



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Inspection Services - Land Use Services**  
FROM CONCEPT TO CONSTRUCTION

Dan Saltzman, Commissioner  
Paul L. Scarlett, Director  
Phone: (503) 823-7300  
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[www.portlandoregon.gov/bds](http://www.portlandoregon.gov/bds)

**Date:** October 09, 2015  
**To:** Interested Person  
**From:** Arthur Graves, Land Use Services  
503-823-7803 | [Arthur.Graves@portlandoregon.gov](mailto:Arthur.Graves@portlandoregon.gov)

## **NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD**

The Bureau of Development Services has approved a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

### **CASE FILE NUMBER: LU 15-217076 DZ: EXTERIOR ALTERATIONS: ATM AND NIGHT DROP-BOX ADDITIONS**

#### **GENERAL INFORMATION**

**Applicant:** Ryan McCluckie | Scott Edwards Architecture LLP | 503.226.3617  
2525 E Burnside | Portland, OR 97214

**Owner:** Larry Ellifritz | Consolidated Community Credit Union  
2021 NE Sandy Blvd | Portland, OR 97232

**Site Address:** 1033 NE 6<sup>th</sup> Avenue

**Legal Description:** BLOCK 45 LOT 7&8, HOLLADAYS ADD  
**Tax Account No.:** R396200640  
**State ID No.:** 1N1E35BB 03400  
**Quarter Section:** 2931  
**Neighborhood:** Lloyd District Community, contact Michael Jones at 503-265-1568.  
**Business District:** Lloyd District Community Association, contact Gary Warren at 503-234-8271.

**Plan District:** Central City and Lloyd District (Sub District)  
**Zoning:** CXd: Central Commercial (CX) with design (d) overlay  
**Case Type:** DZ: Design Review  
**Procedure:** Type II, an administrative decision with appeal to the Design Commission.

#### **Proposal:**

The applicant seeks design review approval for alterations to exterior ground floor of the existing two story building within the Lloyd District Sub District of the Central City Plan District located at the intersection of NE Hassalo Street and NE 6<sup>th</sup> Avenue. The alterations are to the east elevation of the building, specifically to south most "bay", and include the installation of a new:

- ATM, approximately two (2) feet wide by two and a half (2.5) feet tall with metal panel surround.

- Steel canopy above (the ATM and night drop-box) with inset can lighting.
- Night Drop-Box adjacent to the ATM with Mechanical Louver above.
- Areas within the submittal other than the metal surround immediately adjacent to the ATM are proposed to be stucco to match existing.

Per Zoning Code Section 33.420.041.B, Design review is required since the proposal includes an exterior alteration to existing development.

**Relevant Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant criteria are:

- Central City Fundamental Guidelines
- Special Design Guidelines for the Design Zone of the Lloyd District of the Central City Plan

**ANALYSIS****Site and Vicinity:**

1033 NE 6<sup>th</sup> Avenue is a 10,000 square foot building constructed in 1948 and located in the Lloyd Center Sub-District of the Central City Plan District. The structure is a two story office building with structured parking accessed at the east elevation. This part of the Lloyd District is a mix of high-rise commercial office towers, surface parking lots, mid-rise hotels, and fast-food restaurants catering to a large number of commuters and conventioners. Other area attractions include the Convention Center which is directly across the SW corner of the site, the Rose Garden a few blocks to the west, and Lloyd Center Mall several blocks to the east.

The site is bordered by NE Holladay Street [Regional Transitway/Major Transit Priority Street, Central City Transit/Pedestrian Street, Local Service Bikeway, Minor Emergency Response Street] which also serves as the east-west MAX light rail line, NE Hassalo Street [Pedestrian Street, Local Service Bikeway, Minor Emergency Response Street], NE Grand Avenue [Major City Traffic Street, Major Transit Priority Street, Main Truck Street, Regional Main Street, City Walkway, City Bikeway, Major Emergency Response Street] which also serves as the north-south Portland Streetcar line, and NE 6<sup>th</sup> Avenue [City Walkway, Local Service Bikeway, Minor Emergency Response Street]. The site is also within the Lloyd District Pedestrian District.

The site is conveniently located close to multiple modes of transportation, including bus, light rail, and major highways. The Tri-Met Rose Quarter Transit Center, a major bus and light rail transfer location, is five blocks west of the project site. Stations for each of the four MAX light rail lines are also located within easy walking distance. Portland streetcar stops are located one block to the north along NE Grand Avenue. The site is also very close to both Interstate 5, Interstate 84, and bridges that cross the Willamette River.

**Zoning:**

The Central Commercial (CX) zone is intended to provide for commercial development within Portland's most urban and intense areas. A broad range of uses is allowed to reflect Portland's role as a commercial, cultural and governmental center. Development is intended to be very intense with high building coverage, large buildings, and buildings placed close together. Development is intended to be pedestrian-oriented with a strong emphasis on a safe and attractive streetscape.

