

Development Services

From Concept to Construction

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APPEAL SUMMARY

Status: Decision Rendered - Held over from ID 27888 (7/20/22) for additional information

Appeal ID: 27924	Project Address: 716 SE Grand Ave
Hearing Date: 8/3/22	Appellant Name: Tom Jaleski
Case No.: B-008	Appellant Phone: 971-238-5266
Appeal Type: Building	Plans Examiner/Inspector: Steve Mortensen
Project Type: commercial	Stories: 2 Occupancy: A, B, S-1 Construction Type: III-B
Building/Business Name: Literary Arts	Fire Sprinklers: Yes - Entire Building
Appeal Involves: Reconsideration of appeal	LUR or Permit Application No.:
Plan Submitted Option: pdf [File 1] [File 2] [File 3] [File 4] [File 5] [File 6] Proposed use: Commercial	

APPEAL INFORMATION SHEET

Appeal item 1

Code Section	OSSC 2902.1
Requires	<p>2902.1 Minimum Number of Fixtures</p> <p>Plumbing fixtures shall be provided in the minimum number as shown in Table 2902.1 based on the actual use of the building or space. Uses not specifically listed in Table 2902.1 shall be considered individually by the building official and shall reflect the use of the space being served by the fixtures. The number of occupants shall be determined by this code.</p> <p>Reconsideration Text</p> <p>No Change</p>
Code Modification or Alternate Requested	<p>Permit an existing building bathroom fixture count based on adoption of building wide single-user toilet facilities and lower actual user count compared to code required means of egress occupant load.</p> <p>Reconsideration Text</p> <p>No Change</p>
Proposed Design	<p>The project involves alteration of an existing historical building. Literary Arts, Inc. of Portland, Oregon, located in the historical Nathaniel West Building at 719 SE Grand Avenue in Portland, Oregon. This space was used previously as a furniture sales store and will be converted into office, storage and assembly spaces used for engagement of readers, support writings and inspire the next generation with great literature. The building is proposed to be equipped with 8 single-user water closets and 8 single-user lavatories. Based upon plumbing fixture calculations in accordance with Table 2902.1, the required plumbing fixtures totals are 11 water closets and 8</p>

lavatories. All restrooms are single-user toilet facilities in accordance with Section 2902.1.2. The first-floor entrance opens to the bookstore/event space which will serve as dual occupancy business and assembly type A-3 when functions are active. The assembly space will be concentrated (chairs only-not fixed) and have an occupant load factor of 1 occupant per 7 square feet. With the assembly occupancy, the required plumbing calculations push the minimum required plumbing fixture count higher than the existing fixture count. We request that the reduced required minimum plumbing fixture count be permitted based on the following improvements:

The building will be provided with eight single user toilets available to all users/genders.
The building will undergo seismic upgrade per the ASCE 41-BPON as required by City code Title 24.85
The building will be fully sprinklered throughout.
Automatic smoke detection and audio/visual notification shall be installed throughout the building.
All restrooms to be single-user toilet facilities to be available to any persons in the building, to accommodate "Potty Parity" - equal allocation for all genders.
A new second stair to be added to Level 2 for increased access to all restroom facilities
Reconsideration Text

The project involves alteration of an existing historical building. Literary Arts, Inc. of Portland, Oregon, located in the historical Nathaniel West Building at 719 SE Grand Avenue in Portland, Oregon. This space was used previously as a furniture sales store and will be converted into office, storage and assembly spaces used for engagement of readers, support writings and inspire the next generation with great literature. The building is proposed to be equipped with 8 single-user water closets and 8 single-user lavatories. Based upon plumbing fixture calculations in accordance with Table 2902.1 and the Office Space Occupant Load Calculation OSSC/10/#10 document, the required plumbing fixtures totals are 9 water closets and 7 lavatories. All restrooms are single-user toilet facilities in accordance with Section 2902.1.2. The first-floor entrance opens to the bookstore/event space which will serve as dual occupancy business and assembly type A-3 when functions are active. The assembly space will be concentrated (chairs only-not fixed) and have an occupant load factor of 1 occupant per 7 square feet. With the assembly occupancy, the required plumbing calculations push the minimum required plumbing fixture count higher than the existing fixture count. We request that the reduced required minimum plumbing fixture count be permitted based on the following improvements:

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All restrooms to be single-user toilet facilities to be available to any persons in the building, to accommodate "Potty Parity" - equal allocation for all genders.
A new second stair to be added to Level 2 for increased access to all restroom facilities

Reason for alternative For the day-to-day operations of Literary Arts, the building will serve ultimately as a business type occupancy. As such, the plumbing fixture calculations for the conference rooms, which push the minimum required plumbing fixture counts higher than the existing plumbing fixtures are calculated for, lead to overcalculation based on the actual occupant load. All conference rooms are sized less than 750-square feet and are more closely associated with the business type occupancy that exists as the dominant occupancy of the building. With the plumbing fixtures calculated with these rooms at one occupant per 150 square feet as business occupancies, the minimum required plumbing fixtures would be nine water closets and six lavatories. The building exceeds the minimum required lavatory count and is only deficient by a single water closet. As these plumbing

fixture calculations take potty parity into account, the fixture calculations also lead to overcalculation based on actual use. The restrooms provide an equality of fixture availability to all persons all genders equally. Since the restroom availability will be equal to all persons and genders, the historical situations where long lines of women waiting to use toilet facilities is not anticipated to be present as all restrooms will be available to all persons in the building. As such, the "potty parity" should be 1 to 1 for the building.

Literary Arts has a history of organizing community events, and the staff is well-trained to manage these events and attend to guest needs. During each function that would necessitate the assembly occupancy in the bookstore, the staff that works on Level 2 will provide support to the assembly space. It is anticipated that there will be a minimal number of occupants on Level 2 during these functions and that the restrooms on Level 2 will still function for their occupants' use. The addition of a second stair to Level 2 further increases the ease of access to these restrooms and additional restrooms for occupants of Level 2. There are four toilets in the basement level, which are also accessible to the visitors by an open stair and dedicated corridor.

The existing building was constructed in 1892 and has been fully operational for 130 years. The historical character of this building is vital to the property. The proposed remediation will preserve the historic character of the building while extending its useful life for a very long time. This preserves and enhances the character of the neighborhood and demonstrates a commitment to sustainable growth in a uniquely Portland way.

Beyond the life safety improvements, this project will create a special place for community members to create opportunities for readers and writers of all ages and walks of life to engage with books and stories. The statement below speaks volume about this organization and its commitment to sustaining and enhancing the character of the community we live in starting with their own building.

"We are committed to a different future, one in which all members of our community have the opportunity to tell their stories, particularly members of our communities of color. Though we acknowledge there are a variety of marginalized and oppressed identities within our community, our emphasis in this work is on race and ethnicity. Facility and comfort with the language of racial oppression can be used to develop empathy and understanding across issues of gender, sexual orientation, and ability. It is our hope that by addressing racial inequity in our community, we will create a space in which readers, writers, and youth of any and all identities feel welcome." – Literary Arts website

Such activities are simple things that the majority of us take for granted but not available to the marginalized population that this organization reaches out to that otherwise is not served at all. It is important to find an alternate but safe path that will allow these simple but important features to be incorporated into this project. We believe that this proposal does that and hope that you will agree.

We believe that the proposed improvements will more than compensate for the plumbing fixture count and provide equivalent restroom access and availability as the code intended, while revitalizing a building that is a community treasure. Therefore, we urge you to approve it.

Reconsideration Text

For the day-to-day operations of Literary Arts, the building will serve ultimately as a business type occupancy. As such, the plumbing fixture calculations for the conference rooms, which push the minimum required plumbing fixture counts higher than the existing plumbing fixtures are calculated for, lead to overcalculation based on the actual occupant load. All conference rooms are sized less than 750-square feet and are more closely associated with the business type occupancy that exists as the dominant occupancy of the building. With the plumbing fixtures calculated with these rooms at one occupant per 150 square feet as business occupancies, the minimum required

plumbing fixtures would be six water closets and six lavatories. The building would be compliant with the minimum required plumbing fixtures calculated this way. As these plumbing fixture calculations take potty parity into account, the fixture calculations also lead to overcalculation based on actual use. The restrooms provide an equality of fixture availability to all persons all genders equally. Since the restroom availability will be equal to all persons and genders, the historical situations where long lines of women waiting to use toilet facilities is not anticipated to be present as all restrooms will be available to all persons in the building. As such, the “potty parity” should be 1 to 1 for the building.

Literary Arts has a history of organizing community events, and the staff is well-trained to manage these events and attend to guest needs. During each function that would necessitate the assembly occupancy in the bookstore, the staff that works on Level 2 will provide support to the assembly space. It is anticipated that there will be a minimal number of occupants on Level 2 during these functions and that the restrooms on Level 2 will still function for their occupants' use. The addition of a second stair to Level 2 further increases the ease of access to these restrooms and additional restrooms for occupants of Level 2. There are four toilets in the basement level, which are also accessible to the visitors by an open stair and dedicated corridor.

