### **Development Services**

#### From Concept to Construction



Phone: 503-823-7300 Email: bds@portlandoregon.gov 1900 SW 4th Ave, Portland, OR 97201 More Contact Info (http://www.portlandoregon.gov//bds/article/519984)

|  | ered - Held over from ID 27888 (7/20   |   |  |
|--|--|---|--|
| Appeal ID: 27924   |  | Project Address: 716 SE Grand Ave   |  |
| Hearing Date: 8/3/22   |  | Appellant Name: Tom Jaleski   |  |
| Case No.: B-008  |  | Appellant Phone: 971-238-5266   |  |
| Appeal Type: Building  |  | Plans Examiner/Inspector: Steve Mortensen   |  |
| Project Type: commerc  | ial  | Stories: 2 Occupancy: A, B, S-1 Construction Type: III-B  |  |
| Building/Business Na   | <b>me:</b> Literary Arts   | Fire Sprinklers: Yes - Entire Building  |  |
| Appeal Involves: Reco  | nsideration of appeal  | LUR or Permit Application No.:  |  |
| Plan Submitted Optior<br>4] [File 5] [File 6]<br>APPEAL INFORMA<br>Appeal item 1   | n: pdf [File 1] [File 2] [File 3] [File  | Proposed use: Commercial  |  |
| •••  | 0000 0000 1  |   |  |
| Code Section   | OSSC 2902.1  |   |  |
|  |  | ng official and shall reflect the use of the space being served<br>pants shall be determined by this code.  |  |
| Code Modification or       Permit an existing building bathroom fixture count based on adoption of building wide single-u         Internate Requested       toilet facilities and lower actual user count compared to code required means of egress occup         Ioad.       Reconsideration Text         No Change       No Change |  |   |  |
| Proposed Design  | Oregon, located in the historical Nat<br>Oregon. This space was used previo<br>office, storage and assembly spaces<br>the next generation with great literat<br>user water closets and 8 single-user | existing historical building. Literary Arts, Inc. of Portland,<br>haniel West Building at 719 SE Grand Avenue in Portland,<br>busly as a furniture sales store and will be converted into<br>a used for engagement of readers, support writings and inspir-<br>ure. The building is proposed to be equipped with 8 single-<br>avatories. Based upon plumbing fixture calculations in<br>equired plumbing fixtures totals are 11 water closets and 8 |  |

lavatories. All restrooms are single-user toilet facilities in accordance with Section 2902.1.2. The first-floor entrance opens to the bookstore/event space which will serve as dual occupancy business and assembly type A-3 when functions are active. The assembly space will be concentrated (chairs only-not fixed) and have an occupant load factor of 1 occupant per 7 square feet. With the assembly occupancy, the required plumbing calculations push the minimum required plumbing fixture count higher than the existing fixture count.

We request that the reduced required minimum plumbing fixture count be permitted based on the following improvements:

The building will be provided with eight single user toilets available to all users/genders. The building will undergo seismic upgrade per the ASCE 41-BPON as required by City code Title 24.85

The building will be fully sprinklered throughout.

Automatic smoke detection and audio/visual notification shall be installed throughout the building. All restrooms to be single-user toilet facilities to be available to any persons in the building, to accommodate "Potty Parity" - equal allocation for all genders.

A new second stair to be added to Level 2 for increased access to all restroom facilities Reconsideration Text

The project involves alteration of an existing historical building. Literary Arts, Inc. of Portland, Oregon, located in the historical Nathaniel West Building at 719 SE Grand Avenue in Portland, Oregon. This space was used previously as a furniture sales store and will be converted into office, storage and assembly spaces used for engagement of readers, support writings and inspire the next generation with great literature. The building is proposed to be equipped with 8 single-user water closets and 8 single-user lavatories. Based upon plumbing fixture calculations in accordance with Table 2902.1 and the Office Space Occupant Load Calculation OSSC/10/#10 document, the required plumbing fixtures totals are 9 water closets and 7 lavatories. All restrooms are single-user toilet facilities in accordance with Section 2902.1.2.

The first-floor entrance opens to the bookstore/event space which will serve as dual occupancy business and assembly type A-3 when functions are active. The assembly space will be concentrated (chairs only-not fixed) and have an occupant load factor of 1 occupant per 7 square feet. With the assembly occupancy, the required plumbing calculations push the minimum required plumbing fixture count higher than the existing fixture count.

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A new second stair to be added to Level 2 for increased access to all restroom facilities

**Reason for alternative** For the day-to-day operations of Literary Arts, the building will serve ultimately as a business type occupancy. As such, the plumbing fixture calculations for the conference rooms, which push the minimum required plumbing fixture counts higher than the existing plumbing fixtures are calculated for, lead to overcalculation based on the actual occupant load. All conference rooms are sized less than 750-square feet and are more closely associated with the business type occupancy that exists as the dominant occupancy of the building. With the plumbing fixtures calculated with these rooms at one occupant per 150 square feet as business occupancies, the minimum required plumbing fixtures would be nine water closets and six lavatories. The building exceeds the minimum required lavatory count and is only deficient by a single water closet. As these plumbing

fixture calculations take potty parity into account, the fixture calculations also lead to overcalculation based on actual use. The restrooms provide an equality of fixture availability to all persons all genders equally. Since the restroom availability will be equal to all persons and genders, the historical situations where long lines of women waiting to use toilet facilities is not anticipated to be present as all restrooms will be available to all persons in the building. As such, the "potty parity" should be 1 to 1 for the building.

Literary Arts has a history of organizing community events, and the staff is well-trained to manage these events and attend to guest needs. During each function that would necessitate the assembly occupancy in the bookstore, the staff that works on Level 2 will provide support to the assembly space. It is anticipated that there will be a minimal number of occupants on Level 2 during these functions and that the restrooms on Level 2 will still function for their occupants' use. The addition of a second stair to Level 2 further increases the ease of access to these restrooms and additional restrooms for occupants of Level 2. There are four toilets in the basement level, which are also accessible to the visitors by an open stair and dedicated corridor.

The existing building was constructed in 1892 and has been fully operational for 130 years. The historical character of this building is vital to the property. The proposed remediation will preserve the historic character of the building while extending its useful life for a very long time. This preserves and enhances the character of the neighborhood and demonstrates a commitment to sustainable growth in a uniquely Portland way.

Beyond the life safety improvements, this project will create a special place for community members to create opportunities for readers and writers of all ages and walks of life to engage with books and stories. The statement below speaks volume about this organization and its commitment to sustaining and enhancing the character of the community we live in starting with their own building.

"We are committed to a different future, one in which all members of our community have the opportunity to tell their stories, particularly members of our communities of color. Though we acknowledge there are a variety of marginalized and oppressed identities within our community, our emphasis in this work is on race and ethnicity. Facility and comfort with the language of racial oppression can be used to develop empathy and understanding across issues of gender, sexual orientation, and ability. It is our hope that by addressing racial inequity in our community, we will create a space in which readers, writers, and youth of any and all identities feel welcome." – Literary Arts website

Such activities are simple things that the majority of us take for granted but not available to the marginalized population that this organization reaches out to that otherwise is not served at all. It is important to find an alternate but safe path that will allow these simple but important features to be incorporated into this project. We believe that this proposal does that and hope that you will agree.

We believe that the proposed improvements will more than compensate for the plumbing fixture count and provide equivalent restroom access and availability as the code intended, while revitalizing a building that is a community treasure. Therefore, we urge you to approve it.

#### **Reconsideration Text**

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plumbing fixtures would be six water closets and six lavatories. The building would be compliant with the minimum required plumbing fixtures calculated this way. As these plumbing fixture calculations take potty parity into account, the fixture calculations also lead to overcalculation based on actual use. The restrooms provide an equality of fixture availability to all persons all genders equally. Since the restroom availability will be equal to all persons and genders, the historical situations where long lines of women waiting to use toilet facilities is not anticipated to be present as all restrooms will be available to all persons in the building. As such, the "potty parity" should be 1 to 1 for the building.

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The existing building was constructed in 1892 and has been fully operational for 130 years. The historical character of this building is vital to the property. The proposed remediation will preserve the historic character of the building while extending its useful life for a very long time. This preserves and enhances the character of the neighborhood and demonstrates a commitment to sustainable growth in a uniquely Portland way.

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We believe that the proposed improvements will more than compensate for the plumbing fixture count and provide equivalent restroom access and availability as the code intended, while revitalizing a building that is a community treasure. Therefore, we urge you to approve it.

Appeal item 2

Code Section

Requires

505.2.1 Area Limitation

OSSC 505.2.1

| Code Modification or<br>Alternate Requested | The aggregate area of a mezzanine or mezzanines within a room shall be not greater than one-<br>third of the floor area of that room or space in which they are located. The enclosed portion of a<br>room shall not be included in a determination of the floor area of the room in which the mezzanine<br>is located. In determining the allowable mezzanine area, the area of the mezzanine shall not be<br>included in the floor area of the room.<br>Reconsideration Text<br>No Change<br>Permit an existing mezzanine to exceed the area limits of OSSC 505.2.1 based on the proposed<br>mitigating measures, which included addition of automatic sprinklers, smoke detection and alarm,<br>seismic upgrades, and an additional stair accessing the mezzanine.   |
|---|---|
|   | Reconsideration Text  |
|   | No Change   |
| Proposed Design                             | The project involves alteration of an existing historical building. Literary Arts, Inc. of Portland,<br>Oregon, will be relocating to the historical Nathaniel West Building at 719 SE Grand Avenue in<br>Portland, Oregon. This space was used previously as a furniture sales store and will be converted<br>into office, storage and assembly spaces used for engagement of readers, support writings and<br>inspire the next generation with great literature. The existing mezzanine that has been permitted<br>under the legacy code exceeds the 1/3rd of the floor area of the room it is located in. The area of<br>the mezzanine is 1,370 square feet while the floor area of Level 1 room that it is open to is 2,724<br>square feet. This exceeds one-third the floor area limit of OSSC 505.2.1. We request that this be<br>permitted based on the following proposed improvements: |
|   | The building will undergo seismic upgrade per the ASCE 41-BPON as required by City code Title 24.85   |
|   | The building will be fully sprinklered throughout.<br>Automatic smoke detection and audio/visual notification shall be installed throughout the building.<br>A new second stair will be added to provide second means of egress from the mezzanine<br>Reconsideration Text  |
|   | No Change   |
| Reason for alternative                      | The existing building was built in 1892 and has been fully operational for 130 years. The existing mezzanine is integral part of the historical design of this building. The proposed remediation will preserve the historic character of the building including the existing mezzanine while upgrading to extend its useful life for a very long time. This preserves and enhances the character of the neighborhood and demonstrates a commitment to sustainable growth in a uniquely Portland way.   |
|   | The mezzanine area as it exists today exceeds the ratio permitted by Section 505.2.1. Decreasing the floor area of the mezzanine would be a large task that would significantly reduce the usable area of the building, would be cost prohibitive, and compromise its structural integrity. The proposal will upgrade the building, while optimizing and maximizing the usefulness of the building, and improving safety and survivability of the occupants in case of a fire or other life safety event. For the following reasons this proposal will meet or exceed the code intent.  |
|   | Seismic improvements will make the structure more resilient and improve the safety levels in an emergency.<br>Automatic smoke detection will provide early notification and allow more time for the occupants to exit the building in an emergency.<br>The addition of an NFPA 13 sprinkler system will ensure that any emerging fire will be controlled, if not contained, promptly.   |

Addition of second stair to access the mezzanine will provide a more expedited egress time in an emergency.

Beyond the life safety improvements this proposal provides, this project will create a special place for community members to create opportunities for readers and writers of all ages and walks of life to engage with books and stories. The statement below speaks volume about the purpose of this organization and the commitment to sustaining and enhancing the character of the community we live in starting with their own building.

"We are committed to a different future, one in which all members of our community have the opportunity to tell their stories, particularly members of our communities of color. Though we acknowledge there are a variety of marginalized and oppressed identities within our community, our emphasis in this work is on race and ethnicity. Facility and comfort with the language of racial oppression can be used to develop empathy and understanding across issues of gender, sexual orientation, and ability. It is our hope that by addressing racial inequity in our community, we will create a space in which readers, writers, and youth of any and all identities feel welcome." -Literary Arts website

We believe that the proposed improvements will more than compensate for the increased mezzanine area and provide a level of safety to the occupants as code intended, while revitalizing a building that is a community treasure. Therefore, we urge you to approve it.

**Reconsideration Text** 

No Change

#### Anneal item 2

| Code Section         | OSSC 1007.1.1   |
|----------------------|---|
| Soue Section         |   |
| Requires             | 1007.1.1 Two Exits or Exit Access Doorways  |
|                      | Where two exits, exit access doorways, exit access stairways or ramps, or any combination           |
|                      | thereof, are required from any portion of the exit access, they shall be placed a distance apart    |
|                      | equal to not less than one-half of the length of the maximum overall diagonal dimension of the      |
|                      | building or area to be served measured in a straight line between them. Interlocking or scissor     |
|                      | stairways shall be counted as one exit stairway.  |
|                      | Exceptions:   |
|                      | Where interior exit stairways or ramps are interconnected by a 1-hour fire-resistance-rated corrido |
|                      | conforming to the requirements of Section 1020, the required exit separation shall be measured      |
|                      | along the shortest direct line of travel within the corridor.                                       |
|                      | Where a building is equipped throughout with an automatic sprinkler system in accordance with       |
|                      | Section 903.3.1.1 or 903.3.1.2, the separation distance shall be not less than one-third of the     |
|                      | length of the maximum overall diagonal dimension of the area served.                                |
|                      | Reconsideration Text  |
|                      | No Change   |
| Code Modification or | Permit an existing building with two means of egress separated by less than 1/3rd the diagonal      |
| Alternate Requested  | based on the following mitigating measures; addition of automatic sprinkler system, seismic         |
|                      | upgrades, and automatic smoke detection and alarm.  |
|                      | Reconsideration Text  |
|                      | No Change   |

**Proposed Design** 

The project involves alteration of an existing historical building. Literary Arts, Inc. of Portland, Oregon, located in the historical Nathaniel West Building at 719 SE Grand Avenue in Portland, Oregon. This space was used previously as a furniture sales store and will be converted into office, storage and assembly spaces used for engagement of readers, support writings and inspire the next generation with great literature. The building currently has two exits in the front and one in the back. However, the back exit faces an existing parking lot without a path leading to a public way. That parking lot will get developed in the future and that exit will no longer be available for the occupants of this building. The two existing exits in the front are spaced less than 1/3rd the diagonal, but they are the only exits with access to public way. The diagonal dimension of the ground floor is 93'-4", which requires the two exits to be separated by a distance of 31'-1 1/3". The actual distance between the two exits is 28'-1".

We request that the reduced separation between the two existing exits be permitted based on the following improvements:

The building will undergo seismic upgrade per the ASCE 41-BPON as required by City code Title 24.85

The building will be fully sprinklered throughout.

Automatic smoke detection and audio/visual notification shall be installed throughout the building. Reconsideration Text

No Change

**Reason for alternative** The existing building was built in 1892 and has been fully operational for 130 years. The exterior façade of this building including the location of the two entrances/exits is vital to the historical design of this building. The proposed remediation will preserve the location of these exit and thus the historic character of the building while extending its useful life for a very long time. This preserves and enhances the character of the neighborhood and demonstrates a commitment to sustainable growth in a uniquely Portland way.

