



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
FROM CONCEPT TO CONSTRUCTION

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**FINAL FINDINGS AND DECISION BY THE DESIGN  
COMMISSION RENDERED ON December 1, 2022**

**CASE FILE NUMBER: LU 22-122430 DZ**  
**PC # 20-131607**  
**The Slate Building Parking Cap**

**BUREAU OF DEVELOPMENT SERVICES STAFF:** Tim Heron 503-823-7726 /  
[Tim.Heron@portlandoregon.gov](mailto:Tim.Heron@portlandoregon.gov)

The Design Commission has **approved** a proposal in your neighborhood. This document is only a summary of the decision. The reasons for the decision, including the written response to the approval criteria and to public comments received on this application, are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

**GENERAL INFORMATION**

**Applicant:** Jessamyn Griffin, Works Progress Architecture,  
[jessamyn@worksarchitecture.net](mailto:jessamyn@worksarchitecture.net)  
811 SE Stark St, #210  
Portland OR 97214

**Owner:** Block 75 LLC  
116 NE 6th Ave #400  
Portland, OR 97232-3529

**Owners Agent:** Sarah Zahn and Ann Jaworski, Urban Development + Partners  
116 NE 6th Ave, Ste 400  
Portland, OR 97232

**Site Address:** 321 NE COUCH CT

**Legal Description:** BLOCK 75 LOT 1&2 TL 3000, EAST PORTLAND; BLOCK 75 LOT 2-6 TL 2900, EAST PORTLAND

**Tax Account No.:** R226504950, R226504970

**State ID No.:** 1N1E34DA 03000, 1N1E34DA 02900

**Quarter Section:** 3030

**Neighborhood:** Kerns, contact Jesse Lopez at [yosoyjay@gmail.com](mailto:yosoyjay@gmail.com)

**Business District:** Central Eastside Industrial Council, contact [ceic@ceic.cc](mailto:ceic@ceic.cc).

**District Coalition:** Southeast Uplift, contact Matchu Williams at [matchu@seuplift.org](mailto:matchu@seuplift.org)

**Plan District:** Central City - Central Eastside

**Zoning:** EXd, Central Employment with design overlay  
**Case Type:** DZ, Design Review  
**Procedure:** Type III, with a public hearing before the Design Commission. The decision of the Design Commission can be appealed to City Council.

**Proposal:**

The Slate Building is on Block 75, a full city block located at the east end of the Burnside Bridge adjacent to the Couch Couplet; between NE Martin Luther King Jr Blvd (MLK), NE Third Avenue, NE Couch Street and NE Davis Street.

The existing Slate building occupies the southern half of Block 75, including an open plaza to the north that provides east/west pedestrian access through the block from MLK to NE 3<sup>rd</sup> Avenue. Directly north of the plaza, a mid-block driveway/open ramp is located off of NE 3<sup>rd</sup> Avenue, providing access to the sub grade parking garage where loading, vehicle and bike parking for the existing building are located.

The existing ramp was built in conjunction with the Slate building at 321 NE Couch Court, approved by the Portland Design Commission August 21, 2014 [LU 14-163479 DZM] with Conditions. A full enclosure/cover of the ramp was purposefully excluded at the time, as future Phase 2 developments for the property directly to the north (assuming shared driveway access and/or possible cover of the ramp via the future building) were planned.

As such, this specific Condition of Approval was applied:

- The driveway cap must be constructed within 3 years of the issuance of a Certificate of Occupancy for Block 75 phase 1, unless construction of phase 2 has begun.

With completion of Slate on January 10, 2017, and Phase 2 development put on hold, the ramp cap design was re-engaged and reviewed via a follow up Early Assistance appointment in June of 2020 (EA 20-131607) which determined that if a permanent solution is desired, a more robust response to the Approval Criteria would be necessary.

The currently proposed revised design for the cap enclosure includes:

- Maintaining existing property line/lots.
- Stucco clad CMU walls along the north and south facade of the ramp, to replicate patterning of Block 75 Slate's panelized facade.
- Trellis and vine application at select panels on the south facade, to further soften the courtyard experience.
- Custom mural application [Title 4 – Original Art Mural] at the south facade to further engage the pedestrian experience from the courtyard and right of way.
- Faceted framed entry to the garage to match Block 75 Slate's framed elements.

The design also proposes two options:

- Option 1: provide a metal open truss roof structure and high-speed garage door; or
- Option 2: provide a wood trellis roof structure with no garage door.

Because the proposal is for exterior alterations to an existing building and an unmet Condition of Approval, Design Review is required.

**Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33, (Portland Zoning Code). The applicable approval criteria are:

- [Central City Fundamental Design Guidelines](#)



- [Special Design Guidelines for the Design Zone of the Central Eastside District of the Central City Plan](#)

## ANALYSIS

**Site and Vicinity:** Block 75 is located north of the Burnside Bridge and is bounded by NE Martin Luther King Boulevard to the east, NE Couch Street/future Court to the south, NE 3<sup>rd</sup> Avenue to the west, and NE Davis Street to the north. The proposal occupies the three-quarters of the block previously occupied by the Ararat bakery and restaurant building, which was demolished in 2008. The existing Union Arms apartment building, three stories tall and constructed in 1908, occupies the northeast quarter of the block. The rehabilitated Convention Plaza building – now called the Eastside Exchange – is located across NE 3<sup>rd</sup> Avenue from the subject site. The Couch Street Pedestrian Plaza, which abuts the Eastside Exchange building to the south, was also recently completed as part of the overall Eastside Exchange project. The Eastside Exchange building, whose historic name is the “Ira F. Powers Warehouse and Factory,” was listed in 2011 as a Historic Landmark on the National Register of Historic Places.

**Zoning:** The Central Employment (EX) base zone allows mixed uses and is intended for areas in the center of the City that have predominantly industrial-type development. The intent of the zone is to allow industrial and commercial uses that need a central location. Residential uses are allowed, but are not intended to predominate or set development standards for other uses in the area.

The Design Overlay Zone [d] promotes the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. This is achieved through the creation of design districts and applying the Design Overlay Zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. In addition, design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

The Central City Plan District implements the Central City Plan and other plans applicable to the downtown area. These other plans include the Downtown Plan, the River District Plan, the University District Plan, and the Central City Transportation Management Plan. The Central City plan district implements portions of these plans by adding code provisions that address special circumstances existing in the Central City area. The site is within the Central Eastside Subdistrict of the Central City Plan District.

**Land Use History:** City records indicate that prior land use reviews include:

- **LU 06-103735 ZC** – Approval of a Zoning Map Amendment to change the base zoning from General Industrial 1 (IG1) to Central Employment (EX) and to add the Design (d) overlay zone, for approximately 2.94 acres that include Blocks 67 and 68 and the western half of Blocks 75 and 76.
- **LU 14-163479 DZM** – Design Commission Approval for a new 10-story mixed-use building at Block 75 – The Slate Apartments; 131,158 square feet in area (148,997 square feet in area including the below-grade parking), 104'-4" tall; with 40 below-grade parking stalls and two below-grade loading spaces, ground-floor retail space, about 32,000 square feet of office space, and 75 housing units; with an east-west pedestrian path along the north edge of the building.

***Subject to this Land Use Review is Condition D:***

***D. The driveway cap must be constructed within 3 years of the issuance of a Certificate of Occupancy for Block 75 phase 1, unless construction of phase 2 has begun.***

**Agency Review:** A “Notice of proposal in Your Neighborhood” was mailed **November 10, 2022**. The following Bureaus have responded with no issue or concerns:

- Bureau of Environmental Services, Exhibit E1.
- The Bureau of Transportation Engineering, Exhibit E2.

**Neighborhood Review:** A Notice of Proposal in Your Neighborhood was mailed on **November 10, 2022**. One written response has been received from either the Neighborhood Association or notified property owners in response to the proposal.

- Jade Simms & Monica Ninh, business owners in the Slate Building, expressed concern for construction scheduling and business impacts.

*Staff Response: As concerns are unrelated to the approval criteria subject this review, Staff recommends working with the property owner Urban Development + Partners regarding construction staging and timing to minimize business disruption.*

## **ZONING CODE APPROVAL CRITERIA**

### **(1) DESIGN REVIEW (33.825)**

#### **33.825.010 Purpose**

Design Review ensures:

- That development conserves and enhances the recognized special design values of a site or area;
- The conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district;
- That certain types of infill development will be compatible with the neighborhood and enhance the area; and
- High design quality of public and private projects.

#### **33.825.055 Design Review Approval Criteria**

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

It is important to emphasize that design review goes beyond minimal design standards and is viewed as an opportunity for applicants to propose new and innovative designs. The design guidelines are not intended to be inflexible requirements. Their mission is to aid project designers in understanding the principal expectations of the city concerning urban design.

The review body conducting design review may waive individual guidelines for specific projects should they find that one or more fundamental design guidelines is not applicable to the circumstances of the particular project being reviewed.

The review body may also address aspects of a project design which are not covered in the guidelines where the review body finds that such action is necessary to better achieve the goals and objectives of design review in the Central City.

**Findings:** The site is designated with design overlay zoning (d). Therefore, the proposal requires Design Review approval. Because the site is within the Central Eastside Subdistrict of the Central City Plan District, the applicable approval criteria are [Central City Fundamental Design Guidelines](#) and the [Special Design Guidelines for the Design Zone of the Central Eastside District of the Central City Plan](#).

*Staff has addressed the applicable design guidelines organized by Tenet: Context, Public Realm, and Quality and Permanence.*

## **CONTEXT**

**A1 INTEGRATE THE RIVER** - Orient architectural and landscape elements including lobbies, entries, balconies, terraces and outdoor areas to the Willamette River and Greenway.

**A2 EMPHASIZE PORTLAND THEMES** - When provided, integrate Portland-related themes with the development's overall design concept.

**A2-1 RECOGNIZE TRANSPORTATION MODES, PRODUCE, AND COMMERCE AS PRIMARY THEMES OF EAST PORTLAND** - Recognize and incorporate East Portland Themes into a project design when appropriate.

**A3 RESPECT THE PORTLAND BLOCK STRUCTURES** - Maintain and extent the traditional 200-foot block pattern to preserve the Central City's ratio of open space to built space.

**A5 ENHANCE, EMBELLISH, AND IDENTIFY AREAS** - Enhance an area by reflecting the local character within the right of way. Embellish and area by integrating elements in new development that build on the area's character. Identify an area's special features or qualities by integrating them into new development.

**A6 REUSE/ REHABILITATE/ RESTORE BUILDINGS** - Where practical, reuse, rehabilitate and restore buildings and/or elements.

**C1 ENHANCE VIEW OPPORTUNITIES** - Orient windows, entrances, balconies and other building elements to surrounding points of interest and activity. Size and place new buildings to protect the existing views and view corridors. Develop building facades to create visual connections to adjacent public spaces.

**C1-1 INTEGRATE PARKING** - Integrate parking in a manner that is attractive and complementary to the site and its surroundings. Design parking garage exteriors to visually respect and integrate with adjacent buildings and environment.

## **C4 COMPLEMENT THE CONTEXT OF EXISTING BUILDINGS**

*Compliment the context of existing buildings by using and adding to the local design vocabulary.*

**Findings:** The site is located approximately three blocks east of the Willamette River. There is significant grade change, State and City infrastructure between the site and the river including the Union Pacific Railroad line, Interstate 5 and Interstate 84. Pedestrian access to the river is located at the nearby Eastbank Esplanade access point off the east end of the Burnside Bridge. The existing garage ramp access is to be maintained mid-block off NE 3rd Avenue, taking advantage of the vehicular & freight movement on the street. Parking and parking access to remain with parking located at the basement level below grade.

A through-block plaza connection is being maintained as open space for the existing development to the south, in addition to maintaining light and air for the existing Union Arms apartment building on the NE quadrant. Additionally, the existing landscaping along the north side of the ramp will be maintained, providing screening from the adjacent areas.

The proposed Parking Ramp Cap is integrated into the existing garage entry in all ways possible, maintaining the same footprint and reusing retaining walls. All three visible facades are designed to provide visual connections to the existing surroundings. The entry is framed in the same faceted expression as Block 75 Slate's window framed views. The structure's height is proposed to provide a minimum necessary 10' tall garage opening for proper clearance and meet the Zoning Code for loading access, while also maximizing view opportunities over the roof from the upper courtyard in the plaza towards downtown. Both the north and south

facades will be clad in dark stucco, with patterned reveals to reference The Slate's north facade. The south facade will include new planters and landscaping to complement the existing courtyard. Additionally, a Title 4 Original Art Mural will be painted along the south face of the new structure to further enhance the overall design and pedestrian engagement in the plaza.

As discussed in the Design Commission Hearing, the intent of the Condition of Approval D per LU 14-163479 DZM was to provide a permanent solution to the parking cap by 2017 should a new development not be realized to fully cover this otherwise exposed suburban parking access typology. Other options explored but were ultimately not proposed for a variety of reasons, were an ecoroof to fully cover the parking cap or a combination rooftop patio and stormwater garden deck to better utilize this space for the site. These designs would also have better met the Design Guideline approval criteria. But, as a potential for future build out over this parking may still be viable, Design Commission agreed these two other options [ecoroof and/ or rooftop deck and stormwater garden] would likely inhibit that potential due the investment to install either of these two concepts.

Visual interest for the "cap" of the proposed parking ramp enclosure above was then proposed as two design options:

Option 1 – dynamic metal truss cap. This option provides a dynamic metal truss cap, offering a sculptural element and enhanced engagement from the upper courtyard as well as maintaining views over the ramp cap structure. This option resolves a successful and interesting solution to the roofscape that is visible from the adjacent ROW and plaza, and best completes the intent of the 2014 Condition of Approval to literally cap the exposed parking and loading access ramp.

However, as the cap does not fully enclose the full width of the parking ramp to the below grade parking garage as required by the original Condition of Approval D per LU 14-163479 DZM, a Condition of Approval of this review will require the continuation of the dynamic metal truss cap to fully cover the below grade parking ramp. With this Condition, Option 1 meets the relevant design guideline approval criteria.

Option 2 – wood trellis cap. This option proposes a simple wood trellis and a flattened rooftop expression across the top of the parking ramp cap. As discussed in the Design Commission hearing, the wood material was determined to not meet quality and permanence related design guidelines, and a metal material for this rooftop cap would better meet these approval criteria. However, a simplified metal trellis design was considered by the Design Commission as appropriate and complimentary to the simple one-story garage architecture. Therefore, a revised Condition of approval will require Option 2 to include a metal trellis material in lieu of wood, as well as require the continuation of the metal trellis cap to fully cover the below grade parking ramp. With this Condition, Option 2 meets the relevant design guideline approval criteria.

As discussed at the Design Commission Hearing, the wood material of Option 2 would not meet Quality and Permanence related Design Guidelines compared with metal. Therefore, Option 1 - dynamic metal truss and modified Option 2 – with a simplified metal trellis, not wood, would meet the approval criteria.

*With the Condition of Approval that the Option 1A/B - dynamic metal truss cap to fully cover the below grade parking ramp or modified Option 2 - simplified metal trellis cap fully cover the below grade parking ramp, both Option 1A/B and modified Option 2 meets these design guidelines.*

## **PUBLIC REALM**

**A4 USE UNIFYING ELEMENTS** - *Integrate unifying elements and/or develop new features that help unify and connect individual buildings and different areas.*

**A7 ESTABLISH & MAINTAIN A SENSE OF URBAN ENCLOSURE** - *Define public rights of way by creating and maintaining a sense of urban enclosure.*

**A7-1 MAINTAIN A SENSE OF URBAN ENCLOSURE WHEN SINGLE-STORY BUILDINGS ARE SET BACK** - *Maintain a sense of urban enclosure, through the use of landscaping and other means, when single story buildings are set back from the property line.*

**A8 CONTRIBUTE TO A VIBRANT STREETScape** - *Integrate building setbacks with adjacent sidewalks to increase the space for potential public use. Develop visual and physical connections into buildings' active interior spaces from adjacent sidewalks. Use architectural elements such as atriums, grand entries and large ground-level windows to reveal important interior spaces and activities.*

**B1 REINFORCE AND ENHANCE THE PEDESTRIAN SYSTEM** - *Maintain a convenient access route for pedestrian travel where a public right-of-way exists or has existed. Develop and define the different zones of a sidewalk. Develop pedestrian access routes to supplement the public right-of-way system through superblocks or other large blocks.*

**B2 PROTECT THE PEDESTRIAN** - *Protect the pedestrian environment from vehicular movement. Develop integrated identification, sign and sidewalk-oriented night-lighting systems that offer safety, interest and diversity to the pedestrian. Incorporate building equipment, mechanical exhaust routing systems, and/or service areas in a manner that does not detract from the pedestrian environment.*

**B3-1 REDUCE WIDTH OF PEDESTRIAN CROSSINGS** - *Where possible, extend the sidewalk curbs at street intersections to narrow pedestrian crossings for a safer pedestrian environment.*

**B4 PROVIDE STOPPING AND VIEWING PLACES** - *Provide safe, comfortable places where people can stop, view, socialize, and rest. Ensure that these places do not conflict with other sidewalk issues.*

**B5 MAKE PLAZAS, PARKS & OPEN SPACE SUCCESSFUL** - *Orient building elements such as main entries, lobbies, windows, and balconies, to face public parks, plazas and open spaces. Where provided, integrate water features and/or public art to enhance the public open space. Develop locally-oriented pocket parks that incorporate amenities for nearby patrons.*

**C3 RESPECT ARCHITECTURAL INTEGRITY** - *Respect the original character of an existing building when modifying the exterior. Develop vertical and horizontal additions, that are compatible with the existing building, to enhance the overall proposal's architectural integrity.*

**C3-1 ENHANCE EXISTING THEMES IN THE DISTRICT** - *Look to buildings throughout the district for contextual precedent. Innovation and creativity are encouraged in design proposals which enhance the overall district character.*

**C6 DEVELOP TRANSITIONS BETWEEN BUILDINGS & PUBLIC SPACES** - *Develop transitions between private development and public open space. Use site design features such as movement zones, landscape elements, gathering places, and seating opportunities to develop transition areas where private development directly abuts a dedicated public open space.*

**C11 INTEGRATE ROOFS & USE ROOF TOPS** - *Integrate roof function, shape, surface materials, and colors with the building's overall design concept. Size and place rooftop mechanical equipment, penthouses, other components, and related screening elements to enhance views of the Central City's skyline, as well as views from other buildings or vantage points. Develop rooftop terraces, gardens, and associated landscaped areas to be effective stormwater management tools.*

## **QUALITY & PERMANENCE**

**C2 PROMOTE QUALITY & PERMANENCE IN DEVELOPMENT** - *Use design principles and building materials that promote quality and permanence.*

**C5 DESIGN FOR COHERENCY** - *Integrate the different building design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.*

**Findings:** The NE 3rd Avenue entry gate will be framed in the same faceted expression as Block 75 Slate's window framed views and the proposed stucco finish walls along the north and south face reference the Slate's panelling. Along the south face a mural will be painted for further visual interest and pedestrian engagement and new planters and landscaping to complement the existing courtyard and screen the remaining southern facade at this location.

The proposed exterior materials, with exception of the wood materials proposed in Option 2, are high quality and low maintenance. Pre-finished, painted metal panels are used to clad the articulated garage entry on the west facade. Durable and low maintenance stucco is used along the north and south facades, with a mural and landscape screening to the south providing additional visual interest. As discussed at the Design Commission Hearing, replacement of the wood materials with metal in Option 2, as well as including a garage door, would better meet the Design Guidelines.

The existing plaza along the north property line provides a pedestrian pathway through the block connecting NE MLK to NE Third Ave and provides for gathering places to be used by the building users and retailers, offering multiple locations for people to stop, view, socialize and rest. The existing north plaza provides a variety of hard surfaces, seating and landscaped areas that create various sized spaced for intimate conversations or larger gatherings. The space is designed with integrated lighting so the plaza can be used after dark. The proposed Parking Ramp Cap will further enhance this plaza at the west end with the proposed murals and added landscaping. No change is proposed to pedestrian access.

The proposed Parking Ramp Cap completes and enhances the design of the adjacent Slate Building and site. All three visible facades are designed to provide visual connections to the existing surroundings and further engage the public realm. The entry is framed in the same faceted expression as Block 75 Slate's window framed views. The structure's height is proposed to both maximize views over the roof from the upper courtyard and provide a 10' tall garage opening. Both the north and south facades will be clad in dark stucco, with patterned reveals to reference The Slate's north facade. The south facade will include new planters and landscaping to complement the existing courtyard. Additionally, a mural will be painted along the south face of the new structure to further enhance the overall design and pedestrian engagement.

The existing ROW and plaza are maintained, with the new Parking Ramp Cap further defining the public right of way along NE 3rd Avenue and enhancing the existing open/through block connection.

As discussed at the Design Commission Hearing, the garage ramp access, to increase pedestrian safety and vehicular movement, will provide a garage door at the front of the garage access. Option 1A/B as proposed, and Option 2, modified to include a garage door and metal trellis material, provides secure access via a highspeed garage door at the NE 3<sup>rd</sup> Avenue property line. The enclosure of the street edge with a garage door that includes translucent glazing is appropriate and consistent with the pattern and approval of other zero-property line parking and loading door access points through the Central City.



*With the Condition of Approval that Option 1A/B or Option 2 provide a high-speed garage door at the NE 3<sup>rd</sup> Avenue frontage, both options meet the design guidelines.*

## DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

## CONCLUSIONS

The design review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. The proposal meets the applicable design guidelines and therefore warrants approval.

## DESIGN COMMISSION DECISION

**Approval** for a revised design for the Slate Building parking ramp cap enclosure which includes:

- Stucco clad CMU walls along the north and south façade that replicate the patterning of Block 75 Slate’s panelized facade.
- Trellis and vine application at select panels on the south facade.
- Custom mural application [Title 4 – Original Art Mural] at the south facade.
- Faceted framed entry to the garage to match Block 75 Slate’s framed elements.

**Approval** for the Option 1 A/B design [12”-16”], which provides a dynamic metal open truss roof structure and high-speed garage door at the NE 3<sup>rd</sup> Avenue frontage.


**Approval** for Option 2 [12”-16”] to provide a simplified metal trellis roof structure and high-speed garage door at the NE 3<sup>rd</sup> Avenue frontage.

**Approval** per the Exhibits C-1.1 through C-3.9, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B through G must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE - Case File LU 22-122430 DZ". All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- B. At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.
- C. Title 4 Art Mural will be completed within 3 years of this decision per Exhibit C1.10.
- D. The metal truss cap [Option 1 A/B and Option 2] will cover the entire parking accessway.
- E. A garage door will be provided.

F. The proposed planters at the south side of the parking garage ramp cap will be irrigated to ensure the longevity of the proposed plantings.

G. No field changes allowed.

By:  \_\_\_\_\_  
Sam Rodriguez, Design Commission Chair

Application Filed: **March 14, 2022**  
Decision Filed: December 2, 2022

Decision Rendered: December 1, 2022  
Decision Mailed: December 16, 2022

**About this Decision.** This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

**Procedural Information.** The application for this land use review was submitted on March 14, 2022, and was determined to be complete on **September 10, 2022**.

*Zoning Code Section 33.700.080* states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on March 14, 2022.

*ORS 227.178* states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant waived the 120-day review period, as stated with Exhibit (Exhibit A2). The **120 days expire on: September 10, 2023**.

**Some of the information contained in this report was provided by the applicant.**

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. This report is the final decision of the Design Commission with input from other City and public agencies.

**Conditions of Approval.** This approval may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

**Appeal of this decision.** This decision is final unless appealed to City Council, who will hold a public hearing. Appeals must be filed by 4:30 pm on December 30, 2022. The appeal application form can be accessed at <https://www.portlandoregon.gov/bds/45477>. **The completed appeal application form must be e-mailed to**

**[BDSLUSTeamTech@portlandoregon.gov](mailto:BDSLUSTeamTech@portlandoregon.gov) and to the planner listed on the first page of this decision.** If you do not have access to e-mail, please telephone the planner listed on the front page of this notice about submitting the appeal application.

If you are interested in viewing information in the file, please contact the planner listed on the front of this decision. The planner can provide some information over the phone. Please note only digital copies of material in the file are available for viewing. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at <https://www.portlandoregon.gov/citycode/28197>.

If this decision is appealed, a hearing will be scheduled and you will be notified of the date and time of the hearing. The decision of City Council is final; any further appeal is to the Oregon Land Use Board of Appeals (LUBA).

Upon submission of their application, the applicant for this land use review chose to waive the 120-day time frame in which the City must render a decision. This additional time allows for any appeal of this proposal to be held as an evidentiary hearing, one in which new evidence can be submitted to City Council.

**Who can appeal:** You may appeal the decision only if you have written a letter which was received before the close of the record at the hearing or if you testified at the hearing, or if you are the property owner or applicant. Appeals must be filed within 14 days of the decision. **An appeal fee of \$5,789.00 will be charged (one-half of the application fee for this case).**

Neighborhood associations may qualify for a waiver of the appeal fee. Additional information on how to file and the deadline for filing an appeal will be included with the decision. Assistance in filing the appeal and information on fee waivers are available from the Bureau of Development Services website: <https://www.portlandoregon.gov/bds/article/411635>. Fee waivers for neighborhood associations require a vote of the authorized body of your association. Please see appeal form for additional information.

**Recording the final decision.**

If this Land Use Review is approved the final decision will be recorded with the Multnomah County Recorder.

- *Unless appealed*, the final decision will be recorded after **December 30, 2022** by the Bureau of Development Services.

The applicant, builder, or a representative does not need to record the final decision with the Multnomah County Recorder.

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

**Expiration of this approval.** An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

**Applying for your permits.** A building permit, occupancy permit, or development permit must be obtained before carrying out this project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed here.

- All applicable development standards, unless specifically exempted as part of this land use review.
- All requirements of the building code.
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

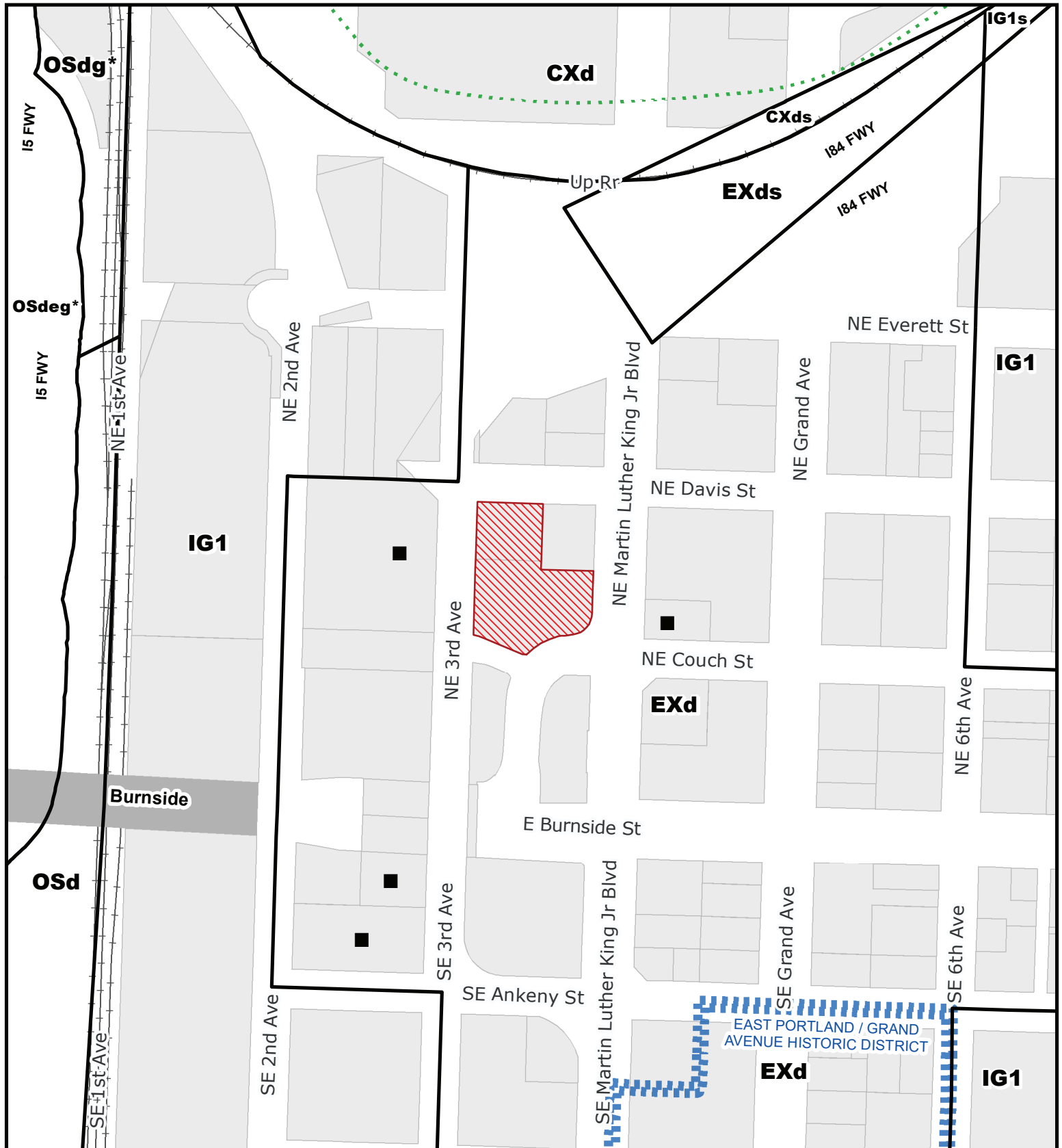
Tim Heron  
December 14, 2022

**The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).**

**EXHIBITS – NOT ATTACHED UNLESS INDICATED**

- A. Applicant's Statement
  - 1. Original Submittal
  - 2. 120-day waiver
  - 3. Complete and hold request
- B. Zoning Map (attached)
- C. Plan & Drawings
  - 1.1 OPTION 1 RENDERING [attached]
  - 1.2 TRELLIS OPTION 1A - 12" O.C. SPACING OPTION
  - 1.3 TRELLIS OPTION 1B - 16" O.C. SPACING OPTION
  - 1.4 OPTION 2
  - 1.5 UTILITY PLAN
  - 1.6 STORM PLANTER CROSS SECTION
  - 1.7 LANDSCAPE TREE PLAN
  - 1.8 LANDSCAPE PLANTING PLAN [attached]
  - 1.9 PLANTING MATERIALS
  - 1.10 TITLE 4 MURAL [attached]
  - 2.1 BUILDING PLANS
  - 2.2 BUILDING PLANS
  - 2.3 BUILDING PLANS
  - 2.4 BUILDING ELEVATIONS - South
  - 2.5 BUILDING ELEVATIONS - West
  - 2.6 BUILDING ELEVATIONS - North
  - 2.7 BUILDING SECTIONS – East to West
  - 2.8 BUILDING SECTIONS – North to South
  - 2.9 MATERIAL PALETTE
  - 2.10 BUILDING DETAILS
  - 3.1 STUCCO
  - 3.2 STUCCO
  - 3.3 STUCCO
  - 3.4 OVERHEAD COILING DOOR
  - 3.5 OVERHEAD COILING DOOR
  - 3.6 METAL PANELS
  - 3.7 METAL PANELS
  - 3.8 TRELLIS
  - 3.9 PLANTERS
- D. Notification information:
  - 1. Request for response
  - 2. Posting letter sent to applicant

3. Notice to be posted
  4. Applicant's statement certifying posting
  5. Mailed notice
  6. Mailing list
- E. Agency Responses:
1. Bureau of Environmental Services
  2. Bureau of Transportation Engineering and Development Review
- F. Letters:
1. Jade Simms & Monica Ninh, business owners in the Slate Building, expressed concern for construction scheduling and business impacts.
- G. Other:
1. Original LUR Application
  2. Incomplete Letter
  3. Staff Memo, Report, Zone Map, Drawings
- H. Hearing
1. Staff Presentation
  2. Testifier Sheet
  3. Applicant Presentation



# ZONING



For Zoning Code in effect Post August 1, 2021

CENTRAL CITY PLAN DISTRICT  
CENTRAL EASTSIDE SUB DISTRICT



Site



Historic Landmark



Recreational Trails

File No.	LU 22 - 122430 DZ
1/4 Section	3030
Scale	1 inch = 200 feet
State ID	1N1E34DA 2900
Exhibit	B Mar 14, 2022



Conditions of Approval

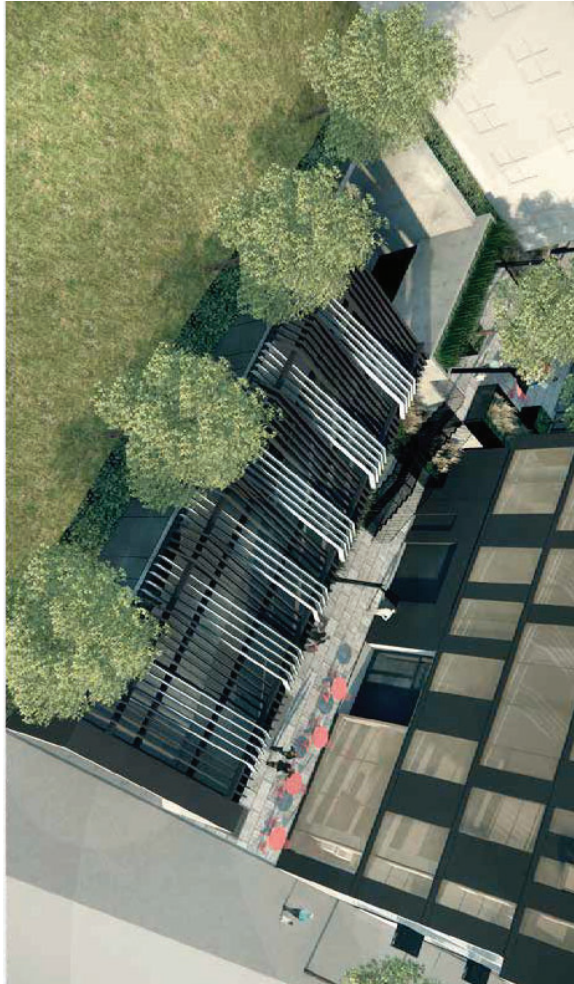
- C. Title 4 Art Mural will be completed within 3 years of this decision per Exhibit C1.10.
- D. The metal truss cap [Option 1 A/B and Option 2] will cover the entire parking accessway.
- E. A garage door will be provided.
- F. The proposed planters at the south side of the parking garage ramp cap will be irrigated to ensure the longevity of the proposed plantings.



