



City of Portland, Oregon
Bureau of Development Services
Land Use Services

FROM CONCEPT TO CONSTRUCTION

Amanda Fritz, Commissioner
Paul L. Scarlett, Director
Phone: (503) 823-7300
Fax: (503) 823-5630
TTY: (503) 823-6868
www.portlandoregon.gov/bds

Date: April 1, 2014
To: Interested Person
From: Dave Skilton, Land Use Services 503-823-0660
dave.skilton@portlandoregon.gov

NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has **approved** a proposal in your neighborhood. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 14-112322 HRM - SIGN, LIGHTS, ROOFTOP ADDITIONS, AND FIRE ESCAPE ALTERATION

GENERAL INFORMATION

Applicant: Keymar LLC
8190 SW Canyon Lane
Portland, OR 97225-3922

Representative: Phil Sydnor
Integrate Architecture & Planning Inc
1715 N Terry Street
Portland, OR 97217

Site Address: 203-209 NW 3rd Avenue

Legal Description: BLOCK 27 E 65' OF LOT 1, COUCHS ADD
Tax Account No.: R180201910, R180201910
State ID No.: 1N1E34CA 05100, 1N1E34CA 05100
Quarter Section: 3029
Neighborhood: Old Town-China Town, Paul Verhoeven, 503-222-6072 ext 12.
Business District: Old Town Chinatown Business Association, Dorian Yee, 503-224-7006.
District Coalition: Neighbors West/Northwest, Mark Sieber, 503-823-4212.
Plan District: Central City - River District
Other Designations: Contributing resource in both the Skidmore/Old Town Historic District (Listed in the National Register of Historic Places on December 6, 1976) and the New Chinatown Japantown Historic District (Listed in the National Register of Historic Places on November 21, 1989).

Zoning: CXd, Central Commercial with Historic Resource and Design Overlays
Case Type: HRM, Historic Resource Review with a Modification
Procedure: Type II, an administrative decision with appeal to the Historic Landmarks Commission.

Proposal:
The applicant is seeking Historic Resource Review approval for a proposal to:

- attach a new, diagonally projecting, internally and externally illuminated sign, forty square feet in face area, at the second floor level, on the southeast corner of the building;
- install eight small upward-focused building lighting fixtures and eight downward focused "goose-neck" lighting fixtures at the level of the second floor;
- replace non-historic doors at three locations;
- install stair and elevator penthouse structures, a deck, solar panels, and an eco-roof tray system, to the roof; and
- extend the existing south facade fire escape to the roof via a gate in the parapet.

Historic Resource Review is required because the proposal is for exterior alterations to a resource in a historic district.

Modification:

The applicant is seeking approval of a modification to the 30 square feet face area size limit for signs projecting into the right-of-way established in Sign Code 32.32.030 C 1 b. The proposed sign is 40 square feet in face area.

Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant criteria are:

- Skidmore/Old Town Historic District Design Guidelines
- Central City Fundamental Design Guidelines – River District
- 33.846.070 Modifications Considered During Historic Resource Review

ANALYSIS

Site and Vicinity: This building, completed to plans by highly-respected architect Justus Klumbein in 1882, was originally the location of the Portland Mariners' Home. The facility was an arm of the Portland Seamen's Friend Society, an organization that helped sailors who were down on their luck by providing them with temporary housing and other assistance. Around the turn of the Twentieth Century the property was sold and the function changed to retail use at the ground floor, often housing Japanese and Chinese owned businesses. It was known then as the New Wah Mei building. Notwithstanding loss of many significant historic features during the 1950s and 1960s, including the cornice and several large balconies, the property is evaluated as a contributing resource in both the Skidmore Old Town Historic District and the New Chinatown Japantown Historic District.

The Skidmore/Old Town Historic District is nationally significant for its association with the initial phase of commercial development of Portland. In addition to listing in the National Register of Historic Places, the district is recognized as a National Historic Landmark (one of only sixteen in Oregon and two in Portland) because of the importance of Portland in the development of commerce and transportation in the western United States from the mid-nineteenth century through the early twentieth. The area is especially rich in Italianate commercial buildings with elaborate cast iron facades, set against a background of less spectacular brick buildings like the Globe Hotel.

As the name implies, the New Chinatown Japantown Historic District is significant mainly under National Register Eligibility Criterion "A" for its association with late Nineteenth commerce; and, in the first half of the Twentieth Century, in association with Chinese and Japanese immigrant families which moved there after the displacement of Portland's original Chinatown which was many blocks to the south. Limited by both discriminatory local real estate practices and the provisions of the Chinese Exclusion Act of 1882, ethnic Chinese and Japanese families nonetheless developed a thriving community in this neighborhood. With the repeal of the Act in 1943, many resident families began to move from the area and integrate more thoroughly in the broader community. World War II also brought the internment of many

Japanese-American families. Notwithstanding these facts the area has remained an important focal point for the Asian community in Portland.

Zoning: The commercial zones implement the commercial policies and plan map designations of the Comprehensive Plan. The zones are for areas of the City designated by the Comprehensive Plan for commercial uses. The differences in the zones reflect the diversity of commercial areas in the City. The zones are distinguished by the uses allowed and the intensity of development allowed. Some of the zones encourage commercial areas that are supportive of surrounding residential areas, while other zones allow commercial areas which have a community or regional market. The regulations promote uses and development which will enhance the economic viability of the specific commercial district and the city as a whole.

