

Development Services

From Concept to Construction

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APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 27504	Project Address: 2821 NE Davis St
Hearing Date: 2/16/22	Appellant Name: BRENDON FARRELL
Case No.: B-003	Appellant Phone: 503-235-5142
Appeal Type: Building	Plans Examiner/Inspector: Anne Schmidt
Project Type: commercial	Stories: 1 Occupancy: A Construction Type: V-B
Building/Business Name: GUERO	Fire Sprinklers: No
Appeal Involves: Erection of a new structure, Alteration of an existing structure, Addition to an existing structure, occ Change from S1 to A2 / S1	
LUR or Permit Application No.: 21-114606-CO	
Plan Submitted Option: pdf [File 1]	Proposed use: RESTAURANT

APPEAL INFORMATION SHEET

Appeal item 1

Code Section 1007.1

Requires 2019 OSSC – 1007.1.1 Two exits or exit access doorways
Where two exits, exit access doorways, exit access stairways or ramps, or any combination thereof, are required from any portion of the exit access, they shall be placed a distance apart equal to not less than one-half of the length of the maximum overall diagonal dimension of the building or area to be served measured in a straight line between them.

Code Modification or Alternate Requested Reduce exit distance separation requirement.

Proposed Design Occupant load and area to remain under threshold requiring sprinklers at an A2 Occupancy.
Total egress path distance is 85.5% (171'-2") of the allowed non-sprinkler egress path distance (200'-0")
Single exit is provided from the existing building to a new open air covered area and open air private court.
Two exits are provided from the open air private court.
Exit distance separation between the two exits is 34'-6".
First exit path from private court is open air to door at street with a 4 foot depth weather protection on street side.
Second exit path from private court is open air to an open air gate at street.
Doors are to remain unlocked when property is occupied.
Existing and new construction provides wall rating, door rating and parapets as required.
All egress paths are accessible with illumination as required.

Reason for alternative Required exit distance separation (53'-5 1/2") is not possible along the (50'-0") street property line.

The open air covered and open air private court provide an added level of fire and life safety protection.

The open air egress paths to exit provide an added level of fire and life safety protection.

A continuous open air egress path from private court to one exit provides an added level of fire and life safety protection.

Planning / Design Standards require a 4 foot minimum depth weather protection at entrance.

Open air exit at this location not possible per requirement of weather protection at entrance.

The open air court and egress paths to street exits with the proposed distance separation provide an equivalent level of fire or life safety to the code required exit distance separation.

Appeal item 2

Code Section	1013.1
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Requires	2019 OSSC – EXIT SIGNS 1013.1 Where required Exception # 2. Main exterior exit doors or gates that are obviously and clearly identifiable as exits need not have exit signs where approved by building official.
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Code Modification or Alternate Requested	Approve exception #2 at the main exterior exit door to street.
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Proposed Design	Two exits are provided from the open air private court. First exit path from private court is open air to main exterior door at street. Second exit path from private court is open air to an open air gate at street. Exit sign with direction provided on second exit path from private court to open air gate at street. Doors are to remain unlocked when property is occupied. Existing and new construction provides wall rating, door rating and parapets as required. All egress paths are accessible with illumination as required.
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Reason for alternative	Main exterior door from private court to street is obviously and clearly identifiable as an exit.
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APPEAL DECISION