It was noted in the BDS Early Assistance Response 12/08/2021 that primary characteristics of the Grand Avenue Historic District include center entrances and storefront predominantly at the street edge. Because of this, moving the main entry or adding a third exit door further south would not align with the historic character of the building or district overall. The separation distance is only deficient by three feet, which is only 10% less than the required separation distance. The proposal to upgrade the building systems, while optimizing and expanding the usefulness of the building will significantly improve safety and survivability of the occupants in case of fire or other life safety event.

We request that the reduced separation between two existing exit doors be permitted based on the following proposed improvements:

Seismic improvements will make the structure more resilient and improve the safety levels in an emergency.

Early smoke detection will allow more time for the occupants to respond to an emergency. The addition of an NFPA 13 sprinkler system will ensure that any emerging fire will be controlled, if not contained, promptly.

The occupant load served by these two exits is 356 occupants, based on the occupant load of Level 1 and Mezzanine, and does not require a third exit based on Table 1006.3.2. Both exits discharge directly onto the public way.

Beyond the life safety improvements, this project will create a special place for community members to create opportunities for readers and writers of all ages and walks of life to engage with books and stories. The statement below speaks volume about this organization and its

commitment to sustaining and enhancing the character of the community we live in starting with their own building.

"We are committed to a different future, one in which all members of our community have the opportunity to tell their stories, particularly members of our communities of color. Though we acknowledge there are a variety of marginalized and oppressed identities within our community, our emphasis in this work is on race and ethnicity. Facility and comfort with the language of racial oppression can be used to develop empathy and understanding across issues of gender, sexual orientation, and ability. It is our hope that by addressing racial inequity in our community, we will create a space in which readers, writers, and youth of any and all identities feel welcome." – Literary Arts website

Such activities are simple things that the majority of us take for granted but not available to the marginalized population that this organization reaches out to that otherwise is not served at all. It is important to find an alternate but safe path that will allow these simple but important features to be incorporated into this project. We believe that this proposal does that and hope that you will agree.

We believe that the proposed improvements will more than compensate for the reduced exit separation and provide a level of safety to the occupants as code intended, while revitalizing a building that is a community treasure. Therefore, we urge you to approve it.

**Reconsideration Text** 

No Change

#### APPEAL DECISION

1. Reduction in the minimum required plumbing fixture count: Granted as proposed.

2. Increase in the maximum allowable area of a mezzanine from one third to one half of the space it is open to: Granted as proposed.

3. Decrease in the minimum allowable exit separation distance from 31 feet, 1 inch to 28 feet, 1 inch: Granted as proposed.

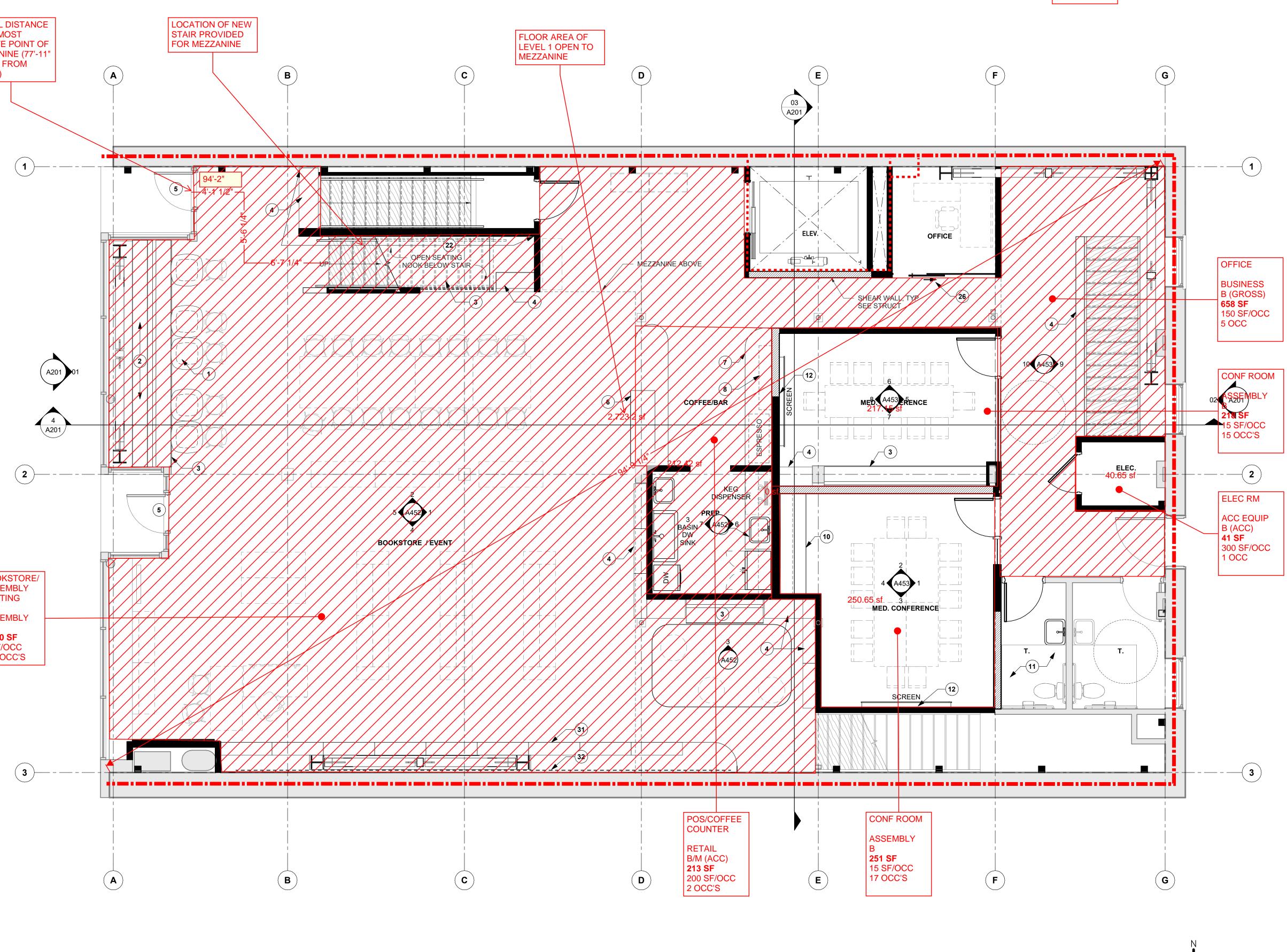
The Administrative Appeal Board finds that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.

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|    | PLAN KEYNOTES   |  |
|----|---|--|
| 1  | BUILT-IN COUNTERTOP, WOOD BUTCHER BLOCK (DOUGLAS FIR) ON PAINTED STEEL LEGS   |  |
| 2  | BUILT-IN RETAIL WINDOW DISPLAY, PAINTED WOOD TIERED PLATFORM  |  |
| 3  | BUILT-IN BENCH, PAINTED WOOD WITH FOAM CUSHION SEAT AND BACK (FABRIC MATERIAL ALLOWANCE \$60/SY)  |  |
| 4  | BUILT-IN OPEN SHELVING FOR RETAIL/BOOK DISPLAY, PAINTED WOOD. (1'-0" DEEP X 7'-6" TALL X WIDTH SHOWN ON PLAN)   |  |
| 5  | PAINT EXISTING ENTRY DOORS  |  |
| 6  | BUILT-IN COFFEE BAR WITH REFRIGERATED DISPLAY CASE. CERAMIC TILE FRONT, QUARTZ TOP, PLASTIC LAMINATE BASE C   |  |
| 7  | BUILT-IN COFFEE BAR. QUARTZ TOP, FULL-HEIGHT CERAMIC TILE BACKSPLASH, AND PLASTIC LAMINATE BASE CABINETS.   |  |
| 8  | WOOD BUTCHER BLOCK (DOUGLAS FIR) SHELVES WITH CONCEALED STEEL BRACKETS. SHELF QUANTITY: 2, SHELF SIZE: 1'-(   |  |
| 9  | BUILT-IN CASEWORK, QUARTZ COUNTERTOP WITH 4" QUARTZ BACKSPLASH, PLASTIC LAMINATE BASE AND UPPER CABINETS  |  |
| 10 | BUILT-IN CASEWORK, PLASTIC LAMINATE COUNTERTOP, PLASTIC LAMINATE BASE CABINETS AND OPEN SHELVING ABOVE.   |  |
| 11 | RELOCATE EXISTING WALL-HUNG LAVATORY SINK AND FAUCET, SOAP AND PAPER TOWEL DISPENSER, MIRROR, AND WALL FIXTURE TO NEW LOCATION SHOWN ON PLAN. REPAIR, REPLACE, AND ADD NEW TILE TO MATCH EXISTING CONDITIONS. |  |
| 12 | PROVIDE BACKING IN WALL FOR WALL HUNG DISPLAY   |  |
| 13 | BUILT-IN CASEWORK, QUARTZ COUNTERTOP WITH 4"H BACKSPLASH AND PLASTIC LAMINATE BASE CABINETS   |  |
| 14 | BUILT-IN CASEWORK, PLASTIC LAMINATE COUNTERTOP ABOVE FILE CABINETS  |  |
| 15 | 5 WALL-HUNG QUARTZ COUNTERTOP WITH 4" BACKSPLASH AND MIRROR   |  |
| 16 | BUILT-IN ADA WOOD BENCH   |  |
| 17 | LOCKERS. BASIS OF DESIGN: HOLLMAN TEXTURED LAMINATE INTEGRATED BENCH LOCKERS  |  |
| 18 | PROVIDE FULL WIDTH, 7' H PAINTED PLYWOOD AND WALL MOUNTED DERO SUPER SPACE SAVER BIKE RACK  |  |
| 19 | WALL HUNG BOOK SHELVES, 'RAKKS' WALL MOUNTED SHELVING SYSTEM  |  |
| 20 | NEW PLUMBING FIXTURES, ACCESSORIES, PARTIAL HEIGHT WALL TILE, AND FLOOR TILE TO MATCH EXISTING BATHROOMS.   |  |
| 21 | NEW ADA SHOWER PAN INSERT, ADA FIXTURES AND ACCESSORIES, AND FULL HEIGHT TALL AT WALLS.   |  |
| 22 | PVC FREE CUSTOM DESIGN WALLCOVERING, FULL HEIGHT, WIDTH INDICATED ON PLAN. BASIS OF DESIGN: DESIGN TEX – BE   |  |
| 23 | PLASTIC LAMINATE COUNTERTOP ON OWNER PROVIDE FILE CABINETS WITH 'RAKKS' WALL MOUNTED SHELVING SYSTEM AE   |  |
| 24 | MTL LADDER TO (N) ROOF HATCH  |  |
| 25 | BUILT-IN CASEWORK WITH QUARTZ COUNTERTOP, 2'H CERAMIC TILE BACKSPLASH, PLASTIC LAMINATE BASE AND UPPER CA   |  |
| 26 | SLIDING WOOD DOOR WITH FRAMELESS GLASS RELITE. BASIS OF DESIGN: KLEIN LIGNEA INTERIOR GLASS WALL SYSTEMS  |  |
| 27 | 3'H X FULL WIDTH FILM AT GLASS FOR WRITING SURFACE. BASIS OF DESIGN: 3M FASARA Glass FINISHES FROST/MATTE SH2   |  |
| 28 | BUILT-IN ISLAND WITH QUARTZ COUNTERTOP AND PLASTIC LAMINATE BASE CABINETS   |  |
| 29 | TYPICAL ALL WALLS ON LEVEL 2: FULL HEIGHT FRAMING WITH PARTIAL HEIGHT GYPSUM, PAINT EXPOSED WALL FRAMING, G<br>9'-8" AFF. FINISHED CEILING AT 8' WITH 9'-8" HARDLID CEILING ABOVE FOR ACOUSTIC SEPARATION     |  |
| 30 | EXISTING CABLE RAILING TO REMAIN. EXPOXY PAINT EXISTING RAILING STANTIONS BLACK.  |  |
| 31 | BUILT-IN OPEN SHELVING FOR RETAIL/BOOK DISPLAY, PAINTED WOOD. (2'-0" DEEP X 3'-6" TALL X WIDTH SHOWN ON PLAN)   |  |



1 FLOOR PLAN - LEVEL 1 1/4" = 1'-0"

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## PLAN KEYNOTES

PLAY CASE. CERAMIC TILE FRONT, QUARTZ TOP, PLASTIC LAMINATE BASE CABINETS. HT CERAMIC TILE BACKSPLASH, AND PLASTIC LAMINATE BASE CABINETS. S WITH CONCEALED STEEL BRACKETS. SHELF QUANTITY: 2, SHELF SIZE: 1'-0" DEEP X 5'-0" WIDE ITH 4" QUARTZ BACKSPLASH, PLASTIC LAMINATE BASE AND UPPER CABINETS ERTOP, PLASTIC LAMINATE BASE CABINETS AND OPEN SHELVING ABOVE. IK AND FAUCET, SOAP AND PAPER TOWEL DISPENSER, MIRROR, AND WALL SCONCE LIGHT EPAIR, REPLACE, AND ADD NEW TILE TO MATCH EXISTING CONDITIONS.

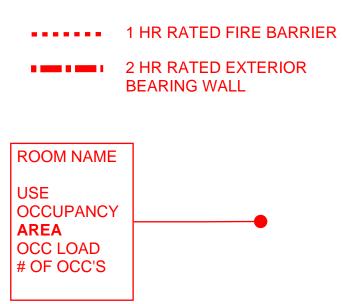
- JNTED SHELVING SYSTEM TAL HEIGHT WALL TILE, AND FLOOR TILE TO MATCH EXISTING BATHROOMS.
- AND ACCESSORIES, AND FULL HEIGHT TALL AT WALLS. L HEIGHT, WIDTH INDICATED ON PLAN. BASIS OF DESIGN: DESIGN TEX – BESPOKE - DW11 DNA ROVIDE FILE CABINETS WITH 'RAKKS' WALL MOUNTED SHELVING SYSTEM ABOVE
- DP, 2'H CERAMIC TILE BACKSPLASH, PLASTIC LAMINATE BASE AND UPPER CABINETS
- RELITE. BASIS OF DESIGN: KLEIN LIGNEA INTERIOR GLASS WALL SYSTEMS SURFACE. BASIS OF DESIGN: 3M FASARA Glass FINISHES FROST/MATTE SH2FGLU 1270, LUCE
- ID PLASTIC LAMINATE BASE CABINETS RAMING WITH PARTIAL HEIGHT GYPSUM, PAINT EXPOSED WALL FRAMING, GYPSUM TO EXTEND RDLID CEILING ABOVE FOR ACOUSTIC SEPARATION
- AINT EXISTING RAILING STANTIONS BLACK. BUILT-IN OPEN SHELVING FOR RETAIL/BOOK DISPLAY, PAINTED WOOD. (2'-0" DEEP X 3'-6" TALL X WIDTH SHOWN ON PLAN)
   UP-LIGHT FIXTURE CONCEALED IN BACK OF BUILT-IN SHELVING

# GENERAL ARCHITECTURAL NOTES

- 1. BUILDING ELEVATION 100'-0" = \_\_\_\_\_. REFER TO CIVIL AND LANDSCAPE DRAWINGS.
- 2. DO NOT SCALE DRAWINGS. REQUEST CLARIFICATION FROM ARCHITECT IF DIMENSIONS ARE NOT INDICATED.
- 3. DIMENSIONS ARE SHOWN TO DIMENSION POINT (DIM. PT.) OF REFERENCED DETAIL WHERE APPLICABLE.
- 4. PAINT EXPOSED STRUCTURAL STEEL, MISCELLANEOUS STEEL, FIREPROOFING, DUCTWORK, MECHANICAL EQUIPMENT, MECHANICAL AND SPRINKLER PIPING, ELECTRICAL CONDUIT, AND THEIR SUPPORT SYSTEMS, UNLESS OTHERWISE NOTED.

