

# Development Services

## From Concept to Construction

Phone: 503-823-7300 Email: [bds@portlandoregon.gov](mailto:bds@portlandoregon.gov) 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



### APPEAL SUMMARY

**Status:** Decision Rendered - Held over from ID 28929 (6/22/22) for additional information

<b>Appeal ID:</b> 27920	<b>Project Address:</b> 3943 N Mississippi Ave
<b>Hearing Date:</b> 8/3/22	<b>Appellant Name:</b> Nick Turrell
<b>Case No.:</b> B-004	<b>Appellant Phone:</b> 971-267-0872
<b>Appeal Type:</b> Building	<b>Plans Examiner/Inspector:</b> Robert Keal
<b>Project Type:</b> commercial	<b>Stories:</b> 2 <b>Occupancy:</b> A-2, S-2, R-3 <b>Construction Type:</b> V-B
<b>Building/Business Name:</b>	<b>Fire Sprinklers:</b> No
<b>Appeal Involves:</b> Addition to an existing structure, Reconsideration of appeal	<b>LUR or Permit Application No.:</b>
<b>Plan Submitted Option:</b> pdf [File 1]	<b>Proposed use:</b> Convenience Stair (Non egress)

### APPEAL INFORMATION SHEET

#### Appeal item 1

<b>Code Section</b>	OSSC 705.2.2
<b>Requires</b>	<p>Cornices, eave overhangs, exterior balconies and similar projections extending beyond the exterior wall shall conform to the requirements of this section and Section 1405. Exterior egress balconies and exterior exit stairways and ramps shall comply with Sections 1021 and 1027, respectively. Projections shall not extend any closer to the line used to determine the fire separation distance than shown in Table 705.2.</p> <p>Table 705.2 Fire Separation Distance: 0'-2' - Projections not permitted.</p>
<b>Code Modification or Alternate Requested</b>	<p>This appeal is seeking to remove fire separation distance requirements to allow the construction of a convenience stair near a property line. Each of the properties separated by the property line are owned by the same owner and are operated jointly as a bar and a music venue with existing access between the 2 properties. The wall along the adjoining property is a 2-HR CMU wall with no penetrations.</p> <p>Reconsideration Text: This appeal is seeking to reduce the fire separation distance requirements of 2' to the provided 1' to allow the construction of a convenience only (non egress) stair near a property line.</p>
<b>Proposed Design</b>	<p>The proposed exterior convenience stair is designed using heavy timber stringers and noncombustible steel grate treads and would attach to the existing Type VB building. The Owner will provide multiple sprinkler heads that provide coverage along the proposed stair. The sprinkler system for Mississippi Studios (property directly south) has a dry system that will extend from the 2-HR CMU wall. Both Mississippi Studio and Bar Bar are connected to the same fire</p>

alarm system and triggering the alarm will audibly and visually alarm occupants in both venues should a fire be detected.

Reconsideration Text: The proposed exterior convenience stair will be built with a heavy timber structure, noncombustible steel grate treads, and noncombustible steel guardrails/handrails.

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**Reason for alternative** Due to existing configuration of stairs, exits and structures, the only feasible location for this convenience stair is along the property line. Our understanding of the purpose of code section 705.2.2 is to minimize combustible fuel loading near property lines and to protect neighboring buildings from damage and increase life safety. The wall that the proposed stair is adjacent to is a 2-HR CMU bearing wall with no openings. In the event of a fire on either property, the lack of combustible material included in the proposed stair construction will limit the potential damage to both the stair itself and the neighboring property.

Existing egress from the second level is provided by an internal stair that exits directly to the right of way (Mississippi Ave) and this stair will not be labeled as an exit. This stair is being proposed as a convenience stair so that loading and unloading can occur from the alley in the rear of the property.

Reconsideration Text: Due to existing configuration of stairs, exits and structures, the only feasible location for this convenience stair is along the property line. Our understanding of the purpose of code section 705.2.2 is to minimize combustible fuel loading near property lines and to protect neighboring buildings from damage and increase fire safety. There are 3 mitigating factors that provide equivalent fire safety: First, the stair is not part of the egress path and is not required nor will be used for egress in the event of a fire. Second, the stair is built from heavy timber and non combustible materials. This will allow the stair to be resilient in the event of a fire as well as limit it's additional fuel loading to the surrounding structures. Third, the neighboring building is separated from the stair by it's 8" thick CMU wall with no openings.

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## APPEAL DECISION

**Reduction in minimum required fire separation distance for projection of convenience stair from two feet to one foot: Granted as proposed.**

**Note: Sprinklers offered at stairs on original appeal are not required by this decision.**

**Appellant may contact John Butler (503 865-6427) or e-mail at [John.Butler@portlandoregon.gov](mailto:John.Butler@portlandoregon.gov) with questions.**

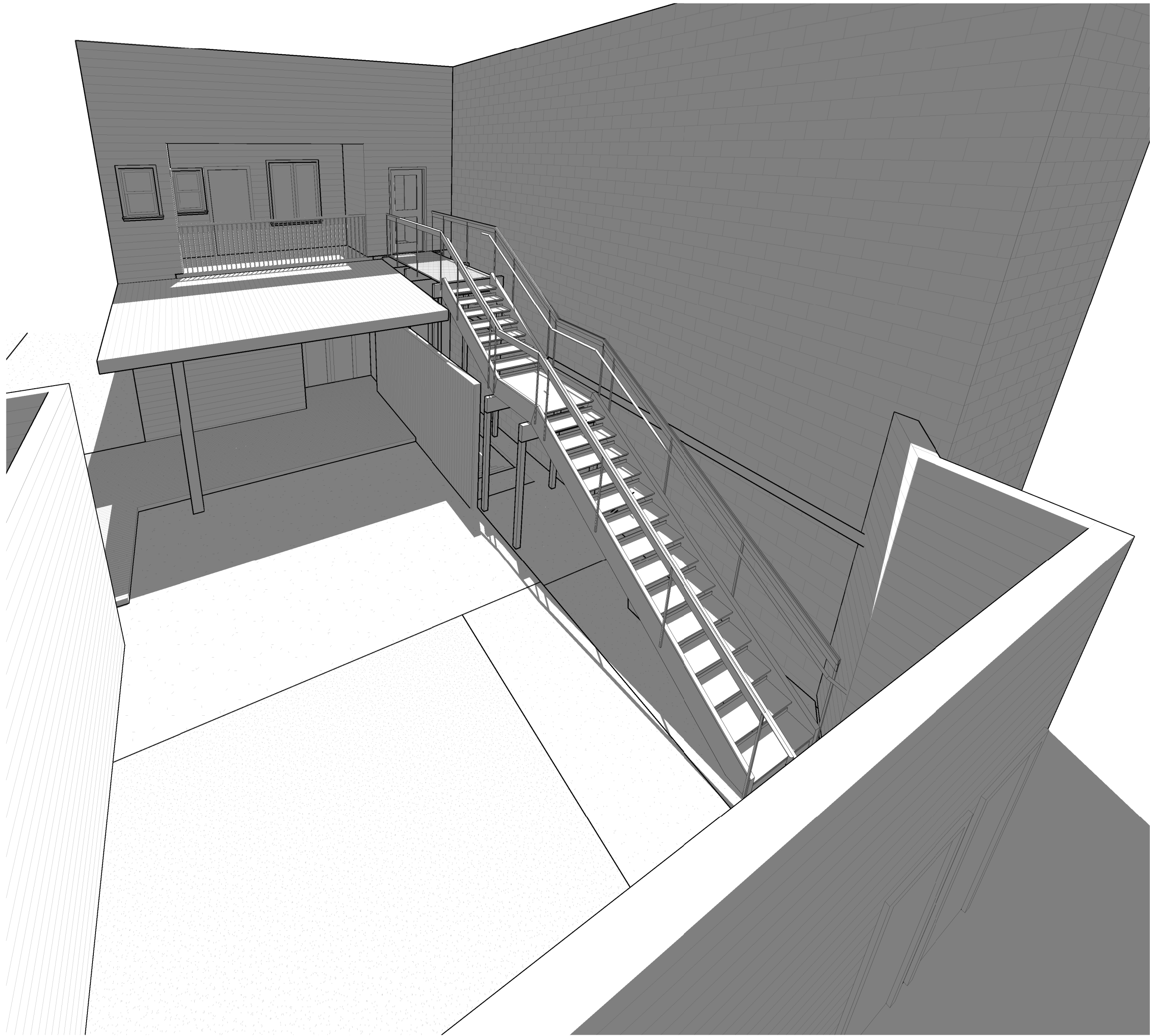
The Administrative Appeal Board finds that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to [www.portlandoregon.gov/bds/appealsinfo](http://www.portlandoregon.gov/bds/appealsinfo), call (503) 823-7300 or come in to the Development Services Center.



# BAR BAR

## CONVENIENCE STAIR RENOVATION



### UNDER SEPARATE PERMIT

1. FIRE ALARM

### CODE INFORMATION

- APPLICABLE CODE: OSSC 2019
- EXISTING BUILDING CONSTRUCTION TYPE: VB
- EXISTING OCCUPANCY CLASSIFICATION: A2, S2, AND R3. PROJECT IMPACTS LEVEL 2 (R3 OCCUPANCY) ONLY.
- BUILDING IS NON SPRINKLED. (N) CONVENIENCE STAIR TO BE PROTECTED BY SPRINKLERS FROM ADJACENT BUILDING SYSTEM (NFPA 13).