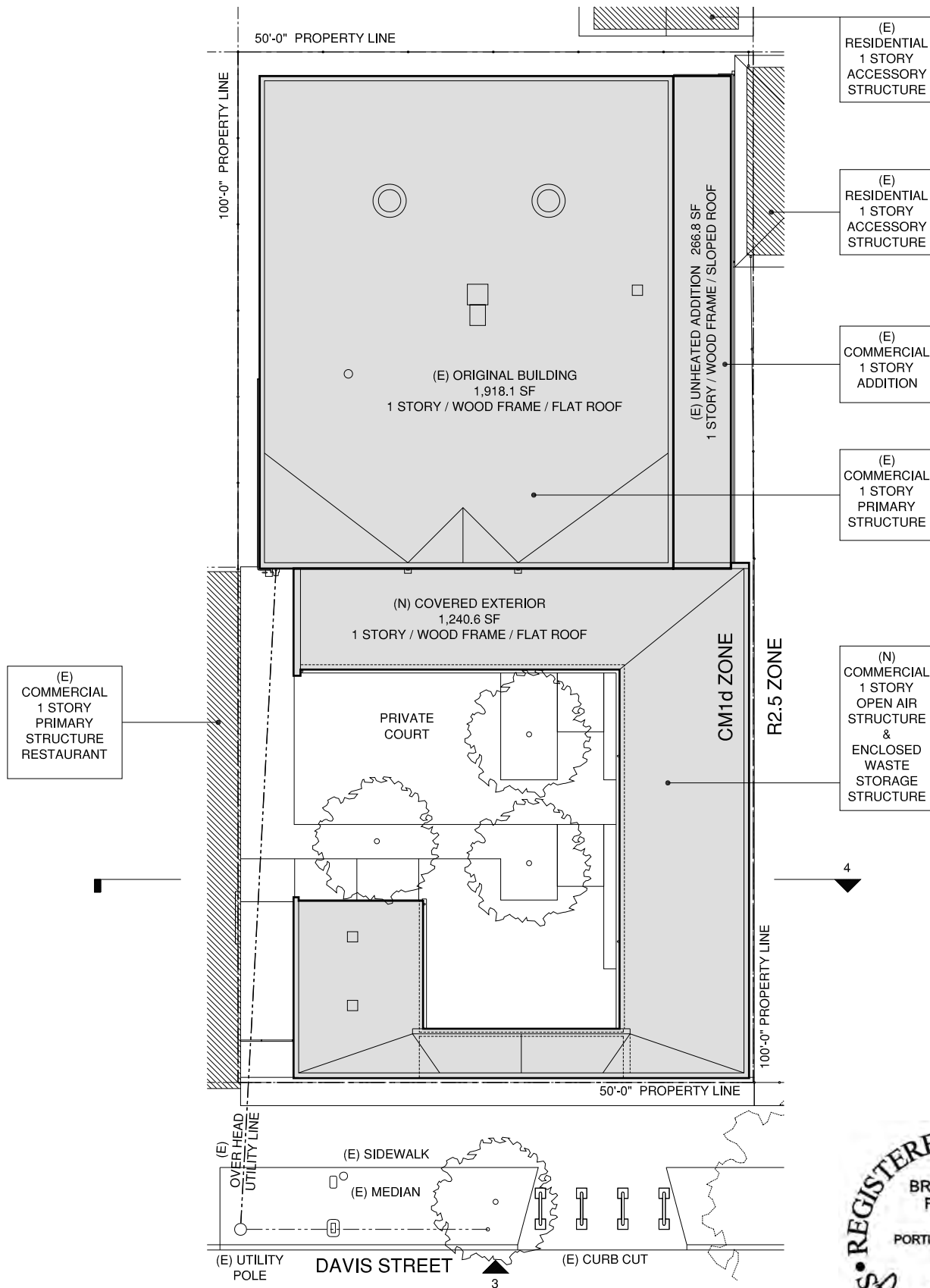
1. Reduction in exit separation distance from 58 feet six inches to 34 feet six inches: Granted provided the occupant load and omission from sprinkler requirements are verified at time of Life Safety plan review and provided exit signage is posted on the North wall of the Waste Storage structure near the West corner in addition to exit signage at the gate discharge.

2. Omission of exit signage at the main exterior exit door to street: Granted as proposed.

Appellant may contact John Butler (503 865-6427) or e-mail at John.Butler@portlandoregon.gov with questions.

