



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Dan Saltzman, Commissioner
Paul L. Scarlett, Director
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TTY: (503) 823-6868
www.portlandoregon.gov/bds

Date: May 25, 2016
To: Interested Person
From: Jeff Mitchem, Land Use Services
503-823-7011 / Jeffrey.Mitchem@portlandoregon.gov

NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 15-280264 DZM **MAJOR BUILDING REMODEL – KEYS CAFE**

GENERAL INFORMATION

Applicant: Alley Rally Inc
1232 SE Belmont St
Portland, OR 97214

Representative: Ben Hufford | Design Department Architecture
208 SW Stark St #200
Portland, OR 97204

Site Address: 533 NE KILLINGSWORTH ST
Legal Description: BLOCK 1 LOT 21, CLOVERDALE TR
Tax Account No.: R166700410
State ID No.: 1N1E14CC 18600
Quarter Section: 2431
Neighborhood: King, contact Leigh Rappaport at 503-490-8388.
Business District: North-Northeast Business Assoc, contact Joice Taylor at 503-841-5032.
District Coalition: Northeast Coalition of Neighborhoods, contact Zena Rockowitz at 503-388-9030.

Plan District: None
Zoning: CG dh, General Commercial with Design and Aircraft Landing Overlay Zones

Case Type: DZM, Design Review with a Modification
Procedure: Type II, an administrative decision with appeal to the Design Commission.

PROPOSAL:

Major remodel of an existing building resulting in the demolition of 1,755 square feet of floor area and new construction totaling 2,890 square feet on a 4,500 square-foot site. Key components of the proposed work are:

- Demolition of approximately 1,700 square feet of existing structure;

- Retention of the street-facing façade (red brick) including steel canopy and steel letter (“KEYS”) mounted to wall;
- Construction of new floor area approximately 2,890 square feet;
- Install two new insulated glass-panel aluminum roll-up doors facing interior courtyard;
- Install new aluminum storefront system (person doors and windows);
- Install new courtyard (approximately 1,200 square feet) – flagstone and scored concrete surface, slatted IPE bench seating, concrete planters;
- Install new 6’ high steel fencing (<50% site obscuring) at property line;
- Install new siding – vertically oriented cedar tongue and groove (stained finish to compliment red brick front façade), Hardie plank lap siding on end wall not visible from street;
- Install new standing seam metal roof and aluminum parapet flashing cap (painted black); and,
- Install new short-term bike parking (2 required, 4 proposed).

A **Modification** is required to Maximum Building Setback (33.130.215) requiring that at least 50% of the length of the ground level street-facing façade of the building must be within the maximum setback of 10’. The renovated building is proposed retain its existing setback of approximately 15’ to accommodate outdoor seating (replacing parking).

RELEVANT APPROVAL CRITERIA:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant criteria are:

- Community Design Guidelines
- 33.825.040, Modifications that will Better Meet Design Review Requirements

ANALYSIS

Site and Vicinity: This site is located approximately 6-blocks north of the Albina Community Plan District near the intersection of NE Martin Luther King Jr Blvd and NE Killingsworth which is well-served by public transit. The project site occupies a transitional zone between older single-family homes to the south and to the east and commercial development directly west and north. The site is two blocks north of the higher-density zoning, Central Employment zone (EXd) with design overlay, running south on NE Martin Luther King Jr Blvd. This north-south higher density zone is being developed over time with a mix of large and medium-scaled multi-use buildings that incorporate a number of different architectural styles and exterior finish materials. The subject site is zoned General Commercial (CGdh) with design and height overlays and serves as a transition from the higher intensity uses along NE Martin Luther King Jr Blvd and the residential uses to the south and east.

Zoning: The commercial zones implement the commercial policies and plan map designations of the Comprehensive Plan. The zones are for areas of the City designated by the Comprehensive Plan for commercial uses. The differences in the zones reflect the diversity of commercial areas in the City. The zones are distinguished by the uses allowed and the intensity of development allowed. Some of the zones encourage commercial areas that are supportive of surrounding residential areas, while other zones allow commercial areas which have a community or regional market. The regulations promote uses and development which will enhance the economic viability of the specific commercial district and the city as a whole. In general, a wide range of uses is allowed in each zone. Limits on the intensity of uses and the development standards promote the desired character for the commercial area. The development standards are designed to allow a large degree of development flexibility within parameters which support the intent of the specific zone. In addition, the regulations provide certainty to property owners, developers, and neighbors about the limits of what is allowed.

The General Commercial (CG) zone is intended to allow auto-accommodating commercial development in areas already predominantly built in this manner and in most newer commercial areas. The zone allows a full range of retail and service businesses with a local or

regional market. Industrial uses are allowed but are limited in size to avoid adverse effects different in kind or amount than commercial uses and to ensure that they do not dominate the character of the commercial area. Development is expected to be generally auto-accommodating, except where the site is adjacent to a transit street or in a Pedestrian District. The zone's development standards promote attractive development, an open and pleasant street appearance, and compatibility with adjacent residential areas. Development is intended to be aesthetically pleasing for motorists, transit users, pedestrians, and the businesses themselves.

The “d” overlay promotes the conservation and enhancement of areas of the City with special historic, architectural or cultural value. New development and exterior modifications to existing development are subject to design review. This is achieved through the creation of design districts and applying the Design Overlay Zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. In addition, design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

The “h” overlay limits the height of structures and vegetation in the vicinity of the Portland International Airport; a height contour map is available for review in the Development Services Center.

Land Use History: City records indicate there are no prior land use reviews for this site.

Agency Review: A *Notice of Proposal in Your Neighborhood* was mailed **March 24, 2016**. The following Bureaus have responded with no issues or concerns:

- Bureau of Environmental Services (Exhibit E.1)
- Water Bureau (Exhibit E.2)
- Fire Bureau (Exhibit E.3)
- Life-Safety Plans Examiner (Exhibit E.4)
- Portland Bureau of Transportation (Exhibit E.5)

Neighborhood Review: A *Notice of Proposal in Your Neighborhood* was mailed on **March 24, 2016**. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

Chapter 33.825 Design Review

Section 33.825.010 Purpose of Design Review

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

Section 33.825.055 Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

Findings: The site is designated with design overlay zoning (d), therefore the proposal requires Design Review approval. Because of the site's location, the applicable design guidelines are the Community Design Guidelines.

Community Design Guidelines

The Community Design Guidelines consist of a set of guidelines for design and historic design cases in community planning areas outside of the Central City. These guidelines address the unique and special characteristics of the community plan area and the historic and conservation districts. The Community Design Guidelines focus on three general categories: **(P) Portland Personality**, which establishes Portland's urban design framework; **(E) Pedestrian**

Emphasis, which states that Portland is a city for people as well as cars and other movement systems; and **(D) Project Design**, which assures that each development is sensitive to both Portland's urban design framework and the users of the city.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

P1. Plan Area Character. Enhance the sense of place and identity by incorporating site and building design features that respond to the area's desired characteristics and traditions.

