

# Development Services

## From Concept to Construction

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More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



### APPEAL SUMMARY

**Status:** Hold for Additional Information

<b>Appeal ID:</b> 27616	<b>Project Address:</b> 1014 SW Harvey Milk St
<b>Hearing Date:</b> 3/30/22	<b>Appellant Name:</b> Alex Porter
<b>Case No.:</b> B-007	<b>Appellant Phone:</b> 9716457117
<b>Appeal Type:</b> Building	<b>Plans Examiner/Inspector:</b> Preliminary
<b>Project Type:</b> commercial	<b>Stories:</b> 4 <b>Occupancy:</b> R-2, B, A-2, A-3 <b>Construction Type:</b> V-B
<b>Building/Business Name:</b> 1014 SW Harvey Milk Tenant Improvements	<b>Fire Sprinklers:</b> No
<b>Appeal Involves:</b> Alteration of an existing structure	<b>LUR or Permit Application No.:</b>
<b>Plan Submitted Option:</b> pdf [File 1]	<b>Proposed use:</b> Restaurant

### APPEAL INFORMATION SHEET

#### Appeal item 1

<b>Code Section</b>	1020.2
<b>Requires</b>	Table 1020.2 Indicates a minimum width of 44" for any facility not otherwise listed in the table - in our situation this pertains to a proposed ramp.
<b>Code Modification or Alternate Requested</b>	Request approval of a reduction in width from 44" to 42" to work within existing conditions.
<b>Proposed Design</b>	<p>Referring to detail 2/a2.01 attached.</p> <p>An existing egress corridor between 2 load-bearing walls in this historic building is proposed to be reconfigured into an ADA ramp to allow accessibility between 2 formerly separated tenant spaces. A building permit will soon follow to change the West tenant occupancy from A-3 to A-2 and reduce the number of occupants in both East and West spaces to less than 99 persons.</p> <p>Currently the existing egress corridor provides neither tenant space with accessible egress, as there are stairs going both up and down. Existing conditions constrain the width of the ramp to be 42" on each side, with a further reduction at the top to 34" wide for a distance of 6". Applicant is requesting approval of this reduction in width to accommodate the existing load bearing wall framing.</p>
<b>Reason for alternative</b>	The proposed renovations increase accessibility for both tenant suites. Further the applicant proposes to add additional horn strobe and alarms within the reconfigured space, and locate a new exit sign to be visible from both East and West tenant spaces.

### APPEAL DECISION

**Reduction in the minimum required width of accessible ramp from 44 inches to 42 inches: Hold for additional information.**

**See note below regarding the process for submitting additional information.**

**Appellant may contact Catherine Heeb (503-823-8976) with questions.**

Additional information is submitted as a no fee reconsideration, following the same submittal process and using the same appeals form as the original appeal. Indicate at the beginning of the appeal form that you are filing a reconsideration and include the original assigned Appeal ID number. The reconsideration will receive a new appeal number.

Include the original attachments and appeal language. Provide new text with only that information that is specific to the reconsideration in a separate paragraph(s) clearly identified as "Reconsideration Text" with any new attachments also referenced. Once submitted, the appeal cannot be revised.

No additional fee is required.

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1014

1014 SW Harvey Milk  
Portland OR 97205

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NOT FOR CONSTRUCTION  
REFERENCE ONLY