South Wall at Plaza



North Wall



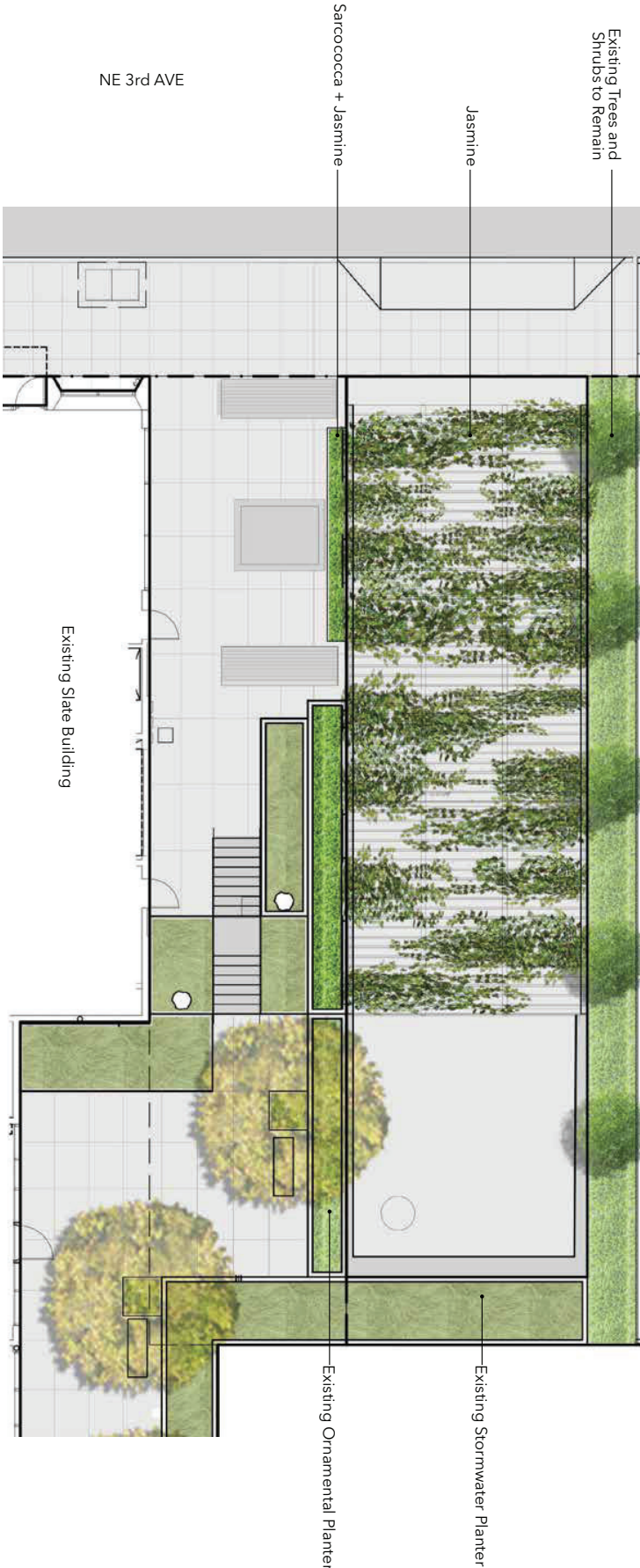
Aerial View of Driveway Cap

\*Approved\*  
City of Portland  
Bureau of Development Services  
Planner \_\_\_\_\_  
Date **12-1-2022**  
\*This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

DESIGN STRATEGY

C1.8 LANDSCAPE PLANTING PLAN

Roof Structure & Vines - Option 2 Only



Landscape Plan

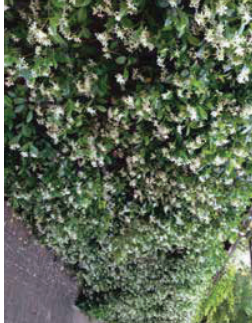


**\*Approved\***  
City of Portland  
Bureau of Development Services

Planner \_\_\_\_\_

Date **12-1-2022**

\*This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



	A	B	C	D	E	F
1	ENDORSEMENT	INFO1	INFO2	NAME	ADDRESS/IO ADDRESS	CITYSTATEZIP/ADDRESSEE
2	RETURN SERVICE REQUESTED	OWNER	1N1E34DA 2900	BLOCK 75 LLC	116 NE 6TH AVE #400	PORTLAND OR 97232-3529
3	RETURN SERVICE REQUESTED	OWNER	1N1E34DA 3000	BLOCK 75 II LLC	116 NE 6TH AVE #400	PORTLAND OR 97232
4	RETURN SERVICE REQUESTED	APPLICANT	WORKS PROGRESS ARCHITECTURE LLP	GRIFFIN JESSAMYN	811 SE STARK ST #210	PORTLAND OR 97214
5	RETURN SERVICE REQUESTED	OWNERS AGENT/PAYOR	URBAN DEVELOPMENT + PARTNERS	ZAHN SARAH & JAWORSKI ANN	116 NE 6TH AVE #400	PORTLAND OR 97232
6	RETURN SERVICE REQUESTED		SE UPLIFT NEIGHBORHOOD PROGRAM	WILLIAMS MATCHU	3534 SE MAIN ST	PORTLAND OR 97214
7	RETURN SERVICE REQUESTED		BUCKMAN COMMUNITY ASSOCIATION	OLSON NICK	3534 SE MAIN ST	PORTLAND OR 97214
8	RETURN SERVICE REQUESTED		CENTRAL EASTSIDE INDUSTRIAL COUNCIL	YATES DAN	110 SE CARUTHERS ST	PORTLAND OR 97214
9	RETURN SERVICE REQUESTED		LAND USE CONTACT	CENTRAL EASTSIDE INDUSTRIAL COUNCIL	PO BOX 14251	PORTLAND OR 97293
10	RETURN SERVICE REQUESTED		LAND USE CONTACT	CENTRAL CITY CONCERN	232 NW 6TH AVE	PORTLAND OR 97209
11	RETURN SERVICE REQUESTED		KERNS NEIGHBORHOOD ASSOCIATION	LOPEZ JESSE	3534 SE MAIN ST	PORTLAND OR 97214
12	RETURN SERVICE REQUESTED		LAND USE CONTACT	LLOYD DISTRICT COMMUNITY ASSOC BA	PO BOX 6762	PORTLAND OR 97228
13	RETURN SERVICE REQUESTED		LAND USE CONTACT	LLOYD DISTRICT COMMUNITY ASSOC	PO BOX 6762	PORTLAND OR 97228
14	RETURN SERVICE REQUESTED		LAND USE CONTACT	AIA URBAN DESIGN COMMITTEE	403 NW 11TH	PORTLAND OR 97209
15	RETURN SERVICE REQUESTED			JUDY PETERS	6916 NE 40TH ST	VANCOUVER WA 98661
16	RETURN SERVICE REQUESTED		LAND USE CONTACT	STATE HISTORIC PRESERVATION OFFICE	725 SUMMER NE #C	SALEM OR 97301
17	RETURN SERVICE REQUESTED			KARLA MOORE-LOVE (CITY HALL)	1221 SW 4TH AVE #130	PORTLAND OR 97204
18	RETURN SERVICE REQUESTED		RISK & LAND DEPARTMENT	NW NATURAL	250 SW TAYLOR ST	PORTLAND OR 97204-3038
19	RETURN SERVICE REQUESTED		LAND USE CONTACT	PACIFIC POWER & LIGHT	7544 NE 33RD DR	PORTLAND OR 97211
20	RETURN SERVICE REQUESTED			DOUG KLOTZ	1908 SE 35TH PLACE	PORTLAND OR 97214
21	RETURN SERVICE REQUESTED		PORTLAND METRO REGIONAL SOLTUIONS	C/O DLCD REGIONAL REPRESENTATIVE	1600 SW FOURTH AVE #109	PORTLAND OR 97201
22	RETURN SERVICE REQUESTED		LAND USE CONTACT	PORT OF PORTLAND PLANNING	PO BOX 3529	PORTLAND OR 97208
23	RETURN SERVICE REQUESTED		LAND USE CONTACT	TRANSIT DEVELOPMENT	1800 SW FIRST AVE #300	PORTLAND OR 97201
24	RETURN SERVICE REQUESTED		MULT CO BRIDGE - 100 FOOT BUFFER	MULTNOMAH COUNTY BRIDGES	1403 SE WATER AVENUE	PORTLAND OR 97217
25	RETURN SERVICE REQUESTED		PORTLAND SCHOOL DISTRICT	LAND USE NOTICE CONTACT	501 N DIXON	PORTLAND OR 97227
26				LAND USE CONTACT	PROSPER PORTLAND	129/PROSPER
27				PORTLAND PARK TRAIL	TATE WHITE	B106/R1302
28					HEARINGS CLERK	299/3100
29					DAWN KRANTZ	B299/R5000





**Block 75 Ramp Cap - 321 NE Couch St**  
Design Review : Narrative Packet  
works progress architecture llc. 03.18.2022

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Design Review Narrative	9-14
Manufacturer's Cutsheets	15

## APPENDICES 24

Storm Water Report
Driveway Design Exception

PROJECT TEAM

Architect:

Works Progress Architecture  
Project Manager: Jessamyn Griffin  
811 SE Stark St, Suite 210  
Portland, OR 97214  
503.234.2945  
jessamyn@worksarchitecture.net

Structural :

DCI Engineers  
Project Manager: Shirley Chalupa  
921 SW Washington St., Suite 560  
Portland, OR 97205  
503.242.2448  
schalupa@dc-engineers.com

Civil:

Humber Design Group, Inc.  
Project Manager: Paige Miller  
110 SE Main Street, Suite 200  
Portland, OR 97214  
503.946.5328  
paige.miller@hdgpd.com

Landscape:

Lango Hansen Landscape Architects  
Project Manager: Brian Martin  
1100 NW Glisan, Suite 3A  
Portland, OR 97209  
503.553.9242  
brian@lango-hansen.com

Owner:

Urban Development Partners  
Project Manager: Sarah Zahn  
116 NE 6th Avenue, Suite 400  
Portland, OR 97232  
503.970.8992  
sarah.zahn@udpl.com



## SITE AND DEVELOPMENT PROPOSAL

Block 75 is a full city block located at the east end of the Burnside Bridge adjacent to the Couch Couplet; Between NE Martin Luther King Jr Blvd (MLK), NE Third Ave, NE Couch St. and NE Davis St. The existing Block 75 Slate building occupies the southern half of the block, including a generous open plaza to the north that provides an east/west through block connection. Directly north of the plaza, a mid block driveway/open ramp is located off of NE 3rd Ave. providing access to the sub grade parking garage where loading, vehicle and bike parking for the existing building are located.

The proposed development caps the existing driveway/open ramp access at NE 3rd Ave., allowing for a fully secure and covered entry to the existing garage serving the Slate building at 321 NE Couch Ct. The new structure will consist of concrete masonry walls and a non-accessible green roof. Access to the garage will be provided via a high speed garage door framed in the same faceted expression as Block 75 Slate's framed views. The project will maintain an existing five foot landscape buffer directly to the north and will provide a custom mural along the north face of the new wall. The south facade will include new planters and landscaping to compliment the existing courtyard and screen the new wall at this location. This proposal assumes a concurrent property line adjustment, moving the property line between the two parcels to sit 8' from the northern edge of the ramp cap structure.

## ZONING CODE DEVELOPMENT STANDARDS SUMMARY

Base Zone:	EX (Central Employment)
Overlay:	d (Design Review)
District:	Central City (CC)
Subdistrict:	Central Eastside (CEID)
Base Zone FAR:	3:1
CC FAR:	9:1 (up to 12:1 with Transfers)
Base Zone Height:	65 ft
CC Height:	200 ft (Per 33.510.205 & Map 510-3)
Setbacks Required:	0 ft to Adjacent EX zone 5 ft of Landscaping at Lot Lines Adjacent to Driveway (5' existing landscape to remain)
Building Lines:	Required on Building Face along NE MLK Blvd
Ground Floor Windows:	Required (NA to this submittal)
Entrance Requirements:	The main entrance must be within 25' of a transit street Transit Streets: NE Couch & NE Martin Luther King Jr. Blvd. (NA to this submittal)

## VEHICLE PARKING (EXISTING TO REMAIN)

Central City Parking Sector: Central Eastside Subdistrict, CE2

Type: Residential/Hotel Parking (All parking designated for Household Living Uses)  
 Min: No Minimum  
 Max: No Maximum  
 Vehicle Parking Spaces Provided: 36 + 2 ADA + 2 Type B Loading (existing to remain)  
 No CCPR Required for up to 60 spaces on the site designated for allowed use.

Loading Required:	One Standard A
Loading Provided:	Two Standard B Through Previous Modification

## BIKE PARKING (EXISTING TO REMAIN)

	Residential	Office	Retail	TOTAL
Long Term Spaces:	113	2	2	117
Short Term Spaces:	4	2	2	8

## LOADING (EXISTING TO REMAIN)

Loading Required:	One Standard A Space, 35ftx10ft with clearance of 13 ft.
Loading Provided:	Two Standard B Through Previous Modification

## LAND USE REVIEWS REQUESTED

The site is in the EXd Zone of the Central Eastside Sub-district of the Central City Plan District and must comply with the applicable Title 33 Portland Zoning Code Requirements for new development. The following are the land use reviews required/requested for the proposed development:

\_Type III Design Review

Applicable Approval Criteria in which are considered and addressed in this application are:

\_Design Review title 33.825.055 & 33.825.065

\_Central City Fundamental Design Guidelines

\_Design Guidelines for the Design Zone of the Central Eastside District of the Central City Plan

\_Driveway Design Exception for reference (see appendix)

1. PCC 17.28.110 D Vehicle access gate within 20ft of the right-of-way line

## KEY ISSUES AND REQUIREMENTS

**1. EA 20-131607 Pre-Application Conference**

The following Design Review Issues and related Conditions of Approval were summarized and provided by the Tim Heron as “BDS - Land Use Planner Response” on June 23, 2020.

**a. Amend Condition of Approval for LU 14-163479 DZM, Block 75 – The Slate Apartments through a Type 3 Design Review, submit a revised design for the parking lid, and set a new timeline for completion.**

**1. Amend Condition through new Type 3 Design Review.**

The 2014 Design Commission decision contains this Condition of Approval:

*D. The driveway cap must be constructed within 3 years of the issuance of a Certificate of Occupancy for Block 75 phase 1, unless construction of phase 2 has begun.*

The Certificate of Occupancy was issued on January 10, 2017. As three years has past – January 10, 2020 – the approval for this design has expired, and this site is in violation of this Condition.

Per 33.730.140 Requests for Changes to Conditions of Approval:

*A. Generally. Requests for changes to conditions of approval are processed using the current procedure assigned to the land use review and the current approval criteria for the original land use review, unless this Title specifies another procedure or set of approval criteria.*

Therefore, a Type 3 Design Review and Approval is required

**2. Submit a revised design for the parking lid.**

Additionally, as the approved work has not been completed, and the Condition of Approval has expired, a revised design must be considered. The 2014 approved Condition of Approval design reflects an outdated design response [unsecured street edge and the open trellis design cover] that would not meet the expectations of the current Portland Design Commission [the approval body for a Type 3 Design Review] and how the Design Guideline Approval criteria would be applied to structures in this now thriving Burnside Bridgehead Pedestrian District in 2020.

A revised proposal, as proposed for this Pre-Application conference, that incorporates 1) a green/ fully vegetated roof, 2) secured vehicular access via a speed door at the street edge, and 3) incorporates Public Art or an Original Art Mural along the north facing concrete wall would be an appropriate design direction to propose.

**3. Set a new timeline for completion.**

With the agreement by the applicant to provide a revised design, a Condition of Approval to complete a final design and installation within 3 years of the date of the original January 10, 2020 expiration of the subject Condition to January 10, 2023 would be acceptable.

Follow up email correspondence was provided by Tim Heron on February 17, 2022 confirming the following Pre-Application Conference extension:

*The March 20, 2020 EA 20-131607 PC is valid till March 20, 2022. If a Land Use is not submitted by that time, a new PC would be required.*

## PREVIOUS LAND USE REVIEWS

**1. EA 20-131607 Pre-Application Conference**

The following Previous Land Use Reviews were referenced by the Tim Heron in "BDS - Land Use Planner Response" on June 23, 2020, to be addressed as part of our application.

As part of your application, address relevant conditions of approval from previous land use reviews on the site and discuss the current status of compliance. Below are the relevant land use case reviews that the City of Portland has on record for the subject site:

**1. EA-19-200271 PC – New Hotel at 131 NE MLK Jr. Blvd.**

RESPONSE: N/A as project has not moved beyond EA and is not associated with the Ramp Cap.

**2. LU 14-163479 DZ - Burnside Bridgehead Block 75: Block 75 - ¾ block development, now The Slate: <https://efiles.portlandoregon.gov/Record/6863480/>**

RESPONSE: Proposal addresses the following staff comments as noted.

1. *Approval to modification to 33.266.310.D (Loading Standards; Size of loading spaces) to provide two on-site loading spaces that are each 18 feet long x 9 feet wide, with a clearance of 9 feet (located within the below-grade parking area). No change.*
2. *There shall be no curb cut constructed at the west end of the pedestrian path/plaza. No change.*
3. *The rooftop mechanical screening must be a solid, non-perforated metal material. No roof top mechanical proposed for the ramp cap.*
4. *The driveway cap must be constructed within 3 years of the issuance of a Certificate of Occupancy of Block 75 phase 1, unless construction of phase 2 has begun. Permit submittal and construction of Ramp Cap to follow Design Review approval.*

**3. EA 15-247554 DA - 19-Story Mixed use Office Tower: Block 75 North – ¼ block mixed use development: <https://efiles.portlandoregon.gov/Record/8196773/>**

RESPONSE: Proposal addresses the following Staff comments as noted.

1. *The automobile access should be moved to existing NE 3rd Avenue curb-access as discussed during the approval of the south half of the block. Proposal maintains curb-garage access at NE 3rd Ave.*

This project falls under the Design Review approval criteria as outlined in the Central City Fundamental Design Guidelines and the Design Guidelines for the Design Zone of the Central Eastside District of the Central City Plan. The approval criteria headings and the ways that the proposed development meets these guidelines are listed below. Central Eastside Design Guidelines are identified with the suffix “-#” under the relative Central City Fundamental Design Guidelines.

## PORTLAND PERSONALITY

### A1 INTEGRATE THE RIVER

*Orient architectural and landscape elements including lobbies, entries, balconies, terraces and outdoor areas to the Willamette River and Greenway.*

The site is located approximately three blocks east of the river. There is significant grade change, State and City infrastructure between the site and the river including the Union Pacific Railroad line, Interstate 5 and Interstate 84. Pedestrian access to the river is located at the nearby Eastbank Esplanade access point off the east end of the Burnside Bridge. The existing garage ramp access is to be maintained off of NE 3rd Ave. The proposed Ramp Cap height is minimized to provide the minimum 12' garage door opening. Additionally a green roof is proposed to enhance the view of the Cap from above/beyond.

### A2 EMPHASIZE PORTLAND THEMES

*When provided, integrate Portland-related themes with the development's overall design concept.*

The NE 3rd Ave. entry gate will be framed in the same faceted expression as Block 75 Slate's window framed views. The south facade will include new planters and landscaping to compliment the existing courtyard and screen the new southern at this location. Additionally a mural will be painted along the north face of the new structure.

### A2-1 RECOGNIZE TRANSPORTATION MODES, PRODUCE, AND COMMERCE AS PRIMARY THEMES OF EAST PORTLAND

*Recognize and incorporate East Portland Themes into a project design when appropriate.*

The existing garage ramp is located mid block off NE 3rd Ave, taking advantage of the vehicular & freight movement on the street.

### A3 RESPECT THE PORTLAND BLOCK STRUCTURES

*Maintain and extent the traditional 200-foot block pattern to preserve the Central City's ratio of open space to built space.*

No change is proposed to the footprint of the existing garage ramp. The through block plaza connection maintains open space for the existing development to the south, in addition to maintaining light and air for the existing building on the NE quadrant.

### A4 USE UNIFYING ELEMENTS

*Integrate unifying elements and/or develop new features that help unify and connect individual buildings and different areas.*

The NE 3rd Ave. entry gate will be framed in the same faceted expression as Block 75 Slate's window framed views. The proposed concrete masonry walls along the north and south face reference the simple exterior materials palette of the existing warehouse building stock in the CEID. Along the north face a mural will be painted for further visual interest and pedestrian engagement. And at the south facade new planters and landscaping to compliment the existing courtyard and screen the new southern at this location.

### A5 ENHANCE, EMBELLISH, AND IDENTIFY AREAS

*Enhance an area by reflecting the local character within the right of way. Embellish an area by integrating elements in new development that build on the area's character. Identify an area's special features or qualities by integrating them into new development.*

The NE 3rd Ave. entry gate will be framed in the same faceted expression as Block 75 Slate's window framed views. The proposed concrete masonry walls along the north and south face reference the simple exterior materials palette of the existing warehouse building stock in the CEID. Along the north face a mural will be painted for further visual interest and pedestrian engagement. And at the south facade new planters and landscaping to compliment the existing courtyard and screen the new southern at this location.

### A5-1 REINFORCE THE EFFECT OF ARCADED BUILDINGS FRONTING ON EAST BURNSIDE STREET

*Maintain, continue and Reinforce the effect of sidewalk arcaded buildings fronting on East Burnside St.*

This guideline is not applicable to the project site.

### A5-2 ACKNOWLEDGE THE SANDY RIVER WAGON ROAD



*Acknowledge the historical significance to of the Sandy River Wagon Rd (Sandy Blvd) From East Burnside to 7th Ave.*  
This guideline is not applicable to the project site.

#### A5-3 PLAN FOR OR INCORPORATE UNDERGROUND UTILITY SERVICE

*Plan for or incorporate underground utility service to the development.*

The proposed Ramp Cap includes a change in underground stormwater routing from the north to the west.

#### A5-4 INCORPORATE WORKS OF ART

*Incorporate works of art into development projects.*

Along the north face of the new Ramp Cap, amural will be painted for further visual interest and pedestrian engagement.

#### A5-5 INCORPORATE WATER FEATURES

*Enhance the quality of public spaces by incorporating water features.*

There are no water features provided with the proposed development.

#### A6 REUSE/ REHABILITATE/ RESTORE BUILDINGS

*Where practical, reuse, rehabilitate and restore buildings and/or elements.*

The proposed Ramp Cap is integrated into the existing garage entry in all ways possible, maintaining the same footprint and reusing retain-ing walls as structurally feasible.

#### A6-1 USE SPECIAL EAST PORTLAND GRAND AVENUE HISTORIC DISTRICT DESIGN GUIDELINES

*Projects located within the East Portland Grand Ave Historic District shall use the special historic design guidelines developed for the historic district.*

This guideline is not applicable to the project site. The site is located outside of the East Portland Grand Ave Historic District.

#### A7 ESTABLISH & MAINTAIN A SENSE OF URBAN ENCLOSURE

*Define public rights of way by creating and maintaining a sense of urban enclosure.*

The new Ramp Cap further defines the public right of way along NE 3rd Ave.

#### A7-1 MAINTAIN A SENSE OF URBAN ENCLOSURE WHEN SINGLE-STORY BUILDINGS ARE SET BACK

*Maintain a sense of urban enclosure, through the use of landscaping and other means, when single story buildings are set back from the property line.*

The new Ramp Cap further defines the public right of way along NE 3rd Ave. and maintains the open plaza/through block connection. The south facade will include new planters and landscaping to compliment the existing courtyard and screen the new wall at this location. Ad-ditionally the green roof application will provide an enhanced view from the upper plaza and adjacent buildings.

#### A8 CONTRIBUTE TO A VIBRANT STREETScape

*Integrate building setbacks with adjacent sidewalks to increase the space for potential public use. Develop visual and physical connec-tions into buildings' active interior spaces from adjacent sidewalks. Use architectural elements such as atriums, grand entries and large ground-level windows to reveal important interior spaces and activities.*

The existing ROW and plaza are maintained.

#### A9 STRENGTHEN GATEWAYS

*Develop and/or strengthen gateway locations.*

This guideline is not applicable to the project site. No change in access or building footprint proposed.

#### A9-1 ACKNOWLEDGE THE SANDY RIVER WAGON ROAD AT THE SAND BOULEVARD/EAST BURNSIDE STREET CENTRAL CITY GATEWAY.

*Design the Central City Gateway located at the East Burnside Street and Sandy Blvd in a manner that celebrates the significance of the Sandy River Wagon Rd.*

This guideline is not applicable to the project site. The site is not located at the East Burnside and Sandy Blvd intersection.

**PEDESTRIAN EMPHASIS****B1 REINFORCE AND ENHANCE THE PEDESTRIAN SYSTEM**

*Maintain a convenient access route for pedestrian travel where a public right-of-way exists or has existed. Develop and define the different zones of a sidewalk. Develop pedestrian access routes to supplement the public right-of-way system through superblocks or other large blocks.*

No change proposed to pedestrian access. The existing plaza along the north property line provides a pedestrian pathway through the block connecting NE MLK to NE Third Ave and provides for gathering places to be used by the building users and retailers.

**B2 PROTECT THE PEDESTRIAN**

*Protect the pedestrian environment from vehicular movement. Develop integrated identification, sign and sidewalk oriented night-lighting systems that offer safety, interest and diversity to the pedestrian. Incorporate building equipment, mechanical exhaust routing systems, and/or service areas in a manner that does not detract from the pedestrian environment.*

The new Cap will provide an enhanced physical and visual barrier to the garage drive/ramp, increasing pedestrian safety and vehicular movement.

**B3 BRIDGE PEDESTRIAN OBSTACLES**

*Bridge across barriers and obstacles to pedestrian movement by connecting the pedestrian system with innovative, well-marked crossings, and consistent sidewalk designs.*

This guideline is not applicable. No change proposed to sidewalk/ROW.

**B3-1 REDUCE WIDTH OF PEDESTRIAN CROSSINGS**

*Where possible, extend the sidewalk curbs at street intersections to narrow pedestrian crossings for a safer pedestrian environment.*

This guideline is not applicable. No change proposed to sidewalk/ROW.

**B4 PROVIDE STOPPING AND VIEWING PLACES**

*Provide safe, comfortable places where people can stop, view, socialize, and rest. Ensure that these places do not conflict with other sidewalk issues.*

The existing plaza provides multiple locations for people to stop, view, socialize and rest.

**B5 MAKE PLAZAS, PARKS & OPEN SPACE SUCCESSFUL**

*Orient building elements such as main entries, lobbies, windows, and balconies, to face public parks, plazas and open spaces. Where provided, integrate water features and/or public art to enhance the public open space. Develop locally-oriented pocket parks that incorporate amenities for nearby patrons.*

The existing north plaza provides a variety of hard surfaces, seating and landscaped areas that create various sized spaces for intimate conversations or larger gatherings. The space is designed with integrated lighting so the plaza can be used after dark.

**B6 DEVELOP WEATHER PROTECTION**

*Develop integrated weather protection systems at the sidewalk level of buildings to mitigate the effects of wind, glare, shadow, reflection and sunlight on the pedestrian environment.*

This guideline is not applicable. No change proposed to sidewalk/ROW.

**B6-1 PROVIDE PEDESTRIAN RAIN PROTECTION**

*Rain protection is encouraged at the ground level of all new and rehabilitated commercial buildings located adjacent to primary pedestrian routes. In required retail opportunity areas, rain protection is strongly recommended.*

This guideline is not applicable. No change proposed to sidewalk/ROW. The existing NE Third Ave retail entries at the Slate building to the south are protected with painted steel canopies which fit between the tube ends to further articulate the entries from the street.

**B7 INTEGRATE BARRIER-FREE DESIGN**

*Integrate access systems for all people with the building's overall design concept.*

This guideline is not applicable. No change proposed to pedestrian entries.

## PROJECT DESIGN

### C1 ENHANCE VIEW OPPORTUNITIES

*Orient windows, entrances, balconies and other building elements to surrounding points of interest and activity. Size and place new buildings to protect the existing views and view corridors. Develop building facades to create visual connections to adjacent public spaces.*

The proposed Ramp Cap maintains the adjacent public plaza and east west views through the site. The proposed green roof provides visual interest from beyond and above from adjacent building. All three visible facades are designed to provide visual connections to the existing surroundings, providing a mural to the north empty lot, framed/faceted entry at the west and new landscape at the south connecting to the adjacent plaza.

### C1-1 INTEGRATE PARKING

*Integrate parking in a manner that is attractive and complementary to the site and its surroundings. Design parking garage exteriors to visually respect and integrate with adjacent buildings and environment.*

Parking and parking access to remain with parking located at the basement level below grade. The parking Ramp Cap will maintain the landscaping provided along the north side, providing screening from the adjacent areas. The proposed Ramp Cap completes and enhances the design of the adjacent Slate Building and site. The proposed green roof provides visual interest from beyond and above from adjacent building. All three visible facades are designed to provide visual connections to the existing surroundings, providing a mural to the north empty lot, framed/faceted entry at the west and new landscape at the south connecting to the adjacent plaza.

### C2 PROMOTE QUALITY & PERMANENCE IN DEVELOPMENT

*Use design principles and building materials that promote quality and permanence.*

Exterior materials are high quality and low maintenance. Pre-finished, painted metal panels are used to clad the articulated garage entry on the west facade. Durable and low maintenance CMU is used along the other three facades, with a mural to the north and landscape screening to the south provide additional visual interest.

### C3 RESPECT ARCHITECTURAL INTEGRITY

*Respect the original character of an existing building when modifying the exterior. Develop vertical and horizontal additions, that are compatible with the existing building, to enhance the overall proposal's architectural integrity.*

The proposed Ramp Cap completes and enhances the design of the adjacent Slate Building and site. The proposed green roof provides visual interest from beyond and above from adjacent building. All three visible facades are designed to provide visual connections to the existing surroundings, providing a mural to the north empty lot, framed/faceted entry at the west and new landscape at the south connecting to the adjacent plaza.

### C3-1 ENHANCE EXISTING THEMES IN THE DISTRICT

*Look to buildings throughout the district for contextual precedent. Innovation and creativity are encouraged in design proposals which enhance the overall district character.*

The proposed Ramp Cap completes and enhances the design of the adjacent Slate Building and site. The proposed green roof provides visual interest from beyond and above from adjacent building. All three visible facades are designed to provide visual connections to the existing surroundings, providing a mural to the north empty lot, framed/faceted entry at the west and new landscape at the south connecting to the adjacent plaza.

### C3-2 RESPECT ADJACENT RESIDENTIAL NEIGHBOURHOODS

*Respect the architectural character and development patterns of adjacent residential neighborhoods.*

There are no adjacent residential neighborhoods to this site.

### C4 COMPLEMENT THE CONTEXT OF EXISTING BUILDINGS

*Compliment the context of existing buildings by using and adding to the local design vocabulary.*

The proposed Ramp Cap completes and enhances the design of the adjacent Slate Building and site. The proposed green roof provides visual interest from beyond and above from adjacent building. All three visible facades are designed to provide visual connections to the existing surroundings, providing a mural to the north empty lot, framed/faceted entry at the west and new landscape at the south connecting to the adjacent plaza.

**C5 DESIGN FOR COHERENCY**

*Integrate the different building design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.*

The proposed Ramp Cap completes and enhances the design of the adjacent Slate Building and site. The proposed green roof provides visual interest from beyond and above from adjacent building. All three visible facades are designed to provide visual connections to the existing surroundings, providing a mural to the north empty lot, framed/faceted entry at the west and new landscape at the south connecting to the adjacent plaza.

**C6 DEVELOP TRANSITIONS BETWEEN BUILDINGS & PUBLIC SPACES**

*Develop transitions between private development and public open space. Use site design features such as movement zones, landscape elements, gathering places, and seating opportunities to develop transition areas where private development directly abuts a dedicated public open space.*

The existing plaza along the north property line provides a pedestrian pathway through the block connecting NE MLK to NE Third Ave and provides for gathering places, transition areas and landscape elements. The proposed Ramp Cap will further enhance this plaza at the west end with the green roof and added landscaping.

**C7 DESIGN CORNERS THAT BUILD ACTIVE INTERSECTIONS**

*Use design elements including, but not limited to, varying building heights, changes in façade plane, large windows, awnings, canopies, marquees, signs and pedestrian entrances to highlight building corners. Locate flexible sidewalk-level retail opportunities at building corners. Locate stairs, elevators and other upper floor building access points toward the middle of the block.*

This guideline is not applicable. No change proposed to building corners, sidewalk or intersection.

**C8 DIFFERENTIATE THE SIDEWALK LEVEL OF BUILDINGS**

*Differentiate the sidewalk-level of the building from the middle and top using elements including, but not limited to, different exterior materials, awnings, signs and large windows.*

This guideline is not applicable as Ramp Cap is single story.

**C8-1 ALLOW FOR LOADING AND STAGING AREAS ON SIDEWALKS**

*On local service streets, adjacent businesses may use the sidewalk area for temporary loading and staging as long as pedestrian access through it is maintained.*

This guideline is not applicable. Previously approved modification to the loading standard remains, providing two smaller loading spaces at the below grade parking level in lieu of the larger on site loading space. The sidewalks are of sufficient width to allow exterior seating and display areas.

**C9 DEVELOP FLEXIBLE SIDEWALK-LEVEL SPACES**

*Develop flexible spaces at the sidewalk-level of buildings to accommodate a variety of active uses.*

This guideline is not applicable, no change of sidewalk proposed.

**C10 INTEGRATE ENCROACHMENTS**

*Size and place encroachments in the public right of way to visually and physically enhance the pedestrian environment.*

This guideline is not applicable, no encroachment requested.

**C11 INTEGRATE ROOFS & USE ROOF TOPS**

*Integrate roof function, shape, surface materials, and colors with the building's overall design concept. Size and place rooftop mechanical equipment, penthouses, other components, and related screening elements to enhance views of the Central City's skyline, as well as views from other buildings or vantage points. Develop rooftop terraces, gardens, and associated landscaped areas to be effective stormwater management tools.*

The proposed green roof of the Ramp Cap will provide additional landscape area, enhanced visual interest and efficient stormwater management.

**C12 INTEGRATE EXTERIOR LIGHTING**

*Integrate exterior lighting and its staging or structural components with the building's overall design concept. Use exterior lighting to highlight the building's architecture, being sensitive to its impacts on the skyline at night.*

This guideline is not applicable. Existing lighting to be maintained, no new lighting proposed.

**C13 INTEGRATE SIGNS**

*Integrate signs and their associated structural components with the building's overall design concept. Size, place, design and light signs to not dominate the skyline. Signs should have only a minimal presence in the Portland skyline.*

This guideline is not applicable. No signs proposed.

**C1-2 INTEGRATE SIGNS**

*Retain and restore existing signage which reinforces the history and themes of the district, and permit new signage which reinforces the history and themes of the East Portland Grand Ave historic district. Carefully place signs, sign supports and sign structures to integrate with the scale color, and articulation of the building design, while honoring the dimensional provisions of the sign chapter of the zoning code. Demonstrate how signage is one of the design elements of a new or rehabilitation project and has been coordinated by the project designer/architect. Submit a master signage program as part of the project's application for a design review.*

This guideline is not applicable. No signs proposed.

**MATERIAL & EQUIPMENT CUT SHEETS**

Overhead Coiling Garage Door

Exhaust Vent

Metal Panels

Trellis

Planters

Green Roof



# ROLLING SERVICE DOORS

## 800 SERIES

Popular in both interior and exterior applications, the Wayne Dalton 800 Series rolling service door features a galvanized, pre-painted curtain of minimum 22-gauge steel. The 800 Series doors have a standard wind load rating of 20 PSF. An optional wind load rating of up to 55 PSF is available to cover your Florida and Dade County wind load requirements.

### Materials & Construction

Wayne Dalton's 800 Series rolling doors are composed of curved or flat-faced slats that provide a natural water-shed, helping to reduce corrosion. The slats are designed with free-acting interlocking joints that permit easy articulation when the door coils.

The 800 Series features a strong double-angle bottom bar that reinforces the lower edge of the curtain against wind pressure and permits varied lock, astragal, and safety edge options. This bottom bar is designed for easy installation and does not require fasteners protruding into the guide openings, so the bottom bar does not interfere with door operation.

Counterbalance assembly consists of a spring barrel which serves as a load-carrying beam. It encases the counterbalance mechanism and provides the axis around which the curtain coils. (Deflection is limited to 0.033" per lineal foot of span.) If required, barrel rings of malleable iron or stamped steel may be provided to assure proper counterbalance. Oil-tempered, torsion-type counterbalance springs are wound from heat-treated steel, providing accuracy in balancing the door. Barrel plugs connect ends of springs to barrel and tension rod. Tension rod of steel shafting holds fixed ends of springs and carries torsion load of spring counterbalance.

Spring tension adjusting wheel is normally mounted outside the bracket on end of tension rod. Inside adjusting wheel for tight side-room applications is available in limited sizes.

The hood covers the curtain coil and counterbalance mechanism.

### Available Options

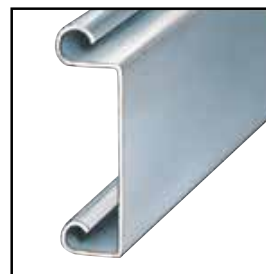
- Vision Slats/Panels
- Secur-Vent (Flat Slat Only)
- Safety Edges
- Drop Stop Device
- Exhaust Ports
- Sloping Bottom Bars
- Powder Coated
- Motor Operators
- Cable Reels
- Mullions
- Thru-Wall Operation
- Stainless Steel or Aluminum Finishes



### Slat Profiles



**No. 4** — Curved-faced single crown slat available in up to 16-gauge steel, up to 18-gauge stainless steel, or up to 14-gauge B&S aluminum (mill, clear, or bronze anodized). Depth of crown:  $\frac{7}{8}$ ",  $2\frac{1}{8}$ " on centers.



**No. 14** — Flat-faced slat available in up to 16-gauge steel, up to 18-gauge stainless steel, or up to 14-gauge B&S aluminum (mill, clear, or bronze anodized). Depth of crown:  $\frac{3}{4}$ ",  $2\frac{1}{8}$ " on centers.



**Secur-Vent** — Perforated slat provides optimal security and ventilation. Slat consists of  $\frac{1}{16}$ " diameter holes offering 41% open area over length of each slat. Available in No. 14 flat slat up to 22' wide x 20' high.



No. 4 slat



No. 14 slat, shown with a Pass Door.



Secur-Vent®

[www.Wayne-Dalton.com/commercial](http://www.Wayne-Dalton.com/commercial)

LU 22-122430 DZ Exh A1

## ROLLING SERVICE DOORS

## 800 SERIES

## 800 Series (Face Mounted)

Width A	HEIGHT B (OPENING HEIGHT)											
	9'0"			TO 14'0"			TO 18'0"			TO 18'0"		
	BRACKET SIZE	SIDE ROOM		BRACKET SIZE	SIDE ROOM		BRACKET SIZE	SIDE ROOM		BRACKET SIZE	SIDE ROOM	
	X & Y	R	L	X & Y	R	L	X & Y	R	L	X & Y	R	L
CHAIN HOIST OPERATED												
TO 20'0"	18-1/2"	8"	6"	22"	8"	6"	24"	8"	6"	26"	8"	6"
20'0" TO 25'0"	18-1/2"	8"	6"	22"	8"	6"	24"	8"	6"	26"	8"	6"
25'0" TO 28'0"	18-1/2"	8"	6"	22"	8"	6"	24"	8"	6"	26"	8"	6"
MOTOR OPERATED												
TO 20'0"	20"	8"	6"	22"	8"	6"	24"	8"	6"	26"	8"	6"
20'0" TO 25'0"	20"	8"	6"	22"	8"	6"	24"	8"	6"	26"	8"	6"
25'0" TO 28'0"	20"	8"	6"	22"	8"	6"	24"	8"	6"	26"	8"	6"
CRANK OPERATED-CONSULT FACTORY												

## 800 Series (Between Jamb, Under Lintel)

Width A	HEIGHT B (OPENING HEIGHT)											
	9'0"			TO 14'0"			TO 18'0"			TO 18'0"		
	BRACKET SIZE	SIDE ROOM		BRACKET SIZE	SIDE ROOM		BRACKET SIZE	SIDE ROOM		BRACKET SIZE	SIDE ROOM	
	X & Y	R	L	X & Y	R	L	X & Y	R	L	X & Y	R	L
CHAIN HOIST OPERATED												
TO 20'0"	18-1/2"	9-1/16"	7-1/16"	22"	9-1/16"	7-1/16"	24"	9-1/16"	7-1/16"	26"	9-1/16"	7-1/16"
20'0" TO 25'0"	18-1/2"	9-1/16"	7-1/16"	22"	9-1/16"	7-1/16"	24"	9-1/16"	7-1/16"	26"	9-1/16"	7-1/16"
25'0" TO 28'0"	18-1/2"	9-1/16"	7-1/16"	22"	9-1/16"	7-1/16"	24"	9-1/16"	7-1/16"	26"	9-1/16"	7-1/16"
MOTOR OPERATED												
TO 20'0"	20"	9-1/16"	7-1/16"	22"	9-1/16"	7-1/16"	24"	9-1/16"	7-1/16"	26"	9-1/16"	7-1/16"
20'0" TO 25'0"	20"	9-1/16"	7-1/16"	22"	9-1/16"	7-1/16"	24"	9-1/16"	7-1/16"	26"	9-1/16"	7-1/16"
25'0" TO 28'0"	20"	9-1/16"	7-1/16"	22"	9-1/16"	7-1/16"	24"	9-1/16"	7-1/16"	26"	9-1/16"	7-1/16"
CRANK OPERATED-CONSULT FACTORY												

NOTE: Dimensions are for general reference only and not for construction purposes.

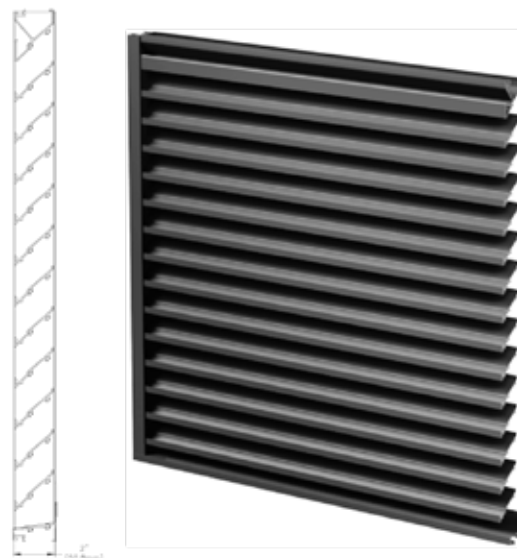






## EXTRUDED ALUMINUM NARROW PROFILE LOUVER

<b>Visible Mullion Louver Type</b>	K6772
<b>Material</b>	Extruded Aluminum (Alloy 6063-T5)
<b>Stationary Blade</b>	0.063 in. (1.6 mm)
<b>Frame</b>	0.063 in. (1.6 mm)
<b>Louver Depth</b>	2 in. (50.8 mm)
<b>Blade Angle</b>	45°
<b>Free Area – 4 ft. x 4 ft. Unit</b>	8.67 sq. ft. (0.81 sq m)
<b>Percent Free Area</b>	54.2%
<b>Free Area Velocity at Beginning Point of Water Penetration – 0.01 oz H<sub>2</sub>O/sq. ft. Free Area</b>	973 fpm (4.94 m/s)
<b>Air Volume Flow Rate at Beginning Point of Water Penetration – 4 ft. x 4 ft. Unit</b>	8,433 cfm (3.98 m <sup>3</sup> /s)
<b>Pressure Drop at Beginning Point of Water Penetration</b>	0.12 in. H <sub>2</sub> O (0.030 kPa)



## RECOMMENDED SPECIFICATION

### GENERAL

Furnish and install where indicated on plans or described in schedules drainable Louver Type K6772 as designed and manufactured by The Airolite Company LLC, Schofield, Wisconsin. Louvers shall be furnished with bird screen, insect screen, supports, installation hardware and finishes as specified and as required for a complete installation.

