



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

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Date: May 11, 2016
To: Interested Person
From: Staci Monroe, Land Use Services
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NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 15-280287 HR ***STOREFRONT REMODEL, CANOPY & SIGNAGE***

GENERAL INFORMATION

Applicant: Shea Gilligan | Brett Schulz Architect | 2222 NE Oregon St #203
Portland, OR 97232

Owner: Cable Hill Market LLC | 827 SW 2nd Ave #300 | Portland, OR 97204

Site Address: 827 SW 2ND AVENUE

Legal Description: BLOCK 22 LOT 3 TL 4300, PORTLAND
Tax Account No.: R667703440
State ID No.: 1S1E03BA 04300
Quarter Section: 3129
Neighborhood: Portland Downtown, contact Rani Boyle at 503-725-9979.
Business District: None
District Coalition: Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.
Plan District: Central City - Downtown
Other Designations: Yamhill Historic District – Contributing Resource & Potential Landmark
Zoning: CXd – Central Commercial zone with a Design overlay
Case Type: HR – Historic Resource Review
Procedure: Type II, an administrative decision with appeal to the Landmarks Commission.

Proposal:

The applicant seeks Historic Resource Review approval for exterior alterations to the Cable Hill Market building, a contributing resource and potential landmark in the Yamhill Historic District. The proposed alterations are proposed in two phases and include:

Phase 1:

- Replace existing fabric banner sign with new steel blade sign with internal lighting

- Add new steel canopy with tiebacks along entire storefront with two spot light fixtures attached on top.
- Replace existing rooftop mechanical units with new units of comparable size.

Phase 2

- Replace existing non-original storefront windows with new aluminum clad wood casement windows.

Exterior alterations to a building within a historic district require a Historic Resource Review per Section 33.445.320.A.1.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant criteria are:

- Central City Fundamental Design Guidelines
- Design Guidelines for the Yamhill Historic District Design Guidelines.

ANALYSIS

Site and Vicinity: The 3,197 SF site is improved a 2-story building with 6,394 SF. The building was built in the early 20th century, and is a contributing and potential landmark property within the Yamhill Historic District. It fronts SW 2nd Ave with SW Taylor Street to the south. Both streets are fully improved to City standards. The surrounding area is a highly developed and historic part of the downtown area. Adjacent lots are occupied by a diverse array of businesses, commercial and residential structures. Typically, the buildings are more architecturally prominent than development outside this central city area.

Zoning: The Central Commercial (CX) zone is intended to provide for commercial development within Portland's most urban and intense areas. A broad range of uses is allowed to reflect Portland's role as a commercial, cultural and governmental center. Development is intended to be very intense with high building coverage, large buildings, and buildings placed close together. Development is intended to be pedestrian-oriented with a strong emphasis on a safe and attractive streetscape.

The Historic Resource Protection overlay is comprised of Historic and Conservation Districts, as well as Historic and Conservation Landmarks and protects certain historic resources in the region and preserves significant parts of the region's heritage. The regulations implement Portland's Comprehensive Plan policies that address historic preservation. These policies recognize the role historic resources have in promoting the education and enjoyment of those living in and visiting the region. The regulations foster pride among the region's citizens in their city and its heritage. Historic preservation beautifies the city, promotes the city's economic health, and helps to preserve and enhance the value of historic properties.

The Central City Plan District implements the Central City Plan and other plans applicable to the Central City area. These other plans include the Downtown Plan, the River District Plan, the University District Plan, and the Central City Transportation management Plan. The Central City plan district implements portions of these plans by adding code provisions which address special circumstances existing in the Central City area. The site is within the Downtown Subdistrict of this plan district.

Land Use History: City records indicate that prior land use reviews include the following:

- HL 36-83: A 1983 approval for a storefront remodel.
- LUR 97-01045 DZ: A 1997 Design Review approval for new awnings.

Agency Review: A "Notice of Proposal in Your Neighborhood" was mailed **February 25, 2016**. The following Bureau has responded with no issues or concerns:

- Plan Review Section of BDS (Exhibit E.1)

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on February 25, 2016. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

Chapter 33.846, Historic Reviews

Purpose of Historic Resource Review

Historic Resource Review ensures the conservation and enhancement of the special characteristics of historic resources.

