



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
FROM CONCEPT TO CONSTRUCTION

Amanda Fritz, Commissioner  
Paul L. Scarlett, Director  
Phone: (503) 823-7300  
Fax: (503) 823-5630  
TTY: (503) 823-6868  
[www.portlandoregon.gov/bds](http://www.portlandoregon.gov/bds)

**Date:** April 03, 2015  
**To:** Interested Person  
**From:** Arthur Graves, Land Use Services  
503-823-7803 | [Arthur.Graves@portlandoregon.gov](mailto:Arthur.Graves@portlandoregon.gov)

## **NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD**

The Bureau of Development Services has **approved** a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision, including the written response to the approval criteria and to public comments received on this application, are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

### **CASE FILE NUMBER: LU 14-254756 DZ: STOREFRONT IMPROVEMENTS AND EXTERIOR ALTERATIONS**

#### **GENERAL INFORMATION**

**Applicant:** Britta Mack | Emerick Architects P.C. | 503.235.9400  
208 SW First Ave Suite 320 | Portland OR 97204

**Owner:** Frederick Buckman | Cambridge Development Group | 971.998.2253  
1503 Officers Row | Vancouver Washington 98661

**Site Address:** 1233 North Killingsworth Street

**Legal Description:** BLOCK 3 LOT 3&4, NORTH ALBINA  
**Tax Account No.:** R610300190  
**State ID No.:** 1N1E15CC 15700  
**Quarter Section:** 2429  
**Neighborhood:** Overlook NA, contact Mary Skarie at 206-818-6355.  
**Business District:** North-Northeast Business Assoc, contact Joice Taylor at 503-841-5032.  
**District Coalition:** North Portland Neighborhood Services, contact Mary Jaron Kelley at 503-823-4099.

**Plan District:** North Interstate  
**Zoning:** CSd: Storefront Commercial (CS) with a design (d) overlay  
**Case Type:** DZ: Design Review  
**Procedure:** Type II, an administrative decision with appeal to the Design Commission.

#### **Proposal:**

The applicant seeks design review approval for alterations to the existing single story building located at the intersection of N. Killingsworth Street and N. Montana Avenue. The alterations include the installation of new:

- Aluminum storefront systems with clear glazing to the south and east elevations.
- Aluminum framed entrances with clear glazing to all elevations.
- Fiberglass windows with clear glazing to the east, north and west elevations.

- Steel awnings above tenant entrance ways and fabric canopies above storefront systems on the south façade.
- Exterior lighting to proposed steel awnings, and fabric canopies as well as across the upper tier of the building on all elevations.
- Wood fence and gate along the east property line and at the northwest corner of the property.
- Covered external bicycle parking on the east edge of the building.
- Heightened parapets on the west and east ends of the south façade.
- The building is also proposed to be refinished with a high quality 3-coat integral color stucco finish.

Per Zoning Code Section 33.420.041.B, Design review is required since the proposal includes an exterior alteration to existing development.

**Relevant Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant approval criteria are:

- Community Design Guidelines

## ANALYSIS

**Site and Vicinity:**

The subject property is a single story building constructed in 1948 at the intersection of North Montana Avenue and North Killingsworth Street. Located on N. Killingsworth Ave. the site is less than 400 feet to the west of the Piedmont Conservation District, and is an equal distance to the east of North Interstate Avenue. The site is less than 300 feet to the west of the Interstate 5 freeway.

Area amenities within an approximate 5 minute walk (a quarter mile distance) of the site include restaurants, cafes, retail and commercial venues along N. Killingsworth Ave. to the east and west. Patton Square City Park is located to the southwest of the site. Ockley Green School is located to the north and Portland Community College – Cascade Campus and Jefferson High School are located along N. Killingsworth Ave. to the east.

Regarding transportation, the site is well served. N. Killingsworth Ave. is designated as a Community Main Street and a Major Transit Priority Street. As such the site is provided frequent bus service, defined by TriMet as service running every 15 minutes or better, by the number 72. MAX Light Rail runs two blocks west of the site along N. Interstate. N. Killingsworth Ave. is also a designated City Bikeway.

**Zoning:**

The Storefront Commercial (CS) zone is intended to preserve and enhance older commercial areas that have a storefront character. The zone intends that new development in these areas will be compatible with this desired character. The zone allows a full range of retail, service and business uses with a local and regional market area. Industrial uses are allowed but are limited in size to avoid adverse effects different in kind or amount than commercial uses and to ensure that they do not dominate the character of the commercial area. The desired character includes areas which are predominately built-up, with buildings close to and oriented towards the sidewalk especially at corners. Development is intended to be pedestrian-oriented and buildings with a storefront character are encouraged.

The design (d) overlay promotes the conservation and enhancement of areas of the City with special historic, architectural or cultural value. New development and exterior modifications to existing development are subject to design review. This is achieved through the creation of design districts and applying the Design Overlay Zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. In addition,

design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

**Land Use History:** City records indicate the following prior land use reviews for this site:

1. LU 07-171608: NU approved to change a portion of an existing office/warehouse use to retail sales and service.

**Agency Review:** A “Notice of Proposal in Your Neighborhood” was mailed **February 17, 2015**. The following Bureaus have responded with no issues or concerns:

- Bureau of Development Services Life Safety / Building Code Section: Nauman Quraishi: March 05, 2015. (Exhibit E-1)

**Neighborhood Review:** A Notice of Proposal in Your Neighborhood was mailed on February 17, 2015. One written response has been received from either the Neighborhood Association or notified property owners in response to the proposal.

- Stacy Askew, an adjacent property owner, wrote on March 09, 2015 with concerns about how the proposed development will address on-going issues involving poor maintenance of the sites garbage and recycling. (Exhibit F-1)

Staff responded to Ms. Askew that according to the proposed plans garbage and recycling is to be located in a room on the east side of the building. Staff further confirmed this with the applicant via email on March 09, 2015. (Exhibit G-5)

## ZONING CODE APPROVAL CRITERIA

### Chapter 33.825 Design Review

#### Section 33.825.010 Purpose of Design Review

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

#### Section 33.825.055 Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

**Findings:** The site is designated with design overlay zoning (d), therefore the proposal requires Design Review approval. Because of the site’s location, the applicable design guidelines are the Community Design Guidelines.

#### Community Design Guidelines

The Community Design Guidelines consist of a set of guidelines for design and historic design cases in community planning areas outside of the Central City. These guidelines address the unique and special characteristics of the community plan area and the historic and conservation districts. The Community Design Guidelines focus on three general categories: **(P) Portland Personality**, which establishes Portland’s urban design framework; **(E) Pedestrian Emphasis**, which states that Portland is a city for people as well as cars and other movement systems; and **(D) Project Design**, which assures that each development is sensitive to both Portland’s urban design framework and the users of the city.

*Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.*

**P1. Plan Area Character.** Enhance the sense of place and identity by incorporating site and building design features that respond to the area's desired characteristics and traditions.

**P2. Historic and Conservation Districts.** Enhance the identity of historic and conservation districts by incorporating site and building design features that reinforce the area's historic significance. Near historic and conservation districts, use such features to reinforce and complement the historic areas.

**Findings for P1 and P2:** The site location falls outside of the Piedmont Conservation District, which is less than two blocks to the east, but draws on its design features and a number of its building characteristics to respond to area traditions. Pedestrian-oriented storefront systems along the south facing façade with generous amounts of glazing contribute to the historic streetcar aesthetic of the area. In slight contrast, the western façade of the building is designed with in an effort to transition from the commercial storefront aesthetic along Killingsworth to the residential neighborhood along Montana. This is accomplished through the horizontal base continuing from the south façade around to the west façade for approximately half the linear elevation. At the point where the solid base ends the building height lessens and the window systems are altered as it transitions into the residential area. *Therefore these guidelines are met.*

**E1. The Pedestrian Network.** Create an efficient, pleasant, and safe network of sidewalks and paths for pedestrians that link destination points and nearby residential areas while visually and physically buffering pedestrians from vehicle areas.

**Findings:** The pedestrian network is strengthened through the proposed storefront alterations. The intended development will reduce vehicle traffic across the sidewalk and onto the site through eliminating the existing curb-cut adjacent to the south façade. The existing garage door on the south façade will also be removed as a part of the proposed alterations further ensuring that vehicle traffic will not directly impact the façade of the building. The current sidewalk along the N. Killingsworth St elevation is between 14 feet wide at the most narrow and 23 feet at the widest providing generous pedestrian movement and access. The proposed alterations to the south façade include additional glazing and storefront access to the site. These improvements provide increased pedestrian visibility, connection and activity to the site and the surrounding area. *Therefore these guidelines are met.*

**E2. Stopping Places.** New large-scale projects should provide comfortable places along pedestrian circulation routes where people may stop, visit, meet, and rest.

**E3. The Sidewalk Level of Buildings.** Create a sense of enclosure and visual interest to buildings along sidewalks and pedestrian areas by incorporating small scale building design features, creating effective gathering places, and differentiating street level facades.

**E5. Light, Wind, and Rain.** Enhance the comfort of pedestrians by locating and designing buildings and outdoor areas to control the adverse effects of sun, shadow, glare, reflection, wind, and rain.

**Findings for E2, E3 and E5:** In addition to the existing wide sidewalks along the N. Killingsworth St. façade the proposed storefront improvements will add increased pedestrian activity and areas for stopping to this location. The proposal increases the number of retail venues along N. Killingsworth St. from one to three with each storefront adding additional glazing and by extension visibility to the area. To further enhance this area for pedestrians awnings and canopies are proposed along this elevation of the building. These features will help to reduce the scale of the building at the pedestrian level while also providing stopping spaces and protected from the elements for pedestrians. *Therefore these guidelines are met.*

**E4. Corners that Build Active Intersections.** Create intersections that are active, unified, and have a clear identity through careful scaling detail and location of buildings, outdoor areas, and entrances.

