



City of Portland, Oregon
Bureau of Development Services
Land Use Services

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Portland, Oregon 97201
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www.portlandonline.com/bds

Date: September 15, 2009
To: Interested Person
From: Dave Skilton, Land Use Services 503-823-0660
dave.skilton@ci.portland.or.us

**NOTICE OF A TYPE II DECISION ON A PROPOSAL IN
YOUR NEIGHBORHOOD**

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in this notice. If you disagree with the decision, you can appeal it and request a public hearing. Information on how to appeal this decision is listed at the end of this notice.

**CASE FILE NUMBER: LU 09-149099 HDZ – HISTORIC
REHABILITATION**

GENERAL INFORMATION

Applicant: Ganesh K. Sonpatki, Owner
415 SW Montgomery Street
Portland, OR 97201

Representative: Marcus Koch, Architect 503-228-3273 x16
Chesshir Architecture
415 NW 11th Avenue
Portland, OR 97209

Site Address: 722-738 NW Glisan Street

Legal Description: BLOCK 49 LOT 7 LAND & IMPS SEE R140507 (R180204351)
HISTORIC PROPERTY 15 YR 2008; POTENTIAL ADDITIONAL TAX,
COUCHS ADD

Tax Account No.: R180204350
State ID No.: 1N1E34CB 00800
Quarter Section: 3029

Neighborhood: NW/NW, Pearl District, contact Patricia Gardner at 503-228-3273.
District Coalition: Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.

Plan District: Central City - River District
Other Designations: Listed in the National Register of Historic Places on October 24, 1980
and designated as a Portland Landmark by Ordinance No. 152538 on
November 18, 1981.

Zoning: CXd, Central Commercial with Design Overlay
Case Type: HDZ, Historic Design Review
Procedure: Type II, an administrative decision with appeal to the Historic
Landmarks Commission.

Proposal:

The Applicant is seeking Historic Design Review approval for a proposal to rehabilitate the Harlow Block, a Historic Landmark. The proposal includes:

- restoration of existing and altered historic storefronts to the condition demonstrated by a 1909 photograph;
- alteration of an existing opening, originally a loading door, into a window;
- alteration of an existing, minor, side entry door and transom, including a new canopy, to provide an accessible entry; and
- new tenant signs within the traditional sign band of the NW Glisan Street façade, and new building identification signs on the two side walls.

Historic Design Review is required pursuant to listing in the National Register of Historic Places on October 24, 1980 and designation as a Portland Landmark by Ordinance No. 152538 on November 18, 1981.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant criteria are:

- 33.846.060 G Other Approval Criteria
- Central City Fundamental Design Guidelines - River District

ANALYSIS

Site and Vicinity: The historic Harlow Block, built for the entrepreneur Captain John Harlow in 1883, is among the oldest surviving commercial structures in NW Portland. Its restrained Italianate style was already a fairly conservative design expression at the time of construction, being more typical of the 1860s and 1870s. Although elements such as the ornate cornice, known from photographs, have been lost, the building still retains most of its character-defining elements.

The building faces onto NW Glisan Street, which is designated as a local traffic street, and its side faces the North Park Blocks across NW 8th Avenue. Both frontage streets are also designated as City Walkways. The entire Central City Plan Area is designated as a pedestrian zone.

Zoning: The Central Commercial (CX) zone is intended to provide for commercial development within Portland's most urban and intense areas. A broad range of uses is allowed to reflect Portland's role as a commercial, cultural and governmental center. Development is intended to be very intense with high building coverage, large buildings, and buildings placed close together. Development is intended to be pedestrian-oriented with a strong emphasis on a safe and attractive streetscape.