E3. The Sidewalk Level of Buildings. Create a sense of enclosure and visual interest to buildings along sidewalks and pedestrian areas by incorporating small scale building design features, creating effective gathering places, and differentiating street level facades.

E5. Light, Wind, and Rain. Enhance the comfort of pedestrians by locating and designing buildings and outdoor areas to control the adverse effects of sun, shadow, glare, reflection, wind, and rain.

D2. Main Entrances. Make the main entrances to houses and buildings prominent, interesting, pedestrian accessible, and transit-oriented.

Findings for P1, E3, E5, and D2: The proposal responds to the area's desired characteristics and blends into the neighborhood by:

- Protecting trees in the public right of way. The proposal will protect the existing street tree located along NE Killingsworth St.
- Expanding the pedestrian realm. The proposed improvements include the removal of an existing parking lot which is proposed to be replaced with a courtyard for seating, landscaping and planters.
- Restoring active use. The proposal aims to restore active, street-level retail use at this location, typical of the lively street-car era commercial district.
- Revitalizing the building. A revitalized entry and new operable storefront will reinvigorate the streetscape.
- Providing visual interest to pedestrian areas by increasing views into an active retail space and will better activate the frontage.
- Maintaining a large steel canopy to protect the pedestrian and further signify the main entry.

These alterations will enhance the visual interest from the sidewalk and provide an inviting, safe pedestrian area between the street and the main entrance. *These guidelines are met.*

D1. Outdoor Areas. When sites are not fully built on, place buildings to create sizable, usable outdoor areas. Design these areas to be accessible, pleasant, and safe. Connect outdoor areas to the circulation system used by pedestrians.

D3. Landscape Features. Enhance site and building design through appropriate placement, scale, and variety of landscape features.

D4. Parking Areas and Garages. Integrate parking in a manner that is attractive and complementary to the site and its surroundings. Locate parking in a manner that minimizes negative impacts on the community and its pedestrians. Design parking garage exteriors to visually respect and integrate with adjacent buildings and environment.

Findings for D1, D3 and D4: The proposal incorporates a 1,200 square-foot plaza that connects outdoor areas to the pedestrian circulation system, and enhances the pedestrian realm by:

- The addition of a new 1,200 square-foot plaza allows direct pedestrian connections between the public and private realm. These alterations not only add to the visual interest of the landscape area, they also serve to better connect the retail space to the pedestrian circulation system;
- The contribution of additional active public space will be an asset for the NE Killingsworth streetscape featuring café spill-out, seating and landscape features; and,
- The removal of an existing surface parking on-site, minimizing the negative impacts of parking on pedestrian circulation to the main entry.

These guidelines are met.

D5. Crime Prevention. Use site design and building orientation to reduce the likelihood of crime through the design and placement of windows, entries, active ground level uses, and outdoor areas.

Findings: The proposal reduces the likelihood of crime through its design by:

- Renovating the glazed storefront windows and doors to the front elevation of the existing building along NE Killingsworth St;
- Adding new glazed roll-up doors to the courtyard; and
- Providing additional site lighting.

Together, these features increase the amount of views into and out of active space which increase safety through surveillance.

This guideline is met.

D6. Architectural Integrity. Respect the original character of buildings when making modifications that affect the exterior. Make additions compatible in scale, color, details, material proportion, and character with the existing building.

D7. Blending into the Neighborhood. Reduce the impact of new development on established neighborhoods by incorporating elements of nearby, quality buildings such as building details, massing, proportions, and materials.

D8. Interest, Quality, and Composition. All parts of a building should be interesting to view, of long lasting quality, and designed to form a cohesive composition.

Findings for D6, D7 and D8: The proposal respects the original character of the building, and presents a quality, cohesive composition by:

- Retaining the scale and massing of the original 1929 building, while the new storefront windows help to enhance the commercial character by providing additional connection to the street;
- Screening of rooftop mechanical units with cedar slats to match cladding on west elevation;
- Adding additional new storefront entry into the courtyard from the retail space and providing improved connections to adjacent public right-of-way;
- Reusing of this existing single-story building contributes to preserving the smaller-scale street-car commercial character of development on NE Killingsworth St;
- Preserving the front façade and cladding material (red brick) employs a contextually relevant, durable solution in this urban environment that is also consistent with the masonry character of vicinity buildings; and,
- Sparing use of Hardie plank lap siding limited to end-wall not visible from the street.

These guidelines are met.

33.825.040 Modifications That Will Better Meet Design Review Requirements

The review body may consider modification of site-related development standards, including the sign standards of Chapters 32.32 and 32.34 of the Sign Code, as part of the design review process. These modifications are done as part of design review and are not required to go through the adjustment process. Adjustments to use-related development standards (such as floor area ratios, intensity of use, size of the use, number of units, or concentration of uses) are required to go through the adjustment process. Modifications that are denied through design review may be requested as an adjustment through the adjustment process. The review body will approve requested modifications if it finds that the applicant has shown that the following approval criteria are met:

- A. **Better meets design guidelines.** The resulting development will better meet the applicable design guidelines; and
- B. **Purpose of the standard.** On balance, the proposal will be consistent with the purpose of the standard for which a modification is requested.

Modification – Maximum Building Setback (33.130.215). This standard requires that at least 50% of the length of the ground level street-facing façade of the building must be within

the maximum setback of 10'. The renovated building is proposed retain its existing setback of approximately 15' to accommodate outdoor seating.

Purpose. The required building setbacks promote streetscapes that are consistent with the desired character of the different commercial zones. The CN1, CM, CS, and CX setbacks promote buildings close to the sidewalk to reinforce a pedestrian orientation and built-up streetscape. The setback requirements for areas that abut residential zones promote commercial development that will maintain light, air, and the potential for privacy for adjacent residential zones. The setback requirements along transit streets and in Pedestrian Districts create an environment that is inviting to pedestrians and transit users.

A. *Better meets design guidelines.* *The resulting development will better meet the applicable design guidelines; and*

Findings: Maintaining the setback of the existing façade allows for an expanded public realm to counteract the auto-orientation of this segment of NE Killingsworth St. The proposal removes vehicle area between the building and the street and, in its place, provides an additional six feet of landscaping and seating area. These features better meet *E3 The Sidewalk Level of Buildings, D1 Outdoor Areas, and D3 Landscape Features*. The expanded public space abutting the sidewalk buffers and enhances the site and building design by:

- Removing an existing parking lot which is proposed to be replaced with a courtyard for seating, landscaping and planters;
- Restoring active, street-level retail use at this location, typical of the lively street-car era commercial district;
- Revitalizing the original entry and adding new operable storefront oriented to the courtyard;
- Providing visual interest to pedestrian areas by increasing views into an active retail space and will better activate the frontage.
- Maintaining a large steel canopy to protect pedestrians and further signify the main entry.