**Findings:** The proposed storefront alterations include entrances to two new tenant spaces along the elevation facing N. Killingsworth Street. In addition, the existing corner entrance at the N. Montana and N. Killingsworth intersection will be maintained and enhanced with a new storefront system consistent with the others proposed for the site. This entrance provides activity at the corner while also maintaining an architectural detail (the corner entry) that is common in the nearby Piedmont Conservation District. The additional aspect of the site having existing wide sidewalks aids in supporting greater pedestrian activity at the corner. *Therefore this guideline is met.*

**D1. Outdoor Areas.** When sites are not fully built on, place buildings to create sizable, usable outdoor areas. Design these areas to be accessible, pleasant, and safe. Connect outdoor areas to the circulation system used by pedestrians;

**Findings:** The proposed alterations include a patio and covered long-term bicycle parking area on the east side of the site. These outdoor areas contribute to the site spaces that are accessible, pleasant and safe. *Therefore this guideline is met.*

**D2. Main Entrances.** Make the main entrances to houses and buildings prominent, interesting, pedestrian accessible, and transit-oriented.

**Findings:** The new storefronts entrances are directly off of N. Killingsworth Street and are fully accessible and prominent to pedestrians. N. Killingsworth St. is also a “Major Transit Priority Street” as defined in the current Transit Service Plan (TSP) and so the proposed entrances also allow easy and direct access to transit service. Proposed steel canopies also help to provide additional architectural interest and prominence to the three new storefronts. *Therefore this guideline is met.*

**D5. Crime Prevention.** Use site design and building orientation to reduce the likelihood of crime through the design and placement of windows, entries, active ground level uses, and outdoor areas.

**Findings:** The proposed alterations will add two more tenant spaces to this elevation while adding considerable more glazing to the façade. The increase in storefront glazing and the subsequent increase in tenant spaces will add activity to the area, improve the “eyes on the street”, and assist in decreasing the likelihood of crime. *Therefore this guideline is met.*

**D6. Architectural Integrity.** Respect the original character of buildings when making modifications that affect the exterior. Make additions compatible in scale, color, details, material proportion, and character with the existing building.

**D7. Blending into the Neighborhood.** Reduce the impact of new development on established neighborhoods by incorporating elements of nearby, quality buildings such as building details, massing, proportions, and materials.

**D8. Interest, Quality, and Composition.** All parts of a building should be interesting to view, of long lasting quality, and designed to form a cohesive composition.

**Findings for D6, D7 and D8:** The proposed alterations to the single story building at the corner of N. Montana and N. Killingsworth incorporate architectural elements from nearby buildings and the Piedmont Conservation District en route to producing a building with a storefront design that respects area architecture, is interesting, long lasting, and integrates well within the established neighborhood. Architectural elements pulled from area buildings and the nearby Piedmont Conservation District include storefront systems with generous amounts of glazing, awnings and canopies and a solid base such as seen on the N. Killingsworth St. and southern portion of the N. Montana Ave. façades. Ultimately, all of these details help the building integrate into the neighborhood while also reducing the scale of the overall building at the sidewalk for a more interesting and pleasant pedestrian experience. Additional

elements such as the use of high quality 3-coat integral color stucco finish help to add interest and material quality to the design. The detail of slightly reducing the height of the building as it progresses on N. Montana Ave. and adjusting the façade through removing the solid base element also helps the building to acknowledge and respond to the transition that the site makes from a very active commercial and retail area, N. Killingsworth St., to an established residential neighborhood, N. Montana. *Therefore these guidelines are met.*

## DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

## CONCLUSIONS

The design review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. The proposal meets the applicable design guidelines and therefore warrants approval.

## ADMINISTRATIVE DECISION

Approval of the following alterations to the existing single story building located at the intersection of N. Killingsworth Street and N. Montana Avenue:

- Aluminum storefront systems with clear glazing to the south and east elevations.
- Aluminum framed entrances with clear glazing to all elevations.
- Fiberglass windows with clear glazing to the east, north and west elevations.
- Steel awnings above tenant entrance ways and fabric canopies above storefront systems on the south façade.
- Exterior lighting to proposed steel awnings, and fabric canopies as well as across the upper tier of the building on all elevations.
- Wood fence and gate along the east property line and at the northwest corner of the property.
- Covered external bicycle parking on the east edge of the building.
- Heightened parapets on the west and east ends of the south façade.
- The building is also proposed to be refinished with a high quality 3-coat integral color stucco finish.

This approval is per the approved site plans, Exhibits C-1 through C-11, signed and dated March 30, 2015, subject to the following conditions:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.11. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 14-254756 DZ. No field changes allowed."

**Staff Planner: Arthur Graves**

**Decision rendered by:**  **on March 30, 2015.**

By authority of the Director of the Bureau of Development Services

**Decision mailed: April 03, 2015.**

**About this Decision.** This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

**Procedural Information.** The application for this land use review was submitted on December 30, 2014, and was determined to be complete on **February 11, 2015**.

*Zoning Code Section 33.700.080* states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on December 30, 2014.

*ORS 227.178* states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant requested that the 120-day review period be extended for an additional 30 days (See Exhibit A-5). Unless further extended by the applicant, **the 120 days will expire on: Friday, July 10, 2015**.

**Some of the information contained in this report was provided by the applicant.**

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

**Conditions of Approval.** If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

**Appealing this decision.** This decision may be appealed to the Design Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on Friday, April 17, 2015**, at 1900 SW Fourth Ave. Appeals can be filed at the Development Services Center Monday through Wednesday and Fridays between 8:00 am to 3:00 pm and on Thursdays between 8:00 am to 12:00 pm. After 3:00 pm Monday through Wednesday and Fridays, and after 12:00 pm on Thursdays, appeals must be submitted at the reception desk on the 5<sup>th</sup> floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization's boundaries. The vote to appeal must be in accordance with the organization's bylaws. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please call the Request Line at our office, 1900 SW Fourth Avenue, Suite 5000, phone 503-823-7617, to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at [www.portlandonline.com](http://www.portlandonline.com).

**Attending the hearing.** If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Design Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Design Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

**Recording the final decision.**

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

*Unless appealed,* The final decision may be recorded on or after **Monday, April 20, 2015 – (the day following the last day to appeal).**

- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034  
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

**Expiration of this approval.** An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

**Applying for your permits.** A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.



**EXHIBITS**  
NOT ATTACHED UNLESS INDICATED

- A. Applicant's Submittal
  - 1. Applicant's Statement
  - 2. Site Photos
  - 3. Precedent Study
  - 4. Project Itemized Valuation: Regarding Nonconforming Development
  - 5. Extension to 120-Day Review Period, dated March 30, 2015
- B. Zoning Map (attached)
- C. Plans/Drawings:
  - 1. Vicinity Map
  - 2. Site Plan (attached)
  - 3. Demolition Plan and Details
  - 4. Demolition Floor Plan
  - 5. Elevations: Existing
  - 6. Proposed Floor Plan
  - 7. Proposed Elevations: South and West (attached)
  - 8. Proposed Elevations: North and East (attached)
  - 9. Details
  - 10. Ceiling Plan
  - 11. Manufactures Cutsheets
- D. Notification information:
  - 1. Mailing list
  - 2. Mailed notice
- E. Agency Responses:
  - 1. Life Safety/Building Code Section of the Bureau of Development Services: March 05, 2015.
- F. Correspondence:
  - 1. Stacy Askew, March 09, 2015, Regarding proposed attention and location to garbage and recycling on the site after development
- G. Other:
  - 1. Original LU Application
  - 2. Incomplete Letter: January 27, 2015
  - 3. Early Assistance Land Use Planner Response: August 28, 2014
  - 4. Site Photographs
  - 5. Email with Applicant Regarding Future Trash Location: March 09, 2015.

**The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).**



# ZONING



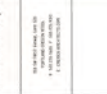
Site



This site lies within the:  
**NORTH INTERSTATE PLAN DISTRICT**

File No. LU 14-254756 DZ  
 1/4 Section 2429,2529  
 Scale 1 inch = 200 feet  
 State\_Id 1N1E15CC 15700  
 Exhibit B (Dec 31,2014)

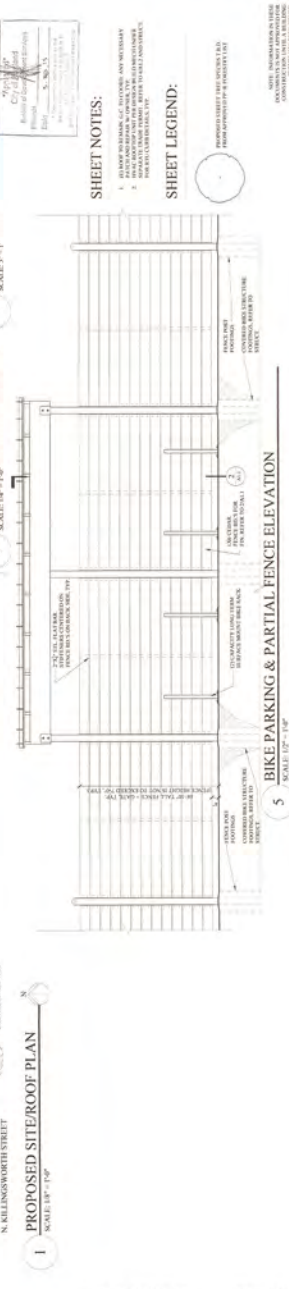
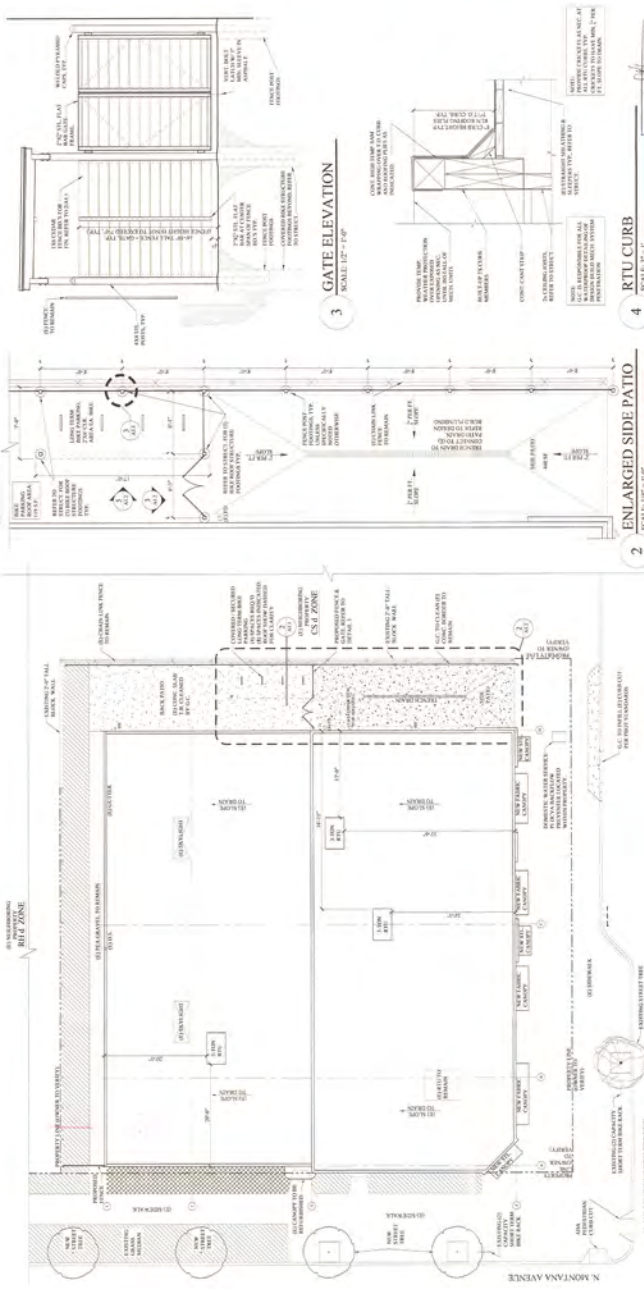