The existing building was constructed in 1892 and has been fully operational for 130 years. The historical character of this building is vital to the property. The proposed remediation will preserve the historic character of the building while extending its useful life for a very long time. This preserves and enhances the character of the neighborhood and demonstrates a commitment to sustainable growth in a uniquely Portland way.

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We believe that the proposed improvements will more than compensate for the plumbing fixture count and provide equivalent restroom access and availability as the code intended, while revitalizing a building that is a community treasure. Therefore, we urge you to approve it.

Appeal item 2

Code Section	OSSC 505.2.1
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Requires	505.2.1 Area Limitation
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The aggregate area of a mezzanine or mezzanines within a room shall be not greater than one-third of the floor area of that room or space in which they are located. The enclosed portion of a room shall not be included in a determination of the floor area of the room in which the mezzanine is located. In determining the allowable mezzanine area, the area of the mezzanine shall not be included in the floor area of the room.

Reconsideration Text

No Change

Code Modification or Alternate Requested

Permit an existing mezzanine to exceed the area limits of OSSC 505.2.1 based on the proposed mitigating measures, which included addition of automatic sprinklers, smoke detection and alarm, seismic upgrades, and an additional stair accessing the mezzanine.

Reconsideration Text

No Change

Proposed Design

The project involves alteration of an existing historical building. Literary Arts, Inc. of Portland, Oregon, will be relocating to the historical Nathaniel West Building at 719 SE Grand Avenue in Portland, Oregon. This space was used previously as a furniture sales store and will be converted into office, storage and assembly spaces used for engagement of readers, support writings and inspire the next generation with great literature. The existing mezzanine that has been permitted under the legacy code exceeds the 1/3rd of the floor area of the room it is located in. The area of the mezzanine is 1,370 square feet while the floor area of Level 1 room that it is open to is 2,724 square feet. This exceeds one-third the floor area limit of OSSC 505.2.1. We request that this be permitted based on the following proposed improvements:

The building will undergo seismic upgrade per the ASCE 41-BPON as required by City code Title 24.85

The building will be fully sprinklered throughout.

Automatic smoke detection and audio/visual notification shall be installed throughout the building. A new second stair will be added to provide second means of egress from the mezzanine

Reconsideration Text

No Change

Reason for alternative

The existing building was built in 1892 and has been fully operational for 130 years. The existing mezzanine is integral part of the historical design of this building. The proposed remediation will preserve the historic character of the building including the existing mezzanine while upgrading to extend its useful life for a very long time. This preserves and enhances the character of the neighborhood and demonstrates a commitment to sustainable growth in a uniquely Portland way.

The mezzanine area as it exists today exceeds the ratio permitted by Section 505.2.1. Decreasing the floor area of the mezzanine would be a large task that would significantly reduce the usable area of the building, would be cost prohibitive, and compromise its structural integrity. The proposal will upgrade the building, while optimizing and maximizing the usefulness of the building, and improving safety and survivability of the occupants in case of a fire or other life safety event. For the following reasons this proposal will meet or exceed the code intent.

Seismic improvements will make the structure more resilient and improve the safety levels in an emergency.

Automatic smoke detection will provide early notification and allow more time for the occupants to exit the building in an emergency.

The addition of an NFPA 13 sprinkler system will ensure that any emerging fire will be controlled, if not contained, promptly.

Addition of second stair to access the mezzanine will provide a more expedited egress time in an emergency.

Beyond the life safety improvements this proposal provides, this project will create a special place for community members to create opportunities for readers and writers of all ages and walks of life to engage with books and stories. The statement below speaks volume about the purpose of this organization and the commitment to sustaining and enhancing the character of the community we live in starting with their own building.

“We are committed to a different future, one in which all members of our community have the opportunity to tell their stories, particularly members of our communities of color. Though we acknowledge there are a variety of marginalized and oppressed identities within our community, our emphasis in this work is on race and ethnicity. Facility and comfort with the language of racial oppression can be used to develop empathy and understanding across issues of gender, sexual orientation, and ability. It is our hope that by addressing racial inequity in our community, we will create a space in which readers, writers, and youth of any and all identities feel welcome.” – Literary Arts website

We believe that the proposed improvements will more than compensate for the increased mezzanine area and provide a level of safety to the occupants as code intended, while revitalizing a building that is a community treasure. Therefore, we urge you to approve it.

Reconsideration Text

No Change

Appeal item 3

Code Section	OSSC 1007.1.1
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Requires	1007.1.1 Two Exits or Exit Access Doorways
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Where two exits, exit access doorways, exit access stairways or ramps, or any combination thereof, are required from any portion of the exit access, they shall be placed a distance apart equal to not less than one-half of the length of the maximum overall diagonal dimension of the building or area to be served measured in a straight line between them. Interlocking or scissor stairways shall be counted as one exit stairway.

Exceptions:

Where interior exit stairways or ramps are interconnected by a 1-hour fire-resistance-rated corridor conforming to the requirements of Section 1020, the required exit separation shall be measured along the shortest direct line of travel within the corridor.

Where a building is equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1 or 903.3.1.2, the separation distance shall be not less than one-third of the length of the maximum overall diagonal dimension of the area served.

Reconsideration Text

No Change

Code Modification or Alternate Requested	Permit an existing building with two means of egress separated by less than 1/3rd the diagonal based on the following mitigating measures; addition of automatic sprinkler system, seismic upgrades, and automatic smoke detection and alarm.
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Reconsideration Text

No Change

Proposed Design

The project involves alteration of an existing historical building. Literary Arts, Inc. of Portland, Oregon, located in the historical Nathaniel West Building at 719 SE Grand Avenue in Portland, Oregon. This space was used previously as a furniture sales store and will be converted into office, storage and assembly spaces used for engagement of readers, support writings and inspire the next generation with great literature. The building currently has two exits in the front and one in the back. However, the back exit faces an existing parking lot without a path leading to a public way. That parking lot will get developed in the future and that exit will no longer be available for the occupants of this building. The two existing exits in the front are spaced less than 1/3rd the diagonal, but they are the only exits with access to public way. The diagonal dimension of the ground floor is 93'-4", which requires the two exits to be separated by a distance of 31'-1 1/3". The actual distance between the two exits is 28'-1".

We request that the reduced separation between the two existing exits be permitted based on the following improvements:

The building will undergo seismic upgrade per the ASCE 41-BPON as required by City code Title 24.85

The building will be fully sprinklered throughout.

Automatic smoke detection and audio/visual notification shall be installed throughout the building.

Reconsideration Text

No Change

Reason for alternative

The existing building was built in 1892 and has been fully operational for 130 years. The exterior façade of this building including the location of the two entrances/exits is vital to the historical design of this building. The proposed remediation will preserve the location of these exit and thus the historic character of the building while extending its useful life for a very long time. This preserves and enhances the character of the neighborhood and demonstrates a commitment to sustainable growth in a uniquely Portland way.

It was noted in the BDS Early Assistance Response 12/08/2021 that primary characteristics of the Grand Avenue Historic District include center entrances and storefront predominantly at the street edge. Because of this, moving the main entry or adding a third exit door further south would not align with the historic character of the building or district overall. The separation distance is only deficient by three feet, which is only 10% less than the required separation distance. The proposal to upgrade the building systems, while optimizing and expanding the usefulness of the building will significantly improve safety and survivability of the occupants in case of fire or other life safety event.

We request that the reduced separation between two existing exit doors be permitted based on the following proposed improvements:

Seismic improvements will make the structure more resilient and improve the safety levels in an emergency.

Early smoke detection will allow more time for the occupants to respond to an emergency.

The addition of an NFPA 13 sprinkler system will ensure that any emerging fire will be controlled, if not contained, promptly.

The occupant load served by these two exits is 356 occupants, based on the occupant load of Level 1 and Mezzanine, and does not require a third exit based on Table 1006.3.2. Both exits discharge directly onto the public way.

Beyond the life safety improvements, this project will create a special place for community members to create opportunities for readers and writers of all ages and walks of life to engage with books and stories. The statement below speaks volume about this organization and its

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We believe that the proposed improvements will more than compensate for the reduced exit separation and provide a level of safety to the occupants as code intended, while revitalizing a building that is a community treasure. Therefore, we urge you to approve it.

Reconsideration Text

No Change

APPEAL DECISION

- 1. Reduction in the minimum required plumbing fixture count: Granted as proposed.**
- 2. Increase in the maximum allowable area of a mezzanine from one third to one half of the space it is open to: Granted as proposed.**
- 3. Decrease in the minimum allowable exit separation distance from 31 feet, 1 inch to 28 feet, 1 inch: Granted as proposed.**

The Administrative Appeal Board finds that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.

