

Development Services

From Concept to Construction

Phone: 503-823-7300 Email: bds@portlandoregon.gov 1900 SW 4th Ave, Portland, OR 97201

More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 27623	Project Address: 4047 N Williams Ave
Hearing Date: 3/30/22	Appellant Name: Mike Perso
Case No.: B-010	Appellant Phone: 503-841-5239
Appeal Type: Building	Plans Examiner/Inspector: David Bartley
Project Type: commercial	Stories: 4 Occupancy: R-2, S-1, M Construction Type: V-A
Building/Business Name:	Fire Sprinklers: Yes - throughout
Appeal Involves: Erection of a new structure	LUR or Permit Application No.: 21-060947-CO
Plan Submitted Option: pdf [File 1] [File 2] [File 3]	Proposed use: multifamily residential, retail

APPEAL INFORMATION SHEET

Appeal item 1

Code Section	1028.1
Requires	Exits shall discharge directly to the exterior of the building. The exit discharge shall be at grade or shall provide a direct path of egress travel to grade. The exit discharge shall not reenter a building.
Code Modification or Alternate Requested	This appeal requests that the path of egress travel be permitted to pass underneath the cantilevered building overhang after initially exiting the building and before discharging to a public way.
Proposed Design	<p>The proposed project consists of two, four story mixed-use buildings located on a site along N Williams Avenue. The two structures are separated by an internal courtyard and each building consists of three stories of residential apartments over ground floor lobby and residential units. Ground floor retail is located along the Williams Ave facade.</p> <p>Each building has two internal exit stairs, one that discharges directly to the building exterior at a public way (Stair 2 and Stair 4), and another that exits through the shared courtyard (Stair 1 and Stair 3). An egress court along the south lot line serves as the exit discharge component of the means of egress for both Stair 1 & Stair 3. It extends between the courtyard and the termination of the exit at the public way.</p> <p>The egress court is open to the sky with the exception of a portion adjacent to ground floor retail where the exit discharge passes under building overhang and, while enclosed by building on only two sides, is considered to be reentering the building. The egress path continues under building overhang for 22 feet until it terminates at the sidewalk on N Williams Ave. The area under the overhang is proposed to be a paved walkway with a small planting strip. The bottom of the soffit at the overhang is approximately 11'-10" above the walking surface.</p>

The fire resistance rated construction of the exterior wall along the egress court, including the portion of wall supporting the projection above is proposed to be increased to a 2-hour rating. Similarly a 2-hour rated horizontal assembly is proposed at the floor that overhangs the egress path. The entire building, including the path of exit discharge beneath building overhang in the courtyard, is fully sprinklered per NFPA 13. As an additional measure of protection, a moderate fire sprinkler hazard classification is proposed throughout the entire ground floor level and overhang. Openings at the Stair 1 landing and Retail space will be 45-minute rated openings.

The exit access and discharge to the right-of-way is readily visible and clearly identifiable from the lobby at both Stair 1 and Stair 3. Design elements such as glazing and paving, combined with the use of signage and lighting create a direct, clear, and unobstructed path from the termination of each exit stair to the discharge at the public way.

Reason for alternative The design provides equivalent protection in the following ways:

Provides an enhanced level of protection via 2-hour resistance rated fire barriers and horizontal assemblies separating the egress path from areas adjacent and above.

Provides an enhanced level of protection by providing moderate fire sprinkler hazard classification at the entire ground floor level and overhang.

Establishes a clear exiting sequence by providing a readily visible and identifiable view from the point of termination of the stair enclosure to the lobby exit and courtyard beyond. And then providing a readily visible and identifiable view of the exit to the public way from the lobby exit

The courtyard adjacent to the discharge access is open to the sky, which will help dissipate smoke in the event of fire.

Additional considerations:

Per table 506.2 the total allowable building area for each building, given type, group, and sprinkler bonus, is 108,000 SF. The proposed actual building areas for the East and West buildings are 8,952 SF and 9,524 SF respectively, resulting in buildings that are approximately 8% of their allowable size. Consequently the occupancy load of the proposed design is significantly less than what is allowed per code and the risk associated with exiting a large volume of occupants is significantly reduced.

Per table 1004.5 the total R-2 occupant load, based on allowable area for floors 2-4 is 540 occupants, or 270 per stair enclosure. The actual proposed total occupant load for floors 2-4 is 40 occupants per building, or 20 per stair. In the event that Stair 1 and Stair 3 were required to accommodate the total occupant loads of floors 2-4 for both buildings it would only account for 14.8% of the allowable load. More importantly, when considering the combined occupant load of Levels 1 and 2 for both buildings, as well as the courtyard occupancy, the cumulative occupant load at the exit discharge shared by stairs 1 and 3 is less than 50 occupants.

The buildings will be used primarily by residents. The residents will be familiar with the spaces and will know where the exits are and how to get to them. The path to the exit from the stair enclosure, through lobby and egress court will be illuminated by a minimum of 1 foot-candle at the floor and lit exit signs will direct occupants, creating a discernible exit path.

This appeal is identical to the condition that was approved in appeal #24963 for permit 21-007867-CO. We respectfully request the approval of this proposed design.

APPEAL DECISION

Exit discharge beneath building overhang: Granted provided Tyco sprinklers are installed in accordance with the manufacturer's specifications.

Appellant may contact John Butler (503 865-6427) or e-mail at John.Butler@portlandoregon.gov with questions.

The Administrative Appeal Board finds with the conditions noted, that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.