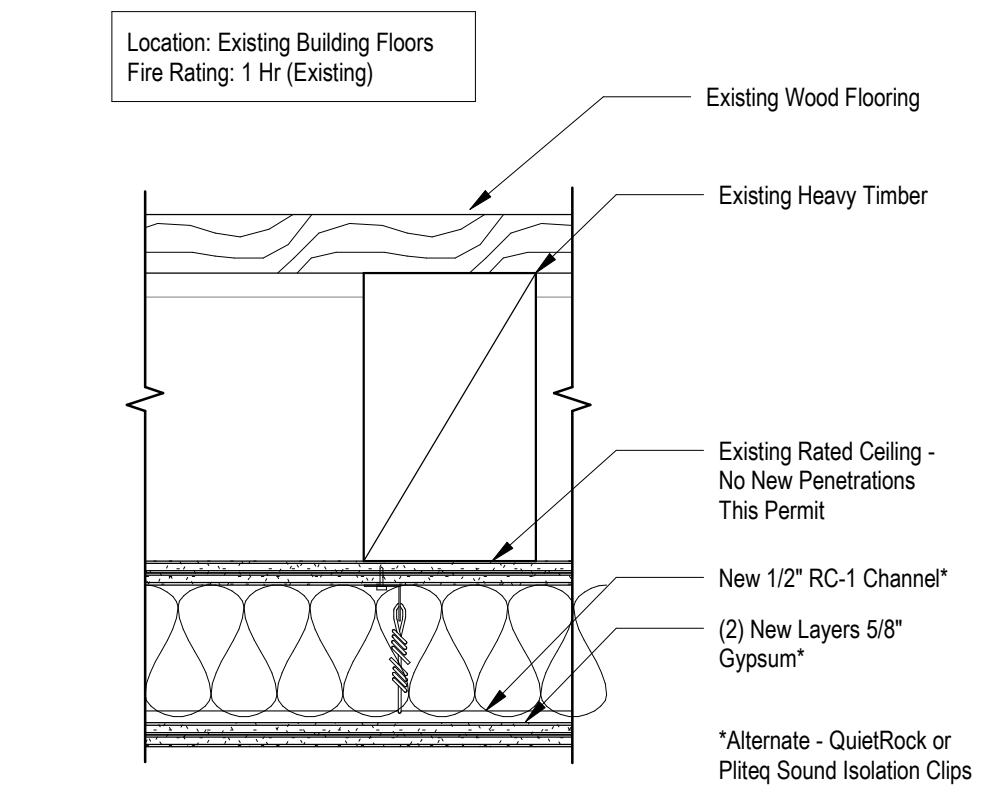
Issue Date

## Pre-Application

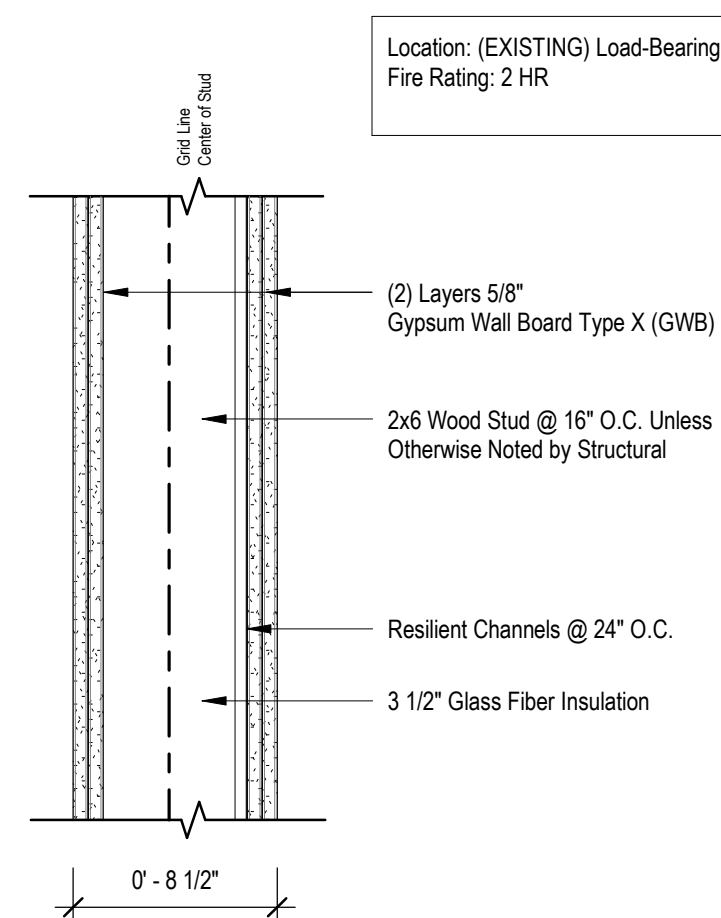
## ET ISSUE

## Overall