The Design (d) overlay zone promotes the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. This is achieved through the creation of design districts and applying the Design overlay zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. In addition, Design Review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

**Land Use History:** City records indicate one prior land use reviews for this site.

- LU 97-015036 DZ (Reference File # LUR 97-00990): Design Review approval for exterior alterations to the building.

**Agency Review:** A “Notice of Proposal in Your Neighborhood” was mailed **September 10, 2015**. The following Bureaus responded:

- Bureau of Development Services Life Safety/Building Code Section: Nauman Quraishi, September 29, 2015. (Exhibit E-1).

**Neighborhood Review:** A Notice of Proposal in Your Neighborhood was mailed on September 10, 2015. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

## **ZONING CODE APPROVAL CRITERIA**

### **Chapter 33.825, Design Review**

#### **Section 33.825.010 Purpose**

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

#### **Section 33.825.055, Design Review Approval Criteria**

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design district guidelines.

**Findings:** The site is designated with design overlay zoning (d), therefore the proposal requires Design Review approval. Because of the site’s location, the applicable design guidelines are the Central City Fundamental and Lloyd District Special Design Guidelines.

### **Special Design Guidelines for the Design Zone of the Lloyd District of the Central City Plan and Central City Fundamental Design Guidelines**

**The Lloyd District is a unique, multi-dimensional neighborhood in the Central City, with special features and assets found nowhere else in Oregon.**

With the recent completion of the Oregon Convention Center, the District now serves as the “front door for Oregon and our city.” The District as a whole is emerging as a special area in the state and the region, and the way it is developed will determine its comfort and continued use.

**The purpose of design review is to carry out the urban design vision for the District by emphasizing unique district assets in a manner that is respectful, creative, supportive, and compatible with all its areas. Although the District is a complex urban environment, it can become a cohesive whole with the use of these design principles.**

The Central City Fundamental Design Guidelines focus on four general categories. **(A) Portland Personality**, addresses design issues and elements that reinforce and enhance Portland’s character. **(B) Pedestrian Emphasis**, addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design**, addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas**, provides design guidelines for the four special areas of the Central City.

**Lloyd District Design Goals**

The following goals and objectives define the urban design vision for new development and other improvements in the Lloyd District

- Encourage the special distinction and identity of the Lloyd District;
- Integrate the sub-areas of the District for a visual and functional coherence of the whole; and
- Improve the safety, convenience, pleasure, and comfort of pedestrians.

**Central City Plan Design Goals**

This set of goals are those developed to guide development throughout the Central City. They apply within all of the Central City policy areas. The nine goals for design review within the Central City are as follows:

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;
3. Enhance the character of the Central City's districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City's districts and the Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

*Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project. Central City and Lloyd District Guidelines are addressed concurrently.*

**A4. Use Unifying Elements.** Integrate unifying elements and/or develop new features that help unify and connect individual buildings and different areas.

**Findings for A4:** The alterations to the east elevation of the existing 1948 building will utilize a steel awning over both the night drop-box and the ATM that is matching the existing steel awnings on the building. The awning will provide shelter for users while also incorporating a unifying element consistent with other awnings found on this building and on surrounding buildings in the Lloyd District Sub-District. *Therefore this guideline is met.*

**A5-7. Integrate the Civic Campus into the Lloyd District.**

Integrate the Civic Campus into the Lloyd District in a manner that provides a cohesive link westerly to the river and easterly to the core of the Lloyd District.

Extend the Holladay Street pedestrian project to an active terminus overlooking the Willamette River.

Link river overlooks, open spaces and trails into a unified system to and along the riverfront wherever possible; create clear pedestrian connections to the riverfront; and encourage and enhance visual and physical corridors to river viewpoints and amenities.

Provide safe and attractive vehicular/pedestrian access through the area that connects with development patterns in surrounding sub-districts.

Integrate bridge and freeway access ramps into the arterial streets circulation pattern.

**Findings for A5-7:** The proposed alterations help to activate an elevation of the building that is currently not designed for pedestrians as it is for vehicles: it is the access point for internal parking. The proposed ATM, located midblock on NE 6<sup>th</sup> Avenue and a half block away from NE Holladay Street, provides modest lighting and pedestrian programming to an area that is currently a metal fence providing views into the enclosed parking area within the Civic Campus of the Lloyd District. *Therefore this guideline is met.*

**A6. Reuse/Rehabilitate/Restore Buildings.** Where practical, reuse, rehabilitate, and restore buildings and/or building elements.

**Findings for A6:** The proposed alterations including the removal of one of three existing metal storefronts located on the east elevation, at the pedestrian level of the building and adjacent to the sidewalk right-of-way, are removing a non-original element from the 1948 structure and returning that portion partially back closer to its original form. *Therefore this guideline is met.*

**A7. Establish and Maintain a Sense of Urban Enclosure.** Define public rights-of-way by creating and maintaining a sense of urban enclosure.