CITY STAMP

PROJECT

WILLIAMS 41

4047 N WILLIAMS AVE
PORTLAND, OR 97227

DRAWING TITLE
FLOOR PLAN
LEVEL 1

REVISIONS

1 PERMIT REV 1 12/23/21



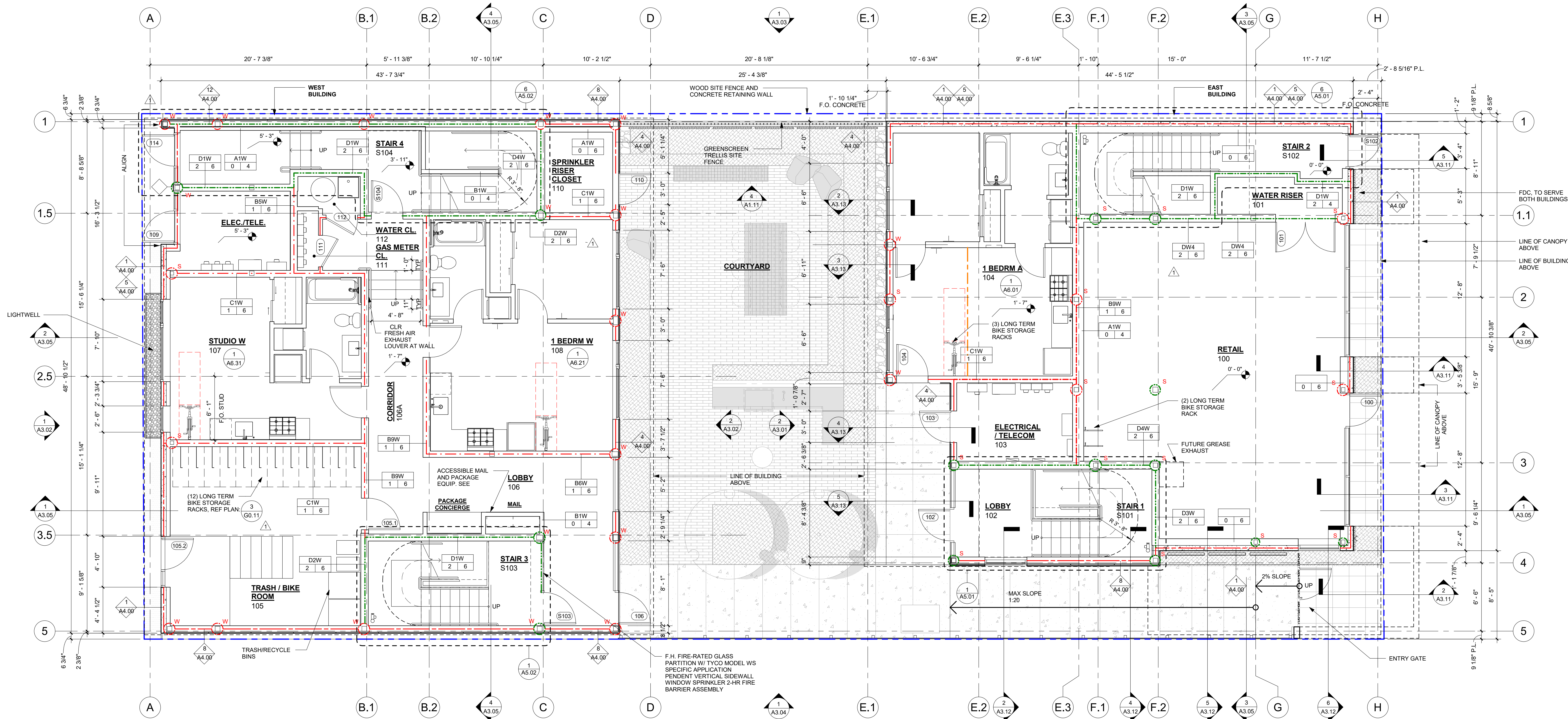
© MAXX WILLIAM KAVEN ARCHITECTURE
This document is an instrument of service prepared by
William Kaven Architecture, which owns all common
law, statutory and other rights with regard to it,
including copyright. This document may be used only
for the purpose for which it was prepared and for no
other purpose without the express
written consent of William Kaven Architecture.

DATE MAY 28, 2021
JOB NO. 19.07

DRAWING NO.