In general, a wide range of uses is allowed in each zone. Limits on the intensity of uses and the development standards promote the desired character for the commercial area. The development standards are designed to allow a large degree of development flexibility within parameters which support the intent of the specific zone. In addition, the regulations provide certainty to property owners, developers, and neighbors about the limits of what is allowed.

The Central Commercial (CX) zone is intended to provide for commercial development within Portland's most urban and intense areas. A broad range of uses is allowed to reflect Portland's role as a commercial, cultural and governmental center. Development is intended to be very intense with high building coverage, large buildings, and buildings placed close together. Development is intended to be pedestrian-oriented with a strong emphasis on a safe and attractive streetscape.

The Historic Resource chapter protects certain historic resources in the region and preserves significant parts of the region's heritage. The regulations implement Portland's Comprehensive Plan policies that address historic preservation. These policies recognize the role historic resources have in promoting the education and enjoyment of those living in and visiting the region. The regulations foster pride among the region's citizens in their city and its heritage. Historic preservation beautifies the city, promotes the city's economic health, and helps to preserve and enhance the value of historic properties.

The Design Overlay Zone promotes the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. The Design Overlay Zone also promotes quality high-density development adjacent to transit facilities. This is achieved through the creation of design districts and applying the Design Overlay Zone as part of community planning projects, development of design guidelines for each district, and by requiring design review or compliance with the Community Design Standards. In addition, design review or compliance with the Community Design Standards ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

Land Use History: City records indicate there are no prior land use reviews for this site.

Public Notice: A Notice of Proposal in Your Neighborhood was mailed on February 21, 2014.

Agency Review: None of the notified Bureaus has responded with issues or concerns.

Neighborhood Review: One written response has been received from either the Neighborhood Association or notified property owners in response to the proposal.

- Paul Verhoeven and Patrick Gortmacher, Co-Chairs of the Old Town Chinatown Community Association Land Use Committee, wrote on March 4, 2014, in support of the proposal, but with emphasis that the choice of treatments should be sensitive to historic character.

ZONING CODE APPROVAL CRITERIA

(1) Chapter 33.846, Historic Reviews**Purpose of Historic Resource Review**

Historic Resource Review ensures the conservation and enhancement of the special characteristics of historic resources.

Historic Resource Review Approval Criteria

Requests for Historic Resource Review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

Findings: The site is located within the Skidmore Old Town Historic District and the proposal is for non-exempt exterior alterations. Therefore the proposal requires Historic Resource Review approval. The approval criteria are the Skidmore Old Town Historic Design Guidelines and the Central City Fundamental Design Guidelines.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

Skidmore Old Town Design Guidelines

General Guidelines: Alterations and Additions to Historic Landmarks, Potential Landmarks, and other Compatible Buildings

A. Retention of Original Construction. So far as practicable, all original exterior materials and details shall be preserved.

Findings: The only impact on historic material in the proposal is the removal of a 3'-0" wide section of the previously truncated parapet wall. Reference to a historic photograph indicates that the parapet was taller than the current remnant and detailed with a substantial overhanging coping and perhaps a corbelled top brick course. The surviving parapet is featureless, and cutting through it will not destroy significant historic fabric. Because the wall is finished in painted stucco a replacement parapet segment could easily be made undetectably. *This guideline is met.*

B. Cast Iron. In the case of cast iron structures which have lost cast iron elements, every effort shall be made to replace such elements with appropriate cast iron parts available in the City. If this is not feasible, replicas matching the exterior appearance of the existing features may be permitted.

Findings: The building does include cast iron elements at the ground floor level, and they will be retained. *This guideline is met.*

C. Height. Additional stories may be added to historic buildings provided that the following are addressed:

- The added height complies with requirements of the building and zoning codes. The Historic District has a FAR (Floor Area Ratio) designation of 4:1. The FAR may be increased to 5:1 if the 1:1 increase is for residential only. This residential bonus was established to stimulate new housing construction in order to enhance the vitality and economy of Downtown.
- The added height does not exceed that which was traditional for the style of the building. Example: Portland's cast iron buildings did not exceed four stories. The majority of Portland's masonry buildings did not exceed six stories.
- The added height does not alter the traditional scale and proportions of the building style.
- The added height is visually compatible with adjacent historic buildings.

Findings: No additional stories are proposed for the building, but stair and elevator penthouse structures are. While the proposed elevator overrun structure will be taller than most traditional rooftop service structures, its added height will be mitigated by the

fact that it is located near the center of the roof, and only begins to be visible to the public at a remove of several hundred feet. The applicant provided accurate sightline modeling to this effect, see Exhibit C-23. The visual impact is minimal. *This guideline is met.*

E. Visual Integrity of Structure. The vertical lines of columns and piers, and the horizontal definition of spandrels and cornices, and other primary structural elements shall be maintained. Such structural lines should be restored if previous alterations have substantially changed such elements.

- The modulation of building facades was determined by lot parceling. Generally, buildings were built at 25, 50 or 100-foot widths. Within those general building widths, the building was further divided into smaller bay storefront systems.
- Where structural lines cannot be carried to the ground, integrate the upper and lower floor design with color, materials and form simplicity.

