

# Development Services

## From Concept to Construction

Phone: 503-823-7300 Email: [bds@portlandoregon.gov](mailto:bds@portlandoregon.gov) 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



### APPEAL SUMMARY

**Status:** Decision Rendered

<b>Appeal ID:</b> 27624	<b>Project Address:</b> 4037-4039 N Williams Ave
<b>Hearing Date:</b> 3/30/22	<b>Appellant Name:</b> Mike Perso
<b>Case No.:</b> B-011	<b>Appellant Phone:</b> 503-841-5239
<b>Appeal Type:</b> Building	<b>Plans Examiner/Inspector:</b> Robert Keal
<b>Project Type:</b> commercial	<b>Stories:</b> 4 <b>Occupancy:</b> R-2, S-1, M <b>Construction Type:</b> V-A
<b>Building/Business Name:</b>	<b>Fire Sprinklers:</b> Yes - throughout
<b>Appeal Involves:</b> Erection of a new structure	<b>LUR or Permit Application No.:</b> 21-064088-CO
<b>Plan Submitted Option:</b> pdf [File 1] [File 2] [File 3]	<b>Proposed use:</b> multifamily residential, retail

### APPEAL INFORMATION SHEET

#### Appeal item 1

**Code Section** 1028.1

**Requires** Exits shall discharge directly to the exterior of the building. The exit discharge shall be at grade or shall provide a direct path of egress travel to grade. The exit discharge shall not reenter a building.

**Code Modification or Alternate Requested** This appeal requests that the path of egress travel be permitted to pass underneath the cantilevered building overhang after initially exiting the building and before discharging to a public way.

**Proposed Design** The proposed project consists of two, four story mixed-use buildings located on a site along N Williams Avenue. The two structures are separated by an internal courtyard and each building consists of three stories of residential apartments over ground floor lobby and residential units. Ground floor retail is located along the Williams Ave facade.

Each building has two internal exit stairs, one that discharges directly to the building exterior at a public way (Stair 2 and Stair 4), and another that exits through the shared courtyard (Stair 1 and Stair 3). An egress court along the north lot line serves as the exit discharge component of the means of egress for both Stair 1 & Stair 3. It extends between the courtyard and the termination of the exit at the public way.

The egress court is open to the sky with the exception of a portion adjacent to ground floor retail where the exit discharge passes under building overhang and, while enclosed by building on only two sides, is considered to be reentering the building. The egress path continues under building overhang for 22 feet until it terminates at the sidewalk on N Williams Ave. The area under the overhang is proposed to be a paved walkway with a small planting strip. The bottom of the soffit at the overhang is approximately 12'-0" above the walking surface.

The fire resistance rated construction of the exterior wall along the egress court, including the portion of wall supporting the projection above is proposed to be increased to a 2-hour rating. Similarly a 2-hour rated horizontal assembly is proposed at the floor that overhangs the egress path. The entire building, including the path of exit discharge beneath building overhang in the courtyard, is fully sprinklered per NFPA 13. As an additional measure of protection, a moderate fire sprinkler hazard classification is proposed throughout the entire ground floor level and overhang. Openings at the Stair 1 landing and Retail space will be 45-minute rated openings.

The exit access and discharge to the right-of-way is readily visible and clearly identifiable from the lobby at both Stair 1 and Stair 3. Design elements such as glazing and paving, combined with the use of signage and lighting create a direct, clear, and unobstructed path from the termination of each exit stair to the discharge at the public way.

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**Reason for alternative** The design provides equivalent protection in the following ways:

Provides an enhanced level of protection via 2-hour resistance rated fire barriers and horizontal assemblies separating the egress path from areas adjacent and above.

Provides an enhanced level of protection by providing moderate fire sprinkler hazard classification at the entire ground floor level and overhang.

Establishes a clear exiting sequence by providing a readily visible and identifiable view from the point of termination of the stair enclosure to the lobby exit and courtyard beyond. And then providing a readily visible and identifiable view of the exit to the public way from the lobby exit

The courtyard adjacent to the discharge access is open to the sky, which will help dissipate smoke in the event of fire.

Additional considerations:

Per table 506.2 the total allowable building area for each building, given type, group, and sprinkler bonus, is 108,000 SF. The proposed actual building areas for the East and West buildings are 8,952 SF and 9,524 SF respectively, resulting in buildings that are approximately 8% of their allowable size. Consequently the occupancy load of the proposed design is significantly less than what is allowed per code and the risk associated with exiting a large volume of occupants is significantly reduced.

Per table 1004.5 the total R-2 occupant load, based on allowable area for floors 2-4 is 540 occupants, or 270 per stair enclosure. The actual proposed total occupant load for floors 2-4 is 40 occupants per building, or 20 per stair. In the event that Stair 1 and Stair 3 were required to accommodate the total occupant loads of floors 2-4 for both buildings it would only account for 14.8% of the allowable load. More importantly, when considering the combined occupant load of Levels 1 and 2 for both buildings, as well as the courtyard occupancy, the cumulative occupant load at the exit discharge shared by stairs 1 and 3 is less than 50 occupants.

The buildings will be used primarily by residents. The residents will be familiar with the spaces and will know where the exits are and how to get to them. The path to the exit from the stair enclosure, through lobby and egress court will be illuminated by a minimum of 1 foot-candle at the floor and lit exit signs will direct occupants, creating a discernible exit path.

This appeal is identical to the condition that was approved in appeal #24963 for permit 21-007867-CO. We respectfully request the approval of this proposed design.

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## Appeal item 2

<b>Code Section</b>	705.8.1
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<b>Requires</b>	The maximum area of unprotected and protected openings permitted in an exterior wall in any story of a building shall not exceed the percentages specified in table 705.8 based on the fires separation distance of each individual story.
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<b>Code Modification or Alternate Requested</b>	This appeal proposes that the open egress court below a cantilevered portion of the building not be considered enclosed by an exterior wall, and thus not be subject to table 705.8.
<b>Proposed Design</b>	<p>As described in Appeal item 1, both East and West buildings have one exit stair that discharges through an egress court along the north lot line. A portion of the egress path continues under building overhang for 22-feet until it terminates at the sidewalk. The area under the overhang is proposed to be a paved walkway with a small planting strip, not enclosed by an exterior wall to the north. The bottom of the soffit at the overhang is approximately 12'-0" above the walking surface.</p> <p>The fire resistance rated construction of the exterior wall along the egress court, including the portion of wall supporting the projection above is proposed to be increased to a 2-hour rating. Similarly a 2-hour rated horizontal assembly is proposed at the floor that overhangs the egress path. The entire building, including the path of exit discharge beneath building overhang in the courtyard, is fully sprinklered per NFPA 13. As an additional measure of protection, a moderate fire sprinkler hazard classification is proposed throughout the entire ground floor level and overhang. Openings at the Stair 1 landing and Retail space will be 45-minute rated openings.</p>
<b>Reason for alternative</b>	<p>Our reviewer has suggested that because the portion of exterior walkway beneath the building overhang is considered to be part of the building area (as defined by Chapter 2) it is therefore considered to be enclosed by exterior walls that are 100% open per table 705.8. By this logic the north-facing wall of the building overhang above is considered to extend to the ground, and is considered to be 100% open at Level 1. This interpretation is therefore not compliant with table 705.8 due to a fire separation distance of less than 3 feet.</p> <p>This appeal seeks to clarify this condition. We argue that Table 705.8 does not apply because there is no exterior wall at this location and nothing is enclosed. The building area in this case is explicitly defined in the code as a horizontal projection of the floor above, and not by enclosure of exterior walls. The exterior wall at the north property line that extends from Level 2 to Roof terminates at the cantilevered Level 2 and is structurally supported in its entirety by elements out of plane with the wall and applicably protected. The definition of exterior wall in the code does not include an implied extension to grade. Additionally, there is no ground floor here, it is a sidewalk that is part of an egress court and subject to appeal item 1. If all building overhang were interpreted to be enclosed by an implied exterior wall, thousands of buildings around the city would be in violation of Table 705.8.</p> <p>The exterior wall that separates occupiable, interior building area from exterior circulation and egress along the north lot line is set back from the property line by 7-foot, 11-inches where building overhang occurs above. The wall, and associated structure support the floors cantilevering above and are proposed to be constructed with an increased fire resistance rating of 2-hours. All structural elements bracing the wall are proposed to be rated as required, per 705.6.</p> <p>Additionally, per Appeal Item 1, a 2-hour rated horizontal assembly is proposed at the floor that overhangs the egress path, and a moderate fire sprinkler hazard classification is proposed at the building overhang as additional safety measures while all proposed glazed openings in the wall along the egress court comply with table 705.8, based on the 5-foot to less than 10-foot setback, and are proposed to be 45 minute openings.</p> <p>The area underneath building overhang is part of the exit discharge and is designed as an exterior walkway composed of concrete sidewalk, a small planting strip, and a steel egress gate. No furnishings or combustibles are proposed or allowed in this area.</p> <p>The design provides equivalent protection in the following ways:</p> <p>Area is designed as an exterior, non occupiable portion of the egress path</p>

Provides an enhanced level of protection via 2-hour resistance rated fire barriers and horizontal assemblies separating the egress path from areas adjacent and above.

This appeal is identical to the condition that was approved in appeal #24963 for permit 21-007867-CO. The respectfully request the approval of the proposed design.

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## APPEAL DECISION

**1. Exit discharge beneath building overhang: Granted provided Tyco sprinkler protection is installed in accordance with manufacturer's specifications.**

**2. Determination of exterior wall location and exemption of opening protection requirements of Table 705.8: Granted as proposed.**

**Appellant may contact John Butler (503 865-6427) or e-mail at [John.Butler@portlandoregon.gov](mailto:John.Butler@portlandoregon.gov) with questions.**

The Administrative Appeal Board finds with the conditions noted, that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to [www.portlandoregon.gov/bds/appealsinfo](http://www.portlandoregon.gov/bds/appealsinfo), call (503) 823-7300 or come in to the Development Services Center.

