



City of Portland, Oregon
Bureau of Development Services
Land Use Services

1900 SW 4th Avenue, Suite 5000
Portland, Oregon 97201
503-823-7300
Fax 503-823-5630
TTY 503-823-6868
www.portlandonline.com/bds

Date: April 24, 2009
To: Interested Person
From: Shawn Wood, Land Use Services
503-823-6962 / woods@ci.portland.or.us

NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in this notice. If you disagree with the decision, you can appeal it and request a public hearing. Information on how to appeal this decision is listed at the end of this notice.

CASE FILE NUMBER: LU 09-107692 HDZ – LADD REAR ADDITION

GENERAL INFORMATION

Applicant: Steven Chercover and Angela Cadena, Owners
2107 SE Ladd Avenue
Portland, OR 97214

Gene Brockmeyer, Brockmeyer Design
11295 SW Lynnvale Drive
Portland, OR 97225

Dave Carter, Dave Carter Construction
8218 North Foss Avenue
Portland, OR 97203

Site Address: 2107 SE LADD AVE

Legal Description: LOT 12 BLOCK 32, LADDS ADD
Tax Account No.: R463307230
State ID No.: 1S1E02DC 05800
Quarter Section: 3232

Neighborhood: Hosford-Abernethy, contact Kina Voelz at 971-207-9243.
Business District: Division-Clinton Business Association, contact Darice Robinson at 503-233-1888.
District Coalition: Southeast Uplift, contact Cece Hughley Noel at 503-232-0010.

Plan District: None
Other Designations: Contributing Property in the Ladd's Addition Historic District
Zoning: Single-Dwelling Residential 5,000 (R5)
Case Type: Historic Design Review (HDZ)
Procedure: Type II, an administrative decision with appeal to the Landmarks Commission.

Proposal: The applicant seeks Historic Design Review approval for exterior alterations to an existing residence in the Ladd's Addition Historic District. The residence was constructed in 1914 and is a contributing property in the district. The proposal includes the removal of the existing rear porch and the construction of a new single-story rear addition and porch. A small, second-floor balcony area has been incorporated into the roof design of the proposed addition and a new door with sidelights would be added at the second story that would open onto this porch area. A new basement door and shed roof is also incorporated into the addition.

Because the proposal is for exterior alterations to a structure in the Ladd's Addition Historic District, Historic Design Review is required.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant criteria are:

- 33. 846 Historic Design Review
- *Ladd's Addition Conservation District Guidelines*

ANALYSIS

Site and Vicinity: The site is located on SE Ladd Avenue, which is the main northwest to southeast arterial in the neighborhood. The existing house is situated on an approximately 130-foot deep lot that is surrounded by an alley at the rear and single-dwelling homes to the northwest and southeast.

Zoning: The R5 zone is intended to foster the development of single-dwelling residences on lots having a minimum area of 3,000 square feet, with minimum width and depth dimensions of 36 and 50 feet, respectively. Newly created lots must have a minimum density of 1 lot per 5,000 square feet of site area.

The Historic Resource Protection overlay is comprised of Historic and Conservation Districts, as well as Historic and Conservation Landmarks. The regulations that pertain to these properties protect certain historic resources in the region and preserve significant parts of the region's heritage. Historic preservation beautifies the city, promotes the city's economic health, and helps to preserve and enhance the value of historic properties.

Land Use History: City records indicate there are no prior land use reviews for this site.

Agency Review: A "Notice of Proposal in Your Neighborhood" was mailed **March 5, 2009**. The following Bureaus have responded with no issues or concerns:

The **Bureau of Environmental Services** responded with the following comment: Please see Exhibit E-1 for additional details.

The following conditions of approval and informational comments are based on the land use review information provided to the bureau of environmental services (BES). The applicant may contact me with any questions or concerns.

Proposal summary: historic design review for exterior alteration to existing home in ladd's addition

Summary of Response: *BES has no objection to the proposed historic design review although the information submitted is not adequate to determine how stormwater will be managed. Additional external stormwater facilities may be required which may alter the*

existing proposal.

Sanitary Services

1. There is an existing 12-inch VSP public combination sewer line in the alley between SE Tamarack and SE Ladd.
2. According to BES as-built records (#2-0151, Sheet 4), the property is served through an existing lateral 218 feet northwest of the northwest property / right-of-way line of SE Lavender Street.

Sanitary requirements do not appear to affect this Design Review.

Stormwater Management & Water Resources

The stormwater runoff generated from the proposed development must meet the requirements of the City of Portland's Stormwater Management Manual (SWMM) current at the time of building plan review. Copies of the 2008 SWMM are available at the City of Portland Development Services Center, 1900 SW 4th Ave. (\$25 for hard copy or free CD). The Manual can also be located on the internet at www.portlandonline.com/bes/2008SWMM. The applicant may contact BES with any questions or for additional information.

