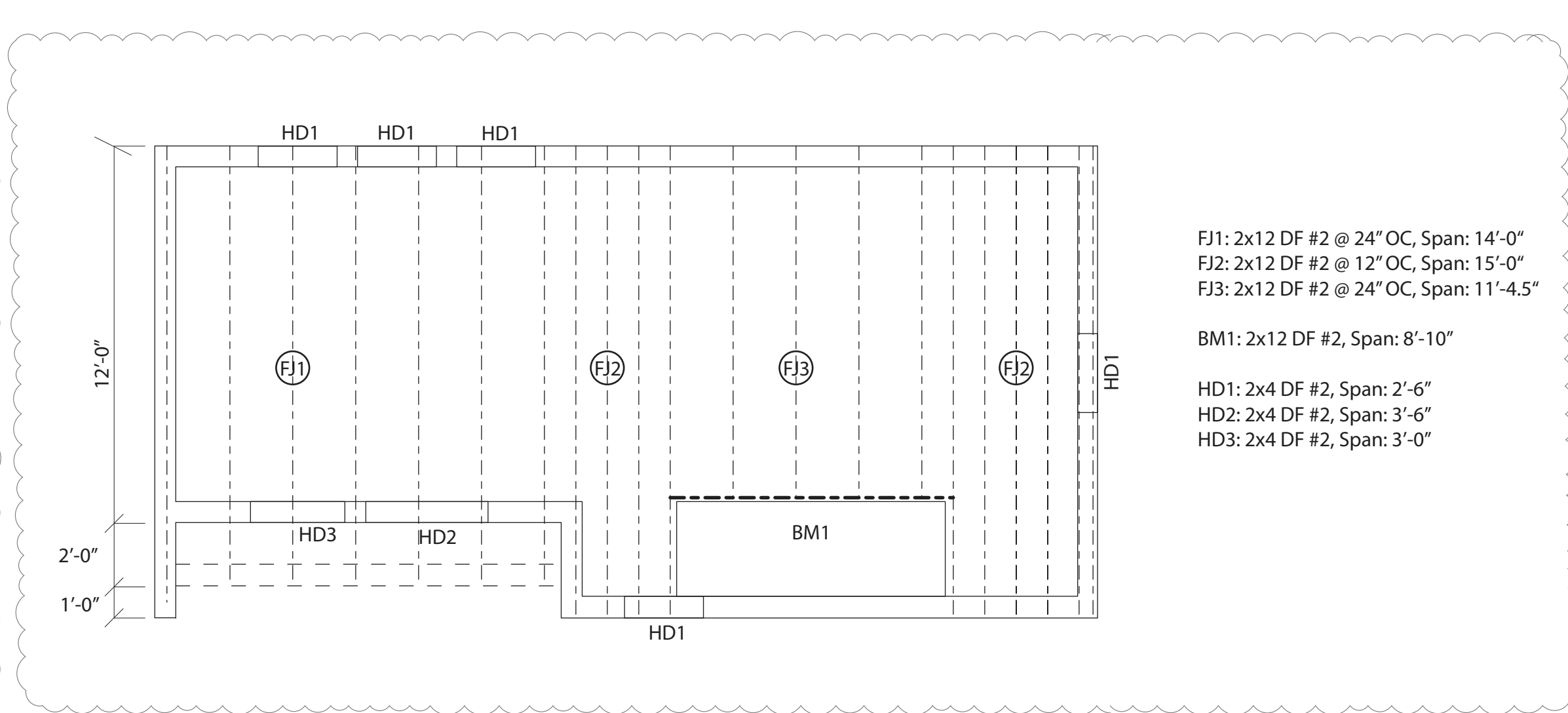
3 Foundation Plan  
1/4" = 1'-0"



4 Shear Wall Plan - First Floor  
1/4" = 1'-0"

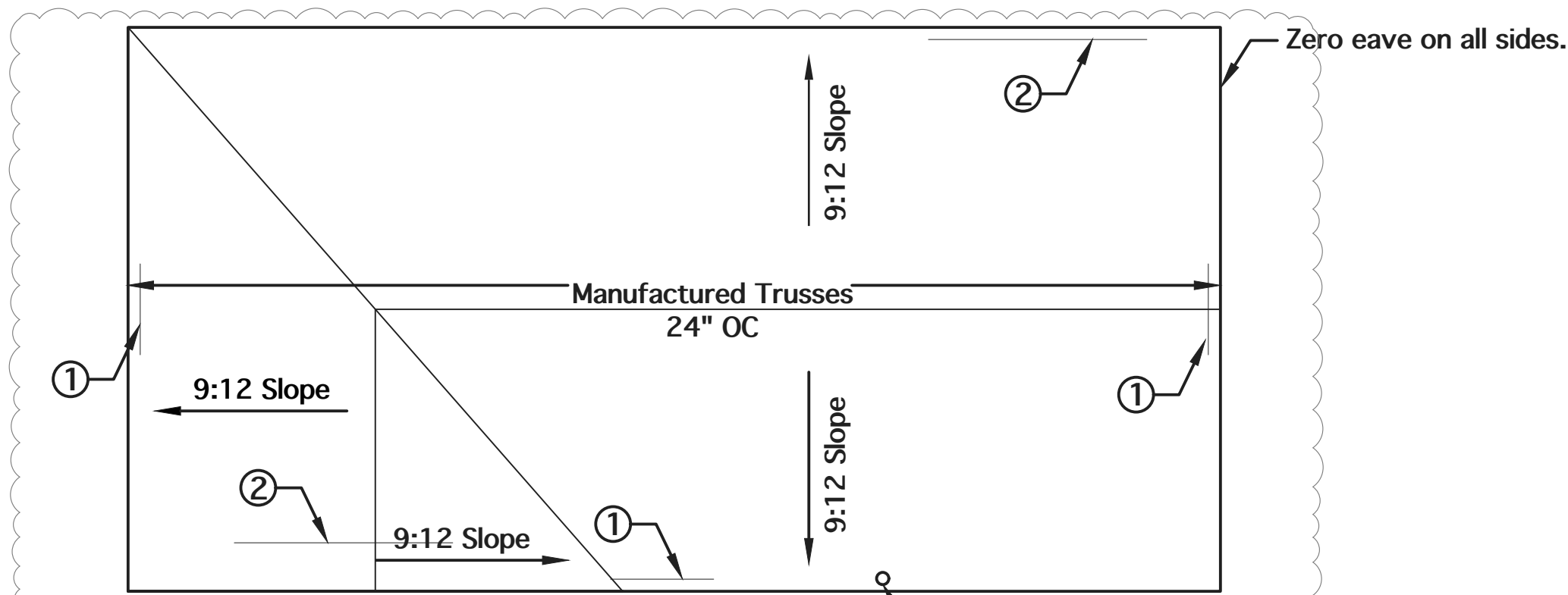


5 Shear Wall Plan - Second Floor  
1/4" = 1'-0"



6 Framing Plan  
1/4" = 1'-0"

CITY APPROVAL STAMP



Roof Vents:  
Total area = 465 SF  
 $1/150 \times 465 = 3.1$  SF of vents req'd

GAF RT-65 Roof Vent to be installed, providing 60 SQ IN per vent.

$3.1 \text{ SF} \times 144 \text{ IN/SF} = 446.4 \text{ SQIN}$   
 $446.4 / 60 = 7.44$  Vents

8 Total Vents Req'd

Radon Pipe (3" to 4") located min 10ft from any openings running from under slab to roof.

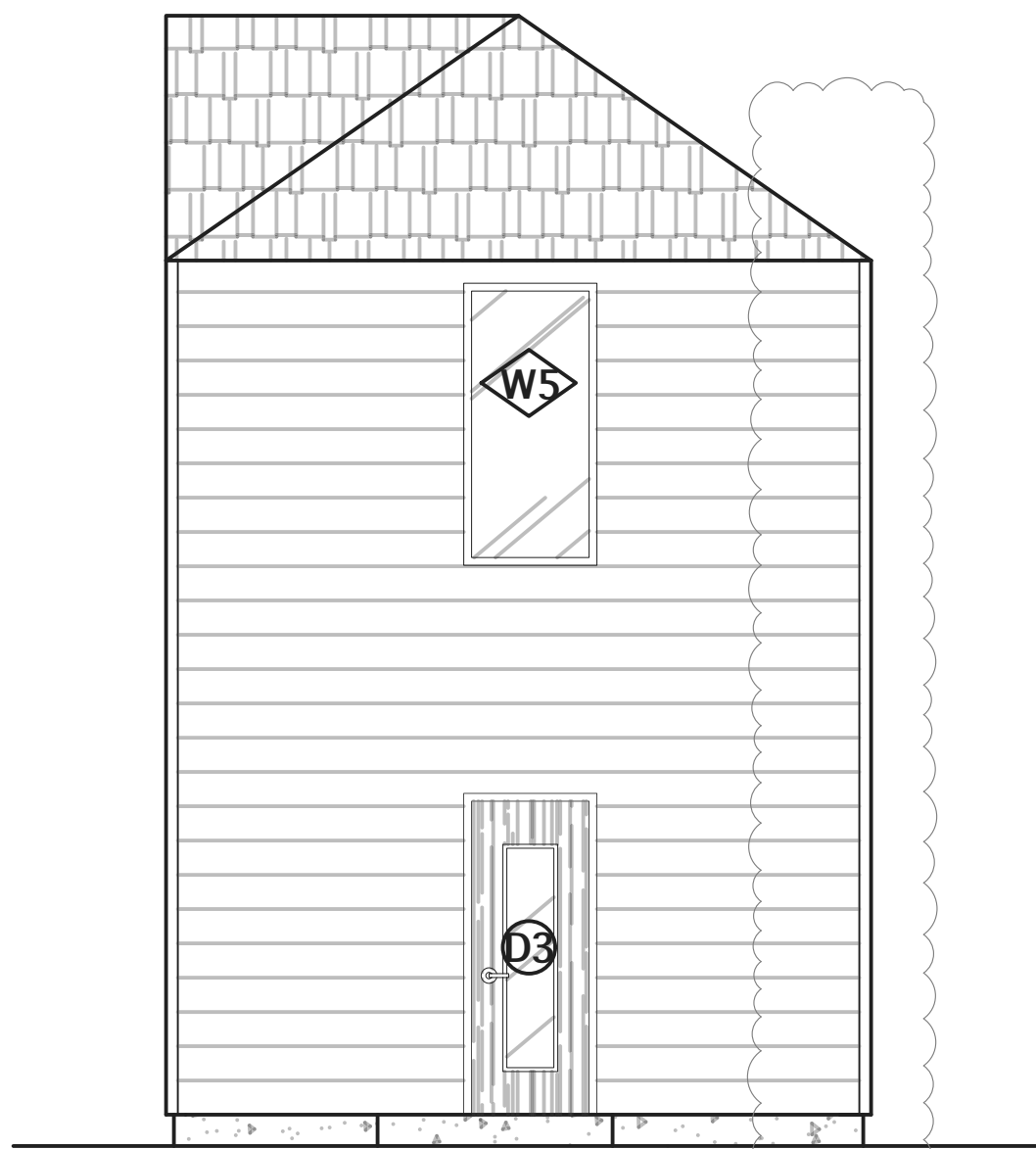
# Window Headers Notes:

- HD4: 2 x 4 DF No.2, Span 2'-6"
- HD5: 2 x 4 DF No.2, Span 6'-0"

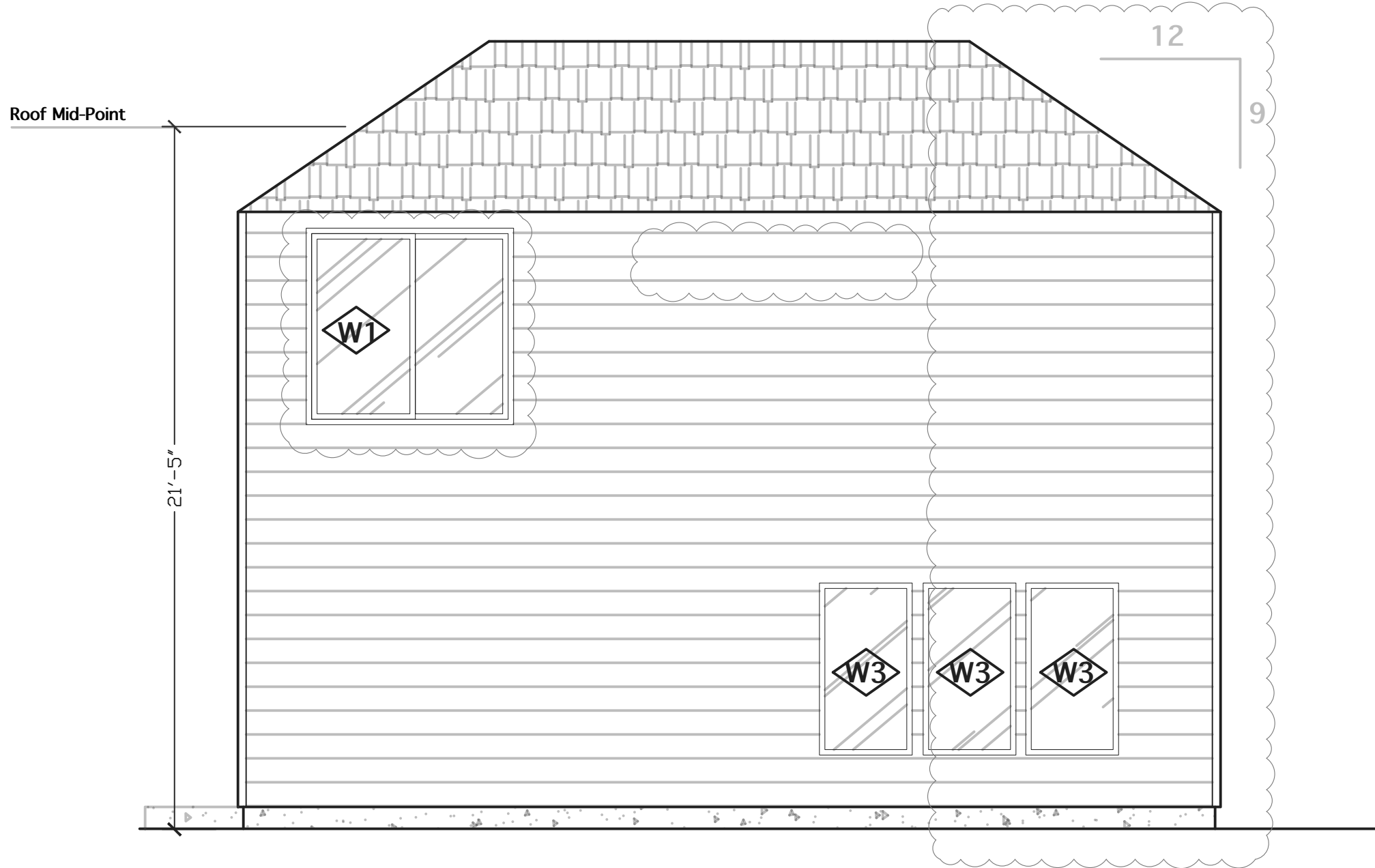
1 Roof Plan  
1/4" = 1'-0"



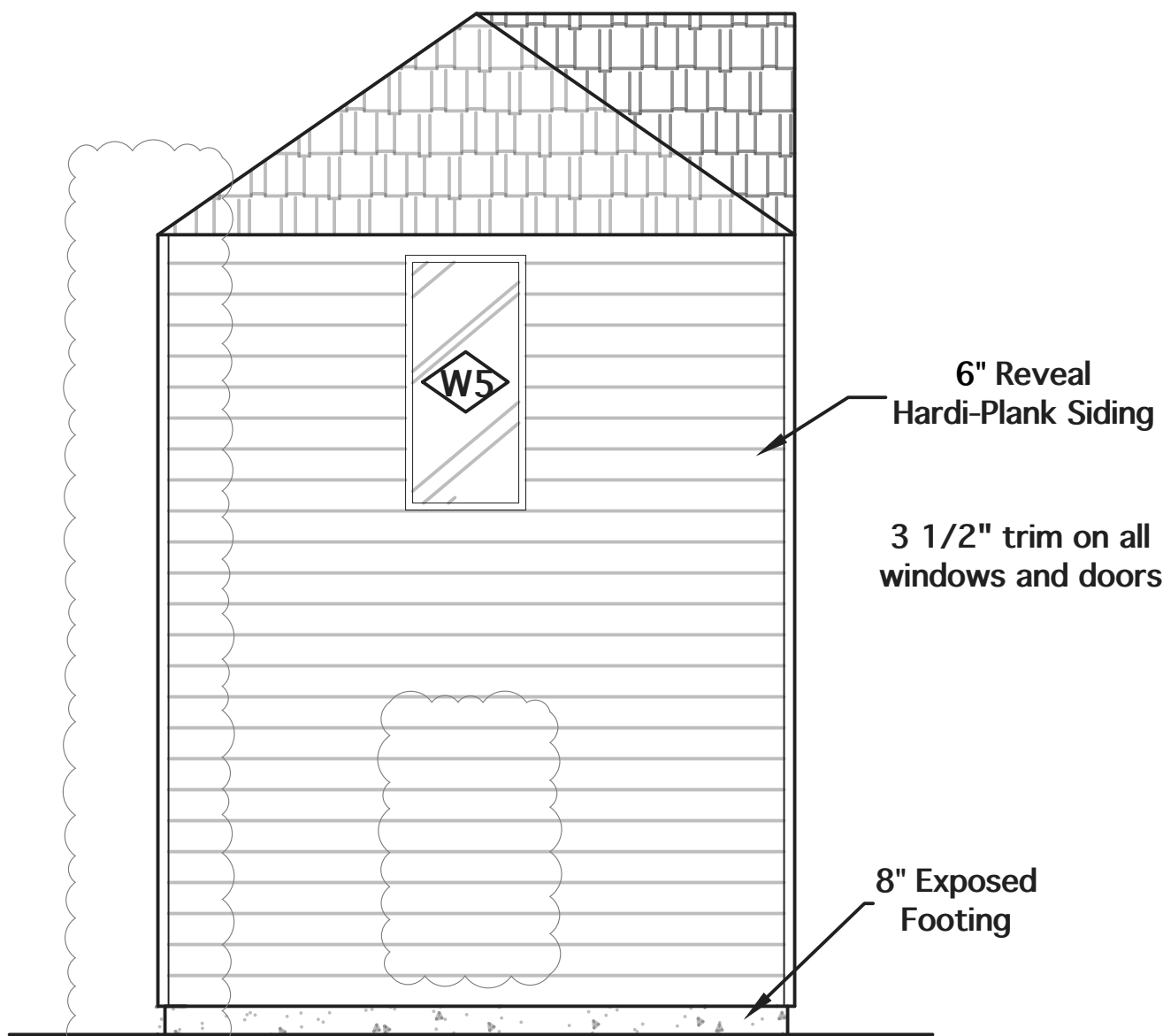
2 West (Front) Elevation  
1/4" = 1'-0"



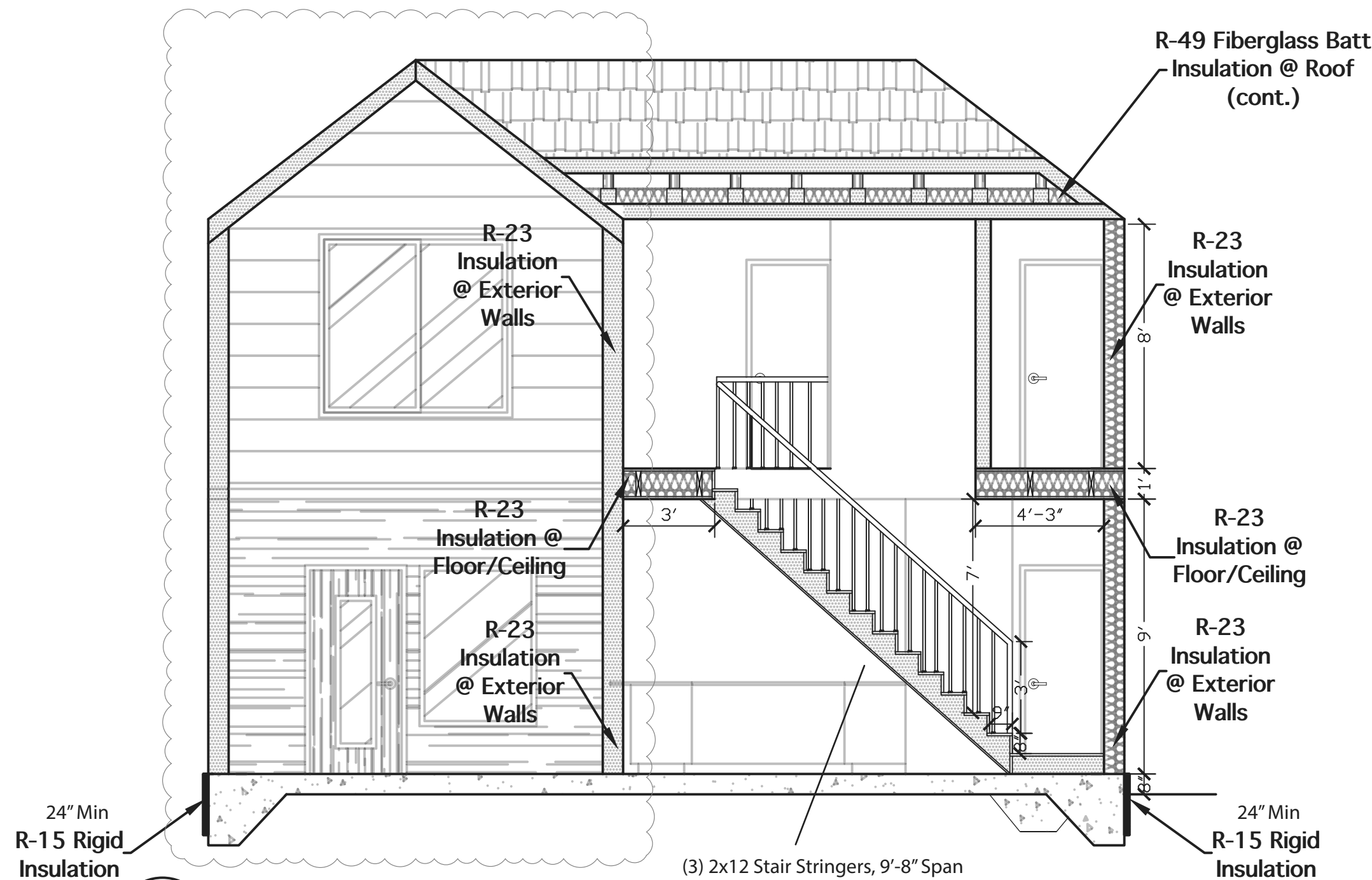
3 South Elevation  
1/4" = 1'-0"



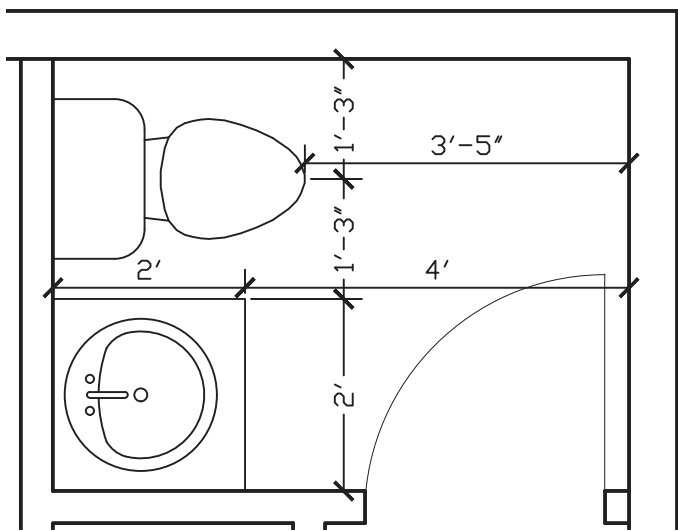
4 East Elevation  
1/4" = 1'-0"



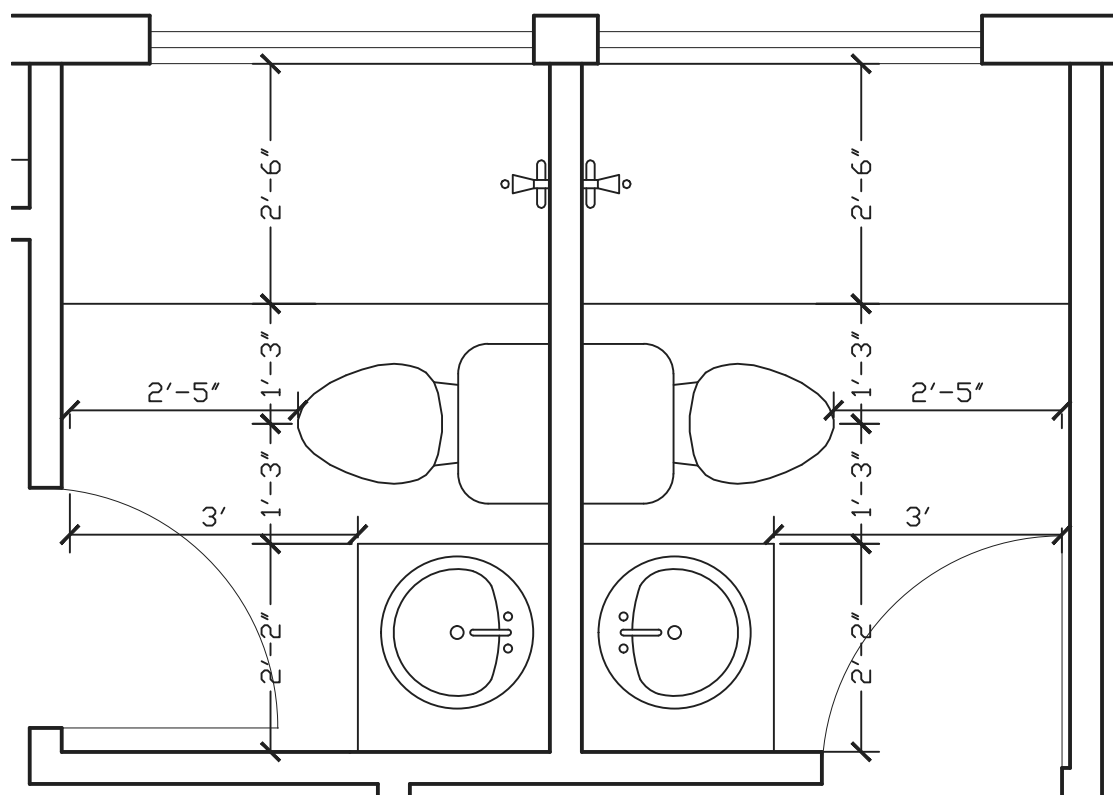
5 North Elevation  
1/4" = 1'-0"



S1 Section  
1/4" = 1'-0"