PLAN KEYNOTES


- 1 BUILT-IN COUNTERTOP, WOOD BUTCHER BLOCK (DOUGLAS FIR) ON PAINTED STEEL LEGS
- 2 BUILT-IN RETAIL WINDOW DISPLAY, PAINTED WOOD TIERED PLATFORM
- 3 BUILT-IN BENCH, PAINTED WOOD WITH FOAM CUSHION SEAT AND BACK (FABRIC MATERIAL ALLOWANCE \$80/SY)
- 4 BUILT-IN OPEN SHELVING FOR RETAIL/BLOCK DISPLAY, PAINTED WOOD, (1" DEEP X 7-6" TALL X WIDTH SHOWN ON PLAN)
- 5 PAINT EXISTING ENTRY DOORS
- 6 BUILT-IN COFFEE BAR WITH REFRIGERATED DISPLAY CASE, CERAMIC TILE FRONT, QUARTZ TOP, PLASTIC LAMINATE BASE CABINETS.
- 7 BUILT-IN COFFEE BAR, QUARTZ TOP, FULL HEIGHT CERAMIC TILE BACKSPLASH, AND PLASTIC LAMINATE BASE CABINETS.
- 8 WOOD BUTCHER BLOCK (DOUGLAS FIR) SHELVES WITH CONCEALED STEEL BRACKETS. SHELF QUANTITY: 2, SHELF SIZE: 1" DEEP X 5-9" WIDE
- 9 BUILT-IN CASEWORK, QUARTZ COUNTERTOP WITH 4" QUARTZ BACKSPLASH, PLASTIC LAMINATE BASE AND UPPER CABINETS
- 10 BUILT-IN CASEWORK, PLASTIC LAMINATE COUNTERTOP, PLASTIC LAMINATE BASE CABINETS AND OPEN SHELVINGS ABOVE.
- 11 BUILT-IN EXPOSURE WALL, PAINTED WOOD, SOAP AND PAPER TOWEL DISPENSER, MIRROR, AND WALL SCONCE LIGHT FIXTURE TO NEW LOCATION SHOWN ON PLAN. REPAIR, REPLACE, AND ADD NEW TILE TO MATCH EXISTING CONDITIONS.
- 12 PROVIDE BACKING IN WALL FOR WALL HUNG DISPLAY
- 13 BUILT-IN CASEWORK, QUARTZ COUNTERTOP WITH 4" BACKSPLASH AND PLASTIC LAMINATE BASE CABINETS
- 14 BUILT-IN CASEWORK, PLASTIC LAMINATE COUNTERTOP ABOVE FIRE CABINETS
- 15 WALL-HUNG QUARTZ COUNTERTOP WITH 4" BACKSPLASH AND MIRROR
- 16 BUILT-IN ADO WOOD BENCH
- 17 LOCKERS, BASIS OF DESIGN, HOLLYMAN TEXTURED LAMINATE INTEGRATED BENCH LOCKERS
- 18 PROVIDE FULL, WIDTH, 7-H" PAINTED PLYWOOD AND WALL MOUNTED ZERO SPUR SPACE SAVER BAKE RACK
- 19 WALL HUNG BOOK SHELVES, "RAKKS" WALL MOUNTED SHELVING SYSTEM
- 20 NEW PLUMBING FIXTURES, ACCESSORIES, PARTIAL HEIGHT WALL, TILE, AND FLOOR TILE TO MATCH EXISTING BATHROOMS.
- 21 NEW ADO SHOWER PAN INSERT, ADA FIXTURES AND ACCESSORIES, AND FULL HEIGHT TALL AT WALLS.
- 22 PVC FREE CUSTOM DESIGN WALLCOVERING, FULL HEIGHT, WIDTH INDICATED ON PLAN. BASIS OF DESIGN, TEX TEX - BESPOKE - DW11 DNA
- 23 PLASTIC LAMINATE COUNTERTOP ON OWNER PROVIDED FIRE CABINETS WITH "RAKKS" WALL MOUNTED SHELVING SYSTEM ABOVE
- 24 MTL LADDER TO (N) ROOF HATCH
- 25 BUILT-IN CASEWORK WITH QUARTZ COUNTERTOP, 2" CERAMIC TILE BACKSPLASH, PLASTIC LAMINATE BASE AND UPPER CABINETS
- 26 SLIDING WOOD DOOR WITH FRAMELESS GLASS RELITE. BASIS OF DESIGN, KLEIN LIGNA INTERIOR GLASS WALL SYSTEMS
- 27 2" X 4" WIDE FILL AT GS FOR GLASS PARTITION, 24" X 48" GLASS FINISHES FROST/MATE SHZGLU 1270, LUCE
- 28 BUILT-IN ISLAND WITH QUARTZ COUNTERTOP AND PLASTIC LAMINATE BASE CABINETS
- 29 TYPICAL ALL WALLS ON LEVEL 2, FULL HEIGHT HARDWALL WITH PARTIAL HEIGHT GYPSUM, PAINT EXPOSED WALL FRAMING, GYPSUM TO EXTEND 9'-0" APT. FINISHED CEILING AT 8' WITH 9'-0" HAROLD CEILING ABOVE FOR ACOUSTIC SEPARATION
- 30 EXISTING CABLE RAILING TO REMAIN, EXPOXY PAINT EXISTING RAILING STAIRS BLACK
- 31 BUILT-IN OPEN SHELVING FOR RETAIL/BLOCK DISPLAY, PAINTED WOOD, (2" DEEP X 3-6" TALL X WIDTH SHOWN ON PLAN)
- 32 UPLIGHT FIXTURE CONCEALED IN BACK OF BUILT-IN SHELVING

GENERAL ARCHITECTURAL NOTES

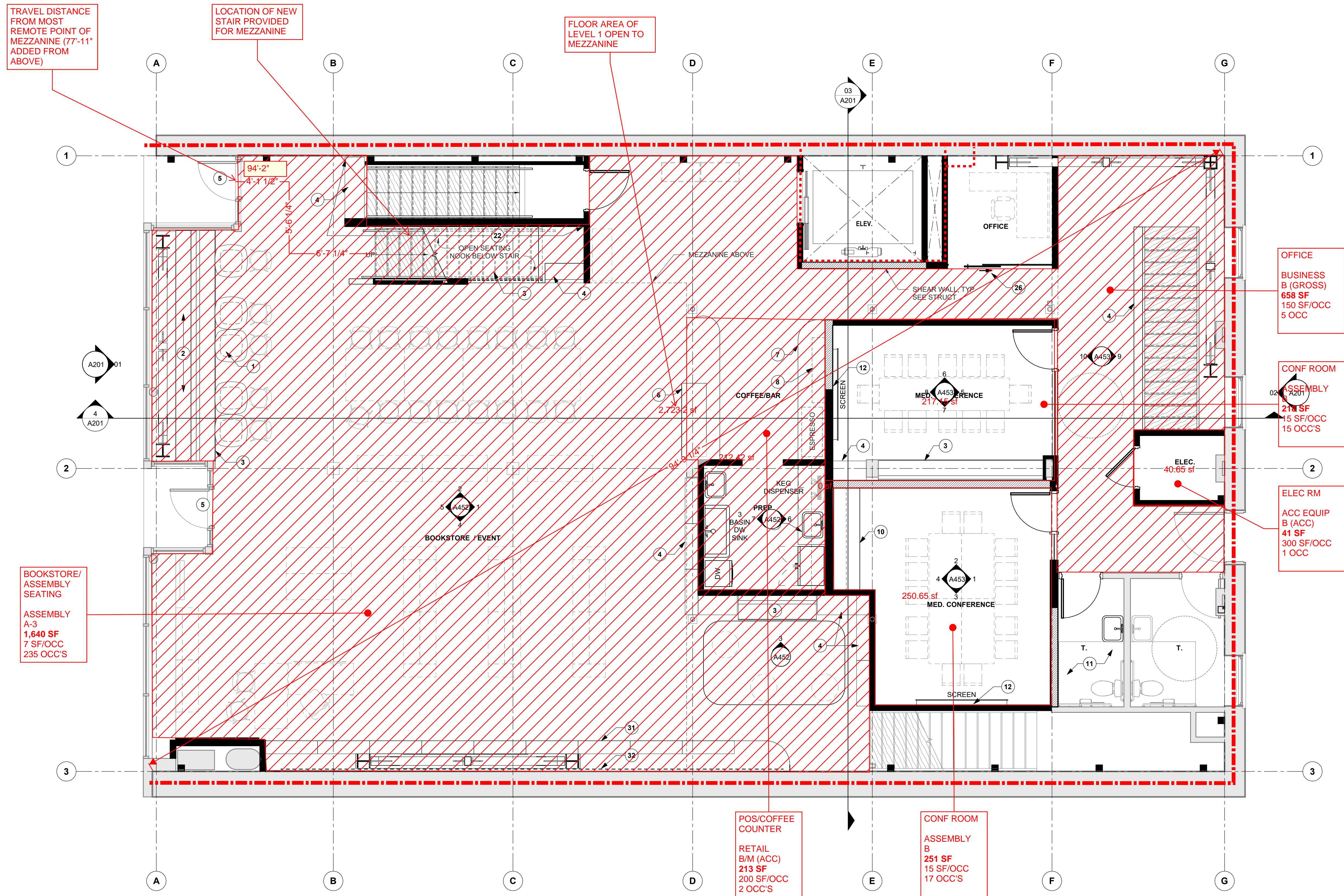
1. BUILDING ELEVATION 100'-0" = _____. REFER TO CIVIL AND LANDSCAPE DRAWINGS.
 2. DO NOT SCALE DRAWINGS. REQUEST CLARIFICATION FROM ARCHITECT IF DIMENSIONS ARE NOT INDICATED.
 3. DIMENSIONS ARE SHOWN TO DIMENSION POINT (DIM. PT.) OF REFERENCED DETAIL WHERE APPLICABLE.
 4. PAINT EXPOSED STRUCTURAL STEEL, MISCELLANEOUS STEEL, FIREPROOFING, DUCTWORK, MECHANICAL EQUIPMENT, MECHANICAL AND SPRINKLER PIPING, ELECTRICAL CONDUIT, AND THEIR SUPPORT SYSTEMS, UNLESS OTHERWISE NOTED.
- ## FLOOR PLAN NOTES
1. REFER TO ASSEMBLY SHEETS FOR WALL AND FLOOR ASSEMBLIES.
 2. DIMENSIONS ARE TO FACE OF GYPSUM BOARD FINISH UNLESS OTHERWISE NOTED. REFER TO ENLARGED PLANS FOR DIMENSIONS WITHIN THOSE AREAS.
 3. FURNITURE SHOWN DASHED FOR REFERENCE