DATE: 12/31/14  
 CONTRACT NO. 15403  
 SHEET: 12/31/14

CAMBRIDGE  
 1233 N. KILLINGSWORTH  
 PORTLAND, OREGON 97217

PROPOSED  
 SITE PLAN + PATIO  
 + SITE DETAILS



**SHEET NOTES:**

1. ALL DRAWINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE OREGON ARCHITECTURAL CODE AND ALL APPLICABLE ORDINANCES.
2. ALL DRAWINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE OREGON PLUMBING CODE AND ALL APPLICABLE ORDINANCES.
3. ALL DRAWINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE OREGON ELECTRICAL CODE AND ALL APPLICABLE ORDINANCES.

**SHEET LEGEND:**



PROJECT: CAMBRIDGE  
 ADDRESS: 1233 N. KILLINGSWORTH  
 SHEET: A1.2  
 DATE: 12/31/14

BIKE PARKING & PARTIAL FENCE ELEVATION  
 SCALE: 1/2" = 2'-0"

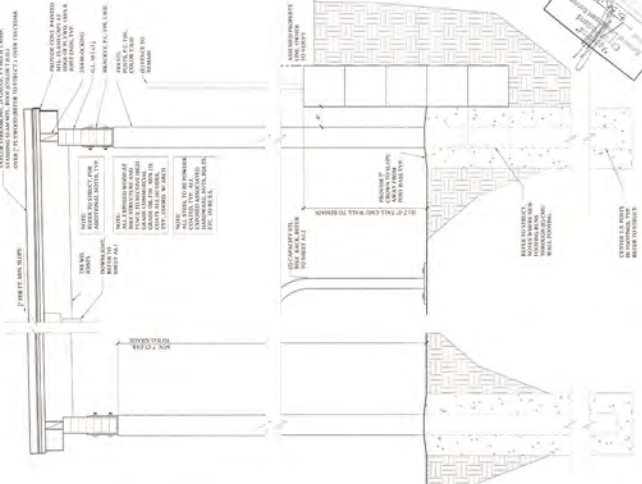
PROPOSED SITE/ROOF PLAN  
 SCALE: 1/8" = 1'-0"

ENLARGED SIDE PATIO  
 SCALE: 1/8" = 2'-0"

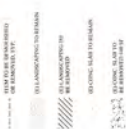
GATE ELEVATION  
 SCALE: 1/2" = 2'-0"

RTU CURB  
 SCALE: 3/4" = 1'-0"

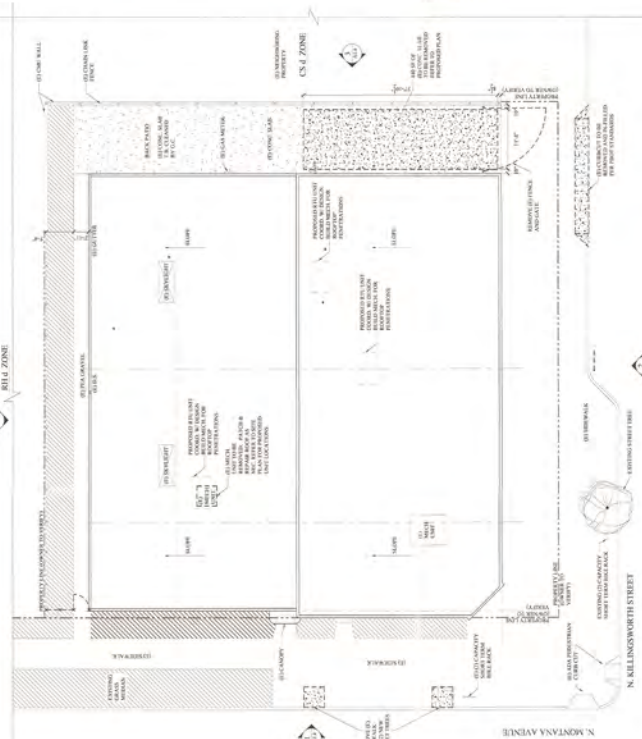
BIKE PARKING & PARTIAL FENCE ELEVATION  
 SCALE: 1/2" = 2'-0"



2 DEMO SHEET LEGEND:



NOTES: INFORMATION ON THIS SHEET IS FOR THE PROJECT ONLY. IT IS NOT TO BE USED FOR ANY OTHER PROJECT. ALL DIMENSIONS ARE IN FEET AND INCHES. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO FACE. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE AS SHOWN OR AS NOTED.



1 SITE/ROOF DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

2 DETAIL BIKE PARKING

SCALE: 1/2" = 1'-0"

3 DETAIL POST BIKE PARKING

SCALE: 1/2" = 1'-0"





SEE PLAN SHEET FOR DEMO

SEE PLAN SHEET FOR DEMO

DEMO SHEET LEGEND:

DEMOLITION DATE: 07/25/13

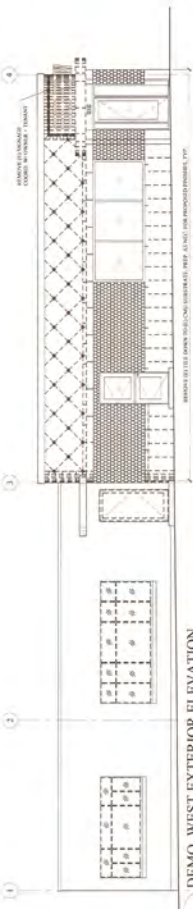
DEMO SHEET NOTES:

1. DEMOLITION DATE: 07/25/13

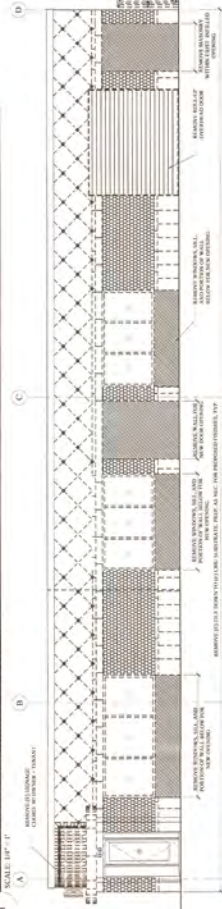
2. DEMOLITION DATE: 07/25/13

3. DEMOLITION DATE: 07/25/13

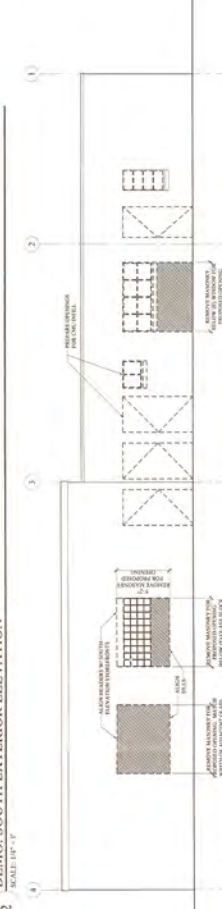
4. DEMOLITION DATE: 07/25/13



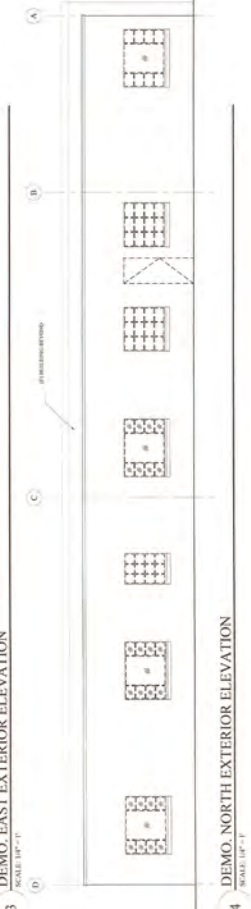
1 DEMO. WEST EXTERIOR ELEVATION  
SCALE: 1/8" = 1'-0"



