



City of Portland
Bureau of Development Services
Land Use Services Division

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Date: Wednesday, March 25, 2009
To: Interested Person
From: Kate Marcello, Land Use Services
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NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The reasons for the decision are included in this notice. If you disagree with the decision, you can appeal it and request a public hearing. Information on how to appeal this decision is listed at the end of this notice.

CASE FILE NUMBER: LU 08-160180 HDZ NEW ACCESSIBLE ENTRANCE AT SODERGREN HALL

GENERAL INFORMATION

Applicant: Les Wierson, First Immanuel Lutheran Church (Property Committee)
1816 NW Irving St / Portland, OR 97209-1213
(503) 644-4014

Representative: Dave Spitzer, DMS Architects Inc
2440 NE ML King Blvd, Ste 202 / Portland, OR 97212
(503) 335-9040

Site Address: 1808-1816 NW Irving Street

Legal Description: LOT 5&8 BLOCK 175, COUCHS ADD
Tax Account No.: R180215970
State ID No.: 1N1E33AC 06700
Quarter Section: 2928
Neighborhood: Northwest District, contact John Bradley at 503-227-7484.
Business District: Nob Hill, contact Kay Wolfe at 503-227-0898.
District Coalition: Neighbors West/Northwest, contact Mark Sieber at 503-823-4212.
Plan District: Northwest
Other Designations: Non-contributing Structure in Alphabet Historic District
Zoning: High-Density Residential (RH)
Case Type: Historic Design Review (HDZ)
Procedure: Type II, an administrative decision with appeal to the Landmarks Commission.

Proposal: The applicant seeks Historic Design Review approval for the addition of an accessible entry to the east façade (NW 18th Avenue frontage) of Sodergren Hall, an accessory building for First Immanuel Lutheran Church. The entry would include a ramp and stair that provide access to the lower level of the building, approximately four feet below grade.

- The proposal includes a concrete ramp and steps with a continuous metal handrail; a new door in the east façade, at the base of the ramp and steps; and a fabric canopy above the new door.
- The door would be metal with clear glazing and have a clear-glazed transom window above it.
- The awning would be about 3'-10" deep and have 0'-8"-tall signage letters on the front valence.
- A metal guardrail with a powder-coated finish and horizontal cables would be installed at the southern and northern edges of the ramp, and partially between the upper and lower ramp runs.
- A concrete planter would be located between the first stair run and the lower level of the ramp.
- The south edge of the ramp would be aligned with the south edge of the east façade.
- Three metal light fixtures would be installed on the east façade, at regular intervals on the existing spandrel panels. Each light fixture is 1'-4" tall x 0'-6" wide and has a bronze finish and an etched glass lens.
- One recessed light-emitting diode (LED) fixture would be installed in the concrete wall at the first stair run. The light fixture would be about 1'-6" long x 0'-6" wide.

Because the project is considered an exterior alteration in a Historic District, historic design review is required.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant criteria are:

- Chapter 33.846 Historic Review
- *Alphabet Historic District Community Design Guidelines Addendum*
- *Community Design Guidelines*

ANALYSIS

- I. Site and Vicinity:** Sodergren Hall is a Modern structure constructed in 1957. It is classified as a non-historic, non-contributing structure in the Alphabet Historic District. The building is located at the southwest corner of NW Irving Street and NW 18th Avenue. The building is associated with First Immanuel Lutheran Church, also located on the block. The church is about 40 feet west of Sodergren Hall. The church is classified as a Primary Contributing Structure in the Historic District.

There are five other buildings on the block: a house containing offices and a residential unit, built in 1900; a residential four-plex built in 1888; a residential four-plex built in 1898; a single-family house built in 1908; and a single-family house built in 1907. Across NW 18th Avenue from Sodergren Hall, there are two multi-family apartment buildings, each with a surface parking lot. Across NW Irving Street from Sodergren Hall, there is a multi-family apartment building and a one-story commercial structure built as an auto service garage with storefronts. A public park operated by Portland Parks & Recreation, Couch Park, is located about 275 feet southwest of Sodergren Hall. The surrounding area contains a mixture of uses including residential, light industrial, and office uses, as well as religious institutions. The nearest commercial corridor is NW 21st Avenue, which contains a variety of restaurants, taverns, coffee shops, and boutiques.

According to Portland's Transportation System Plan (TSP), NW 18th Avenue is classified as a Transit Access Street, City Bikeway, and City Walkway. The TSP has classified NW Irving Street as a Local Service Walkway. Additionally, the site is located in a designated pedestrian district – the Northwest Pedestrian District. Tri-Met bus route #17 provides service two blocks south of Sodergren Hall, on NW Glisan Street.

II. Zoning:

- The RH base zone is a high-density multi-dwelling residential zone. Density is not regulated by a maximum number of units per acre. Rather, the maximum size of buildings and intensity of use is regulated by floor area ratio (FAR) limits and other site development standards. Generally the density will range from 80 to 125 units per acre. Allowed housing is characterized by medium to high height and relatively high percentage of building coverage. The major types of new housing development will be low, medium, and high-rise apartment and condominiums. Generally, RH zones will be well served by transit facilities or be near areas with supportive commercial services.
- The Historic Resource Protection overlay zone is comprised of Historic and Conservation Districts, as well as Historic and Conservation Landmarks. The regulations that pertain to these properties protect certain historic resources in the region and preserve significant parts of the region's heritage. Historic preservation beautifies the city, promotes the city's economic health, and helps to preserve and enhance the value of historic properties.

III. Land Use History: City records indicate that prior land-use reviews include the following:

- CU 091-73 – Conditional use request for mini-park and parking lot.
- CU 030-81 – Conditional use request to open a day-care center in the existing church building for children. Hours of operation would be from 6:30 AM to 6:30 PM on weekdays. Application was approved with conditions.
- LU 04-068474 HDZ – Historic Design Review for two new wall signs on Sodergren Hall and First Immanuel Lutheran Church. The proposal was approved.

IV. Agency Review: A *Notice of Proposal in Your Neighborhood* was mailed on September 19, 2008.

- Two bureaus have responded with no issues or concerns: Portland Water Bureau and the Urban Forestry Division of Portland Parks & Recreation.
- Five bureaus have responded:
 - Portland Fire & Rescue responded with the following comment. Please see Exhibit E-1 for additional details.
 - The Bureau of Environmental Services responded with the following comment. Please see Exhibit E-2 for additional details.
 - The Bureau of Transportation Engineering & Development Review responded with the following comment. Please see Exhibit E-3 for additional details.
 - The Site Development Section of the Bureau of Development Services responded with the following comment. Please see Exhibit E-4 for additional details.
 - The Life Safety (Building Code) Section of the Bureau of Development Services responded with the following comment. Please see Exhibit E-5 for additional details.

V. Neighborhood Review: A *Notice of Proposal in Your Neighborhood* was mailed on September 19, 2008. Two written comments in response to the proposal have been received.