These alterations will enhance the visual interest from the sidewalk and provide an inviting pedestrian area between the street and the main entrance. *This criterion is met.*

B. *Purpose of the standard.* *On balance, the proposal will be consistent with the purpose of the standard for which a modification is requested.*

Findings: The purpose of the required building setbacks promotes streetscapes that are consistent with the desired character of the different commercial zones. Within this commercial area (a Major Transit Priority Street), the setback requirements along transit streets create an environment that is inviting to pedestrians and transit users.

Maintaining the existing building's setback of approximately 15' while also replacing existing on-site parking area between the building and the street, effectively doubles the sidewalk corridor for the building's entire frontage on NE Killingsworth St. Additional features – seating, landscaping and canopy cover – combine to create an environment welcoming to pedestrians and transit users. *The purpose of the standard is met and the guidelines are better met, therefore, this modification merits approval.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received a Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The design review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. The proposal maintains a character defining brick clad front facade of the original structure and substantially enhances the public realm with active spill-out use. All the applicable design guidelines are met and therefore the proposal warrants approval.

ADMINISTRATIVE DECISION

Approval of a remodel of an existing building resulting in the demolition of 1,755 square feet of floor area and new construction totaling 2,890 square feet and a courtyard of approximately 1,200 square feet, per the approved site plans, Exhibits C-1 through C-10, signed and dated May 23, 2016, subject to the following conditions:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.10. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 15-280264 DZM. No field changes allowed."

Staff Planner: Jeff Mitchem

Decision rendered by:  **on May 23, 2016**
By authority of the Director of the Bureau of Development Services

Decision mailed: May 25, 2016

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on December 22, 2015, and was determined to be complete on March 22, 2016.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on December 22, 2015.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: July 20, 2016.**

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project

elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Design Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on June 8, 2016** at 1900 SW Fourth Ave. Appeals can be filed at the Development Services Center Monday through Wednesday and Fridays between 8:00 am to 3:00 pm and on Thursdays between 8:00 am to 12:00 pm. After 3:00 pm Monday through Wednesday and Fridays, and after 12:00 pm on Thursdays, appeals must be submitted at the reception desk on the 5th floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Design Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Design Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed,* The final decision may be recorded on or after **June 9, 2016**.
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- **By Mail:** Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- **In Person:** Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder’s office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

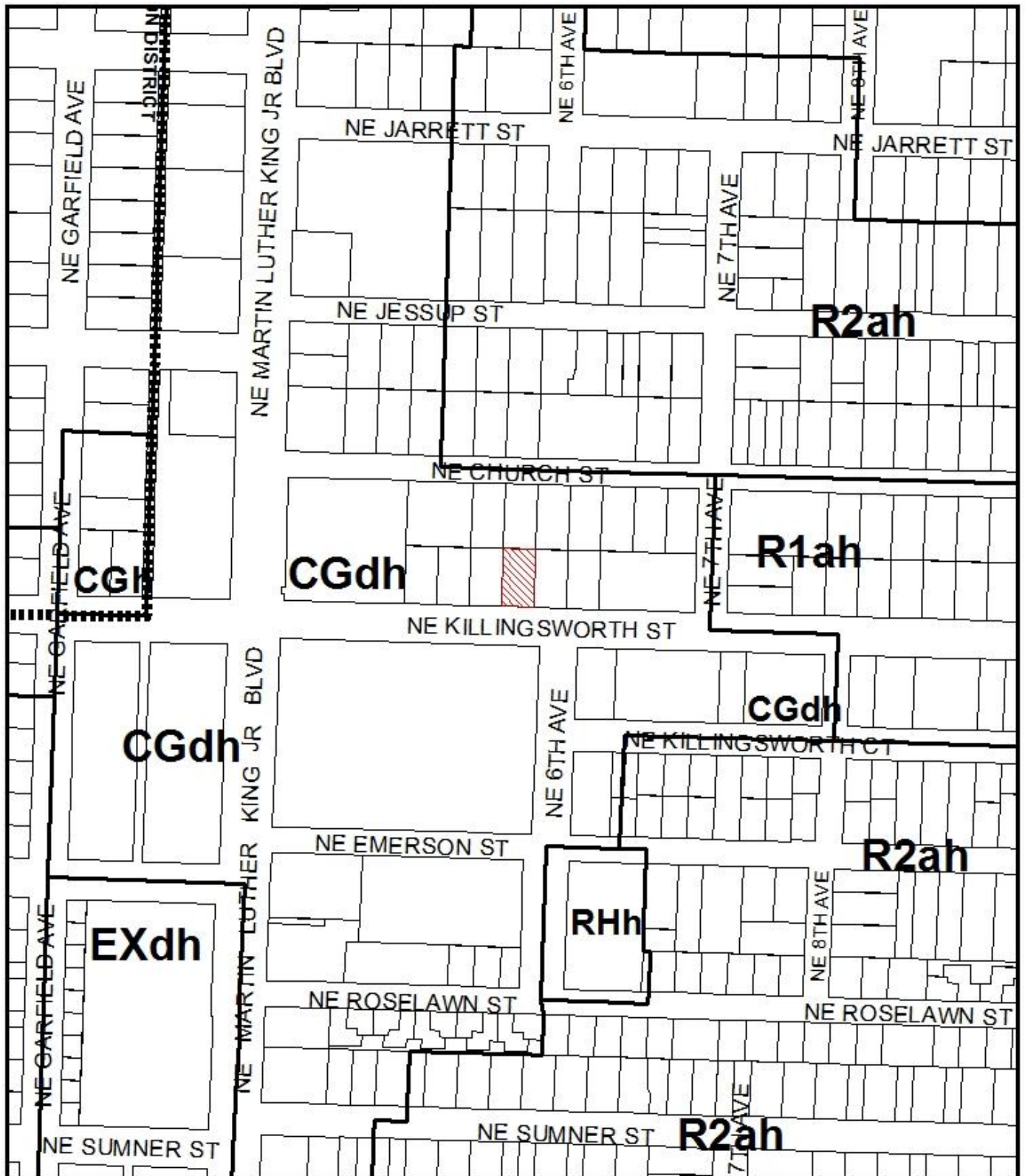
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
 - 1. Narrative
 - 2. Storm Report
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Design Review Drawing Set (Sheet C.1-C.10)
 - Sheet 4 Patio Landscape Plan (attached)
 - Sheet 6 Elevations (attached)
 - 11. Manufacture's Cutsheets
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Bureau of Environmental Services
 - 2. Water Bureau
 - 3. Fire Bureau
 - 4. Life-Safety Plans Examiner
 - 5. Portland Bureau of Transportation
- F. Correspondence: None
- G. Other:
 - 1. Original LU Application
 - 2. Incomplete Letter
 - 3. Response to Incomplete Letter

