

MAIN FLOOR PLAN KEY NOTES

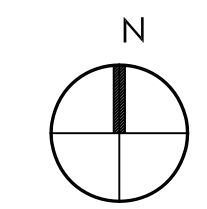
- 1 ELECTRICAL METERS. SEE ELECTRIC PLANS
- 2 ELECTRICAL MAIN DISTRIBUTION PANEL. SEE ELECTRIC PLANS
- 3 ELECTRICAL TRANSFORMER - SEE ELECTRIC PLANS
- 4 VENDOR ELECTRICAL PANELS
- 5 DOMESTIC WATER BACK FLOW DEVICE
- 6 FIRE SPRINKLER BACK FLOW DEVICE
- 7 LANDSCAPE PLANTER, 2" METAL PLATE, POWDER COATED, ALL SIDES. PLANTS TO INCLUDE:
- EVERGREEN SHRUBS AT 4'-0" TO FORM A SCREEN 6' HIGH
- (1) SMALL DECIDUOUS TREE
- GROUND COVER TO FULLY COVER PLANTER AREA
- 8 HSS VERTICAL SUPPORT. SEE STRUCTURAL
- 9 GLU-LAM COLUMN. SEE STRUCTURAL
- 10 BUSSING STATION
- 11 DISH STORAGE SHELVING. PROVIDE BLOCKING IN WALLS
- 12 DOWNSPOUT LOCATION
- 13 ROOF DRAIN PIPE FROM GUTTER AT SECOND FLOOR ROOF ABOVE
- 14 VERTICAL WOOD SCREEN AT NORTH SIDE OF INTERIOR STAIR
- 15 HANDRAIL AT FIRST STAIR RISER....
- 16 NEW CONCRETE SHEAR WALL ON GRID LINE B - SEE STRUCTURAL
- 17 EXISTING BRICK MASONRY WALL TO REMAIN AS ARCHITECTURAL FEATURE. SEE STRUCTURAL FOR STRENGTHENING REQUIREMENTS
- 18 NEW CONCRETE SHEAR WALL AT EXISTING INTERNAL MASONRY WALL TO REMAIN. SEE STRUCTURAL
- 19 OPEN RISER. HEAVY TIMBER STAIR TREADS....
- 20 NEW CONCRETE SHEAR WALL. SEE STRUCTURAL
- 21 FURR OUT INTERIOR WALL. 2x4 W/ 1/2" GYP. TO 18" ABOVE SLAB
- 22 8'-0" HIGH STEEL FENCE AND GATE AT WEST SIDE OF UPPER COURTYARD ALONG 28TH AVENUE R.O.W.. SEE EXTERIOR ELEVATIONS. GATE TO BE EQUIPPED WITH PANIC HARDWARE AT EGRESS SIDE/ COURTYARD SIDE
- 23 HINGED STEEL GATE AT WEST SIDE OF LOADING AREA. SEE EXTERIOR ELEVATIONS
- 24 CONTINUOUS WOOD SEATING BENCH
- 25 LONG TERM BIKE PARKING RACK. (6) TOTAL. TO BE MOUNTED TO CMU WALL IN BIKE STORAGE
- 26 CONTINUOUS METAL HANDRAIL AT SOUTH SIDE OF STAIR
- 27 CONTINUOUS METAL HANDRAIL AT CENTER OF STAIR
- 28 18" x 18" CATCH BASIN - SEE CIVIL PLANS
- 29 GREASE INTERCEPTOR BELOW GRADE - SEE CIVIL PLANS
- 30 STORM WATER DETENTION TANK (BELOW GRADE) AND FLOW CONTROL MANHOLE - SEE CIVIL PLANS
- 31 HINGED STEEL GATE / SCREEN AT WEST SIDE OF ELECTRIC METERS AND TRASH AREA (AT GRID 5)

FLOOR PLAN GENERAL NOTES

- 1. All exterior concrete walls to remain
- NEW INTERIOR PARTITION, SEE SHEET A0.3
- EXISTING PARTITION
- EXISTING EXTERIOR WALL
- 2. Contractor to verify all conditions and dimensions before and during construction. Notify architect of any discrepancies prior to and during construction.
- 3. All work to be performed in strict compliance with local, state, & federal codes & ordinances.
- 4. All construction is to comply with the 2019 Oregon Energy Code
- 5. Do not scale drawings.
- 6. All dimensions are to face of framing unless otherwise noted.
- 7. Provide blocking & fire stopping to meet all applicable codes.
- 8. Seal all construction joints, plumbing and electrical penetrations to ensure maximum air tightness and insulation.
- 9. Coordinate with architect for HVAC equipment, duct, and vent locations. Provide smoke and carbon monoxide detectors as required by code.
- 11. Mechanical, Plumbing, Electrical and Communications systems are Design/Build. Design/Build contractors to submit drawings to building department for all required permits and to Architect for review.
- 12. Contractor to coordinate all hardware with owner requirements, and shall match owner requirements.
- 13. All mounting heights shall comply with all local and state ADA, and building code's restrictions and requirements.
- 14. See 2/A-- for typical interior partition assemblies and improvements to existing horizontal assemblies.
- 15. Paint to be washable