Historic Resource Review Approval Criteria

Requests for Historic Resource Review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

Findings: The site is located within the Yamhill Historic District. Therefore the proposal requires Historic Resource Review approval. The relevant approval criteria are the Yamhill Historic Design Guidelines and the Central City Fundamental Design Guidelines.

Design Guidelines for the Yamhill Historic District and Central City Fundamental Design Guidelines

As you know, the Yamhill Historic District is a unique asset to Portland and has been recognized nationally by its placement on the National Register of Historic Places. There are certain procedures and regulations the City has adopted for the protection and enhancement of the Yamhill Historic District.

The Central City Fundamental Design Guidelines and the River District Design Guidelines focus on four general categories. **(A) Portland Personality**, addresses design issues and elements that reinforce and enhance Portland's character. **(B) Pedestrian Emphasis**, addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design**, addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas**, provides design guidelines for the four special areas of the Central City.

Central City Plan Design Goals

This set of goals are those developed to guide development throughout the Central City. They apply within the River District as well as to the other seven Central City policy areas. The nine goals for design review within the Central City are as follows:

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;
3. Enhance the character of the Central City's districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City's districts and the Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

Design Guidelines for the Yamhill Historic District

- A. Retention of Original Construction.** So far as practicable, all original exterior materials and details shall be preserved.
- B. Cast Iron.** In the case of cast iron structures which have lost cast iron elements, every effort shall be made to replace such elements with appropriate cast iron parts available in the City. If this is not feasible, replicas matching the exterior appearance of the existing features may be permitted.
- G. Exterior Building Materials.** Most of the buildings within the District were constructed of bearing wall brick masonry (left exposed or covered with plaster), or stone. This feature gives the area much of its textual surface character. Surfaces need to be treated, repaired, and maintained in a manner which is sympathetic to the District.

1. Walls

- Original building materials shall be preserved wherever possible. Cleaning and/or repointing masonry is preferred over replacement.
- If masonry has to be replaced, repair or replace existing masonry with masonry of matching color, texture, size, coursing. Avoid using “used” brick in replacement. This conflicts with traditional masonry surfaces.
- Mortar should match the color and joint configuration of the existing masonry wall.
- Masonry was painted to seal soft bricks from the weather or painted later for other reasons. Where soft brick surfaces are found to be painted, surfaces should not be stripped but should be repainted.
- Plastered surfaces should be cleaned, repaired with a similar plaster texture and repainted. Avoid exposing brick to the weather by removing finish plaster as this will speed deterioration of the brick.
- Do not apply artificial and/or inappropriate coverings to masonry surfaces. Examples are metal, plastic or wood sidings.

2. Storefronts, Doors and Windows. The shape, size, placement and trim of storefront openings are a key element in establishing the character of a building.

- Where original storefronts remain, preserve and repair. Where covered with other materials, remove and determine condition of original materials.
- Storefronts requiring new materials could consider a wide variety of replacement systems. Building Codes require non-combustible materials (steel, aluminum, etc.), but wood systems may be acceptable provided other means of fire protection are installed. Wood systems should be painted, rather than stained or treated naturally.
- New window and door openings should maintain a similar horizontal and vertical relationship as the originals. Traditionally, windows were two-over-two or one-over-one. Large panes of glass, as used in contemporary storefronts, should be avoided.
- Glazed portions of windows were important elements to the building and should not be altered, painted over or eliminated.
- Clear glass is traditional and should be used instead of tinted glass. Additionally, signs cannot be painted on tinted glass without the possibility of breakage due to the effect of sunlight.
- Re-use original hardware whenever possible. If possible, new hardware should be in keeping with original designs.
- On side-walls, avoid walling-in openings with masonry, if possible. Rather, maintain the opening and replace the glazing if necessary with appropriate hard surface materials.

I. Color. The colors used in alterations or additions within the District shall be visually compatible with the traditional architectural character of the historic buildings within the area.

- Historically, in the era of the late 1800’s and early 1900’s, painting was usually done using earth colors, i.e., hues tending towards brown, soft greens, and beiges.
- Bright colors and white were rarely used. Buildings, therefore, are perhaps most appropriately painted using subdued colors. Little or nothing is gained by the use of strong or loud colors, especially those with no tradition of local usage.