The Design Overlay Zone (d) promotes the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. The Design Overlay Zone also promotes quality high-density development adjacent to transit facilities. This is achieved through the creation of design districts and applying the Design Overlay Zone as part of community planning projects, development of design guidelines for each district, and by requiring design review or compliance with the Community Design Standards. In addition, design review or compliance with the Community Design Standards ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

The Historic Overlay Zone protects certain historic resources in the region and preserves significant parts of the region's heritage. The regulations implement Portland's Comprehensive Plan policies that address historic preservation. These policies recognize the role historic resources have in promoting the education and enjoyment of those living in and visiting the

region. The regulations foster pride among the region's citizens in their city and its heritage. Historic preservation beautifies the city, promotes the city's economic health, and helps to preserve and enhance the value of historic properties.

Land Use History: City records indicate there are no prior land use reviews for this site.

Agency Review: A "Notice of Proposal in Your Neighborhood" was mailed **August 18, 2009**. The following Bureaus have responded with no issues or concerns:

- Bureau of Environmental Services
- Water Bureau
- Life Safety Review Section of Bureau of Development Services

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on August 18, 2009. A total of two written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

On August 19, 2009, Mr. Doug Klotz wrote generally approving of the restoration effort, but objecting to the treatment of the two door openings toward the south end of the west façade. Mr. Klotz suggested that the larger opening should be treated like the storefront windows along NW Glisan Street, with six divided lights, and objected to the off-center door and "modern" canopy at the smaller opening. While recognizing that the placement of street trees is outside the jurisdiction of this review, he also asked that the first tree south of the intersection on NW 8th Avenue be a maximum of 25 feet from the corner.

On September 8, 2009, Mr. John Baymiller wrote in support of the proposal.

Staff Response: The proposed treatment of the two door openings toward the south end of the west façade is supportable under the approval criteria because:

- The larger opening was historically a loading door rather than a storefront window (it still retains an original threshold at floor level), and treating it like the storefronts would create a false sense of historic development; and
- No historic materials survive at the smaller opening which is being adapted as an accessible entry for the building, and it should therefore be distinguishably modern and subordinate to the overall character of the building.

The question of street trees was forwarded to the applicant who agreed to propose the first tree south of the intersection be planted at 25 feet from the corner.

ZONING CODE APPROVAL CRITERIA

Chapter 33.846, Historic Reviews

Purpose of Historic Design Review

Historic Design Review ensures the conservation and enhancement of the special characteristics of historic resources.

Historic Design Review Approval Criteria

Requests for historic design review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

Findings: The site is a designated Historic Landmark. Therefore the proposal requires historic design review approval. The relevant approval criteria are listed in 33.846.060 G. 1.-10. In addition, because the site is located within the Central City Plan District, the relevant approval criteria are the Central City Fundamental Design Guidelines.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

G. Other Approval Criteria

- 1. Historic character.** The historic character of the property will be retained and preserved. Removal of historic materials or alteration of features and spaces that contribute to the property's historic significance will be avoided.

Findings: None of the materials proposed for removal from the building are historic. Extant but currently obscured historic features will be re-exposed. *This criterion is therefore met.*

- 2. Record of its time.** The historic resource will remain a physical record of its time, place, and use. Changes that create a false sense of historic development, such as adding conjectural features or architectural elements from other buildings will be avoided.

Findings: Changes are proposed to two minor historic openings on the west side of the building where the original doors are no longer extant. The northerly opening will be filled in with a window and the southerly opening will be adapted to provide an accessible route into the building. A small new canopy will provide shelter at the latter door. In order to avoid any false sense of historic development, the character of these alterations will be recognizably modern and subordinate to the overall stylistic expression of the building. *This criterion is therefore met.*

- 3. Historic changes.** Most properties change over time. Those changes that have acquired historic significance will be preserved.

Findings: None of the changes to the building that are proposed for removal or alteration has acquired historic significance. *This criterion is therefore met.*

- 4. Historic features.** Generally, deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement, the new feature will match the old in design, color, texture, and other visual qualities and, where practical, in materials. Replacement of missing features must be substantiated by documentary, physical, or pictorial evidence.