A2.01

PERMIT



01 FLOOR PLAN LEVEL 1
1/4" = 1'-0"

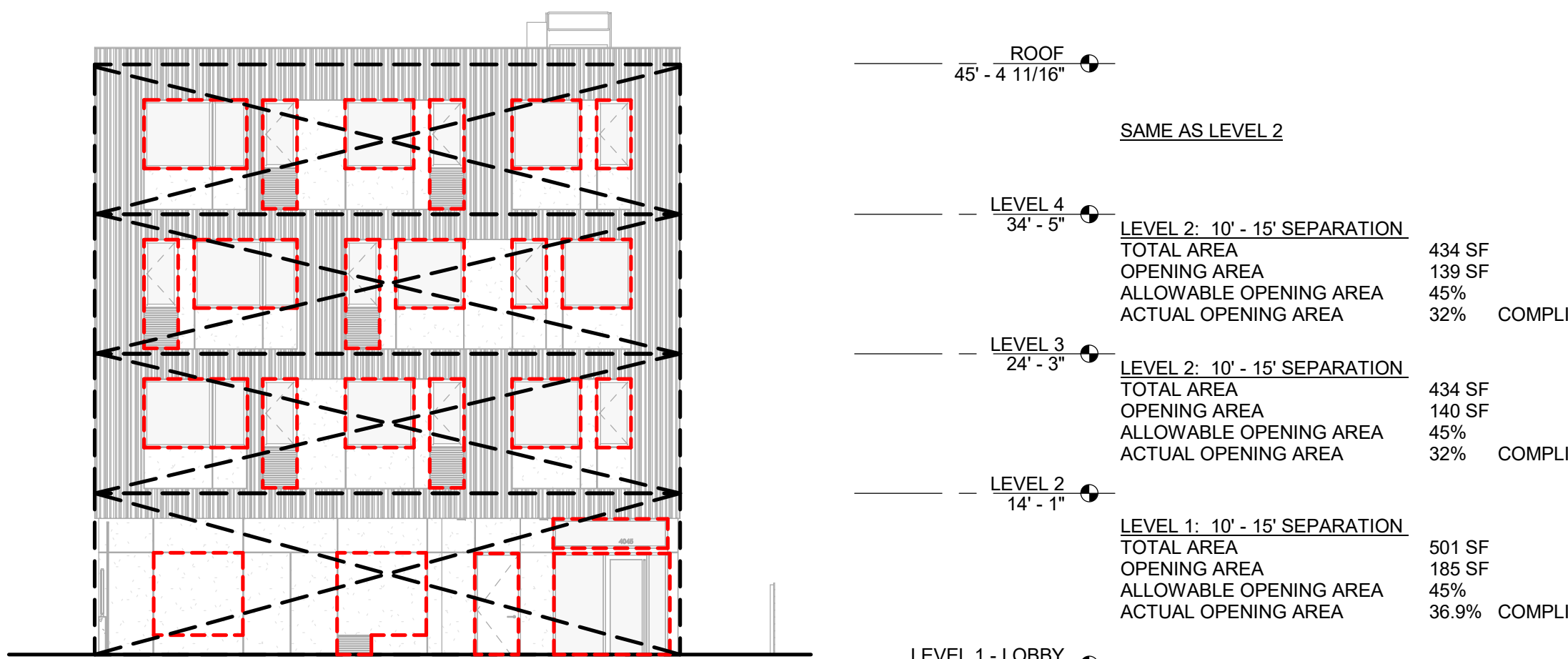
FIRE RESISTANCE RATING LEGEND

- 1 HOUR EXTERIOR WALL
(SEE CODE PLANS FOR LOCATIONS WHERE
RATING REQUIRED AT BOTH SIDES OF WALL)
- 1 HOUR FIRE BARRIER
- 2 HOUR FIRE BARRIER
- 1 HOUR FIRE PARTITION
- 1-HOUR FIRE PROTECTED
STEEL COLUMN, SEE 1/A8.06
- 1-HOUR FIRE PROTECTED
WOOD COLUMN, SEE 3/A8.06
- 2-HOUR FIRE PROTECTED
STEEL COLUMN, SEE 2/A8.06
- 1-HOUR INDIVIDUAL ENCASED
BEAM ABOVE, SEE 4/A8.06
- 2-HOUR INDIVIDUAL ENCASED
BEAM ABOVE, SEE 4/A8.06
- 2-HOUR HORIZONTAL CEILING
ASSEMBLY ABOVE, SEE 8/A8.01

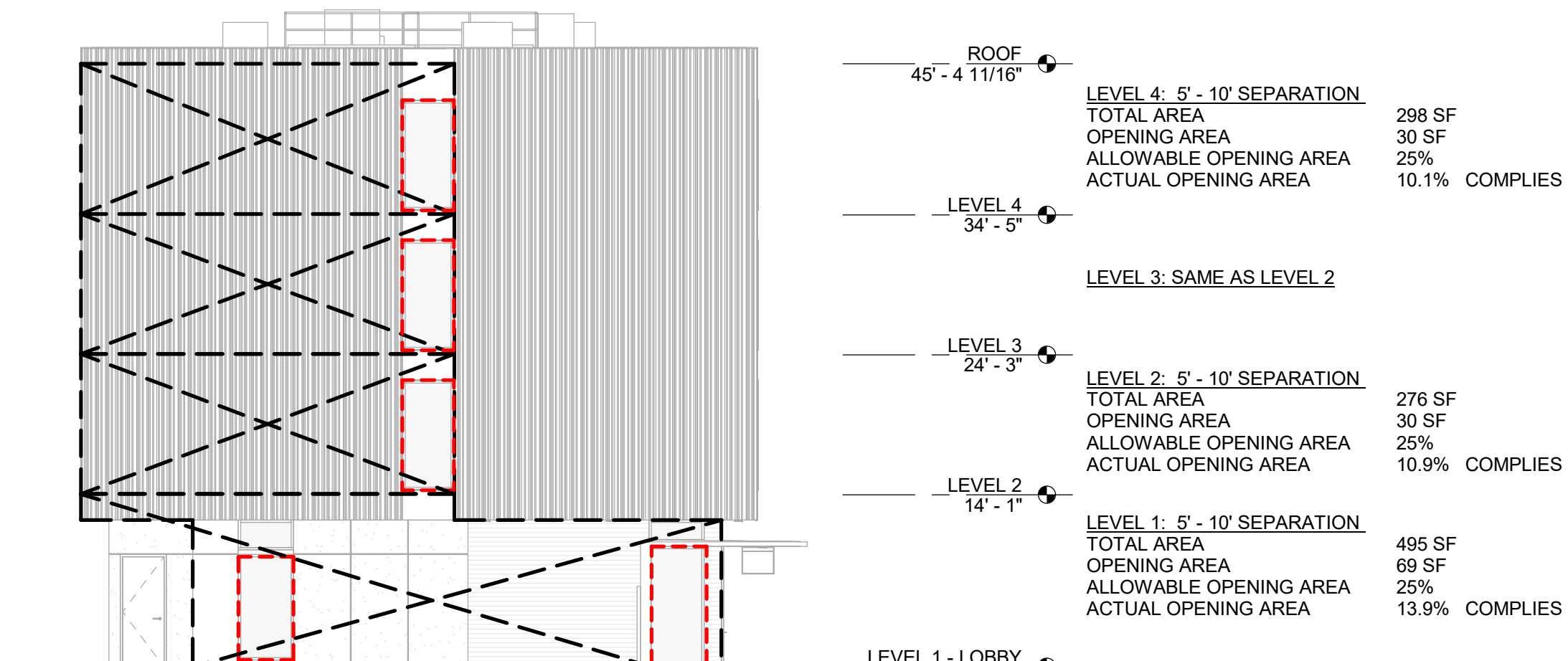
NOTE: WHERE INDIVIDUAL ENCASEMENT IS NOT REQUIRED FOR
BEAMS AND COLUMNS PER OSCC 704.4.1 & 704.4.2, FIRE RESISTANCE
RATING IS TO BE PROVIDED BY THE MEMBRANE RATING OF THE
HORIZONTAL ASSEMBLY OR WALL ASSEMBLY, RESPECTIVELY