- Color combinations will occur, as nearly all buildings will have wood trim or metal ornamentation in addition to their base materials. This, plus the further elaboration of wood storefronts, suggests the use of an overall wall color plus one or two trim colors.
- A method for determining the original wall and trim colors consists of scraping chips from the existing surface and analyzing them microscopically. This should be done whenever the original color is unknown and major repainting is contemplated.

Findings for A, B, G and I: The proposal meets these guidelines as follows:

- No original exterior materials are proposed to be removed. The only elements to be removed are the fabric canopies and storefront windows (Phase 2), however, these were installed as part of a remodel in the early 1980's and are therefore not original.
- The replacement windows are of the same proportions of the existing storefront windows, however they will be operable (casements). The original proportions of the storefront are unknown, however the existing and proposed conditions would be similar to the scale of a storefront on a 2-story, 30'-wide building.
- The replacement windows are aluminum clad wood windows with a profile and inset within the wall that complements wood windows in the district.
- Both cast iron columns that flank the central entrance are intact, however they reside on the interior of the storefront as a result of aforementioned remodel in the 1980s. They are proposed to remain and be exposed on the interior of the space.
- The original exterior brick will remain unpainted and exposed. No special treatment or cleaning is proposed.
- The attachments and tie-backs for the canopy will occur within the brick mortar joint so as not to damage the original brick. A condition of approval has been added to ensure this detail is adhered to in the field.
- All of the wood on the building (cornice, window sashes and frames, storefront surround and panels), new windows and metal canopy will all be painted a dark grey ("soot"). The two-tone building (single color and brick) with a subdued paint color is consistent with the traditional colors and combinations within the historic district.

As conditioned, these guidelines have been met.

E. Visual Integrity of Structure. The vertical lines of columns and piers, and the horizontal definition of spandrels and cornices, and other primary structural elements shall be maintained. Such structural lines should be restored if previous alterations have substantially changed such elements.

- The modulation of building facades was determined by lot parceling. Generally, buildings were built at 25, 50 or 100-foot widths. Within those general building widths, the buildings was further divided into smaller bay storefront systems.
- Where structural lines cannot be carried to the ground, integrate the upper and lower floor design with color, materials and form simplicity.

F. Scale and Proportion. The scale and proportion of altered or added building elements, the relationship of voids to solids (i.e. openings such as doors and windows to walls and column elements) shall be visually compatible with the traditional architectural character of the Historic District. An important element within the Historic District was the emphasis on the pedestrian scale activities which were characterized with the addition of canvas awnings or permanent canopies. This defined an important scale and proportion element of the District and to the extent possible, this relationship at pedestrian level should be re-established within the District.

L. Awnings/Canopies. Alterations and/or additions to historic buildings within the District should consider the use of awnings and/or canopies. These should be consistent with the function of the building and the relationship of the awning to adjacent buildings and to the District.

Findings for E, F and L: The replacement windows will be inserted into the existing wood storefront and will not alter or affect the proportions of the storefront or façade whatsoever. The replacement canopy will extend across the entire width of the storefront stopping shy of the brick returns resulting in a balanced façade. The 4' deep canopy does not overwhelm the rather small façade. The metal material complements the cast iron and other decorative metal building elements in the district. In general, the canopy is appropriately scaled, placed and of a form and character consistent with others in the district. *These guidelines have been met.*

J. Signs. Exterior building signage should be visually compatible with the traditional architectural character of the historic buildings in the District. A variety in signage is encouraged, incorporating excellence in graphic design and lettering, careful color coordination with the building, good mounting, readability, and materials, all of which are compatible with and sensitive to the character of the building. Lighting may also be permissible which is creative without being overwhelming. Sign design should be done in an “identification” sense rather than an “advertising” sense. All types of exterior signs are reviewed.

K. Lighting. Historically, lighting within the District was provided by lighting in the public right-of-way with the use of gas lamps, electrical lights, etc. First floor storefront lighting should be consistent with the overall character of the building and the District.