- On Friday, October 3, 2008, Jessica Richman, a nearby resident on NW Hoyt Street, submitted a letter (Exhibit F-1) in opposition to several aspects of the proposal. The letter states the following chief concerns:
 - Conditional Use approval has not been granted for the Rose Haven use.
 - Adding another entrance to the building conflicts with Community Design Guideline D2: *Main Entrance*. Have alternatives to the proposed ramp have been considered, such as installing an internal lift, re-locating the Rose Haven use so that the existing ramp on NW Irving Street can be used, or “moving the access further [sic] south, where the grade might require less construction”?
 - The landscaping between the proposed ramp and the public sidewalk appears to be located primarily in the right-of-way.
 - The railings on the proposed ramp “appear to block views from the sidewalk,” which conflicts with Guideline D5: *Crime Prevention*. In addition, the mesh design for the railings is “incompatible” with “other similar elements” on the property, and the finish

on the railings may also be compatible, conflicting with Guideline *D6: Architectural Integrity*.

- The proposed lighting appears to be flood-lighting, which is incompatible with the surrounding residential area and the Alphabet Historic District, and conflicts with Guideline *D7: Blending into the Neighborhood*.
- The awning appears to be out of scale and the signage seems excessive in size and quantity, conflicting with Guidelines *D6, D7, and D8*.
- The planter does not appear large enough to support the small tree shown as part of the planter on the drawings, conflicting with Guideline *D3: Landscape Features*.
- First Immanuel Church has made “piecemeal improvements” to its site over time to serve the needs of those the church serves, while asking neighborhood residents “to bear the impacts” of such “haphazard development.”

823-7305

Staff response:

- *First Immanuel Church has addressed the need for Conditional Use approval for the Rose Haven use, as well as other use(s) that occur on the site, including an emergency food-box assistance program.*
 - *A pre-application conference (LU 07-174107 EA) was held on December 2, 2008. A pre-application conference is required before a Conditional Use review can occur. Now that the conference has been held, the church can move forward with applying for the Conditional Use land-use review.*
 - *This land-use review is for exterior alterations to an existing building. The approval criteria for this land-use review do not take into account uses occurring inside the building. To report concerns regarding non-conforming uses on the site, contact Compliance Services at the Bureau of Development Services. The phone number for Compliance Services is (503) 823-7305.*
 - *Access has been moved farther south on the east façade.*
 - *The proposed entrance is not considered a main entrance for the overall building, as it is intended primarily to accommodate staff and visitors arriving to and departing from the lower level.*
 - *The landscaping between the proposed ramp and the public sidewalk has been removed from the proposal.*
 - *The applicant has revised the railing design to address concerns about crime prevention. The new design employs horizontal cables rather than mesh. The railings will have a powder-coated finish.*
 - *The style of the proposed wall-mounted light fixtures has been clarified. The fixtures are not flood-lights; rather, they are modest in illumination and considered to be “Dark Skies-compliant.”*
 - *The awning proportions have been clarified. With regard to depth, slope, and valence proportions, the awning will match the existing awning on the north façade of Sodergren Hall and the existing awning on the north façade of the church.*
 - *Signage lettering has been removed from the north and south valences of the awning. The signage lettering on the east valence has been reduced in size.*
 - *The planter will not have a small tree in it. The graphic of the small tree has been removed from the drawings.*
 - *Please refer to the findings for the applicable approval criteria below.*
- On Friday, October 3, 2008, John Bradley, Chair of the Planning Committee of the Northwest District Neighborhood Association, submitted a letter via facsimile (Exhibit F-2). A lack of quorum prevented the Planning Committee from taking a formal vote; however, a discussion took place. The letter states the following chief concerns:
 - The Rose Haven use is classified as a “community service” and would require a Conditional Use “permit.”
 - Re-locating “both the main entrance to the building and the ramp” to NW 18th Avenue “may create unsafe loading and unloading conditions along this fast, busy street.”
 - Whereas the proposal “seems to bury the new entrance and is not cohesive” with the existing building, the Planning Committee had questions regarding how Community

Design Guidelines D2 and D8 relate to Americans with Disabilities Act (ADA) requirements; specifically, which requirements take precedence.

Staff response:

- *See first bulleted point in previous Staff Response above.*
- *The proposal does not involve re-location of Sodergren Hall's main entrance.*
- *Typically, the need to meet Historic Design Review approval criteria is balanced with the need to meet ADA requirements to the extent practicable. How such a balance is executed occurs on a case-by-case basis. The need to meet Historic Design Review approval criteria does not take precedence over ADA requirements.*
- *Please refer to the findings for the applicable approval criteria below.*

ZONING CODE APPROVAL CRITERIA

Chapter 33.846, Historic Reviews

Purpose of Historic Design Review

Historic Design Review ensures the conservation and enhancement of the special characteristics of historic resources.

Historic Design Review Approval Criteria

Requests for historic design review will be approved if the review body finds the applicant has shown that all of the approval criteria have been met.

Findings: The site is located in a designated Historic District. Therefore the proposal requires historic design review approval. Because the site is located within the Alphabet Historic District, the relevant approval criteria include the Community Design Guidelines and the Historic Alphabet District Community Design Guidelines Addendum [33.846.060 E.1.c]. Because the Northwest Plan District is a post-acknowledgment Comprehensive Plan amendment under ORS 197.625 and is currently on appeal to the Land Use Board of Appeals (LUBA), relevant approval criteria also include the Oregon Statewide Planning Goals applicable to the Comprehensive Plan amendment.

Historic Alphabet District - Community Design Guidelines Addendum

These guidelines were adopted on September 5, 2000 and were developed to work with the Community Design Guidelines to provide a set of guidelines specific to the district. Staff has considered all guidelines and will hereby address only those considered applicable to this proposal.

Community Design Guidelines

These guidelines provide the constitutional framework for all design review areas outside the Central City that are not covered by their own specific area design guidelines. The Community Design Guidelines focus on three general categories: **(P) Portland Personality**, which establishes Portland's urban design framework; **(E) Pedestrian Emphasis**, which states that Portland is a city for people as well as cars and other transportation systems; and **(D) Project Design**, which assures that each development is sensitive to both Portland's urban design framework and the users of the city. Staff has considered all guidelines and will hereby address only those considered applicable to this proposal.

The Historic Alphabet District Guidelines and Community Design Guidelines are addressed first, followed by the Oregon Statewide Planning Goals.

1. HISTORIC ALPHABET DISTRICT APPROVAL CRITERIA

1. Historic Changes.

Most properties change over time; those changes that have acquired historic significance will be preserved.

Findings for 1: The proposal affects only one building on the site – Sodergren Hall, which is classified as a non-contributing structure in the Alphabet Historic District. The proposal does not affect any changes to Sodergren Hall that have acquired historic significance. In fact, no changes made to the building have acquired historic significance. *Therefore this criterion is met.*

2. Differentiate New from Old.

New additions, exterior alterations, or related new construction will retain historic materials that characterize a property to the extent practicable. Replacement materials should be reasonable facsimiles of the historic materials they replace. The design of new construction will be compatible with the historic qualities of the district as identified in the Historic Context Statement.

3. Hierarchy of Compatibility.

Exterior alterations and additions will be designed to be compatible primarily with the original resource, secondarily with adjacent properties, and finally, if located within a historic or conservation district, with the rest of the District. Where practical, compatibility will be pursued on all three levels. New development will seek to incorporate design themes characteristic of similar buildings in the Historic Alphabet District.