The Administrative Appeal Board finds with the conditions noted, that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.



1 BUILDING TYPE & AREA / SITE PLAN DIAGRAM
SCALE AS NOTED



brendon farrell architecture & design

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BUILDING CODE APPEAL

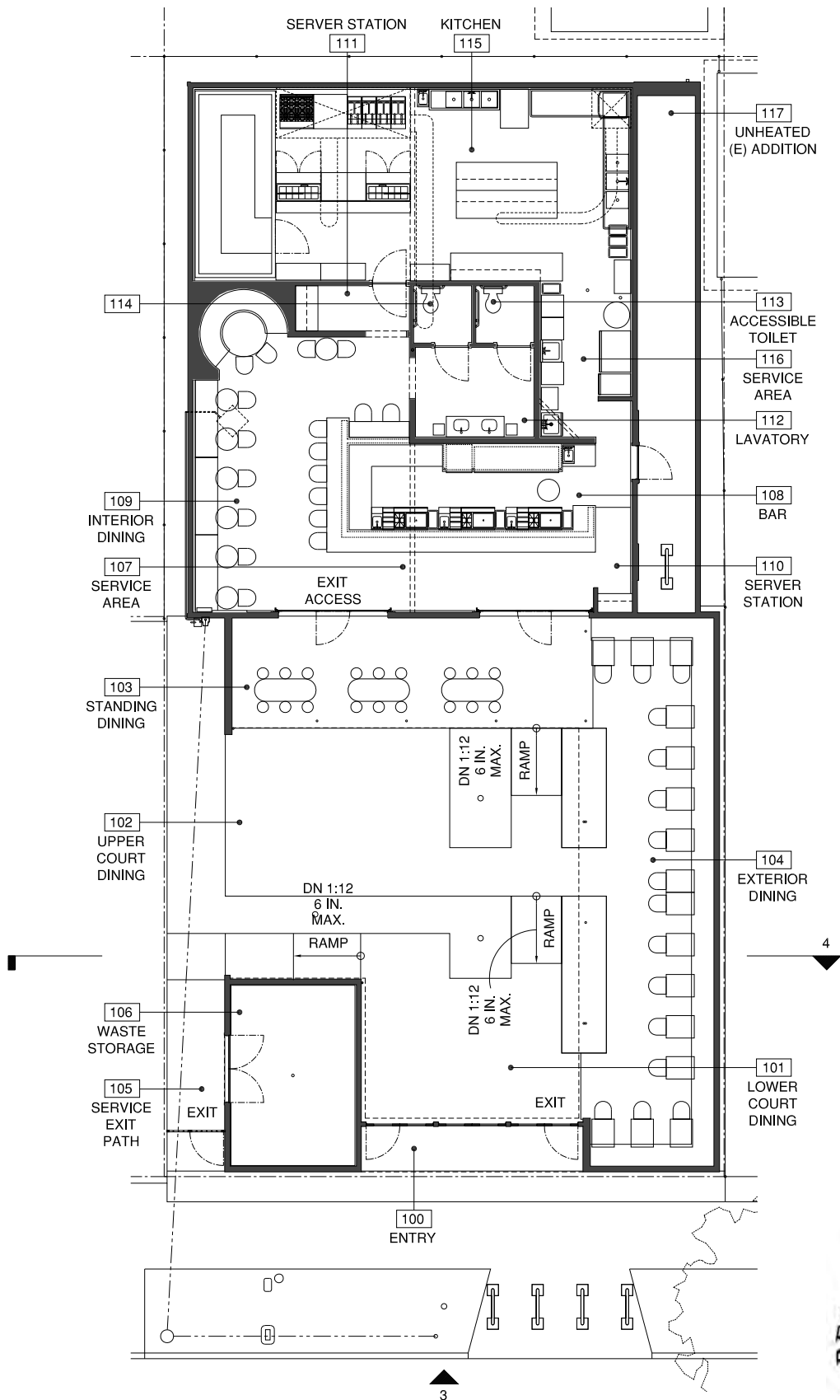
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2022 - 0203

