

# Development Services

## From Concept to Construction

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More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



### APPEAL SUMMARY

**Status:** Hold for Additional Information

|                                                                                                                 |                                                                                                          |
|-----------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------|
| <b>Appeal ID:</b> 27621                                                                                         | <b>Project Address:</b> 1006 SE Grand Ave                                                                |
| <b>Hearing Date:</b> 3/30/22                                                                                    | <b>Appellant Name:</b> Justin Cloyd                                                                      |
| <b>Case No.:</b> B-009                                                                                          | <b>Appellant Phone:</b> 5032500417                                                                       |
| <b>Appeal Type:</b> Building                                                                                    | <b>Plans Examiner/Inspector:</b> Brian McCall                                                            |
| <b>Project Type:</b> commercial                                                                                 | <b>Stories:</b> 7 <b>Occupancy:</b> R-2, B, S-2 <b>Construction Type:</b> 2 stories I-A, 5 stories III-A |
| <b>Building/Business Name:</b> The Josephine                                                                    | <b>Fire Sprinklers:</b> Yes - full NFPA 13                                                               |
| <b>Appeal Involves:</b> Erection of a new structure                                                             | <b>LUR or Permit Application No.:</b> 21-084902-CO                                                       |
| <b>Plan Submitted Option:</b> pdf [File 1] [File 2] [File 3] [File 4] <b>Proposed use:</b> Mixed-Use Apartments |                                                                                                          |

### APPEAL INFORMATION SHEET

#### Appeal item 1

|                                                 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
|-------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Code Section</b>                             | NFPA 110, 7.2.1.1, Code Guide: OSSC/27/#1                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
| <b>Requires</b>                                 | The emergency generator room must be separated from the rest of the building by construction with a 2-hour fire resistance rating.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| <b>Code Modification or Alternate Requested</b> | Alternate requested is to provide increased fire sprinkler coverage at both sides of the louvered opening from the garage in lieu of a fire damper in the penetration of the 2 hour fire barrier between the garage and generator room.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| <b>Proposed Design</b>                          | <p>The proposed design meets the requirements of the NFPA 110 and Code Guide IBC/27#1 and NEC/7#1 except the air intake opening is open to the parking garage.</p> <p>Generator intake will be pulled from the Parking Garage through a perforated garage door. Generator air intake louver is protected by NFPA 13 sprinklers on both sides. The open area of the generator air intake louver is 72" x 24". The open area provided within the parking garage to the exterior (via the perforated garage door) is a minimum of 12.5 sf free area sized for a velocity 500 feet per minute. Door must be a minimum of 5% free area. Items that are not part of the generator equipment have been separated from the room by 2 hour fire rated wall.</p> <p>Wall mounted signage will be provided at the intake louver stating "Do Not Block Louver. Generator Cooling Intake."</p> |
| <b>Reason for alternative</b>                   | <p>Reference previously approved appeals 23880, 24789, 26134, 26368.</p> <p>The limited amount of exterior wall space, both practically and as directed by Portland Historic Landmarks Commission (LU 21-104162 HR), does not allow enough room for both the intake and the exhaust louvers to be positioned according to code; the proposed design capitalizes on the</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |

abundant amount of fresh air in the garage provided both mechanically and by the adjacent perforated garage door. The Historic Landmarks Commission has mandated that we provide active program functions along Yamhill Street to enhance the pedestrian experience.

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## APPEAL DECISION

**1a. Emergency generator with omission of fire damper in penetration of 2 hour fire barrier: Hold for additional information.**

**See note below regarding the process for submitting additional information.**

**1b. Emergency generator intake air from within parking garage: Hold for additional information.**

**See note below regarding the process for submitting additional information.**

**Appellant may contact John Butler (503 865-6427) or e-mail at [John.Butler@portlandoregon.gov](mailto:John.Butler@portlandoregon.gov) with questions.**

Additional information is submitted as a no fee reconsideration, following the same submittal process and using the same appeals form as the original appeal. Indicate at the beginning of the appeal form that you are filing a reconsideration and include the original assigned Appeal ID number. The reconsideration will receive a new appeal number.

Include the original attachments and appeal language. Provide new text with only that information that is specific to the reconsideration in a separate paragraph(s) clearly identified as "Reconsideration Text" with any new attachments also referenced. Once submitted, the appeal cannot be revised.

No additional fee is required.

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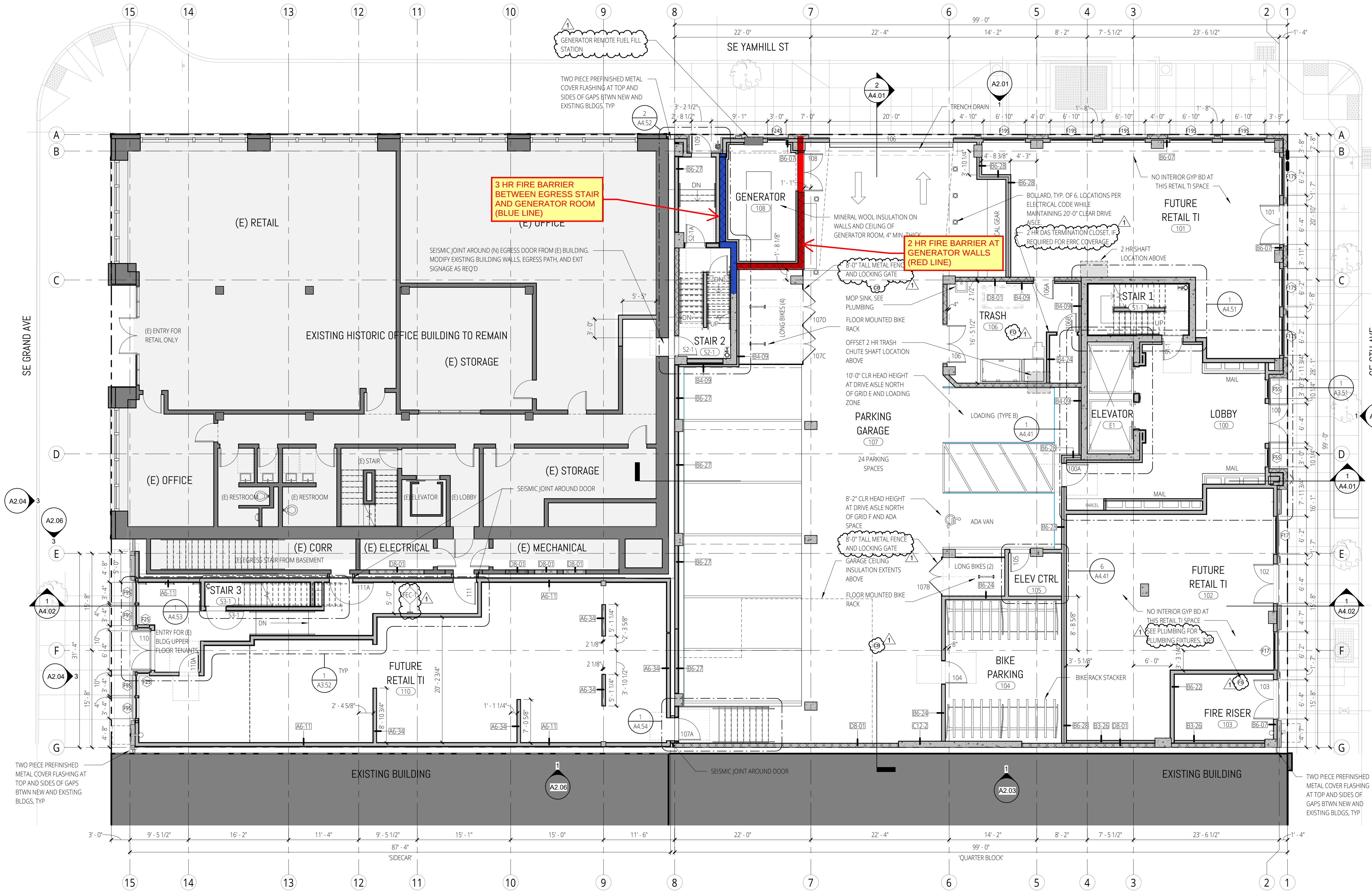
## FLOOR PLAN NOTES