# FLOOR PLAN NOTES

- 1. REFER TO ASSEMBLY SHEETS FOR WALL AND FLOOR ASSEMBLIES.
- 2. DIMENSIONS ARE TO FACE OF GYPSUM BOARD FINISH UNLESS OTHERWISE NOTED. REFER TO ENLARGED PLANS FOR DIMENSIONS WITHIN THOSE AREAS.
- 3. FURNITURE SHOWN DASHED FOR REFERENCE

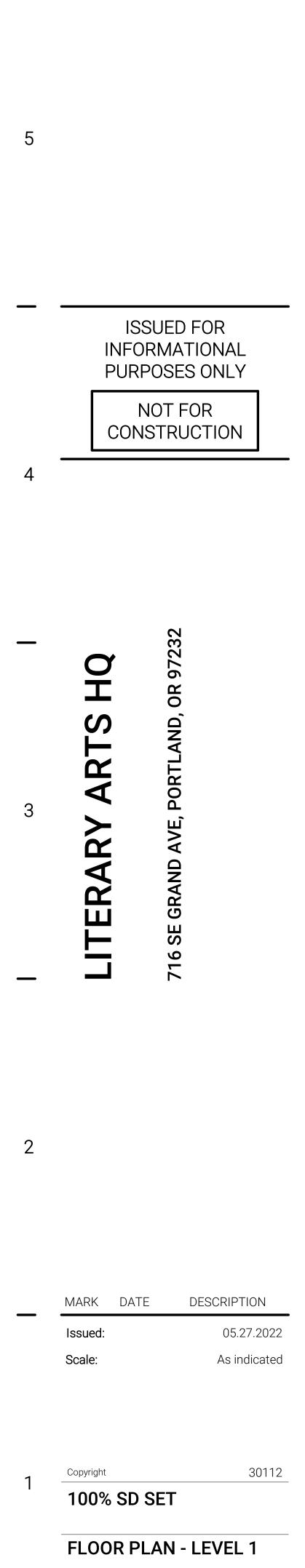


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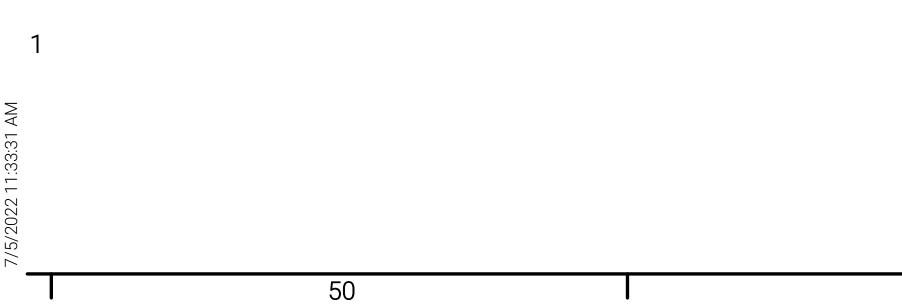


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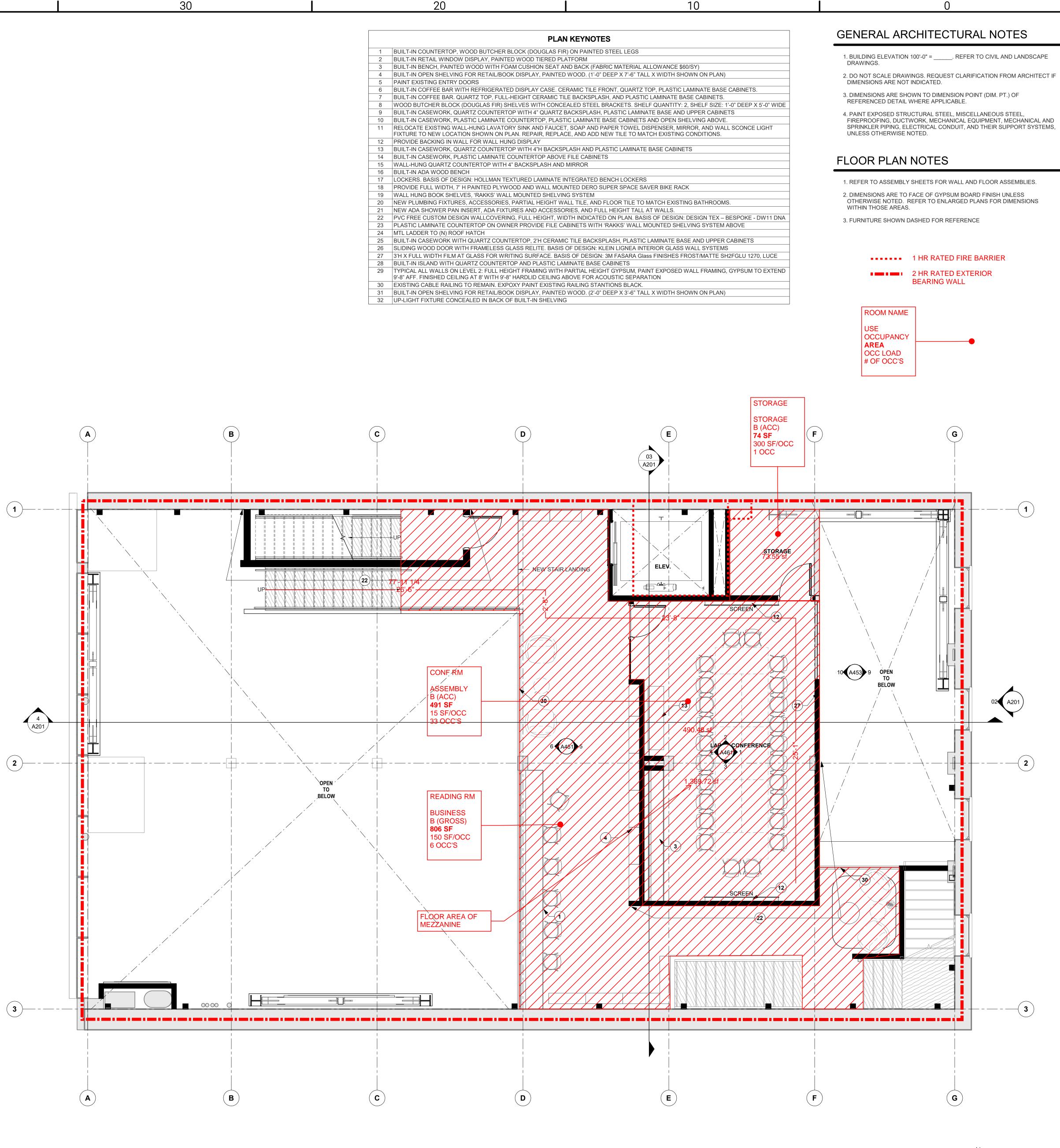


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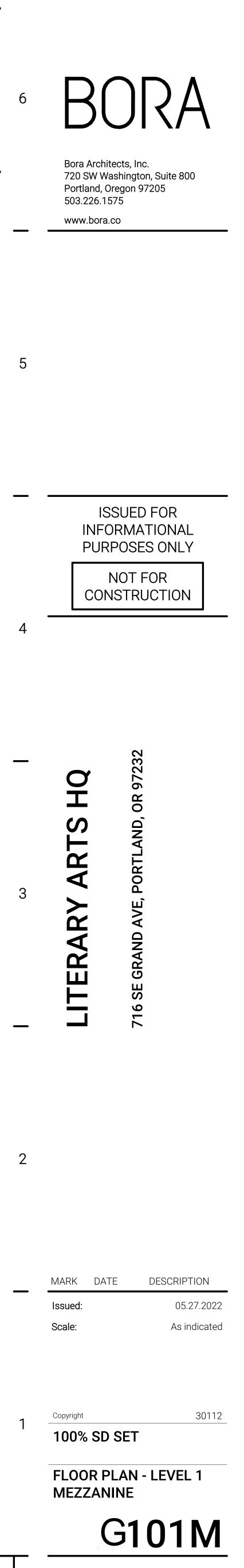
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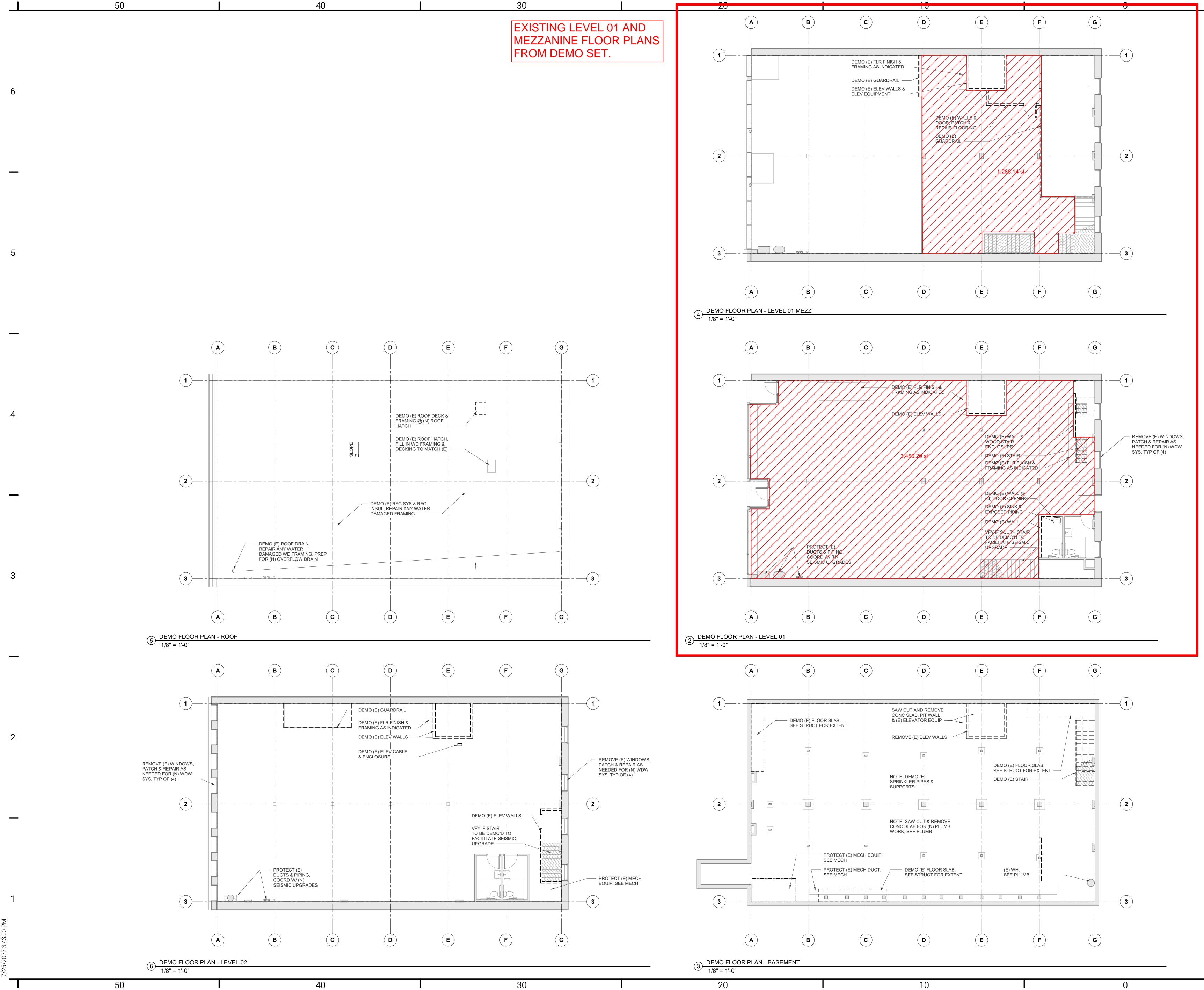
| 1  | BUILT-IN COUNTERTOP, WOOD BUTCHER BLOCK (I  |
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| 2  | BUILT-IN RETAIL WINDOW DISPLAY, PAINTED WOO   |
| 3  | BUILT-IN BENCH, PAINTED WOOD WITH FOAM CUS  |
| 4  | BUILT-IN OPEN SHELVING FOR RETAIL/BOOK DISPL  |
| 5  | PAINT EXISTING ENTRY DOORS  |
| 6  | BUILT-IN COFFEE BAR WITH REFRIGERATED DISPL   |
| 7  | BUILT-IN COFFEE BAR. QUARTZ TOP, FULL-HEIGHT  |
| 8  | WOOD BUTCHER BLOCK (DOUGLAS FIR) SHELVES  |
| 9  | BUILT-IN CASEWORK, QUARTZ COUNTERTOP WITH   |
| 10 | BUILT-IN CASEWORK, PLASTIC LAMINATE COUNTE  |
| 11 | RELOCATE EXISTING WALL-HUNG LAVATORY SINK<br>FIXTURE TO NEW LOCATION SHOWN ON PLAN. REI             |
| 12 | PROVIDE BACKING IN WALL FOR WALL HUNG DISP  |
| 13 | BUILT-IN CASEWORK, QUARTZ COUNTERTOP WITH   |
| 14 | BUILT-IN CASEWORK, PLASTIC LAMINATE COUNTE  |
| 15 | WALL-HUNG QUARTZ COUNTERTOP WITH 4" BACKS   |
| 16 | BUILT-IN ADA WOOD BENCH   |
| 17 | LOCKERS. BASIS OF DESIGN: HOLLMAN TEXTURED  |
| 18 | PROVIDE FULL WIDTH, 7' H PAINTED PLYWOOD AN   |
| 19 | WALL HUNG BOOK SHELVES, 'RAKKS' WALL MOUN   |
| 20 | NEW PLUMBING FIXTURES, ACCESSORIES, PARTIA  |
| 21 | NEW ADA SHOWER PAN INSERT, ADA FIXTURES AN  |
| 22 | PVC FREE CUSTOM DESIGN WALLCOVERING, FULL   |
| 23 | PLASTIC LAMINATE COUNTERTOP ON OWNER PRO  |
| 24 | MTL LADDER TO (N) ROOF HATCH  |
| 25 | BUILT-IN CASEWORK WITH QUARTZ COUNTERTOP  |
| 26 | SLIDING WOOD DOOR WITH FRAMELESS GLASS RE   |
| 27 | 3'H X FULL WIDTH FILM AT GLASS FOR WRITING SU   |
| 28 | BUILT-IN ISLAND WITH QUARTZ COUNTERTOP AND  |
| 29 | TYPICAL ALL WALLS ON LEVEL 2: FULL HEIGHT FRA<br>9'-8" AFF. FINISHED CEILING AT 8' WITH 9'-8" HARDL |
| 30 | EXISTING CABLE RAILING TO REMAIN. EXPOXY PAI  |
| 31 | BUILT-IN OPEN SHELVING FOR RETAIL/BOOK DISPL  |
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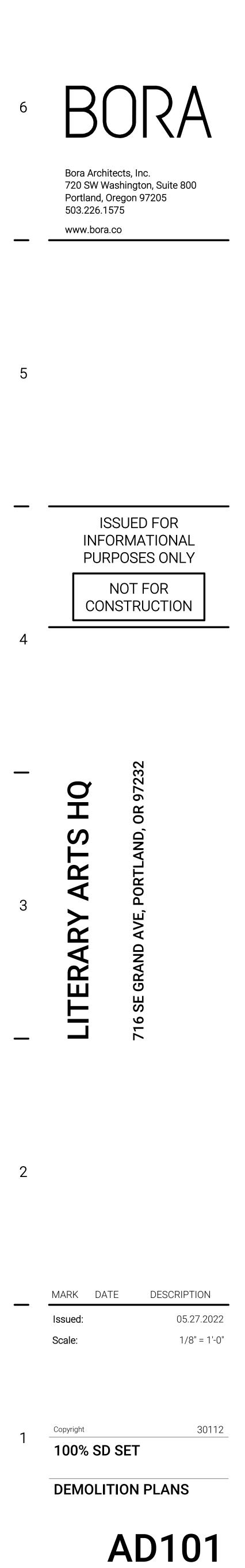