1. There is no public storm-only sewer line available for this site.
2. According to the BDS Site Development Land Use Review Response, dated 3/12/09, downspouts on the existing house are directed to subsurface pipes. The stormwater discharge point has not been stated or located.
3. The Stormwater Management Manual requires that stormwater runoff from new or redeveloped impervious area be managed on-site through surface infiltration facilities to the maximum extent feasible. Roof runoff may be managed in drywells or soakage trenches (if on-site infiltration is approved by BDS Site Development). Pollution reduction is required for all non-rooftop runoff, and all runoff that is not infiltrated on site.
4. Sufficient information has not been submitted to determine the stormwater management scheme considering infiltration tests have not been submitted and the existing stormwater management system is not located or identified.
 - a. If infiltration is adequate, as approved by Site Development, onsite infiltration will be required.
 - b. If infiltration is not adequate and since the proposed development / redevelopment is over 500 square feet, the applicant will be required to provide pollution reduction and flow control for stormwater runoff from the new impervious area. A flow through stormwater facility with connection to the combination sewer would provide adequate stormwater management. This potentially required vegetated facility may have implications on the design review.

Conditions of Approval

BES has no conditions of approval.

Additional Information

1. Clean River Rewards, Portland's stormwater discount program, arrived in Fall 2006. The program offers discounts up to 100% of the City's on-site stormwater management charge to ratepayers who manage stormwater runoff on their property. The discount is calculated on a sliding scale for how much and how well properties manage stormwater on-site. To qualify, you will need to register your property and

describe how you manage stormwater runoff. The Bureau of Environmental Services is offering workshops to ratepayers who want to learn more about stormwater management, and want to get the most out of the stormwater discount program. To learn more about the program and discounts, go to www.cleanriverrewards.com. The website includes a calculator you can use to assess your discount, if applicable.

Building Permit Information

1. Building plans for this project must include a detailed site utility plan, which shows proposed and existing sanitary connections and stormwater management that meets the requirements of the Stormwater Management Manual in effect at the time of permit submittal.
2. This property should be able to use the Simplified Approach when designing the new stormwater facilities. Please refer to the 2008 SWMM Appendix D for the submittal requirements.

The **Site Development Section of BDS** responded with the following comment: Please see Exhibit E-2 for additional details.

09-107692 HDZ: *Site Development* has no objection to the requested land use review. However, *Site Development* has not received sufficient information to determine if the proposal will conform to requirements for sanitary and stormwater services. In order to meet these requirements, this may necessitate changes to the site plan, which could have a bearing on the pending land use review.

The following information is advisory and provided for the benefit of the applicant:

Sanitary sewer connection: City records show that the site is connected to the public combination sewer line in the alley directly behind (west) of the residence.

Stormwater management: Stormwater runoff from impervious areas (rooftops and driveways) must be managed with onsite stormwater facilities to the maximum extent practicable. Those facilities must be integrated into the design of the project and meet the pollution reduction, flow control, infiltration, and discharge requirements of the *Stormwater Management Manual* (SWMM).

During a March 5, 2009 site visit, *Site Development* staff noted existing downspouts on the house are directed to subsurface pipes. City records do not show the stormwater facilities or disposal location for the existing development.

The proposed development plans do not provide information about the existing stormwater facilities, or show where stormwater from the proposed addition will be directed. If feasible, the stormwater for the new structure should be directed to an onsite facility, such as a drywell, swale, or soakage trench. If it is not feasible to infiltrate stormwater on the site, a stormwater planter or other approved treatment and flow control will be required, and, with approval from the *Bureau of Environmental Services* (BES), the stormwater discharge may be directed to the public sewer system.

In order to determine if onsite infiltration is feasible at this location, results from the following infiltration test must be submitted to *Site Development*:

- Simplified Infiltration Test: Use the procedure and reporting Form 1 on Page 2 of the Simplified Approach Submittal Guide in Appendix D.3 of the 2008 SWMM. One test hole is required for this proposal.

Utility Plan: A utility plan and stormwater report (with the infiltration test results) will be required at the time of permit review. The utility plan must show the following:

- Test hole locations
- Existing* and proposed stormwater facilities
- Existing and proposed utilities
- Utility easements (if any)
- All structures on the site and buildings on adjacent property within 5 feet of the property line
- Required tree protection areas (if any)

*The location of existing subsurface stormwater facilities must be determined using metal tracer wire detection, storm sewer video scope, or equivalent method. Locate markers on site, and a copy of a locate report or video may be required.

Questions regarding infiltration testing and stormwater management requirements may be directed to James Hyatt, 503-823-7979.

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on March 5, 2009. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

Chapter 33.846, Historic Reviews

Purpose of Historic Design Review

Historic Design Review ensures the conservation and enhancement of the special characteristics of historic resources.