FLOOR PLAN NOTES

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3. FURNITURE SHOWN DASHED FOR REFERENCE

 1 HR RATED FIRE BARRIER
 2 HR RATED EXTERIOR BEARING WALL

ROOM NAME
USE
OCCUPANCY
AREA
OCC LOAD
OF OCC'S



ISSUED FOR
INFORMATIONAL
PURPOSES ONLY

NOT FOR
CONSTRUCTION

LITERARY ARTS HQ

716 SE GRAND AVE, PORTLAND, OR 97232

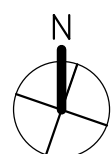
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Issued:	05.27.2022	
Scale:	As indicated	

Copyright 30112

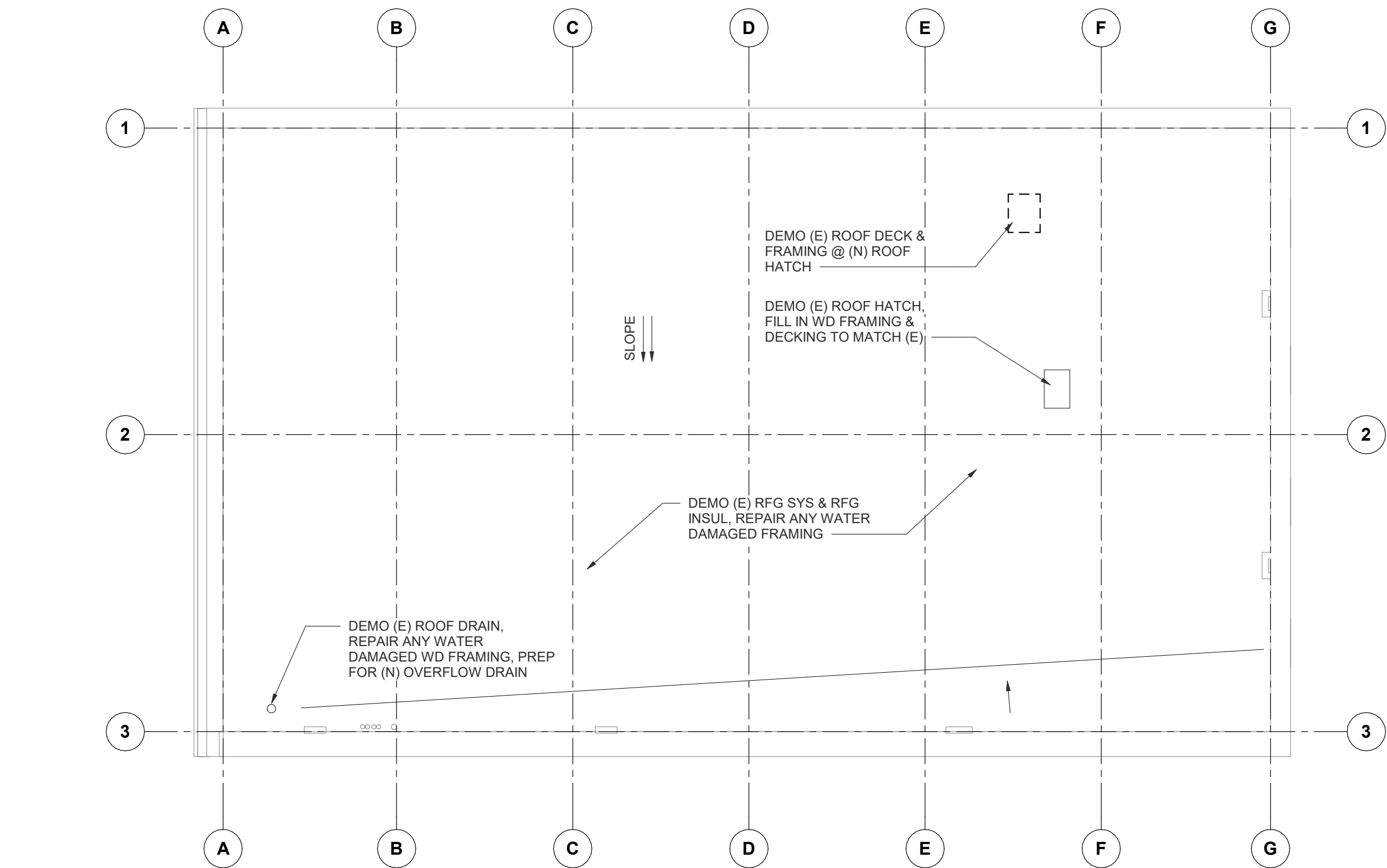
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FLOOR PLAN - LEVEL 1