DOOR #	DOOR AND FRAME SCHEDULE										
	DOOR						FRAME		HARDWARE		NOTES
	WD	HGT	THK	TYPE	MATERIAL	FINISH	MATERIAL	FINISH	FIRE RATING	SET NO	
100	PR 3'-9"	8'-0"	1 3/4"	FG	AL/C	FF	AL/C	FF	--	0.000	Exterior
101	3'-6"	8'-0"	1 3/4"	FG	AL/C	FF	AL/C	FF	--	0.000	Exterior
102	3'-6"	7'-0"	1 3/4"	FG	AL/C	FF	AL/C	FF	--	0.000	Exterior
103	3'-6"	7'-0"	1 3/4"	FG	AL/C	FF	AL/C	FF	--	0.000	Exterior
104	3'-0"	7'-0"	1 3/4"	FG	AL/C	FF	AL/C	FF	--	0.000	Exterior
105	3'-0"	7'-0"	1 3/4"	FG	AL/C	FF	AL/C	FF	--	0.000	Exterior
106	3'-0"	7'-0"	1 3/8"	FG	AL/C	FF	AL/C	FF	--	0.000	Exterior
107	3'-0"	7'-0"	1 3/8"	FG	AL/C	FF	AL/C	FF	--	0.000	Exterior
108	3'-0"	7'-0"	1 3/8"	FG	AL/C	FF	AL/C	FF	--	0.000	Exterior
109	3'-0"	7'-0"	1 3/8"	FG	AL/C	FF	AL/C	FF	--	0.000	Exterior
110	3'-0"	7'-0"	1 3/8"	FG	AL/C	FF	AL/C	FF	--	0.000	Exterior
111	3'-0"	7'-0"	1 3/8"	FG	AL/C	FF	AL/C	FF	--	0.000	Exterior
112	3'-0"	7'-0"	1 3/8"	FG	AL/C	FF	AL/C	FF	--	0.000	Exterior
113	3'-0"	7'-0"	1 3/8"	FG	AL/C	FF	AL/C	FF	--	0.000	Exterior
114	3'-0"	7'-0"	1 3/8"	FG	AL/C	FF	AL/C	FF	--	0.000	Exterior

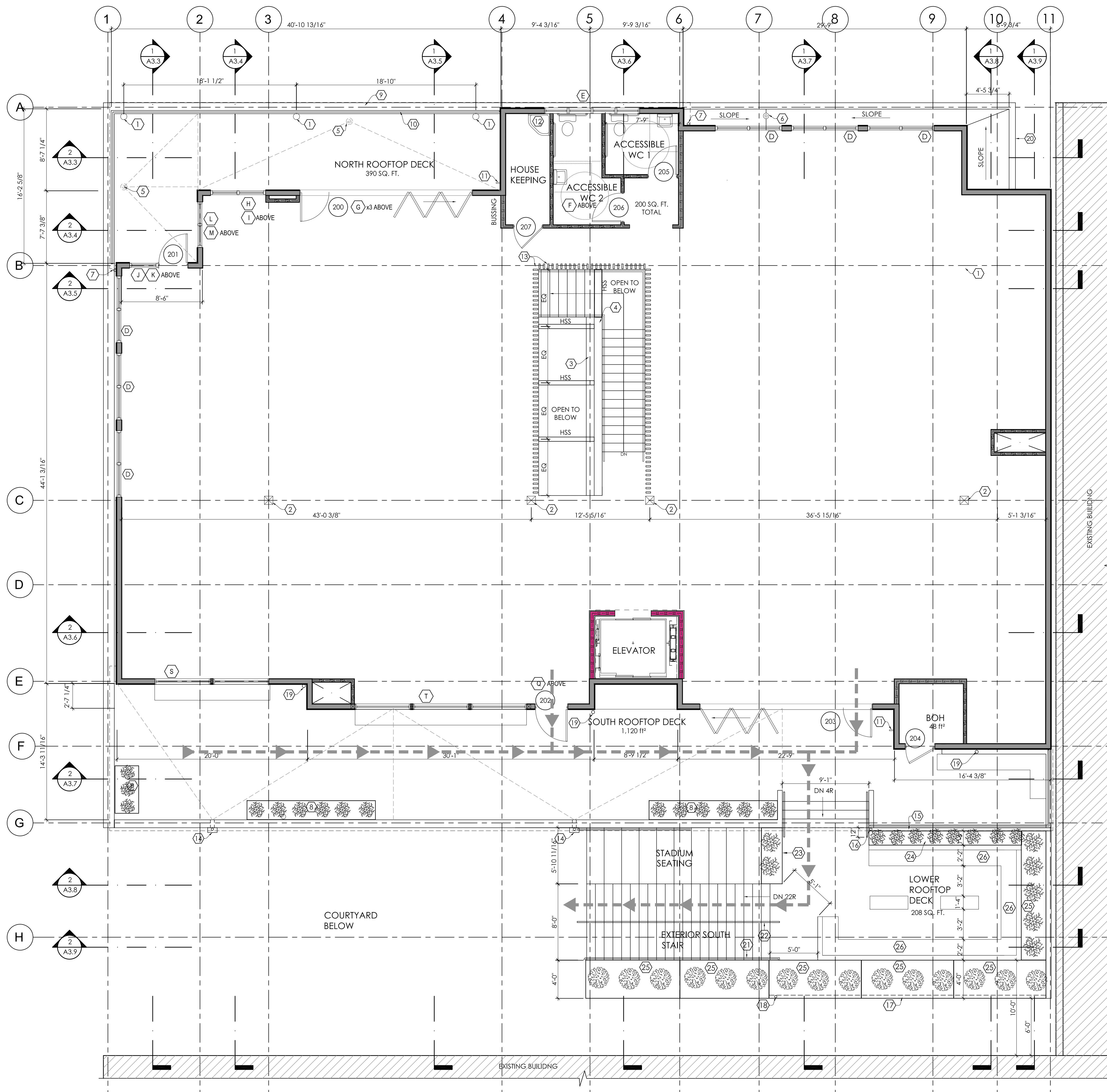
1 FIRST FLOOR PLAN
3/16" = 1'-0"