Floor Plans

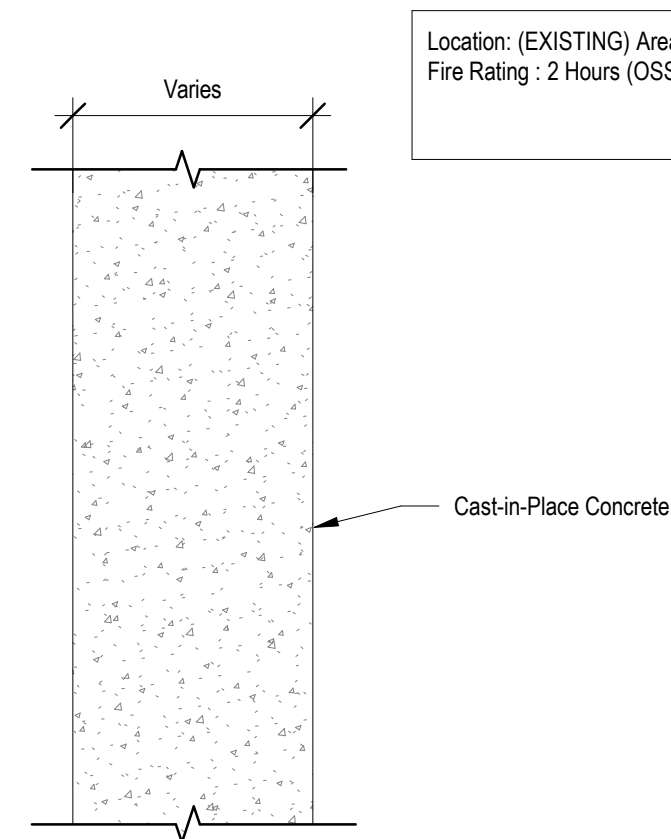
**a2.00**



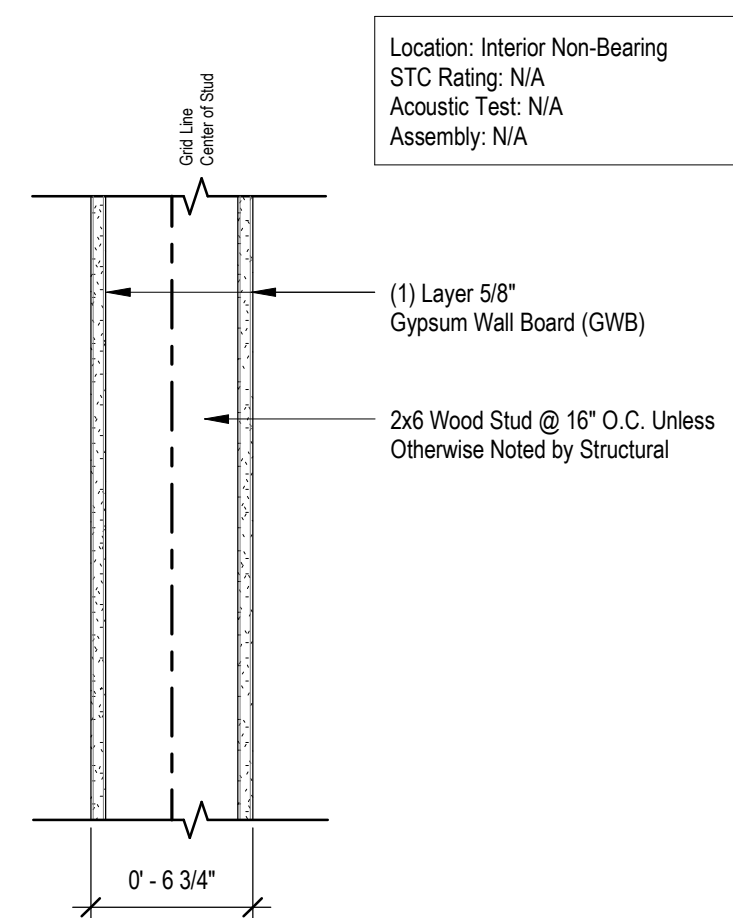
 Typical Exterior Soffit