Findings: The existing upper floor windows, which are in somewhat deteriorated condition, will be repaired, and the brick will be repointed in-kind. The restoration of missing features in the storefront system will be based on photographic evidence from within the period of significance (1909).

- 5. Historic materials.** Historic materials will be protected. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials will not be used.

Findings: The only physical treatment proposed is in-kind repointing. *This criterion is therefore met.*

- 6. Archaeological resources.** Significant archaeological resources affected by a proposal will be protected and preserved to the extent practical. When such resources are disturbed, mitigation measures will be undertaken.

Findings: No ground-disturbing activities are proposed. *This criterion is therefore not applicable.*

- 7. Differentiate new from old.** New additions, exterior alterations, or related new construction will not destroy historic materials that characterize a property. New work will be differentiated from the old.

Findings: Changes are proposed to two minor historic openings on the west side of the building where the original doors are no longer extant. The northerly opening will be filled in with a window and the southerly opening will be adapted to provide an accessible route into the building. A small new canopy will provide shelter at the latter door. The proposed character of these alterations is recognizably modern but subordinate to the overall stylistic expression of the building. *This criterion is therefore met*

- 8. Architectural compatibility.** New additions, exterior alterations, or related new construction will be compatible with the resource's massing, size, scale, and architectural features. When retrofitting buildings or sites to improve accessibility for persons with disabilities, design solutions will not compromise the architectural integrity of the historic resource.

Findings: The storefront and hotel entries on the NW Glisan face of the building are several steps up from the sidewalk level and this plinth-like pattern is a character defining feature of the building. In order to provide full accessibility the applicant is proposing to adapt an existing, minor entry on the NW 8th Avenue side of the building and create a new internal corridor connecting to all units and an elevator. *This criterion is therefore met.*

- 9. Preserve the form and integrity of historic resources.** New additions and adjacent or related new construction will be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic resource and its environment would be unimpaired.

Findings: No new additions or adjacent new construction is proposed. *This criterion is therefore not applicable.*

- 10. Hierarchy of compatibility.** Exterior alterations and additions will be designed to be compatible primarily with the original resource, secondarily with adjacent properties, and finally, if located within a Historic or Conservation District, with the rest of the district. Where practical, compatibility will be pursued on all three levels.

Findings: The approach of this proposal is primarily to repair historic features, with some evidence-based restoration. These changes are compatible with the character of the historic resource by definition. The proposed changes do not effect adjacent properties and the resource is not located within a historic or conservation district. *This criterion is therefore met.*

Chapter 33.825 Design Review

Section 33.825.010 Purpose of Design Review

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

Section 33.825.055 Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

Findings: The site is designated with design overlay zoning (d), therefore the proposal requires Design Review approval. Because of the site's location, the applicable design

guidelines are the Central City Fundamental Design Guidelines and River District Guidelines.

River District Design Guidelines and Central City Fundamental Design Guidelines

The River District is a remarkable place within the region. The area is rich with special and diverse qualities that are characteristic of Portland. Further, the River District accommodates a significant portion of the region's population growth. This area emphasizes the joy of the river, connections to it, and creates a strong sense of community. The goals frame the urban design direction for Central City and River District development.

The Central City Fundamental Design Guidelines and the River District Design Guidelines focus on four general categories. **(A) Portland Personality**, addresses design issues and elements that reinforce and enhance Portland's character. **(B) Pedestrian Emphasis**, addresses design issues and elements that contribute to a successful pedestrian environment. **(C) Project Design**, addresses specific building characteristics and their relationships to the public environment. **(D) Special Areas**, provides design guidelines for the four special areas of the Central City.

River District Design Goals

1. Extend the river into the community to develop a functional and symbolic relationship with the Willamette River.
2. Create a community of distinct neighborhoods that accommodates a significant part of the region's residential growth.
3. Enhance the District's character and livability by fostering attractive design and activities that give comfort, convenience, safety and pleasure to all its residents and visitors.
4. Strengthen connections within River District, and to adjacent areas.