2821 NE DAVIS ST.

PERMIT # 21-114606 CO



2 FLOOR PLAN DIAGRAM
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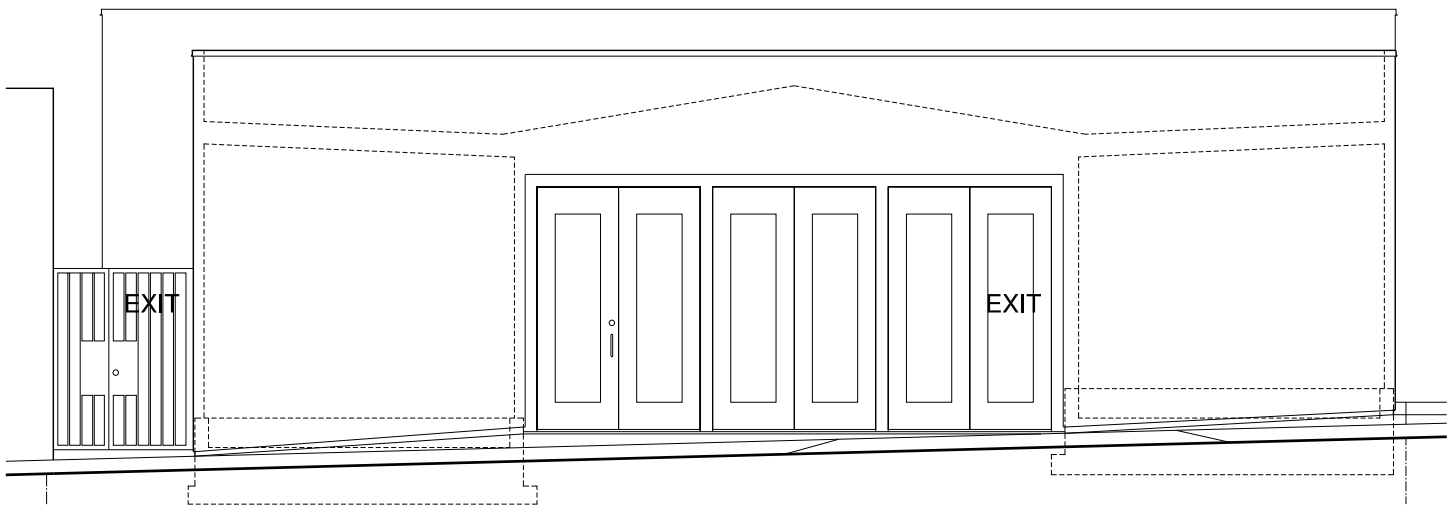
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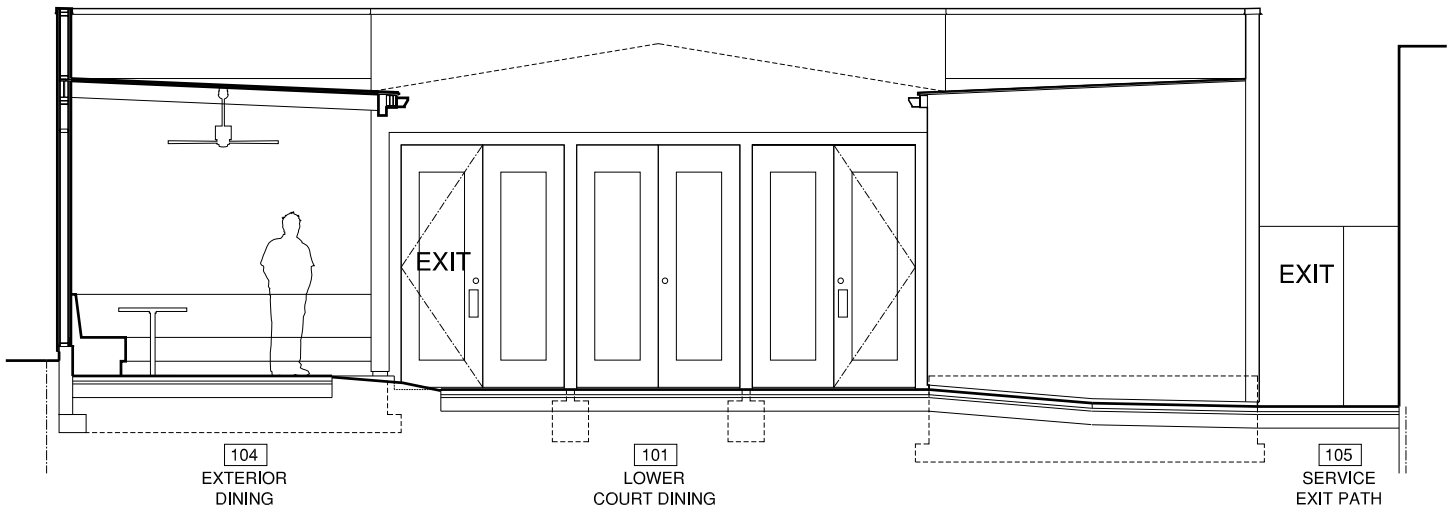
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3 ELEVATION - DAVIS STREET