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CITY STAMP

PROJECT

WILLIAMS 40

4037-4039 N WILLIAMS AVE  
PORTLAND, OR 97227

DRAWING TITLE  
FLOOR PLAN  
LEVEL 1

REVISIONS

1 PMT REV 1 01/07/2022



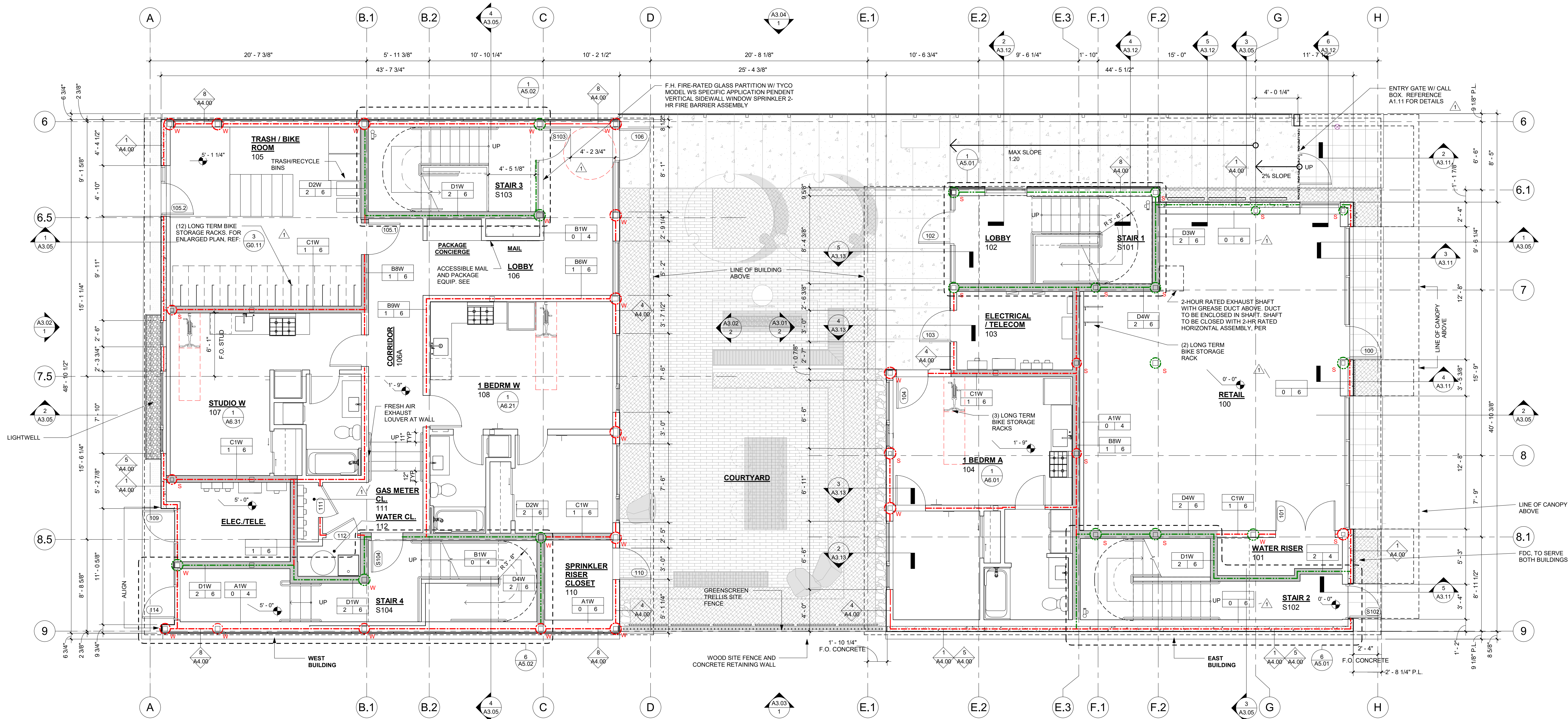
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DATE: JUNE 9, 2021  
JOB NO.: 19.07

DRAWING NO.

A2.01

PERMIT



01 FLOOR PLAN LEVEL 1  
1/4" = 1'-0"

FIRE RESISTANCE RATING LEGEND

- FIRE PARTITION (WHERE RESISTANCE RATING IS INDICATED)
- FIRE BARRIER
- 1-HOUR FIRE RESISTANCE RATING
- 2-HOUR FIRE RESISTANCE RATING
- 1-HOUR FIRE PROTECTED STEEL COLUMN, SEE 1/A8.06
- 1-HOUR FIRE PROTECTED WOOD COLUMN, SEE 3/A8.06
- 2-HOUR FIRE PROTECTED STEEL COLUMN, SEE 2/A8.06
- 2-HOUR FIRE PROTECTED WOOD COLUMN, SEE 2/A8.06
- 1-HOUR INDIVIDUAL ENCASED BEAM ABOVE, SEE 4/A8.06 (STEEL) & 8/A8.06 (WOOD)
- 2-HOUR INDIVIDUAL ENCASED BEAM ABOVE, SEE 4/A8.06
- 2-HOUR HORIZONTAL CEILING ASSEMBLY ABOVE, SEE 8/A8.01

NOTE: WHERE FIRE RESISTANCE RATING IS INDICATED AT EXTERIOR WALLS, WALL IS TO BE CONSTRUCTED PER OSCC 705. SEE CODE PLANS FOR LOCATIONS WHERE RATING IS REQUIRED AT BOTH SIDES OF WALL

NOTE: WHERE INDIVIDUAL ENCASEMENT IS NOT REQUIRED FOR BEAMS AND COLUMNS PER OSCC 704.4.1 & 704.4.2, FIRE RESISTANCE RATING IS TO BE PROVIDED BY THE MEMBRANE RATING OF THE HORIZONTAL ASSEMBLY OR WALL ASSEMBLY, RESPECTIVELY

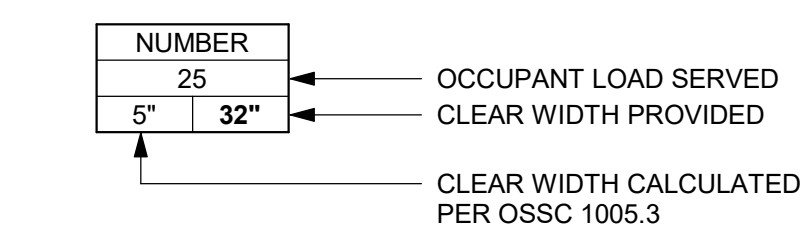
GENERAL NOTES

- THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE: DO NOT SCALE. FOLLOW DIMENSIONS SHOWN ON DRAWINGS AND FIELD VERIFY EXISTING CONDITIONS.
- DIMENSIONS ON PLAN SHEETS ARE TO FINISH FACE UNLESS NOTED OTHERWISE.
- SEE SITE PLAN FOR SITE WALLS, GATES, FENCES AND OTHER EXTERIOR INFORMATION.
- SEE INTERIOR ELEVATIONS FOR DEVICE, FIXTURE, AND EQUIPMENT MOUNTING LOCATIONS AND HEIGHTS WHERE NOT NOTED ON PLANS.
- REFER TO UNIT PLANS FOR UNIT INTERIOR WALL TYPES AND DIMENSIONS.
- ALL GATES AND RAILINGS TO BE DESIGN BUILD. INFORMATION INCLUDED FOR DESIGN INTENT ONLY. ENGINEERING TO BE PROVIDED ON ALL REQUIRED ASSEMBLIES.
- FOR PARTITION TYPES AND TYPICAL DETAILS SEE SHEETS A8.01-A8.02.
- FOR TYPICAL EXTERIOR ASSEMBLY TYPES SEE SHEET A4.00.
- FOR DOOR AND FRAME SCHEDULE SEE SHEET A9.02.
- FOR FINISH SCHEDULE SEE SHEET A9.03.
- REFER TO MECHANICAL PLANS FOR MECHANICAL EQUIPMENT LOCATIONS, WEIGHTS, AND ADDITIONAL INFORMATION.
- FOR ENLARGED STAIR PLANS AND SECTIONS SEE SHEETS A5.01-A5.02.

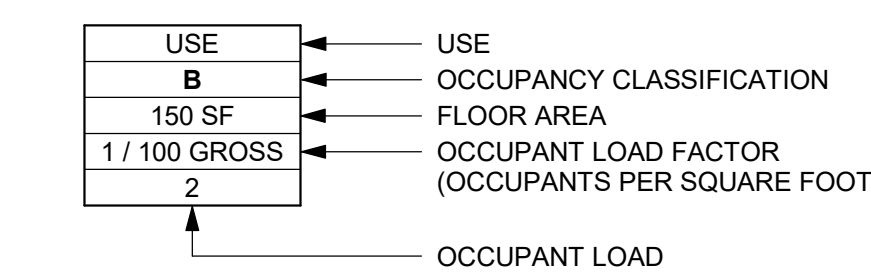


## LIFE SAFETY PLAN LEGEND

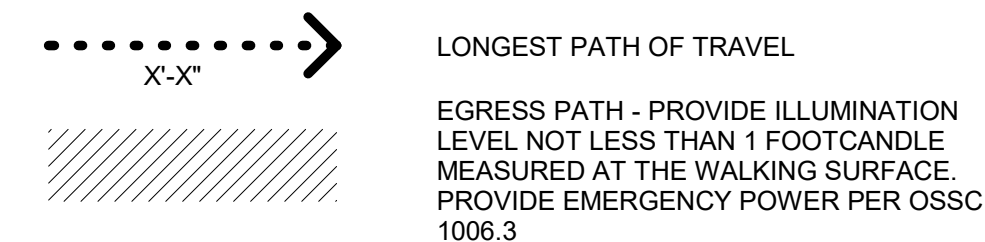
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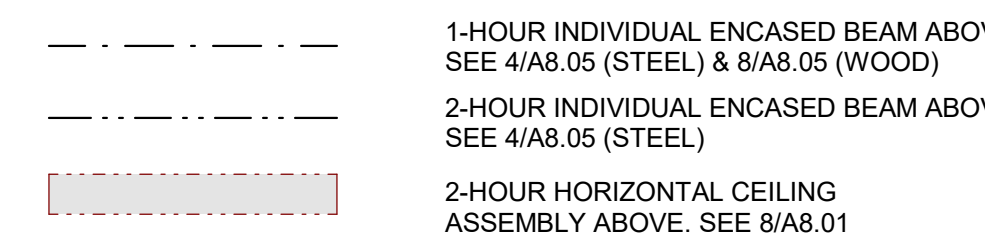
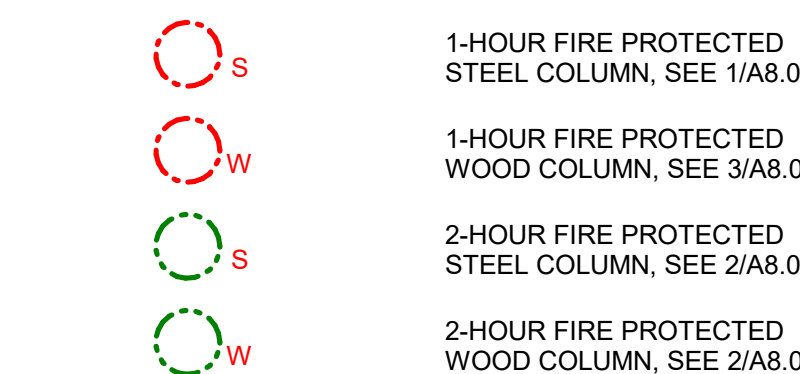
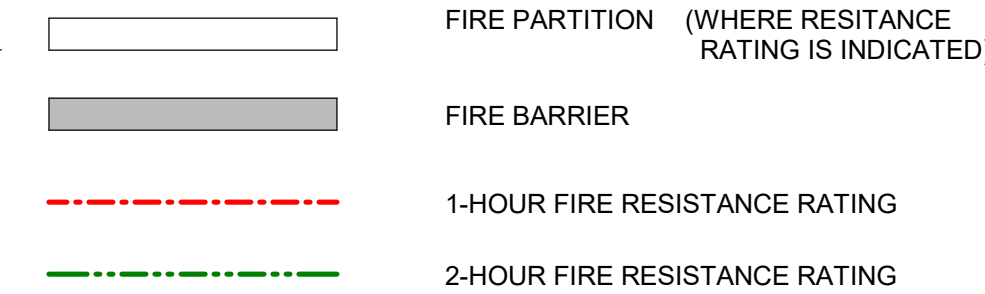
## ROOM / SPACE OCCUPANCY TAG