Central City Plan Design Goals

1. Encourage urban design excellence in the Central City;
2. Integrate urban design and preservation of our heritage into the development process;
3. Enhance the character of the Central City's districts;
4. Promote the development of diversity and areas of special character within the Central City;
5. Establish an urban design relationship between the Central City's districts and the Central City as a whole;
6. Provide for a pleasant, rich and diverse pedestrian experience for pedestrians;
7. Provide for the humanization of the Central City through promotion of the arts;
8. Assist in creating a 24-hour Central City which is safe, humane and prosperous;
9. Ensure that new development is at a human scale and that it relates to the scale and desired character of its setting and the Central City as a whole.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

A6. Reuse/Rehabilitate/Restore Buildings. Where practical, reuse, rehabilitate, and restore buildings and/or building elements.

Findings: The proposal takes practical measures to rehabilitate a long underused historic building, returning it to full service without sacrificing significant historic features. The storefronts along NW Glisan Street will be restored to the condition demonstrated by a 1909 photograph. *This guideline is therefore met.*

B7. Integrate Barrier-Free Design. Integrate access systems for all people with the building's overall design concept.

Findings: By adapting an existing but already-altered historic opening on the minor side of the building and connecting to an internal circulation system that serves all units, the building will be made fully accessible. *This guideline is therefore met.*

C13. Integrate Signs. Integrate signs and their associated structural components with the building's overall design concept. Size, place, design, and light signs to not dominate the skyline. Signs should have only a minimal presence in the Portland skyline.

Findings: The sign proposal represents a reduction in the overall signage on the building and its impact on the skyline, because an existing billboard high on the east-facing party wall is being eliminated. Externally illuminated tenant signage, no more than 9" tall, is proposed above each entry in the traditional sign band just below the second floor level, and with blade signs mounted at the same level. Two similar, 12 square foot, externally illuminated signs are proposed on the brick end walls, the one to the east being at approximately cornice level, and the one on the west just below the head level of the storefronts. All mountings hardware for signs on masonry walls will be installed at mortar joints, and no electrical conduit will be exposed on the exterior of the building. *This guideline is therefore met.*

D1. Park Blocks. Orient building entrances, lobbies, balconies, terraces, windows, and active use areas to the Park Blocks. In the North Park Blocks, strengthen the area's role as a binding element between New Chinatown/Japantown and the Pearl District.

Findings: The existing, historic façade addressing the North Park Blocks across NW 8th Avenue is mostly taken up by brick shear wall at the ground floor level. However, one historic loading door entry will be adapted as a window, making a modest improvement to the building's relationship with the North Park Blocks. *This guideline is therefore met.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The proposed rehabilitation of the long vacant Harlow Block will help to reactivate its locale, adjacent to the North Park Blocks. The proposed work includes restoration of the storefronts along NW Glisan Street and appropriate general work, such as repointing, to correct delayed maintenance issues.

The purpose of the historic design review process is to ensure that exterior alterations to existing buildings protect the integrity of the special characteristics of the historic resources. The proposal meets the applicable design guidelines and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of Historic Design Review for exterior alterations to the Historic Landmark Harlow Block, of the following;

- restoration of existing and altered historic storefronts to the condition demonstrated by a 1909 photograph;
- alteration of an existing opening, originally a loading door, into a window;
- alteration of an existing, minor, side entry door and transom, including a new canopy, to provide an accessible entry; and
- new tenant signs within the traditional sign band of the NW Glisan Street façade, and new building identification signs on the two side walls.

Approval under the criteria in Section 33.846.060 G of the Portland Zoning Code, and the Central City Fundamental Design Guidelines - River District:

Approval per Exhibits C-1 through C-8 signed and dated September 10, 2009, subject to the following conditions:

- A. As part of the building permit application submittal, each of the 4 required site plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C-1 through C-8. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 09-149099 HDZ . No field changes allowed."