Findings for J and K: The proposed sign replaces a fabric banner attached to two metal arms on the upper façade, which was installed in the previous 1980's remodel. The metal arms remain and the new sign will consist of a 2" thick metal frame with cut out letter and an internal halo-like light. Two small focus light are proposed atop the canopy to further highlight the sign. The lighting is modest and the sign is compatible with the materials and size of those in the district. A condition of approval has been added to ensure all electrical conduit associated with the sign and light fixtures is not on the exterior of the building for a clean installation that does not impact the integrity of the building. *These guidelines have been met.*

Central City Fundamental Design Guidelines

A6. Reuse/Rehabilitate/Restore Buildings. Where practical, reuse, rehabilitate, and restore buildings and/or building elements.

Findings: As noted in detail above, the original building elements are being retained. *This guideline has been met.*

A8. Contribute to a Vibrant Streetscape. Integrate building setbacks with adjacent sidewalks to increase the space for potential public use. Develop visual and physical connections into buildings' active interior spaces from adjacent sidewalks. Use architectural elements such as atriums, grand entries and large ground-level windows to reveal important interior spaces and activities.

C1. Enhance View Opportunities. Orient windows, entrances, balconies and other building elements to surrounding points of interest and activity. Size and place new buildings to protect existing views and view corridors. Develop building façades that create visual connections to adjacent public spaces.

Findings for A8 and C1: By retaining the existing storefront windows (Phase 1) and replacing them (Phase 2) ensure views into the building's active interior are maintained. The operable windows in Phase 2 will increase the physical connection between the sidewalk and interior contributing to the vibrancy of the streetscape. *These guidelines have been met.*

A4. Use Unifying Elements. Integrate unifying elements and/or develop new features that help unify and connect individual buildings and different areas.

A5. Enhance, Embellish, and Identify Areas. Enhance an area by reflecting the local

character within the right-of-way. Embellish an area by integrating elements in new development that build on the area's character. Identify an area's special features or qualities by integrating them into new development.

C2. Promote Quality and Permanence in Development. Use design principles and building materials that promote quality and permanence.

C3. Respect Architectural Integrity. Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal's architectural integrity.

C4. Complement the Context of Existing Buildings. Complement the context of existing buildings by using and adding to the local design vocabulary.

C5. Design for Coherency. Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

Findings for A4, A5, C2, C3, C4 and C5: The proposal meets these guidelines as follows:

- The signage and canopy are typical elements found in the surrounding area that help unify the character of the historic district, building and in the right-of-way.
- The aluminum clad wood windows, metal sign, metal canopy and metal light fixtures are all of durable materials that provide a sense of permanence.
- The canopy, signage and window replacement are appropriately scaled, designed and placed in a manner that respects the integrity of the brick building and results in a cohesive design.

These guidelines have been met.

B4. Provide Stopping and Viewing Places. Provide safe, comfortable places where people can stop, view, socialize and rest. Ensure that these places do not conflict with other sidewalk uses.

B6. Develop Weather Protection. Develop integrated weather protection systems at the sidewalk-level of buildings to mitigate the effects of rain, wind, glare, shadow, reflection, and sunlight on the pedestrian environment.

C6. Develop Transitions between Buildings and Public Spaces. Develop transitions between private development and public open space. Use site design features such as movement zones, landscape elements, gathering places, and seating opportunities to develop transition areas where private development directly abuts a dedicated public open space.

C8. Differentiate the Sidewalk-Level of Buildings. Differentiate the sidewalk-level of the building from the middle and top by using elements including, but not limited to, different exterior materials, awnings, signs, and large windows.

C9. Develop Flexible Sidewalk-Level Spaces. Develop flexible spaces at the sidewalk-level of buildings to accommodate a variety of active uses.

C10. Integrate Encroachments. Size and place encroachments in the public right-of-way to visually and physically enhance the pedestrian environment. Locate permitted skybridges toward the middle of the block, and where they will be physically unobtrusive. Design skybridges to be visually level and transparent.

Findings B4, B6, C6, C8, C9 and C10: The new 4'-0" canopy will extend the length of the storefront providing ample opportunities for pedestrians to be protected from the weather elements, stop to visit and allow uses from within the building to spill out into the sidewalk in a protected manner. The new canopy above the storefront also helps to further distinguish the sidewalk level of the building without overwhelming the public right-of-way. *These guidelines have been met.*

C11. Integrate Roofs and Use Rooftops. Integrate roof function, shape, surface materials, and colors with the building's overall design concept. Size and place rooftop mechanical equipment, penthouses, other components, and related screening elements to enhance views of the Central City's skyline, as well as views from other buildings or vantage points. Develop rooftop terraces, gardens, and associated landscaped areas to be effective stormwater

management tools.