Historic Design Review Approval Criteria

Requests for historic design review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

Findings: The site is located within the Ladd's Addition Historic District. Therefore the proposal requires historic design review approval. The relevant approval criteria are the Ladd's Addition Conservation District Design Guidelines.

Ladd's Addition Conservation District Guidelines

The revised Ladd's Addition guidelines were adopted in 1988, with both the Ladd's Addition Conservation District Advisory Council and the Landmarks Commission and staff participating in their formulation. The basic intent of the guidelines is to ensure that new development in the district is compatible with the character and the architecture, which distinguish Ladd's Addition. The guidelines document is organized around three general topic areas: community design, new construction, and exterior remodeling.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

New Construction Guidelines

- 1. Siting.** All new buildings should face the street. Commercial buildings should be pedestrian oriented and have a zero front yard setback on the block, usually fifteen to twenty feet. The original topography and grade of building sites should be maintained.

Findings: The proposed addition will maintain the original street-facing character of the street by locating the addition at the rear of the structure. *This guideline is therefore met.*

2. Landscaping. On the site of non-commercial structures, the retention of front lawns and mature trees is encouraged. The predominant use of ground covers, such as bark mulch and broadleaf evergreens, is discouraged. Plants popular in the 1910s and 1920s are encouraged.

Findings: As mentioned above, the new addition will be located at the rear of the structure thereby preserving the front lawn condition. No trees will be removed for the construction of the addition. *This guideline is therefore met.*

3. Fences and Retaining Walls. Front and side yards, which abut a street should be visually open to the street. Hedges retaining walls and fences, which visually obscure front yards are discouraged. Fences should be kept behind the building lines, as viewed from the street.

Findings: No fences or retaining walls are proposed with this project. *Therefore, this guideline is not applicable.*

4. Parking. Parking areas and driveways are discouraged in the front yard. Required on-site parking should be located in the rear yard or beneath new construction. Parking areas, providing space for three or more cars, should be screened from adjacent properties: hedges and canopy trees are recommended as screens. No lot within the district should be converted solely for parking use.

Findings: No parking areas are proposed with this project. *Therefore, this guideline is not applicable.*

5. Building Height. In areas zoned for single family residential use, new buildings should not be less than one and one-half stories or more than two and one-half stories or thirty-five feet in height. In all other areas, new buildings should not exceed three stories or forty-five feet in height.

Findings: The proposed addition includes a partially-above-ground basement, and a single main story addition on top of the basement. The roof is medium pitched with a small balcony where the roof meets the second story. The height is modest in proportion to the full two story existing structure. *This guideline is therefore met.*

6. Building Façade Proportions. The front façades of non-commercial buildings should be vertical, i.e., higher than they are wide.

Findings: The proposed project does not include alterations to the front facade. *Therefore, this guideline is not applicable.*

7. Foundations. Non-commercial structures should have foundations, which are three or four feet in height and constructed of masonry materials, such as ornamental concrete block, poured concrete with a stucco wash, or stone. Commercial buildings should have foundations, which are within six inches of the sidewalk elevation.

Findings: The proposed foundation is concrete with a stucco wash and is approximately three feet in height. *This guideline is therefore met.*

8. Exterior Siding Materials. Materials used on new buildings should be consistent with predominant materials used on buildings of a similar use within the district. On single family residences and duplexes: stucco, horizontal wood siding, wood shingles, brick, or a combination of these materials. On commercial and multi-family residences:

stucco and brick. The following materials are discouraged: plywood, used brick, shakes, exposed concrete block and metal.

Findings: Horizontal wood siding is proposed for the addition. The siding will match the material and reveal of the original siding found on the existing structure. Trim sizing and details will also match the original. *This guideline is therefore met.*

9. Roof Form. Non-commercial buildings should have gable or hip roofs with medium to steep pitch. Dormers and gable roof projections are encouraged. Commercial buildings should have flat roofs with parapets or false fronts.

Findings: The proposed roof is a medium-pitched hip roof. The roof form matches the roof form of the small addition being removed for the new addition. The eave projections are generous at 2'-0" and match that found on the main part of the house. *This guideline is therefore met.*

10. Building Additions. Building additions should be in keeping with the original architectural character, color, mass, scale, and materials. Additions should be designed to have the least impact upon character-defining features and should be located inconspicuously when viewed from the street.

Findings: The proposed addition is located at the rear thereby preserving the street-facing character of the house. The addition will be painted to match the existing house color and trim and siding details will also match.

The addition is setback approximately 3 feet from the southeast side of the existing house wall. This adjustment in building plane accomplishes several things. First, it preserves an existing rear window that serves the home's dining room. Second, it breaks up the mass of the building providing a visual relief from what could otherwise be a long façade. Third, it differentiates old from new through a shift in plane as well as providing some asymmetry to the rear porch/addition that would typically be found in the neighborhood. The northwest side of the addition has been kept in plane with the main building wall, but has been differentiated by a vertical trim board separating the old from the new. This continues the existing relationship with the current addition that will be removed.