Findings for 2, 3: The proposal does not affect any historic materials on the property. The only historic materials on the property are associated with the church building. The proposed accessible entrance is compatible with the subject building. The depth, slope, and valence proportions of the new awning will match those of the existing awning on the north façade and the existing awning on the north façade of the church. The three new wall-mounted light fixtures will be located at regular intervals at mid-points of spandrel panels on the façade. The new door will be installed at an existing glazed opening. The guardrail for the ramp will have horizontal cables, consistent with the building’s strong horizontal orientation.

The proposal is also compatible with adjacent properties. Adjacent properties consist primarily of residential buildings, as well as the First Immanuel Church and a one-story commercial structure built as an auto service garage with storefronts. Each of these buildings exhibits a relatively cohesive architectural composition. Various design elements on these buildings, both old and new, are consistent with the buildings’ original character. The proposal exhibits similar design cohesion as detailed above.

In addition, the proposal is compatible with similar buildings in the Historic District. The District contains many mid-century buildings classified as non-contributing. Many of these structures are low-rise office buildings, such as 2010 NW Kearney Street (built 1957), 2049 NW Hoyt Street (built 1957), and 1920 NW Johnson Street (built 1951). Others are mixed-use with retail at the ground floor and offices at the second floor, such as 2323 NW Flanders Street (built 1954) and 520-526 NW 23rd Avenue (built 1955). Like these buildings, Sodergren Hall exhibits strong horizontal orientation, a simple palette of materials, and straightforward design with minimal ornamentation. Predominant materials are metal and concrete. The guardrail has a simple horizontal cable design. Ornamentation is limited to the small concrete planter. The ramp will be situated parallel to the building, in keeping with the horizontal orientation of the building. The south edge of the ramp will align with the south edge of the east façade. Thus the proposal successfully incorporates design characteristics of similar buildings in the District. *These guidelines are therefore met.*

2. COMMUNITY DESIGN GUIDELINES

P1. Plan Area Character.

Enhance the sense of place and identity by incorporating site and building design features that respond to the area’s desired characteristics and traditions.

Findings for P1: Sodergren Hall is located in the Eastern Edge sub-area of the Northwest Plan District. According to the Northwest District Plan, the Eastern Edge “is perhaps the

most architecturally varied portion of the Northwest District.” Sodergren Hall, a mid-century Modern building, exemplifies this variation. One of the Northwest Plan District’s desired characteristics for buildings, including the varied buildings of the Eastern Edge sub-area, is maintaining design cohesion. The proposal accomplishes this by using materials that correspond to the original Modern style of Sodergren Hall, including metal for the guardrails, handrails, and light fixtures; concrete for the retaining walls and ramp and stair surfaces; and clear glazing for the door and transom window. The proposal also reinforces the original design principles of the building. The cable guardrail reinforces the horizontality of the building’s east façade. The even spacing of the wall-mounted light fixtures is consistent with the even spacing and repetition of the window “bays” of the east façade. Furthermore, the relative simplicity of the accessible entrance – the limited palette of materials, lack of ornament, and straightforward design – are compatible with the building, which also exhibits these characteristics. The proposal maintains design cohesion of Sodergren Hall, in keeping with the identity of the Northwest Plan District. *This guideline is therefore met.*

P2. Historic and Conservation Districts.

Enhance the identity of historic and conservation districts by incorporating site and building design features that reinforce the area’s historic significance. Near historic and conservation districts, use such features to reinforce and complement the historic areas.

D7. Blending into the Neighborhood.

Reduce the impact of new development on established neighborhoods by incorporating elements of nearby, quality buildings such as building details, massing, proportions, and materials.

Findings for P2, D7: The Alphabet Historic District contains several high-quality mid-century buildings that are classified as non-historic and non-contributing. Many of these structures are low-rise office buildings, such as 2010 NW Kearney Street (built 1957), 2049 NW Hoyt Street (built 1957), and 1920 NW Johnson Street (built 1951). Others are mixed-use with retail at the ground floor and offices at the second floor, such as 2323 NW Flanders Street (built 1954) and 520-526 NW 23rd Avenue (built 1955). These buildings do not exhibit the historic architecture of contributing structures. However, they still make a positive contribution to the built environment of the Historic District, as they have original designs and exterior alterations that demonstrate the same level of architectural coherency as their more historic counterparts.

The proposal is consistent with this unifying characteristic of high-quality, mid-century structures. The proposal employs materials that correspond to the original Modern style of Sodergren Hall, including metal for the guardrails, handrails, and light fixtures; concrete for the retaining walls and ramp and stair surfaces; and clear glazing for the door and transom window. In addition, the proposal respects and reinforces the original design principles of the building. The cable guardrail reinforces the horizontality of the building’s east façade. The even spacing of the wall-mounted light fixtures is consistent with the even spacing and repetition of the window “bays” and balanced symmetry of the east façade. Lastly, the relative simplicity of the accessible entrance – the limited palette of materials, lack of ornament, and straightforward design – are compatible with the building, which also exhibits these characteristics. Thus the proposal unifies the building with other high-quality, mid-century buildings in the Historic District. The proposal is consistent with the identity of the District as an area of high-quality, architecturally coherent buildings. *This guideline is therefore met.*

E1. The Pedestrian Network.

Create an efficient, pleasant, and safe network of sidewalks and paths for pedestrians that link destination points and nearby residential areas while visually and physically buffering pedestrians from vehicle areas.

Findings for E1: The proposed ramp supports the pedestrian network of the neighborhood by creating an accessible connection between the public sidewalk on NW 18th Avenue and the lower level of Sodergren Hall. The ramp is efficient in that it provides the easiest, most direct

route possible for all types of pedestrians, including people in wheelchairs, people with other physical disabilities, the elderly, and people traveling with small children, especially children in strollers. The ramp is pleasant in that its design is consistent with the original design of the building; it includes a small planter; and there is an awning for weather protection at the entry door. The ramp is safe in that its guardrail design allows for visibility between the sidewalk and the building, and light fixtures provide illumination to discourage illicit behaviors. *This guideline is therefore met.*

E3. The Sidewalk Level of Buildings.

Create a sense of enclosure and visual interest to buildings along sidewalks and pedestrian areas by incorporating small-scale building features, creating effective gathering places, and differentiating street-level facades.

Findings for E3: The proposal brings street-level differentiation that creates a sense of enclosure along the east façade of Sodergren Hall. The horizontal design of the cable guardrail and the inherent horizontality of the ramp itself will strike a strong line across the façade at the ground level. The proposed wall-mounted lights and the proposed awning will be located in the spandrel area between the lower row of windows and upper row of windows, also highlighting the ground level. Furthermore, simply adding an entrance to the façade, which currently has no doors, will bring prominence to the lower level.

The proposal also creates visual interest along the sidewalk. Staff and visitors to Sodergren Hall's lower level will enter and exit through the new door, imbuing the east façade with an active presence. Secondly, the proposed wall-mounted light fixtures will add visual interest to the east façade in the night and evening hours. Thirdly, the proposed planter will provide a small area for landscaping, which will add an element of visual delight to the east façade. *This guideline is therefore met.*

E5. Light, Wind, and Rain.