**B1. Reinforce and Enhance the Pedestrian System.** Maintain a convenient access route for pedestrian travel where a public right-of-way exists or has existed. Develop and define the different zones of a sidewalk: building frontage zone, street furniture zone, movement zone, and the curb. Develop pedestrian access routes to supplement the public right-of-way system through superblocks or other large blocks.

**Findings for A7 and B1:** The proposed alterations including the removal of one of three existing metal storefronts for the installation of an ATM and night drop-box helps to better define and establish a sense of urban enclosure through the utilization of a proposed new steel awning that is consistent in design, material and location on the building as other awnings on the structure. *Therefore these guidelines are met*

**B1-2. Incorporate Additional Lighting.** Incorporate project lighting in a manner that reinforces the pedestrian environment and which provides design continuity to an area by enhancing the drama and presence of architectural features.

**C12. Integrate Exterior Lighting.** Integrate exterior lighting and its staging or structural components with the building's overall design concept. Use exterior lighting to highlight the building's architecture, being sensitive to its impacts on the skyline at night.

**Findings for B1-2 & C12:** The proposed midblock ATM alteration will include lighting within the steel awning both over the ATM and over the new night drop-box. The proposed lighting will provide an environment that helps to reinforce the pedestrian environment while being utilitarian and consistent with the building's architecture. *Therefore these guidelines are met.*

**B2. Protect the Pedestrian.** Protect the pedestrian environment from vehicular movement. Develop integrated identification, sign, and sidewalk-oriented night-lighting systems that offer safety, interest, and diversity to the pedestrian. Incorporate building equipment, mechanical exhaust routing systems, and/or service areas in a manner that does not detract from the pedestrian environment.

**Findings:** The proposal organizes an existing venting louver with the addition of a night drop-box, ATM and steel awning to provide an area that is architecturally consistent with the rest of the building and does not detract from the rest of the pedestrian environment. *Therefore this guideline is met.*

**B4. Provide Stopping and Viewing Places.** Provide safe, comfortable places where people can stop, view, socialize and rest. Ensure that these places do not conflict with other sidewalk uses.

**B6. Develop Weather Protection.** Develop integrated weather protection systems at the sidewalk-level of buildings to mitigate the effects of rain, wind, glare, shadow, reflection, and sunlight on the pedestrian environment.

**B6-1. Provide Pedestrian Rain Protection.** Rain protection is encouraged at the ground level of all new and rehabilitated commercial buildings located adjacent to primary pedestrian routes. In required retail opportunity areas, rain protection is strongly recommended.

**Findings for B4, B6 & B6-1:** The new ATM and proposed metal awning along the east façade both act to provide a safe, comfortable space where people can stop, view, socialize, rest, and follow through with transactions that is out of the elements and not in conflict with sidewalk users. *Therefore these guidelines are met.*

**B7. Integrate Barrier-Free Design.** Integrate access systems for all people with the building's overall design concept.

**C1. Enhance View Opportunities.** Orient windows, entrances, balconies and other building elements to surrounding points of interest and activity. Size and place new buildings to protect existing views and view corridors. Develop building façades that create visual connections to adjacent public spaces.

**C2-1. Maximize View Opportunities.**

**Findings for B7, C1 & C2-1:** The proposed ATM alteration will provide a universal access ATM and night drop-box at the mid-block of NE 6<sup>th</sup> Avenue. This location will alter what is currently one of three un-lighted metal security storefronts to a lighted venue allowing pedestrian activity at the middle-block. The proposed alterations will not negatively impact existing views into or around the site. *Therefore these guidelines are met.*

**C2. Promote Quality and Permanence in Development.** Use design principles and building materials that promote quality and permanence.

**Findings for C2:** The proposed stucco exterior and steel awning are quality materials that are consistent with current materials used on the exterior of the building. *Therefore these guidelines are met.*

**C10-3. Use Light Colors.** The use of light color values is preferred for the predominant exterior building materials. Darker value materials should be used to accent or articulate the design.

**Findings for C2 & C10-3:** The proposed stucco around the area of the alterations will be consistent with the existing color scheme on the building so as to incorporate the new development into the existing structure. *Therefore this guideline is met.*

**C3. Respect Architectural Integrity.** Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal's architectural integrity.

**C5. Design for Coherency.** Integrate the different building and design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.

**Findings for C3 and C5:** The proposed alterations, while not original features to the 1948 building, will in effect remove a non-original metal storefront adding greater overall coherency and consistency to the elevations of the building that are adjacent to the sidewalk right-of-way. An additional result of the proposed alterations is to return the areas surrounding the new features with stucco to match existing conditions further respecting the original character and architectural integrity of the structure. *Therefore these guidelines are met.*

**C6. Develop Transitions between Buildings and Public Spaces.** Develop transitions between private development and public open space. Use site design features such as movement zones, landscape elements, gathering places, and seating opportunities to develop transition areas where private development directly abuts a dedicated public open space.