- GRIDS ARE FOR REFERENCE ONLY. CONTRACTOR TO SET CONTROL POINTS FOR LAYOUT.
- ARCHITECTURAL REFERENCE ELEVATION MATCHES SURVEY AND CIVIL DOCUMENTS.
- SEE ASSEMBLIES SHEET A0.71 OR 0.72 FOR WALL DIMENSION POINT LOCATIONS.
- RESIDENTIAL UNITS STACK UNLESS NOTED OTHERWISE. SEE THE LOWEST FLOOR IN THE UNIT STACK FOR ADDITIONAL INFORMATION.
- NUMBERING OF PARKING SPACES AND ROOMS IS FOR DOCUMENTATION PURPOSES ONLY AND SHALL BE CONFIRMED WITH OWNER PRIOR TO FINAL LABELING.
- WINDOW OPENING DIMENSIONS SHOWN ARE TO THE ROUGH OPENING. REFER TO SPECIFIC DETAILS FOR REQUIRED CLEARANCES FROM THE ROUGH OPENING TO THE WINDOW UNIT.
- ALL RESIDENTIAL UNITS ARE ANSI A117.1 TYPE B UNITS UNLESS NOTED OTHERWISE.
- DOOR HINGE JAMBS TO BE LOCATED 3" FROM FACE OF FINISH OF THE NEAREST PERPENDICULAR ADJACENT WALL, U.O.N. SEE G0.20 SERIES AND A3.70 SERIES FOR TYPICAL ACCESSIBILITY REQUIREMENTS, CLEARANCES, MOUNTING HEIGHTS AND PARTITION WALL DETAILS.
- PROVIDE BLOCKING PER MFR RECOMMENDATIONS, AS SHOWN ON A5.01 FOR ALL WALL MOUNTED ACCESSORIES AND EQUIPMENT, AND AS OTHERWISE INDICATED.
- SEE A3.00 SERIES INTERIOR COMPOSITE SHEETS FOR ENLARGED PLANS/RCPs, INTERIOR ELEVATIONS, AND ADDITIONAL INFORMATION.
- INTERIOR WALLS TO BE INSULATED WHERE PLUMBING OCCURS AND AT ALL OTHER LOCATIONS REQUIRED PER ASSEMBLY OR NOTE.
- PROVIDE IDENTIFICATION SIGNS AT 1-HR FIRE PARTITIONS (RATED WALLS) AND STAIR ENCLOSURE WALLS ABOVE ACCESSIBLE CORRIDOR CEILING WITH 3" LETTERING PER OSSC 703.7.
- SEE SHEETS A5.01 & A5.02 FOR TYPICAL DETAILS AND REQUIREMENTS AT INTERSECTIONS OF RATED CONSTRUCTION.
- WHERE CONCRETE OR CMU OCCURS WITHIN OCCUPIED SPACES AT LEVELS 1 & 2, PROVIDE FURRING WALL ASSEMBLY B1-25, UNLESS OTHERWISE NOTED.

## FLOOR PLAN LEGEND

- TYPICAL WALLS**  
METAL STUDS AT LEVELS 1 & 2  
WOOD STUDS AT SIDEWALK AND  
QUARTER BLOCK LEVELS 3 AND UP
- EXISTING WALLS**
- MASONRY WALLS**
- CONCRETE WALLS**

SEE PAGE TWO FOR MORE INFO.



1 LEVEL 1 FLOOR PLAN  
1/8" = 1'-0"

GARAGE EXHAUST CALCULATIONS:

4,333 SQ. FT. x 0.05 cfm/sq ft = 220 CFM  
4,333 SQ. FT. x 0.75 cfm/sq ft = 3,250 CFM

SEQUENCE OF OPERATIONS  
CO & NO2 SENSORS:

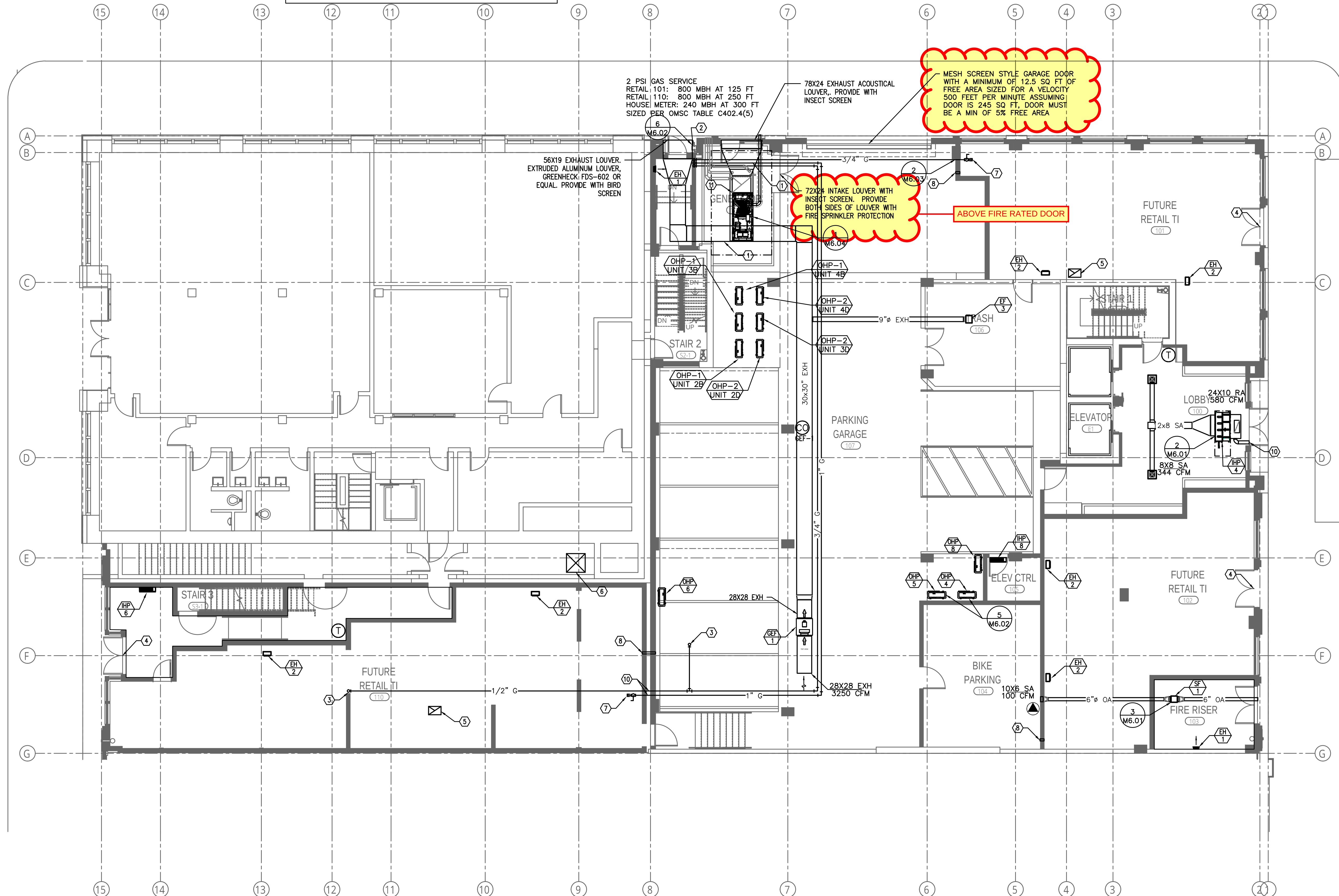
PROVIDE A COMBINATION ELECTROCHEMICAL CARBON MONOXIDE & NITROGEN DIOXIDE SENSOR (SYSTEM) TO OPERATE GEF-X (VFD HIGH SPEED SETTING) WHENEVER SPACE CO & NO2 LEVELS RISE ABOVE SET POINT. SYSTEM TO BE SET TO FAIL WITH THE FAN IN THE "HIGH SPEED" SETTING. SET SENSORS AT 60" AFF.  
PROVIDE x SENSOR(S) AS SHOWN ON THE PLAN, AND WIRE TO A CENTRAL CONTROLLER TO OPERATE GEF-X ON HIGH SPEED WHENEVER ANY SENSOR(S) CALLS FOR OPERATION.  
SENSORS TO BE RATED FOR MIN 50' RADIUS  
500:  
• GEF-X TO OPERATE CONTINUOUSLY AT LOW SPEED VFD SET POINT  
• RISING TRIP POINT - ENGAGE VFD HIGH SPEED WHEN CO LEVELS RISE ABOVE 35 PPM AND NO2 LEVELS RISE ABOVE 2.0 PPM.  
• FALLING TRIP POINT - DISENGAGE VFD HIGH SPEED WHEN CO LEVELS DROP TO 15 PPM AND NO2 LEVELS DROP TO 1.0 PPM  
• PROVIDE WITH AUDIBLE ALARM WHEN CO LEVELS RISE ABOVE 50 PPM AND NO2 LEVELS RISE ABOVE 2.8 PPM.