2 DEMO. SOUTH EXTERIOR ELEVATION  
SCALE: 1/8" = 1'-0"

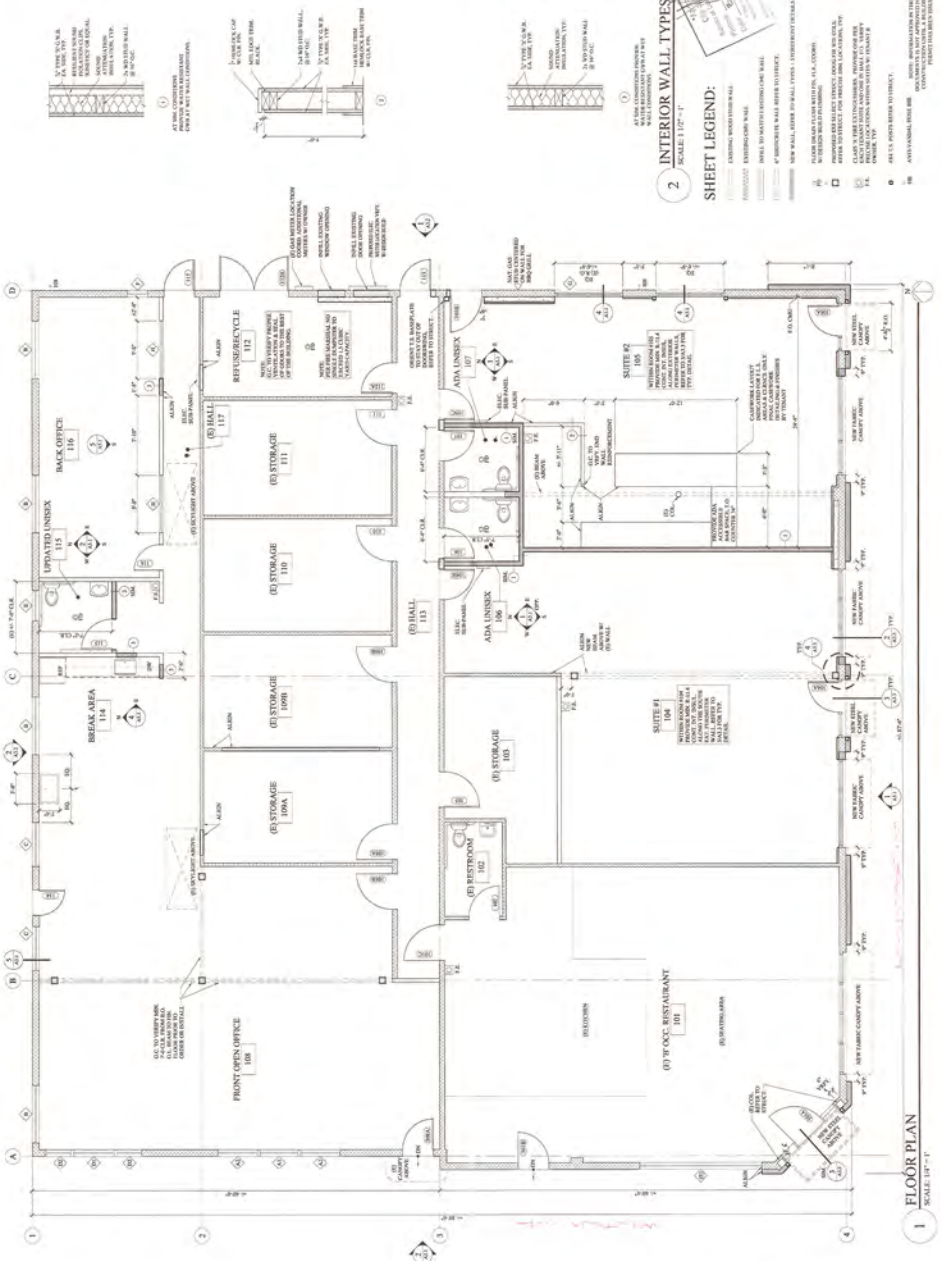


3 DEMO. EAST EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"



4 DEMO. NORTH EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"

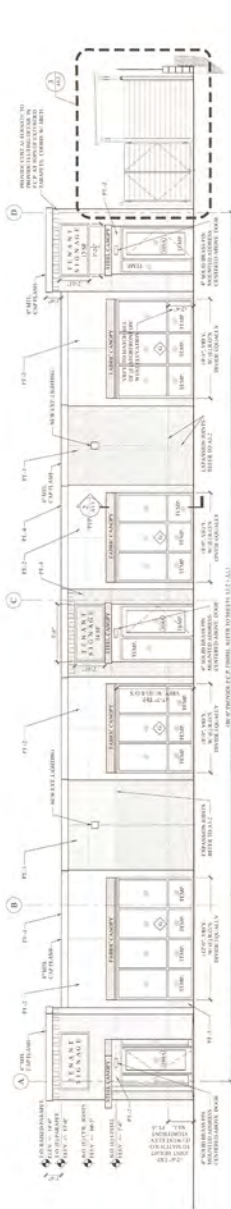




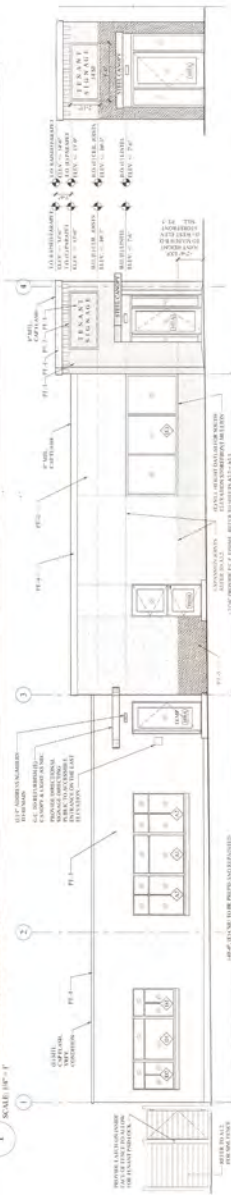
- 2 INTERIOR WALL TYPES**  
 A2.1.1.1-1
- LAND USE REVIEW SET
- 1 EXISTING EXTERIOR WALL
  - 2 EXISTING INTERIOR WALL
  - 3 NEW WALL WITH REBAR SYSTEM
  - 4 NEW WALL WITH REBAR SYSTEM
  - 5 NEW WALL WITH REBAR SYSTEM
  - 6 NEW WALL WITH REBAR SYSTEM
  - 7 NEW WALL WITH REBAR SYSTEM
  - 8 NEW WALL WITH REBAR SYSTEM
  - 9 NEW WALL WITH REBAR SYSTEM
  - 10 NEW WALL WITH REBAR SYSTEM
  - 11 NEW WALL WITH REBAR SYSTEM
  - 12 NEW WALL WITH REBAR SYSTEM
  - 13 NEW WALL WITH REBAR SYSTEM
  - 14 NEW WALL WITH REBAR SYSTEM
  - 15 NEW WALL WITH REBAR SYSTEM
  - 16 NEW WALL WITH REBAR SYSTEM
  - 17 NEW WALL WITH REBAR SYSTEM
  - 18 NEW WALL WITH REBAR SYSTEM
  - 19 NEW WALL WITH REBAR SYSTEM
  - 20 NEW WALL WITH REBAR SYSTEM
  - 21 NEW WALL WITH REBAR SYSTEM
  - 22 NEW WALL WITH REBAR SYSTEM
  - 23 NEW WALL WITH REBAR SYSTEM
  - 24 NEW WALL WITH REBAR SYSTEM
  - 25 NEW WALL WITH REBAR SYSTEM
  - 26 NEW WALL WITH REBAR SYSTEM
  - 27 NEW WALL WITH REBAR SYSTEM
  - 28 NEW WALL WITH REBAR SYSTEM
  - 29 NEW WALL WITH REBAR SYSTEM
  - 30 NEW WALL WITH REBAR SYSTEM
  - 31 NEW WALL WITH REBAR SYSTEM
  - 32 NEW WALL WITH REBAR SYSTEM
  - 33 NEW WALL WITH REBAR SYSTEM
  - 34 NEW WALL WITH REBAR SYSTEM
  - 35 NEW WALL WITH REBAR SYSTEM
  - 36 NEW WALL WITH REBAR SYSTEM
  - 37 NEW WALL WITH REBAR SYSTEM
  - 38 NEW WALL WITH REBAR SYSTEM
  - 39 NEW WALL WITH REBAR SYSTEM
  - 40 NEW WALL WITH REBAR SYSTEM
  - 41 NEW WALL WITH REBAR SYSTEM
  - 42 NEW WALL WITH REBAR SYSTEM
  - 43 NEW WALL WITH REBAR SYSTEM
  - 44 NEW WALL WITH REBAR SYSTEM
  - 45 NEW WALL WITH REBAR SYSTEM
  - 46 NEW WALL WITH REBAR SYSTEM
  - 47 NEW WALL WITH REBAR SYSTEM
  - 48 NEW WALL WITH REBAR SYSTEM
  - 49 NEW WALL WITH REBAR SYSTEM
  - 50 NEW WALL WITH REBAR SYSTEM
- SHEET LEGEND:**
- 1 EXISTING EXTERIOR WALL
  - 2 EXISTING INTERIOR WALL
  - 3 NEW WALL WITH REBAR SYSTEM
  - 4 NEW WALL WITH REBAR SYSTEM
  - 5 NEW WALL WITH REBAR SYSTEM
  - 6 NEW WALL WITH REBAR SYSTEM
  - 7 NEW WALL WITH REBAR SYSTEM
  - 8 NEW WALL WITH REBAR SYSTEM
  - 9 NEW WALL WITH REBAR SYSTEM
  - 10 NEW WALL WITH REBAR SYSTEM
  - 11 NEW WALL WITH REBAR SYSTEM
  - 12 NEW WALL WITH REBAR SYSTEM
  - 13 NEW WALL WITH REBAR SYSTEM
  - 14 NEW WALL WITH REBAR SYSTEM
  - 15 NEW WALL WITH REBAR SYSTEM
  - 16 NEW WALL WITH REBAR SYSTEM
  - 17 NEW WALL WITH REBAR SYSTEM
  - 18 NEW WALL WITH REBAR SYSTEM
  - 19 NEW WALL WITH REBAR SYSTEM
  - 20 NEW WALL WITH REBAR SYSTEM
  - 21 NEW WALL WITH REBAR SYSTEM
  - 22 NEW WALL WITH REBAR SYSTEM
  - 23 NEW WALL WITH REBAR SYSTEM
  - 24 NEW WALL WITH REBAR SYSTEM
  - 25 NEW WALL WITH REBAR SYSTEM
  - 26 NEW WALL WITH REBAR SYSTEM
  - 27 NEW WALL WITH REBAR SYSTEM
  - 28 NEW WALL WITH REBAR SYSTEM
  - 29 NEW WALL WITH REBAR SYSTEM
  - 30 NEW WALL WITH REBAR SYSTEM
  - 31 NEW WALL WITH REBAR SYSTEM
  - 32 NEW WALL WITH REBAR SYSTEM
  - 33 NEW WALL WITH REBAR SYSTEM
  - 34 NEW WALL WITH REBAR SYSTEM
  - 35 NEW WALL WITH REBAR SYSTEM
  - 36 NEW WALL WITH REBAR SYSTEM
  - 37 NEW WALL WITH REBAR SYSTEM
  - 38 NEW WALL WITH REBAR SYSTEM
  - 39 NEW WALL WITH REBAR SYSTEM
  - 40 NEW WALL WITH REBAR SYSTEM
  - 41 NEW WALL WITH REBAR SYSTEM
  - 42 NEW WALL WITH REBAR SYSTEM
  - 43 NEW WALL WITH REBAR SYSTEM
  - 44 NEW WALL WITH REBAR SYSTEM
  - 45 NEW WALL WITH REBAR SYSTEM
  - 46 NEW WALL WITH REBAR SYSTEM
  - 47 NEW WALL WITH REBAR SYSTEM
  - 48 NEW WALL WITH REBAR SYSTEM
  - 49 NEW WALL WITH REBAR SYSTEM
  - 50 NEW WALL WITH REBAR SYSTEM