FIRST FLOOR PLAN
 Design Development
 April 18, 2023
 Thurman Food Hall
 2774-2788 NW Thurman St.
 Portland, OR

A2.1

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5,376 GROSS SQ. FT. BUILDING
(DOES NOT INCLUDE ELEVATOR AND STAIR OPENING)

2,226 GROSS SQ. FT. BALCONY AREA

NET INDOOR SEATING AREA = 3,233 SQ. FT. (62%)
TOTAL VENDOR AREA = 1,413 SQ. FT. (26.6%)
BOH + BATHROOMS = 416 SQ. FT. (7.8%)

(note, remaining unaccounted building area is related to exterior walls)

FLOOR PLAN GENERAL NOTES

- All exterior concrete walls to remain
- Contractor to verify all conditions and dimensions before and during construction. Notify architect of any discrepancies prior to and during construction.
- All work to be performed in strict compliance with local, state, & federal codes & ordinances.
- All construction is to comply with the 2019 Oregon Energy Code
- Do not scale drawings.
- All dimensions are to face of framing unless otherwise noted.
- Provide blocking & fire stopping to meet all applicable codes.
- Seal all construction joints, plumbing and electrical penetrations to ensure maximum air tightness and insulation.
- Coordinate with architect for HVAC equipment, duct, and vent locations.
- Provide smoke and carbon monoxide detectors as required by code.
- Mechanical, Plumbing, Electrical and Communications systems are Design/Build, Design/Build contractors to submit drawings to building department for all required permits and to Architect for review.
- Contractor to coordinate all hardware with owner requirements, and shall match owner requirements.
- All mounting heights shall comply with all local and state ADA, and building code's restrictions and requirements.
- See 2/A--- for typical interior partition assemblies and improvements to existing horizontal assemblies.
- Paint to be washable