GENERAL NOTES

1. WORK SHALL COMPLY WITH CURRENT OREGON SPECIALTY CODE.
2. COORDINATE INSTALLATION WITH OTHER TRADES.
3. MOUNT THERMOSTATS AT 46" TO HIGHEST OPERABLE CONTROL.
5. PROVIDE AGA RATED FLEXIBLE GAS CONNECTION AT GAS APPLIANCES.
6. VERIFY ALL EXISTING SYSTEMS SERVING EXISTING BUILDING THAT ARE BEING RELOCATED THAT NEED TO REMAIN IN SERVICE.

KEY NOTES

- 1 PROVIDE 2 HR ENCLOSURE AROUND GARAGE EXHAUST DUCT AND GAS PIPING IN GENERATOR ROOM.
- 2 GAS METERS STACKED, COORDINATE WITH NWNG CO.
- 3 1/2" 2 PSI GAS UP TO FLOOR ABOVE
- 4 PROVIDE SHEET METAL CAP ON LOUVERS ABOVE ENTRY DOORS
- 5 PROVIDE CAPPED 16X24 GREASE DUCT UP IN 2 HR SHAFT
- 6 PROVIDE 36X36 OSA DUCT UP
- 7 PROVIDE SHUT OFF VALVE AND CAPPED GAS FOR FUTURE CONNECTION
- 8 PROVIDE 4" CAPPED SLEEVE FOR FUTURE REFRIGERANT LINE SETS
- 9 PROVIDE FLEXIBLE CONNECTION AT BUILDING SEISMIC JOINT.
- 10 PROVIDE R8 INSULATED 8" OSA CONNECTION TO LOUVER LOCATED ABOVE ENTRY DOORS
- 11 PROVIDE FLEXIBLE CONNECTION AT GENERATOR RADIATOR TO DUCTWORK. PROVIDE ACOUSTIC INSULATION ON DUCTWORK



1  
M2.01

LEVEL 1 MECHANICAL FLOOR PLAN  
SCALE: 1/8" = 1'-0"

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#### ELEVATION & COMPOSITE NOTES

- SEE A0.70 SERIES ASSEMBLY SHEETS FOR EXTERIOR WALL AND ROOF COMPONENTS.
- SEE A6.00 SERIES DOOR & WINDOW SCHEDULES SHEETS FOR INFORMATION OPENING COMPONENTS.
- SEE A5.50 SERIES EXTERIOR DETAILS SHEETS FOR TYPICAL CONDITIONS AND GENERAL INTENT. SPECIFIC DETAILS TAKE PRECEDENCE WHERE INDICATED. CALLOUTS NOTED AS TYP OR SIM APPLY AT SAME OR SIMILAR INTERFACE CONDITIONS.
- SEE A4.00 SHEETS FOR ENVELOPE CONTROL LAYER CONTINUITY REQUIREMENTS.
- AT RETURN WALLS NOT SHOWN IN ELEVATIONS, CONTINUE FIELD MATERIAL, FINISH, COLOR, REVEALS, AND OTHER DETAILING UON.
- THE PREFINISHED METAL PANEL ELEMENTS SHALL BE 20-GAUGE, PARAPET CAPS SHALL BE 24-GAUGE AND DECORATIVE SCREEN SHALL BE 16-GAUGE.

#### EXTERIOR ELEVATION LEGEND

- RUSTIC BRICK VENEER, PAINTED 'BLUE'**  
SEE ASSEMBLIES 7 & 12/A0.71
- SOLDIER COURSE**
- STUCCO SYSTEM, 'BLUE'**  
SEE ASSEMBLIES 6 & 11/A0.71  
MATCH BRICK PAINT BLUE
- PREFINISHED SHEET METAL**  
MATCH BRICK PAINT BLUE
- BRAKE METAL PANEL, 'CHAMPAGNE'**  
SEE ASSEMBLIES 8 & 13/A0.71  
'CHAMPAGNE' (TAYLOR METALS)
- STUCCO SYSTEM, 'BEIGE'**  
SEE ASSEMBLIES 6 & 11/A0.71
- PREFINISHED SHEET METAL**  
'SIERRA TAN' (TAYLOR METALS)
- RUSTIC BRICK VENEER, PAINTED 'MEDIUM BROWN'**, MATCH SHEET METAL  
SEE ASSEMBLIES 7 & 12/A0.71
- SOLDIER COURSE**
- STUCCO SYSTEM, 'MEDIUM BROWN'**  
SEE ASSEMBLIES 6 & 11/A0.71  
MATCH SHEET METAL
- PREFINISHED SHEET METAL**  
'SADDLE TAN' (TAYLOR METALS)
- STUCCO SYSTEM, 'DARK BRONZE'**  
SEE ASSEMBLIES 6 & 11/A0.71
- PREFINISHED SHEET METAL**  
'DARK BRONZE' (TAYLOR METALS)
- PREFINISHED DECORATIVE METAL SCREEN WITH CUSTOM CUT PATTERN**  
'CHAMPAGNE' (SEE SHEET A6.20)  
'DARK BRONZE'
- PREFINISHED PROFILE METAL PANEL**  
'DARK BRONZE' (TAYLOR METALS)
- EXPANSION JOINT IN BRICK**
- CONTROL JOINT IN STUCCO** (1 PC)
- EXPANSION JOINT IN STUCCO** (2 PC)
- WINDOW**  
SEE A6.20 WINDOW SCHEDULE
- OPERABLE**
- BIRD-SAFE FILM**
- LOUVER**  
SEE MECHANICAL FOR LOUVER SCHEDULE
- EXTERIOR UP-DOWN WALL SCENCE**  
SEE SPECIFICATIONS
- FRONT**
- SIDE**