The roof pitch has been kept modest in order to provide usable space in the form of an upper story balcony and also preserve a window opening that will be converted to a door to access the balcony. The porch columns are more modest in scale than those on the front of the house. This treatment, along with the asymmetrical relation of the porch/addition to the main house, creates an appropriately secondary hierarchy of the rear addition.

This guideline has therefore been met.

11. Development Impacts. All new development should be designed and operated to minimize potential adverse impacts upon surrounding residences and to reduce conflicts with residential uses. Factors to be considered are traffic generation, deliveries, parking, noise, lighting, crime prevention, hours of operation and activity, visual effects and buffering.

Findings: The modest slope of the single story addition's roof as well as setbacks of approximately 5 feet on the north and approximately 8 feet on the south will minimize impacts upon surrounding residences. *This guideline is therefore met.*

12. Front Façade Detailing. Primary entrances to buildings should be oriented to the street rather than to a rear yard or interior side yard. Front porches and projecting

features such as balconies, bays and dormer windows are encouraged. Blank façades with no windows are discouraged.

Findings: No alterations to the building's front façade are proposed. *This guideline is therefore not applicable.*

13. Windows and Doors. Window sashes and doors should be wood frames and detailed with wood trim. For commercial buildings, storefront windows with large fixed panes below and smaller frames above are encouraged. For other buildings, vertical, double-hung windows, as well as groups of vertical windows, which may be horizontal in overall expression, are encouraged.

Findings: All proposed windows are vertical in nature and are wood. They will be trimmed with wood casing that matches the profile on the main portion of the house. *This guideline is therefore met.*

14. Awnings. On commercial structures, retractable fabric awnings, which are architecturally compatible with the historic integrity of the structure are encouraged. Awnings should fit within window bays. Existing traditional awnings should be rehabilitated.

Findings: No awnings are proposed with this project. Therefore this guideline is not applicable.

15. Color. Restoration of original colors, or colors appropriate to the style and era of the building, is encouraged.

Findings: The addition will be painted a subtle blue to match the existing house paint color. *This guideline is therefore met.*

16. Signs. Whenever possible retention or restoration of original pre-1940 signs is encouraged. For commercial buildings, wall signs, window signs, canopy, and projecting signs attached to the building are encouraged; freestanding signs are discouraged. Sign materials and design and letters appropriate to pre-1940 buildings, such as painted wood and neon are encouraged. Plastic sign faces are discouraged. Signs should not be the dominant feature of a building or site.

Findings: No signs are proposed with this project. Therefore this guideline is not applicable.

17. Crime Prevention. Crime prevention elements should be included in the design with specific attention to landscaping, parking areas, walkways, lighting, entries, and visibility. Windows and entries should not be obscured. Parking areas, walkways, and entries should be adequately illuminated for visibility.

Findings: The new porch will be sufficiently lit to help deter crime. *This guideline is therefore met.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS


The purpose of the historic design review process is to ensure that exterior alterations to existing buildings protect the integrity of the special characteristics of the historic resources. The proposed alterations are in keeping with the original character and architectural integrity of the home and the Ladd's Addition Conservation District. The scale, proportions, siding and window details are appropriate for the addition. The proposal meets the applicable design guidelines and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of a rear addition and rear porch in the Ladd's Addition Historic District, per the approved plans, Exhibits C-1 through C-4, signed and dated April 22, 2009, subject to the following conditions:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C.1-C.4. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 09-107692 HDZ. No field changes allowed."

Staff Planner: Shawn Wood

Decision rendered by:  **on (April 22, 2009)**

By authority of the Director of the Bureau of Development Services

Decision mailed: April 24, 2009

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on February 10, 2009, and was determined to be complete on **February 24, 2009**.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on February 10, 2009.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: June 24, 2009.**

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Landmarks Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on May 8, 2009** at 1900 SW Fourth Ave. Appeals can be filed on the first floor in the Development Services Center until 3 p.m. After 3 p.m., appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Low-income individuals appealing a decision for their personal residence that they own in whole or in part may qualify for an appeal fee waiver. In addition, an appeal fee may be waived for a low income individual if the individual resides within the required notification area for the review, and the individual has resided at that address for at least 60 days. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Fee waivers for low-income individuals must be approved prior to filing the appeal; please allow 3 working days for fee waiver approval. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please contact the receptionist at 503-823-7967 to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Landmarks Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 550 Capitol St. NE, Suite 235, Salem, Oregon 97301, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Landmarks Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed,* The final decision may be recorded on or after **May 11, 2009 – (the day following the last day to appeal).**
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034
For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