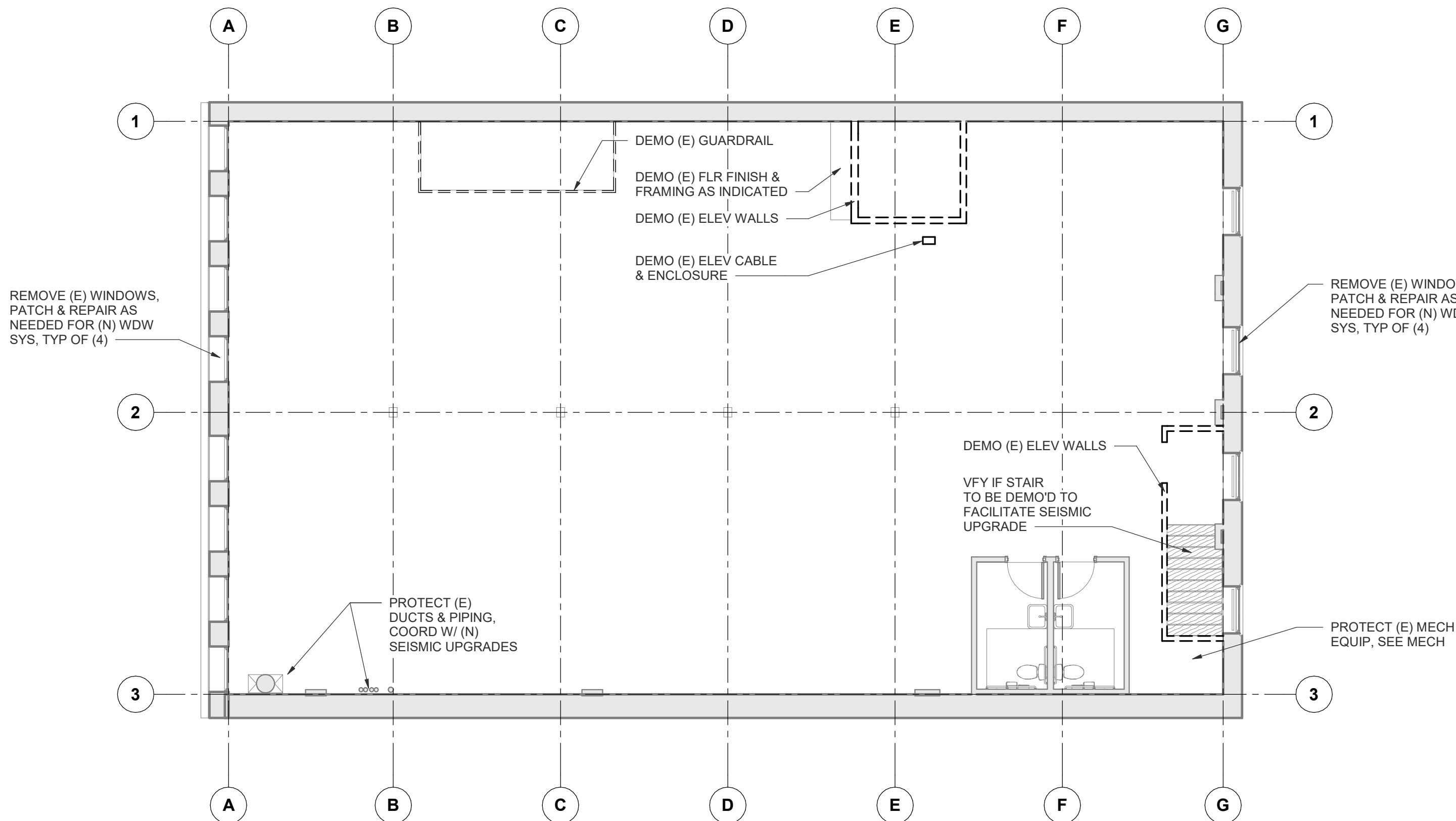
G101



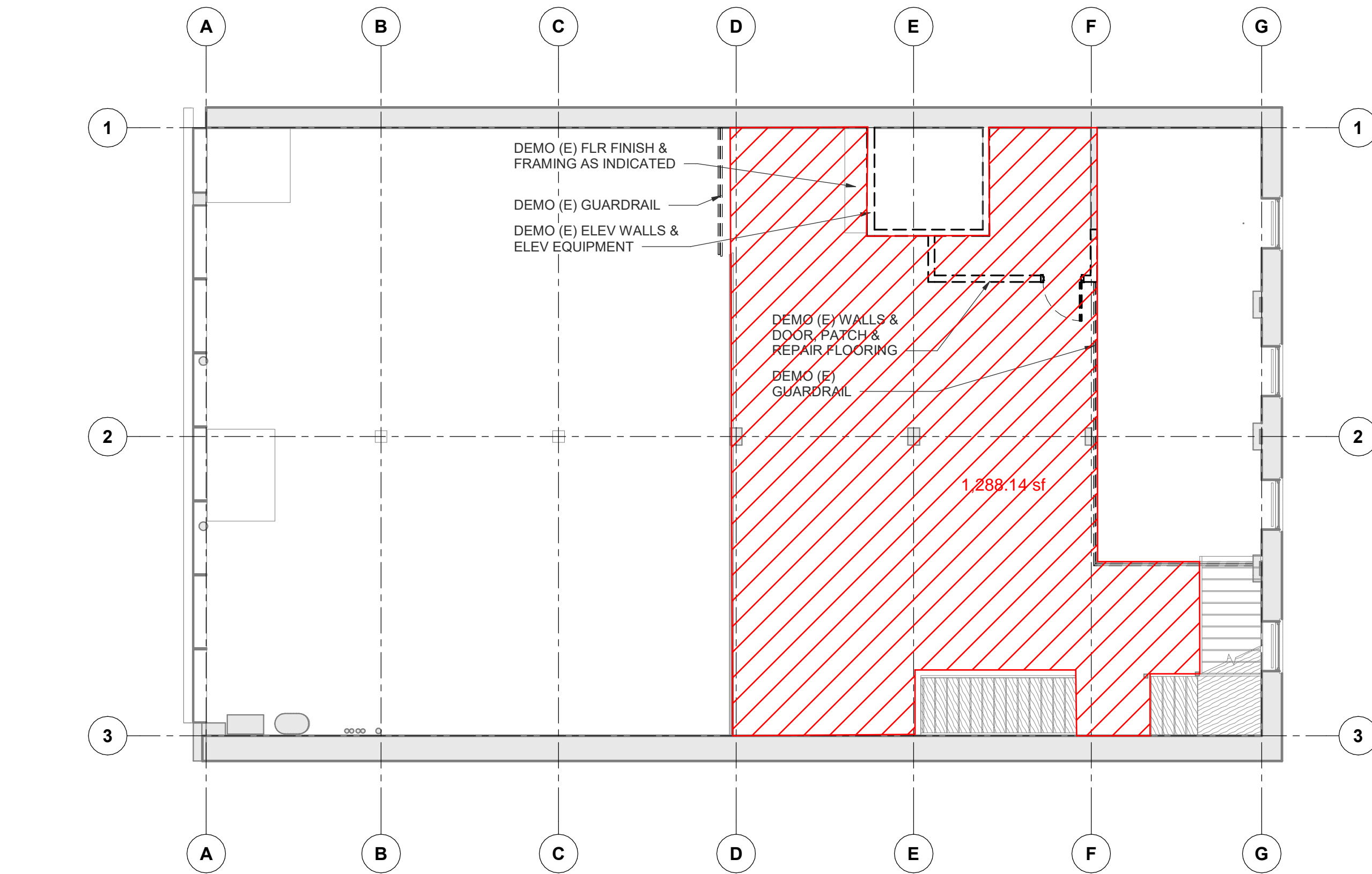
EXISTING LEVEL 01 AND
MEZZANINE FLOOR PLANS
FROM DEMO SET.



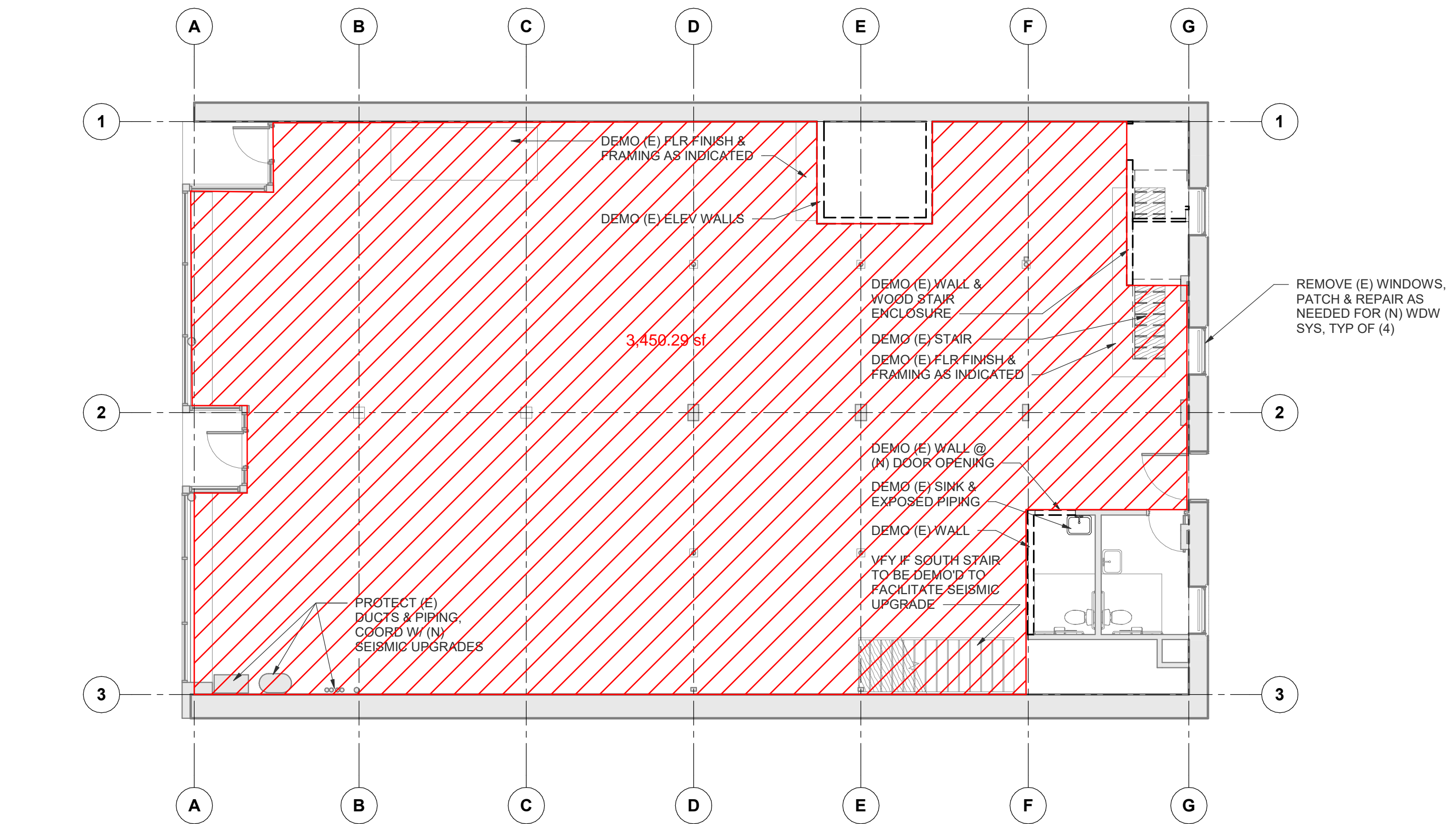
5 DEMO FLOOR PLAN - ROOF
1/8" = 1'-0"