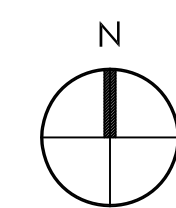
SECOND FLOOR PLAN KEY NOTES

- 6" STD PIPE COLUMN, PAINTED, SEE STRUCTURAL
- GLU-LAM POST - SEE STRUCTURAL
- TOP OF EXISTING BRICK WALL TO REMAIN, SEE STRUCTURAL
- TOP OF NEW CONCRETE SHEAR WALL, SEE STRUCTURAL
- COVERED NORTH BALCONY FLOOR DRAIN, SEE PLUMBING PLANS
- ROOF DRAIN, SEE PLUMBING PLANS
- DOWNSPOUT FROM NORTH BALCONY ROOF, SEE PLUMBING PLANS
- 3/4" STEEL PLATE PLANTER, POWDER COATED
- PARAPET, SEE EXTERIOR ELEVATIONS
- GUARDRAIL AT TOP OF PARAPET, TOP OF = 42" ABOVE BALCONY FLOOR
- HOSE BIB, SEE PLUMBING PLANS
- MOP SINK
- VERTICAL WOOD SCREEN:
- SCUPPER & DOWNSPOUT AT SOUTH BALCONY / SOUTH FACADE
- CONTINUOUS 19'-2" LONG BOX GUTTER AT EAST END OF SOUTH BALCONY
- DOWNSPOUT AT WEST END OF GUTTER (PENETRATES LOWER ROOFTOP DECK FLOOR / STORAGE ROOM CEILING)
- CONTINUOUS 29'-2" LONG BOX GUTTER AT SOUTH SIDE OF LOWER ROOFTOP DECK (BELOW PLANTERS, SEE SECTION...)
- DOWNSPOUT AT WEST END OF GUTTER AT LOWER ROOFTOP DECK
- DOWNSPOUT LOCATION FROM GUTTER AT SECOND FLOOR ROOF, (DOWNSPOUT TO PENETRATE BALCONY FLOOR / 1ST FLOOR CEILING ASSEMBLY) - (3 TOTAL)
- TOP OF EXISTING MASONRY PARAPET TO REMAIN, HEIGHT VARIES FROM 12" TO 16" ABOVE ROOFING
- CONTINUOUS METAL HANDRAIL AT SOUTH SIDE OF STAIR
- CONTINUOUS METAL HANDRAIL AT CENTER OF STAIR
- REQUIRED PLANTER: 2'-6" x 5'-10" LANDSCAPE METAL PLANTER WITH EVERGREEN SHRUBS AT 2'-6" x 5'-10" O.C. TO FORM A SCREEN 3' HIGH
- REQUIRED PLANTER: 16'-0" x 1'-6" LANDSCAPE METAL PLANTER WITH EVERGREEN SHRUBS AT 2'-6" O.C. TO FORM A SCREEN 3' HIGH
- REQUIRED PLANTER: 13'-6" x 2'-6" LANDSCAPE METAL PLANTER WITH EVERGREEN SHRUBS AT 2'-6" O.C. TO FORM A SCREEN 3' HIGH
- REQUIRED PLANTERS: 9'-8" x 4'-0" LANDSCAPE METAL PLANTERS WITH EVERGREEN SHRUBS AT 3'-6" O.C. TO FORM A SCREEN 6' HIGH, FIVE TOTAL
- CONTINUOUS BENCH AT LOWER ROOFTOP DEK

SECOND FLOOR DOOR AND FRAME SCHEDULE

DOOR #	DOOR						FRAME		FIRE RATING	HARDWARE SET NO	NOTES
	WD	HGT	THK	TYPE	MATERIAL	FINISH	MATERIAL	FINISH			
201	3'-0"	7'-0"	1 3/4"	FG	AL/C	FF	AL/C	FF	--	0.000	Exterior
202	3'-4"	10'-0"	1 3/4"	FG	AL/C	FF	AL/C	FF	--	0.000	Exterior
204	3'-0"	7'-0"	1 3/4"	F	MTL	FF	MTL	FF	--	0.000	Exterior, insulated
205	3'-0"	6'-8"	1 3/8"	F	SC	PT	WD	PT	--	0.000	Private bathroom
206	3'-0"	6'-8"	1 3/8"	F	WD	PT	WD	PT	--	0.000	Private bathroom
207	3'-0"	6'-8"	1 3/8"	F	WD	PT	HM	PT	--	0.000	-
200	18'-2" ?	10'-2" ?	1 3/4"	FG	AL/C	FF	AL/C	FF			BI-FOLD EXTERIOR
203	18'-2" ?	10'-2" ?	1 3/4"	FG	AL/C	FF	AL/C	FF			BI-FOLD EXTERIOR