SCALE AS NOTED



4 EAST / WEST SECTION - VIEW SOUTH

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FIRE AREA, RATING & EXIT NOTE

EXIT ACCESS LOCATION ORIGINAL BUILDING

- 1 EXIT ACCESS REQUIRED OCCUPANT LOAD < 50.
- 1 EXIT ACCESS PROVIDED.

EXIT LOCATION - EXTERIOR

- 2 EXIT REQUIRED WITH OCCUPANT LOAD > 49
- EXIT SEPARATION REQUIRED AT 1/2 DIAGONAL DIMENSION OF AREA SERVED
- 2 EXIT PROVIDED WITH REDUCED SEPARATION
- EXIT ACCESS RAMP LOCATION NOT WITHIN SETBACK

FIRE AREA



ORIGINAL BUILDING, EXISTING ADDITION AND NEW COVERED EXTERIOR ARE CALCULATED AS SINGLE FIRE AREA.
SPRINKLERS REQUIRED AT 5,000 SF OR GREATER WITH 100 OR MORE OCCUPANTS.

$1,918.1 + 266.8 + 1,240.6 = 3,425.5$ SF FIRE AREA

- 3,425.5 SF (FIRE AREA) < 5,000 SF
- 99 OCCUPANT (48+51) < 100

FIRE RESISTANCE RATING

- 0 HR. RATING REQUIRED TYPE VB BUILDING ELEMENTS
- 1 HR. RATING INTERIOR & EXTERIOR REQUIRED WHERE $X < 5$ FT.
- 1 HR. RATING INTERIOR & EXTERIOR REQUIRED WHERE 5 FT. $\leq X \leq 10$ FT.

- 1 HR. RATING PROVIDED WHERE REQUIRED. SEE PLAN DIAGRAM.

3/4 HR. DOOR ASSEMBLY REQUIRED AT 1 HR. WALL

- 3/4 HR. DOOR ASSEMBLY PROVIDED WHERE REQUIRED. SEE PLAN DIAGRAM.