1 FLOOR PLAN - LEVEL 1 MEZZ 1/4" = 1'-0"

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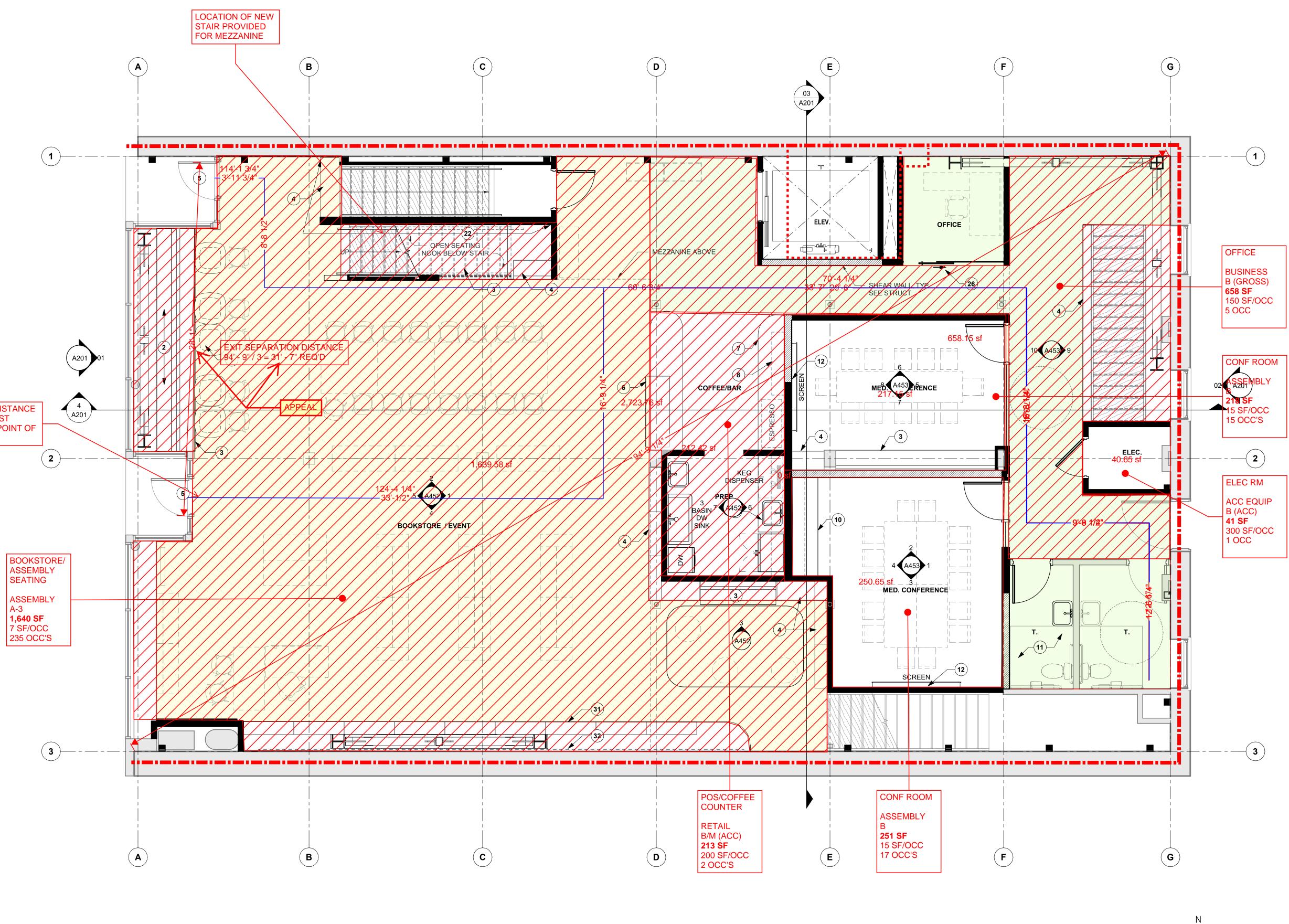
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| 3 |    | TRAVEL DISTANCE<br>FROM MOST<br>REMOTE POINT OF |
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|   |    | BOOKSTOR<br>ASSEMBLY<br>SEATING                 |
|   |    | ASSEMBLY<br>A-3<br><b>1,640 SF</b><br>7 SF/OCC  |

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|    | PLAN KEYNOTES   |
|----|---|
| 1  | BUILT-IN COUNTERTOP, WOOD BUTCHER BLOCK (DOUGLAS FIR) ON PAINTED STEEL LEGS   |
| 2  | BUILT-IN RETAIL WINDOW DISPLAY, PAINTED WOOD TIERED PLATFORM  |
| 3  | BUILT-IN BENCH, PAINTED WOOD WITH FOAM CUSHION SEAT AND BACK (FABRIC MATERIAL ALLOWANCE \$60/SY)  |
| 4  | BUILT-IN OPEN SHELVING FOR RETAIL/BOOK DISPLAY, PAINTED WOOD. (1'-0" DEEP X 7'-6" TALL X WIDTH SHOWN ON PLAN)   |
| 5  | PAINT EXISTING ENTRY DOORS  |
| 6  | BUILT-IN COFFEE BAR WITH REFRIGERATED DISPLAY CASE. CERAMIC TILE FRONT, QUARTZ TOP, PLASTIC LAMINATE BASE C   |
| 7  | BUILT-IN COFFEE BAR. QUARTZ TOP, FULL-HEIGHT CERAMIC TILE BACKSPLASH, AND PLASTIC LAMINATE BASE CABINETS.   |
| 8  | WOOD BUTCHER BLOCK (DOUGLAS FIR) SHELVES WITH CONCEALED STEEL BRACKETS. SHELF QUANTITY: 2, SHELF SIZE: 1'-0   |
| 9  | BUILT-IN CASEWORK, QUARTZ COUNTERTOP WITH 4" QUARTZ BACKSPLASH, PLASTIC LAMINATE BASE AND UPPER CABINETS  |
| 10 | BUILT-IN CASEWORK, PLASTIC LAMINATE COUNTERTOP, PLASTIC LAMINATE BASE CABINETS AND OPEN SHELVING ABOVE.   |
| 11 | RELOCATE EXISTING WALL-HUNG LAVATORY SINK AND FAUCET, SOAP AND PAPER TOWEL DISPENSER, MIRROR, AND WALL FIXTURE TO NEW LOCATION SHOWN ON PLAN. REPAIR, REPLACE, AND ADD NEW TILE TO MATCH EXISTING CONDITIONS. |
| 12 | PROVIDE BACKING IN WALL FOR WALL HUNG DISPLAY   |
| 13 | BUILT-IN CASEWORK, QUARTZ COUNTERTOP WITH 4"H BACKSPLASH AND PLASTIC LAMINATE BASE CABINETS   |
| 14 | BUILT-IN CASEWORK, PLASTIC LAMINATE COUNTERTOP ABOVE FILE CABINETS  |
| 15 | WALL-HUNG QUARTZ COUNTERTOP WITH 4" BACKSPLASH AND MIRROR   |
| 16 | BUILT-IN ADA WOOD BENCH   |
| 17 | LOCKERS. BASIS OF DESIGN: HOLLMAN TEXTURED LAMINATE INTEGRATED BENCH LOCKERS  |
| 18 | PROVIDE FULL WIDTH, 7' H PAINTED PLYWOOD AND WALL MOUNTED DERO SUPER SPACE SAVER BIKE RACK  |
| 19 | WALL HUNG BOOK SHELVES, 'RAKKS' WALL MOUNTED SHELVING SYSTEM  |
| 20 | NEW PLUMBING FIXTURES, ACCESSORIES, PARTIAL HEIGHT WALL TILE, AND FLOOR TILE TO MATCH EXISTING BATHROOMS.   |
| 21 | NEW ADA SHOWER PAN INSERT, ADA FIXTURES AND ACCESSORIES, AND FULL HEIGHT TALL AT WALLS.   |
| 22 | PVC FREE CUSTOM DESIGN WALLCOVERING, FULL HEIGHT, WIDTH INDICATED ON PLAN. BASIS OF DESIGN: DESIGN TEX – BE   |
| 23 | PLASTIC LAMINATE COUNTERTOP ON OWNER PROVIDE FILE CABINETS WITH 'RAKKS' WALL MOUNTED SHELVING SYSTEM AB   |
| 24 | MTL LADDER TO (N) ROOF HATCH  |
| 25 | BUILT-IN CASEWORK WITH QUARTZ COUNTERTOP, 2'H CERAMIC TILE BACKSPLASH, PLASTIC LAMINATE BASE AND UPPER CA   |
| 26 | SLIDING WOOD DOOR WITH FRAMELESS GLASS RELITE. BASIS OF DESIGN: KLEIN LIGNEA INTERIOR GLASS WALL SYSTEMS  |
| 27 | 3'H X FULL WIDTH FILM AT GLASS FOR WRITING SURFACE. BASIS OF DESIGN: 3M FASARA Glass FINISHES FROST/MATTE SH2   |
| 28 | BUILT-IN ISLAND WITH QUARTZ COUNTERTOP AND PLASTIC LAMINATE BASE CABINETS   |
| 29 | TYPICAL ALL WALLS ON LEVEL 2: FULL HEIGHT FRAMING WITH PARTIAL HEIGHT GYPSUM, PAINT EXPOSED WALL FRAMING, G<br>9'-8" AFF. FINISHED CEILING AT 8' WITH 9'-8" HARDLID CEILING ABOVE FOR ACOUSTIC SEPARATION     |
| 30 | EXISTING CABLE RAILING TO REMAIN EXPOXY PAINT EXISTING RAILING STANTIONS BLACK  |

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1 FLOOR PLAN - LEVEL 1 1/4" = 1'-0"

### PLAN KEYNOTES

CASE. CERAMIC TILE FRONT, QUARTZ TOP, PLASTIC LAMINATE BASE CABINETS. RAMIC TILE BACKSPLASH, AND PLASTIC LAMINATE BASE CABINETS. H CONCEALED STEEL BRACKETS. SHELF QUANTITY: 2, SHELF SIZE: 1'-0" DEEP X 5'-0" WIDE UARTZ BACKSPLASH, PLASTIC LAMINATE BASE AND UPPER CABINETS P, PLASTIC LAMINATE BASE CABINETS AND OPEN SHELVING ABOVE. D FAUCET, SOAP AND PAPER TOWEL DISPENSER, MIRROR, AND WALL SCONCE LIGHT R, REPLACE, AND ADD NEW TILE TO MATCH EXISTING CONDITIONS.

ACCESSORIES, AND FULL HEIGHT TALL AT WALLS. IGHT, WIDTH INDICATED ON PLAN. BASIS OF DESIGN: DESIGN TEX – BESPOKE - DW11 DNA

E FILE CABINETS WITH 'RAKKS' WALL MOUNTED SHELVING SYSTEM ABOVE CERAMIC TILE BACKSPLASH, PLASTIC LAMINATE BASE AND UPPER CABINETS . BASIS OF DESIGN: KLEIN LIGNEA INTERIOR GLASS WALL SYSTEMS

ACE. BASIS OF DESIGN: 3M FASARA Glass FINISHES FROST/MATTE SH2FGLU 1270, LUCE ASTIC LAMINATE BASE CABINETS

ING WITH PARTIAL HEIGHT GYPSUM, PAINT EXPOSED WALL FRAMING, GYPSUM TO EXTEND CEILING ABOVE FOR ACOUSTIC SEPARATION

 30 EXISTING CABLE RAILING TO REMAIN. EXPOXY PAINT EXISTING RAILING STANTIONS BLACK.
 31 BUILT-IN OPEN SHELVING FOR RETAIL/BOOK DISPLAY, PAINTED WOOD. (2'-0" DEEP X 3'-6" TALL X WIDTH SHOWN ON PLAN) 32 UP-LIGHT FIXTURE CONCEALED IN BACK OF BUILT-IN SHELVING

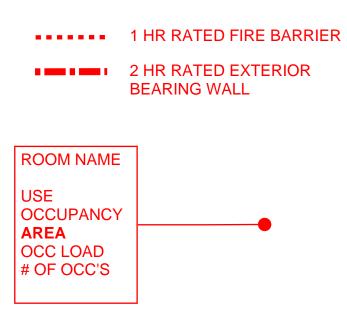
# GENERAL ARCHITECTURAL NOTES

- 1. BUILDING ELEVATION 100'-0" = \_\_\_\_\_. REFER TO CIVIL AND LANDSCAPE DRAWINGS.
- 2. DO NOT SCALE DRAWINGS. REQUEST CLARIFICATION FROM ARCHITECT IF DIMENSIONS ARE NOT INDICATED.
- 3. DIMENSIONS ARE SHOWN TO DIMENSION POINT (DIM. PT.) OF REFERENCED DETAIL WHERE APPLICABLE.

4. PAINT EXPOSED STRUCTURAL STEEL, MISCELLANEOUS STEEL, FIREPROOFING, DUCTWORK, MECHANICAL EQUIPMENT, MECHANICAL AND SPRINKLER PIPING, ELECTRICAL CONDUIT, AND THEIR SUPPORT SYSTEMS, UNLESS OTHERWISE NOTED.