### VICINITY MAP



### LOCATION MAP



### PROJECT TEAM

**OWNER**  
URSA MINOR, LLC  
ADDRESS: 3939 N. MISSISSIPPI AVE  
PORTLAND, OR 97227  
CONTACT: KEVIN CRADOCK  
PHONE: 503.309.5313

**ARCHITECT**  
PROCESS DESIGN, LLC  
ADDRESS: 240 N BROADWAY SUITE 201  
PORTLAND, OR, 97227  
CONTACT: JASON KARAM  
PHONE: 775.846.4793

**STRUCTURAL ENGINEER**  
PCS STRUCTURAL SOLUTIONS  
ADDRESS: 111 SW 5TH AVE #3210  
PORTLAND, OR 97204  
CONTACT: LUKE HEATH  
PHONE: 503.416.2400

### ABBREVIATIONS

ACT	ACOUSTICAL CEILING TILE	IRGWB	IMPACT RESISTANT
AD	AREA DRAIN	IPNT	GYPSUM WALL BOARD
AFF	ABOVE FINISHED FLOOR	INSUL	INTUMESCENT PAINT
ALT	ALTERNATE	INT	INSULATED
ALUM	ALUMINUM	MAX	INTERIOR
ANOD	ANODIZED	MDF	MAXIMUM
BIM	BUILDING INFORMATION MODELING	MO	MICRO DENSITY FIBERBOARD
BOT	BOTTOM	MECH	MASONRY OPENING
CG	CORNER GUARD	MIN	MECHANICAL
CIP	CAST IN PLACE	MISC	MINIMUM
CJ	CONTROL JOINT	MRGWB	MISCELLANEOUS
CL	CENTER LINE	MTL	MOISTURE RESISTANT
CLG	CEILING	NIC	GYPSUM WALL BOARD
CLR	CLEAR	NIS	METAL
CMU	CONCRETE MASONRY UNIT	NIS	NOT IN CONTRACT
COL	COLUMN	NOM	NOT IN SCOPE
CONC	CONCRETE	NTS	NOMINAL
CONT	CONTINUOUS	OC	NOT TO SCALE
CPT	CARPET	OFCI	ON CENTER
CT	CERAMIC TILE	OFOI	OWNER FURNISHED, CONTRACTOR
CW	COLD WATER		INSTALLED
DEMO	DEMOLITION OR DEMOLISH		OWNER FURNISHED, OWNER
DF	DRINKING FOUNTAIN		INSTALLED
DIA	DIAMETER	OH	OVERHEAD
DIM	DIMENSION	OSB	ORIENTED STRAND BOARD
DN	DOWN	OPP	OPPOSITE
DR	DOOR	PL	PROPERTY LINE
DS	DOWNSPOUT	PLAM	PLASTIC LAMINATE
DWG	DRAWING	PLUMB	PLUMBING
EA	EACH	PT	PRESSURE TREATED
EFS	EXTERIOR INSULATED FINISH SYSTEM	PNT	PAINT
EJ	EXPANSION JOINT	PVC	POLYVINYL CHLORIDE
EL	ELEVATION	R	RISER
ELEC	ELECTRICAL OR ELECTRIC	RB	RUBBER BASE
ELEV	ELEVATION	RBR	RUBBER
EPDM	ETHYLENE PROPYLENE DIENE M-CLASS (ROOFING)	RCP	REFLECTED CEILING PLAN
EQ	EQUAL	RD	ROOF DRAIN
EXIST	EXISTING	REQD	REQUIRED
EXT	EXTERIOR	RO	ROUGH OPENING
FD	FLOOR DRAIN	SIM	SIMILAR
FEC	FIRE EXTINGUISHER CABINET	SD	SMOKE DETECTOR
FF	FINISHED FLOOR OR FINISHED FACE	SPEC	SPECIFICATION OR SPECIFIED
FFL	FINISHED FLOOR LEVEL	SSTL	STAINLESS STEEL
FLR	FLOOR	STC	SOUND TRANSMISSION CLASS
FO	FACE OF	STL	STEEL
FRT	FIRE RESISTANT TREATED	STRUCT	STRUCTURAL OR STRUCTURE
GA	GAUGE	T	TREAD
GALV	GALVANIZED	T&G	TOUNGE AND GROOVE
GL	GLAZING	TO	TOP OF
GWB	GYPSUM WALL BOARD	TOC	TOP OF CONCRETE
HC	HOLLOW CORE	TOS	TOP OF STEEL
HM	HOLLOW METAL	TYP	TYPICAL
HR	HOUR	UNO	UNLESS NOTED OTHERWISE
HW	HOT WATER	VCT	VINYL COMPOSITION TILE
HVAC	HEATING, VENTILATION AND AIR CONDITIONING	VIF	VERIFY IN FIELD
		W	WITH
		WD	WOOD
		WR	WATER RESISTANT
		WSP	WOOD STRUCTURAL PANEL
		WWM	WOVEN WIRE MESH

### SCOPE OF WORK

SCOPE OF WORK INCLUDES ADDITION OF WOOD CONVENIENCE STAIR (NON-EGRESS STAIR) AND ENTRANCE TO UPPER LEVEL OF 2 STORY EXISTING BUILDING.

### DRAWING SYMBOL LEGEND

	1 A101 SIM	DETAIL CALLOUT
	1 A101 SIM	ENLARGED PLAN REFERENCE
	1 A101 SIM	WALL SECTION
	1 A101 SIM	BUILDING SECTION
SHEET NUMBER		1 A101 1 INTERIOR ELEVATION TAG
ELEVATION NUMBER		1 A101 1
SHEET NUMBER		1 A101 1 BUILDING ELEVATION TAG
ELEVATION NUMBER		1 A101 1
		1 REVISION TAG
		REVISION CLOUD
		0 GRID LINE
		01A0-1 WALL ASSEMBLY TAG
		1t WINDOW TAG
DOOR NUMBER / TAG		100 DOOR TAG
INDICATES PROJECT NORTH		NORTH ARROW
INDICATES TRUE NORTH		NORTH ARROW
		Name Elevation LEVEL
		WALL
		WALL OR ELEMENT TO REMAIN

### PROJECT SHEET INDEX

SHEET NUMBER	SHEET NAME
A0.00	COVER SHEET
A0.10	ACCESSIBILITY DETAILS
A2.00	EXISTING & DEMOLITION PLANS
A2.01	FLOOR PLANS
A3.00	STAIR SECTIONS
A8.01	DETAILS
A8.02	PREVIOUS APPEALS - REFERENCE ONLY
S1.01	GENERAL NOTES
S2.01	FLOOR PLAN

