

	DESCRIPTION	ROLL NO	ODOMETER
PARCEL NO. A-4-9	INGRAM, VIRGIE 249 N. COOK		
PARCEL NO. E-3-9	JACKSON, LEWIS 2632 N. KERBY		
PARCEL NO. R-9-1	JONES, LAURA ELIZABETH 3151 N. GANTENBEIN (DECEASED)		
PARCEL NO. A-4-14	JONES, OLLIE 3317 N. VANCOUVER		
PARCEL NO. A-4-7	JONES, ROOSEVELT (VEL) 3316 N. GANTENBEIN		
PARCEL NO. RS 4-9	JOHNSON, CLAUDE E. 7 N. RUSSELL		
PARCEL NO. E-4-8	JOHNSON, LUCILLE 321 N. RUSSELL		
PARCEL NO. A-2-4	JOHNSON, RETTA 3104 N. GANTENBEIN		
PARCEL NO. A-2-4	JOHNSON, SAM 3110 N. GANTENBEIN		
PARCEL NO. A-2-4	LAURENCE, ANN 3110 N. GANTENBEIN		
PARCEL NO. A-2-6	LAWRENCE, EDWARD 217 N. MONROE		
PARCEL NO. A-3-19	LEE, GEORGE 3213 N. VANCOUVER		
PARCEL NO. A-3-19	LEE, ROBERT 3213 N. VANCOUVER		
PARCEL NO. E-4-7	McALLISTER, RAY 423 N. RUSSELL		
PARCEL NO. A-4-4	MACKIE, DAVID C. 260 N. IVY		
PARCEL NO. A-3-13	MARSHALL, JERRY W. 247 N. FARGO		
PARCEL NO. A-3-13	MARSHALL, JOYCE 247 N. FARGO		
PARCEL NO. A-3-13	MARSHALL, L & J BROTHERS BUSINESS 247 N. FARGO		

RESIDENTIAL RELOCATION RECORD

Project Name _____ Parcel No. 9.4.14 Advisor VC

Client's Name Jones, Ollie Phone _____

Address 3317 W. VANCOUVER Ethn Black Age 51

- Male Family Married Renter/Occupant
 Female Individual Single Owner/Occupant

Family Composition

Total Number in Family 2

2 wife, husband

Other: Relation Age Relation Age

Relation	Age	Relation	Age
wife	50		

Economic Data

Employer union Pacific \$

Address _____

Other Source of Income Emmanuel Hosp (wife) \$

Total Monthly Income \$ (_____)

- Eligible for Public Housing YES NO
 Eligible for Welfare YES NO
 Eligible for (Other) YES NO

Presently Receiving Welfare YES NO

Other Assistance _____

Claimant was displaced from real property within the project area on or after date of pertinent contract for Federal assistance and/or date of HUD approval of budget for project:

- YES NO

Date of initial interview 1-4-72 Date of info pamphlet delivery 1-4-72

Date Notice to Move given _____ Date Effective _____ Expires _____

CLAIMANT'S INITIAL DATE OF OCCUPANCY 7-14-54

(a) for owner-occupants - indicate initial date of occupancy and ownership

Date of initiation of negotiations for purchase of property 7-6-71

Date of Acquisition 6-5-72

Date of letter of Intent _____

Date of move 6-9-72

DWELLING UNIT FROM WHICH RELOCATED

Private Sales	<input checked="" type="checkbox"/>	Single Family	<input checked="" type="checkbox"/>
Private Rental	<input type="checkbox"/>	Duplex	<input type="checkbox"/>
Other	<input type="checkbox"/>	Multiple Family	<input type="checkbox"/>

Age of Housing Unit 1902

Size of Habitable Area 1196

Furnished with claimant's furniture
 YES NO

Total Number of Rooms 5 Rent Paid \$ _____ Utilities _____

Number of Bedrooms 2 Monthly Housing Payments \$ _____ Taxes _____

Liens \$ _____ (please explain) _____

Acquisition Price \$ 11,500.00 Amenities _____

REPLACEMENT DWELLING UNIT

Address 2324 NE Thompson LPA Referred _____ Self Referred

Private Sales	<input type="checkbox"/>	Single Family	<input type="checkbox"/>
Private Rental	<input type="checkbox"/>	Duplex	<input type="checkbox"/>
Other	<input type="checkbox"/>	Multiple Family	<input type="checkbox"/>

Outside city Outside state

Age of Housing Unit 1953

Size of Habitable Area 1501

No. of Rooms 6 No. of Bedrooms 3

For Claimants Who Purchased

For Claimants Who Rented

Purchase Price of Replacement Dwelling \$ 28,500.00

Rent \$ _____

Taxes \$ 677.80

Utilities \$ _____

RHP or TACO (including incidental costs) \$ 11,450

Total Rent Assistance \$ _____

Amount of Annual Payment \$ _____

No. of Housing Referrals to:

Agency Referrals:

6 Standard Sales

_____ MCW

_____ HAP

_____ OTHER (_____)

_____ Standard Rent

_____ Food Stamp

_____ Legal Aid

_____ Other (_____)

Benefits Received

Date _____ Ck # _____ Type _____ Amount \$ _____

Date _____ Ck # _____ Type _____ Amount \$ _____

Date _____ Ck # _____ Type _____ Amount \$ _____

RESIDENTIAL RELOCATION RECORD

CLIENT'S NAME JONES, Ollie E. RELOCATION ADVISOR JC

ADDRESS 3317 N. Vancouver PHONE 284-5579 PROJECT NAME Emanuel ORE. R-20

SEX M ETHN black VETERAN _____ AGE 51 est. PARCEL NO. A-4-14

MARITAL STATUS married TENURE owner

DISABILITY _____ INDIV _____ FAMILY X

ELIGIBLE FOR: PUBLIC HOUSING _____ FHA 235 _____

RENT SUPPLEMENT _____ OTHER _____

DATE ON SITE:	<u>7/14/54</u>
INITIATION OF NEGOTIATIONS:	<u>7/6/71</u>
DATE OF ACQUISITION:	<u>6/5/72</u>

INITIAL INTERVIEW _____ DATE INFO PAMPHLET DELIVERED _____

NOTICE TO MOVE _____ DATES EFFECTIVE _____ EXPIRATION DATE _____

NOTIFY IN CASE OF EMERGENCY _____

ECONOMIC DATA

Employer Union Pacific \$ _____
 Address _____
 MCW _____
 Social Security _____
 Pension _____
 Other Mary - Emanuel Hospital _____
 TOTAL MONTHLY INCOME \$ 500.00 est.

FAMILY COMPOSITION

Name	Relation	Age
Mary	wife	50

DWELLING UNIT FROM WHICH RELOCATED

		S	SS
Subsidized Sales	Single Family		X
Subsidized Rental	Multiple Family		
Public Housing	Duplex		
Private Rental	Mobile Home		
Private Sales		X	

Age of Structure 1902 No. Rooms 5
 No. Bedrooms 2 Furn. _____ Unfurn. _____
 Utilities \$ _____
 Monthly Payments (Rent) \$ _____
 Acquisition Price \$ 11,500.00
 Taxes \$ _____ Equity \$ _____
 Liens \$ _____

Size of Habitable Area 1196 sq. ft. + 600+100 = 1896

HOUSING REFERRALS

Address	Bedrooms

AGENCY REFERRALS

Name of Agency	Date
Multnomah County Welfare	
Food Stamp Program	
Housing Authority	
Legal Aid	
FISH	
Health Dept.	

AGENCY ACTION:	REASONS:
Appeals	
Evicted	
Refused Assistance	
Address Unknown (tracing)	
Other (death, etc.)	

TEMPORARY RELOCATION

Within Project	
Outside Project	

Date Moved In _____
 Address _____
 Reason _____

REPLACEMENT DWELLING UNIT

Client Referred _____ LPA Referred _____
 Address 2324 N. E. Thompson Phone _____ Date of Move 6-9-72

WHERE RELOCATED:				S	SS
Same City	X	Subsidized Sales		Single Family	X
Outside City		Subsidized Rental		Multiple Family	
Out of State		Public Housing		Duplex	
		Private Rental		Mobile Home	
		Private Sales	X		

Furnished _____ Unfurnished _____ Number of Rooms _____ Number of Bedrooms 3 Habitable Area _____
 Utilities \$ _____ Monthly Payments (Rent) \$ _____ Purchase Price \$ 28,500.00
 Age of Structure: _____ Taxes \$ _____ Equity \$ _____ Distance Moved Away _____
 Name of Moving Company _____ Name of Realtor _____

BENEFITS RECEIVED

Type	Ck #	Date	Amount
RHP	422 EH	6/7/72	\$ 11,450.00
TACO (Rental)			\$
TACO (Sales)			\$
Fixed Moving	31071G &	31470G	\$ 500.00
Actual Move			\$
Storage			\$
Incidental	434 EH	6/14/72	\$ 71.80
Interest			\$

Purchase Price	\$ 28,500.00
Down Payment	\$ _____
RHP	\$ 11,450.00
Total Down	- \$ _____
Total Mortgage	\$ _____

TOTAL BENEFITS RECEIVED \$ 12,021.80

REALTOR: _____ ESCROW CO. _____ OFFICER _____

INTERVIEW REGISTER

Date		Relocation Worker
1-15-71	<u>FLYER</u> Delivered: by Wilson Smith. Receptive	JC
2-16-71	<u>SURVEY</u> : Refused to answer survey questions	JC
1-4-72	Spoke with Mr. Leech at John Medak Realty. Explained problem with comparables to establish price over average sales price of \$21,940. Requested help in finding comparables but he felt that Mr. Jones was really pushing it at 27,000 and didn't feel that he could really show justification on comparables for exceeding \$21,940. Spoke also with Jim Barnes at Legal Aid - explained that we would be most willing to look at comparables that he and his client might submit. However, Jim Barnes didn't think he could show cause to exceed limit and wasn't willing to submit anything.	
6-2-72	Mr. Jones called to see what is status of escrow. From America says sellers papers are all ready they are waiting for relocation funds. Ben says calim processed should be out next week.	

April 24, 1972

Mr. Mike Dye
Attorney at Law
3814 Commercial Street, S. E.
Salem, Oregon 97302

Dear Mr. Dye:

In response to your request for details explaining our computation of comparable housing for your client Ollie Jones, reference is made to our letter dated April 6, 1972. That letter explains how we arrived at our decision.

We are enclosing a copy of our worksheet for computing comparables.

Please advise us if we can be of any further assistance.

Very truly yours,

W. Stanley Jones
Relocation Supervisor

WSJ:sic

enclosure

MEMO TO FILE

February 22, 1972

The house which Ollie Jones now wishes to buy is approximately in an area which might be bounded by NE 19th and NE 29th - NE Knott and NE Schuyler for the purposes of selecting comparable housing. Multiple listings contained no comparable sales listings in this neighborhood during the applicable period. This is an older neighborhood with most of the houses much older than the one Mr. Jones selected, which was built in 1953. Almost all of the houses are extra large, 2 story types; one story houses of the type which Mr. Jones selected are rare. We did find one house at 24 $\frac{1}{4}$ NE 25th, about two blocks from the selected house, which we feel is comparable to the Jones's old house in the project. It is a $1\frac{1}{2}$ story structure as is his old one, contains 4 bedrooms, and appears to be in excellent condition. This house was on the market for an asking price of \$22,950, which is \$1,010 above our schedule for 4-bedroom houses.

A street by street survey was made of this area - no other houses were found for sale that appeared to be as comparable as the above house. Prices for these non-comparable houses ranged from \$37,750 to \$18,000.

WSJ:slc

3-27-72
9AM

Jones.

Wilson Smith

284-695-9

Talk to Jones about reply
from his atty. He stated
that he talk w/ his atty
last week and was told that
the info we requested
was mailed Mar 17, 1972.
I told him I would run
this down & call him
later. He also got talk
to the real Estate man &
instructed him to call the atty.
Report this back to Ben Webb.
He will research —

SEND TO
EMANUEL

April 4, 1972

Mr. Mike Dye
Attorney at Law
3814 Commercial Street, S.E.
Salem, Oregon 97302

Re: Mr. Ollie Jones

Dear Mr. Dye:

On February 23, 1972 we met with you, Mr. Jones, and John Madak Realty, to discuss certain problems connected with Mr. Jones' displacement from his present dwelling by the Emanuel Hospital Project. At that time you agreed to send us some additional information; however, to date we have not received any correspondence from you.

May we expect to hear from you in the near future?

Very truly yours,

Benjamin C. Vobb
Chief of Relocation and
Property Management

BCV:ch

cc: Mr. Ollie Jones
Mr. John Madak

April 6, 1972

Mr. Mike Dye
Attorney at Law
3814 Commercial Street S.E.
Salem, Oregon 97302

Dear Mr. Dye:

We have received your letter of April 4, 1972, along with the copy of the page from the Multiple Listing Book.

Under the provisions of Section 203(a)(1) of Public Law 91-646, the reasonable cost of a comparable replacement dwelling must be established as a basis for computing the amount of the Replacement Housing Payment for Homeowners. In determining the reasonableness of the cost of the replacement dwelling, we attempt to find, in the neighborhood to which the displacee wants to relocate, the house that is the most representative of the former dwelling that is on the sales market at the time the displacee is in the market to buy.

As you know, we have made an investigation of Mr. Jones' present home, as well as the neighborhood to which he wishes to relocate. On the basis of our investigation we have decided that of all the properties in the neighborhood to which he wants to relocate that were available to him at the time he was looking for a replacement house, the property at 2414 N. E. 25th Avenue is the most representative of his present dwelling. The only basis on which we can change our opinion is to find another property more representative of his present dwelling. Your letter did not state the reasons why you think that any of the properties shown on the Multiple Listings page sent to us are more representative of Mr. Jones' present dwelling than the property at 2414 N. E. 25th Avenue.

We had considered these properties shown on the above-mentioned page at the time of our evaluation. It was our opinion then and is our opinion now that we have made the proper decision in this case. At the time of our discussion on February 23, 1972, we informed you of our decision and asked you to indicate to us why you think that it should be changed.

Your letter did not question our decision. If you agree with our decision, please indicate your agreement. If you disagree, please

Mr. Mike Dye, Attorney at Law
Page 2
April 6, 1972

Indicate your disagreement and the section of the law or regulations on which your disagreement is based. In the meantime, our original decision still stands.

With respect to the second paragraph of your letter, the April 4, 1972 letter is the first correspondence we have received from you.

May we expect to hear from you in the near future?

Very truly yours,

Benjamin C. Webb
Chief of Relocation and
Property Management

BCW:ch

H. H. RE
WSS EMANUEL

MIKE DYE
Attorney at Law

3814 COMMERCIAL STREET S.E.
SALEM, OREGON 97302

Telephone 581-9333

RECEIVED

MAY 17 1972

PORTLAND DEVELOPMENT COMMISSION

May 15, 1972

Mr. Benjamin C. Webb
Chief of Relocation and Property Management
Portland Development Commission
1700 S. W. Fourth Avenue
Portland, Oregon 97201

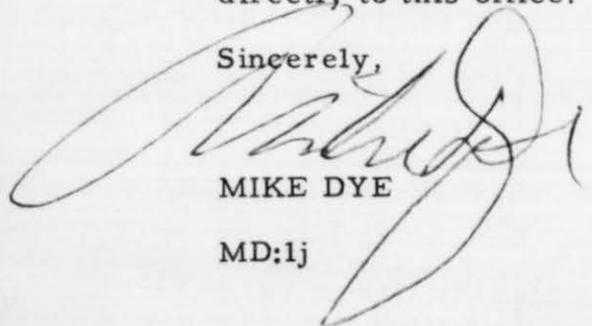
Re: Ollie Jones

Dear Mr. Webb:

Please be advised that my client, Mr. Ollie Jones, is now willing to accept your offer of \$11,500 for acquiring his property and, in addition, a relocation payment of \$11,450.

Please direct all future correspondence regarding this matter directly to this office.