## EGRESS PATH



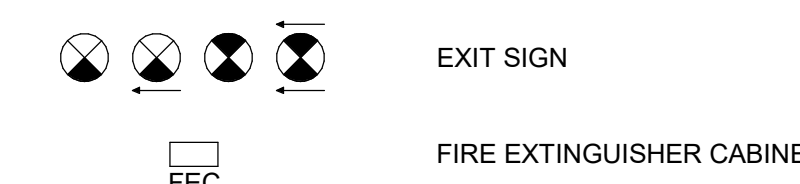
## FIRE-RESISTANCE RATING



NOTE: WHERE FIRE RESISTANCE RATING IS INDICATED AT EXTERIOR WALLS, WALL IS TO BE CONSTRUCTED PER OSSC 705. SEE CODE PLANS FOR LOCATIONS WHERE RATING IS REQUIRED AT BOTH SIDES OF WALL

NOTE: WHERE INDIVIDUAL ENCASEMENT IS NOT REQUIRED FOR BEAMS AND COLUMNS PER OSSC 704.4.1 & 704.4.2, FIRE RESISTANCE RATING IS TO BE PROVIDED BY THE MEMBRANE RATING OF THE HORIZONTAL ASSEMBLY OR WALL ASSEMBLY, RESPECTIVELY