Enhance the comfort of pedestrians by locating and designing buildings and outdoor areas to control the adverse effects of sun, shadow, glare, reflection, wind, and rain.

Findings for E5: The proposed 3'-10"-deep awning will provide weather protection for employees and visitors as they enter and exit the building. *This guideline is therefore met.*

D1. Outdoor Areas.

When sites are not fully built on, place buildings to create sizable, usable outdoor areas. Design these areas to be accessible, pleasant, and safe. Connect outdoor areas to the circulation system used by pedestrians.

Findings for D1: The primary outdoor areas on the site are the existing courtyard abutting the church to the south and the courtyard located between Sodergren Hall and the church. Both courtyards have a mixture of seating areas, walkways, and landscaping. These courtyards provide opportunities for people to congregate, meet, and observe the activity around them. The proposal will not affect the accessibility, pleasantness, or safety of these outdoor areas. *This guideline is therefore met.*

D2. Main Entrances.

Make the main entrances to houses and buildings prominent, interesting, pedestrian-accessible, and transit-oriented.

Findings for D2: The main entrance to Sodergren Hall will remain on the NW Irving Street façade. The main entrance is highlighted by a wide awning, address numbers displayed prominently on the door, the entrance's location directly abutting the public sidewalk, the provision of bicycle parking adjacent to the entry door, and the entrance's proximity to a courtyard that links Sodergren Hall with the church. The proposal will not affect the prominence of Sodergren Hall's main entrance. The entrance's location on the east façade, farther from the church and the courtyard, will help to indicate its secondary nature.

Furthermore, the entrance will be partially below-grade and set back from the public sidewalk on NW 18th Avenue. Taken together, these characteristics will communicate that the proposed entrance is for the lower level, rather than the main entrance for Sodergren Hall. *This guideline is therefore met.*

D3. Landscape Features.

Enhance site and building design through appropriate placement, scale, and variety of landscape features.

Findings for D3: A small concrete planter will be located between the lower ramp run and the stair entrance. The modest size is appropriate to provide adequate planting area for small plantings and still retain visibility from the public sidewalk to the entry door. The planter will provide a visually pleasing natural element that enhances the design of the accessible entrance. *This guideline is therefore met.*

D5. Crime Prevention.

Use site design and building orientation to reduce the likelihood of crime through the design and placement of windows, entries, active ground-level uses, and outdoor areas.

Findings for D5: The proposal employs a design that can reduce the likelihood of crime. Originally, the guardrail was proposed with a mesh design. The design was subsequently revised to a horizontal cable rail system, to address the need for visibility from adjacent public sidewalks. Whereas the mesh design had more solid area and therefore decreased sightlines, the cable rail uses a thinner material that is less visually obstructive. The cable rail can help to reduce the likelihood of crime in and around the ramp, while maintaining consistency with the Modern design of the building. Secondly, the proposed light fixtures aid in crime prevention. A recessed light-emitting diode (LED) fixture will be installed in the concrete wall where the stair begins. Additionally, three wall-mounted lights will be installed at even intervals – two along the lower ramp run and one above the entry door. These light fixtures will provide illumination that makes it difficult to engage in illicit behavior. Thirdly, crime prevention has been addressed by removing additional landscaping from the proposal. Originally, the proposal included landscaping between the upper ramp run and the public sidewalk on NW 18th Avenue. This landscaping has been removed from the proposal to allow for clearer sightlines between the sidewalk and the building. Lastly, the proposal addresses crime prevention simply by locating an entrance on the east façade. Currently, the east façade has no entrances. This leaves little opportunity for direct interaction between the building and the streetscape, as the building exudes a relatively inactive ground-floor presence on NW 18th Avenue. The new entrance will indicate the presence of active uses in the building. Passersby will be able to see people coming and going from the building, which communicates the presence of “eyes on the street.” Thus the location of the new entrance on the east façade can reduce the likelihood of crime. *This guideline is therefore met.*

D6. Architectural Integrity.

Respect the original character of buildings when making modifications that affect the exterior. Make additions compatible in scale, color, details, material proportion, and character with the existing building.

D8. Interest, Quality, and Composition.

All parts of a building should be interesting to view, of long-lasting quality, and designed to form a cohesive composition.

Findings for D6, D8: The proposed accessible entrance employs durable materials and is compatible with the subject building in the following ways:

- The south edge of the ramp will be aligned with the south edge of the east façade.
- The ramp will be situated parallel to the building, in keeping with the horizontal orientation of the building.
- The new awning will be composed of high-quality Sunbrella or similar fabric. The depth, slope, and valence proportions of the new awning will match those of the existing awning

on the north façade of Sodergren Hall and the existing awning on the north façade of the church.

- The signage on the awning will be smaller and less prominent than the existing wall-mounted signage and the monument sign at the corner of NW 18th Avenue and NW Irving Street. This smaller signage size befits the secondary role of the new entrance and the associated building tenant.
- The three new wall-mounted light fixtures will have etched lenses and be composed of metal with a bronze finish. The lights will be located at regular intervals at mid-points of spandrel panels on the façade. The lights are directed downward and are considered “Dark Skies”-compliant, meaning they use unobtrusive illumination that will not result in light pollution. Thus they will not adversely affect views of the building at night.
- The new door will be installed at an existing glazed opening. It will fit within the existing opening and be aligned with the windows and spandrel panels above it. The style of the door will match the style of existing doors on the building.
- The concrete planter will continue an existing theme on the church site wherein small planters and landscaped areas are located near entries and in courtyards.
- The guardrail for the ramp will have horizontal cables, consistent with the building’s strong horizontal orientation. The rails and posts of the guardrail will be painted to match the color of the existing windows on the building. The intermediate posts will be aligned with the vertical divisions of the window bays on the façade.

These elements are humanly scaled to provide proportion and detail that relate to the human body and add visual interest to the pedestrian environment. Additionally, these elements are consistent with the mid-century Modern style of Sodergren Hall. The accessible entrance will exhibit the same clean, orthogonal lines; horizontal orientation; limited palette of materials; and minimal ornamentation. The proposal allows the building to remain a cohesive composition. *These guidelines are therefore met.*

3. OREGON STATEWIDE PLANNING GOALS

Complete text of the Oregon Statewide Planning Goals can be found online at: <http://www.lcd.state.or.us/goalhtml/goals.html>.

1. Citizen Involvement

Goal 1 calls for “the opportunity for citizens to be involved in all phases of the planning process.” It requires each city and county to have a citizen involvement program containing six components specified in the goal. It also requires local Governments to have a committee for citizen involvement (CCI) to monitor and encourage public participation in planning.

2. Land Use Planning

Goal 2 outlines the basic procedures of Oregon’s statewide planning program. It states the ways that land use decisions are to be made in accordance with a comprehensive plan, and that suitable “implementation ordinances” to put the plan’s policies into effect must be adopted. It requires that plans be based on “factual information”; that local plans and ordinances be coordinated with those of other jurisdictions and agencies; and that plans be reviewed periodically and amended as needed.