### SUBMITTALS

Manufacturer shall submit shop drawings incorporating key plans, elevations, sections and details showing profiles, angles and spacing of louver blades and frames; unit dimensions related to wall openings and construction; and, anchorage details and locations. Provide samples of manufacturer's finish and color charts showing the full range of colors available. For each type of product specified, submit free area and air performance ratings shall be determined in accordance with AMCA Standard 500-L 99 and licensed under the AMCA Certified Ratings Program.

### PRODUCTS

Louvers shall be drainable Louver Type K6772. Louvers shall be 2-inches (50.8 mm) deep and assembled entirely from extruded aluminum components. Blades and frames shall be 0.063-inch (1.6 mm) thick extruded aluminum, alloy 6063-T5. Blades shall be stationary, drainable and spaced 2-inches (50.8 mm) on center.

### OPTIONAL WELDED ASSEMBLY

Join stationary blade, head, sill and jamb frames with fillet welds concealed from view, unless the size of the louver makes bolted connections between louver sections necessary. Louver blades shall be joined to each jamb frame with a minimum of one fillet welds produced with the Pulsed Gas Metal Arc Welding (GMAW/Mig) process.

### STRUCTURAL DESIGN CRITERIA

Manufacturer shall design and furnish all supports required to withstand a wind force of not less than 25 pounds per square foot. Louvers larger than 120-inches wide x 120-inches high (one dimension less than 72 inches) will be fabricated and installed in multiple sections. Louver blades, frames, mullions and anchorages shall be demonstrated to withstand the specified wind design load.

### PERFORMANCE RATINGS

FREE AREA:	8.67 Square Feet (0.81 m <sup>2</sup> )
MINIMUM FREE AREA VELOCITY at Beginning Point of Water Penetration:	973 fpm (4.94 m/s)
MINIMUM AIR VOLUME FLOW RATE at Beginning Point of Water Penetration:	8,433 cfm (3.98 m <sup>3</sup> /s)
PRESSURE DROP at Beginning Point of Water Penetration:	0.12 in. H <sub>2</sub> O (0.030 kPa)

See page 4 for complete finish options

# Color Selection Guide

Firestone Building Products offers the following 31 standard colors. We can also custom color match for unique aesthetic requirements.



Stone White SR	Sky Blue SR	Teal	Regal Red SR
Bone White SR	Regal Blue	Hemlock Green SR	Brandywine SR²
Almond SR	Electric Blue*	Tropical Patina SR	Colonial Red SR
Sandstone SR	Award Blue*	Patina Green SR	Terra Cotta SR
Slate Gray SR	Extra Dark Bronze	Dark Ivy SR²	Silver Metallic SR*
Cityscape SR	Dark Bronze SR¹	Sherwood Green SR	Classic Copper SR*
Charcoal Gray SR	Medium Bronze SR	Hartford Green	Champagne Metallic*
Sierra Tan SR	Matte Black SR¹	Mansard Brown SR	

These colors represent our steel and aluminum inventories.

All systems are not available in all colors.

A separate color card is available for aluminum composite.

**Oil canning is not a cause for rejection.**

**Protective film must be removed immediately after installation.**

For a true color representation, please contact us for actual metal sample(s).

**LEGEND**

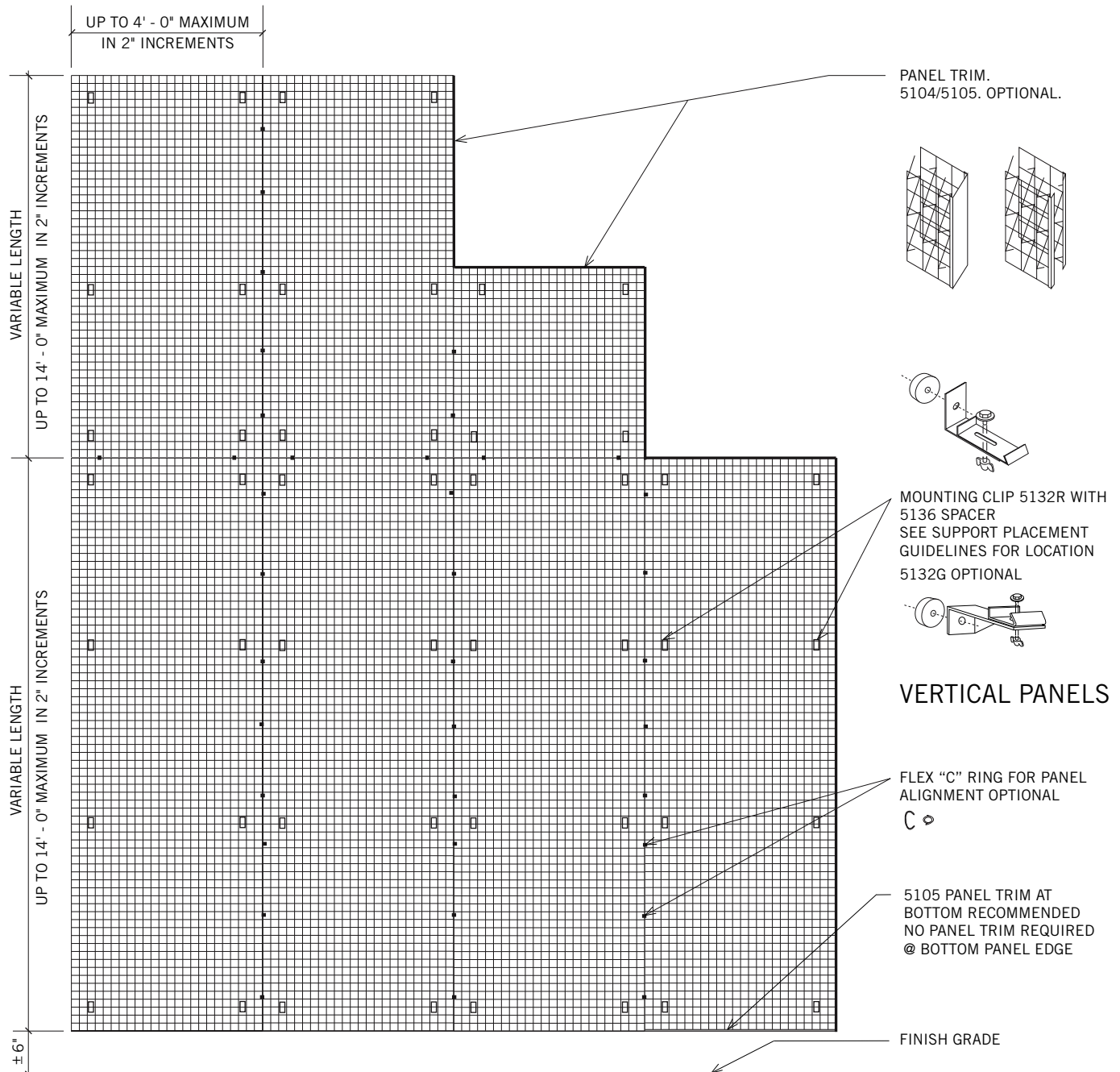
- ★ = Premium Color
- SR = Solar-Reflectant color with KYNAR finish having reflectivity of at least 0.25
- SR¹ = values qualify in steel only
- SR² = values qualify in aluminum only

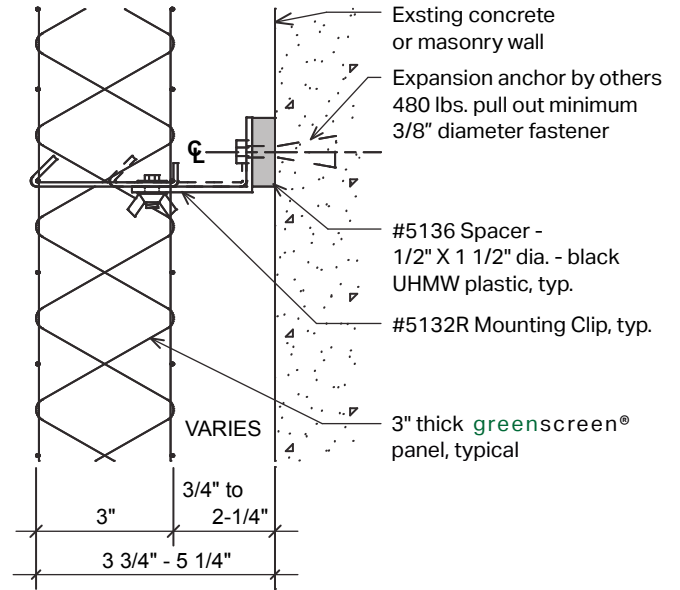
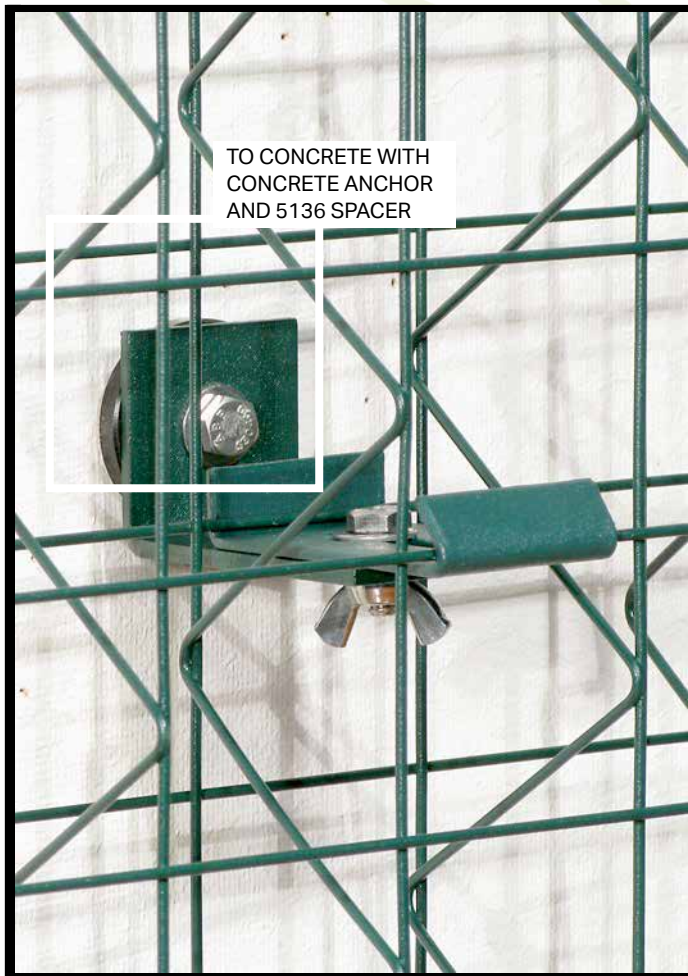
# mounting options

TRELLIS

## Wall Mounted

This example showing multiple modular panels in a wall hung application references typical trims and clips from our Accessory Items list. Combine custom screen sizes and profiles for your own unique **greenscreen®**.

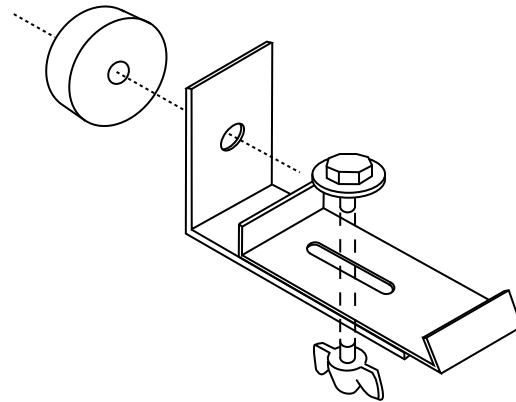




SECTION

**5132R ADJUSTABLE CLIP**

The 5132R Adjustable Clip provides panel support for both download and uplift. The clip can mount to wall surfaces or to a steel frame. The slot allows for panel adjustment and ease of installation.



**greenscreen®**

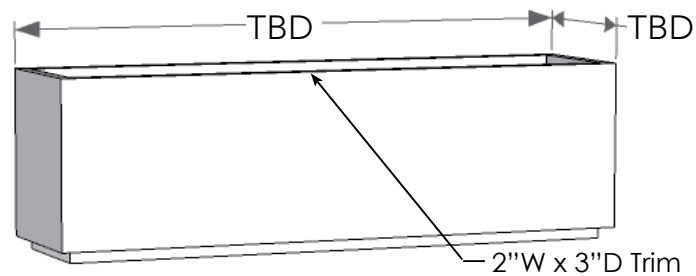
1743 S. LA CIENEGA BLVD. LOS ANGELES, CA. 90035 T - 800.450.3494

[www.greenscreen.com](http://www.greenscreen.com)

LU 22-122430 DZ Exh A1

# Marek Fiberglass Rectangular Planters

SKU F1-MAR-RECX



PERSPECTIVE VIEW

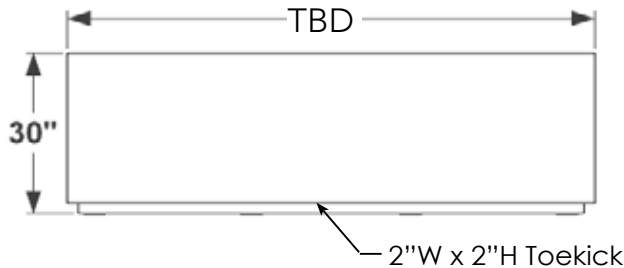
General Notes:

1. Locate drainage holes next to pads
2. If no drain holes are requested it is assumed proper drainage will be added in the field

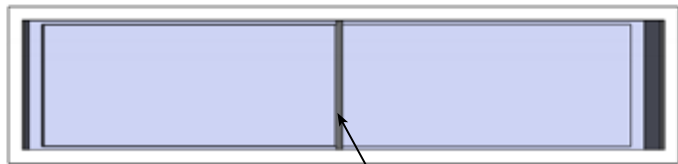
Drainage: Yes\_\_\_ No\_\_\_



BOTTOM VIEW



ELEVATION VIEW



INTERIOR VIEW

<p>Date: Scale: NTS DB: GGG CB: Rep: Order#:</p>	<p>Content: Marek Rectangular Fiberglass Planter PN: F1-MAR-REC962430 Color/Finish: Customer Approval:</p>	<p>Design by Planters Unlimited All visual representations and designs are the intellectual property of Planters Unlimited and protected under copyright law. Any duplication of this design is in direct violation of the law and will result in legal action. © Copyright 2008-2016</p>	<p> T:888-320-0626 F:760-598-9888</p>
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## TECHNICAL INFORMATION SHEET

### Sedum Cuttings

Product NUMBER: PL4200

#### Description:

Sedum cuttings can be used with the Columbia Green Layered or Planted-In-Place Green Roof Tray systems. Unrooted sedum cuttings are machine harvested twice per year from mature sedum plants, once in the spring and once in the fall, and are available in a wide variety of species. Installation time for cuttings is during the growing season, typically March 15<sup>th</sup> through October 1<sup>st</sup>. Please contact a Columbia Green representative for current availability from regional growers.



#### Technical Data:

- Recommended Application Rate: 150 lbs per 1,000 s.f. or higher
- Length: ½" to 3"

#### Plant Coverage Expectations:

Coverage	Application Rate	After one full year	After two full years	After three years
Bulk Cuttings	40 lbs. per 1000 sf	25%	50%	70%
	100 lbs. per 1000 sf	50%	70%	90%
	150 lbs. per 1000 sf	70%	80%	95%
	200 lbs. per 1000 sf	80%	90%	100%

#### Installation:

Level growing media with a large rake. Hand cast cuttings directly over freshly wetted growth media at specified rate according to layout drawings. Temporary hydromulch, or lightweight erosion control blanket can be placed over the cuttings if desired. Water thoroughly. Overhead watering twice daily during first two weeks after planting and once a week for the next 4-8 weeks to aid in root establishment. Water the system more frequently during extended periods of hot, dry weather conditions. Provide hand weeding as necessary.

#### Storage:

- Immediately move plants out of direct sun to a cool location.
- If they arrive in boxes: Open them up and spread out trays so they receive filtered (but not direct!) sun. Water 2-3 times/week until planting.
- If they arrive on pallet-shippers: They may be left unstacked for a maximum of 48-hours, as long as they are protected from sun and wind. Spreading out the trays and exposing them to light reduces risk. Water occasionally (2-3 times/week).

#### Precautions:

- Do not leave plants in hot closed storage areas.

#### LEED/ Materials Transparency:

500 mile or less Component Source Location- We partner with growers throughout North America. Contact Columbia Green Technologies for project-specific source location.

**APPENDICES**

Storm Water Report  
Driveway Design Exception



**Humber  
Design  
Group, Inc.**

Date: March 16, 2022

To: Bureau of Environmental Services  
1900 SW 4<sup>th</sup> Avenue, Suite 5000  
Portland, OR 97201

From: Paige Miller, PE, Associate  
Humber Design Group, Inc.

Subject: Block 75 – Preliminary Stormwater Management Report (Design Review)

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#### Project Overview

The proposed development consists of capping an existing driveway at NE Third Avenue and installing a new garage door at the street frontage for security.

Existing conditions include an uncovered driveway ramp (approximately 1,900 SF) with a trench drain at the bottom which collects stormwater runoff. Runoff collected at the trench drain is pumped to a stormwater planter east of the drive. Overflow from this planter is directed north to the existing 24" clay sewer pipe in NE Davis Street.

The existing trench drain, sump pump system, and stormwater planter will remain as a part of the new development. However, the existing overflow drain to the north will be capped and abandon. The planter will be modified to allow overflow to spill into the adjacent southern planter, which ultimately directions overflow to the existing 21" combined sewer in NE Couch Street.

After the driveway cap is installed, the amount of runoff to reach the trench drain will be minimal including small amounts of rainwater shedding from vehicles. Through a Special Circumstance with Source Control, we propose to maintain the trench drain connection to the storm planter system due to complications with locating and constructing a sanitary-only lateral.

#### Quality and Quantity Control

Stormwater runoff from the newly constructed impervious roof area at the driveway will be managed by full ecoroof. A minimum 4" depth of growing medium will be installed and at least 90% of the ecoroof area will consist of vegetation.

HydroCAD was used to calculate the ecoroof area needed to meet the stormwater management requirements, which includes limiting the post-developed peak flow from the 25-year, 24-hour storm event to the pre-developed 10-year, 24-hour peak flow rate. Calculations utilized a CN of 98 for impervious area and 61 for ecoroof, which result in a weighted CN of 67.



**Table 1 – Catchment Areas and Facility Table**

<b>Catchment/ Facility ID</b>	<b>Source (roof, road, etc.)</b>	<b>Imper. Area (sf)</b>	<b>Ownership (private/ public)</b>	<b>Facility Type/ Function</b>	<b>Facility Size (sf)</b>	<b>CN #</b>
A	Roof	2310	Private	Ecoroof	1965	67

Disposal

Overflows from the ecoroof section will be captured by overflow drain and routed to the existing stormwater flow-through planters located east of the roof, which was originally sized to handle an equal amount of runoff from the uncovered drive.

Disposal will be designed under Level 3 with a connection to the existing 21" combined sewer located in NE Couch Bike Lane.

Sincerely,

**Humber Design Group, Inc.**



Dave Humber, P.E.

Principal

"I hereby certify that this Stormwater Management Report for the Block-75 project has been prepared by me or under my supervision and meets minimum standards of the City of Portland and normal standards of engineering practice. I hereby acknowledge and agree that the jurisdiction does not and will not assume liability for the sufficiency, suitability, or performance of drainage facilities designed by me."



**Summary for Subcatchment 1S: Pre-Developed**

Runoff = 0.02 cfs @ 7.98 hrs, Volume= 287 cf, Depth= 1.49"

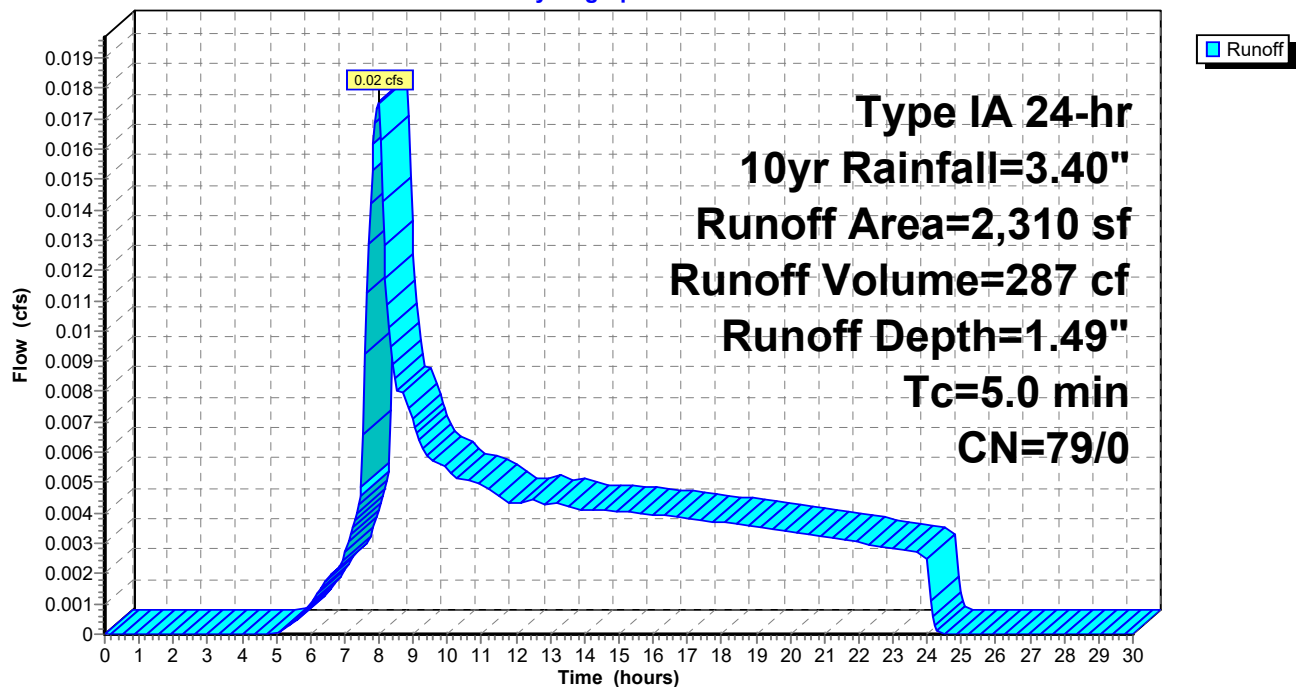
Runoff by SBUH method, Split Pervious/Imperv., Time Span= 0.00-30.00 hrs, dt= 0.05 hrs  
Type IA 24-hr 10yr Rainfall=3.40"

Area (sf)	CN	Description
* 2,310	79	
2,310		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

**Subcatchment 1S: Pre-Developed**

Hydrograph



## Ecoroof

Prepared by Humber Design Group, Inc.

HydroCAD® 10.00-15 s/n 09142 © 2015 HydroCAD Software Solutions LLC

Type IA 24-hr 25yr Rainfall=3.90"

Printed 3/16/2022

Page 10

### Summary for Subcatchment Roof: Ecoroof

Runoff = 0.01 cfs @ 8.00 hrs, Volume= 209 cf, Depth= 1.08"

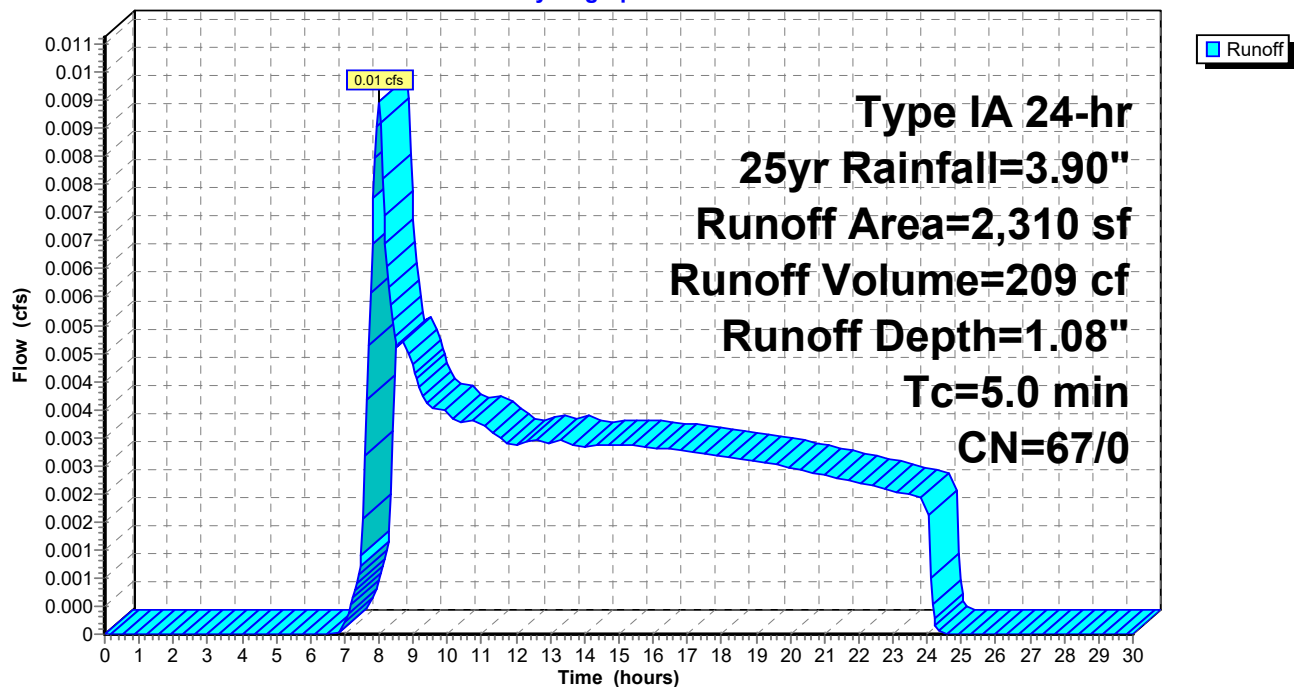
Runoff by SBUH method, Split Pervious/Imperv., Time Span= 0.00-30.00 hrs, dt= 0.05 hrs  
Type IA 24-hr 25yr Rainfall=3.90"

	Area (sf)	CN	Description
*	2,310	67	
	2,310		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

### Subcatchment Roof: Ecoroof

Hydrograph

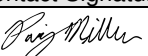




# DRIVEWAY DESIGN EXCEPTION REQUEST FORM

DRIVEWAY DESIGN EXCEPTION NUMBER

## Project & Contact Information

Project Street Address		Associated CO, RS, SD, EA, LU, or WI Number (if applicable)	
Contact Name	Contact Role in Project		
Contact Telephone Number	Contact Email Address		
Contact Signature			Date
			

## Driveway Code Exceptions – check box for each exception requested

- ☐ **Allow driveway location within 25' of lot corner at street intersection** - TRN 10.40.D.1 - No portion of a driveway, excluding ramps if required, shall be located closer than 25 feet from the corner of a lot where two streets intersect.
- ☐ **Allow driveway width that differs from width allowed by code**
- Residential Driveway** - (House) Width 9 feet min. to 20 feet max. or (Multi-Dwelling, Greater than 6 Units ) Width 20 feet min. to 24 feet max. See TRN 10.40.E.a.1-3 for exceptions
- Commercial Driveway** - (Includes mixed-use properties) Width 20 feet min. to 24 feet max. See TRN 10.40.E.a.4.a for exceptions
- Industrial Driveway** - Width 20 feet min. to 40 feet max. See TRN 10.40.E.5 for exceptions
- Allow single dwelling zoned lot to have a driveway on more than one frontage** - TRN 10.40.D.2
- ☐ **Waive requirement for minimum curb length between driveways** - TRN 10.40.E.2 - A minimum of 5 feet of straight curb must separate driveways (or 11' if no curb present) regardless of the type of driveway proposed or property ownership.
- ☐ **Allow less than 100' of separation** - TRN 10.40.D.2 - If more than one driveway is proposed per frontage on a property under one ownership, a minimum of 100 feet must separate centerlines of those driveways.
- ☐ **Waive requirement for shared driveway** - TRN 10.40.D.7 - Shared driveways are required with Attached Housing of two or more dwellings, regardless of ownership.
- ☐ **Waive requirement for forward motion egress** - TRN 10.40.D.4 - A driveway accessing a roadway classified as a neighborhood collector or higher traffic classification or a local service street with centerline pavement markings must be designed to allow forward motion ingress and egress.
- Waive requirement for driveway location on lowest classified street** - TRN 10.40.D.5 - For any site with more than one frontage, driveway access is permitted only from the street with the lowest classification per the adopted Transportation System Plan
- Allow access control mechanism(s) associated with commercial permit regardless of location** -  
PCC 17.28.110.B - The Director of the Bureau of Transportation may refer any driveway application to the City Traffic Engineer for review.
- Other** - PCC 17.28.110.B - The Director of the Bureau of Transportation may refer any driveway application to the City Traffic Engineer for review.



The Portland Bureau of Transportation fully complies with Title VI of the Civil Rights Act of 1964, the ADA Title II, and related statutes and regulations in all programs and activities. For accommodations, complaints and information, call (503) 823-5185, City TTY (503) 823-6868, or use Oregon Relay Service: 711.

LU 22-122430 DZ Exh A1

## Project Description & Reason for Requesting Exception

Briefly describe your project and thoroughly describe your reason for requesting a design exception to the above selected code; attach additional pages if necessary. (Delays may occur for not submitting all relevant information)

## Site Plan & Supporting Documentation

You are required to attach a site plan with dimensions on no larger than a 11"x17" page size that at a minimum includes property lines, curb lines, sidewalks, the adjacent street area, the driveway(s) for which an exception is being requested, any other driveways on the property, width of driveways, distance between driveways, distance between driveways and lot corners, and all street furniture and other obstructions in the area of the driveway such as utility poles, signs and trees. For commercial driveways (non-residential or 3 or more units) include building footprints and parking lot layouts with spaces and direction of travel. Also attach any other supporting documentation such as communications with City staff, turning movement exhibits, cross sections, traffic reports, etc.

☐ Site plan attached

## Instructions

Use this form to request a Driveway Design Exception (DDE). A DDE is a request to allow an exception to City Code as relates to driveway width, number, or location. DDEs do not alter completed land use reviews and a new or amended land use review may be required to incorporate changes from a successful design exception. You are advised to discuss your case with the Portland Bureau of Transportation (PBOT) review staff before filing a request against a completed land use review.

This form must be filled out completely. For help, or questions about this form please consult the PBOT review staff assigned to your project or call (503) 823-7002 and select option 3.

Email the form and supporting documents in pdf format to [DrivewayDesignException@portlandoregon.gov](mailto:DrivewayDesignException@portlandoregon.gov). You may also mail or hand-deliver requests to:

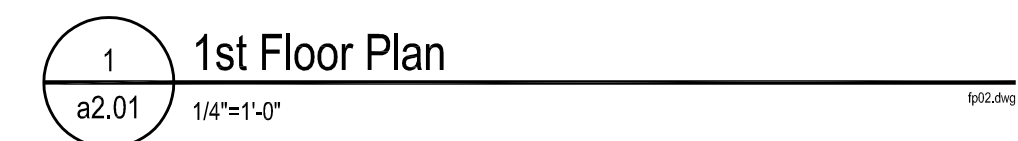
City of Portland - 5th Floor Reception  
Attn: PBOT Building Plan & Development Review (299/5000)  
1900 SW 4th Avenue  
Portland, OR 97201

Note: As of October 1, 2017, a Driveway Design Exception (DDE) fee of \$250.00 will be charged at the time of request. This fee amount is subject to change, therefore the applicant should confirm the current fee amount with the Transportation Development & Street Systems Management's Fee Schedule (Portland Policy Document TRN-3.450) found here: <https://www.portlandoregon.gov/citycode/article/405864>. The DDE request form will not be processed without the payment of the DDE fee. Payment may be made by check, cash, or credit card, and submitted to the above address.



*The Portland Bureau of Transportation fully complies with Title VI of the Civil Rights Act of 1964, the ADA Title II, and related statutes and regulations in all programs and activities. For accommodations, complaints and information, call (503) 823-5185, City TTY (503) 823-6868, or use Oregon Relay Service: 711.*

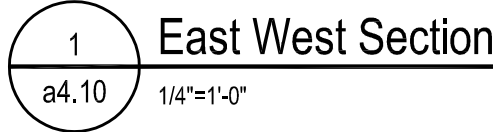
- A. Interior Partitions are Type W1/a Unless Noted Otherwise
- B. Reference Sheet g.0.01 for Dimensioning Standards & Abbreviations
- C. Reference Sheet g.0.01 for Accessibility Standards and Device Locations
- D. Reference Sheet a.0.01 & a.0.02 For Wall Types & Ceiling Types
- E. Reference Building Elevations, Sheets a.0.1-a.0.4
- F. Reference Enlarged Plans for Additional Dimensions
- G. Reference Specifications for Materials References, Underlined Items and Additional Information/Project Requirements.
- H. Re: Edge of Slab Plans For Opening & Additional Dimensions

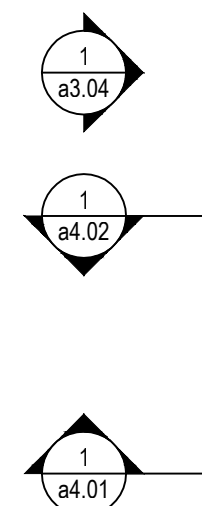


Number:

U 22-122430 DZ Exh A1







- A. Interior Partitions are Type W1a Unless Noted Otherwise
- B. Reference Sheet g0.01 for Dimensioning Standards & Abbreviations
- C. Reference Sheet g0.01 for Accessibility Standards and Device Locations
- D. Reference Sheet a0.01 & a0.02 For Wall Types & Ceiling Types
- E. Reference Building Elevations, Sheets a3.01-a3.04 for Window Types
- F. Reference Enlarged Plans for Additional Dimensions
- G. Reference Specifications for Materials References, Underlined Items and Additional Information/Project Requirements
- H. See Sheets a6.10-a6.15 For Enlarged Stair & Elevator Plans
  - I. Edge of Slab Plans For Opening & Additional Dimensions
  - J. Unrated demising walls at TI Spaces to remain open to studs on side of wall

**W.P.A**  
**works partnership architecture LLC**  
524 e burnside street suite 320 portland, or 97214  
503/234.2945 tel  
503/234.6583 fax  
worksarchitecture.net

**Block 75**  
111 NE Martin Luther King Jr Blvd  
WPA job number: 1121

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Revisions:	Date:	Issue:
	12.03.2014	Contract Set
	12.16.2014	Amendment 1
	02.06.2015	Δ ASI-001
	03.11.2015	Δ ASI-002
	05.13.2015	Δ ASI-006
	08.11.2015	Δ ASI-012

REGISTERED ARCHITECT  
CARRIE  
STRICKLAND  
*CS*  
PORTLAND, OR  
4952  
STATE OF OREGON

Sheet Title: **Basement Floor Plan**

Sheet Number:

a2.00

2-122430 DZ Exh A1

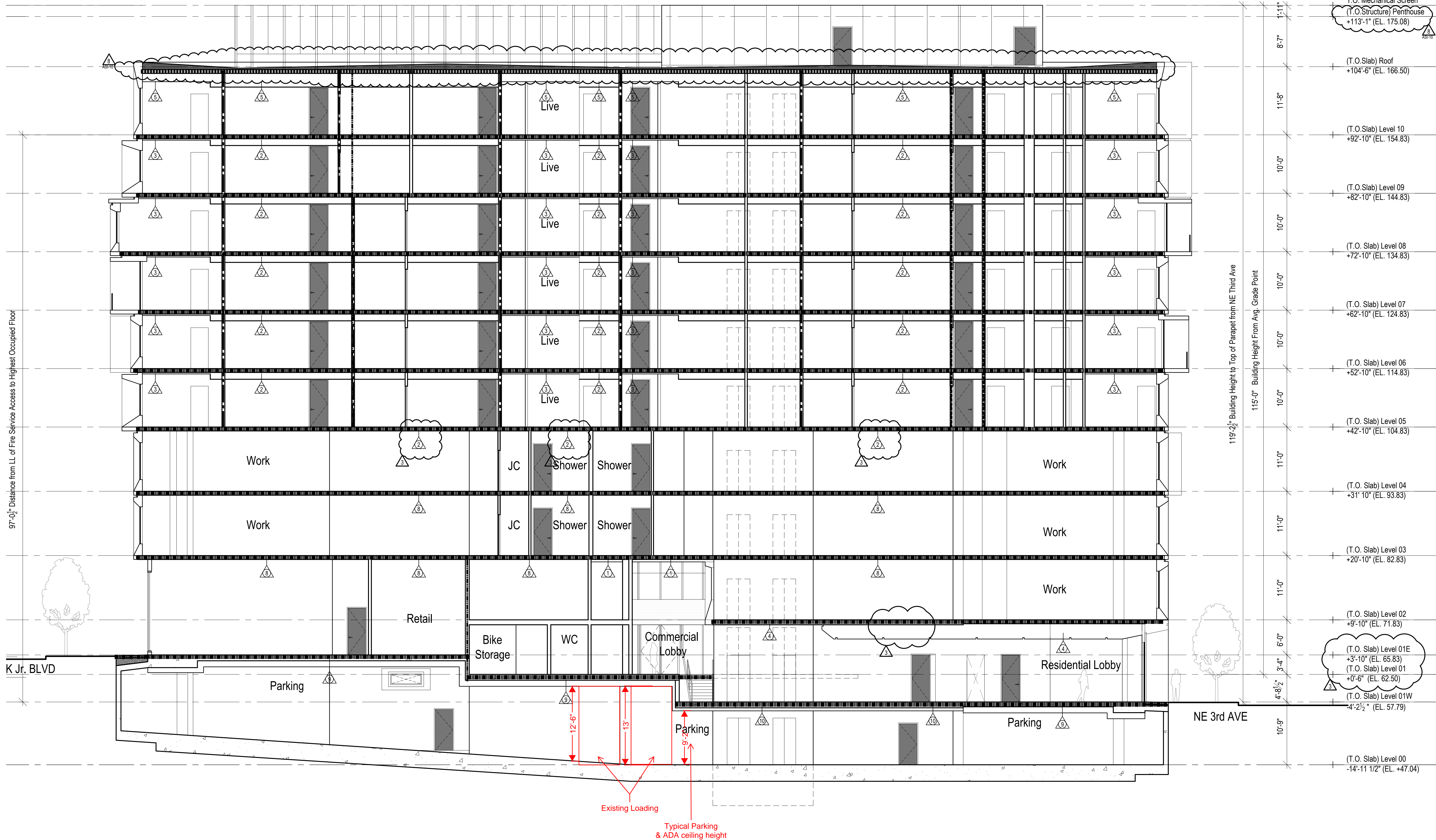
Conformed Construction Set 03.27.2015

1 Basement Floor Plan  
a2.00 1/8"=1'-0"

## Fire Assemblies

 1/2 Hour Fire Partition  
 1 Hour Fire Partition  
 1 Hour Fire Barrier Assembly  
 2 Hour Fire Barrier Assembly  
 3 Hour Fire Barrier Assembly





Fire Assemblies	
	1/2 Hour Fire Partition
	1 Hour Fire Partition
	1 Hour Fire Barrier Assembly
	2 Hour Fire Barrier Assembly
	1 Hour Fire Resistance Rating
	1 1/2 Hour Fire Resistance Rating
	2 Hour Fire Resistance Rating

1  
a4.02  
E-W Section  
1/8"=1'-0"

Sheet Title:  
Building Sections

Sheet Number:

a4.02

Revisions:	
Date:	Issue:
03.11.2014	Contract Set
07.02.2015	AS-005
08.12.2015	AS-010
	AS-012



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Block 75  
111 NE Martin Luther King Jr Blvd

W.P.A  
works partnership architecture LLC  
524 e burnside street suite 320 portland, or 97214  
503/234.2945 tel  
503/234.6583 fax  
worksarchitecture.net

Conformed Construction Set 03.27.2015

ROLLING SERVICE DOORS

800

WAYNE DALTON COMMERCIAL DOOR SYSTEMS

## 800 SERIES ROLLING SERVICE DOORS

### ROLLING SERVICE DOORS TO MEET YOUR MOST DEMANDING AND RIGOROUS APPLICATIONS

The Wayne Dalton 800 Series rolling service door is designed to meet the tough requirements of virtually any commercial or industrial application. The 800 Series offers flexibility in substrate materials with choices of galvanized or prime steel, stainless steel, or aluminum.