Findings: The visual integrity of the structure, as perceived by the general public, will be maintained because the gate at the proposed parapet opening is detailed to close with the minimum possible gap, and it will be finished to match the texture and color of the adjacent wall. As viewed from other, taller buildings, the rooftop will present an orderly, if modern appearance of decking, screened mechanical equipment, solar panels, and eco-roof planters. Rooftops are not normally considered to be significant historic fabric, and that is the case in this instance. *This guideline is met.*

F. Scale and Proportion. The scale and proportion of altered or added building elements, the relationship of voids to solids (i.e. openings such as doors and windows to walls and column elements) shall be visually compatible with the traditional architectural character of the Historic District. An important element within the Historic District was the emphasis on the pedestrian scale activities, which were characterized with the addition of canvas awnings or permanent canopies. This defined an important scale and proportion element of the District and to the extent possible, this relationship at pedestrian level should be re-established within the District.

Findings: A proposed atypical extension of the historic fire escape on the street-facing sidewall will allow secondary egress from the roof level via the above-mentioned gate. Like the historic portion, the new section of the fire escape will be made of steel and painted. Its detailing will match the existing to the extent allowable under Building Code requirements. Although it will be distinguishable as an addition upon focused inspection, its similarity to the existing structure will allow it to blend inconspicuously with it. It will occupy a very small percentage of building wall area and, as demonstrated by a hypothetical cornice drawing prepared by the applicant based on a historic photo (see Exhibit C-30), it will not preclude the restoration of a cornice structure in the future. *This guideline is met.*

G. Exterior Building Materials. Most of the buildings within the District were constructed of bearing wall brick masonry (left exposed or covered with plaster), or stone. This feature gives the area much of its textual surface character. Surfaces need to be treated, repaired, and maintained in a manner which is sympathetic to the District.

1. Walls

- Original building materials shall be preserved wherever possible. Cleaning and/or repointing masonry is preferred over replacement.
- If masonry has to be replaced, repair or replace existing masonry with masonry of matching color, texture, size, coursing. Avoid using “used” brick in replacement. This conflicts with traditional masonry surfaces.
- Mortar should match the color and joint configuration of the existing masonry wall.
- Masonry was painted to seal soft bricks from the weather or painted later for other reasons. Where soft brick surfaces are found to be painted, surfaces should not be stripped but should be repainted.

- Plastered surfaces should be cleaned, repaired with a similar plaster texture and repainted. Avoid exposing brick to the weather by removing finish plaster as this will speed deterioration of the brick.
- Do not apply artificial and/or inappropriate coverings to masonry surfaces. Examples are metal, plastic or wood sidings.

2. Storefronts, Doors and Windows. The shape, size, placement and trim of storefront openings are a key element in establishing the character of a building.

- Where original storefronts remain, preserve and repair. Where covered with other materials, remove and determine condition of original materials.
- Storefronts requiring new materials could consider a wide variety of replacement systems. Building Codes require non-combustible materials (steel, aluminum, etc.), but wood systems may be acceptable provided other means of fire protection are installed. Wood systems should be painted, rather than stained or treated naturally.
- New window and door openings should maintain a similar horizontal and vertical relationship as the originals. Traditionally, windows were two-over-two or one-over-one. Large panes of glass, as used in contemporary storefronts, should be avoided.
- Glazed portions of windows were important elements to the building and should not be altered, painted over or eliminated.
- Clear glass is traditional and should be used instead of tinted glass. Additionally, signs cannot be painted on tinted glass without the possibility of breakage due to the effect of sunlight.
- Re-use original hardware whenever possible. If possible, new hardware should be in keeping with original designs.
- On sidewalls, avoid walling-in openings with masonry, if possible. Rather, maintain the opening and replace the glazing if necessary with appropriate hard surface materials.

I. Color. The colors used in alterations or additions within the District shall be visually compatible with the traditional architectural character of the historic buildings within the area.

- Historically, in the era of the late 1800's and early 1900's, painting was usually done using earth colors, i.e., hues tending towards brown, soft greens, and beiges.
- Bright colors and white were rarely used. Buildings, therefore, are perhaps most appropriately painted using subdued colors. Little or nothing is gained by the use of strong or loud colors, especially those with no tradition of local usage.
- Color combinations will occur, as nearly all buildings will have wood trim or metal ornamentation in addition to their base materials. This, plus the further elaboration of wood storefronts, suggests the use of an overall wall color plus one or two trim colors.
- A method for determining the original wall and trim colors consists of scraping chips from the existing surface and analyzing them microscopically. This should be done whenever the original color is unknown and major repainting is contemplated.