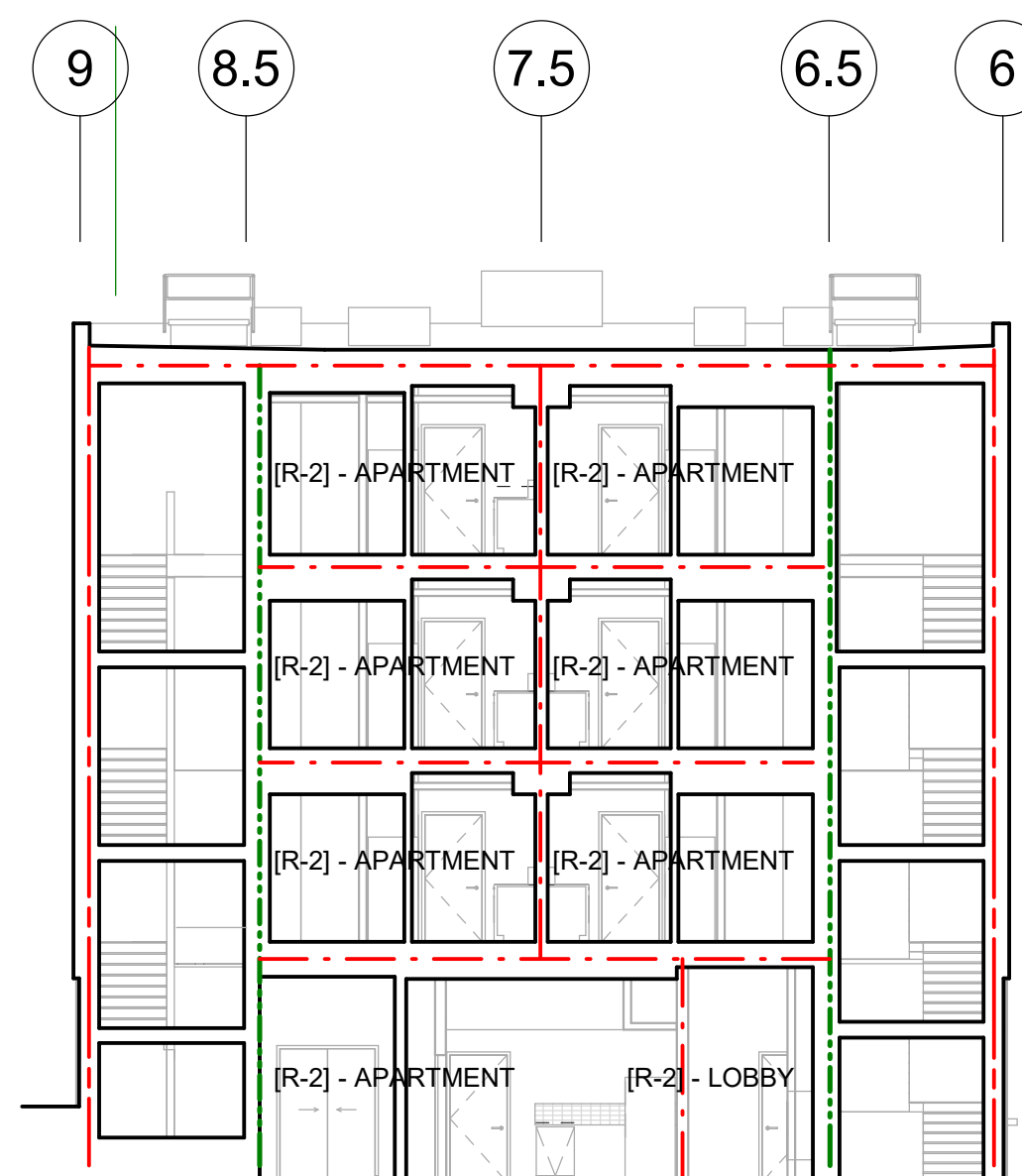
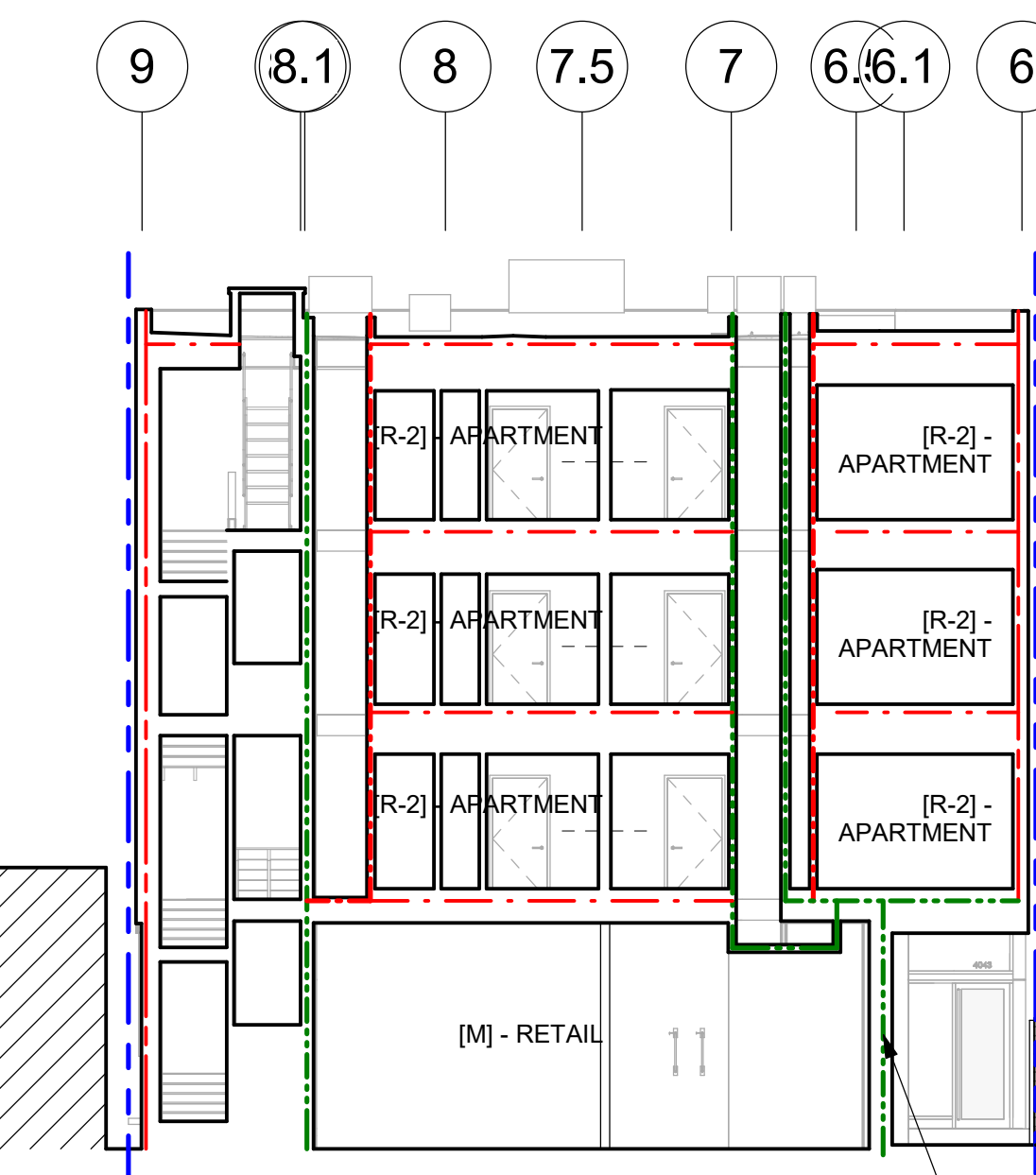
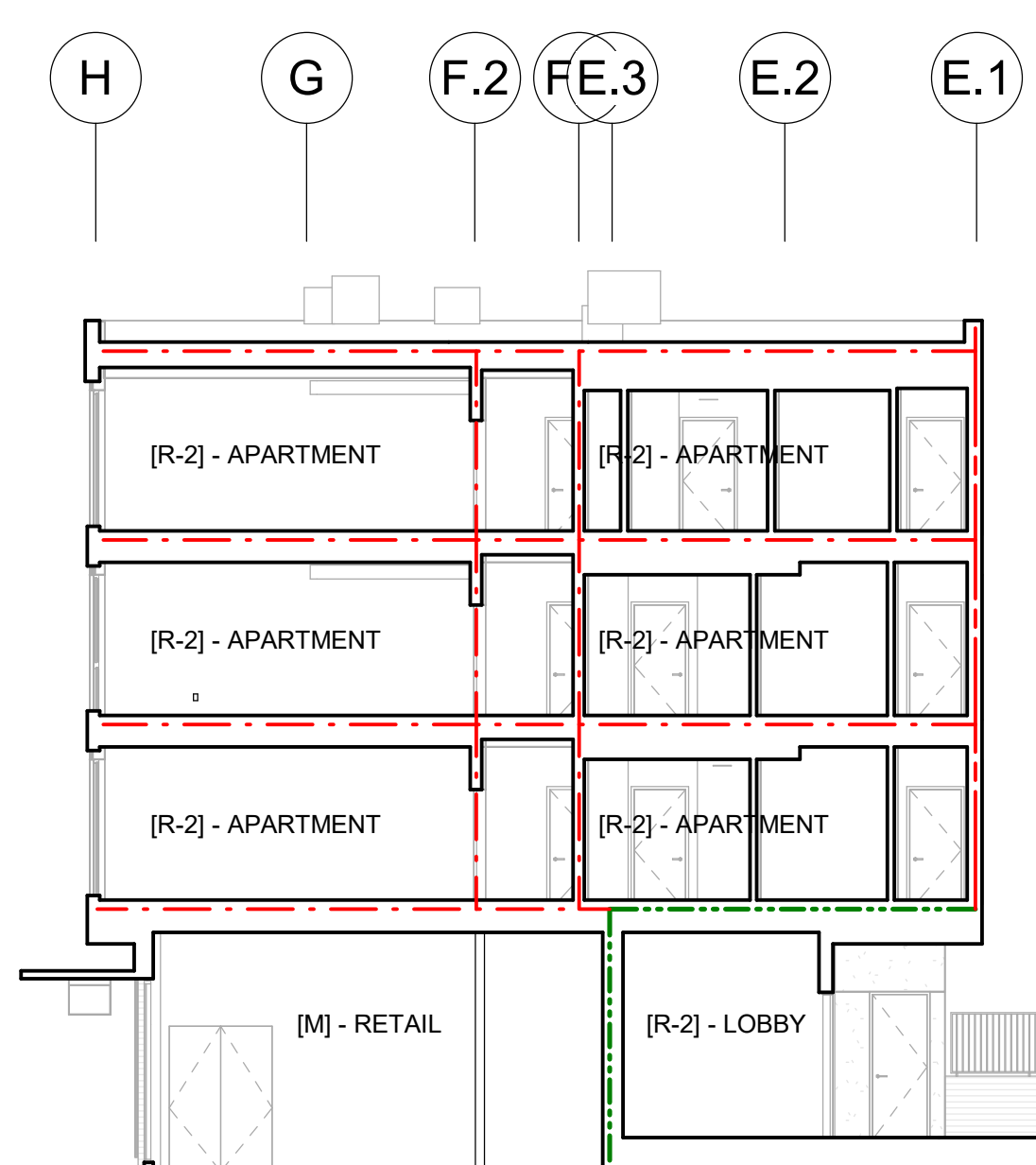
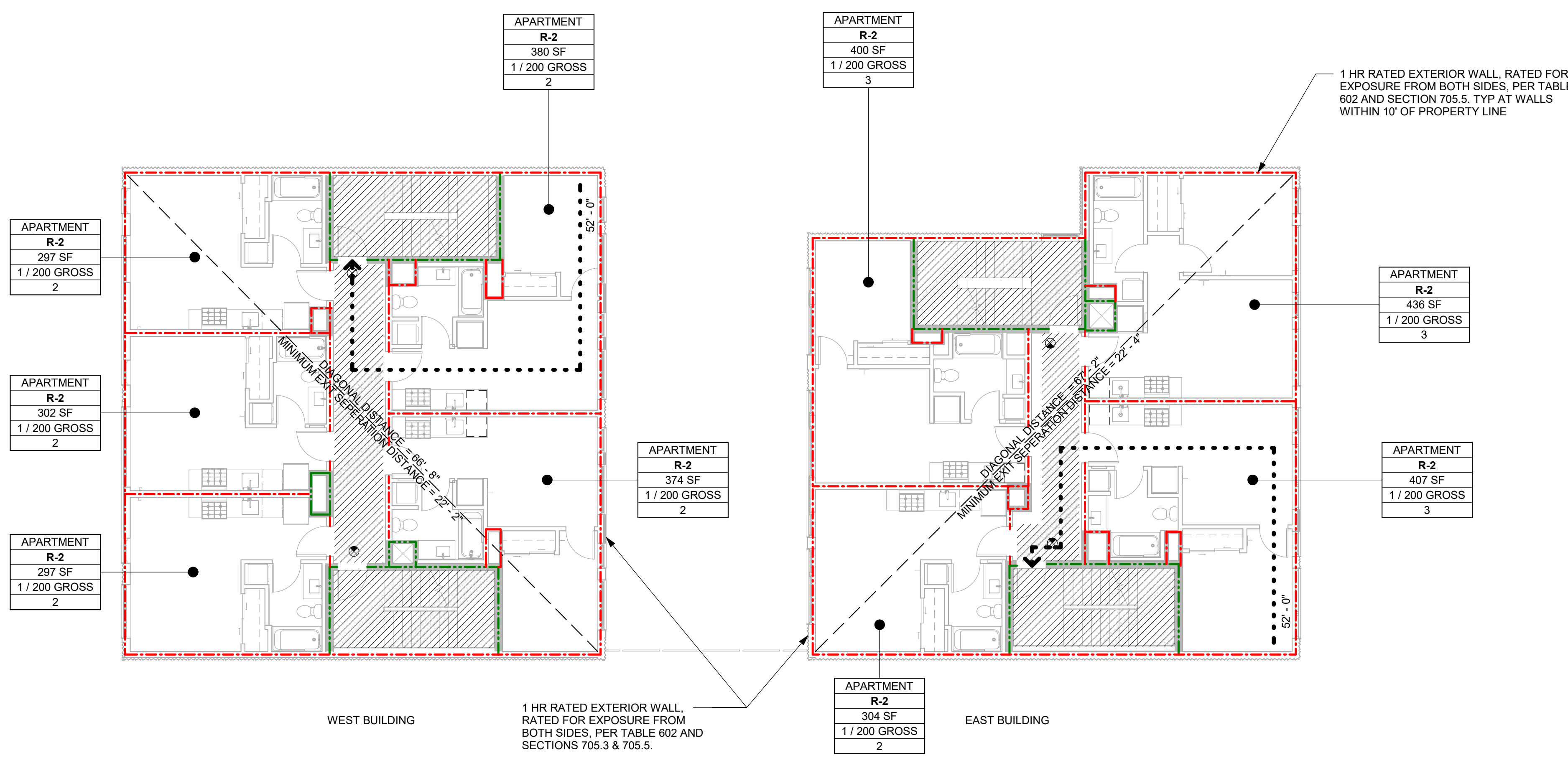
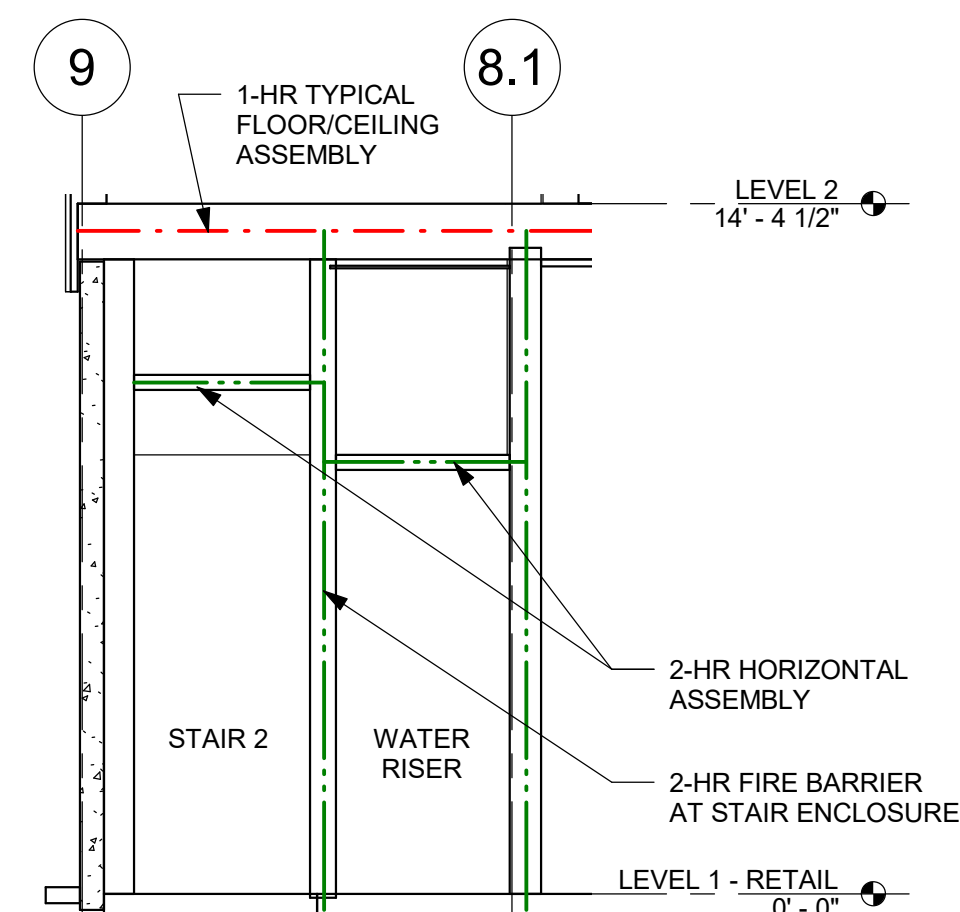
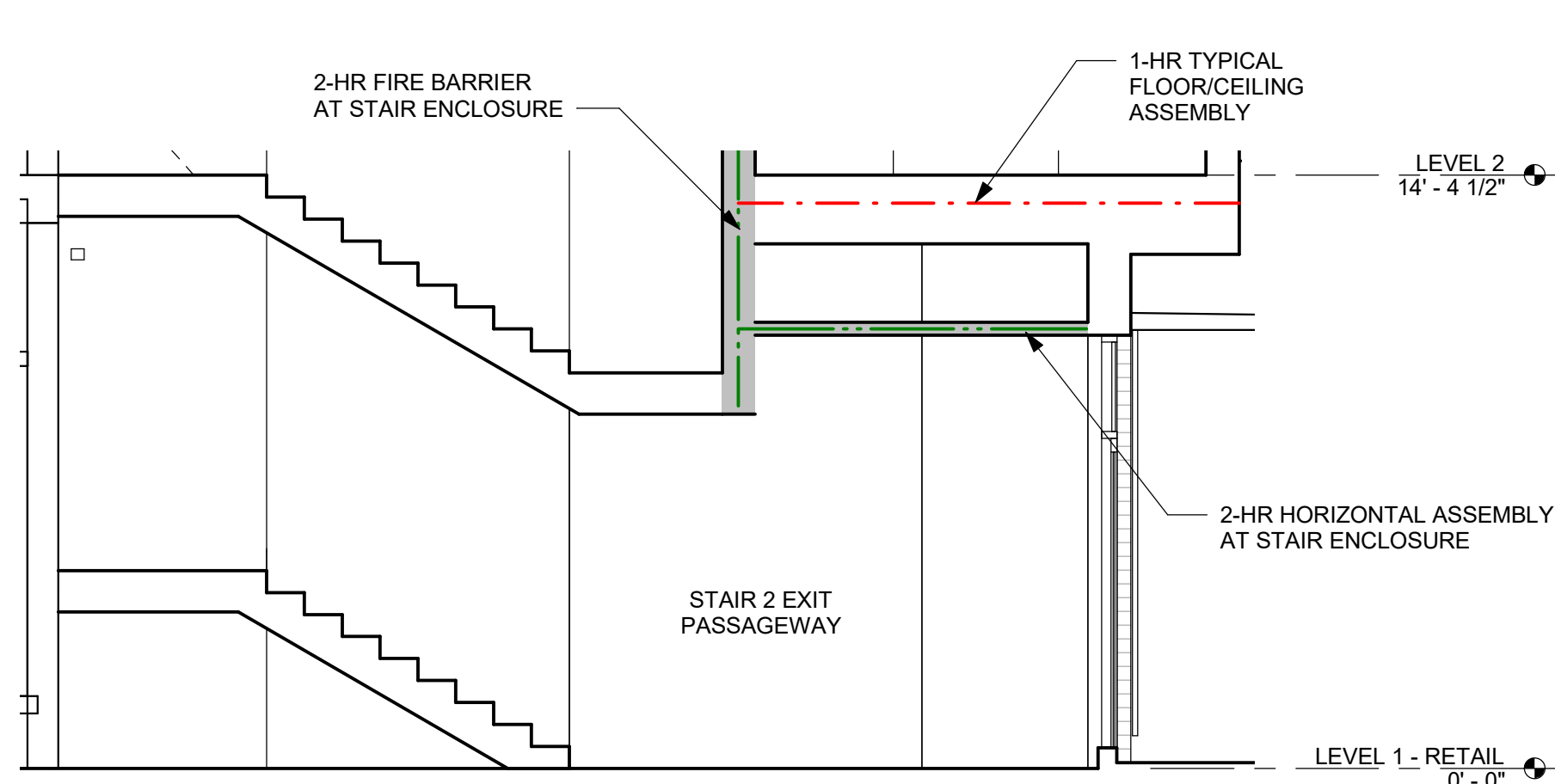
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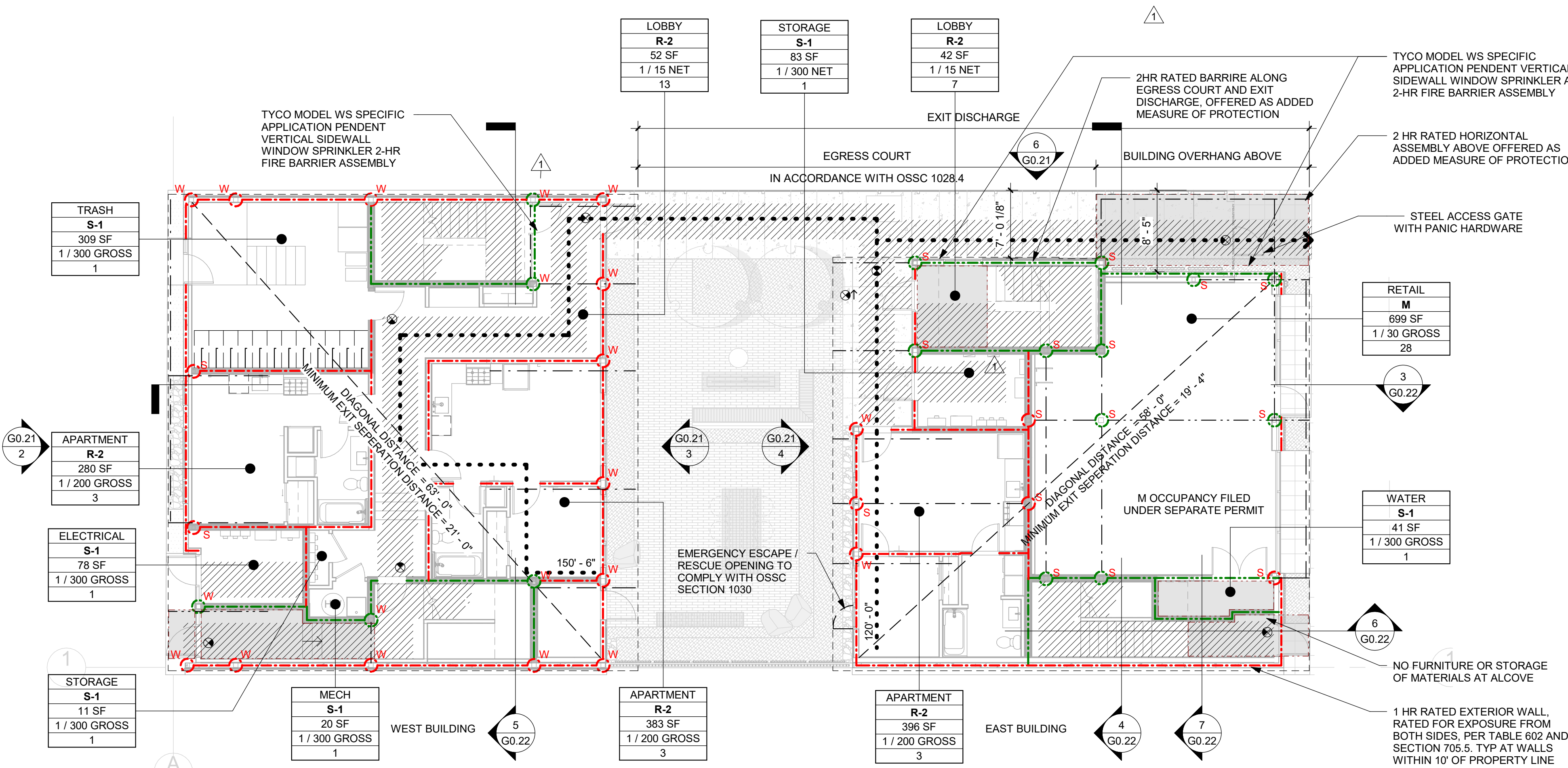
## FIRE RATED PENETRATION GENERAL NOTES