Color options range from our standard five factory finish colors to a full range of 180 RAL powder coat choices.



- SIZES UP TO 42' WIDE AND 40' HIGH
- MAX STEEL GAUGE = 16
- FLAT AND CURVED 3" SLATS AVAILABLE
- WIND LOAD UP TO 55 PSF

LU 22-122430 DZ Exh A1



## ROLLING SERVICE DOORS

# 800 SERIES

Popular in both interior and exterior applications, the Wayne Dalton 800 Series rolling service door features a galvanized, pre-painted curtain of minimum 22-gauge steel. The 800 Series doors have a standard wind load rating of 20 PSF. An optional wind load rating of up to 55 PSF is available to cover your Florida and Dade County wind load requirements.

### Materials & Construction

Wayne Dalton's 800 Series rolling doors are composed of curved or flat-faced slats that provide a natural water-shed, helping to reduce corrosion. The slats are designed with free-acting interlocking joints that permit easy articulation when the door coils.

The 800 Series features a strong double-angle bottom bar that reinforces the lower edge of the curtain against wind pressure and permits varied lock, astragal, and safety edge options. This bottom bar is designed for easy installation and does not require fasteners protruding into the guide openings, so the bottom bar does not interfere with door operation.

Counterbalance assembly consists of a spring barrel which serves as a load-carrying beam. It encases the counterbalance mechanism and provides the axis around which the curtain coils. (Deflection is limited to 0.033" per lineal foot of span.) If required, barrel rings of malleable iron or stamped steel may be provided to assure proper counterbalance. Oil-tempered, torsion-type counterbalance springs are wound from heat-treated steel, providing accuracy in balancing the door. Barrel plugs connect ends of springs to barrel and tension rod. Tension rod of steel shafting holds fixed ends of springs and carries torsion load of spring counterbalance.

Spring tension adjusting wheel is normally mounted outside the bracket on end of tension rod. Inside adjusting wheel for tight side-room applications is available in limited sizes.

The hood covers the curtain coil and counterbalance mechanism.

### Available Options

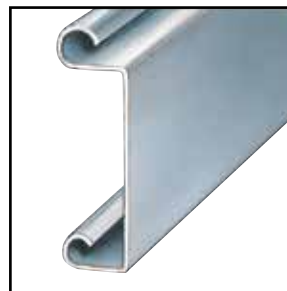
- Vision Slats/Panels
- Secur-Vent (Flat Slat Only)
- Safety Edges
- Drop Stop Device
- Exhaust Ports
- Sloping Bottom Bars
- Powder Coated
- Motor Operators
- Cable Reels
- Mullions
- Thru-Wall Operation
- Stainless Steel or Aluminum Finishes



### Slat Profiles



**No. 4** — Curved-faced single crown slat available in up to 16-gauge steel, up to 18-gauge stainless steel, or up to 14-gauge B&S aluminum (mill, clear, or bronze anodized). Depth of crown:  $\frac{7}{8}$ ",  $2\frac{5}{8}$ " on centers.



**No. 14** — Flat-faced slat available in up to 16-gauge steel, up to 18-gauge stainless steel, or up to 14-gauge B&S aluminum (mill, clear, or bronze anodized). Depth of crown:  $\frac{3}{4}$ ",  $2\frac{1}{4}$ " on centers.



**Secur-Vent** — Perforated slat provides optimal security and ventilation. Slat consists of  $1/16$ " diameter holes offering 41% open area over length of each slat. Available in No. 14 flat slat up to 22' wide x 20' high.



No. 4 slat



No. 14 slat, shown with a Pass Door.



Secur-Vent

# ROLLING SERVICE DOORS

## 800 SERIES

### 800 Series (Face Mounted)

Width A	HEIGHT B (OPENING HEIGHT)											
	9'0"			TO 14'0"			TO 18'0"			TO 18'0"		
	BRACKET SIZE		SIDE ROOM	BRACKET SIZE		SIDE ROOM	BRACKET SIZE		SIDE ROOM	BRACKET SIZE		SIDE ROOM
	X & Y	R	L	X & Y	R	L	X & Y	R	L	X & Y	R	L
CHAIN HOIST OPERATED												
TO 20'0"	18-1/2"	8"	6"	22"	8"	6"	24"	8"	6"	26"	8"	6"
20'0" TO 25'0"	18-1/2"	8"	6"	22"	8"	6"	24"	8"	6"	26"	8"	6"
25'0" TO 28'0"	18-1/2"	8"	6"	22"	8"	6"	24"	8"	6"	26"	8"	6"
MOTOR OPERATED												
TO 20'0"	20"	8"	6"	22"	8"	6"	24"	8"	6"	26"	8"	6"
20'0" TO 25'0"	20"	8"	6"	22"	8"	6"	24"	8"	6"	26"	8"	6"
25'0" TO 28'0"	20"	8"	6"	22"	8"	6"	24"	8"	6"	26"	8"	6"
CRANK OPERATED-CONSULT FACTORY												

### 800 Series (Between Jambs, Under Lintel)

Width A	HEIGHT B (OPENING HEIGHT)											
	9'0"			TO 14'0"			TO 18'0"			TO 18'0"		
	BRACKET SIZE		SIDE ROOM	BRACKET SIZE		SIDE ROOM	BRACKET SIZE		SIDE ROOM	BRACKET SIZE		SIDE ROOM
	X & Y	R	L	X & Y	R	L	X & Y	R	L	X & Y	R	L
CHAIN HOIST OPERATED												
TO 20'0"	18-1/2"	9-1/16"	7-1/16"	22"	9-1/16"	7-1/16"	24"	9-1/16"	7-1/16"	26"	9-1/16"	7-1/16"
20'0" TO 25'0"	18-1/2"	9-1/16"	7-1/16"	22"	9-1/16"	7-1/16"	24"	9-1/16"	7-1/16"	26"	9-1/16"	7-1/16"
25'0" TO 28'0"	18-1/2"	9-1/16"	7-1/16"	22"	9-1/16"	7-1/16"	24"	9-1/16"	7-1/16"	26"	9-1/16"	7-1/16"
MOTOR OPERATED												
TO 20'0"	20"	9-1/16"	7-1/16"	22"	9-1/16"	7-1/16"	24"	9-1/16"	7-1/16"	26"	9-1/16"	7-1/16"
20'0" TO 25'0"	20"	9-1/16"	7-1/16"	22"	9-1/16"	7-1/16"	24"	9-1/16"	7-1/16"	26"	9-1/16"	7-1/16"
25'0" TO 28'0"	20"	9-1/16"	7-1/16"	22"	9-1/16"	7-1/16"	24"	9-1/16"	7-1/16"	26"	9-1/16"	7-1/16"
CRANK OPERATED-CONSULT FACTORY												

NOTE: Dimensions are for general reference only and not for construction purposes.







# RAMP CAP 321 NE COUCH ST

PRESENTED BY WORKS PROGRESS ARCHITECTURE

Submitted: March 18, 2022

Design Review Package



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## PROJECT AND SITE INFORMATION

PROJECT SUMMARY



ADDRESS: 321 NE Couch St  
PROPERTY ID #: R150027 & R150028  
STATE TAX #: 1N1E34DA 02900 &  
1N1E34DA 03200  
ALT ACCOUNT #:  
TAX ROLL:

Block 75 is a full city block located at the east end of the Burnside Bridge adjacent to the Couch Couplet; Between NE Martin Luther King Jr Blvd (MLK), NE Third Ave, NE Couch St. and NE Davis St. The existing Block 75 Slate building occupies the southern half of the block, including a generous open plaza to the north that provides an east/west through block connection. Directly north of the plaza, a mid block driveway/ open ramp is located off of NE 3rd Ave. providing access to the sub grade parking garage where loading, vehicle and bike parking for the existing building are located.

The proposed development caps the existing driveway/open ramp access at NE 3rd Ave., allowing for a fully secure and covered entry to the existing garage serving

the Slate building at 321 NE Couch Ct. The new structure will consist of concrete masonry walls and a non-accessible green roof.

Access to the garage will be provided via a high speed garage door framed in the same faceted expression as Block 75 Slate's framed views. The project will maintain an existing five foot landscape buffer directly to the north and will provide a custom mural along the north face of the new wall.

The south facade will include new planters and landscaping to compliment the existing courtyard and screen the new wall at this location. This proposal assumes a concurrent property line adjustment, moving the property line between the two parcels to sit 8' from the northern edge of the ramp cap structure.

ZONING CODE

Development Standards Summary

Base Zone ..... EX (Central Employment)  
Overlay ..... d (Design Review) .  
District ..... CC (Central City)  
Subdistrict ..... Central Eastside (CEID)

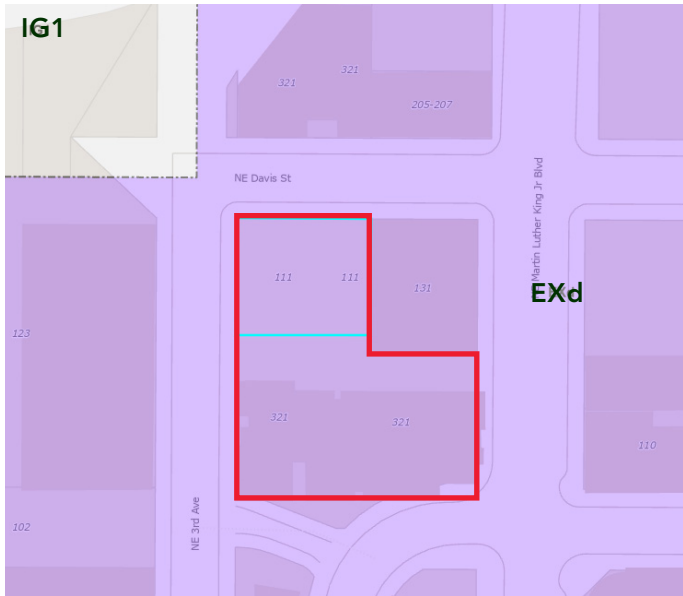
Base Zone FAR ..... 3:1  
CC FAR ..... 9:1 (up to 12:1 with Transfers)  
Base Zone Height ..... 65 ft

CC Height ..... 200 ft (Per 33.510.205 & Map 510-3)  
Setbacks Required ..... 0 ft to Adjacent EX zone  
5 ft of Landscaping at Lot Lines  
Adjacent to Driveway

Building Lines ..... Required on Building Face along NE  
MLK Blvd

Ground Floor Windows ..... Required  
Entrance Requirements ..... The main entrance must be within 25’  
of a transit street  
Transit Streets ..... NE Couch & NE Martin Luther

ZONING MAP



VEHICLE & BIKE PARKING

Existing to Remain

Central City Parking Sector ..... Central Eastside Subdistrict, CE2  
Minimum ..... No Minimum  
Max ..... No Maximum  
Vehicle Spaces Provided ..... 48 + 2 ADA  
No CCPR Required for up to 60 spaces on the site designated for allowed use.

Loading Required ..... One Standard A  
Loading Provided ..... Two Standard B Through Previous Modification

BIKE PARKING

	Residential	Office	Retail	TOTAL
Long Term Spaces .....	113	2	2	117
Short Term Spaces .....	4	2	2	8

LOADING

Loading Required ..... One Standard A Space, 35ftx10ft with clearance of 13 ft.  
Loading Provided ..... Two Standard B Through Previous Modification



C1.3 EXISTING CONDITIONS & ADJACENT CONTEXT



Neighborhood View looking south from NE MLK Blvd.



Neighborhood View looking west from NE Davis St.



Neighborhood View looking south from NE 3rd Ave.



Site view looking east from NE 3rd Ave down drive/ramp.



Site view looking east from NE 3rd Ave into courtyard.

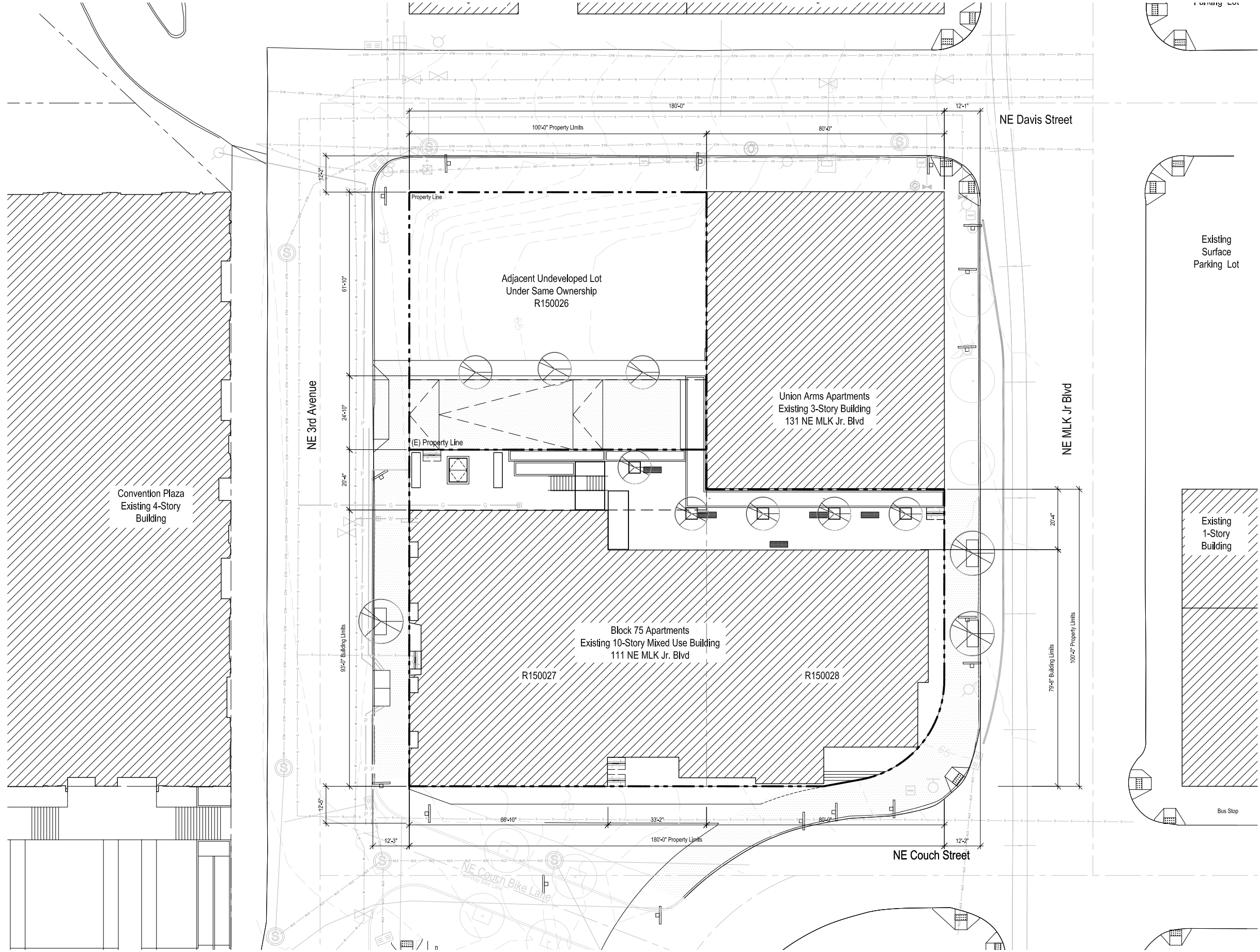


Site view looking north west at upper courtyard.

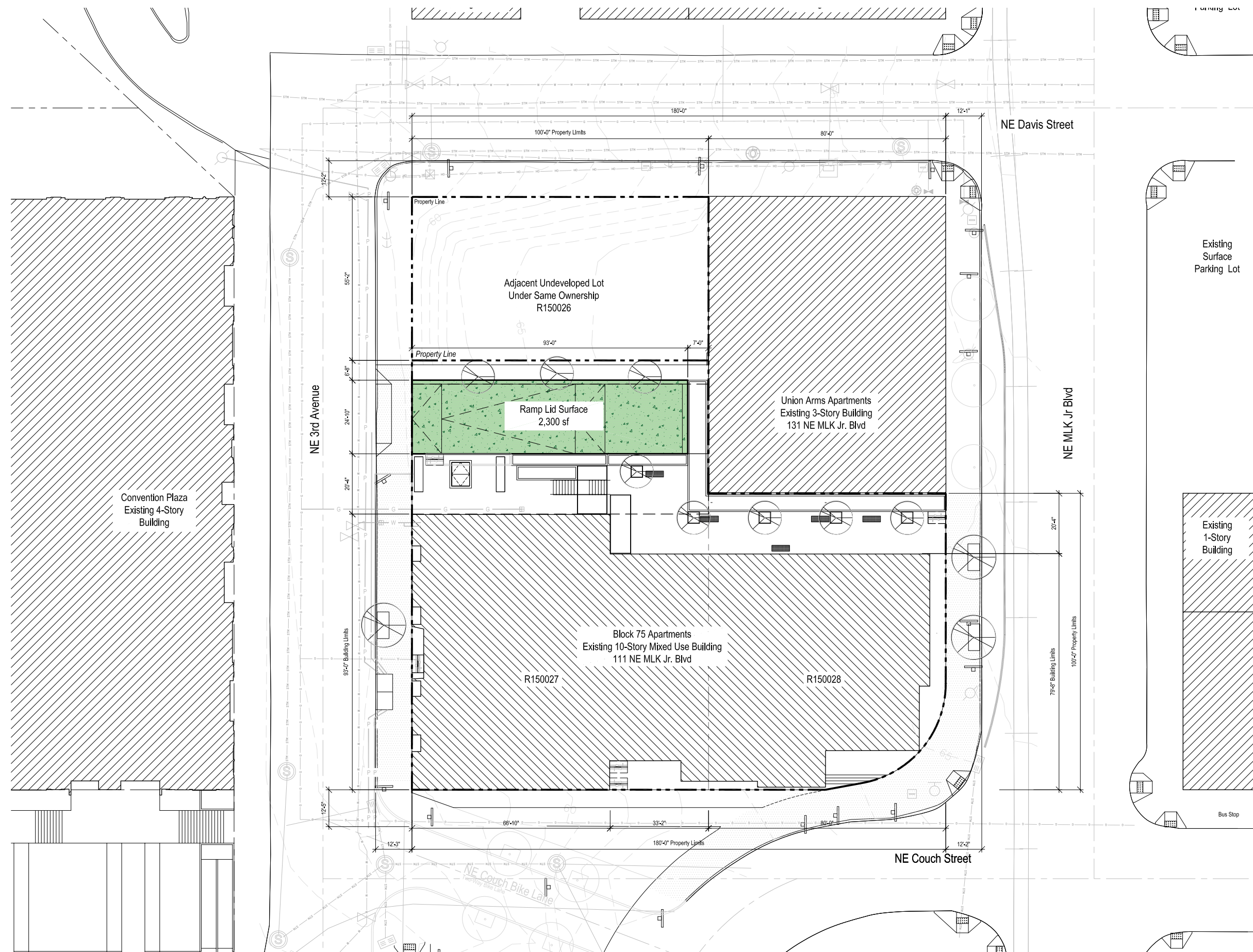


C1.4 EXISTING SITE PLAN

R150026 Lot .....	8,665 sf
R150027 & R150028 Lot .....	20,998 sf
Total Site Area .....	29,663 sf



## C1.5 PROPOSED SITE PLAN



Proposed Site	
R150027 & R150028 Lot .....	22,177 sf
Ramp Cap Roof Area .....	2,300 sf





West Street View



North Wall





South Wall at Plaza



Green Roof View

# SITE STRATEGY



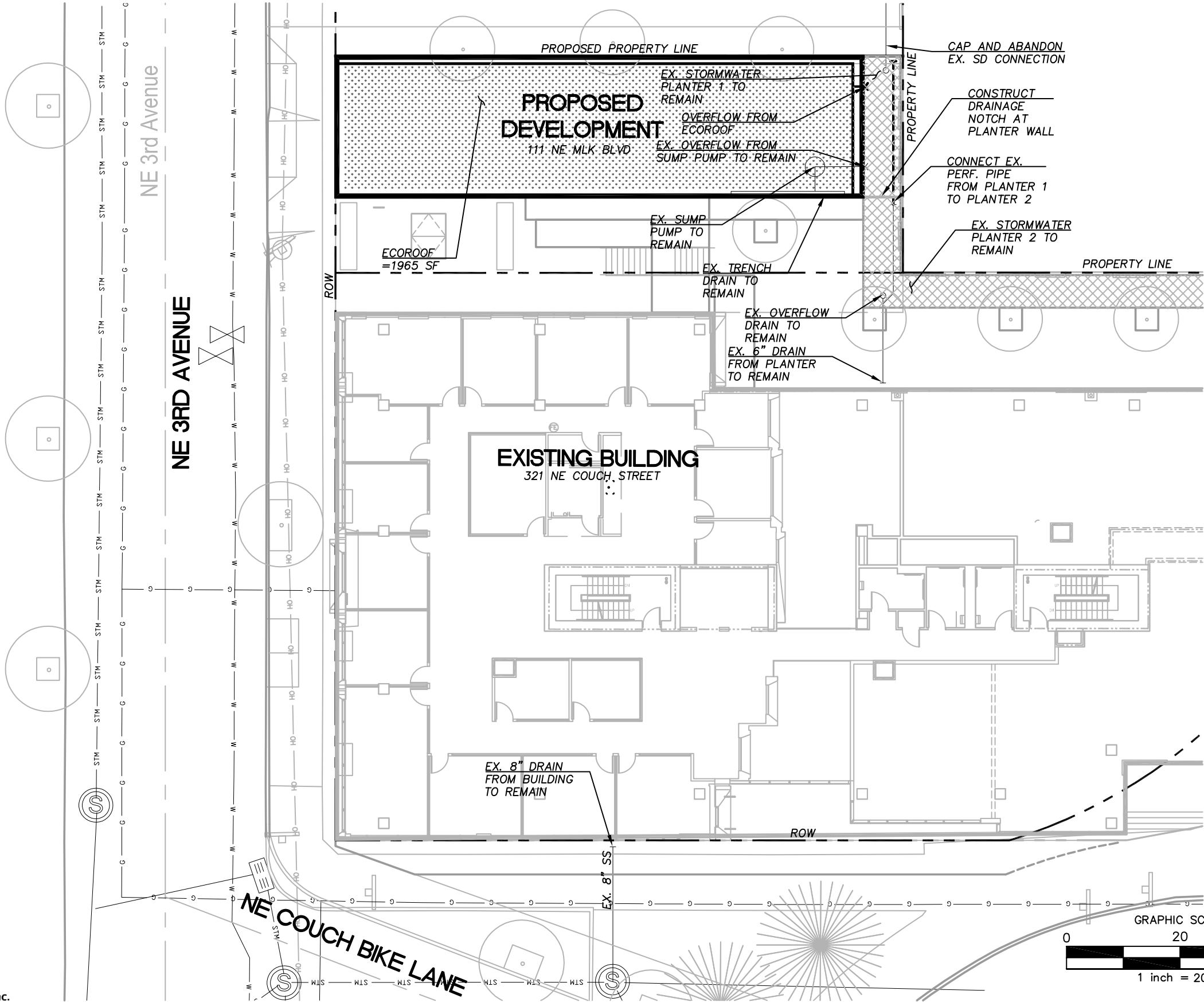
STORMWATER NARRATIVE

PRIVATE SITE:

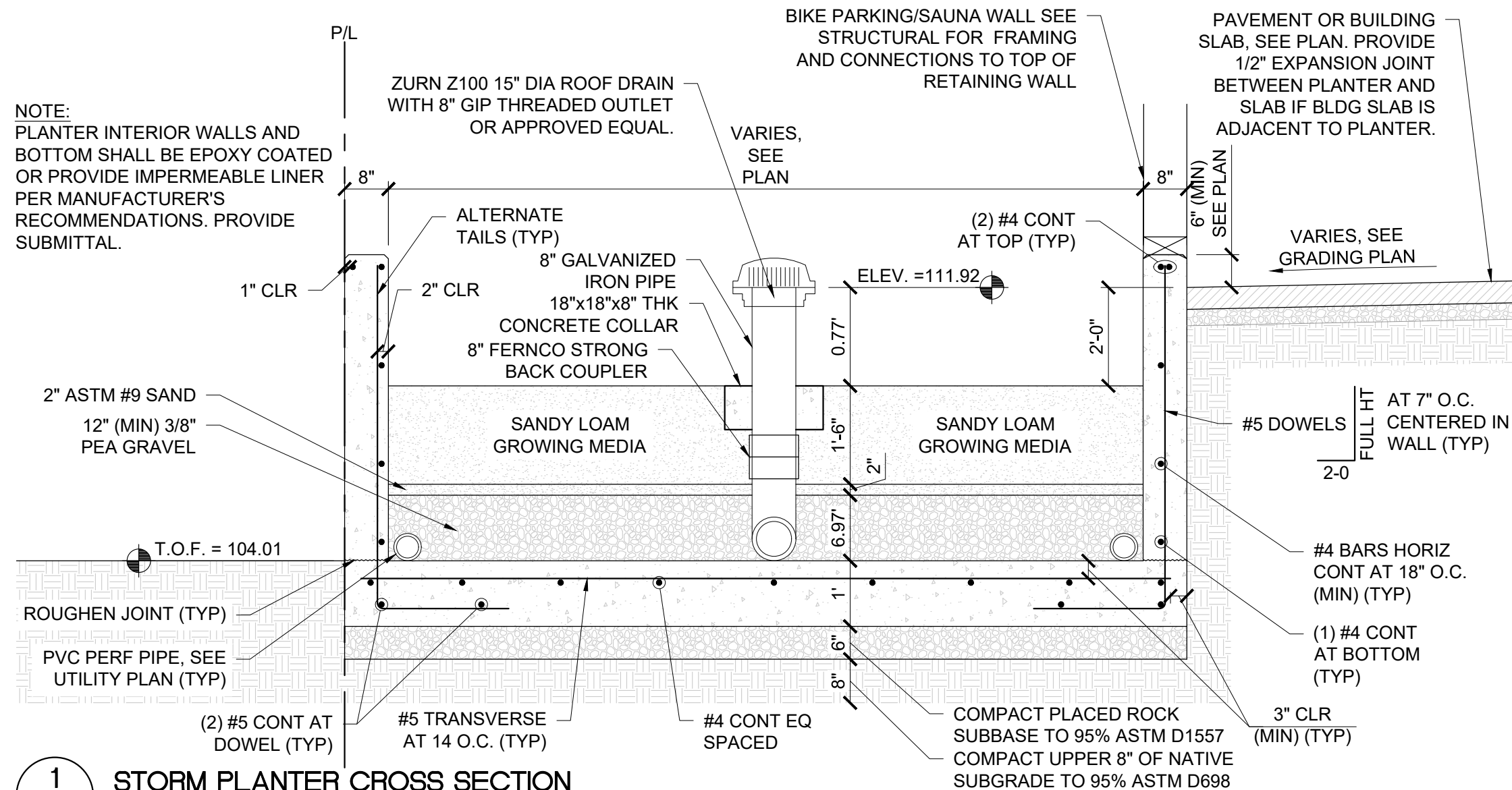
WATER QUANTITY AND WATER QUALITY CONTROL REQUIREMENTS WILL BE MET WITH FULL ECOROOF. THE PROJECT WILL FALL UNDER LEVEL 3 OF THE STORMWATER DISPOSAL HIERARCHY WITH OVERFLOWS DIRECTED TO THE EXISTING 21" COMBINED SEWER IN NE COUCH BIKE LANE.

PUBLIC STREET IMPROVEMENTS:

PUBLIC FRONTAGE IMPROVEMENTS AND STORMWATER MANAGEMENT ARE NOT REQUIRED FOR THIS PROJECT.

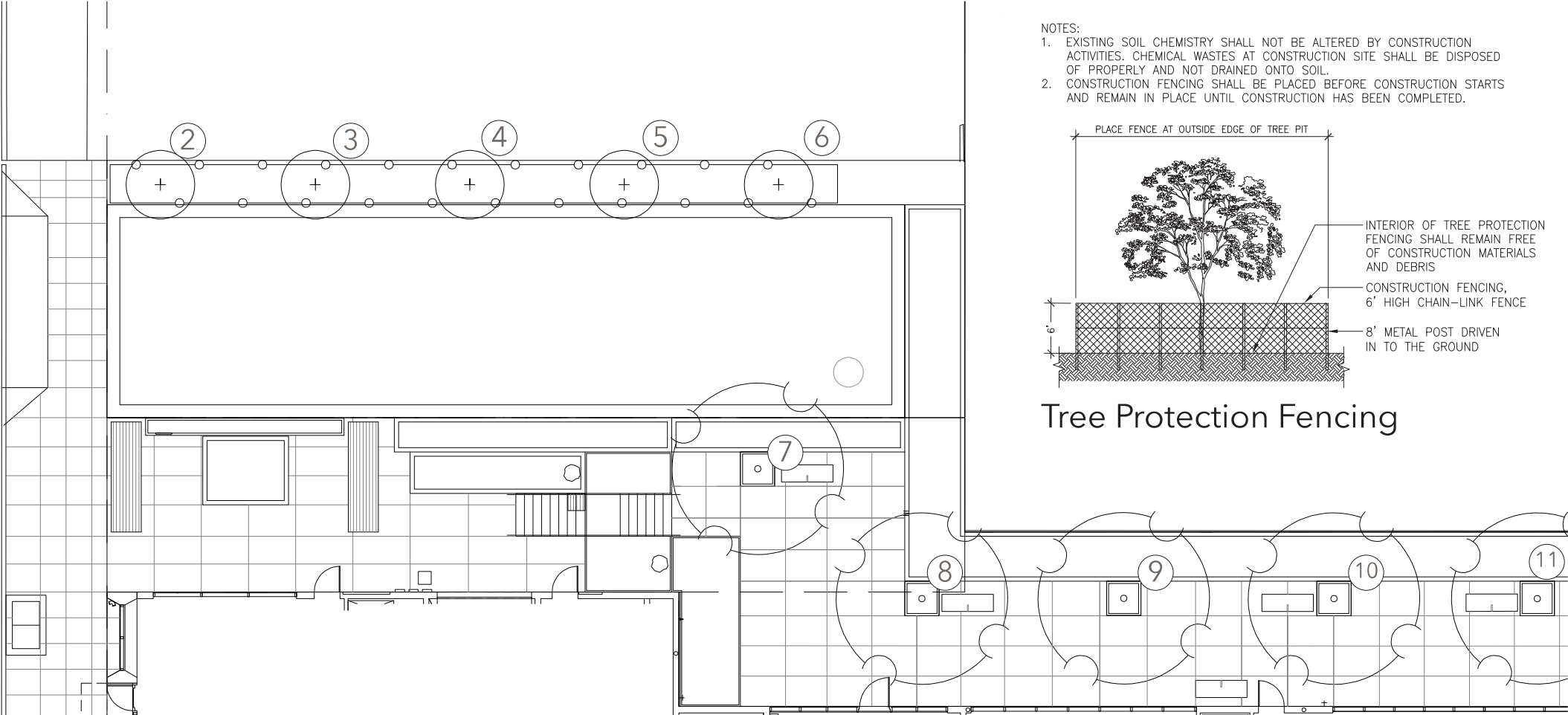


## C2.2 STORM PLANTER CROSS SECTION

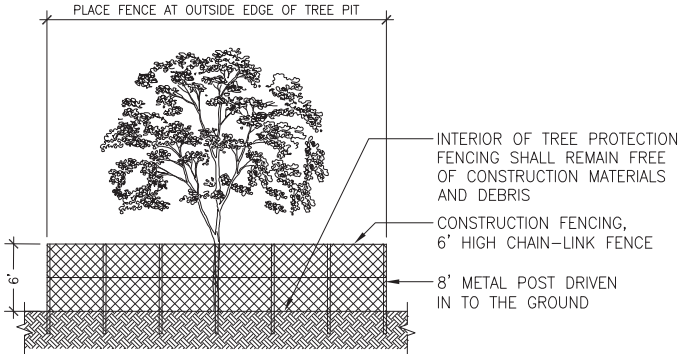


**1**  
**C3.0** STORM PLANTER CROSS SECTION  
NTS

C2.3 LANDSCAPE TREE PLAN



- NOTES:
- 1. EXISTING SOIL CHEMISTRY SHALL NOT BE ALTERED BY CONSTRUCTION ACTIVITIES. CHEMICAL WASTES AT CONSTRUCTION SITE SHALL BE DISPOSED OF PROPERLY AND NOT DRAINED ONTO SOIL.
  - 2. CONSTRUCTION FENCING SHALL BE PLACED BEFORE CONSTRUCTION STARTS AND REMAIN IN PLACE UNTIL CONSTRUCTION HAS BEEN COMPLETED.