## FLOOR PLAN NOTES

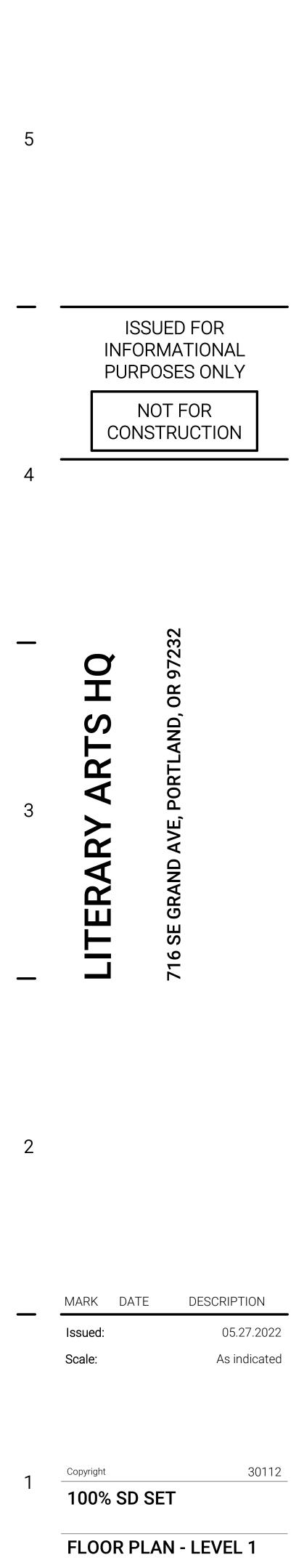
- 1. REFER TO ASSEMBLY SHEETS FOR WALL AND FLOOR ASSEMBLIES.
- 2. DIMENSIONS ARE TO FACE OF GYPSUM BOARD FINISH UNLESS OTHERWISE NOTED. REFER TO ENLARGED PLANS FOR DIMENSIONS WITHIN THOSE AREAS.
- 3. FURNITURE SHOWN DASHED FOR REFERENCE



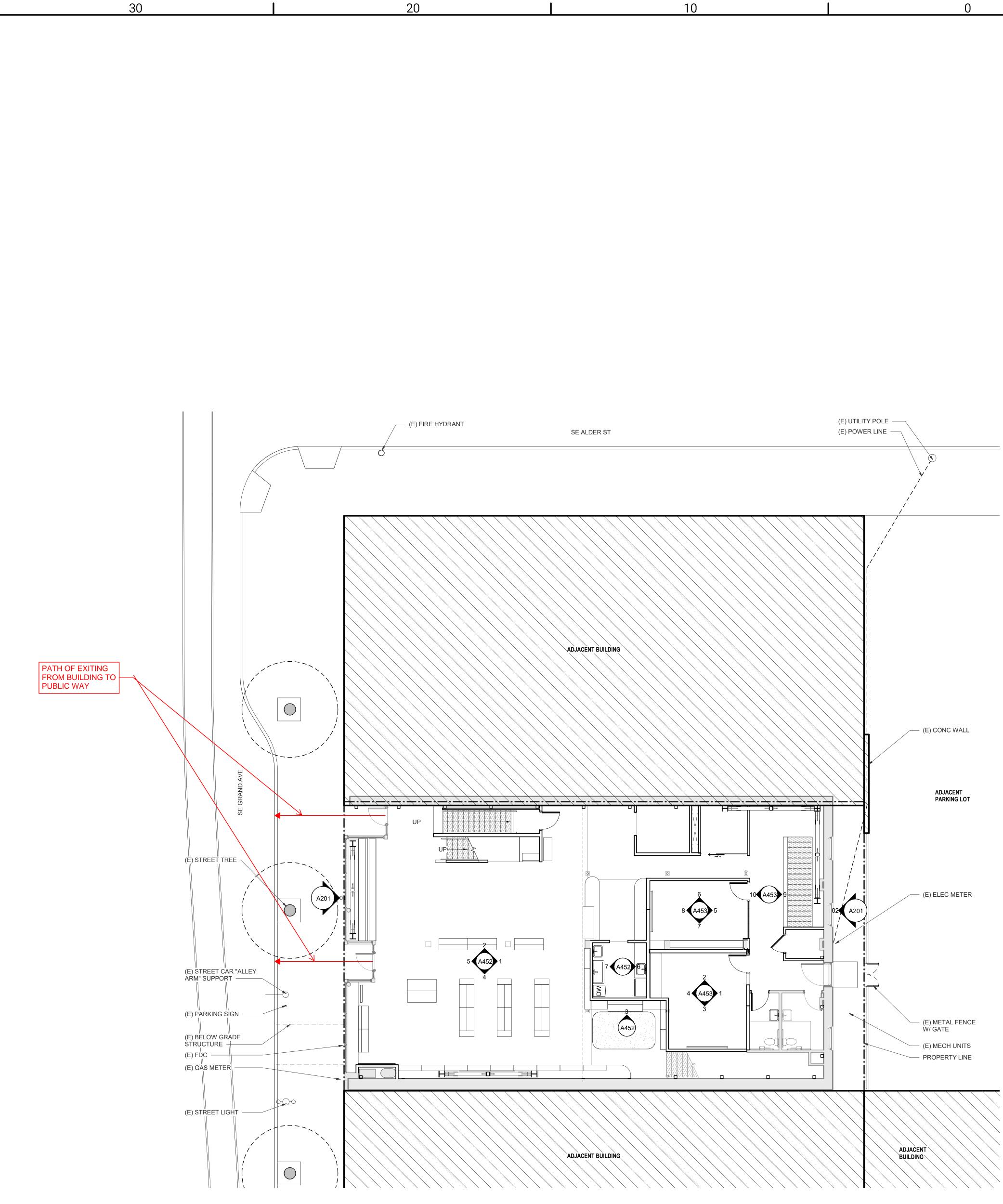


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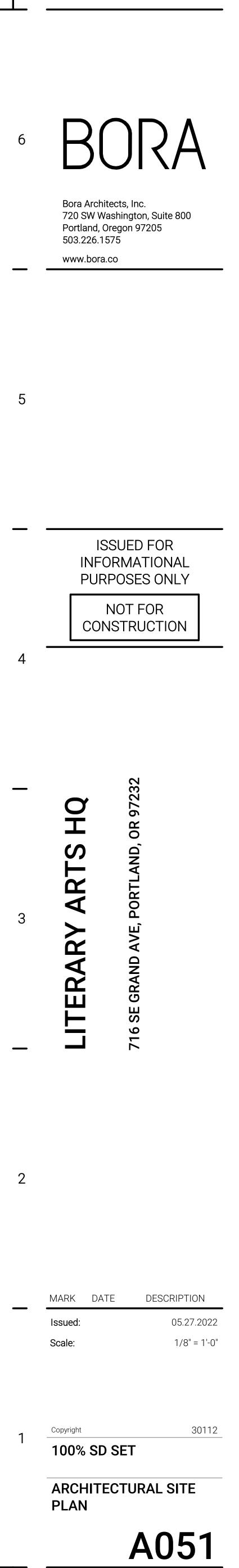


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 $1 \frac{\text{ARCHITECTURAL SITE PLAN}}{1/8" = 1'-0"}$ 

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|                    | Chapter 29 Table 2902.1 - Mi  | nimum Number o  | f Required |  |
|--------------------|---|---|------------|--|
| CLASSIFICATION     | DESCRIPTION   | WATER   | CLOSETS    |  |
| CLASSIFICATION     | DESCRIPTION   | Male  | Fema       |  |
| ASSEMBLY           | Auditoriums without permanent seating, art galleries, exhibition halls,<br>museums, lecture halls, libraries, arcades and gymnasiums  | 1 per 125   | 1 per      |  |
| BUSINESS           | Buildings for the transaction of business, professional services, other<br>services involving merchandise, office buildings, banks, light industrial,<br>ambulatory care and similar uses | 1 per 25 for the first 50 and 50 for the remainder exceed |            |  |
| FACTORY (KITCHEN)  | Structures in which occupants are engaged in work fabricating, assembly<br>or processing of products or materials   | 1 per 100   |            |  |
| STORAGE/MECHANICAL | Structures for the storage of goods, warehouses, storehouses and freight depots, low and moderate hazard  | 1 per 100   |            |  |

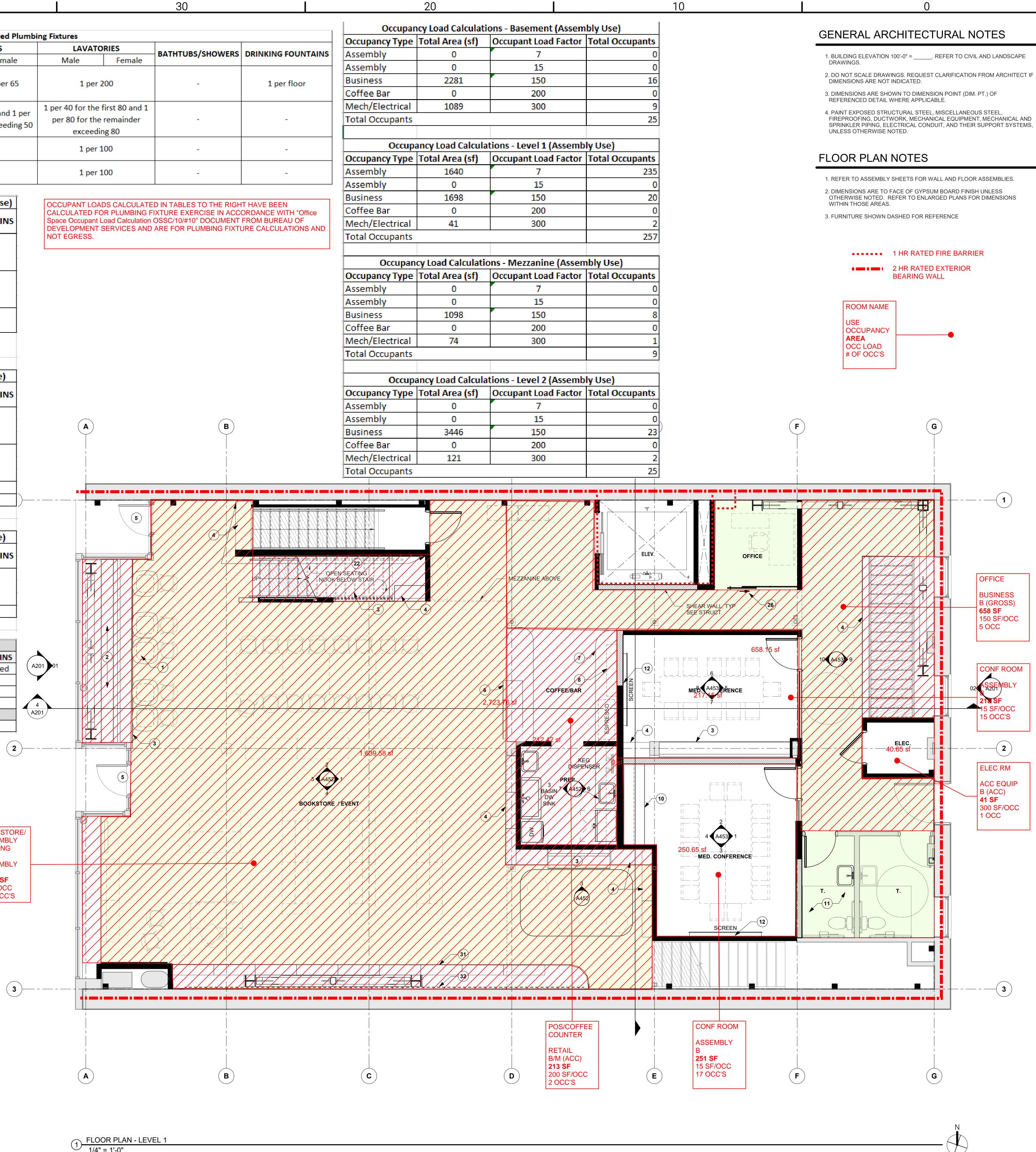
#### Minimum Required Plumbing Fixture Calculations based on Table 2902.1 - Basement (Based on Assembly Use) WATER CLOSETS LAVATORIES BATHTUBS/SHOWERS DRINKING FOUNTAINS CLASSIFICATION Male Female Male Female ASSEMBLY 0 1 per floor 0 0 0.32 BUSINESS 0.32 0.2 0.2 ----------STORAGE/MECHANICAL 0.045 0.045 0.045 0.045 ------TOTAL REQUIRED

|   | Minimum Required Plu | Imbing Fixt      | ture Calcul | ations bas | ed on Tal | ble 2902.1 - Level 1 (Ba | sed on Assembly Use) |
|---|----------------------|------------------|-------------|------------|-----------|--------------------------|----------------------|
|   | CLASSIFICATION       | WATER            | CLOSETS     | LAVAT      | ORIES     | BATHTUBS/SHOWERS         |                      |
|   | CLASSIFICATION       | Male             | Female      | Male       | Female    | DATHTODS/SHOWERS         |                      |
|   | ASSEMBLY             | 0.94             | 1.807692    | 0.75       | 0.5875    | -                        | 1 per floor          |
|   | BUSINESS             | <mark>0.4</mark> | 0.4         | 0.25       | 0.25      | -                        | -                    |
|   | KITCHEN SPACE        | 0                | 0           | 0          | 0         |                          |                      |
|   | STORAGE/MECHANICAL   | 0.01             | 0.01        | 0.01       | 0.01      | -                        | -                    |
| 4 | TOTAL REQUIRED       | 2                | 3           | 2          | 1         |                          |                      |
|   |                      |                  |             |            |           |                          |                      |

| Minimum Required Plu   | umbing Fix | ture Calcul       | ations bas | ed on Tal | ble 2902.1 - Level 2 (Ba   | sed on Assembly Use) |  |
|------------------------|------------|-------------------|------------|-----------|--|----------------------|--|
| CLASSIFICATION         | WATER      | CLOSETS           | LAVAT      | ORIES     | BATHTUBS/SHOWERS   | DRINKING FOUNTAIN    |  |
| CLASSIFICATION         | Male       | Female            | Male       | Female    | BATHTOBS/SHOWERS   | DRINKING FOONTAIN.   |  |
| BUSINESS               | 0.46       | <mark>0.46</mark> | 0.2875     | 0.2875    | -  | -                    |  |
| <br>STORAGE/MECHANICAL | 0.01       | 0.01              | 0.01       | 0.01      | -  | -                    |  |
| TOTAL REQUIRED         | 1          | 1                 | 1          | 1         |  |                      |  |
|                        |            | i i               |            |           | I contract of the second s |                      |  |

|   | Minimum Require | ed Plumbin | ng Fixture ( | Calculation | s based on | Table 2902. | 1 (Based on A | ssembly Use | )         |
|---|-----------------|------------|--------------|-------------|------------|-------------|---------------|-------------|-----------|
|   | CLASSIFICATION  | WATER      | CLOSETS      | LAVA        | FORIES     | BATHTUBS    | S/SHOWERS     | DRINKING    | FOUNTAINS |
|   | CLASSIFICATION  | Required   | Provided     | Required    | Provided   | Required    | Provided      | Required    | Provided  |
|   | Basement Level  | 2          | 4            | 2           | 4          | -           | -             | 1           | 1         |
|   | Level 1         | 5          | 2            | 3           | 2          | -           | -             | 1           | 1         |
| 2 | Level 2         | 2          | 2            | 2           | 2          | -           | -             | -           | -         |
| 3 |                 |            |              |             |            |             |               |             |           |
|   | TOTAL REQUIRED  | 9          | 8            | 7           | 8          | 0           | 0             | 2           | 2         |
|   |                 |            |              |             |            |             |               |             |           |