GENERAL NOTES

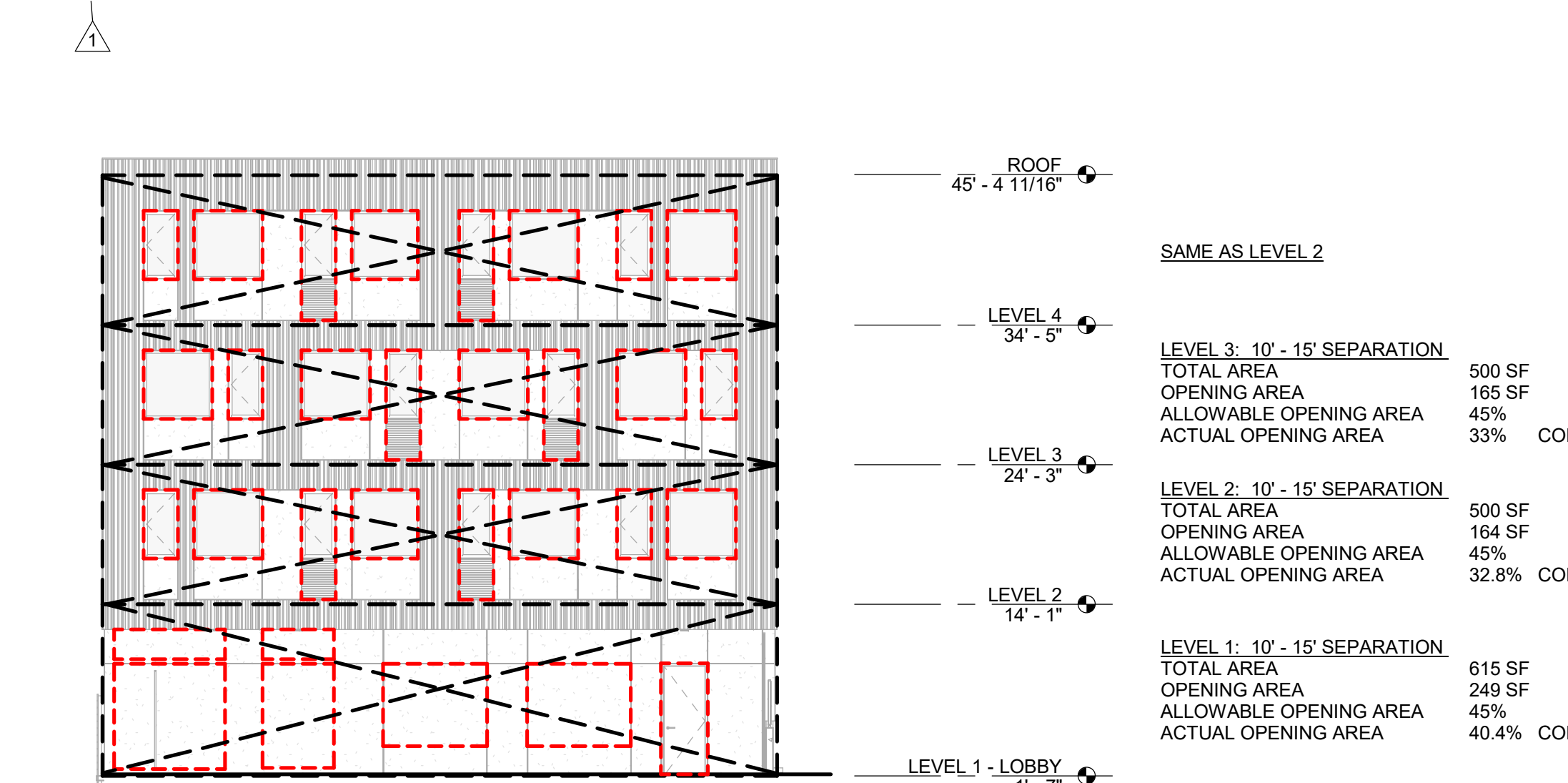
- THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE;
DO NOT SCALE. FOLLOW DIMENSIONS SHOWN ON
DRAWINGS AND FIELD VERIFY EXISTING
CONDITIONS.
- DIMENSIONS ON PLAN SHEETS ARE TO FINISH FACE
UNLESS NOTED OTHERWISE.
- SEE SITE PLAN FOR SITE WALLS, GATES, FENCES
AND OTHER EXTERIOR INFORMATION.
- SEE INTERIOR ELEVATIONS FOR DEVICE, FIXTURE,
AND EQUIPMENT MOUNTING LOCATIONS AND
HEIGHTS WHERE NOT NOTED ON PLANS.
- REFER TO UNIT PLANS FOR UNIT INTERIOR WALL
TYPES AND DIMENSIONS.
- ALL GATES AND RAILINGS TO BE DESIGN BUILD.
INFORMATION INCLUDED FOR DESIGN INTENT ONLY.
ENGINEERING TO BE PROVIDED ON ALL REQUIRED
ASSEMBLIES.
- FOR PARTITION TYPES AND TYPICAL DETAILS SEE
SHEETS A8.01-A8.02.
- FOR TYPICAL EXTERIOR ASSEMBLY TYPES SEE
SHEET A4.00.
- FOR DOOR AND FRAME SCHEDULE SEE SHEET A9.02.
- FOR FINISH SCHEDULE SEE SHEET A9.03.
- REFER TO MECHANICAL PLANS FOR MECHANICAL
EQUIPMENT LOCATIONS, WEIGHTS, AND ADDITIONAL
INFORMATION.
- FOR ENLARGED STAIR PLANS AND SECTIONS SEE
SHEETS A5.01-A5.02.