Findings: The proposal includes the replacement of all the rooftop mechanical units. The replacement units in the same location will be of similar height. However, the existing curbs (units sit on) need to have an adapter or extension piece added to them which slightly increases the overall height of each unit. However, the setback location from the street, the 33" tall parapet and the existing and under construction buildings that abut the site will ensure limited visibility of the units. *This guideline has been met.*

B2. Protect the Pedestrian. Protect the pedestrian environment from vehicular movement. Develop integrated identification, sign, and sidewalk-oriented night-lighting systems that offer safety, interest, and diversity to the pedestrian. Incorporate building equipment, mechanical exhaust routing systems, and/or service areas in a manner that does not detract from the pedestrian environment.

C12. Integrate Exterior Lighting. Integrate exterior lighting and its staging or structural components with the building's overall design concept. Use exterior lighting to highlight the building's architecture, being sensitive to its impacts on the skyline at night.

C13. Integrate Signs. Integrate signs and their associated structural components with the building's overall design concept. Size, place, design, and light signs to not dominate the skyline. Signs should have only a minimal presence in the Portland skyline.

Findings for B2, C12 and C13: The 2" thick sign made of durable metal and detailed with cut out letters and internal illumination complements the strong and timeless qualities of the building. Utilizing the existing sign armature the sign will be balanced on the center of the façade. At the second floor, the sign will have no presence in the skyline. Two small focus lights will sit atop the canopy to provide direct illumination of the sign's exterior. They are not intended or expected to illuminate the nighttime sky given their small size. The signage and lighting will help pedestrians on the sidewalk identify the building and provide interest. *These guidelines have been met.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The purpose of the Historic Resource Review process is to ensure that additions, new construction, and exterior alterations to historic resources do not compromise their ability to convey historic significance. As detailed in the findings above, this proposal meets the applicable Historic Resource Review criteria and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of exterior alterations (canopy, sign, windows, and rooftop mechanical units) to the Cable Hill Market building, a contributing resource and potential landmark in the Yamhill Historic District., per the approved site plans, Exhibits C-1 through C-9, signed and dated 5/9/16, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B-D) must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE - Case File LU 15-280287 HR." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."

- B. The attachments and tiebacks for the canopy shall only occur within the mortar joints of the brick.
- C. No exposed electrical conduit is allowed on the building's exterior.
- D. No field changes allowed.

Staff Planner: Staci Monroe



Decision rendered by: _____ **on May 9, 2016**

By authority of the Director of the Bureau of Development Services

Decision mailed: May 11, 2016

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on December 22, 2015, and was determined to be complete on February 23, 2016.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on December 22, 2015.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant requested that the 120-day review period be extended 17 days, as stated with Exhibits G.3 and G.4. Unless further extended by the applicant, **the 120 days will expire on: July 9, 2016.**

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Landmarks Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on May 25, 2016** at 1900 SW Fourth Ave. Appeals can be filed at the Development Services Center Monday through

Wednesday and Fridays between 8:00 am to 3:00 pm and on Thursdays between 8:00 am to 12:00 pm. After 3:00 pm Monday through Wednesday and Fridays, and after 12:00 pm on Thursdays, appeals must be submitted at the reception desk on the 5th floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization's boundaries. The vote to appeal must be in accordance with the organization's bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Landmarks Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Landmarks Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed*, The final decision may be recorded on or after **May 26, 2016 – (the day following the last day to appeal)**.
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034. For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a