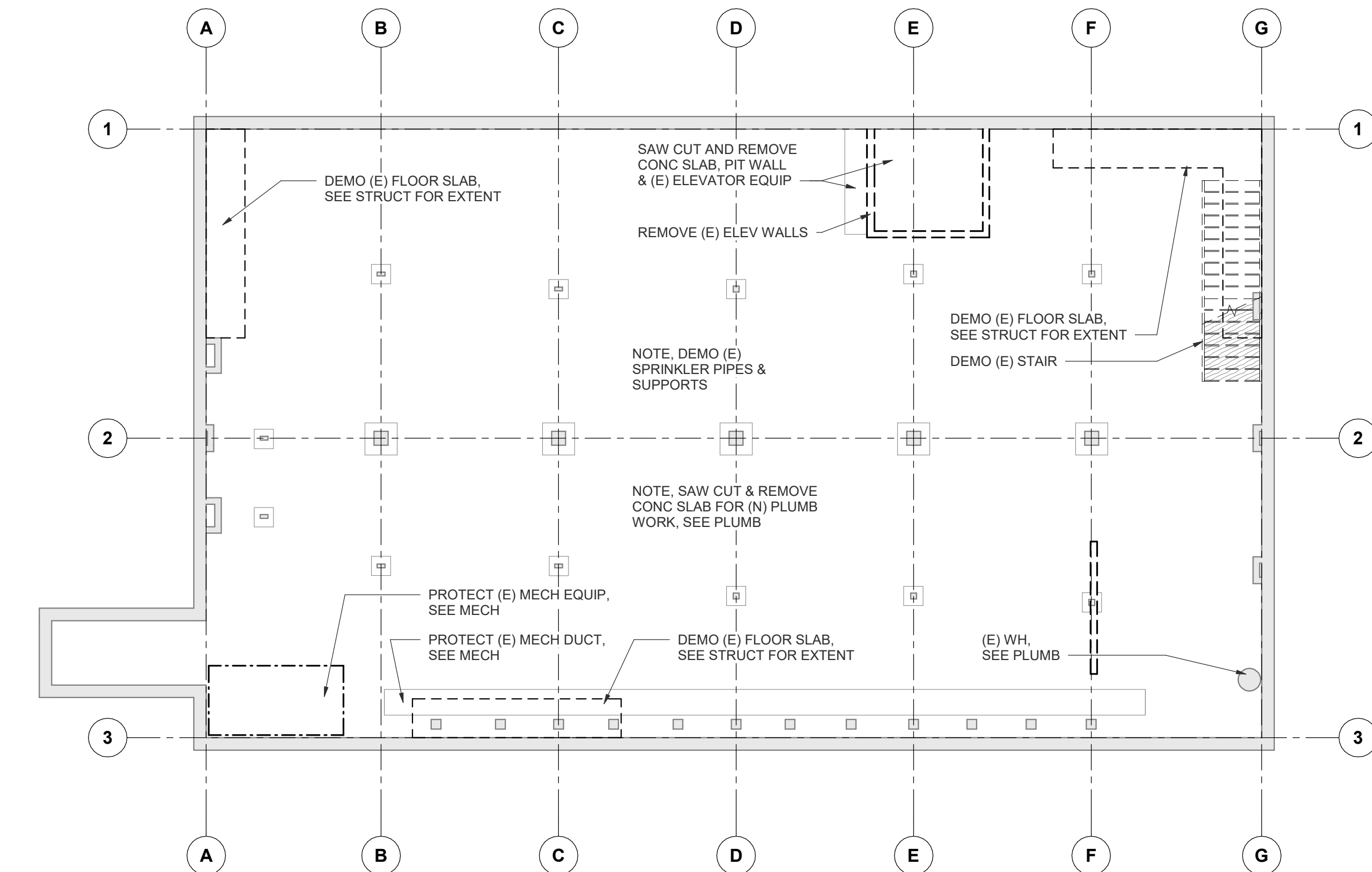
6 DEMO FLOOR PLAN - LEVEL 02
1/8" = 1'-0"



4 DEMO FLOOR PLAN - LEVEL 01 MEZZ
1/8" = 1'-0"



2 DEMO FLOOR PLAN - LEVEL 01
1/8" = 1'-0"



3 DEMO FLOOR PLAN - BASEMENT
1/8" = 1'-0"

BORA

Bora Architects, Inc.
720 SW Washington, Suite 800
Portland, Oregon 97205
503.226.1575
www.bora.co

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716 SE GRAND AVE, PORTLAND, OR 97232

MARK	DATE	DESCRIPTION
Issued:	05.27.2022	
Scale:	1/8" = 1'-0"	

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DEMOLITION PLANS

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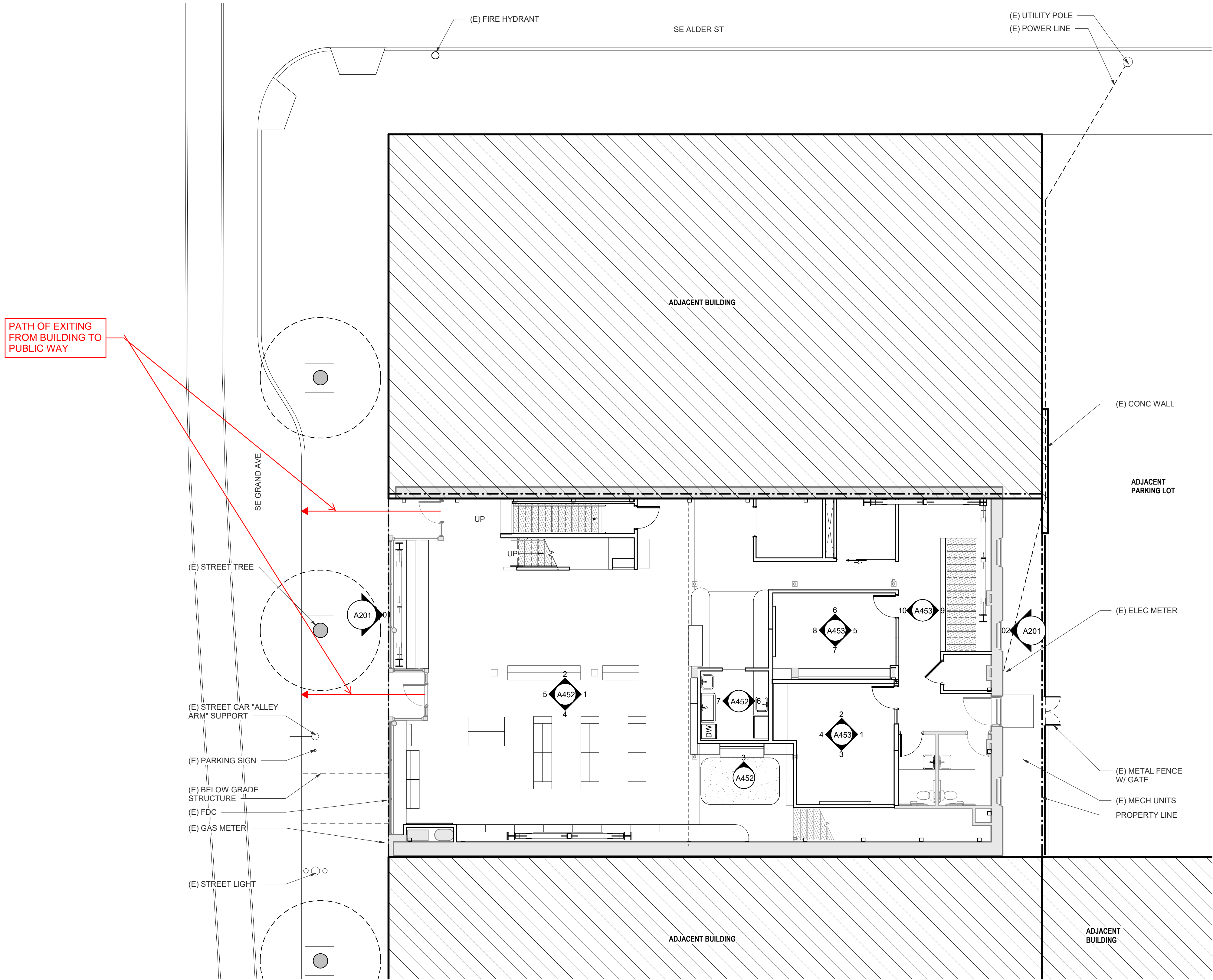
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1 ARCHITECTURAL SITE PLAN
1/8" = 1'-0"