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



ZONING

 Site



File No. LU 15-280264 DZM
 1/4 Section 2431
 Scale 1 inch = 200 feet
 State_Id 1N1E14CC 18600
 Exhibit B (Mar 21, 2016)

GENERAL NOTES

1. THE GENERAL CONTRACT FOR CONSTRUCTION, AA DOCUMENT 201, WHICH MAY BE OBTAINED IN THE OFFICE OF THE GENERAL CONTRACTOR, IS A PART OF THE DOCUMENTS FURNISHED HEREIN.
2. THESE CONSTRUCTION DOCUMENTS SET MINIMUM STANDARDS. DO NOT SCALE THE DRAWINGS. NOTIFY THE GENERAL CONTRACTOR IMMEDIATELY IN WRITING IF YOU DISCOVER ANY DISCREPANCIES OR OMISSIONS. YOU WILL BE RESPONSIBLE FOR ANY COSTS INCURRED BY THE GENERAL CONTRACTOR IN ORDER TO CORRECT ANY SUCH DISCREPANCIES OR OMISSIONS.

- [illegible]

ALL WORK PERFORMED, INCLUDING MATERIALS FURNISHED, WORKMANSHIP, MEANS AND METHODS OF CONSTRUCTION, SHALL CONFORM TO THE 2010 OREGON STRUCTURAL SPECIALTY CODE, ALL OTHER NATIONAL, STATE AND LOCAL BUILDING CODES AND ALL THE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND GENERAL CONDITIONS OF APPLICABLE OWNER/CONTRACTOR AGREEMENT.



ABBREVIATIONS

2. AND
3. MALE
4. AT
5. CENTERLINE
6. DIAMETER
7. PLUS OR MINUS
8. DEGREE
9. POINTS OR MINUTES
10. EXTENDING
11. NEW
12. FACE OF
13. LARGEST
14. LOAD FACTOR
15. OCCUPANTS
16. SQUARE FEET
17. WATER CLOSURE

GENERAL USE SYMBOLS

SHEET INDEX

001	GENERAL NOISE
002	SITE & BROW
003	STREET/CONCRETE
A00	PAVING & LAMIN
A10	EXTENSION AND
A11	EXTENSION ELEVE
A12	DRAINAGE EXTER
A13	PAVING DETAILS
A14	EXTENSION WATER
A15	WINDOW AND D

PROJECT DIRECTORY

ALTY REALTY INC.
1332 E. BROADWAY STREET
PERMANENT, OREGON 97131

TENANT ARCHITECT

DEAN SWEINART ARCHITECTURE LLC
206 E. COLUMBIA STREET SUITE 300
PERMANENT, OR 97134
503.318.1513

ment Services

W. J. J. J.

requested and is subject
ments may apply

LUR RESPONSE, LU 15-280264DZ
03.18.2016



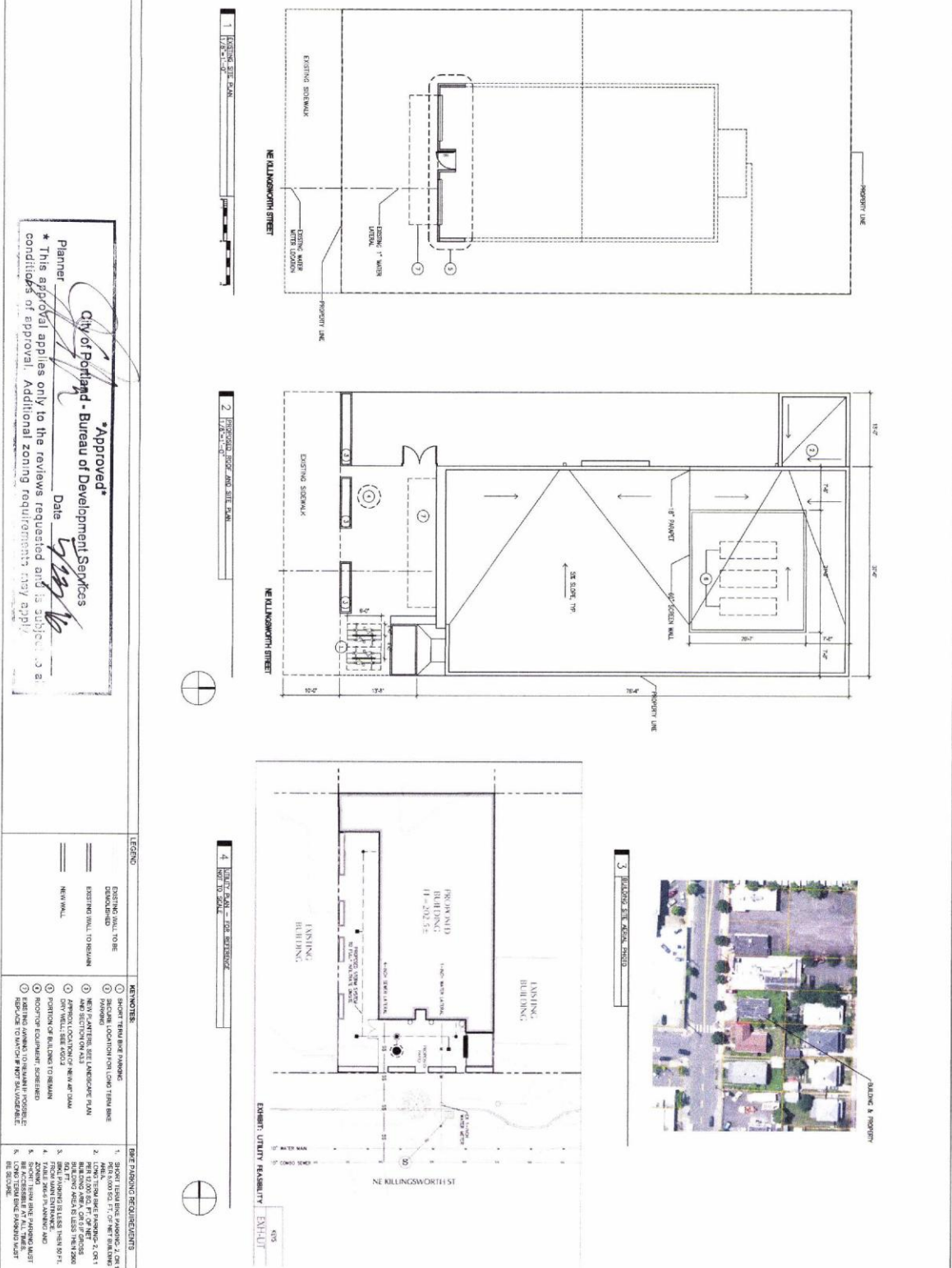
208 SW STARK #200
Portland OR 97204
503.819.8153