Sincerely,


MIKE DYE

MD:lj

MIKE DYE

Attorney at Law

3814 COMMERCIAL STREET S.E.
SALEM, OREGON 97302

Telephone 581-9333

RECEIVED

APR 6 1972

PORTLAND DEVELOPMENT COMMISSION

April 4, 1972

Portland Development Commission
1700 S. W. 4th Street
Portland, Oregon

Re: Ollie Jones Property located at 3317 N. Vancouver,
Portland, Oregon

Attention: Mr. Webb

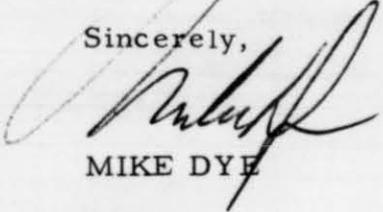
Dear Mr. Webb:

Please find enclosed a copy of the listings sent to me by
Mr. Medak, concerning comparable properties to the Ollie
Jones property.

The original document was sent to you three weeks ago. I made
a copy at that time, which did not come out very well, but it is
the only copy that I have in my possession. That copy I am now
forwarding to you.

If you have any questions, please contact this office immediately.

Sincerely,



MIKE DYE

MD:lj

Enc.

REPLY MESSAGE

291144

THIS FORM AVAILABLE FROM GRAYARC CO., INC., 882 THIRD AVE., BROOKLYN, N. Y. 11232

TO

Portland Development Commission
235 N. Monroe
Portland, Oregon

FROM

JOHN MEDAK REALTY
4423 N. E. FREMONT ST.
PORTLAND, OREGON 97213
Phone: 287-4131

SUBJECT: 2324 N. E. Thompson St Ollie Jones

DATE: 1-31-72

FOLD ↑

MESSAGE

Dear Mr. Jones:

I have enclosed herewith a copy of the Earnest Money Agreement covering the property listed above. Ollie and Mary Jones are the purchasers. Kindly process as soon as possible.

Very truly yours,

Kay N. Haney
Kay N. Haney

PLEASE REPLY TO → SIGNED

REPLY

DATE

SIGNED

THIS COPY FOR PERSON ADDRESSED

MEMORANDUM

Date February 23, 1972

TO: The File
FROM: Benjamin C. Webb
SUBJECT: Relocation Housing Payment - Ollie Jones

Met with client; his attorney, Mike Dye from Salem; John Medak and Earl Leach from John Medak Realty; and Stan Jones, Jim Crolley and Ben Webb from PDC. We supplied Mr. Dye with a verbal history of the case and also explained how we computed a "comparable."

Mr. Dye asked Mr. Medak whether he thought that our RHP was correct. Mr. Medak said that he does considerable fee appraising for the V.A. and F.H.A. and that in his opinion our RHP was adequate.

Mr. Jones indicated that he wanted the full \$15,000 grant. Mr. Dye then asked Mr. Medak if he had any properties comparable to Mr. Jones' house, in a neighborhood where the reasonable price would be \$15,000 more than the amount we are offering Mr. Jones for his property. Mr. Medak said that he did not. He also said that he thought that you would have to go to the west hills to find such a property.

Mr. Dye said that he wanted some information from our files and that he also wanted to talk with our attorneys. A meeting was scheduled for 1:30 today with Mr. Ollie Norville.

BCW:ch

MR. DYE CAME TO THE OFFICE AT ABOUT 1:30 P.M.
WE WENT TO SEE OLLIE NORVILLE. WE ALSO GAVE
HIM A COPY OF P.L. 91-646 AND A COPY OF CHAPTER
6 SEC. 3 OF THE HANDBOOK (371.1).

MEMORANDUM

Date November 4, 1971

TO: The File
FROM: Benjamin C. Webb
SUBJECT: Relocation Housing Payment - Ollie Jones

On November 3, 1971 the client, Ollie Jones; Mr. Holman J. Barnes, Legal Aid Attorney; Mrs. Leo Warren from EDPA; Mr. Earl Leach from John Medak Realty; Mr. Ollie Norville, PDC attorney; and Mr. Jim Crolley and Ben Webb, PDC Staff met at the C-Cap office for the purpose of discussing the client's relocation benefits. Mr. Jones has found a house that he wants to buy at 5948 N.E. 22nd Avenue. The asking price is \$27,500. The house is a 2-bedroom, with approximately 2698 square feet, built in 1942. It is one story and has an attached garage, with patio. The rooms are: living room, dining room, two bedrooms, kitchen, bathroom and party room.

It was agreed that we would have our real estate people look at the house first to estimate value. If they are not satisfied, we will ask for an FHA.

BCW:ch

Legal Aid 288 6746

Housing Additive Rent Supp. Down Payment Economic Rent

Relocatee _____ Address _____

ITEM	SUBJECT			COMPARABLE #1			COMPARABLE #2			COMPARABLE #3		
Multiple Listing #	XXX											
Sale or Rent Price	11,500			27,500			21,500					
Address	3317 N. VANCOUVER			5948 N.E. 23rd Ave			5948 N.E. 13th					
No. of Rooms	BR	Bath	Total Rooms	BR	Bath	Total Rooms	BR	Bath	Total Rooms	BR	Bath	Total Rooms
2 Main 1 Bas 1 up	4	1	7	2	1	6	2	1				
Type	1 1/2 story Bungalow			1 story								
State of Repair	Int.	Ext.		EXCELLENT								
Type of Neighborhood	ZONE M-3 Brighton			RESIDENTIAL								
Street Improvements	YES			YES								
Availability of Public Services	EXCELLENT			GOOD								
Lot Size	50x100			50x100								
Year Built	1902			1942								
Fireplace	YES			YES - GI								
Heating System	OIL			OIL								
Basement	FCB			FCB								
Garage	SINGLE			DOUBLE								
Habitable Area	1196			1349								
Total Area	2392			2698								
Furnished or Unfurnished	200.00			581.24								
Extraordinary Amenities	Hardwood floor Bar-B-Q Pit			Brick								

Comparable # _____ is considered most like subject because:

1196
500
1696
1196
2

The adjusted price is \$ _____ Explain _____

By _____ Date _____

11300
26,500

RESIDENTIAL ADDITIVE DETERMINATION

File No. _____

Sale Rental

Owner James O'Brien Address 3317 N Vancouver Occupants

Tenant _____ Address Propose Occupants

211,500 120,500 27,500

ITEM	SUBJECT	OFFERING #1	OFFERING #2	OFFERING #3
Address	3317 N. VANCOUVER	505 N.E. Maloney	508 N.E. 22nd St.	
No. of Rooms	BR Bath Total Rooms 2 1 7	BR Bath Total Rooms 3 1 1/2 7	BR Bath Total Rooms 2 1 6	
Type	1 story Bungalow	2 story	1 story	
State of Int. Repair	Good	Good	EXCELLANT Good	
Type of Neighborhood	ZONE M-3 Blended	Residential	RESIDENTIAL	
Street Improvements Availability	YES	YES	YES	
Site	EXCELLENT	Good		
Year Bilt	50x100	50x100		
Year Bilt	1902	1932	1942	
Fireplace	YES	YES	YES = 2	
Central Heating	OIL	OIL	OFA	
Basement	FCB	FCB	FCB	
Garage	SINGLE	DOUBLE	DOUBLE	
Available Area	1196.	1218	1349	
Total Area	2392		2698	
Furnished or Unfurnished			UNF	
Particulars	Hardwood Flr Built-in Pkts		BURGLAR ALARM	
Taxes	200.00	470.60	58.	
	Good Set up in attic Couch in Den (Bunk)			

Continue on Part 2

previously chosen
by claimant but
deal fell thru



REALTORS OF PORTLAND
OFFICIAL EARNEST MONEY AGREEMENT

Portland, Oregon, December 1, 1971

Received of OLLIE E. JONES & MARY M. JONES HUSBAND & WIFE
hereinafter called "purchaser," in the form of (check, cash, note) \$ 1000.00 as earnest money and part payment for the purchase of the following described real estate situated in the City of PORTLAND, County of MULTNOMAH and State of Oregon, to wit: 5948 NE 22 AVE ALSO KNOWN AS LOTS 10 & 2 BLK 8 IRVINGTON PARK

together with the following described personal property: none

which we have this day sold to the said purchaser, subject to the approval of the seller, for the sum of Twenty Seven Thousand Dollars Dollars (\$ 27,000.00) on the following terms, to wit: The sum, hereinabove received for, of One Thousand Dollars Dollars (\$ 1,000.00) on 19 on Owner's acceptance } as additional earnest money, the sum of Dollars (\$ _____) Upon acceptance of title and delivery of deed or contract, the sum of Dollars (\$ _____) The balance of Twenty Six Thousand Dollars Dollars (\$ 26,000.00) payable as follows: subject to the payment of benefits under the real property acquisition and relocation policy act of 1970 in the amount of twenty thousand dollars as set forth by the Portland Development Commission

The seller shall furnish to the purchaser in due course a title insurance policy in the amount of the purchase price of the real estate from a title insurance company showing good and marketable title. Prior to closing the transaction, the seller, upon request, will furnish to the purchaser a preliminary report made by a title insurance company showing the condition of the title to said property. It is agreed that if the seller does not approve the above sale within the period allowed Realtor below in which to secure seller's acceptance, or if the title to the said premises is not marketable, or cannot be made so within thirty days after notice containing a written statement of defects is delivered to seller, or if the seller, having approved said sale fails to consummate the same, the earnest money herein received for shall be refunded, but the acceptance by the purchaser of the refund does not constitute a waiver of other remedies available to him.

But if the above sale is approved by the seller and the title to the said premises is marketable, and the purchaser neglects or refuses to comply with any of the conditions of this sale within ten days from the furnishing of a preliminary title report and to make payments promptly, as hereinabove set forth, the earnest money herein received for shall be forfeited to the undersigned Realtor to the extent of his agreed upon commission, and the residue, if any, shall be retained by the seller as liquidated damages and this contract thereupon shall be of no further binding effect. The property is to be conveyed free and clear of all liens and encumbrances to date except zoning ordinances, building and use restrictions, reservations in Federal patents, and

NO OTHERS

All light fixtures and bulbs, fluorescent lamps, Venetian blinds, window and door screens, storm windows and doors, linoleum, attached television antennas, curtain, towel and drapery rods, shrubs and trees, and irrigation, plumbing and heating equipment, except fireplace equipment that is not attached in any manner to the structure, and all fixtures except

NONE

are to be left upon the premises as part of the property purchased.

Seller and purchaser agree to prorate the taxes for the current tax year, rents, interest, and other matters as of the date of delivery of possession, unless otherwise stated. Premiums for existing insurance may be prorated or a new policy issued at purchaser's option. Purchaser agrees to pay the seller for fuel, if any, in storage tank at date of possession. Encumbrances to be discharged by Seller may be paid at his option out of purchase money at date of closing. The purchaser shall reimburse the seller for sums held in the reserve account on any indebtedness assumed in this transaction.

SELLER AND PURCHASER AGREE THAT SUBJECT SALE } will be closed in escrow, the cost of which shall be shared equally between seller and purchaser.

Possession of the above described premises is to be delivered to the purchaser 30 days from the delivery of deed or contract above mentioned, or as soon thereafter as existing laws and regulations will permit removal of tenants, if any. Time is of the essence of this contract.

Realtor's Address: 4423 NE Fremont St. Portland, Ore Realtor's Phone: 287 4131
James W. Smith & Associates, Inc. Realtor By: Earl W. Smith

AGREEMENT TO PURCHASE

Date December 1, 1971

I hereby agree to purchase the above described property in its present condition at the price and on the terms and conditions set forth above, and grant said Realtor a period of _____ days hereafter to secure seller's acceptance hereof, during which period my offer shall not be subject to revocation. Deed or contract is to be prepared in the name of OLLIE E. JONES & MARY M. JONES

I acknowledge receipt of a copy of the foregoing offer to buy and earnest money receipt bearing my signature and that of the Realtor.

Address 3317 N Vancouver Ave Portland, Oregon PURCHASER: Ollie Jones
Phone 284 5579 PURCHASER: Mary M. Jones
284-6959

AGREEMENT TO SELL

Date December 1, 1971

I hereby approve and accept the sale of the above described property and the price and conditions as set forth in above agreement and agree to furnish a title insurance policy continued to date as aforesaid showing good and marketable title, also the said deed or contract, and agree to pay the above named Realtor for services a commission of 2% plus hundred and twenty dollars

I authorize said Realtor to order title insurance and, if sale not completed, to pay any cost thereof and to pay out of the cash proceeds of sale the expenses of furnishing title insurance, recording fees and revenue stamps, if any, as well as any encumbrances on said premises payable by me at or before closing. I instruct Realtor to place in his Clients Trust Account the above described earnest money deposit until needed in the closing of the transaction. I acknowledge receipt of a copy of this contract bearing my signature and that of the purchaser named above, and of Realtor.

Address 5948 NE 22 Ave Portland Ore SELLER: Ollie Jones
Phone 281 9441 SELLER: Mary M. Jones

THIS IS A LEGALLY BINDING CONTRACT. IF NOT UNDERSTOOD, SEEK COMPETENT ADVICE.

(For Local Agency Use Only)
 WORKSHEET FOR COMPUTATION OF REPLACEMENT
 HOUSING PAYMENT FOR HOMEOWNERS

NAME AND ADDRESS OF CLAIMANT

A-4-14

COMPUTATION PREPARED BY:

James Allen

Archer

(Name)

(Date)

INSTRUCTIONS: Attach this form to the pertinent claim form filed by claimant. Attach an explanation of any difference between amounts claimed and amounts approved. Complete Blocks B and C; then complete Block A.

A. COMPUTATION OF TOTAL REPLACEMENT HOUSING PAYMENT FOR HOMEOWNERS

1. Amount of differential payment (Block B, Line 6) \$ _____
2. Plus interest payment (Block C, Step 4, Last line) + \$ _____
3. Plus costs incidental to purchase (Total amount approved by agency, from claim form, Block 3C, Column (e)) + \$ _____
4. Total (Sum of Lines 1, 2, and 3) \$ _____
5. Minus adjustments (Attach explanation; e.g., amount previously received as Replacement Housing Payment for Tenants and Certain Others) - \$ _____
6. Total Replacement Housing Payment for Homeowner (Line 4 minus Line 5) \$ _____

(Enter this amount in the space provided in Block 6 on the Guideform Determination of Eligibility for Replacement Housing Payment for Homeowners)

B. COMPUTATION OF DIFFERENTIAL PAYMENT

Required Information

1. Actual purchase price of replacement dwelling \$ 28,500
2. Cost of comparable replacement dwelling (Cost based on: Schedule Comparative Other) \$ 21,900
3. Acquisition payment made by agency for claimant's former dwelling \$ 11,500

Computation

4. Line 1 or Line 2, whichever is less \$ 21,900
5. Minus Line 3 - \$ 11,500
6. Amount of differential payment \$ 10,400

C. COMPUTATION OF INTEREST PAYMENT

Required Information

1. Outstanding balance of mortgage on acquired dwelling \$ _____
2. Number of months remaining until last payment is due for mortgage on acquired dwelling _____
3. Annual interest rate of mortgage on acquired dwelling _____%
4. Annual interest rate of mortgage on replacement dwelling (or, if it is lower, the prevailing annual interest rate currently charged by mortgage lending institutions in the general area in which the replacement dwelling is located) _____%
5. Prevailing annual interest rate paid on standard pass-book savings accounts by commercial banks _____%
6. If applicable, any debt service costs on the loan on the replacement dwelling, such as points paid by the purchaser which are not reimbursable as an incidental expense \$ _____

Development of Monthly Payment Figures

- A. Monthly payment required to amortize a loan of \$ _____ in
(Line 1)
_____ months at an annual interest rate of _____% \$ _____
(Line 2) (Line 3)
- B. Monthly payment required to amortize a loan of \$ _____ in
(Line 1)
_____ months at an annual interest rate of _____% \$ _____
(Line 2) (Line 4)
- C. Monthly payment required to amortize a loan of \$ _____ in
(Line 1) \$ _____
_____ months at an annual interest rate of _____%
(Line 2) (Line 5)

Calculation of Interest Payment

Step 1. Subtract A from B:

Monthly payment based on rate for replacement dwelling (B) \$ _____

Monthly payment based on rate for acquired dwelling (A) - \$ _____

Result (difference) \$ _____

Step 2. Divide result (difference) of Step 1 by C (Carry to 6 decimal places):

Result (difference) from Step 1 \$ _____

Monthly payment based on savings rate (C) ÷ \$ _____

Result (quotient) _____

Step 3. Multiply outstanding balance of mortgage on acquired dwelling by result (quotient) of Step 2:

Outstanding balance (from Line 1) \$ _____

Result (quotient) of Step 2 X _____

Result (product) \$ _____

Step 4. Add to result (product) of Step 3 any debt service costs on the loan on the replacement dwelling:

Result (product) of Step 3 \$ _____

Debt service costs (from Line 6) + \$ _____

Amount of interest payment \$ _____

Housing Additive

Rent Supp.