process  
ARCHITECTURE • DESIGN

504 NE BRAZEE  
PORTLAND, OR 97212  
WWW.PROCESS-PDX.COM  
775.846.4793

REVISIONS		
#	DESCRIPTION	DATE
1	REV 01	6/9/22
2	APPEAL #27829	7/26/22

BAR BAR CONVENIENCE  
STAIR

3943 N Mississippi Ave  
Portland, OR 97227

OWNER: KEVIN CRADOCK



ISSUE DATE: 1/20/2022  
PROJECT NO: 21024  
DRAWN BY: NT

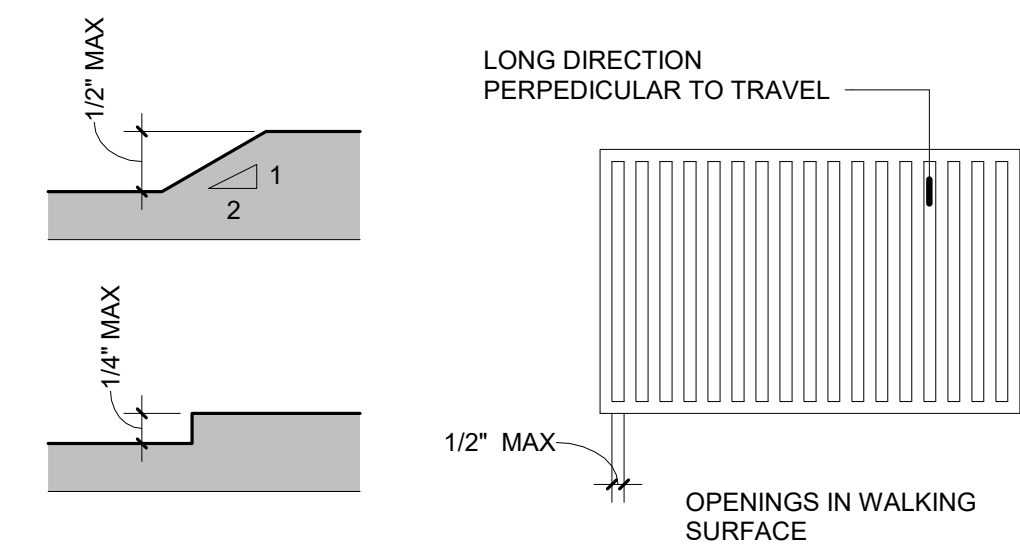
COVER SHEET

A0.00

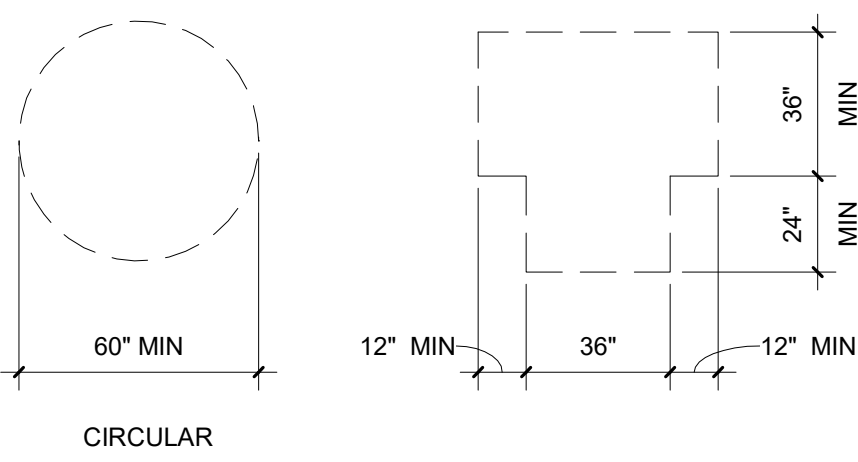
PERMIT DOCUMENTS



303 CHANGES IN LEVEL

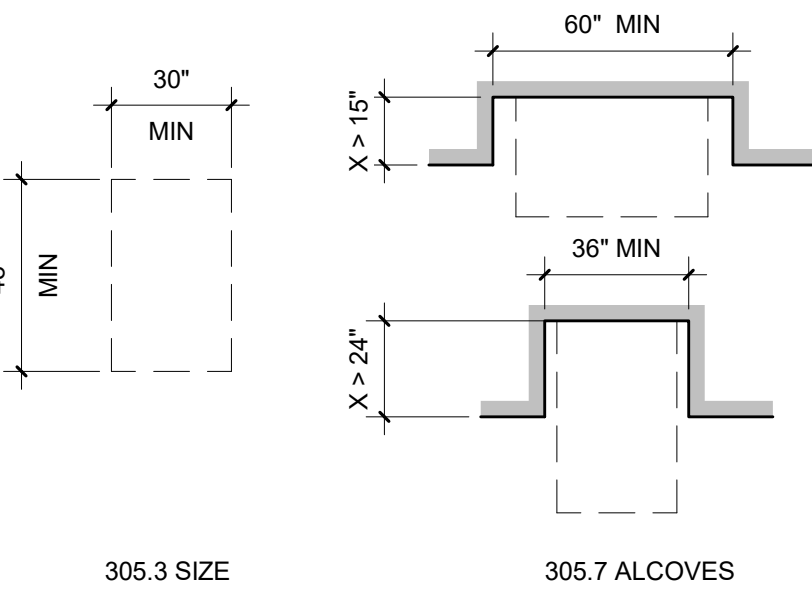


304 TURNING SPACE



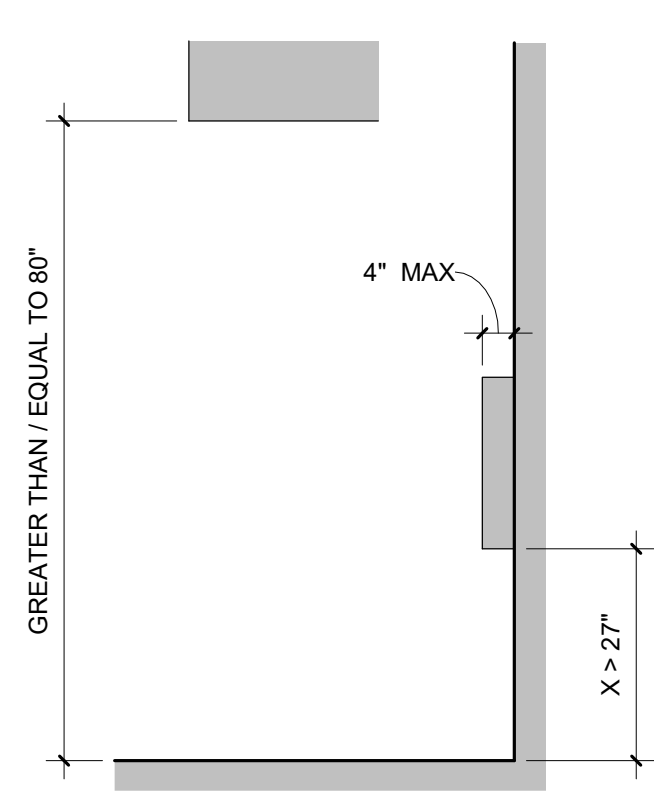
- NOTE**
- CHANGES IN LEVEL ARE NOT PERMITTED WITHIN TURNING SPACE WITH THE EXCEPTION OF SLOPES NOT STEEPER THAN 1:48 (2%)
  - TURNING SPACES SHALL BE PERMITTED TO INCLUDE KNEE AND TOE CLEARANCES COMPLYING WITH SECTION 306.
  - UNLESS SPECIFIED, DOORS SHALL BE PERMITTED TO SWING INTO TURNING SPACES.

305 CLEAR FLOOR SPACE



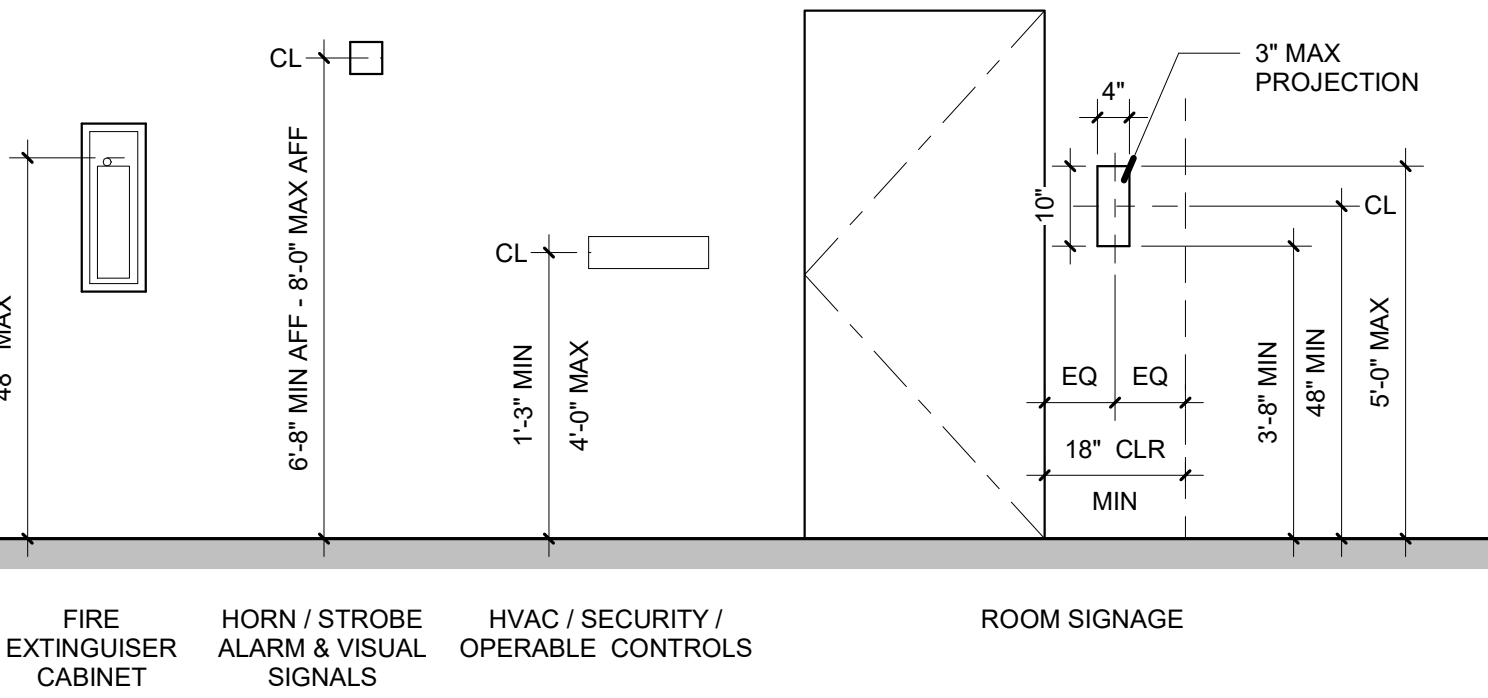
- NOTE**
- CLEAR FLOOR SPACES SHALL BE PERMITTED TO INCLUDE KNEE AND TOE CLEARANCES COMPLYING WITH SECTION 306.
  - UNLESS SPECIFIED, DOORS SHALL BE PERMITTED TO SWING INTO TURNING SPACES.