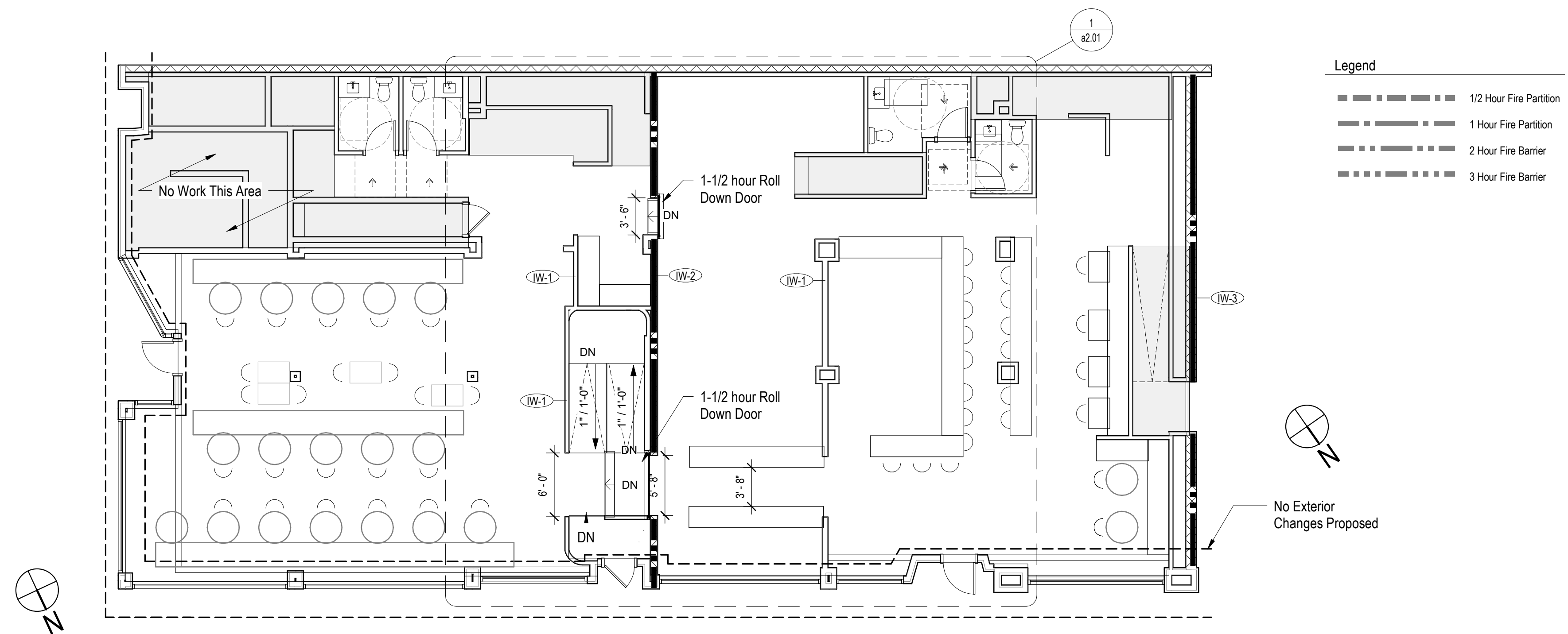
5 IW-3..  
1 1/2" = 1'-0"



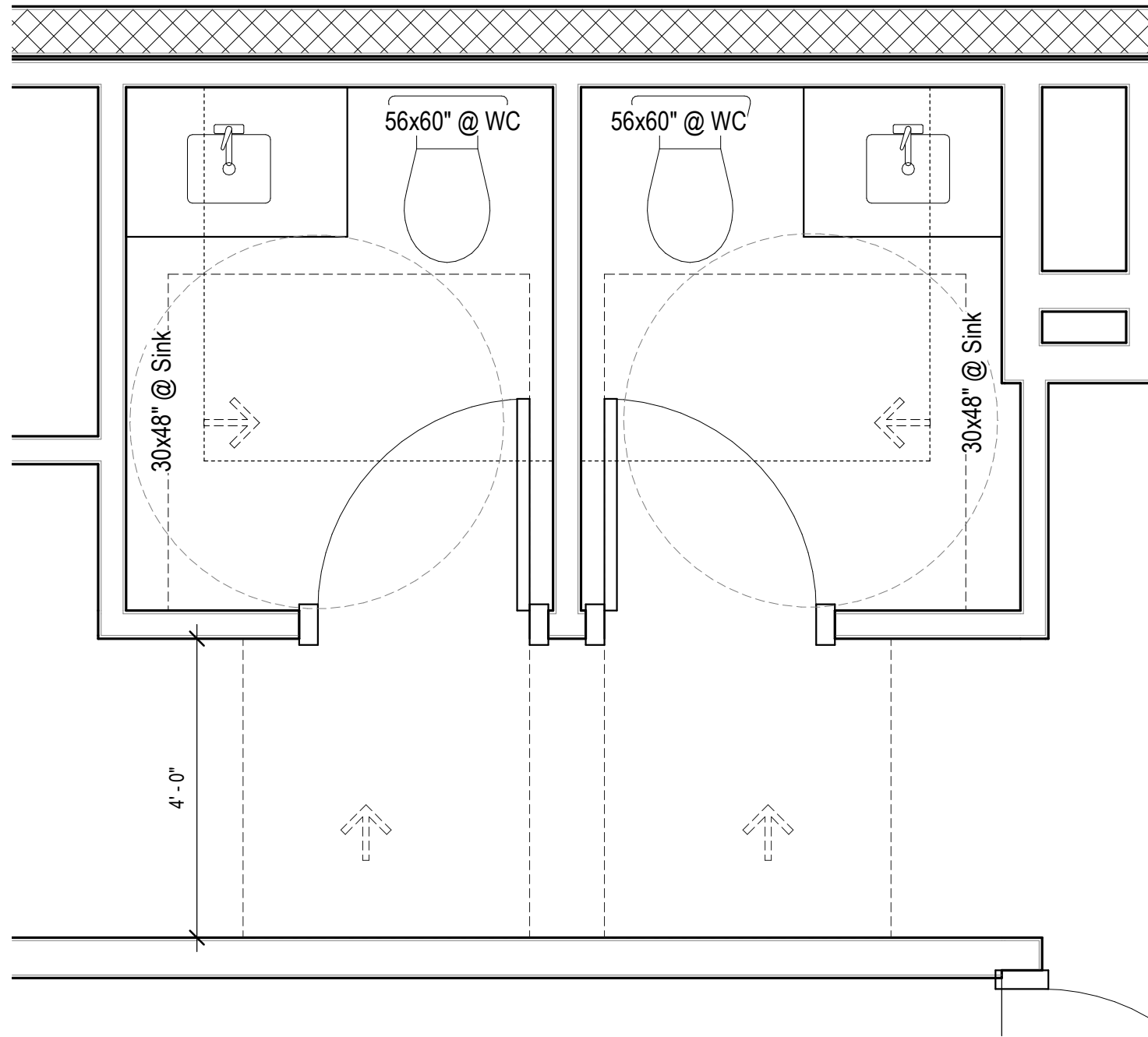
4 IW-2..  
1 1/2" = 1'-0"



