

Development Services

From Concept to Construction

Phone: 503-823-7300 Email: bds@portlandoregon.gov 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 27656	Project Address: 2027 SE 174th Ave
Hearing Date: 4/13/22	Appellant Name: Mildred White
Case No.: B-001	Appellant Phone: 503-253-4283
Appeal Type: Building	Plans Examiner/Inspector: Renay Radtke Butts
Project Type: commercial	Stories: 2 Occupancy: SR-1 Construction Type: V-A
Building/Business Name:	Fire Sprinklers: Yes - throughout entire building
Appeal Involves: Alteration of an existing structure	LUR or Permit Application No.: 20-106889-CO
Plan Submitted Option: pdf [File 1] [File 2] [File 3] [File 4] Proposed use: exterior deck at care facility	

APPEAL INFORMATION SHEET

Appeal item 1

Code Section	1028.4.2
Requires	Where an egress court serving a building or portion thereof is less than 10 feet in width, the egress court walls shall have not less than 1-hour fire-resistance-rated construction for a distance of 10 feet above the floor of the egress court. Openings within such walls such be protected by openings having a fire protection rating of not less than 3/4 hour.
Code Modification or Alternate Requested	The request is to eliminate the 3/4 rating outright in areas where there is over 35' from building to property line, and request to eliminate the 3/4 rating in areas where there is smaller distance between building and property line. Please note, the elimination of the fire rating requirement for a number of openings were already approved under a previous appeal which is noted on the drawings.
Proposed Design	The elimination of the fire rating requirement for a number of openings was granted under an appeal submitted with the original building permit. This permit is only to legalize decks that were constructed and inspected with that permit, but never included under the permit scope. The decks were built because the original architect failed to note that the existing grade would not permit accessible use of the exterior doors in each resident's room. These raised decks were built within the building setback, decreasing the width of the egress courts. The existing openings which would require 3/4 rating are vinyl and operable. The windows could be replaced, but most are required to be operable for egress. The building is Type V-A construction, so all exterior walls are one-hour rated. Exterior fire sprinklers are installed along the perimeter of the building. We are requesting the non-rated windows to be permitted to remain with the installation of additional exterior fire sprinkler heads at locations where the distance between the building and property lines is 10'. At the rear, we are requesting no additional sprinkler heads be required since the distance between the building and property line is over 35'.

Reason for alternative The alternate is required in order to maintain the required egress windows. The purpose of the egress court is to provide safe passage. This will be provided with the combination of the Type V-A construction, fire sprinklers on the exterior along the path of egress (above the deck), and additional heads at locations where the distance is less than 35' to the property line. At these locations, the width of the deck is no less than 6', with an additional 4' to the property line. The window sizes are noted on the enlarged plans, varying from 1.5'x1.5' to 6.0'x5.0'. There are five exterior exit doors that do not utilize the egress court to reach the public way. There are three exit doors that utilize the egress court, along with two secondary exit stairs from the second floor.

APPEAL DECISION

Type 13 water curtain sprinkler protection at non-fire rated door and window openings in North, West and South exterior walls along egress court created by deck installation that is less than 10 feet in width: Granted provided doors are equipped with closers, sprinklers are spaced not more than 6 feet apart and placed a minimum of 6 inches and a maximum of 12 inches from the opening(s) and a maximum of 12 inches below the ceiling. Sprinklers are to be installed on the interior and exterior side of the openings. A separate permit from the Fire Marshal's Office is required.

Note: Fire damper protection of mechanical vent openings may be prescriptively used but no dryer vents PTAC units or eave vents may be located within appeal area..

Also note: Decision is for this condition and use only and is based on appeal #8987.

Appellant may contact John Butler (503 865-6427) or e-mail at John.Butler@portlandoregon.gov with questions.

The Administrative Appeal Board finds with the conditions noted, that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.

RAISED DECK
DECREASES PATH OF
EGRESS / EGRESS
COURT BETWEEN
BUILDING AND
PROPERTY LINE TO
LESS THAN 10'