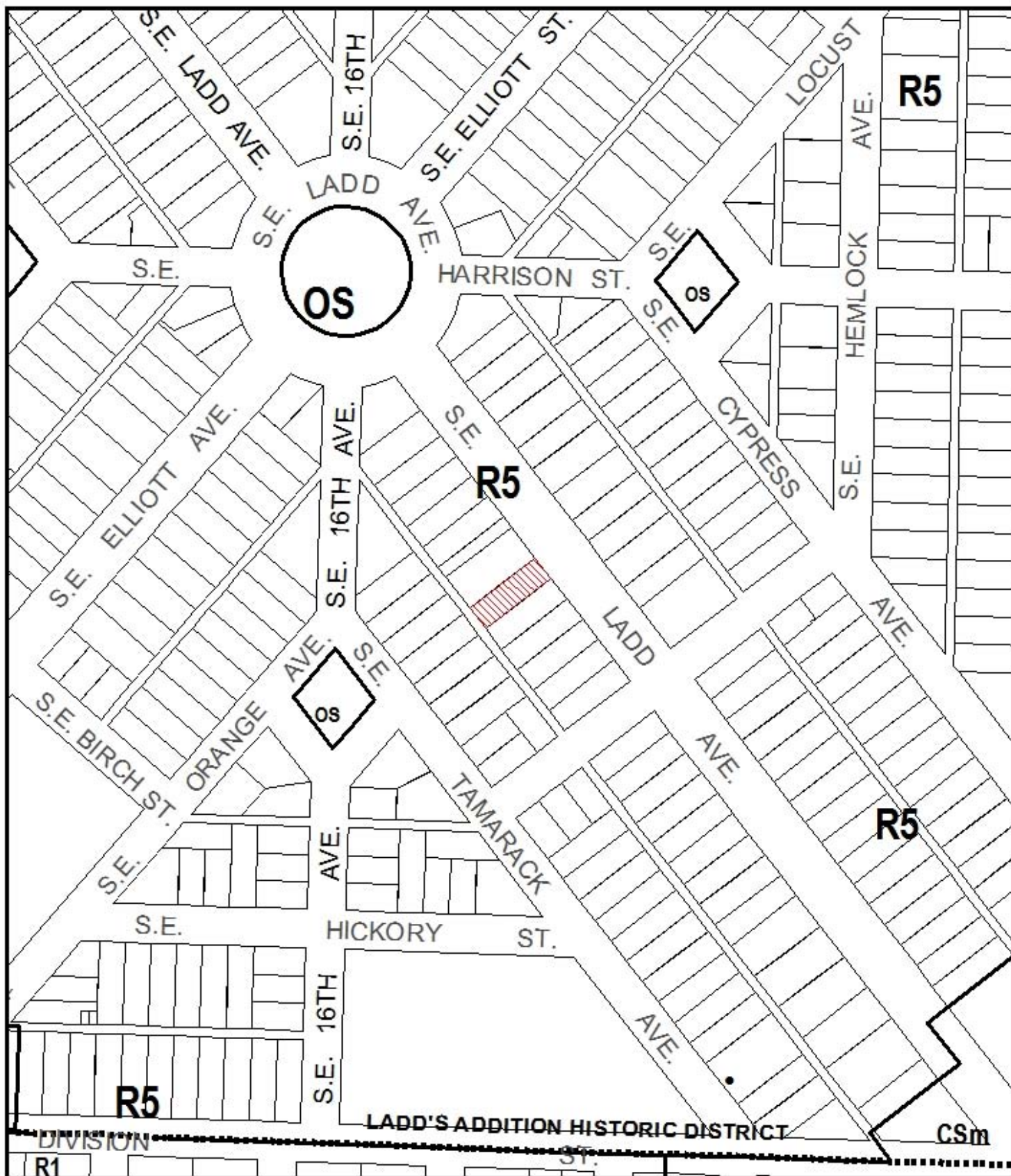
EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan (attached)
 - 2. Partial Floor Plans (attached)
 - 3. Front and Rear Elevations (attached)
 - 4. Side Elevations (attached)
 - 5. Window/Door Details
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Bureau of Environmental Services
 - 2. Site Development Review Section of BDS
- F. Correspondence:
 - None Received
- G. Other:

1. Original LU Application
2. Site History Research - None

The Bureau of Development Services is committed to providing equal access to information and hearings. If you need special accommodations, please call 503-823-7300 (TTY 503-823-6868).



ZONING

 Site

File No. LU 09-107692 HDZ

1/4 Section 3232

Scale 1 inch = 200 feet

State_Id 1S1E02DC 5800

Exhibit B (Feb 11, 2009)



This site lies within the:
LADD'S ADDITION HISTORIC DISTRICT HISTORIC DISTRICT

Conditions of approval. Additional zoning requirements may apply.



