



City of Portland, Oregon
Bureau of Development Services
Land Use Services

FROM CONCEPT TO CONSTRUCTION

Dan Saltzman, Commissioner
Paul L. Scarlett, Director
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www.portlandoregon.gov/bds

Date: December 19, 2016
To: Interested Person
From: Meriam Rahali, Land Use Services
503-823-5363 / Meriam.Rahali@portlandoregon.gov

NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 16-249941 DZ – FAÇADES ALTERATIONS TO THE ORTON BUILDING

GENERAL INFORMATION

Applicant: Andy Borgerding | Fosler Portland Architecture LLC | 503.241.9339
1930 NW Lovejoy Street | Portland, OR 97209

Representative: Seth W. Henderson | UAA Yamhill LLC
1306 NW NW Hoyt Street #400 | Portland, OR 97209

Owner: UAA Yamhill LLC |
422 NW 13th Ave Pmb808 | Portland, OR 97209

Site Address: **1135-1137 SW Yamhill Street**

Legal Description: BLOCK 258 W 1/2 OF LOT 5, PORTLAND
Tax Account No.: R667728620
State ID No.: 1N1E33DD 05900
Quarter Section: 3028
Neighborhood: Portland Downtown, contact Rani Boyle at 503-725-9979.
Business District: None
District Coalition: Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.
Plan District: Central City - Downtown
Other Designations: West End Subarea
Zoning: RXd, Central Residential with design overlay
Case Type: DZ, Resign Review
Procedure: Type II, an administrative decision with appeal to the Design Commission.

Proposal:

The applicant is seeking Design Review approval for exterior alterations and new elements to the Orton Building located at the northeast corner of SW Yamhill and SW 12th Avenue in the West End subarea of Downtown subdistrict in the Central City plan district. The remodel includes the following elements:

- Removal of two existing glass block windows and wall on the west façade of the building.
- Removal of three existing large glass block windows and wall on the south façade of the building.
- Installation of a storefront door and window on the west façade of the building.
- Installation of four storefront windows on the south façade of the building.
- Design and proportions of all new windows will relate to the existing second floor windows to create a unified design including a transom above every new window and door.
- All door and window storefronts will be anodized aluminum with black finish.
- Installation of two 11'-0" long x 4'-0" deep new hot-dip galvanized metal, aluminum and glass canopies, one over the existing storefront door on the south façade, and the second over the proposed storefront door on the west façade.

Nonconforming Upgrades, Section 33.258.070.D.2: This development is required to meet short-term bicycle parking standard.

Please note that the following are exempt from review: the proposed skylights will replace existing skylights and the proposed mechanical equipment will replace existing mechanical equipment. Refer to Section 33.420.045 of Title 33, Portland Zoning Code.

Proposals for exterior alterations within a design overlay zone in Central City Plan District require Design Review.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant approval criteria are:

- 33.825 Design Review
- Central City Fundamental Design Guidelines

ANALYSIS

Site and Vicinity: The 2,500 SF corner lot is located at the northeast intersection of SW Yamhill Street and SW 12th Avenue. The lot, 1/16th of the full block, is fully built out with a two-story stucco structure. The first floor was built in 1938 as a Safeway store. The second-floor, added at an undetermined time, was used as an office space. Surrounding development consists of mainly a mixture of parking lots and parking garage. Close by are some office buildings, with a small residential building immediately adjacent.

Zoning: The Central Residential (RX) zone is a high-density multi-dwelling zone which allows the highest density of dwelling units of the residential zones. Density is not regulated by a maximum number of units per acre. Rather, the maximum size of buildings and intensity of use are regulated by floor area ratio (FAR) limits and other site development standards. Generally, the density will be 100 or more units per acre. Allowed housing developments are characterized by a very high percentage of building coverage. The major types of housing development will be medium and high rise apartments and condominiums, often with allowed retail, institutional, or other service oriented uses. Generally, RX zones will be located near the center of the city where transit is readily available and where commercial and employment opportunities are nearby. RX zones will usually be applied in combination with the Central City plan district.

The "d" overlay promotes the conservation and enhancement of areas of the City with special historic, architectural or cultural value. New development and exterior modifications to existing development are subject to design review. This is achieved through the creation of design districts and applying the Design Overlay Zone as part of community planning projects,

development of design guidelines for each district, and by requiring design review. In addition, design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

The Central City Plan District implements the Central City Plan and other plans applicable to the Central City area. These other plans include the Downtown Plan, the River District Plan, the University District Plan, and the Central City Transportation Management Plan. The Central City plan district implements portions of these plans by adding code provisions which address special circumstances existing in the Central City area. The site is within the West End Subdistrict of this plan district.

Use Regulations for Specified Sites in the West End Subarea, Section 33.510.118: The regulations of this section apply to sites in the area shown on Map 510-14, and supersede the regulations of the base zone. The site is a Type A site, as shown on Map 510-14, and occupies less than one full block. Additional uses (in this case retail sales and office) are allowed in the RX zone of this area.

Land Use History: City records indicate that prior land use reviews include the following:

- LU 16-149596 DZ – Design Review application withdrawn.
- LUR 00-00242 DZ - Design Review Approval for a proposal to add a new standing seam metal canopy at existing entry and add matching decorative element above two windows on SW 12th Avenue façade.
- LUR 92-00339 DZ – Design Review Approval of a modification to reduce the length standard of ground floor window requirements from the required 50% to 45% of length of façade, to add a new metal awning with teal green fabric at existing entry, and a new small display window 48"x48" between two glass block areas on the western half of the Yamhill Street façade.