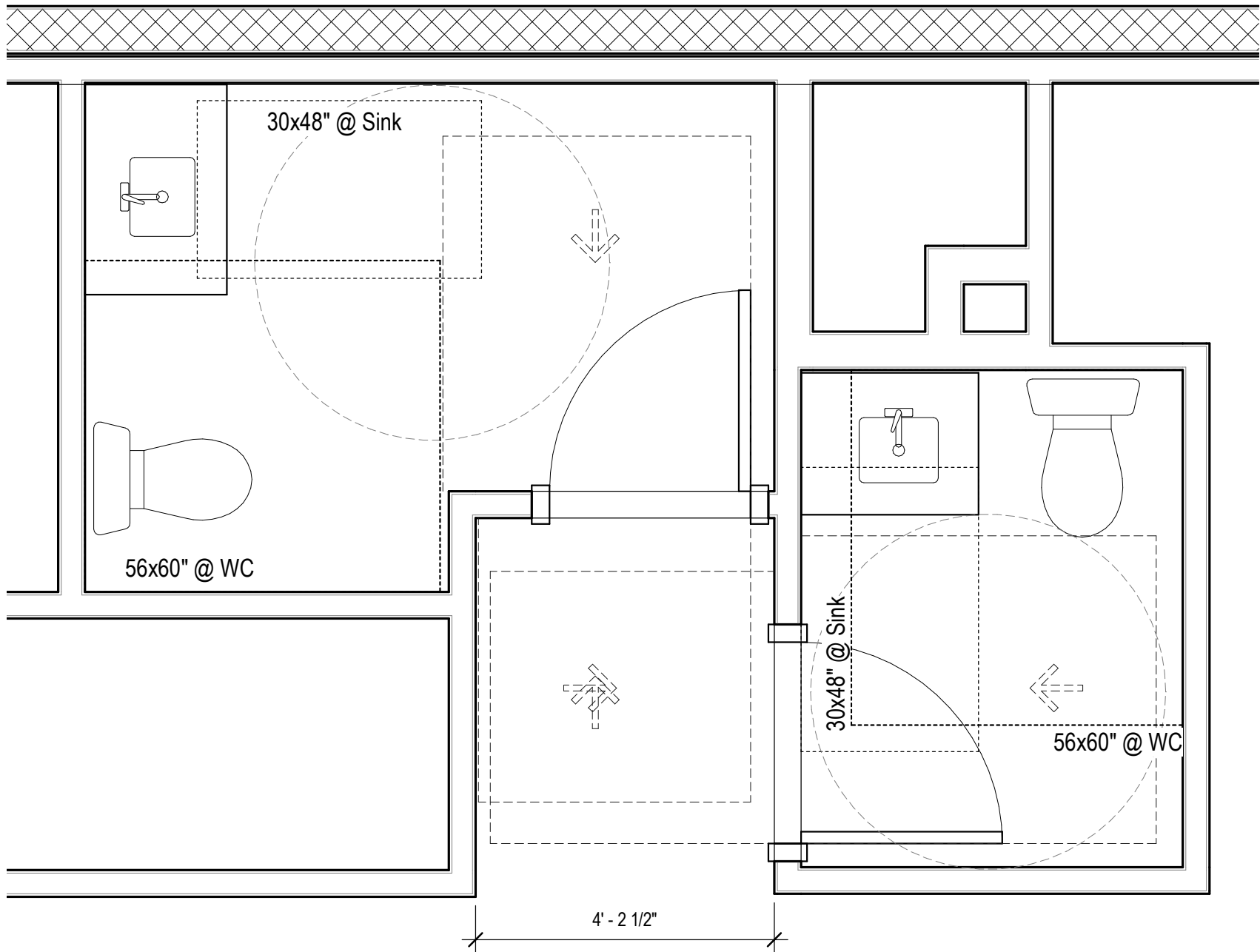
② IW-1  
1 1/2" = 1'-0"