LC 09-107692 HDZ
EXHIBIT C.1

Approved

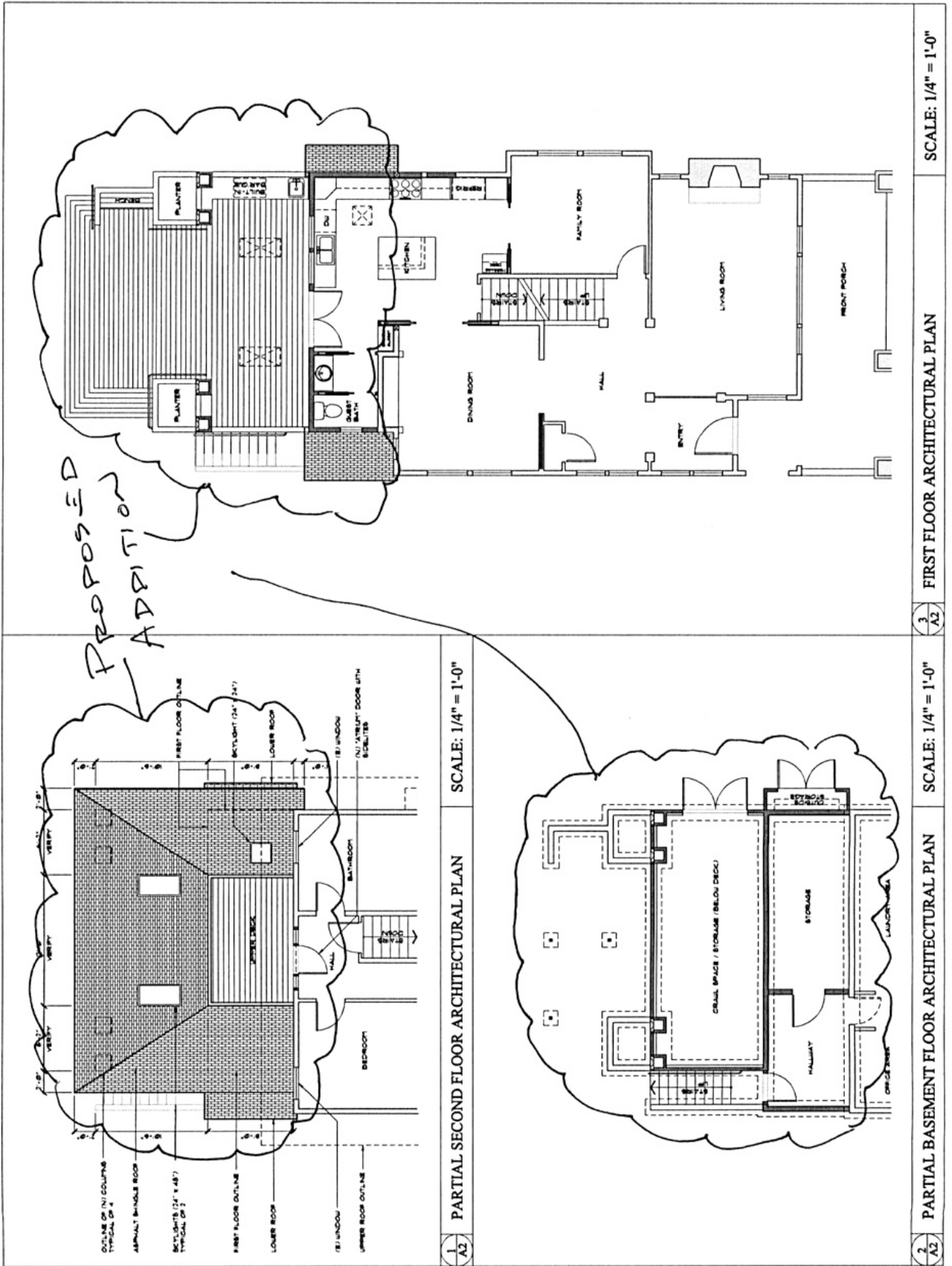
City of Portland - Bureau of Development Services

Planner *Wood*

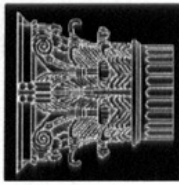
Date

4-22-09

* This approval applies only to the reviews requested and is subject to the conditions of approval. Additional zoning requirements may apply.