- SEE MECHANICAL AND PLUMBING DRAWINGS FOR LOCATIONS OF PENETRATIONS AT FIRE RATED ASSEMBLIES AND APPLICABLE PROTECTION.
- SEE A/8.02 FOR TYPICAL PENETRATION DETAILS
- ALL BATHROOM FANS TO BE TESTED AND LISTED FOR USE IN FIRE-RESISTANCE RATED CEILINGS AND INSTALLED IN ACCORDANCE WITH THE LISTING INSTRUCTIONS.
- ALL LIGHTING AT FIRE-RESISTANCE RATED CEILINGS TO BE SURFACE MOUNTED.
- ANULAR AREAS OF ALL MEMBRANE PENETRATIONS TO BE 1/8" MAX UNLESS LISTED OTHERWISE

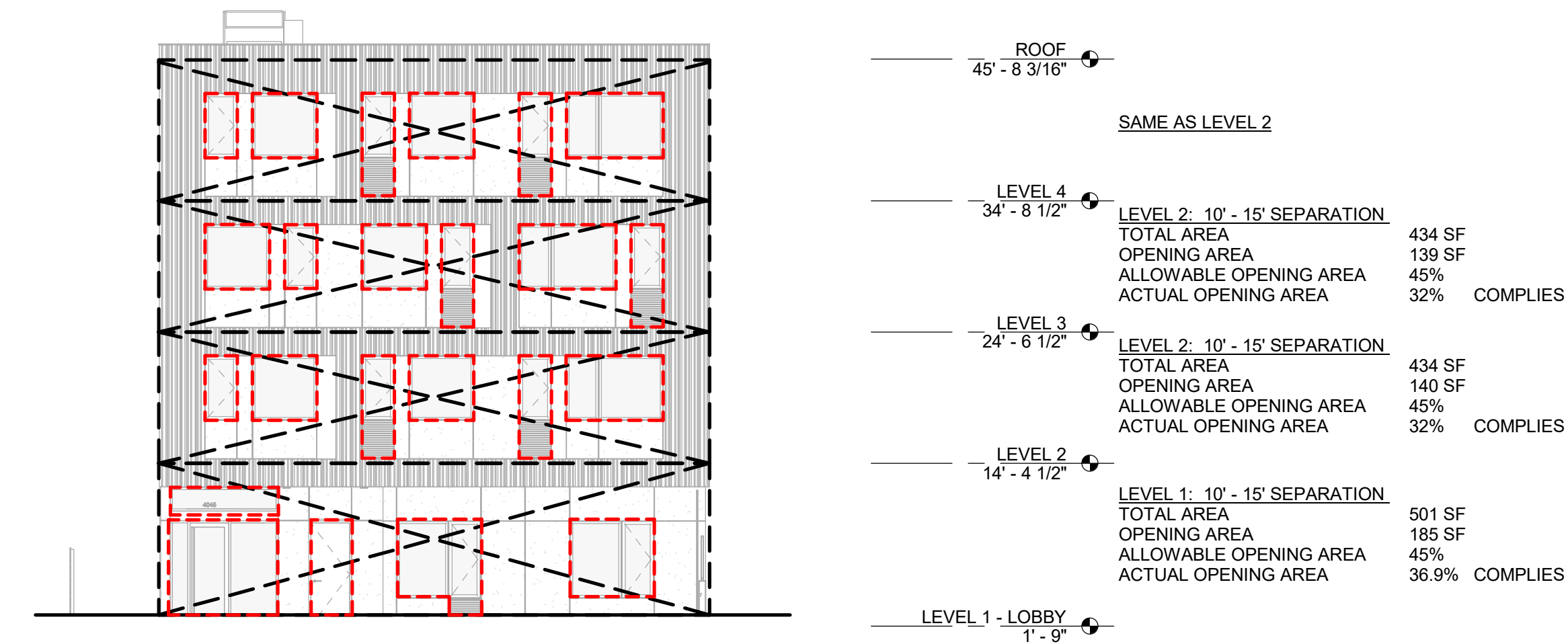
OCCUPANT LOAD - LEVEL 2				
ROOM NAME	OCCUPANCY	AREA	AREA PER OCCUPANT	OCCUPANT LOAD
APARTMENT	R-2	380 SF	200 SF	2
APARTMENT	R-2	374 SF	200 SF	2
APARTMENT	R-2	297 SF	200 SF	2
APARTMENT	R-2	302 SF	200 SF	2
APARTMENT	R-2	297 SF	200 SF	2
APARTMENT	R-2	407 SF	200 SF	3
APARTMENT	R-2	304 SF	200 SF	2
APARTMENT	R-2	400 SF	200 SF	2
APARTMENT	R-2	436 SF	200 SF	3
		3195 SF		20