Agency Review: A “Notice of Proposal in Your Neighborhood” was mailed November 8, 2016. The following Bureaus have responded with no issues or concerns about the proposal. Four of these included comments found in Exhibits E-1 through E-3:

- Life Safety Division of the Bureau of Development Services (Exhibit E-1)
- The Fire Bureau (Exhibit E-2)
- Bureau of Transportation Engineering and Development (Exhibit E-3)
- Site Development Review Section of the Bureau of Development Services (Exhibit E-4)
- Source Control Section and Development Services Section of the Bureau of Environmental Services
- Watershed Section of the Bureau of Environmental Services
- Water Bureau

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on November 8, 2016. No written response has been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

Chapter 33.825 Design Review

Section 33.825.010 Purpose of Design Review

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

Section 33.825.055 Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

Findings: The site is designated with design overlay zoning (d), therefore the proposal requires Design Review approval. Because of the site's location, the applicable design guidelines are the Central City Fundamental Design Guidelines.

Central City Fundamental Design Guidelines

These guidelines provide the constitutional framework for all design review areas in the Central City.

The Central City Fundamental Design Guidelines focus on four general categories. **(A) Portland Personality**, addresses design issues and elements that reinforce and enhance Portland's character. **(B) Pedestrian Emphasis**, addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design**, addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas**, provides design guidelines for the four special areas of the Central City.

Central City Plan Design Goals

This set of goals are those developed to guide development throughout the Central City. They apply within all of the Central City policy areas. The nine goals for design review within the Central City are as follows:

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;
3. Enhance the character of the Central City's districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City's districts and the Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

A4. Use Unifying Elements. Integrate unifying elements and/or develop new features that help unify and connect individual buildings and different areas.

A5. Enhance, Embellish, and Identify Areas. Enhance an area by reflecting the local character within the right-of-way. Embellish an area by integrating elements in new development that build on the area's character. Identify an area's special features or qualities by integrating them into new development.

A6. Reuse/Rehabilitate/Restore Buildings. Where practical, reuse, rehabilitate, and restore buildings and/or building elements.

Findings for A4, A5, and A6: The Orton building, a two-story retail/office building, is made of a concrete shell and stucco covering the exterior. Its current condition reflects a series of renovations executed during different periods of time. Many of its original elements, the original wood storefront doors and canopy that graced SW Yamhill and part of SW 12th, were lost when the second floor was added. At some point in the early 1990s, the first floor openings were filled-in with concrete/stucco and glass blocks for security reasons, indicative of its last use as a fur store.

Opening up the first floor of the Orton building, all along SW Yamhill and around

the corner of SW 12th, with storefront systems designed to complement the style of the 2nd floor existing steel windows help unify the appearance of this building. Moreover, adding canopies on both existing and proposed entrances help strengthens both building façades and creates a sense of unity that is lacking right now. The proposal also better identifies the primary entrance to the building along SW Yamhill by the addition of a canopy.

With all of these new elements proposed to its exterior, the character of this building will be restored and enhanced. Also, the reuse and restoration of this empty building will allow it to come back to life after years of neglect.

These guidelines are met.

A8. Contribute to a Vibrant Streetscape. Integrate building setbacks with adjacent sidewalks to increase the space for potential public use. Develop visual and physical connections into buildings' active interior spaces from adjacent sidewalks. Use architectural elements such as atriums, grand entries and large ground-level windows to reveal important interior spaces and activities.

B1. Reinforce and Enhance the Pedestrian System. Maintain a convenient access route for pedestrian travel where a public right-of-way exists or has existed. Develop and define the different zones of a sidewalk: building frontage zone, street furniture zone, movement zone, and the curb. Develop pedestrian access routes to supplement the public right-of-way system through superblocks or other large blocks.

C1. Enhance View Opportunities. Orient windows, entrances, balconies and other building elements to surrounding points of interest and activity. Size and place new buildings to protect existing views and view corridors. Develop building façades that create visual connections to adjacent public spaces.

C6. Develop Transitions between Buildings and Public Spaces. Develop transitions between private development and public open space. Use site design features such as movement zones, landscape element, gathering places, and seating opportunities to develop transition areas where private development directly abuts a dedicated public open space.

C7. Design Corners that Build Active Intersections. Use design elements including, but not limited to, varying building heights, changes in façade plane, large windows, awnings, canopies, marquees, signs and pedestrian entrances to highlight building corners. Locate flexible sidewalk-level retail opportunities at building corners. Locate stairs, elevators, and other upper floor building access points toward the middle of the block.

C8. Differentiate the Sidewalk-Level of Buildings. Differentiate the sidewalk-level of the building from the middle and top by using elements including, but not limited to, different exterior materials, awnings, signs, and large windows.

C9. Develop Flexible Sidewalk-Level Spaces. Develop flexible spaces at the sidewalk-level of buildings to accommodate a variety of active uses.

Findings for A7, A8, B1, C1, C6, C7, C8, and C9: The existing windows along Yamhill, which are mainly blank because of glass block in-fill, will be replaced by storefront windows that will help the ground floor level open up to the street. The two windows on SW 12th, original location of the entrance to the 1938 Safeway store will be restored as an entryway to the proposed retail space.

The proposed façade alterations provide additional visual and physical connections between the activity of the interior space and the public realm on the sidewalk. One of the interior spaces is for office use; the other is for retail use. Both create opportunities for pedestrian movement and a vibrant streetscape. By increasing the amount of clear windows at the ground floor, the building becomes more visually permeable, allowing for views inside and outside. The impact of this on the street is that pedestrians feel more comfortable knowing that there are active uses within the building, and that the likelihood of crime is reduced because the right-of-way is seen from within.

The two proposed canopies in addition to the existing recessed entryway provide covered spaces that act as transitional areas between public sidewalks and private interiors. Moreover, the demarcation of these entrance zones, reinforce the pedestrian system which is critical in this area along the Max transit line.

These guidelines are met.

B2. Protect the Pedestrian. Protect the pedestrian environment from vehicular movement. Develop integrated identification, sign, and sidewalk-oriented night-lighting systems that offer safety, interest, and diversity to the pedestrian. Incorporate building equipment, mechanical exhaust routing systems, and/or service areas in a manner that does not detract from the pedestrian environment.