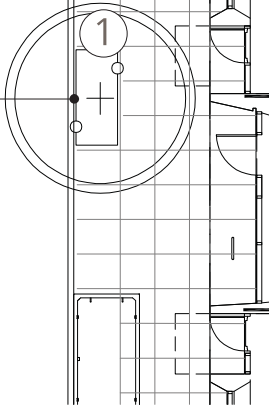


Tree Protection Fencing

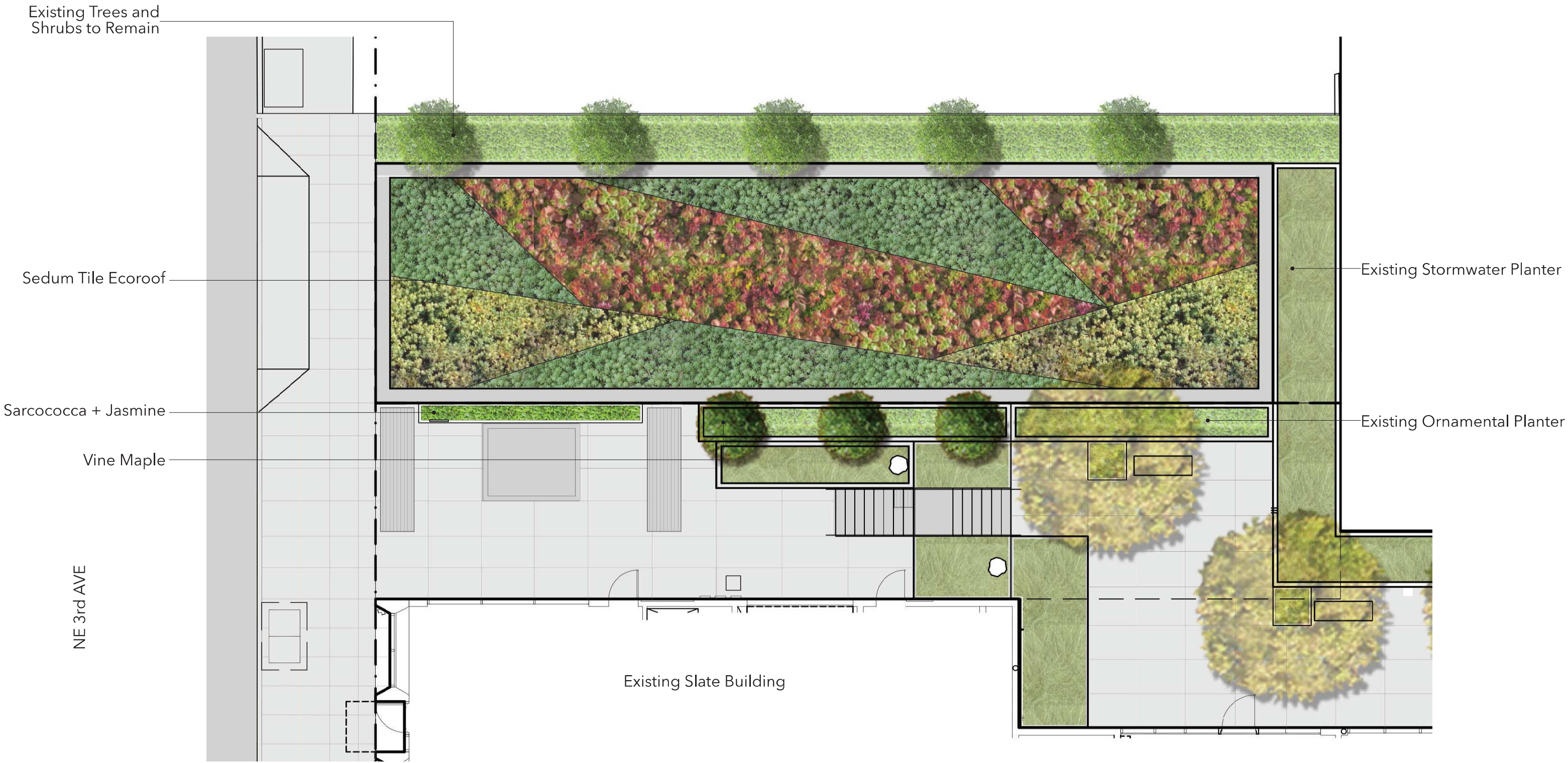
Tree Table

I.D.	Common / Botanical Name	Size	Location	Cond.	Status
1	Fraxinus excelsior 'Golden Desert' / Golden Desert Ash	4"	Street Tree	Good	To be preserved
2	Liriodendron tulipifera 'Arnold' / Arnold Tuliptree	4"	Onsite	Good	To be Preserved
3	Liriodendron tulipifera 'Arnold' / Arnold Tuliptree	4"	Onsite	Good	To be Preserved
4	Liriodendron tulipifera 'Arnold' / Arnold Tuliptree	4"	Onsite	Good	To be Preserved
5	Liriodendron tulipifera 'Arnold' / Arnold Tuliptree	4"	Onsite	Good	To be Preserved
6	Liriodendron tulipifera 'Arnold' / Arnold Tuliptree	4"	Onsite	Good	To be Preserved
7	Gleditsia 'Shade Master' / Shade Master Honey Locust	4"	Onsite	Good	To be Preserved
8	Gleditsia 'Shade Master' / Shade Master Honey Locust	4"	Onsite	Good	To be Preserved
9	Gleditsia 'Shade Master' / Shade Master Honey Locust	4"	Onsite	Good	To be Preserved
10	Gleditsia 'Shade Master' / Shade Master Honey Locust	4"	Onsite	Good	To be Preserved
11	Gleditsia 'Shade Master' / Shade Master Honey Locust	4"	Onsite	Good	To be Preserved

Tree Protection Fencing, typ







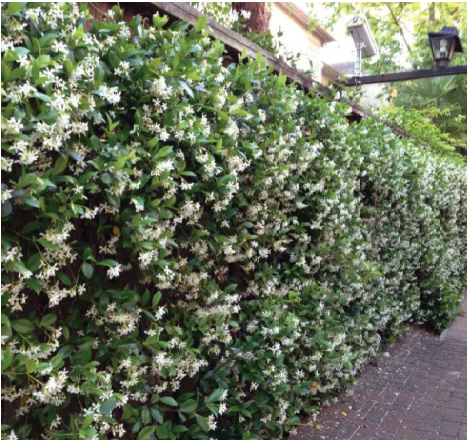








Vine Maple



Jasmine



Sarcococca



Sedum Tiles - Red Mix



Sedum Tiles - Blue Mix

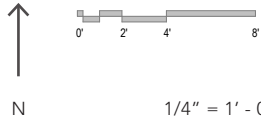
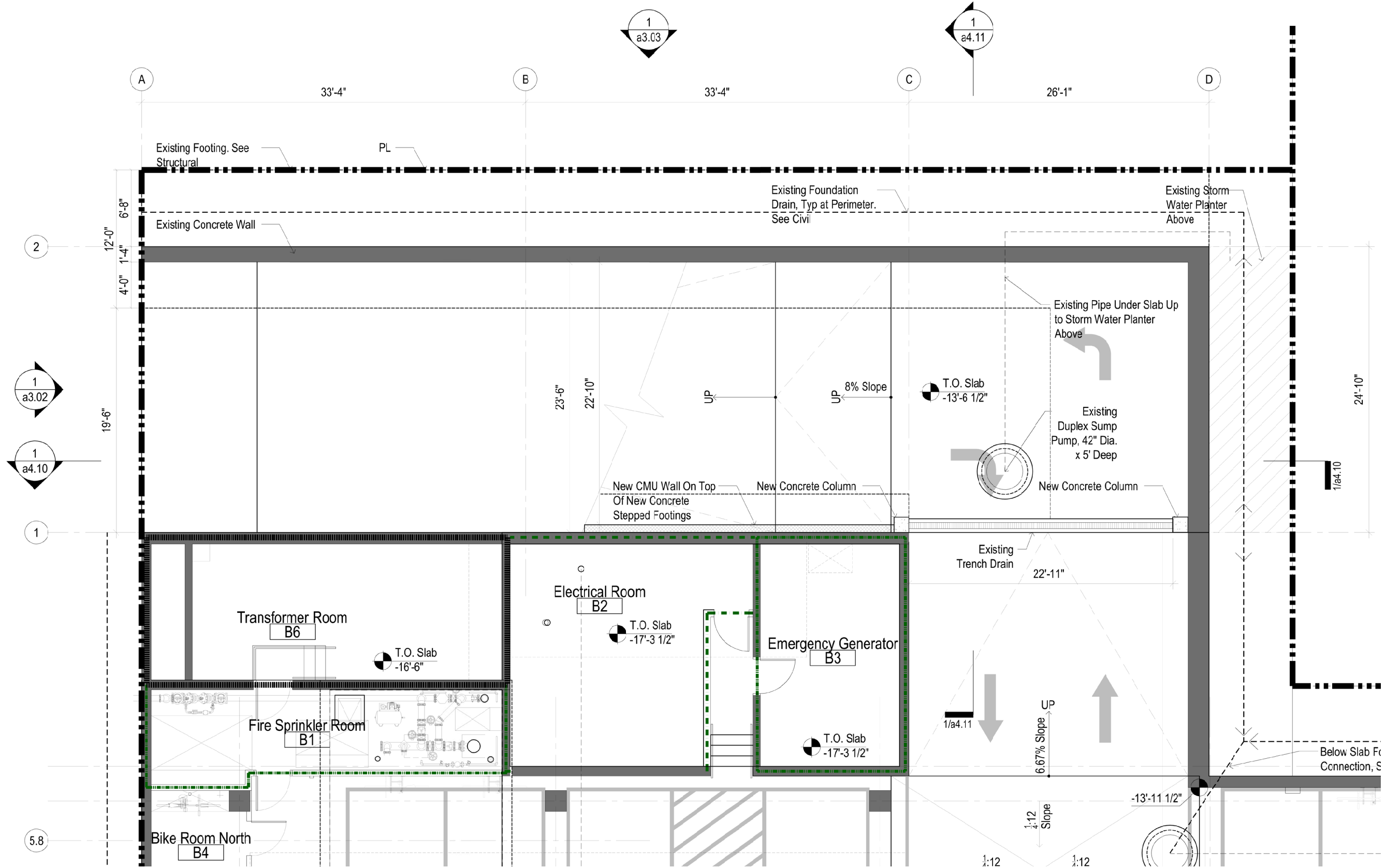


Sedum Tiles - Sun and Shade Mix

# BUILDING DRAWINGS

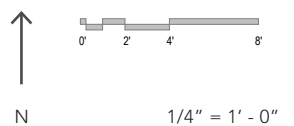
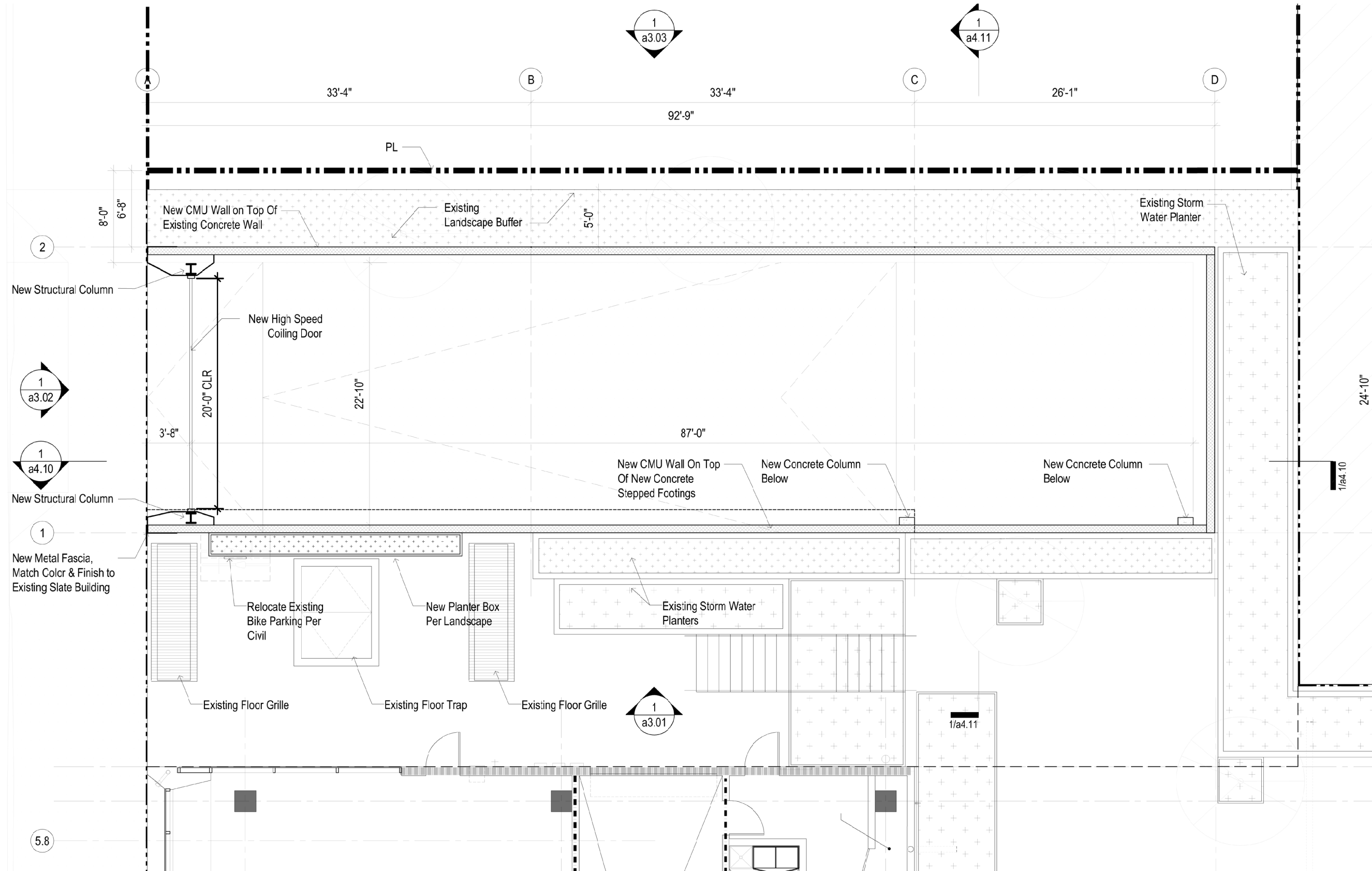
C3.1 BUILDING PLANS

Basement



# C3.2 BUILDING PLANS

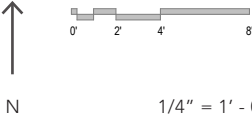
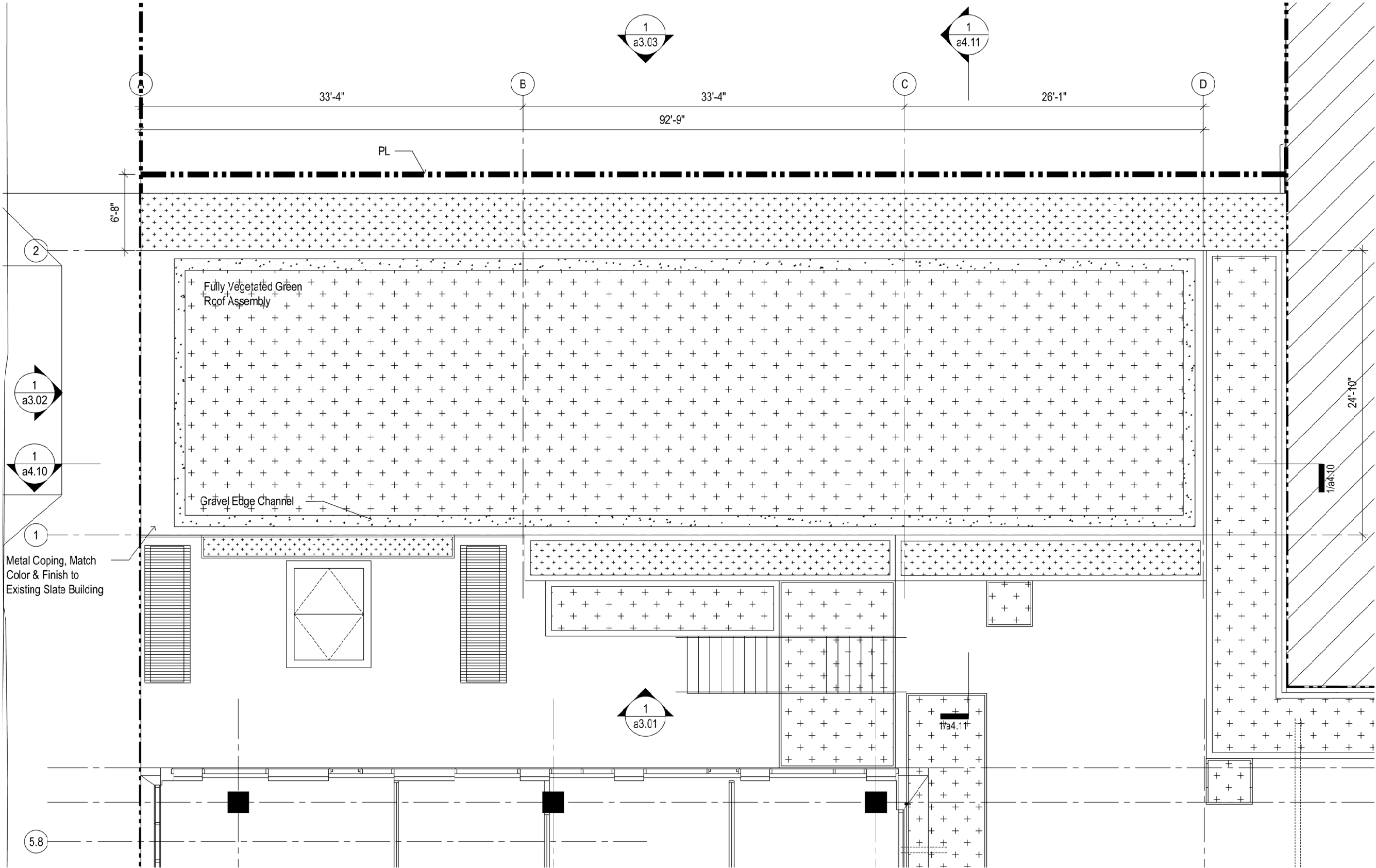
Ground Floor





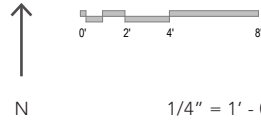
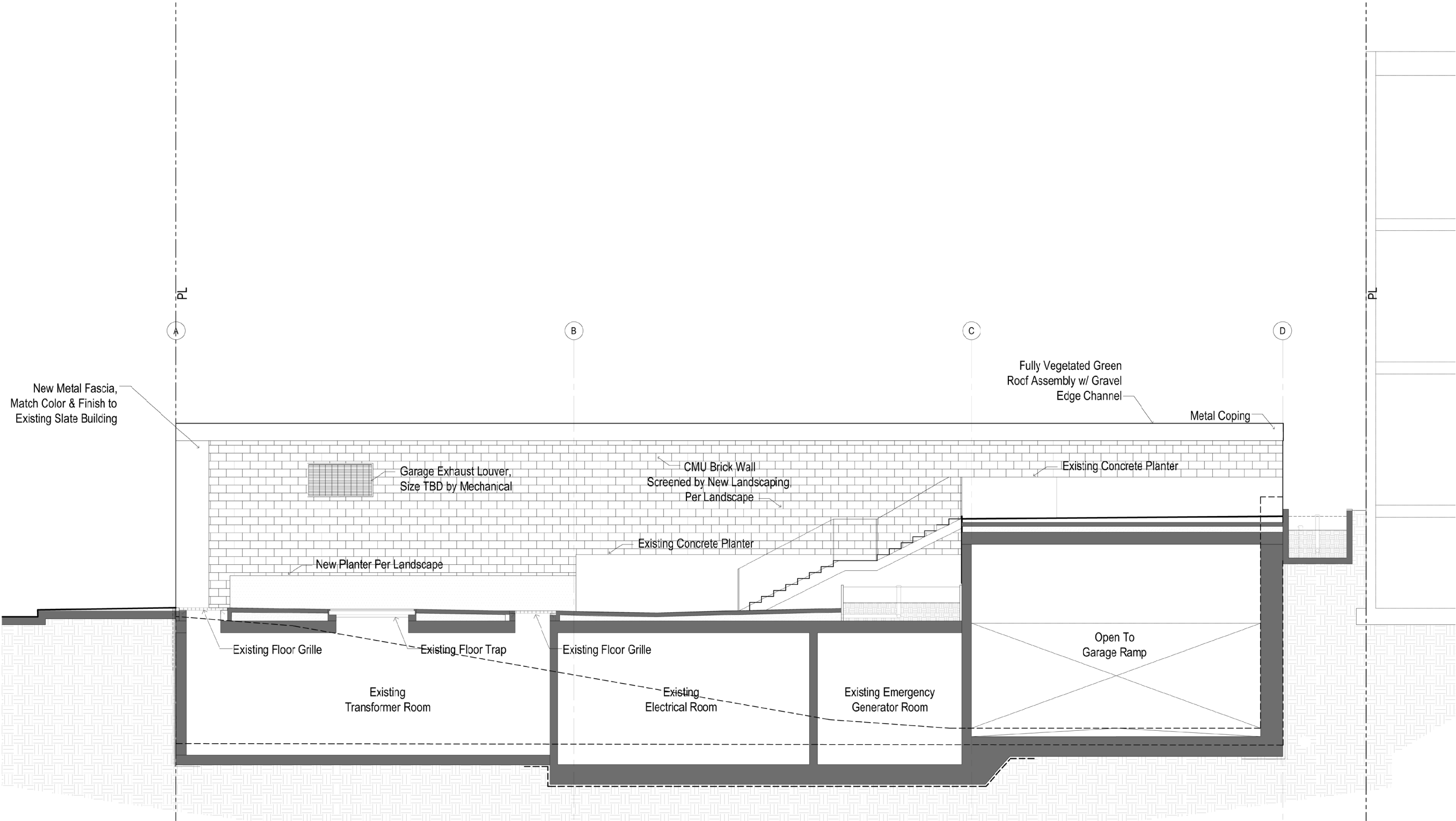
C3.3 BUILDING PLANS

Roof



C3.4 BUILDING ELEVATIONS

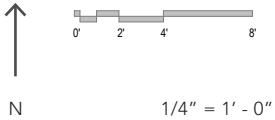
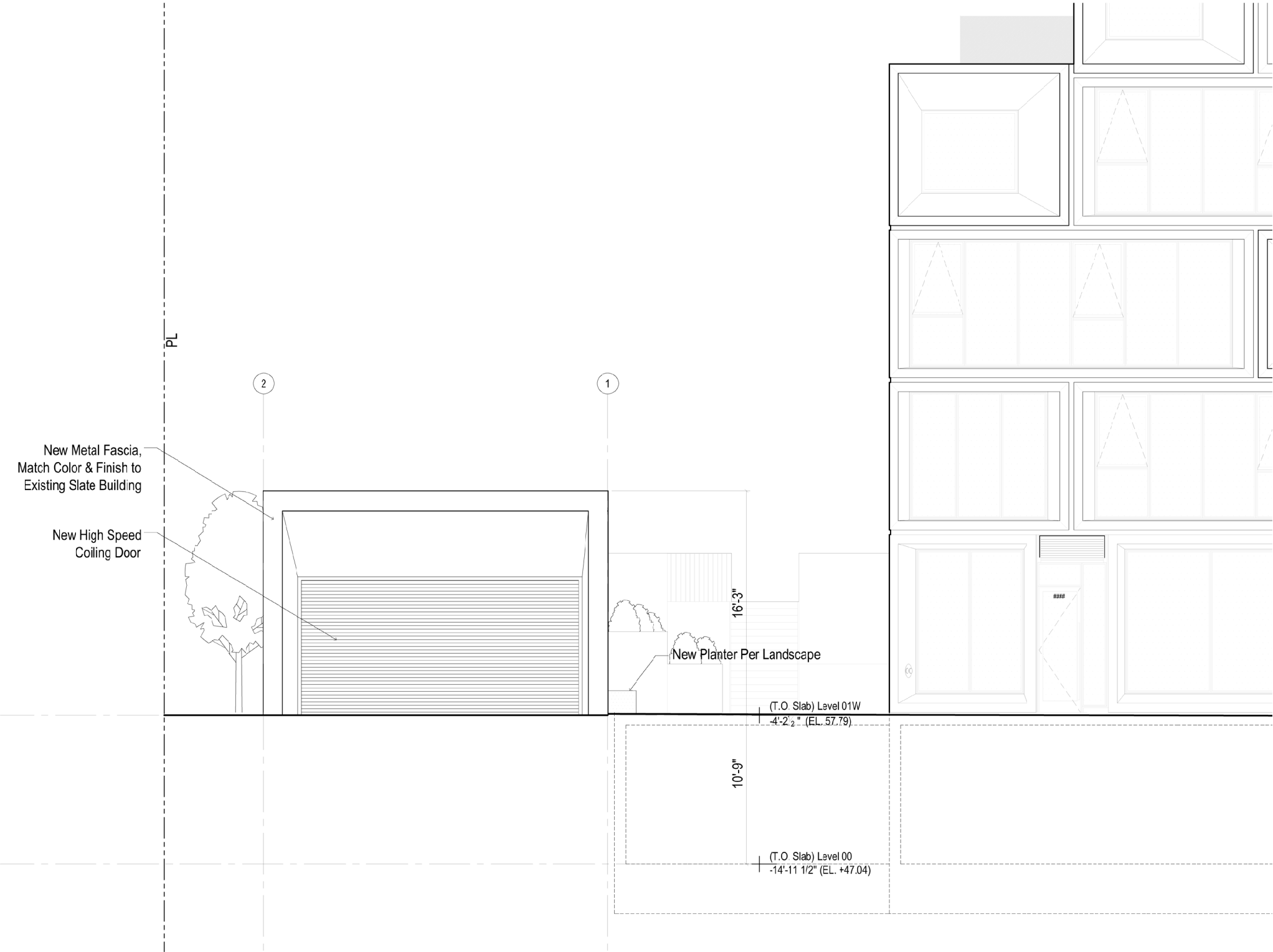
South Elevation





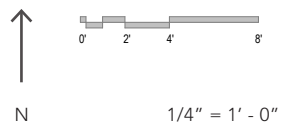
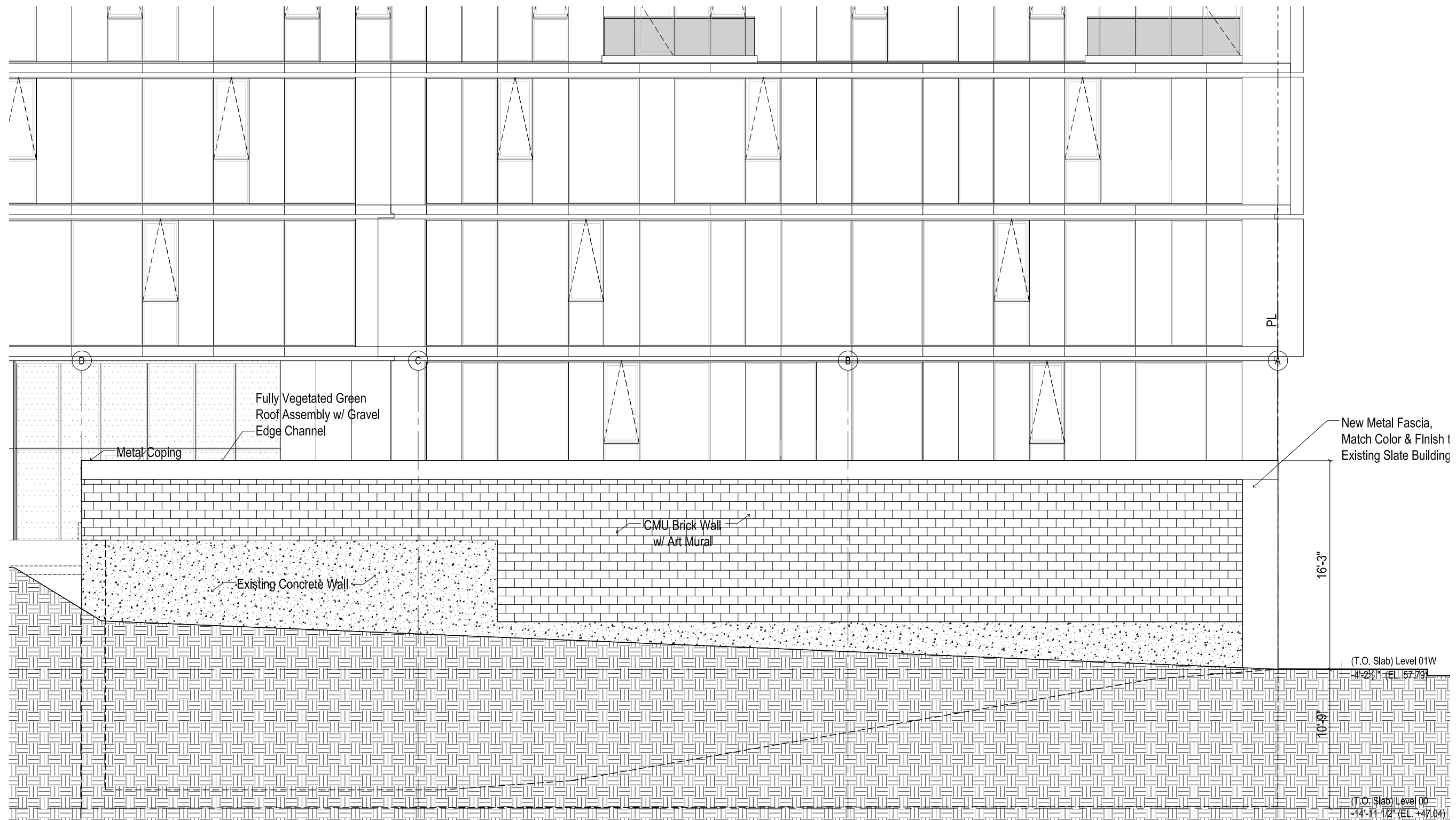
C3.5 BUILDING ELEVATIONS

West Elevation



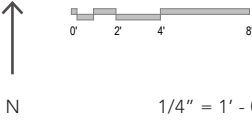
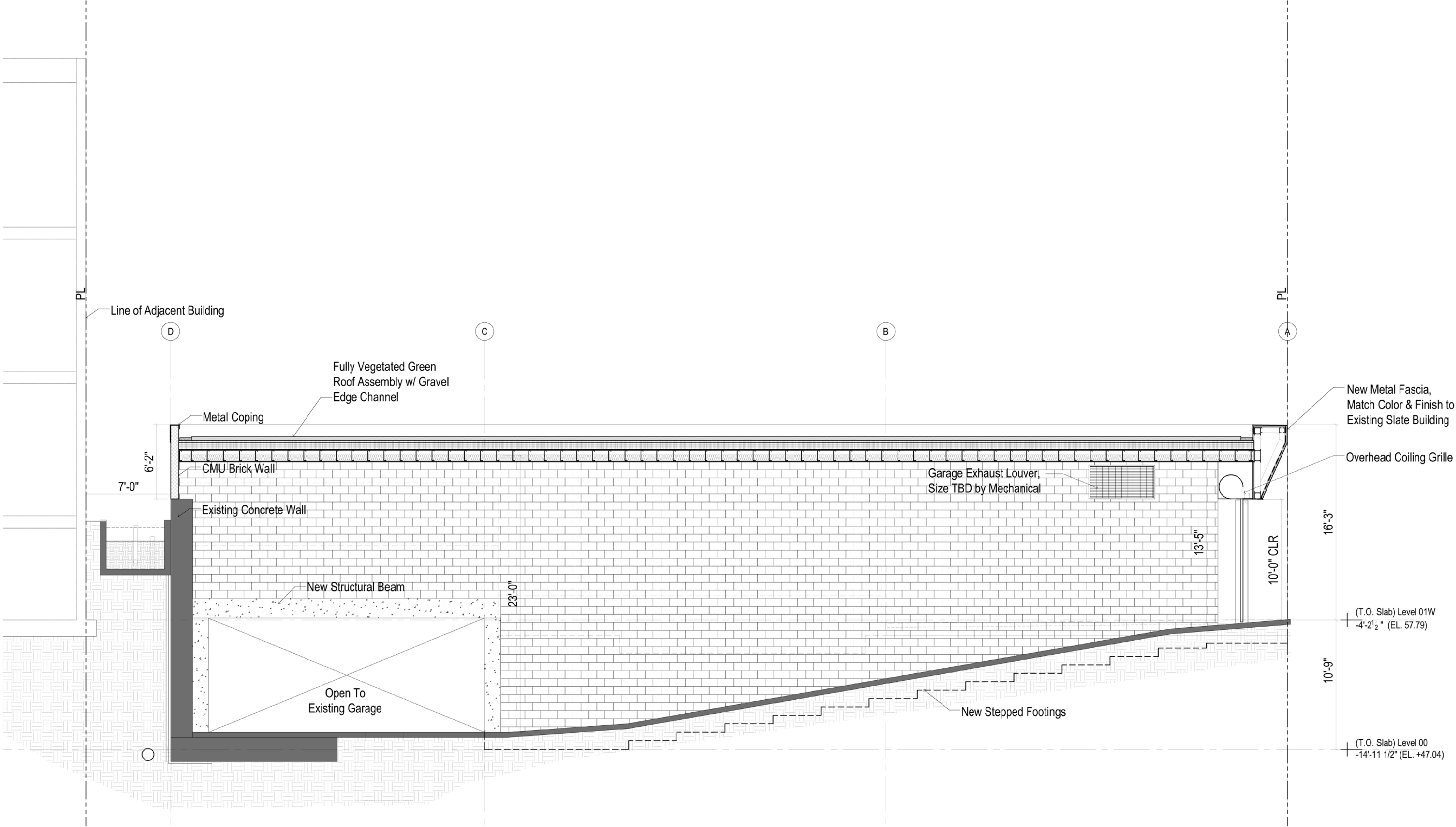
### C3.6 BUILDING ELEVATIONS

North Elevation



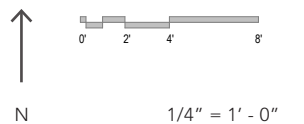
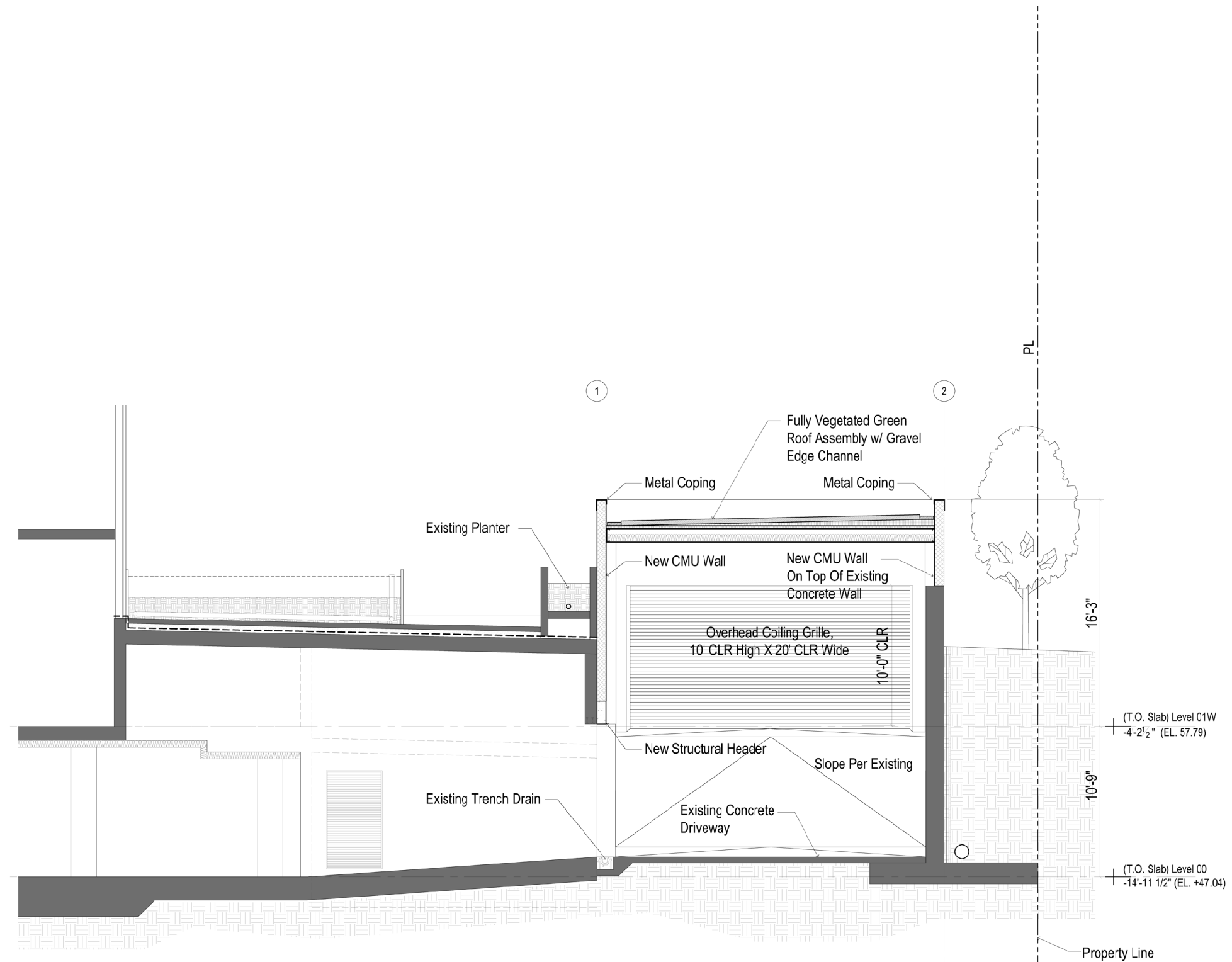
C3.7 BUILDING SECTIONS

East to West Section



### C3.8 BUILDING SECTIONS

North to South Section

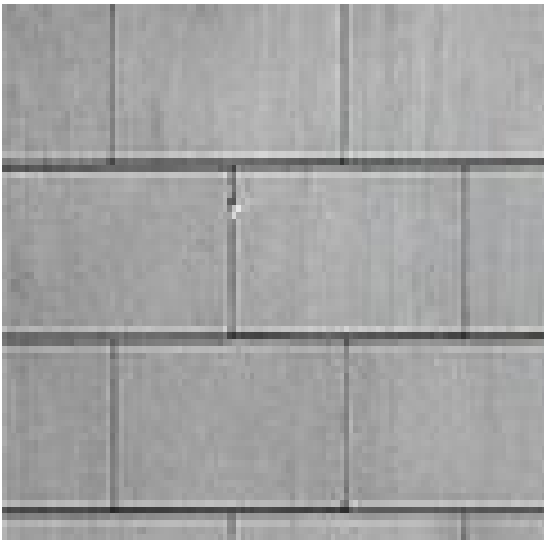




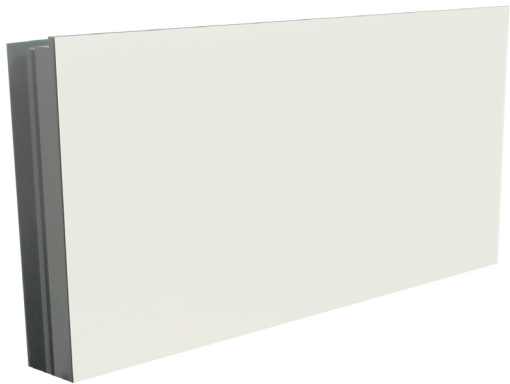
1. Trellis



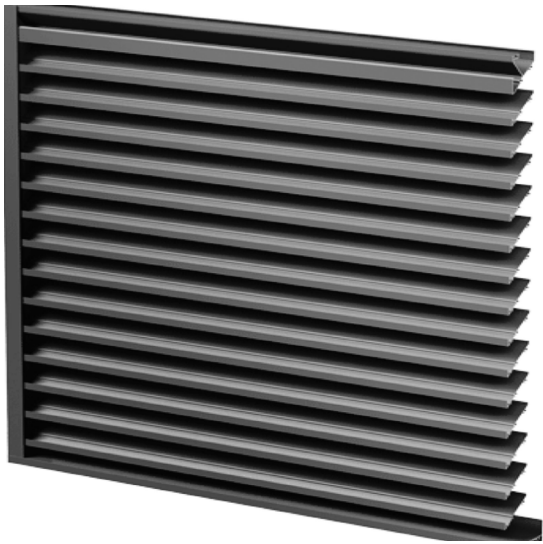
2. Greenroof Sedum



3. CMU



4. Slate White Metal Panel



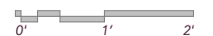
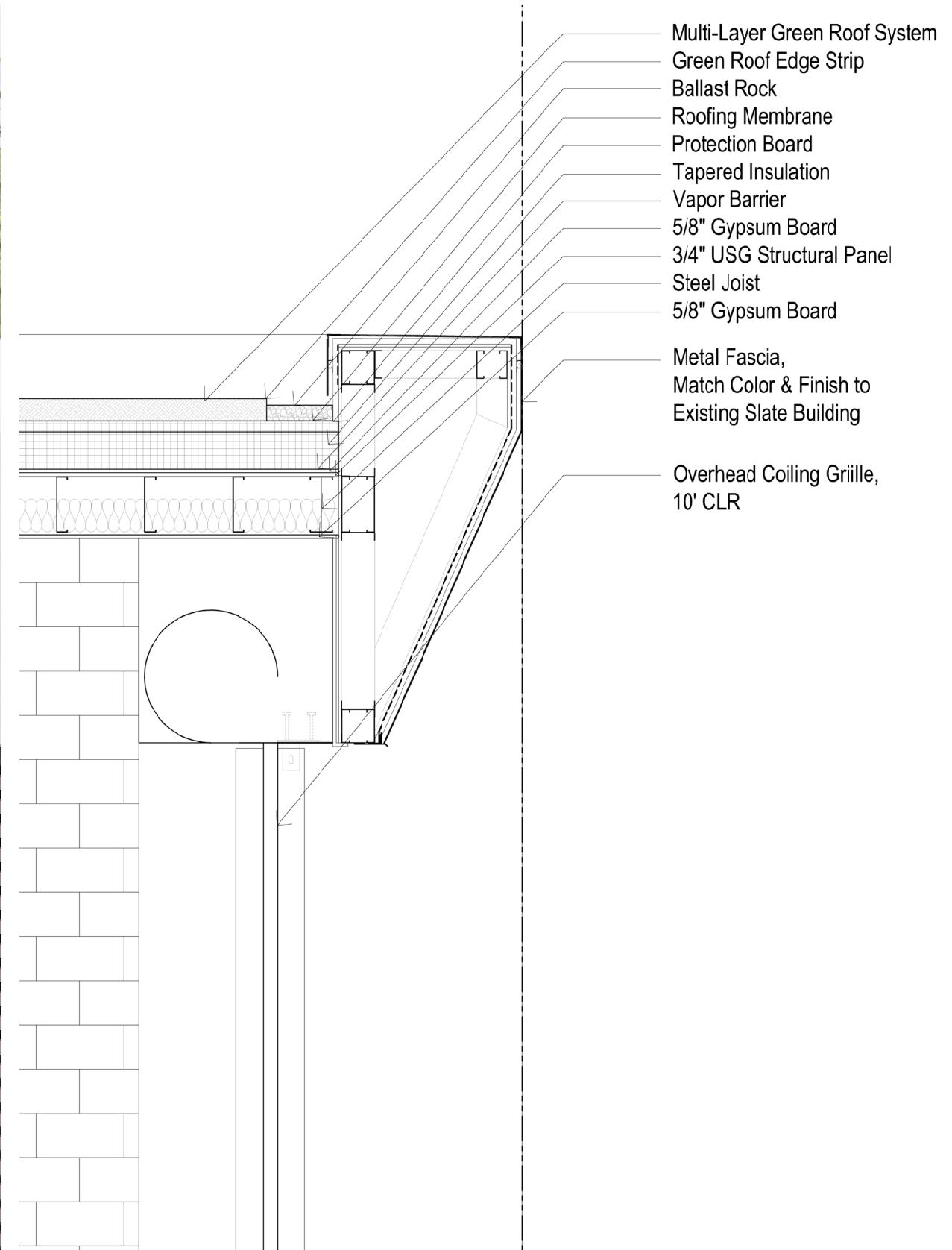
5. Exhaust Vent  
Finish: Black  
Louver Spacing: 1-1/2"



6. Garage Door  
Finish: Black

## C3.10 BUILDING DETAILS

Garage Elevation | Wall Section



1/1" = 1' - 0"





**Humber  
Design  
Group, Inc.**

## MEMORANDUM

Date: March 14, 2022

To: Jessamyn Griffin  
Works Progress Architecture LLP  
811 SE Stark Street, Suite 210  
Portland, OR 97214

From: Paige Miller, PE, Associate  
Humber Design Group, Inc.