**Findings:** The incorporation of a steel awning into the public right-of-way helps to signify a proposed use in this area that is also an indication of a transition between the building and the public right-of-way. *Therefore this guideline is met.*

**C8. Differentiate the Sidewalk-Level of Buildings.** Differentiate the sidewalk-level of the building from the middle and top by using elements including, but not limited to, different exterior materials, awnings, signs, and large windows.

**Findings for C8:** The infill of the existing metal storefront with a proposed ATM and night drop-box maintains the character of the existing sidewalk-level of the building. A steel awning above both features as well as proposed stucco and detailing that are consistent with the building's existing sidewalk-level will contribute to the differentiation of the pedestrian level from the middle and top of the structure. *Therefore this guideline is met.*

**C9. Develop Flexible Sidewalk-Level Spaces.** Develop flexible spaces at the sidewalk-level of buildings to accommodate a variety of active uses.

**Findings:** The proposed development alters one of three existing metal storefronts, which allow views into the existing parking garage, for the inclusion of an ATM. The proposed change of use provides pedestrian programming and use into this elevation, immediately adjacent to the sidewalk right-of-way that creates a more flexible and active sidewalk-level space than what exists currently. *Therefore this guideline is met.*

**C10. Integrate Encroachments.** Size and place encroachments in the public right-of-way to visually and physically enhance the pedestrian environment. Locate permitted skybridges toward the middle of the block, and where they will be physically unobtrusive. Design skybridges to be visually level and transparent.

**Findings for C10:** The proposed steel canopy, which extends approximately four feet from the building frontage on the east façade into the public right-of-way, will also contribute to visually and physically enhancing the pedestrian environment through providing increased enclosure and a protection. *Therefore this guideline is met.*

## DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

## CONCLUSIONS

The design review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. The proposal meets the applicable design guidelines and therefore warrants approval.


## ADMINISTRATIVE DECISION

Approval of exterior alterations to the pedestrian level of the east elevation of the 1948 structure in the Lloyd District Sub-District of the Central City Plan District including the installation of an ATM, night drop-box and steel awning in the current location of a metal gate-storefront. Stucco to match is proposed around these features.

Approval, per the approved site plans, Exhibits C-1 through C-7, signed and dated Wednesday October 07, 2015, subject to the following conditions:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.7. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 15-217076 DZ. No field changes allowed."

**Staff Planner: Arthur Graves**

**Decision rendered by:**  **on Wednesday October 07, 2015.**  
By authority of the Director of the Bureau of Development Services

**Decision mailed: Friday, October 09, 2015.**

**About this Decision.** This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

**Procedural Information.** The application for this land use review was submitted on August 12, 2015, and was determined to be complete on **Tuesday, September 08, 2015.**

*Zoning Code Section 33.700.080* states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on August 12, 2015.

*ORS 227.178* states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: Friday, December 04, 2015.**

**Some of the information contained in this report was provided by the applicant.**

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

**Conditions of Approval.** If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

**Appealing this decision.** This decision may be appealed to the Design Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on Friday, October 23, 2015** at 1900 SW Fourth Ave. Appeals can be filed at the Development Services Center Monday through Wednesday and Fridays between 8:00 am to 3:00 pm and on Thursdays between 8:00 am to 12:00 pm. After 3:00 pm Monday through Wednesday and Fridays, and after 12:00 pm on Thursdays, appeals must be submitted at the reception desk on the 5<sup>th</sup> floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization's boundaries. The vote to appeal must be in accordance with the organization's bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.



The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at [www.portlandonline.com](http://www.portlandonline.com).

**Attending the hearing.** If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Design Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Design Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

**Recording the final decision.**

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed*, The final decision may be recorded on or after **Monday, October 26, 2015. – (the day following the last day to appeal).**
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034  
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