PATH OF
EGRESS

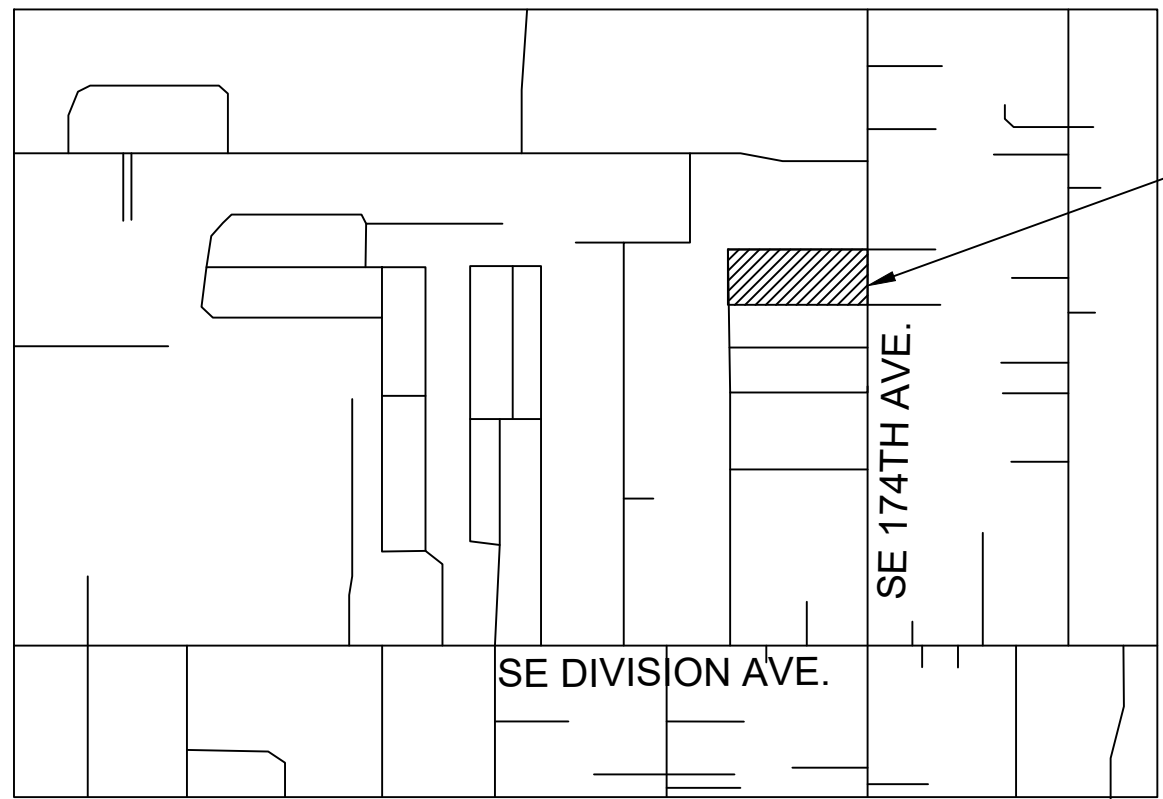
PROPERTY
LINE

PROPERTY
LINE

AT THIS POINT DECK IS
CONCRETE AND LEVEL
WITH GROUND SO NO
LONGER INFRINGING ON
EGRESS COURT WIDTH

PROPOSED SITE PLAN

SCALE: 3/32" = 1'-0"



VICINITY MAP

NOT TO SCALE

SITE PLAN

- PROPERTY LINE
- CONCRETE
- DECK
- EXISTING BUILDING WALL
- EXISTING TREE TO REMAIN
- PATH OF EGRESS
- EXIT SIGN
- EGRESS DOOR

DRAWING INDEX

SHEET NO	SHEET TITLE
	ARCHITECTURAL
SD1.0	SITE PLAN AND PROJECT INFORMATION
A1.0	ENLARGED DECK PLAN
A1.1	ENLARGED DECK PLAN
A1.2	ENLARGED DECK PLAN
A1.3	ENLARGED DECK PLAN
A2.1	PROPOSED ELEVATIONS
A2.2	PROPOSED ELEVATIONS
A3.1	ENLARGED RAMP AND STAIR PLAN
A0.0A	EXISTING BUILDING CODE REFERENCE
A0.1A	EXISTING SITE PLAN REFERENCE
A0.9	EXISTING BASEMENT PLAN REFERENCE
A1.0A	EXISTING MAIN LEVEL PLAN REFERENCE
A1.0B	EXISTING BASEMENT FLS REFERENCE
A1.1A	EXISTING UPPER LEVEL PLAN REFERENCE
	STRUCTURAL
S0	GENERAL NOTES
S1	DECK FRAMING PLAN
S2	RAMP FRAMING PLAN
S3	STRUCTURAL DETAILS

PROJECT DESCRIPTION

LEGALIZATION OF SINGLE LEVEL CONCRETE AND WOOD DECK. CONSTRUCT NEW DECK TO MAINTAIN PATH OF EGRESS. NO BUILDING MODIFICATIONS PROPOSED.