1 SECOND FLOOR PLAN
3/16" = 1'-0"



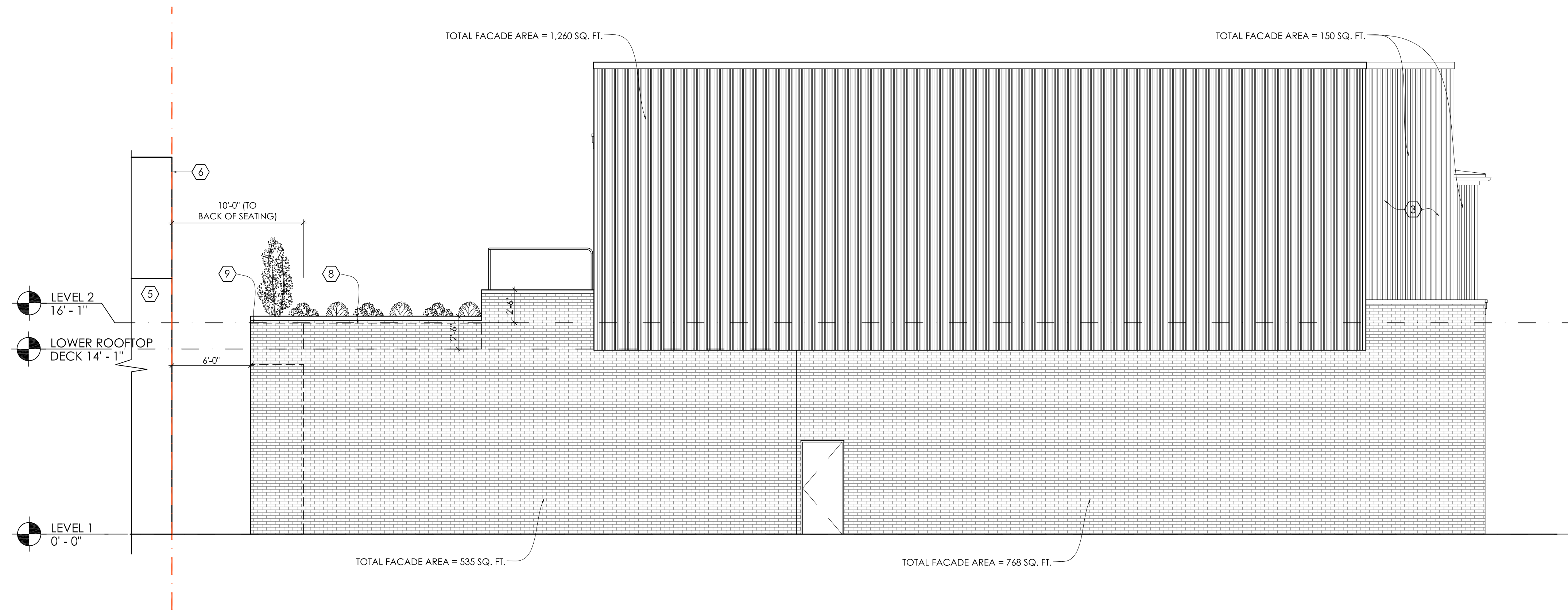
2ND FLOOR PLAN

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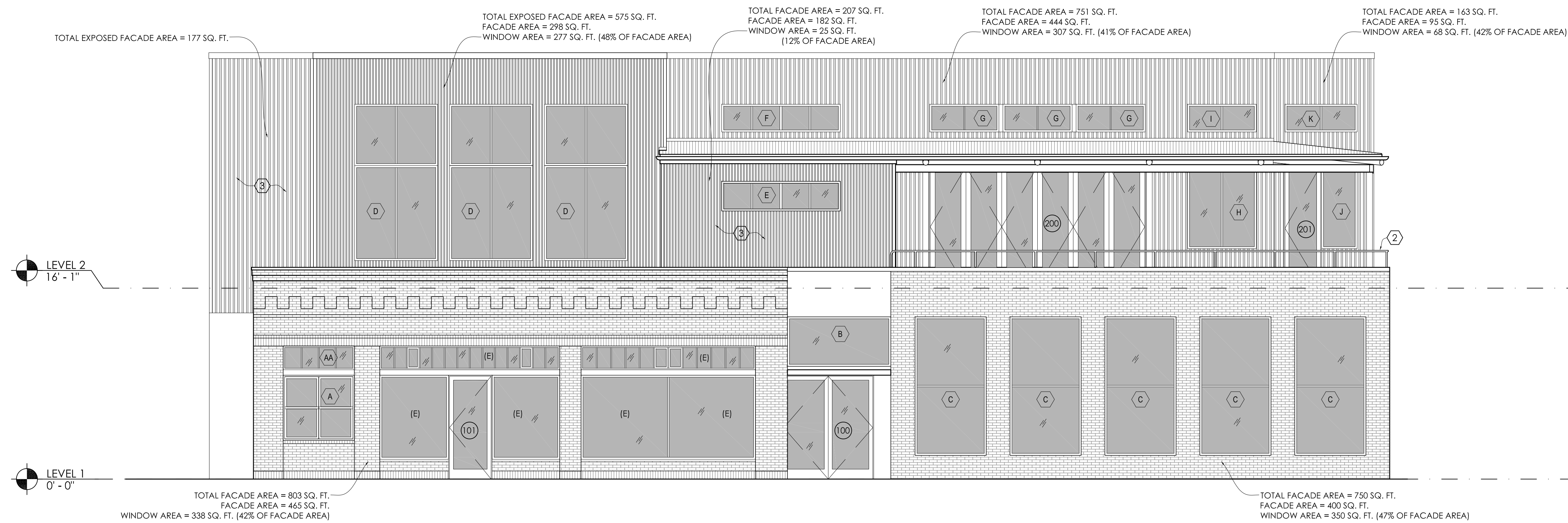
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KEY NOTES