**Expiration of this approval.** An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

**Applying for your permits.** A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;

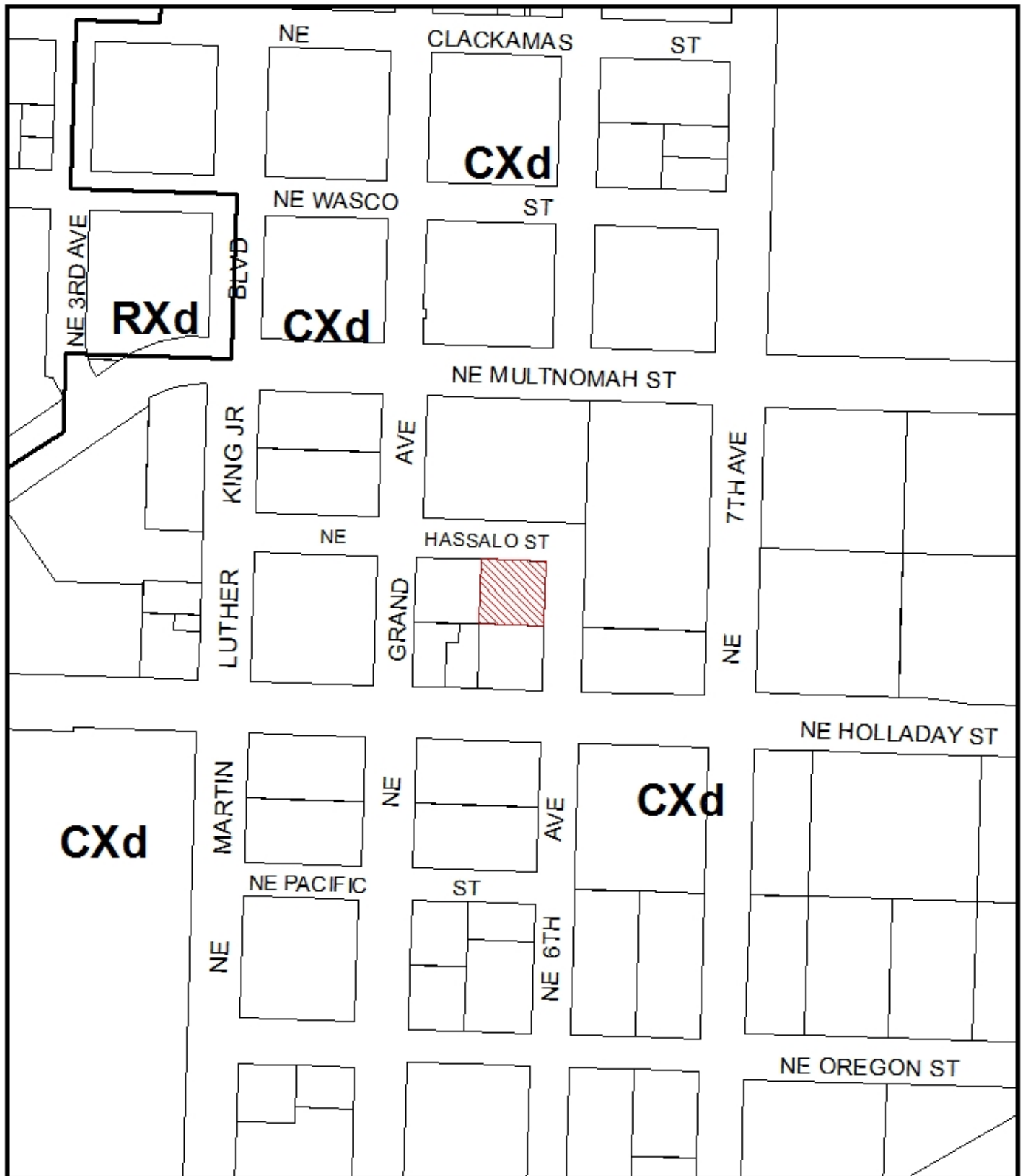
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

**EXHIBITS**


NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
  - 1. Applicant's Statement
  - 2. Photos: Site and Initial design concept
  - 3. Photos: Indicating color scheme
- B. Zoning Map (attached)
- C. Plans/Drawings:
  - 1. Title Sheet
  - 2. Site Plan (attached)
  - 3. Floor Plan: Detailed Plans (attached)
  - 4. Elevation: Proposed (attached)
  - 5. Details: Exterior
  - 6. Details: Exterior
  - 7. Manufacture's Cut Sheets
- D. Notification information:
  - 1. Mailing list
  - 2. Mailed notice
- E. Agency Responses:
  - 1. Life Safety/Building Code Section of the Bureau of Development Services: Nauman Quraishi, September 29, 2015.
- F. Correspondence: None Received
- G. Other:
  - 1. Original LU Application
  - 2. Site Photographs