DESIGN DEPARTMENT

STATE OF OREGON
HONORABLE CLERK

REGISTRATION

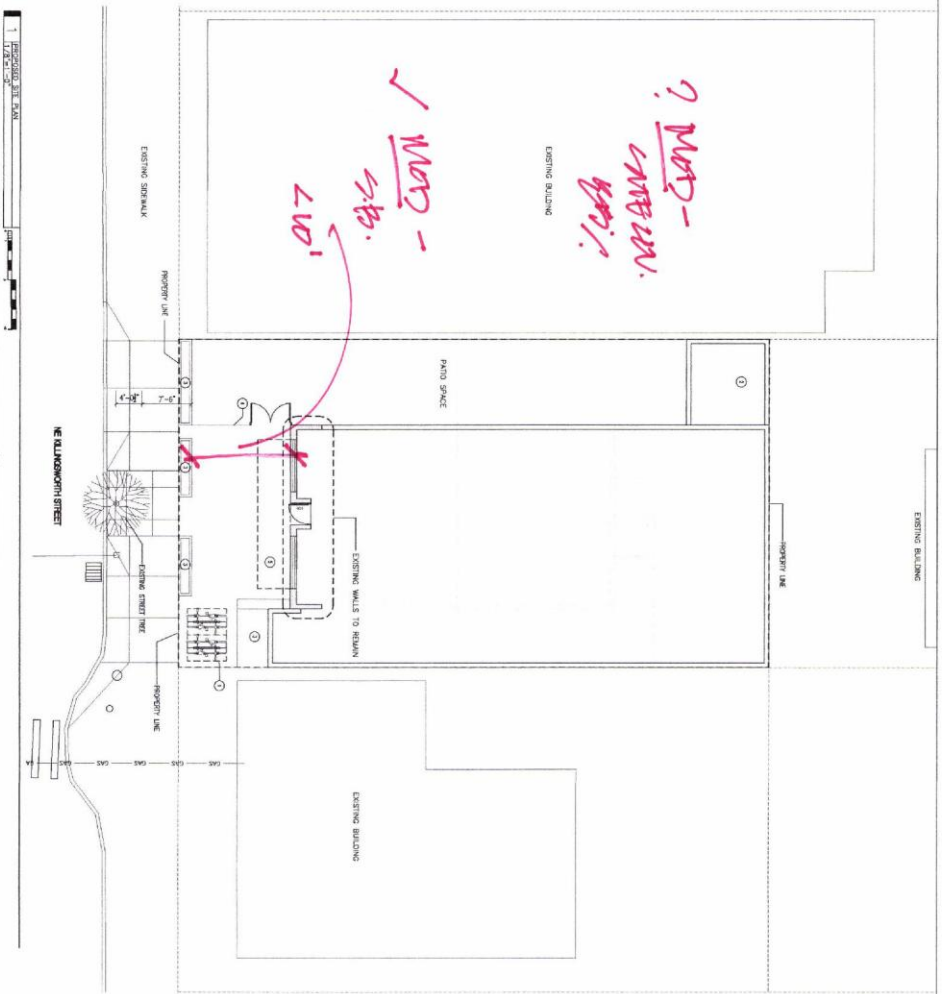
ERED APR.



City of Portland - Bureau of Development Services
 Approved: _____
 Date: 03/18/2016
 * This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

<p>LEGEND</p> <p>EXISTING BUILDING TO BE DEMOLISHED</p> <p>EXISTING BUILDING TO REMAIN</p> <p>NEW BUILDING</p>	<p>NOTES</p> <p>1. SHOWN LOCATION FOR NEW BUILDING</p> <p>2. NEW BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF PORTLAND ZONING ORDINANCE</p> <p>3. NEW BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF PORTLAND ZONING ORDINANCE</p> <p>4. NEW BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF PORTLAND ZONING ORDINANCE</p>	<p>PERMITS REQUIRED</p> <p>1. BUILDING PERMIT</p> <p>2. ELECTRICAL PERMIT</p> <p>3. MECHANICAL PERMIT</p> <p>4. PLUMBING PERMIT</p>	<p>KEYS</p> <p>S33 NE KILLINGSWORTH AVENUE PORTLAND OREGON 97211</p>	<p>DESIGN</p> <p>200 SW STARK/4200 PORTLAND, OR 97204 503.525.9133</p>	<p>REGISTERED ARCHITECT</p> <p>STATE OF OREGON</p>	<p>DESIGN</p> <p>200 SW STARK/4200 PORTLAND, OR 97204 503.525.9133</p>	<p>DESIGN</p> <p>200 SW STARK/4200 PORTLAND, OR 97204 503.525.9133</p>
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$\frac{1}{2} \text{ mol}^{-1}$
 $\frac{1}{2} \text{ mol}^{-1}$



Approved
City of Portland - Bureau of Development Services
Planner _____ Date 5/22/06
This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

- [illegible]