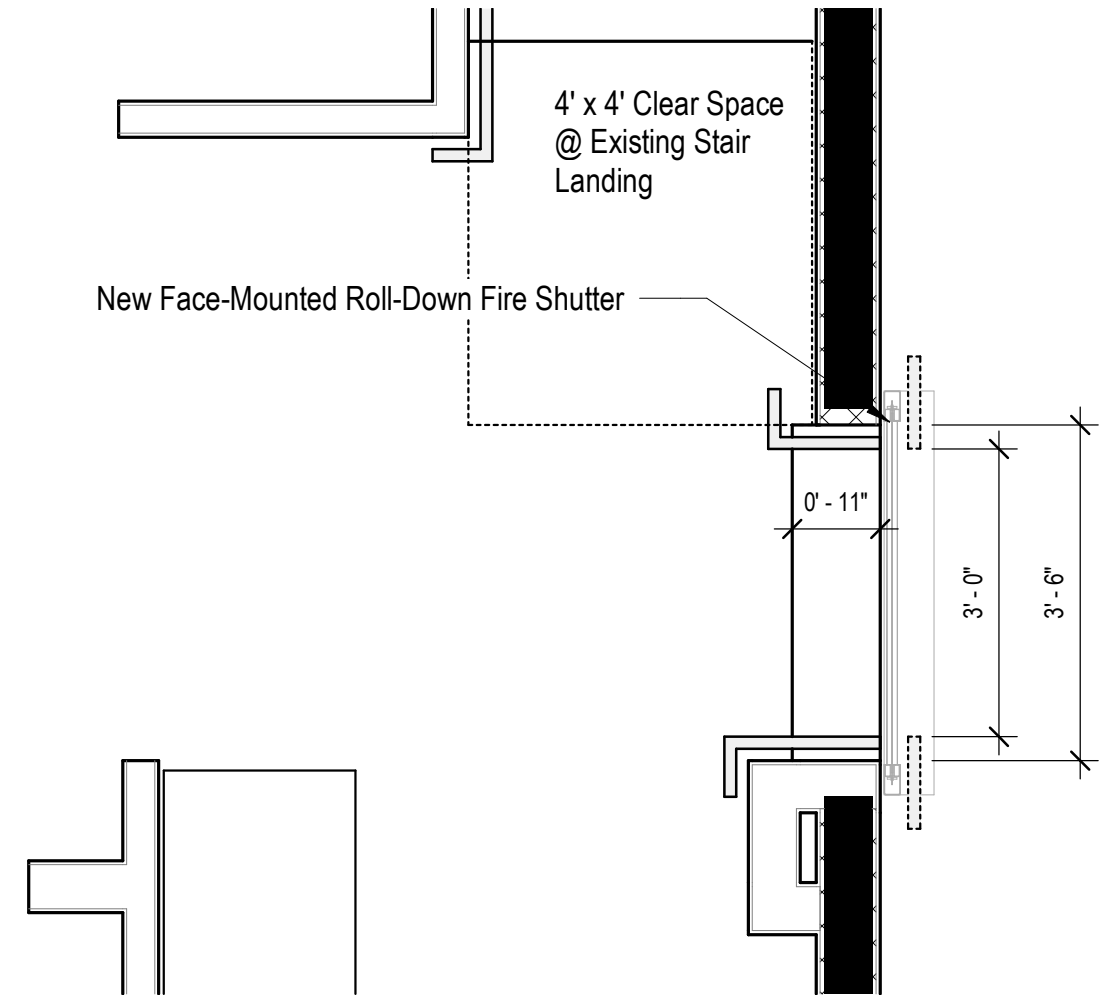
1 Level 01 Furniture Plan  
1/8" = 1'-0"