new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

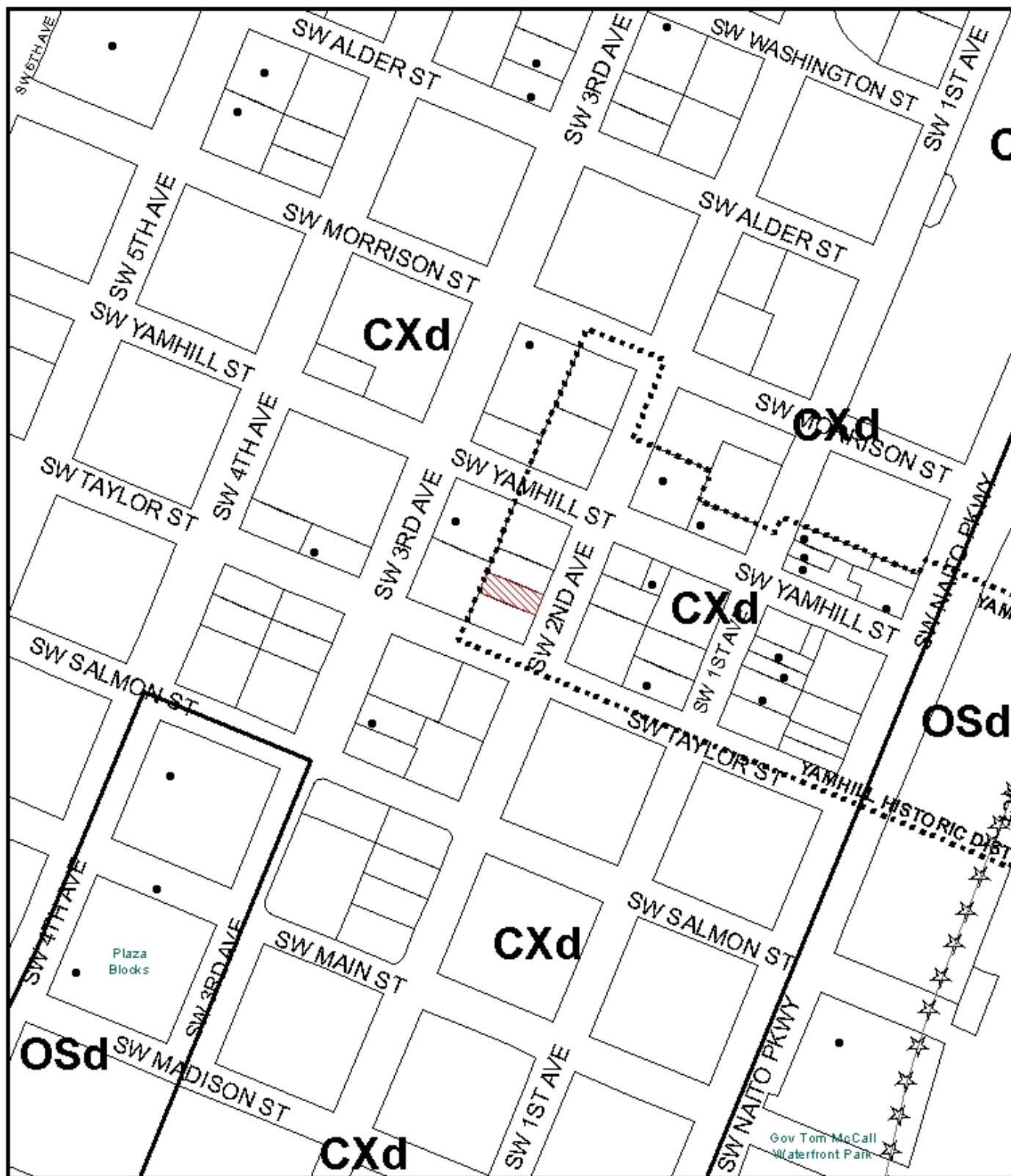
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
 - 1. Applicant's response to Staff incomplete letter
 - 2. Response to Central City Fundamental Design Guidelines
 - 3. Response to Yamhill Historic District Guidelines
 - 4. Original drawings dated 12/22/16
 - 5. Historic & existing conditions photos
 - 6. Revised plans dated 2/9/16
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan (attached)
 - 2. Proposed East Elevations – Phase 1 & 2 (attached)
 - 3. Canopy & Sign Details and Elevations (attached)
 - 4. Existing East Elevation & Storefront details and sections
 - 5. Enlarged plan
 - 6. Roof Plan & Elevation (attached)
 - 7. Window cutsheet
 - 8. Light Fixtures Cutsheets
 - 9. Mechanical Unit Cutsheets
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Plan Review Section of BDS
- F. Correspondence:
- G. Other:
 - 1. Original LU Application
 - 2. Incomplete Letter dated 1/21/16
 - 3. 120- day extension form signed 3/17/16
 - 4. 120- day extension form signed 4/13/16