Staff Planner: Dave Skilton

Decision rendered by:  **on September 10, 2009.**
By authority of the Director of the Bureau of Development Services

Decision mailed: September 15, 2009

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on August 6, 2009, and was determined to be complete on **August 14, 2009**.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on August 6, 2009.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period.

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Historic Landmarks Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on September 29, 2009** at 1900 SW Fourth Ave. Appeals can be filed Tuesday through Friday on the first floor of the Development Services Center until 3 p.m. After 3 p.m. and Mondays, appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for property within the organization's boundaries. The vote to appeal must be in accordance with the organization's bylaws. Low-income individuals appealing a decision for their personal residence that they own in whole or in part may qualify for an appeal fee waiver. In addition, an appeal fee may be waived for a low income individual if the individual resides within the required notification area for the review, and the individual has resided at that address for at least 60 days. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Fee waivers for low-income individuals must be approved prior to filing the appeal; please allow 3 working days for fee waiver approval. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please contact the receptionist at 503-823-7967 to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Historic Landmarks Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 550 Capitol St. NE, Suite 235, Salem, Oregon 97301, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Historic Landmarks Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed*, The final decision may be recorded on or after **September 30, 2009 – (the first business day following the last day to appeal)**.
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the

County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034. For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

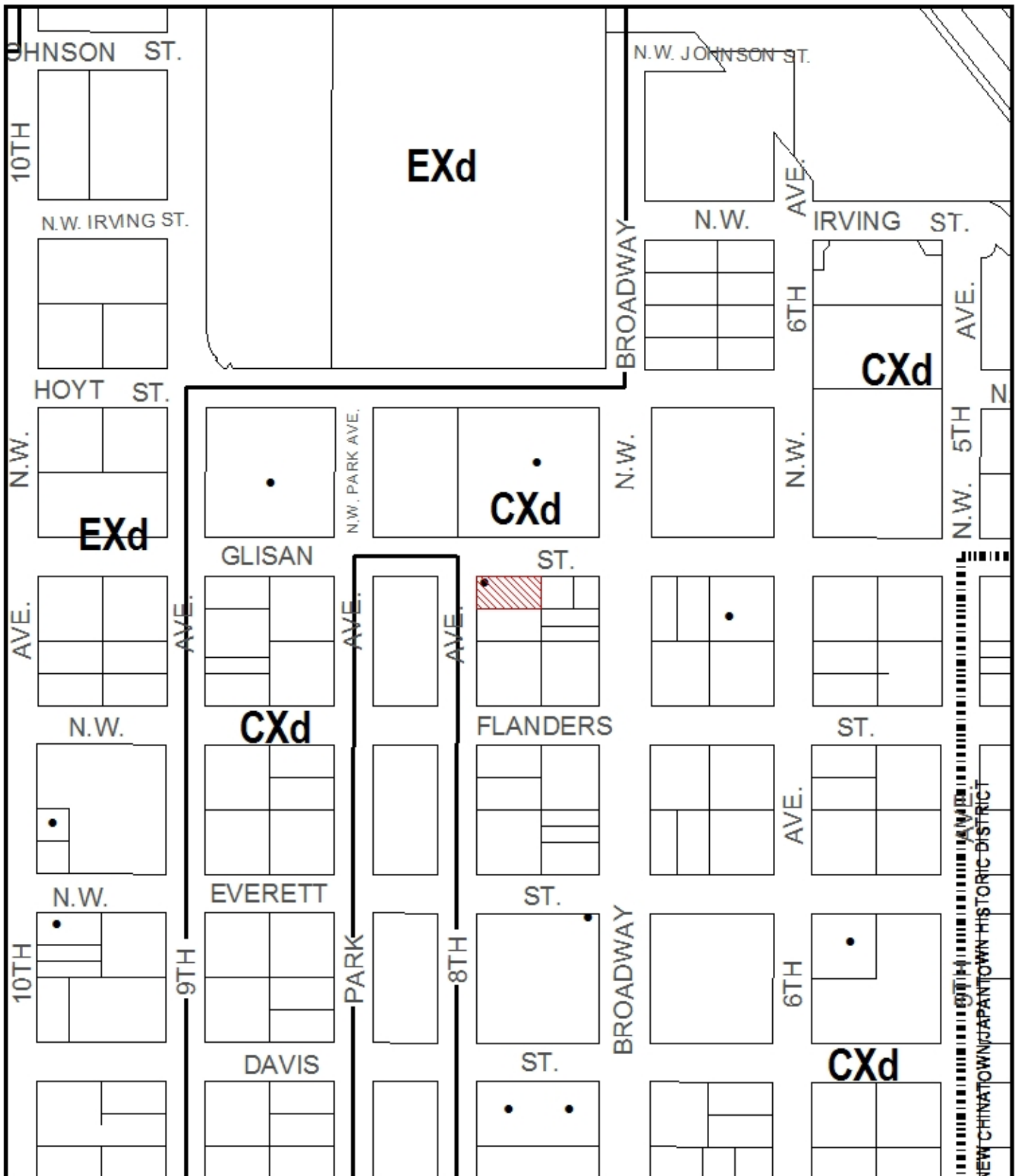
EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
- B. Zoning Map (attached)
- C. Plans/Drawings:
 - 1. Site Plan (attached)
 - 2. North Elevation (attached)
 - 3. West Elevation (attached)
 - 4. East Elevation
 - 5. Building Section
 - 6. Typical Storefront Plan, Section, and Elevation
 - 7. Partial Elevation and Section at New Accessible Entry
 - 8. Light Fixture Detail
 - 9. Light Fixture Detail
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Bureau of Environmental Services
 - 2. Water Bureau
 - 3. Life Safety Review Section of BDS
- F. Correspondence:
 - 1. Doug Klotz, August 19, 2009, proposing alternate treatment of openings on west façade.
 - 2. John Baymiller, September 8, 2009, approving of the proposal
- G. Other:
 - 1. Original LU Application
 - 2. Site History Research