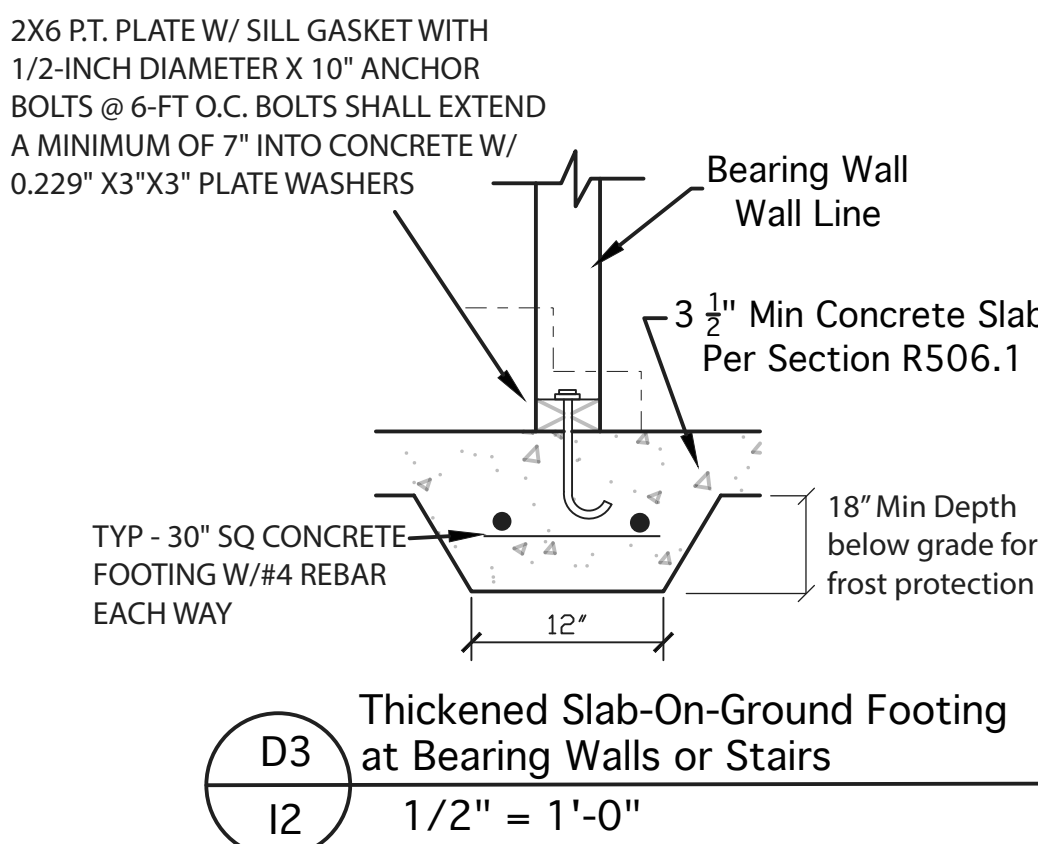
D1 Visitable Half Bath - Enlarged Floor Plan  
1/2" = 1'-0"



D2 Upper Floor Bathrooms - Enlarged Floor Plan  
1/2" = 1'-0"

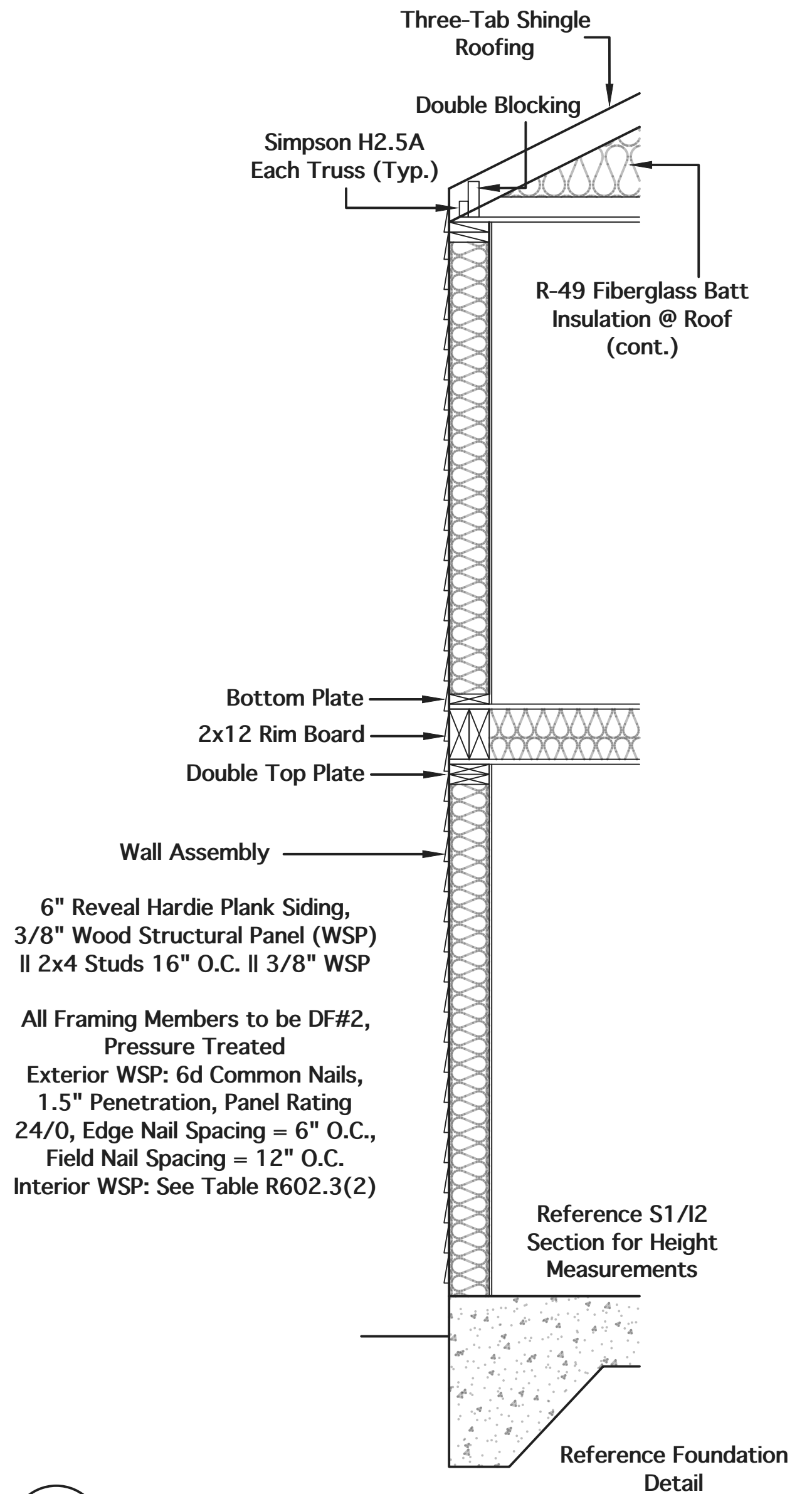
Window Schedule		
Sill Height = 2'	Sill Height = 5'	Sill Height = 2'
Sill Height = 2'	Sill Height = 2'	Sill Height = 2'

Door Schedule	

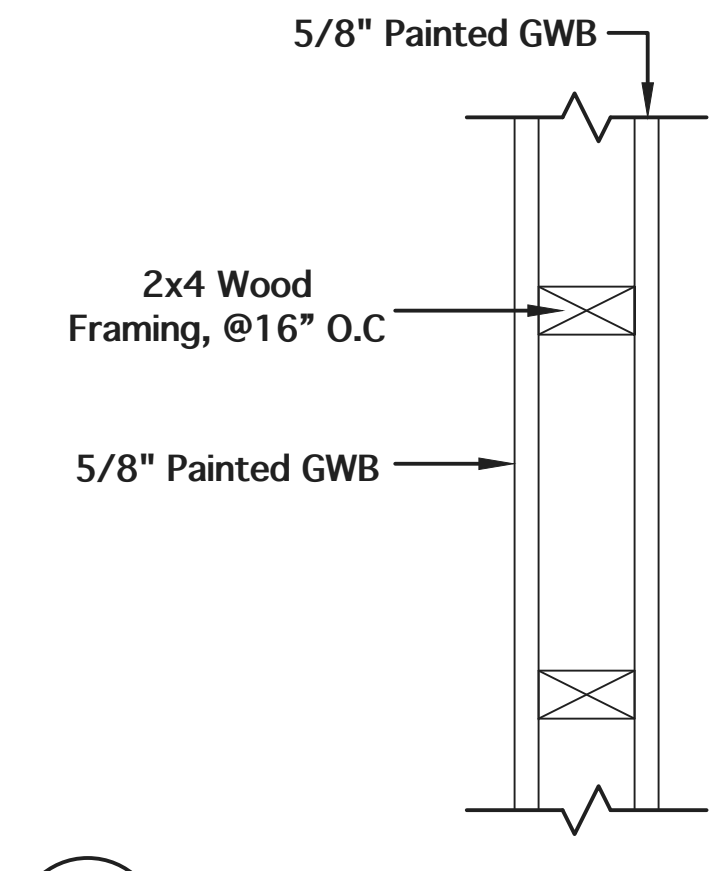


D3 Thickened Slab-On-Ground Footing at Bearing Walls or Stairs  
1/2" = 1'-0"

CITY APPROVAL STAMP



S1 Wall Section  
I3 1/4" = 1'-0"



D1 Interior Wall Assembly  
I3 1-1/2" = 1'-0"

Bracing Method	Panel Thickness	Figure
CS-WSP Continuously sheathed wood structural panel	3/8"	

Fasteners	Spacing
Exterior sheathing per Table R602.3(3)	6" edges 12" field
Interior sheathing per Table R602.3(1) or R602.3(2)	Varies by fastener

D2 Bracing Detail - Per ORSC 2021 R602.10.4  
I3 NTS

**R307.1 Space Required**

Fixtures shall be spaced in accordance with Figure R307.1, and in accordance with the requirements of the *Plumbing Code*.

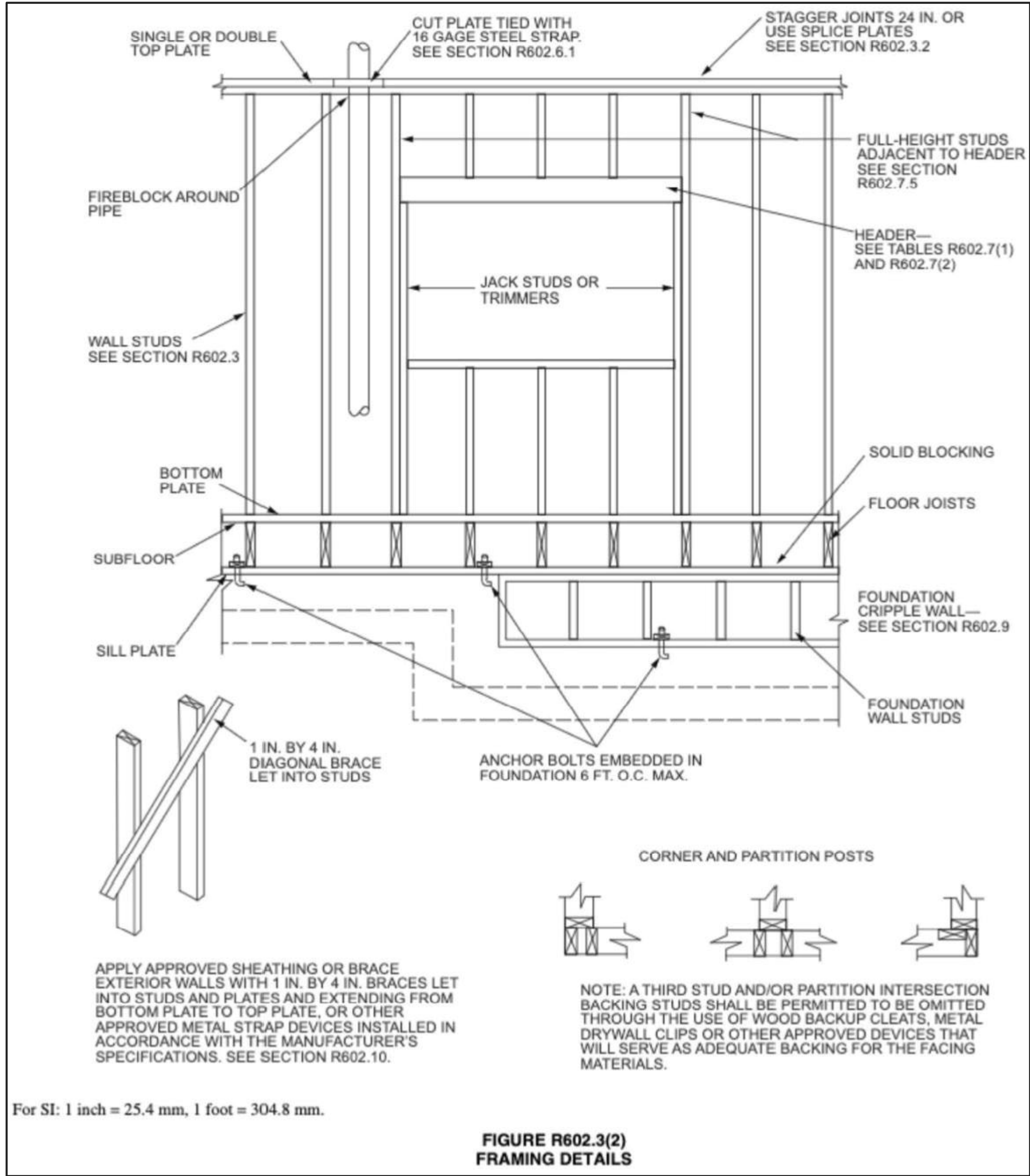
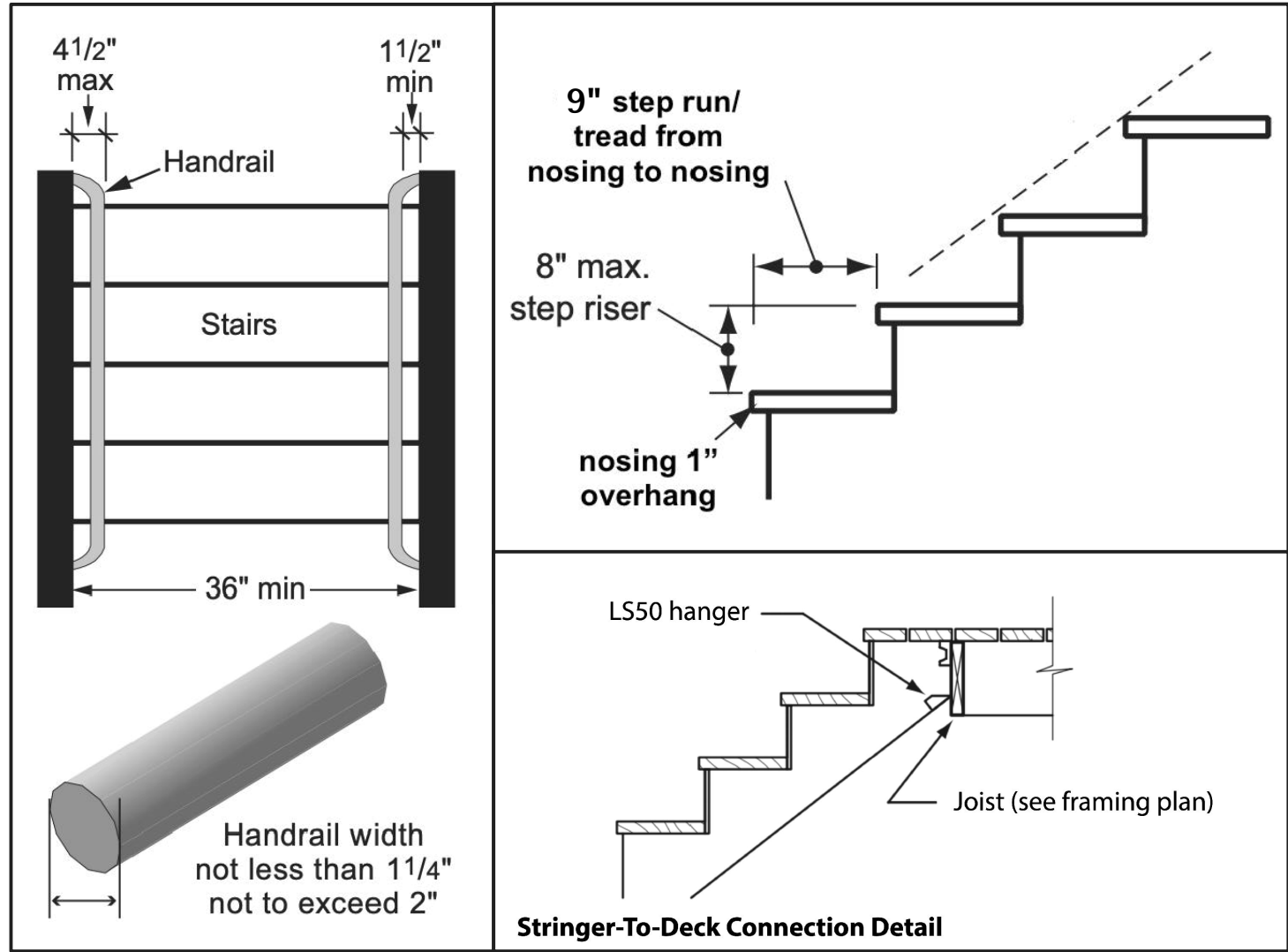
For SI: 1 inch = 25.4 mm.

**FIGURE R307.1**

**MINIMUM FIXTURE CLEARANCES** (See the *Plumbing Code* for shower clearances)

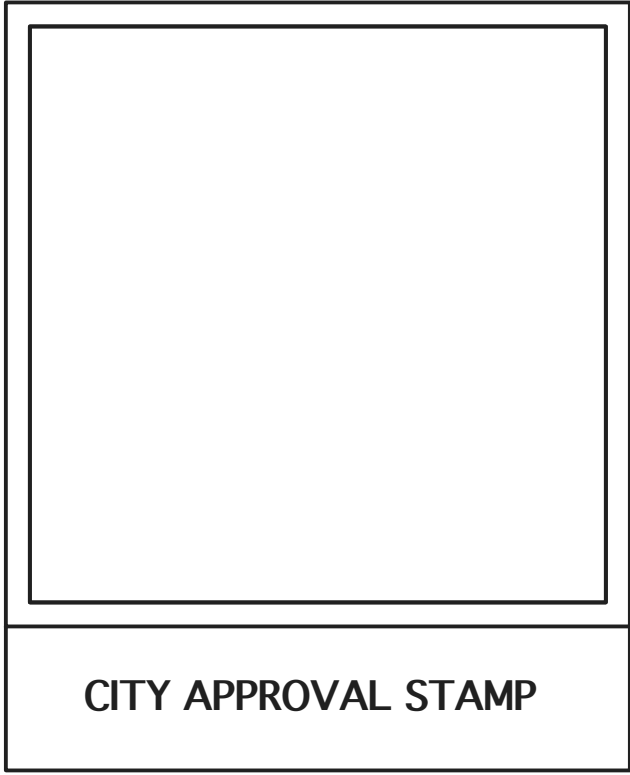
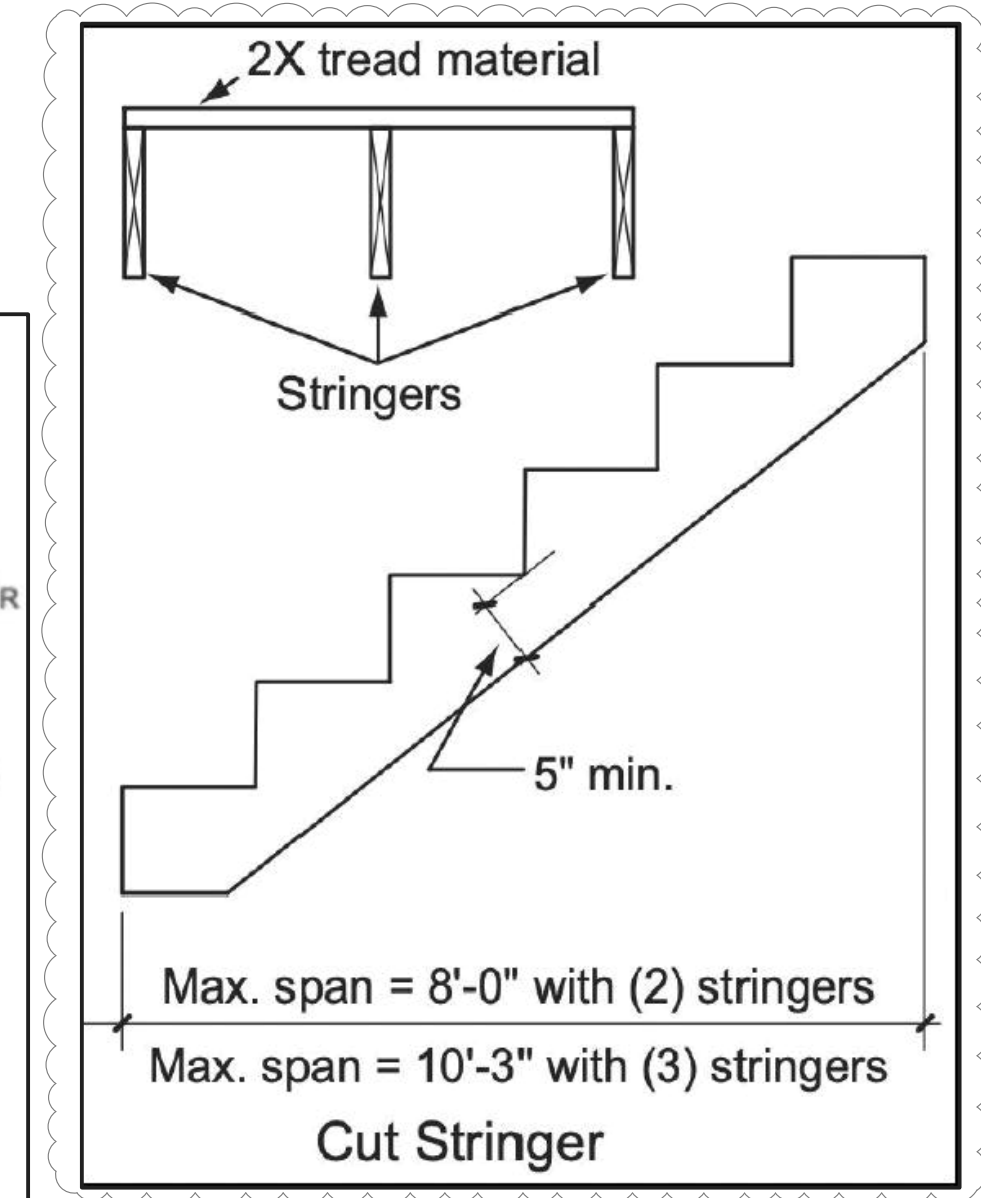
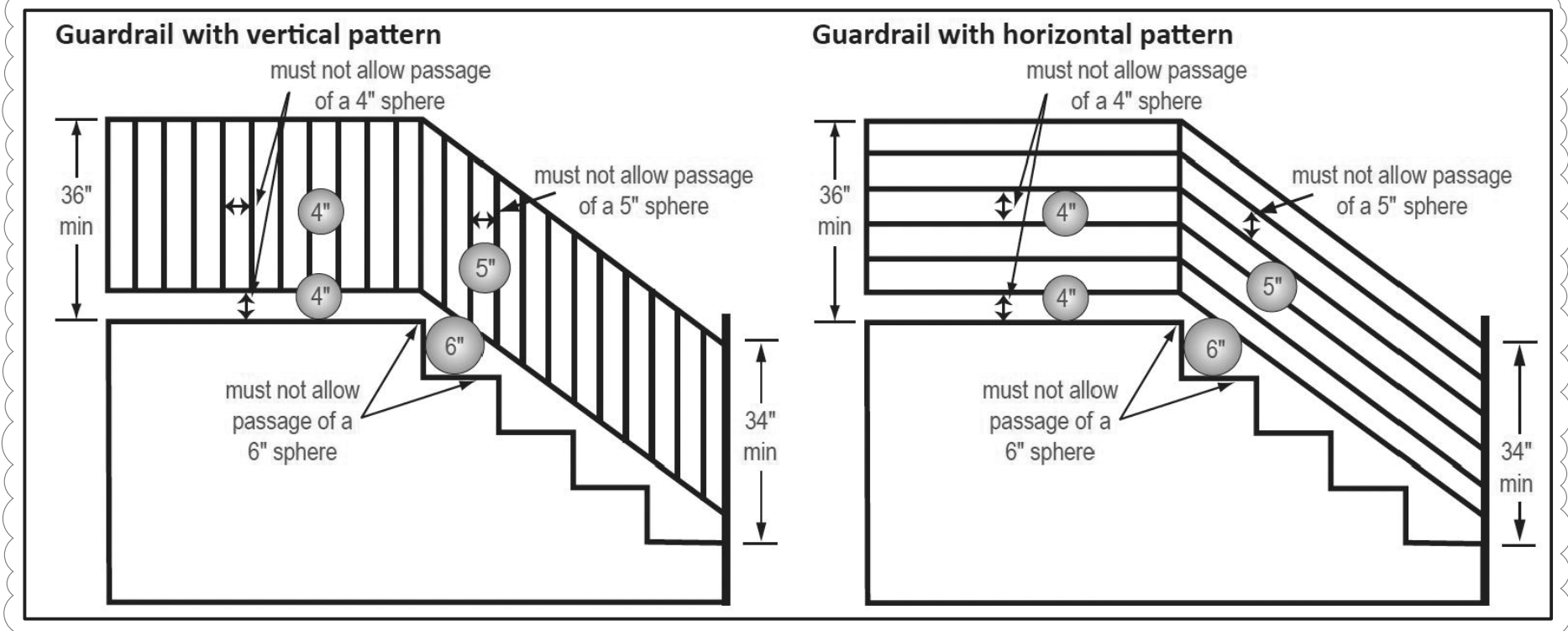
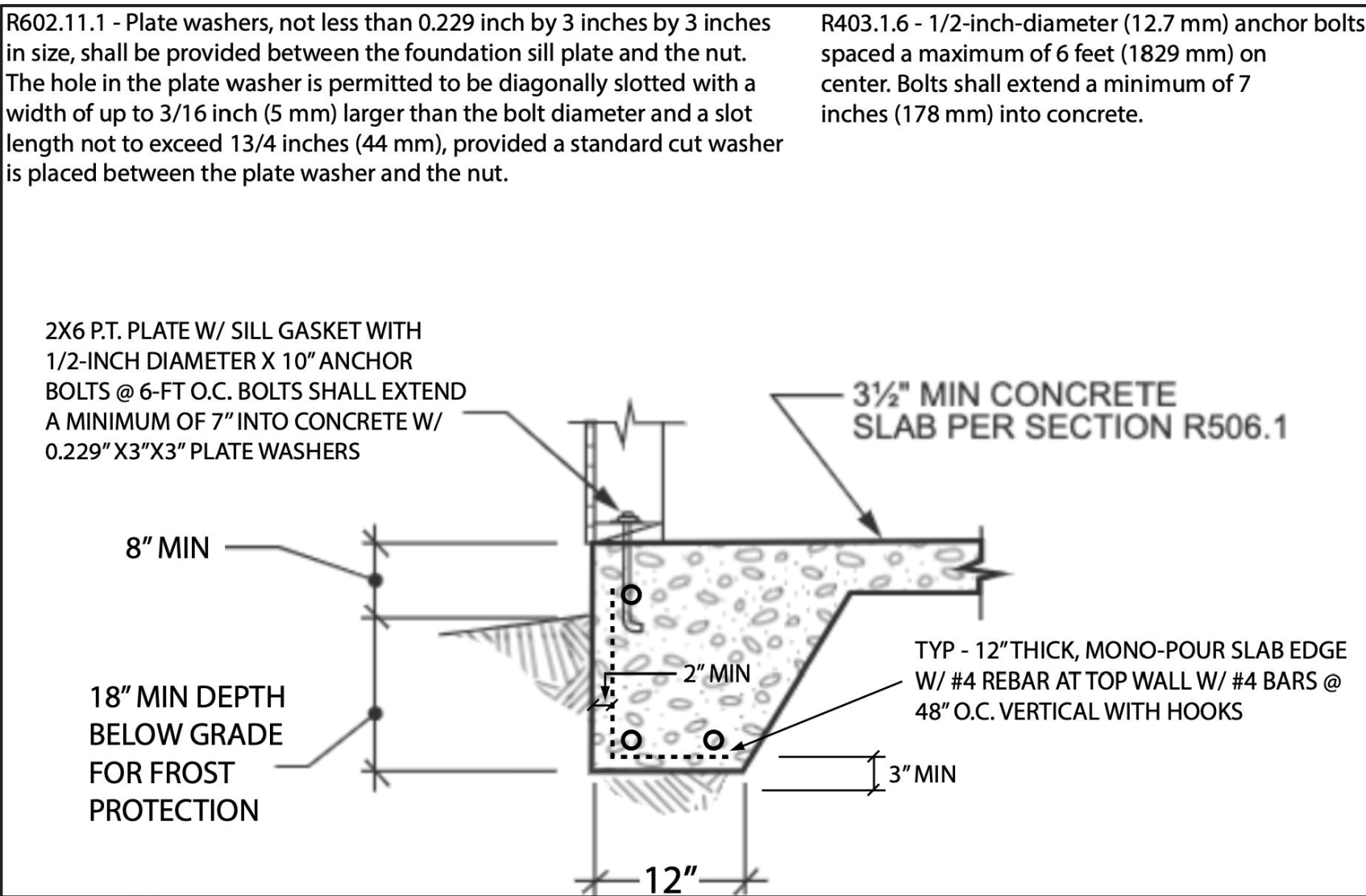
**R307.2 Bathtub and Shower Spaces**

Bathtub and shower floors and walls above bathtubs with installed shower heads and in shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet (1829 mm) above the floor.