LICENSED ARCHITECT/APPLICANT

MILDRED D. WHITE, AIA
BAMA ARCHITECTURE AND DESIGN LLC
7350 SE MILWAUKIE AVE
PORTLAND, OR 97232
PH: (503) 253-4283

SITE INFORMATION

PROPERTY ID: R337828
STATE ID: 1S3EO6DC 8300
TOTAL LOT AREA: 30,100 SF (.69 ACRES ±)
NEW DECK: 2,560 SF
NEW IMPERVIOUS AREA: 2,560 SF

ZONING CODE INFORMATION

ZONING: R7
SETBACKS:
FRONT: 15'
SIDE: 5'
REAR: 5'
MAX HEIGHT: 30'-0"

BUILDING INFORMATION

CODE: 2014 OREGON STRUCTURAL SPECIALTY CODE
EXISTING BUILDING INFORMATION PER CASE FILE LU 11-146609
(SEE ATTACHED APPROVED DRAWING SET)

APPROVED OCCUPANCY : SR-1 , I-1 STANDARDS
CONSTRUCTION TYPE: VA
FIRE PROTECTION: SPRINKLER NFPA 13 SYSTEM THROUGH-OUT
(INCLUDING AT EXTERIOR)

GENERAL NOTES

- CONTRACTOR SHALL FIELD VERIFY AND CONFIRM EXISTING CONDITIONS SHOWN OR IMPLIED ON DRAWINGS PRIOR TO START OF CONSTRUCTION OR ORDERING OF MATERIALS. NOTIFY ARCHITECT, ENGINEER AND OWNER OF ANY DISCREPANCIES.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND.
- DIMENSIONS SHOWN ARE TO FACE OF LUMBER OR CENTER OF COLUMN UNLESS NOTED OTHERWISE. CONFIRM WITH STRUCTURAL.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY TESTING AND COORDINATE ALL REQUIRED INSPECTIONS.
- ALL ELEMENTS TO REMAIN UNLESS OTHERWISE NOTED.
- DECKS WITHIN SETBACKS HAVE MAXIMUM HEIGHT OF 30".

EGRESS (FOR NEW DECK)

- COMMON PATH OF EGRESS TRAVEL
 - MAXIMUM ALLOWED DISTANCE 75'
 - ACTUAL MAXIMUM DISTANCE PROPOSED 70'-6".
- EXIT ACCESS TRAVEL DISTANCE
 - MAXIMUM ALLOWED DISTANCE 250'
 - ACTUAL MAXIMUM DISTANCE 191'-6"

ACCESSIBLE BARRIER REMOVAL AND UPGRADE OF ACCESSIBLE FEATURES

ELEMENT	ESTIMATED COST
ADA RAMP	5,000
PROJECT CONSTRUCTION COST (MINUS SEISMIC)	20,000

NOTE: SEE REFERENCE SHEETS A0.0,
A1.0A, A1.0B, A1.1A FOR EXISTING
EGRESS PATHS

BAMA
Architecture and Design

7350 SE Milwaukie Ave.
Portland, Oregon 97202
Ph: 503.253.4283



These drawings are the property of
BAMA Architecture and Design, and are
not to be reproduced or disclosed in any
manner except with the prior written
consent of BAMA Architecture
and Design