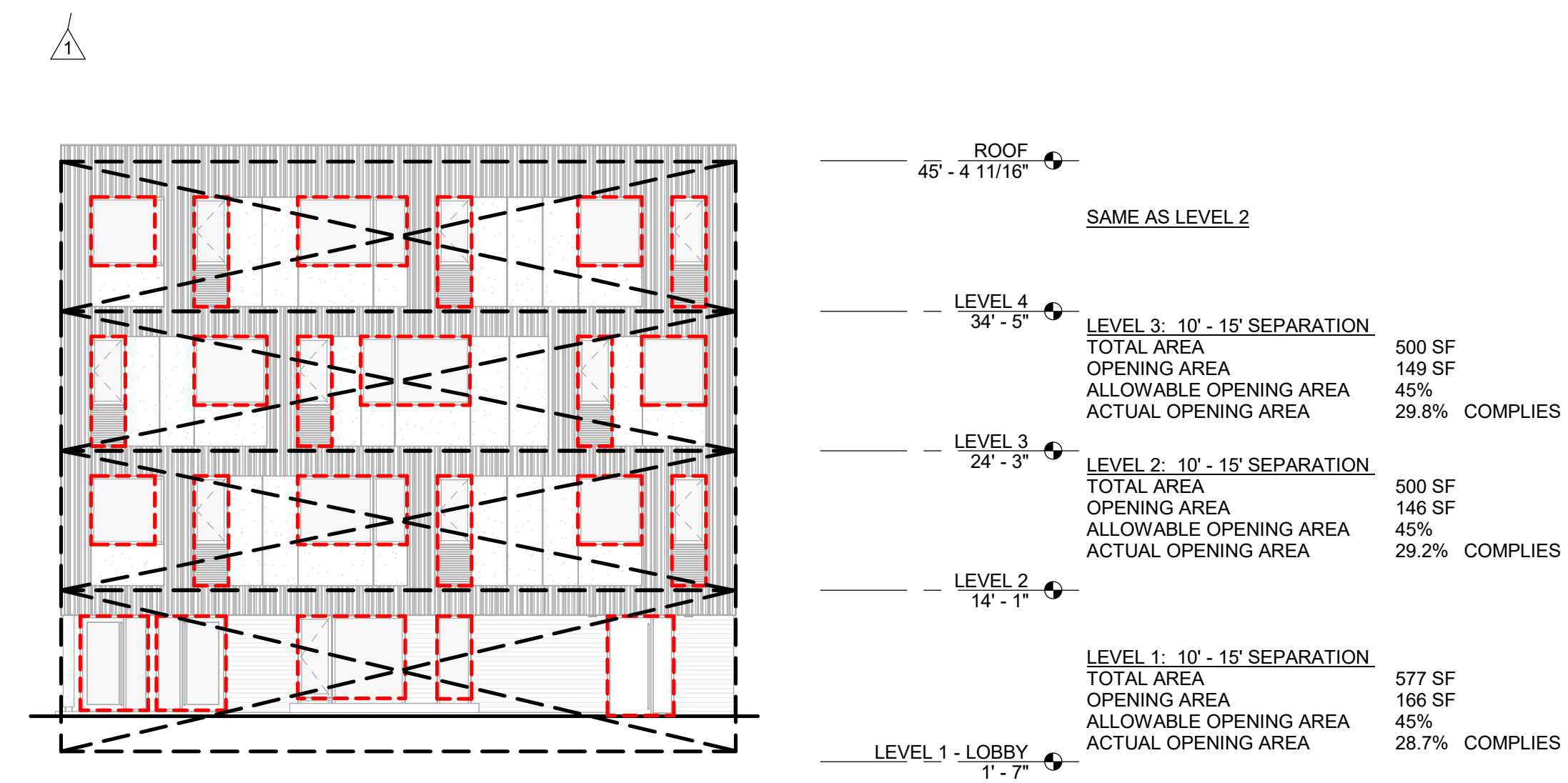
04 UNPROTECTED OPENING DIAGRAM - EAST BUILDING - COURTYARD
1" = 10'-0"



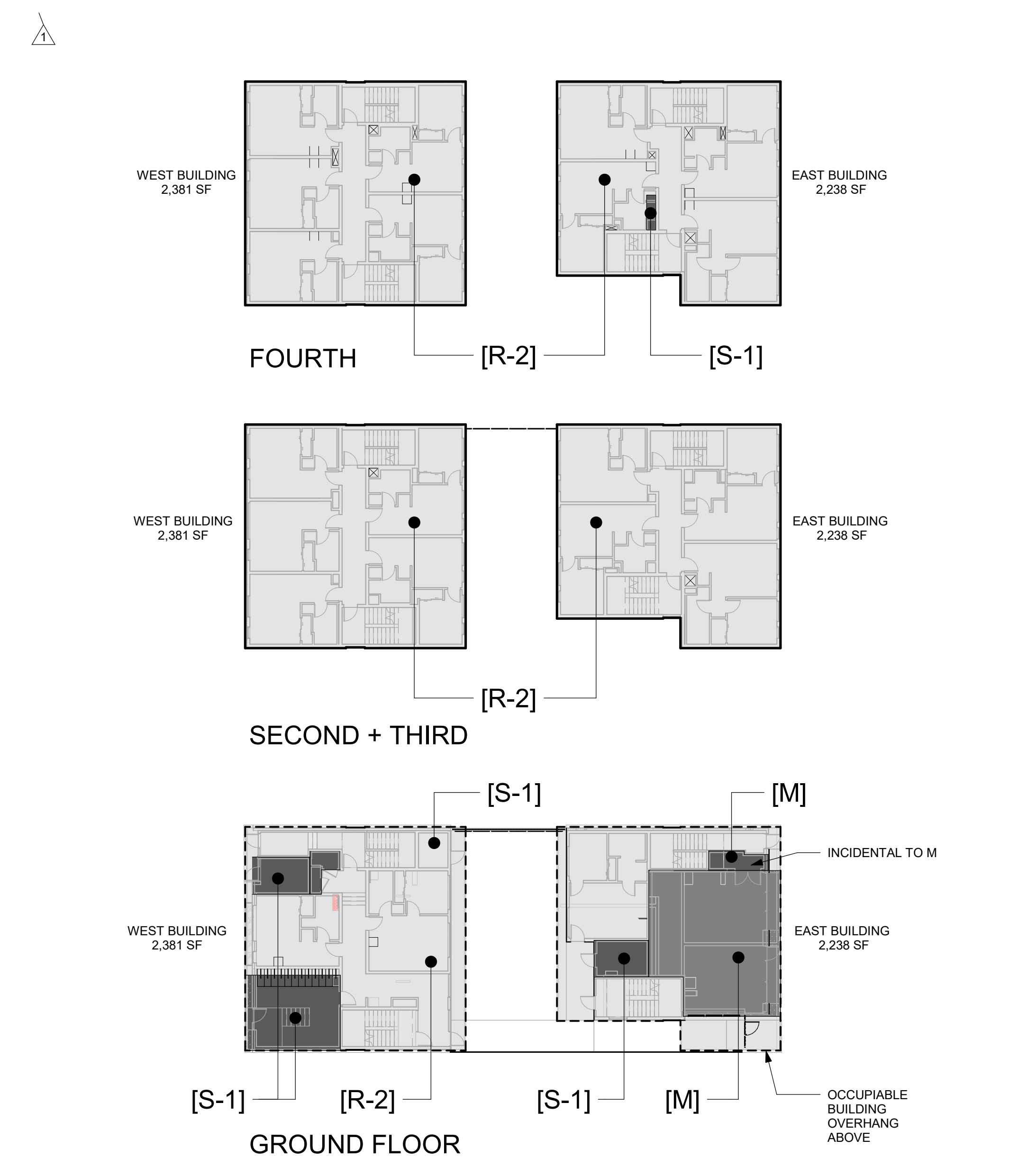
06 UNPROTECTED OPENING DIAGRAM - EAST BUILDING - SOUTH
1" = 10'-0"