The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



ZONING



This site lies within the:
CENTRAL CITY PLAN DISTRICT
DOWNTOWN SUBDISTRICT
YAMHILL HISTORIC DISTRICT

-  Site
-  Recreational Trails
-  Historic Landmark

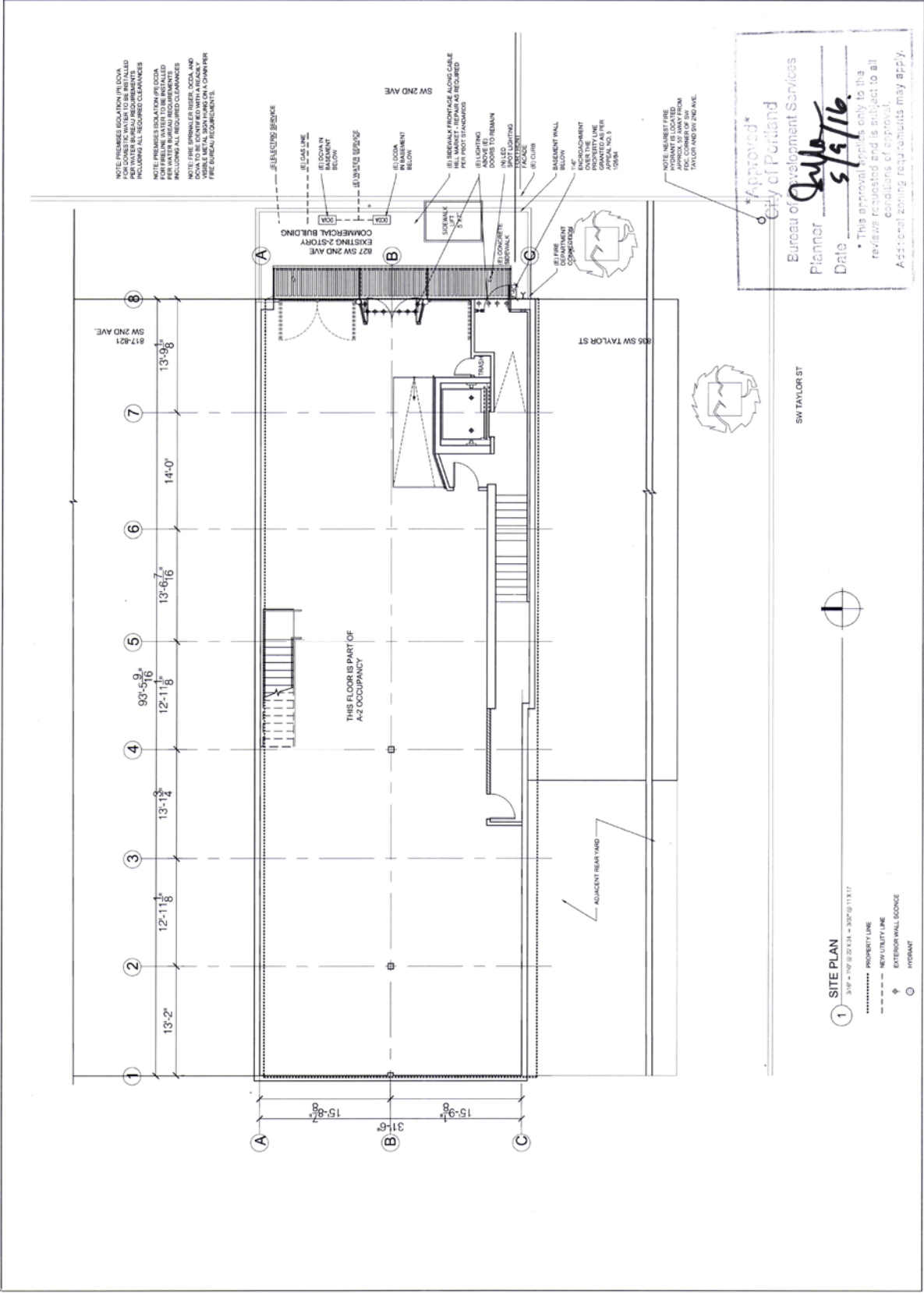
File No.	LU 15-280287 HR
1/4 Section	3129
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Exhibit	B (Dec 29, 2015)