05 CODE BUILDING SECTION - WEST BUILDING  
1" = 10'-0"04 CODE BUILDING SECTION - EAST BUILDING  
1" = 10'-0"03 CODE BUILDING SECTION  
1" = 10'-0"02 LEVEL 2 LIFE SAFETY PLAN  
1/8" = 1'-0"07 SECTION - 2-HR RATING AT WATER RISER ROOM  
1/4" = 1'-0"06 SECTION - 2-HR RATING AT EXIT PASSAGEWAY  
1/4" = 1'-0"

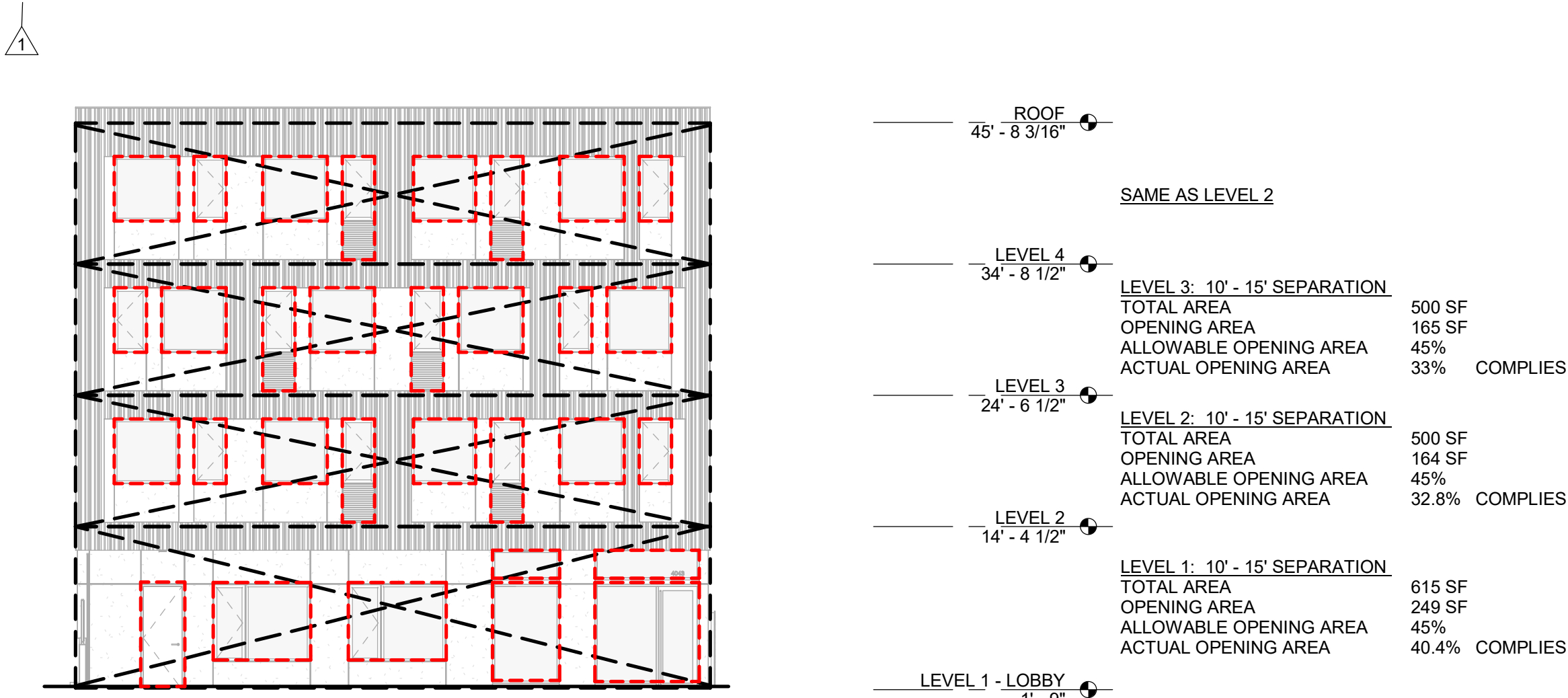
OCCUPANT LOAD - LEVEL 1				
ROOM NAME	OCCUPANCY	AREA	AREA PER OCCUPANT	OCCUPANT LOAD
Area		418 SF		
Area		49 SF		
RETAIL	M	699 SF	30 SF	24
APARTMENT	R-2	280 SF	200 SF	2
APARTMENT	R-2	383 SF	200 SF	2
APARTMENT	R-2	396 SF	200 SF	2
LOBBY	R-2	52 SF	15 SF	4
LOBBY	R-2	42 SF	15 SF	3
ELECTRICAL	S-1	78 SF	300 SF	1
MECH	S-1	20 SF	300 SF	1
STORAGE	S-1	11 SF	300 SF	1
STORAGE	S-1	83 SF	300 SF	1
TRASH	S-1	309 SF	300 SF	2
WATER	S-1	41 SF	300 SF	1
		2861 SF		44

01 LEVEL 1 LIFE SAFETY PLAN  
1/8" = 1'-0"

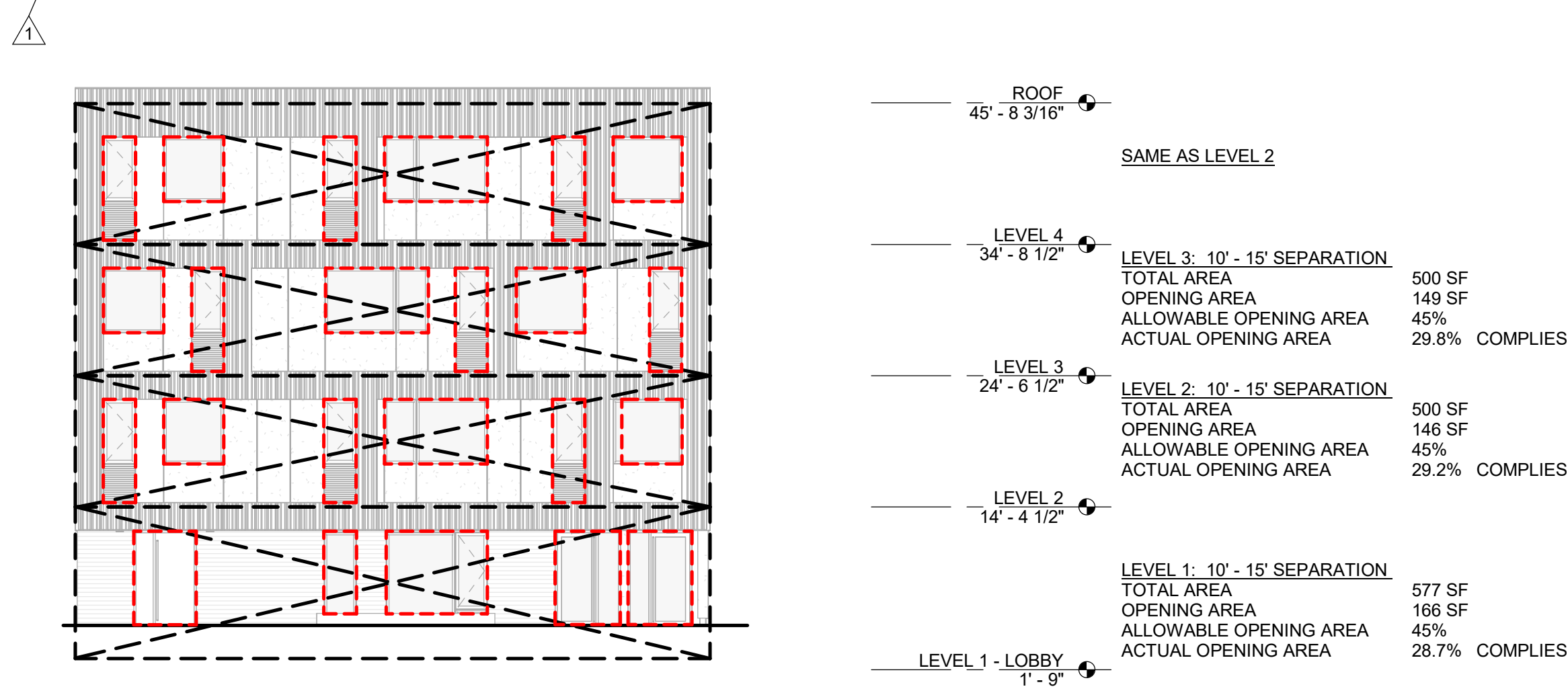




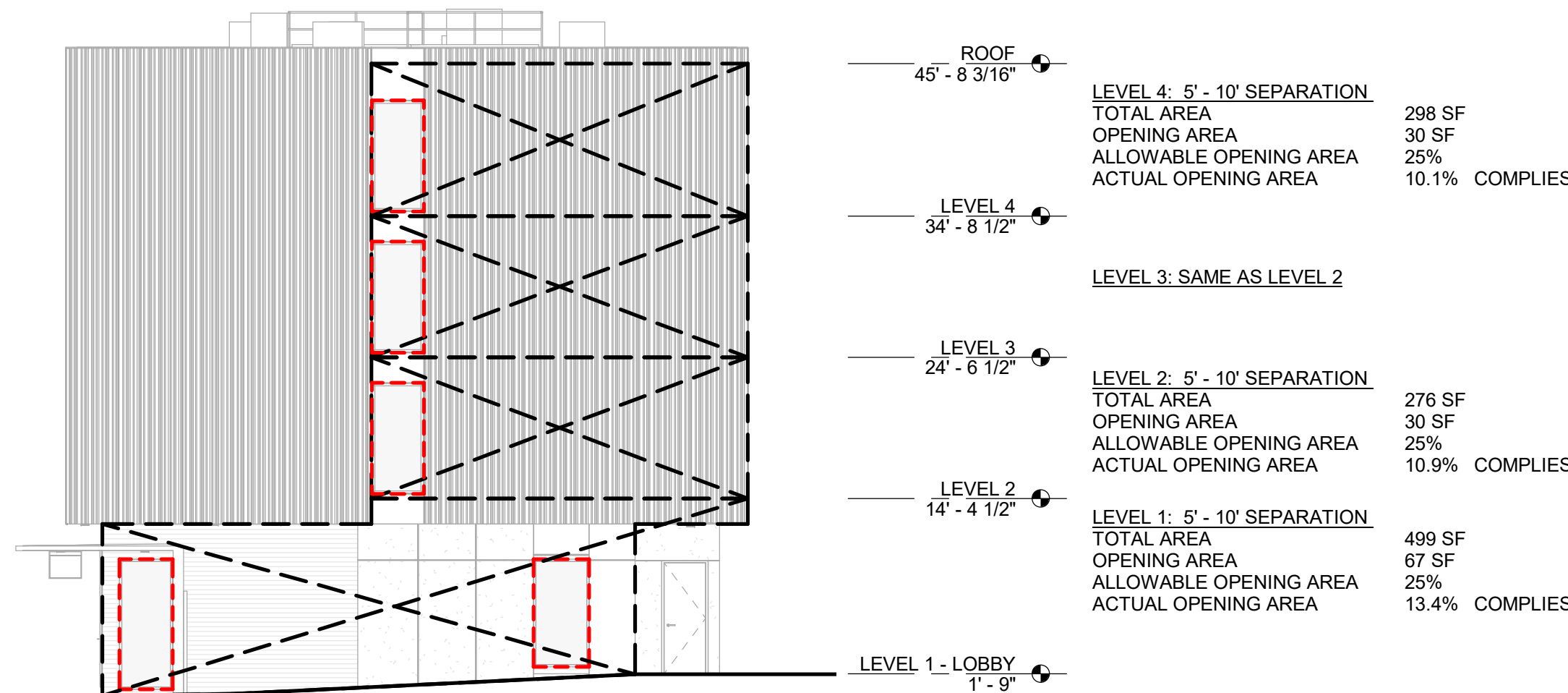
04 UNPROTECTED OPENING DIAGRAM - EAST BUILDING - COURTYARD  
1" = 10'-0"