LU 09-107692 HD2
EXHIBIT C.2



**BROCKMEYER
DESIGN**

11201 N.W. 11TH AVENUE
PORTLAND, OREGON 97228
PHONE: (503) 947-0225
FAX: (503) 947-0225
WWW.BROCKMEYERDESIGN.COM

**ADDITIONS &
ALTERATIONS**

FOR

**STEVEN
AND
ANGELA
CHEROKEE**
3187 BELLEVIEW AVENUE
PORTLAND, OREGON 97224

**DRAMATIC
ALTERATIONS**

6241 MONTE FORB AVENUE
PORTLAND, OREGON 97228
PHONE: (503) 782-6513

PROJECT: 8804

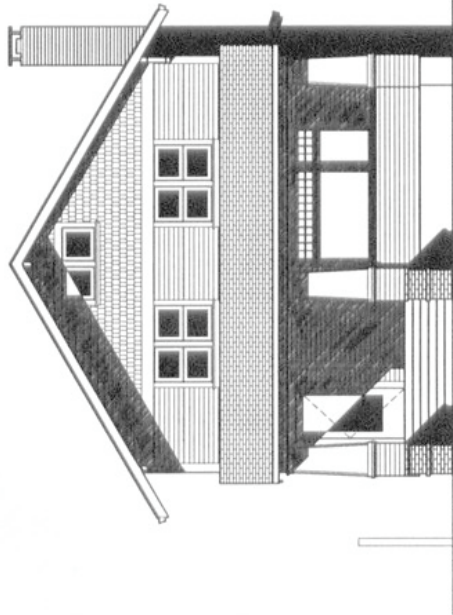
FILE: BA / 2000 PROJECTS / 8804

DATE: APRIL 12, 2009

REVISIONS:

**ELEVATIONS
& BUILDING
SECTIONS**

A3



1
A3

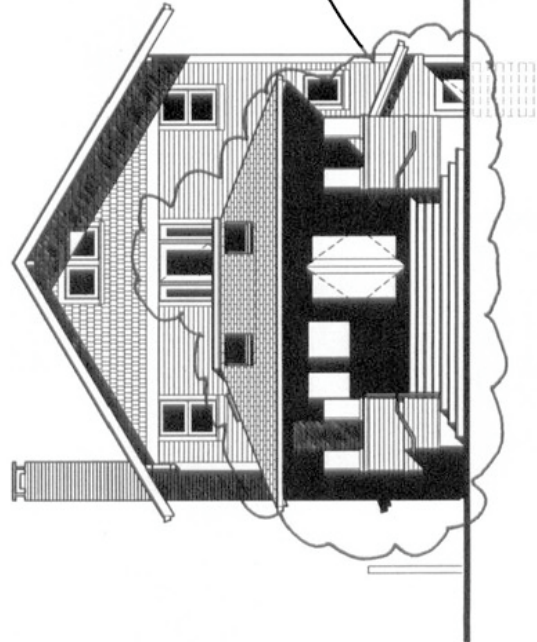
NORTH ELEVATION (EXISTING)

SCALE: 1/4" = 1'-0"

2
A3

PARTIAL BUILDING SECTION

SCALE: 1/4" = 1'-0"



3
A3

SOUTH ELEVATION (NEW)

SCALE: 1/4" = 1'-0"

4
A3

PARTIAL BUILDING SECTION

SCALE: 1/4" = 1'-0"

Approved

City of Portland - Bureau of Development Services

Planner *Shirley Wood* Date *4-22-09*

* This approval applies only to the reviews requested and is subject to the conditions of approval. Additional zoning requirements may apply.

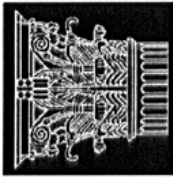
LU 07-107692 HPZ
EXHIBIT C.3

Approved

City of Portland - Bureau of Development Services

Planner Shaw Date 4-22-09

* This approval applies only to the reviews requested and is subject to conditions of approval. Additional zoning requirements may apply.