WHITEWOOD
174

2027 SE 174TH AVE.
PORTLAND, OREGON

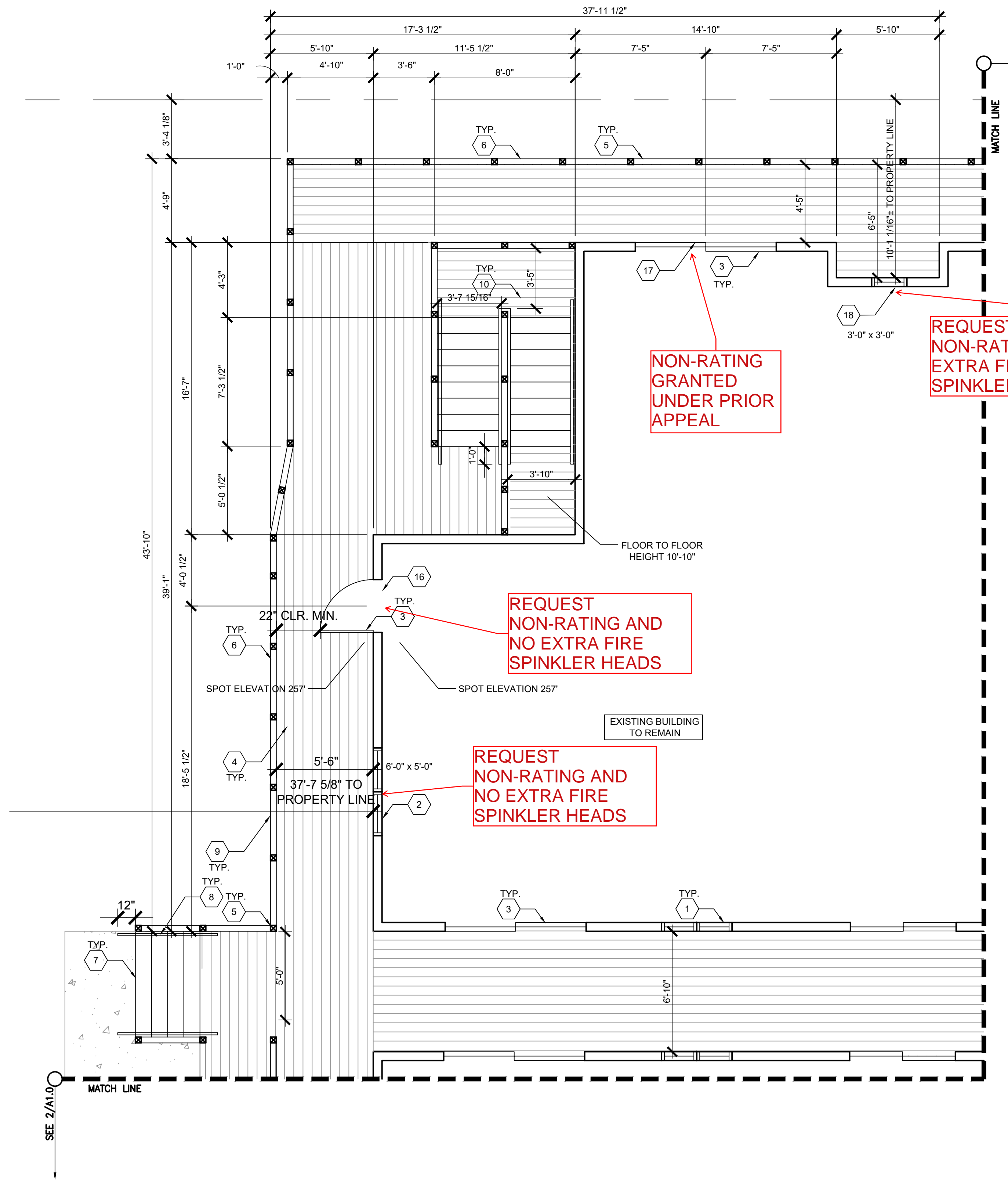
Proj # 000000

REVISIONS:

- CITY COMMENTS: 7/7/21
- CITY COMMENTS: 11/29/21
- CITY COMMENTS: 03/28/22

ZONING PERMIT:
December 24th, 2020

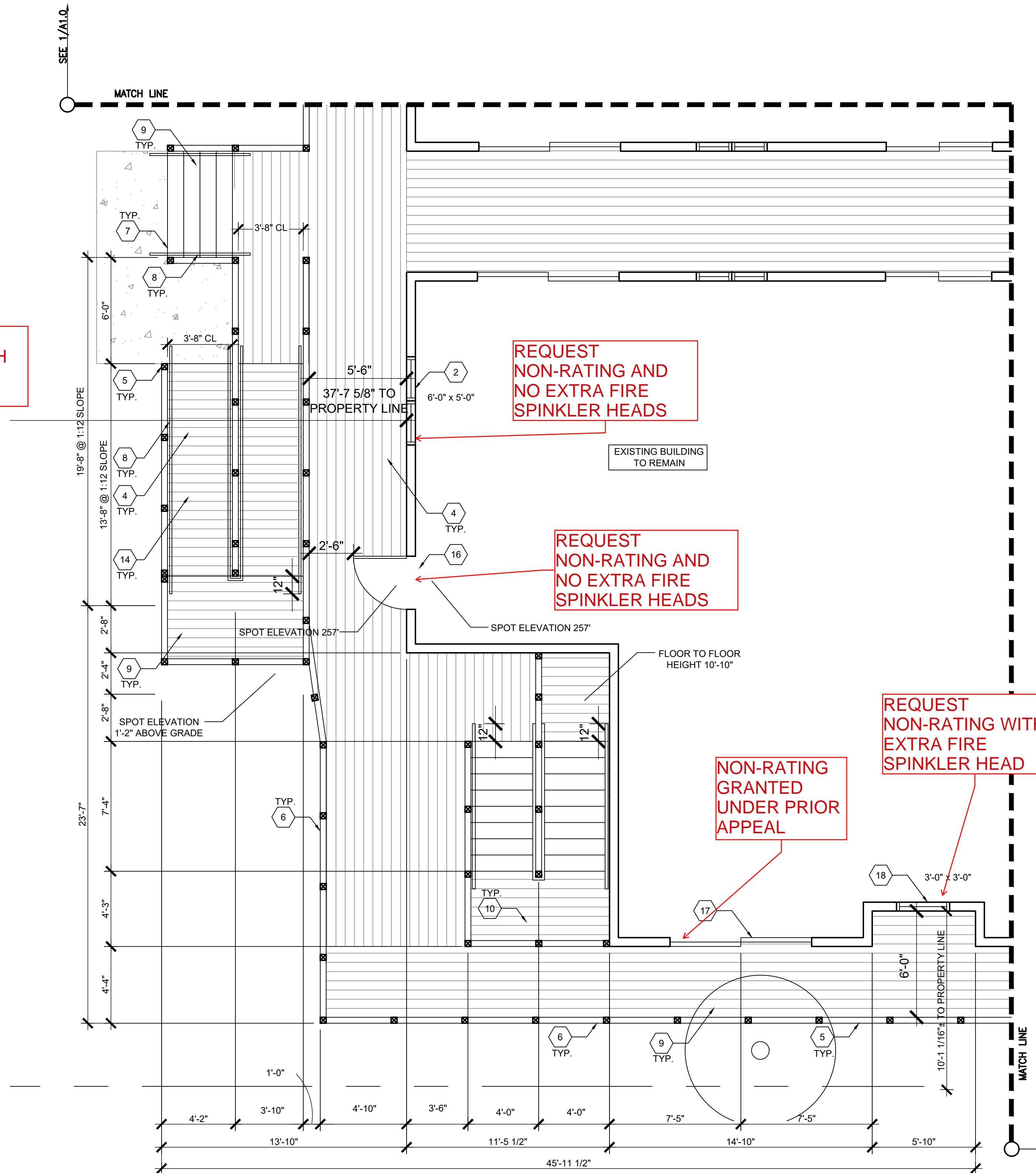
SHEET NO.
SD1.0
SITE PLAN



1
A1.0 ENLARGED PROPOSED DECK PLAN
SCALE: 1/4" = 1'-0"

KEYNOTES

- | | | | |
|---|--|----|--|
| 1 | EXISTING 90 MINUTE RATED EXTERIOR WALL TO REMAIN. | 10 | EXISTING EXTERIOR STAIRS TO REMAIN. |
| 2 | EXISTING NON-RATED WINDOW TO REMAIN. | 11 | NEW 6" CONCRETE SIDEWALK SLOPE 2% MAX. |
| 3 | EXISTING NON-RATED EXTERIOR DOOR TO REMAIN. | 12 | EXISTING STAIRWELL TO REMAIN. |
| 4 | NEW DECK. | 13 | EXISTING TREE TO REMAIN. |
| 5 | NEW GUARDRAIL POSTS AT 4'-0" OC MAX. | 14 | NEW ADA RAMP. SEE DETAIL 1/A3.1 FOR ENLARGED PLAN. |
| 6 | NEW 42" MIN. HIGH GUARDRAIL. | 15 | EXISTING CONCRETE TO REMAIN. |
| 7 | NEW WOOD STAIRS MAX. 7" RISE MIN. 11" RUN. SEE DETAILS 2/A3.1 & 3/A3.1. | 16 | ADA THRESHOLD. SEE DETAIL 1/A1.3 |
| 8 | NEW 1 1/2" DIA. WOOD HANDRAIL AT 3'-0" ON BOTH SIDES ABOVE FINISH FLOOR WITH 12" EXTENSION TOP AND BOTTOM. | 17 | NON-RATED OPENING WITH ADDED SPRINKLER HEAD ABOVE DOOR/WINDOW ON INTERIOR AND EXTERIOR - GRANTED UNDER APPEAL # 8987 |
| 9 | SEE DETAIL 4/A3.1 FOR CONNECTION TO GRADE. | 18 | NON-RATED OPENING WITH ADDED SPRINKLER HEAD ABOVE DOOR/WINDOW ON EXTERIOR |



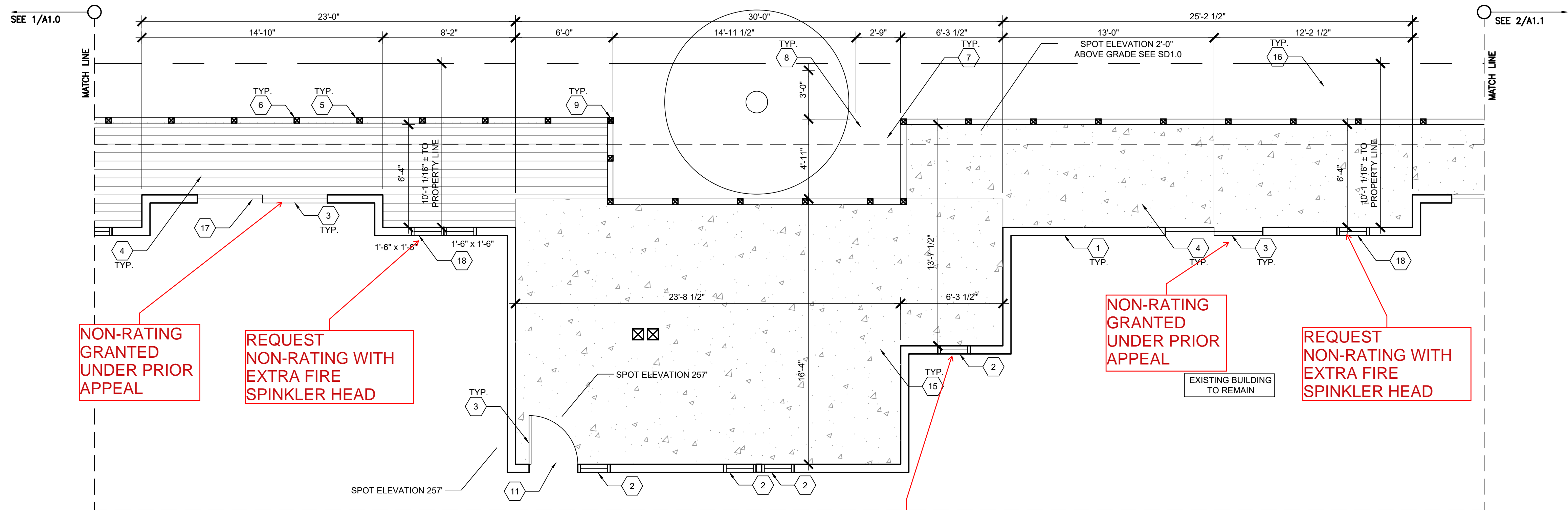
2
A1.0 ENLARGED PROPOSED DECK PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