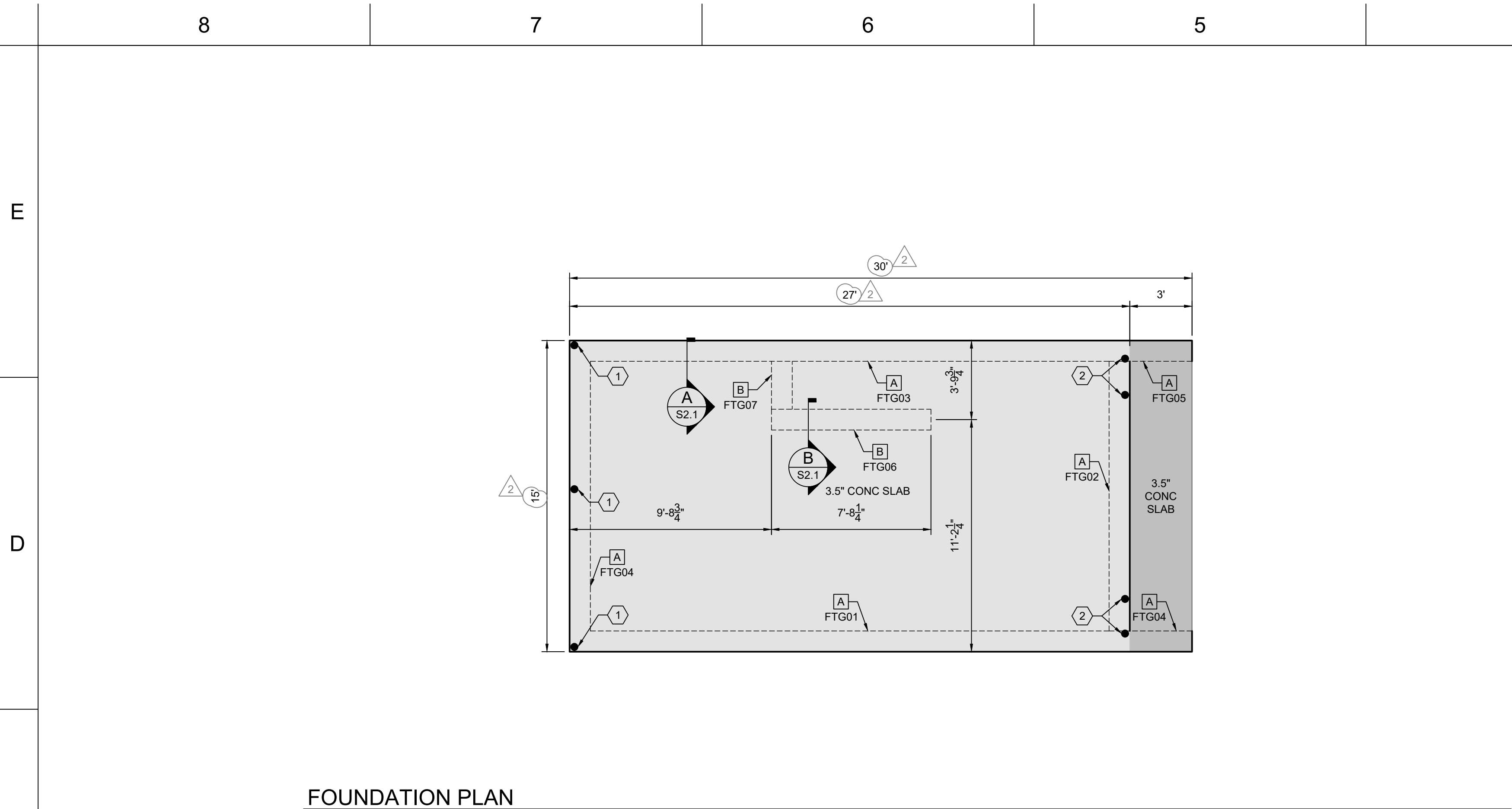


For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.

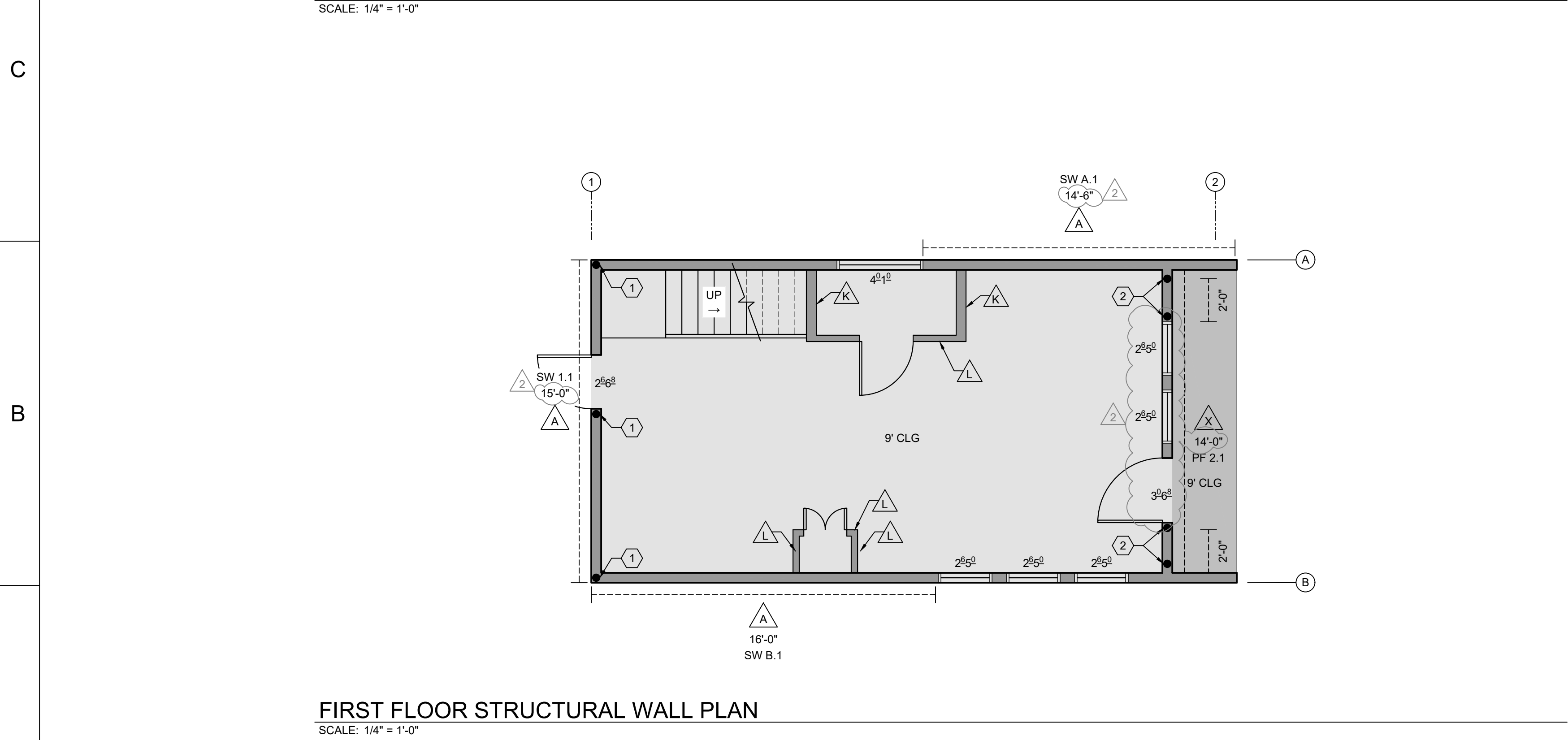
**FIGURE R602.3(2)**  
**FRAMING DETAILS**







FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"



FIRST FLOOR STRUCTURAL WALL PLAN  
SCALE: 1/4" = 1'-0"

- FOUNDATION NOTES:  
1. SEE GENERAL NOTES ON SHEET G1.1
- STRUCTURAL WALL NOTES:  
1. SEE SHEAR WALL AND HOLD-DOWN SCHEDULES ON SHEET S4.1

FOOTING SCHEDULE						
MARK	TYPE	FOOTING				NOTES
		SIZE	THICKNESS	REINFORCEMENT <sup>1,2</sup>	DEPTH TO BOTTOM <sup>3</sup>	
A	MONOLITHIC FTG	12" W	6" T	L: (1) #4 BAR T: N/A	18" MIN	
B	THICKENED FTG	12" W	6" T	L: N/A T: N/A	6" MIN	

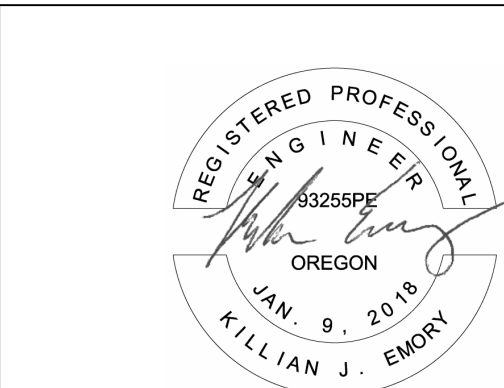
- FOOTING SCHEDULE NOTES:  
1. FOOTING REINFORCEMENT IS LISTED AS LONGITUDINAL (L) AND TRANSVERSE (T).  
2. REFER TO FOOTING DETAILS AND SECTIONS FOR ADDITIONAL REQUIREMENTS.  
3. VERIFY CONTINUOUS LOAD PATH FROM FRAMING TO ISOLATED FOOTINGS.  
4. OK TO COMBINE OVERLAPPING ISOLATED FOOTINGS.  
5. BOTTOM OF EXTERIOR FOOTINGS SHALL BE AT FROST DEPTH PER BUILDING JURISDICTION.

STRUCTURAL WALL SCHEDULE					
MARK	TYPE	ILLUSTRATION	CONSTRUCTION	SECTION/DETAIL	NOTES
A	SHEAR		7/16" OSB (EXT) 2x6 DF #2 @16" C/C 1/2" GYP (INT)		SEE SHEAR WALL SCHEDULE
F	BEARING		7/16" OSB (EXT) 2x6 DF #2 @16" C/C 1/2" GYP (INT)		
K	PARTITION		2x6 DF #2 @16" C/C 1/2" GYP (INT)		
L	PARTITION		1/2" GYP 2x4 DF #2 @16" C/C 1/2" GYP		
X	PORTAL FRAME		7/16" OSB (EXT) 2x6 DF #2 @16" C/C 1/2" GYP (INT)		SEE PORTAL FRAME SCHEDULE

- STRUCTURAL WALL SCHEDULE NOTES:  
1. SEE SHEAR WALL SCHEDULE AND PORTAL FRAME SCHEDULE FOR MORE CONSTRUCTION DETAILS/REQUIREMENTS.

HOLD-DOWN SCHEDULE <sup>1,2</sup>			
MARK <sup>4</sup>	HOLD-DOWN	ANCHORS	NOTES
1	SIMPSON HDU2-SDS2.5	5/8" Ø SIMPSON SSTB24	
2	SIMPSON STHD10	N/A	

- HOLD-DOWN SCHEDULE NOTES:  
1. ENSURE PROPER FOUNDATION DEPTH AND WALL THICKNESS FOR INSTALLATION OF HOLD-DOWNS AND ANCHOR BOLTS. REFER TO MANUFACTURER'S INSTRUCTIONS.  
2. ADDITIONAL CONCRETE REINFORCEMENT MAY BE REQUIRED FOR INSTALLATION OF HOLD-DOWNS. REFER TO MANUFACTURER'S INSTRUCTIONS.  
3. THREADED ROD MAY BE USED TO EXTEND ANCHOR BOLTS. DO NOT EMBED IN CONCRETE UNLESS NOTED OTHERWISE. THREADED ROD MAY BE SPECIFIED FOR HOLD-DOWNS BETWEEN FLOORS.  
4. WHEN THE SAME MARK IS SPECIFIED IN THIS TABLE, EITHER HOLD-DOWN MAY BE USED.  
5. WHEN HOLD-DOWN ARE SPECIFIED FOR UPPER STORY SHEAR WALLS, REFER TO FLOOR SPAN HOLD-DOWN DETAIL.



8/17/2023, 3:30:46 pm  
Exp: 12/31/2023

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SHEET TITLE:  
FOUNDATION PLAN  
FIRST FLOOR  
STRUCTURAL WALL PLAN

PROJECT:  
1318

SHEET:  
D-S1.1

SUBMITTED  
08/29/2023

DESIGNER:  
**TRI-CITY ENGINEERS**  
3801 W VAN GIESEN ST  
WEST RICHLAND, WA 99353  
509-210-1010

OWNER/PROJECT LOCATION:  
KOVAL HOLDING LLC  
7904 SE 45TH AVE  
PORTLAND, OR 97206



- FLOOR FRAMING PLAN NOTES:**  
1. SEE GENERAL NOTES ON SHEET G1.1  
2. INSTALL ALL ENGINEERED WOOD PRODUCTS PER MANUFACTURER'S INSTRUCTIONS.
- STRUCTURAL WALL NOTES:**  
1. SEE SHEAR WALL AND HOLD-DOWN SCHEDULES ON SHEET S4.1
- ROOF FRAMING PLAN NOTES:**  
1. SEE GENERAL NOTES ON SHEET G1.1  
2. INSTALL ALL ENGINEERED WOOD PRODUCTS PER MANUFACTURER'S INSTRUCTIONS.  
3. PORTAL FRAME HEADERS SHALL EXTEND BEYOND THE OPENING AS REQUIRED TO MATCH THE PANEL LENGTHS SPECIFIED ON THE STRUCTURAL WALL PLAN. EXTENDED ENDS ARE NOT SHOWN ON THIS SHEAR FOR CLARITY.

BEAM/HEADER SCHEDULE			
MARK	TYPE	SIZE	NOTES
(A)	DF #2	1.5"x5.5"	(1) PLY 2x6
(B)	DF #2	3"x5.5"	(2) PLY 2x6
(C)	24F-V4 GLB	5.5"x9.5"	
(D)	24F-V4 GLB	5.5"x12"	

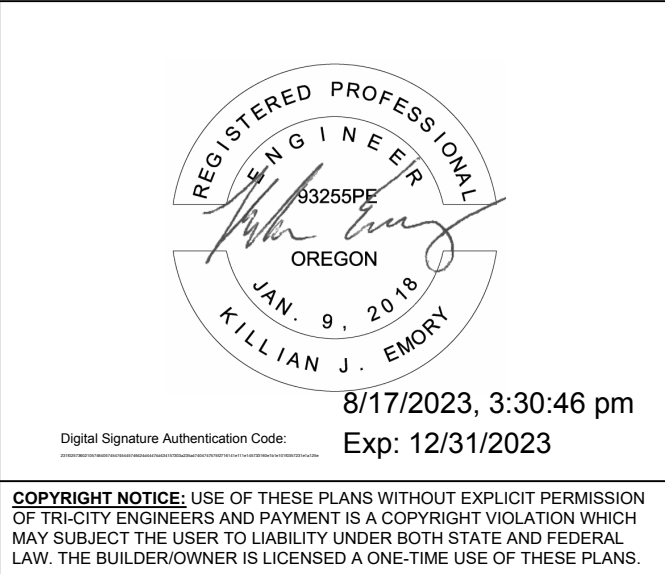
- BEAM/HEADER SCHEDULE NOTES:**  
1. ORIENT STRUCTURAL HEADERS WITH LONG DIMENSION VERTICAL U.N.O.  
2. U.N.O. HEADERS WITHOUT POSTS CALLED OUT ON PLANS SHALL HAVE (1) 2x DF #2 JACK STUD, MIN, EACH END. MATCH WALL FRAMING THICKNESS.

STRUCTURAL WALL SCHEDULE					
MARK	TYPE	ILLUSTRATION	CONSTRUCTION	SECTION/DETAIL	NOTES
(A)	SHEAR		7/16" OSB (EXT) 2x6 DF #2 @16" C/C 1/2" GYP (INT)		SEE SHEAR WALL SCHEDULE
(F)	BEARING		7/16" OSB (EXT) 2x6 DF #2 @16" C/C 1/2" GYP (INT)		
(K)	PARTITION		2x6 DF #2 @16" C/C 1/2" GYP (INT)		
(L)	PARTITION		1/2" GYP 2x4 DF #2 @16" C/C 1/2" GYP		
(X)	PORTAL FRAME		7/16" OSB (EXT) 2x6 DF #2 @16" C/C 1/2" GYP (INT)		SEE PORTAL FRAME SCHEDULE

- STRUCTURAL WALL SCHEDULE NOTES:**  
1. SEE SHEAR WALL SCHEDULE AND PORTAL FRAME SCHEDULE FOR MORE CONSTRUCTION DETAILS/REQUIREMENTS.

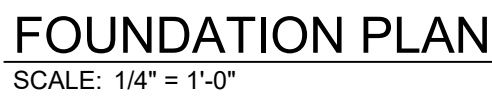
HOLD-DOWN SCHEDULE <sup>1,2</sup>			
MARK <sup>4</sup>	HOLD-DOWN	ANCHORS	NOTES
(1)	SIMPSON HDU2-SDS2.5	5/8" Ø SIMPSON SSTB24	
(2)	SIMPSON STHD10	N/A	

- HOLD-DOWN SCHEDULE NOTES:**  
1. ENSURE PROPER FOUNDATION DEPTH AND WALL THICKNESS FOR INSTALLATION OF HOLD-DOWNS AND ANCHOR BOLTS. REFER TO MANUFACTURER'S INSTRUCTIONS.  
2. ADDITIONAL CONCRETE REINFORCEMENT MAY BE REQUIRED FOR INSTALLATION OF HOLD-DOWNS. REFER TO MANUFACTURER'S INSTRUCTIONS.  
3. THREADED ROD MAY BE USED TO EXTEND ANCHOR BOLTS. DO NOT EMBED IN CONCRETE UNLESS NOTED OTHERWISE. THREADED ROD MAY BE SPECIFIED FOR HOLD-DOWNS BETWEEN FLOORS.  
4. WHEN THE SAME MARK IS SPECIFIED IN THIS TABLE, EITHER HOLD-DOWN MAY BE USED.  
5. WHEN HOLD-DOWN ARE SPECIFIED FOR UPPER STORY SHEAR WALLS, REFER TO FLOOR SPAN HOLD-DOWN DETAIL.



**SUBMITTED**  
08/29/2023






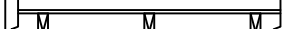




DESIGNER:		 TRI-CITY ENGINEERS 3801 W VAN GIESEN ST WEST RICHLAND, WA 99353 509-210-1010		OWNER/PROJECT LOCATION:		KOVAL HOLDING LLC 7904 SE 45TH AVE PORTLAND, OR 97206		SHEET TITLE:		SECOND FLOOR FRAMING PLAN SECOND FLOOR STRUCT WALL PLAN ROOF FRAMING PLAN		PROJECT:		1318		SHEET:		D-S1.2													
DRAFTER		A GONZALEZ		08/07/2023		DRAFT CHK		M ELLIOTT		08/07/2023		ENGINEER		J RESECK		08/07/2023		ENG CHK		K EMORY		08/07/2023		SHEET SIZE		22"x34"		REV #		2	



FOOTING SCHEDULE							
MARK	TYPE	FOOTING				SECTION OR DETAIL / SHEET	NOTES
		SIZE	THICKNESS	REINFORCEMENT <sup>1,2</sup>	DEPTH TO BOTTOM <sup>3</sup>		
<b>A</b>	MONOLITHIC FTG	12" W	6" T	L: (1) #4 BAR T: N/A	18" MIN		
<b>B</b>	THICKENED FTG	12" W	6" T	L: N/A T: N/A	6" MIN		

**FOOTING SCHEDULE NOTES:**

1. FOOTING REINFORCEMENT IS LISTED AS LONGITUDINAL (L) AND TRANSVERSE (T).
2. REFER TO FOOTING DETAILS AND SECTIONS FOR ADDITIONAL REQUIREMENTS.
3. VERIFY CONTINUOUS LOAD PATH FROM FRAMING TO ISOLATED FOOTINGS.
4. OK TO COMBINE OVERLAPPING ISOLATED FOOTINGS.
5. BOTTOM OF EXTERIOR FOOTINGS SHALL BE AT FROST DEPTH PER BUILDING JURISDICTION.

STRUCTURAL WALL SCHEDULE					
MARK	TYPE	ILLUSTRATION	CONSTRUCTION	SECTION/DETAIL	NOTES
	SHEAR		7/16" OSB (EXT) 2x6 DF #2 @16" C/C 1/2" GYP (INT)		SEE SHEAR WALL SCHEDULE
	BEARING		7/16" OSB (EXT) 2x6 DF #2 @16" C/C 1/2" GYP (INT)		
	PARTITION		2x6 DF #2 @16" C/C 1/2" GYP (INT)		
	PARTITION		1/2" GYP 2x4 DF #2 @16" C/C 1/2" GYP		
	PORTAL FRAME		7/16" OSB (EXT) 2x6 DF #2 @16" C/C 1/2" GYP (INT)		SEE PORTAL FRAME SCHEDULE

STRUCTURAL WALL SCHEDULE NOTES:  
1. SEE SHEAR WALL SCHEDULE AND PORTAL FRAME SCHEDULE FOR MORE CONSTRUCTION DETAILS/REQUIREMENTS.

HOLD-DOWN SCHEDULE <sup>1,2</sup>			
MARK <sup>4</sup>	HOLD-DOWN	ANCHORS	NOTES
①	SIMPSON HDU2-SDS2.5	5/8" Ø SIMPSON SSTB24	
②	SIMPSON STHD10	N/A	

**HOLD-DOWN SCHEDULE NOTES:**

1. ENSURE PROPER FOUNDATION DEPTH AND WALL THICKNESS FOR INSTALLATION OF HOLD-DOWNS AND ANCHOR BOLTS. REFER TO MANUFACTURER'S INSTRUCTIONS.
2. ADDITIONAL CONCRETE REINFORCEMENT MAY BE REQUIRED FOR INSTALLATION OF HOLD-DOWNS. REFER TO MANUFACTURER'S INSTRUCTIONS.
3. THREADED ROD MAY BE USED TO EXTEND ANCHOR BOLTS. DO NOT EMBED IN CONCRETE UNLESS NOTED OTHERWISE. THREADED ROD MAY BE SPECIFIED FOR HOLD-DOWNS BETWEEN FLOORS.
4. WHEN THE SAME MARK IS SPECIFIED IN THIS TABLE, EITHER HOLD-DOWN MAY BE USED.
5. WHEN HOLD-DOWN ARE SPECIFIED FOR UPPER STORY SHEAR WALLS, REFER TO FLOOR SPAN HOLD-DOWN DETAIL.



8/17/2023, 3:30:46 pm  
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**SUBMITTED**  
08/29/2023

LU 23-090278 Exhibit A2



**FLOOR FRAMING PLAN NOTES:**  
1. SEE GENERAL NOTES ON SHEET G1.1  
2. INSTALL ALL ENGINEERED WOOD PRODUCTS PER MANUFACTURER'S INSTRUCTIONS.

**STRUCTURAL WALL NOTES:**  
1. SEE SHEAR WALL AND HOLD-DOWN SCHEDULES ON SHEET S4.1

**ROOF FRAMING PLAN NOTES:**  
1. SEE GENERAL NOTES ON SHEET G1.1  
2. INSTALL ALL ENGINEERED WOOD PRODUCTS PER MANUFACTURER'S INSTRUCTIONS.  
3. PORTAL FRAME HEADERS SHALL EXTEND BEYOND THE OPENING AS REQUIRED TO MATCH THE PANEL LENGTHS SPECIFIED ON THE STRUCTURAL WALL PLAN. EXTENDED ENDS ARE NOT SHOWN ON THIS SHEAR FOR CLARITY.

BEAM/HEADER SCHEDULE			
MARK	TYPE	SIZE	NOTES
(A)	DF #2	1.5"x5.5"	(1) PLY 2x6
(B)	DF #2	3"x5.5"	(2) PLY 2x6
(C)	24F-V4 GLB	5.5"x9.5"	
(D)	24F-V4 GLB	5.5"x12"	

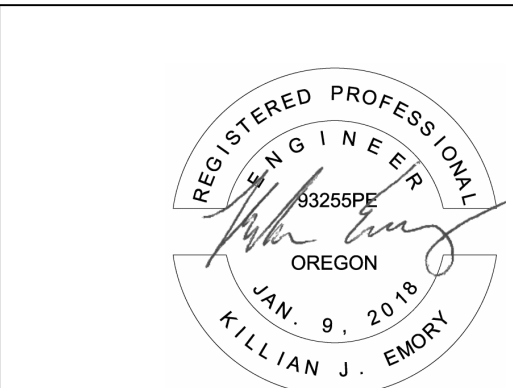
**BEAM/HEADER SCHEDULE NOTES:**  
1. ORIENT STRUCTURAL HEADERS WITH LONG DIMENSION VERTICAL U.N.O.  
2. U.N.O. HEADERS WITHOUT POSTS CALLED OUT ON PLANS SHALL HAVE (1) 2x DF #2 JACK STUD, MIN, EACH END. MATCH WALL FRAMING THICKNESS.

STRUCTURAL WALL SCHEDULE					
MARK	TYPE	ILLUSTRATION	CONSTRUCTION	SECTION/DETAIL	NOTES
(A)	SHEAR		7/16" OSB (EXT) 2x6 DF #2 @16" C/C 1/2" GYP (INT)		SEE SHEAR WALL SCHEDULE
(F)	BEARING		7/16" OSB (EXT) 2x6 DF #2 @16" C/C 1/2" GYP (INT)		
(K)	PARTITION		2x6 DF #2 @16" C/C 1/2" GYP (INT)		
(L)	PARTITION		1/2" GYP 2x4 DF #2 @16" C/C 1/2" GYP		
(X)	PORTAL FRAME		7/16" OSB (EXT) 2x6 DF #2 @16" C/C 1/2" GYP (INT)		SEE PORTAL FRAME SCHEDULE

**STRUCTURAL WALL SCHEDULE NOTES:**  
1. SEE SHEAR WALL SCHEDULE AND PORTAL FRAME SCHEDULE FOR MORE CONSTRUCTION DETAILS/REQUIREMENTS.