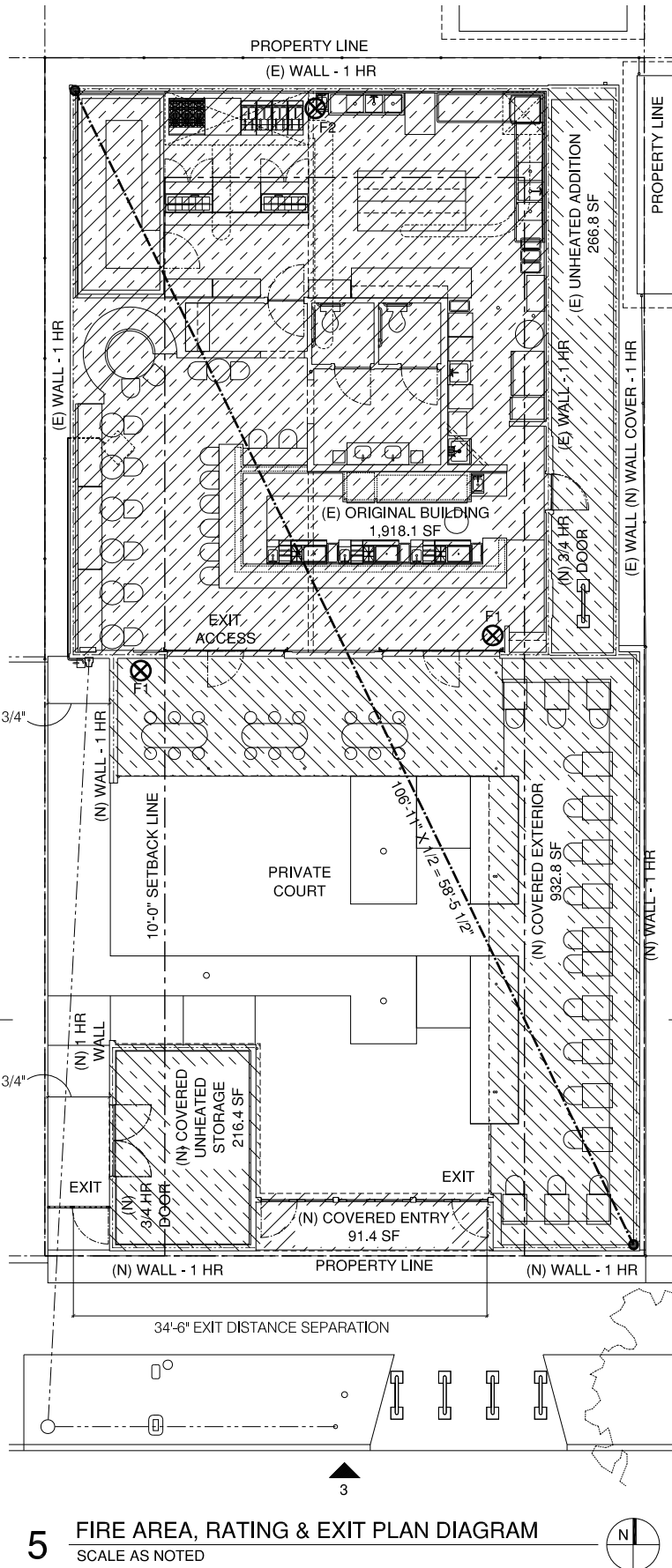
1 HR. PARAPET 30 IN. ABOVE ROOF W/ NON-COMBUSTIBLE FACING AT UPPERMOST 18 IN. INCLUDING COPING REQUIRED AND PROVIDED EXCEPT AS NOTED BELOW:

PARAPET EXCEPTION:
NOT REQUIRED WHERE BUILDING HAS AN AREA < 1,000 SF.

- PARAPET AT EXISTING UNHEATED ADDITION NOT REQUIRED.

NOT REQUIRED WHERE WALL RATING TERMINATES AT ROOF SHEATHING.

- ROOF IS 1 HR RATED, OPENINGS ARE NOT LESS THAN 10 FT. FROM RATED WALL AND ENTIRE ROOF IS CLASS B COVER.
- PARAPET AT EXISTING ORIGINAL BUILDING NOT REQUIRED.



5 FIRE AREA, RATING & EXIT PLAN DIAGRAM

SCALE AS NOTED

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