Findings for G and I: With the exception of the above-mentioned parapet gate and fire escape extension, the proposed treatment of surviving historic exterior surface materials is cleaning and repair which are not subject to review, and repainting. Notwithstanding the inclusion of color considerations in the guidelines, the Zoning Code currently defines the repainting of previously painted surfaces as maintenance, which is also exempt from review. However, were paint colors subject to scrutiny they would be approvable because the proposed paint scheme includes a tan body with darker gray-brown accents and deep bronze trim, and this pattern and palette clearly meet the intent of the superseded regulation. The integrally colored cladding material for the proposed rooftop structures is similarly neutral in character, see Exhibit C-27. *These guidelines are met.*

J. Signs. Exterior building signage should be visually compatible with the traditional architectural character of the historic buildings in the District. A variety in signage is encouraged, incorporating excellence in graphic design and lettering, careful color coordination with the building, good mounting, readability, and materials, all of which are compatible with and sensitive to the character of the building. Lighting may also be permissible which is

creative without being overwhelming. Sign design should be done in an “identification” sense rather than an “advertising” sense. All types of exterior signs are reviewed.

Signs are controlled by three ordinances. One is the Signboard Control Zone (S Zone) which includes the area at the Morrison and Burnside Bridgeheads and along Front Avenue; another is the newly adopted ordinance which regulates signs in C1 Zones (downtown); and finally, the Landmarks Ordinance provides for sign review. Projects should address all ordinances in addition to District compatibility.

Findings: The one proposed sign is a diagonally projecting, externally and internally illuminated, corner unit, 40 square feet in face area, aligned with the second floor level. The shape used at the top and bottom of the sign cabinet is derived from Chinese graphic “cloud” motifs, and it will be outlined on both sides with white neon tubing, as will the white, vertically oriented letters identifying the building tenant. Three small, internally illuminated, push-through acrylic Chinese characters will be located toward the bottom of the sign on both sides. The edge of the cabinet is also properly given additional detail, and all wiring will be internal to the sign and the building. While the proposed size of the sign exceeds the normal face area limit of 30 square feet for signs projecting into the right-of-way, the proposed approach is superior because the property is in the New Chinatown Japantown Historic District, where zoning regulations encourage larger, more exuberant, brighter signage. The Bureau of Transportation has no objection to the increased size. *This guideline is met.*

K. Lighting. Historically, lighting within the District was provided by lighting in the public right-of-way with the use of gas lamps, electrical lights, etc. First floor storefront lighting should be consistent with the overall character of the building and the District.

Findings: Small up-lights are proposed at all of the building pilasters, mounted at the second floor level with no exposed conduit. Gooseneck down-lights are proposed in the traditional sign band above the building entries and sidewall windows, and at the future location of a painted Regional Arts and Culture Council approved installation, again with no exposed conduit. The lighting is subtle and in keeping with the building's location in the New Chinatown Japantown Historic District. *This guideline is met.*

Central City Fundamental Design Guidelines

A6. Reuse/Rehabilitate/Restore Buildings. Where practical, reuse, rehabilitate, and restore buildings and/or building elements.

C3. Respect Architectural Integrity. Respect the original character of an existing building when modifying its exterior. Develop vertical and horizontal additions that are compatible with the existing building, to enhance the overall proposal’s architectural integrity.

Findings for A6 and C3: Because the proposal will make this long vacant property useful again it meets the dictionary definition of rehabilitation. It also meets the commonly accepted meaning of the term within a historic resource context, as articulated in the Secretary of the Interior's Standards for the Treatment of Historic Property: “Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values”. The surviving significant historic integrity of the building is respected because it will receive substantial repairs and long overdue maintenance, with only minor alterations. *These guidelines are met.*

C12. Integrate Exterior Lighting. Integrate exterior lighting and its staging or structural components with the building’s overall design concept. Use exterior lighting to highlight the building’s architecture, being sensitive to its impacts on the skyline at night.

C13. Integrate Signs. Integrate signs and their associated structural components with the building's overall design concept. Size, place, design, and light signs to not dominate the skyline. Signs should have only a minimal presence in the Portland skyline.

D4. New Chinatown/Japantown Unique Sign District. Provide opportunities for the development of suitably ornate signs, using motifs, symbols, bright colors, and celebrative forms that add to the atmosphere and character of New China/Japantown. Size and place signs and their structural support systems so that significant architectural or historical features of the building are not concealed or disfigured. Ensure that all signs receive proper maintenance.

Findings for C12, C13, and D4: As noted above in the findings for the history-related approval criteria J and K, the signage and lighting proposed for the building are in keeping with the building's location within the overlap of the New Chinatown Japantown Historic District and the Skidmore Old Town Historic District. *These guidelines are met.*

(2) Chapter 33.846.070 Modifications Considered During Historic Resource Review

The approval criteria for modifications considered during Historic Resource Review are:

- A. Better meets Historic Resource Review approval criteria.** The resulting development will better meet the approval criteria for Historic Resource Review than would a design that meets the standard being modified; and
- B. Purpose of the standard.**
 1. The resulting development will meet the purpose of the standard being modified; or
 2. The preservation of the character of the historic resource is more important than meeting the purpose of the standard for which a modification has been requested.

32.30.010 Purpose - The regulations contained in Chapters 32.30 through 32.38 are land use regulations which work in combination with Title 33, Planning and Zoning, to implement Portland's Comprehensive Plan. The standards contained in Chapters 32.32 through 32.34 encourage signs to be compatible with the distinct character of specific areas of the city by regulating the size, placement, and features of signs by base zone, overlay zone, and plan district. Chapter 32.34 includes standards that encourage signs that further the objectives of certain land use categories.