HOLD-DOWN SCHEDULE <sup>1,2</sup>			
MARK <sup>4</sup>	HOLD-DOWN	ANCHORS	NOTES
(1)	SIMPSON HDU2-SDS2.5	5/8" Ø SIMPSON SSTB24	
(2)	SIMPSON STHD10	N/A	

**HOLD-DOWN SCHEDULE NOTES:**  
1. ENSURE PROPER FOUNDATION DEPTH AND WALL THICKNESS FOR INSTALLATION OF HOLD-DOWNS AND ANCHOR BOLTS. REFER TO MANUFACTURER'S INSTRUCTIONS.  
2. ADDITIONAL CONCRETE REINFORCEMENT MAY BE REQUIRED FOR INSTALLATION OF HOLD-DOWNS. REFER TO MANUFACTURER'S INSTRUCTIONS.  
3. THREADED ROD MAY BE USED TO EXTEND ANCHOR BOLTS. DO NOT EMBED IN CONCRETE UNLESS NOTED OTHERWISE. THREADED ROD MAY BE SPECIFIED FOR HOLD-DOWNS BETWEEN FLOORS.  
4. WHEN THE SAME MARK IS SPECIFIED IN THIS TABLE, EITHER HOLD-DOWN MAY BE USED.  
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SHEET TITLE:

SECOND FLOOR FRAMING PLAN  
SECOND FLOOR STRUCT WALL PLAN  
ROOF FRAMING PLAN

PROJECT:

1318

SHEET:

E-S1.2

**SUBMITTED**  
08/29/2023

**TRI-CITY ENGINEERS**  
3801 W VAN GIESEN ST  
WEST RICHLAND, WA 99353  
509-210-1010

OWNER/PROJECT LOCATION:  
KOVAL HOLDING LLC  
7904 SE 45TH AVE  
PORTLAND, OR 97206



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PROJECT:	1318
SHEET:	F-S1.1

**SUBMITTED**  
08/29/2023




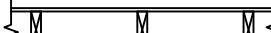



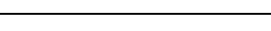




SHEET:  
F-S1.2


**SUBMITTED**  
08/29/2023



FOOTING SCHEDULE							
MARK	TYPE	FOOTING				SECTION OR DETAIL / SHEET	NOTES
		SIZE	THICKNESS	REINFORCEMENT <sup>1,2</sup>	DEPTH TO BOTTOM <sup>3</sup>		
<b>A</b>	MONOLITHIC FTG	12" W	6" T	L: (1) #4 BAR T: N/A	18" MIN		
<b>B</b>	THICKENED FTG	12" W	6" T	L: N/A T: N/A	6" MIN		

STRUCTURAL WALL SCHEDULE				
MARK	TYPE	ILLUSTRATION	CONSTRUCTION	NOTES
	SHEAR		7/16" OSB (EXT) 2x6 DF #2 @16" C/C 1/2" GYP (INT)	SEE SHEAR WALL SCHEDULE
	BEARING		7/16" OSB (EXT) 2x6 DF #2 @16" C/C 1/2" GYP (INT)	
	PARTITION		2x6 DF #2 @16" C/C 1/2" GYP (INT)	
	PARTITION		1/2" GYP 2x4 DF #2 @16" C/C 1/2" GYP	
	PORTAL FRAME		7/16" OSB (EXT) 2x6 DF #2 @16" C/C 1/2" GYP (INT)	SEE PORTAL FRAME SCHEDULE

HOLD-DOWN SCHEDULE <sup>1,2</sup>			
MARK <sup>4</sup>	HOLD-DOWN	ANCHORS	NOTES
①	SIMPSON HDU2-SDS2.5	5/8" Ø SIMPSON SSTB24	
②	SIMPSON STHD10	N/A	



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PROJECT:  
1318

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SHEET:  
G-S1.1

**SUBMITTED**  
08/29/2023



**FLOOR FRAMING PLAN NOTES:**  
1. SEE GENERAL NOTES ON SHEET G1.1  
2. INSTALL ALL ENGINEERED WOOD PRODUCTS PER MANUFACTURER'S INSTRUCTIONS.

**STRUCTURAL WALL NOTES:**  
1. SEE SHEAR WALL AND HOLD-DOWN SCHEDULES ON SHEET S4.1

**ROOF FRAMING PLAN NOTES:**  
1. SEE GENERAL NOTES ON SHEET G1.1  
2. INSTALL ALL ENGINEERED WOOD PRODUCTS PER MANUFACTURER'S INSTRUCTIONS.  
3. PORTAL FRAME HEADERS SHALL EXTEND BEYOND THE OPENING AS REQUIRED TO MATCH THE PANEL LENGTHS SPECIFIED ON THE STRUCTURAL WALL PLAN. EXTENDED ENDS ARE NOT SHOWN ON THIS SHEAR FOR CLARITY.

BEAM/HEADER SCHEDULE			
MARK	TYPE	SIZE	NOTES
(A)	DF #2	1.5"x5.5"	(1) PLY 2x6
(B)	DF #2	3"x5.5"	(2) PLY 2x6
(C)	24F-V4 GLB	5.5"x9.5"	
(D)	24F-V4 GLB	5.5"x12"	

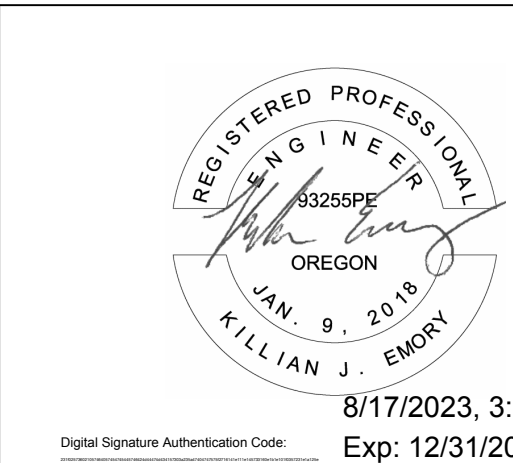
**BEAM/HEADER SCHEDULE NOTES:**  
1. ORIENT STRUCTURAL HEADERS WITH LONG DIMENSION VERTICAL U.N.O.  
2. U.N.O. HEADERS WITHOUT POSTS CALLED OUT ON PLANS SHALL HAVE (1) 2x DF #2 JACK STUD, MIN, EACH END. MATCH WALL FRAMING THICKNESS.

STRUCTURAL WALL SCHEDULE					
MARK	TYPE	ILLUSTRATION	CONSTRUCTION	SECTION/DETAIL	NOTES
(A)	SHEAR		7/16" OSB (EXT) 2x6 DF #2 @16" C/C 1/2" GYP (INT)		SEE SHEAR WALL SCHEDULE
(F)	BEARING		7/16" OSB (EXT) 2x6 DF #2 @16" C/C 1/2" GYP (INT)		
(K)	PARTITION		2x6 DF #2 @16" C/C 1/2" GYP (INT)		
(L)	PARTITION		1/2" GYP 2x4 DF #2 @16" C/C 1/2" GYP		
(X)	PORTAL FRAME		7/16" OSB (EXT) 2x6 DF #2 @16" C/C 1/2" GYP (INT)		SEE PORTAL FRAME SCHEDULE

**STRUCTURAL WALL SCHEDULE NOTES:**  
1. SEE SHEAR WALL SCHEDULE AND PORTAL FRAME SCHEDULE FOR MORE CONSTRUCTION DETAILS/REQUIREMENTS.

HOLD-DOWN SCHEDULE <sup>1,2</sup>			
MARK <sup>1</sup>	HOLD-DOWN	ANCHORS	NOTES
(1)	SIMPSON HDU2-SDS2.5	5/8" Ø SIMPSON SSTB24	
(2)	SIMPSON STHD10	N/A	

**HOLD-DOWN SCHEDULE NOTES:**  
1. ENSURE PROPER FOUNDATION DEPTH AND WALL THICKNESS FOR INSTALLATION OF HOLD-DOWNS AND ANCHOR BOLTS. REFER TO MANUFACTURER'S INSTRUCTIONS.  
2. ADDITIONAL CONCRETE REINFORCEMENT MAY BE REQUIRED FOR INSTALLATION OF HOLD-DOWNS. REFER TO MANUFACTURER'S INSTRUCTIONS.  
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08/07/2023  
08/07/2023  
08/07/2023  
08/07/2023  
2

A GONZALEZ  
M ELLIOTT  
J RESECK  
K EMORY

22"x34"

REV #

DRAFTER  
DRAFT CHK  
ENGINEER  
ENG CHK  
SHEET SIZE

**TRI-CITY ENGINEERS**  
3801 W VAN GIESEN ST  
WEST RICHLAND, WA 99353  
509-210-1010

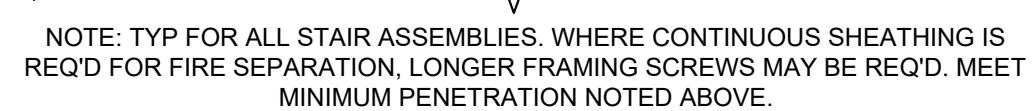
**OWNER/PROJECT LOCATION:**  
KOVAL HOLDING LLC  
7904 SE 45TH AVE  
PORTLAND, OR 97206

**SHEET TITLE:**  
SECOND FLOOR FRAMING PLAN  
SECOND FLOOR STRUCT WALL PLAN  
ROOF FRAMING PLAN

**PROJECT:**  
1318

**SHEET:**  
G-S1.2

**SUBMITTED**  
08/29/2023



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**TRI-CITY  
ENGINEERS**

3801 W VAN GIESEN ST  
WEST RICHLAND, WA 99353  
509-210-1010

PROJECT LOCATION:  
KOVAL HOLDING LLC  
7904 SE 45TH AVE  
PORTLAND, OR 97206

## SECTIONS

**SHEET TITLE:**

PROJECT:  
1318

SHEET: S2.1

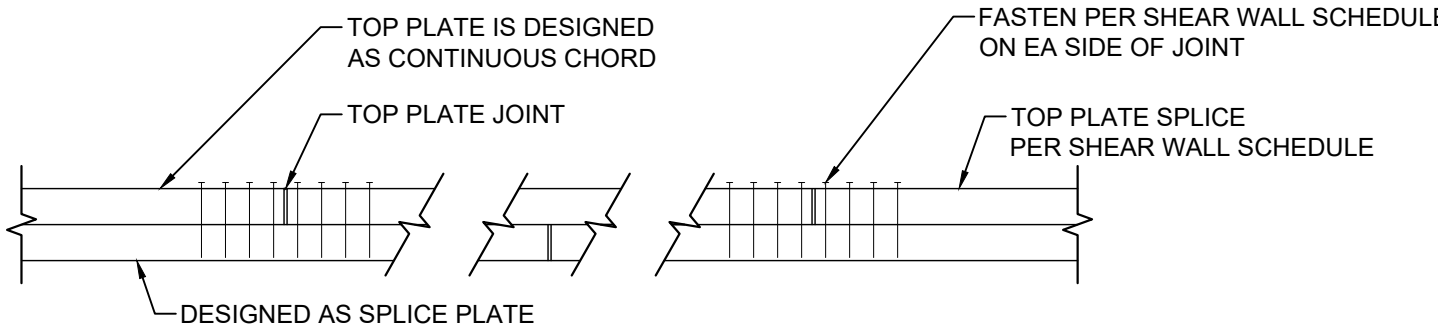
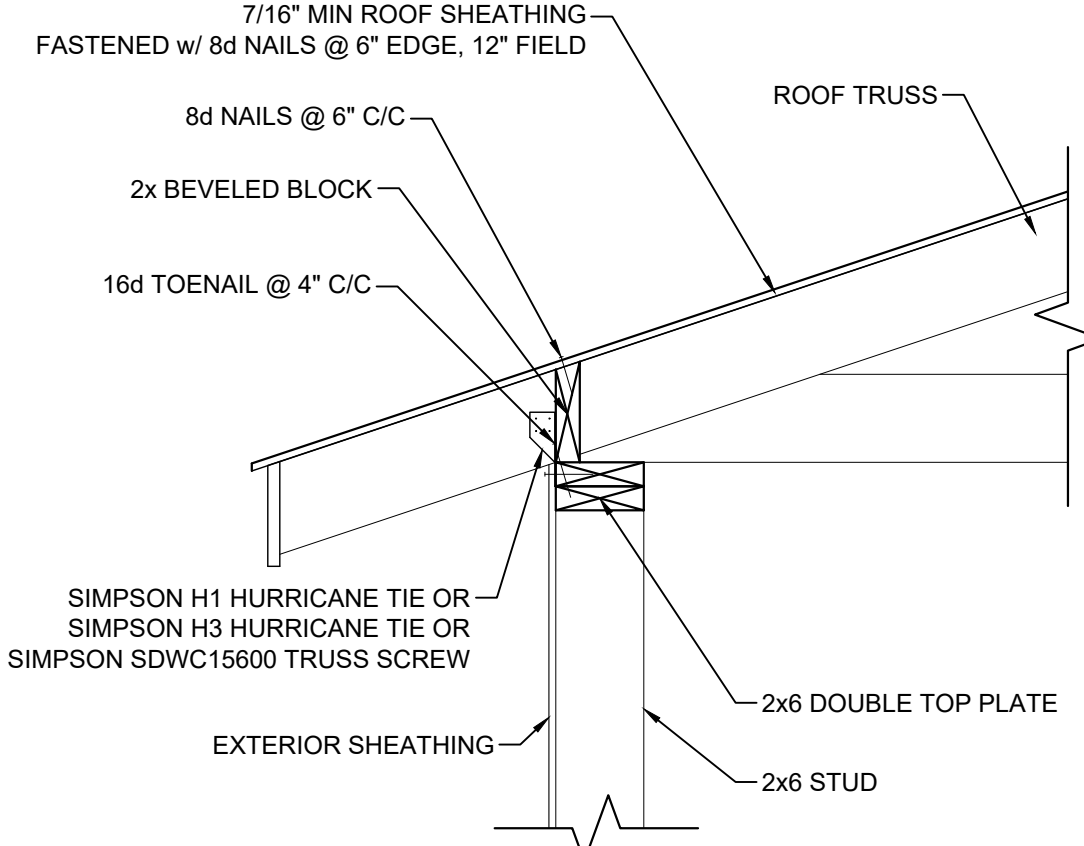
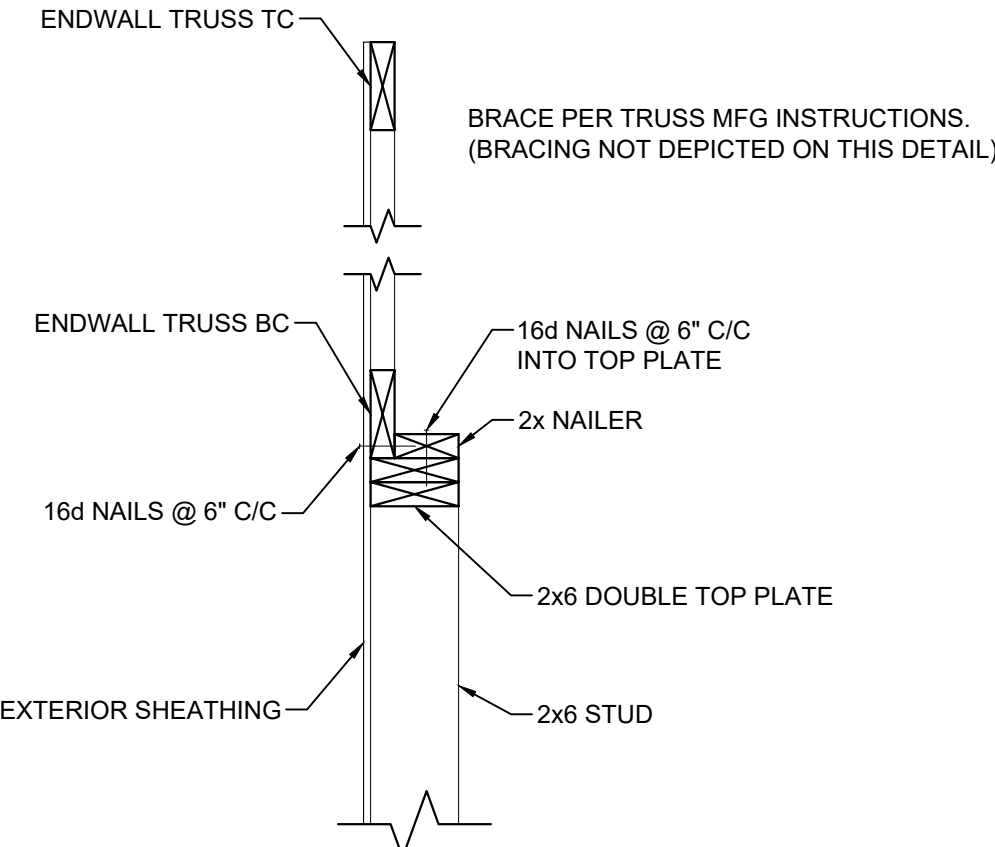
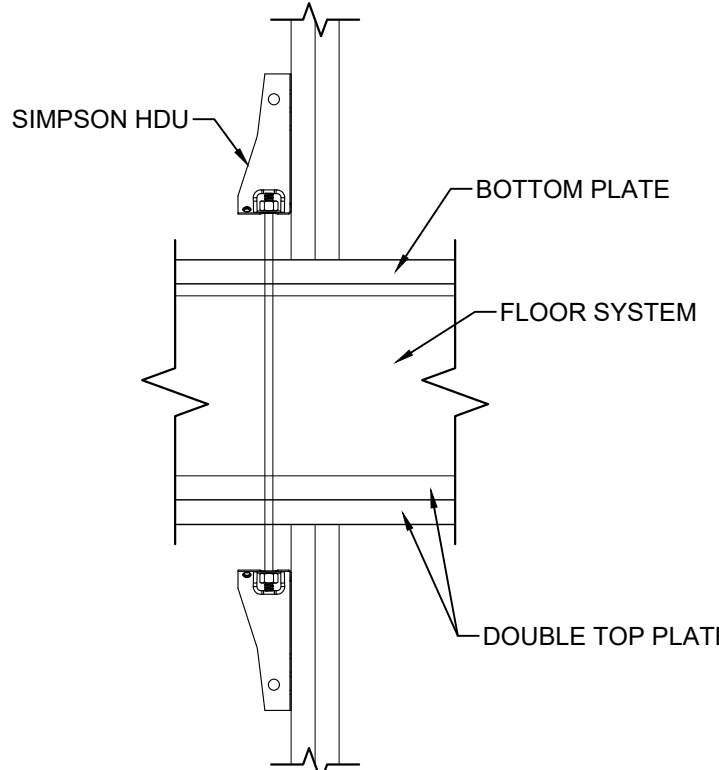
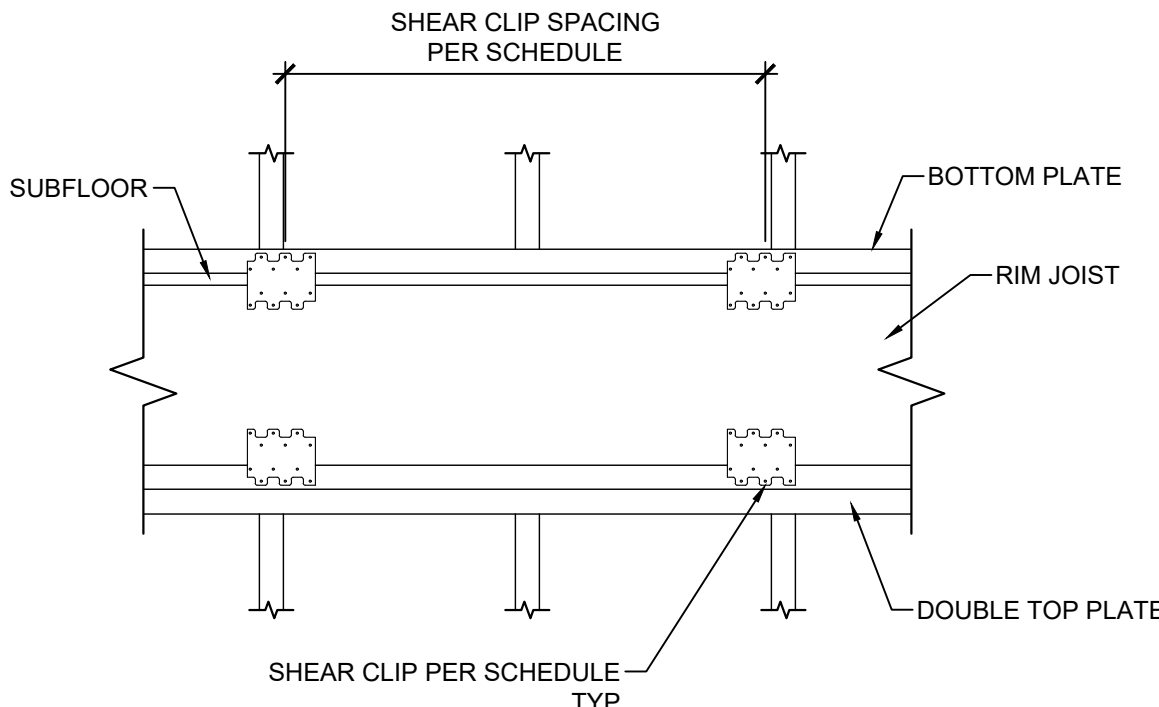
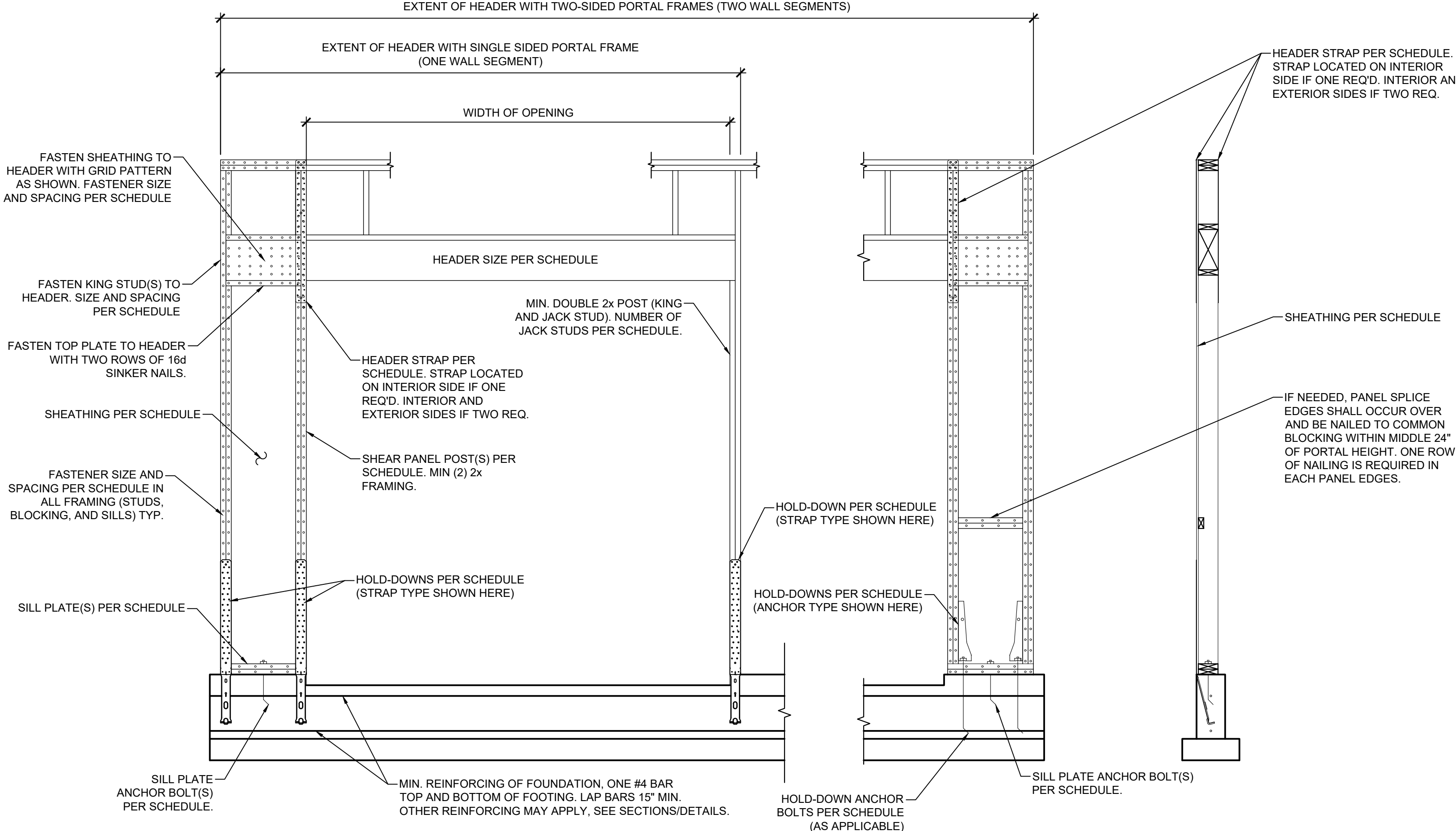
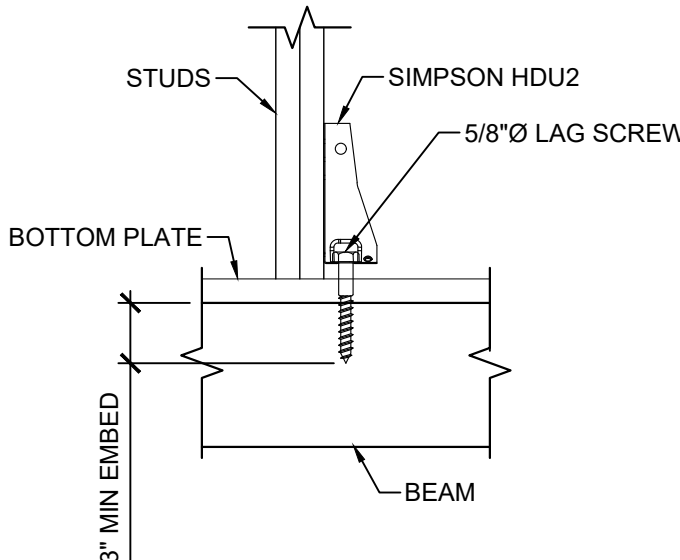
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08/29/2023


**SECTION NOTES:**

1. SEE GENERAL NOTES ON SHEET G1.1
2. JOIST ORIENTATION MAY VARY. REFER TO FLOOR FRAMING PLAN(S).

DRAFTER	A GONZALEZ	08/07/2023
DRAFT CHK	M ELLIOTT	08/07/2023
ENGINEER	J RESECK	08/07/2023
ENG CHK	K EMORY	08/07/2023
SHEET SIZE	22"x34"	REV #
		2

LU 23-090278 Exhibit A2

	8	7	6	5	4	3	2	1																						
E	 <p><b>1 TOP PLATE SPLICE DETAIL</b> SCALE: NTS</p>		 <p><b>2 EAVE BLOCKING DETAIL</b> SCALE: NTS</p>		 <p><b>3 GABLE END TRUSS CONNECTION DETAIL</b> SCALE: NTS</p>		 <p><b>4 FLOOR SPAN HOLD-DOWN DETAIL</b> SCALE: NTS</p>	<table><tr><td>05/04/2023</td><td>A GONZALEZ</td><td>05/04/2023</td><td>M ELLIOTT</td><td>05/04/2023</td><td>J RESECK</td><td>05/04/2023</td><td>K EMORY</td><td>22\"X34\"</td><td>REV #</td><td>1</td></tr><tr><td>DRAFTER</td><td>DRAFT CHK</td><td>ENGINEER</td><td>ENG CHK</td><td colspan="3" rowspan="5">SHEET SIZE</td><td colspan="4"></td></tr></table>	05/04/2023	A GONZALEZ	05/04/2023	M ELLIOTT	05/04/2023	J RESECK	05/04/2023	K EMORY	22\"X34\"	REV #	1	DRAFTER	DRAFT CHK	ENGINEER	ENG CHK	SHEET SIZE						
05/04/2023	A GONZALEZ	05/04/2023	M ELLIOTT	05/04/2023	J RESECK	05/04/2023	K EMORY	22\"X34\"	REV #	1																				
DRAFTER	DRAFT CHK	ENGINEER	ENG CHK	SHEET SIZE																										
D	 <p><b>5 SHEAR CLIP DETAIL</b> SCALE: NTS</p>		 <p><b>7 ENGINEERED WOOD PORTAL FRAME DETAIL</b> SCALE: NTS</p>							<p>DESIGNER:</p> <p><b>TRI-CITY ENGINEERS</b> 3801 W VAN GIESEN ST WEST RICHLAND, WA 99353 509-210-1010</p>	D																			
C										C																				
B	 <p><b>5 HOLD-DOWN TO BEAM CONNECTION DETAIL</b> SCALE: NTS</p>									B																				
A										A																				
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**DETAILS**