3. Case Communication Log

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).



ZONING



Site



Historic Landmark



NORTH

This site lies within the:
CENTRAL CITY PLAN DISTRICT

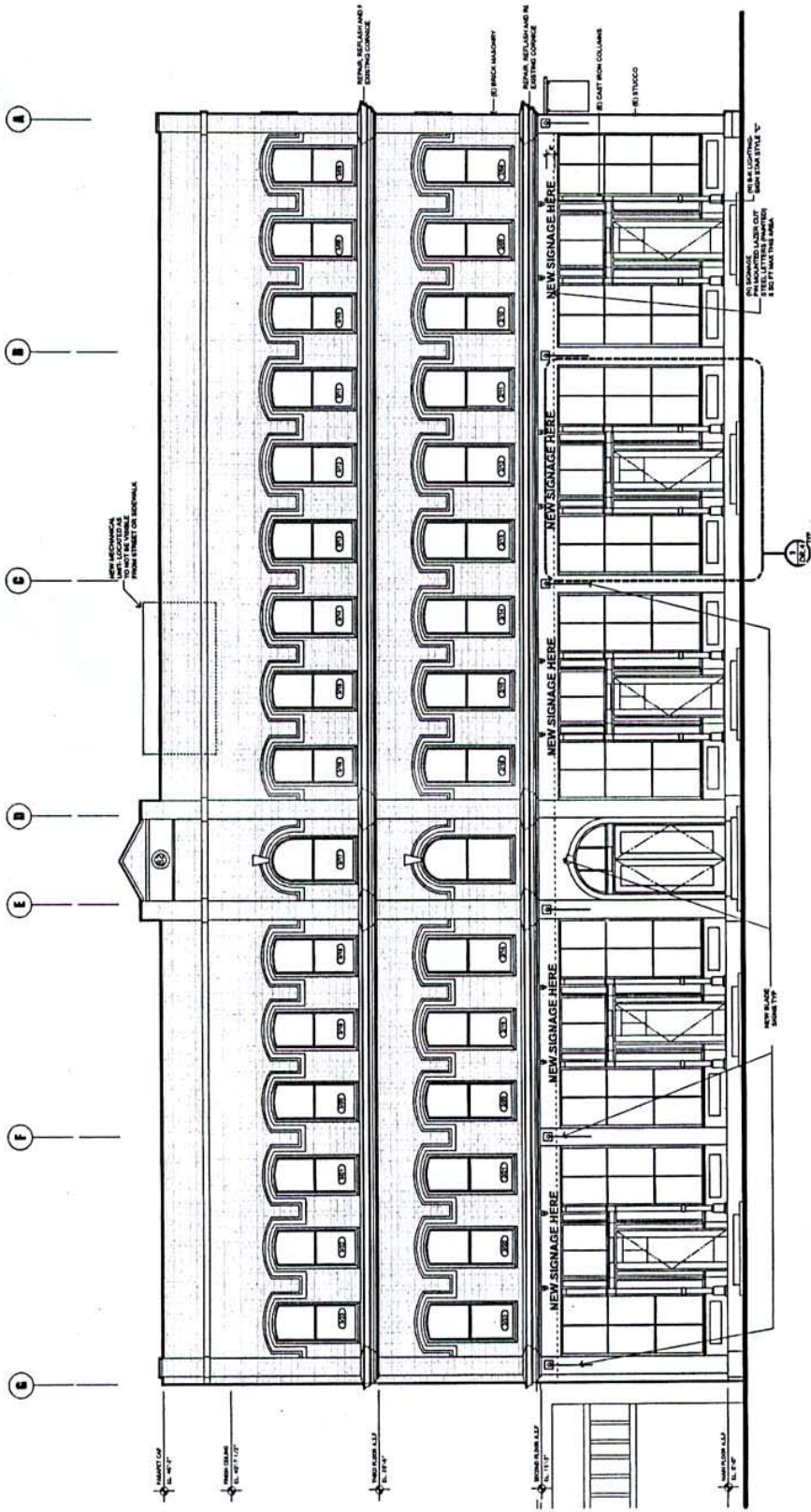
File No. LU 09-149099 HDZ

1/4 Section 3029

Scale 1 inch = 200 feet

State_Id 1N1E34CB 800

Exhibit B (Aug 07, 2009)



SIGNAGE CALCULATION:
TOTAL STREET FRONTAGE: 155 FT. (1.5) - 222.5 SQ. FT.
TOTAL PROPOSED SIGNAGE: 127 SQ. FT.