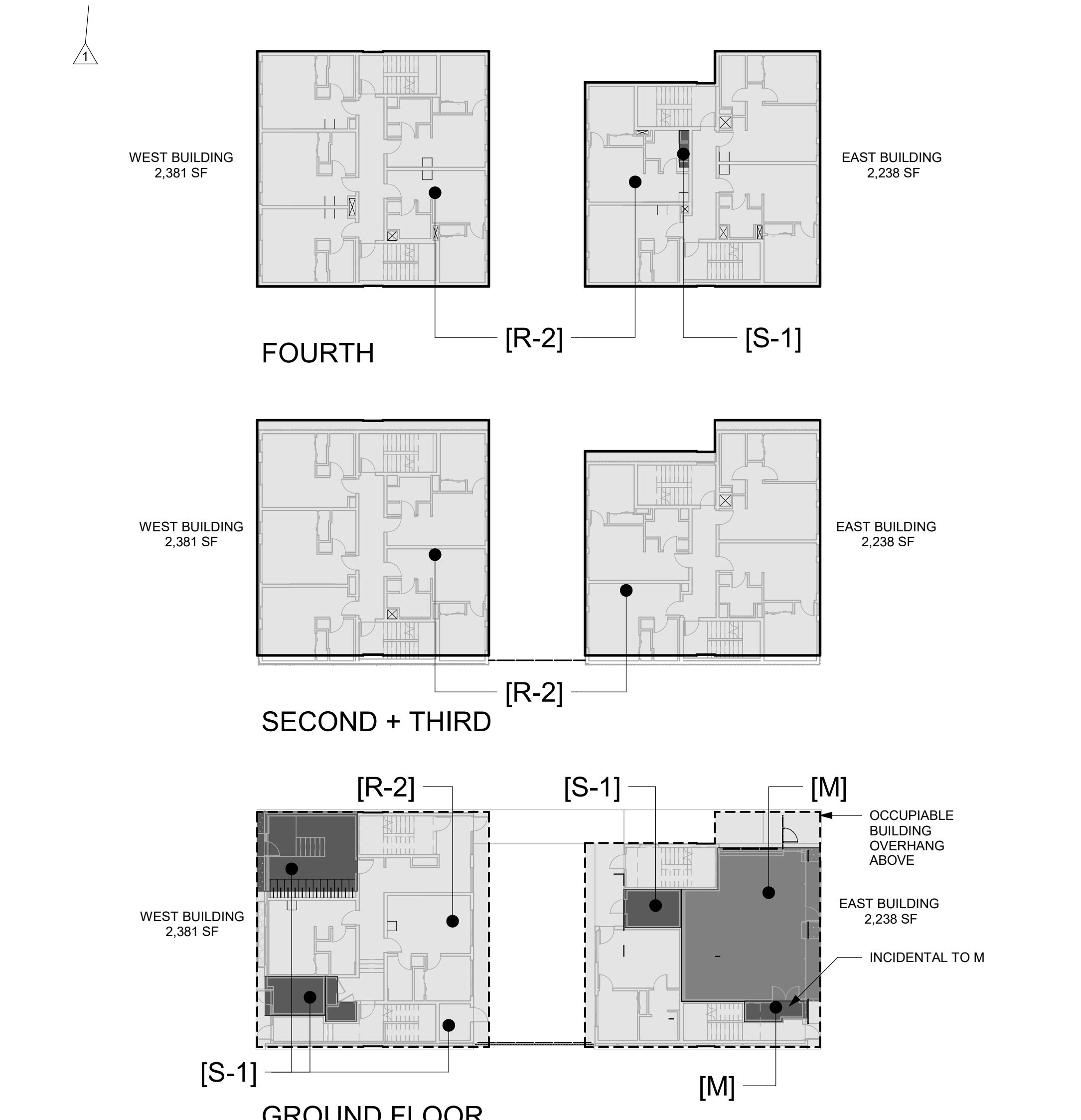
03 UNPROTECTED OPENING DIAGRAM - WEST BUILDING - COURTYARD  
1" = 10'-0"



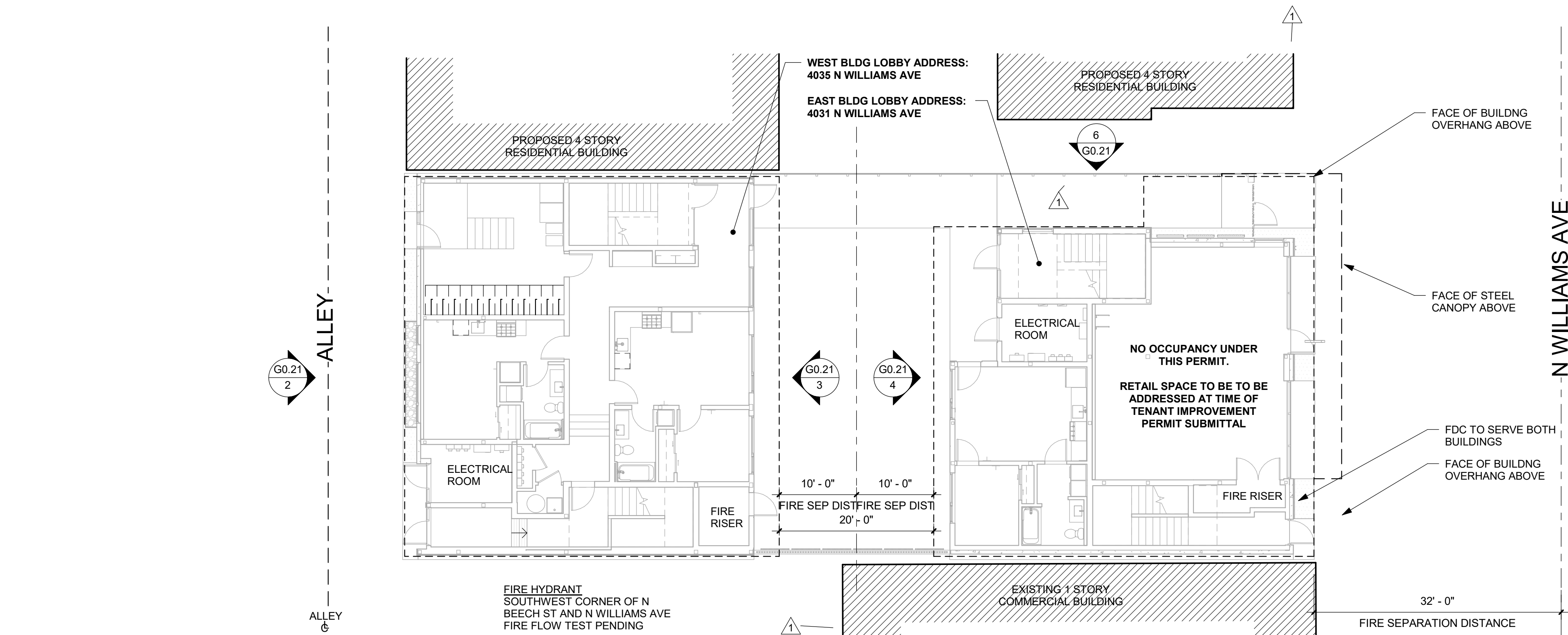
02 UNPROTECTED OPENING DIAGRAM - WEST BUILDING - ALLEY  
1" = 10'-0"



06 UNPROTECTED OPENING DIAGRAM - EAST BUILDING - NORTH  
1" = 10'-0"



05 GROSS AREA & OCCUPANCY DIAGRAMS  
1" = 20'-0"



01 LIFE SAFETY SITE PLAN  
1" = 10'-0"

## SHELL PERMIT SUMMARY

### WORK TO BE PROVIDED UNDER FUTURE TENANT IMPROVEMENT PERMIT

- FIRE BARRIERS (IF REQUIRED TO SEPARATE TENANT SPACES)
- EXITING
- EMERGENCY EGRESS LIGHTING
- EXIT SIGNAGE
- PLUMBING (SEPARATE PERMIT)
- ELECTRICAL / LOW VOLTAGE (SEPARATE PERMIT)
- MECHANICAL (SEPARATE PERMIT)

## ACCESSIBILITY REQUIREMENTS

### ACCESSIBLE PARKING

N/A

### AREA OF REFUGE REQUIREMENTS

NO AREA OF REFUGE PROVIDED, AUTOMATIC SPRINKLERS ARE PROVIDED THROUGHOUT  
ALL DWELLING UNITS COMPLY

### TYPE A DWELLING UNIT (SECTION 1107.6.2.2.1)

CUMULATIVE UNIT COUNT = 30 UNITS

REQUIREMENT: 30 UNITS X .02 = 1 TYPE A UNIT  
PROVIDED: 1 TYPE A UNIT @ UNIT 104

### TYPE B DWELLING UNIT

2 UNITS PROVIDED AT LEVEL 1 (WEST BUILDING)

2 UNITS TOTAL PROVIDED AT LEVEL 1

### ELEVATOR

N/A

## CODE ANALYSIS

### APPLICABLE CODES

2019 OREGON STRUCTURAL SPECIALTY CODE (OSSC)  
2017 OREGON ELECTRICAL SPECIALTY CODE (OESC)  
2019 OREGON MECHANICAL SPECIALTY CODE (OMSC)  
2017 OREGON PLUMBING SPECIALTY CODE (OPSC)  
2019 OREGON FIRE CODE (OFC)  
2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)  
2009 ICC/ANSI A117.1

### BUILDINGS ON THE SAME LOT (SECTION 503.1.2)

THE PROPOSED PROJECT IS TO ANALYZED AS TWO SEPARATE BUILDINGS ON THE SAME LOT.