Modification: The applicant is seeking approval of a modification to the 30 square feet face area size limit for signs projecting into the right-of-way established in Sign Code 32.32.030 C 1 b. The proposed sign is 40 square feet in face area.

Findings for A: As evidenced in the findings under Guidelines J, C13, and D4 above, the resulting development will better meet the approval criteria because the property is within the New Chinatown Japantown Historic District, an area where larger, more exuberant signs are specifically encouraged in the zoning regulations.

Findings for B: The purpose of the regulation is met because, as noted in the purpose statement, sign regulations are not designed as standards but rather as flexible adjuncts to zoning regulations.

The proposed Modification meets the approval criteria and the purpose of the standard and therefore merits approval.

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of

Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The proposed treatment of this historic building is especially welcome because it provides the first reuse of long vacant upper floors in the New Chinatown Japantown Historic District in many years. The purpose of the Historic Resource Review process is to ensure that additions, new construction, and exterior alterations to historic resources do not compromise their ability to convey historic significance. This proposal meets the applicable Historic Resource Review criteria and modification criteria and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of exterior alterations on a contributing resource in the Skidmore Old Town and New Chinatown Japantown Historic Districts;

Approval of a modification to the 30 square feet face area size limit for signs projecting into the right-of-way established in Sign Code 32.32.030 C 1 b, for a sign 40 square feet in face area;

Approvals are per Exhibits C-1 through C-30, signed and dated March 25, 2014, subject to the following condition:

- A. As part of the building permit application submittal, each of the four required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C-1 through C-30. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 14-112322 HRM. No field changes allowed."

Staff Planner: Dave Skilton

Decision rendered by:  **on March 25, 2014.**

By authority of the Director of the Bureau of Development Services

Decision mailed: April 1, 2014

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on January 31, 2014, and was determined to be complete on February 19, 2014.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on January 31, 2014.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period.

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has

independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Historic Landmarks Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on April 15, 2014** at 1900 SW Fourth Ave. Appeals can be filed Tuesday through Friday on the first floor of the Development Services Center until 3 p.m. After 3 p.m. and Mondays, appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Historic Landmarks Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Historic Landmarks Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed,* The final decision may be recorded on or after **April 16, 2014**.
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

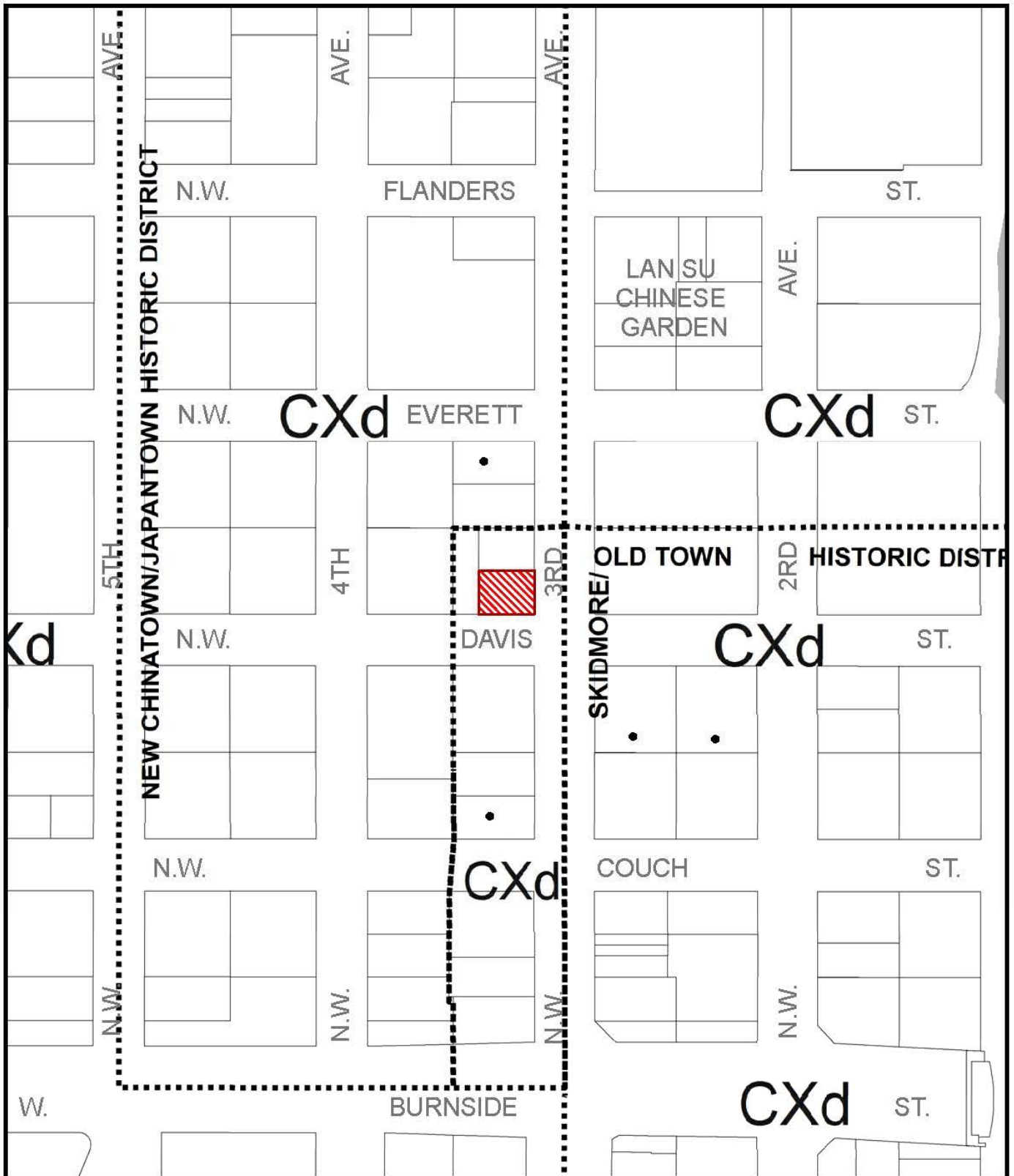
EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
- B. Zoning Map (attached)
- C. Plans/Drawings:
 1. Cover and Historic Photo
 2. Site and Vicinity Plan (attached)
 3. Existing Condition Photos
 4. Existing Condition Photos
 5. Existing Floor Plans
 6. Existing Ground Floor Plan
 7. Proposed Ground Floor Plan
 8. Proposed Upper Floor Plans
 9. Proposed Roof Plans
 10. Existing East and South Elevations
 11. Existing North and West Elevations
 12. Proposed South Elevation (attached)
 13. Proposed East Elevation (attached)
 14. Proposed Partial East Elevation
 15. Proposed North Elevation
 16. Proposed West Elevation
 17. North-South Building Section
 18. North-South Building Section
 19. North-South Building Section