Subject: Block 75 – Preliminary Stormwater Management Method (Design Review)

---

The proposed development consists of capping an existing driveway at NE Third Avenue and installing a new garage door at the street frontage for security.

Existing conditions include an uncovered driveway ramp (approximately 1,900 SF) with a trench drain at the bottom which collects stormwater runoff. Runoff collected at the trench drain is pumped to a stormwater planter east of the drive. Overflow from this planter is directed north to the existing 24" clay sewer pipe in NE Davis Street.

The existing trench drain, sump pump system, and stormwater planter will remain as a part of the new development. However, the existing overflow drain to the north will be capped and abandon. The planter will be modified to allow overflow to spill into the adjacent southern planter, which ultimately directions overflow to the existing 21" combined sewer in NE Couch Street.

Stormwater runoff from the newly constructed impervious roof area at the driveway will be managed by full ecoroof. A minimum 4" depth of growing medium will be installed and at least 90% of the ecoroof area will consist of vegetation. Overflows from the ecoroof section will be captured by overflow drain and routed to the existing stormwater flow-through planters located east of the roof, which was originally sized to handle an equal amount of runoff from the uncovered drive.

After the driveway cap is installed, the amount of runoff to reach the trench drain will be minimal including small amounts of rainwater shedding from vehicles. Through a Special Circumstance with Source Control, we propose to maintain the trench drain connection to the storm planter system due to complications with locating and constructing a sanitary-only lateral.

*End of Memo*





## Request for an Evidentiary Hearing and Waiver of Right to a Decision within 120 Days

State law requires the City to issue a final decision on your land use proposal within 120 days of receiving a complete application. In order to ensure that the decision on your land use review application is rendered within 120 days, any appeal of your proposal to City Council will be held based on evidence submitted as part of your first hearing to the Hearings Officer, Design Commission, or Historic Landmarks Commission.

If you prefer a hearing on appeal to City Council where anyone may bring in new facts and evidence (an "evidentiary hearing"), you must request a full 245-day extension of the 120-day review period by completing this form within 21 days of submitting your land use review application. You may choose to extend the 120-day review period for up to 245 days at any point in the land use review process. However, if the request is received more than 21 days after the application date, any appeal to City Council will be on-the-record and no new evidence can be submitted.

**STAFF USE ONLY**Date Land Use Application received by BDS March 14, 2022 Case File No. 22-122430 DZDate this form is due to BDS for evidentiary hearing April 4, 2022**APPLICANT: Complete all sections below. Please Print Legibly.**DATE: March 14, 2022TO: **Bureau of Development Services**  
Attention: Case Planner  
1900 SW Fourth Avenue, Suite 4500  
Portland, OR 97201REGARDING: Type of Land Use Review Type III Design ReviewSite Address/Street 321 NE Couch StreetTax Account Number(s) (R)150026, (R) 150027**I understand the following information:**

1. I have the right, under State law, to a final decision on my application no more than 120 days after my application is determined to be complete by BDS staff.
2. I am not required to sign this form. If I do not sign this form, the City of Portland will process my application to meet the 120-day requirement.
3. By signing this form, I am making an irrevocable decision to extend the review period a full 245 days, and may not change my mind later except by withdrawing this application, filing a new application, and paying the associated fee.
4. By signing this form, I am waiving my right under State law to a final decision on my application with the 120-day review period. I am waiving my right to file any legal action to enforce the 120-day review period.

**All applicants must print their name and sign this form.**Print Name Sarah ZahnDay Phone 503-970-8992Signature Sarah ZahnDigitally signed by Sarah Zahn  
Date: 2022.03.14 20:45:30 -07'00'Print Name Jessamyn GriffinDay Phone 503.234.2945Signature Jessamyn GriffinDigitally signed by Jessamyn Griffin  
Date: 2022.03.15 12:22:45 -07'00'

**From:** [Christe White](#)  
**To:** [Heron, Tim](#)  
**Cc:** [Sarah Zahn](#)  
**Subject:** UDP Parking Cap  
**Date:** Thursday, September 8, 2022 11:13:26 AM

---

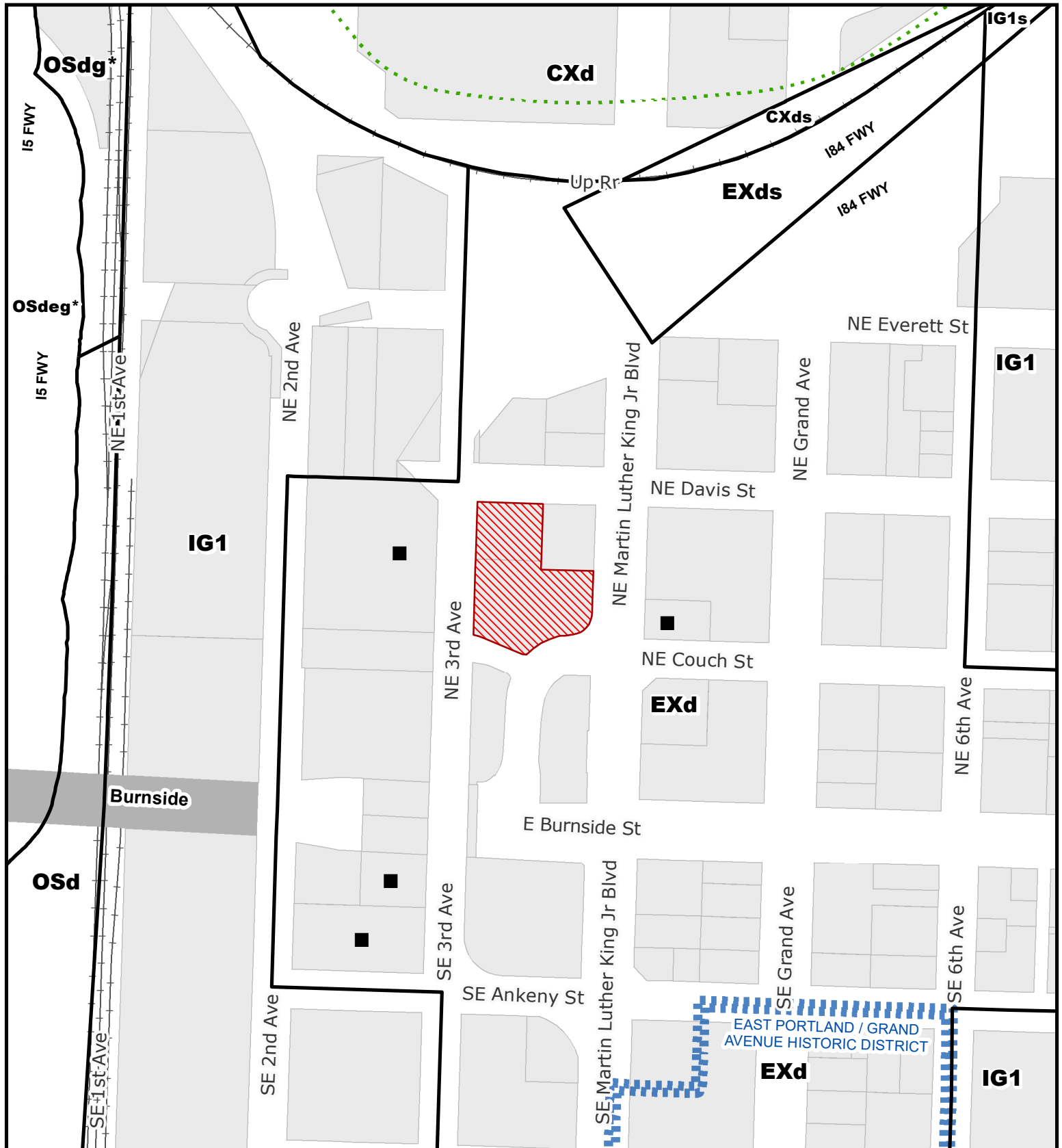
Thanks for the work session today Tim. The applicant agrees to deem the application complete on or before the 180<sup>th</sup> day or September 10, 2022 and we will continue to work the design issues with your assistance and collaborate on hearing timing. Have a good rest of your day. CCW



**Christe Carlson White**  
111 SW Columbia Street, Suite 700  
Portland, OR 97201  
T [971.634.0200](tel:971.634.0200) F [971.634.0222](tel:971.634.0222) Direct [971.634.0204](tel:971.634.0204)

**We advise you that any discussion of federal tax matters in this email is not intended or written to be used, and may not be used by you or any taxpayer, to (a) avoid penalties under the Internal Revenue Code, or (b) promote, market or recommend to any other party any transaction or matter addressed herein. All taxpayers should seek independent tax advice.**





# ZONING



For Zoning Code in effect Post August 1, 2021

CENTRAL CITY PLAN DISTRICT  
CENTRAL EASTSIDE SUB DISTRICT



Site



Historic Landmark



Recreational Trails

File No.	LU 22 - 122430 DZ
1/4 Section	3030
Scale	1 inch = 200 feet
State ID	1N1E34DA 2900
Exhibit	B Mar 14, 2022



South Wall at Plaza



North Wall

Conditions of Approval

- C. Title 4 Art Mural will be completed within 3 years of this decision per Exhibit C1.10.
- D. The metal truss cap [Option 1 A/B and Option 2] will cover the entire parking accessway.
- E. A garage door will be provided.
- F. The proposed planters at the south side of the parking garage ramp cap will be irrigated to ensure the longevity of the proposed plantings.

\*Approved\*

City of Portland  
Bureau of Development Services

Planner 

Date **12-1-2022**

\* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

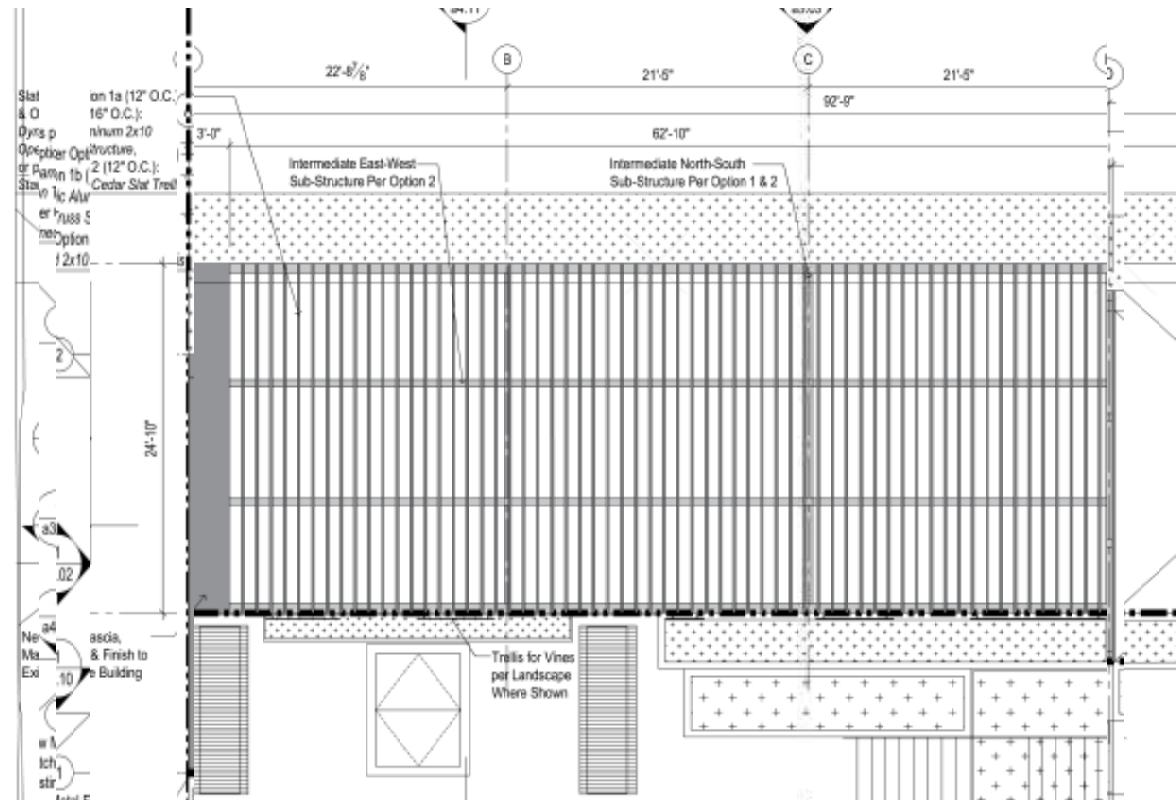
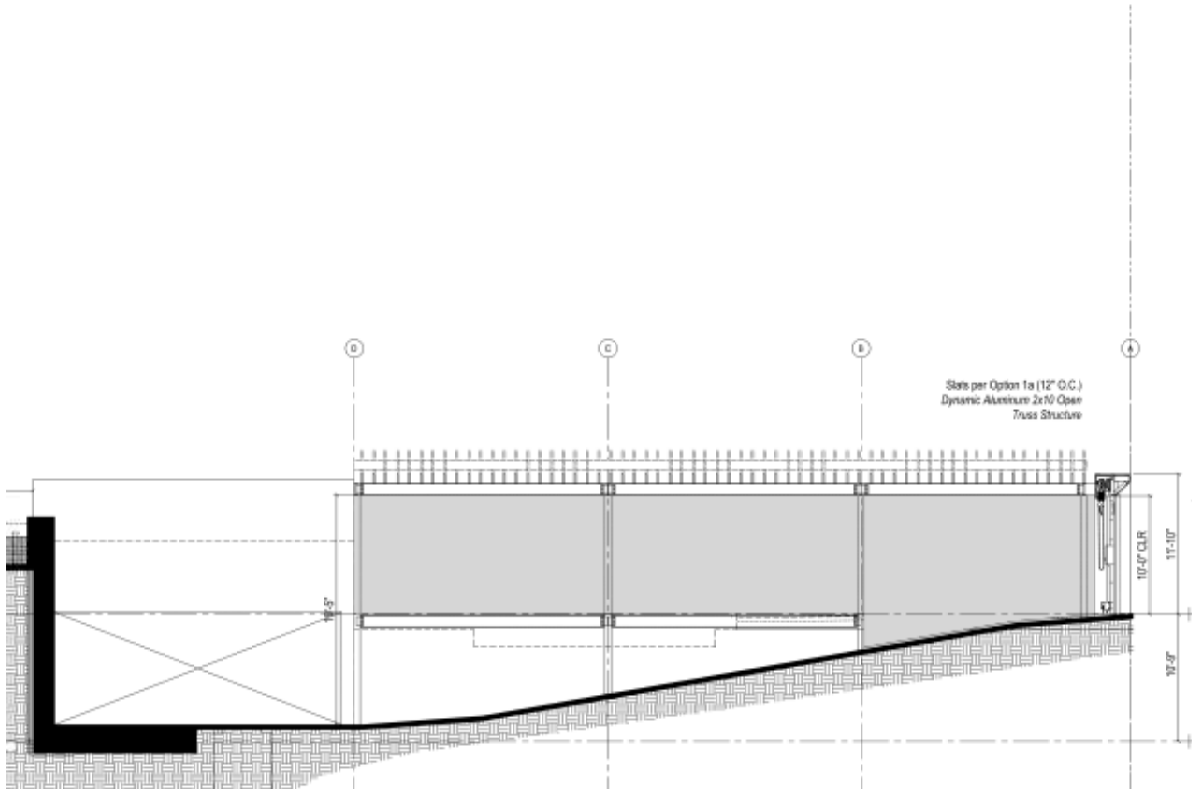


Aerial View of Driveway Cap



Conditions of Approval

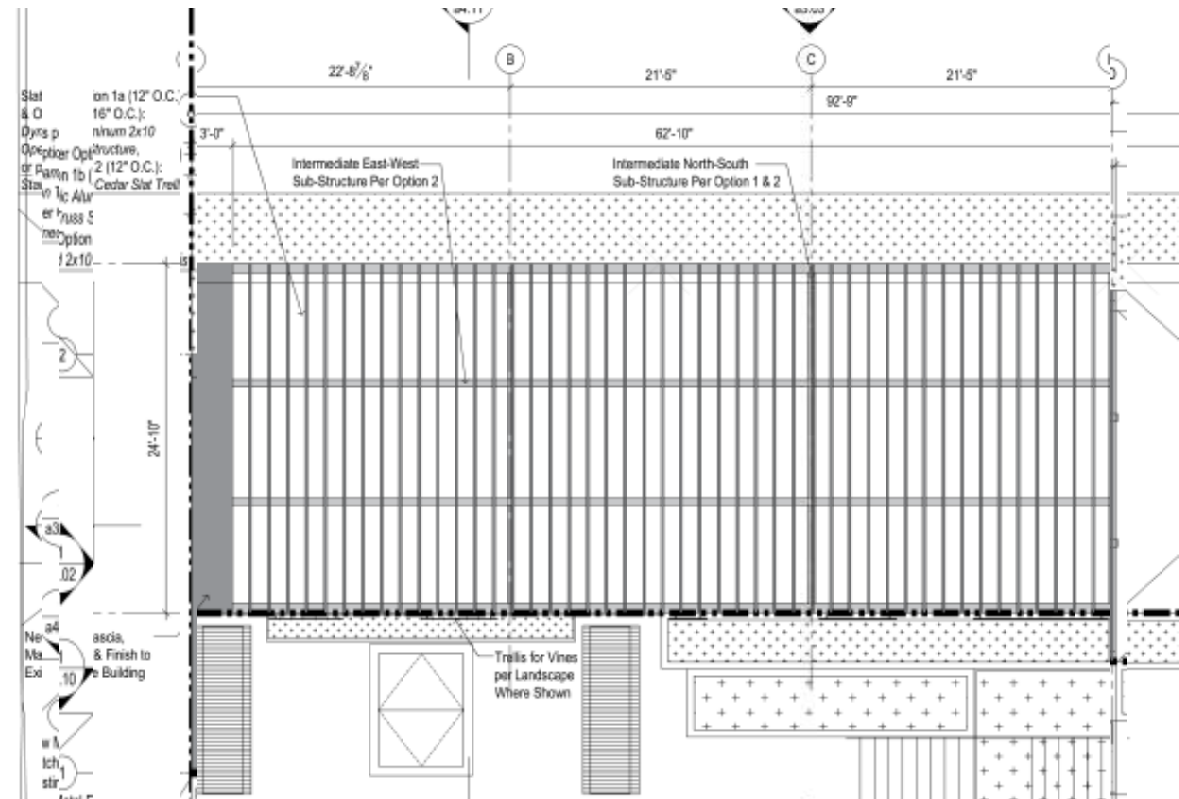
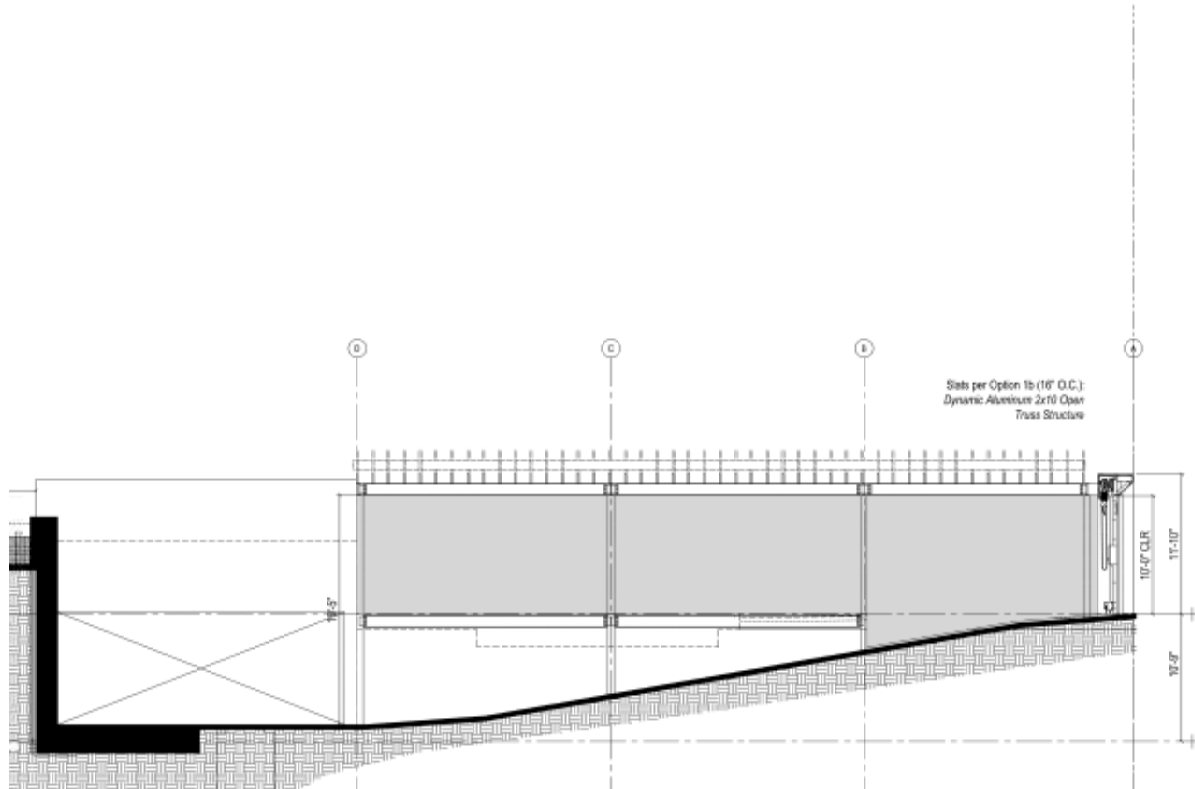
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Conditions of Approval

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City of Portland  
Bureau of Development Services

Planner 

Date **12-1-2022**

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South Wall at Plaza




North Wall

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City of Portland  
Bureau of Development Services

Planner 

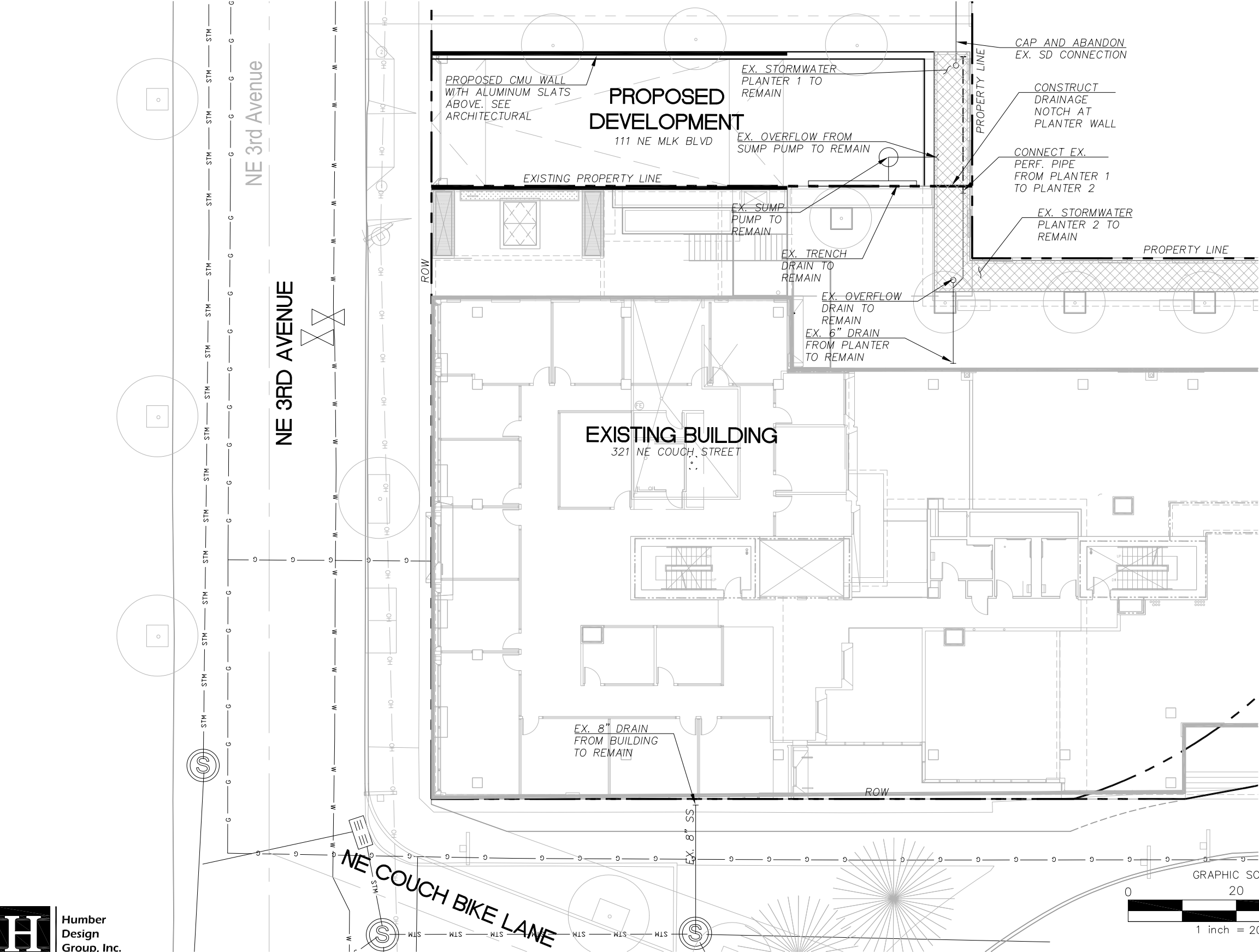
Date **12-1-2022**

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Aerial View of Driveway Cap





**STORMWATER NARRATIVE**

PRIVATE SITE:

STORMWATER MANAGEMENT WILL NOT BE REQUIRED FOR THE PROPOSED DEVELOPMENT BECAUSE NO NEW IMPERVIOUS SURFACE WILL BE CREATED. STORMWATER RUNOFF AT THE DRIVE WILL FALL THROUGH THE ALUMINUM SLAT STRUCTURE ABOVE AND ROUTE TO THE EXISTING TRENCH DRAIN WITH SUMP PUMP SYSTEM. THE PROJECT WILL CONTINUE TO FALL UNDER LEVEL 3 OF THE STORMWATER DISPOSAL HIERARCHY WITH OVERFLOWS FROM THE EXISTING PLANTERS DIRECTED TO THE EXISTING 21" COMBINED SEWER IN NE COUCH BIKE LANE.

PUBLIC STREET IMPROVEMENTS:

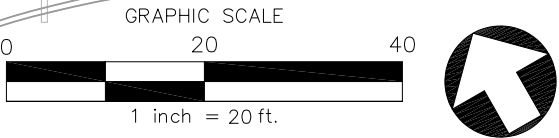
PUBLIC FRONTAGE IMPROVEMENTS AND STORMWATER MANAGEMENT ARE NOT REQUIRED FOR THIS PROJECT.

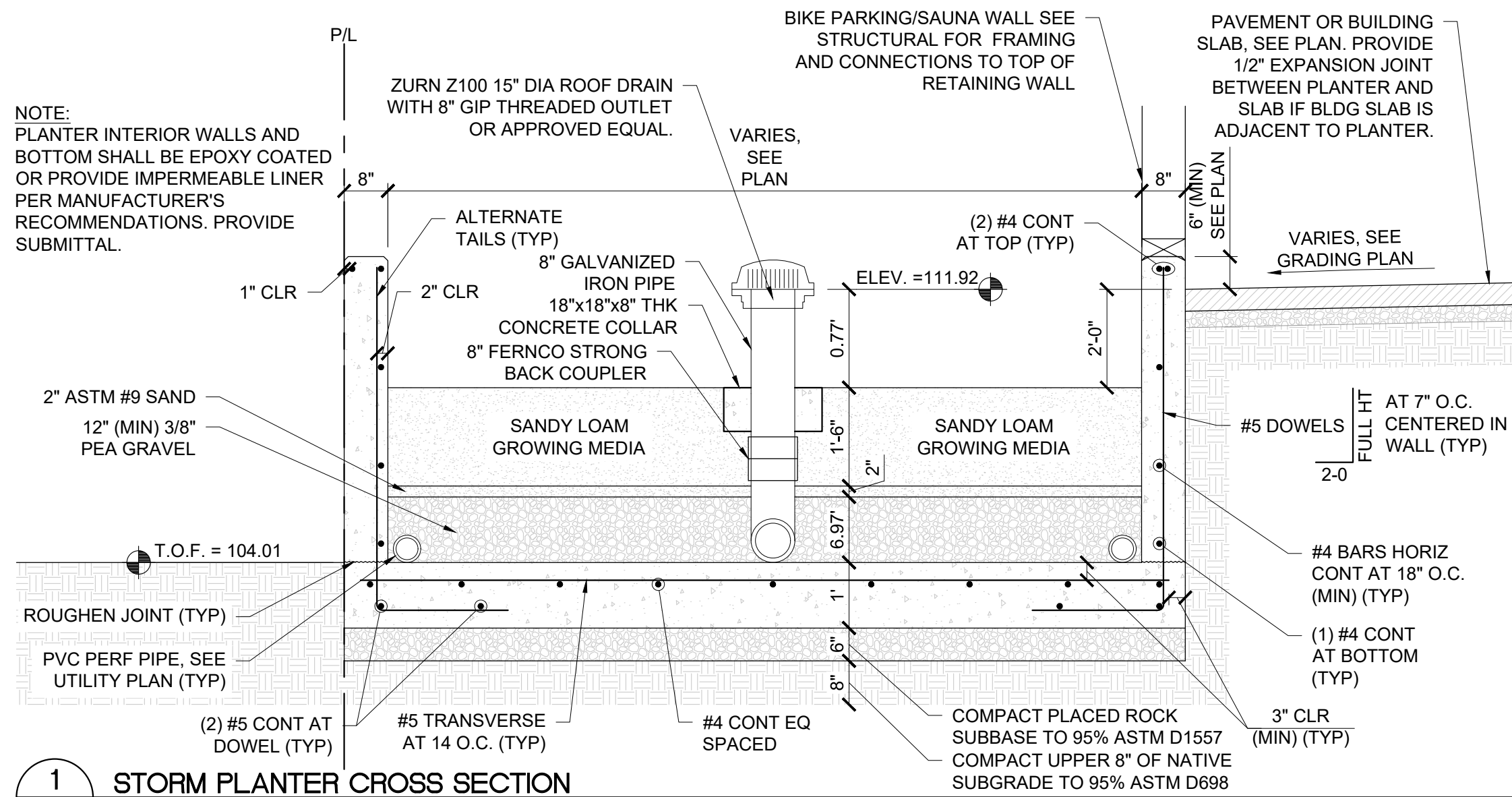
\*Approved\*  
City of Portland  
Bureau of Development Services

Planner

Date **12-1-2022**

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1 C3.0 STORM PLANTER CROSS SECTION NTS

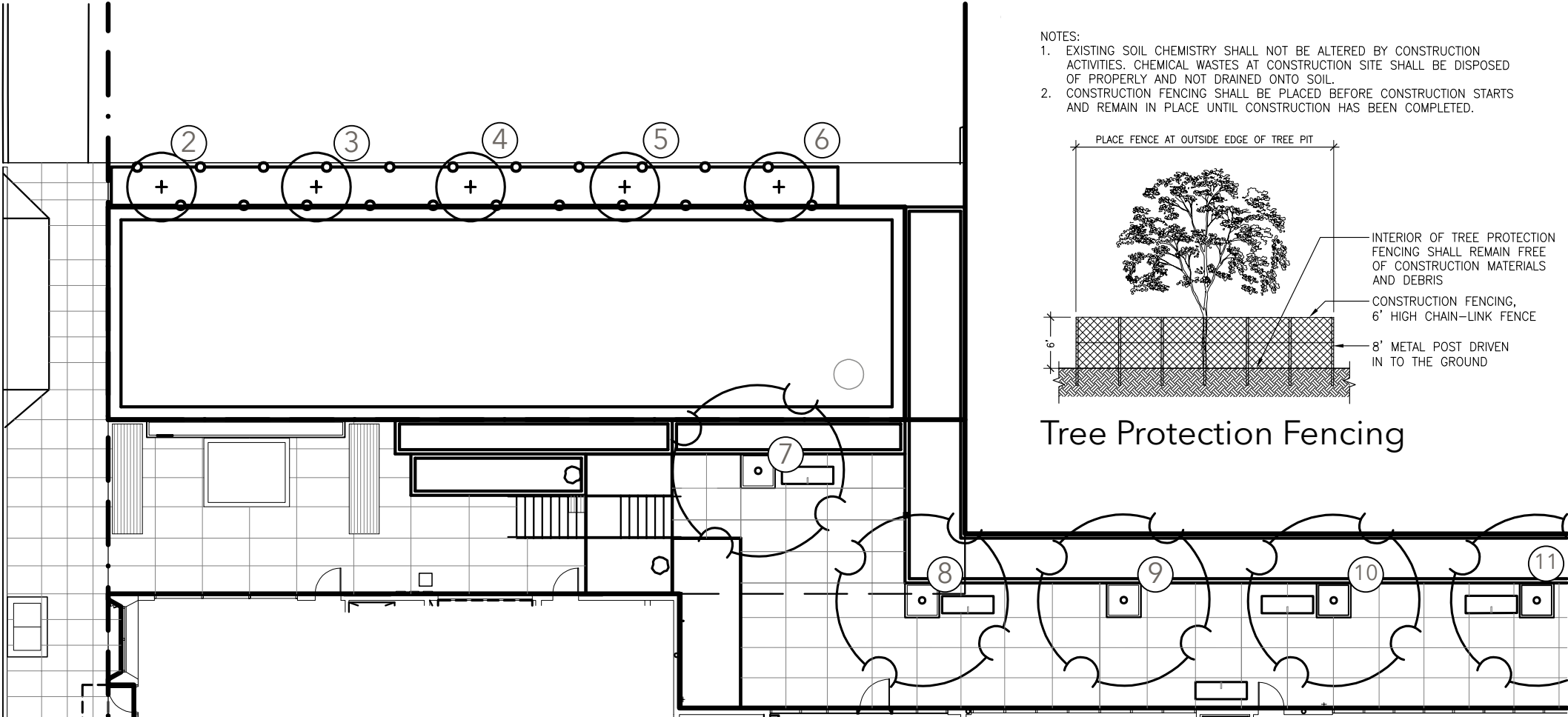


\*Approved\*  
City of Portland  
Bureau of Development Services

Planner

Date **12-1-2022**

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Tree Protection  
Fencing, typ

Tree Table

I.D.	Common / Botanical Name	Size	Location	Cond.	Status
1	Fraxinus excelsior 'Golden Desert' / Golden Desert Ash	4"	Street Tree	Good	To be preserved
2	Liriodendron tulipifera 'Arnold' / Arnold Tuliptree	4"	Onsite	Good	To be Preserved
3	Liriodendron tulipifera 'Arnold' / Arnold Tuliptree	4"	Onsite	Good	To be Preserved
4	Liriodendron tulipifera 'Arnold' / Arnold Tuliptree	4"	Onsite	Good	To be Preserved
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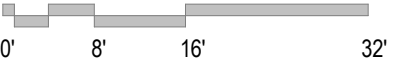
\*Approved\*

City of Portland  
Bureau of Development Services

Planner

Date **12-1-2022**

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1/8" = 1' - 0" Scale





Landscape Plan



\*Approved\*

City of Portland

Bureau of Development Services

Planner

Date

12-1-2022

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## DESIGN STRATEGY

## C1.9 PLANTING MATERIALS



### Vine Maple



Jasmine



Sarcococca

## LANDSCAPE NOTES

- Vines to be irrigated providing water at each plant
- Vine Selection, Star Jasmine (*Trachelospermum jasminoides*), is an evergreen vine that will grow well in shade and can be trained to grow over top of trellis structure
- Large "staked" plant material specified (10-15 gallon containers), so scale and pretrained vines will make impact on Day 1
- Sturdy Jakob Cable trellis structure provided for Vine to twine onto and grow up



Jakob Cable Trellis



## Local Vine Application




**W.P.A.** WORKS PROGRESS ARCHITECTURE, LLP

All rights reserved.