B4. Provide Stopping and Viewing Places. Provide safe, comfortable places where people can stop, view, socialize and rest. Ensure that these places do not conflict with other sidewalk uses.

B6. Develop Weather Protection. Develop integrated weather protection systems at the sidewalk-level of buildings to mitigate the effects of rain, wind, glare, shadow, reflection, and sunlight on the pedestrian environment.

B7. Integrate Barrier-Free Design. Integrate access systems for all people with the building's overall design concept.

Findings for B2, B4, B6, B7, and C11: The proposed ground floor level alterations help to reinforce the security of pedestrians and enhance the abutting pedestrian realm. The result of these proposed alterations are a significant enhancement to the functionality and safety of this corner of the downtown.

Canopies are a common element on buildings, landmark and otherwise, in the Downtown Central City plan district. They are an integrated weather protection system at the sidewalk-level of buildings to mitigate the effects of rain and other elements of the environment. The proposed canopies provide areas for pedestrians to stop and view while also providing protection from the elements. Both canopies off of Yamhill Street and 12th Avenue are 4'-0" deep and 11'-0" long providing over 44 square feet of protection for pedestrians entering and exiting the building to stop, rest, orient, view the train coming, and socialize.

These guidelines are met.

C2. Promote Quality and Permanence in Development. Use design principles and building materials that promote quality and permanence.

C3. Respect Architectural Integrity. Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal's architectural integrity.

C5. Design for Coherency. Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

Findings for C2, C3 and C5: The proposed alterations fit within the original storefront bays of the building, complement the original storefront configurations and utilize building materials that complement the existing 2nd floor window materials. The design and proportions of all new windows will relate to the existing second floor windows to create a unified design including a transom above every new window and door. All door and window storefronts will be anodized aluminum with black finish. Installation of two 11'-0" long x 4'-0" deep new aluminum and glass canopies, one over the existing storefront door on the south façade and the second over the proposed storefront door on the west façade, will achieve a coherent composition. Overall, the proposed building alterations respect the integrity of the original simple commercial structure and result in a coherent design with the 2nd floor window pattern.

Finally, the proposed storefront systems and the two canopies are made of durable and long-lasting materials and finishes that promote permanence.
These guidelines are met.

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The design review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. Overall, the proposed building alterations to the Orton Building respect the integrity of the original simple commercial structure and result in a coherent design by complementing the existing 2nd floor window pattern, adding two new canopies, and locating the entryway of the new retail space where the original Safeway building entryway used to be. The proposal also contributes to the vibrancy of SW Yamhill and SW 12th. The proposal meets the applicable design guidelines and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of façade alterations of the Orton Building, located at the northeast corner of 12th and Yamhill in the West End subarea of the Downtown subdistrict in the Central City Plan District that include the following:

- Removal of two existing glass block windows and wall on the west façade of the building.
- Removal of three existing large glass block windows and wall on the south façade of the building.
- Installation of a storefront door and window on the west façade of the building.
- Installation of four storefront windows on the south façade of the building.
- Design and proportions of all new windows will relate to the existing second floor windows to create a unified design including a transom above every new window and door.
- All door and window storefronts will be anodized aluminum with black finish.
- Installation of two 11'-0" long x 4'-0" deep new hot-dip galvanized metal, aluminum and glass canopies, one over the existing storefront door on the south façade, and the second over the proposed storefront door on the west façade.

Per the approved site plans, Exhibits C-1 through C-16, signed and dated 12/12/2016, subject to the following conditions:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.16. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 16-249941 DZ. No field changes allowed."

Staff Planner: Meriam Rahali

Decision rendered by: Meriam Rahali **on December 12, 2016**
By authority of the Director of the Bureau of Development Services

Decision mailed: December 19, 2016

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on September 28, 2016, and was determined to be complete on November 2, 2016.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore, this application was reviewed against the Zoning Code in effect on September 28, 2016.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period.

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Design Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on January 3, 2017** at 1900 SW Fourth Ave. Appeals can be filed at the 5th floor reception desk of 1900 SW 4th Avenue Monday through Friday between 8:00 am and 4:30 pm. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Design Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Design Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed*, the final decision may be recorded on or after **January 4, 2017 – (the day following the last day to appeal)**.
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034. For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