**The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).**



# ZONING

 Site



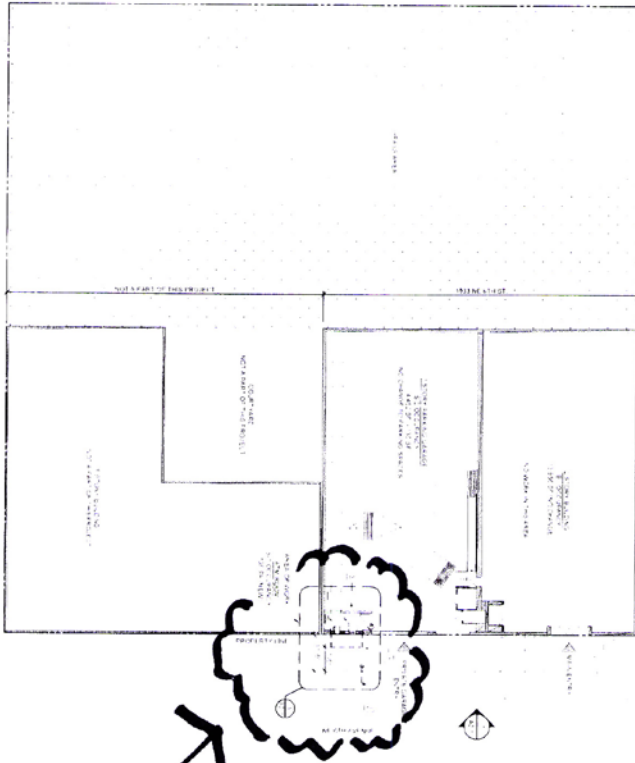
NORTH

This site lies within the:  
 CENTRAL CITY PLAN DISTRICT  
 LLOYD DISTRICT SUB DISTRICT

File No. LU 15-217076 DZ  
 1/4 Section 2931  
 Scale 1 inch = 200 feet  
 State Id 1N1E35BB 3400  
 Exhibit B (Aug 17, 2015)

**\*Approved\***  
**City of Portland**  
**Bureau of Development Services**  
 Planner \_\_\_\_\_  
 Date 10.7.15

• This approval and its conditions are subject to the review of the development by the Council.



**AREA OF WORK**

SITE PLAN

- KEYNOTES:**
- 1. Not to be used for any other purpose.
  - 2. To be used for any other purpose.
  - 3. To be used for any other purpose.

**S/SEA**

CONSOLIDATED  
 COMMUNITY  
 CREDIT UNION  
 LLOYD BRANCH  
 1000 NE 8TH AVE  
 PORTLAND OREGON 97232

NOT FOR CONSTRUCTION

EXH 2  
 15-217076 D2

DATE: 10/7/15  
 DRAWN: [Signature]  
 SITE PLAN

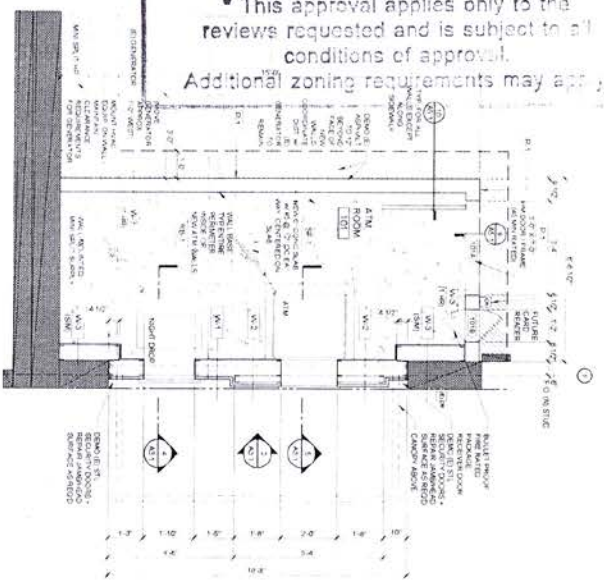
DATE: 10/7/15  
 DRAWN: [Signature]

A1.1

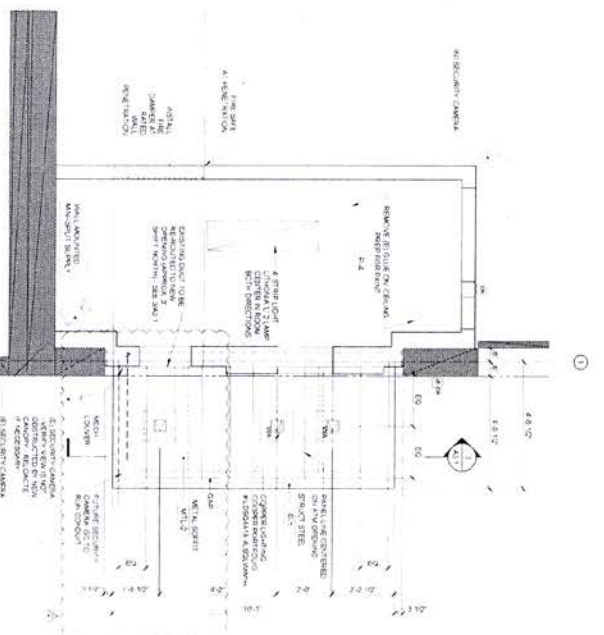
**\*Approved\***  
**City of Portland**  
**Bureau of Development Services**  
**Planner** \_\_\_\_\_  
**Date** 10.7.15

\* This approval applies only to the reviews requested and is subject to all conditions of approval.  
 Additional zoning requirements may apply.