2	BUILDING SITE AERIAL PHOTO
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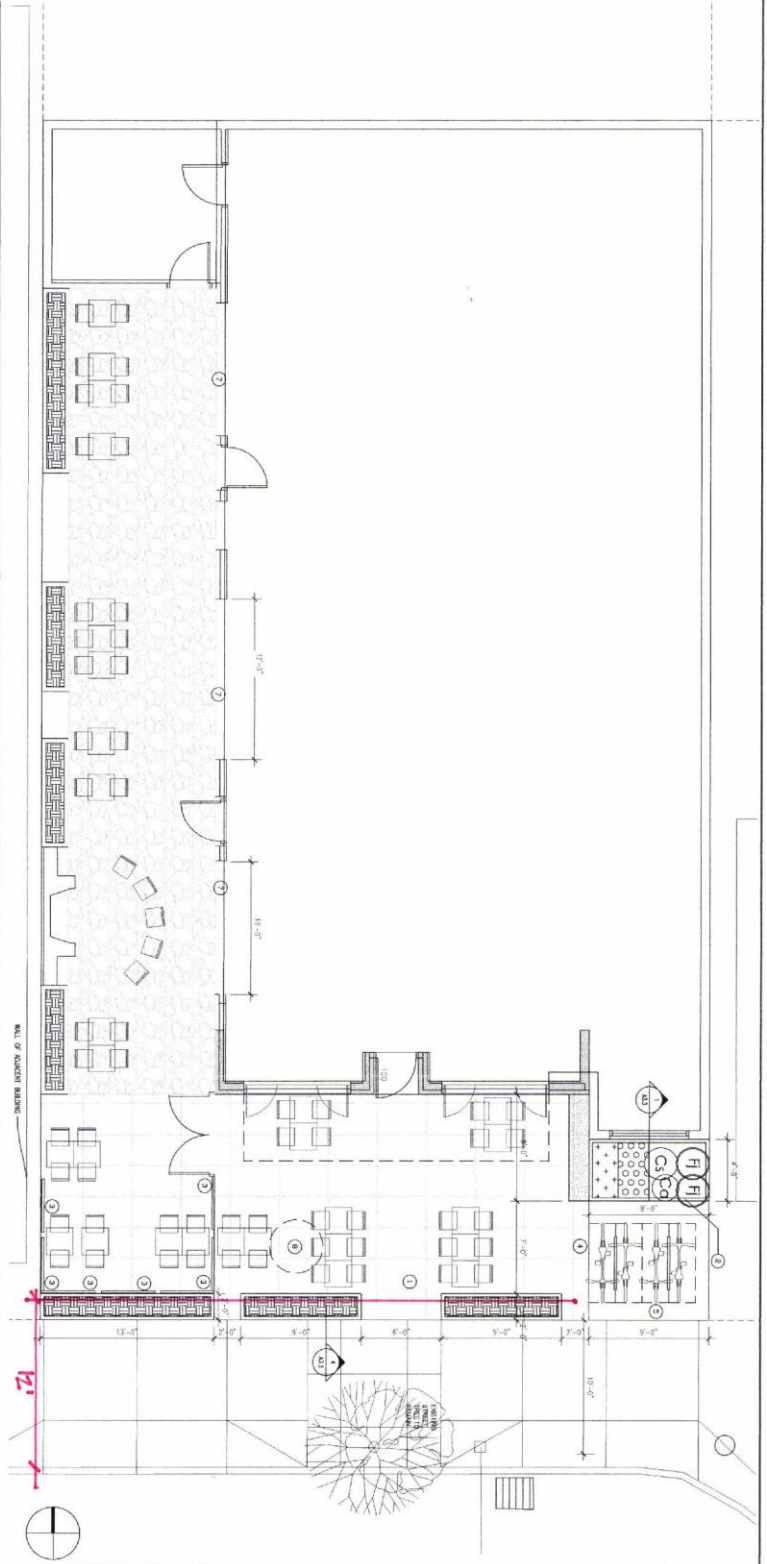
KEYS
533 NE KILLINGSWORTH AVENUE
PORTLAND OREGON 97211

LUR RESPONSE, LU 15-280264DZ
03.18.2016

DESIGN
DEPARTMENT

208 SW STARK #200
Portland OR 97204
503.879.8153

2. Method



Approved
City of Portland - Bureau of Development Services
Planner _____ Date 4/29/14
* This approval applies only to the reviews requested and is not valid under any other conditions of approval. Additional zoning requirements may apply.

[illegible]

PLANTING LEGEND			
SYL	SCIENTIFIC NAME	SIZE	QTY
COMMON NAME			
SHRUBS AND GRASSES			

KEYS
533 NE KILLINGSWORTH AVENUE
PORTLAND OREGON 97211

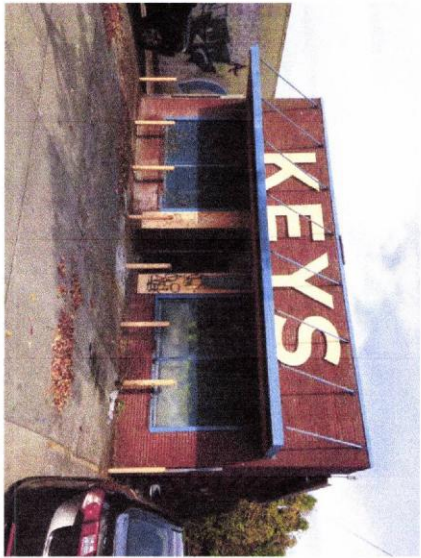
LUR RESPONSE, LU 15-280264DZ
03.18.2016



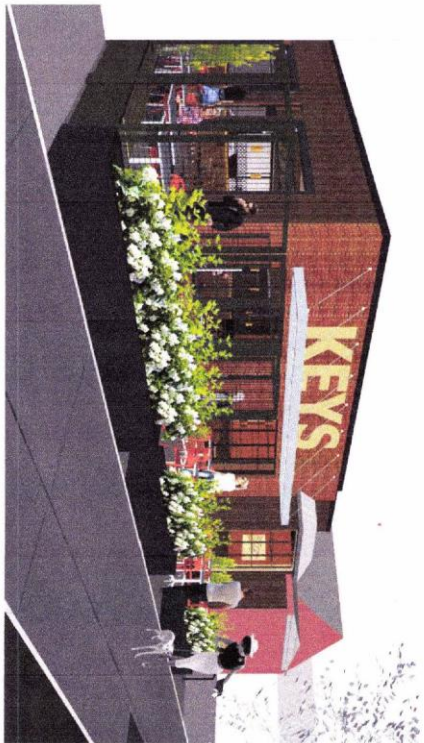
REGISTERED ARCHITECTS
BOARD OF OREGON
BENJAMIN H. JENNINGS
PORTLAND, OREGON

DESIGN
DEPARTMENT

208 SW STARK #200
Portland OR 97204
503.819.8153



1 EXISTING BUILDING, STREET ELEVATION



2 NEW BUILDING, SOUTH ELEVATION



3 NEW BUILDING, SOUTH ELEVATION

City of Portland - Bureau of Development Services
Planner
* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.
Date
Signature

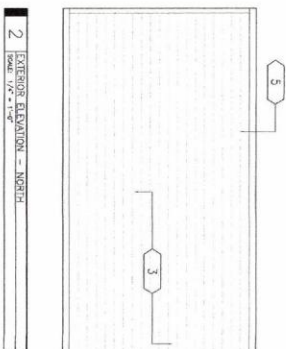
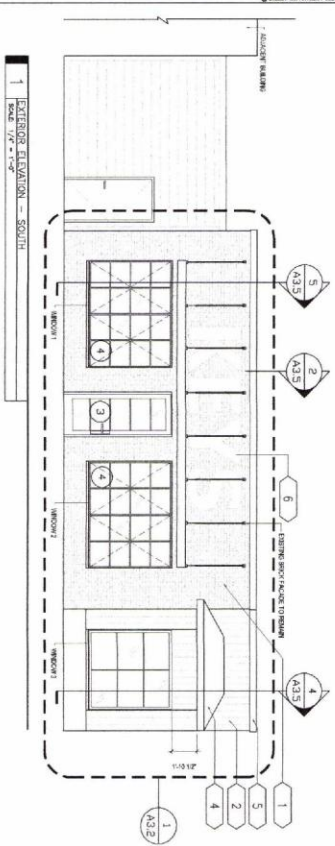
KEYS
533 NE KILLINGSWORTH AVENUE
PORTLAND OREGON 97211