BOOKSTORE/ ASSEMBLY SEATING ASSEMBLY A-3 **1,640 SF** 7 SF/OCC 235 OCC'S

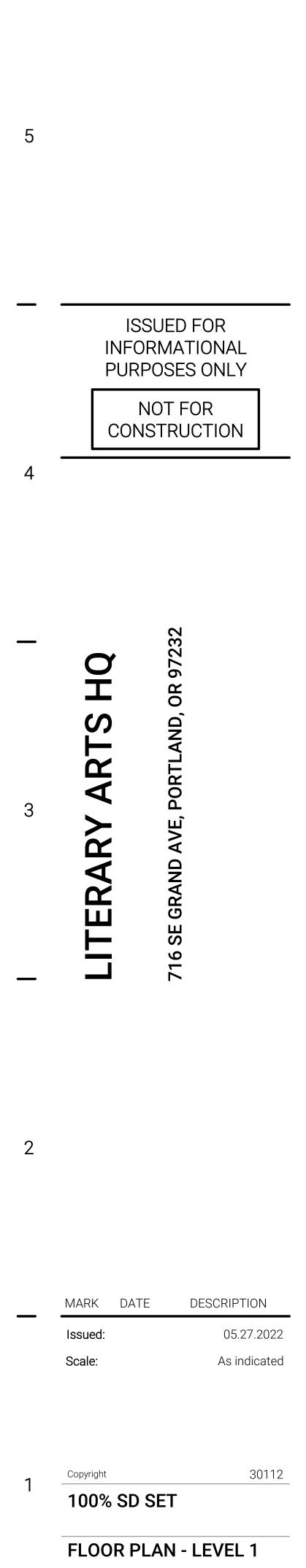


1 FLOOR PLAN - LEVEL 1 1/4" = 1'-0"



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| CLASSIFICATION                                       |                               |                                  | DESCRIP  |                             | oter 29 Table 2902.1 - Min                            |           | of Required Plumb<br>CLOSETS<br>Female         | ing Fixtures<br>LAVATORIES<br>Male Female                          | BATHTUBS/SHOWERS                                    | DRINKING FOUNTAINS                             |  | cy Load Calculations - B<br>Total Area (sf) Occup     |
|--|-------------------------------|----------------------------------|--|-----------------------------|---|-----------|--|--|---|--|--|---|
| ASSEMBLY   |                               |                                  |  |                             | lleries, exhibition halls,<br>and gymnasiums          | 1 per 125 | 1 per 65                                       | 1 per 200  | -   | 1 per floor                                    | Assembly<br>Business                             | 0<br>2281   |
| BUSINESS   |                               | lving mercha                     | andise, office                                 | e buildings                 | ssional services, other<br>, banks, light industrial, | -         | first 50 and 1 per<br>nder exceeding 50        | 1 per 40 for the first 80 and 1<br>per 80 for the remainder        | -   | -  | Coffee Bar<br>Mech/Electrical<br>Total Occupants | 0<br>1089   |
| FACTORY (KITCHEN)                                    | Structures in v               | vhich occupa                     | atory care a<br>ants are enga<br>ssing of prod | aged in wo                  | ork fabricating, assembly                             | 1 pe      | er 100   | exceeding 80<br>1 per 100  | -   | -  |  | ncy Load Calculations -                               |
| STORAGE/MECHANICAL                                   | Structures for depots, low ar | the storage                      | of goods, wa                                   |                             | storehouses and freight                               | 1 pe      | er 100   | 1 per 100  | -   | -  | Occupancy Type<br>Assembly<br>Assembly           | Total Area (sf) Occup<br>0<br>0                       |
|  |                               |                                  |  |                             |   |           |  | OCCUPANT LOADS CALCUL<br>CALCULATED FOR PLUMBII                    | NG FIXTURE EXERCISE IN /                            | ACCORDANCE WITH "Office                        | Business<br>Coffee Bar                           | 3745<br>213   |
| Minimum Required P                                   |                               | ure Calcula<br>CLOSETS<br>Female | LAVAT  | d on Tab<br>ORIES<br>Female | BATHTUBS/SHOWER                                       | •         | -  | Space Occupant Load Calcula<br>DEVELOPMENT SERVICES<br>NOT EGRESS. | ation OSSC/10/#10" DOCUMI<br>AND ARE FOR PLUMBING F | ENT FROM BUREAU OF<br>FIXTURE CALCULATIONS AND |  | 41  |
| ASSEMBLY   | 0                             | 0                                | 0  | 0                           | -   | 1 per     | floor  |  |   |  |  | y Load Calculations - M<br>Total Area (sf) Occup<br>0 |
| BUSINESS   | 0.32                          | 0.32                             | 0.2  | 0.2                         | -   | -         |  |  |   |  | Assembly<br>Business<br>Coffee Bar               | 0<br>1098<br>0  |
| STORAGE/MECHANICA                                    | AL 0.045                      | 0.045                            | 0.045  | 0.045                       | -   | _         |  |  |   |  | Mech/Electrical<br>Total Occupants               | 74  |
| TOTAL REQUIRED                                       | 1                             | . 1                              | . 1  | 1                           |   |           |  |  |   |  | Occupancy Type                                   | ncy Load Calculations -<br>Total Area (sf) Occup      |
|  |                               | ture Calcu<br>CLOSETS            | lations bas                                    |                             | ble 2902.1 - Level 1 (B                               |           | -  |  |   |  | Assembly<br>Assembly                             | 0   |
| CLASSIFICATION                                       | Male                          | Female                           | Male   | Female                      | BATHTUBS/SHOWER                                       |           | OUNTAINS                                       | A  | В   |  | Business<br>Coffee Bar                           | 3446<br>0   |
| ASSEMBLY   | 0                             | 0                                | 0  | 0                           | -   | 1 per     | floor  |  |   |  | Mech/Electrical<br>Total Occupants               | 121   |
| BUSINESS   | 0.68                          | 0.68                             | 0.425  | 0.425                       | -   | -         | -<br> )  |  |   |  |  |   |
| KITCHEN SPACE<br>STORAGE/MECHANICA<br>TOTAL REQUIRED | AL 0.01                       | 0.01                             | 0.01   | ) 0<br>0.01                 | -<br>-  |           |  | 5  |   |  |  |   |
| Minimum Required                                     | WATER                         | CLOSETS                          | LAVAT  | ORIES                       | ble 2902.1 - Level 2 (B<br>BATHTUBS/SHOWER            |           | -  |  |   |  |  | M   |
| BUSINESS   | 0.46                          | Female<br>0.46                   | Male<br>0.2875                                 | Female<br>0.2875            |   |           | <br>   |  |   |  |  | 2-f   |
| STORAGE/MECHANICA                                    | AL 0.01                       | 0.01                             | 0.01   | 0.01                        |   |           |  |  |   |  |  |   |
| Minimum Rec  | -                             | _                                | I.   |                             | n Table 2902.1 (Based or                              |           | )  |  |   |  |  |   |
| CLASSIFICATION                                       |                               | R CLOSETS<br>d Provided          |  | Provided                    | BATHTUBS/SHOWER<br>Required Provide                   |           | Drouidod                                       | 4  |   |  |  | 2,723,76,8  |
| Basement Level<br>Level 1                            | 2                             | 4                                | 2<br>2   | 4                           |   | 1         |  | 201  |   |  |  |   |
| Level 2  | 2                             | 2                                | 2  | 2                           |   | -         | -  |  | 3   |  | 1,639,58,st                                      |   |
| TOTAL REQUIRED                                       | 6                             | 8                                | 6  | 8                           | 0 0   | 2         | 2  | 5  |   | 5 4452   |  |   |
| —  |                               |                                  |  |                             |   |           |  |  |   | BOOKSTORE                                      |  |   |
|  |                               |                                  |  |                             |   |           | BOOKSTORE/<br>ASSEMBLY<br>SEATING              |  |   |  |  |   |
|  |                               |                                  |  |                             |   |           | ASSEMBLY<br>A-3<br><b>1,640 SF</b><br>7 SF/OCC |  |   |  |  |   |
| 2  |                               |                                  |  |                             |   |           | 235 OCC'S                                      |  |   |  |  |   |
|  |                               |                                  |  |                             |   |           |  |  |   |  |  | 31  |
|  |                               |                                  |  |                             |   |           | 3  |  |   |  |  |   |
| —  |                               |                                  |  |                             |   |           |  |  |   |  |  |   |
|  |                               |                                  |  |                             |   |           |  |  |   |  |  |   |
|  |                               |                                  |  |                             |   |           |  | A  | B   |  | C  |   |
| 1  |                               |                                  |  |                             |   |           |  |  |   |  |  |   |

| CLASSIFICATION                      |                |                            | DESCRIPTION                          | Chapter 29 Table 2                                 | 2902.1 - Min            | WATER             | CLOSETS                                    | nbing Fi | LAVATORIES   | BATHTUBS/SHOWERS                                    | DRINKING FOUNTAINS     | Occupancy Type   | cy Load Calculations - Ba<br>Total Area (sf) Occupa      |
|-------------------------------------|----------------|----------------------------|--------------------------------------|--|-------------------------|-------------------|--|----------|--|---|------------------------|--|--|
| ASSEMBLY                            |                | -                          |                                      | art galleries, exhibiti                            | -                       | Male<br>1 per 125 | Female<br>1 per 65                         |          | Male Female  |   | 1 per floor            | Assembly<br>Assembly   | 0  |
|                                     |                | -                          |                                      | ades and gymnasiu                                  |                         | 1 por 120         | 1 por 00                                   |          |  |   |                        | Business<br>Coffee Bar   | 2281<br>0  |
| BUSINESS                            |                | olving mercha              | andise, office buil                  | professional service<br>dings, banks, light ir<br> | dustrial                | -                 | e first 50 and 1 per<br>inder exceeding 50 | r i n    | er 40 for the first 80 and 1<br>per 80 for the remainder | -   | -                      | Mech/Electrical<br>Total Occupants                               | 1089   |
| FACTORY (KITCHEN)                   | Structures in  | which occupa               |                                      | in work fabricating,                               | assembly                | 1 pe              | er 100                                     |          | exceeding 80<br>1 per 100                                | _   | -                      | Occupa   | ncy Load Calculations - L                                |
| STORAGE/MECHANICAL                  | Structures for | -                          | sing of products<br>of goods, wareho | or materials<br>ouses, storehouses a               | and freight             | 1 nc              | er 100                                     |          | 1 per 100  |   |                        | Occupancy Type<br>Assembly                                       | Total Area (sf) Occupa                                   |
| STORAGE/ MECHANICAL                 | depots, low a  | nd moderate                | hazard                               |  |                         | 1 PC              |  |          | 1 pci 100  |   |                        | Assembly   | 0  |
|                                     |                | _                          |                                      |  |                         |                   |  |          | OCCUPANT LOADS CALCUL<br>CALCULATED FOR PLUMBIN          | NG FIXTURE EXERCISE IN A                            | CCORDANCE WITH "Office | Business<br>Coffee Bar   | 3745<br>213  |
| Minimum Required Pl                 |                | ure Calcula<br>CLOSETS     | tions based on<br>LAVATORIE          |  | asement (               | Based on Bool     | kstore Use)                                |          |  | ation OSSC/10/#10" DOCUME<br>AND ARE FOR PLUMBING F | INT FROM BUREAU OF     | Mech/Electrical  | 41   |
| CLASSIFICATION                      | Male           | Female                     |                                      | nale BATHTUBS                                      | /SHOWER                 | S DRINKING I      | FOUNTAINS                                  |          | NOT EGRESS.  |   |                        | Total Occupants  |  |
| ASSEMBLY                            | 0              | 0                          | 0                                    | 0  | -                       | 1 per             | floor                                      |          |  |   |                        |  | cy Load Calculations - Me<br>Total Area (sf) Occupa<br>0 |
| BUSINESS                            | 0.32           | 0.32                       | 0.2 0                                | ).2  | _                       | -                 | -  |          |  |   |                        | Assembly<br>Business   | 0 1098   |
|                                     |                |                            |                                      |  |                         |                   |  |          |  |   |                        | Coffee Bar<br>Mech/Electrical                                    | 0<br>74  |
| STORAGE/MECHANICA                   | L 0.045        | 0.045                      | 0.045 0.                             | 045  | -                       |                   | -  |          |  |   |                        | Total Occupants  |  |
| TOTAL REQUIRED                      | 1              | 1                          | 1                                    | 1  |                         |                   |  |          |  |   |                        |  | ncy Load Calculations - L<br>Total Area (sf) Occupa      |
| Minimum Required F                  |                |                            |                                      |  | Level 1 (Ba             | ased on Books     | tore Use)                                  |          |  |   |                        | Assembly   | 0  |
| CLASSIFICATION                      | WATER<br>Male  | CLOSETS<br>Female          | LAVATORIE<br>Male Fer                | ale BATHTUBS                                       | /SHOWER                 |                   | FOUNTAINS                                  |          | A  | B   |                        | Assembly<br>Business   | 0<br>3446  |
|                                     |                |                            |                                      |  |                         |                   |  |          |  |   |                        | Coffee Bar<br>Mech/Electrical                                    | 0<br>121   |
| ASSEMBLY                            | 0              | 0                          | 0                                    | 0  | -                       | 1 per             | floor                                      |          |  |   |                        | Total Occupants  |  |
| BUSINESS                            | 0.68           | 0.68                       | 0.425 0.                             | 425  | -                       | -                 | -<br>-<br>-                                |          |  |   |                        |  |  |
| KITCHEN SPACE                       | (              | 0 0                        | 0                                    | 0  |                         |                   |  |          | 5  |   |                        |  |  |
| STORAGE/MECHANICA<br>TOTAL REQUIRED | L 0.01         | 0.01                       | 0.01                                 | 0.01   |                         |                   | -  |          |  |   |                        |  |  |
|                                     |                | · ·                        |                                      | 1  |                         |                   |  |          |  |   |                        | ╫ <u>╴╷╷╷╷╷╷╷╷╷╷</u><br>Ѥ═ <u>╫</u> ╧╤╱╕╱╞ <del>╖╱</del> ═╔╱╪╱╸╱ |  |
| Minimum Required F                  |                |                            |                                      |  | Level 2 (B              | ased on Books     | tore Use)                                  |          |  |   |                        |  | MEZ  |
| CLASSIFICATION                      | Male           | CLOSETS<br>Female          | LAVATORIE<br>Male Fer                | ale BATHTUBS                                       | /SHOWER                 | S DRINKING I      | FOUNTAINS                                  |          |  |   |                        |  |  |
| BUSINESS                            | 0.46           | 0.46                       | 0.2875 0.2                           | 2875   | _                       |                   | -  |          |  |   |                        | 3  | 4  |
| -                                   |                |                            |                                      |  |                         |                   |  |          |  |   |                        |  |  |
| STORAGE/MECHANICA                   | AL 0.01        | L 0.01                     | 0.01                                 | 0.01   | -                       |                   |  | A201 0   | 01   |   |                        |  |  |
| Minimum Req                         | -              | ing Fixture (<br>R CLOSETS | Calculations bas                     | ed on Table 2902.                                  | L (Based on<br>S/SHOWER |                   | e)<br>FOUNTAINS                            |          |  |   |                        |  |  |
| CLASSIFICATION                      |                |                            |                                      | vided Required                                     | Provideo                |                   | Provided                                   | 4        |  |   |                        |  | 2,723,76,sf  |
| Basement Level<br>Level 1           | 2              | 4                          | 2 2                                  | 4 -<br>2 -   | -                       | 1 1               | 1<br>1                                     | A201     |  |   |                        |  |  |
| Level 2                             | 2              | 2                          | 2                                    | 2 -  | -                       | -                 | -  |          |  | 3   |                        |  |  |
| TOTAL REQUIRED                      | 6              | 8                          | 6                                    | 8 0  | 0                       | 2                 | 2  |          |  |   |                        | / 1,639,58 st  |  |
|                                     |                |                            |                                      |  |                         |                   |  |          | (5)  |   | 5 4452                 |  |  |
| _                                   |                |                            |                                      |  |                         |                   |  |          |  |   | BOOKSTORE              |  |  |
|                                     |                |                            |                                      |  |                         |                   | BOOKSTORE/                                 | ]        |  |   |                        |  |  |
|                                     |                |                            |                                      |  |                         |                   | ASSEMBLY<br>SEATING                        |          |  |   |                        |  |  |
|                                     |                |                            |                                      |  |                         |                   | ASSEMBLY<br>A-3<br><b>1,640 SF</b>         |          |  |   |                        |  |  |
|                                     |                |                            |                                      |  |                         |                   | 7 SF/OCC<br>235 OCC'S                      |          |  |   |                        |  |  |
| 2                                   |                |                            |                                      |  |                         |                   |  | 1        |  |   |                        |  |  |
|                                     |                |                            |                                      |  |                         |                   |  |          |  |   |                        |  |  |
|                                     |                |                            |                                      |  |                         |                   |  |          |  |   |                        |  | 31   |
|                                     |                |                            |                                      |  |                         |                   |  |          |  |   |                        |  |  |
|                                     |                |                            |                                      |  |                         |                   | 3  |          |  |   |                        |  |  |
| _                                   |                |                            |                                      |  |                         |                   |  |          |  |   |                        |  |  |
|                                     |                |                            |                                      |  |                         |                   |  |          |  |   |                        |  |  |
|                                     |                |                            |                                      |  |                         |                   |  |          |  |   |                        |  |  |
|                                     |                |                            |                                      |  |                         |                   |  |          | A  | B   |                        | C  |  |
|                                     |                |                            |                                      |  |                         |                   |  |          |  |   |                        | _  |  |
| 1                                   |                |                            |                                      |  |                         |                   |  |          |  |   |                        |  |  |
|                                     |                |                            |                                      |  |                         |                   |  |          |  |   |                        |  |  |