**1 FLOOR PLAN**  
 SCALE 1/4" = 1'-0"





1 SOUTH EXTERIOR ELEVATION  
 SCALE 1/8" = 1'-0"



2 WEST EXTERIOR ELEVATION  
 SCALE 1/8" = 1'-0"

3 SW CORNER ENTRY ELEVATION  
 SCALE 1/8" = 1'-0"

**WINDOW SCHEDULE**

NO.	SYMBOL	TYPE	FINISH	GLASS	OPERATION	SCREENING	REMARKS
1	W1	6" x 6" S/P	BRN GRN	6MM	FIXED	NO	FIXED WINDOW
2	W2	6" x 6" S/P	BRN GRN	6MM	FIXED	NO	FIXED WINDOW
3	W3	6" x 6" S/P	BRN GRN	6MM	FIXED	NO	FIXED WINDOW
4	W4	6" x 6" S/P	BRN GRN	6MM	FIXED	NO	FIXED WINDOW
5	W5	6" x 6" S/P	BRN GRN	6MM	FIXED	NO	FIXED WINDOW
6	W6	6" x 6" S/P	BRN GRN	6MM	FIXED	NO	FIXED WINDOW
7	W7	6" x 6" S/P	BRN GRN	6MM	FIXED	NO	FIXED WINDOW
8	W8	6" x 6" S/P	BRN GRN	6MM	FIXED	NO	FIXED WINDOW
9	W9	6" x 6" S/P	BRN GRN	6MM	FIXED	NO	FIXED WINDOW
10	W10	6" x 6" S/P	BRN GRN	6MM	FIXED	NO	FIXED WINDOW
11	W11	6" x 6" S/P	BRN GRN	6MM	FIXED	NO	FIXED WINDOW
12	W12	6" x 6" S/P	BRN GRN	6MM	FIXED	NO	FIXED WINDOW
13	W13	6" x 6" S/P	BRN GRN	6MM	FIXED	NO	FIXED WINDOW
14	W14	6" x 6" S/P	BRN GRN	6MM	FIXED	NO	FIXED WINDOW
15	W15	6" x 6" S/P	BRN GRN	6MM	FIXED	NO	FIXED WINDOW
16	W16	6" x 6" S/P	BRN GRN	6MM	FIXED	NO	FIXED WINDOW
17	W17	6" x 6" S/P	BRN GRN	6MM	FIXED	NO	FIXED WINDOW
18	W18	6" x 6" S/P	BRN GRN	6MM	FIXED	NO	FIXED WINDOW
19	W19	6" x 6" S/P	BRN GRN	6MM	FIXED	NO	FIXED WINDOW
20	W20	6" x 6" S/P	BRN GRN	6MM	FIXED	NO	FIXED WINDOW
21	W21	6" x 6" S/P	BRN GRN	6MM	FIXED	NO	FIXED WINDOW
22	W22	6" x 6" S/P	BRN GRN	6MM	FIXED	NO	FIXED WINDOW
23	W23	6" x 6" S/P	BRN GRN	6MM	FIXED	NO	FIXED WINDOW
24	W24	6" x 6" S/P	BRN GRN	6MM	FIXED	NO	FIXED WINDOW
25	W25	6" x 6" S/P	BRN GRN	6MM	FIXED	NO	FIXED WINDOW
26	W26	6" x 6" S/P	BRN GRN	6MM	FIXED	NO	FIXED WINDOW
27	W27	6" x 6" S/P	BRN GRN	6MM	FIXED	NO	FIXED WINDOW
28	W28	6" x 6" S/P	BRN GRN	6MM	FIXED	NO	FIXED WINDOW
29	W29	6" x 6" S/P	BRN GRN	6MM	FIXED	NO	FIXED WINDOW
30	W30	6" x 6" S/P	BRN GRN	6MM	FIXED	NO	FIXED WINDOW

**GENERAL WINDOW NOTES:**

1. WINDOW FINISHES SHOWN AS PER FINISH SCHEDULE. FINISHES TO BE MATCHED TO INTERIOR FINISHES.
2. ALL WINDOW UNITS TO BE OPERATED BY HAND OR BY MOTOR. OPERATING METHOD TO BE DETERMINED BY ARCHITECT.
3. ALL WINDOW UNITS TO BE OPERATED BY HAND OR BY MOTOR. OPERATING METHOD TO BE DETERMINED BY ARCHITECT.
4. WINDOW UNITS TO BE OPERATED BY HAND OR BY MOTOR. OPERATING METHOD TO BE DETERMINED BY ARCHITECT.
5. WINDOW UNITS TO BE OPERATED BY HAND OR BY MOTOR. OPERATING METHOD TO BE DETERMINED BY ARCHITECT.



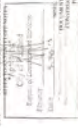
4 STOREFRONT SECTION  
 SCALE 1/8" = 1'-0"



5 TYP. STOREFRONT SILL DETAIL @ F.F.  
 SCALE 1/8" = 1'-0"

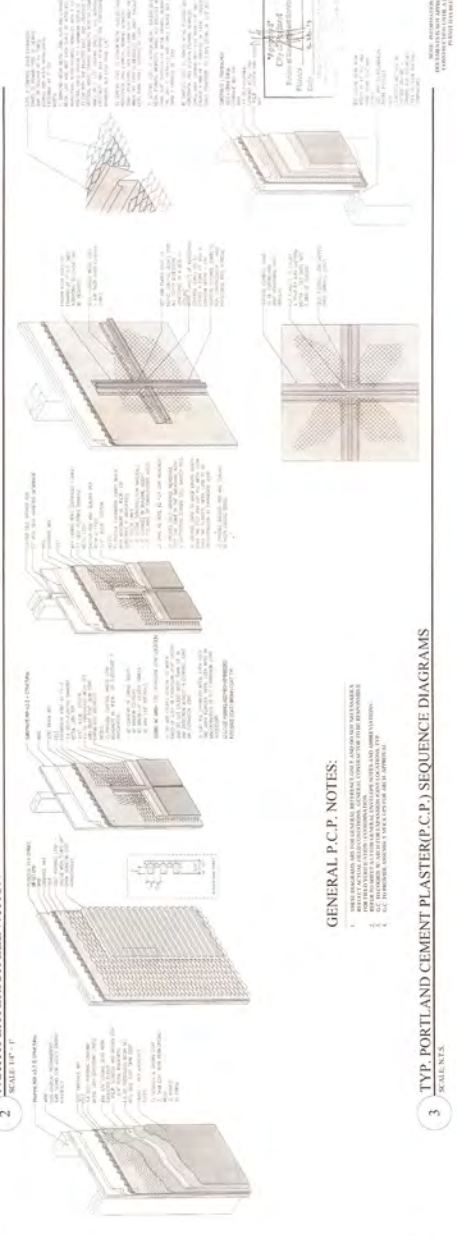
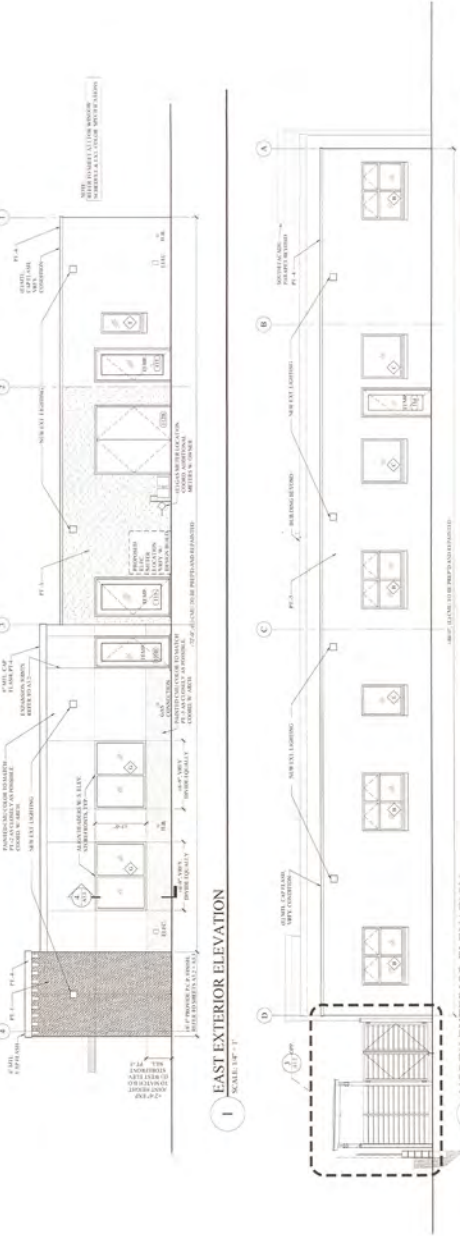
**EXTERIOR FINISH COLOR SPECIFICATIONS:**