- EXTENTS OF MECHANICAL EXHAUST OPENINGS BEHIND METAL PANEL / SHEET METAL HOOD**
- METAL PANEL / SHEET METAL HOOD, WHERE OCCURS, ALIGN WITH EDGES JOINTS AS INDICATED, OTHERWISE 18" WIDE**
- MECHANICAL EXHAUST CLEARANCE**
- EXTENTS OF MECHANICAL SUPPLY AIR LOUVER BEHIND DECORATIVE SCREEN**
- COW'S TONGUE OVERFLOW SPOUT**

#### REVISIONS

1 CHECKSHEET 1 03/24/2022

#### PERMIT SET

ISSUE DATE 09/08/2021

| FLS PLAN - LEVEL 2 OCCUPANCY |           |          |           |                      |           |
|------------------------------|-----------|----------|-----------|----------------------|-----------|
| NO.                          | NAME      | AREA     | OCC. TYPE | OCCUPANT LOAD FACTOR | OCC. LOAD |
| 1                            | CO-LIVING | 2,038 SF | R-2       | 200 SF               | 11        |
| 2                            | RESID.    | 483 SF   | R-2       | 200 SF               | 3         |
| 3                            | RESID.    | 792 SF   | R-2       | 200 SF               | 4         |
| 4                            | ELEVATORS | 180 SF   | R-2       | 200 SF               | 1         |
| 5                            | STAIR 1   | 193 SF   | R-2       | 200 SF               | 1         |
| 6                            | RESID.    | 2,758 SF | R-2       | 200 SF               | 14        |
| 7                            | CORRIDOR  | 453 SF   | R-2       | 200 SF               | 3         |
| 8                            | TRASH     | 96 SF    | R-ACC     | 200 SF               | 1         |
| 9                            | RESID.    | 530 SF   | R-2       | 200 SF               | 3         |
| 10                           | LOUNGE    | 786 SF   | A-3       | 15 SF                | 53        |
| 11                           | COURTYARD | 602 SF   | B         | 15 SF                | 41        |
| 12                           | STAIR 2   | 199 SF   | R-2       | 200 SF               | 1         |
| TOTALS:                      |           | 9,111 SF |           |                      | 136       |

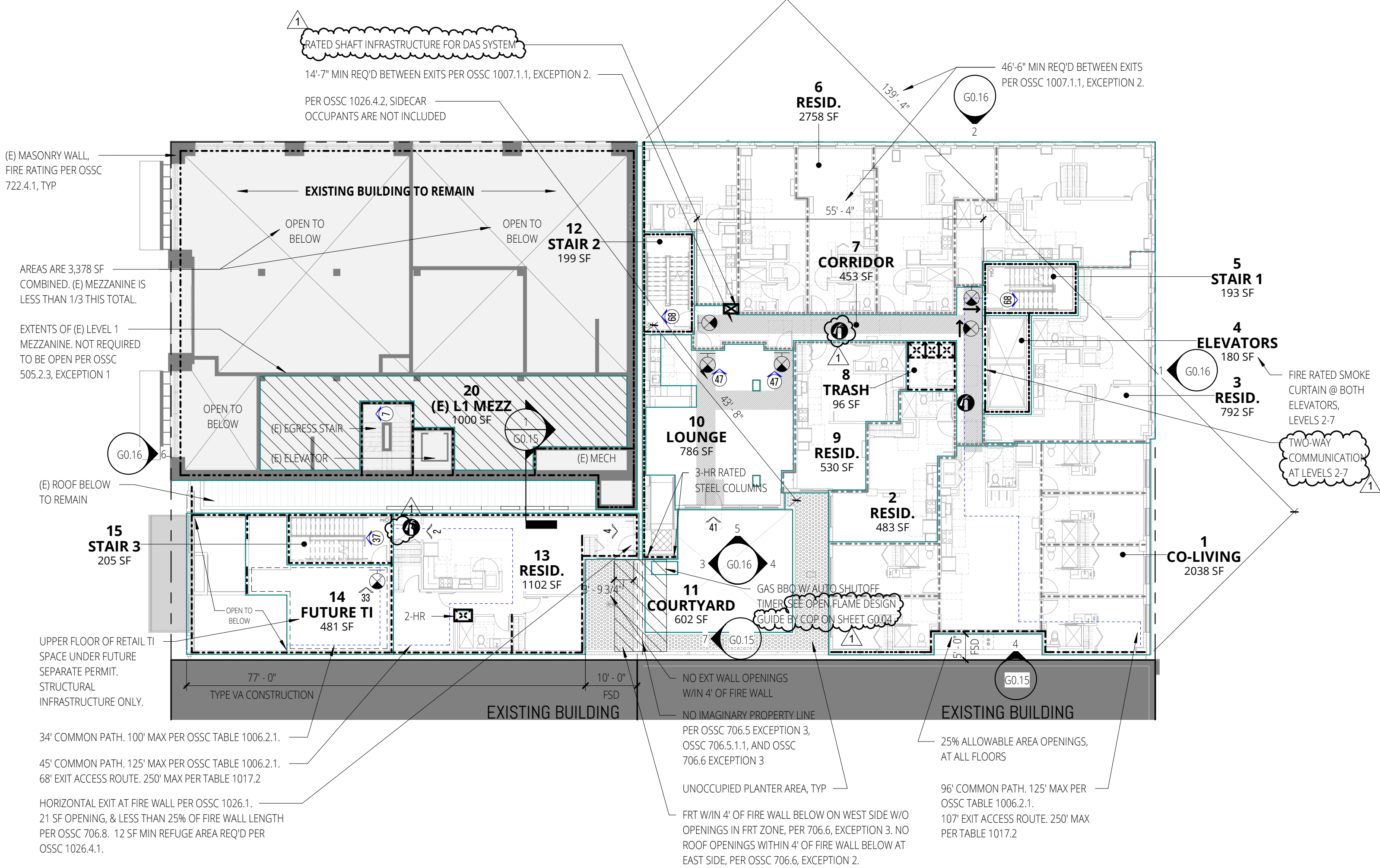
| FLS PLAN - LEVEL 2 SIDECAR OCCUPANCY                                                                                                                             |           |          |           |                      |           |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|----------|-----------|----------------------|-----------|
| NO.                                                                                                                                                              | NAME      | AREA     | OCC. TYPE | OCCUPANT LOAD FACTOR | OCC. LOAD |
| 13                                                                                                                                                               | RESID.    | 1,102 SF | R-2       | 200 SF               | 6         |
| 14                                                                                                                                                               | FUTURE TI | 481 SF   | B         | 15 SF                | 33        |
| 15                                                                                                                                                               | STAIR 3   | 205 SF   | R-2       | 200 SF               | 2         |
| TOTALS:                                                                                                                                                          |           | 1,789 SF |           |                      | 41        |
| *NOTE: FUTURE TI UPPER FLOOR (#14) SCOPE IS STRUCTURAL INFRASTRUCTURE ONLY. THE FLOOR AT THIS AREA WILL BE PERMITTED SEPARATELY AS PART OF THE FUTURE TI PERMIT. |           |          |           |                      |           |

| FLS PLAN - LEVEL (E) 1 MEZZ EXISTING OCCUPANCY |             |          |           |                      |           |
|------------------------------------------------|-------------|----------|-----------|----------------------|-----------|
| NO.                                            | NAME        | AREA     | OCC. TYPE | OCCUPANT LOAD FACTOR | OCC. LOAD |
| 20                                             | (E) L1 MEZZ | 1,000 SF | B         | 150 SF               | 7         |
| TOTALS:                                        |             | 1,000 SF |           |                      | 7         |