Down Payment

Economic Rent

Relocatee _____ Address _____

ITEM	SUBJECT			COMPARABLE #1			COMPARABLE #2			COMPARABLE #3		
Multiple Listing #	XXX											
Sale or Rent Price	32,900											
Address	2338 N E 32nd											
No. of Rooms	BR	Bath	Total Rooms	BR	Bath	Total Rooms	BR	Bath	Total Rooms	BR	Bath	Total Rooms
	4	2										
Type	2 STY 1GE											
State of Repair	Int.	Ext.										
Type of Neighborhood												
Street Improvements												
Availability of Public Services												
Lot Size	50x100											
Year Built												
Fireplace	YES											
Heating System												
Basement												
Garage												
Habitable Area												
Total Area												
Furnished or Unfurnished												
Extraordinary Amenities												

Comparable # _____ is considered most like subject because:

The adjusted price is \$ _____. Explain _____

By _____ Date _____

PP 2

MEMORANDUM

Date August 5, 1971

TO: Ben Webb
FROM: Norm Beukelman
SUBJECT: Comparable Housing - Emanuel

In the case of Ollie Jones an inspection was made of the comparable house at 5805 N.E. Mallory. The house is over-priced and is very much superior to the subject house, but it will need a new roof in the near future.

It is my opinion that this property cannot be considered as a comparable replacement dwelling.

NB:ch

X 17917

FHA MORTGAGEE NO.

40187-000-8

U. S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
FEDERAL HOUSING ADMINISTRATION

FHA
CASE
NO.

431-104915

CONDITIONAL COMMITMENT
FOR MORTGAGE INSURANCE UNDER
THE NATIONAL HOUSING ACT

SEC. 203(b) SEC. _____

PROPERTY ADDRESS

5805 MALLORY NE
PORTLAND, ORE

MORTGAGEE

Commercial Mortgage Co
PORTLAND, ORE

ESTIMATE OF VALUE AND
CLOSING COSTS

VALUE OF PROPERTY: 20000
Closing Costs \$ 300
TOTAL (For Mortgage Insurance Purposes) . . . 20300

MONTHLY EXPENSE
ESTIMATE

Fire Ins. \$ 3
Taxes \$ 41
Main. & Repairs \$
Heat & Utilities \$ 35

APPROVED FOR COMMITMENT

[Signature]
AS AMENDED 1/24/71

COMMITMENT

Issued: 3-8 1971
Expires: 7 1971

COMMITMENT TERMS MAX. MORT. AMT. \$ 19,300 NO. MOS. 300 MAX. INTEREST 7%

EXISTING PROPOSED
(See Gen. Cond. #3)

Improved Living Area 1216 Sq. Ft.

INFORMATION

The estimates of fire insurance, taxes, maintenance/repairs, heat/utilities and closing costs are furnished for mortgagee's and mortgagor's information. They may be used to prepare FHA Form 2900. Application for Credit Approval, when a firm commitment is desired.

GENERAL COMMITMENT CONDITIONS

1. MAXIMUM MORTGAGE AMOUNT AND TERMS -

- (a) OCCUPANT MORTGAGORS: The mortgage amount and term set forth in the heading are the maximum approved for this property assuming a satisfactory owner-occupant mortgagor. The maximum amount and term in the heading may be changed depending upon FHA's rating of the borrower, his income and credit.
- (b) NONOCCUPANT MORTGAGORS: If the mortgagor does not occupy the house, the law limits the maximum mortgage amount to not to exceed 85% of the maximum amount available to an eligible mortgagor who will occupy the house (85% of value if Sec. 203(i) or 221). In the case of nonoccupant mortgagors, the firm commitment when issued will reduce the mortgage amount and terms below that stated in the heading.
- (c) COMMITMENT CHANGES: The Commissioner may, upon request of the approved mortgagee, change the mortgage amount and term set forth in the heading. If the application is accompanied by a VA CRV, changes will be made only if VA issues an amendment.

2. FIRM COMMITMENT:—A firm commitment to insure a loan will be issued upon receipt of an Application for Credit Approval, FHA Form 2900, executed by an approved mortgagee and a borrower satisfactory to the Commissioner.

- 3. COMMITMENT TERM: This commitment shall expire SIX MONTHS from the issue date in the case of an EXISTING HOUSE or ONE YEAR from its date in the case of PROPOSED CONSTRUCTION. (FHA classifies all cases as either "EXISTING" or "PROPOSED" for the purpose of determining when a commitment expires. Accordingly, a house, even though still under construction, may be classified as an existing house if it was not approved by FHA or VA prior to the beginning of construction.)
- 4. CANCELLATION:—This commitment may be cancelled after 60 days from the date of issuance if construction has not started unless the mortgagee has disbursed loan proceeds.
- 5. PROPERTY STANDARDS:—All construction, repairs, or alterations proposed in the application or on the drawings and specifications returned herewith, shall equal or exceed the FHA Minimum Property Standards, or the deviations agreed upon pursuant to purpose and scope provisions of General Revision No. 6, dated August, 1968.

SPECIFIC COMMITMENT CONDITIONS (Applicable when checked)

- 1. HEALTH AUTHORITY APPROVAL:—Execution of Form 2573 by the Health Authority indicating approval of the water supply and/or sewage disposal installation is required. (Approval by letter or Health Authority Form may be used.)
- 2. TERMITE CONTROL:—(a) EXISTING HOUSE - Furnish certificate from a recognized termite control operator that the house shows no evidence of an active termite infestation. (b) PROPOSED CONSTRUCTION - Furnish original and two copies of Termite Soil Treatment Guarantee FHA Form 2052.
- 3. SUBDIVISION REQUIREMENTS:—Comply with Requirements No. _____ from Report dated _____ for _____ Subdivision.
- 4. BUILDER'S WARRANTY:—The builder shall execute FHA Form 2544, Builder's Warranty.
- 5. PROPERTY INSPECTIONS:—A notice of construction status shall be given by Form 2289X, letter or telephone at the time indicated below:
 - (a.) ALL PROPOSED CONSTRUCTION CASES:
 - (1.) At least two work days before "beginning of construction."
 - (2.) When the building is enclosed, structural framing completely exposed and roughing-in of plumbing, heating and electrical work installed and visible
 - (3.) When construction completed and property ready for occupancy.
 - (b.) REPAIRS: Notify FHA upon completion of required repairs.
 - (c.) CERTIFICATE OF COMPLETION: A certificate stating that the mortgagee has examined the proposed or required repairs and that they have been satisfactorily completed will be accepted.

- 6. VA INSPECTIONS:—Furnish a copy of a clear VA final report.
- 7. ASSURANCE OF COMPLETION:—If the required repairs cannot be completed prior to submission of closing papers, a Form 2300 escrow in the amount of \$ _____ (or such additional amount as the lender desires) may be established as the means to assure completion.
- 8. SECTION 235 AUTHORITY:
 - (a) This commitment may be converted to section 235(i) upon receipt of an application covering an eligible borrower. Contract authority for this purpose has been obligated.
 - (b) If contract authority is available, this commitment may be converted to section 235(i) upon receipt of an application covering an eligible borrower.
- 9. EXPIRATION DATE:—The Total Value stated above is based on Veterans Administration Certificate of Reasonable Value, case number _____, dated _____. Regardless of General Commitment Condition Number 3, above, this commitment expires on _____.
- 10. See special conditions No. VC-55; VC-62A below or on attached sheet.
VC-78, 2, A
VC-79
VC-85
VC-115
VC-116A

[Handwritten initials]

GENERAL REQUIREMENTS

- VC-53 Submit from the mortgagee to FHA that there will be no liens or assessments applied against the property resulting from the offsite improvements.
- VC-53-A Application had no entry for "Special Assessments." Mortgagee to submit assurance that none exist nor are about to be levied.
- VC-53-B Application under "Special Assessments" indicated "None Known." A definite statement is to be submitted as to whether or not any special assessments exist. Commitment is being issued on the assumption that none exist.
- VC-54 Submit evidence satisfactory to FHA that the improvements do not encroach over any easement or property line. Such evidence may be in the form of a plot plan to scale, as prepared and signed by a licensed surveyor or civil engineer.
- VC-55 The estimate of value assigned this property assumes there are no title exceptions which adversely affect value. (Your application Form 2800.1 was incomplete.)
- VC-56 Verify correctness of property address as shown on the commitment.
- VC-57 Key is enclosed.
- VC-58 Submit evidence of a recorded easement, acceptable to this Administration for the community driveway serving subject and adjacent property.
- VC-59 Lower exterior grade to at least 4 inches below siding or any other wood members and slope grade to provide positive drainage away from foundation.
- VC-60 Submit complete and correct: (a) legal description; (b) lot dimensions.
- VC-61 There are structural defects affecting this property which involve possible decay or infestation damage. It is a condition of this commitment that:
1. Submit evidence that all accessible areas of the dwelling and garage have been thoroughly inspected by a qualified pest control concern, architect, or engineer for pest infestation or decay.
 2. That deficiencies involving infestation or decay be repaired and conditions causing such deficiencies have been corrected.
 3. That a certification be submitted to the FHA office by the concern doing the work that the above has been properly completed.

VC-62 OTHER REQUIREMENTS

- a. Install handrail over stairway to attic.
- b.

(Rev. 5-4-70)

EXTERIOR REPAIRS

- VC-63 Replace all delaminated plywood of A__cornices; B__gable ends; C__carport; D__porch ceilings with exterior grade plywood. Prime and paint to blend, 2 coats.
- VC-64 Porches and/or stairway - Repair A__front; B__rear; C__side porch to provide protection from damage of wood members from decay. Replace bottom course of siding with material impervious to moisture. No wood members to be nearer than 6 inches to soil. Install 6" x 8" x 12" concrete blocks under all supporting posts. Full masonry foundation is preferable.
- VC-65 Repair and adjust locking device on overhead garage door to good dependable operating condition.

EXTERIOR PAINT

- VC-66 Paint all exterior wood trim surfaces, replacing any damaged or missing trim. Trim on garage or carport to be included.
- VC-67 Prime and paint exterior of front door, including edges, same color as trim.
- VC-68 Paint gable ends of house and garage with standard brand to provide good coverage and protection. Scrape and prime before painting.
- VC-69 Paint exterior of dwelling and garage with standard brand to provide good coverage and protection.
- Scrape and prime all scaled or blistered areas prior to painting.
 - Set and putty all loose nail heads on exterior siding prior to painting.

INTERIOR GENERAL REPAIRS

- VC-70 Submit evidence from a qualified electrical contractor, stating that the electrical service and wiring is properly installed to assure safe and efficient operation, considering design and age of dwelling.

VC-71 VENTILATION FANS

- Install new mechanical vent fan in bath. Duct may lead to attic or outside air.
 - Install new mechanical vent fan in kitchen and vent to outside air through metal ducts.
 - Install new hood and mechanical vent fan in kitchen and vent to outside air through metal ducts.
 - Vent kitchen fan to outside air through metal ducts.
- VC-72 Install new metal threshold, having rubber or plastic weather seal at entry door: A__front; B__rear.
- VC-73 Install new A__front; B__rear door and hardware, using a 1-3/4" hollow core, exterior-type door, or equal. Prime and paint or varnish both sides, including edges to match related areas, 2 coats.
- VC-74 Install doors on closets to match other interior doors. Paint, or varnish, 2 coats, including all edges.
- VC-75 Remove and replace with phenolic laminate or linoleum counter top and back-splash: A__kitchen; B__bath. Repair any damaged underlayment.
- VC-76 Install duct and hood for dryer vent - to be vented to outside air.

INTERIOR PAINT

- VC-77 Properly prepare and paint: (1)__walls; (2)__ceilings of: A__living room; B__dining room; C__family room; D__hallways; E__bedrooms and wardrobes, or closets, with latex paint to provide good coverage.
- VC-78 Paint (1)Xwalls; (2)Xceilings: A^{hall}Xbaths; B^{floor}Xkitchen; C__nook; D__utility room, with semigloss paint to provide good coverage.
- VC-79 Repair all cracks in walls and ceilings before painting.
- VC-80 Sand, scrape and fill all casings, doors, door frames, window sills, and other previously painted woodwork, and paint with semigloss paint.

ADDENDUM TO COMMITMENT DATED 4-29-71

FHA CASE NO. 104915

VALUATION CONDITION APPLICABLE WHEN CIRCLED

GUTTERS AND DOWNSPOUTS

- VC-81 Properly prepare surface of gutters and downspouts and apply 2 coats of paint. Gutters to be painted inside and out.
- VC-82 Tighten, repair, caulk joints, clean, replace damaged and/or missing A_gutters; B_downspouts; C_splashblocks. Any replacements shall be of good grade material. Paint new material 2 coats.
- VC-83 Install new gutters and downspouts on: A_dwelling; B_garage. Paint exterior of gutters and downspouts and interior of gutters 2 coats. Provide splashblocks of concrete or other durable material, minimum width 12 inches, minimum length 24 inches. Splashblocks to be firmly embedded and provide drainage away from foundation.
- VC-84 Install new gutters and downspouts on: A_dwelling; B_garage. Paint exterior of gutters and downspouts and interior of gutters 2 coats. Downspouts to be connected to underground drain with outfall to street gutter (ditch), drywells, or subsurface drain lines. Connecting drain pipe shall have watertight joints.
- VC-85 Provide splashblocks of concrete or other durable material at all downspouts, minimum width 12 inches, minimum length 24 inches. Splashblocks to be firmly embedded and provide drainage away from foundation.
- VC-86 Connect downspouts to underground drain with outfall to street gutter (ditch), drywells, or subsurface drain lines. Connecting drain pipe shall have watertight joints.

ROOF

- VC-87 Install new asphalt shingle (or equal) roof which will provide reasonable durability and economy of maintenance. Properly prepare existing roof area prior to applying shingles. All asphalt shingle tabs to be securely cemented.
- VC-88 Provide effective cross ventilation of attic space by installing roof vents with net ventilating area not less than 1/300 of the ceiling area. At least one-half of the required ventilating area shall be located as near the high point of the roof as practicable. Ventilating openings shall be covered with corrosion resistant screening, 1/8-inch mesh.
- VC-89 Replace damaged or missing shingles to assure watertight roof. Clean out gutters and downspouts. Spot cement all roof shingles, if asphalt.
- VC-90 Treat roof for control of moss.

PLUMBING AND HEATING EQUIPMENT AND MATERIALS

- VC-91 Submit statement from qualified plumbing contractor that plumbing system within the dwelling is properly installed to assure efficient operation.
- VC-91A Submit statement from qualified heating contractor that the heating system is in satisfactory operating condition.
- VC-92 Install approved pressure and temperature relief valve on water heater. Valve to be labeled A.S.A. 58, and 3/4-inch overflow pipe shall extend to not more than 8 inches above floor.
- VC-93 Install new kitchen sink, fittings, and Hudee or equal sink rim.

BATHROOM REPAIRS

- VC-94 Install new mirror in medicine cabinet.
- VC-95 Install new shatterproof glass shower door.
- VC-96 Install new toilet seat; blend color to fixtures.
- VC-97 Install new waterproof wainscot in bath recess to a minimum height of 48 inches above the tub.
- VC-98 Repair walls and caulk around bathtub with a waterproof caulking compound. Install 3 rows of 3/16-inch ceramic tile, or equal, in tub enclosure.