Findings for 1, 2: The City of Portland’s land use planning process allows for and actively seeks the involvement of citizens in all types of land use review processes, whether legislative or quasi-judicial. The Type II Historic Design Review process most closely follows these goals at the City and community level. In the design of individual buildings or the alteration of existing ones, citizen involvement is achieved through mailed public notices, neighborhood association meetings, exchange of comments, and opportunities for appeal. Projects that address the concerns of citizens and the broad community are therefore achieved through the review process. Because the designated zoning on the subject site was adopted to comply with the Comprehensive Plan, the process described here implements Portland’s Comprehensive Plan. *Therefore Goals 1 and 2 are met.*

3. Agricultural Lands

Goal 3 defines “agricultural lands.” It then requires counties to inventory such lands and to “preserve and maintain” them through farm zoning.

4. **Forest Lands**

This goal defines forest lands and requires counties to inventory them and adopt policies and ordinances that will “conserve forest lands for forest uses.”

Findings for 3, 4: The subject site is not classified as agricultural or forested land. It is developed urban land with a zoning designation of High-density Residential (RH). *Therefore Goals 3 and 4 are not applicable.*

5. **Open Spaces, Scenic and Historic Areas and Natural Resources**

Goal 5 covers more than a dozen natural and cultural resources such as wildlife habitats and wetlands.

Findings for 5: The subject site is within the boundaries of the Northwest Plan District and the Historic Alphabet District, so the proposal must meet specific approval criteria. These criteria were designed to conserve and enhance the special characteristics of historic resources. No designated scenic or natural resources are located on the site. *Therefore Goal 5 is met.*

6. **Air, Water, and Land Resources Quality**

This goal requires local comprehensive plans and implementing measures to be consistent with state and federal regulations on matters such as groundwater pollution.

Findings for 6: The proposed accessible entrance does not affect the subject site’s ability to contribute to air, water, and land resource quality. The proposal results in additional impervious area on the site, which is partially mitigated by a French drain located in the concrete surface adjacent to the entry door, and a small planter. The site’s existing stormwater management methods will remain in effect. *Therefore Goal 6 is met.*

7. **Areas Subject to Natural Disasters and Hazards**

Goal 7 deals with development in places subject to natural hazards such as floods or landslides. It requires that jurisdictions apply “appropriate safeguards” (floodplain zoning, for example) when planning for development there.

8. **Recreational Needs**

This goal calls for each community to evaluate its areas and facilities for recreation and develop plans to deal with the projected demand for them.

Findings for 7, 8: The site is not located in an area subject to natural disasters or hazards, nor is the site designated or zoned to provide recreational opportunities. *Therefore Goals 7 and 8 are not applicable.*

9. **Economy of the State**

Goal 9 calls for diversification and improvement of the economy. It asks communities to inventory commercial and industrial lands, project future needs for such lands, and plan and zone enough land to meet those needs.

Findings for 9: The subject site is a church-associated office building. The new accessible entrance will enable the offices located in the lower level of the building to serve the needs of the church’s community members. Serving the needs of the church’s community members in Portland positively contributes to the health of the city’s economy. *Therefore Goal 9 is not applicable.*

10. **Housing**

This goal specifies that each city must plan for and accommodate needed housing types, such as multifamily and manufactured housing.

Findings for 10: The existing building is an office use, but the site is zoned High-density Residential (RH). This allows for potential residential development on the site in the future. *Therefore Goal 10 is met.*

11. Public Facilities and Services

Goal 11 calls for efficient planning of public services such as sewers, water, law enforcement, and fire protection. The goal's central concept is that public services should be planned in accordance with a community's needs and capacities rather than be forced to respond to development as it occurs

Findings for 11: All applicable building and fire codes will be addressed and met as part of the work proposed. The site's central location will allow it to continue taking advantage of the existing urban infrastructure, including public services such as utilities, trash and recycling, and police and fire protection. *Therefore Goal 11 is met.*

12. Transportation

The goal aims to provide a "safe, convenient, and economic transportation system." It asks for communities to address the needs of the "transportation disadvantaged."

Findings for 12: The subject site is served well by Portland's multi-modal public transportation system. The nearest transit service is provided at the intersection of NW Lovejoy Street and NW 18th Avenue, where there is a stop for TriMet bus route #77 eastbound, which provides service to NE Portland and the City of Troutdale. The Portland Streetcar has an eastbound stop at this intersection as well, providing service to Portland State University and the South Waterfront neighborhood. Additionally, there is a westbound stop for the #17 bus at NW Glisan Street and NW 16th Avenue, providing service to NW 21st Avenue, Sauvie Island, and the St. Johns neighborhood. Employees and visitors to Sodergren Hall do not have to rely on automobiles, thanks to the location of the site and the abundant transit service available to it. *Therefore Goal 12 is met.*

13. Energy

Goal 13 declares that "land and uses developed on the land shall be managed and controlled so as to maximize the conservation of all forms of energy, based upon sound economic principles."

Findings for 13: The subject site's central location encourages walking and bicycling rather than automobile use. The location also supports the economy of the urban core and maintains its viability in the region. This conserves energy by keeping economic activity within the existing urbanized area, thus efficiently using the energy embodied in the developed landscape of the urban core. *Therefore Goal 13 is met.*

14. Urbanization

This goal requires cities to estimate future growth and needs for land and then plan and zone enough land to meet those needs. It calls for each city to establish an "urban growth boundary" to "identify and separate urbanizable land from rural land."

Findings for 14: The City of Portland has an established Urban Growth Boundary (UGB). The subject site is not near the UGB. The subject site's zoning designation is High-density Residential (RH), which is in keeping with the objective of providing an adequate amount of residentially zoned land within the UGB. *Therefore Goal 14 is met.*

15. Willamette Greenway

Goal 15 sets forth procedures for administering the 300 miles of greenway that protects the Willamette River.

16. Estuarine Resources

This goal requires local governments to classify Oregon's 22 major estuaries in four categories: natural, conservation, shallow-draft development, and deep-draft development. It then describes types of land uses and activities that are permissible in those "management units."

17. Coastal Shorelands

The goal defines a planning area bounded by the ocean beaches on the west and the coast highway (State Route 101) on the east. It specifies how certain types of land and resources there are to be managed.

18. Beaches and Dunes

Goal 18 sets planning standards for development on various types of dunes.

19. Ocean Resources

Goal 19 aims to “conserve the long-term values, benefits, and natural resources of the nearshore ocean and the continental shelf.”

Findings for Goals 15, 16, 17, 18, 19: The site is not located at or near the Willamette River, any estuaries, or any coastal or marine habitat or resources. *Therefore Goals 15, 16, 17, 18, and 19 are not applicable.*

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS


The purpose of the historic design review process is to ensure that exterior alterations to existing buildings protect the integrity of the special characteristics of the historic resources. The proposed ramp will provide an accessible entrance on the east façade of the building, imbuing the east façade with a more active street-level presence. The proposal employs materials and design principles consistent with the mid-century Modern design of Sodergren Hall. The proposal is consistent with the identity of the Alphabet Historic District as an area of high-quality, architecturally coherent buildings, no matter the style. The proposal meets the applicable design guidelines and the Oregon Statewide Planning Goals and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of a concrete ramp and stairs, guardrails, handrails, concrete planter, light fixtures, awning with signage lettering, and door with a transom window.