| FLS PLAN - LEVEL 1 OCCUPANCY |            |          |           |                      |           |
|------------------------------|------------|----------|-----------|----------------------|-----------|
| NO.                          | NAME       | AREA     | OCC. TYPE | OCCUPANT LOAD FACTOR | OCC. LOAD |
| 1                            | LOBBY      | 600 SF   | R-ACC     | 15 SF                | 40        |
| 2                            | RETAIL TI  | 1,160 SF | M         | 24 SF                | 49        |
| 3                            | FIRE/WATER | 225 SF   | S-2       | 300 SF               | 1         |
| 4                            | BIKE RM    | 493 SF   | S-2       | 300 SF               | 2         |
| 5                            | ELEV RM    | 75 SF    | S-2       | 300 SF               | 1         |
| 6                            | PARKING    | 4,490 SF | S-2       | 200 SF               | 23        |
| 7                            | ELEVATORS  | 180 SF   | R-ACC     | 150 SF               | 2         |
| 8                            | TRASH      | 395 SF   | S-1       | 300 SF               | 2         |
| 9                            | STAIR 1    | 193 SF   | R-ACC     | 200 SF               | 1         |
| 10                           | RETAIL TI  | 1,284 SF | M         | 27 SF                | 49        |
| 11                           | GENERATOR  | 280 SF   | S-2       | 300 SF               | 1         |
| 12                           | EXIT PASS. | 112 SF   | R-ACC     | 200 SF               | 1         |
| 13                           | STAIR 2    | 199 SF   | R-ACC     | 200 SF               | 1         |
| TOTALS:                      |            | 9,687 SF |           |                      | 173       |

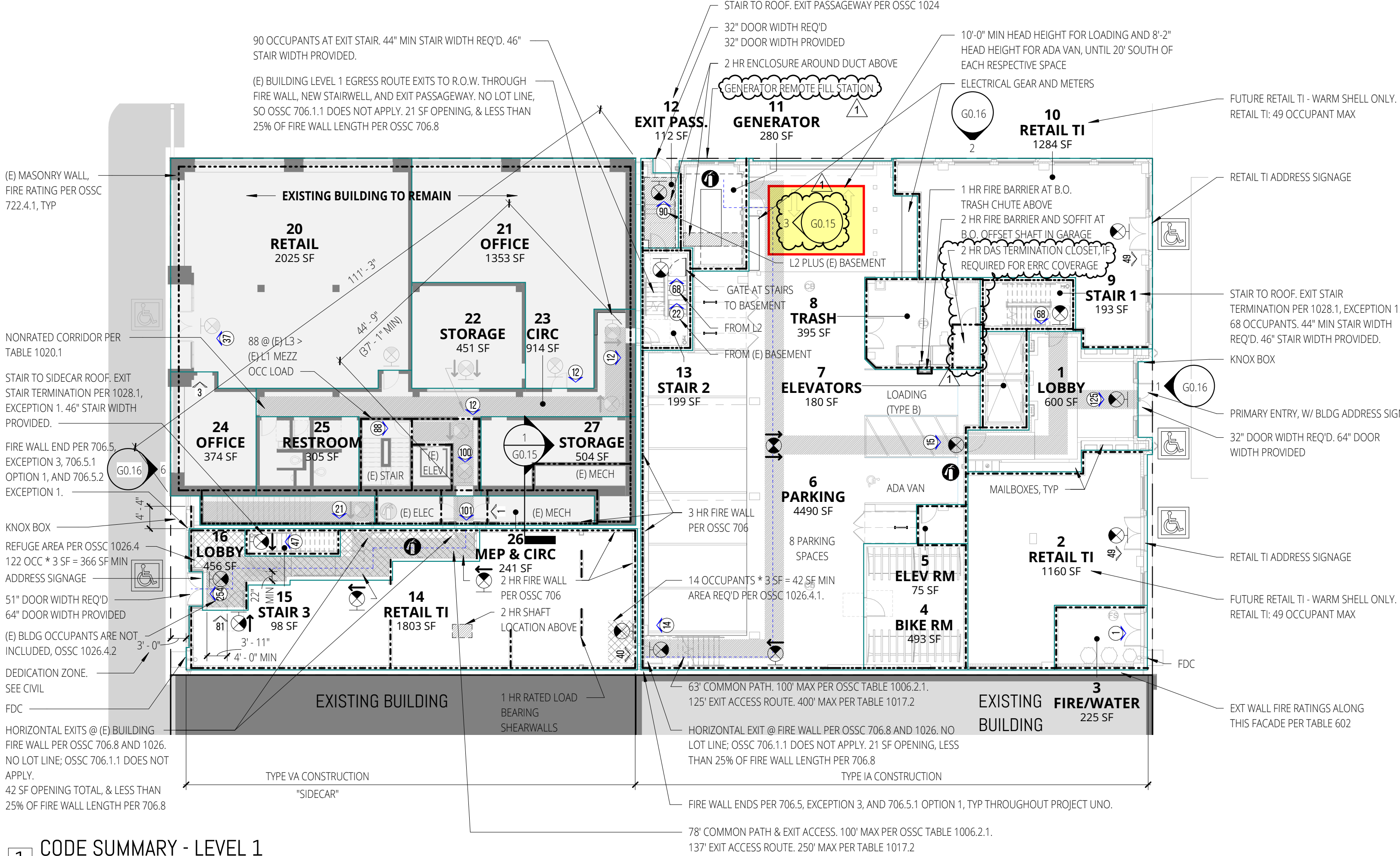
| FLS PLAN - LEVEL 1 SIDECAR OCCUPANCY |           |          |           |                      |           |
|--------------------------------------|-----------|----------|-----------|----------------------|-----------|
| NO.                                  | NAME      | AREA     | OCC. TYPE | OCCUPANT LOAD FACTOR | OCC. LOAD |
| 14                                   | RETAIL TI | 1,803 SF | A-2       | 15 SF                | 121       |
| 15                                   | STAIR 3   | 98 SF    | B         | 150 SF               | 1         |
| 16                                   | LOBBY     | 456 SF   | B         | 150 SF               | 4         |
| TOTALS:                              |           | 2,356 SF |           |                      | 126       |

| FLS PLAN - LEVEL 1 EXISTING OCCUPANCY |            |          |           |                      |           |
|---------------------------------------|------------|----------|-----------|----------------------|-----------|
| NO.                                   | NAME       | AREA     | OCC. TYPE | OCCUPANT LOAD FACTOR | OCC. LOAD |
| 20                                    | RETAIL     | 2,025 SF | M         | 60 SF                | 34        |
| 21                                    | OFFICE     | 1,353 SF | B         | 150 SF               | 10        |
| 22                                    | STORAGE    | 451 SF   | S-2       | 300 SF               | 2         |
| 23                                    | CIRC       | 914 SF   | B         | 150 SF               | 7         |
| 24                                    | OFFICE     | 374 SF   | B         | 150 SF               | 3         |
| 25                                    | RESTROOM   | 305 SF   | B         | 150 SF               | 3         |
| 26                                    | MEP & CIRC | 241 SF   | S-2       | 300 SF               | 1         |
| 27                                    | STORAGE    | 504 SF   | S-2       | 300 SF               | 2         |
| TOTALS:                               |            | 6,166 SF |           |                      | 62        |



## CODE SUMMARY - LEVEL 2

1/16" = 1'-0"



## CODE SUMMARY - LEVEL 1

1/16" = 1'-0"