1. EXTERIOR WALL FINISH: BRN GRN
2. EXTERIOR WALL FINISH: BRN GRN
3. EXTERIOR WALL FINISH: BRN GRN
4. EXTERIOR WALL FINISH: BRN GRN
5. EXTERIOR WALL FINISH: BRN GRN
6. EXTERIOR WALL FINISH: BRN GRN
7. EXTERIOR WALL FINISH: BRN GRN
8. EXTERIOR WALL FINISH: BRN GRN
9. EXTERIOR WALL FINISH: BRN GRN
10. EXTERIOR WALL FINISH: BRN GRN
11. EXTERIOR WALL FINISH: BRN GRN
12. EXTERIOR WALL FINISH: BRN GRN
13. EXTERIOR WALL FINISH: BRN GRN
14. EXTERIOR WALL FINISH: BRN GRN
15. EXTERIOR WALL FINISH: BRN GRN
16. EXTERIOR WALL FINISH: BRN GRN
17. EXTERIOR WALL FINISH: BRN GRN
18. EXTERIOR WALL FINISH: BRN GRN
19. EXTERIOR WALL FINISH: BRN GRN
20. EXTERIOR WALL FINISH: BRN GRN
21. EXTERIOR WALL FINISH: BRN GRN
22. EXTERIOR WALL FINISH: BRN GRN
23. EXTERIOR WALL FINISH: BRN GRN
24. EXTERIOR WALL FINISH: BRN GRN
25. EXTERIOR WALL FINISH: BRN GRN
26. EXTERIOR WALL FINISH: BRN GRN
27. EXTERIOR WALL FINISH: BRN GRN
28. EXTERIOR WALL FINISH: BRN GRN
29. EXTERIOR WALL FINISH: BRN GRN
30. EXTERIOR WALL FINISH: BRN GRN



**TYPICAL STOREFRONT SPECIFICATION:**

1. WINDOW UNITS TO BE OPERATED BY HAND OR BY MOTOR. OPERATING METHOD TO BE DETERMINED BY ARCHITECT.
2. WINDOW UNITS TO BE OPERATED BY HAND OR BY MOTOR. OPERATING METHOD TO BE DETERMINED BY ARCHITECT.
3. WINDOW UNITS TO BE OPERATED BY HAND OR BY MOTOR. OPERATING METHOD TO BE DETERMINED BY ARCHITECT.
4. WINDOW UNITS TO BE OPERATED BY HAND OR BY MOTOR. OPERATING METHOD TO BE DETERMINED BY ARCHITECT.
5. WINDOW UNITS TO BE OPERATED BY HAND OR BY MOTOR. OPERATING METHOD TO BE DETERMINED BY ARCHITECT.
6. WINDOW UNITS TO BE OPERATED BY HAND OR BY MOTOR. OPERATING METHOD TO BE DETERMINED BY ARCHITECT.
7. WINDOW UNITS TO BE OPERATED BY HAND OR BY MOTOR. OPERATING METHOD TO BE DETERMINED BY ARCHITECT.
8. WINDOW UNITS TO BE OPERATED BY HAND OR BY MOTOR. OPERATING METHOD TO BE DETERMINED BY ARCHITECT.
9. WINDOW UNITS TO BE OPERATED BY HAND OR BY MOTOR. OPERATING METHOD TO BE DETERMINED BY ARCHITECT.
10. WINDOW UNITS TO BE OPERATED BY HAND OR BY MOTOR. OPERATING METHOD TO BE DETERMINED BY ARCHITECT.
11. WINDOW UNITS TO BE OPERATED BY HAND OR BY MOTOR. OPERATING METHOD TO BE DETERMINED BY ARCHITECT.
12. WINDOW UNITS TO BE OPERATED BY HAND OR BY MOTOR. OPERATING METHOD TO BE DETERMINED BY ARCHITECT.
13. WINDOW UNITS TO BE OPERATED BY HAND OR BY MOTOR. OPERATING METHOD TO BE DETERMINED BY ARCHITECT.
14. WINDOW UNITS TO BE OPERATED BY HAND OR BY MOTOR. OPERATING METHOD TO BE DETERMINED BY ARCHITECT.
15. WINDOW UNITS TO BE OPERATED BY HAND OR BY MOTOR. OPERATING METHOD TO BE DETERMINED BY ARCHITECT.
16. WINDOW UNITS TO BE OPERATED BY HAND OR BY MOTOR. OPERATING METHOD TO BE DETERMINED BY ARCHITECT.
17. WINDOW UNITS TO BE OPERATED BY HAND OR BY MOTOR. OPERATING METHOD TO BE DETERMINED BY ARCHITECT.
18. WINDOW UNITS TO BE OPERATED BY HAND OR BY MOTOR. OPERATING METHOD TO BE DETERMINED BY ARCHITECT.
19. WINDOW UNITS TO BE OPERATED BY HAND OR BY MOTOR. OPERATING METHOD TO BE DETERMINED BY ARCHITECT.
20. WINDOW UNITS TO BE OPERATED BY HAND OR BY MOTOR. OPERATING METHOD TO BE DETERMINED BY ARCHITECT.
21. WINDOW UNITS TO BE OPERATED BY HAND OR BY MOTOR. OPERATING METHOD TO BE DETERMINED BY ARCHITECT.
22. WINDOW UNITS TO BE OPERATED BY HAND OR BY MOTOR. OPERATING METHOD TO BE DETERMINED BY ARCHITECT.
23. WINDOW UNITS TO BE OPERATED BY HAND OR BY MOTOR. OPERATING METHOD TO BE DETERMINED BY ARCHITECT.
24. WINDOW UNITS TO BE OPERATED BY HAND OR BY MOTOR. OPERATING METHOD TO BE DETERMINED BY ARCHITECT.
25. WINDOW UNITS TO BE OPERATED BY HAND OR BY MOTOR. OPERATING METHOD TO BE DETERMINED BY ARCHITECT.
26. WINDOW UNITS TO BE OPERATED BY HAND OR BY MOTOR. OPERATING METHOD TO BE DETERMINED BY ARCHITECT.
27. WINDOW UNITS TO BE OPERATED BY HAND OR BY MOTOR. OPERATING METHOD TO BE DETERMINED BY ARCHITECT.
28. WINDOW UNITS TO BE OPERATED BY HAND OR BY MOTOR. OPERATING METHOD TO BE DETERMINED BY ARCHITECT.
29. WINDOW UNITS TO BE OPERATED BY HAND OR BY MOTOR. OPERATING METHOD TO BE DETERMINED BY ARCHITECT.
30. WINDOW UNITS TO BE OPERATED BY HAND OR BY MOTOR. OPERATING METHOD TO BE DETERMINED BY ARCHITECT.

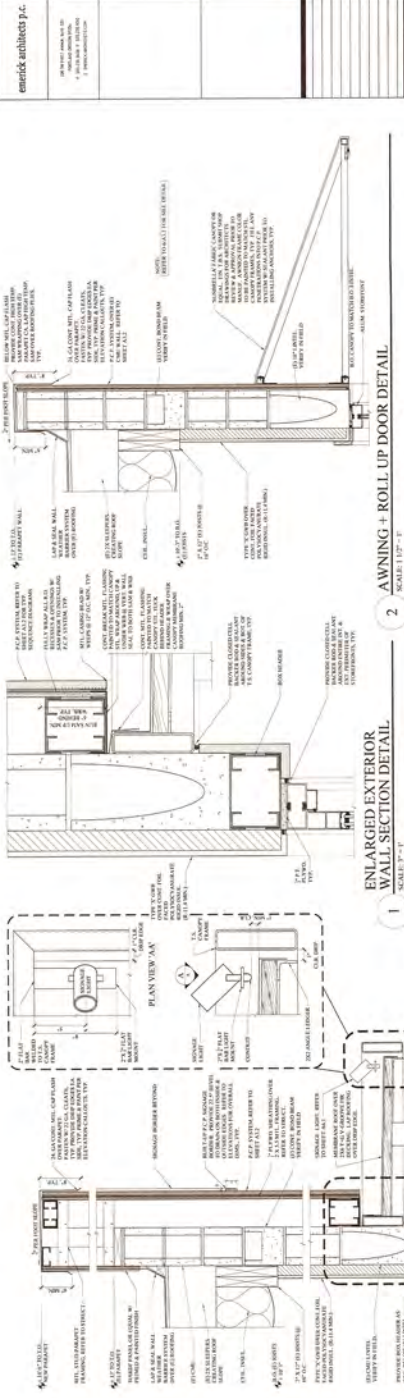


PERMIT / BID SET

ALL DIMENSIONS UNLESS OTHERWISE NOTED.  
SCALE 1/4" = 1'-0"  
DATE: 06/21/20

ALL DIMENSIONS UNLESS OTHERWISE NOTED.  
SCALE 1/4" = 1'-0"  
DATE: 06/21/20

ALL DIMENSIONS UNLESS OTHERWISE NOTED.  
SCALE 1/4" = 1'-0"  
DATE: 06/21/20



1233 N. KILLINGSWORTH  
CAMBRIDGE  
PORTLAND, OREGON 97217

enrstick architects p.c.  
1233 N. KILLINGSWORTH  
CAMBRIDGE, OREGON 97217  
TEL: 503.288.4444  
WWW.ENRSTICK.COM

**A3.3**  
STOREFRONT DETAILS  
LAND USE REVIEW SET

**2 AWNING + ROLL UP DOOR DETAIL**  
SCALE 1/8" = 1'-0"

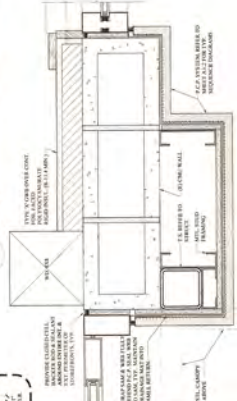
**GENERAL ENVELOPE NOTES:**

1. SEE ENVELOPE FOR FINISH, PROTECTION, REPAIR, MAINTENANCE OF BUILDING ENVELOPE RELATED TO THIS DETAIL PER YOUR LOCAL COMMUNITY REGULATIONS.
2. ALL MATERIALS AND METHODS SHALL BE SUBJECT TO THE QUALITY CONTROL AND INSPECTION REQUIREMENTS OF THE LOCAL COMMUNITY REGULATIONS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL COMMUNITY REGULATIONS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL COMMUNITY REGULATIONS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL COMMUNITY REGULATIONS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL COMMUNITY REGULATIONS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL COMMUNITY REGULATIONS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL COMMUNITY REGULATIONS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL COMMUNITY REGULATIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL COMMUNITY REGULATIONS.