**1 FLOOR PLAN**



**2 REFLECTED CEILING PLAN**



WALL TYPES		TYPE	DESCRIPTION	NOTES
XX		TYPE 1	INTERIOR, STAINLESS STEEL WALL LOCATIONS	SEE STRUCTURAL DRAWINGS FOR EXISTING WALL LOCATIONS
XX		TYPE 2	INTERIOR, STAINLESS STEEL WALL LOCATIONS	SEE STRUCTURAL DRAWINGS FOR EXISTING WALL LOCATIONS
XX		TYPE 3	INTERIOR, STAINLESS STEEL WALL LOCATIONS	SEE STRUCTURAL DRAWINGS FOR EXISTING WALL LOCATIONS
XX		TYPE 4	INTERIOR, STAINLESS STEEL WALL LOCATIONS	SEE STRUCTURAL DRAWINGS FOR EXISTING WALL LOCATIONS
XX		TYPE 5	INTERIOR, STAINLESS STEEL WALL LOCATIONS	SEE STRUCTURAL DRAWINGS FOR EXISTING WALL LOCATIONS
XX		TYPE 6	INTERIOR, STAINLESS STEEL WALL LOCATIONS	SEE STRUCTURAL DRAWINGS FOR EXISTING WALL LOCATIONS
XX		TYPE 7	INTERIOR, STAINLESS STEEL WALL LOCATIONS	SEE STRUCTURAL DRAWINGS FOR EXISTING WALL LOCATIONS
XX		TYPE 8	INTERIOR, STAINLESS STEEL WALL LOCATIONS	SEE STRUCTURAL DRAWINGS FOR EXISTING WALL LOCATIONS
XX		TYPE 9	INTERIOR, STAINLESS STEEL WALL LOCATIONS	SEE STRUCTURAL DRAWINGS FOR EXISTING WALL LOCATIONS
XX		TYPE 10	INTERIOR, STAINLESS STEEL WALL LOCATIONS	SEE STRUCTURAL DRAWINGS FOR EXISTING WALL LOCATIONS
XX		TYPE 11	INTERIOR, STAINLESS STEEL WALL LOCATIONS	SEE STRUCTURAL DRAWINGS FOR EXISTING WALL LOCATIONS
XX		TYPE 12	INTERIOR, STAINLESS STEEL WALL LOCATIONS	SEE STRUCTURAL DRAWINGS FOR EXISTING WALL LOCATIONS
XX		TYPE 13	INTERIOR, STAINLESS STEEL WALL LOCATIONS	SEE STRUCTURAL DRAWINGS FOR EXISTING WALL LOCATIONS
XX		TYPE 14	INTERIOR, STAINLESS STEEL WALL LOCATIONS	SEE STRUCTURAL DRAWINGS FOR EXISTING WALL LOCATIONS
XX		TYPE 15	INTERIOR, STAINLESS STEEL WALL LOCATIONS	SEE STRUCTURAL DRAWINGS FOR EXISTING WALL LOCATIONS
XX		TYPE 16	INTERIOR, STAINLESS STEEL WALL LOCATIONS	SEE STRUCTURAL DRAWINGS FOR EXISTING WALL LOCATIONS
XX		TYPE 17	INTERIOR, STAINLESS STEEL WALL LOCATIONS	SEE STRUCTURAL DRAWINGS FOR EXISTING WALL LOCATIONS
XX		TYPE 18	INTERIOR, STAINLESS STEEL WALL LOCATIONS	SEE STRUCTURAL DRAWINGS FOR EXISTING WALL LOCATIONS
XX		TYPE 19	INTERIOR, STAINLESS STEEL WALL LOCATIONS	SEE STRUCTURAL DRAWINGS FOR EXISTING WALL LOCATIONS
XX		TYPE 20	INTERIOR, STAINLESS STEEL WALL LOCATIONS	SEE STRUCTURAL DRAWINGS FOR EXISTING WALL LOCATIONS