EXISTING EXTERIOR WALL

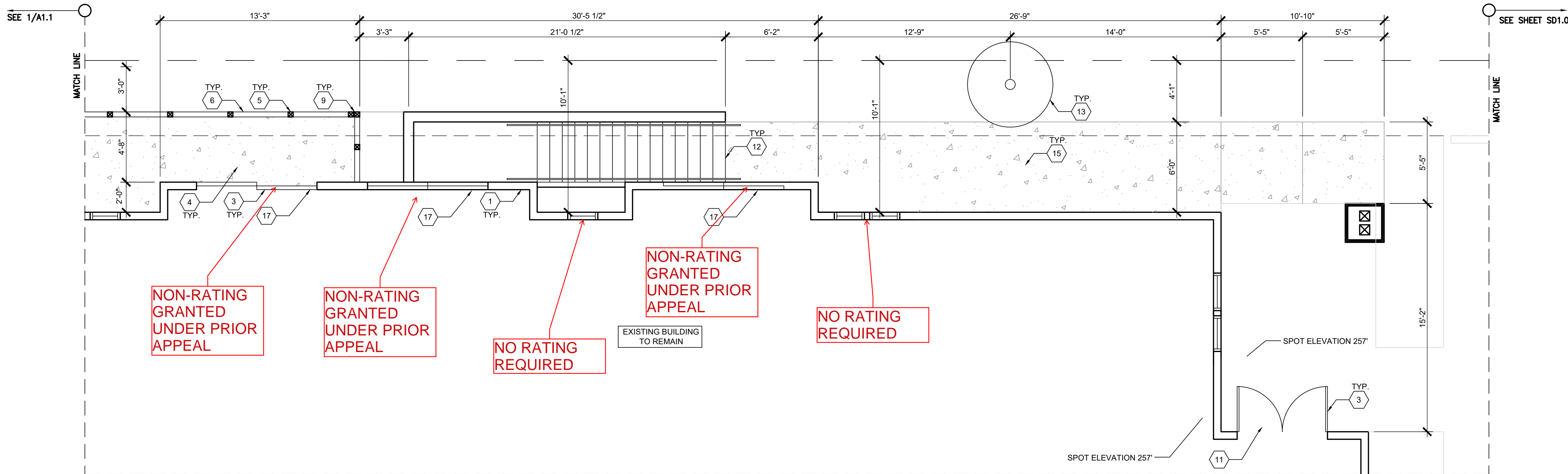
REVISIONS:

- △ CITY COMMENTS: 7/7/21
△ CITY COMMENTS: 11/29/21
△ CITY COMMENTS: 03/28/22



1
A1.1 ENLARGED PROPOSED DECK PLAN
SCALE: 1/4" = 1'-0"

NOTE: FIRE RATING OR NON-COMBUSTIBLE MATERIALS NOT REQUIRED AT NORTH DECK EXTERIOR AT DECKS PROVIDED WITH SPRINKLER PROTECTION