307 PROTRUDING OBJECTS

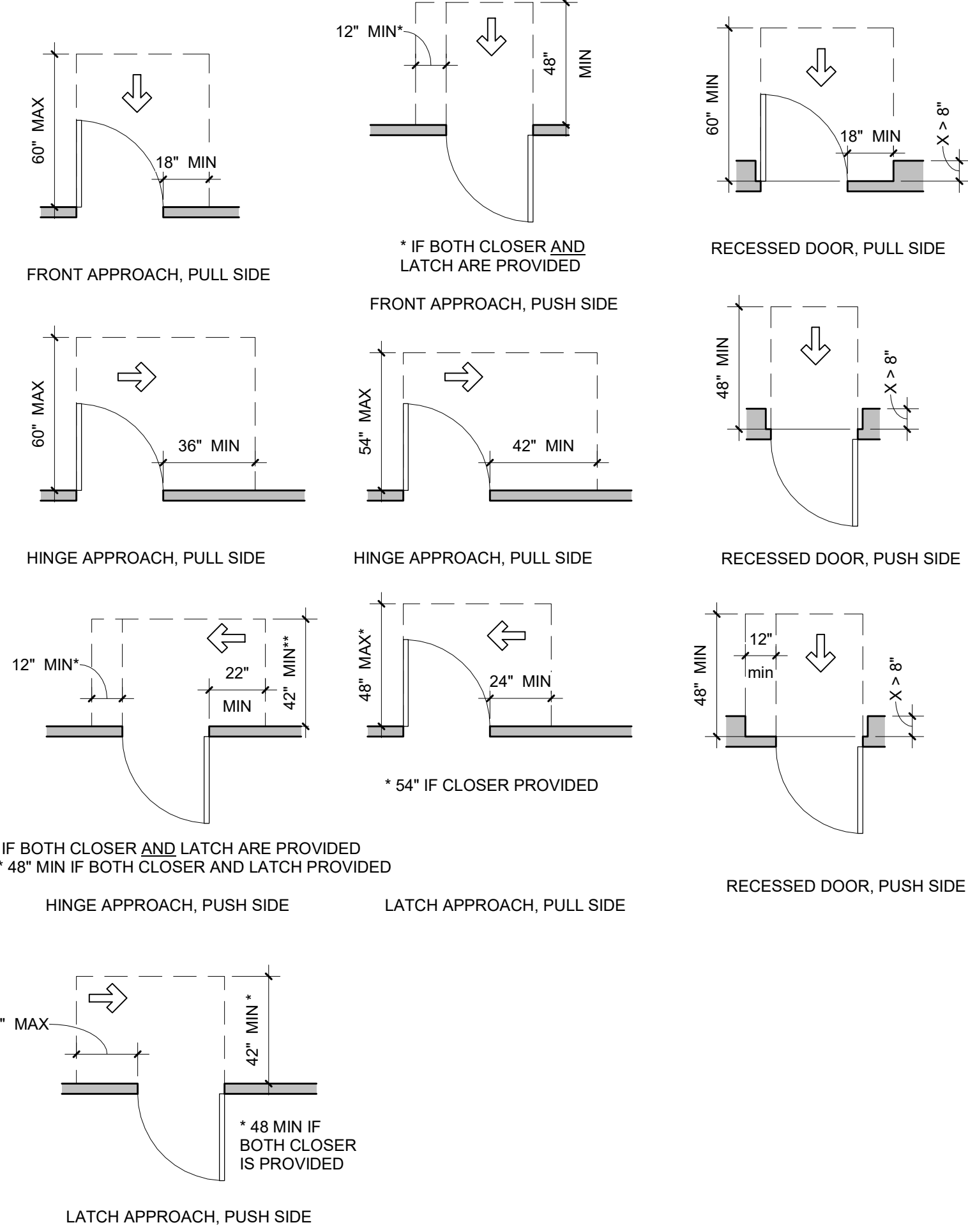


- NOTE:**
- SLOPING PORTIONS OF HANDRAILS BETWEEN TOP AND BOTTOM RISERS OF STAIRS AND RAMPS SHALL ARE EXEMPT FROM 307.3
  - A 27" TALL RAIL OR BARRIER SHALL BE PROVIDED AT THE LOCATION WHERE VERTICAL CLEARANCE IS LESS THAN 80"

309 MOUNTING HEIGHTS



404 DOORS AND DOORWAYS



REVISIONS		
#	DESCRIPTION	DATE

BAR BAR CONVENIENCE  
STAIR

3843 N Mississippi Ave  
Portland, OR 97227

OWNER: KEVIN CRADOCK



ISSUE DATE:	1/20/2022
PROJECT NO:	21024
DRAWN BY:	NT

ACCESSIBILITY  
DETAILS

A0.10

REVISIONS		
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1	REV 01	6/9/22
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STAIR

3843 N Mississippi Ave  
Portland, OR 97227

OWNER: KEVIN CRADOCK



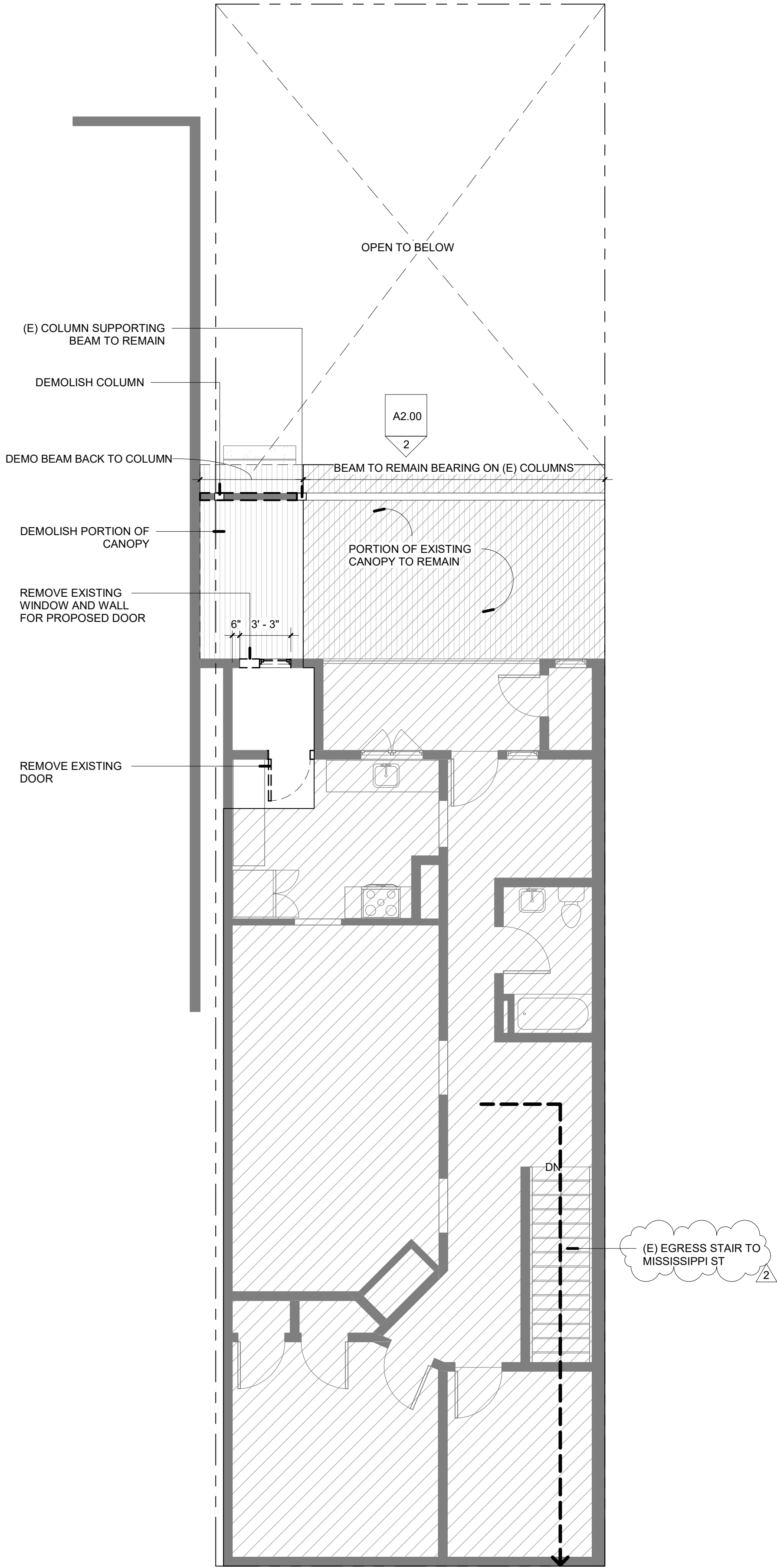
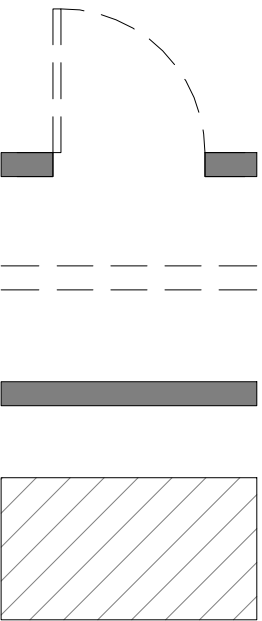
ISSUE DATE:	1/20/2022
PROJECT NO:	21024
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EXISTING &  
DEMOLITION  
PLANS