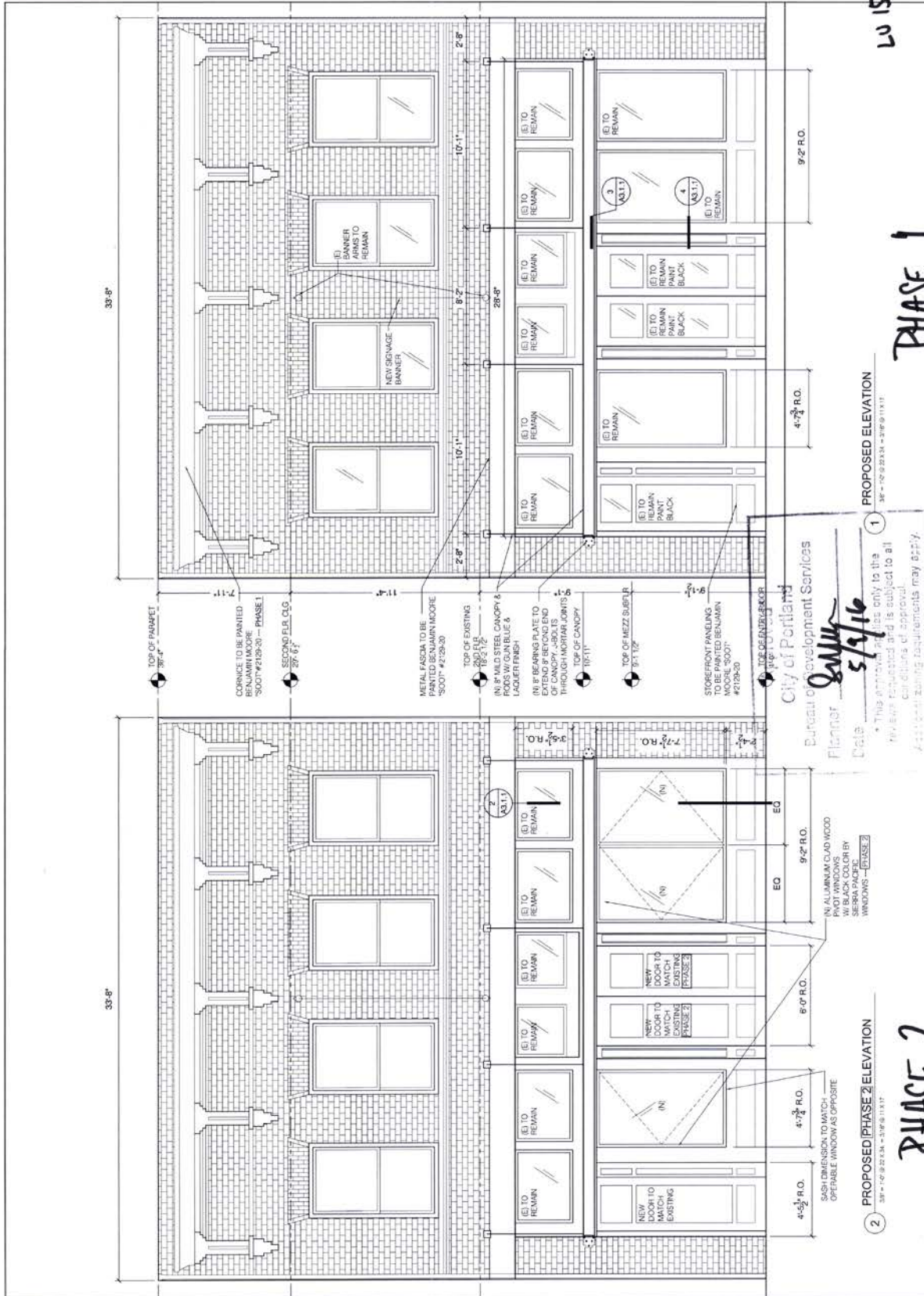


SCALE: AS NOTED

SITE PLAN

EX C-1







CABLE HILL MARKET
327 SW 2ND AVE
PORTLAND, OR 97204

SCALE: AS NOTED

CANOPY DETAILS &
ELEVATIONS

A3.1

EX. C-3