Approval per the approved plans and drawings, Exhibits C-1 through C-5, signed and dated March 23, 2009, subject to the following conditions:

- A. As part of the building permit application submittal, each of the four required plans and any additional drawings must reflect the information and design approved by this land use review as indicated in Exhibits C-1 through C-5. The sheets on which this information appears must be labeled, "Proposal and design as approved in Case File # LU 08-160180 HDZ. No field changes allowed."

Decision rendered by:  on March 23, 2009
By authority of the Director of the Bureau of Development Services

Decision mailed: March 25, 2009

Staff Planner: Kate Marcello

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on September 4, 2008, and was determined to be complete on **September 17, 2009**.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on September 4, 2008.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the 120-day review period was extended for a total of 126 days, through May 21, 2009.

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term "applicant" includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Landmarks Commission, which will hold a public hearing. Appeals must be filed **by 4:30 PM on April 8, 2009** at 1900 SW Fourth Ave. Appeals can be filed on the first floor in the Development Services Center until 3 p.m. After 3 p.m., appeals must be submitted to the receptionist at the front desk on the fifth floor. **An appeal fee of \$250 will be charged.** The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations appealing a land use decision for

property within the organization's boundaries. The vote to appeal must be in accordance with the organization's bylaws. Low-income individuals appealing a decision for their personal residence that they own in whole or in part may qualify for an appeal fee waiver. In addition, an appeal fee may be waived for a low income individual if the individual resides within the required notification area for the review, and the individual has resided at that address for at least 60 days. Assistance in filing the appeal and information on fee waivers is available from BDS in the Development Services Center. Fee waivers for low-income individuals must be approved prior to filing the appeal; please allow 3 working days for fee waiver approval. Please see the appeal form for additional information.

The file and all evidence on this case are available for your review by appointment only. Please contact the receptionist at 503-823-7967 to schedule an appointment. I can provide some information over the phone. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at www.portlandonline.com.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Landmarks Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 550 Capitol St. NE, Suite 235, Salem, Oregon 97301, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Landmarks Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision must be recorded with the Multnomah County Recorder. A few days prior to the last day to appeal, the City will mail instructions to the applicant for recording the documents associated with their final land use decision.

- *Unless appealed*, The final decision may be recorded on or after **April 9, 2009 (the day following the last day to appeal)**.
- A building or zoning permit will be issued only after the final decision is recorded.

The applicant, builder, or a representative may record the final decision as follows:

- By Mail: Send the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to: Multnomah County Recorder, P.O. Box 5007, Portland OR 97208. The recording fee is identified on the recording sheet. Please include a self-addressed, stamped envelope.
- In Person: Bring the two recording sheets (sent in separate mailing) and the final Land Use Review decision with a check made payable to the Multnomah County Recorder to the County Recorder's office located at 501 SE Hawthorne Boulevard, #158, Portland OR 97214. The recording fee is identified on the recording sheet.

For further information on recording, please call the County Recorder at 503-988-3034. For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

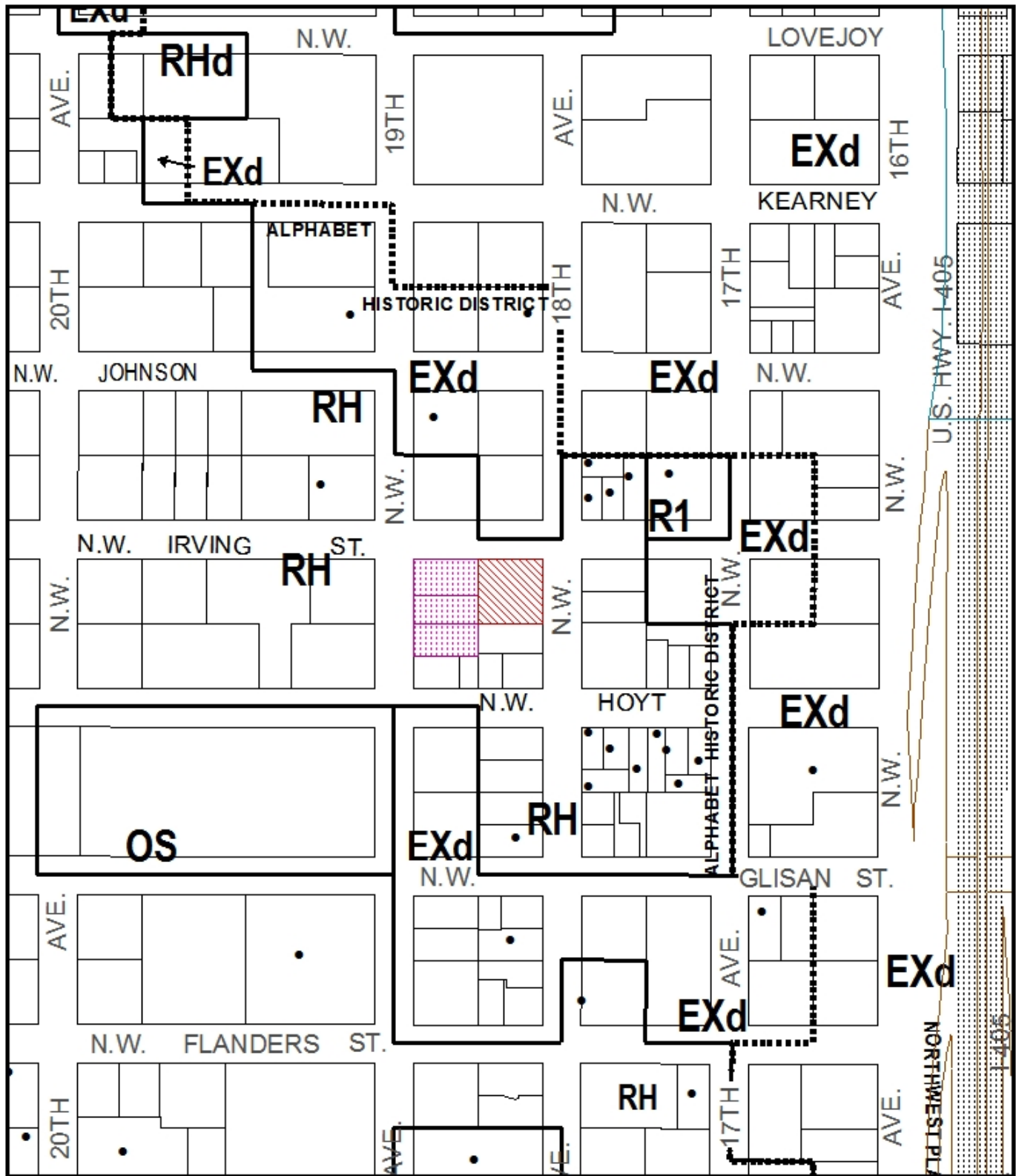
- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Statement
 - 1. Applicant's Narrative
 - 2. Request #1 for extension to 120-day timeline
 - 3. Request #2 for extension to 120-day timeline
- B. Zoning Map (attached)
- C. Plans and Drawings:
 - 1. Site Plan (attached), Guardrail Detail, Plate Details, Retaining Wall Section
 - 2. Site Plan with Floor Plan
 - 3. East Elevation, Ramp Section, North Elevation (attached)
 - 4. Cutsheet for Wall-mounted Light Fixtures (partially attached)
 - 5. Photograph and Information for Recessed Light Fixture
- D. Notification information:
 - 1. Mailing list
 - 2. Mailed notice
- E. Agency Responses:
 - 1. Portland Fire & Rescue
 - 2. Bureau of Environmental Services
 - 3. Development Review Section of the Bureau of Transportation
 - 4. Site Development Section of the Bureau of Development Services
 - 5. Life Safety (Building Code) Section of the Bureau of Development Services
- F. Correspondence:
 - 1. Jessica Richman, 3 October 2009, in opposition to several aspects of proposal, concern regarding Conditional Use
 - 2. Hugh Boyd, 3 October 2009, with question about proposal, concern about proposal, and concern regarding Conditional Use
- G. Other:
 - 1. Original LU Application
 - 2. Site History Research
 - 3. Site Visit Photographs