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ARCHITECTURAL SITE PLAN

A051

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Chapter 29 Table 2902.1 - Minimum Number of Required Plumbing Fixtures						
CLASSIFICATION	DESCRIPTION	WATER CLOSETS		LAVATORIES		BATHTUBS/SHOWERS
		Male	Female	Male	Female	
ASSEMBLY	Auditoriums without permanent seating, art galleries, exhibition halls, museums, lecture halls, libraries, arcades and gymnasiums	1 per 125	1 per 65	1 per 200		-
BUSINESS	Buildings for the transaction of business, professional services, other services involving merchandise, office buildings, banks, light industrial, ambulatory care and similar uses	1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50		1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80		-
FACTORY (KITCHEN)	Structures in which occupants are engaged in work fabricating, assembly or processing of products or materials	1 per 100		1 per 100		-
STORAGE/MECHANICAL	Structures for the storage of goods, warehouses, storehouses and freight depots, low and moderate hazard	1 per 100		1 per 100		-

Minimum Required Plumbing Fixture Calculations based on Table 2902.1 - Basement (Based on Assembly Use)						
CLASSIFICATION	WATER CLOSETS		LAVATORIES		BATHTUBS/SHOWERS	DRINKING FOUNTAINS
	Male	Female	Male	Female		
ASSEMBLY	0	0	0	0	-	1 per floor
BUSINESS	0.32	0.32	0.2	0.2	-	-
STORAGE/MECHANICAL	0.045	0.045	0.045	0.045	-	-
TOTAL REQUIRED	1	1	1	1		

Minimum Required Plumbing Fixture Calculations based on Table 2902.1 - Level 1 (Based on Assembly Use)						
CLASSIFICATION	WATER CLOSETS		LAVATORIES		BATHTUBS/SHOWERS	DRINKING FOUNTAINS
	Male	Female	Male	Female		
ASSEMBLY	0.94	1.807692	0.75	0.5875	-	1 per floor
BUSINESS	0.4	0.4	0.25	0.25	-	-
KITCHEN SPACE	0	0	0	0		
STORAGE/MECHANICAL	0.01	0.01	0.01	0.01	-	-
TOTAL REQUIRED	2	3	2	1		

Minimum Required Plumbing Fixture Calculations based on Table 2902.1 - Level 2 (Based on Assembly Use)						
CLASSIFICATION	WATER CLOSETS		LAVATORIES		BATHTUBS/SHOWERS	DRINKING FOUNTAINS
	Male	Female	Male	Female		
BUSINESS	0.46	0.46	0.2875	0.2875	-	-
STORAGE/MECHANICAL	0.01	0.01	0.01	0.01	-	-
TOTAL REQUIRED	1	1	1	1		

Minimum Required Plumbing Fixture Calculations based on Table 2902.1 (Based on Assembly Use)								
CLASSIFICATION	WATER CLOSETS		LAVATORIES		BATHTUBS/SHOWERS	DRINKING FOUNTAINS	Required	Provided
	Required	Provided	Required	Provided				
Basement Level	2	4	2	4	-	-	1	1
Level 1	5	2	3	2	-	-	1	1
Level 2	2	2	2	2	-	-	-	-
TOTAL REQUIRED	9	8	7	8	0	0	2	2

BOOKSTORE/
ASSEMBLY
SEATING

ASSEMBLY
A-3
1,640 SF
7 SF/OCC
235 OCC'S

1
2
3
4
5

2
3
4
5

1
2
3
4
5

OCCUPANT LOADS CALCULATED IN TABLES TO THE RIGHT HAVE BEEN CALCULATED FOR PLUMBING FIXTURE EXERCISE IN ACCORDANCE WITH "Office Space Occupant Load Calculation OSSC/10/#10" DOCUMENT FROM BUREAU OF DEVELOPMENT SERVICES AND ARE FOR PLUMBING FIXTURE CALCULATIONS AND NOT EGRESS.

Occupancy Load Calculations - Basement (Assembly Use)			
Occupancy Type	Total Area (sf)	Occupant Load Factor	Total Occupants
Assembly	0	7	0
Assembly	0	15	0
Business	2281	150	16
Coffee Bar	0	200	0
Mech/Electrical	1089	300	9
Total Occupants			25

Occupancy Load Calculations - Level 1 (Assembly Use)			
Occupancy Type	Total Area (sf)	Occupant Load Factor	Total Occupants
Assembly	1640	7	235
Assembly	0	15	0
Business	1698	150	20
Coffee Bar	0	200	0
Mech/Electrical	41	300	2
Total Occupants			257

Occupancy Load Calculations - Mezzanine (Assembly Use)			
Occupancy Type	Total Area (sf)	Occupant Load Factor	Total Occupants
Assembly	0	7	0
Assembly	0	15	0
Business	1098	150	8
Coffee Bar	0	200	0
Mech/Electrical	74	300	1
Total Occupants			9

Occupancy Load Calculations - Level 2 (Assembly Use)			
Occupancy Type	Total Area (sf)	Occupant Load Factor	Total Occupants
Assembly	0	7	0
Assembly	0	15	0
Business	3446	150	23
Coffee Bar	0	200	0
Mech/Electrical	121	300	2
Total Occupants			25

GENERAL ARCHITECTURAL NOTES

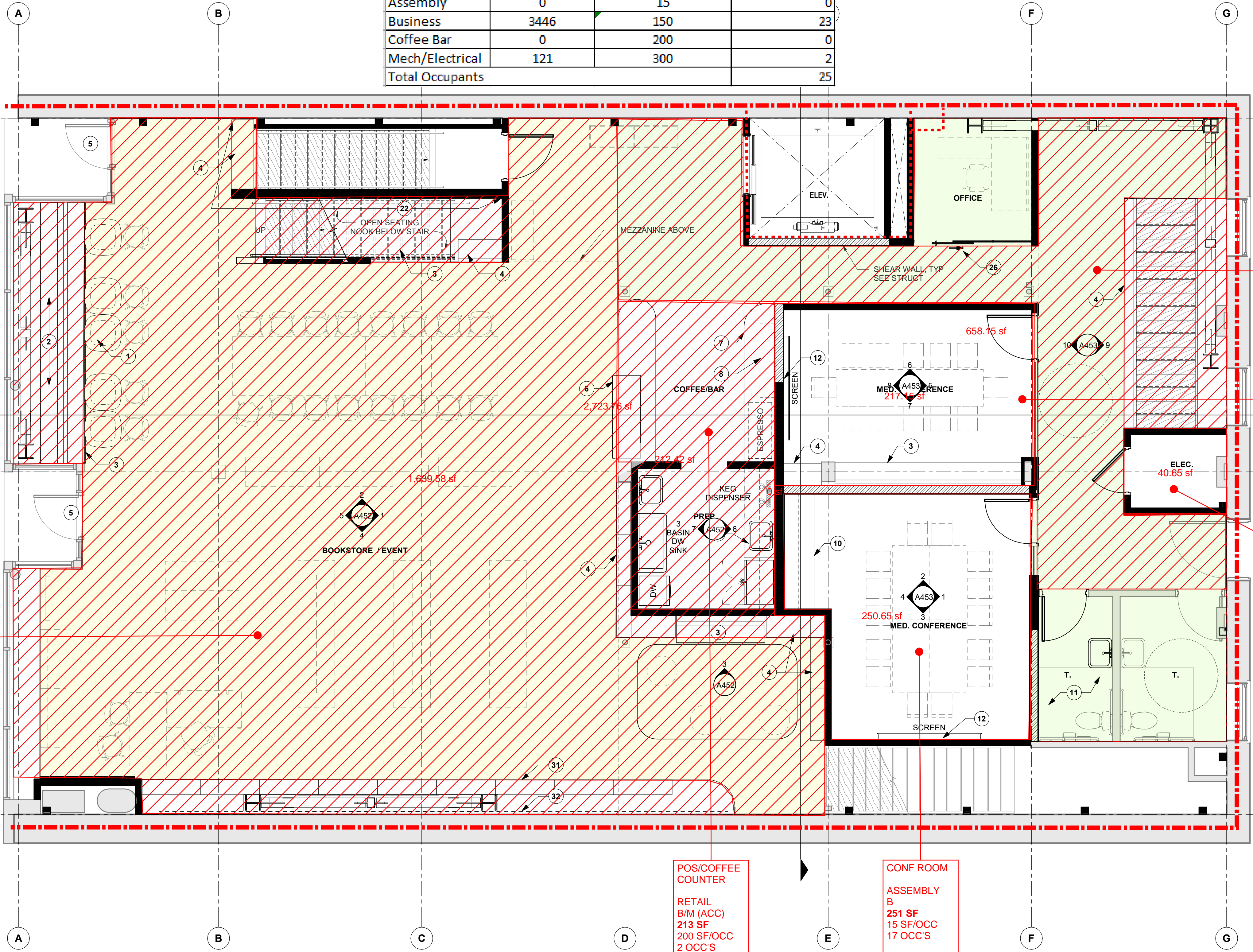
1. BUILDING ELEVATION 100'-0" = _____. REFER TO CIVIL AND LANDSCAPE DRAWINGS.
2. DO NOT SCALE DRAWINGS. REQUEST CLARIFICATION FROM ARCHITECT IF DIMENSIONS ARE NOT INDICATED.
3. DIMENSIONS ARE SHOWN TO DIMENSION POINT (DIM. PT.) OF REFERENCED DETAIL WHERE APPLICABLE.
4. PAINT EXPOSED STRUCTURAL STEEL, MISCELLANEOUS STEEL, FIREPROOFING, DUCTWORK, MECHANICAL EQUIPMENT, MECHANICAL AND SPRINKLER PIPING, ELECTRICAL CONDUIT, AND THEIR SUPPORT SYSTEMS, UNLESS OTHERWISE NOTED.