2
A1.1 ENLARGED PROPOSED DECK PLAN
SCALE: 1/4" = 1'-0"

- KEYNOTES
- 1 EXISTING 90 MINUTE RATED EXTERIOR WALL TO REMAIN.
 - 2 EXISTING NON-RATED WINDOW TO REMAIN.
 - 3 EXISTING NON-RATED EXTERIOR DOOR TO REMAIN.
 - 4 NEW DECK.
 - 5 NEW GUARDRAIL POSTS AT 4'-0" OC MAX.
 - 6 NEW 42" MIN. HIGH GUARDRAIL.
 - 7 NEW WOOD STAIRS MAX. 7" RISE MIN. 11" RUN. SEE DETAILS 2/A3.1 & 3/A3.1.
 - 8 NEW 1 1/2" DIA. WOOD HANDRAIL AT 3'-0" ABOVE FINISH FLOOR WITH 12" EXTENSION TOP AND BOTTOM.
 - 9 SEE DETAIL 4/A3.1 FOR CONNECTION TO GRADE.
 - 10 EXISTING EXTERIOR STAIRS TO REMAIN.
 - 11 ADA THRESHOLD. SEE DETAIL 1/A1.3
 - 12 EXISTING STAIRWELL TO REMAIN.
 - 13 EXISTING TREE TO REMAIN.
 - 14 NEW ADA RAMP. SEE DETAIL 1/A3.1 FOR ENLARGED PLAN.
 - 15 EXISTING CONCRETE TO REMAIN.
 - 16 EXISTING L3 LANDSCAPING TO REMAIN.
 - 17 NON-RATED OPENING ALLOWED WITH ADDED SPRINKLER HEAD ABOVE DOOR/WINDOW ON INTERIOR AND EXTERIOR - GRANTED UNDER APPEAL # 8987
 - 18 NON-RATED OPENING WITH ADDED SPRINKLER HEAD ABOVE WINDOW ON EXTERIOR

BAMA
Architecture and Design
7350 SE Milwaukie Ave.
Portland, Oregon 97202
Ph: 503.253.4283



These drawings are the property of BAMA Architecture and Design, and are not to be reproduced or disclosed in any manner except with the prior written consent of BAMA Architecture and Design