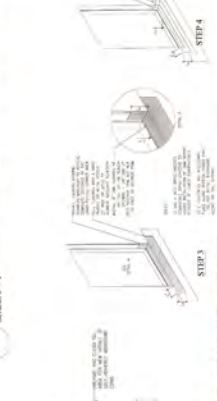
**ENVELOPE ABBREVIATIONS:**

- 1. AWNING
- 2. ROLL UP DOOR
- 3. WINDOW
- 4. DOOR
- 5. WALL
- 6. FLOOR
- 7. CEILING
- 8. ROOF
- 9. GROUND
- 10. AIR

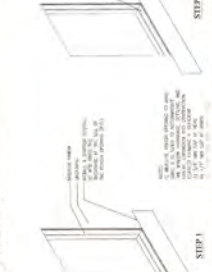
**1 ENLARGED EXTERIOR WALL SECTION DETAIL**  
SCALE 3/8" = 1'-0"



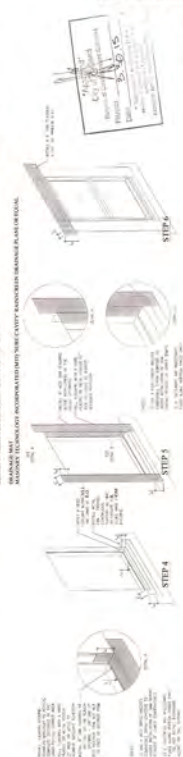
**4 ENLARGED EXTERIOR WALL PLAN DETAIL**  
SCALE 3/8" = 1'-0"



**3 TYP. STOREFRONT ENTRY SECTION**  
SCALE 1/8" = 1'-0"



**5 TYP. WINDOW + DOOR R.O. SAM WRAP SEQUENCE DETAILS**  
SCALE 3/8" = 1'-0"



NOTES: CONSULTATION IS REQUIRED FOR ALL MATERIALS AND METHODS TO BE USED IN THIS DETAIL. ALL MATERIALS AND METHODS SHALL BE SUBJECT TO THE QUALITY CONTROL AND INSPECTION REQUIREMENTS OF THE LOCAL COMMUNITY REGULATIONS.



## DESCRIPTION

Cambría 203 is a small, low voltage dimmable LED and halogen MR16 luminaire. It is available with a fully adjustable side swivel stem (203, 203-FL), an adjustable center rear swivel (203-CRS) or a stationary rear flush mount (203-FM). Side swivel models 203 and 203-FL provide 340° tilt and 360° rotation. Center rear swivel model CRS provides 200° tilt and 360° rotation. Center rear swivel model CRS provides 200° tilt and 360° rotation. Various lenses, louvers and color or dichroic filters can be combined - up to three at once - to create multiple lighting effects. The Lumière exclusive Siphon Protection System (S.P.S.) prevents water from siphoning into the fixture through its own lead wires.

## SPECIFICATION FEATURES

### A ... Material

Housing, hood and mounting stem are precision-machined from corrosion-resistant billet stock 6061-T6 aluminum, C380 brass, C932 bronze, C110 copper or 303/304 stainless steel.

### B ... Finish Painted

Fixtures constructed from 6061-T6 aluminum are double protected by an ROHS compliant chemical film undercoating and polyester powdercoat paint finish, surpassing the rigorous demands of the outdoor environment. A variety of standard colors are available.

### C ... Brass, Bronze, Copper or Stainless Steel

Fixtures constructed from brass, bronze, copper or stainless steel are left unpainted to reveal the natural beauty of the material. Brass, bronze and copper will patina naturally over time.

### D ... Hood

Hood is removable for easy relamping and accepts up to three internal accessories at once (lenses, louvers, filters) to achieve multiple lighting effects. Model 203, 203-CRS & 203-FM: Weep holes prevent water and mineral stains from collecting on the lens, even in the straight-up position. Model 203-FL: The flush lens design reduces fixture length, minimizes debris collection and prevents water and mineral stains from collecting on the lens.

### E ... Gasket

Housing and hood are sealed with a high temperature silicone o-ring gasket to prevent water intrusion.

### F ... Lens

Tempered glass lens, factory sealed with high temperature adhesive to prevent water intrusion and breakage due to thermal shock.

Catalog #	Type
Project	
Comments	Date
Prepared by	

### G ... Mounting Stem

Model 203 and 203-FL include fully adjustable side-mounted swivel stem, providing 340° tilt and 360° rotation for easy aiming. Center rear swivel (203-CRS) or stationary rear flush mount (203-FM) models are also available. All models include 1/2" NPS threaded male fitting. Stainless steel aim-locking mechanisms are standard (not available on 203-FM). Lumière's exclusive Siphon Protection System (S.P.S.) prevents water from siphoning into the fixture through its own lead wires.

### H ... Hardware

Stainless steel hardware is standard to provide maximum corrosion-resistance.

### I ... Socket

Ceramic socket with 250° C Teflon® coated lead wires and GU5.3 bi-pin base.

### J ... Electrical

Remote 12V transformer required (not included). NOTE: initial power draw on LED equipped fixtures is 15 watts. When sizing transformer use 15 watts per LED fixture. Nominal power draw after start up is 6 watts or 10 watts accordingly. Also, LEDs are more voltage sensitive than standard halogen MR16 lamps. The LED module is designed to operate between 10 and 13 volts. Any less or more voltage can cause premature failures.

### K ... Lamp

Halogen lamp not included. Available from Lumière as an accessory, LED modules are included and are available in four color temperatures (2700, 3000, 4000, and 5700) and three distributions (spot, narrow, and flood). Both color temperature and distribution must be specified when ordering - see reverse side for details and catalog logic.

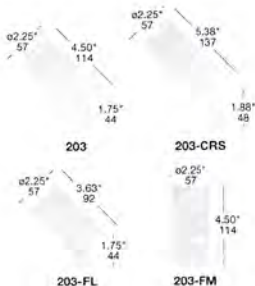


**CAMBRIA**  
**203**

**10W LED**  
**6W LED**  
**50W (max.) MR16**  
Halogen  
Low Voltage

Accent/Flood

**IP65**



City of Portland  
Bureau of Development Services  
Planning  
3-30-15

Handwritten notes and signatures are present on this stamp.

**Specifications and Dimensions subject to change without notice.**

Consult your representative for additional options and finishes.

ADL032462  
10/25/2013 6:40:39 PM

LU 14-254756 DB EXH C-11

## ORDERING INFORMATION

Sample Number: 203-FL-50MR16-12-NCP

## Series

203 LED or MR16 Cambria Accent Fixture

## Construction

Standard Side-Swivel Stem, 1/2" NPS

CRS Center Rear Swivel Stem, 1/2" NPS

FM Rear Flush Mount, 1/2" NPS

FL Flush Lens, Side Swivel Stem, 1/2" NPS

## Source

50MR16 50W Max Halogen MR16, GU5.3 Base

GLED2712 6W 2700K, 12 Degree Spot, GU5.3 Base

GLED2741 6W 2700K, 41 Degree Narrow, GU5.3 Base

GLED3012 6W 3000K, 12 Degree Spot, GU5.3 Base

GLED3021 6W 3000K, 21 Degree Narrow, GU5.3 Base

GLED3041 6W 3000K, 41 Degree Wide, GU5.3 Base

GLED4012 6W 4000K, 12 Degree Spot, GU5.3 Base

GLED4021 6W 4000K, 21 Degree Narrow, GU5.3 Base

GLED4041 6W 4000K, 41 Degree Wide, GU5.3 Base

GLED5712 6W 5700K, 12 Degree Spot, GU5.3 Base

GLED5741 6W 5700K, 41 Degree Wide, GU5.3 Base

10LED2712 10W 2700K, 12 Degree Spot, GU5.3 Base

10LED2741 10W 2700K, 41 Degree Narrow, GU5.3 Base

10LED2741 10W 2700K, 41 Degree Wide, GU5.3 Base

10LED3012 10W 3000K, 12 Degree Spot, GU5.3 Base

10LED3021 10W 3000K, 21 Degree Narrow, GU5.3 Base

10LED3041 10W 3000K, 41 Degree Wide, GU5.3 Base

10LED4012 10W 4000K, 12 Degree Spot, GU5.3 Base

10LED4021 10W 4000K, 21 Degree Narrow, GU5.3 Base

10LED4041 10W 4000K, 41 Degree Wide, GU5.3 Base

10LED5712 10W 5700K, 12 Degree Spot, GU5.3 Base

10LED5741 10W 5700K, 41 Degree Wide, GU5.3 Base

## Voltage

12-12V

## Finish

Painted

BK Black

BR Bronze

CS City Silver

VE Verde

WT White

## Metal

NBR Brass

NBRZ Bronze

NCP Copper

NSS Stainless Steel

## Accessories

## Filters

F71 Peach Dichroic Filter, 2.00" Dia

F73 Green Dichroic Filter, 2.00" Dia

F76 Yellow Dichroic Filter, 2.00" Dia

F77 Dark Blue Dichroic Filter, 2.00" Dia

F78 Neutral Density Dichroic Filter, 2.00" Dia

F22 Red Coax Filter, 2.00" Dia

FA4 Green Color Filter, 2.00" Dia

F66 Mercury Vapor Color Filter, 2.00" Dia

## Optical Lenses

LSL Linear Spread Lens (single standard beam spread), 2.00" Dia

DIF Diffused Lens (provides even illumination), 2.00" Dia

## Optical Louver

LVL Chrome Cold Louver (reduces glare), 2.00" Dia

F72 Amber Dichroic Filter, 2.00" Dia

F74 Medium Blue Dichroic Filter, 2.00" Dia

F76 Red Dichroic Filter, 2.00" Dia

F78 Light Blue Dichroic Filter, 2.00" Dia

F80 Magenta Dichroic Filter, 2.00" Dia

F33 Blue Color Filter, 2.00" Dia

F55 Yellow Coax Filter, 2.00" Dia

OSL Overall Spread Lens (increases beam spread), 2.00" Dia

## PHOTOMETRIC DATA

**Cambria 203**  
Lamp=50MR16/NSP  
(EXT)  
CBCP=11,000

## Cone of Light

Distance to Illuminated Plane	Initial Nadir Footcandles	Beam Diameter
15'0"	45	4'0"
10'0"	102	3'0"
8'0"	159	2'0"
6'0"	283	1'6"
4'0"	638	1'0"
2'0"	2550	0'9"