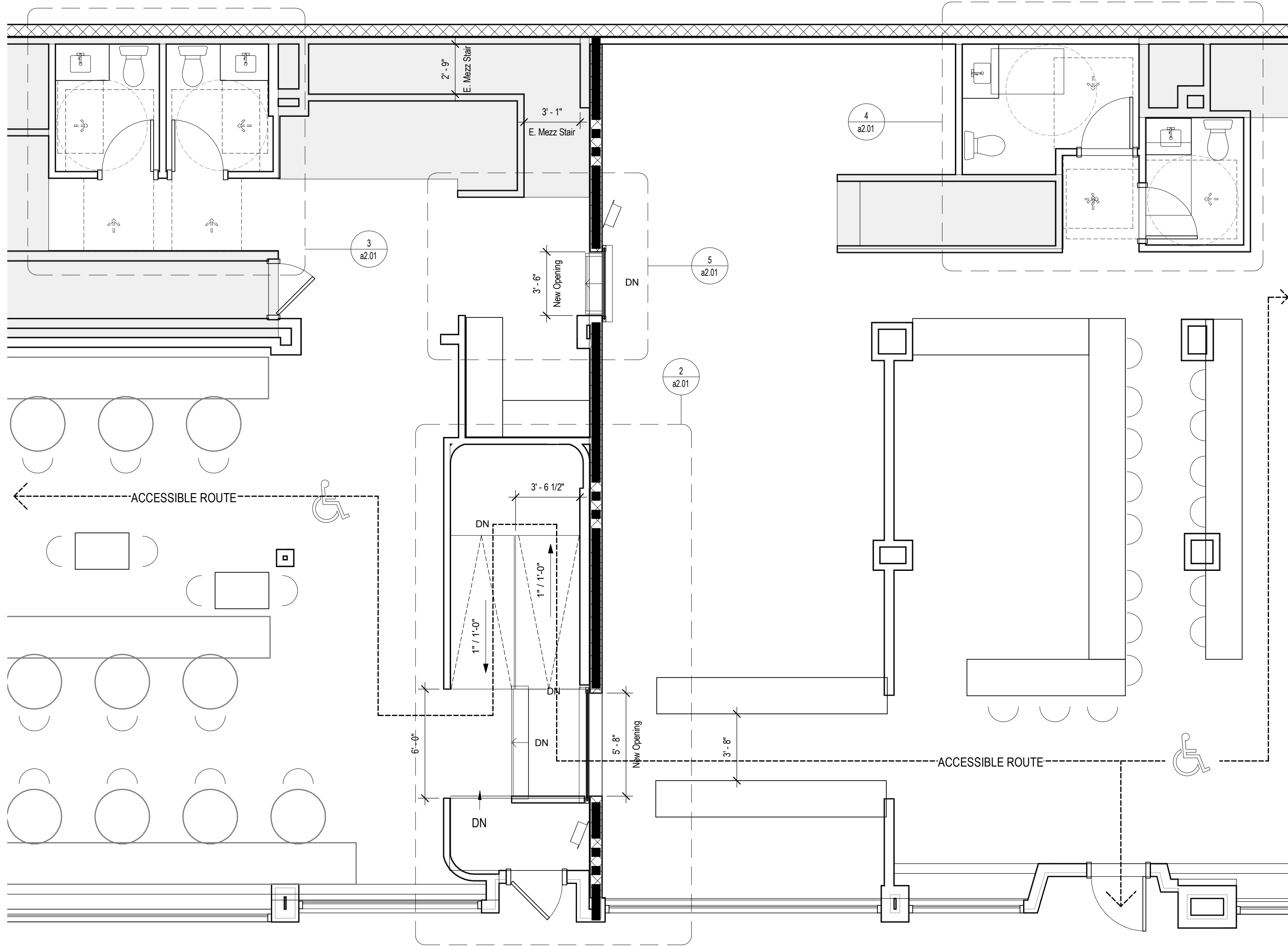
3 Level 01-BOH - Callout 1  
1/2" = 1'-0"