- ① EXISTING MASONRY WALL
- ② BALCONY GUARDRAIL
- ③ NEW SECOND FLOOR WALLS BEYOND
- ④ NEW STAIRS AND SEATING TO SECOND FLOOR BALCONY AREA ABOVE
- ⑤ EXISTING TROLLEY CAR LOFTS BUILDING, ADJACENT TO SOUTH SIDE OF SITE. SEE EXHIBIT 4
- ⑥ SOUTH PROPERTY LINE
- ⑦ NEW LANDSCAPE PLANTER, 3/4" METAL PLATE (3/4" = PLANTER WALL THICKNESS), POWDER COATED, ALL SIDES. PLANTS TO INCLUDE:
 - EVERGREEN SHRUBS AT 4'-0" TO FORM A SCREEN 6' HIGH
 - (1) SMALL DECIDUOUS OR EVERGREEN TREE
 - GROUND COVER TO FULLY COVER PLANTER AREA (All plants shall comply with the requirements in the suggested plant lists for required Landscaping manual)
- ⑧ SECOND FLOOR LANDSCAPE PLANTER: ALL LANDSCAPE PLANTERS AT SECOND FLOOR BALCONIES/ ROOF TOP DECKS TO BE 3/4" METAL PLATE (PLANTER WALL THICKNESS), POWDER COATED, ALL SIDES. PLANTS TO INCLUDE EVERGREEN SHRUBS AT 2'-6" O.C. TO FORM A SCREEN 3' HIGH
- ⑨ SECOND FLOOR PLANTER AT SOUTH SIDE OF LOWER ROOF DECK AND OUTDOOR STAIRS: (5) 9'-8" x 4'-0" PLANTERS TO BE 3/4" METAL PLATE (PLANTER WALL THICKNESS), POWDER COATED, ALL SIDES. PLANTS TO BE EVERGREEN SHRUBS AT 3'-6" O.C. TO FORM A SCREEN 6' HIGH
- ⑩ STEEL FENCE WITH (2) PEDESTRIAN GATES AND (1) LOADING GATE. LOCKABLE PEDESTRIAN GATE W/ EXTERIOR GRADE LATCH AND HARDWARE (GATE TO REMAIN UNLOCKED DURING BUSINESS HOURS. PANIC EXIT HARDWARE ON EGRESS SIDE OF GATE, TYP.
- ⑪ HINGED STEEL GATE / SCREEN AT WEST SIDE OF ELECTRIC METERS AND TRASH AREA