FLOORS

- VC-99 Sand, seal, varnish not less than 2 coats, wax and machine polish all hardwood floors. Main floor, A__; attic floor, B__.
- VC-100 A_kitchen; B_bath; C_utility room; D_other _____. Remove and replace all floor covering with good grade inlaid linoleum or equal, including cove or base. Repair or replace all deteriorated underlayment, subfloor or structural members. Submit certification from person performing repairs that all supporting wood materials are free from dry rot or deterioration.

ADDENDUM TO COMMITMENT DATED 9-24-71FHA CASE NO. 109715

VALUATION CONDITION APPLICABLE WHEN CIRCLED

(1-22-71)

VC-115 Certification be submitted by the local governing body that this property is in compliance with the Housing Code applicable to this particular district.

ADDENDUM TO COMMITMENT DATED 4-24-71
FHA CASE NO. 109915
VALUATION CONDITION APPLICABLE WHEN CIRCLED

(2-4-71)

VC-116 Certification on the enclosed form letters be completed on the A X roof,
B Heating, C Plumbing, D Electrical. One copy of the certification is
to be delivered to the purchaser of the property and one copy is to be
submitted to FHA/HUD with the closing documents.

ADDENDUM TO COMMITMENT DATED 4-24-71
FHA CASE NO. 104915
VALUATION CONDITION APPLICABLE WHEN CIRCLED

ROOFING

Contractor's Name:
Address:

FHA Case No.

License Number:

Issued By:

This is to certify that the roof of the dwelling located at:

has been inspected by a qualified roofer employed by this firm, and this inspection reveals that it is in satisfactory condition with no evidence of leaks.

1. The following repairs have been completed in a workmanlike manner:
(List repairs made.)

2. This dwelling has been re-roofed, using the following material:

The roofing was applied in a workmanlike manner, and a written warranty has been furnished the mortgagee for delivery to the purchaser of this property.

I further certify that I have no interest, present or prospective, in the property, contract owner, seller, broker, mortgagee, or other party involved in the transaction.

Date: _____

Signature: _____

Title: _____

Check either or both items if applicable.

WARNING

Section 1001 of Title 18 of the United States Code makes it a Criminal Offense to make a willfully false statement or misrepresentation to any Department or Agency of the United States as to any matter within its jurisdiction.

Note: ↑

MEMO

TO: EMANUEL

FROM: BEW

SUBJECT: RHP - OLLIE JONES

JIM WE ARE ASKING REAL ESTATE TO
LOOK AT THIS HOUSE FOR VALUE. IN THE MEANTIME
PLEASE LOOK THROUGH MULTIPLE LISTINGS AND TRY
TO FIND SOME SIX ROOM HOUSES WITH APPROXIMATELY
1200 SQ FT OF HABITABLE AREA. THIS IS A MUST
ACCORDING TO OUR LAST INSTRUCTIONS.

I have inspected Mr + Mrs Oelie Jones house at 3317 N. Vancouver, along with Stan Jones and have deemed the house to be a 4 bedroom house, using the 2 ~~story~~ room out basement room as bed rooms. We informed Mr. Jones that they would be eligible for \$21,940. total. And to seek a house in that price range. His present house consists of living room, dining room, kitchen, 2 bedrooms + bath on the main floor, with the attic space use as a bedroom and 1 room in the basement use as a bedroom. There is a total of 7 rooms. with 1196^{sq} habitable area on the main floor; 900 Sq ft in 3/4 basement plus attic space.

784-6959

ROBERT LOHMAN

ATTORNEY AT LAW
5505 RIVER STREET
WEST LINN, OREGON 97068
656-5915 OR 656-8235

July 14, 1971

Mr. James C. Crolley
Relocation Advisor
Portland Development Commission
235 N. Monroe
Portland, OR 97227

Re: Mr. and Mrs. Ollie Jones

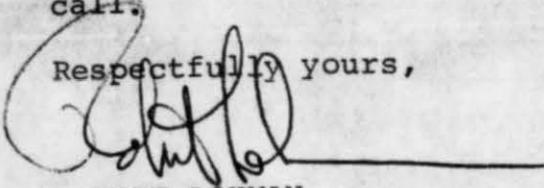
Dear Mr. Crolley:

Regarding the above matter, I would appreciate being informed of your decision regarding exchange of residences, to wit; Mr. and Mrs. Jones present residence at 3317 N. Vancouver Avenue, for the residence that they are interested in at 5805 N. Mallory.

During our meeting of July 7th we had agreed that the best procedure would be for you to appraise both homes and then inform us if the exchange was feasible and that in the event it was you could forward to me the necessary papers to consummate the transaction; that in the event it was not you could inform me immediately so we could have another conference to discuss this matter further.

If you have any further questions, please don't hesitate to call.

Respectfully yours,


ROBERT LOHMAN

RL:pr

cc: Mr. Ollie Jones

ROBERT LOHMAN

ATTORNEY AT LAW

5505 RIVER STREET

WEST LINN, OREGON 97068

656-5915 OR 656-8235

June 30, 1971

Write letter explaining details

Mr. Stan Jones
Portland Development Commission
235 N. Monroe Street
Portland, Oregon 97227

Re: OLLIE JONES Acquisition and payment of relocation.

Dear Mr. Jones:

Please be advised that this writer represents Mr. & Mrs. Ollie Jones who reside at 3317 N. Vancouver Avenue, Portland, Oregon. Mr. Jones informs me that he has found a five (5) bedroom home in the Emanuel Project area. *Two (2)*

The home that he is interested in is at 5805 N.E. Mallory Street. The asking price is \$20,500.00. We appreciate being advised as to the arrangement to be made in order to secure this house for Mr. and Mrs. Jones.

I have been advised that Mr. Jones' present residence is being offered to you for the sum of \$10,000.00. I would appreciate being informed of the status at this time of that offer. It is the intent to sell his home to you and at the same time purchase the above mentioned new home.

I look forward to your assistance and your cooperation.

Respectfully yours,

Robert Lohman
ROBERT LOHMAN

RL:hfl

Real estate has made no contact and no offer. Atty. requested copy of option be sent to him.

Jim,

Ollie Jones called,
screaming about why
we haven't paid his closing
costs. Tried to explain
we couldn't until we have
closing statement & that
most people pay the closing
cost & we reimburse them.
He claims he has closing
statement & wants you
to come down - take
claim form & have
him sign it.

Sta

RP 2
June 29, 1972

Transamerica Title Insurance Co.
Hollywood Office
1807 N.E. 39th
Portland, Oregon

Re: Escrow #41678
Parcel #A-4-14
Jones, Ollie & Mary

Gentlemen:

You have in the above identified escrow account the sum of \$11,450.00 representing Relocation Housing Payment in accordance with our previous instructions.

This is to certify that Ollie & Mary Jones have purchased & do occupy a standard structure which complies with City Housing Regulations at 2324 N. Thompson Street. You are authorized to release said replacement Housing Payment and disburse it in such manner as directed by Mr. & Mrs. Jones.

Very truly yours,

W. Stanley Jones

WSJ/rg
2cc: to file

RELOCATION PAYMENT

OK

Project: ORE R-20 Emanuel Parcel: A-4-14

Payable to: Pioneer National Title Ins. Co.

	<u>Amount</u>
For: <input checked="" type="checkbox"/> RHP for Homeowners	\$ <u>11,450</u>
<input type="checkbox"/> Incidental Expenses for Homeowners (if separate claim)	\$ _____
<input type="checkbox"/> RHP for Tenants & Certain Others:	
Rental: Total approved \$ _____; Annual amount.	\$ _____
or Purchase:	\$ _____
<input type="checkbox"/> Fixed Moving Payment	\$ _____
<input type="checkbox"/> Dislocation Allowance.	\$ _____
<input type="checkbox"/> Actual Moving Costs.	\$ _____
<input type="checkbox"/> Storage Costs (if separate claim).	\$ _____
<input type="checkbox"/> Business: Moving Expenses.	\$ _____
<input type="checkbox"/> Business: In Lieu Payment.	\$ _____
<input type="checkbox"/> Business: Storage Costs.	\$ _____
<input type="checkbox"/> Business: Loss of Property	\$ _____
<input type="checkbox"/> Business: Searching Expenses	\$ _____

Name of Client Ollie & Mary Jones Less - \$ _____*

Move from 3317 N. Vancouver Ave Total \$ 11,450

Accounting: Indicate symbol & Acct. No.
E1501 Relocation Payment; _____ Project Cost *(_____)

AN REDEVELOPMENT FUND-PROJECT EXPENDITURES-EMANUEL HOSPITAL, ORE. R-20

Warrant Number

PORTLAND DEVELOPMENT COMMISSION

1700 S.W. FOURTH AVENUE
PORTLAND, OREGON 97201

N^o 422 EH

DATE June 7, 19 72

PAY TO **Pioneer National Title Insurance Company**

\$ 11,450.00

DOLLARS

TO THE TREASURER OF THE
CITY OF PORTLAND, OREGON

AUTHORIZED SIGNATURE
NON-NEGOTIABLE

AUTHORIZED SIGNATURE

Portland Development Commission · 224-4800

DETACH BEFORE DEPOSITING CHECK

DATE	INVOICE OR CONTRACT NOS.	DESCRIPTION	AMOUNT
		Deposit in escrow for Ollie and Mary Jones. RHP for Homeowners per claim filed. Move from 3317 N. Vancouver, (Parcel A-4-14).	\$11,450.00

Account Distribution

NO.	TITLE	AMOUNT
E 1501	Relocation Payment (RHP) (EH)	\$11,450.00

Delivered to PNTI

6-8-72

*Escrow # 384571
Jo Egan*

Jad

WORKSHEET FOR RHP CLAIM FOR HOMEOWNERS

NAME AND ADDRESS OF DISPLACING AGENCY _____

PROJECT NAME _____

PROJECT NO. _____

Full name Ellie Jones (Mary)
Date of Displacement _____

Family Individual
Parcel No. A-4-14

A. I Address of unit from which you moved 3317 N. Vancouver Ave
Date you first occupied as owner-occupant 7/14/1954
Number of bedrooms 4 Date of initiation of negotiations _____
Payment made by local agency for this dwelling \$ 11,500

A. II Address of unit to which you moved 2324 N.E. Thompson
Number of bedrooms 3 Purchase price of replacement dwelling \$ 28,500
Date you signed purchase agreement Jan 27, 1972
Date of settlement _____
Date you expect to occupy Jun 15, 1972
Compute RHP on _____ schedule comparative \$ 11,450.

- B. Interest Payment.
1. Outstanding mortgage on original dwelling \$ _____
 2. Number of monthly payments remaining on mortgage: _____
 3. Annual interest on mortgage of original dwelling _____ %
 4. Annual interest rate of mortgage on new dwelling _____ %
 5. Prevailing interest rate on passbook savings _____ %

C. Incidental expenses.

Item	Charged to Claimant	Paid by Claimant	Claimed	Approved
_____	\$ _____	\$ _____	\$ _____	\$ _____
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____

List of documents submitted (attached) in support of above:

Determination

1. Did client own dwelling at time of acquisition ____ Yes ____ No
Initial date of ownership _____ Date of acquisition _____
2. Did client own and occupy 180 days prior to negotiations? ____ Yes ____ No
3. Did client purchase and occupy replacement housing within one year from date of displacement ____ Yes ____ No
Date of displacement _____
Date of purchase of replacement housing _____
Date of occupancy of replacement housing _____
4. Did claimant have a bona fide mortgage on his dwelling 180 days prior to negotiations? ____ Yes ____ No
Issuance date of mortgage _____
Date of discharge of mortgage _____
Date of initiation of negotiations _____
5. Is replacement dwelling standard ____ Yes ____ No

CLAIM FOR REPLACEMENT HOUSING PAYMENT FOR
HOMEOWNERS

NAME, ADDRESS, AND ZIP CODE OF DISPLACING AGENCY	PROJECT NAME (if applicable)
PORTLAND DEVELOPMENT COMMISSION	Emanuel Hospital Project
1700 SW Fourth	PROJECT NUMBER: ORE R-20
Portland, Oregon 97201	

INSTRUCTIONS: Complete all applicable items and sign certification in Block 4. Consult the displacing agency as to whether you need a Claimant's Report of Self-Inspection of Replacement Dwelling to complete and submit with this claim.

PENALTY FOR FALSE OR FRAUDULENT STATEMENT. U.S.C. Title 18, Sec. 1001, provides: "Whoever, in any matter within the jurisdiction of any department or agency of the United States knowingly and willfully falsifies . . . or makes any false, fictitious or fraudulent statements or representations, or makes or uses any false writing or document knowing the same to contain any false, fictitious or fraudulent statement or entry, shall be fined not more than \$10,000 or imprisoned not more than five years, or both."

1. FULL NAME OF OWNER-OCCUPANT CLAIMANT (as shown in deed to displacing agency or in condemnation proceeding) 2. DATE OF DISPLACEMENT:

JONES, Ollie and Mary
 Family Individual

Parcel No. A-4-14

3. INFORMATION IN SUPPORT OF CLAIM

A. Differential Payment

Part I. Data on dwelling unit from which you moved

1. Address of dwelling unit from which you moved 3317 N. Vancouver, Portland, Oregon 97227
2. Date you first occupied this dwelling as the owner 7/14/54
Month-Day-Year
3. Number of bedrooms in the dwelling 4
4. Date of initiation of negotiations for local agency acquisition of dwelling July 6, 1971
5. Payment made by local agency for the dwelling \$ 11,500.00

Part II. Data on dwelling unit to which you moved

6. Address of dwelling unit to which you moved (include ZIP Code) 2324 N. E. Thompson, Portland, Oregon
7. Number of bedrooms in replacement dwelling 3
8. Purchase price of the replacement dwelling \$ 28,500.00

9. Complete either a. or b.:

a. If you have purchased and occupy the replacement dwelling:

Date you signed purchase agreement _____ Date of Settlement _____
Month-Day-Year Month-Day-Year

b. If you have purchased but do not yet occupy the replacement dwelling:

Date you signed purchase contract _____ Date of settlement _____
Month-Day-Year Month-Day-Year

Date you expect to occupy _____
Month-Day-Year

10. Check method you choose to determine the replacement housing cost that will be used as a basis for computing the amount of the differential payment

_____ Schedule X Comparative

B. Interest Payment

1. Outstanding balance of mortgage (if any) on dwelling from which you moved \$ _____
2. Number of monthly payments remaining on the mortgage _____
3. Annual interest rate of mortgage on the dwelling from which you moved _____ %
4. Annual interest rate of mortgage on the replacement dwelling _____ %
5. Prevailing annual interest rate paid on standard passbook savings accounts by savings banks in the community where the replacement dwelling is located _____ %

C. Incidental Expenses (List incidental expenses incurred by you in connection with the purchase of replacement dwelling. If more space is necessary, use additional sheets.)

COSTS INCURRED BY CLAIMANT				FOR LOCAL AGENCY USE
Item (a)	Charged to Claimant on Closing Statement (b)	Paid Directly by Claimant (c)	Amount Claimed (Col. (b) + (c)) (d)	Amount Approved (e)
	\$	\$	\$	\$
TOTAL	\$	\$	\$	\$

Listing of documents submitted herewith in support of amounts entered in Column (d) above: (Documentation for the above claim must be submitted.)

I submit this information in support of a claim for a Replacement Housing Payment under Section 203 of P.L. 91-646, as amended, and I certify under the penalties and provisions of U.S.C. Title 18, Sec. 1001, and any other applicable law, that the information submitted herewith has been examined by me and is true, correct, and complete, and that I understand that, apart from the penalties and provisions of U.S.C. Title 18, Sec. 1001, and any other applicable law, falsification of any item submitted herewith may result in forfeiture of the entire claim.

5-26-72
Date

Oliver Jones
Signature of Owner-Occupant (s)

(For Local Agency Use Only)
DETERMINATION OF ELIGIBILITY FOR REPLACEMENT
HOUSING PAYMENT FOR HOMEOWNERS

NAME AND ADDRESS OF CLAIMANT:

Ollie and Mary Jones
2324 N. E. Thompson
Portland, Oregon

NAME OF LOCAL AGENCY:

PDC

INSTRUCTIONS: Complete this form to determine eligibility of claimant for Replacement Housing Payment for Homeowners. Attach the completed form to the pertinent claim form filed by claimant. Note that the determination of the amount of payment to cover costs incidental to purchase of a replacement dwelling is made on the applicable claim form. Attach an explanation of any entries which differ from claimant's entries on claim form.