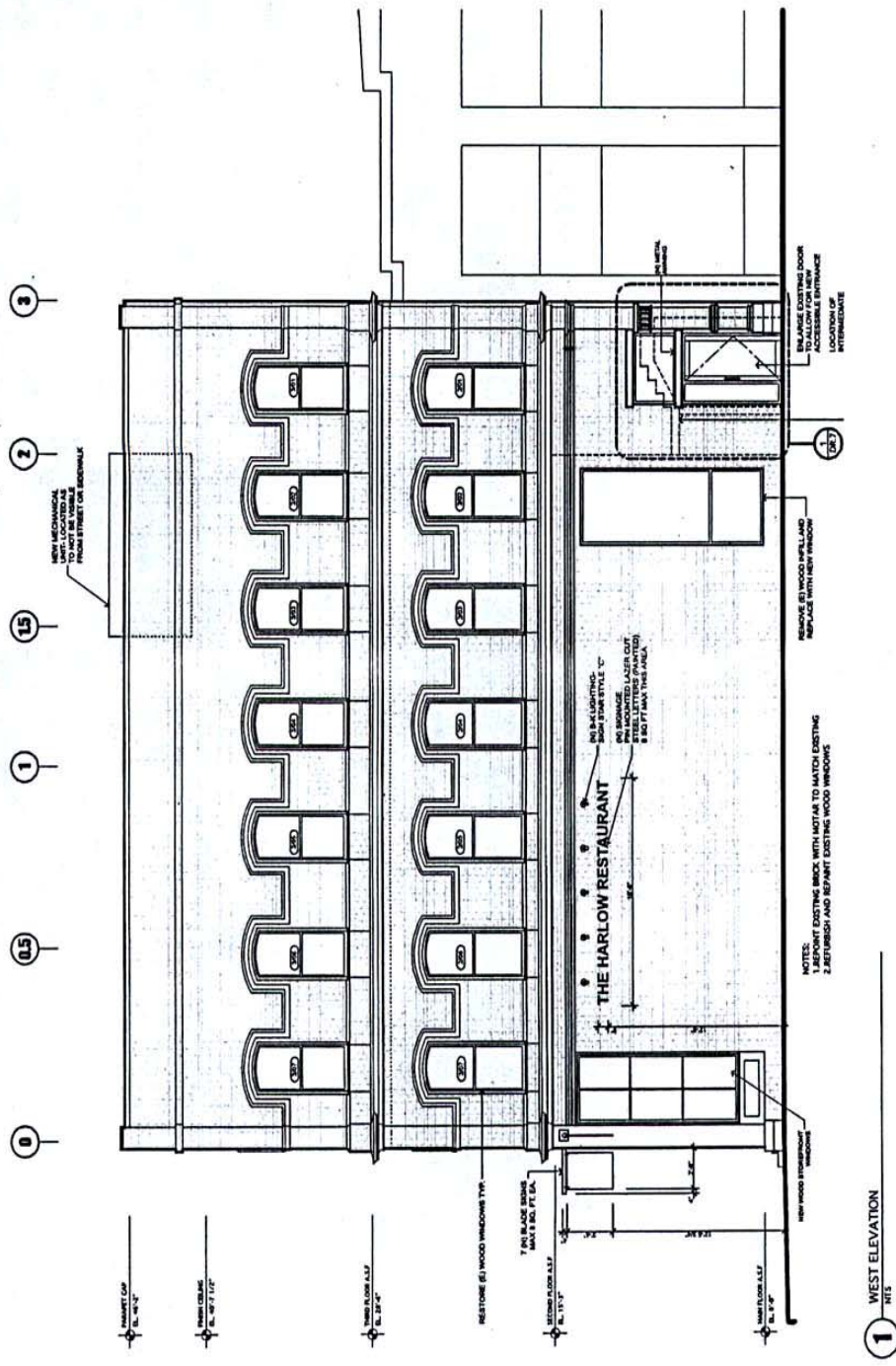
1 NORTH ELEVATION
NTS

Chesshir Architecture PC
415 NW Eleventh Avenue
Portland, OR 97209-2996
www.chesshirarchitecture.com

PROJECT NO.: 200902
9/10/09

DR.2 Harlow Building
Historic Design Review

Approved
City of Portland - Bureau of Development Services
Planner Dave Sullivan Date 7.10.09
* This approval applies only to the reviews requested and is subject to conditions of approval. Additional zoning requirements may apply.
EXHIBIT C-2
LU 09-149099-HDZ



Chesshir Architecture PC
415 NW Eleventh Avenue
Portland, OR 97209-2996
www.chesshirarchitecture.com

PROJECT NO.: 200902
9/10/09

DR.3 Harlow Building
Historic Design Review

Approved
City of Portland - Bureau of Development Services
Planner *Dave Sullivan* Date *9.10.09*
* This approval applies only to the reviews requested and is subject to conditions of approval. Additional zoning requirements may apply.
EXHIBIT C-3
LW 09-1499099 HDZ