1 EAST ELEVATION
1/4" = 1'-0"

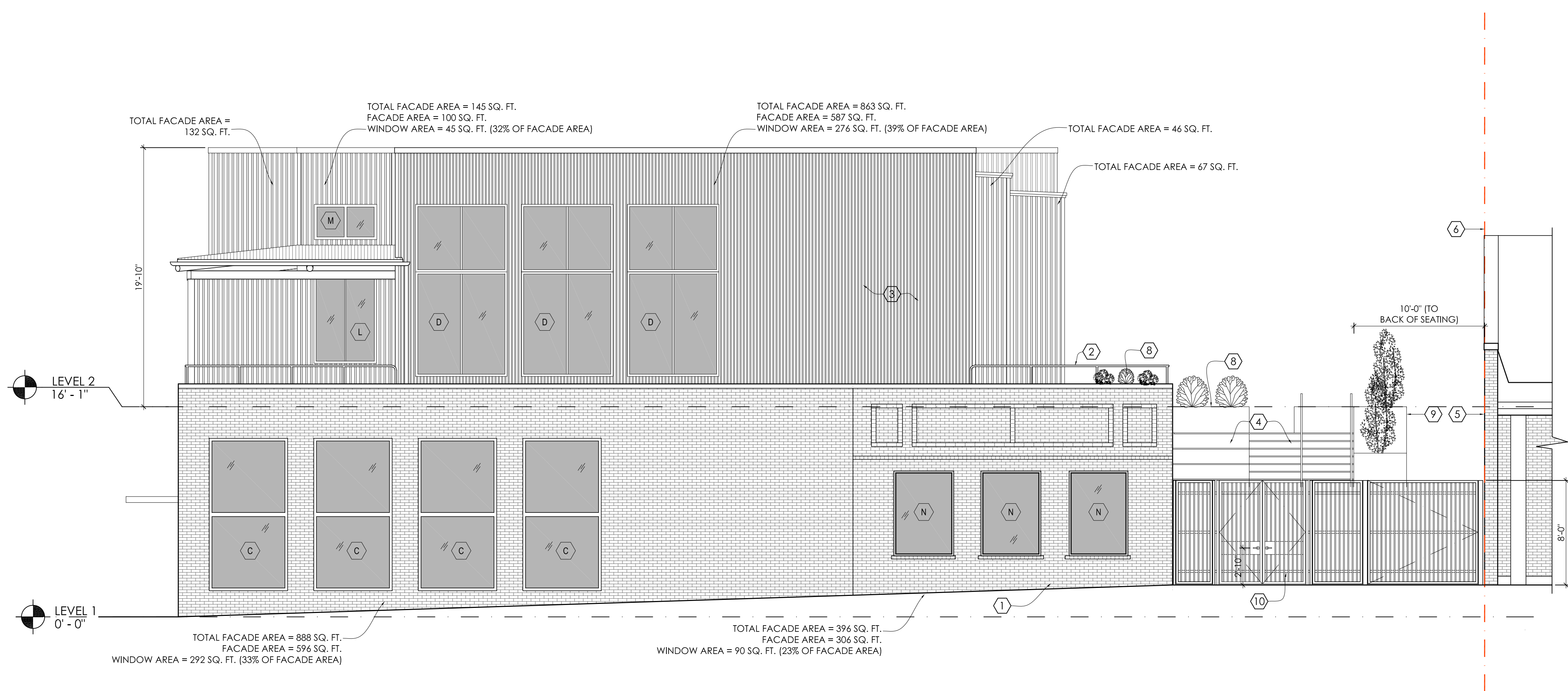


2 NORTH ELEVATION
1/4" = 1'-0"

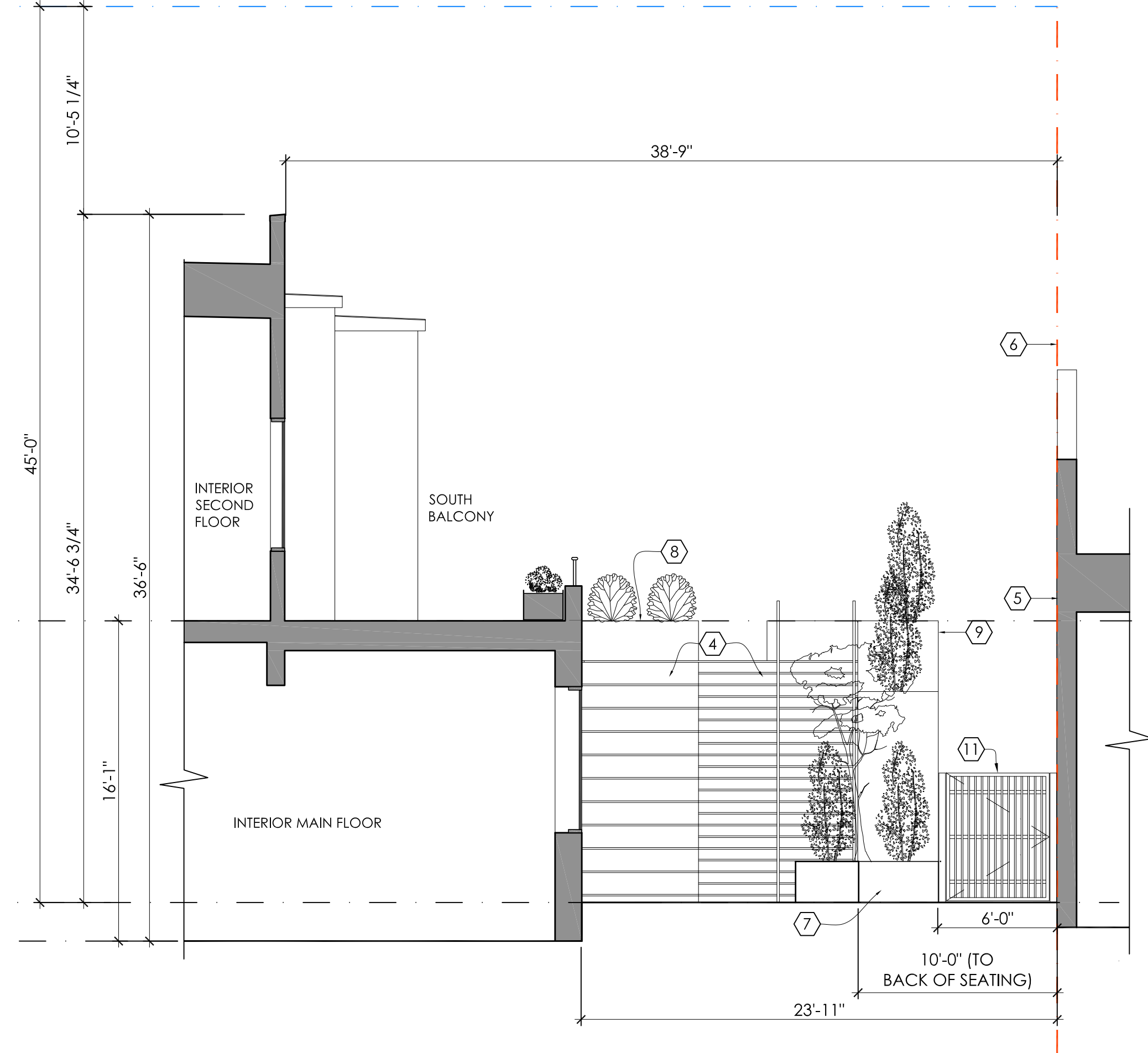
EXTERIOR ELEVATIONS

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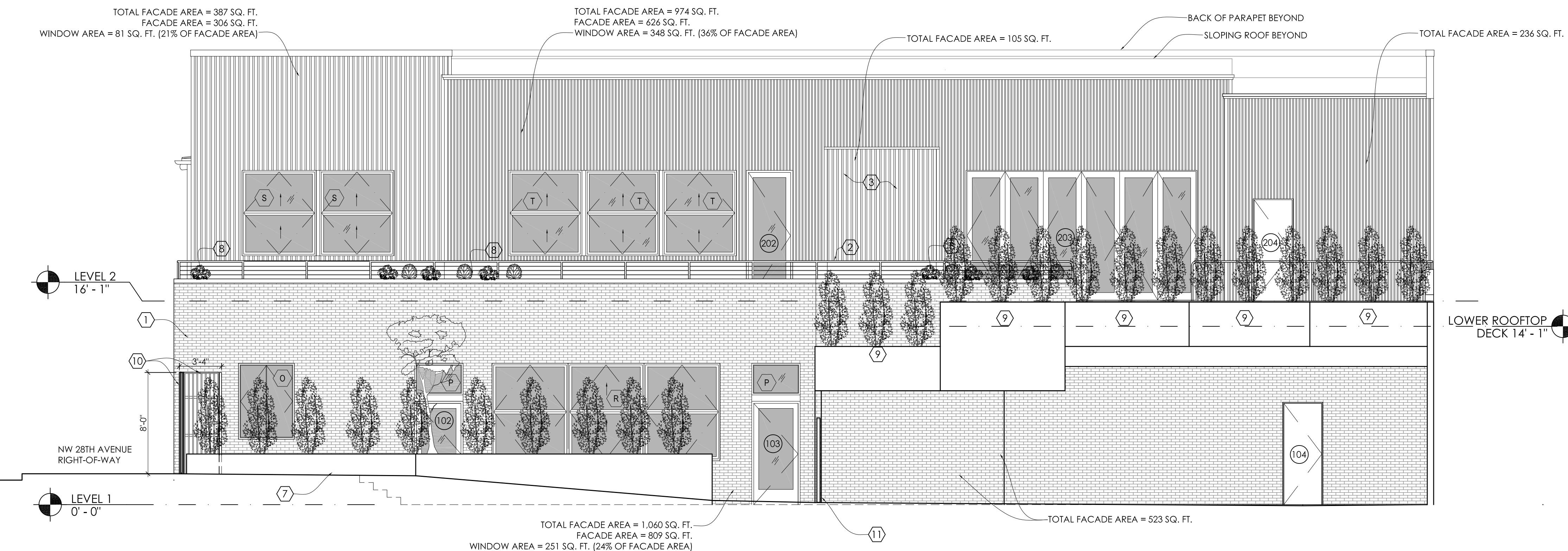
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1 WEST ELEVATION (AT R.O.W.)
3/16" = 1'-0"



3 WEST ELEVATION (WITHIN COURTYARD)
3/16" = 1'-0"



2 SOUTH ELEVATION
3/16" = 1'-0"

KEY NOTES

- 1 EXISTING MASONRY WALL
- 2 BALCONY GUARDRAIL
- 3 NEW SECOND FLOOR WALLS BEYOND
- 4 NEW STAIRS AND SEATING TO SECOND FLOOR BALCONY AREA ABOVE
- 5 EXISTING TROLLEY CAR LOFTS BUILDING, ADJACENT TO SOUTH SIDE OF SITE. SEE EXHIBIT 4
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- 9 SECOND FLOOR PLANTER AT SOUTH SIDE OF LOWER ROOF DECK AND OUTDOOR STAIRS: (5) 9'-8" x 4'-0" PLANTERS TO BE 3/4" METAL PLATE (PLANTER WALL THICKNESS), POWDER COATED, ALL SIDES. PLANTS TO BE EVERGREEN SHRUBS AT 3'-6" O.C. TO FORM A SCREEN 6' HIGH
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EXTERIOR ELEVATIONS

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