LUR RESPONSE, LU 15-280264DZ
03.18.2016

DESIGN
208 SW 5TH AVE #220
PORTLAND, OR 97204
503.519.8153



03.18.2016
2015-300
HARTFORD
EXTERIOR VIEWS
SCALE
NTS



1 EXTERIOR ELEVATION - SOUTH
Scale: 1/4" = 1'-0"

2 EXTERIOR ELEVATION - NORTH
Scale: 1/4" = 1'-0"

EXTERIOR MATERIALS

- 1 EXISTING RED BRICK TO REMAIN
- 2 WOOD SIDING: DISCERN LUMBER 1x1x6 OR 1x8 OR 1x10, VERTICAL OR HORIZONTAL, MATCHING EXISTING OR NEW, ARBOR COAT SPANISH MOSS OR MATCHING
- 3 GEMENT HORIZONTAL SIDING: HARDIE PLANK (MATCH EXISTING OR NEW, ARBOR COAT SPANISH MOSS OR MATCHING TO MATCH WOOD SIDING NOTE: NOT VISIBLE FROM STREET)
- 4 ROOF: STANDING SEAM METAL ROOF, CLASSIC METAL ROOFING SYSTEMS OR SIMILAR, CHARCOAL, USE MATCHING EDGE TRIM PIECES
- 5 PARAPET: ALUMINUM FLASHING CAP, BLACK
- 6 EXISTING STEEL LETTERS TO REMAIN

KEY NOTES

- 1 NEW INSULATED ALUMINUM GARAGE DOOR - WAVE DUTY FULL VIEW, STANDARD LIFT ROLL-UP DOOR - INSTALL WITH INSULATION, SEE 1A12 FOR MEET AND LEADAGE STANDARDS, SEE SHEET A3.3 FOR ADDITIONAL INFORMATION.
- 2 NEW ALUMINUM STOREFRONT DOOR WITH SINGLE GLASS PANEL, TRANSDOM ARBOR COAT SPANISH MOSS OR MATCHING DOOR, BLACK/DARK BRONZE ANODIZED.
- 3 NEW DOOR WITH GLASS PANELS, MILLIONS SYSTEMS, SEE 1A12.
- 4 REPLACE WINDOWS IN EXISTING OPENING AT FRONT FACADE, SEE 1A12.

KEYS
533 NE KILLINGSWORTH AVENUE
PORTLAND OREGON 97211

DATE: 03.18.2016
PROJECT NO: 2015-300
DRAWING NO: 2015-300
SHEET NO: 2015-300
DRAWING NO: 2015-300
SHEET NO: 2015-300
DRAWING NO: 2015-300
SHEET NO: 2015-300

DESIGNER: L. K.
SCALE: 1/4" = 1'-0"

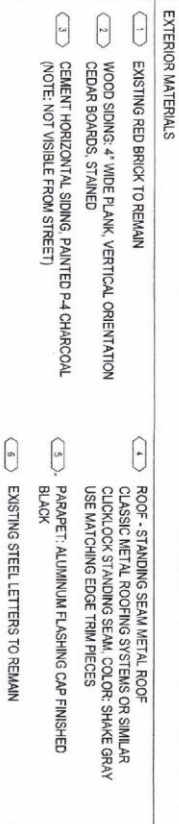
DESIGN REVIEW

REGISTERED ARCHITECT
LUR RESPONSE, LU 15-280264DZ
03.18.2016
DESIGN
CLEARANCE
FOR THE CITY OF PORTLAND
503.519.8153

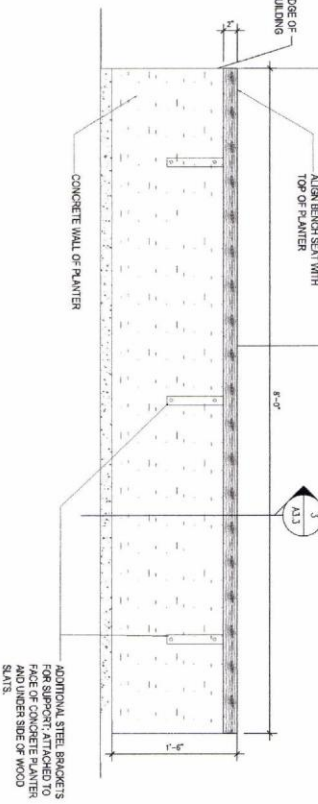
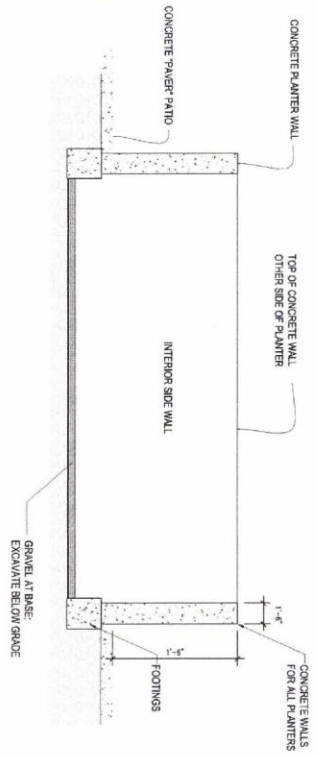
Approved
City of Portland - Bureau of Development Services
Planner
* This approval applies only to the revisions and conditions of approval. Professional stamp, date, and signature required.
Date: 3/18/2016
Signature: [Signature]



4 EXTERIOR ELEVATION - WEST
Scale: 1/4" = 1'-0"

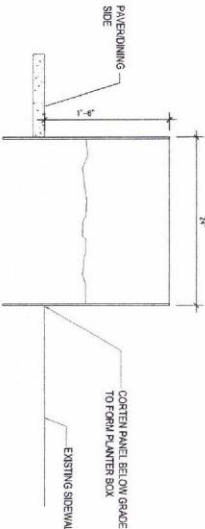


03.18.2016 PROJECT NO. 2015-300 ADDRESS 533 NE KILLINGSWORTH AVENUE PORTLAND OREGON 97211 SHEET TITLE STREETS ELEVATION DETAIL 03.18.2016 DATE 6-7	KEYS 533 NE KILLINGSWORTH AVENUE PORTLAND OREGON 97211	LUR RESPONSE, LU 15-200264DZ 03.18.2016	 REGISTERED ARCHITECT DAVID A. SMITH STATE OF OREGON LICENSE NO. 12567 EXPIRATION DATE 12/31/2016
	DESIGN REVIEW	208 SW STARK ST Portland OR 97204 503.678.9533 DUST MEIN	