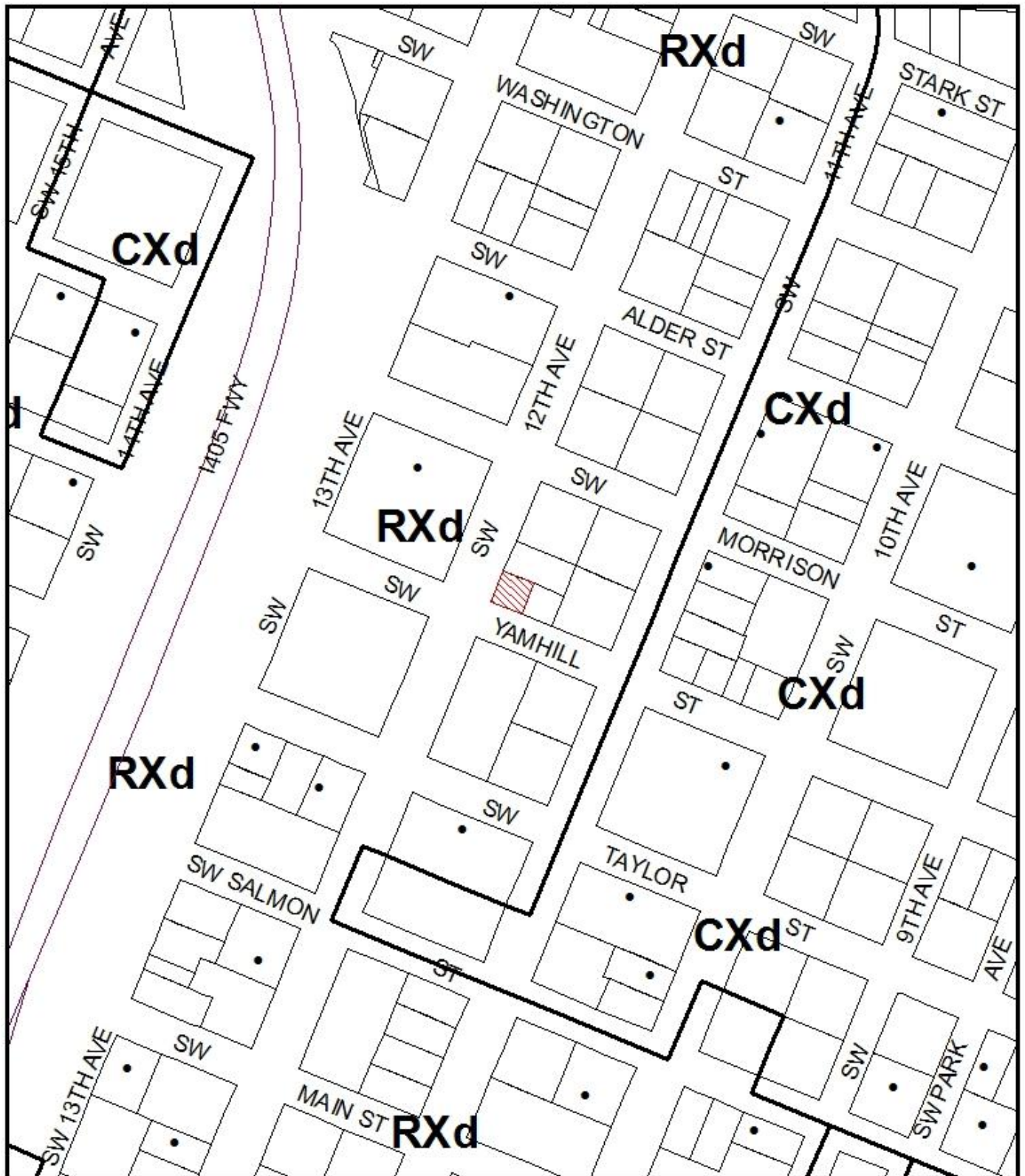
Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS
NOT ATTACHED UNLESS INDICATED

- A. Applicant's:
 - 1. Statement
 - 2. Other Correspondence/Emails
- B. Maps:
 - 1. Zoning Map (attached)
 - 2. Map 510-14. Areas Where Additional Uses maybe Allowed in the RX Zone (attached)
- C. Plans/Drawings:
 - 1. Site Plan (attached)
 - 2. Existing First Level Demo Plan
 - 3. Existing Roof Plan
 - 4. Existing South Elevation
 - 5. Existing West Elevation
 - 6. Proposed First Level Plan (attached)
 - 7. Proposed Roof Plan (attached)
 - 8. Proposed South Elevation (attached)
 - 9. Proposed West Elevation (attached)
 - 10. Proposed Images
 - 11. Canopy Details
 - 12. Storefront Details
 - 13. Window Details
 - 14. Window Specs
 - 15. Window Specs
 - 16. Window Schedule
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Life Safety Division of the Bureau of Development Services
 - 2. Fire Bureau
 - 3. Bureau of Transportation Engineering and Development Review
 - 4. Bureau of Environmental Services
- F. Correspondence: None
- G. Other:
 - 1. Original LU Application
 - 2. October 18, 2016 Letter of Incompleteness
 - 3. Photos
 - 4. 1938 Original Safeway Building

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



ZONING



This site lies within the:
CENTRAL CITY PLAN DISTRICT
DOWNTOWN SubDistrict
WEST END SubArea

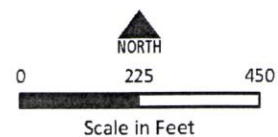
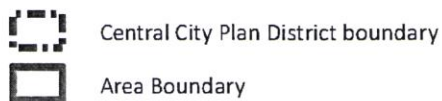
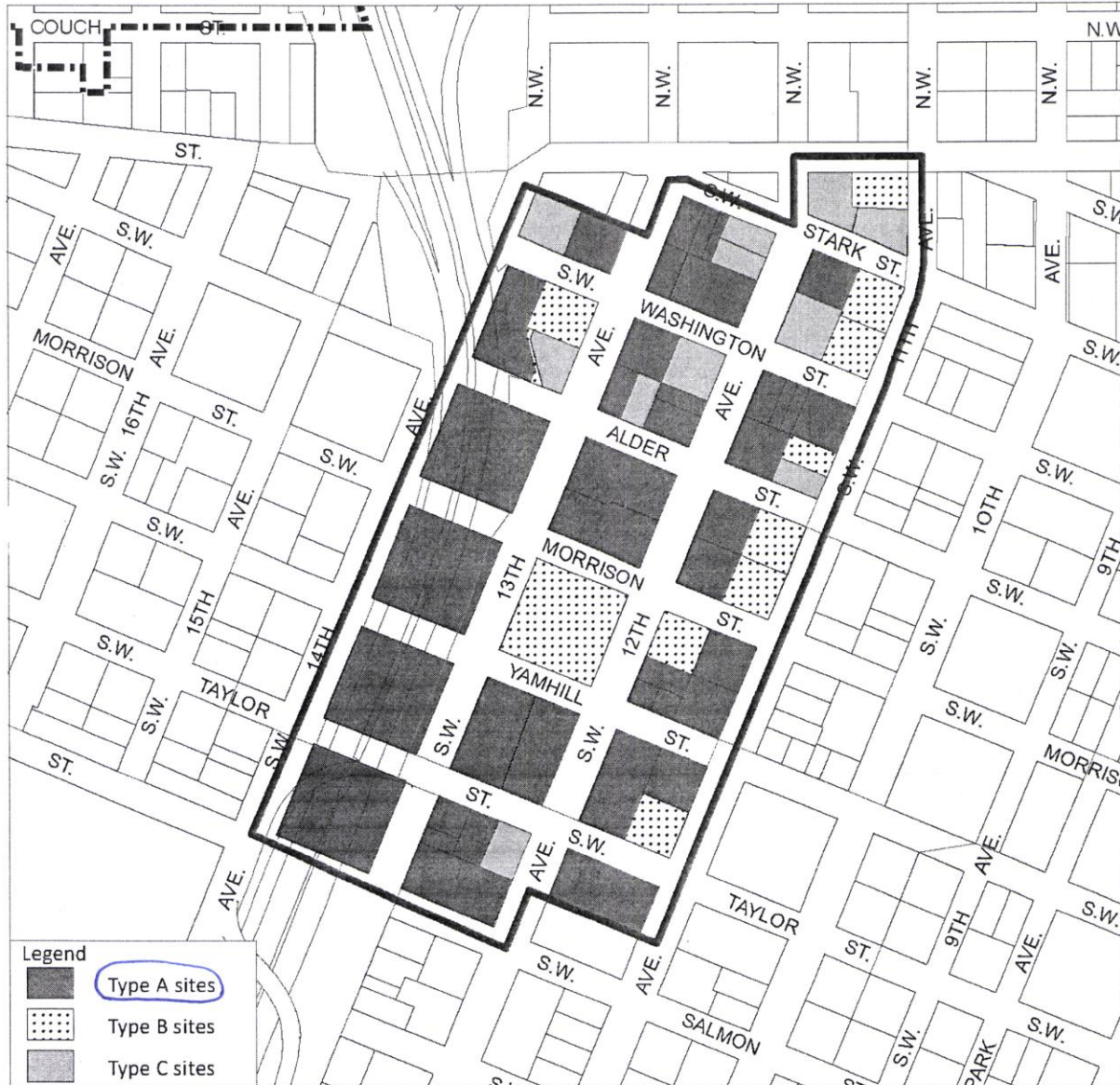
- Site
- Historic Landmark