## CODE COMPLIANCE NOTES

- PLANS INDICATE REQUIRED ASSEMBLY RATINGS FOR SEPARATION PER THE OSCC 2014. REFERENCE FLOOR PLANS AND ASSEMBLY SHEETS FOR INFORMATION ON WALL TYPES AND RATINGS.
- REFERENCE AS.00 & 5.10 INTERIOR DETAILS SHEETS FOR CONSTRUCTION DETAILS AT RATED WALLS/FLOORS/CEILING AND TRANSITIONS BETWEEN ASSEMBLIES.
- EXIT SIGNS TO BE ILLUMINATED AT ALL TIMES, CONNECT TO EMERGENCY POWER SYSTEM.
- ALL WORK SHOWN ON THIS SHEET IS INCLUDED IN THE CONTRACT FOR CONSTRUCTION, WHETHER SHOWN ELSEWHERE OR NOT. CONTRACTOR SHALL PROVIDE AND CONNECT ALL CODE-REQUIRED SYSTEMS AND ELEMENTS. PROVIDE LISTED FIRESTOP AT PERIMETER GAPS AND PENETRATIONS OF ALL RATED CONSTRUCTION AS REQUIRED TO MAINTAIN THE SPECIFIED RATING. SEE SHEET AS.00.
- BUILDING AREAS SHOWN ON CODE PLANS ARE GENERATED TO CONFIRM COMPLIANCE WITH CODE AND ARE NOT CONSIDERED LEASABLE AREAS.
- EXIT ILLUMINATED SIGNAGE TO BE VERIFIED WITH (AND INSTALLED AS REQUIRED BY) THE FIRE MARSHALL.

## CODE COMPLIANCE LEGEND

- 1/2-HR FIRE PARTITION**  
PROVIDE 20 MIN DOORS, SEE SCHEDULE
- 1-HR FIRE PARTITION (PER 402.2)**  
PROVIDE 20 MIN DOORS, SEE SCHEDULE
- 1-HR FIRE BARRIER**  
PROVIDE 45 MIN DOORS, SEE SCHEDULE
- 2-HR FIRE BARRIER**  
PROVIDE 90 MIN DOORS, SEE SCHEDULE
- 3-HR FIRE WALL AERA SEPARATION**  
PROVIDE 180 MIN DOORS, SEE SCHEDULE
- EXTERIOR EGRESS PATH TO R.O.W. (MIN. 44" WIDTH)**  
PROVIDE EGRESS ILLUMINATION
- INTERIOR EGRESS PATH (MIN. 44" WIDTH)**  
PROVIDE EGRESS ILLUMINATION
- COMMON PATH OF EGRESS TRAVEL AND EXIT ACCESS PATH**
- OCCUPANT LOAD AT OPENING**
- CUMMULATIVE OCCUPANT LOAD AT OPENING**  
NOTE: GRAYED ELEMENTS ARE EXISTING
- LIGHTED EXIT SIGN**  
CEILING MOUNTED\*
- WALL MOUNTED FLUSH**
- WALL MOUNTED BLADE\***  
SHADING INDICATES LIGHTED FACE(S).  
\*DIRECTION ARROW CORRESPONDS TO EXIT DIRECTION INDICATED ON SIGN
- FIRE EXTINGUISHER CABINET**  
SEE PLANS AND INTERIOR ELEVATIONS
- ACCESSIBLE ENTRANCE / EXIT**

## FIRE SEPARATION DISTANCE

- OPENING**  
UNPROTECTED, UON.
- <3' SEPARATION**  
NO OPENINGS ALLOWED
- 3'TO <5'** 1-HR WALL RATING  
NO OPENINGS ALLOWED
- 5'TO <10'** 1-HR WALL RATING  
10% ALLOWABLE UP OPENINGS  
25% ALLOWABLE P OPENINGS
- 10'TO <15'**  
UNLIMITED PER CONSTRUCTION TYPE
- 15'TO <20'**  
UNLIMITED PER CONSTRUCTION TYPE