1. Did the claimant own the dwelling at the time of acquisition? Yes No

Initial Date of Ownership: 7/14/54 Date of Acquisition: _____
Month-Day-Year Month-Day-Year

2. Did the claimant own and occupy the dwelling at least 180 days prior to the initiation of negotiations? Yes No

Initial Date of Ownership: 7/14/54 Date of Initiation of
Negotiations: July 6, 1971 X

3. Did the claimant purchase and occupy the replacement housing within one year from the date of displacement? Yes No

Date of Displacement: _____ Date of Purchase of Replacement
Housing: _____

Date of Occupancy of Replacement Housing: _____
(If the claimant was unable to occupy the replacement housing within the required one-year period, use reverse side of this form to provide explanation.)

4. Did the claimant have a bona fide mortgage on his dwelling for at least 180 days prior to initiation of negotiations? _____ Yes No

Issuance Date of Mortgage: _____ Date of Discharge of
Mortgage: _____

Date of Initiation of Negotiations: _____

5. Has the replacement housing been inspected and found to be standard? (Attach copy of dwelling inspection record or, if the claimant moved outside the locality, attach the report obtained from the claimant.) Yes No

6. CERTIFICATION OF LOCAL AGENCY

This is to certify that the property purchased by the claimant has been inspected and the property was occupied by the claimant within one year following his displacement. I further certify that I have examined this claim and have found it to be in accord with the applicable provisions of Federal Law and the regulations issued by the Department of Housing and Urban Development pursuant thereto. Therefore, this claim is hereby approved and payment in the amount of \$11,450.00 is authorized.

6-2-72
Date

[Signature]
Authorized Signature

7. RECORD OF PAYMENT

Date of Payment: 6/7/72 Check No. 422EH Amount: \$ 11,450.00

(For Local Agency Use Only)
 WORKSHEET FOR COMPUTATION OF REPLACEMENT
 HOUSING PAYMENT FOR HOMEOWNERS

NAME AND ADDRESS OF CLAIMANT	COMPUTATION PREPARED BY:
Ollie Jones 3317 N. Vancouver Portland, Oregon	<u>WSS</u> <u>2/22/72</u>
	Name Date

INSTRUCTIONS: Attach this form to the pertinent claim form filed by claimant. Attach an explanation of any difference between amounts claimed and amounts approved. Complete Blocks B and C; then complete Block A.

A. COMPUTATION OF TOTAL REPLACEMENT HOUSING PAYMENT FOR HOMEOWNERS

- | | | |
|-------------------------------------------------------------------------------------------------------------------------------------------|------|-------------------|
| 1. Amount of differential payment (Block B, Line 6) | \$ | <u>11,450.</u> |
| 2. Plus interest payment (Block C, Step 4, Last line) | + \$ | _____ |
| 3. Plus costs incidental to purchase (Total amount approved by agency, from claim form, Block 3C, Column (e)) | + \$ | _____ |
| 4. Total (Sum of Lines 1, 2, and 3) | \$ | _____ |
| 5. Minus adjustments (Attach explanation; e.g., amount previously received as Replacement Housing Payment for Tenants and Certain Others) | - \$ | _____ |
| 6. Total Replacement Housing Payment for Homeowner (Line 4 minus Line 5) | | <u>\$ 11,450.</u> |

(Enter this amount in the space provided in Block 6 on the Guideform Determination of Eligibility for Replacement Housing Payment for Homeowners)

B. COMPUTATION OF DIFFERENTIAL PAYMENT

Required Information

- | | | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------|----|----------------|
| 1. Actual purchase price of replacement dwelling | \$ | <u>28,500</u> |
| 2. Cost of comparable replacement dwelling
(Cost based on:
<u>21,940</u> Schedule <u>22,950</u> <input checked="" type="checkbox"/> Comparative _____ Other) | \$ | <u>22,950.</u> |
| 3. Acquisition payment made by agency for claimant's former dwelling | \$ | <u>11,500</u> |

Computation

- | | | |
|----------------------------------------|------|------------------|
| 4. Line 1 or Line 2, whichever is less | \$ | <u>22,950</u> |
| 5. Minus Line 3 | - \$ | <u>11,500</u> |
| 6. Amount of differential payment | | <u>\$ 11,450</u> |

CONNIE McCREADY
COMMISSIONER
DEPARTMENT OF PUBLIC UTILITIES



CITY OF PORTLAND
OREGON

97204

BUREAU OF BUILDINGS
CITY HALL

C. N. CHRISTIANSEN, Director

Building Division
C. C. Crank, Chief

Electrical Division
R. A. Niedermeyer, Chief

Plumbing Division
George W. Wallace, Chief

Permit Division
Albert Clerc, Chief

Housing Division
S. J. Chegwiddden, Chief

February 16, 1972

Portland Development Commission
235 N. Monroe Street
Portland, Oregon 97227

Re: 2324 N.E. Thompson Street

Attn: Mr. Crolley

Gentlemen:

As the result of a displaced person and at your request, an inspection was made by the Housing Division of the one-story, wood frame, three bedroom, single-family dwelling and attached garage at the above address.

Our inspector reports the structure is in standard condition and complies with City Housing Regulations at this time.

Yours truly,

C. N. CHRISTIANSEN
BUILDING INSPECTIONS DIRECTOR

S. J. Chegwiddden
Chief Housing Inspector

JHM:mfm
cc: S. P. Moors
2324 N.E. Thompson St.

Date; 11-5-71 KR Terms; Conv.-Contract Sales Price; \$33,500 NE

510 NE 41st. Ave.

10

PROPERTY ADDRESS 510 NE 41st. Ave.		CROSS ST Glisan		DISTRICT NE	AREA CODE 32	BDRMS 4	BATHS 2	* 35,950 RE	
OWNER'S NAME Pete Argeris		PHONE 232-9893		TERMS CO	LOAN #	MLS # 6966-71	BKR KR	RES	
OWNER OCCUPIED	<input checked="" type="checkbox"/>	VACANT	<input type="checkbox"/>	POSSESSION DATE	30 days	TAXES	650, approx	SQ FOOTAGE	1600-main flr
RENTAL	\$	RENTER		PHONE		BALANCE	18,500	LOT SIZE	57x100 app. ox.
LISTING BROKER	The Klein Co.			OFF. PHONE	255-4280	LENDER	Ptl. Fed.	LOCK BOX	WHERE
SALESMAN	Geo. Gutfleisch			PHONE	255-6688	INTEREST	6 3/4%	MONTHLY PAYMT.	200.
LEGAL	Lot 20 Blk. 66 Laurelhurst							EXCHANGE	MF
APPROX. SIZE	MAIN FLOOR	UPPER LEVEL	LOWER LEVEL	INCLUDED	SEWER IN STREET	TAXES	X	INS	X
ENTRY				W/W CARPET	<input checked="" type="checkbox"/>	YES	<input checked="" type="checkbox"/>	NO	<input type="checkbox"/>
LIVING	15x20			DRAPES	<input checked="" type="checkbox"/>	CESSP		SEPTIC	
DINING	10x12		wet ba	RANGE	<input checked="" type="checkbox"/>	HEAT OIL	<input checked="" type="checkbox"/>	ELEG	
FAMILY			1	DW	<input checked="" type="checkbox"/>	GAS	\$250. yr.	RENTAL	
KITCHEN	11x18&ES			WASHER	<input type="checkbox"/>	PATIO	15x20 cov.	SCHOOLS	BLKS TO
BDRMS	16x16		10x10	CABINETS		ROOF	COMP	X	Grant
	10x15			NATURAL	<input type="checkbox"/>	SHING	<input type="checkbox"/>	SHK	
	10x10			INSULATION:		STREET	PAVED	PARCHIAL	Saints 2
BATHRM	1		1	WALLS	<input type="checkbox"/>	CEILING		GRADE	Laurelhurst 3
FIREPL	1		1	FLOORS:	<input type="checkbox"/>	HARDWOOD	GRAVEL	WIRE	None
UTIL			1	GARAGE	<input checked="" type="checkbox"/>	CARPORT	WIRE	DRYER	None
				BSMT	<input checked="" type="checkbox"/>	AVLIGHT	<input checked="" type="checkbox"/>	EXT	None
									COLOR white
REMARKS				New wiring, lights inclosets, blt-in drawers. w/w carpet. upstr. & LL. Metal rollup wind. awnings. Delightful, well constructed.					
				SAZ 9161#					



REALTORS OF PORTLAND
OFFICIAL EARNEST MONEY AGREEMENT

Portland

Oregon

January 27, 1972

Ollie E. Jones & Mary M Jones

called "purchaser," in the form of (check cash, note) \$ 2000.00 as earnest money and part payment for the purchase of the following

real estate situated in the City of Portland, County of Multnomah

of Oregon, to-wit: 2324 NE Thompson St. also known as
DT 26 BLK 7 Irvington

with the following described personal property: Walls to wall carpet and drapes.

with we have this day sold to the said purchaser, subject to the approval of the seller,
of twenty eight thousand five hundred Dollars (\$ 28500.00)

following terms, to wit: The sum, hereinabove received for, of two thousand Dollars (\$ 2000.00)

as additional earnest money, the sum of _____ Dollars (\$ _____)

at the time of acceptance of the earnest money, the sum of _____ Dollars (\$ _____)

at the time of acceptance of the earnest money, the sum of _____ Dollars (\$ _____)

at the time of acceptance of the earnest money, the sum of _____ Dollars (\$ _____)

at the time of acceptance of the earnest money, the sum of _____ Dollars (\$ _____)

at the time of acceptance of the earnest money, the sum of _____ Dollars (\$ _____)

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at the time of acceptance of the earnest money, the sum of _____ Dollars (\$ _____)

at the time of acceptance of the earnest money, the sum of _____ Dollars (\$ _____)

at the time of acceptance of the earnest money, the sum of _____ Dollars (\$ _____)

at the time of acceptance of the earnest money, the sum of _____ Dollars (\$ _____)

The seller shall furnish to the purchaser in due course a title insurance policy in the amount of the purchase price of the real estate from a title insurance company showing good and marketable title. Prior to closing the transaction, the seller, upon request, will furnish to the purchaser a preliminary report made by a title company showing the condition of the title to said property. It is agreed that if the seller does not approve the above sale within the period allowed in which to secure seller's acceptance, or if the title to the said premises is not marketable, or cannot be made so within thirty days after notice in writing that a written statement of defects is delivered to seller, or if the seller, having approved said sale fails to consummate the same, the earnest money herein provided shall be refunded, but the acceptance by the purchaser of the refund does not constitute a waiver of other remedies available to him.

It is further agreed that if the above sale is approved by the seller and the title to the said premises is marketable, and the purchaser neglects or refuses to comply with any of the terms of this sale within ten days from the furnishing of a preliminary title report and to make payments promptly, as hereinabove set forth, the earnest money herein received for shall be forfeited to the undersigned Realtor to the extent of his agreed upon commission, and the residue, if any, shall be retained by the Realtor as liquidated damages and this contract thereupon shall be of no further binding effect. The property is to be conveyed free and clear of all liens and encumbrances to date except zoning ordinances, building and use restrictions, reservations in Federal patents, and _____

_____ no other
light fixtures and bulbs, fluorescent lamps, Venetian blinds, window and door screens, storm windows and doors, linoleum, attached television antennas, window and drapery rods, shrubs and trees, and irrigation, plumbing and heating equipment, except fireplace equipment that is not attached in any manner to the structure, and all fixtures except _____

_____ left upon the premises as part of the property purchased.
Seller and purchaser agree to prorate the taxes for the current tax year, rents, interest, and other matters as of the date of delivery of possession, unless otherwise stated. Premiums for existing insurance may be prorated or a new policy issued at purchaser's option. Purchaser agrees to pay the seller for fuel, if any, used in the tank at date of possession. Encumbrances to be discharged by Seller may be paid at his option out of purchase money at date of closing. The purchaser shall reimburse the seller for sums held in the reserve account on any indebtedness assumed in this transaction.

SELLER AND PURCHASER AGREE THAT SUBJECT SALE _____ will be closed in escrow, the cost of which shall be shared equally between seller and purchaser.
_____ of the above described premises is to be delivered to the purchaser _____ 3 days after closing _____ from the delivery of deed or contract above mentioned, and thereafter as existing laws and regulations will permit removal of _____ if any. Time is of the essence of this contract.

Address: 4423 NE Fremont St. Portland, Ore Phone: 287-4431
Realtor By: East W. Beach Salesman

AGREEMENT TO PURCHASE

Date January 28, 1972

I hereby agree to purchase the above described property in its present condition at the price and on the terms and conditions set forth above, and grant a period of _____ days hereafter to secure seller's acceptance hereof, during which period my offer shall not be subject to revocation. Deed or contract to be prepared in the name of OLLIE E. JONES & MARY M JONES

I hereby acknowledge receipt of a copy of the foregoing offer to buy and earnest money receipt bearing the signature and that of the Realtor. 9:25 am
3317N Vancouver Ave Portland, Ore PURCHASER: Ollie Jones
PURCHASER: Mary Jones

AGREEMENT TO SELL

Date 1-27, 1972

I hereby approve and accept the sale of the above described property and the price and conditions as set forth in above agreement and agree to furnish a title insurance policy continued to date of closing showing good and marketable title. I agree to pay the above named Realtor a commission of \$ _____

I authorize said Realtor to order title insurance and, if sale not completed, to pay any cost thereof and to pay out of the cash proceeds of sale the expenses of recording title insurance, recording fees and revenue stamps, if any, as well as any encumbrances on said premises payable by me at or before closing. I instruct you to place in his Clients Trust Account the above described earnest money deposit until needed in the closing of the transaction. I acknowledge receipt of a copy of this contract bearing my signature and that of the purchaser named above and of Realtor.

2324 NE Thompson St. Portland, Ore SELLER: Sam P. Moor
SELLER: _____

THIS IS A LEGALLY BINDING CONTRACT. IF NOT UNDERSTOOD, SEEK COMPETENT ADVICE.

MEMO TO FILE

February 22, 1972

The house which Ollie Jones now wishes to buy is approximately in an area which might be bounded by NE 19th and NE 29th - NE Knott and NE Schuyler for the purposes of selecting comparable housing. Multiple listings contained no comparable sales listings in this neighborhood during the applicable period. This is an older neighborhood with most of the houses much older than the one Mr. Jones selected, which was built in 1953. Almost all of the houses are extra large, 2 story types; one story houses of the type which Mr. Jones selected are rare. We did find one house at 2414 NE 25th, about two blocks from the selected house, which we feel is comparable to the Jones's old house in the project. It is a 1½ story structure as is his old one, contains 4 bedrooms, and appears to be in excellent condition. This house was on the market for an asking price of \$22,950, which is \$1,010 above our schedule for 4-bedroom houses.

A street by street survey was made of this area - no other houses were found for sale that appeared to be as comparable as the above house. Prices for these non-comparable houses ranged from \$37,750 to \$18,000.