**BROCKMEYER
DESIGN**

11200 S.W. LUTHERVALE DRIVE
PORTLAND, OREGON 97225
PHONE (503) 441-4225
FAX (503) 441-4226
www.brockmeyerdesign.com

**ADDITIONS &
ALTERATIONS**

FOR

**STEVEN
AND
ANGELA
CHERCOVER**

2497 BELLAIR AVENUE
PORTLAND, OREGON 97204

**DRAMATIC
ALTERATIONS**

6210 NORTON AVENUE
PORTLAND, OREGON 97208
PHONE (503) 783-6513

PROJECT: 0901

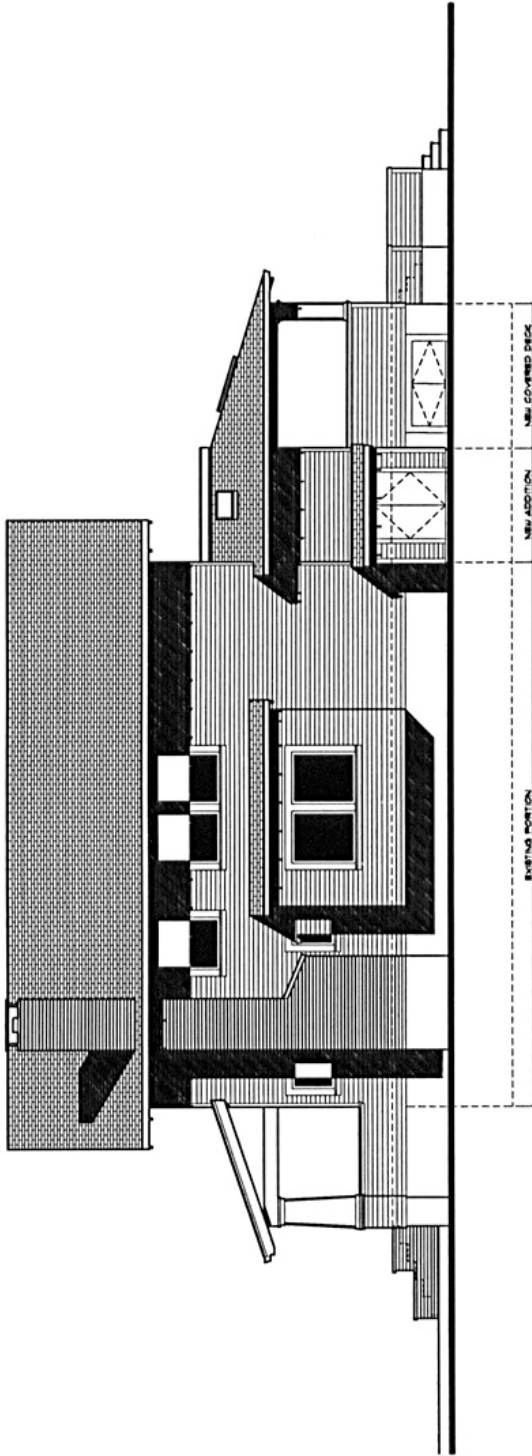
FILE: BA/2008 PROJECTS /0901

DATE: APRIL 13, 2009

REVISIONS

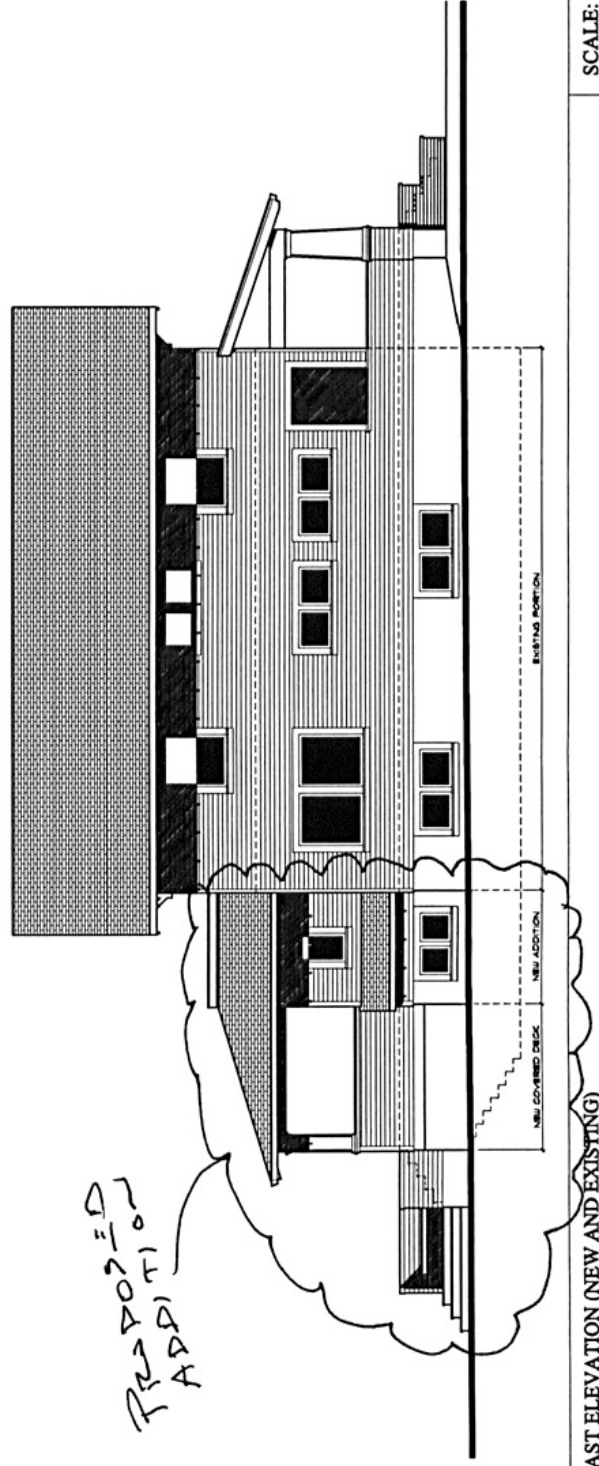
**EXTERIOR
ELEVATIONS**

A4



WEST ELEVATION (EXISTING AND NEW)

SCALE: 1/4" = 1'-0"



EAST ELEVATION (NEW AND EXISTING)

SCALE: 1/4" = 1'-0"

LU 09-107692 HPC
EXHIBIT C4