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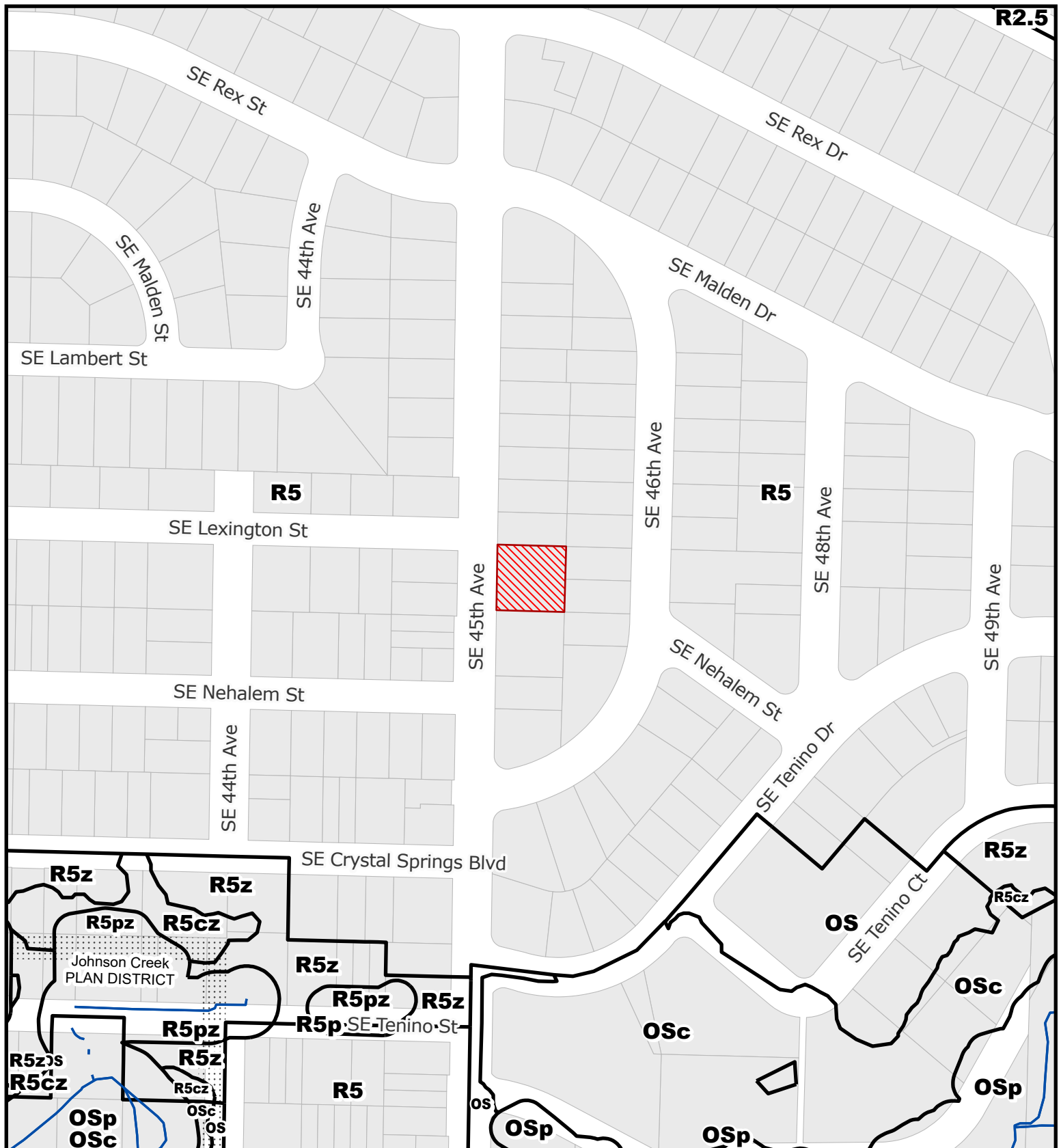
PROJECT: **1318**

SHEET: **S3.1**

SUBMITTED

05/19/2023

	8	7	6	5	4	3	2	1																																																																
E	<div><div>WOOD SHEAR WALL SCHEDULE<sup>1</sup></div><table><tr><th rowspan="2">MARK</th><th rowspan="2">SHEATHING</th><th colspan="2">FRAMING</th><th rowspan="2">BLOCKED PANEL EDGES</th><th rowspan="2">SHEATHING NO. OF SIDES</th><th colspan="3">SHEATHING FASTENERS</th><th colspan="2">SHEAR TRANSFER<sup>5</sup></th><th rowspan="2">SILL PLATE ANCHORS</th><th rowspan="2">TOP PLATE SPLICE<sup>4</sup></th><th rowspan="2">NOTES</th></tr><tr><th>STUD SIZE / SPACING</th><th>END STUDS</th><th>TYPE AND SIZE</th><th>EDGE SPACING</th><th>FIELD SPACING</th><th>PLATE NAIL<sup>2</sup></th><th>SHEAR CLIP / SPACING<sup>3</sup></th></tr><tr><td></td><td>7/16" SHEATHING, WOOD STRUCTURAL PANEL</td><td>2x6 @ 16" C/C</td><td>(2) 2x6</td><td>YES</td><td>ONE (EXTERIOR)</td><td>8d COMMON NAIL</td><td>6"</td><td>12"</td><td>16d BOX NAIL @ 7" (OR 6" O.C. TOE NAIL) OR 1/4" SDS @ 1'-6" O.C.</td><td>SIMPSON LTP4 @ 1'-6"</td><td>5/8"ø x 7" EMBED @ 3'-6"</td><td>(20) 16d COMMON NAIL</td><td></td></tr></table><div><div>SHEAR WALL SCHEDULE NOTES:</div><div><div>1. SEE PLANS AND HOLD-DOWN SCHEDULE FOR HOLD-DOWN REQUIREMENTS.</div><div>2. PLATE NAILING SHALL CONNECT BOTTOM PLATE TO BLOCKING AND BLOCKING TO SHEAR WALL PLATES BELOW. SDS SCREW SHALL BE 5" LONG FOR CONNECTING BOTTOM PLATE TO BLOCKING, AND 6" LONG FOR CONNECTING DOUBLE TOP PLATE BLOCKING.</div><div>3. SHEAR CLIP CAN BE USED TO TRANSFER SHEAR LIEU OF PLATE NAILING. INSTALL PER MANUFACTURER'S INSTRUCTIONS.</div><div>4. SEE DETAIL FOR TOP PLATE NAILING.</div><div>5. SHEAR TRANSFER MAY BE ACHIEVED BY EITHER OF THE PROVIDED METHODS.</div></div></div></div>								MARK	SHEATHING	FRAMING		BLOCKED PANEL EDGES	SHEATHING NO. OF SIDES	SHEATHING FASTENERS			SHEAR TRANSFER <sup>5</sup>		SILL PLATE ANCHORS	TOP PLATE SPLICE <sup>4</sup>	NOTES	STUD SIZE / SPACING	END STUDS	TYPE AND SIZE	EDGE SPACING	FIELD SPACING	PLATE NAIL <sup>2</sup>	SHEAR CLIP / SPACING <sup>3</sup>		7/16" SHEATHING, WOOD STRUCTURAL PANEL	2x6 @ 16" C/C	(2) 2x6	YES	ONE (EXTERIOR)	8d COMMON NAIL	6"	12"	16d BOX NAIL @ 7" (OR 6" O.C. TOE NAIL) OR 1/4" SDS @ 1'-6" O.C.	SIMPSON LTP4 @ 1'-6"	5/8"ø x 7" EMBED @ 3'-6"	(20) 16d COMMON NAIL		A GONZALEZ	M ELLIOTT	J RESECK	K EMORY	22"x34"	REV #	0	E																					
MARK	SHEATHING	FRAMING		BLOCKED PANEL EDGES	SHEATHING NO. OF SIDES	SHEATHING FASTENERS					SHEAR TRANSFER <sup>5</sup>				SILL PLATE ANCHORS	TOP PLATE SPLICE <sup>4</sup>	NOTES																																																							
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D	<div><div>WOOD PORTAL FRAME SCHEDULE<sup>14</sup></div><table><tr><th rowspan="2">MARK</th><th rowspan="2">HEADER MIN. DEPTH</th><th colspan="2">HEADER STRAP</th><th colspan="2">SHEATHING</th><th colspan="2">FASTENERS</th><th colspan="4">FRAMING</th><th rowspan="2">NOTES</th></tr><tr><th>TYPE</th><th>BOTH SIDES</th><th>TYPE</th><th>BOTH SIDES<sup>2</sup></th><th>TYPE</th><th>SPACING</th><th>STUD SIZE/SPACING</th><th>SHEAR PANEL POSTS</th><th>SILL PLATE THICKNESS</th><th>SILL PLATE ANCHOR BOLT<sup>3</sup></th></tr><tr><td></td><td>12"</td><td>SIMPSON MSTC40</td><td>NO</td><td>7/16" SHEATHING STRUCTURAL PANEL</td><td>NO</td><td>8d COMMON NAIL</td><td>3"</td><td>2x6 @ 16" C/C</td><td>(2) 2x6</td><td>(1) 2x</td><td>(2) 5/8"ø x 7" EMBED</td><td></td></tr></table><div><div>PORTAL FRAME SCHEDULE NOTES:</div><div><div>1. SEE PORTAL FRAME DETAIL.</div><div>2. WHEN SHEATHING IS REQUIRED ON BOTH SIDES OF EACH PORTAL FRAME SEGMENT (WHEN INDICATED AS "YES" IN SCHEDULE), ALL FASTENING REQUIREMENTS APPLY TO BOTH SIDES OF WALL. THIS INCLUDES FASTENING TO HEADER AND STUDS. VERIFY HEADER BREADTH IS ADEQUATE FOR PROPER FASTENING OF SHEATHING TO HEADER. SHEATHING SHALL BE IN DIRECT CONTACT WITH HEADER.</div><div>3. SILL PLATE ANCHOR BOLTS ARE SPECIFIED HERE AND DIFFER FROM HOLD-DOWN ANCHORS. SEE HOLD-DOWN SCHEDULE FOR HOLD-DOWN ANCHORS.</div><div>4. SEE PLANS AND HOLD-DOWN SCHEDULE FOR HOLD-DOWNS REQUIRED FOR PORTAL FRAME.</div></div></div><div><div>HOLD-DOWN SCHEDULE<sup>1,2</sup></div><table><tr><th>MARK<sup>4</sup></th><th>HOLD-DOWN</th><th>FASTENERS</th><th>HOLD-DOWN STUD MIN WOOD MEMBER THICKNESS</th><th>ANCHORS</th><th>THREADED ROD<sup>3</sup></th><th>NOTES</th></tr><tr><td></td><td>SIMPSON HDU2-SDS2.5</td><td>(6) 1/4"x2-1/2" SDS</td><td>(2) 2x</td><td>5/8" Ø SIMPSON SSTB24</td><td>5/8" Ø</td><td></td></tr><tr><td></td><td>SIMPSON STHD10</td><td>(24) 0.148x3-1/4"</td><td>(2) 2x</td><td>N/A</td><td>N/A</td><td></td></tr></table><div><div>HOLD-DOWN SCHEDULE NOTES:</div><div><div>1. ENSURE PROPER FOUNDATION DEPTH AND WALL THICKNESS FOR INSTALLATION OF HOLD-DOWNS AND ANCHOR BOLTS. REFER TO MANUFACTURER'S INSTRUCTIONS.</div><div>2. ADDITIONAL CONCRETE REINFORCEMENT MAY BE REQUIRED FOR INSTALLATION OF HOLD-DOWNS. REFER TO MANUFACTURER'S INSTRUCTIONS.</div><div>3. THREADED ROD MAY BE USED TO EXTEND ANCHOR BOLTS. DO NOT EMBED IN CONCRETE UNLESS NOTED OTHERWISE. THREADED ROD MAY BE SPECIFIED FOR HOLD-DOWNS BETWEEN FLOORS.</div><div>4. WHEN THE SAME MARK IS SPECIFIED IN THIS TABLE, EITHER HOLD-DOWN MAY BE USED.</div></div></div></div></div>								MARK	HEADER MIN. DEPTH	HEADER STRAP		SHEATHING		FASTENERS		FRAMING				NOTES	TYPE	BOTH SIDES	TYPE	BOTH SIDES <sup>2</sup>	TYPE	SPACING	STUD SIZE/SPACING	SHEAR PANEL POSTS	SILL PLATE THICKNESS	SILL PLATE ANCHOR BOLT <sup>3</sup>		12"	SIMPSON MSTC40	NO	7/16" SHEATHING STRUCTURAL PANEL	NO	8d COMMON NAIL	3"	2x6 @ 16" C/C	(2) 2x6	(1) 2x	(2) 5/8"ø x 7" EMBED		MARK <sup>4</sup>	HOLD-DOWN	FASTENERS	HOLD-DOWN STUD MIN WOOD MEMBER THICKNESS	ANCHORS	THREADED ROD <sup>3</sup>	NOTES		SIMPSON HDU2-SDS2.5	(6) 1/4"x2-1/2" SDS	(2) 2x	5/8" Ø SIMPSON SSTB24	5/8" Ø			SIMPSON STHD10	(24) 0.148x3-1/4"	(2) 2x	N/A	N/A		DESIGNER:	 <div>3801 W VAN GIESEN ST WEST RICHLAND, WA 99353 509-210-1010</div>					D
MARK	HEADER MIN. DEPTH	HEADER STRAP		SHEATHING		FASTENERS		FRAMING				NOTES																																																												
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	SIMPSON STHD10	(24) 0.148x3-1/4"	(2) 2x	N/A	N/A																																																																			
C									OWNER/PROJECT LOCATION:	KOVAL HOLDING LLC 7904 SE 45TH AVE PORTLAND, OR 97206					C																																																									
B									SHEET TITLE:	SCHEDULES					B																																																									
A	<div><div></div><div>1/11/2023, 2:21:17 pm Exp: 12/31/2023</div><div><div>COPYRIGHT NOTICE: USE OF THESE PLANS WITHOUT EXPLICIT PERMISSION OF TRI-CITY ENGINEERS AND PAYMENT IS A COPYRIGHT VIOLATION WHICH MAY SUBJECT THE USER TO LIABILITY UNDER BOTH STATE AND FEDERAL LAW. THE BUILDER/OWNER IS LICENSED A ONE-TIME USE OF THESE PLANS.</div></div></div>								PROJECT:	1318					A																																																									
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For Zoning Code in Effect Post October 1, 2022

# ZONING



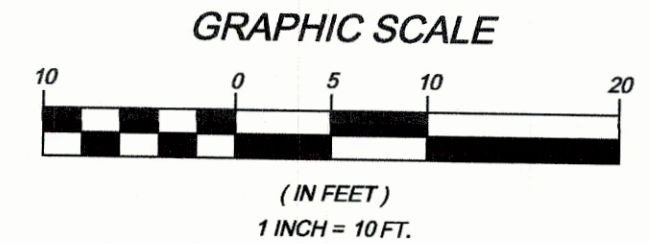
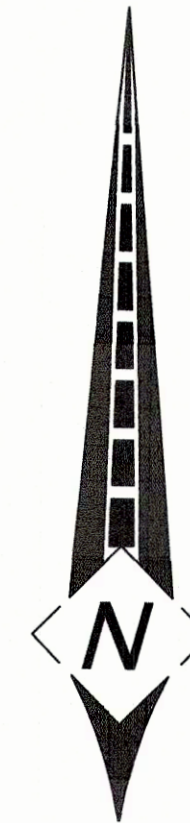
-  Site
-  Plan District
-  Stream

File No.	LU 23 - 090278 MLDS
1/4 Section	3835
Scale	1 inch = 200 feet
State ID	1S2E19CB 2000
Exhibit	B Oct 04, 2023

# FORTY-FIFTH COMMONS

A REPLAT OF LOTS 18 AND 19, BLOCK 22, "ERROL HEIGHTS"  
LOCATED IN THE  
S.W. 1/4 SECTION 19, T.1S., R.2E., W.M.  
CITY OF PORTLAND, MULTNOMAH COUNTY, OREGON  
JULY 13, 2023 SCALE 1"=10'  
PLANNING FILE NO.  
SHEET 1 OF 2

PLAT BOOK \_\_\_\_\_ PAGE \_\_\_\_\_



## LEGEND:

- △ SET 5/8" x 30" IRON ROD W/ RED PLASTIC CAP MARKED "CENTERLINE CONCEPTS" ON \_\_\_\_\_, 2023
- FOUND 5/8" IRON ROD W/ RED PLASTIC CAP MARKED "CENTERLINE CONCEPTS" FROM SN 68557
- ▲ FOUND 5/8" IRON ROD W/ YELLOW PLASTIC CAP MARKED "CENTERLINE CONCEPTS" FROM SN 68321
- ( ) = RECORD DISTANCES & BEARINGS
- IR = IRON ROD IP = IRON PIPE
- FD = FOUND W/ = WITH
- YPC = YELLOW PLASTIC CAP
- R/W = RIGHT OF WAY
- P/L = PROPERTY LINE
- S.F. = SQUARE FEET
- FBO = FOR THE BENEFIT OF
- PPAE = PRIVATE PEDESTRIAN ACCESS EASEMENT
- PSDE = PRIVATE STORM DRAINAGE EASEMENT
- PSSE = PRIVATE SANITARY SEWER EASEMENT
- PWLE = PRIVATE WATER LINE EASEMENT
- PUE = PUBLIC UTILITY EASEMENT
- DOC. NO. = DEED DOCUMENT NUMBER, MULTNOMAH COUNTY DEED RECORDS
- SN = SURVEY NUMBER, MULTNOMAH COUNTY SURVEY RECORDS
- S1 = SN 68557
- S2 = SN 68321

SIGNED ON: 17 JUL 23

REGISTERED  
PROFESSIONAL  
LAND SURVEYOR

OREGON  
JULY 13, 2004  
TOBY G. BOLDEN  
60377LS

RENEWALS: DECEMBER 31, 2023

I HEREBY CERTIFY THIS IS A TRUE AND EXACT  
COPY OF THE ORIGINAL SUBDIVISION PLAT

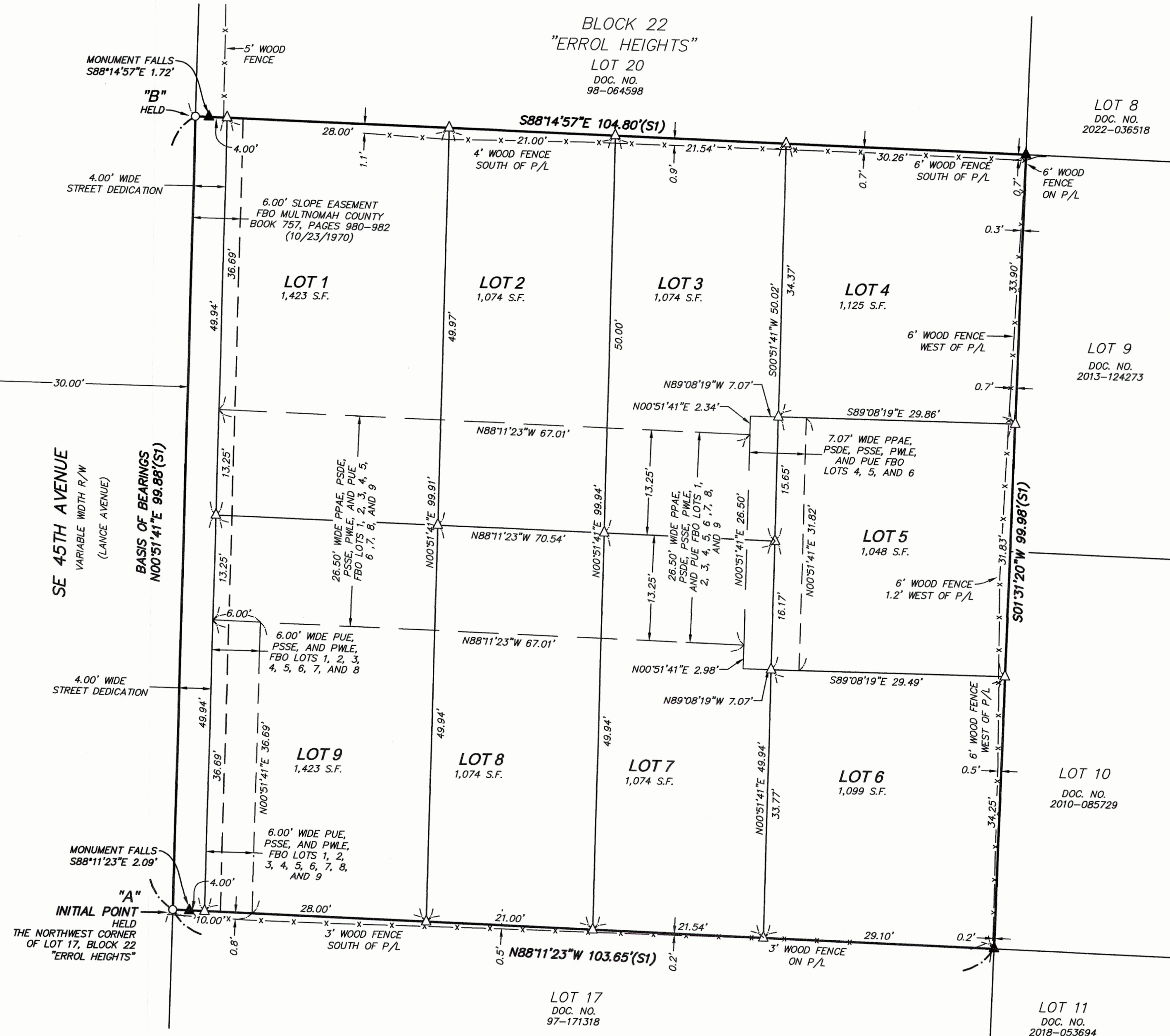


**CENTERLINE CONCEPTS**  
LAND SURVEYING, INC.

19376 MOLALLA AVE., SUITE 120  
OREGON CITY, OREGON 97045  
PHONE 503.650.0188 FAX 503.650.0189

PLOTTED: M:\PROJECTS\KOVAL HOLDINGS-45TH AVE-SE-7904\DWG\SUB-C3D.dwg

LU 23-090278  
Exhibit C1



# FORTY-FIFTH COMMONS

A REPLAT OF LOTS 18 AND 19, BLOCK 22, "ERROL HEIGHTS"  
LOCATED IN THE  
S.W. 1/4 SECTION 19, T.1S., R.2E., W.M.  
CITY OF PORTLAND, MULTNOMAH COUNTY, OREGON  
JULY 13, 2023 SCALE 1"=10'  
PLANNING FILE NO.  
SHEET 2 OF 2

## NARRATIVE:

THE PURPOSE OF THIS SURVEY IS TO REPLAT AND SUBDIVIDE LOTS 18 AND 19, BLOCK 22, "ERROL HEIGHTS", AS CONVEYED BY DEED RECORDED AS DOCUMENT NO. 2022-081017, MULTNOMAH COUNTY DEED RECORDS.

THE BASIS OF BEARINGS AND BOUNDARY DETERMINATION ARE PER SURVEY NO. 68557, MULTNOMAH COUNTY SURVEY RECORDS, I HELD NORTH 00°51'41" EAST BETWEEN FOUND MONUMENTS AT "A" AND "B" FOR BASIS OF BEARINGS, PER SAID SURVEY. I HELD ALL BEARINGS AND DISTANCES AND MONUMENTS SET PER SAID SURVEY.

## DECLARATION:

KNOW ALL PEOPLE BY THESE PRESENTS THAT KOVAL HOLDINGS LLC, AN OREGON LIMITED LIABILITY COMPANY, THE OWNER OF THE LAND REPRESENTED ON THE ANNEXED MAP, AND MORE PARTICULARLY DESCRIBED IN THE ACCOMPANYING SURVEYOR'S CERTIFICATE, DO HEREBY DECLARE THE ANNEXED MAP TO BE A CORRECT MAP OF THE SUBDIVISION OF SAID PROPERTY AND THAT WE HAVE CAUSED THIS SUBDIVISION PLAT TO BE PREPARED AND THE PROPERTY SUBDIVIDED AS SHOWN IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 92 OF OREGON REVISED STATUTES. THIS PLAT IS SUBJECT TO RESTRICTIONS AS NOTED HEREON.

FURTHERMORE, WE DO HEREBY GRANT THE EASEMENTS AS SHOWN OR NOTED ON SAID MAP.

\_\_\_\_\_  
ALEKSANDER KOVAL — MEMBER  
KOVAL HOLDINGS LLC,  
AN OREGON LIMITED LIABILITY COMPANY

## ACKNOWLEDGEMENT:

STATE OF \_\_\_\_\_ } SS  
COUNTY OF \_\_\_\_\_

KNOW ALL PEOPLE BY THESE PRESENTS, ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023, BEFORE ME A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, PERSONALLY APPEARED ALEKSANDER KOVAL, AS MEMBER OF KOVAL HOLDINGS LLC, AN OREGON LIMITED LIABILITY COMPANY, WHO BEING DULY SWORN, DID SAY THAT HE IS THE IDENTICAL PERSON NAMED IN THE FOREGOING INSTRUMENT, AND THAT HE EXECUTED SAID INSTRUMENT FREELY AND VOLUNTARILY.

\_\_\_\_\_  
NOTARY SIGNATURE

\_\_\_\_\_  
NOTARY PUBLIC — OREGON

COMMISSION NO.: \_\_\_\_\_

MY COMMISSION EXPIRES: \_\_\_\_\_

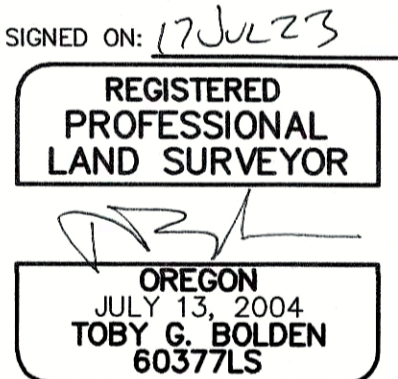
## SURVEYOR'S CERTIFICATE:

I, TOBY G. BOLDEN, HEREBY CERTIFY THAT I HAVE CORRECTLY SURVEYED AND MARKED WITH PROPER MONUMENTS, THE LAND REPRESENTED ON THE ATTACHED SUBDIVISION MAP, SAID LAND BEING DESCRIBED AS FOLLOWS:

A REPLAT OF LOTS 18 AND 19, BLOCK 22, "ERROL HEIGHTS", AS CONVEYED BY DEED DOCUMENT NO. 2022-081017 IN THE S.W. 1/4 OF SECTION 19, T.1S., R.2E., W.M., CITY OF PORTLAND, MULTNOMAH COUNTY, OREGON, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE INITIAL POINT BEING A FOUND 5/8" IRON ROD WITH RED PLASTIC CAP MARKED "CENTERLINE CONCEPTS", AT THE NORTHWEST CORNER OF LOT 17, OF SAID BLOCK 22, ALSO ON THE EAST RIGHT OF WAY LINE OF SOUTHEAST 45TH AVENUE, BEING 30.00 FEET EAST OF THE CENTERLINE THEREOF WHEN MEASURED AT RIGHT ANGLES; THENCE ALONG THE EAST RIGHT OF WAY LINE OF SOUTHEAST 45TH AVENUE, NORTH 00°51'41" EAST, 99.88 FEET TO A FOUND 5/8" IRON ROD WITH RED PLASTIC CAP MARKED "CENTERLINE CONCEPTS" AT THE SOUTHWEST CORNER OF LOT 20 OF SAID BLOCK 22; THENCE ALONG THE SOUTH LINE OF SAID LOT 20, SOUTH 88°14'57" EAST, 104.80 FEET TO A FOUND 5/8" IRON ROD WITH RED PLASTIC CAP MARKED "CENTERLINE CONCEPTS" AT THE NORTHWEST CORNER OF LOT 9 OF SAID BLOCK 22; THENCE ALONG THE WEST LINE OF SAID LOT 9, AND CONTINUING ALONG THE WEST LINE OF LOT 10, OF SAID BLOCK 22, SOUTH 01°31'20" WEST, 99.98 FEET TO A FOUND 5/8" IRON ROD WITH RED PLASTIC CAP MARKED "CENTERLINE CONCEPTS" AT THE NORTHEAST CORNER OF LOT 17 OF SAID BLOCK 22; THENCE ALONG THE NORTH LINE OF SAID LOT 17, NORTH 88°11'23" WEST, 103.65 FEET TO THE INITIAL POINT.

CONTAINING 10,414 SQUARE FEET.