The Bureau of Development Services is committed to providing equal access to information and hearings. If you need special accommodations, please call 503-823-0625 (TTY 503-823-6868).



ZONING



Site



Also Owned



Historic Landmark

This site lies within the:
ALPHABET HISTORIC DISTRICT HISTORIC DISTRICT
NORTHWEST PLAN DISTRICT



File No. LU 08-160180 HDZ

1/4 Section 2928

Scale 1 inch = 200 feet

State_Id 1N1E33AC 6700

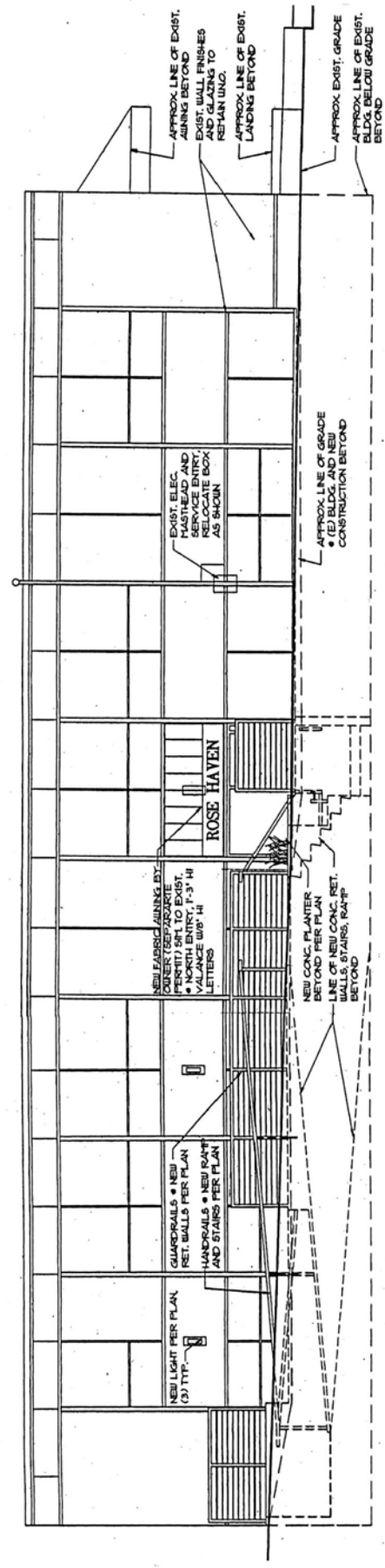
Exhibit B (Sep 08,2008)

Site Plan


$$\underline{V4^* = 1'-0'}$$

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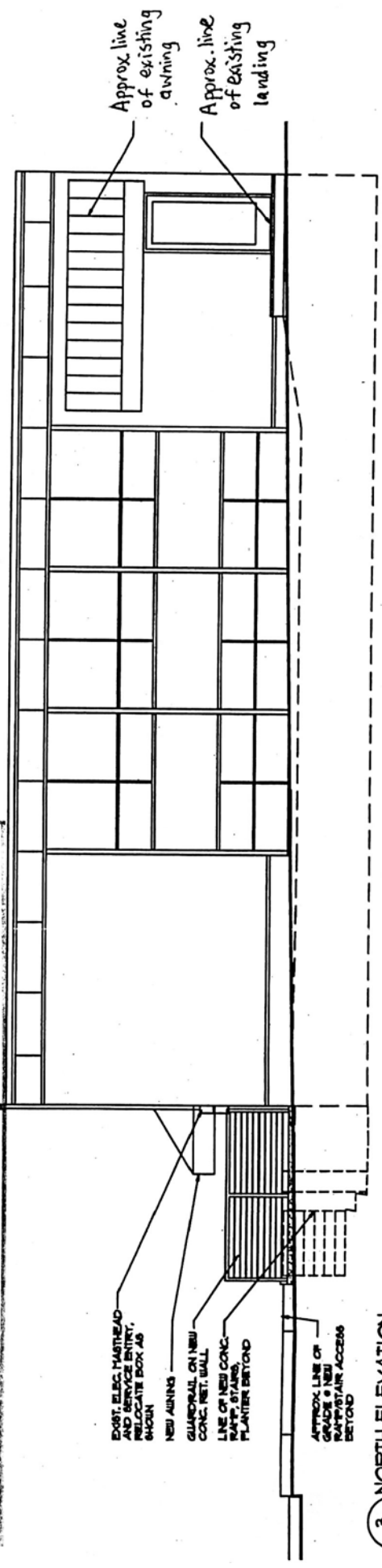
Elevations



1 EAST ELEVATION
A2

Sheet size has been altered.

Approved
City of Portland - Bureau of Development Services
Planner: *Latasha* Date: *March 23, 2009*
* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