File No.	LU 16-249941 DZ
1/4 Section	3028
Scale	1 inch = 200 feet
State Id	1N1E33DD 5900
Exhibit	B (Oct 02, 2016)

Areas Where Additional Uses may be Allowed in the RX Zone

Map 510-14

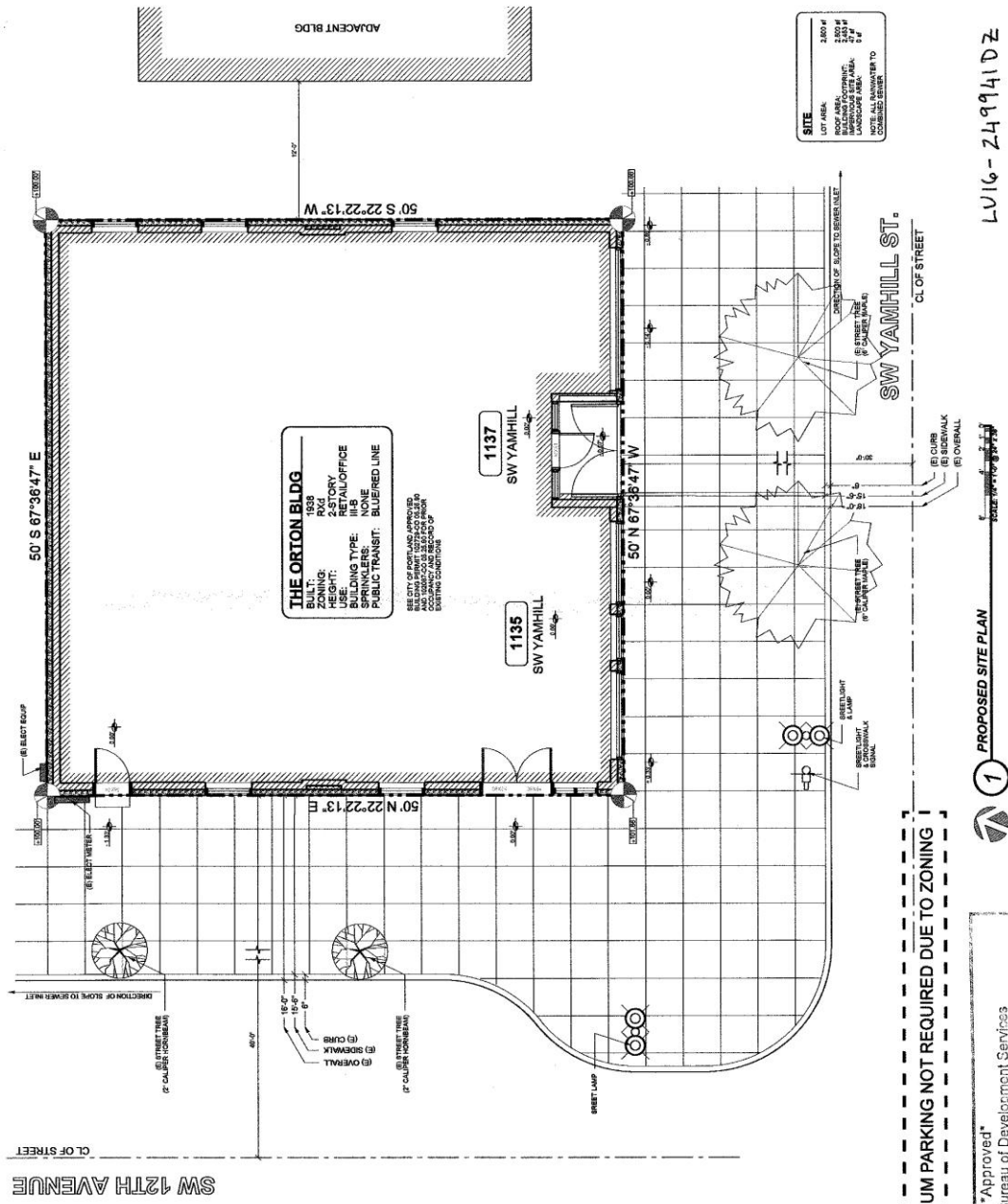
Map Revised March 1, 2015



Bureau of Planning and Sustainability
Portland, Oregon

EXH.B.2

	FOSTER ARCHITECTS 1800 NW LOVEJOY STREET PORTLAND, OREGON 97209 503.241.9329	THE ORTON BUILDING 1135 SW Yamhill Street Portland, OR	YM12	DESIGN REVIEW	10 MAY 2016	RS 24 MAY 2016 RS 25 MAY 2016 RS 05 JUN 2016 RS 10 JUN 2016 RS 22 JUN 2016 RS 23 JUN 2016 RS 24 JUN 2016 RS 25 JUN 2016 RS 26 JUN 2016
116	SITE PLAN	DR 002.0	116	116	116	116



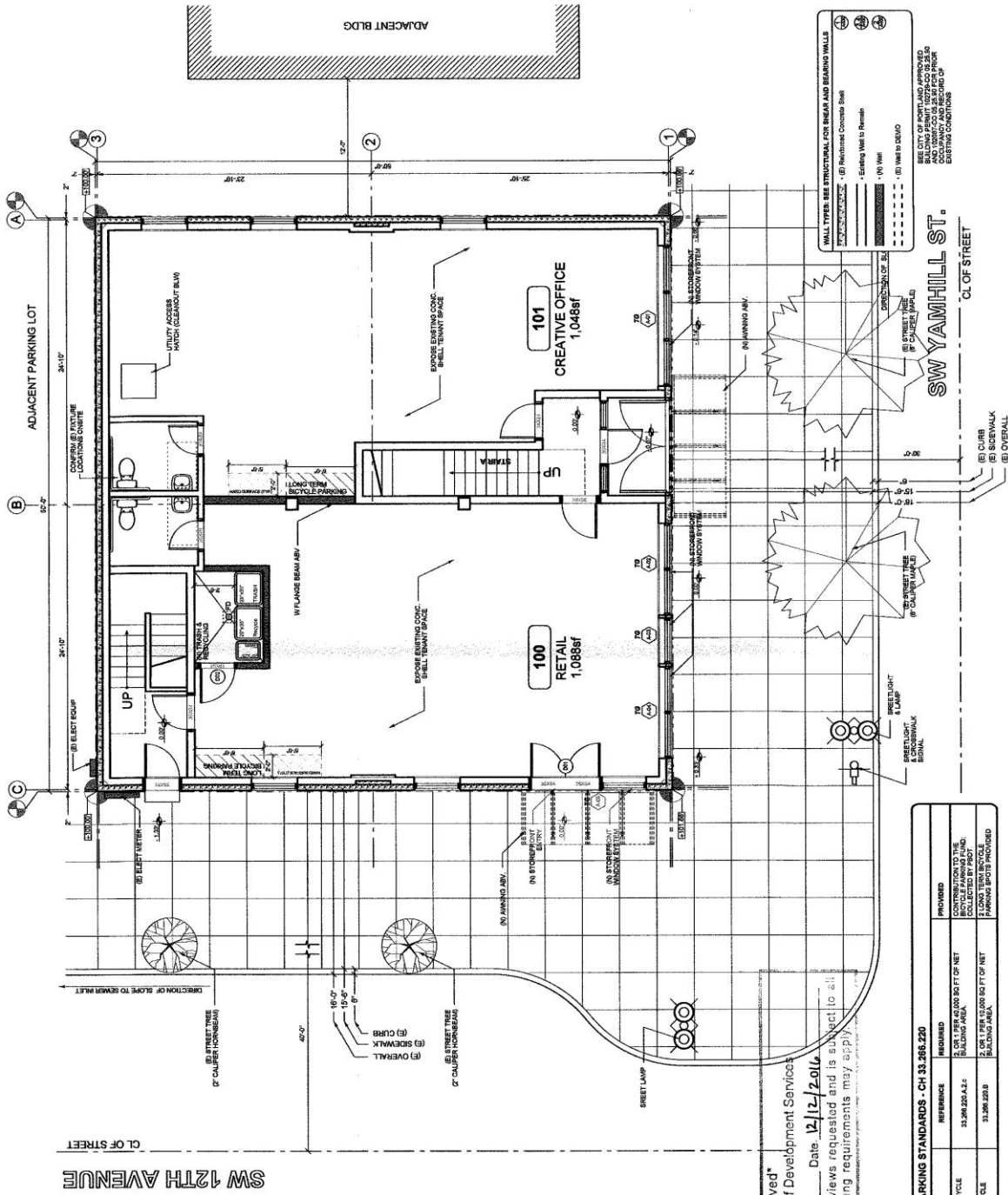
NOTE: MINIMUM PARKING NOT REQUIRED DUE TO ZONING

Approved*
 City of Portland - Bureau of Development Services
 Planner Meriam Rahal Date 11/12/2016
 * This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

PROPOSED SITE PLAN

LV16-249941DZ

EXH.C.I




BICYCLE PARKING STANDARDS - CH 33.268.220				
DESCRIPTION	REFERENCE	REQUIRED	CONSTRUCTION TYPE	COMMENTS
SHORT TERM BICYCLE PARKING	33.268.220.2.1	1. ON 10' OR 12' X 20' OR 30' FT OF NET BRACING AREA.	BIODOMINANT TYPE	BIODOMINANT TYPE
LONG TERM BICYCLE PARKING	33.268.220.3	2. ON 1' PER 1,000 SQ FT OF NET BRACING AREA.	BIODOMINANT TYPE	BIODOMINANT TYPE

Approved _____
City of Portland - Bureau of Development Services
Planner Meriam Rahak Date 12/12/2016
* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