20. Fire Escape and Parapet Gate Details
 21. Rooftop Structures Elevations
 22. Rooftop Structures Elevations
 23. Rendered Elevations
 24. Sightline Perspective Studies
 25. Lighting Details
 26. Lighting Details
 27. Rooftop Cladding Details
 28. Door Hardware Details
 29. Sign Details
 30. Hypothetical Cornice Replacement Detail
- D. Notification information:
1. Mailing list
 2. Mailed notice
- E. Agency Responses:
1. Site Development Review Section of BDS
- F. Correspondence:
1. Paul Verhoeven and Patrick Gortmacher, Co-Chairs of the Old Town Chinatown Community Association Land Use Committee, wrote on March 4, 2014, in support of the proposal, but with emphasis that the choice of treatments should be sensitive to historic character.
- G. Other:
1. Original LU Application

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



ZONING



Site



Historic Landmark



NORTH

This site lies within the:
**NEW CHINATOWN / JAPANTOWN
 SKIDMORE / OLD TOWN HISTORIC DISTRICT**

**CENTRAL CITY PLAN DISTRICT
 RIVER SUBDISTRICT**

File No. LU 14-112322 HRM

1/4 Section 3029

Scale 1 inch = 150 feet

State_Id 1N1E34CA 5100

Exhibit B (Feb 03, 2014)