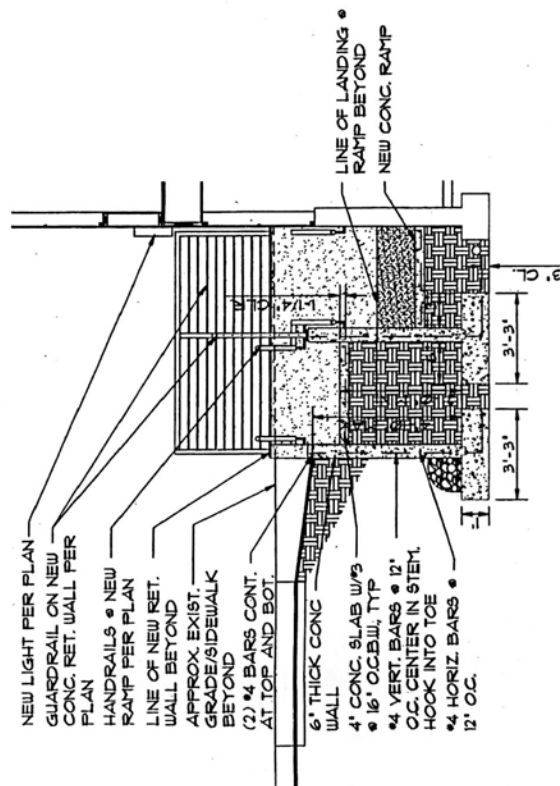
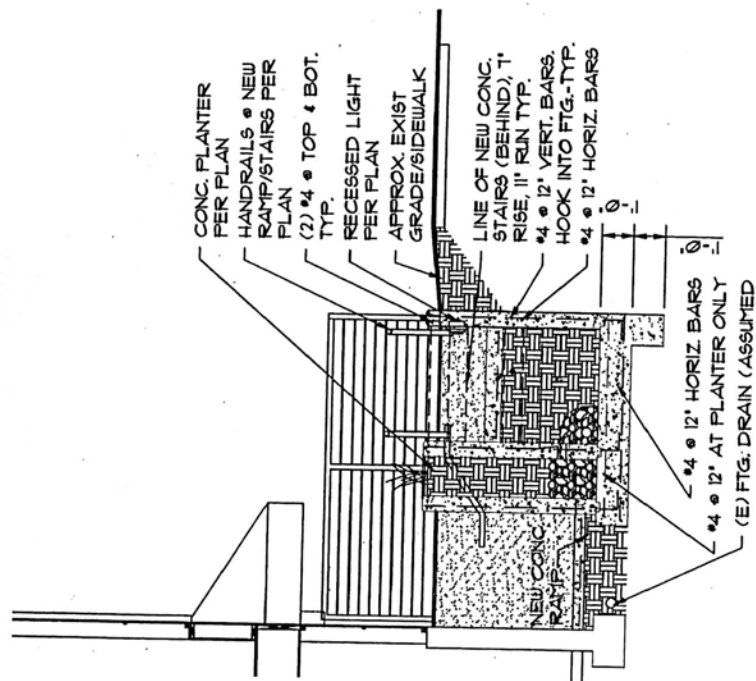


3 NORTH ELEVATION
A2

NOTE: SEE 1/42 FOR ADDITIONAL TYP. NOTES

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LU08-160180 HD2 Exhibit C-3



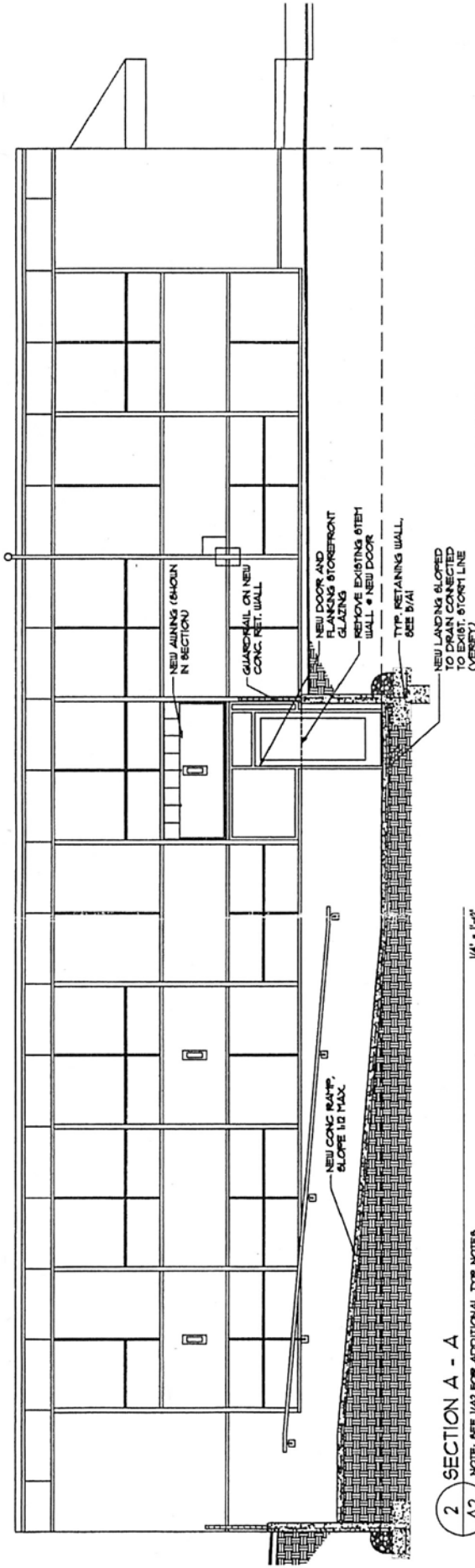
City of Portland - Bureau of Development Services

Planner Kate Ward Date March 23, 2009

* This approval applies only to the reviews requested and is subject to conditions of approval. Additional zoning requirements may apply.

sheet size has been altered.

Section



2 SECTION A - A
A2

NOTE: SEE VAS FOR ADDITIONAL TYP. NOTES

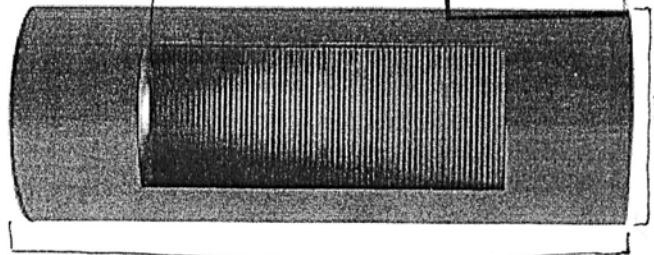
1/4" = 1'-0"

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Guardrail Detail

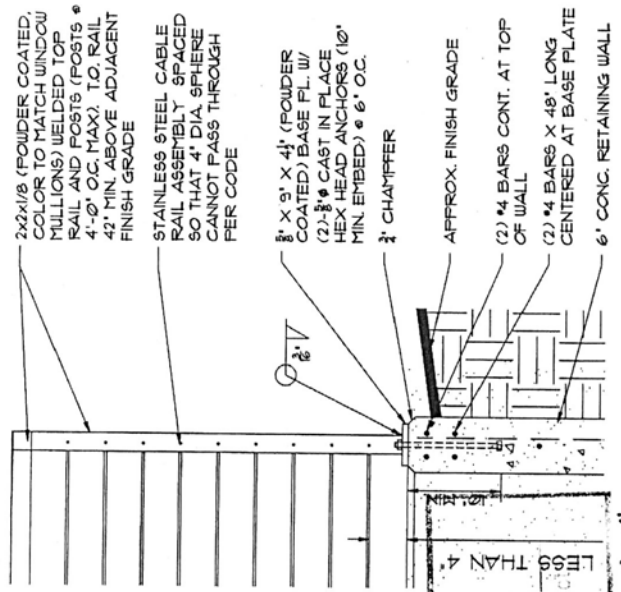
Wall-mounted Light Fixture

Exhibit C-4



Down-light

- Bronze finish
- Etched glass lens



Sheet size has been altered.

Approved

City of Portland - Bureau of Development Services

Planner *Kate Murrell* Date *March 23, 2009*

* This approval applies only to the reviews requested and is subject to conditions of approval. Additional zoning requirements may apply.

1" = 1'-0"