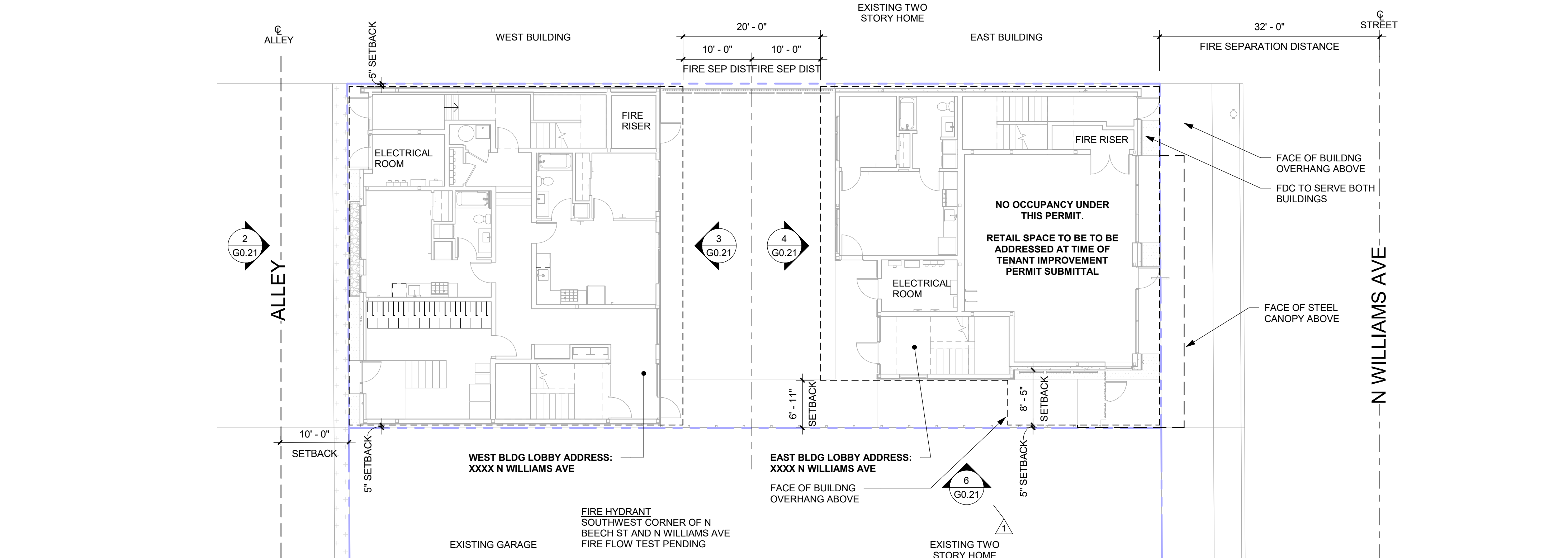
03 UNPROTECTED OPENING DIAGRAM - WEST BUILDING - COURTYARD
1" = 10'-0"



02 UNPROTECTED OPENING DIAGRAM - WEST BUILDING - ALLEY
1" = 10'-0"



05 GROSS AREA & OCCUPANCY DIAGRAMS
1" = 20'-0"



01 LIFE SAFETY SITE PLAN
1" = 10'-0"

SHELL PERMIT SUMMARY

WORK TO BE PROVIDED UNDER FUTURE TENANT IMPROVEMENT PERMIT

- FIRE BARRIERS (IF REQUIRED TO SEPARATE TENANT SPACES)
- EXITING
- EMERGENCY EGRESS LIGHTING
- EXIT SIGNAGE
- PLUMBING (SEPARATE PERMIT)
- ELECTRICAL / LOW VOLTAGE (SEPARATE PERMIT)
- MECHANICAL (SEPARATE PERMIT)

ACCESSIBILITY REQUIREMENTS

ACCESSIBLE PARKING

N/A

AREA OF REFUGE REQUIREMENTS

NO AREA OF REFUGE PROVIDED, AUTOMATIC SPRINKLERS ARE PROVIDED THROUGHOUT
ALL DWELLING UNITS COMPLY

TYPE A DWELLING UNIT (SECTION 1107.6.2.2.1)

CUMULATIVE UNIT COUNT = 30 UNITS

REQUIREMENT: 30 UNITS X .02 = 1 TYPE A UNIT
PROVIDED: 1 TYPE A UNIT @ UNIT 104

TYPE B DWELLING UNIT

2 UNITS PROVIDED AT LEVEL 1 (WEST BUILDING)

2 UNITS TOTAL PROVIDED AT LEVEL 1

ELEVATOR

N/A

CODE ANALYSIS

APPLICABLE CODES

2019 OREGON STRUCTURAL SPECIALTY CODE (OSSC)
2017 OREGON ELECTRICAL SPECIALTY CODE (OESC)
2019 OREGON MECHANICAL SPECIALTY CODE (OMSC)
2017 OREGON PLUMBING SPECIALTY CODE (OPSC)
2019 OREGON FIRE CODE (OFC)
2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
2009 ICC/ANSI A117-1

BUILDINGS ON THE SAME LOT (SECTION 503.1.2)

THE PROPOSED PROJECT IS TO ANALYZED AS TWO SEPARATE BUILDINGS ON THE SAME LOT.