RENEWS: DECEMBER 31, 2023

I HEREBY CERTIFY THIS IS A TRUE AND EXACT COPY OF THE ORIGINAL SUBDIVISION PLAT

## APPROVALS:

CITY OF PORTLAND LAND DIVISION CASE FILE LUR \_\_\_\_\_

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023

BY: \_\_\_\_\_  
CITY OF PORTLAND HEARINGS OFFICER

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023

BY: \_\_\_\_\_  
CITY OF PORTLAND CITY ENGINEER'S DELEGATE

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023

BY: \_\_\_\_\_  
COUNTY SURVEYOR, MULTNOMAH COUNTY, OREGON

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023

BY: \_\_\_\_\_  
CHAIR, BOARD OF COUNTY COMMISSIONERS  
MULTNOMAH COUNTY, OREGON

ALL TAXES, FEES, ASSESSMENTS OR OTHER CHARGES AS PROVIDED

BY O.R.S. 92.095 HAVE BEEN PAID AS OF \_\_\_\_\_, 2023  
DIRECTOR, DIVISION OF ASSESSMENT & TAXATION  
MULTNOMAH COUNTY, OREGON

BY: \_\_\_\_\_  
DEPUTY

STATE OF OREGON }  
COUNTY OF MULTNOMAH } SS

I DO HEREBY CERTIFY THAT THE ATTACHED SUBDIVISION PLAT WAS RECEIVED FOR RECORD AND RECORDED \_\_\_\_\_, 2023

AT \_\_\_\_\_ O'CLOCK \_\_\_\_ M., IN BOOK \_\_\_\_\_, PAGES \_\_\_\_\_

COUNTY RECORDING OFFICE

BY: \_\_\_\_\_  
DEPUTY

DOCUMENT NO. \_\_\_\_\_

## PLAT NOTES:

- THIS PLAT IS SUBJECT TO THE CONDITIONS IMPOSED BY THE CITY OF PORTLAND PLANNING DEPARTMENT IN CASE FILE NO. LUR \_\_\_\_\_
- THIS PLAT IS SUBJECT TO A MAINTENANCE AGREEMENT RECORDED AS DOCUMENT NO. \_\_\_\_\_, MULTNOMAH COUNTY DEED RECORDS.



**CENTERLINE CONCEPTS**  
LAND SURVEYING, INC.

19376 MOLALLA AVE., SUITE 120  
OREGON CITY, OREGON 97045  
PHONE 503.650.0188 FAX 503.650.0189

PLOTTED: M: \PROJECTS\KOVAL HOLDINGS-45TH AVE-SE-7904\DWG\SUB-C3D.dwg

LU 23-090278  
Exhibit C1

EXISTING CONDITIONS MAP

LOTS 18 & 19, BLOCK 22, "ERROL HEIGHTS"  
LOCATED IN THE  
S.W. 1/4 SECTION 19, T.1S., R.2E., W.M.  
CITY OF PORTLAND, MULTNOMAH COUNTY, OREGON  
DECEMBER 27, 2022 SCALE 1"=10'

SURVEY NOTES:

THE VERTICAL DATUM FOR THIS SURVEY IS BASED UPON CITY OF PORTLAND BENCHMARK NO. 2728, BEING A STANDARD DISK LOCATED AT THE INTERSECTION OF SE 45TH AVENUE AND SE LEXINGTON STREET, ELEVATION BEING 160.876', COP DATUM.  
A TRIMBLE S6-SERIES ROBOTIC INSTRUMENT WAS USED TO COMPLETE A CLOSED LOOP FIELD TRAVERSE.  
THE BASIS OF BEARINGS FOR THIS SURVEY IS PER MONUMENTS FOUND AND HELD PER THE PLAT OF "ERROL HEIGHTS", RECORDS OF MULTNOMAH COUNTY.  
THE PURPOSE OF THIS SURVEY IS TO RESOLVE AND DETERMINE THE PERIMETER BOUNDARY OF THE SUBJECT PROPERTY, TO SHOW ALL PERTINENT BOUNDARY ISSUES AND ENCROACHMENTS. NO PROPERTY CORNERS WERE SET IN THIS SURVEY.  
NO WARRANTIES ARE MADE AS TO MATTERS OF UNWRITTEN TITLE, SUCH AS ADVERSE POSSESSION, ESTOPPEL, ACQUISCEENCE, ETC.  
NO TITLE REPORT WAS SUPPLIED OR USED IN THE PREPARATION OF THIS MAP.

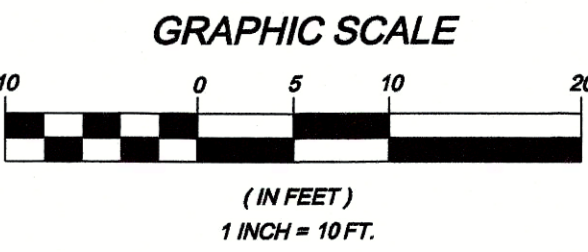
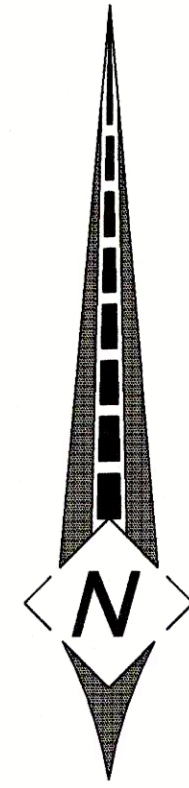
UTILITY NOTES:

THE UNDERGROUND UTILITIES AS SHOWN ON THIS MAP ARE SHOWN BASED ON A COMBINATION OF INFORMATION, INCLUDING VISIBLE ABOVE GROUND STRUCTURES, AVAILABLE AS BUILT AND GIS MAPPING FROM LOCAL JURISDICTIONS, AS WELL AS SURFACE MARKINGS BY ONE CALL TICKET NUMBER 22334927 DATED DECEMBER 3, 2022.  
THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED.  
THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.  
THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY SURVEYOR.  
INVERT ELEVATIONS AND PIPE SIZES SHOWN ARE APPROXIMATE ONLY, BASED ON FIELD OBSERVATIONS AS WELL AS AVAILABLE AS-BUILT DATA. ALL PIPE SIZES SHALL BE FIELD VERIFIED BY THE OWNER, ENGINEER, CONTRACTOR, AND GOVERNING AGENCY PRIOR TO ANY CONSTRUCTION ACTIVITY. SURVEYOR DOES NOT WARRANT THE ACCURACY OF ANY PIPE SIZES SHOWN ON THIS SURVEY.

LEGEND:

Some Symbols shown may not be used on map

- |  |                          |
|--|--------------------------|
| 12" DECIDUOUS TREE                                     | SSP TRAFFIC SIGNAL POLE  |
| 24" EVERGREEN TREE                                     | UTILITY POLE             |
| DEAD TREE  | LIGHT POLE               |
| STORM SEWER MANHOLE                                    | GUY WIRE                 |
| CATCH BASIN  | ELECTRIC BOX             |
| CURB INLET   | ELECTRIC METER           |
| AREA DRAIN   | TRANSFORMER              |
| DITCH INLET  | ELECTRIC RISER           |
| SANITARY SEWER CLEANOUT                                | HEAT PUMP                |
| SANITARY SEWER MANHOLE                                 | GATE POST                |
| FIRE HYDRANT   | CABLE TV BOX             |
| WATER MANHOLE  | CABLE TV RISER           |
| WATER METER  | OVERHEAD LINE            |
| WATER VALVE  | GAS LINE                 |
| HOSE BIB   | ELECTRICAL LINE          |
| IRRIGATION CONTROL VALVE                               | COMMUNICATIONS LINE      |
| GAS VALVE  | SANITARY SEWER LINE      |
| GAS METER  | STORM DRAIN LINE         |
| MAILBOX  | WATER LINE               |
| UTILITY RISER  | FENCE LINE               |
| UTILITY BOX  | HANDRAIL                 |
| TELEPHONE MANHOLE                                      | ARBORVITAE ROW           |
| TELEPHONE RISER  | FD = FOUND               |
| STORM OUTFALL  | IP = IRON PIPE           |
| SIGN   | IR = IRON ROD            |
| BOLLARD  | YPC = YELLOW PLASTIC CAP |
| FOUND MONUMENT   | ALC = ALUMINUM CAP       |
| DOWN SPOUT TO STORM SYSTEM                             | RPC = RED PLASTIC CAP    |
| DOWN SPOUT TO SPLASH GUARD OR GROUND W/ PIPE DIRECTION | = CONCRETE SURFACE       |
|  | = ASPHALT SURFACE        |



SIGNED ON: 2022  
REGISTERED  
PROFESSIONAL  
LAND SURVEYOR  
OREGON  
JULY 13, 2004  
TOBY G. BOLDEN  
60377LS  
RENEWS: DECEMBER 31, 2023

CENTERLINE CONCEPTS  
LAND SURVEYING, INC.  
19376 MOLALLA AVE., SUITE 120  
OREGON CITY, OREGON 97045  
PHONE 503.650.0188 FAX 503.650.0189

PLOTTED: M:\PROJECTS\KNOVAL HOLDING-45TH AVE-SE-7904\DWG\ECM-C3D.dwg

	A	B	C	D	E	F
1	ENDORSEMENT	INFO1	INFO2	NAME	ADDRESS/IO ADDRESS	CITYSTATEZIP/ADDRESSEE
2	RETURN SERVICE REQUESTED		1S2E19CB 1000	GRESSOT 2012 REV LIV TR	7855 SE 46TH AVE	PORTLAND OR 97206
3	RETURN SERVICE REQUESTED		1S2E19CB 1100	MOLIS MICHELLE R	7865 SE 46TH AVE	PORTLAND OR 97206
4	RETURN SERVICE REQUESTED		1S2E19CB 1200	FRENCH MINDY	7869 SE 46TH AVE	PORTLAND OR 97206
5	RETURN SERVICE REQUESTED		1S2E19CB 1300	SIEVERTSEN WILLIAM S & MONICA K	7875 SE 46TH AVE	PORTLAND OR 97206
6	RETURN SERVICE REQUESTED		1S2E19CB 1400	WEBER JOHN C & URASE TSURUE	7883 SE 46TH AVE	PORTLAND OR 97206-9104
7	RETURN SERVICE REQUESTED		1S2E19CB 1500	HRABAL JENNIFER	9690 NW NOTTAGE DR	PORTLAND OR 97229
8	RETURN SERVICE REQUESTED		1S2E19CB 1600	PIPELINE 46 LLC	7907 SE 46TH AVE	PORTLAND OR 97206-9106
9	RETURN SERVICE REQUESTED		1S2E19CB 16700	FRASER TORREY L M & FRASER JAMES A	4445 SE LEXINGTON ST	PORTLAND OR 97206
10	RETURN SERVICE REQUESTED		1S2E19CB 16800	SPRY HUGH W II & SPRY SUSAN L	4446 SE LEXINGTON ST	PORTLAND OR 97206
11	RETURN SERVICE REQUESTED	1S2E19CB 16900	MUSSARD CHASE WILKES	& MUSSARD MADISON LYNN	7915 SE 45TH AVE	PORTLAND OR 97206
12	RETURN SERVICE REQUESTED		1S2E19CB 17700	HICKMAN GREGORY S	7921 SE 45TH AVE	PORTLAND OR 97206
13	RETURN SERVICE REQUESTED		1S2E19CB 17801	ERIN STANG TR	7935 SE 45TH AVE	PORTLAND OR 97206
14	RETURN SERVICE REQUESTED		1S2E19CB 2000	KOVAL HOLDINGS LLC	13685 CLACKAMAS RIVER DR	OREGON CITY OR 97045-8482
15	RETURN SERVICE REQUESTED	1S2E19CB 17802	THE KIERSEY FAM TR	KIERSEY TOBIAS JOHN & MARCI HADDAD	4451 SE NEHALEM ST	PORTLAND OR 97206
16	RETURN SERVICE REQUESTED		1S2E19CB 1900	KERN CHRISTINE M	PO BOX 86821	PORTLAND OR 97286-0821
17	RETURN SERVICE REQUESTED		1S2E19CB 2100	HESSE DEAN C	7836 SE 45TH AVE	PORTLAND OR 97206-0924
18	RETURN SERVICE REQUESTED		1S2E19CB 2200	7834 SE 45TH LLC	6580 SE FURNBERG ST	MILWAUKIE OR 97222
19	RETURN SERVICE REQUESTED		1S2E19CB 2300	DOUGHTON ERIN & DOUGHTON STEVEN	7820 SE 45TH AVE	PORTLAND OR 97206-0924
20				CURRENT RESIDENT	7834 SE 45TH AVE	PORTLAND OR 97206
21				CURRENT RESIDENT	4451 SE NEHALEM ST	PORTLAND OR 97206
22				CURRENT RESIDENT	7891 SE 46TH AVE	PORTLAND OR 97206
23				CURRENT RESIDENT	7904 SE 45TH AVE	PORTLAND OR 97206
24				CURRENT RESIDENT	7932 SE 45TH AVE	PORTLAND OR 97206
25	RETURN SERVICE REQUESTED	OWNER	1S2E19CB 2000	KOVAL HOLDINGS LLC	2050 BEAVERCREEK RD #101-207	OREGON CITY OR 97045
26	RETURN SERVICE REQUESTED	SURVEYOR	CENTERLINE CONCEPTS INC	BOLDEN TOBY	19376 MOLALLA AVE STE 120	OREGON CITY OR 97045
27	RETURN SERVICE REQUESTED	OWNERS AGENT	KOVAL HOLDINGS LLC	KOVAL ALEX	PO BOX 302	MARYLHURST OR 97036
28	RETURN SERVICE REQUESTED	APPLICANT	DESIGN BY FASTER PERMITS	HORTON ZAC	2000 SW 1ST AVE STE 420	PORTLAND OR 97201
29	RETURN SERVICE REQUESTED		LAND USE CONTACT	SOUTHEAST UPLIFT	3534 SE MAIN ST	PORTLAND OR 97214
30	RETURN SERVICE REQUESTED		WOODSTOCK NA C/O SEUL	MOYLE THATCH & SZIGETHY LES	3534 SE MAIN ST	PORTLAND OR 97214
31	RETURN SERVICE REQUESTED		BRENTWOOD-DARLINGTON NA	BRENTWOOD-DARLINGTON COMM CENTER	7211 SE 62ND AVE	PORTLAND OR 97206
32	RETURN SERVICE REQUESTED		WOODSTOCK BUSINESS	LOVE CHRISTOPHER	4207 SE WOODSTOCK BLVD PMB 130	PORTLAND OR 97206
33	RETURN SERVICE REQUESTED		LAND USE (PORTLAND BOUNDARY + UNINCOR PLAN AMENDMENT SPECIALIST		635 CAPITAL ST NE #150	SALEM OR 97301
34	RETURN SERVICE REQUESTED		LAND USE (PORTLAND BOUNDARY + UNINCOR TRANSIT DEVELOPMENT		1800 SW FIRST AVE SUITE 300	PORTLAND OR 97201
35					PROSPER PORTLAND	129/PROSPER
36					DAWN KRANTZ	B299/R5000

**Date:** December 8, 2023  
**To:** Interested Person  
**From:** Sean Williams, Land Use Services  
503-865-6441/Sean.Williams@portlandoregon.gov

## **NOTICE OF A MIDDLE HOUSING LAND DIVISION PROPOSAL IN YOUR NEIGHBORHOOD**

Development has been proposed in your neighborhood. The proposed development requires a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map is attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

**We need to receive your written comments by 5 p.m. on December 22, 2023. Your comments must be e-mailed to the assigned planner listed above; please include the Case File Number, LU 23-090278 MLDS, in your e-mail. If you do not have access to e-mail, please telephone the planner listed above about submitting comments. Please note that all correspondence received will become part of the public record.**

### **CASE FILE NUMBER: LU 23-090278 MLDS**

**Applicant:** Zac Horton  
Design By Faster Permits  
2000 SW 1<sup>st</sup> Avenue, Suite 420  
Portland, OR 97201

**Owner:** Koval Holdings LLC  
2050 Beavercreek Road, #101-207  
Oregon City, OR 97045-4301

**Site Address:** 7904 SE 45<sup>th</sup> Avenue

**Legal Description:** BLOCK 22 LOT 18&19, ERROL HTS  
**Tax Account No.:** R255305440  
**State ID No.:** 1S2E19CB 02000  
**Quarter Section:** 3835  
**Neighborhood:** Brentwood-Darlington, contact at bdlanduse@gmail.com  
**Business District:** Woodstock Community Business Association, contact Christopher Love at woodstockcommunitybiz@gmail.com  
**District Coalition:** Southeast Uplift, contact at operations@seuplift.org  
**Plan District:** None  
**Zoning:** Residential 5,000 (R5)

**Case Type:** Middle Housing Land Division – Subdivision (MLDS)  
**Procedure:** Expedited Land Division, an administrative decision with appeal to the Hearings Officer.

**Proposal:**

The applicant has requested a Middle Housing Land Division to subdivide the subject site into 9 lots. A middle housing land division allows sites with certain existing or proposed housing types to be divided concurrently with development or after development is complete. The middle housing development type that is proposed to be divided is a cottage cluster and will result in each unit being located on its own lot. Building permits are currently under review for the proposed development (23-006700/02/06/09/14/16/18/36/38 RS). Private easements will be established for water and sanitary sewer service lines, a shared drywell, pedestrian access, and the shared common outdoor area.

For the purposes of development, the regulations of Title 33 apply to the lots collectively and not to each lot individually, and the residential structure type that is being divided remains the same (33.253.030). Additional Zoning Code regulations that apply to Middle Housing Land Divisions are located in 33.253, 33.644, and 33.671.

Review of Preliminary Plans for middle housing land divisions are processed through an Expedited Land Division (ELD) procedure (33.671.110 and ORS 197.365-380). A public notice is required for the land division portion of this proposal. The proposed housing is allowed by right.

**RELEVANT APPROVAL CRITERIA:**

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant criteria are found in Section **33.671.130, Middle Housing Land Divisions Approval Standards.**

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on October 4, 2023 and determined to be complete on November 29, 2023.

**DECISION MAKING PROCESS**

The Bureau of Development Services will make a decision on this proposal. After we consider your comments we will do one of the following:

- Approve the proposal;
- Approve the proposal with conditions; or
- Deny the proposal.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

ORS 197.370 states the City must issue a decision to approve or deny this application within 63-days of the application being deemed complete.

If you are interested in viewing information in this file, please contact the planner listed on the front of this notice. The planner can email you documents from the file. A fee would be required for all requests for paper copies of file documents. Additional information about the City of Portland, and city bureaus is available online at <https://www.portland.gov>. A digital copy of the Portland Zoning Code is available online at <https://www.portland.gov/code/33>**Error! Hyperlink reference not valid..**

**APPEAL PROCESS**

If you disagree with the Bureau of Development Services administrative decision, you can appeal the decision to the Hearings Officer. This review body will hold a public hearing for the

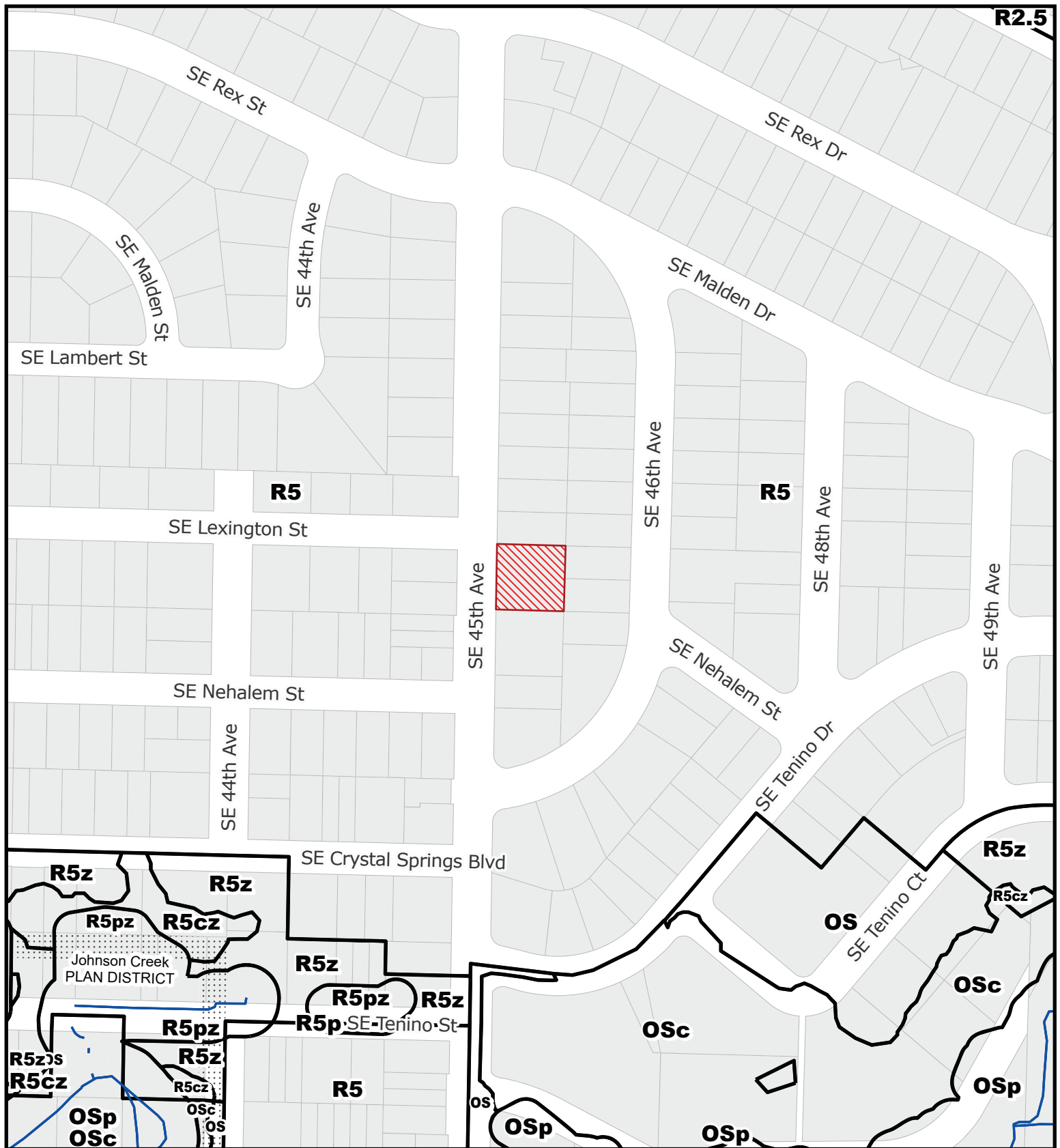
appeal. When the decision is mailed, the criteria used to make the decision and information on how to file an appeal will be included. Unless you are the applicant or owner, you must submit written comments in order to appeal the decision. There is a 14-day deadline to file an appeal beginning on the day the decision is mailed. The reason for the appeal must be specifically defined in order for the review body to respond to the appeal. If an appeal is filed, you will be notified of the time and location of the appeal hearing. There is a fee charged for appeals.

**The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).**

**Enclosures:**

Zoning Map

Site Plan



For Zoning Code in Effect Post October 1, 2022

# ZONING



- Site
- Plan District
- Stream

File No.	LU 23 - 090278 MLDS
1/4 Section	3835
Scale	1 inch = 200 feet
State ID	1S2E19CB 2000
Exhibit	B Oct 04, 2023

# **FORTY-FIFTH COMMONS**

A REPLAT OF LOTS 18 AND 19, BLOCK 22, "ERROL HEIGHTS"  
 LOCATED IN THE  
 S.W. 1/4 SECTION 19, T.1S, R.2E, W.M.  
 CITY OF PORTLAND, MULTNOMAH COUNTY, OREGON  
 JULY 13, 2023 SCALE 1"=10'  
 PLANNING FILE NO.  
 SHEET 1 OF 2

PLAT BOOK PAGE

GRAPHIC SCALE  
 (IN FEET)  
 1"=10'



## **LEGEND:**

- △ SET 5/8" x 30" IRON ROD W/ RED PLASTIC CAP  
 MARKED "CENTERLINE CONCEPTS"  
 ON 2023
- FOUND 5/8" IRON ROD W/ RED PLASTIC CAP  
 MARKED "CENTERLINE CONCEPTS"  
 FROM SN 68557
- ▲ FOUND 5/8" IRON ROD W/ YELLOW PLASTIC CAP  
 MARKED "CENTERLINE CONCEPTS"  
 FROM SN 68321
- ( ) = RECORD DISTANCES & BEARINGS  
 IR = IRON ROD  
 IP = IRON PIPE  
 YPC = YELLOW PLASTIC CAP  
 R/W = RIGHT OF WAY  
 P/L = PROPERTY LINE  
 S.F. = SQUARE FEET  
 PPAE = PRIVATE PEDESTRIAN ACCESS  
 EASEMENT  
 PSSE = PRIVATE STORM DRAINAGE EASEMENT  
 PWLE = PRIVATE WATER LINE EASEMENT  
 PUE = PUBLIC UTILITY EASEMENT  
 MULTNOMAH COUNTY DEED NUMBER  
 SN = SURVEY NUMBER, MULTNOMAH COUNTY  
 SURVEY RECORDS  
 S1 = SN 68557  
 S2 = SN 68321

SIGNED ON: 7/13/2023  
 REGISTERED  
 PROFESSIONAL  
 LAND SURVEYOR  
 JULY 13, 2004  
 TROY G. BOLDEN  
 6037715

RENEWED: DECEMBER 31, 2023  
 I HEREBY CERTIFY THIS IS A TRUE AND EXACT  
 COPY OF THE ORIGINAL SUBDIVISION PLAT

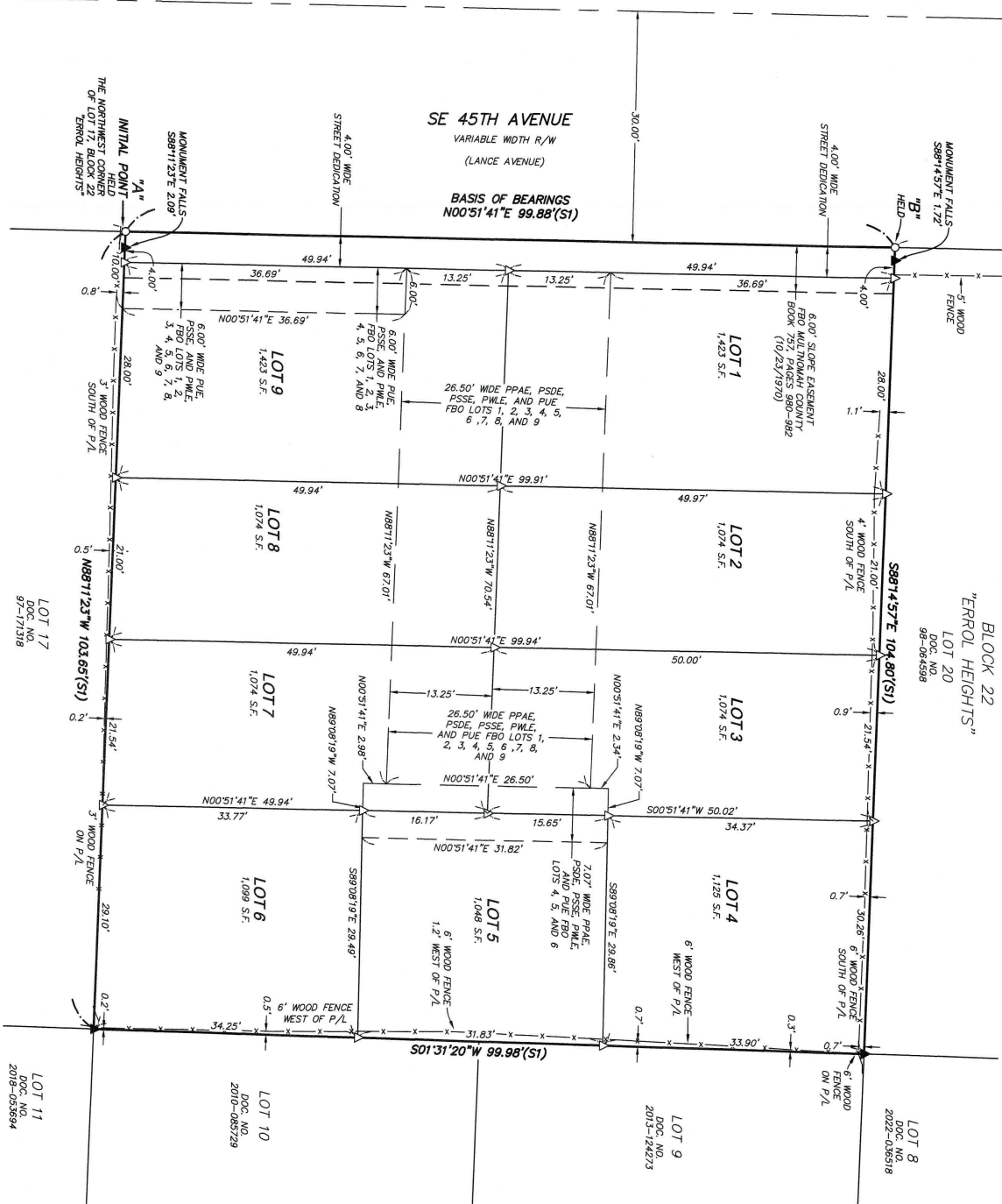


**CENTERLINE CONCEPTS**

LAND SURVEYING, INC.