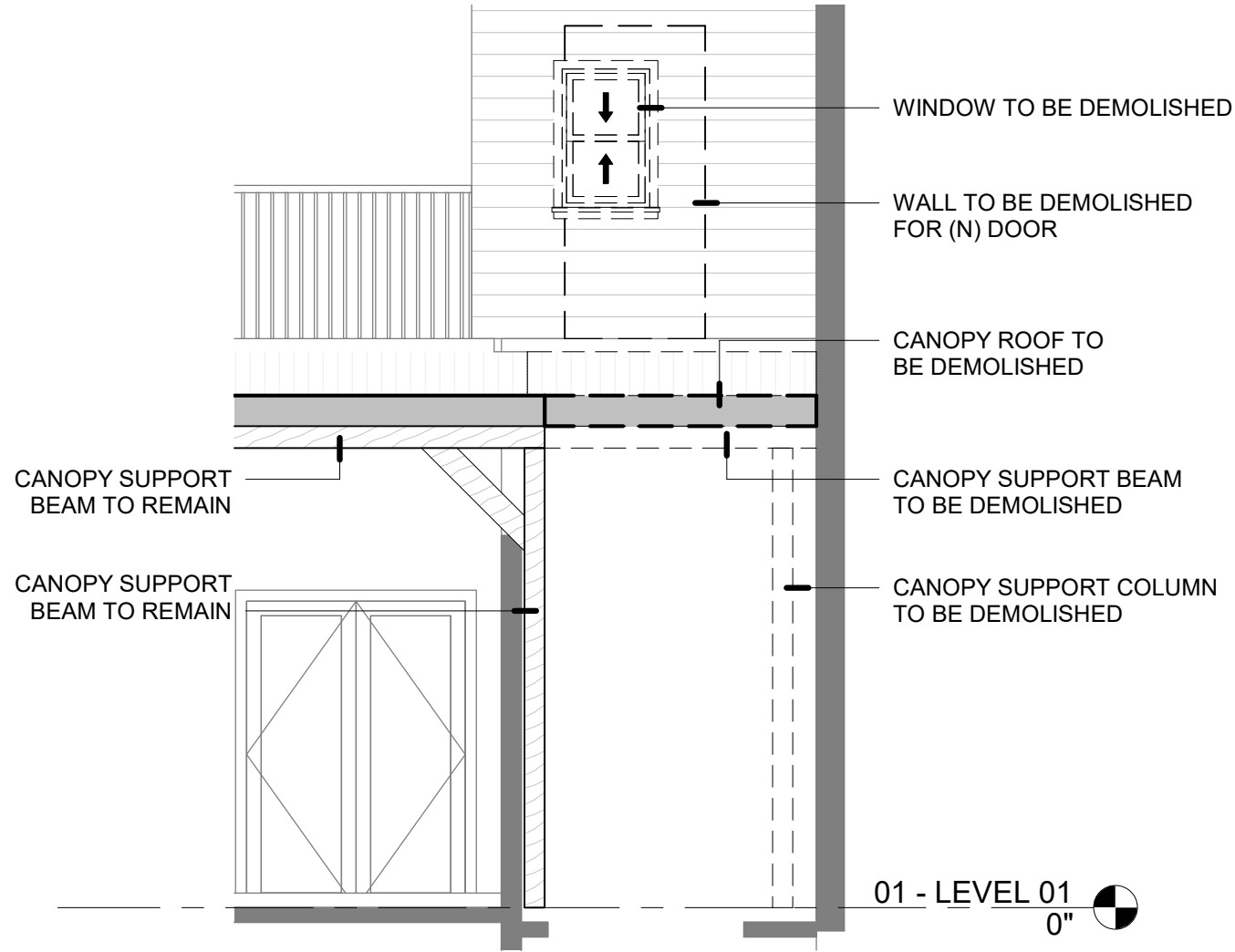
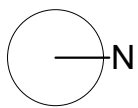
A2.00

GENERAL NOTES - DEMOLITION PLAN

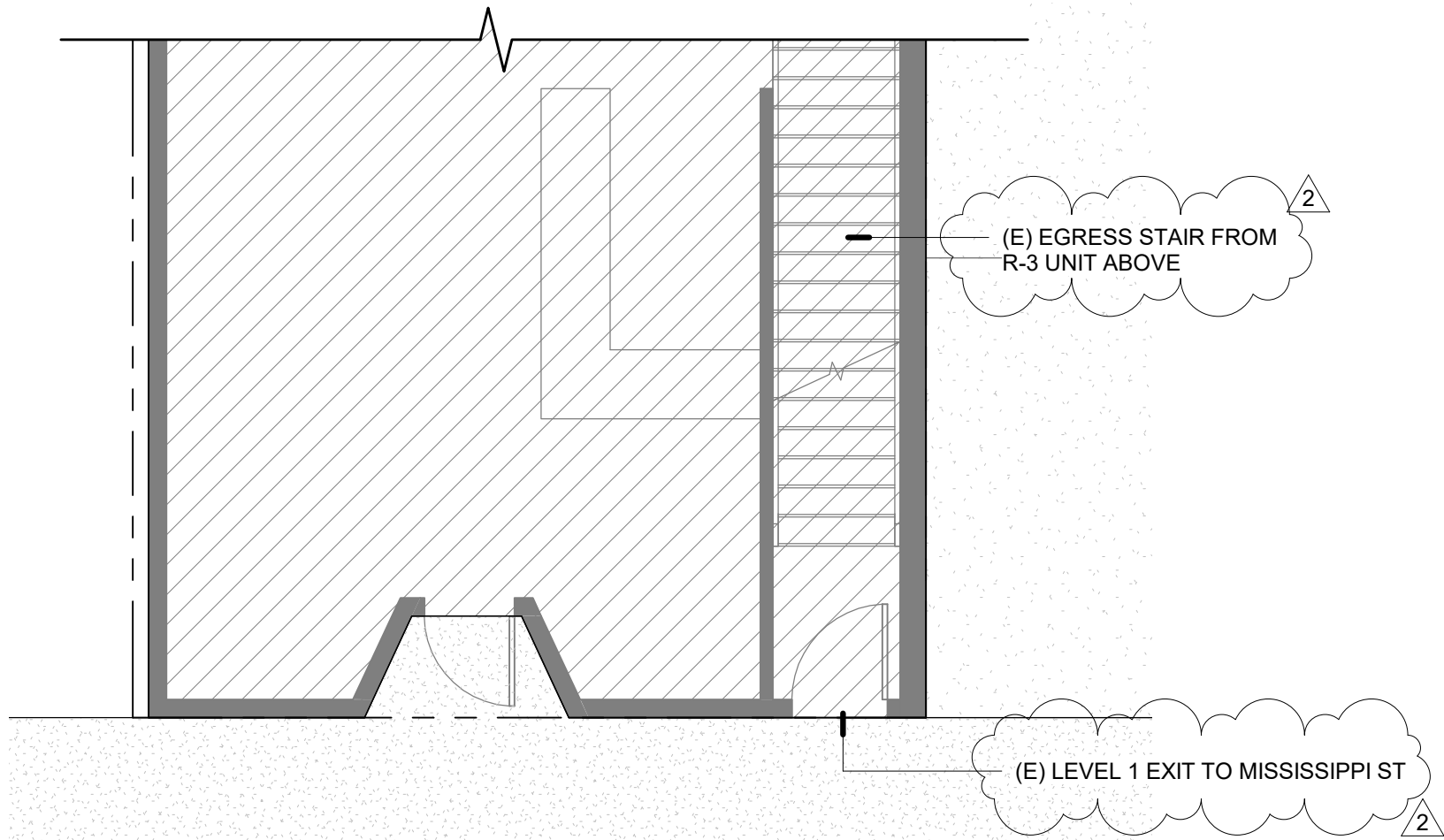
1. NO CORES, HOLES, OR CUTS IN ANY STRUCTURAL ELEMENTS TO REMAIN ARE ALLOWED.
2. PREPARE SURFACES EXPOSED DURING DEMOLITION FOR FINISHES, CONSISTENT WITH ADJACENT SURFACES.
3. PROTECT ALL EXISTING WINDOWS, UON.
4. PROTECT EXISTING WORK TO REMAIN.
5. COORDINATE OPENINGS SHOWN WITH FLOOR PLANS, SECTIONS AND ELEVATIONS FOR SIZE AND LOCATION.
6. REFER TO DETAILS OF NEW WORK WHERE EDGES OF DEMOLITION ARE FINISHED OR CONNECT TO NEW WORK.
7. PROVIDE ALL MEASURES NECESSARY TO PROTECT ADJACENT SPACES FROM DUST AND/OR NOISE. REFER TO SPECIFICATIONS FOR CONSTRUCTION OF TEMPORARY BARRIERS.
8. WHERE WALLS ARE SHOWN DEMOLISHED, TRIM, ELECTRICAL AND OTHER UTILITIES SHALL BE INCLUDED IN DEMOLITION. TERMINATE UTILITIES AT AN ACCESSIBLE LOCATION TO ENABLE FUTURE RECONNECTION.
9. MAINTAIN EXIT PATHS, LIGHTS, HVAC, ETC. DURING DEMOLITION FOR ALL OCCUPIED PORTIONS OF THE BUILDING.



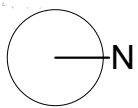
① LEVEL 02 - EXISTING CONDITIONS/DEMOLITION PLAN  
3/16" = 1'-0"



② DEMO ELEVATION  
1/4" = 1'-0"



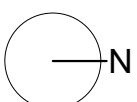
③ LEVEL 01 - EXISTING PLAN  
3/16" = 1'-0"