|                                  |                              |                          |               |                     |   |                |  |  |  |   | -                             |  |
|----------------------------------|------------------------------|--------------------------|---------------|---------------------|---|----------------|--|--|--|---|-------------------------------|--|
| CLASSIFICATION                   |                              |                          | DESCRIP       |                     | ter 29 Table 2902.1 - Mi                    |                | of Required Plumb<br>CLOSETS<br>Female     | ing Fixtures<br>LAVATORIES<br>Male Fem     | BATHTUBS/SHOWER  | DRINKING FOUNTAINS                            |                               | cy Load Calculations - Ba<br>Total Area (sf) Occupa<br>0 |
| ASSEMBLY                         |                              | -                        |               |                     | leries, exhibition halls,<br>and gymnasiums | 1 per 125      | 1 per 65                                   | 1 per 200                                  | -  | 1 per floor                                   | Assembly<br>Business          | 0 2281   |
|                                  |                              |                          |               | -                   | ssional services, other                     |                | <u> </u>                                   | 1 per 40 for the first 80 a                | and 1  |   | Coffee Bar<br>Mech/Electrical | 0<br>1089  |
| BUSINESS                         |                              | olving merch             |               | e buildings,        | banks, light industrial,                    |                | e first 50 and 1 per<br>inder exceeding 50 | per 80 for the remain                      |  | -   | Total Occupants               |  |
| FACTORY (KITCHEN)                | Structures in                | which occup              | -             | aged in wo          | rk fabricating, assembly                    | 1 pe           | er 100                                     | 1 per 100                                  | -  | -   |                               | ncy Load Calculations - L                                |
| STORAGE/MECHANICAL               | Structures for depots, low a |                          |               | arehouses,          | storehouses and freight                     | 1 pe           | er 100                                     | 1 per 100                                  | -  | -   | Assembly                      | Total Area (sf) Occupat<br>0                             |
|                                  |                              |                          |               |                     |   | I              |  | OCCUPANT LOADS C                           | ALCULATED IN TABLES TO THE   | RIGHT HAVE BEEN                               | Assembly<br>Business          | 0<br>3745  |
| Minimum Required P               | lumbing Fixt                 | ture Calcula             | tions base    | d on Tab            | e 2902.1 - Basement                         | (Based on Bool | kstore Use)                                | CALCULATED FOR PL<br>Space Occupant Load ( | UMBING FIXTURE EXERCISE IN<br>Calculation OSSC/10/#10" DOCUM<br>/ICES AND ARE FOR PLUMBING | ACCORDANCE WITH "Office<br>ENT FROM BUREAU OF | Coffee Bar<br>Mech/Electrical | 213<br>41  |
| CLASSIFICATION                   | WATER<br>Male                | CLOSETS<br>Female        | LAVAT<br>Male | ORIES<br>Female     | BATHTUBS/SHOWE                              | RS DRINKING F  | FOUNTAINS                                  | NOT EGRESS.                                | ICES AND ARE FOR FLOMBING  | FIXTORE CALCOLATIONS AND                      | Total Occupants               |  |
| ASSEMBLY                         | 0                            | 0                        | 0             | 0                   | -   | 1 per          | floor                                      |  |  |   |                               | y Load Calculations - Me<br>Total Area (sf) Occupar<br>0 |
| BUSINESS                         | 0.32                         | 0.32                     | 0.2           | 0.2                 | -   | -              | -  |  |  |   | Assembly<br>Business          | 0<br>1098  |
|                                  |                              | 0.045                    | 0.045         | 0.045               |   |                |  |  |  |   | Coffee Bar<br>Mech/Electrical | 0<br>74  |
| STORAGE/MECHANICA                | AL 0.045                     | 0.045                    | 0.045         | 0.045               | -   |                | -  |  |  |   | Total Occupants               |  |
| TOTAL REQUIRED                   |                              | 1 1                      | . 1           | . 1                 |   |                |  |  |  |   |                               | ncy Load Calculations - L<br>Total Area (sf) Occupa      |
| Minimum Required                 | Plumbing Fi                  | xture Calcu              | lations bas   | ed on Ta            | ble 2902.1 - Level 1 (E                     | Based on Books | store Use)                                 |  |  |   | Assembly                      | 0  |
| CLASSIFICATION                   | WATER<br>Male                | CLOSETS<br>Female        | LAVAT<br>Male | ORIES<br>Female     | BATHTUBS/SHOWE                              |                | FOUNTAINS                                  | A  | B  |   | Assembly<br>Business          | 0<br>3446  |
|                                  |                              |                          |               |                     |   | 1              | - fl                                       |  |  |   | Coffee Bar<br>Mech/Electrical | 0<br>121   |
| ASSEMBLY                         | 0                            | 0                        | 0             | 0                   | -   | 1 per          | floor                                      |  |  |   | Total Occupants               |  |
| BUSINESS                         | 0.68                         | 0.68                     | 0.425         | 0.425               | -   | -              | -  |  |  |   |                               |  |
| KITCHEN SPACE                    |                              | 0 0                      | C             | -                   |   |                |  |  | 5  |   |                               |  |
| STORAGE/MECHANICA                | AL 0.0:                      | 1 0.01<br>1 1            | . 0.01<br>. 1 | 0.01                | -   | -              | -  |  |  |   |                               |  |
| Minimum Required                 | Dlumbing Fi                  | vturo Colou              | lations has   | ad on Ta            | blo 2002 1 - Lovel 2 //                     | Dacad on Books |  |  |  |   |                               |  |
| Minimum Required                 | WATER                        | CLOSETS                  | LAVAT         | ORIES               | BATHTUBS/SHOWE                              |                |  |  |  | P Neok  |                               | MEZ  |
|                                  | Male                         | Female                   | Male          | Female              |   |                |  |  |  |   | 3                             | 4  |
| BUSINESS                         | 0.46                         | 0.46                     | 0.2875        | 0.2875              | -   | -              | -  |  |  |   |                               |  |
| STORAGE/MECHANICA                | AL 0.0                       | 1 0.01<br>1 1            | 0.01          | 0.01                | _   | -              | (A   | 201 01                                     |  |   |                               |  |
|                                  |                              | ing Fixture<br>R CLOSETS | 1             | s based or<br>ORIES | Table 2902.1 (Based o<br>BATHTUBS/SHOWE     |                |  |  |  |   |                               | 6  |
| CLASSIFICATION<br>Basement Level | Require                      | ed Provideo              | -             |                     | Required Provide                            |                | Provided                                   | 4 201                                      |  |   | LI LI                         | 2.723.76.st  |
| Level 1                          | 2                            | 2                        | 2             | 2                   |   | 1              |  |  |  |   |                               |  |
| Level 2                          | 2                            |                          | 2             | 2                   |   | -              | -  |  |  |   | 1,639,58,st                   |  |
| TOTAL REQUIRED                   | 6                            | 8                        | 6             | 8                   | 0 0   | 2              | 2  |  |  | 5 4452  |                               |  |
|                                  |                              |                          |               |                     |   |                |  |  |  |   |                               |  |
| —                                |                              |                          |               |                     |   |                |  |  |  | BOOKSTORE                                     |                               |  |
|                                  |                              |                          |               |                     |   |                | BOOKSTORE/<br>ASSEMBLY                     |  |  |   |                               |  |
|                                  |                              |                          |               |                     |   |                | SEATING<br>ASSEMBLY -                      |  |  |   |                               |  |
|                                  |                              |                          |               |                     |   |                | A-3<br><b>1,640 SF</b><br>7 SF/OCC         |  |  |   |                               |  |
| 2                                |                              |                          |               |                     |   |                | 235 OCC'S                                  |  |  |   |                               |  |
|                                  |                              |                          |               |                     |   |                |  |  |  |   |                               |  |
|                                  |                              |                          |               |                     |   |                |  |  |  |   |                               | 31   |
|                                  |                              |                          |               |                     |   |                |  |  |  |   |                               | 32   |
|                                  |                              |                          |               |                     |   |                | 3  |  |  |   |                               | <u>/</u>   |
| —                                |                              |                          |               |                     |   |                |  |  |  |   |                               |  |
|                                  |                              |                          |               |                     |   |                |  |  |  |   |                               |  |
|                                  |                              |                          |               |                     |   |                |  |  |  |   |                               |  |
|                                  |                              |                          |               |                     |   |                |  | A  | B  |   | <b>(C)</b>                    |  |
| 1                                |                              |                          |               |                     |   |                |  |  |  |   |                               |  |
|                                  |                              |                          |               |                     |   |                |  |  |  |   |                               |  |

| CLASSIFICATION                   |                |                          | DESCRIP                       |                     | oter 29 Table 2902.1 - Mi                              |                | of Required Plumb                        | LAVATORIES  | BATHTUBS/SHOW/EDS  | DRINKING FOUNTAINS      | -                                  | y Load Calculations - Ba<br>Total Area (sf) Occupa |
|----------------------------------|----------------|--------------------------|-------------------------------|---------------------|--|----------------|--|---|--|-------------------------|------------------------------------|--|
|                                  | Auditoriums    | without per              |                               |                     | lleries, exhibition halls,                             | Male           | Female                                   | Male Female   | BATTIOBS/SHOWERS   |                         | Assembly<br>Assembly               | 0  |
| ASSEMBLY                         |                |                          |                               |                     | and gymnasiums   | 1 per 125      | 1 per 65                                 | 1 per 200   | -  | 1 per floor             | Business<br>Coffee Bar             | 2281<br>0  |
| BUSINESS                         |                |                          |                               |                     | essional services, other<br>, banks, light industrial, | -              | first 50 and 1 per<br>nder exceeding 50  | 1 per 40 for the first 80 and 1<br>per 80 for the remainder | -  | -                       | Mech/Electrical<br>Total Occupants | 1089   |
|                                  | Structures in  |                          | atory care a<br>ants are eng  |                     | uses<br>ork fabricating, assembly                      |                | _  | exceeding 80  |  |                         |                                    | ncy Load Calculations - L                          |
| FACTORY (KITCHEN)                | Structures for | _                        | ssing of prod<br>of goods, wa |                     | aterials<br>, storehouses and freight                  |                | er 100                                   | 1 per 100   | -  | -                       | Occupancy Type                     | Total Area (sf) Occupa                             |
| STORAGE/MECHANICAL               | depots, low a  | nd moderate              | hazard                        |                     |  | 1 pe           | er 100                                   | 1 per 100   | -  | -                       | Assembly<br>Assembly               | 0  |
| Minimum Domuirod Di              | lumbing Fiut   | ura Calcula              | tions has                     | d on Tab            | la 2002 1 Bacoment                                     | (Decod on Dool |  | CALCULATED FOR PLUMB  | ILATED IN TABLES TO THE R<br>ING FIXTURE EXERCISE IN A<br>lation OSSC/10/#10" DOCUME | CCORDANCE WITH "Office  | Business<br>Coffee Bar             | 3745<br>213  |
| Minimum Required P               | WATER          | CLOSETS                  | LAVAT                         |                     | BATHTUBS/SHOWE   | -              | -  | DEVELOPMENT SERVICES<br>NOT EGRESS.                         | AND ARE FOR PLUMBING F   | IXTURE CALCULATIONS AND | Mech/Electrical<br>Total Occupants | 41   |
|                                  | Male           | Female                   | Male                          | Female              |  |                |  |   |  |                         | Occupance                          | y Load Calculations - Me                           |
| ASSEMBLY                         | 0              | 0                        | 0                             | 0                   | -  | 1 per          | floor                                    |   |  |                         |                                    | Total Area (sf) Occupa<br>0                        |
| BUSINESS                         | 0.32           | 0.32                     | 0.2                           | 0.2                 | _  | _              |  |   |  |                         | Assembly                           | 0 1098   |
|                                  | 0.52           | 0.52                     | 0.2                           | 0.2                 | -  |                |  |   |  |                         | Business<br>Coffee Bar             | 0  |
| STORAGE/MECHANICA                | AL 0.045       | 0.045                    | 0.045                         | 0.045               | -  | -              | -  |   |  |                         | Mech/Electrical<br>Total Occupants | 74   |
| TOTAL REQUIRED                   | 1              | L 1                      | . 1                           | . 1                 |  |                |  |   |  |                         | Occupar                            | ncy Load Calculations - L                          |
| Minimum Required                 | Plumbing Fi    | vture Calcu              | lations has                   | ed on Ta            | ble 2902.1 - Level 1 (E                                | tased on Books | tore Use)                                |   |  |                         | Occupancy Type<br>Assembly         | Total Area (sf) Occupa<br>0                        |
| CLASSIFICATION                   | WATER          | CLOSETS                  | LAVAT                         | ORIES               | BATHTUBS/SHOWF   |                | -  |   |  |                         | Assembly<br>Business               | 0<br>3446  |
|                                  | Male           | Female                   | Male                          | Female              |  |                |  |   | В  |                         | Coffee Bar<br>Mech/Electrical      | 0 121  |
| ASSEMBLY                         | 0              | 0                        | 0                             | 0                   | -  | 1 per          | floor                                    |   |  |                         | Total Occupants                    | 121  |
| BUSINESS                         | 0.68           | 0.68                     | 0.425                         | 0.425               | _  | -              |  |   |  |                         |                                    |  |
| KITCHEN SPACE                    |                |                          |                               |                     |  |                |  |   |  |                         |                                    |  |
| STORAGE/MECHANICA                | AL 0.01        | L 0.01                   | 0.01                          | . 0.01              | -  | -              | -  | 5   |  |                         |                                    |  |
| TOTAL REQUIRED                   | 1              | L 1                      | . 1                           | . 1                 |  |                |  |   |  |                         |                                    |  |
| Minimum Required                 | Plumbing Fix   | xture Calcu              | lations bas                   | ed on Ta            | ble 2902.1 - Level 2 (E                                | ased on Books  | tore Use)                                |   |  |                         |                                    |  |
| CLASSIFICATION                   | Male Male      | CLOSETS<br>Female        | LAVAT<br>Male                 | ORIES<br>Female     | BATHTUBS/SHOWER  |                | OUNTAINS                                 |   |  |                         |                                    | MÉZ  |
| BUSINESS                         | 0.46           | 0.46                     | 0.2875                        | 0.2875              | _  | -              | -  |   |  |                         |                                    |  |
| -                                |                |                          |                               |                     |  |                |  |   |  |                         |                                    |  |
| STORAGE/MECHANICA                | AL 0.01        | L 0.01<br>L 1            | . 0.01                        | . 0.01<br>. 1       |  |                | (  | 201 01  |  |                         |                                    |  |
|                                  | -              | ing Fixture<br>R CLOSETS |                               | s based or<br>ORIES | n Table 2902.1 (Based o<br>BATHTUBS/SHOWER             |                | e)<br>FOUNTAINS                          |   |  |                         |                                    | 5-4  |
| CLASSIFICATION<br>Basement Level |                |                          |                               |                     | d Required Provide                                     |                | Provided                                 | 4 201   |  |                         | LELL                               | 2,723,76,st  |
| Level 1<br>Level 2               | 2              | 2                        | 2                             | 2                   |  | 1              | 1  |   |  |                         |                                    |  |
|                                  |                |                          |                               |                     |  | -              |  |   |  |                         | 1,639,58,st                        |  |
| TOTAL REQUIRED                   | 0              | 8                        | o                             | 8                   | 0 0  | 2              | 2  | 5   |  | 5 4452                  |                                    |  |
|                                  |                |                          |                               |                     |  |                |  |   |  | BOOKSTORE               | /EVENT                             |  |
| —                                |                |                          |                               |                     |  |                |  |   |  |                         |                                    |  |
|                                  |                |                          |                               |                     |  |                | BOOKSTORE/<br>ASSEMBLY<br>SEATING        |   |  |                         |                                    |  |
|                                  |                |                          |                               |                     |  |                | ASSEMBLY<br>A-3                          |   |  |                         |                                    |  |
|                                  |                |                          |                               |                     |  |                | <b>1,640 SF</b><br>7 SF/OCC<br>235 OCC'S |   |  |                         |                                    |  |
| 2                                |                |                          |                               |                     |  |                | 200 000 0                                |   |  |                         |                                    |  |
|                                  |                |                          |                               |                     |  |                |  |   |  |                         |                                    |  |
|                                  |                |                          |                               |                     |  |                |  |   |  |                         |                                    | 31   |
|                                  |                |                          |                               |                     |  |                |  |   |  |                         |                                    | 32   |
|                                  |                |                          |                               |                     |  |                | 3  |   |  |                         |                                    |  |
|                                  |                |                          |                               |                     |  |                |  |   |  |                         |                                    |  |
|                                  |                |                          |                               |                     |  |                |  |   |  |                         |                                    |  |
|                                  |                |                          |                               |                     |  |                |  |   |  |                         |                                    |  |
|                                  |                |                          |                               |                     |  |                |  |   | B  |                         |                                    |  |
| 1                                |                |                          |                               |                     |  |                |  |   |  |                         |                                    |  |
|                                  |                |                          |                               |                     |  |                |  |   |  |                         |                                    |  |