WSJ:slc

RELOCATION PAYMENT

Project: Emanuel ORE R-20 Parcel: A-4-14

Payable to: Ollie and Mary Jones

Amount

For: <u> </u> RHP for Homeowners	\$	<u> </u>
<u> x </u> Incidental Expenses for Homeowners (if separate claim)	\$	<u> 71.80 </u>
<u> </u> RHP for Tenants & Certain Others:		
<u> </u> Rental: Total approved \$ <u> </u> ; Annual amount.	\$	<u> </u>
<u> </u> or Purchase:	\$	<u> </u>
<u> </u> Fixed Moving Payment	\$	<u> </u>
<u> </u> Dislocation Allowance.	\$	<u> </u>
<u> </u> Actual Moving Costs.	\$	<u> </u>
<u> </u> Storage Costs (if separate claim).	\$	<u> </u>
<u> </u> Business: Moving Expenses.	\$	<u> </u>
<u> </u> Business: In Lieu Payment.	\$	<u> </u>
<u> </u> Business: Storage Costs.	\$	<u> </u>
<u> </u> Business: Loss of Property	\$	<u> </u>
<u> </u> Business: Searching Expenses	\$	<u> </u>

Name of Client Ollie & Mary Jones Less - \$ *

Move from 3317 N. Vancouver Ave. Total \$ 71.80

Accounting: Indicate symbol & Acct. No.
E1501 Relocation Payment; Project Cost *()

PORTLAND DEVELOPMENT COMMISSION

1700 S.W. FOURTH AVENUE
 PORTLAND, OREGON 97201

N^o **434 EH**

DATE June 14, 1972

PAY TO **Ollie and Mary Jones**

\$ **71.80**

DOLLARS

TO THE TREASURER OF THE
 CITY OF PORTLAND, OREGON

AUTHORIZED SIGNATURE
NON-NEGOTIABLE
 AUTHORIZED SIGNATURE

Portland Development Commission · 224-4800

DETACH BEFORE DEPOSITING CHECK

DATE	INVOICE OR CONTRACT NOS.	DESCRIPTION	AMOUNT
		Reimbursement for Settlement Costs (Incidental Expenses) per claim filed. Move from 3317 N. Vancouver (A-4-14).	\$71.80

Account Distribution

NO.	TITLE	(EH)	AMOUNT
E 1501	Relocation Payment (Incidental Expenses)	(EH)	\$71.80

Ollie Jones

JAL

C. Incidental Expenses (List incidental expenses incurred by you in connection with the purchase of replacement dwelling. If more space is necessary, use additional sheets.)

COSTS INCURRED BY CLAIMANT				FOR LOCAL AGENCY USE
Item (a)	Charged to Claimant on Closing Statement (b)	Paid Directly by Claimant (c)	Amount Claimed (Col. (b) + (c)) (d)	Amount Approved (e)
	\$	\$	\$	\$
Escrow Fee ($\frac{1}{2}$)	39.00		39.00	39.00
Recording	2.00		2.00	2.00
Doc. Stamps	30.80		30.80	30.80
TOTAL	\$ 71.80	\$	\$ 71.80	\$ 71.80

Listing of documents submitted herewith in support of amounts entered in Column (d) above: (Documentation for the above claim must be submitted.)

Copy of escrow purchaser's statement from Transamerica Title Insurance Co.

I submit this information in support of a claim for a Replacement Housing Payment under Section 203 of P.L. 91-646, as amended, and I certify under the penalties and provisions of U.S.C. Title 18, Sec. 1001, and any other applicable law, that the information submitted herewith has been examined by me and is true, correct, and complete, and that I understand that, apart from the penalties and provisions of U.S.C. Title 18, Sec. 1001, and any other applicable law, falsification of any item submitted herewith may result in forfeiture of the entire claim.

7/12/72

Date

Ollie Jones

Signature of Owner-Occupant (s)

(For Local Agency Use Only)
DETERMINATION OF ELIGIBILITY FOR REPLACEMENT
HOUSING PAYMENT FOR HOMEOWNERS

NAME AND ADDRESS OF CLAIMANT:

Ollie and Mary Jones
2324 N. E. Thompson, Portland

NAME OF LOCAL AGENCY:

Portland Development Commission

INSTRUCTIONS: Complete this form to determine eligibility of claimant for Replacement Housing Payment for Homeowners. Attach the completed form to the pertinent claim form filed by claimant. Note that the determination of the amount of payment to cover costs incidental to purchase of a replacement dwelling is made on the applicable claim form. Attach an explanation of any entries which differ from claimant's entries on claim form.

1. Did the claimant own the dwelling at the time of acquisition? Yes No

Initial Date of Ownership: 7/14/54 Date of Acquisition: _____
Month-Day-Year Month-Day-Year

2. Did the claimant own and occupy the dwelling at least 180 days prior to the initiation of negotiations? Yes No

Initial Date of Ownership: 7/14/54 Date of Initiation of
Negotiations: 7/6/71

3. Did the claimant purchase and occupy the replacement housing within one year from the date of displacement? Yes No

Date of Displacement: _____ Date of Purchase of Replacement
Housing: _____

Date of Occupancy of Replacement Housing: _____
(If the claimant was unable to occupy the replacement housing within the required one-year period, use reverse side of this form to provide explanation.)

4. Did the claimant have a bona fide mortgage on his dwelling for at least 180 days prior to initiation of negotiations? Yes No

Issuance Date of Mortgage: _____ Date of Discharge of
Mortgage: _____
Date of Initiation of Negotiations: _____

5. Has the replacement housing been inspected and found to be standard? (Attach copy of dwelling inspection record or, if the claimant moved outside the locality, attach the report obtained from the claimant.) Yes No

6. CERTIFICATION OF LOCAL AGENCY

This is to certify that the property purchased by the claimant has been inspected and the property was occupied by the claimant within one year following his displacement. I further certify that I have examined this claim and have found it to be in accord with the applicable provisions of Federal Law and the regulations issued by the Department of Housing and Urban Development pursuant thereto. Therefore, this claim is hereby approved and payment in the amount of \$ 71.80 is authorized.

6-13-72
Date

[Signature]
Authorized Signature

7. RECORD OF PAYMENT

Date of Payment: 6/14/72 Check No. 434 E# Amount: \$ 71.80

Transamerica Title Insurance Co



A Service of
Transamerica Corporation

ESCROW DEPARTMENT

Escrow No. XXXX 41678 mm

Order No. 41-31457

Date 6/9

Adjustment Date _____

JONES, Ollie E. and Mary M.

SELLER: MOORS, Sam P.

Property	CHARGES	CREDITS
XXXXX 2324 N.E. Thompson Portland, Oregon 97212		
Purchase Price	28,000.00	
1971-72 taxes -		
Pro Rata Real Estate Taxes: <u>677.86</u>		
Pro Rata Fire Insurance:		
Escrow Fee <u>1/2 of \$78.00</u>	X 39.00	
Recording <u>Deed</u>	X 2.00	
Contract/Mortgage Balance		
Doc. Stamps	X 30.80	
	<u>71.80</u>	
<u>Oil in Tank</u>		
Earnest Money Deposit		
Deposit in Escrow <u>by Pioneer National Title</u>		11,260.01
<u>Relocation funds</u>		<u>11,150.00</u>
To Balance		

PURCHASERS STATEMENT

(Cash or Contract)

PORTLAND DEVELOPMENT COMMISSION

1700 S.W. FOURTH AVENUE
PORTLAND, OREGON 97201

Nº 31470 G

DATE July 5, 19 72

PAY TO THE ORDER OF **Ollie Jones**

\$ 300.00

DOLLARS

THE FIRST NATIONAL BANK OF OREGON
S.W. Fifth and College Branch
Portland, Oregon

NON-NEGOTIABLE

Portland Development Commission · 224-4800

DETACH BEFORE DEPOSITING CHECK

DATE	INVOICE OR CONTRACT NOS.	DESCRIPTION	AMOUNT
		Reimbursement per Claim for Relocation Payment filed. Move from 3317 N. Vancouver (Parcel A-4-14), to 2324 N. E. Thompson. Fixed Moving Payment	\$300.00

Account Distribution

NO	TITLE	AMOUNT
E 1501	Relocation Payment (EH) (Moving)	\$300.00

X Ollie Jones
July 5, 1972

BD

RELOCATION PAYMENT

Project: Emanuel ORER-20 Parcel: A-4-14

Payable to: Ollie Jones

Amount

For: _____	RHP for Homeowners	\$ _____
_____	Incidental Expenses for Homeowners (if separate claim)	\$ _____
_____	RHP for Tenants & Certain Others:	
	Rental: Total approved \$ _____; Annual amount.	\$ _____
	or Purchase:	\$ _____
<u>X</u>	Fixed Moving Payment	\$ <u>300</u>
_____	Dislocation Allowance.	\$ _____
_____	Actual Moving Costs.	\$ _____
_____	Storage Costs (if separate claim).	\$ _____
_____	Business: Moving Expenses.	\$ _____
_____	Business: In Lieu Payment.	\$ _____
_____	Business: Storage Costs.	\$ _____
_____	Business: Loss of Property	\$ _____
_____	Business: Searching Expenses	\$ _____

Name of Client Ollie Jones Less - \$ _____ *

Move from 3317 N. Vancouver Total \$ 300

Accounting: Indicate symbol & Acct. No.
E1501 Relocation Payment; 300.00 Project Cost * (_____)

CLAIM FOR RELOCATION PAYMENT FOR FIXED
PAYMENT (FAMILIES AND INDIVIDUALS)

NAME, ADDRESS AND ZIP CODE OF LOCAL AGENCY
Portland Development Commission
1700 S. W. Fourth Avenue
Portland, Oregon

PROJECT NAME (if applicable)

Project Number: ORE R-20

PENALTY FOR FALSE OR FRAUDULENT STATEMENT. U.S.C. Title 18, Sec. 1001, provides:
"Whoever, in any matter within the jurisdiction of any department or agency of the United States knowingly and willfully falsifies . . . or makes any false, fictitious or fraudulent statements or representations, or makes or uses any false writing or document knowing the same to contain any false, fictitious or fraudulent statement or entry, shall be fined not more than \$10,000 or imprisoned not more than five years, or both."

1. FULL NAME OF CLAIMANT Family Individual
JONES, OLLIE E.

2. DATE(S) OF MOVE
June 29, 1972

3. DWELLING UNIT FROM WHICH YOU MOVED PARCEL NO. A-4-14
a. Address 3317 N. Vancouver
Portland, Oregon
b. Apartment, Floor, or Room Number _____
c. Was it furnished with your own furniture?
 Yes No
d. Number of rooms occupied (excluding bathrooms, hallways, and closets): 7
e. Date you moved into this address: July 14, 1954

4. DWELLING UNIT TO WHICH YOU MOVED
a. Address (include ZIP Code) 2324 N. E. Thompson, Portland, Oregon
b. Apartment, Floor, or Room Number _____
c. Were household goods moved to or from storage?
 Yes No
If "Yes", complete table, "Statement of Claim for Storage Costs"

5. TOTAL CLAIM (if 5 b. marked above)
Dislocation Allowance ~~\$200.00~~
Fixed Moving Payment \$300.00
(Consult local agency) Total \$ 300.00

6. I CERTIFY under the penalties and provisions of U.S.C. Title 18, Sec. 1001, and any other applicable law, that this claim and information submitted herewith have been examined by me and are true, correct and complete, and that I understand that, apart from the penalties and provisions of U.S.C. Title 18, Sec. 1001, and any other applicable law, falsification of any item in this claim or submitted herewith may result in forfeiture of the entire claim. I further certify that I have not submitted any other claim for, or received, reimbursement or compensation from any other source for any item of loss or expense paid pursuant to this claim, and that any bills or receipts submitted herewith accurately reflect moving services actually performed and/or storage costs actually incurred.

7/15/72
Date

Ollie Jones
Signature of Claimant

(For Local Agency Use Only)

DETERMINATION OF ELIGIBILITY FOR RELOCATION PAYMENT
FOR MOVING EXPENSES (FAMILIES AND INDIVIDUALS)

NAME AND ADDRESS OF CLAIMANT:

Ollie E. Jones
3317 N. Vancouver
Portland, Oregon

NAME OF LOCAL AGENCY:

Portland Development Commission

INSTRUCTIONS: Attach this form to the pertinent claim form filed by claimant. Attach an explanation of any difference between amounts claimed and amounts approved.

1. Does claimant meet basic eligibility requirements? Yes No

If "No," explain:

2. Complete if claim is for a fixed payment including an amount for moving articles located in household storage space:

Date items inspected: _____
Month-Day-Year

3. If claim is for a self-move, does approved amount exceed estimated cost of accomplishing the move through services of a commercial mover or contractor?

Yes No

If "Yes," explain basis for approved amount:

4. CERTIFICATION

I CERTIFY that I have examined the claim, and the substantiating documentation, and have found it to be in accord with the applicable provisions of Federal law and the regulations issued by the Department of Housing and Urban Development pursuant thereto. Therefore, the claim is hereby approved and payment is authorized as follows:

(For Local Agency Use Only)

(Complete either A or B:)

Item	Amount <u>1/</u>	Authorized Signature	Date
A. Fixed Payment and Dislocation Allowance	\$		
1. Fixed payment \$ <u>300.00</u>			
2. Dislocation allowance \$ _____			
3. Total \$ <u>300.00</u>	<u>300.00</u>	<i>[Signature]</i> J B G W	<u>7-5-72</u>
B. Actual Moving and Related Expenses	\$		
1. Initial payment including, if applicable, storage and related costs in the amount of \$ _____	_____	_____	_____
2. Supplementary payment(s) for storage costs:	_____	_____	_____
3. Final payment for moving expenses covering storage and related costs	_____	_____	_____

1/ Attach full explanation of any adjustments made; e.g., amount set off against claim or amount of dislocation allowance made as an advance payment.

5. RECORD OF PAYMENTS MADE

Date	Check Number	Amount	Date	Check Number	Amount
<u>7/5/72</u>	<u>314706</u>	\$ <u>300.00</u>			\$

WORKSHEET FOR ALL MOVING CLAIMS

- E.
1. Name Ollie Jones Project R-20
2. Date(s) of move June 29, 1972 Parcel No. A-4-14
3. Dwelling unit from which you moved:
 Address 3317 N Vancouver Ave No. of rooms 7
 Furnished Unfurnished Date you moved into this unit 7-14-54
4. Dwelling unit to which you moved:
 Address 2324 N.E. Thompson
 Were goods moved to or from storage? Yes No
5. Total claim \$ 300.00
- FIXED PAYMENT: ~~900.00~~ + \$ 300.00 = \$ 300.00

ACTUAL MOVING COSTS

6. Name of moving company (or person) _____
7. Mover's telephone _____ 8. Mover's address _____
9. Method of payment
 a. reimburse client (show paid bill)
 b. pay mover directly (show bill)
 c. let local agency contract with mover
10. Amount actual costs
 a. Moving costs (attach receipt or voucher) \$ _____
 b. Cost of insurance (attach invoice) \$ _____
 c. Storage cost (attach receipt or voucher) \$ _____
-

STORAGE COSTS

Name, address and ZIP code of storage company _____

- A. Type of claim
 initial supplementary final
- B. Storage period
 1. Total period: _____ months. Check one: Actual Estimated
 2. Date property moved to storage: _____
 3. Date property moved from storage: _____
- C. Storage Costs
- | | | <u>Approved</u> |
|------------------------------------|----------|-----------------|
| 1. Monthly rate | \$ _____ | \$ _____ |
| 2. Total costs actually incurred | \$ _____ | \$ _____ |
| 3. Amount previously received | \$ _____ | \$ _____ |
| 4. Amount claimed (line 2 minus 3) | \$ _____ | \$ _____ |
- D. Description of Property Stored: please list on back of this sheet.
- E. Method of Payment
 reimburse client (attach receipt or paid bill)
 pay storage company directly (attach bill)

RELOCATION PAYMENT

Project: Emanuel ORE R-20 Parcel: A-4-14

Payable to: Ollie E. Jones

Amount

For: _____	RHP for Homeowners	\$ _____
_____	Incidental Expenses for Homeowners (if separate claim)	\$ _____
_____	RHP for Tenants & Certain Others:	
	Rental: Total approved \$ _____; Annual amount.	\$ _____
	or Purchase:	\$ _____
_____	Fixed Moving Payment	\$ _____
<u>X</u>	Dislocation Allowance. . . <u>Hardship Family</u>	\$ <u>200.00</u>
_____	Actual Moving Costs.	\$ _____
_____	Storage Costs (if separate claim).	\$ _____
_____	Business: Moving Expenses.	\$ _____
_____	Business: In Lieu Payment.	\$ _____
_____	Business: Storage Costs.	\$ _____
_____	Business: Loss of Property	\$ _____
_____	Business: Searching Expenses	\$ _____

Name of Client Ollie E. Jones Less - \$ _____ *

Move from 3317 N. Vancouver Total \$ 200.00

Accounting: Indicate symbol & Acct. No.
E1501 Relocation Payment; _____ Project Cost *(_____)

PORTLAND DEVELOPMENT COMMISSION

1700 S.W. FOURTH AVENUE
PORTLAND, OREGON 97201

Nº 31071 G

DATE June 13, 19 72

PAY TO THE
ORDER OF

Ollie E. Jones

\$200.00

DOLLARS

THE FIRST NATIONAL BANK OF OREGON
S.W. Fifth and College Branch
Portland, Oregon

NON-NEGOTIABLE

Portland Development Commission · 224-4800

DETACH BEFORE DEPOSITING CHECK

DATE	INVOICE OR CONTRACT NOS.	DESCRIPTION	AMOUNT
		<p>Reimbursement per claims for relocation payment filed. Move from 3317 N Vancouver (A4-14) to 2324 NE Thompson</p> <p>Dislocation Allowance</p>	<p>\$200.00</p>

Account Distribution

NO	TITLE	AMOUNT
E1501	Relo Payment (Fixed - Family)	\$200.00

Rec'd *Ollie E Jones*
June 13, 1972

JMA

CLAIM FOR RELOCATION PAYMENT FOR FIXED
PAYMENT (FAMILIES AND INDIVIDUALS)

NAME, ADDRESS AND ZIP CODE OF LOCAL AGENCY
Portland Development Commission
1700 SW Fourth Avenue
Portland, Oregon 97201

PROJECT NAME (if applicable)
Emanuel Hospital Project
Project Number: ORE R-20

PENALTY FOR FALSE OR FRAUDULENT STATEMENT. U.S.C. Title 18, Sec. 1001, provides:
"Whoever, in any matter within the jurisdiction of any department or agency of the
United States knowingly and willfully falsifies . . . or makes any false, fictitious
or fraudulent statements or representations, or makes or uses any false writing or
document knowing the same to contain any false, fictitious or fraudulent statment or
entry, shall be fined not more than \$10,000 or imprisoned not more than five years,
or both."