Lamp Wattage Multiplier  
20W x 0.32



**Cambria 203**  
Lamp=50MR16/NFL  
(EXZ)  
CBCP=3200

## Cone of Light

Distance to Illuminated Plane	Initial Nadir Footcandles	Beam Diameter
15'0"	13	10'0"
10'0"	28	6'6"
8'0"	45	5'0"
6'0"	81	4'0"
4'0"	181	2'6"
2'0"	725	1'0"



**Cambria 203**  
Lamp=50MR16/FL  
(EXN)  
CBCP=2000

## Cone of Light

Distance to Illuminated Plane	Initial Nadir Footcandles	Beam Diameter
15'0"	7	12'0"
10'0"	17	8'0"
8'0"	27	6'6"
6'0"	48	5'0"
4'0"	106	3'0"
2'0"	431	1'6"

Lamp Wattage Multiplier  
35W x 0.57  
20W x 0.30



**Cambria 203**  
Lamp=50MR16/WFL  
(FNW)  
CBCP=1200

## Cone of Light

Distance to Illuminated Plane	Initial Nadir Footcandles	Beam Diameter
15'0"	5	17'0"
10'0"	11	11'6"
8'0"	17	9'0"
6'0"	30	7'0"
4'0"	67	4'6"
2'0"	269	2'0"



## NOTES AND FORMULAS

- Beam diameter is to 50% of maximum footcandles, rounded to the nearest half-foot.
- Footcandle values are initial. Apply appropriate light loss factors where necessary.

## LAMP INFORMATION

Lamp	Watts	Beam Spread	CBCP	*K	Life (hrs.)	Base	Volts
6LED2712	6	12"	3358	2700	50000	GU5.3 bi-pin	12
6LED2721	6	21"	937	2700	50000	GU5.3 bi-pin	12
6LED2741	6	41"	472	2700	50000	GU5.3 bi-pin	12
6LED3012	6	12"	3694	3000	50000	GU5.3 bi-pin	12
6LED3021	6	21"	1019	3000	50000	GU5.3 bi-pin	12
6LED3041	6	41"	646	3000	50000	GU5.3 bi-pin	12
6LED4012	6	12"	4280	4000	50000	GU5.3 bi-pin	12
6LED4021	6	21"	1179	4000	50000	GU5.3 bi-pin	12
6LED4041	6	41"	754	4000	50000	GU5.3 bi-pin	12
6LED5712	6	12"	4496	5700	50000	GU5.3 bi-pin	12
6LED5721	6	21"	1275	5700	50000	GU5.3 bi-pin	12
6LED5741	6	41"	792	5700	50000	GU5.3 bi-pin	12
10LED2712	10	12"	5037	2700	50000	GU5.3 bi-pin	12
10LED2721	10	21"	1406	2700	50000	GU5.3 bi-pin	12
10LED2741	10	41"	708	2700	50000	GU5.3 bi-pin	12
10LED3012	10	12"	5513	3000	50000	GU5.3 bi-pin	12
10LED3021	10	21"	1521	3000	50000	GU5.3 bi-pin	12
10LED3041	10	41"	964	3000	50000	GU5.3 bi-pin	12
10LED4012	10	12"	6389	4000	50000	GU5.3 bi-pin	12
10LED4021	10	21"	1759	4000	50000	GU5.3 bi-pin	12
10LED4041	10	41"	1125	4000	50000	GU5.3 bi-pin	12
10LED5712	10	12"	6711	5700	50000	GU5.3 bi-pin	12
10LED5721	10	21"	1903	5700	50000	GU5.3 bi-pin	12
10LED5741	10	41"	1182	5700	50000	GU5.3 bi-pin	12
50MR16/NSP	50	12"	11,000	3050	4000	GU5.3 bi-pin	12
50MR16/NSL	50	25"	3200	3050	4000	GU5.3 bi-pin	12
50MR16/FL	50	40"	2000	3050	4000	GU5.3 bi-pin	12
50MR16/WFL	50	60"	1200	3050	4000	GU5.3 bi-pin	12

## Specifications and Dimensions subject to change without notice.

Lumiere • Customer First Center • 1121 Highway 74 South • Peachtree City, GA 30269 • TEL 770.486.4800 • FAX 770.486.4801

ADL032452  
10/25/2013 6:40:39 PM

COOPER Lighting

COOPER Lighting

**DESCRIPTION**

684-WP Wedge Wall Sconce features bronze construction.

<b>Catalog #</b>		<b>Type</b>	
<b>Project</b>		<b>Date</b>	
<b>Comments</b>			
<b>Prepared by</b>			

**SPECIFICATION FEATURES**
**Material**

Painted aluminum or solid bronze. 1/8" white acrylic diffuser.

**Finish**

Natural bronze or two component polyurethane paint, 2.5 mil nominal thickness for superior protection against fade and wear.

Standard: Natural Bronze (NBZ) [Sustainable Design].

Note: Bronze will weather to a dark bronze patina.

Premium: Aluminum Paint (ALP), Black Paint (BK), Bronze Metallic Paint (BM), Dark Platinum Paint (DP), Gold Metallic Paint (GM), Graphite Metallic Paint (GRM), Grey Paint (GY), Verdigris (VG), White Paint (WH) or Custom Color (CC).

**Optics**

 Refer to [www.shaperlighting.com](http://www.shaperlighting.com) for complete photometrics.

**Ballast**

Integral electronic HPE multi-volt 120/277V (347V Canada), thermally protected with end-of-life circuitry to accommodate the specified lamp wattage.

**Lamp/Socket**

One (1) 26W or 32W (GX24q-3) triple CFL lamp or one (1) 75W A-19 lamp.

CFL socket injection molded plastic. INC socket fired ceramic rated for 660W-250V. Lamps furnished by others.

**Installation**

Supplied with a mounting back for a standard 4" J-box or stucco ring. Optional rear (through wall) feed conduit mounting.

**Options**

Rear (through wall) Feed Conduit Mounting (C), Blunt Nose (BN), Clear Tempered Glass Lens - for full cut-off (TGL) [Dark Sky Compliant].

**Labels**

U.L. and C.U.L. listed for wet location.

**Modifications**

Shaper's skilled craftspeople with their depth of experience offer the designer the flexibility to modify standard exterior wall luminaires for project specific solutions. Contact the factory regarding scale options, unique finishes, mounting, additional materials/colors, or decorative detailing.


**684-WP SERIES**

 Exterior Wall Luminaire  
Wedge Downlight

**ARRA**

Shaper Lighting certifies that its products satisfy the requirements of Section 1609 of the American Recovery and Reinvestment Act (also known as the ARRA Buy American provision).

**DARK SKY**

Shaper offers a selection of exterior luminaires that are "Dark Sky Compliant". The IESNA Illuminating Engineering Society of North America defines Full Cut-Off as fixtures with light distributions of 0% canals at 90° and 10% at 80°. Full Cut-Off luminaires carry the endorsement of the International Dark Sky Association (IDA) for their effectiveness in limiting the detrimental effects of sky glow, which is referred to as "light pollution". Many exterior luminaires offer a clear, tempered glass option that meets the IDA criteria for Full Cut-Off.

**SUSTAINABLE DESIGN**

Shaper has a long-standing history of offering environmentally friendly fixtures. The copper and bronze alloys used in our exterior luminaires feature up to 95% of recycled content, contribute less greenhouse gas emissions compared to standard alloys, and are easy to recycle.



## ORDERING INFORMATION

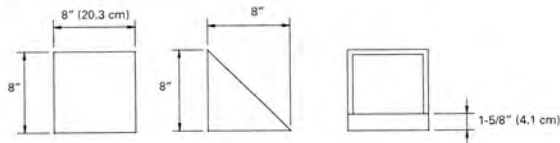
Sample Number: 684-WP-CFL1/32-277V-BK

Series 684-Wedge Wall Sconce	Mounting Type WP = Exterior Wall	Lamp CFL1/126/32W-Triple INC1/75	Voltage 120V 277V <sup>1</sup> 347V <sup>1</sup>	Finish <sup>2,3</sup> Standard NBZ = Natural Bronze Premium ALP = Aluminum Paint BK = Black BM = Bronze Metallic Paint CC = Custom Color DP = Dark Platinum Paint GM = Gold Metallic Paint GRM = Graphite Metallic Paint GY = Grey VG = Verdigris WH = White	Options BN=Blunt Nose C=Rear (through wall) Feed Conduit Mounting TGL=Sandblasted Tempered Glass Lens
---------------------------------	-------------------------------------	--	---	---	---

## Notes:

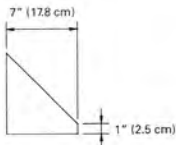
- <sup>1</sup> Available with CFL only.  
<sup>2</sup> Premium TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear.  
<sup>3</sup> Bronze will weather to a dark bronze patina.

## MOUNTING TYPE



684-WP STANDARD

## OPTIONS



BLUNT NOSE (BN)

## COMPANION PRODUCTS



687



682-WP



687-WP



982-PT



982/1-B/W