1 SECTION: CONCRETE PATIO PLANTER

2 SECTION: BENCH AT CONCRETE PATIO PLANTER



3 SECTION: PATIO BENCH AT CONCRETE PLANTER

4 SECTION: CORTEN PLANTERS AT SIDEWALK

EXTERIOR LIGHTING IMAGES:



WALL SCONCE SOUTH AND WEST FACES, OUTDOOR SCENE 4\"/>



WALL SCONCE W/ LED LAMP AT SOUTH ENTRY, STEAMPUNK themed SCENE 1\"/>

WEST SIDE FACADE GARAGE DOORS:



WAYNE DUTTON GARAGE DOORS AT RAYONWEST SIZE FINISH COLOR: BLACK

GARAGE DOORS

WAYNE DUTTON ALUMINUM FULL-VIEW K&L FINISH: COLOR: ANODIZED - BLACK GLASS: CLEAR SIZE: AS NOTED ON PLANS MATERIAL: ALUMINUM FRAME TO MEET ENERGY CODE INCLUDE WEATHER SEAL

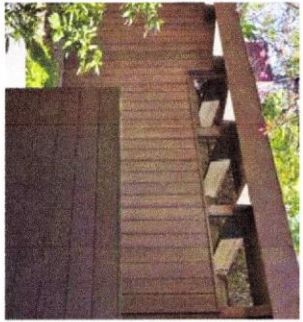
City of Portland - Bureau of Development Services
Planner: [Signature] Date: 5/22/16
* This approval applies only to the reviews requested on this submittal.
condition: As approved. Additional zoning review is required.

KEYS
533 NE KILLINGSWORTH AVENUE
PORTLAND OREGON 97211

LUR RESPONSE, LU 15-260264DZ
03.18.2016

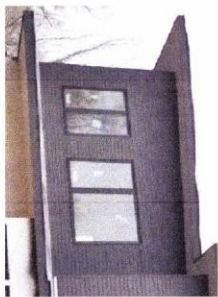
REGISTERED ARCHITECT
STATE OF OREGON
DESIGN
15-260264DZ
FOR SR. STAFF
03.18.2016

SCALE: 1/8\"/>



WOOD SIDING & COLOR RANGE

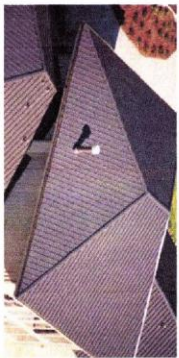
2



SHOWN FOR FORMAT, NOT SIZE

CEMENT BOARD HORIZONTAL SIDING

3



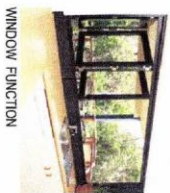
METAL ROOF SEAM STYLE

ROOF AT SE CORNER OF BUILDING & COLOR

4



DOOR STYLE (SIMILAR BUT BLACK)



WINDOW FUNCTION



FENCE PANELS & COLOR (BLACK)



WINDOW STYLE & COLOR (BLACK)

WINDOW & ENTRY DOOR

SOUTH FACADE WINDOWS 1 & 2:
OPERABLE "BI-FOLD" WINDOWS
MANUF: SIERRA PACIFIC
STYLE: BI-FOLD OUTSWING WINDOW
MATERIAL/FRAME: ALUMINUM CLAD
PUTTY PROFILE: 3/4" STYLE & PAINTS
FINISH COLOR: POWDER COAT 023
BLACK
SIZE: 8'-0" W X 8'-0" H

SOUTH FACADE WINDOW 3: FIXED
WINDOW
PICTURE WINDOW TO MATCH WINDOWS 1
& 2.
SAME PROFILE AND MATERIAL.

SOUTH FACADE ENTRY DOOR
MANUF: SIERRA PACIFIC
STYLE: COMMERCIAL DOOR W LITES
MATERIAL/FRAME: MATCH
WINDOWS/CLAD ALUM.
FINISH COLOR: MATCH WINDOWS/BLACK
SIZE: 3'-0" W X 8'-0" H
NOTE: CONTEMPORARY
HARDWARE/HANDLE STYLE, COLOR
DARK BRONZE

1 EXTERIOR MATERIALS

SCALE: NTS

Planner: *[Signature]* Date: *12/12/16*
City of Portland - Bureau of Development Services
* This approval is for review only to the reviewer requested and is subject to all
conditions of approval. Additional zoning requirements apply to all projects.

DATE: 03.18.2016
PROJECT NO: 2015-300
DESIGNED BY: [Blank]
CHECKED BY: [Blank]
APPROVED BY: [Blank]
SCALE: 1/4"

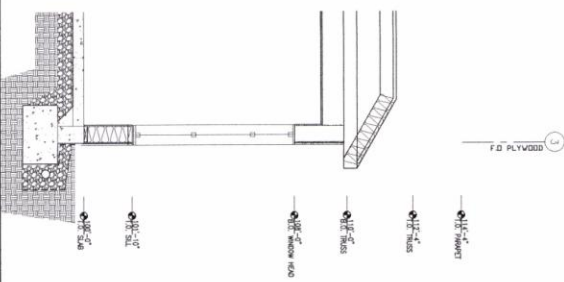
KEYS
533 NE KILLINGSWORTH AVENUE
PORTLAND OREGON 97211

LUR RESPONSE, LU 15-2802640Z
03.18.2016

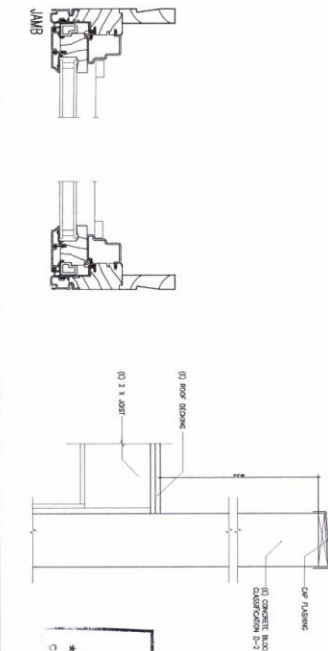
DESIGN
11 E. ADAMS ST.
PORTLAND, OR 97204
503.819.8153

REGISTERED ARCHITECT
JENNIFER HIGDON
PORTLAND, OR
STATE OF OREGON

4	WALL SECTION - CONCRETE SIDING
	$1/2" \times 1'-0"$



2	EXISTING PARAPET 1'-1-1/2"
---	-------------------------------



City of Portland - Bureau of Development Services

Planner _____ Date 5/23/16

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KEYS
533 NE KILLINGSWORTH AVENUE
PORTLAND OREGON 97211

LUR RESPONSE, LU 15-280264DZ
03.18.2016

208 SW STARK #200
Portland OR 97204
503.819.8153

DESIGN

6.10

DESIGN REVIEW