\*Approved\*

City of Portland  
Bureau of Development Services

Planner 

Date **12-1-2022**

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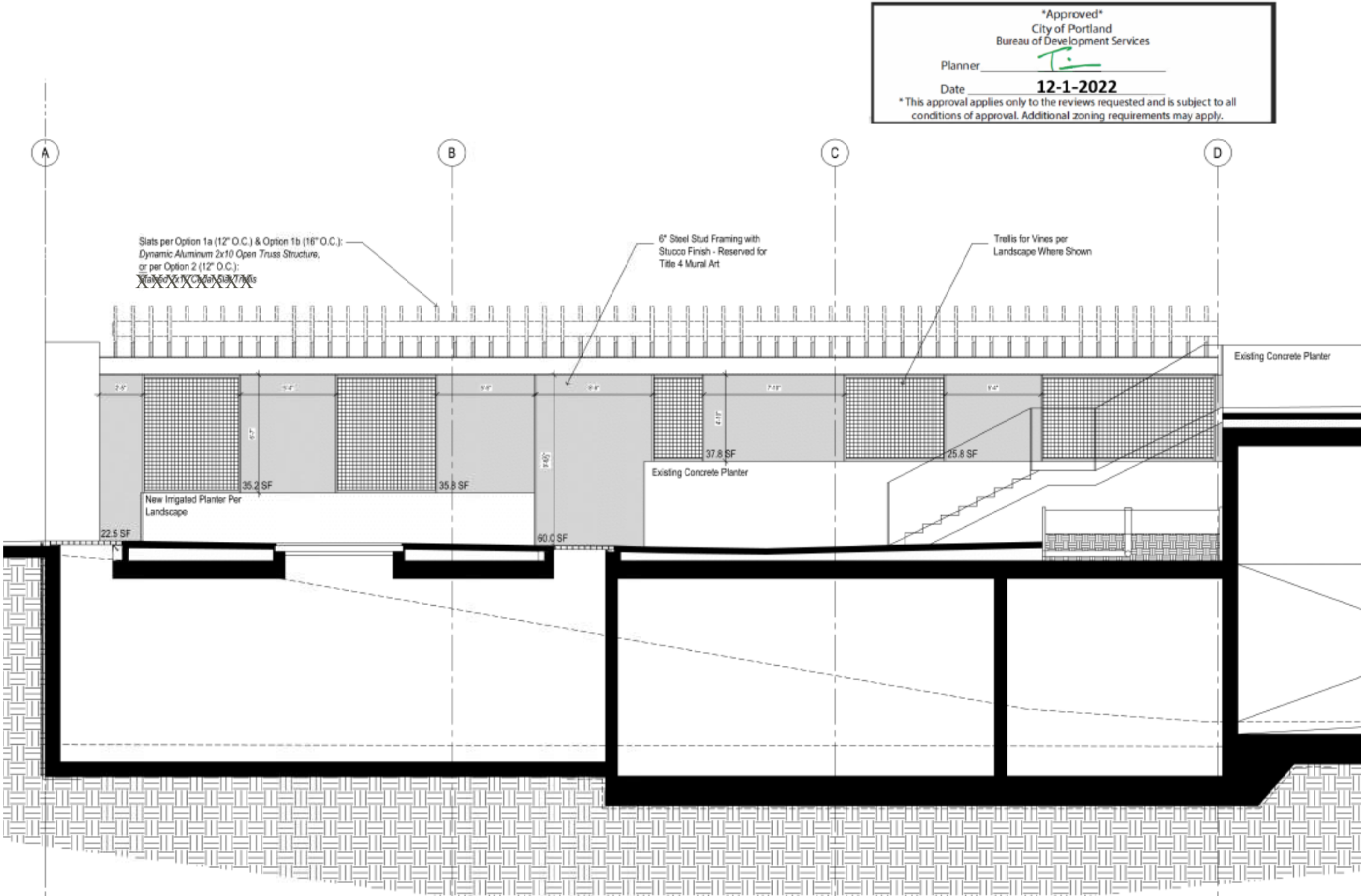
RAMP CAP, 321 NE COUCH ST

LU-22-122430DZ

11.17.2022 | C1.9

Conditions of Approval

C. Title 4 Art Mural will be completed within 3 years of this decision per Exhibit C1.10.



PROJECT MURAL PROPOSED UNDER, TITLE 4 ORIGINAL ART MURALS

Chapter 4.10 Purpose

The purpose of this Title and the policy of the City of Portland is to permit and encourage original art murals on a content-neutral basis on certain terms and conditions. Original art murals comprise a unique medium of expression which serves the public interest. Original art murals have purposes distinct from signs and confer different benefits. Such purposes and benefits include: improved aesthetics; avenues for original artistic expression; public access to original works of art; community participation in the creation of original works of art; community building through the presence of and identification with original works of art; and a reduction in the incidence of graffiti and other crime. Murals can increase community identity and foster a sense of place and enclosure if they are located at heights and scales visible to pedestrians, are retained for longer periods of time and include a neighborhood process for discussion.

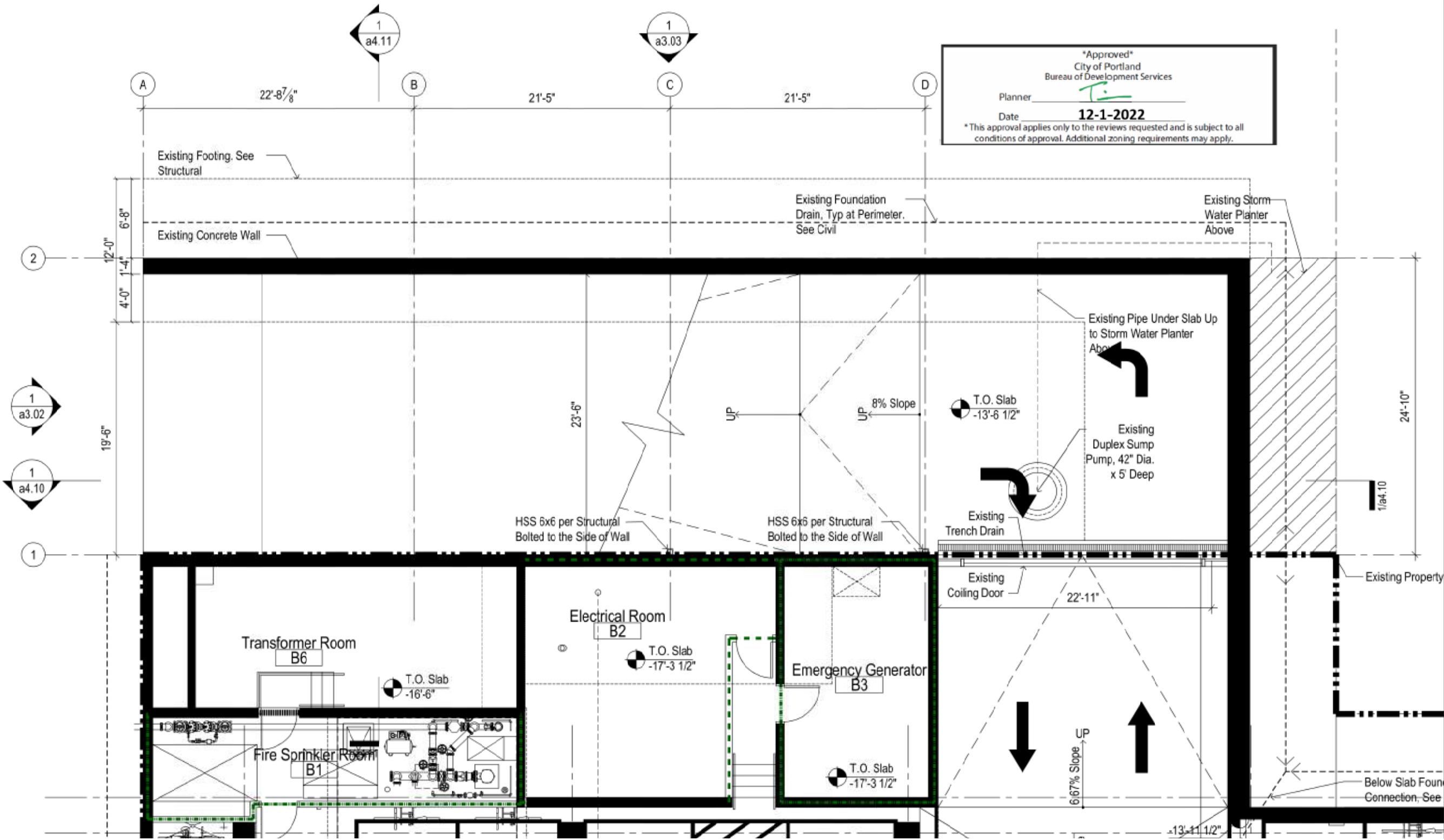
Chapter 4.20 Allowed and Prohibited Original Art Murals

(Amended by Ordinance Nos. 185915 and 189656, effective September 20, 2019.) Original Art Murals that meet all of the following criteria and which are not prohibited will be allowed upon satisfaction of the applicable permit requirements:

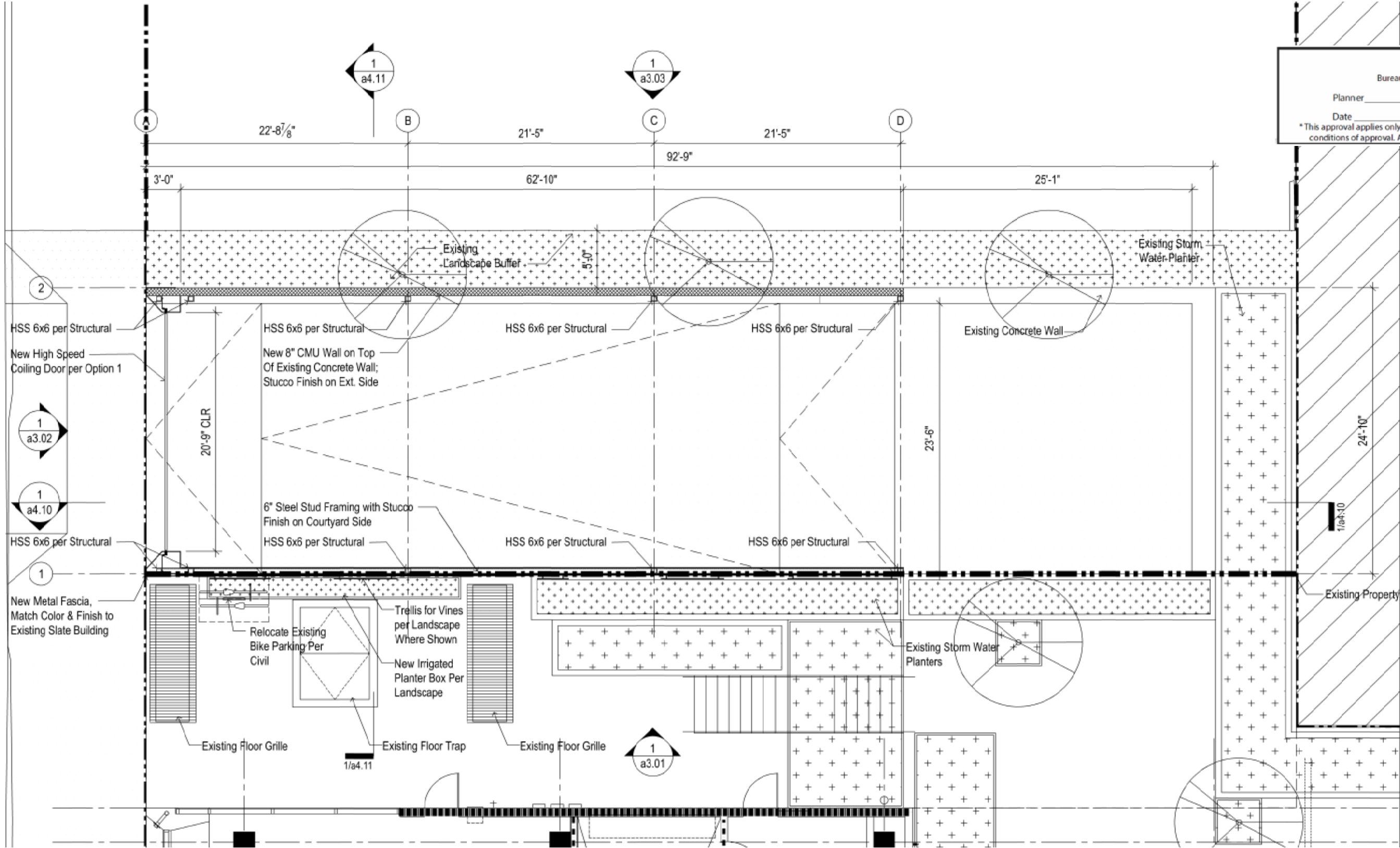
1. No part of the mural shall exceed 30 feet in height measured from the grade plane.
2. The mural shall remain in place, without alterations, for a period of 2 years, except in limited circumstances to be specified in the Bureau of Development Services Administrative Rules. The applicant shall certify in the permit application that the applicant agrees to maintain the mural in place for a period of 2 years without alteration.
3. The mural shall not extend more than 6 inches from the plane of the surface upon which it is tiled or painted or to which it is affixed.
4. In Design Overlay Zones, the mural shall meet all of the additional, objective Design Standards for Original Art Murals, as established in the Bureau of Development Services Administrative Rules.

Chapter 4.30 Neighborhood Involvement Process


4.30.010 Establishment of Neighborhood Involvement Process for Permits. The Bureau of Development Services shall adopt through Administrative Rule a community involvement process requiring an applicant for an Original Art Mural permit to provide notice of and to hold a community meeting on the mural proposal at which interested members of the public may review and comment upon the proposed mural. No Original Art Mural permit shall be issued until the applicant certifies that he or she has completed the required Neighborhood Involvement Process. This is a process requirement only and in no event will an Original Art Mural permit be granted or denied based upon the content of the mural.





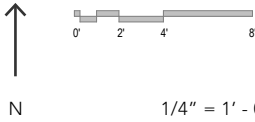
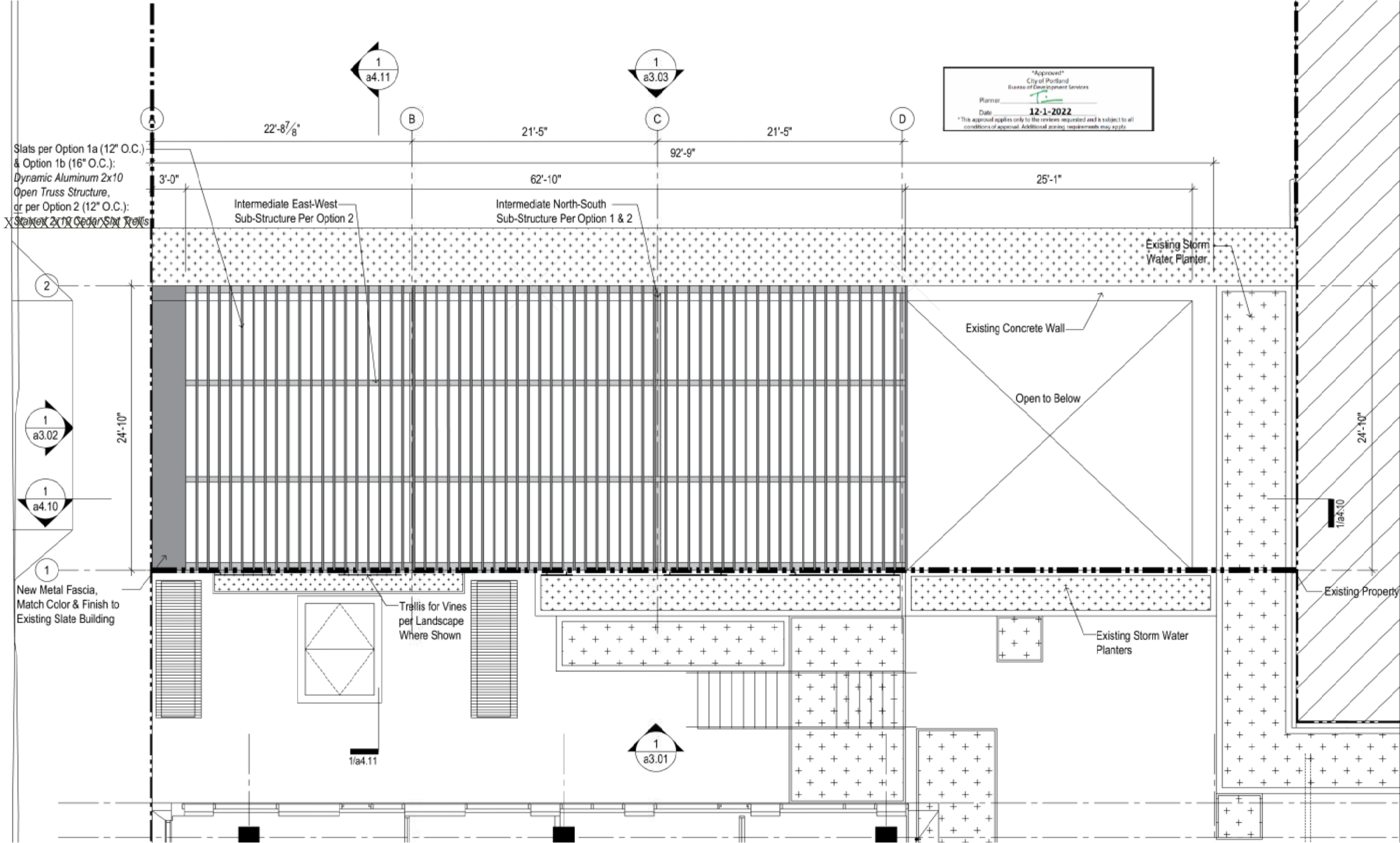


\*Approved\*  
City of Portland  
Bureau of Development Services

Planner 

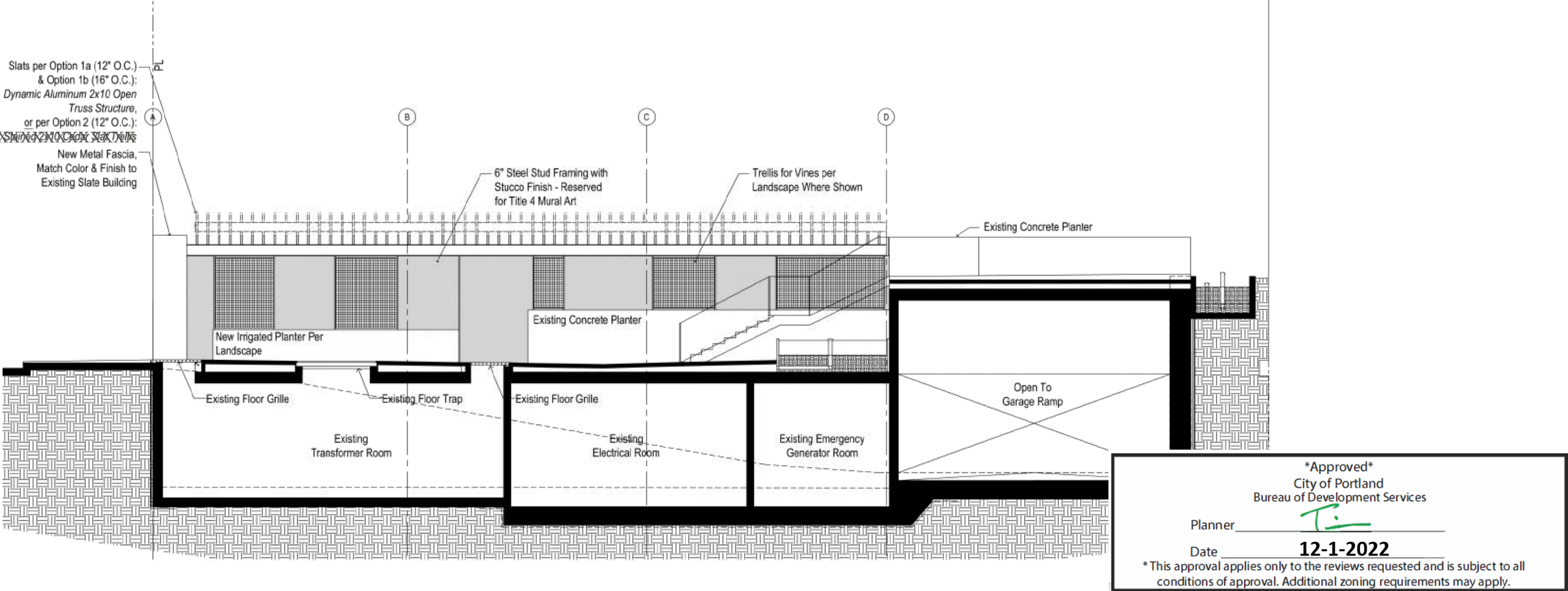
Date **12-1-2022**

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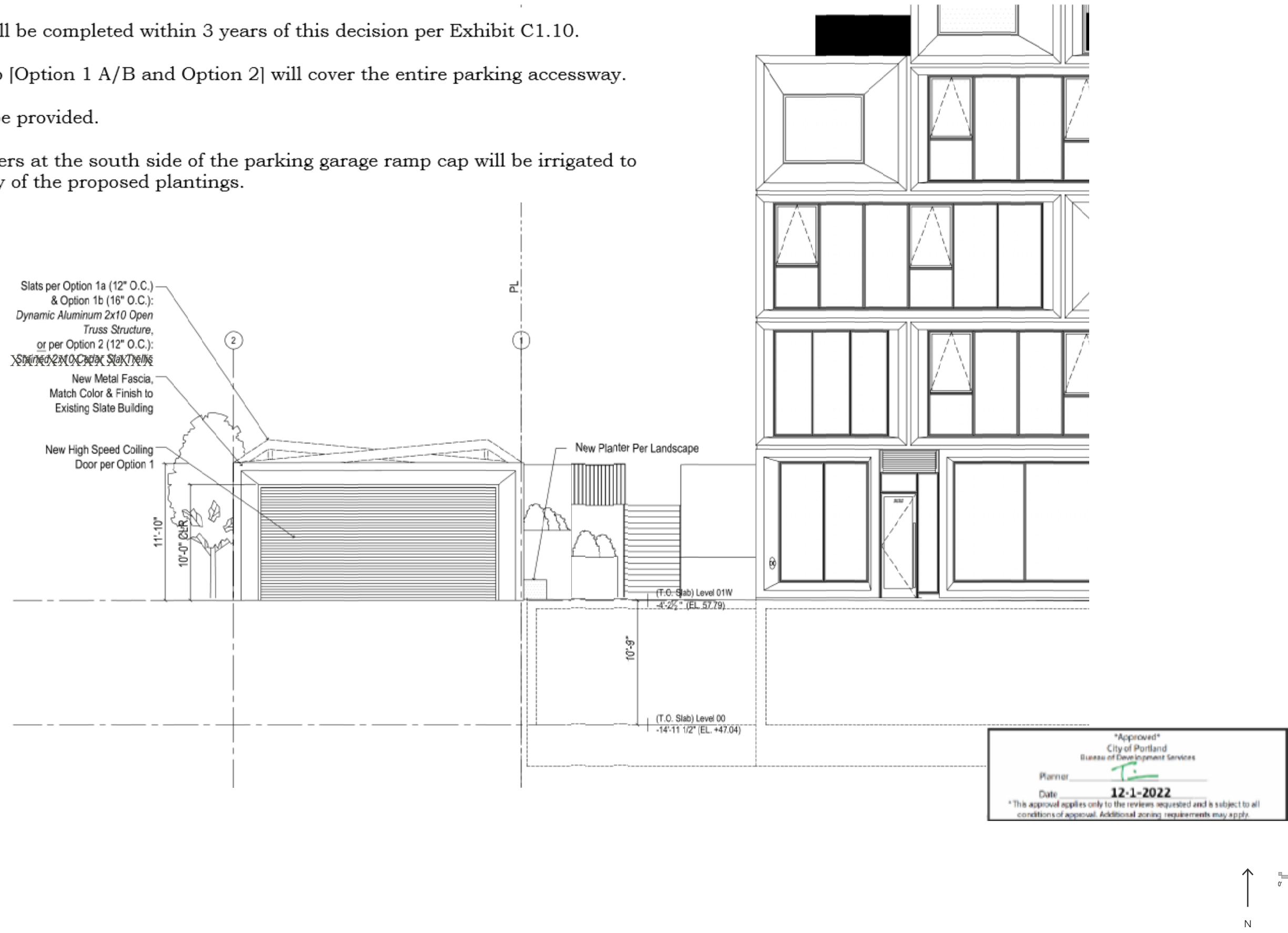
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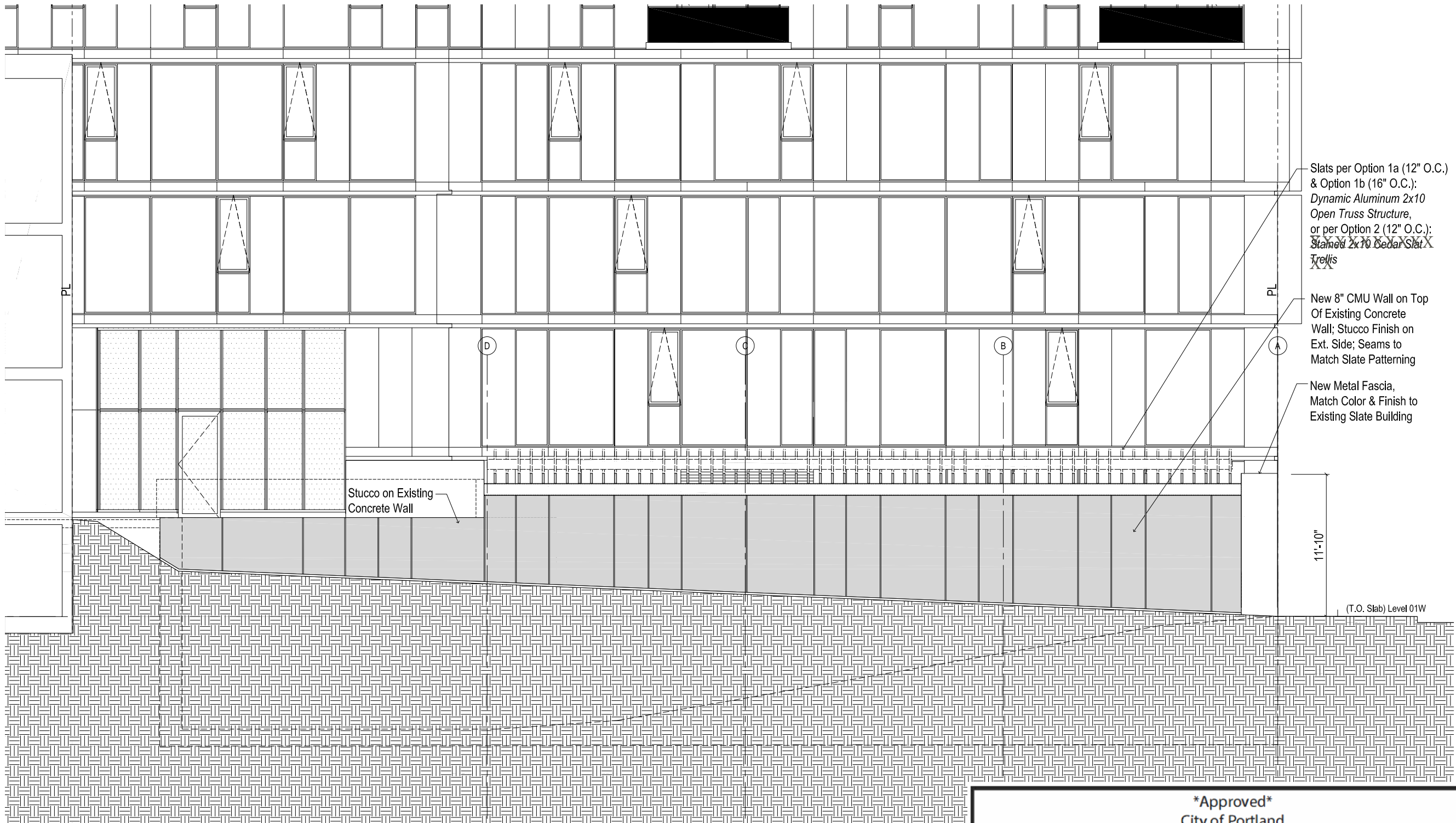


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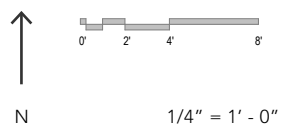


\*Approved\*

City of Portland  
Bureau of Development Services

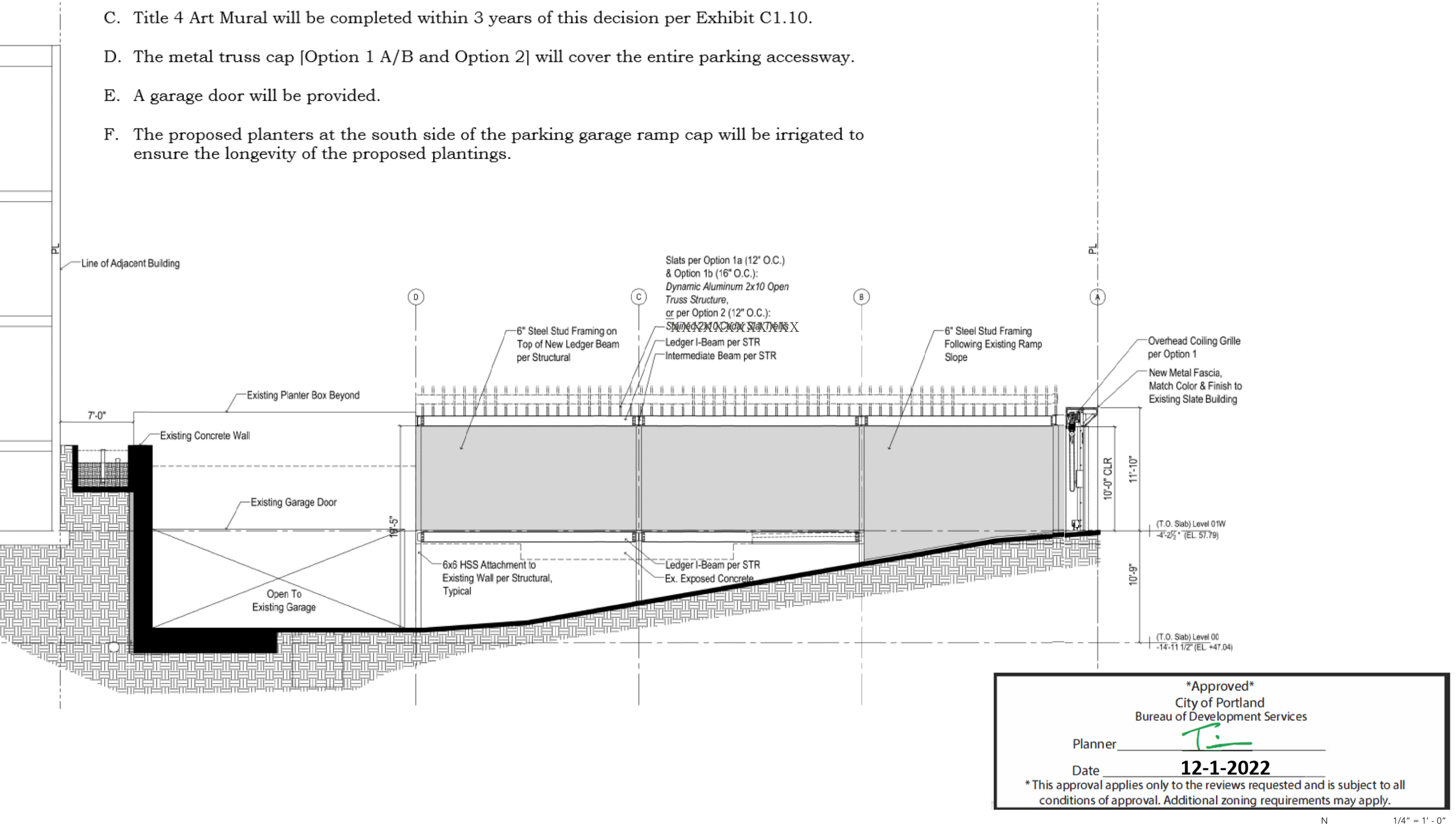
Planner 12Date 12-1-2022

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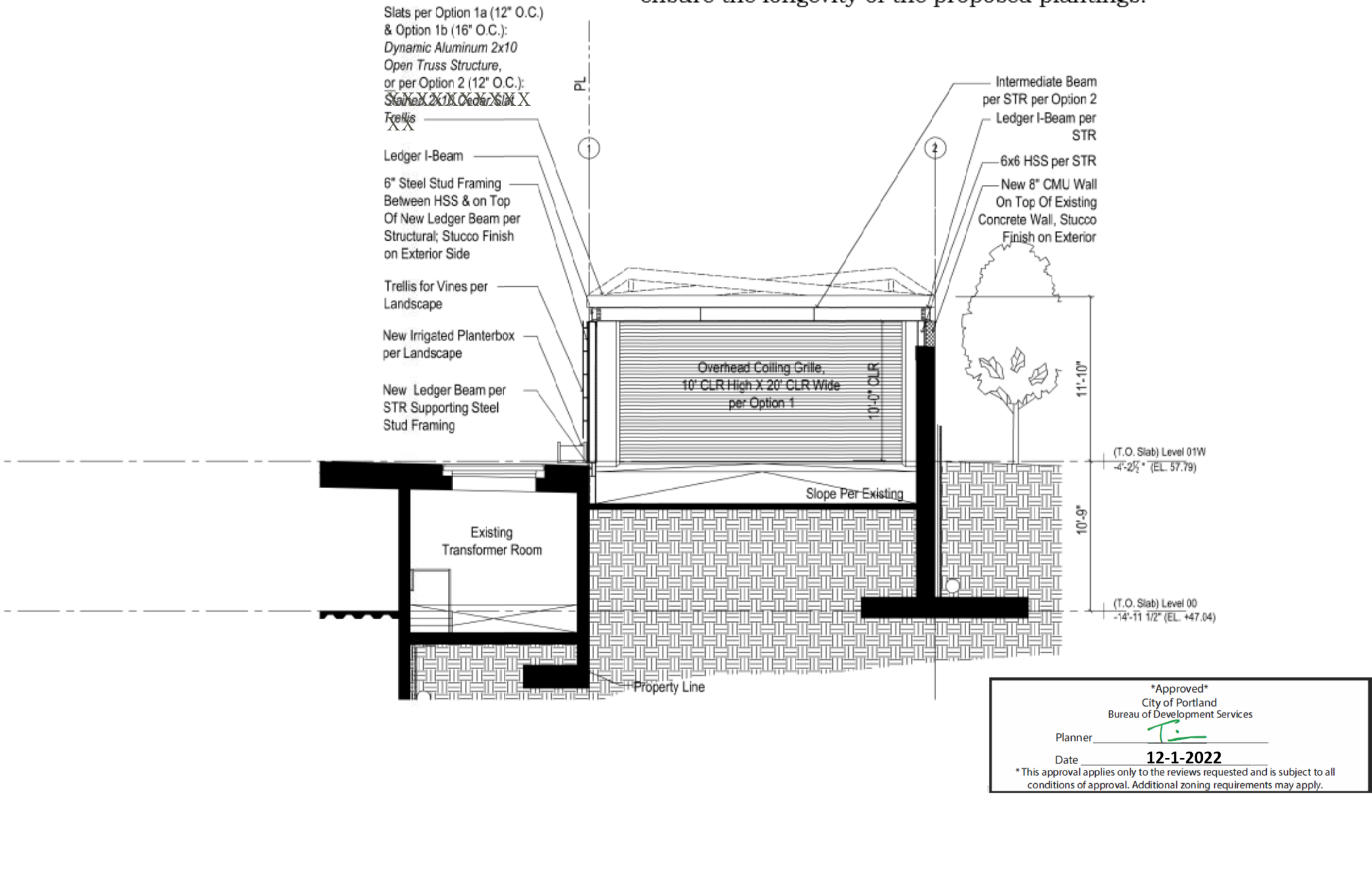
Conditions of Approval

- C. Title 4 Art Mural will be completed within 3 years of this decision per Exhibit C1.10.
- D. The metal truss cap [Option 1 A/B and Option 2] will cover the entire parking accessway.
- E. A garage door will be provided.
- F. The proposed planters at the south side of the parking garage ramp cap will be irrigated to ensure the longevity of the proposed plantings.