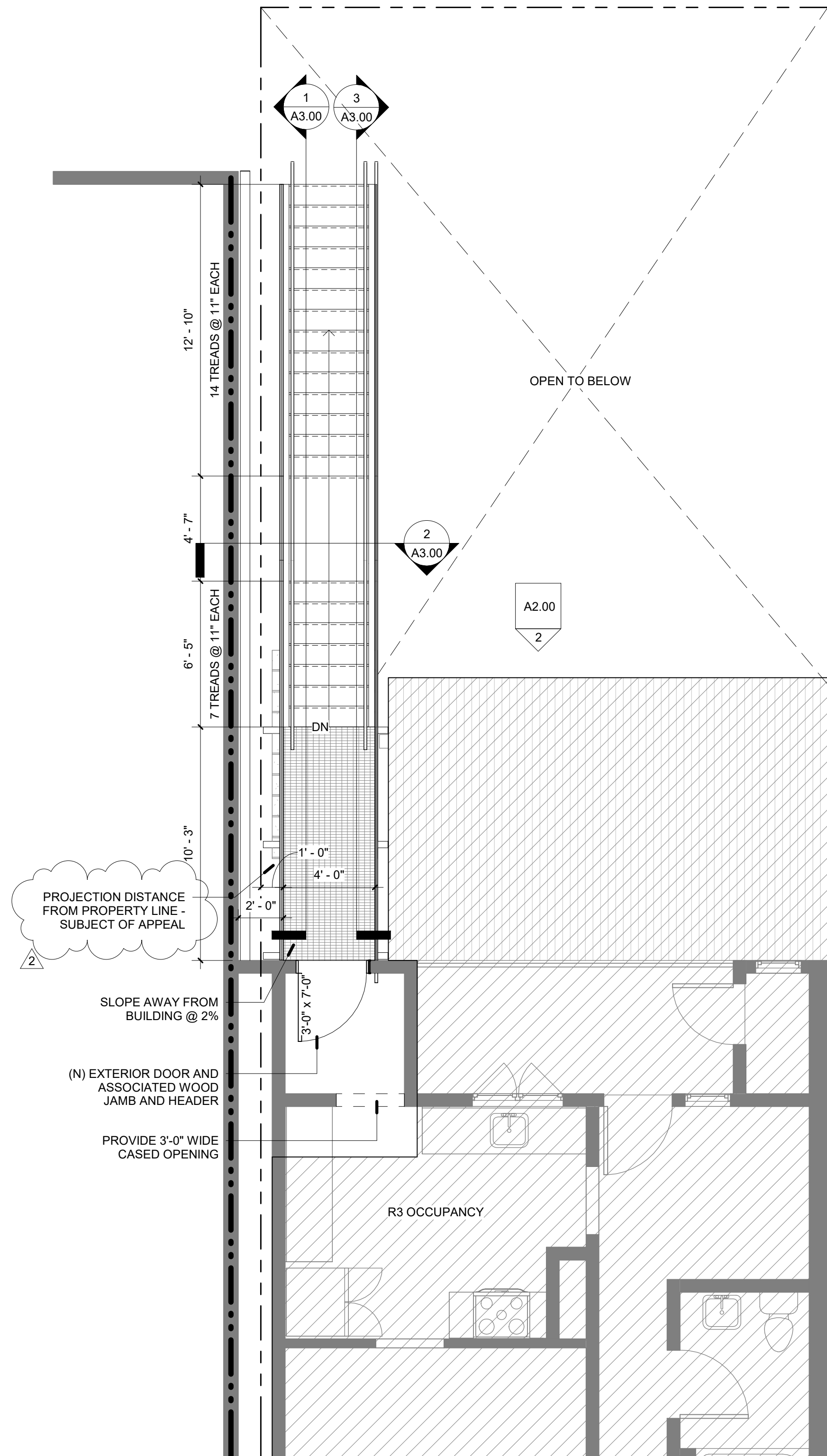
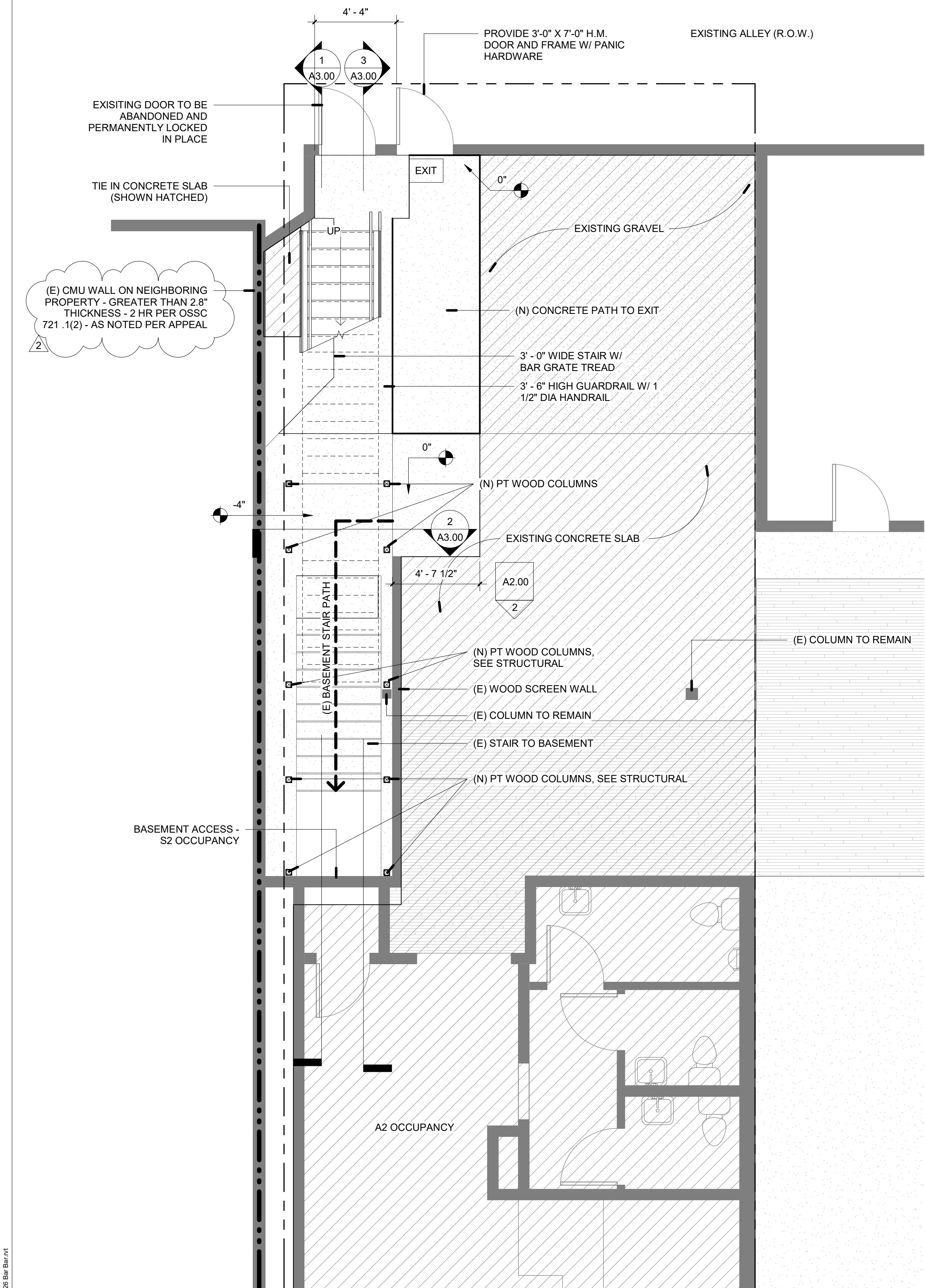
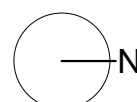


P:\Kevin Choudhary\Bar02\Bar02\20726 Bar Bar.rvt  
7/26/2022 1:26:04 PM

① 01 - LEVEL 01  
1/4" = 1'-0"

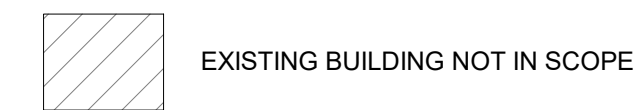


② 02 - LEVEL 02  
1/4" = 1'-0"



## GENERAL NOTES - FLOOR PLANS

- ALL DIMENSIONS AND GRIDS ARE TO FACE OF STUD OR FACE, FACE OF CMU, FACE OF CONCRETE, OR CENTERLINE OF WINDOW/DOOR, UNO.
- DOOR ARE TO BE OFFSET 3" FROM PERPENDICULAR WALLS, UNO.
- EXISTING CONDITIONS TO BE VERIFIED BY CONTRACTOR IN FIELD.
- IF HAZARDOUS MATERIALS SUCH AS LEAD OR ASBESTOS ARE UNCOVERED, CONTRACTOR TO IMMEDIATELY HALT ALL WORK AND NOTIFY OWNER'S REPRESENTATIVE.
- ALL WORK SHALL CONFORM TO 2019 OREGON STRUCTURAL SPECIALTY CODE (OSSC) AND ALL APPLICABLE LOCAL JURISDICTION RULES AND REGULATIONS.
- EXISTING EGRESS COMPONENTS WILL REMAIN UNCHANGED. STAIR IS NOT PART OF THE MEANS OF EGRESS PER OSSC CHAPTER 10 AND THUS SHALL BE SUBJECT TO CHAPTER 10.
- STAIR SHALL MEET THE FOLLOWING:
  - SHALL BE 4 INCHES (100 MM) MINIMUM AND 7 INCHES (180 MM) MAXIMUM IN HEIGHT. TREADS SHALL BE 11 INCHES (280 MM) MINIMUM IN DEPTH.
  - STAIR TREADS SHALL COMPLY WITH SECTION 302 AND SHALL HAVE A SLOPE NOT STEEPER THAN 1:48.
  - THE RADIUS OF CURVATURE AT THE LEADING EDGE OF THE TREAD SHALL BE 1/2 INCH (13 MM) MAXIMUM. NOSINGS THAT PROJECT BEYOND RISERS SHALL HAVE THE UNDERSIDE OF THE LEADING EDGE CURVED OR BEVELED. RISERS SHALL BE PERMITTED TO SLOPE UNDER THE TREAD AT AN ANGLE OF 30 DEGREES MAXIMUM FROM VERTICAL. THE PERMITTED PROJECTION OF THE NOSING SHALL BE 1 1/2 INCHES (38 MM) MAXIMUM OVER THE TREAD OR FLOOR BELOW.
  - THE LEADING 2 INCHES (51 MM) OF THE TREAD SHALL HAVE VISUAL CONTRAST OF DARKON-LIGHT OR LIGHT-ON-DARK FROM THE REMAINDER OF THE TREAD.
  - LIGHTING PROVIDED SHALL BE CAPABLE OF PROVIDING 10 FOOT-CANDLES (108 LUX) OF ILLUMINANCE MEASURED AT THE CENTER OF TREAD SURFACES AND ON LANDING SURFACES WITHIN 24 INCHES (610 MM) OF STEP NOSINGS.
- HANDRAILS SHALL MEET THE FOLLOWING:
  - HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF 1 1/4 INCHES (32 MM) MINIMUM AND 2 INCHES (51 MM) MAXIMUM.
  - HANDRAILS, AND ANY WALL OR OTHER SURFACES ADJACENT TO THEM, SHALL BE FREE OF ANY SHARP OR ABRASIVE ELEMENTS. EDGES SHALL BE ROUNDED.
  - AT THE TOP OF A STAIR FLIGHT, HANDRAILS SHALL EXTEND HORIZONTALLY ABOVE THE LANDING FOR 12 INCHES (305 MM) MINIMUM BEGINNING DIRECTLY ABOVE THE LANDING NOSING. EXTENSIONS SHALL RETURN TO A WALL, GUARD, OR THE LANDING SURFACE, OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT.
  - AT THE BOTTOM OF A STAIR FLIGHT, HANDRAILS SHALL EXTEND AT THE SLOPE OF THE STAIR FLIGHT FOR A HORIZONTAL DISTANCE EQUAL TO ONE TREAD DEPTH BEYOND THE BOTTOM TREAD NOSING. EXTENSIONS SHALL RETURN TO A WALL, GUARD, OR THE LANDING SURFACE, OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT.