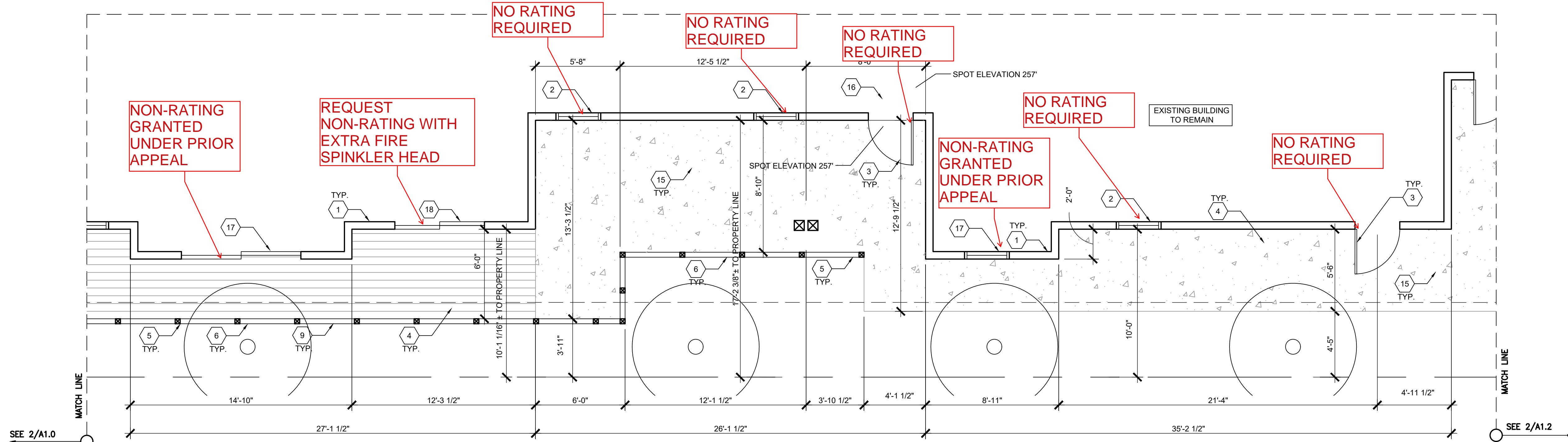
WHITEWOOD
174

2027 SE 174TH AVE.
PORTLAND, OREGON

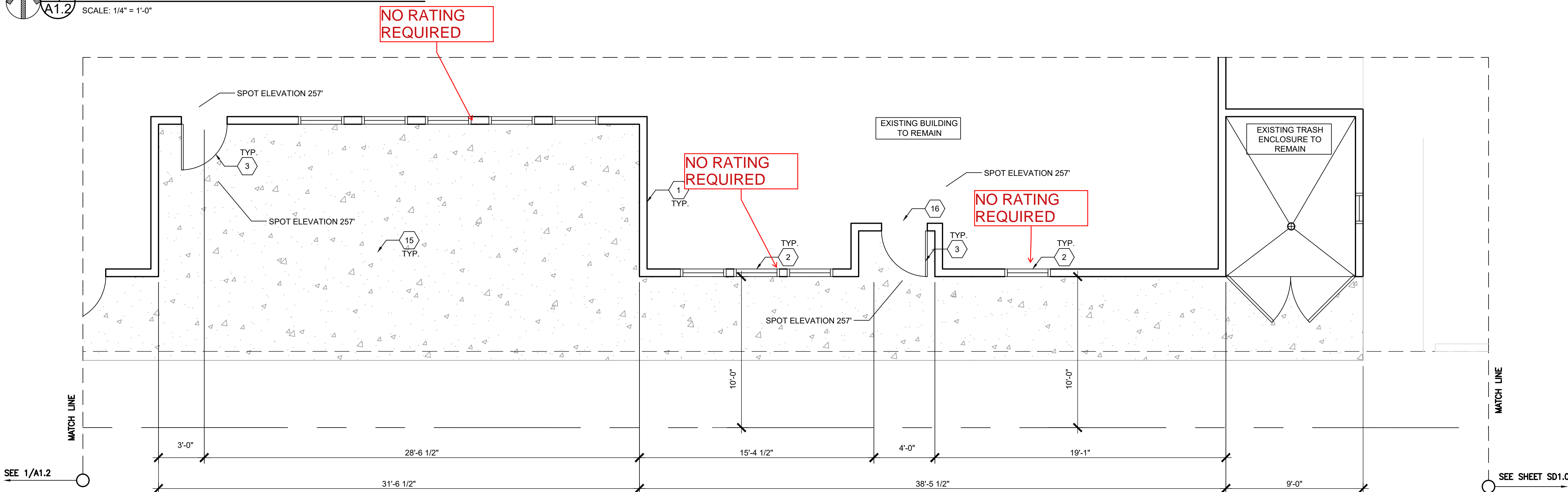
Proj # 000000

- REVISIONS:
- 1 CITY COMMENTS: 7/7/21
 - 2 CITY COMMENTS: 11/29/21
 - 3 CITY COMMENTS: 03/28/22

ZONING PERMIT:
December 24th, 2020
SHEET NO.
A1.1
ENLARGED
PROPOSED DECK
PLANS



1
A1.2 ENLARGED PROPOSED DECK PLAN
SCALE: 1/4" = 1'-0"



2
A1.2 ENLARGED PROPOSED DECK PLAN
SCALE: 1/4" = 1'-0"

KEYNOTES

- | | | | |
|---|--|----|--|
| 1 | EXISTING 90 MINUTE RATED EXTERIOR WALL TO REMAIN. | 10 | EXISTING EXTERIOR STAIRS TO REMAIN. |
| 2 | EXISTING NON-RATED WINDOW TO REMAIN. | 11 | NEW 6" CONCRETE SIDEWALK SLOPE 2% MAX. |
| 3 | EXISTING NON-RATED EXTERIOR DOOR TO REMAIN. | 12 | EXISTING STAIRWELL TO REMAIN. |
| 4 | NEW DECK. | 13 | EXISTING TREE TO REMAIN. |
| 5 | NEW GUARDRAIL POSTS AT 4'-0" OC MAX. | 14 | NEW ADA RAMP. SEE DETAIL 1/A3.1 FOR ENLARGED PLAN. |
| 6 | NEW 42" MIN. HIGH GUARDRAIL. | 15 | EXISTING CONCRETE TO REMAIN. |
| 7 | NEW WOOD STAIRS MAX. 7" RISE MIN. 11" RUN. SEE DETAILS 2/A3.1 & 3/A3.1. | 16 | ADA THRESHOLD. SEE DETAIL 1/A1.3 |
| 8 | NEW 1 1/2" DIA. WOOD HANDRAIL AT 3'-0" ABOVE FINISH FLOOR WITH 12" EXTENSION TOP AND BOTTOM. | 17 | NON-RATED OPENING ALLOWED WITH ADDED SPRINKLER HEAD ABOVE DOOR/WINDOW ON INTERIOR AND EXTERIOR - GRANTED UNDER APPEAL # 8987 |
| 9 | SEE DETAIL 4/A3.1 FOR CONNECTION TO GRADE. | 18 | NON-RATED OPENING WITH ADDED SPRINKLER HEAD ABOVE DOOR/WINDOW ON EXTERIOR |

BAMA
Architecture and Design

7350 SE Milwaukie Ave.
Portland, Oregon 97202
Ph: 503.253.4283



These drawings are the property of BAMA Architecture and Design, and are not to be reproduced or disclosed in any manner except with the prior written consent of BAMA Architecture and Design

WHITEWOOD
174

2027 SE 174TH AVE.
PORTLAND, OREGON

Proj # 000000

REVISIONS:

- 1 CITY COMMENTS: 7/7/21
2 CITY COMMENTS: 11/29/21
3 CITY COMMENTS: 03/28/22

ZONING PERMIT:
December 24th, 2020
SHEET NO.

A1.2

ENLARGED
PROPOSED DECK
PLANS