## REVISIONS

1 CHECKSHEET 1 03/24/2022

## PERMIT SET

ISSUE DATE 09/08/2021

## CODE COMPLIANCE PLANS - LEVELS 1, 2

GO.11

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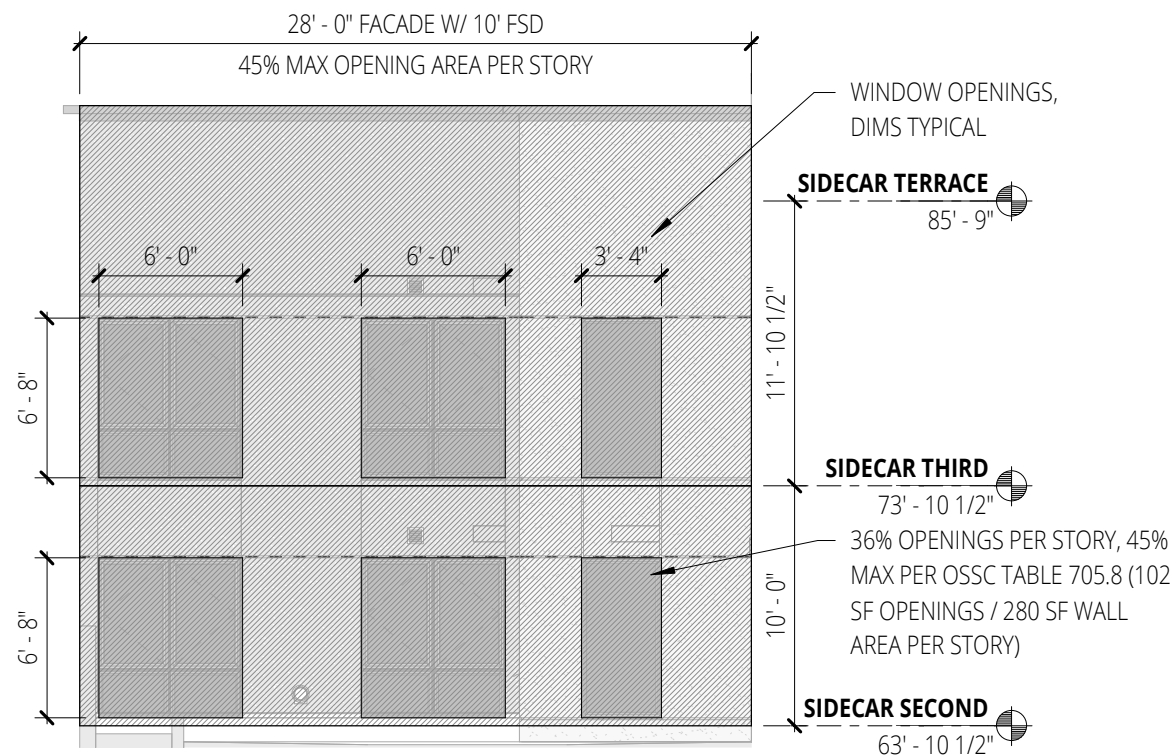
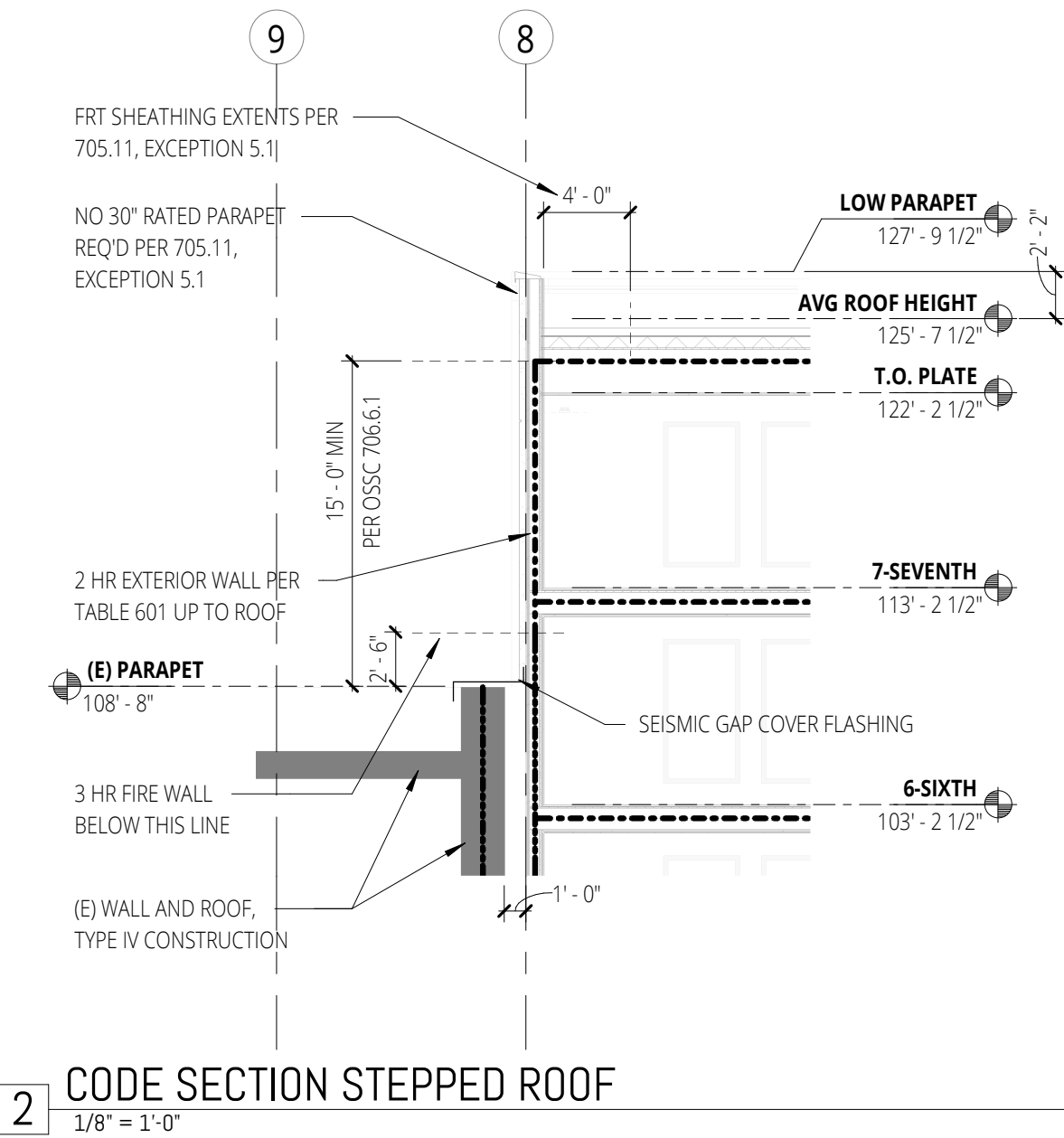
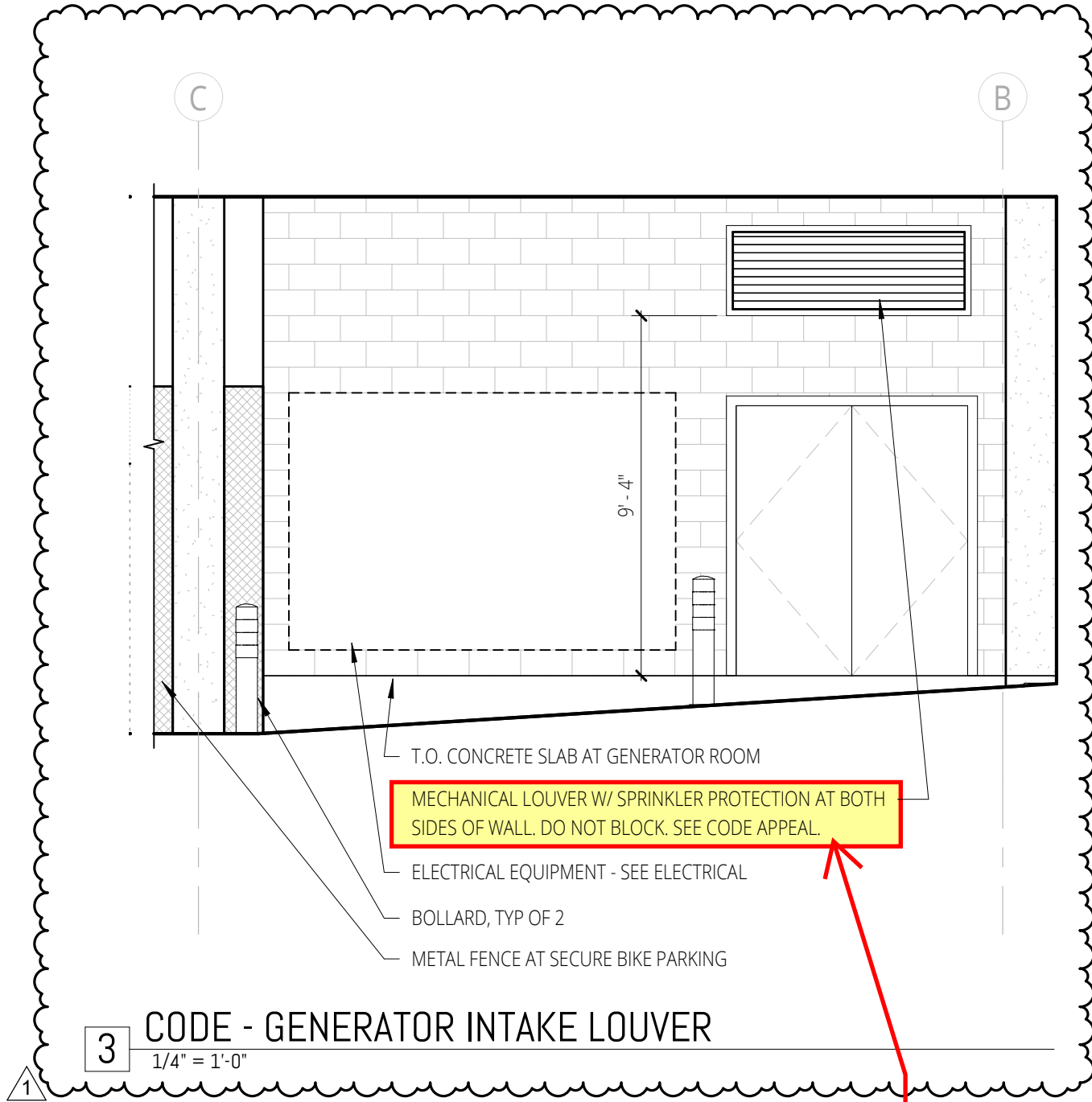
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1006 SE GRAND AVE | PDX | 97214

| REVISIONS |              |            |
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| 1         | CHECKSHEET 1 | 03/24/2022 |