FLOOR PLAN NOTES

1. REFER TO ASSEMBLY SHEETS FOR WALL AND FLOOR ASSEMBLIES.
2. DIMENSIONS ARE TO FACE OF GYPSUM BOARD FINISH UNLESS OTHERWISE NOTED. REFER TO ENLARGED PLANS FOR DIMENSIONS WITHIN THOSE AREAS.
3. FURNITURE SHOWN DASHED FOR REFERENCE

- 1 HR RATED FIRE BARRIER
- - - - - 2 HR RATED EXTERIOR BEARING WALL

ROOM NAME
USE
OCCUPANCY
AREA
OCC LOAD
OF OCC'S



OFFICE
BUSINESS
B (GROSS)
658 SF
150 SF/OCC
5 OCC

CONF ROOM
ASSEMBLY
A-3
211 SF
15 SF/OCC
15 OCC'S

ELEC RM
ACC EQUIP
B (ACC)
41 SF
300 SF/OCC
1 OCC

POS/COFFEE
COUNTER
RETAIL
B/M (ACC)
213 SF
200 SF/OCC
2 OCC'S

CONF ROOM
ASSEMBLY
B
251 SF
15 SF/OCC
17 OCC'S

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FLOOR PLAN - LEVEL 1

G101

Chapter 29 Table 2902.1 - Minimum Number of Required Plumbing Fixtures							
CLASSIFICATION	DESCRIPTION	WATER CLOSETS		LAVATORIES		BATHTUBS/SHOWERS	DRINKING FOUNTAINS
		Male	Female	Male	Female		
ASSEMBLY	Auditoriums without permanent seating, art galleries, exhibition halls, museums, lecture halls, libraries, arcades and gymnasiums	1 per 125	1 per 65	1 per 200		-	1 per floor
BUSINESS	Buildings for the transaction of business, professional services, other services involving merchandise, office buildings, banks, light industrial, ambulatory care and similar uses	1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50		1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80		-	-
FACTORY (KITCHEN)	Structures in which occupants are engaged in work fabricating, assembly or processing of products or materials	1 per 100		1 per 100		-	-
STORAGE/MECHANICAL	Structures for the storage of goods, warehouses, storehouses and freight depots, low and moderate hazard	1 per 100		1 per 100		-	-

Minimum Required Plumbing Fixture Calculations based on Table 2902.1 - Basement (Based on Bookstore Use)						
CLASSIFICATION	WATER CLOSETS		LAVATORIES		BATHTUBS/SHOWERS	DRINKING FOUNTAINS
	Male	Female	Male	Female		
ASSEMBLY	0	0	0	0	-	1 per floor
BUSINESS	0.32	0.32	0.2	0.2	-	-
STORAGE/MECHANICAL	0.045	0.045	0.045	0.045	-	-
TOTAL REQUIRED	1	1	1	1		

Minimum Required Plumbing Fixture Calculations based on Table 2902.1 - Level 1 (Based on Bookstore Use)						
CLASSIFICATION	WATER CLOSETS		LAVATORIES		BATHTUBS/SHOWERS	DRINKING FOUNTAINS
	Male	Female	Male	Female		
ASSEMBLY	0	0	0	0	-	1 per floor
BUSINESS	0.68	0.68	0.425	0.425	-	-
KITCHEN SPACE	0	0	0	0		
STORAGE/MECHANICAL	0.01	0.01	0.01	0.01	-	-
TOTAL REQUIRED	1	1	1	1		

Minimum Required Plumbing Fixture Calculations based on Table 2902.1 - Level 2 (Based on Bookstore Use)						
CLASSIFICATION	WATER CLOSETS		LAVATORIES		BATHTUBS/SHOWERS	DRINKING FOUNTAINS
	Male	Female	Male	Female		
BUSINESS	0.46	0.46	0.2875	0.2875	-	-
STORAGE/MECHANICAL	0.01	0.01	0.01	0.01	-	-
TOTAL REQUIRED	1	1	1	1		

Minimum Required Plumbing Fixture Calculations based on Table 2902.1 (Based on Bookstore Use)								
CLASSIFICATION	WATER CLOSETS		LAVATORIES		BATHTUBS/SHOWERS		DRINKING FOUNTAINS	
	Required	Provided	Required	Provided	Required	Provided	Required	Provided
Basement Level	2	4	2	4	-	-	1	1
Level 1	2	2	2	2	-	-	1	1
Level 2	2	2	2	2	-	-	-	-
TOTAL REQUIRED	6	8	6	8	0	0	2	2

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Occupancy Load Calculations - Basement (Bookstore Use)			
Occupancy Type	Total Area (sf)	Occupant Load Factor	Total Occupants
Assembly	0	7	0
Assembly	0	15	0
Business	2281	150	16
Coffee Bar	0	200	0
Mech/Electrical	1089	300	9
Total Occupants			25

Occupancy Load Calculations - Level 1 (Bookstore Use)			
Occupancy Type	Total Area (sf)	Occupant Load Factor	Total Occupants
Assembly	0	7	0
Assembly	0	15	0
Business	3745	150	34
Coffee Bar	213	200	2
Mech/Electrical	41	300	2
Total Occupants			38

Occupancy Load Calculations - Mezzanine (Bookstore Use)			
Occupancy Type	Total Area (sf)	Occupant Load Factor	Total Occupants
Assembly	0	7	0
Assembly	0	15	0
Business	1098	150	8
Coffee Bar	0	200	0
Mech/Electrical	74	300	1
Total Occupants			9

Occupancy Load Calculations - Level 2 (Bookstore Use)			
Occupancy Type	Total Area (sf)	Occupant Load Factor	Total Occupants
Assembly	0	7	0
Assembly	0	15	0
Business	3446	150	23
Coffee Bar	0	200	0
Mech/Electrical	121	300	2
Total Occupants			25

GENERAL ARCHITECTURAL NOTES

- BUILDING ELEVATION 100'-0" = _____. REFER TO CIVIL AND LANDSCAPE DRAWINGS.
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FLOOR PLAN NOTES

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- FURNITURE SHOWN DASHED FOR REFERENCE

- 1 HR RATED FIRE BARRIER
- 2 HR RATED EXTERIOR BEARING WALL

ROOM NAME
USE
OCCUPANCY
AREA
OCC LOAD
OF OCC'S

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BOOKSTORE/
ASSEMBLY
SEATING
ASSEMBLY
A-3
1,640 SF
7 SF/OCC
235 OCC'S

OFFICE
BUSINESS
B (GROSS)
658 SF
150 SF/OCC
5 OCC

CONF ROOM
ASSEMBLY
211 SF
15 SF/OCC
15 OCC'S

ELEC RM
ACC EQUIP
B (ACC)
41 SF
300 SF/OCC
1 OCC

POS/COFFEE
COUNTER
RETAIL
B/M (ACC)
213 SF
200 SF/OCC
2 OCC'S

CONF ROOM
ASSEMBLY
B
251 SF
15 SF/OCC
17 OCC'S

FLOOR PLAN - LEVEL 1
1/4" = 1'-0"



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FLOOR PLAN - LEVEL 1

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