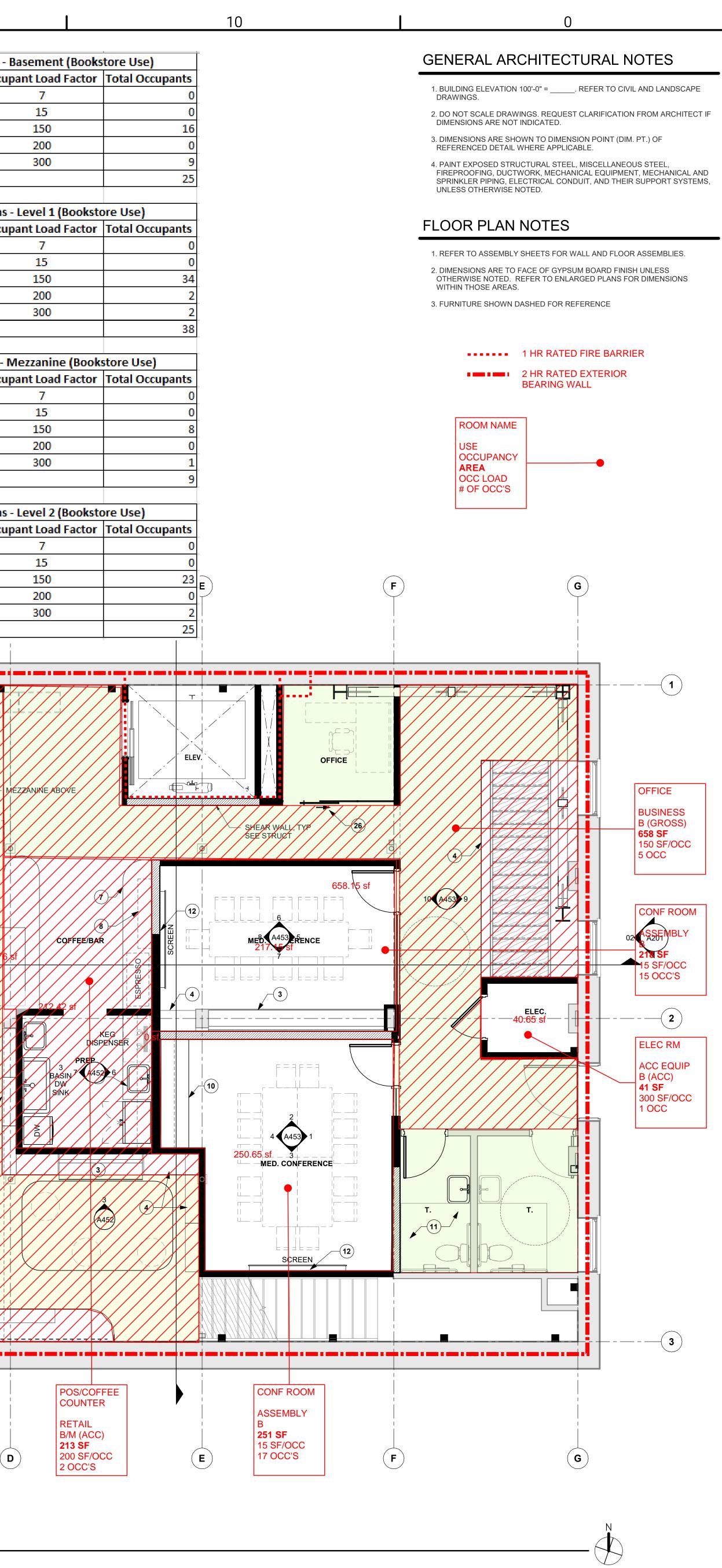
| CLASSIFICATION            |                                  |                        | DESCRIP       |                   | oter 29 Table 2902.1 - Mi                             |                | of Required Plum<br>CLOSETS              | LAVATORIES               | BATHTUBS/SHOWERS  | DRINKING FOUNTAINS |                                    | cy Load Calculations - Ba<br>Total Area (sf) Occupa |
|---------------------------|----------------------------------|------------------------|---------------|-------------------|---|----------------|--|--------------------------|---|--------------------|------------------------------------|---|
| CLASSIFICATION            | Auditoriuma                      | without por            |               |                   | llarica, avhibition balla                             | Male           | Female                                   | Male Female              | e BATTTOBS/SHOWERS  |                    | Assembly<br>Assembly               | 0   |
| ASSEMBLY                  |                                  |                        |               |                   | lleries, exhibition halls,<br>and gymnasiums          | 1 per 125      | 1 per 65                                 | 1 per 200                | -   | 1 per floor        | Business<br>Coffee Bar             | 2281<br>0   |
| BUSINESS                  | _                                |                        |               |                   | ssional services, other<br>, banks, light industrial, | -              | first 50 and 1 per                       | ner 80 tor the remainder |   | _                  | Mech/Electrical                    | 1089  |
|                           |                                  | ambul                  | atory care a  | nd similar        | uses  |                | nder exceeding 50                        | exceeding 80             |   |                    | Total Occupants                    |   |
| FACTORY (KITCHEN)         |                                  | or proces              | ssing of prod | lucts or ma       |   | 1 pe           | er 100                                   | 1 per 100                | -   | -                  |                                    | ncy Load Calculations - L<br>Total Area (sf) Occupa |
| STORAGE/MECHANICAL        | Structures for<br>depots, low an |                        |               | arehouses,        | , storehouses and freight                             | 1 pe           | er 100                                   | 1 per 100                | -   | -                  | Assembly                           | 0   |
| ,                         |                                  |                        |               |                   |   |                |  | OCCUPANT LOADS CALC      | CULATED IN TABLES TO THE F  | RIGHT HAVE BEEN    | Assembly<br>Business               | 0<br>3745   |
| Minimum Required Pl       | lumbing Fixt                     | ure Calcula            | tions base    | d on Tab          | le 2902.1 - Basement                                  | (Based on Book | kstore Use)                              | Space Occupant Load Cal  | IBING FIXTURE EXERCISE IN /<br>culation OSSC/10/#10" DOCUM<br>ES AND ARE FOR PLUMBING F | ENT FROM BUREAU OF | Coffee Bar<br>Mech/Electrical      | 213<br>41   |
| CLASSIFICATION            | WATER<br>Male                    | CLOSETS<br>Female      | LAVAT<br>Male | ORIES<br>Female   | BATHTUBS/SHOWER                                       |                |  | NOT EGRESS.              |   |                    | Total Occupants                    |   |
| ACCEMPLY                  |                                  |                        | _             |                   |   | 1              | <i>6</i> 1                               |                          |   |                    |                                    | y Load Calculations - Me                            |
| ASSEMBLY                  | 0                                | U                      | 0             | 0                 | -   | 1 per          | TIOOr                                    |                          |   |                    | Occupancy Type<br>Assembly         | Total Area (sf) Occupa<br>0                         |
| BUSINESS                  | 0.32                             | 0.32                   | 0.2           | 0.2               | -   | _              |  |                          |   |                    | Assembly<br>Business               | 0 1098  |
|                           |                                  |                        |               |                   |   |                | -  |                          |   |                    | Coffee Bar                         | 0   |
| STORAGE/MECHANICA         | AL 0.045                         | 0.045                  | 0.045         | 0.045             | -   | -              |  |                          |   |                    | Mech/Electrical<br>Total Occupants | 74  |
| TOTAL REQUIRED            | 1                                | L 1                    | . 1           | . 1               | L   |                |  |                          |   |                    | Occupat                            | ncy Load Calculations - L                           |
|                           |                                  |                        |               |                   |   |                |  |                          |   |                    | Occupancy Type                     | Total Area (sf) Occupa                              |
| Minimum Required          |                                  | kture Calcu<br>CLOSETS | lations bas   |                   |   |                | -  |                          |   |                    | Assembly<br>Assembly               | 0   |
| CLASSIFICATION            | Male                             | Female                 | -             | Female            | BATHTUBS/SHOWE  | RS DRINKING F  | OUNTAINS                                 | A                        | В   |                    | Business<br>Coffee Bar             | 3446<br>0   |
| ASSEMBLY                  | o                                | 0                      | 0             | 0                 | -   | 1 per          | floor                                    |                          |   |                    | Mech/Electrical                    | 121   |
| -                         | _                                |                        |               |                   |   |                |  |                          |   |                    | Total Occupants                    | T I I   |
| BUSINESS                  | 0.68                             | 0.68                   | 0.425         | 0.425             | -   | -              | -<br>-\                                  |                          |   |                    |                                    |   |
| KITCHEN SPACE             |                                  |                        | ) 0           | ) (               | )   |                |  | 5                        |   |                    |                                    |   |
| STORAGE/MECHANICA         | AL 0.01                          | L 0.01                 | 0.01          | 0.01              | -   | -              |  |                          |   |                    |                                    |   |
| TOTAL REQUIRED            |                                  | 1 1                    | . 1           | . 1               |   |                |  |                          |   |                    |                                    |   |
| Minimum Required          |                                  |                        |               |                   | ble 2902.1 - Level 2 (E                               | Based on Books | tore Use)                                |                          |   |                    |                                    | MEZ   |
| CLASSIFICATION            | Male                             | CLOSETS<br>Female      | LAVAT<br>Male | Female            | BATHTUBS/SHOWE  | RS DRINKING F  | OUNTAINS                                 |                          | /////////////////////////////////   |                    |                                    |   |
| BUSINESS                  | 0.46                             | 0.46                   | 0.2875        | 0.2875            | _   | _              |  |                          |   |                    | 3                                  |   |
| -                         |                                  |                        |               |                   |   |                |  |                          |   |                    |                                    |   |
| STORAGE/MECHANICA         | AL 0.01                          | L 0.01<br>L 1          | . 0.01<br>. 1 | 0.01              | <br>_   | -              |  | A201 01                  | × ////////////////////////////////////  |                    | LXXXX<br>J/J/J/                    |   |
| Minimum Rec               | -                                | _                      |               |                   | n Table 2902.1 (Based o                               |                | :)                                       |                          |   |                    |                                    |   |
| CLASSIFICATION            |                                  | R CLOSETS              |               | ORIES<br>Provided | BATHTUBS/SHOWER                                       |                |  | 4                        |   |                    |                                    | 6<br>2,723,76,sf                                    |
| Basement Level<br>Level 1 | 2                                | 4                      | 2             | 4                 |   | 1              | $\frac{1}{1}$                            | 4201                     |   |                    |                                    |   |
| Level 2                   | 2                                | 2                      | 2             | 2                 |   | -              | -  |                          |   |                    |                                    |   |
| TOTAL REQUIRED            | 6                                | 8                      | 6             | 8                 | 0 0   | 2              | 2  |                          |   |                    | 1,639,58,st                        |   |
| I                         | '                                | I                      | 1             | I                 | 1 I   | 1 1            | 1  | 5                        |   | 5 4452             |                                    |   |
| _                         |                                  |                        |               |                   |   |                |  |                          |   | BOOKSTORE          | VEVENT                             |   |
|                           |                                  |                        |               |                   |   |                | BOOKSTORE/                               |                          |   |                    |                                    |   |
|                           |                                  |                        |               |                   |   |                | ASSEMBLY<br>SEATING                      |                          |   |                    |                                    |   |
|                           |                                  |                        |               |                   |   |                | ASSEMBLY<br>A-3                          |                          |   |                    |                                    |   |
|                           |                                  |                        |               |                   |   |                | <b>1,640 SF</b><br>7 SF/OCC<br>235 OCC'S |                          |   |                    |                                    |   |
| 2                         |                                  |                        |               |                   |   |                | 200 000 0                                |                          |   |                    |                                    |   |
|                           |                                  |                        |               |                   |   |                |  |                          |   |                    |                                    |   |
|                           |                                  |                        |               |                   |   |                |  |                          |   |                    |                                    | 31  |
|                           |                                  |                        |               |                   |   |                |  |                          |   |                    |                                    |   |
|                           |                                  |                        |               |                   |   |                | 3  |                          |   |                    |                                    | <u>///_/_/_/_/_/_/_/</u>                            |
| —                         |                                  |                        |               |                   |   |                |  |                          |   |                    |                                    |   |
|                           |                                  |                        |               |                   |   |                |  |                          |   |                    |                                    |   |
|                           |                                  |                        |               |                   |   |                |  |                          |   |                    |                                    |   |
|                           |                                  |                        |               |                   |   |                |  |                          | B   |                    |                                    |   |
|                           |                                  |                        |               |                   |   |                |  |                          |   |                    |                                    |   |
| 1                         |                                  |                        |               |                   |   |                |  |                          |   |                    |                                    |   |
|                           |                                  |                        |               |                   |   |                |  |                          |   |                    |                                    |   |



30

20

1 FLOOR PLAN - LEVEL 1 1/4" = 1'-0"



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