TOWN	FIRST LEVEL PLAN
SHEET	DR 007C
REVISIONS	
DRAWN	RI DO MMM YYYY
CHECKED	13 OCT 2016
PENIT APPLICATION SET	YMK2
CAD	Portland, OR THE OXTON BUILDING 1135 SW Yamhill Street Project
FOSLER ARCHITECTURE Portland 1800 NW LOVEJOY STREET PORTLAND, OREGON 97209 503.241.9530	

2.2.HX3



FOSTER ARCHITECTURE
Portland, Oregon 97209
503.241.8939

THE ORTON BUILDING
1135 SW Yamhill Street
Portland, OR

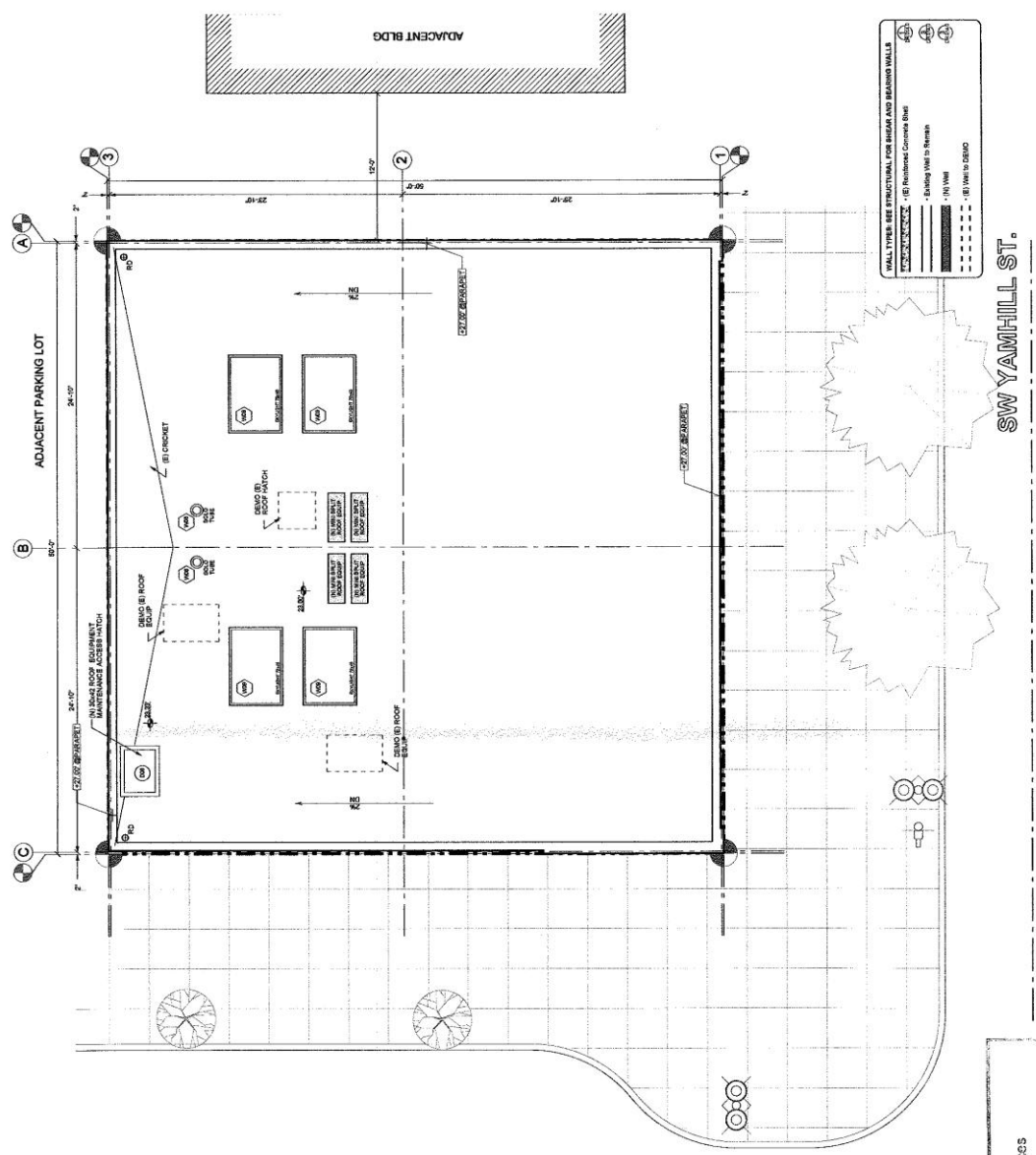
YM12

DESIGN REVIEW

DATE: 18 MAY 2016

REVISIONS:

- R1 24 MAY 2016
- R2 28 MAY 2016
- R3 05 JUN 2016
- R4 12 JUN 2016
- R5 23 JUN 2016
- R6 29 JUN 2016
- R7 13 JUL 2016
- R8 14 JUL 2016
- R9 21 JUL 2016