**A2.1**

**SEALED**  
 FOR RECORD SET ONLY  
 NOT FOR CONSTRUCTION  
 EXH 1  
 15-217076 D2

**CONSOLIDATED COMMUNITY CREDIT UNION**  
 LLOYD BRANCH  
 1030 NE 5TH AVE  
 PORTLAND, OREGON 97232

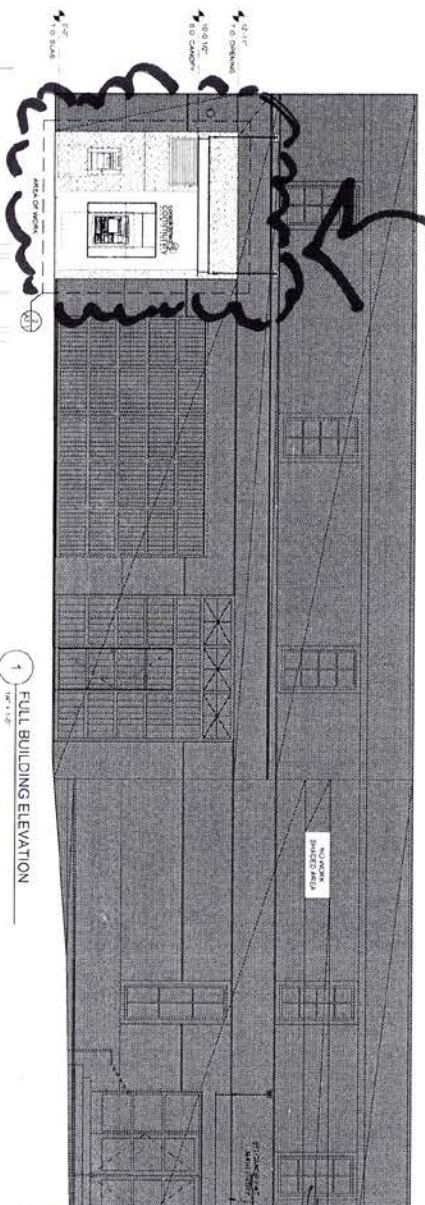
**SCOTT EDWARDS ARCHITECTURE LLP**  
 2025 E. Burnside St., Portland, OR 97214  
 phone: (503) 224-3617 www.seaarch.com

**DESIGN REVIEW**  
 09/25/15  
**DESIGN**  
 09/01/15  
**FLOOR PLAN / RCP**

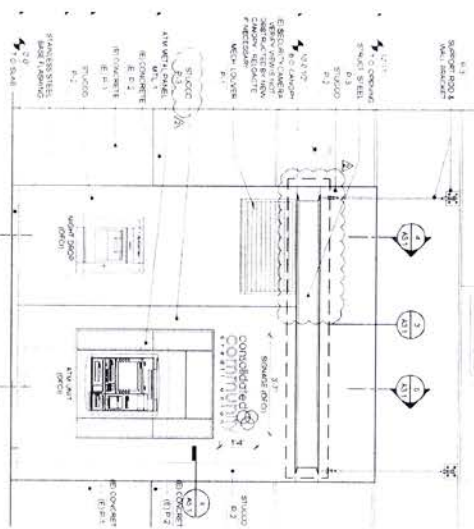
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**SCALE**  
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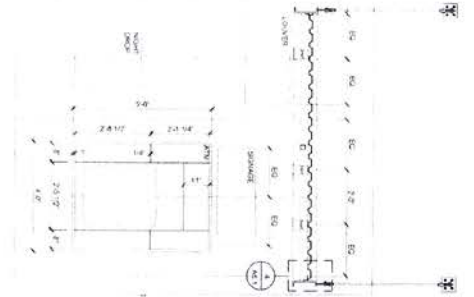
# AREA OF WORK



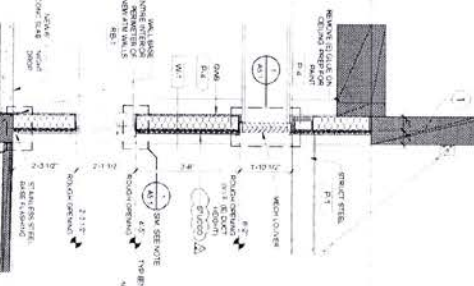
1 FULL BUILDING ELEVATION



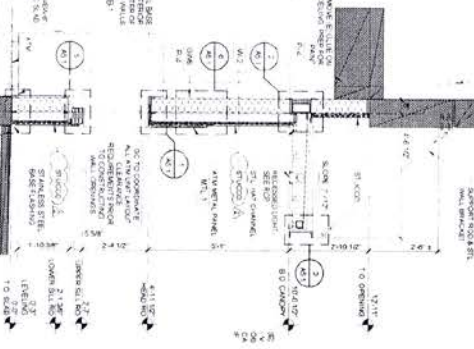
2 ENLARGED ELEVATION



3 CANOPY CROSS SECTION



4 SECTION AT NIGHT DROP



5 SECTION AT ATM

FINISH LEGEND			
P-1	PAINT	P-4	PAINT
W-1	WOOD	M-1	METAL
C-1	COLOR MATCH EXISTING P-1	C-2	COLOR MATCH EXISTING P-2
P-2	PAINT	M-2	METAL
W-2	WOOD	C-3	COLOR MATCH EXISTING P-3
C-4	COLOR MATCH EXISTING P-4	M-3	METAL
P-3	PAINT	C-5	COLOR MATCH EXISTING P-5
W-3	WOOD	M-4	METAL
C-6	COLOR MATCH EXISTING P-6	C-7	COLOR MATCH EXISTING P-7

\*Approved\*

City of Portland

Bureau of Development Services

Planner

Date

\*This approval is subject to the conditions of the

SEA

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232 E. Burnside St. Portland, OR 97114

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NOT FOR CONSTRUCTION

EXHIBIT

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A3.1