1 HR WALL

2 HR WALL

REVISIONS		
#	DESCRIPTION	DATE
1	REV 01	6/9/22
2	APPEAL #27829	7/26/22

## BAR BAR CONVENIENCE STAIR

3843 N Mississippi Ave  
Portland, OR 97227

OWNER: KEVIN CRADOCK



ISSUE DATE:	1/20/2022
PROJECT NO:	21024
DRAWN BY:	NT

## FLOOR PLANS

# A2.01

PERMIT DOCUMENTS

REVISIONS		
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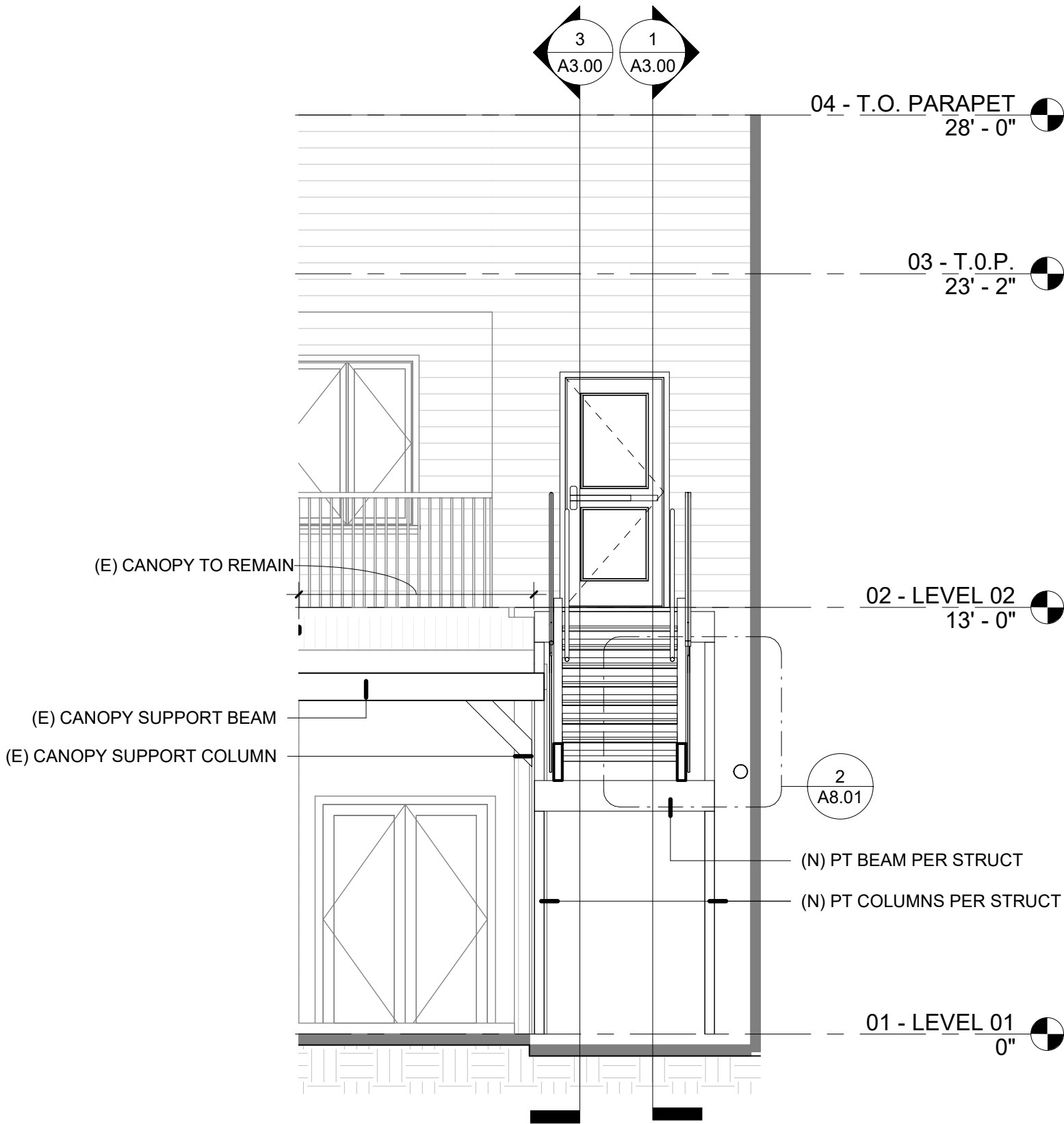


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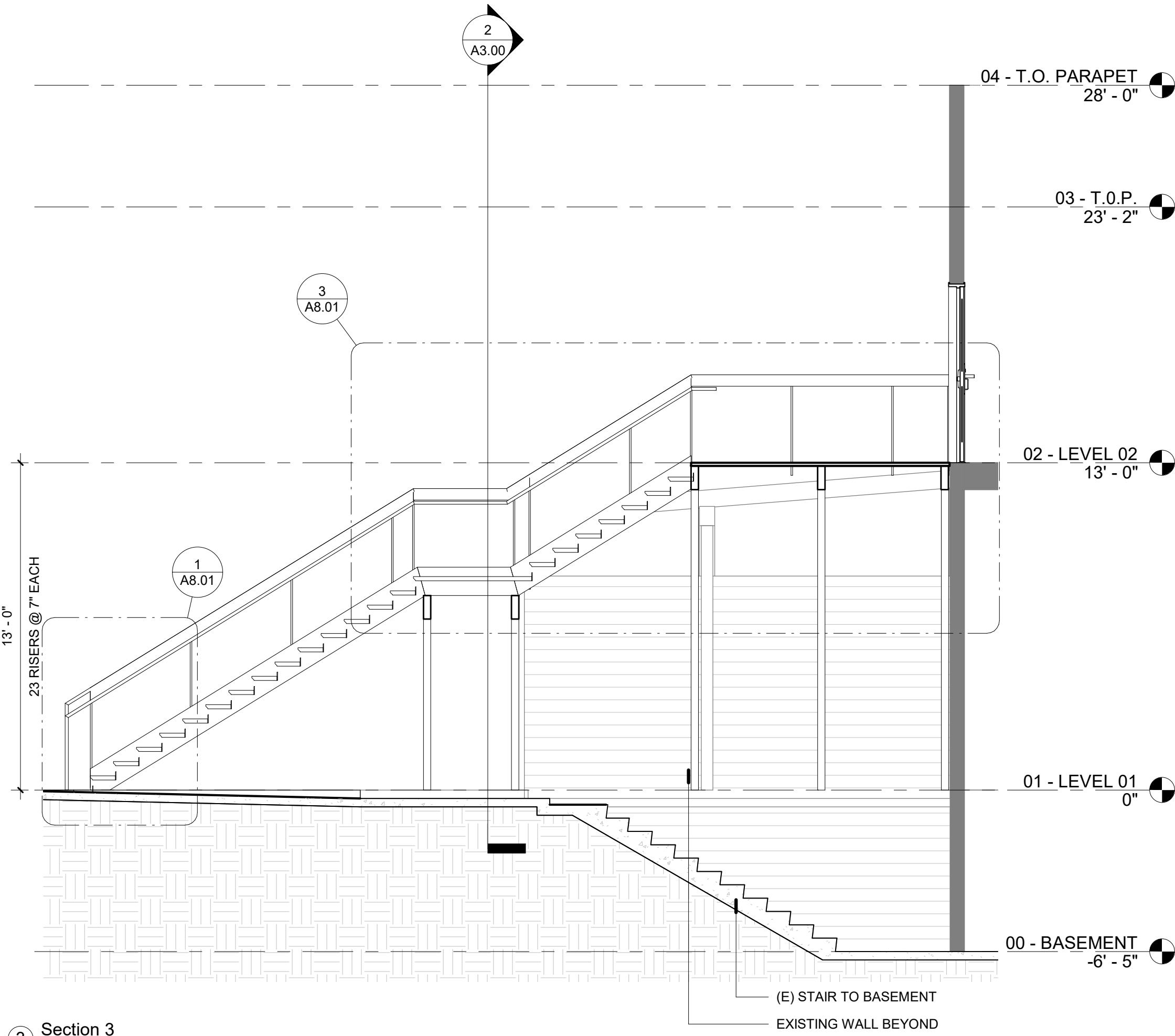
STAIR SECTIONS