ALLOWABLE BUILDING HEIGHTS AND AREAS (TABLE 504.3, 504.4, & 506.2)

WEST BLDG
TYPE VA - FULLY SPRINKLERED (NFPA 13 SPRINKLER USED FOR INCREASED HEIGHT, STORIES, AND AREAS)

GROUP R-2	HEIGHT	STORIES	AREA
GROUP R-2	70 FT	4 STORIES	36,000 SF
GROUP S-1	70 FT	4 STORIES	42,000 SF

EAST BLDG
TYPE VA - FULLY SPRINKLERED (NFPA 13 SPRINKLER USED FOR INCREASED HEIGHT, STORIES, AND AREAS)

GROUP M	HEIGHT	STORIES	AREA
GROUP M	70 FT	4 STORIES	42,000 SF
GROUP R-2	70 FT	4 STORIES	36,000 SF
GROUP S-1	70 FT	4 STORIES	42,000 SF

MIXED USE AND OCCUPANCY (SECTION 508)

WEST BUILDING

STORY AREAS	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4
GROUP M	0	0	0	0
GROUP R-2	1,945	2,381	2,381	2,381
GROUP S-1	436	0	0	0
LEVEL TOTALS	2,381 SF	2,381 SF	2,381 SF	2,381 SF
BLDG TOTAL	9,524 SF			

WHOLE BUILDING: NON-SEPARATED OCCUPANCY (SECTION 508.3)
R-2 IS THE LIMITING OCCUPANCY

TYPE VA WITH SPRINKLER	ALLOWABLE	ACTUAL
GROUP R-2	4 STORY 36,000 SF	4 STORY 2,381 SF

EAST BUILDING

STORY AREAS	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4
GROUP M	709	0	0	0
GROUP R-2	1,489	2,238	2,238	2,223
GROUP S-1	42	0	0	15
LEVEL TOTALS	2,238 SF	2,238 SF	2,238 SF	2,238 SF
BLDG TOTAL	8,952 SF			

WHOLE BUILDING: NON-SEPARATED OCCUPANCY (SECTION 508.3)
R-2 IS THE LIMITING OCCUPANCY

TYPE VA WITH SPRINKLER	ALLOWABLE	ACTUAL
GROUP R-2	4 STORY 36,000 SF	4 STORY 2,238 SF

FIRE RESISTIVE CONSTRUCTION REQUIREMENTS (TABLE 601)

BUILDING ELEMENT	TYPE V-A
PRIMARY STRUCTURAL FRAME	1 HRS
EXTERIOR BEARING WALLS	1 HRS
INTERIOR BEARING WALLS	1 HRS
EXTERIOR NON-BEARING WALLS	1 HRS
INTERIOR NON-BEARING WALLS	0 HRS
FLOORS AND FLOOR/CEILINGS	1 HRS
ROOFS AND ROOF/CEILINGS	1 HRS

FIRE RESISTIVE RATING REQUIREMENT OF EXTERIOR WALLS (TABLE 602)

SEPARATION DISTANCE	R-2	M, S-1
X < 5 FT	1 HR	2 HR
5 FT ≤ X < 10 FT	1 HR	1 HR
10 FT ≤ X < 30 FT	1 HR	1 HR
X ≥ 30 FT	0 HR	0 HR

FIRE RESISTIVE SEPARATIONS

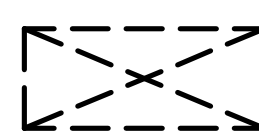
BUILDING ELEMENT	TYPE V-A
CORRIDORS (420.2 & 1020.1)	0.5 HRS
STAIR ENCLOSURES	2 HRS
SHAFTS CONNECTING 3 OR FEWER STORIES	1 HRS
SHAFTS CONNECTING 4 OR MORE STORIES	2 HRS
ELEVATOR LOBBIES	NOT REQUIRED
HORIZONTAL EXITS	1 HRS
UNIT TO UNIT WALLS (420.2, 708.3, & 1020.1)	1 HRS

MAXIMUM AREA OF WALL OPENINGS (TABLE 705.8)

ELEVATION	DISTANCE	MAX OPENING
NORTH WALL	0 TO < 3 FT	NOT PERMITTED
EAST WALL	30 FT <	NO LIMIT
SOUTH WALL	0 TO < 3 FT	NOT PERMITTED
WEST WALL	10 TO < 15 FT	45%
COURTYARD EAST	10 TO < 15 FT	45%
COURTYARD WEST	10 TO < 15 FT	45%

LIFE SAFETY ELEVATIONS LEGEND

EXTERIOR WALL AREAS

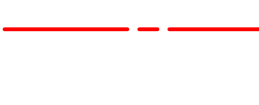


TOTAL AREA OF WALL
CONSIDERED FOR
CALCULATIONS PER FLOOR



EXTENT OF OPENING

FIRE RESISTANCE RATING LEGEND



1 HOUR EXTERIOR WALL
(SEE CODE PLANS FOR LOCATIONS WHERE
RATING REQUIRED AT BOTH SIDES OF WALL)



1 HOUR FIRE BARRIER



2 HOUR FIRE BARRIER



1 HOUR FIRE PARTITION



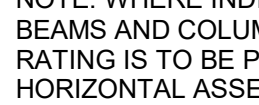
1-HOUR FIRE PROTECTED
STEEL COLUMN, SEE 1/A8.06



1-HOUR FIRE PROTECTED
WOOD COLUMN, SEE 3/A8.06



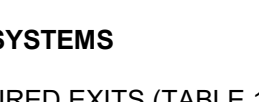
2-HOUR FIRE PROTECTED
STEEL COLUMN, SEE 2/A8.06