19376 MOLALLA AVE., SUITE 120  
 OREGON CITY, OREGON 97045  
 PHONE 503.650.0188 FAX 503.650.0189

PLOTTED: M:\PROJECTS\KNOVA\45TH AVE-SE-7904\DWG\SUB-C3D.dwg



LOCATED IN THE

S.W. 1/4 SECTION 19, T.1S., R.2E., W.M.

CITY OF PORTLAND, MULTNOMAH COUNTY, OREGON

JULY 13, 2023 SCALE 1"=10

PLANNING FILE NO.

SHEET 2 OF 2

THE PURPOSE OF THIS SURVEY IS TO REPLAT AND  
SUBDIVIDE LOTS 18 AND 19, BLOCK 22, "ERROL  
HEIGHTS", AS CONVEYED BY DEED RECORDED AS  
DOCUMENT NO. 2022-081017, MULTNOMAH COUNTY  
DEED RECORDS.

THE BASIS OF BEARINGS AND BOUNDARY DETERMINATION ARE PER SURVEY NO. 68557, MULTNOMAH COUNTY SURVEY RECORDS, I HELD NORTH 00°51'41" EAST BETWEEN FOUND MONUMENTS AT "A" AND "B" FOR BASIS OF BEARINGS, PER SAID SURVEY. I HELD ALL BEARINGS AND DISTANCES AND MONUMENTS SET PER SAID SURVEY.

KNOW ALL PEOPLE BY THESE PRESENTS THAT KOHL HOLDINGS LLC, AN  
 REPRESENTED ON THE ANNEEDED MAP, THE OWNER OF THE LAND  
 ANNEEDED MAP TO BE THE SAME AS THE ANNEEDED MAP, SO HEREIN DECLARED,  
 PROPERTY AND THAT HE HAVE CAUSED THIS SUBDIVISION PLAT TO BE  
 PREPARED AND THE PROPERTY SUBDIVIDED AS SHOWN IN ACCORDANCE  
 WITH THE PROVISIONS OF CHAPTER 92 OF OREGON REVISED STATUTES. THIS  
 PLAT IS SUBJECT TO RESTRICTIONS AS NOTED HEREON.

FURTHERMORE, WE DO HEREBY GRANT THE EASEMENTS AS SHOWN OR  
 NOTED ON SAID MAP.

**ALEKSANDER KOVAL – MEMBER  
KOVAL HOLDINGS LLC,  
AN OREGON LIMITED LIABILITY COMPANY**

)SS  
)  
STATE OF  
COUNTY OF

KNOW ALL PEOPLE BY THESE PRESENTS, ON THIS DAY OF  
2023, BEFORE ME A NOTARY PUBLIC IN AND FOR SAID  
STATE AND COUNTY, PERSONALLY APPEARED ALEXANDER KOVAL, AS  
MEMBER OF KOVAL HOLDINGS LLC, AN OREGON LIMITED LIABILITY COMPANY,  
WHO BEING DULY SWORN, DID SAY THAT HE IS THE IDENTICAL PERSON  
NAMED IN THE FOREGOING INSTRUMENT, AND THAT HE EXECUTED SAID  
INSTRUMENT FREELY AND VOLUNTARILY.

NOTARY SIGNATURE

**NOTARY PUBLIC - OREGON**

COMMISSION NO.: \_\_\_\_\_

MY COMMISSION EXPIRES: \_\_\_\_\_

SIGNED ON: 17 JUL 23

**REGISTERED  
PROFESSIONAL  
-AND SURVEYOR**

OREGON  
JULY 13, 2004  
TOBY G. BOLDEN  
60377LS

RENEWALS: DECEMBER 31, 2023

CITY OF PORTLAND LAND DIVISION CASE FILE LUR \_\_\_\_\_

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023

BY: \_\_\_\_\_

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023

CITY OF PORTLAND CITY ENGINEER'S DELEGATE

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023

CHAIR, BOARD OF COUNTY COMMISSIONERS  
MULTNOMAH COUNTY, OREGON

ALL TAXES, FEES, ASSESSMENTS OR OTHER CHARGES AS PROVIDED  
BY O.R.S. 92.095 HAVE BEEN PAID AS OF \_\_\_\_\_, 2023.  
DIRECTOR, DIVISION OF ASSESSMENT & TAXATION  
MULTNOMAH COUNTY, OREGON

D1. \_\_\_\_\_  
DEPUTY

STATE OF OREGON )  
COUNTY OF MILLTOMAH ) SS

I DO HEREBY CERTIFY THAT THE ATTACHED SUBDIVISION PLAT WAS

AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_, IN BOOK \_\_\_\_\_, PAGES \_\_\_\_\_

BY: \_\_\_\_\_  
DEPUTY \_\_\_\_\_

DOCUMENT NO. \_\_\_\_\_

**CENTERLINE CONCEPTS**  
**LAND SURVEYING, INC.**



19376 MOLALLA AVE., SUITE 120  
OREGON CITY, OREGON 97045  
PHONE 503.650.0188 FAX 503.650.0189

Property & Project InformationCode Compliance Information

### Property Info

## Tree Calcs

## General Notes

Area = 1,856 S.F.

## Radon Control Methods

TABLE N1101.1(2) - ADDITIONAL MEASURES

Proposed lot lines and easements shown are reference only and are not approved as part of this building permit. If the site is divided in the future through Middle Housing Land Division, lot lines and easements will be established through that review.



# CITY OF PORTLAND ENVIRONMENTAL SERVICES



1120 SW Fifth Ave, Suite 613, Portland, Oregon 97204 ■ Mingus Mapps, Commissioner ■ Dawn Uchiyama, Director

## Land Use Response

**Date:** December 20, 2023

**To:** Sean Williams, BDS Land Use Services  
503-865-6441, Sean.Williams@portlandoregon.gov

**From:** Abigail Cermak, BES Systems Development  
503-823-7577, Abigail.Cermak@portlandoregon.gov

**Case File:** LU 23-090278

**Location:** 7904 SE 45TH AVE

**R#:** R158107, R158107, R158107, R158107, R158107, R158107, R158107, R158107, R158107, R158107

**Proposal:** The applicant has requested a Middle Housing Land Division to subdivide the subject site into 9 lots. Building permits are currently under review for the proposed development (23-006700/02/06/09/14/16/18/36/38 RS). For the purposes of development, the regulations of Title 33 apply to the lots collectively and not to each lot individually, and the residential structure type that is being divided remains the same (33.253.030). Additional Zoning Code regulations that apply to Middle Housing Land Divisions are located in 33.253, 33.644, and 33.671. Review of Preliminary Plans for middle housing land divisions are processed through an Expedited Land Division (ELD) procedure (33.671.110 and ORS 197.365-380). A public notice is required for the land division portion of this proposal.

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The following comments are based on the land use review plans and documents provided to the Bureau of Environmental Services (BES). Some references to Portland City Code (PCC) are included below; the applicant may also refer to the Auditor's Office [Online Charter and Code page](#).

### A. RESPONSE SUMMARY

With the conditions recommended in this memo, BES does not object to approval of the Middle Housing Land Division application.

### B. SANITARY SERVICE

*For the preliminary middle housing land division plan to be approved, the applicant must show that the proposal complies with approval criterion 33.671.130.C.2, Public Sanitary Sewer Service. The comments below are in response to this criterion.*

1. **Existing Sanitary Infrastructure:** According to available GIS data, the following sewer infrastructure is located in the vicinity of the project site:
  - a. There is a public 8-inch concrete (CSP) combined sewer in SE 45<sup>th</sup> Ave (BES as-built # 1606) which begins just within the frontage of the subject site at the southern property line and heads south in SE 45<sup>th</sup> Ave.
  - b. There is a second public 8-inch concrete (CSP) combined sewer in SE 45<sup>th</sup> Ave (BES as-built # 1851) which falls just outside the subject site's frontage, to the north of the site, and heads north in SE 45<sup>th</sup> Ave.
2. **Sanitary Sewer Service:** For the proposed middle housing land division to be approved, the applicant must demonstrate that sewer facilities meeting BES standards are or will be available to serve each dwelling unit.
  - a. **New Development:** As reviewed and approved under the associated building permit, the proposed new units will be served by an MHL shared sewer with a single connection within the frontage of Lot 9 and to the combined sewer in SE 45<sup>th</sup> Ave.

Ph: 503-823-7740 Fax: 503-823-6995 ■ [www.portlandoregon.gov/bes](http://www.portlandoregon.gov/bes) ■ Using recycled paper ■ An Equal Opportunity Employer

The City of Portland complies with all non-discrimination laws including Title VI (Civil Rights) and Title II (ADA).

To request a translation, accommodation or additional information, please call 503-823-7740, or use City TTY 503-823-6868, or Oregon Relay Service: 711.

LU 23-090278  
Exhibit E1

- b. Private Sanitary Sewer Easements: In order to provide sewer service as described above for the benefit of Lots 1 – 9, a private sewer easement(s) will be necessary over Lots. As shown on the submitted utility plan, the applicant proposes a sanitary sewer easement over Lots 1 – 9, which is acceptable to BES. Please coordinate with BDS to confirm that adequate easements are shown and can be accommodated within the development site. Refer to the [BDS Private Plumbing Line Easements Code Guide](#). Private easements must be granted on the plat. BES will review the easement(s) at final plat to ensure that sanitary service is available for the benefit of the proposed Lots and to ensure the easement location aligns with the utility information provided on the as-built survey.
3. **Connection Requirements**: Connections to the City sewer system must meet the standards of the City of Portland's [Sewer and Drainage Facilities Design Manual](#), [PCC 17.32.090](#), administrative rules [ENB-4.07](#) and [ENB-4.17](#), and all other relevant City codes and rules. Sanitary sewage from private property must be separately conveyed to the property line and connected through individual laterals for discharge to the City separate sanitary or combined sewer. Per [ENB-4.07](#), sewer connection permits are required to make new connections to City mains and laterals, relocate or upsize existing laterals, and repair sewers in City right-of-way. The permittee is responsible for verifying the location, depth and size of an existing sewer lateral and for ensuring the lateral is clear of obstructions prior to connection.

*With the recommended conditions of approval, staff finds the applicant's proposed sanitary sewer service acceptable for the purpose of reviewing the preliminary middle housing land division application against the sanitary sewer disposal approval criterion.*

#### **C. STORMWATER MANAGEMENT**

*For the preliminary land division plan to be approved, the applicant must show that the proposal complies with approval criterion 33.671.130.C.4, Stormwater Management. The comments below are in response to this criterion.*

1. **Existing Stormwater Infrastructure**: According to available GIS data, the following stormwater infrastructure is located in the vicinity of the project site:
  - a. Public 21-inch concrete (CSP) storm-only sewer in SE 45<sup>th</sup> Ave (BES as-built 21742).
2. **General Stormwater Management Requirements**: Development and redevelopment sites that include any of the triggers listed in PCC 17.38.040 are subject to the policies and standards of PCC 17.38.035, Portland's [Stormwater Management Manual](#) (SWMM) and [Source Control Manual](#) (SCM).
3. **Private Property Stormwater Management**: For the proposed middle housing land division to be approved, the applicant must demonstrate that stormwater management systems and stormwater disposal facilities meeting established service levels are, or will be, available to each dwelling unit.
  - a. **New Development**: As reviewed and approved under the associated building permit, stormwater runoff from the proposed new units will discharge to two shared drywells. This proposal meets BES requirements.
  - b. Private Stormwater Drainage/Sewer Easements: A private stormwater easement will be needed over the proposed shared stormwater system. Based on the submitted utility plan, the applicant proposes a storm drainage easement over Lots 1 – 9, which is acceptable to BES. Please coordinate with BDS plumbing (503-823-7388) to confirm that adequate easements are shown and can be accommodated within the development site. Refer to the [BDS Private Plumbing Line Easements Code Guide](#). Private easements must be granted on the plat. BES will review the easement(s) at final plat to ensure that a stormwater discharge system is available for the benefit of the proposed Lots and to ensure the easement location aligns with the utility information provided on the as-built survey.

4. *Public Right-of-Way Stormwater Management:* Stormwater runoff from public right-of-way improvements as required by the City of Portland Bureau of Transportation (PBOT) must be managed according to the standards of the SWMM and the Sewer and Drainage Facilities Design Manual.
  - a. The required public right-of-way improvements are being reviewed under Public Works Permit TF0157 (23-050014-WT). As of the date of this land use review, the PWP 30% Concept plans have been approved. It does not appear the scope of work triggers BES public stormwater drainage improvements.
5. *Clean River Rewards Program:* Clean River Rewards, Portland's stormwater discount program, offers discounts up to 100% of the City's onsite stormwater management charge to ratepayers who manage stormwater runoff on their property. Please note that this discount is not automatically applied; ratepayers must register their property and describe how stormwater is being managed to qualify. Be aware that some properties discharging to the Multnomah County Drainage Districts (within the Columbia Slough watershed) are not charged an onsite stormwater management fee by the City and are therefore ineligible to register for this program. See the [Clean River Rewards website](#) or call 503-823-1371 for more information.

*With the recommended conditions of approval, staff finds the applicant's proposed stormwater management plan acceptable for the purpose of reviewing the preliminary middle housing land division application against the stormwater management approval criterion.*

#### **D. CONDITIONS OF APPROVAL**

If the land use application is approved, BES recommends that the following conditions be included in the decision:

1. To ensure the availability of sewer service to the benefit of Lots 1 – 9, a private sanitary sewer easement shall be shown and labeled over the relevant portions of the Lots.
2. To ensure the availability of a stormwater discharge point to the benefit of Lots 1 – 9, a private storm sewer easement shall be shown and labeled over the relevant portions of the Lots.

#### **E. ADMINISTRATIVE REVIEW**

The applicant may request a modification of a decision presented in this response, as applicable, via an administrative review as outlined in PCC sections 17.06.050, 17.32.150, 17.33.100, 17.34.115, 17.36.110, 17.38.060 and 17.39.120 and in those sections' associated administrative rules. Some portions of this response are not decisions, but guidance related to requirements that this proposal may be subject to during City review of other processes, such as a building permit or public works permit review. While these are not decisions that are ripe to be considered through an administrative review, if the outcome of a future administrative review needs to be anticipated at this time in order to inform the land use action, the administrative review process may be utilized. Some items, such as technical standards, are not reviewable. For guidance on whether a modification can be requested and whether the land use process is the proper time to request it, consult with the BES staff identified above prior to submitting a request.

There is no fee charged for an administrative review, and all BES penalties and late fees will be stayed pending the outcome of the review process, as applicable. To request an administrative review, the applicant must complete the Administrative Review Request Form (located here: [www.portlandoregon.gov/bes/68285](http://www.portlandoregon.gov/bes/68285)) and submit it to the Systems Development staff listed above within 20 business days of the mailing date of this response. The applicant should coordinate with the BDS planner to determine whether applying for an administrative review would have an impact on state-mandated land use timelines.



PORTLAND BUREAU OF TRANSPORTATION

1900 SW Fourth Ave., Suite 5000 Portland, OR 97201 503-823-5185  
Fax 503-823-7576 TTY 503-823-6868 www.portlandoregon.gov/transportation

## RESPONSE TO THE BUREAU OF DEVELOPMENT SERVICES LAND USE REVIEW REQUEST

### Portland Transportation Development Review Bureau of Transportation Engineering & Development

LU: 23-090278-000-00 LU Date: December 8, 2023  
To: Sean Williams, Bureau of Development Services, B299/R5000  
From: Michael Pina, B106/800, 503-823-4249  
Applicant: Zac Horton, DESIGN BY FASTER PERMITS  
2000 SW 1ST AVE SUITE 420  
PORTLAND, OR 97201  
Location: 7904 SE 45TH AVE  
TYPE OF REQUEST: ELD - Expedited Land Division MLDS - Middle Housing Subdivision

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### DESCRIPTION OF PROJECT

The applicant has requested a Middle Housing Land Division to subdivide the subject site into 9 lots. A middle housing land division allows sites with certain existing or proposed housing types to be divided concurrently with development or after development is complete. The middle housing development type that is proposed to be divided is a cottage cluster and will result in each unit being located on its own lot. Building permits are currently under review for the proposed development (23-006700/02/06/09/14/16/18/36/38 RS). Private easements will be established for water and sanitary sewer service lines, a shared drywell, pedestrian access, and the shared common outdoor area. For the purposes of development, the regulations of Title 33 apply to the lots collectively and not to each lot individually, and the residential structure type that is being divided remains the same (33.253.030). Additional Zoning Code regulations that apply to Middle Housing Land Divisions are located in 33.253, 33.644, and 33.671. Review of Preliminary Plans for middle housing land divisions are processed through an Expedited Land Division (ELD) procedure (33.671.110 and ORS 197.365-380). A public notice is required for the land division portion of this proposal. The proposed housing is allowed by right.

### RESPONSE

Portland Transportation/Development Review has reviewed the application for its potential impacts regarding the public right-of-way, traffic impacts and conformance with adopted policies, street designations, Title 33, Title 17, and for potential impacts upon transportation services.

The subject request is a middle housing land division. Chapter 33.644 - Middle Housing Land Divisions applies. Per 33.644.030, none of the transportation related approval criteria of 33.641 - Transportation Impacts or 33.654 - Rights-of-Way apply. The applicable zoning code approval criteria are in 33.671 - Middle Housing Land Divisions. The only transportation related approval criterion is 33.671.130.C.5, which reads as follows:

*5. Right-of-way. For public streets, the Bureau of Transportation has preliminarily approved any proposed streets. For private streets, the Bureau of Development Services has preliminarily approved any proposed private streets.*

LU 23-090278  
Exhibit E2

There are no proposed streets associated with the subject land division. As such, the approval criterion does not apply to this request.

In addition to the zoning code 17.88.020 For Buildings and Planning Actions also applies. 17.88.020.A reads as follows:

*A. No single family, multiple dwelling, industrial or commercial building shall be constructed, or altered so as to increase its number of occupants or make significant alterations to a building without resulting in increased occupancy, on property that does not have direct access by frontage or recorded easement with not less than 10 feet width of right-of-way to a street used for vehicular traffic.*

The subject property has 100-ft of frontage along SE 45<sup>th</sup> Ave, a public right-of-way. Therefore, this standard is met.

---

## Street Classification & Code/Title 17 Requirements

1. **TSP Classifications:** At this location, the City's Transportation System Plan (TSP) classifies SE 45<sup>th</sup> Ave as *Neighborhood Collector, Major Transit Priority, City Bikeway, Major City Walkway, Secondary Emergency Response, and Community Corridor* for Design. Based on City GIS, this frontage is improved with an approximate 44-ft wide paved roadway within a 60-ft wide Right-of-Way (ROW) which has a curb only.

*NOTE: The applicant is advised the information contained herein is derived from City GIS and other databases typically used by city staff, as well as information from the applicant. It has not been confirmed via a survey. This evaluation is not implied to be more accurate than the sources that the information was obtained from. **The applicant is advised to obtain a current survey to document the location of the abutting rights-of-way and to confirm any anticipated dedication amount that is being required prior to designing a building.***

2. **ROW Improvement Requirements:** The following improvements are to be required at time of development of the parcel(s). There are currently eleven Residential permits under review: 23-005248, 006700, 066702, 006706, 006709, 006714, 006716, 006718, 006736, 006738, and 23-006743 SD.
  - **SE 45<sup>th</sup> Ave:** For an R5 zone lot, the City's *Pedestrian Design Guide* document (TRN 1.092) recommends a 12-ft wide pedestrian corridor consisting of a 0.5-ft wide curb, 4-ft wide vegetated Furnishing zone, 6-ft wide sidewalk, and 1.5-ft wide frontage zone. The existing frontage does not meet City standards do to curb only. **Therefore, dedicate approximately 4-ft and reconstruct the abutting frontage under a Public Works Permit.** The applicant has initiated Public Works Permit 23-050014 WT (TF0157) which has received 30 percent concept approval at time of the response.
3. **Site Access:** Title 17.28.110 provides PBOT the authority to review driveway access with regards to location, width, and operation and must meet requirements of Title 17.28.110 and TRN 10.40. If no on-site parking is proposed, close any existing curb cuts, reviewed through the MIP process.

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## RECOMMENDATION

Therefore, PBOT has no objection to the Expedited Land Division Middle Housing Subdivison request.



Mingus Mapps, Commissioner  
Gabriel Solmer, Administrator

1120 SW Fifth Avenue, Suite 405  
Portland, Oregon 97204-1926  
Information: 503-823-7404  
[portlandoregon.gov/water](http://portlandoregon.gov/water)



## Water Bureau

DATE: December 18, 2023

TO: Sean Williams  
Bureau of Development Services

FROM: Michael Puckett  
Development Review and Services

SUBJECT: Review of **23-090278 MLDS**

The Water Bureau has reviewed the proposed action and has the following comments:

Water can support the proposed land division.

Conditions of Approval: None

Please call me if you have any questions or comments. My phone number is 503-865-6374.



**PORTLAND  
FIRE & RESCUE**



Rene Gonzalez, Commissioner  
Ryan Gillespie, Fire Chief  
Kari Schimel, Fire Marshal  
Prevention Division  
1300 SE Gideon St.  
Portland, OR, 97202  
Phone: (503)823-3770

## **LAND USE REVIEW RESPONSE**

**TO:** Sean Williams, City of Portland, Land Use Review  
**FROM:** Dawn Krantz, Portland Fire Bureau 971-313-3675  
**DATE:** December 20, 2023  
**SUBJECT:** LU 23-090278 MLDS  
**SITE LOCATION :** 7904 SE 45TH AVE

The following conditions of approval and informational comments are based on the land use review information provided to the Fire Bureau. Fire Bureau requirements are generated from the 2021 Portland Fire Code. All current Fire Code requirements apply and are required to be met. If these conditions cannot be met, an appeal providing an alternative method is an option for the applicant. If the applicant chooses to appeal a requirement, the appeal must be listed as a condition in the decision. Fire Code Appeals can be obtained at the Fire Bureau web page, [www.portlandonline.com](http://www.portlandonline.com).

### **CONDITIONS OF APPROVAL AT TIME OF FINAL PLAT**

Please provide a Fire Bureau Access Easement (FBAE) to lots 2-8. This easement shall be a minimum of 3 feet in width. This easement shall be shown on the final plat. The easement will also require a Declaration of Maintenance Agreement for Private Access, Services and Utility Easements.



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Site Development**  
**FROM CONCEPT TO CONSTRUCTION**

Carmen Rubio, Commissioner  
David Kuhnhausen, Interim Director  
Phone: (503) 823-7300  
TTY: 711  
[www.portland.gov/bds](http://www.portland.gov/bds)

**Land Use Review Response**  
Site Development Section, BDS

To: Sean Williams, LUR Division  
From: Kevin Wells, Site Development (503-823-5618)

Location/Legal: BLOCK 22 LOT 18&19, ERROL HTS  
Land Use Review: LU 23-090278  
Proposal:

The applicant has requested a Middle Housing Land Division to subdivide the subject site into 9 lots. A middle housing land division allows sites with certain existing or proposed housing types to be divided concurrently with development or after development is complete. The middle housing development type that is proposed to be divided is a cottage cluster and will result in each unit being located on its own lot. Building permits are currently under review for the proposed development (23-006700/02/06/09/14/16/18/36/38 RS). Private easements will be established for water and sanitary sewer service lines, a shared drywell, pedestrian access, and the shared common outdoor area. For the purposes of development, the regulations of Title 33 apply to the lots collectively and not to each lot individually, and the residential structure type that is being divided remains the same (33.253.030). Additional Zoning Code regulations that apply to Middle Housing Land Divisions are located in 33.253, 33.644, and 33.671. Review of Preliminary Plans for middle housing land divisions are processed through an Expedited Land Division (ELD) procedure (33.671.110 and ORS 197.365-380). A public notice is required for the land division portion of this proposal. The proposed housing is allowed by right.

Quarter Sec. Map: 3835  
Date: December 19, 2023

The Bureau of Development Services (BDS) Site Development section provides the following comments based on the land use application and documents provided by the Applicant. References to Portland City Code (PCC) may be included below. City codes are available for on-line review from the City Auditor's [Online Charter and Code page](#).

**Response Summary**

Site Development does not object to the proposed development or land use.



# Urban Forestry

## Land Use Review Response

Date: December 19, 2023

From: Dan Gleason

503-823-1691, [Daniel.Gleason@portlandoregon.gov](mailto:Daniel.Gleason@portlandoregon.gov)

Case File: 23-090278-000-00-LU

Location: 7904 SE 45TH AVE

Proposal: The applicant has requested a Middle Housing Land Division to subdivide the subject site into 9 lots. A middle housing land division allows sites with certain existing or proposed housing types to be divided concurrently with development or after development is complete. The middle housing development type that is proposed to be divided is a cottage cluster and will result in each unit being located on its own lot. Building permits are currently under review for the proposed development (23-006700/02/06/09/14/16/18/36/38 RS). Private easements will be established for water and sanitary sewer service lines, a shared drywell, pedestrian access, and the shared common outdoor area.

For the purposes of development, the regulations of Title 33 apply to the lots collectively and not to each lot individually, and the residential structure type that is being divided remains the same (33.253.030). Additional Zoning Code regulations that apply to Middle Housing Land Divisions are located in 33.253, 33.644, and 33.671.

Review of Preliminary Plans for middle housing land divisions are processed through an Expedited Land Division (ELD) procedure (33.671.110 and ORS 197.365-380). A public notice is required for the land division portion of this proposal. The proposed housing is allowed by right.

Urban Forestry has reviewed the proposal for its impact on existing city trees, street trees and heritage trees, street tree planting requirements and related mitigation in accordance with Title 11, Trees and for potential impacts upon urban tree canopy. It is the applicant's responsibility to disclose all aspects of their land use proposal that may impact required street tree plantings and existing street trees during the land use review process.

**UNLESS EXPLICITLY STATED HEREIN, THIS REVIEW DOES NOT APPROVE STREET TREE REMOVALS AND DOES NOT PROVIDE ANY EXEMPTIONS TO TITLE 11 REQUIREMENTS.**

Permits required after land use approval are subject to all applicable development standards and all provisions of the City Code, including Title 11. Title 11 regulations will be applied during the permit review process.

**PLEASE NOTE THERE MAY BE OTHER APPLICABLE TREE REQUIREMENTS AS PER TITLE 33 PLANNING & ZONING.**

### **A. Response Summary**

Urban Forestry does not object to approval of the land use proposal. The proposed development will be subject to Title 11 regulations during the permit review process.

### **B. Recommendations**

Urban Forestry has no objection to the proposed project.