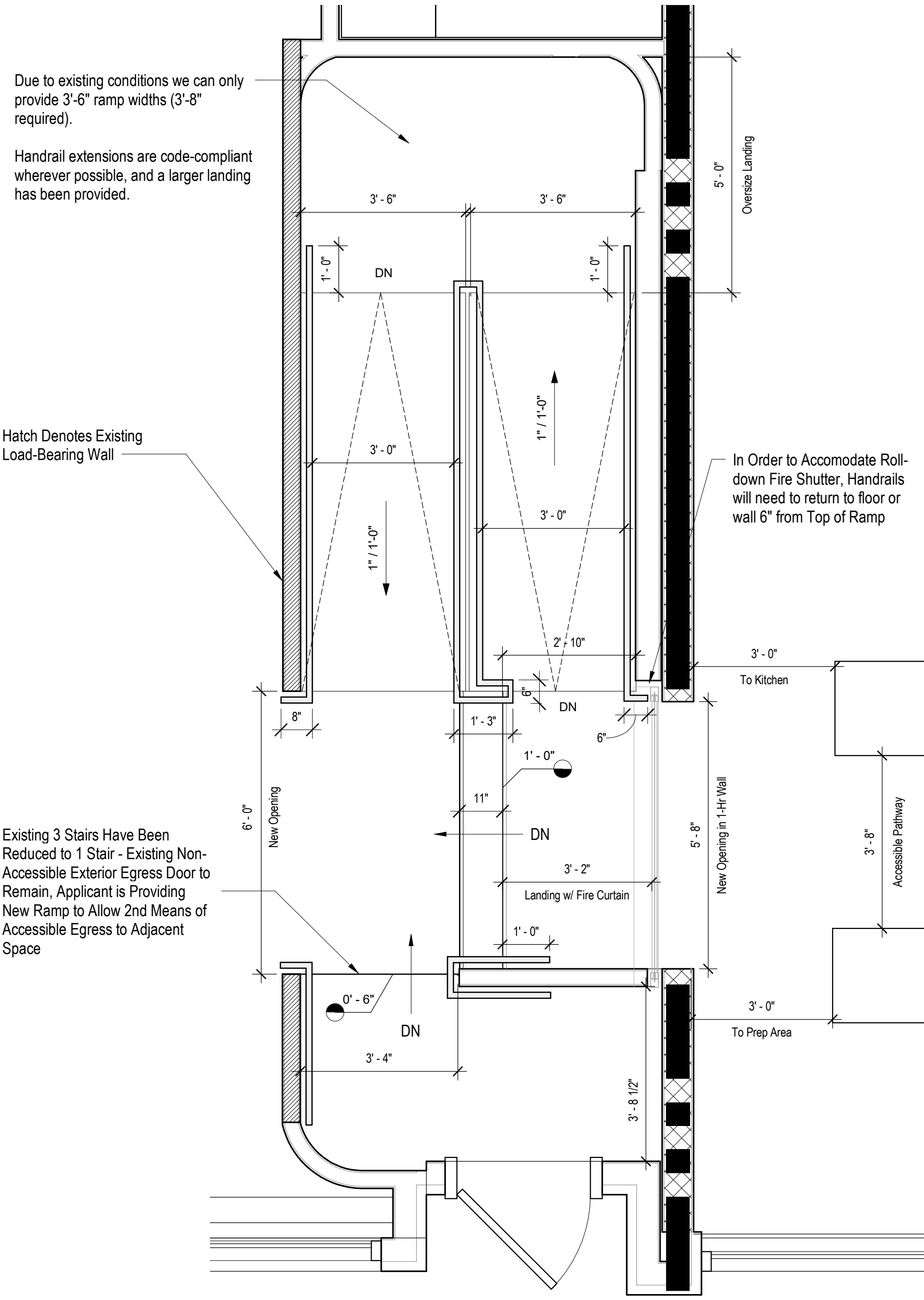
4 Level 01-BOH - Callout 2  
1/2" = 1'-0"



5 Level 01-BOH - Callout 3  
1/2" = 1'-0"



1 Level 01-BOH  
1/4" = 1'-0"



2 Level 01-Corridor  
1/2" = 1'-0"