1. FULL NAME OF CLAIMANT JONES, Ollie E. Family Individual

2. DATE(S) OF MOVE June 29, 1972

3. DWELLING UNIT FROM WHICH YOU MOVED PARCEL NO. A-4-14
a. Address 3317 N. Vancouver, Portland, Oregon
b. Apartment, Floor, or Room Number ---
c. Was it furnished with your own furniture?
 Yes No
d. Number of rooms occupied (ex-
cluding bathrooms, hallways,
and closets: X
e. Date you moved into this
address: X 7-14-54

4. DWELLING UNIT TO WHICH YOU MOVED
a. Address (include ZIP Code) 2324 N. E. Thompson, Portland, Oregon
b. Apartment, Floor, or Room Number ---
c. Were household goods moved to
or from storage?
 Yes No
If "Yes", complete table,
"Statement of Claim for Storage
Costs"

5. TOTAL CLAIM (if 5 b. marked above)
Dislocation Allowance \$200.00 (hardship)
Fixed Moving Payment
(Consult local agency) Total \$ 200.00

6. I CERTIFY under the penalties and provisions of U.S.C. Title 18, Sec. 1001, and any
other applicable law, that this claim and information submitted herewith have been
examined by me and are true, correct and complete, and that I understand that, apart
from the penalties and provisions of U.S.C. Title 18, Sec. 1001, and any other appli-
cable law, falsification of any item in this claim or submitted herewith may result
in forfeiture of the entire claim. I further certify that I have not submitted any
other claim for, or received, reimbursement or compensation from any other source
for any item of loss or expense paid pursuant to this claim, and that any bills or
receipts submitted herewith accurately reflect moving services actually performed
and/or storage costs actually incurred.

6/13/72

Date

Ollie Jones
Signature of Claimant

(For Local Agency Use Only)

DETERMINATION OF ELIGIBILITY FOR RELOCATION PAYMENT
FOR MOVING EXPENSES (FAMILIES AND INDIVIDUALS)

NAME AND ADDRESS OF CLAIMANT:

Ollie E. Jones
2324 N. Vancouver,
Portland, Oregon

NAME OF LOCAL AGENCY:

Portland Development Commission

INSTRUCTIONS: Attach this form to the pertinent claim form filed by claimant. Attach an explanation of any difference between amounts claimed and amounts approved.

1. Does claimant meet basic eligibility requirements? Yes No

If "No," explain:

2. Complete if claim is for a fixed payment including an amount for moving articles located in household storage space:

Date items inspected: _____
Month-Day-Year

3. If claim is for a self-move, does approved amount exceed estimated cost of accomplishing the move through services of a commercial mover or contractor?

Yes No

If "Yes," explain basis for approved amount:

4. CERTIFICATION

I CERTIFY that I have examined the claim, and the substantiating documentation, and have found it to be in accord with the applicable provisions of Federal law and the regulations issued by the Department of Housing and Urban Development pursuant thereto. Therefore, the claim is hereby approved and payment is authorized as follows:

(For Local Agency Use Only)

(Complete either A or B:)

Item	Amount <u>1/</u>	Authorized Signature	Date
A. Fixed Payment and Dislocation Allowance	\$		
1. Fixed payment \$ _____			
2. Dislocation allowance \$ <u>200.00</u> (Hardship)		<i>[Signature]</i>	<u>6-13-72</u>
3. Total \$ _____	<u>200.00</u>	<i>[Signature]</i>	
B. Actual Moving and Related Expenses	\$		
1. Initial payment including, if applicable, storage and related costs in the amount of \$ _____	_____	_____	_____
2. Supplementary payment (s) for storage costs:	_____	_____	_____
3. Final payment for moving expenses covering storage and related costs	_____	_____	_____

1/ Attach full explanation of any adjustments made; e.g., amount set off against claim or amount of dislocation allowance made as an advance payment.

5. RECORD OF PAYMENTS MADE

Date	Check Number	Amount	Date	Check Number	Amount
<u>6/13/72</u>	<u>31071</u>	<u>\$ 200.00</u>			\$

WORKSHEET FOR ALL MOVING CLAIMS

1. Name OLLIE E. JONES Project R-20
 2. Date(s) of move June 29, 1972 Parcel No. A-4-14
 3. Dwelling unit from which you moved:
 Address 3317 N. VANCOUVER No. of rooms _____
 ___ Furnished Unfurnished Date you moved into this unit _____
 4. Dwelling unit to which you moved:
 Address 2324 N.E. THOMPSON
 Were goods moved to or from storage? ___ Yes No

5. Total claim \$ _____

FIXED PAYMENT: \$200 + \$ _____ = \$ 200.00

ACTUAL MOVING COSTS

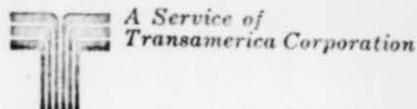
6. Name of moving company (or person) _____
 7. Mover's telephone _____ 8. Mover's address _____
 9. Method of payment
 ___ a. reimburse client (show paid bill)
 ___ b. pay mover directly (show bill)
 ___ c. let local agency contract with mover
 10. Amount actual costs
 a. Moving costs (attach receipt or voucher) \$ _____
 b. Cost of insurance (attach invoice) \$ _____
 c. Storage cost (attach receipt or voucher) \$ _____

STORAGE COSTS

Name, address and ZIP code of storage company _____

- A. Type of claim
 ___ initial ___ supplementary ___ final
 B. Storage period
 1. Total period: ___ months. Check one: ___ Actual ___ Estimated
 2. Date property moved to storage: _____
 3. Date property moved from storage: _____
 C. Storage Costs
- | | | <u>Approved</u> |
|------------------------------------|----------|-----------------|
| 1. Monthly rate | \$ _____ | \$ _____ |
| 2. Total costs actually incurred | \$ _____ | \$ _____ |
| 3. Amount previously received | \$ _____ | \$ _____ |
| 4. Amount claimed (line 2 minus 3) | \$ _____ | \$ _____ |
- D. Description of Property Stored: please list on back of this sheet.
 E. Method of Payment
 ___ reimburse client (attach receipt or paid bill)
 ___ pay storage company directly (attach bill)

Transamerica Title Insurance Co



ESCROW INSTRUCTIONS

GRANTEE OR MORTGAGEE

To: Transamerica Title Insurance Company

Escrow No. 41678

Gentlemen:

Report No. 31457

I/We hand you herewith \$28,000.00

which you are authorized to pay to the order of SAM P. MOORS

or legal representatives, when you have for my/our account the following: a properly executed Warranty Deed

covering the following described property in Multnomah County, Oregon, to-wit:

Lot 20, Block 7, IRVINGTON, in the City of Portland, Multnomah County, Oregon

also known as: 2324 NE Thompson ---

together with a Policy of Title Insurance on the usual form in the amount of \$ 28,000.00 showing title vested in OLLIE E. JONES & MARY M. JONES

SUBJECT ONLY TO:

Zoning ordinances, building and use restrictions, reservations and patents, easements of record, if any; printed conditions and exceptions contained in the usual form of title insurance policy; and those incumbrances to remain as noted below:

F R E E & C L E A R

I/We agree to pay the following: One-half escrow fee \$39.00; recording Deed \$2.00; documentary stamps \$30.80

You are further instructed as follows: The undersigned has received and read accopy of Transamerica Preliminary Title Report # 31457 dated May 11, 1972 covering the property described herein. It is hereby understood and agreed that relocation funds of \$11,450.00 will be released to seller upon verification that buyer herein has taken possession of above mentioned property.

and to adjust and pro-rate 1971-72 taxes of \$677.86

as of 15 days from delivery of deed

In all acts in this escrow relating to fire insurance, including adjustments, if any, you shall be fully protected in assuming that each policy is in force and that the necessary premium therefor has been paid.

You will file for record the necessary legal instruments and you shall not be held responsible for any liens that may be attached after such filing or recording.

These instructions shall be irrevocable by the undersigned until the close of business on 30 days after date 19 72, and shall be performed within said period or thereafter until written demand is made upon you for the cancellation hereof.

Transamerica Title Insurance Company shall not be liable for any unpaid service, installation or construction charges for sewer, water or electricity.

Dated at Portland, Oregon, this 9th day of June, 19 72.

Address _____ Ollie E. Jones

Phone _____ Ollie E. Jones

Pioneer National Title Insurance Company

Oregon Division • 421 S.W. Stark Street • Telephone 224-0550 • Portland, Oregon 97204

Esc. No. 384571

Branch Telephone: _____
ESCROW STATEMENT

June 6, 19 72

Jones, Ollie E. and Mary M.

PROPERTY ADDRESS 3317 N. Vancouver

DESCRIPTION Lot 14, Block 4, Albina Addn.

DESCRIPTION	Debit		Credit	
	\$		\$	
Demand-Deposit For Deed			11,500	00
Title Insurance Policy No.				
Escrow Fee				
Taxes 1971-72 prorata share 6-6-71 to 7-1-72			12	48
Taxes balance 1971-72	44	93		
City Liens				
Reconveyance				
RECORDING				
Deed to				
Deed to				
Mortgage to				
Trust Deed to				
Release of Mortgage to				
Reconveyance				
Contract between and				
% Interest Adjustment on \$ from to				
Insurance pro rata on \$ from to				
Paid for real estate commission				
Paid Bureau of Water Works for Water bill		7	54	
Paid for				
Funds held in escrow pending authorization to release from Portland Development Comm.		200	00	
Net proceeds transferred to Transamerica Title Insurance Co. - Escrow #41678		11,260	01	
Balance - Our Check Herewith				
Balance - Debit				
TOTAL		11,512	48	11,512 48

This covers money settlement only.
 Any papers to which you are entitled
 will follow later.

Pioneer National Title Insurance Company

By John E. Ebbert
 John E. Ebbert, Escrow Officer

PIONEER NATIONAL TITLE INSURANCE COMPANY: Portland, Oregon, June 5, 1972
I hand you herewith executed Warranty Deed

11,500.00 which you are authorized to use in connection with your above-numbered Escrow upon payment for my account of 7/1/72 demand for deed, plus credit for 1971-72 taxes prorated from closing to

and when you have received final authorization from Portland Development Commission to record and distribute their funds; Title Insurance
and when you can issue your Policy in your usual form, containing the printed exceptions usual in such policies (with your liability thereunder not to exceed \$ 11,500.00) on the following described real property situated in the County of Multnomah and State of Oregon, to-wit:

Lot 14, Block 4, Albina Addition, in the City of Portland

which will show record title to said property vested in the City of Portland, acting by and through the Portland Development Commission as duly designated Urban Renewal Agency of the City of Portland free and clear of incumbrances, except building and use restrictions, easements, zoning and building laws and ordinances, if any, as the same may now appear of record, printed conditions and exceptions contained in form of title insurance policy herein provided for.

Mortgage-deed of trust, executed by _____ in favor of _____ to secure the payment of \$ _____

I authorize you to deduct or pay, before the closing of this Escrow, the following: _____

- 1-Balance 1971-72 taxes, \$44.93.
- 2-Bureau of Water Works for final water bill.
- 3-Funds held in Escrow pending authorization to release from Portland Development Commission, \$200.00.
- 4-Net proceeds transferred to Transamerica Title Insurance Co., Escrow #41678.

It is hereby understood and agreed that all matters regarding oil in the tank or fire insurance prorations will be handled between buyer and seller outside of this Escrow, and you are hereby authorized to give a copy of the Seller's statement to Portland Development Commission.

It is understood that water and utility charges will be adjusted between the seller and buyer outside this escrow. In any acts in this escrow relating to fire insurance, including adjustments, if any, you shall be fully protected in assuming that each policy is in force and that the necessary premium therefor has been paid.

You will file for record the necessary legal instruments and then pay off such incumbrances of record as may exist at the time of filing such instruments, to vest the title as above stated, and shall not be held responsible for any liens that may attach after such filing or recording.

You are not required to ascertain compliance with any "consumer credit protection", "truth in lending", or similar law, and it is agreed you will have no liability for loss or damage arising out of noncompliance with such laws.

All funds received in this escrow shall be deposited with other escrow funds in a general escrow account or accounts of Pioneer National Title Insurance Company with any State or National bank, and may be transferred to any other such general escrow account or accounts. All disbursements shall be made by check of Pioneer National Title Insurance Company.

All adjustments to be made on a basis of 30-day month. When requested to do so, a copy of the closing statement showing disbursements, in accordance with these instructions, may be delivered to the realtor who consummated the transaction, the mortgagee or its agent or to my attorney.

Any amendment of or supplements to any instructions must be in writing and if you are unable to comply with the instructions within -30- days after date, said money and/or instruments shall be returned to me on my written demand, but in the absence of such demand you will proceed to comply with these instructions as soon as possible.

Notwithstanding any instruction hereinabove contained to the contrary, when time is of the essence in requiring performance of any condition of this escrow and delivery of the documents or monies upon which full compliance and performance is conditioned is not made until the last day limited and defined herein, no tender of such performance or compliance shall be binding upon you unless made prior to 3:00 p.m. on the last day limited for performance, and the parties hereto agree that in the event tender of full performance is made subsequent to 3:00 p.m. on said day, that you are authorized to perform duties imposed hereunder upon the next following business day without liability for delay in the closing of this escrow.

In the event that any controversy should arise between the parties hereto or with any third person, you shall not be required to determine the same or to take any action in the premises, but you may await settlement of any such controversy by joint instructions of the parties or by appropriate legal proceedings. In the event that you should become a party to any such legal proceedings, we jointly and severally agree to pay and to hold you harmless from and against any and all costs, charges, damages, attorneys' fees or other expense which you in good faith may incur.

Mail papers to: _____
Receipt of money and/or instruments hereinabove mentioned is hereby acknowledged.