## City of Portland, Oregon - Bureau of Development Services

1900 SW Fourth Avenue • Portland, Oregon 97201 | 503-823-7300 | [www.portland.gov/bds](http://www.portland.gov/bds)



To: Sean Williams  
From: Tara Carlson, Life Safety Plans Examiner  
Date: October 16, 2023  
RE: 7904 SE 45TH AVE, 23-090278-LU

### LIFE SAFETY PLAN REVIEW RESPONSE

The following comments are based on the plans and documents provided to the Life Safety Plan reviewer. They are intended to provide the applicant with preliminary Building Code information that could affect the Land Use Review, Public Records request and/or future Building Permit reviews. The comments may not identify all conflicts between the Land Use proposal and the Building Codes. A complete Life Safety plan review will be provided at the time of Building Permit submittal at which time any additional Building Code issues will be noted. The comments are based on the Oregon Structural Specialty Code (OSSC), the International Existing Building Code (IEBC), the Oregon Mechanical Specialty Code (OMSC), or the Oregon Residential Specialty Code (ORSC).

### RESPONSE SUMMARY

- ☒ Life Safety Plan Review does not object to the approval of this proposal. No further information is required as part of this Land Use (LU) review. All listed information should be provided as part of the associated Final Plat (FP) review. If you have any questions, please call Tara Carlson at 503.865.6532 or email her at [Tara.Carlson@portlandoregon.gov](mailto:Tara.Carlson@portlandoregon.gov).

Item #	GENERAL LIFE SAFETY COMMENTS
1	<p>The proposal for cottage cluster one-family dwelling units does not require a Townhouse Maintenance agreement per City of Portland Title 24.10.070(K) because no townhouses are proposed. Any maintenance agreement requirements related to surface drainage, egress access or other shared elements must be incorporated into a separate type of maintenance agreement that will be provided and reviewed by the City Planner at the time of Final Plat.</p> <p>Life Safety plan review will verify minimum fire separation distance requirements are met in the Final Plat.</p> <p>If you have any questions, please call Tara Carlson at 503.865.6532 or email her at <a href="mailto:Tara.Carlson@portlandoregon.gov">Tara.Carlson@portlandoregon.gov</a>.</p>
2	<p><b>Access Easement to Public Right of Way – OSSC R310.1; OSSC R311.1</b></p> <p>Landlocked townhouses constructed on separate lots with property lines separating the units require access easements for the following conditions:</p> <ol style="list-style-type: none"><li>1. Access to and from the main entry door to the public right of way</li><li>2. Access to and from the required Emergency Escape and Rescue Openings to the public right of way.</li></ol> <p>The proposed layout includes structures that prohibit access to shared access for egress to the public right of way.</p> <p>A minimum 3'-0" unimpeded walking path is required from the entry door and the emergency escape and rescue openings to the public right of way.</p> <p>These access easement requirements must be included in the Townhouse Maintenance Agreement and addressed as part of the Final Plat (FP) review.</p>

**From:** [Christie KERN](#)  
**To:** [Williams, Sean](#)  
**Subject:** 7904 SE 45th LU 23-090278MLDS  
**Date:** Friday, December 22, 2023 9:46:27 AM

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Mr. Williams, and the Land Use Services, Land Division & Environment Team,

Please consider this my official statement of comment regarding the Proposal of Land division in my neighborhood.

I am and have been the owner / occupant of the home at 7932 SE 45<sup>th</sup> adjacent to the proposed subdivision on its south side for the past 25 years.

I agree with the objections of several of my neighbors that the addition of 8 houses at 7904 SE 45<sup>th</sup> will create additional parking stresses in an area where street parking has been reduced to one side of 45<sup>th</sup> Avenue.

There will be an additional increase in delivery truck traffic. Resulting in negatively impacting pedestrian and bicycle as well as personal vehicle traffic. This neighborhood has a large population

of Woodpeckers, Stellar Jays, Ravens, Hummingbirds and assorted Butterflies, various species of Bees, an assortment of song birds as well as the free roming band of Peacocks & their mates.

The idea of the 8 houses where one stood is short sighted. It will increase the City's property tax revenue, but at what cost?

This overcrowding of houses will decrease the amount of light, airflow and ground water absorption.

I believe that this overcrowded housing development is a threat to the quality of life in the Errol Heights neighborhood, the cities of Portland and Milwaukie as a whole as well as the

The neighborhood expected that this property would be subdivided into 4 properties as many lots previously have been.

This property had previously been owned and occupied by extended members of the same family for 100 years.

It is common for the homes in Errol Heights to be owner occupied for 25 to 50 years by the same owner.

Often the properties have then been purchased and or modified by family members of the previous owners.

This stability of the population, the amount of open air and the well-established trees and shrubs were what attracted me to this area.

These proposed 8 houses offer no incentive for the type of neighborhood stability we have had up to now.

I see this subdivision as stater residences for persons new to the Portland area with a continuous turnover of ownership.

This will indeed be profitable for realtors, but at a cost .

This subdivision will not contribute to the community or livability of Portland as a whole.

I thank you for your time regarding my concerns and those of everyone affected by this "proposed " change

Christie Kern

7932 SE 45Th Ave.

# Portland Or



Reply

Forward

**From:** [Susan Spry](#)  
**To:** [Williams, Sean](#)  
**Subject:** LU 23-090278 MLDS  
**Date:** Wednesday, December 13, 2023 12:37:33 PM

---

I see no off street parking on the design. There is very little on street parking available around here as it is now. Definitely not enough for 9+ more cars. Is this going to be addressed?  
May you always be overwhelmed by the Grace of God rather than the cares of life  
Sue Spry



# City of Portland, Oregon - Bureau of Development Services

1900 SW Fourth Avenue • Portland, Oregon 97201 | 503-823-7300 | www.portland.gov/bds



## Land Use Review Application

File Number: \_\_\_\_\_

### FOR INTAKE, STAFF USE ONLY

Date Rec \_\_\_\_\_ by \_\_\_\_\_

☐ Type I ☐ Type Ix ☐ Type II ☐ Type Iix ☐ Type III ☐ Type IV ☐ ELD

LU Reviews \_\_\_\_\_

[Y] [N] Unincorporated MC

[Y] [N] Flood Hazard Area (LD & PD only)

[Y] [N] Potential Landslide Hazard Area (LD & PD only)

[Y] [N] 100-year Flood Plain [Y] [N] DOGAMI

Qtr Sec Map(s) \_\_\_\_\_ Zoning \_\_\_\_\_

Plan District \_\_\_\_\_

Historic and/or Design District \_\_\_\_\_

Neighborhood \_\_\_\_\_

District Coalition \_\_\_\_\_

Business Assoc \_\_\_\_\_

Related File # \_\_\_\_\_

**APPLICANT: Complete all sections below that apply to the proposal. Please print legibly.**  
Email this application and supporting documents to: [LandUseIntake@portlandoregon.gov](mailto:LandUseIntake@portlandoregon.gov)

Development Site

Address or Location \_\_\_\_\_

Cross Street \_\_\_\_\_ Sq. ft./Acreage \_\_\_\_\_

Site tax account number(s)

R \_\_\_\_\_ R \_\_\_\_\_ R \_\_\_\_\_

R \_\_\_\_\_ R \_\_\_\_\_ R \_\_\_\_\_

Describe project (attach additional page if necessary)

Describe proposed stormwater disposal methods

Identify requested land use reviews

- **Design & Historic Reviews** - For **new development**, provide project valuation.

For **renovation**, provide exterior alteration value.

**AND** provide total project valuation.

\$ \_\_\_\_\_

\$ \_\_\_\_\_

\$ \_\_\_\_\_

- **Land Divisions** - Identify number of lots (include lots for existing development).

New street (public or private)?

☐ yes ☐ no

- **Affordable Housing** - For buildings containing five or more dwelling units, will 50% or more of the units be affordable to households with incomes equal to or less than 60% of the median family income for the county or state, whichever is greater?

☐ yes ☐ no ☐ N/A

**continued / over**

## Applicant Information

- Identify the primary contact person, applicant, property owner and contract purchaser. Include any person that has an interest in your property or anyone you want to be notified. Information provided, including telephone numbers and e-mail addresses, will be included in public notices.
- For all reviews, the applicant must sign the Responsibility Statement.
- For land divisions, all property owners must sign the application.

### PRIMARY CONTACT:

Typed Full Name \_\_\_\_\_ I acknowledge this typed name as my signature

Company/Organization \_\_\_\_\_

Mailing Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_

Day Phone \_\_\_\_\_ FAX \_\_\_\_\_ email \_\_\_\_\_

**Check all that apply** ☐ Applicant ☐ Owner ☐ Other

Typed Full Name \_\_\_\_\_ I acknowledge this typed name as my signature

Company/Organization \_\_\_\_\_

Mailing Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_

Day Phone \_\_\_\_\_ FAX \_\_\_\_\_ email \_\_\_\_\_

**Check all that apply** ☐ Applicant ☐ Owner ☐ Other

Typed Full Name \_\_\_\_\_ I acknowledge this typed name as my signature

Company/Organization \_\_\_\_\_

Mailing Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_

Day Phone \_\_\_\_\_ FAX \_\_\_\_\_ email \_\_\_\_\_

**Check all that apply** ☐ Applicant ☐ Owner ☐ Other

Typed Full Name \_\_\_\_\_ I acknowledge this typed name as my signature

Company/Organization \_\_\_\_\_

Mailing Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_

Day Phone \_\_\_\_\_ FAX \_\_\_\_\_ email \_\_\_\_\_

**Check all that apply** ☐ Applicant ☐ Owner ☐ Other

**Responsibility Statement** As the applicant submitting this application for a land use review, I am responsible for the accuracy of the information submitted. The information being submitted includes a description of the site conditions. I am also responsible for gaining the permission of the owner(s) of the property listed above in order to apply for this review and for reviewing the responsibility statement with them. If the proposal is approved, the decision and any conditions of the approval must be recorded in the County Deed Records for the property. The City of Portland is not liable if any of these actions are taken without the consent of the owner(s) of the property. In order to process this review, City staff may visit the site, photograph the property, or otherwise document the site as part of the review. I understand that the completeness of this application is determined by the Director. By my signature, I indicate my understanding and agreement to the Responsibility Statement.

Name of person submitting this application agrees to the above Responsibility Statement and acknowledges typed name as signature:

\_\_\_\_\_ Date: \_\_\_\_\_

Phone number: \_\_\_\_\_

Email this application and supporting documents to  
[LandUseIntake@portlandoregon.gov](mailto:LandUseIntake@portlandoregon.gov)

Submittal of locked or password protected documents will delay intake of your application. 2

# Expedited Land Division Acknowledgement

## What is an Expedited Land Division?

An Expedited Land Division (ELD) is an administrative process that provides an alternative procedure for some land division applications. The ELD procedure is detailed in [33.730.013](#).

There are two types of proposals that may use the ELD procedure if they meet specific requirements:

- **Middle Housing Land Division (MHLD).** Allows dividing specific middle housing types (duplex, triplex, fourplex and cottage clusters), subject to a limited set of approval standards. The zoning code specifies the ELD procedure be used for MHLD applications (see [33.671](#)).
- **Land division that meets the requirements of [ORS 197.360](#).** These land divisions are subject to the same Title 33 approval criteria as land divisions that go through the standard review process. The applicant may choose to use the ELD or the standard procedure. See additional information on page 2 of this form.

## Why am I receiving this form about an Expedited Land Division?

This form will help intake staff identify what type of land division review is being requested to ensure the application is assigned the correct procedure. In addition, state law requires that all land division applicants be notified of the expedited land division option. All land division applicants must sign this form to acknowledge they were notified about the process and indicate whether they intend to apply for an Expedited Land Division.

## Please answer the following questions and complete the Applicant Information below:

**1. Are you applying for an Expedited Land Division?   ☐Yes   ☐No**

If “No”, skip questions 2 & 3.

If “Yes”, please answer the next question.

**2. Are you applying for a Middle Housing Land Division?   ☐Yes   ☐No**

If “No”, answer question 3.

If “Yes”, proof that a building permit is under review is required for sites that do not contain existing or approved qualifying development. See submittal requirements in 33.671 and on the BDS webpage: <https://www.portland.gov/bds/zoning-land-use/land-use-review-fees-and-types/middle-housing-land-divisions>.

**3. Are you applying for an Expedited Land Division under ORS 197.360?   ☐Yes   ☐No**

If yes, your application must include a written description of how the proposal satisfies ORS 197.360 and documentation that the required Pre-application Conference and, if applicable, Neighborhood Contact requirements have been met per 33.730.013. The submittal requirements of 33.730.060.D also apply.

## APPLICANT INFORMATION

Applicant Name: \_\_\_\_\_ Telephone: \_\_\_\_\_

Applicant Mailing Address: \_\_\_\_\_

Site Address: \_\_\_\_\_

---

(Print Name)      I acknowledge this typed name as my signature      (Date)

**What qualifies for the Expedited Land Division process under ORS 197.360?**

ORS 197.360 lists the requirements to qualify for an expedited land division review, other than a middle housing land division. These requirements are summarized below. If you are considering this option, see the full text of [ORS 197.360](#).

The proposed land division (subdivision or partition):

- 1. Must be on residentially zoned land and must be solely for the purposes of residential use;
- 2. Must not create building lots that provide for dwellings or accessory buildings within areas that are designated for protection of natural features, such as, but not limited to, environmental overlay zones; the Willamette Greenway; river environmental overlay, historic and conservation districts, and landmarks; and scenic overlay;
- 3. Must satisfy all City street standards and connectivity requirements; and
- 4. Must either:
  - a. Create enough lots or parcels to allow building residential units at 80 percent or more of the maximum net density permitted by the zoning designation of the site; or
  - b. Will be sold or rented to households with incomes below 120 percent of the median family income for the county in which the project is built.

In addition, the Portland Zoning Code (Section 33.730.013) requires the applicant to complete and the following before an Expedited Land Division application is submitted to the City:

- 1. Neighborhood Contact Requirement for proposals of 4 or more lots ([33.705.020](#))
- 2. Pre-application Conference (33.730.050)

**What is the difference between the Expedited Land Division process and the regular land division process?**

An expedited land division is intended to streamline the review of land divisions under state law, which typically allows up to 120 days for final city approval. Most land division applications under the current Zoning Code procedures do not take the full 120 days to process, and often are processed and decided in much less time. In the event additional information or time is required, the applicant can request that the 120-day deadline be extended. An expedited land division application must be processed in 63 days or less, and this timeframe can only be extended by Council action. Additionally, the Land Use Board of Appeals (LUBA) does not have jurisdiction to review a final City decision on an Expedited Land Division. A comparison of the review steps is outlined below:

Process Step	Regular Land Division Process	Expedited Land Division Process
City review for complete application	21 days	21 days
Time applicant has to submit additional materials for complete application	180 days	180 days
Public notice period	30 days	14 days
Days from application deemed complete to issuance of City’s decision	120 days*	63 days**
Ability to extend the decision deadline to respond to bureau issues in order to obtain approval?	yes	no
Local appeal	Type Ix – no Type IIx – yes Type III – yes	yes
Deadline to file an appeal	14 days from issuance of decision	14 days from issuance of decision
Timeline for issuance of Local Appeal decision	must occur within the 120 day deadline noted above	additional 42 days from filing of appeal
<b>Total timeline without local appeals</b>	<b>120 days</b>	<b>63 days</b>
<b>Total timeline including local appeals (from complete application)</b>	<b>120 days**</b>	<b>119 days</b>

\*The city’s final decision must be issued within 120 days of a complete application. This includes the City’s initial decision, as well as any Decision on Appeal.  
\*\*120 day deadline can be extended by the applicant. The 63 day deadline can only be extended by the City Council during a regularly scheduled public meeting.

October 25, 2023

Zac Horton  
Design By Faster Permits  
2000 SW 1<sup>st</sup> Avenue, Suite 420  
Portland, OR 97201

**Re: Land Use Review LU 23-090278 MLDS**

Dear Zac Horton:

The Bureau of Development Services received your application for a Middle Housing Subdivision located at 7904 SE 45<sup>th</sup> Avenue on October 4, 2023. Your case has been assigned to me, Sean Williams. In order to continue to review your application, additional information is needed. Once you submit this information, your application will be considered complete, and I will proceed with a full review of your proposal. Up to this point, your application has been reviewed only to determine if all required information has been submitted. The application has not been fully reviewed to determine if it meets the relevant approval criteria, however some issues you may want to consider are identified in Section II below.

**I. Information Necessary to Complete Application**

The following information must be submitted before your proposal can be evaluated:

- 1. Proposed Land Division Maps (33.671.030.D):** A subdivision plat was submitted but does not include all required information. The proposed land division maps must include the following:

1. Surveyed information:

- Boundary lines of the site with dimensions and total site area;
- Proposed lot layout with sizes, dimensions, and lot and block numbers;
- Proposed layout and widths of all rights-of-way including dimensioning and roadway width;
- ***Dimensions of proposed right-of-way dedications, including those to be added to existing rights-of-way;***
- Proposed location, dimensions, and purpose of all easements;

The submitted plat map does not appear to take into account the right-of-way dedication necessary to accommodate required frontage improvements identified with the building permit(s). Please revise the plat map to reflect this and modify lot dimensions and easement areas as a result. Note, it does not appear that the public works plans (23-050014 WT) are far enough along to determine the right-of-way dedication amount. This review cannot move forward until the right-of-way dedication is resolved.

2. Additional information:

- Location, dimensions, and purpose of existing and proposed easements on and abutting the site;

- Proposed development;
- Existing and proposed services and utilities for each dwelling unit;

A building permit set was submitted with the application, but it is not the most recent version of plans. Please submit the most recent version of the plan set.

## II. Issues to Consider

While not necessary to determine the application complete, additional information may be needed to show that your proposal meets the applicable approval criteria. You are encouraged to address the following issues regarding the approvability of your proposal:

- **Expedited Land Division Timeline:** Because the Expedited Land Division procedure requires a decision to be made within 63 days with no provision for extensions, there is very little time for new information to be submitted for review after the application is deemed complete. Therefore, it is recommended that all approvability issues be resolved prior to requesting the application be deemed complete.
- **Life Safety Comments:** The proposal for cottage cluster one-family dwelling units does not require a Townhouse Maintenance agreement per City of Portland Title 24.10.070(K) because no townhouses are proposed. Any maintenance agreement requirements related to surface drainage, egress access or other shared elements must be incorporated into a separate type of maintenance agreement that will be provided and reviewed by the City Planner at the time of Final Plat.

Life Safety plan review will verify minimum fire separation distance requirements are met in the Final Plat.

If you have any questions, please call Tara Carlson at 503.865.6532 or email her at [Tara.Carlson@portlandoregon.gov](mailto:Tara.Carlson@portlandoregon.gov).

## III. Time to Complete Application

The Portland Zoning Code allows you up to 180 days to complete your application. Since the 180-day period began on the day we received the application, the deadline to make your application complete is **Monday April 1, 2024**.

## IV. Determination of a Complete Application

The application will be determined complete when you have submitted:

1. All of the requested information included in Section I, above. If you cannot provide all of the requested information at one time and intend to submit additional information, please include a written statement with each separate submittal indicating that you still intend to provide the additional missing information by the **Monday April 1, 2024** deadline, **or**
2. Some of the requested information included in Section I, above, and a written statement that no additional information will be provided; **or**
3. A written statement that none of the requested information included in Section I, above, will be provided.

Please be aware that not submitting the requested information may result in your application being denied. The information is needed to demonstrate the approval criteria are met. Once the application is deemed complete, review of your application can proceed using the information you have provided.

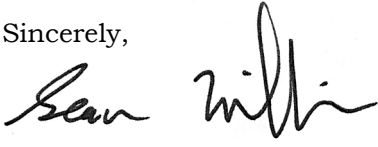
Your application will be approved if it meets the relevant land use review approval criteria. It is your responsibility to document how the approval criteria are met. The items listed above will help provide that documentation.

**Voiding of Application**

If your application is not complete by **Monday April 1, 2024**, it will be voided, and the application fee will not be refunded. The City's land use review procedures are outlined in Chapter 33.730 of the Portland Zoning Code.

Please contact me if you have any questions about this letter. My telephone number is **503-865-6441**, and my e-mail address is [Sean.Williams@portlandoregon.gov](mailto:Sean.Williams@portlandoregon.gov). Requested information noted above should be emailed to me. Please e-mail me for file dropbox instructions if document or drawing file sizes are greater than 5MB. Please label all correspondence and materials you submit with the case number LU 23-090278.

Sincerely,

A handwritten signature in black ink, appearing to read "Sean Williams", written in a cursive style.

Sean Williams, Planner  
Land Use Services Division



# CITY OF PORTLAND ENVIRONMENTAL SERVICES



1120 SW Fifth Ave, Suite 613, Portland, Oregon 97204 ■ Mingus Mapps, Commissioner ■ Dawn Uchiyama, Director

## Completeness Response

**Date:** October 16, 2023

**To:** Sean Williams, BDS Land Use Services  
503-865-6441, Sean.Williams@portlandoregon.gov

**From:** Abigail Cermak, BES Systems Development  
503-823-7577, Abigail.Cermak@portlandoregon.gov

**Case File:** LU 23-090278

**Location:** 7904 SE 45TH AVE

**Proposal:** Construct cottage cluster and divide property into 9 parcels (1 unit per lot).

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BES provides the following comments in response to materials received for the purpose of determining completeness of the above-referenced Land Use application. Items requested in this memo should not be considered final, as staff reserves the right to request additional materials during the formal review period.

1. The applicant has submitted the minimum level of information for BES to recommend the application be deemed complete. During the formal land use review period, as staff begins reviewing the application against relevant approval criteria and BES code requirements, additional information may be requested.



## City of Portland, Oregon - Bureau of Development Services

1900 SW Fourth Avenue • Portland, Oregon 97201 | 503-823-7300 | [www.portland.gov/bds](http://www.portland.gov/bds)



To: Sean Williams  
From: Tara Carlson, Life Safety Plans Examiner  
Date: October 16, 2023  
RE: 7904 SE 45TH AVE, 23-090278-LU

### LIFE SAFETY PLAN REVIEW RESPONSE

The following comments are based on the plans and documents provided to the Life Safety Plan reviewer. They are intended to provide the applicant with preliminary Building Code information that could affect the Land Use Review, Public Records request and/or future Building Permit reviews. The comments may not identify all conflicts between the Land Use proposal and the Building Codes. A complete Life Safety plan review will be provided at the time of Building Permit submittal at which time any additional Building Code issues will be noted. The comments are based on the Oregon Structural Specialty Code (OSSC), the International Existing Building Code (IEBC), the Oregon Mechanical Specialty Code (OMSC), or the Oregon Residential Specialty Code (ORSC).

### RESPONSE SUMMARY

- ☒ Life Safety Plan Review does not object to the approval of this proposal. No further information is required as part of this Land Use (LU) review. All listed information should be provided as part of the associated Final Plat (FP) review. If you have any questions, please call Tara Carlson at 503.865.6532 or email her at [Tara.Carlson@portlandoregon.gov](mailto:Tara.Carlson@portlandoregon.gov).

Item #	GENERAL LIFE SAFETY COMMENTS
1	<p>The proposal for cottage cluster one-family dwelling units does not require a Townhouse Maintenance agreement per City of Portland Title 24.10.070(K) because no townhouses are proposed. Any maintenance agreement requirements related to surface drainage, egress access or other shared elements must be incorporated into a separate type of maintenance agreement that will be provided and reviewed by the City Planner at the time of Final Plat.</p> <p>Life Safety plan review will verify minimum fire separation distance requirements are met in the Final Plat.</p> <p>If you have any questions, please call Tara Carlson at 503.865.6532 or email her at <a href="mailto:Tara.Carlson@portlandoregon.gov">Tara.Carlson@portlandoregon.gov</a>.</p>



1900 SW Fourth Ave., Suite 5000 Portland, OR 97201 503-823-5185  
Fax 503-823-7576 TTY 503-823-6868 www.portlandoregon.gov/transportation

Mingus Mapps Commissioner Millicent Williams Director

## RESPONSE TO THE BUREAU OF DEVELOPMENT SERVICES LAND USE REVIEW REQUEST

### Portland Transportation Development Review Bureau of Transportation Engineering & Development

LU: 23-090278-000-00 LU Date: October 12, 2023  
To: Sean Williams, Bureau of Development Services, B299/R5000  
From: Michael Pina, B106/800, 503-823-4249  
Applicant: Zac Horton, DESIGN BY FASTER PERMITS  
2000 SW 1ST AVE SUITE 420  
PORTLAND, OR 97201  
Location: 7904 SE 45TH AVE  
TYPE OF REQUEST: ELD - Expedited Land Division MLDS - Middle Housing Subdivision

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### DESCRIPTION OF PROJECT

Construct cottage cluster and divide property into 9 parcels (1 unit per lot).

### RESPONSE

As part of the City's review of the proposed partition, Portland Transportation/Development Review (PBOT) will evaluate the proposal subject to the approval criteria in Chapters 33.641 and 33.266. PBOT has reviewed the application for completeness and offers the following comments:

#### Services Approval Criterion, 33.671.130.C:

1. The applicant submitted sufficient findings for review purposes.

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### Street Classification & Code/Title 17 Requirements

1. **TSP Classifications:** At this location, the City's Transportation System Plan (TSP) classifies SE 45<sup>th</sup> Ave as *Neighborhood Collector, Major Transit Priority, City Bikeway, Major City Walkway, Secondary Emergency Response, and Community Corridor* for Design. Based on City GIS, this frontage is improved with an approximate 44-ft wide paved roadway within a 60-ft wide Right-of-Way (ROW) which has a curb only.

*NOTE: The applicant is advised the information contained herein is derived from City GIS and other databases typically used by city staff, as well as information from the applicant. It has not been confirmed via a survey. This evaluation is not implied to be more accurate than the sources that the information was obtained from. **The applicant is advised to obtain a current survey to document the location of the abutting rights-of-way and to confirm any anticipated dedication amount that is being required prior to designing a building.***

2. **ROW Improvement Requirements:** The following improvements are to be required at time of development of the parcel(s). There are currently eleven Residential permits under review: 23-005248, 006700, 066702, 006706, 006709, 006714, 006716, 006718, 006736, 006738, and 23-006743 SD.
- SE 45<sup>th</sup> Ave: For an R5 zone lot, the City's *Pedestrian Design Guide* document (TRN 1.092) recommends an 12-ft wide pedestrian corridor consisting of a 0.5-ft wide curb, 4-ft wide vegetated Furnishing zone, 6-ft wide sidewalk, and 1.5-ft wide frontage zone. The existing frontage does not meet City standards do to curb only. **Therefore, dedicate approximately 4-ft and reconstruct the abutting frontage under a Public Works Permit.** The applicant has initiated Public Works Permit 23-050014 WT (TF0157) which has received 30 percent concept approval at time of the response.
3. **Site Access:** Title 17.28.110 provides PBOT the authority to review driveway access with regards to location, width, and operation and must meet requirements of Title 17.28.110 and TRN 10.40. If no on-site parking is proposed, close any existing curb cuts, reviewed through the MIP process.

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**Therefore, PBOT recommends the application be deemed complete for review purposes.**

## Review For Completeness Response

To: Sean Williams, 503-865-6441, LUR Division  
From: Kevin Wells, Site Development 503-823-5618

Location/Legal: 7904 SE 45TH AVE/BLOCK 22 LOT 18&19, ERROL HTS  
Land Use Review: LU 23-090278  
Proposal: Construct cottage cluster and divide property into 9 parcels (1 unit per lot).  
Quarter Sec. Map: 3835  
Date: October 19, 2023

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The Bureau of Development Services (BDS) Site Development section provides the following comments based on the land use application and documents provided by the Applicant. References to Portland City Code (PCC) may be included below. City codes are available for on-line review from the City Auditor's [Online Charter and Code page](#).

### Response Summary

Site Development determines that the land use materials are suitable for review of the proposed land division. Site Development does not object to the proposed development or land use.



# Urban Forestry

## Land Use Completeness Response

Date: October 16, 2023  
From:

Case File: 23-090278-000-00-LU  
Location: 7904 SE 45TH AVE  
Proposal: Construct cottage cluster and divide property into 9 parcels (1 unit per lot).

Urban Forestry provides the following comments in response to materials received for the purpose of determining completeness of the above-referenced Land Use application. Items requested in this memo should not be considered final, as staff reserves the right to request additional materials during the formal review period.

- A. The applicant has submitted the minimum level of information for Urban Forestry to begin conducting a full review of the land use application. As staff begins reviewing the application against relevant approval criteria and Urban Forestry code requirements, additional information may be requested.