### ALLOWABLE BUILDING HEIGHTS AND AREAS (TABLE 504.3, 504.4, & 506.2)

WEST BLDG  
TYPE VA - FULLY SPRINKLERED (NFPA 13 SPRINKLER USED FOR INCREASED HEIGHT, STORIES, AND AREAS)

GROUP	HEIGHT	STORIES	AREA
GROUP R-2	70 FT	4 STORIES	36,000 SF
GROUP S-1	70 FT	4 STORIES	42,000 SF

EAST BLDG  
TYPE VA - FULLY SPRINKLERED (NFPA 13 SPRINKLER USED FOR INCREASED HEIGHT, STORIES, AND AREAS)

GROUP	HEIGHT	STORIES	AREA
GROUP M	70 FT	4 STORIES	42,000 SF
GROUP R-2	70 FT	4 STORIES	36,000 SF
GROUP S-1	70 FT	4 STORIES	42,000 SF

### MIXED USE AND OCCUPANCY (SECTION 508)

#### WEST BUILDING

STORY AREAS	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4
GROUP M	0	0	0	0
GROUP R-2	1,945	2,381	2,381	2,381
GROUP S-1	438	0	0	0
LEVEL TOTALS	2,381 SF	2,381 SF	2,381 SF	2,381 SF
BLDG TOTAL	9,524 SF			

WHOLE BUILDING: NON-SEPARATED OCCUPANCY (SECTION 508.3)  
R-2 IS THE LIMITING OCCUPANCY

TYPE VA WITH SPRINKLER	ALLOWABLE	ACTUAL
GROUP R-2	4 STORY 36,000 SF	4 STORY 2,381 SF

#### EAST BUILDING

STORY AREAS	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4
GROUP M	709	0	0	0
GROUP R-2	1,469	2,238	2,238	2,223
GROUP S-1	42	0	0	15
LEVEL TOTALS	2,238 SF	2,238 SF	2,238 SF	2,238 SF
BLDG TOTAL	8,952 SF			

WHOLE BUILDING: NON-SEPARATED OCCUPANCY (SECTION 508.3)  
R-2 IS THE LIMITING OCCUPANCY

TYPE VA WITH SPRINKLER	ALLOWABLE	ACTUAL
GROUP R-2	4 STORY 36,000 SF	4 STORY 2,238 SF

### FIRE RESISTIVE CONSTRUCTION REQUIREMENTS (TABLE 601)

BUILDING ELEMENT	TYPE V-A
PRIMARY STRUCTURAL FRAME	1 HRS
EXTERIOR BEARING WALLS	1 HRS
INTERIOR BEARING WALLS	1 HRS
EXTERIOR NON-BEARING WALLS	TABLE 602 & 704.10
INTERIOR NON-BEARING WALLS	0 HRS
FLOORS AND FLOOR/CEILINGS	1 HRS
ROOFS AND ROOF/CEILINGS	1 HRS

### FIRE RESISTIVE RATING REQUIREMENT OF EXTERIOR WALLS (TABLE 602)

SEPARATION DISTANCE	R-2	M, S-1
X < 5 FT	1 HR	2 HR
5 FT ≤ X < 10 FT	1 HR	1 HR
10 FT ≤ X < 30 FT	1 HR	1 HR
X ≥ 30 FT	0 HR	0 HR

### FIRE RESISTIVE SEPARATIONS

BUILDING ELEMENT	TYPE V-A
CORRIDORS (420.2 & 1020.1)	0.5 HRS
STAIR ENCLOSURES	2 HRS
SHAFTS CONNECTING 3 OR FEWER STORIES	1 HRS
SHAFTS CONNECTING 4 OR MORE STORIES	2 HRS
ELEVATOR LOBBIES	NOT REQUIRED
HORIZONTAL EXITS	1 HRS
UNIT TO UNIT WALLS (420.2, 708.3, & 1020.1)	1 HRS

### MAXIMUM AREA OF WALL OPENINGS (TABLE 705.8)

ELEVATION	DISTANCE	MAX OPENING
NORTH WALL	0 TO < 3 FT	NOT PERMITTED
EAST WALL	30 FT <	NO LIMIT
SOUTH WALL	0 TO < 3 FT	NOT PERMITTED
WEST WALL	10 TO < 15 FT	45%
COURTYARD EAST	10 TO < 15 FT	45%
COURTYARD WEST	10 TO < 15 FT	45%

## LIFE SAFETY ELEVATIONS LEGEND

### EXTERIOR WALL AREAS

TOTAL AREA OF WALL CONSIDERED FOR CALCULATIONS PER FLOOR

EXTENT OF OPENING

### FIRE RESISTANCE RATING LEGEND

FIRE PARTITION (WHERE RESISTANCE RATING IS INDICATED)

FIRE BARRIER

1-HOUR FIRE RESISTANCE RATING

2-HOUR FIRE RESISTANCE RATING

1-HOUR FIRE PROTECTED STEEL COLUMN, SEE 1/A8.06

1-HOUR FIRE PROTECTED WOOD COLUMN, SEE 3/A8.06

2-HOUR FIRE PROTECTED STEEL COLUMN, SEE 2/A8.06

2-HOUR FIRE PROTECTED WOOD COLUMN, SEE 2/A8.06

1-HOUR INDIVIDUAL ENCASED BEAM ABOVE, SEE 4/A8.06 (STEEL) & 8/A8.06 (WOOD)

2-HOUR INDIVIDUAL ENCASED BEAM ABOVE, SEE 4/A8.06

2-HOUR HORIZONTAL CEILING ASSEMBLY ABOVE, SEE 8/A8.01

NOTE: WHERE FIRE RESISTANCE RATING IS INDICATED AT EXTERIOR WALLS, WALL IS TO BE CONSTRUCTED PER OSSC 705. SEE CODE PLANS FOR LOCATIONS WHERE RATING IS REQUIRED AT BOTH SIDES OF WALL

NOTE: WHERE INDIVIDUAL ENCASEMENT IS NOT REQUIRED FOR BEAMS AND COLUMNS PER OSSC 704.1 & 704.2, FIRE RESISTANCE RATING IS TO BE PROVIDED BY THE MEMBRANE RATING OF THE HORIZONTAL ASSEMBLY OR WALL ASSEMBLY, RESPECTIVELY

### EXIT SYSTEMS

#### REQUIRED EXITS (TABLE 1006.2.1)

REQUIREMENT: GROUP M, R-2, S-2  
COMPLIES

#### COMMON PATH OF EGRESS TRAVEL (TABLE 1006.2.1)

REQUIREMENT: GROUP M, R-2, S-2  
COMPLIES

#### EXIT TRAVEL DISTANCE (TABLE 1017.2)

REQUIREMENT: GROUP M, R-2, S-1  
COMPLIES

#### DEAD-END CORRIDOR (SECTION 1020.4, EXCEPTION 2)

REQUIREMENT: GROUP M, R-2, S  
COMPLIES

REQUIREMENT: GROUP M, R-2, S  
COMPLIES

REQUIREMENT: GROUP M, R-2, S  
COMPLIES

REQUIREMENT: GROUP M, R-2, S  
COMPLIES

REQUIREMENT: GROUP M, R-2, S  
COMPLIES

REQUIREMENT: GROUP M, R-2, S  
COMPLIES

REQUIREMENT: GROUP M, R-2, S  
COMPLIES

REQUIREMENT: GROUP M, R-2, S  
COMPLIES

### EMERGENCY POWER AND STANDBY POWER SYSTEMS

BATTERY BACK UP TO BE PROVIDED ON SITE, AT EACH BUILDING, AND SHALL PROVIDE EMERGENCY POWER FOR EGRESS LIGHTING

### FIRE COMMAND CENTER

NOT REQUIRED

### AUTOMATIC SPRINKLER SYSTEM

AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED AT EACH BUILDING, UNDER SEPARATE PERMITS, AND IN ACCORDANCE WITH SECTIONS 903.3.1.1 AND NFPA-13

### SMOKE ALARM SYSTEM

SMOKE ALARMS SHALL BE PROVIDED AT EACH BUILDING AND IN UNITS IN ACCORDANCE WITH PFC 907.2.11. ALARMS SHALL BE INTERCONNECTED IN ACCORDANCE WITH PFC 907.2.11.3, AND THEIR POWER SOURCE SHALL COMPLY WITH PFC 907.2.11.4

### CARBON MONOXIDE ALARM SYSTEM

CARBON MONOXIDE ALARMS SHALL BE PROVIDED AT EACH BUILDING AND IN UNITS, IN ACCORDANCE WITH PFC 908.7. ALARMS SHALL BE ENERGIZED IN ACCORDANCE WITH PFC 908.7.2.3

### FIRE ALARM SYSTEM

NFPA 13 SYSTEM AT EACH BUILDING (UNDER SEPARATE PERMIT)

### FIRE FLOW REQUIREMENTS

FLOW MAY BE REDUCED UP TO 75% PER B105.3.1.1

TYPE X (XX,XXX-XX,XXXQFT): X,XXX GPM (X,XXX GPM PER 105.3.1)  
ACTUAL: X,XXX GPM AT XX PSI

### RADON CONTROL

BUILDING TO COMPLY WITH RADON CONTROL METHODS PER SECTION 1812. REFER TO PLUMBING DRAWINGS.

### PLUMBING FIXTURES COUNT

LEVEL FIXTURE NUMBER REQ'D NUMBER PROVIDED

WEST BUILDING FIXTURE REQUIRED PROVIDED

LEVEL 1 FIXTURE WATER CLOSETS LAVATORIES

LEVEL 2 WATER CLOSETS LAVATORIES

LEVEL 3 WATER CLOSETS LAVATORIES

LEVEL 4 WATER CLOSETS LAVATORIES

EAST BUILDING FIXTURE REQUIRED PROVIDED

LEVEL 1 FIXTURE WATER CLOSETS LAVATORIES

LEVEL 2 WATER CLOSETS LAVATORIES

LEVEL 3 WATER CLOSETS LAVATORIES

LEVEL 4 WATER CLOSETS LAVATORIES

LEVEL 4 WATER CLOSETS LAVATORIES

LEVEL 4 WATER CLOSETS LAVATORIES

\*\*\* ADDITIONAL FIXTURES REQUIRED BY M OCCUPANCY WILL BE PROVIDED UNDER SEPARATE PERMIT

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## DRAWING TITLE

## LIFE SAFETY SITE PLAN & CODE SUMMARY

## REVISIONS

1 PMT REV 1 01/07/2022

REGISTERED ARCHITECT  
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TREVOR W. LEWIS  
PORTLAND, OREGON  
STATE OF OREGON

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