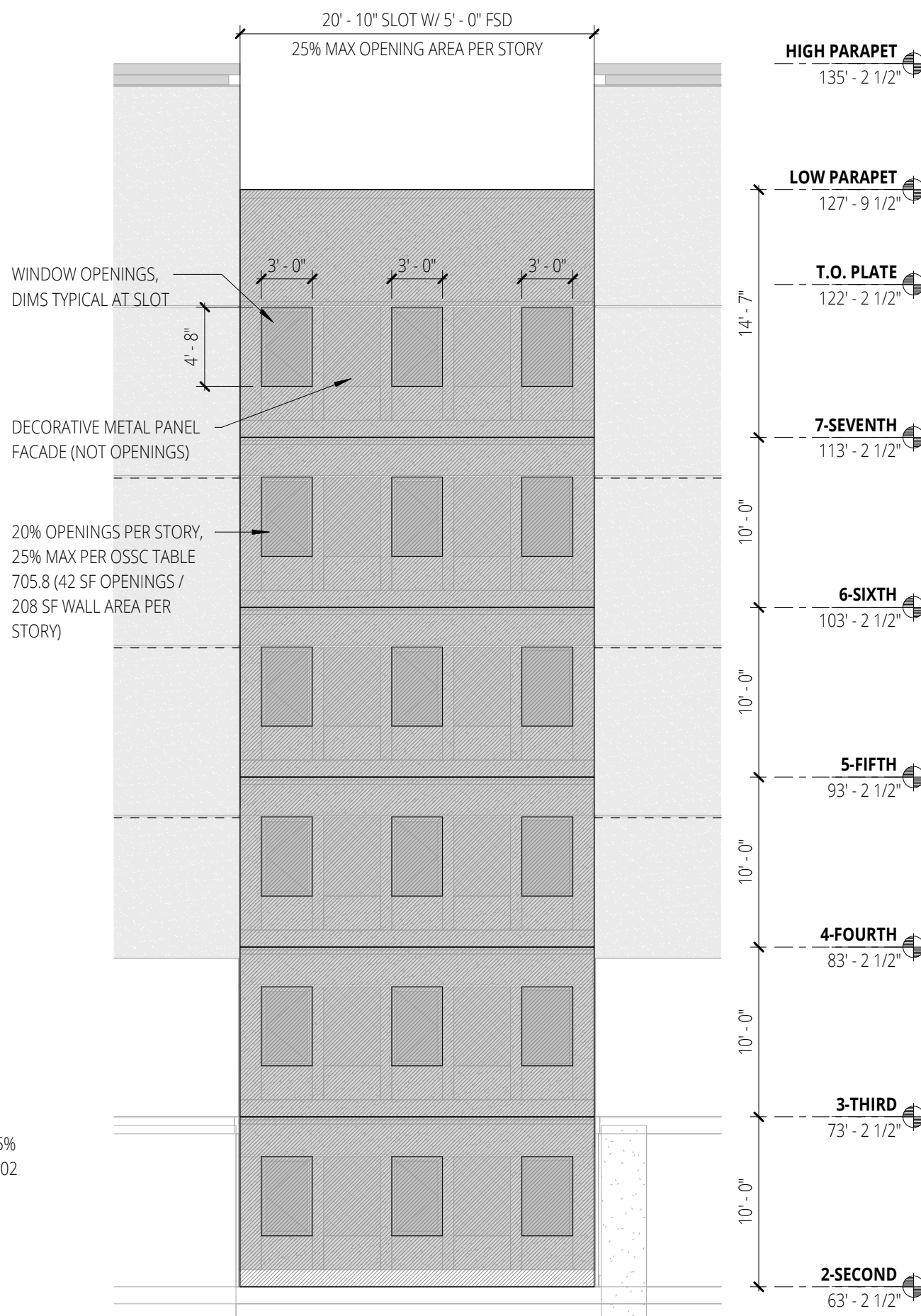
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| ISSUE DATE | 09/08/2021 |

CODE COMPLIANCE  
ELEVATIONS AND  
SECTIONS

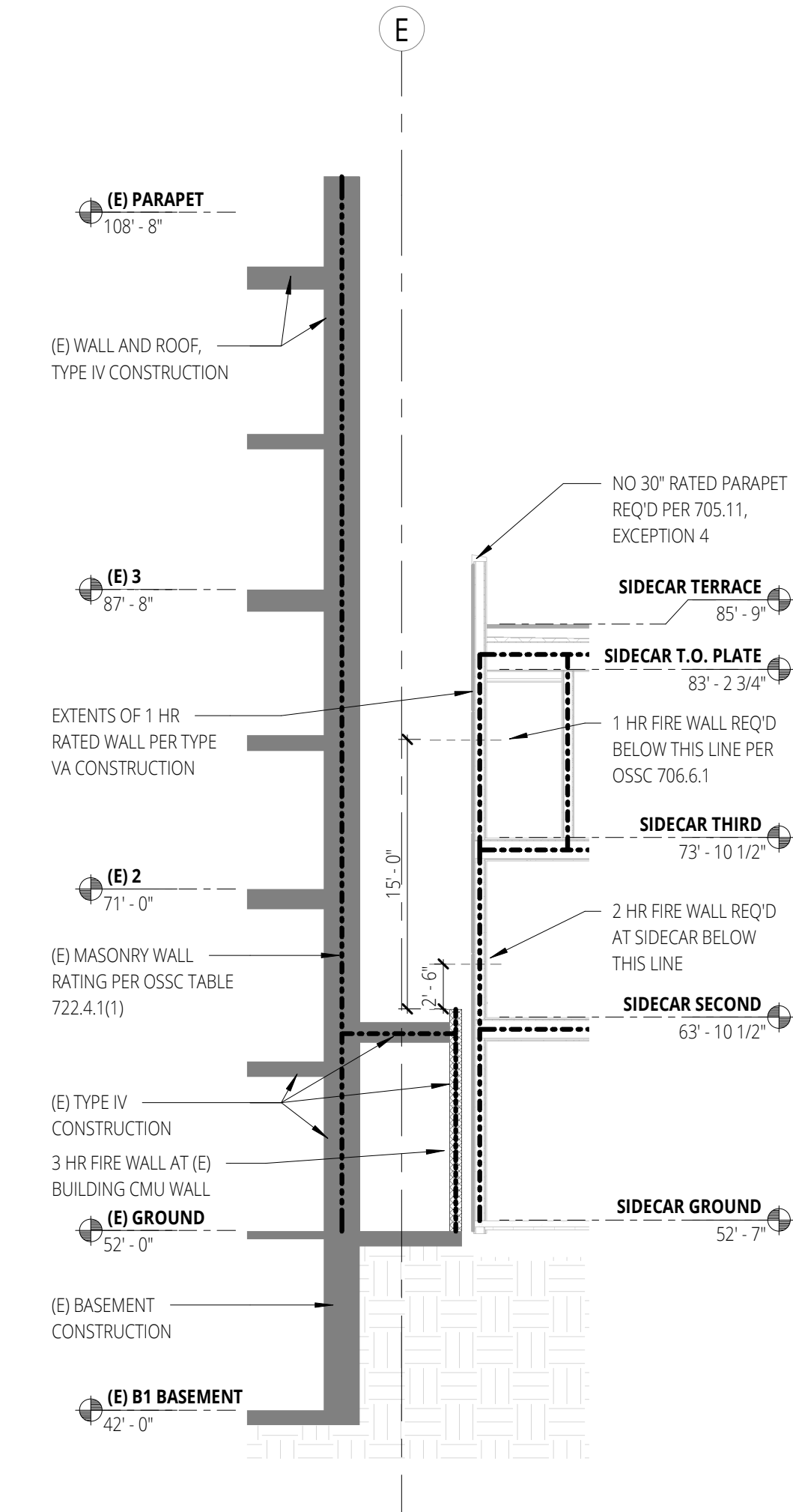
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7 CODE - COURTYARD - WEST ELEVATION  
1/8" = 1'-0"



4 CODE - SOUTH ELEVATION SLOT  
1/8" = 1'-0"



1 CODE SECTION - SIDECAR FIRE WALL  
1/8" = 1'-0"