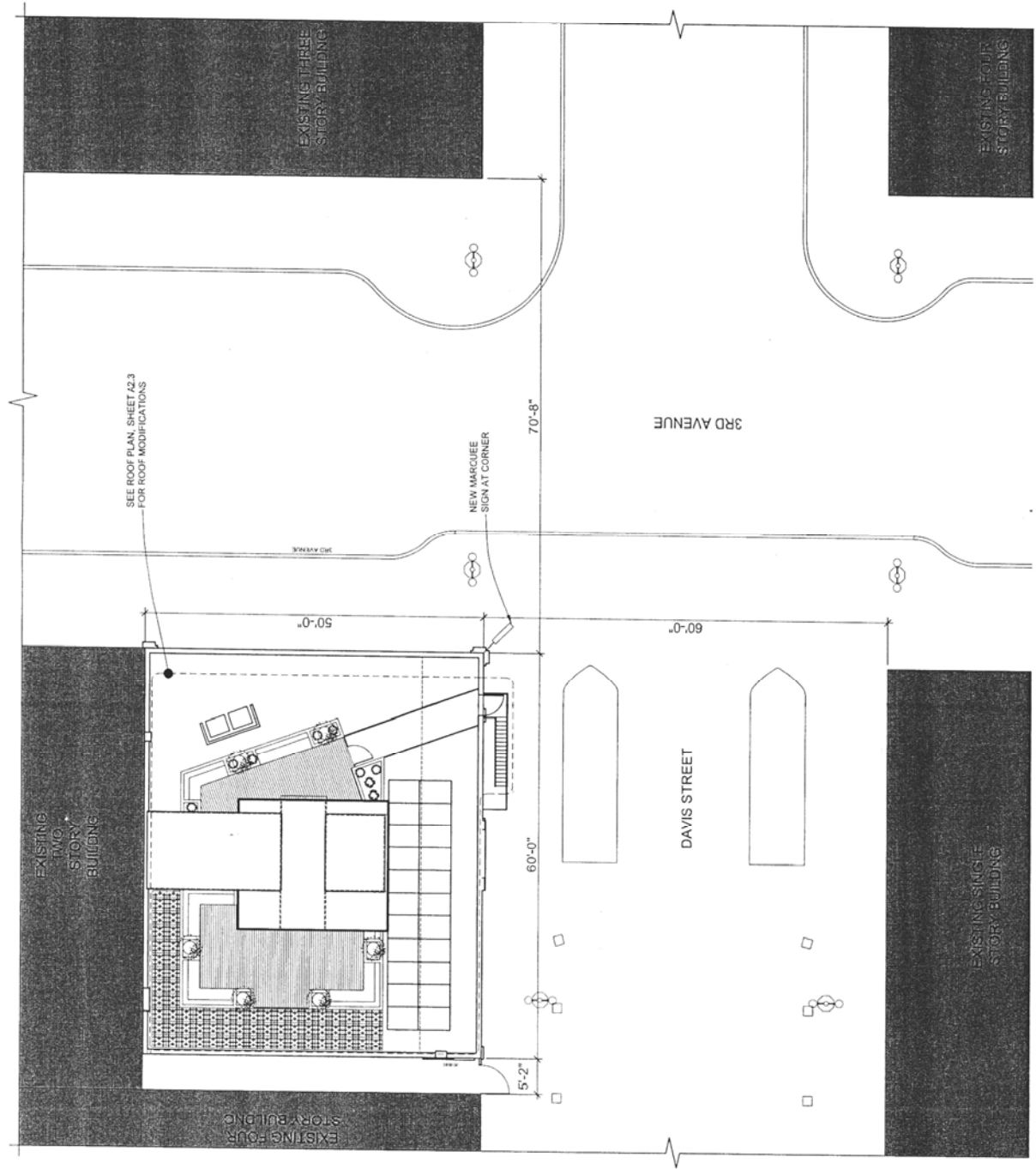
C-2

Planner: Dave Sullivan Date: 3.25.14
 City of Portland - Bureau of Development Services
 "Approved"

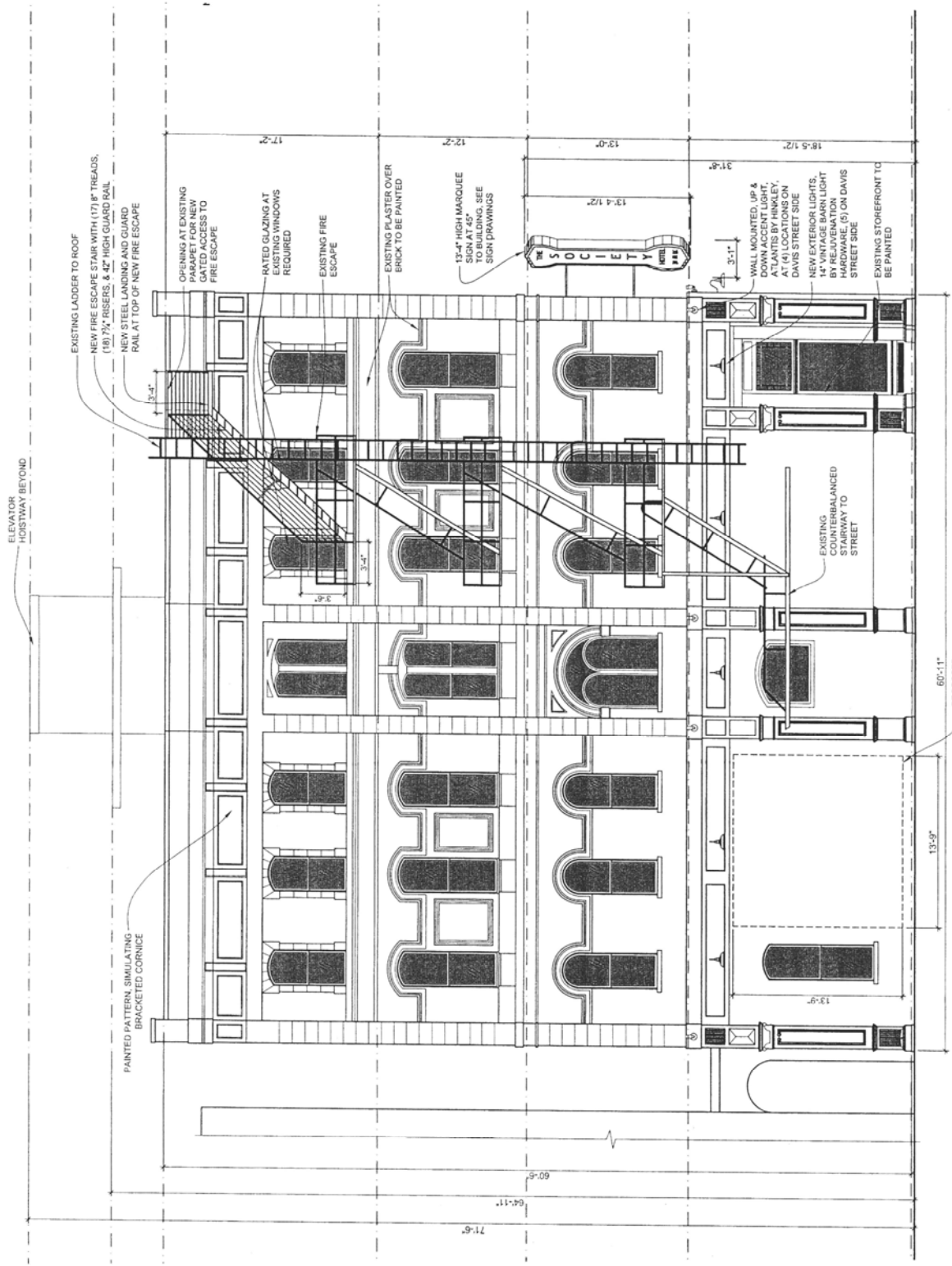
* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