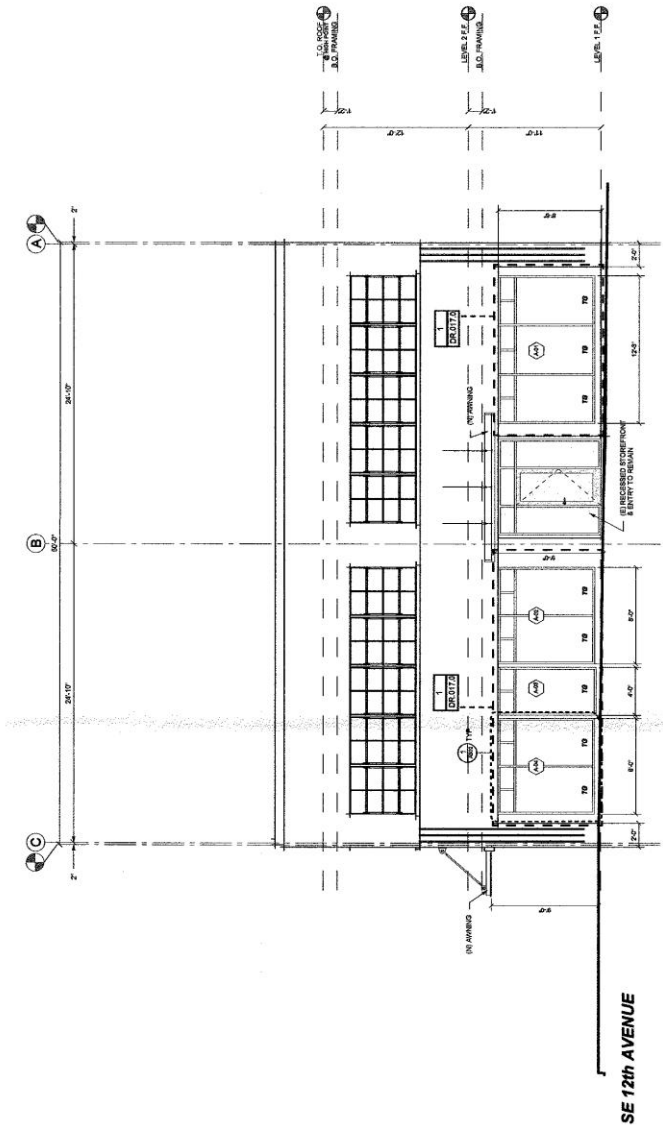
Approved
City of Portland - Bureau of Development Services
Planner Miriam Rahali Date 12/12/2016
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1 PROPOSED ROOF LEVEL PLAN

EXH. C.7

	FOSTER Architecture 1900 NW LOVEJOY STREET PORTLAND, OREGON 97209 503.241.5529	Project THE ORTON BUILDING 1135 SW Yamhill Street Portland, OR	Code YM12	Design Review 18 MAY 2016	Reviewers R1 24 MAY 2016 R2 26 MAY 2016 R3 08 JUN 2016 R4 10 JUN 2016 R5 12 JUN 2016 R6 20 JUN 2016 R7 13 JUL 2016 R8 14 JUL 2016 R9 21 JUL 2016	Sheet DR. 011.0 PROPOSED ELEVATIONS
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EXH.C.8

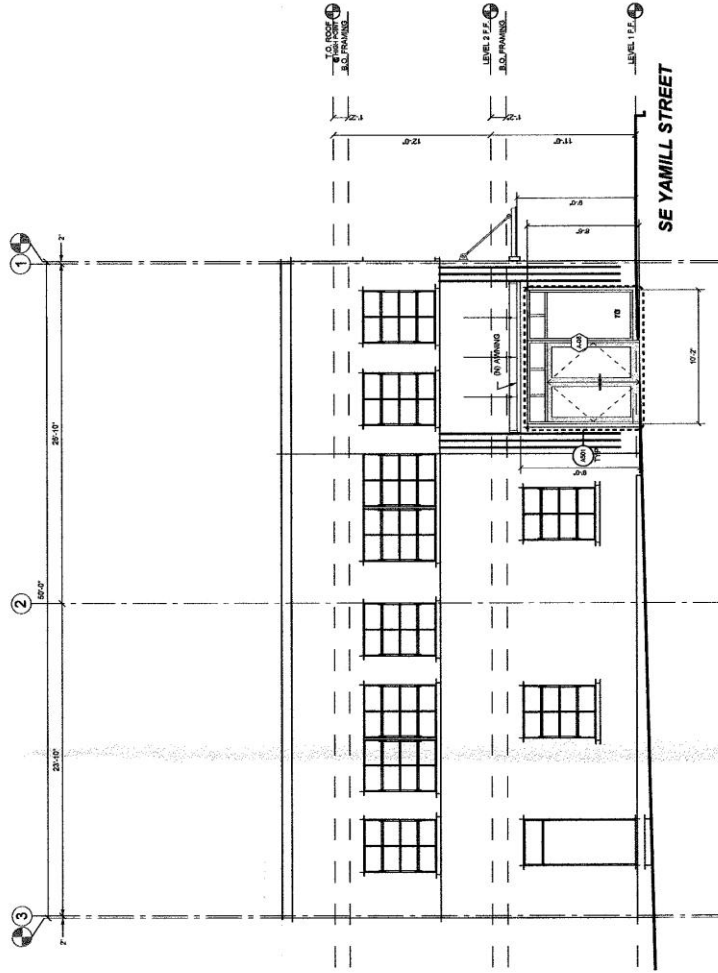


1 PROPOSED SOUTH ELEVATION

Approved
 City of Portland - Bureau of Development Services
 Planner Meriam Rabali Date 12/12/2016
 * This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

FOSLER architectural 1500 NW LOUDY STREET PORTLAND, OREGON 97209 503.241.5539	THE ORTON BUILDING 1135 SW Yamhill Street Portland, OR	Code YM12	Permit Application BET	Date 12 OCT 2016	Revision R1 DD MM YYYY	Sheet DR. 012.0	Title PROPOSED WEST ELEVATION
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EXH.C.9



NOTE: FIELD MEASUREMENTS REQUIRED & SITE CONDITIONS TO BE VERIFIED BY WINDOW SUPPLIER & CONTRACTOR PRIOR TO ORDERING. VERIFY WINDOW SIZES AND SPACING. VERIFY WINDOW SIZES AND SPACING.
 NOTE: WINDOWS MIN. DOUBLE GLAZED w/ 1/2" AIR SPACE, LOW E COATING, & THERMAL BREAK.
 NOTE: SEAL ALL PENETRATIONS IN BUILDING ENVELOPE: CALLK, GASKET, & WEATHER STRIP ALL WINDOWS & DOORS.
 NOTE: REFER TO ELEVATIONS FOR LOCATIONS OF REQUIRED TEMPERED PANELS

1 PROPOSED WEST ELEVATION

City of Portland - Bureau of Development Services

Planner Meriam Bahal Date 12/12/2016

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