A3.00

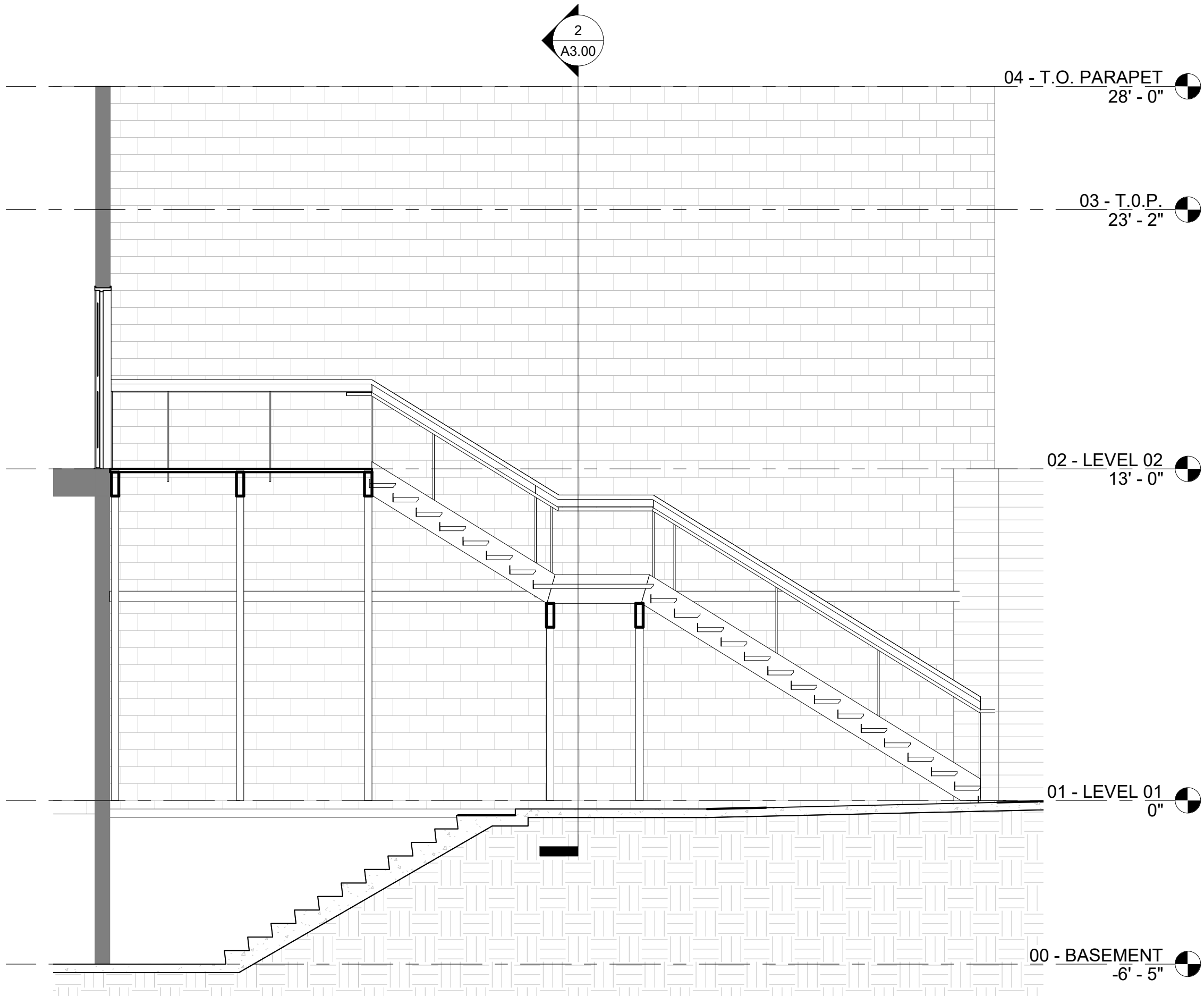
PERMIT DOCUMENTS



Section 2  
1/4" = 1'-0"



Section 3  
1/4" = 1'-0"



Section 1  
1/4" = 1'-0"



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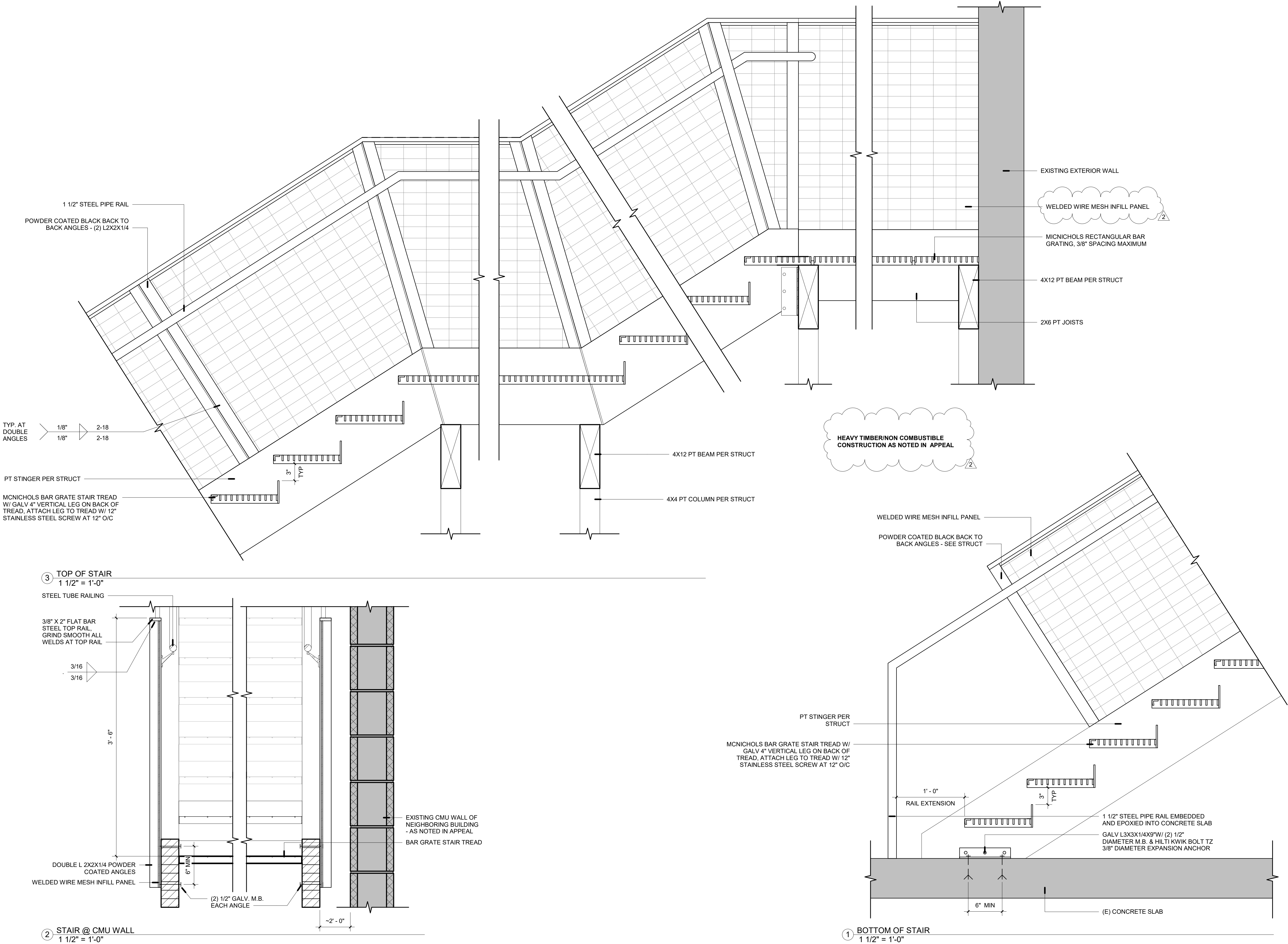


ISSUE DATE:	1/20/2022
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DRAWN BY:	NT

DETAILS

A8.01

PERMIT DOCUMENTS





**Appeal ID: 7749**  
Appeal item 1  
Code Section  
705.8

Requires  
Not given

Code Modification or Alternate Requested  
Proposed Design  
Add one window to wall within 5' 0" of property line

Reason for alternative  
A "covenant not to sell separately" has been recorded with the County - see attached covenant for approval with this appeal.

**APPEAL DECISION**  
1. Opening in exterior wall on property line: Granted provided no structure is built on the vacant lot less than 5' from the window opening.

**Appeal ID: 7140**  
Appeal item 1  
Code Section 1  
Table 704.7

Requires  
Indicates that an opening (protected OR unprotected) is not permitted in a wall that is between Zero and Three feet from the property line.

Code Modification or Alternate Requested  
Proposed Design  
Two A2 occupied structures stand next to each other on the property line. The proposal is to construct a 6' wide opening in the existing two walls on the property line to create a connection between the two spaces. At each exterior wall within three feet of the property line; it is proposed to put a 4-hour fire rated roll down door to be triggered automatically in the case of a fire. -

Reason for alternative  
The tenant wants to create a restaurant area to his existing music venue. To create an equivalent fire safety we are proposing to put (2) 4-hour fire rated doors to be triggered automatically in the case of a fire.

**APPEAL DECISION:**  
1. Opening in exterior wall on property line: Granted as proposed for this tenant only.

Note:  
- The appeal board will accept a 2-hour fire-rated automatic-closing door in lieu of 4-hour.  
- The automatic-closing door must be actuated by a smoke detector installed under a separate permit from the Fire Marshal's Office.  
- This appeal may be revoked at any time by the Fire Marshal's Office.