SITE PLAN
 Design Review
 January 31, 2014
 203 NW 3rd Avenue
A0.1

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1 **SITE PLAN**
 1/16" = 1'-0"

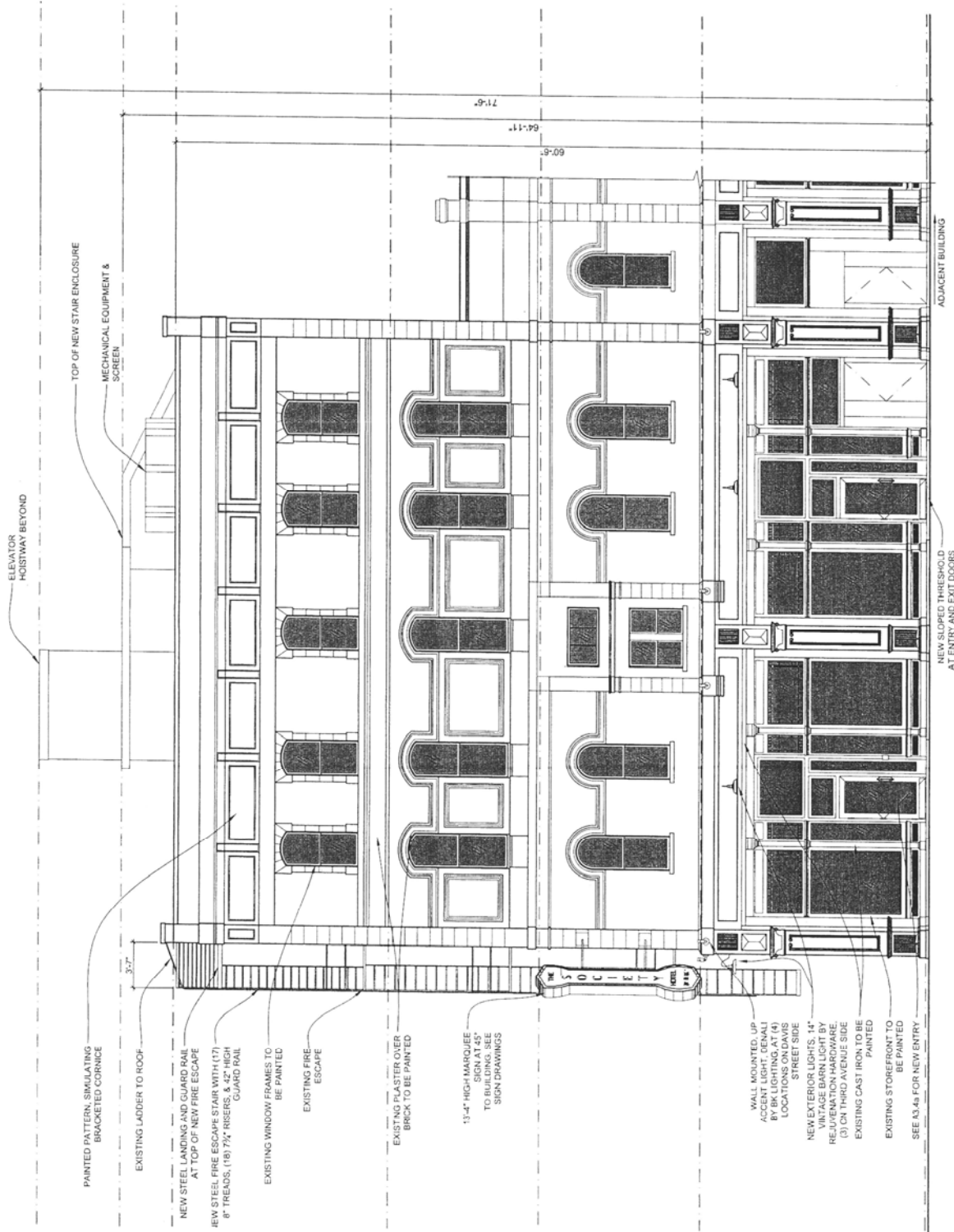


Approved
 City of Portland - Bureau of Development Services
 Planner: *David J. ...* Date: 3.25.14
 * This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

PROPOSED ELEVATION
 Design Review
 January 31, 2014
 203 NW 3rd Avenue
A3.3
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C-12

1 PROPOSED SOUTH SIDE (DAVIS STREET) ELEVATION
 18" = 1'-0"



Approved
 City of Portland - Bureau of Development Services
 Planner *Dave Fisher*
 Date 3.25.14
 * This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

PROPOSED ELEVATION

Design Review
 January 31, 2014
 203 NW 3rd Avenue

A3.4

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 Portland, Oregon 97232

C-13

1 PROPOSED FRONT (3RD AVE.) ELEVATION

1/8" = 1'-0"