1-HOUR INDIVIDUAL ENCASED
BEAM ABOVE, SEE 4/A8.06



2-HOUR INDIVIDUAL ENCASED
BEAM ABOVE, SEE 4/A8.06



2-HOUR HORIZONTAL CEILING
ASSEMBLY ABOVE, SEE 8/A8.01

NOTE: WHERE INDIVIDUAL ENCASEMENT IS NOT REQUIRED FOR
BEAMS AND COLUMNS PER OSSC 704.4.1 & 704.4.2, FIRE RESISTANCE
RATING IS TO BE PROVIDED BY THE MEMBRANE RATING OF THE
HORIZONTAL ASSEMBLY OR WALL ASSEMBLY, RESPECTIVELY

EXIT SYSTEMS

REQUIRED EXITS (TABLE 1006.2.1)

REQUIREMENT: GROUP M (1) EXITS REQ'D FOR > 49 OCCUPANTS
ACTUAL: GROUP R-2 (2) EXITS REQ'D FOR > 10 OCCUPANTS
COMPLIES

COMMON PATH OF EGRESS TRAVEL (TABLE 1006.2.1)

REQUIREMENT: GROUP M (1) EXITS REQ'D FOR > 49 OCCUPANTS
ACTUAL: GROUP R-2 (2) EXITS REQ'D FOR > 10 OCCUPANTS
COMPLIES

EXIT TRAVEL DISTANCE (TABLE 1017.2)

REQUIREMENT: GROUP M, R-2, S-1 (1) EXITS REQ'D FOR > 49 OCCUPANTS
ACTUAL: GROUP S-2 (2) EXITS REQ'D FOR > 10 OCCUPANTS
COMPLIES

DEAD END CORRIDOR (SECTION 1020.4, EXCEPTION 2)

REQUIREMENT: GROUP M, R-2, S-1 (1) EXITS REQ'D FOR > 49 OCCUPANTS
ACTUAL: GROUP S-2 (2) EXITS REQ'D FOR > 10 OCCUPANTS
COMPLIES

EXIT SEPARATION (SECTION 1007.1.1, EXCEPTION 2)

REQUIREMENT: EXIT DOORS SHALL BE PLACED A DISTANCE APART
EQUAL TO NOT LESS THAN ONE-THIRD OF THE
LENGTH OF THE MAX OVERALL DIAGONAL DIMENSION
OF THE AREA SERVED
COMPLIES

EXIT DISCHARGE SEPARATION (SECTION 1028.1, EXCEPTION 1.4)

REQUIREMENT: THE LESSER OF 30' OR 1/4 THE DIAGONAL DISTANCE
ACTUAL: COMPLIES

EMERGENCY POWER AND STANDBY POWER SYSTEMS

BATTERY BACK UP TO BE PROVIDED ON SITE, AT EACH BUILDING, AND SHALL
PROVIDE EMERGENCY POWER FOR EGRESS LIGHTING

FIRE COMMAND CENTER

NOT REQUIRED

AUTOMATIC SPRINKLER SYSTEM

AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED AT EACH BUILDING, UNDER
SEPARATE PERMITS, AND IN ACCORDANCE WITH SECTIONS 903.3.1.1 AND NFPA-13

SMOKE ALARM SYSTEM

SMOKE ALARMS SHALL BE PROVIDED AT EACH BUILDING AND IN UNITS IN
ACCORDANCE WITH PFC 907.2.11. ALARMS SHALL BE INTERCONNECTED IN
ACCORDANCE WITH PFC 907.2.11.3, AND THEIR POWER SOURCE SHALL COMPLY
WITH PFC 907.2.11.4

CARBON MONOXIDE ALARM SYSTEM

CARBON MONOXIDE ALARMS SHALL BE PROVIDED AT EACH BUILDING AND IN UNITS.
IN ACCORDANCE WITH PFC 908.7, ALARMS SHALL BE ENERGIZED IN ACCORDANCE
WITH PFC 908.7.2.3

FIRE ALARM SYSTEM

NFPA 13 SYSTEM AT EACH BUILDING (UNDER SEPARATE PERMIT)

FIRE FLOW REQUIREMENTS

FLOW MAY BE REDUCED UP TO 75% PER B105.3.1.1

TYPE X (XX,XXX-XX,XXXSQFT): X,XXX GPM (X,XXX GPM PER 105.3.1)
ACTUAL: X,XXX GPM AT XX PSI

RADON CONTROL

BUILDING TO COMPLY WITH RADON CONTROL METHODS PER SECTION 1812. REFER
TO PLUMBING DRAWINGS.

PLUMBING FIXTURES COUNT

LEVEL	FIXTURE	NUMBER REQ'D	NUMBER PROVIDED
WEST BUILDING			
LEVEL 1	FIXTURE WATER CLOSETS LAVATORIES	REQUIRED	PROVIDED
LEVEL 2	WATER CLOSETS LAVATORIES		
LEVEL 3	WATER CLOSETS LAVATORIES		
LEVEL 4	WATER CLOSETS LAVATORIES		
EAST BUILDING			
LEVEL 1	FIXTURE WATER CLOSETS LAVATORIES	REQUIRED	PROVIDED
LEVEL 2	WATER CLOSETS LAVATORIES		
LEVEL 3	WATER CLOSETS LAVATORIES		
LEVEL 4	WATER CLOSETS LAVATORIES		

*** ADDITIONAL FIXTURES REQUIRED BY M OCCUPANCY WILL BE PROVIDED UNDER
SEPARATE PERMIT

WILLIAM / KAVEN

WILLIAM KAVEN ARCHITECTURE
4075 N. WILLIAMS AVE, STUDIO 440
PORTLAND, OR 97227
www.williamkaven.com

CITY STAMP

PROJECT

WILLIAMS 41

4047 N WILLIAMS AVE
PORTLAND, OR 97227

DRAWING TITLE

LIFE SAFETY SITE PLAN & CODE SUMMARY

REVISIONS

1 PERMIT REV 1 12/23/21



© MAXX WILLIAM KAVEN ARCHITECTURE
This document is an instrument of service prepared by
William Kaven Architecture, which owns all common
law, statutory and other rights with regard to it,
including copyright. This document may be used only
for permitted purposes in connection with the indicated
project. Other uses are prohibited without the express
written consent of William Kaven Architecture.

DATE MAY 28, 2021
JOB NO. 19.07

DRAWING NO.

G0.21

PERMIT