Ollie E. Jones
Ollie E. Jones
Mary H. Jones
Mary H. Jones

June 8, 1972

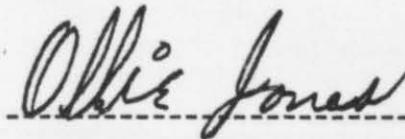
Pioneer National Title Insurance Company
421 S. W. Stark Street
Portland, Oregon 97204

ATTENTION: Jean Egberg
Escrow Officer

RE: Escrow No. 384571
JONES, Ollie & Mary

Gentlemen:

Request is hereby made for the transfer of our Replacement Housing Payment, in the sum of \$11,450.00 from the above escrow account to Transamerica Title Insurance Company, for the purchase of the house at 2324 N. E. Thompson.



cc: Portland Development Commission

MEMORANDUM

Date: June 9th, 1972

TO: Dorothy Lyon
FROM: WSJ
RE: Ollie and Mary Jones (A-4-14)

Please transfer the RHP in the amount of \$11,450.00 for the above client from the escrow account at Pioneer National Title Insurance Company according to the attached request from Mr. and Mrs. Jones. Release of the above payment will still be subject to written verification from the PDC that the client has purchased and does occupy standard housing at 2324 N. E. Thompson.

WSJ:slc



Housing Additive Rent Supp. Down Payment Economic Rent

Relocated _____ Address _____

2 Bldg
1 up
1 Base

ITEM	SUBJECT			COMPARABLE #1			COMPARABLE #2			COMPARABLE #3		
Multiple Listing #	XXX											
Sale or Rent Price	11,500 offered			2414 NE 25th								
Address	by PDC			22,950								
Main Floor No. of Rooms	BR	Bath	Total Rooms	BR	Bath	Total Rooms	BR	Bath	Total Rooms	BR	Bath	Total Rooms
	4	1	7	4	1	7	3	1 1/2	8			
Type	1 1/2 Story Bungalow			1 1/2 Story								
State of Repair	Int. Good			Ext. Excellent								
Type of Neighborhood	Zone M-3 Blighted			Residential								
Street Improvements	Yes			Yes								
Availability of Public Services	Excellent			Good								
Lot Size	50 x 100			50 x 100								
Year Built	1902			1923								
Fireplace	Yes			?								
Heating System	Oil			Oil								
Basement	FCB			FCB								
Garage	Single			Single								
1st Floor Habitable Area	1196			1320								
Total Area	* 2951			3240 3240								
Furnished or Unfurnished	TAXES 200.00			416.77								
Extraordinary Amenities	Hardwood floor Bas B-Q Pit											

Comparable # _____ is considered most like subject because:

The adjusted price is \$ _____. Explain _____

* Bedroom ~~in~~ Basement 45' x 22'
Upstairs 45' x 17' Part Storage

By _____ Date _____

Older neighborhood Almost all large 2 story houses
 one story houses very rare - newer houses, age of
 clients, rare

RESIDENTIAL ADDITIVE DETERMINATION

File No.

Sale Rental

Owner Jones Olive

Address 3317 N. Vancouver

Occupants

Tenant Sales

Address Sales Sold

Occupants Sold

PRICE \$37,750.00

\$18,500.00

\$22,950.00

18,000

ITEM	SUBJECT			OFFERING #1			OFFERING #2			OFFERING #3		
Address	2714 NE 20th			2404 NE 23rd			2414 NE 25th			2341 NE 13th		
No. of Rooms	BR	Bath	Total Rooms	BR	Bath	Total Rooms	BR	Bath	Total Rooms	BR	Bath	Total Rooms
	2	1	5	3	1	6	4	1	7	4	2	6
Type	Brick and stucco									(3 1/2 story)		
State of Int. Repair	1 1/2 story Excellent			1 story Excellent			1 1/2 story Excellent			1 1/2 story Excellent		
Type of Neighborhood							residential			Good		
Street frontage							All			YES		
Availability of utilities							Good			3 BR		
Lot size	50x100			50x100			50x100			75x100		
Year Built	1934			1948 est.			1923			1908		
Fireplace							?			YES		
Heating System	gas			oil			oil			oil		
Basement	full cement			full cement			full cement			FCB		
Garage							single			No		
Habitable Area	1168			1480			1320			1078- small		
Total Area							2640					
Furnished or Refurnished												
Extraordinary Features				washer, dryer stove included						wu		
Taxes	\$793.88			400.00			416.77			310.00		
Bd. rooms	2			3			4					
	15x35 liv., 14x16 din, 14x20 bath, 14x18 bdrms.			21x17 liv., 16x15 din, 14x18, 18x12 } bdrm, 10x11						LR, DR, K, 4 bdrms.		

April 6, 1972

Mr. Mika Dye
Attorney at Law
3814 Commercial Street S.E.
Salem, Oregon 97302

Dear Mr. Dye:

We have received your letter of April 4, 1972, along with the copy of the page from the Multiple Listing Book.

Under the provisions of Section 203(a)(1) of Public Law 91-646, the reasonable cost of a comparable replacement dwelling must be established as a basis for computing the amount of the Replacement Housing Payment for Homeowners. In determining the reasonableness of the cost of the replacement dwelling, we attempt to find, in the neighborhood to which the displacee wants to relocate, the house that is the most representative of the former dwelling that is on the sales market at the time the displacee is in the market to buy.

As you know, we have made an investigation of Mr. Jones' present home, as well as the neighborhood to which he wishes to relocate. On the basis of our investigation we have decided that of all the properties in the neighborhood to which he wants to relocate that were available to him at the time he was looking for a replacement house, the property at 2414 N. E. 25th Avenue is the most representative of his present dwelling. The only basis on which we can change our opinion is to find another property more representative of his present dwelling. Your letter did not state the reasons why you think that any of the properties shown on the Multiple Listings page sent to us are more representative of Mr. Jones' present dwelling than the property at 2414 N. E. 25th Avenue.

We had considered these properties shown on the above-mentioned page at the time of our evaluation. It was our opinion then and is our opinion now that we have made the proper decision in this case. At the time of our discussion on February 23, 1972, we informed you of our decision and asked you to indicate to us why you think that it should be changed.

Your letter did not question our decision. If you agree with our decision, please indicate your agreement. If you disagree, please

Mr. Mike Dye, Attorney at Law
Page 2
April 6, 1972

indicates your disagreement and the section of the law or regulations on which your disagreement is based. In the meantime, our original decision still stands.

With respect to the second paragraph of your letter, the April 4, 1972 letter is the first correspondence we have received from you.

May we expect to hear from you in the near future?

Vary truly yours,

Benjamin C. Webb
Chief of Relocation and
Property Management

BCW:ch

MIKE DYE

Attorney at Law

3314 COMMERCIAL STREET S.E.
SALEM, OREGON 97302

Telephone 581-9333

RECEIVED

APR 6 1972

PORTLAND DEVELOPMENT COMMISSION

April 4, 1972

Portland Development Commission
1700 S. W. 4th Street
Portland, Oregon

Re: Ollie Jones Property located at 3317 N. Vancouver,
Portland, Oregon

Attention: Mr. Webb

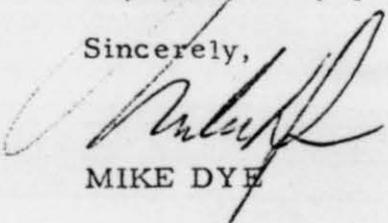
Dear Mr. Webb:

Please find enclosed a copy of the listings sent to me by
Mr. Medak, concerning comparable properties to the Ollie
Jones property.

The original document was sent to you three weeks ago. I made
a copy at that time, which did not come out very well, but it is
the only copy that I have in my possession. That copy I am now
forwarding to you.

If you have any questions, please contact this office immediately.

Sincerely,



MIKE DYE

MD:lj

Enc.

Current payment for houses and replacement housing of:

		<u>Estimate Moving Cost</u> <u>of house</u>	<u>Purchase of</u> <u>relocation house</u>
2 bedroom	\$14,639	\$6,500	\$ 8,139
3 bedroom	\$17,887	6,500	11,387
4 bedroom	\$21,940	6,500	15,440

Based on the above amounts it appears that the moving of the houses available is marginal. If it is desired to move a few, we should obtain better cost estimates from several movers on the particular house and the new location established.

MEMO TO FILE

February 22, 1972

The house which Dille Jones now wishes to buy is approximately in an area which might be bounded by NE 19th and NE 29th - NE Knott and NE Schuyler for the purposes of selecting comparable housing. Multiple listings contained no comparable sales listings in this neighborhood during the applicable period. This is an older neighborhood with most of the houses much older than the one Mr. Jones selected, which was built in 1953. Almost all of the houses are extra large, 2 story types; one story houses of the type which Mr. Jones selected are rare. We did find one house at 2414 NE 25th, about two blocks from the selected house, which we feel is comparable to the Jones's old house in the project. It is a 1½ story structure as is his old one, contains 4 bedrooms, and appears to be in excellent condition. This house was on the market for an asking price of \$22,950, which is \$1,010 above our schedule for 4-bedroom houses.

A street by street survey was made of this area - no other houses were found for sale that appeared to be as comparable as the above house. Prices for these non-comparable houses ranged from \$37,750 to \$18,000.

WSJ:slc

We acknowledge receipt of the keys to the property we are purchasing at 2324 N.E. Thompson St, Portland, Oregon as of this date and the seller agrees that possession may be taken immediately.

Dated This 27 day June 1972 7:30⁹am

x Oliver Jones

x John D. Messer

x _____



HOUSING RESOURCES SURVEY

**RELOCATION ASSISTANCE NEEDS OF RESIDENTS OF
EMANUEL HOSPITAL PROJECT AREA**

(To be filled in for each dwelling unit in the Project Area)

Analyst CRONIN Date of survey 2/16/71 Tabulator _____ Date tabulated _____
 Dwelling Unit No. 6 Structure No. 6 Census Block No. 24 Census Tract No. 220
 Street Address 3317 W. LINCOLN Apartment No. _____

A. Status Of Relocation Assistance Needs At This Dwelling Unit:

1. Assistance may be needed, yes _____, no _____
2. Why no assistance may be needed
 - a. _____ Vacant
 - b. _____ Will be vacated on the following date _____
 - c. _____ Other reasons _____

*will not
assist with these
questions*

B. Residents Of This Dwelling Unit Who May Need Relocation Assistance:

Name	Family relation	Age	Sex	Occupation
1. JONES, OLLIE	M/M	Head of household	51	M
2. JONES, MARY		50	F	
3. _____				
4. _____				
5. _____				
6. _____				
7. _____				
8. _____				
9. _____				

C. Family Income And Extent Of Travel To Locations Of Employment:

1. Jobholders in this household, employers and location of jobs: Distance

Names of jobholders	Names of employers	Street address where jobs are located	to work
ollie	U. Pacific		1
Mary	EMANUEL Hosp		1/2

2. Monthly income from jobs and from all other sources received by persons in this household:

Names of persons in this household who have income from any source	Amount of income per month	
	In month before this survey	In an average month during 1970
(refused to give)	\$ _____	\$ _____
Total family or household income per month	\$ <u>est. 500+</u>	\$ _____

D. Characteristics Of Replacement Housing Needs Expected To Be Sought:

1. Location (indicate approximate cross streets) _____
2. Transportation, number of autos owned 2, use bus _____, walk _____
3. Will rent house _____, apartment _____, expect to pay rent, including utilities, at \$ _____ per mo. (Furniture is owned, yes _____, no _____, stove and refrigerator owned, yes _____, no _____)
4. Will buy house in price range \$ comparable down payment of \$ _____, monthly payment of \$ _____
5. If now buying this house, how much are payments on contract or mortgage monthly \$ _____
6. Size of unit to be sought, number of bedrooms 2, kitchen 1, dining room 1, living room 1, number of bathrooms 1, total sq. ft. in dwelling unit _____
7. Other characteristics W O B I M

HOUSING RESOURCES SURVEY
To be Filled in For Each Dwelling Unit in All Survey Areas

Date _____

Analyst OC Surveyed 2/11/71 Tabulator _____ Date _____
 Dwelling Unit No. 6 Structure No. 6 Census Block No. 24 Census Tract No. 22A
 Street Address 3317 N. VANCOUVER AVE Apartment No. _____
 Legal Description _____

NAME OF OCCUPANT: _____	NAME & ADDRESS OF OWNER <u>OLLIE JONES</u>	NAME & ADDRESS OF PROP. MGR: _____
TELEPHONE: _____	TELEPHONE: _____	TELEPHONE: _____
INTERVIEWED? () Yes () No	INTERVIEWED? (X) Yes () No	INTERVIEWED? () Yes () No

I. DESCRIPTION OF STRUCTURE

<u>✓</u> One-family house	No. of units in bldg. _____
_____ Apt. in a house	_____
_____ Apt. in apt. bldg. or plex	_____
_____ Apt. in comm. bldg.	_____
_____ Mobile home or trailer	_____

This structure has 1 stories (do not count basement)

II. OCCUPANCY STATUS OF DWELLING UNIT

✓ Owner occupied
 _____ Renter occupied
 _____ Vacant

III. SIZE OF DWELLING UNIT

1196 Sq. ft. in first floor (county figure)
1196 Sq. ft. in dwelling unit (if more than 1 floor)
5 Total no. of rooms (include kitchen, dining, living and bedrooms, exclude bathrooms)
1 No. of bathrooms
2 No. of bedrooms (rooms used mainly for sleeping)

IV. ASSESSOR'S MARKET VALUATION DATA

A. Dates or period of time
1971 Period market value data applicable
1967 Date of last appraisal
1902 Date structure was originally built

B. Market value data for one-family dwelling

Market value	_____	Computed value per sq. ft.	_____
Land	\$ <u>3320</u>	\$	_____
Improvements	<u>2800</u>		_____
Total	<u>6120</u>		_____

C. Market value data for dwelling unit in a multiple-family structure or commercial bldg.

Land	Market value for entire structure	Computed value per sq. ft. for this dw. unit
Improvements	\$ _____	\$ _____
Total	_____	_____

_____ Sq. ft. of all d. u. in this structure
 _____ Sq. ft. of commercial space and value of commercial space: Land \$ _____, improvements \$ _____, total \$ _____.

V. RENTAL RATE FOR THIS RENTED UNIT

Monthly average rent	Cash rent	Utilities	Total paid by renter
Rent	\$ _____	_____	\$ _____
Electricity	_____	\$ _____	_____
Gas	_____	_____	_____
Water	_____	_____	_____
Heat (oil, or other)	_____	_____	_____
Total	\$ _____	\$ _____	\$ _____

Deposits required of renter
 Advance rent \$ _____, other \$ _____

Rental information obtained from
 Tenant _____, owner _____, manager _____, or estimated from assessor's data _____.

VI. FOR SALE INFORMATION FOR THIS HOUSE THAT IS OCCUPIED BY OWNER OR RENTER

Listed with broker, yes _____, no _____
 Advertised by owner, yes _____, no _____
 Cash asking price \$ _____
 Period house has been for sale, months _____

VII. REMARKS

1 1-00990-0730 BYRNE, VINCENT & ELLA M

MAP: 2730

BY JONES OLLIE

ZONE: M3

RATIO: 1301

3317 N VANCOUVER AVE

LVY C: 001

PORTLAND OREGON

97227

ALBINA ADD

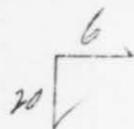
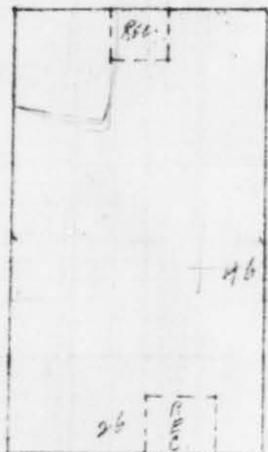
LOT BLOCK

14

4

PROPERTY ADDRESS: 3317 N VANCOUVER AVE
PORTLAND

APPEALS:



N. VANCOUVER

FRONT OF BUILDING

AVE OR ST



ASSESS YEAR	MIN WIDTH	SUMMARY ASSESSED VALUATION - REAL PROPERTY			DATE	
		TIMBER	LAND	IMPS		TOTAL
67			380	860	1240	660-
68			3,200	2,700	5,900	66 15 68
1971			3,320	2,800	6,120	UD

Mod. to Bldg. Very Heavy Traffic + Noise.
Front of Land

1968 Dist R.M.
P.L. - 7067

DATE	5 22 67	SIGN	[Signature]	DEPUTY
DATE	AN 7 67	REVIEWED		NOTIFIED
DATE		BLDG COUNT		
DATE		INDEX		
DATE		PE CHECKED	26 67	
DATE		GREEN		

NUMBER OF REV. 3-65