Conditions of Approval

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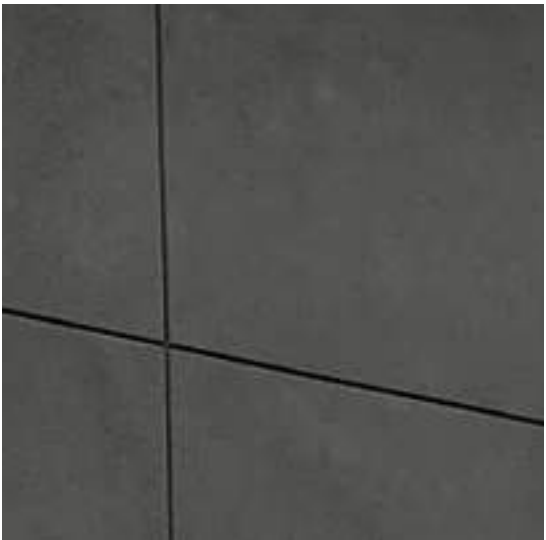




1. Trellis



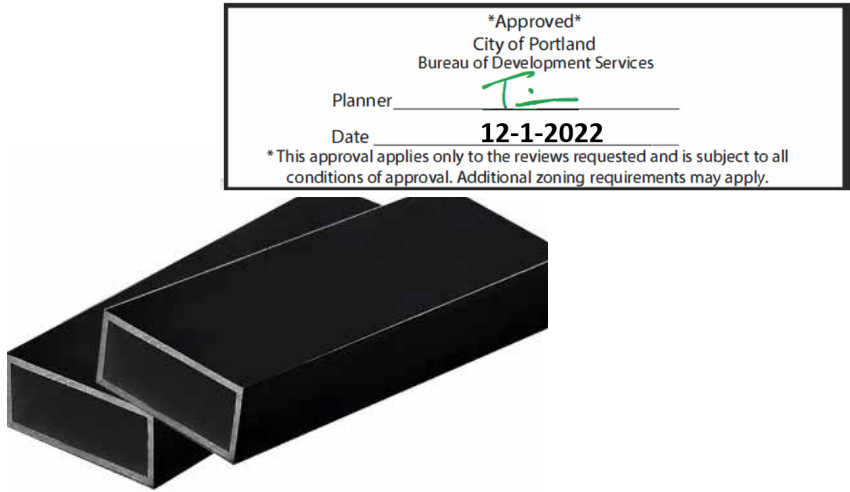
2. Cedar 2x10 (Option 2)



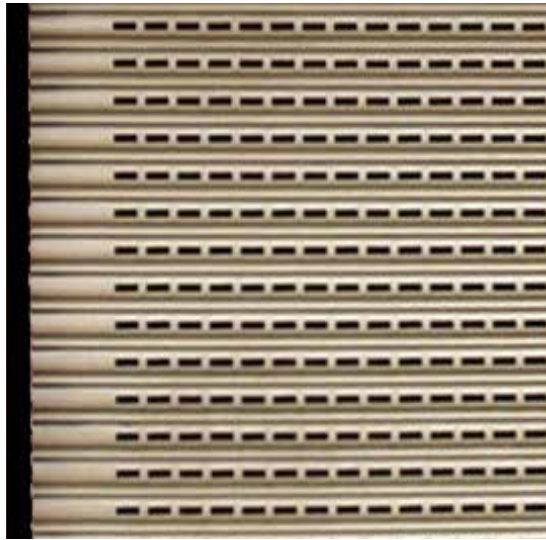
3. Stucco



4. Slate Metal Panel  
Finish: Bone White & Dark Bronze

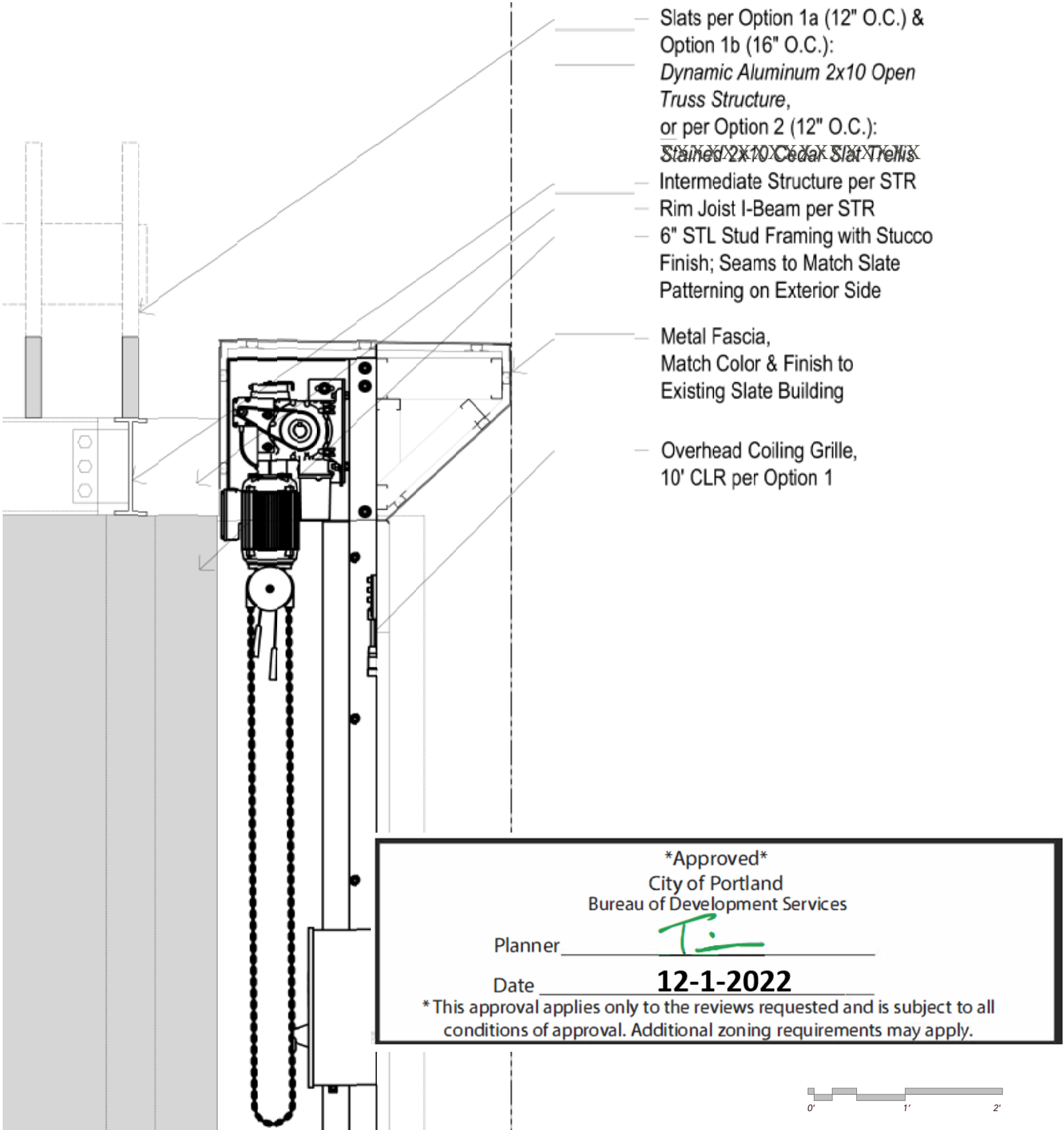


5. Aluminum or Steel Tubing (Option 1)



6. Garage Door  
Finish: Powder Coated Black





1-1/2" = 1' - 0"



# Sentry Stucco Wall System with MasterSeal® 581

Direct applied fiber-reinforced hard-coat stucco system featuring MasterSeal® 581.

## System Description

Sentry Stucco is a direct applied cement plaster stucco system for concrete and CMU featuring MasterSeal 581 waterproof cement-based coating with cement plaster component applied to a thickness of up to 5/8". Optional Senergy base coat and DiamondShield™ reinforcing mesh are available for superior crack suppression. Finishes are available in a limitless color selection. Performance enhancement options include increased resistance to dirt pick-up and mildew, and specialty finishes that create stone-like, metallic or mottled stucco appearances. The system features easy installation, proven durability and low maintenance.

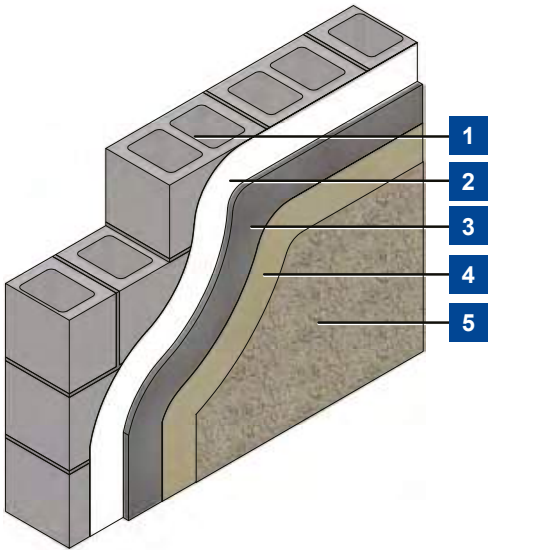
Integrated system components include MasterSeal 581, StuccoBase™/ StuccoBase Premix, optional Stucco Prime, and 100% acrylic polymer finish. Apply the system over poured concrete and unit masonry substrates.

## Uses

New or retrofit residential, institutional and commercial construction such as hotels, hospitals, retail centers, schools, multi-family apartments, condominiums, and government facilities.

## Advantages

- Resistant to impact and punctures; good for high traffic areas
- DiamondShield reinforcing mesh option further increases crack resistance
- Durable
- Susceptibility to efflorescence can be reduced by using Stucco Prime
- Additional safeguards against incidental moisture intrusion
- Direct applied removing the need for lath and mechanical fasteners
- Factory prepared StuccoBase minimizes potential site mixing errors; improves quality control
- Fire-resistive properties
- Low maintenance and life-cycle cost
- Elastomeric finish coat bridges hairline cracks
- Wide color and texture choices
- Fade-, abrasion-and dirt-resistant finishes contribute to low maintenance and life-cycle costs
- EPS shapes integrate into the system for economical architectural detailing
- Wide selection of finish textures, standard colors and unlimited custom colors



1. Concrete Masonry Units\*

2. MasterSeal 581
3. StuccoBase

4. StuccoPrime (Optional)

5. Senergy Finish Coat  
\*(By Others)

## Design Considerations

- The design wind load shall not exceed the system's allowable wind load as stated in applicable code reports.
- Details shall conform with Senergy Wall Systems' recommendations and shall be consistent with the project requirements.
- Expansion joints are required in the system where they exist in the substrate, where the system adjoins dissimilar construction, at changes in substrates.
- System shall terminate at expansion joints.
- Sealant joints shall be detailed and installed per sealant manufacturer's recommendations.
- A minimum 6:12 slope is required on all horizontal surfaces greater than 1" (25mm).
- Backer rod and sealant are required at door and window openings.

A brand of  
**MASTER®  
BUILDERS®  
SOLUTIONS**

Sentry Stucco Wall System with MasterSeal 581  
System Summary

### Sentry Stucco Wall System with MasterSeal 581 and component performance:

TEST	METHOD	CRITERIA	RESULTS
Freeze-thaw Resistance	Per ICC-ES acceptance criteria AC-11	No sign of deleterious effects after 10 cycles	StuccoBase passed with no visible evidence of deterioration when examined under 5x magnification
Water Vapor Transmission	ASTM E96-Wet Cup	Report Value	StuccoBase 20.4 perms, MasterSeal 581 12 perms
Compressive Strength	ASTM C109	Report Value	3245 psi (22.4 MPa) average for StuccoBase
Flexural Strength	ASTM C348	Report Value	663 psi (4.57 MPa) average for StuccoBase
Surface Burning	ASTM E84	Report Value	<25 Flame Spread <450 Smoke Developed Includes MasterSeal 581, StuccoBase and Senergy Finishes
Non-Combustibility	ASTM E136	No flaming, excess temperature rise or weight loss when exposed to 1382 oF (750 oC)	Pass StuccoBase
Fire Resistance Rated Assemblies	ASTM E119	No transmission of heat greater than 250 oF above ambient; no passage of flame or hot gasses; no passage of water from hose stream test; for load bearing walls – ability to withstand load under test conditions	Does not affect rating of concrete or masonry wall
Tensile bond	ASTM D4541	Report Value	Min 150 psi, StuccoBase to MasterSeal 581

\*Approved\*

City of Portland  
Bureau of Development Services

Planner

Date **12-1-2022**

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**Master Builders Solutions**  
**Constructions Systems US, LLC**  
889 Valley Park Drive  
Shakopee, MN 55379 USA

**Customer Service** (800) 433-9517  
**Technical Service** (800) 589-1336  
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Purchaser must determine the suitability of the products for the intended use and assumes all risks and liabilities in connection therewith. This information and all further technical advice are based on Master Builders present knowledge and experience. However, Master Builders assumes no liability for providing such information and advice including the extent to which such information and advice may relate to existing third party intellectual property rights, especially patent rights, nor shall any legal relationship be created by or arise from the provision of such information and advice. Master Builders reserves the right to make any changes according to technological progress or further developments. The Purchaser of the Product(s) must test the product(s) for suitability for the intended application and purpose before proceeding with a full application of the product(s). Performance of the product described herein should be verified by testing and carried out by qualified experts.



## Sentry Stucco Ultra Wall System

A premium cement plaster stucco system with enhanced water management featuring Senershield-R/-RS/-VB air/water-resistive barrier.

### System Description

Senergy Sentry Stucco Ultra is a enhanced water management stucco system. The system uses Senergy liquid applied air/water-resistive barriers and Master Builders Solutions Drainage Mat to provide a premium level of protection of the sheathing and cavity against moisture and air intrusion. Optional Senergy base coat and DiamondShield reinforcing mesh are available for superior crack suppression. Senergy Sentry Stucco system offers design flexibility and aesthetic appeal.

Finishes are available in a limitless color selection. Performance enhancement options include increased resistance to dirt pick-up and mildew, and specialty finishes that create stone-like, metallic or mottled stucco appearances. Senergy Sentry Stucco Ultra has passed rigorous tests including Full-Scale Fire, Radiant Heat, Wind-Load, and Water Resistance. The system features easy installation, proven durability and low maintenance.

Integrated system components include Senershield-R/-RS or -VB, Master Builders Solutions Drainage Mat DF, PermaLath 1000 or Plaster Base, StuccoBase/ StuccoBase Premix, optional Senergy Base Coat and Reinforcing Mesh, optional Stucco Prime and Senergy Finish.

Apply the system directly to the following acceptable substrates:

- ASTM C1177 type sheathings, including DensGlass™ exterior sheathing, DensElement (as sheathing only), eXP™ sheathing, GlasRoc® sheathing, Securock™ glass-mat sheathing, Weather Defense™ Platinum sheathing, and GreenGlass® sheathing
- PermaBase™ cement-board by National Gypsum and other cement-boards (ASTM C1325 Type A Exterior)
- Untreated Exposure I or exterior plywood sheathing (grade C-D or better)
- Untreated Exposure I OSB
- Huber Zip Sheathing (sheathing only)
- Gypsum sheathing (ASTM C79/ASTM C1396)
- Poured concrete/unit masonry

### Uses

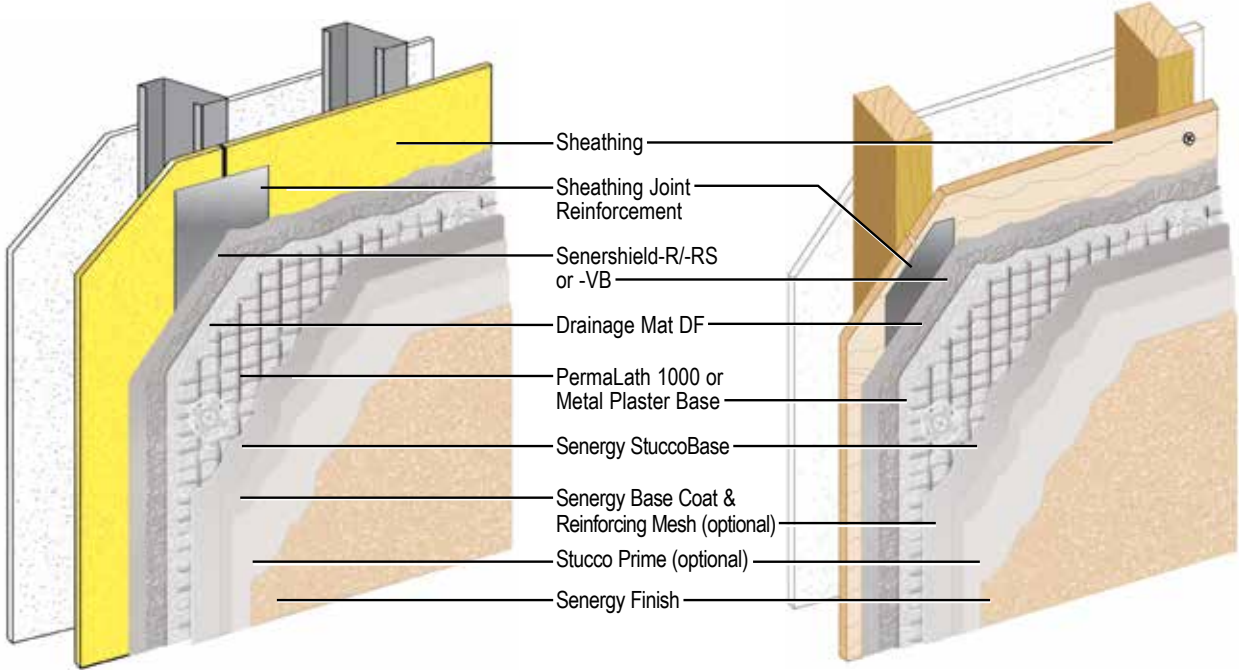
New or retrofit residential, institutional and commercial low-rise construction such as hotels, hospitals, retail centers, schools, multi-family apartments and condominiums, and government facilities.

### Design Considerations

- Maximum allowable deflection L/360
- The design wind load shall not exceed the system's allowable wind load as stated in applicable code reports.
- Details shall conform with Master Builders Solutions Wall Systems recommendations and shall be consistent with the project requirements.
- Control joints and trim accessories are required. Control joint placement is required in the Senergy Sentry Stucco Ultra Stucco Wall System every 144 ft² per ASTM C1063.
- Consult the framing and sheathing manufacturer for design and application considerations.
- Expansion joints are required in the system where they exist in the substrate, where the system adjoins dissimilar construction, at changes in substrates, at floor lines in multilevel wood frame construction, and where movement is anticipated
- System shall terminate at expansion joints.
- Sealant joints shall be detailed and installed per sealant manufacturer's recommendations
- A minimum 6:12 slope is required on all horizontal surfaces greater than 1"
- Backer rod, sealant and flashing are required at door and window openings



### Sentry Stucco Ultra Wall System



Sentry Stucco Ultra System over metal studs with ASTM C1325 or ASTM C1177 sheathing

Sentry Stucco Ultra System over wood studs with Exposure 1 or exterior plywood (Grade C/D or better) or Exposure 1 OSB sheathing

### Advantages

- Provides a drainage plane for directing incidental moisture out of the wall assembly
- Fluid applied air/water-resistive barrier provides a durable, seamless secondary moisture protection
- Three-dimensional Drainage Mat by Master Builders Solutions provides a drainage plane for maximum drainage and drying performance
- Seamless wall surface provides high resistance to potential water intrusion from rain and other environmental sources
- Available PermaLath 1000 self-furred glass fiber reinforcing lath that will not rust
- Factory prepared StuccoBase minimizes potential site mixing errors; improves quality control
- Senergy acrylic modified base coat over StuccoBase enhances water resistance performance and finish coat aesthetics
- Elastomeric finish coat bridges hairline cracks.
- DiamondShield reinforcing mesh option further increases crack resistance
- Resistant to impact and punctures; good for high traffic areas.
- Provides design flexibility with numerous design options
- Fade-, abrasion- and dirt-resistant
- Wide selection of finish textures, standard colors and unlimited custom color

### Limitations

- Susceptibility to efflorescence can be reduced by using Stucco Prime.
- Not for use below grade.



Sentry Stucco Ultra Wall System

System Testing			
Test	Method	Criteria	Results
Freeze-thaw Resistance	Per ICC-ES acceptance criteria AC-11	No sign of deleterious effects after 10 cycles	StuccoBase passed with no visible evidence of deterioration when examined under 5x magnification
Water Vapor Transmission	ASTM E96-Wet Cup	Report Value	StuccoBase 20.4 perms
Racking Load Test	ASTM E72	Report Value	Maximum load resistance 530 pounds (250 kg)
Compressive Strength	ASTM C109	Report Value	22.4 MPa (3245 psi) average for StuccoBase
Flexural Strength	ASTM C348	Report Value	4.57 MPa (663 psi) average for StuccoBase
Surface Burning	ASTM E84	Report Value	<25 Flame Spread <450 Smoke Developed Includes PermaLath 1000, StuccoBase, and Senergy Finishes
Non-Combustibility	ASTM E84	No flaming, excess temperature rise or weight loss when exposed to 750 °C (1382 °F)	Pass StuccoBase with PermaLath 1000 or metal plaster base
Fire Resistance Rated Assemblies	ASTM E119	No transmission of heat greater than 250 °F above ambient; no passage of flame or hot gasses of water from hose stream test; for loadbearing walls – ability to withstand load under test conditions	1 Hour Rated Assemblies': <ul style="list-style-type: none"><li>• Load bearing wood stud wall with 10.9 mm (7/16") OSB and 9.5 mm (3/8") StuccoBase</li><li>• Load bearing wood stud wall with 16 mm (5/8") Type X gypsum sheathing and 9.5 mm (3/8") StuccoBase</li><li>• Load bearing wood stud wall with 10.9 mm (7/16") OSB, PermaLath 1000 &amp; 12.7 mm (1/2") StuccoBase</li><li>• (from inside only)</li><li>• Non-load bearing stell framed wall with 16 mm (5/8") Type X gypsum sheathing, PermaLath 1000 &amp; 12.7 mm (1/2") StuccoBase</li></ul>

Reference Intertek Evaluation Reports CCRR-0230 and CCRR-0249

Sentry Stucco Ultra Wall System

General Air/Water-Resistive Barrier Minimum Performance			
Test	Method	Criteria	Results
Water-resistive barrier coatings used under EIFS	ASTM E2570		Meets all performance requirements
Air Leakage of Air Barrier Assemblies	ASTM E2357	0.2 l/(s.m²) @75 Pa (0.04 cfm/ft² @ 1.57 psf)	0.0007 l/s.m² (0.0001 cfm/ft²) @ 75 Pa (1.75 psf) positive / post conditioning 0.0014 l/s.m² (0.0003 cfm/ft²) @ 75 Pa (1.57 psf) negative / post conditoning
Air Permeance of Building Materials	ASTM E2178	0.2 l/(s.m²) @ 75 Pa (0.004 cfm/ft² @ 1.75 psf)	0.0049 l/s.m² @ 75 Pa (0.00098 cfm/ft² @ 1.75 psf)
Rate of Air Leakage	ASTM E283		0.08185 l/s.m² @ 75 pa (0.0037 cfm/ft² @ 1.57 psf)
Water Vapor Transmission	ASTM E96	Report value	Senershield-R – 18 Perms (grains/Hr. in Hg ft²) @ 10 mils wet film thickness Senershield-RS 18 Perms (grains/Hr. in Hg. ft² @ 12 mils wet film thickness Senershield-R/RS – 14 Perms (grains/Hr. in Hg ft²) @ 20 mils wet film thickness Senershield-VB – 0.09 Perms (grains/Hr. in Hg. ft²) @ 26 mils wet film thickness
Pull-Off Strength of Coatings	ASTM D4541	Min. 110kPa (15.9 psi) or substrate failure	Pass – Tested over exterior gypsum sheathing, ASTM C1177 glass-mat sheathing, cement board, OSB, plywood; pvc and galvanized flashing
Nail Sealability (without Sheathing Fabric)	ASTM D1970	No water penetration at galvanized roofing nail penetration under 127 mm (5°) head of water after 3 days at 4 °C (40 °F)	Pass
Surface Burning	ASTM E84	Flame Spread < 25 Smoke Development < 450	Meets Class A: Flame spread = 15 Smoke developed = 95

Warranty Statement

Master Builders Solutions warrants this product to be free from manufacturing defects and to meet the technical properties on the current Product Bulletin, if used as directed within shelf life. Satisfactory results depend not only on quality products but also upon many factors beyond our control. MASTER BUILDERS SOLUTIONS MAKES NO OTHER WARRANTY OR GUARANTEE, EXPRESS OR IMPLIED, INCLUDING WARRANTIES OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE WITH RESPECT TO ITS PRODUCTS. The sole and exclusive remedy of Purchaser for any claim concerning this product, including but not limited to, claims alleging breach of warranty, negligence, strict liability or otherwise, is shipment to purchaser of product equal to the amount of product that fails to meet this warranty or refund of the original purchase price of product that fails to meet this warranty, at the sole option of Master Builders Solutions. In the absence of an extended warranty issued by Master Builders Solutions, any claims concerning this product must be received in writing within one (1) year from the date of shipment and any claims not presented within that period are waived by Purchaser. MASTER BUILDERS SOLUTIONS WILL NOT BE RESPONSIBLE FOR ANY SPECIAL, INCIDENTAL, CONSEQUENTIAL (INCLUDING LOST PROFITS) OR PUNITIVE DAMAGES OF ANY KIND.

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<b>Master Builders Solutions US</b>	889 Valley Park Drive, Shakopee, MN 55379, USA senergy.master-builders-solutions.com/en	<b>Customer Service Technical Service</b>	+1 (800) 433-9517 +1 (800) 589-1336
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Bureau of Development Services

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Date

12-1-2022

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MODELS 800 ADV/800C ADV  
ADVANCED ROLLING DOOR SYSTEM



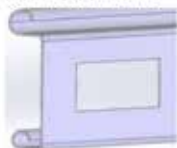
Model 800 ADV, Gray finish

HIGH TRAFFIC SOLUTION WITH LASTING DURABILITY

In today’s marketplace, security and low maintenance are key to business survival in an increasingly competitive environment.

To assist your business in driving these key initiatives, Wayne Dalton provides an advanced performance solution as an option to create a high performance environment.

No. 14 Slat Profile – Ventilated



- Available:
- Ventilated (fenestrated) flat-faced slat with 5" x 3/4" rectangular holes evenly spaced across slat - or per spec
  - Offers 16.5 to 17% open area over slat
  - Max of 20 ventilated slats per curtain
  - 20 psf maximum
  - 22, 20 or 18-gauge steel or stainless steel
  - Vision lites

RAL Powder Coat



- » RATED FOR DESIGN PRESSURE OF +/- 20 PSF
- » 3X FASTER THAN A STANDARD ROLLING STEEL DOOR
- » OPENING SPEED OF 24"/SEC, CLOSING SPEED OF 12"/SEC
- » SPRINGLESS DESIGN PROVIDES SMOOTH, RELIABLE, HIGH-CYCLE OPERATION

MODELS 800 ADV/800C ADV

STANDARD FEATURES OVERVIEW  
CONSTRUCTION

MOUNTING	Interior/exterior face-of-wall
CURTAIN	800: 3" flat slats (#14 profile), hardened powder coat (Gray, Beige, White) 22 ga. steel with alternating endlocks. 800C: 3" insulated flat slats (#34 profile), hardened powder coat (Gray, Beige, White) 22 ga. steel front/24 ga. steel backer with alternating endlocks. R-value* of 7.7; Sound Transmission Class rating of 22
MAX HEIGHT▲	20' (6,096 mm)
MAX WIDTH▲	20' (6,096 mm)
SPEED	Opening speed: 24"/sec. Closing Speed: 12"/sec
BOTTOM BAR	Two equal angles, 0.12 inch min. thickness, with wireless monitored sensing edge. Factory painted black
GUIDES	Three angle guide assembly; black
DOOR ROLL	Springless roll (steel tube with integral shafts, keyed on the drive end, supported by self-aligning greaseable sealed bearings). Door shall not require any counterbalance device
HOOD	24-gauge steel galvanized (Gray, Beige, White)
OPERATION	Direct drive, motor/gearbox/brake assembly with manual hand chain for power outages. 230V AC 3-phase is standard
CONTROL PANEL	NEMA 4X rated; variable frequency drive, self-diagnostics, timer to close programing options and non-resettable cycle counter are included
SAFETY DEVICES	Built-in brake mechanism, photoelectric sensors with commercial grade guards, wireless monitored safety edge; motor cover
WIND LOAD	+/- 20 psf standard

WARRANTY

TERMS	Five (5) year limited warranty on door system
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OPTIONS

- Actuators: loop detectors, radio control, push buttons, key switches, motion detectors, warning light, horns and strobes, second set of photoelectric sensors
- Flat insulated or non-insulated slat profile in a variety of gauges
- Vision/ventilation: 5" x 3/4" open fenestration; 5" x 3/4" acrylic vision lite
- Perimeter seals: surface guide weatherstrip, angled guide brush seal, exterior lintel weather seal, interior weather baffle
- Wind load: minimum of +/- 20 psf up to +/- 55 psf; options available to meet up to Dade County – Florida Building Commission High Velocity Hurricane Zone
- Custom color options
- Wireless accessories: pull cord station, palm station, 1-button push station, open-close-stop push button station
- Direct drive motor options available in 220/240V AC 1-phase, 460 or 575V AC 3-phase horsepower is appropriate to size and weight of door

\* Wayne Dalton uses a calculated R-value for our insulated doors.  
▲ Maximum height and width are independent of each other and may vary based on slat profile, material and gauge. Larger sizes may be available. Consult dealer for more information.

Wayne Dalton has designed the Advanced Rolling Door System with safety and security in mind.

This system comes standard with enhanced safety devices such as the built-in braking mechanism, photo eyes and wireless sensing edge. Designed for security, the curtain material is composed of interlocking metal slats, and the weight of the door coupled with the motor/gearbox/brake assembly helps deter the door from being pried open.

MATERIALS AND CONSTRUCTION

The direct drive heavy-duty gear box motor assembly requires minimum maintenance unlike conventional chain and sprocket system. Innovative springless design creates a door without a single spring to replace. The variable frequency drive system operates on a soft start and stop to hinder wear and tear on the system.

A non-resettable cycle counter tracks and displays total cycles for warranty and service and an LCD plain text read-out on the control panel indicates door actions, alarm and fault conditions in a user friendly language. These advanced diagnostics are used for fast set up and easy trouble shooting.

This door comes standard with wear-resistant powder coat technology, as well as door and guide construction that is rated for design pressure of +/- 20 psf.

Ideal applications are high cycle or high traffic areas such as public and government buildings, parking garages, police sally ports, auto dealerships, warehouses, industrial manufacturing facilities,

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City of Portland  
Bureau of Development Services

Planner \_\_\_\_\_

Date **12-1-2022**

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ADVANCED ROLLING DOOR SYSTEM

Advanced Rolling Doors that combines the security of regular rolling steel doors with low maintenance and high cycles of high performance doors.

- 1 SPRINGLESS BARREL DESIGN**  
Springless, high cycle design allows for the door system to be opened and closed frequently creating asset longevity and reliable performance over extended time without having to incur the cost of spring replacement.
- 2 HEAVY-DUTY COMMERCIAL PHOTO EYES**  
Photoelectric sensors reverse the downward motion of the door when a person or object enters its path.
- 3 DIRECT DRIVE HEAVY DUTY GEARBOX AND MOTOR WITH BUILT-IN BRAKING DEVICE**  
Ideal for high cycle applications. No drive chain and sprocket to adjust and maintain. Built-in braking mechanism protects against uncontrolled travel. Manual hand chain override for door operation during power loss.
- 4 WIRELESS SAFETY EDGE**  
Wireless, monitored safety edge reverses downward motion upon impact.
- 5 NEMA 4X CONTROL PANEL WITH BUILT-IN VARIABLE FREQUENCY DRIVE**  
Allows door to close at a slower speed than it opens to meet safety requirements. LCD readouts indicate door actions, alarms and fault conditions. Timer to close programming options and non-resettable cycle counter are included for maintenance and service reminders.

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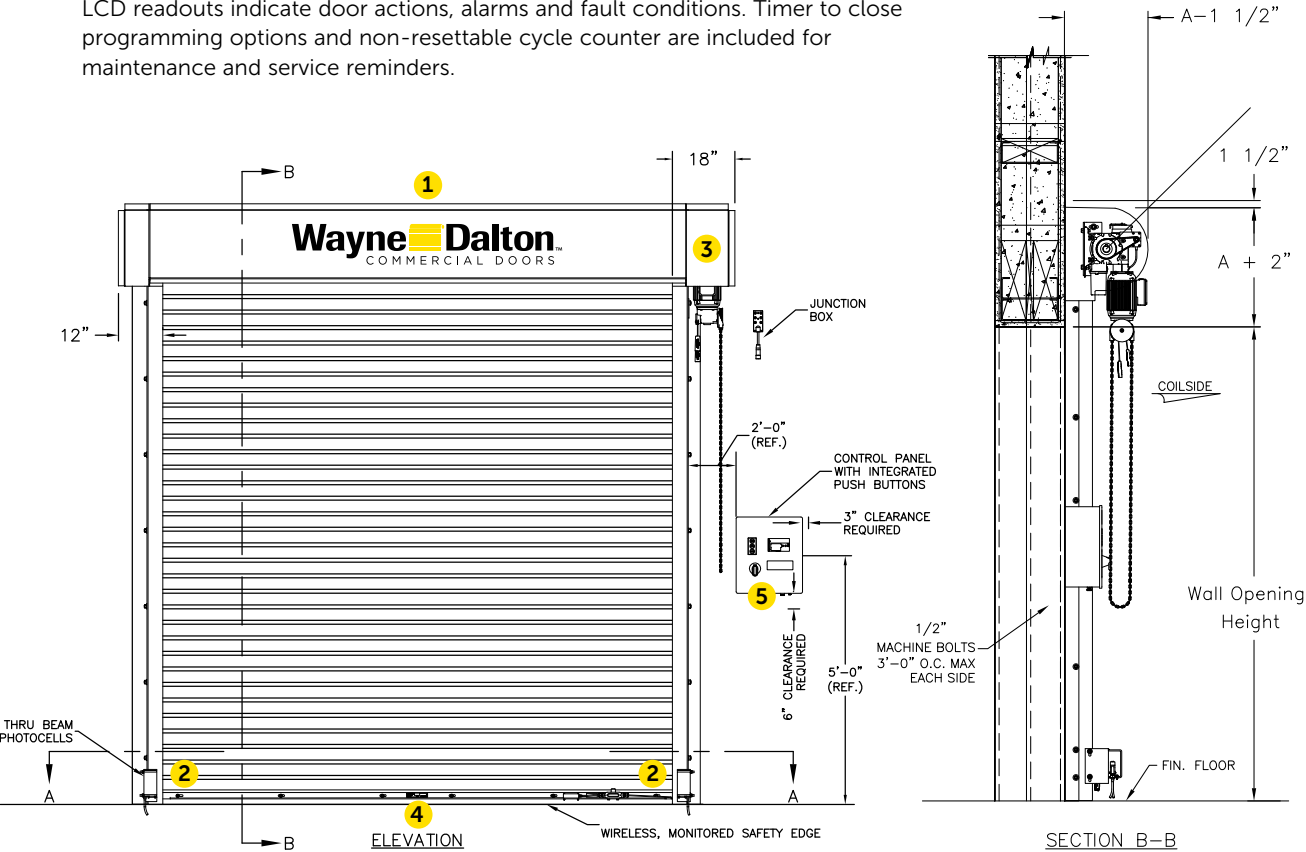
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TECHNICAL INFORMATION SHEET

2014  
5/20/14



UNA-CLAD™ SERIES 3200  
and Series 3200NR  
Aluminum Plate Wall Panel System

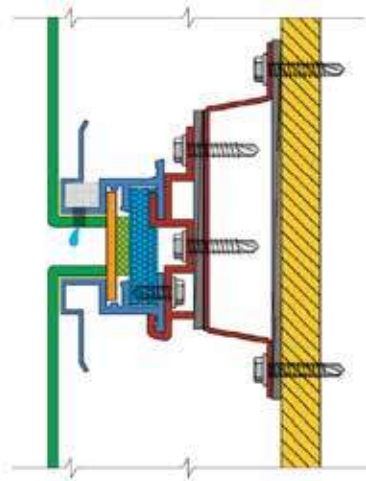
**DESCRIPTION:**  
The UNA-CLAD™ Series 3200 panel system is designed to utilize a .125" solid aluminum skin. The system utilizes break form fabrication with mechanically fastened extruded perimeter frame. Panels are then mounted to the wall with a custom snap on and slide attachment clip. A spline infill piece at the panel to panel joints allows for variance in color and joint size. The Series 3200 panel system is designed as a low cost water managed system that controls the impact of wind driven rain on exterior walls. The weather resistant barrier system behind the cladding allows air pressure to be transmitted through the panel system by way of vented openings in the panels, preventing wind driven rain from entering the wall cavity.

- METHOD OF APPLICATION:**
1. Attachment of panels to a system of subgirts or direct attachment to a smooth, solid substrate of plywood is recommended for the Series 3200 panel.
  2. The Series 3200 panels must be installed in a sequential pattern.
  3. Application of a Firestone approved underlayment prior to panel installation is required
  4. Panel installation with the Firestone snap clip allows for thermal movement and minimizes time needed to mechanically attach clips in the field.

Note: Follow approved shop drawing installation details.

- STORAGE:**
1. Stored in a well ventilated, dry place where no moisture can contact the panels. Moisture (from rain, snow, condensation, etc.) trapped between layers of material may cause water stains or white rust, which can affect the service life of the material and will detract from its appearance.
  2. If outdoor storage cannot be avoided, protect the panels with a ventilated canvas or waterproof paper cover. Do not use plastic, which can cause condensation. Keep the material off the ground in an inclined position with an insulator such as wood, or keep panels crated. Protective film may degrade or become brittle with exposure to direct sunlight.

- PRECAUTIONS:**
1. Oil canning is not a cause for rejection.
  2. Exercise caution when lifting, moving, transporting, storing or handling Firestone metal to avoid possible physical damage.
  3. Immediately remove protective film after installation.



PRODUCT DATA

Panel Type:	Aluminum Plate
Material Options:	.125", and .190" material thickness
Color:	Materials are finished after fabrication. Choose from FSMP standard colors or have unit custom painted.
Finish:	Kynar 500®/Hylar 5000™ high performance fluorocarbon resinous coatings
Optional Finish:	Anodized
Sealant:	Perimeter Sealant Dow 756 with primer or Momentive SCS2000 with primer
Clip:	Snap-On Side Clip
Substrate:	Subgirt System or Plywood
Standard Panel Surface:	Smooth

PANEL SIZE

Max Panel Width:	58" (1,473.2 mm)
Min. Panel Width:	6" (152.4 mm)
Recommended Max Panel Length:	157" (3,987.8 mm)
Min. Panel Length:	6" (152.4 mm)

TECHNICAL INFORMATION SHEET

2014  
5/20/14



UNA-CLAD™ SERIES 3200  
and Series 3200NR  
Aluminum Plate Wall Panel System

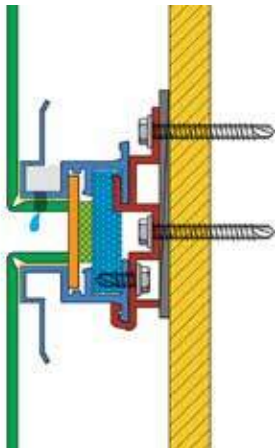
TECHNICAL INFORMATION

Air Infiltration:	ASTM E283
Water Penetration:	ASTM E331
Structural Performance:	ASTM E330
Dynamic Water Penetration:	AAMA 501.1
Pressure Equalized Rain Screen System:	AAMA 508**
Florida Building Code Approved:	#FL12094
Fire Resistance:	ASTM E84 Class "A" Rating
Finish Testing Available:	Contact FSMP for Technical Information Sheets on Finishes.

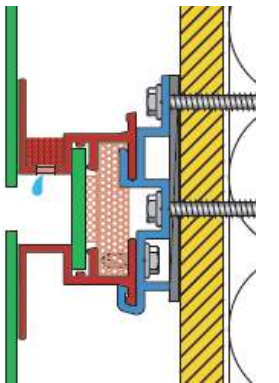
\*Testing not applicable for all substrates, materials, and dimensions. All systems with test listings must be installed in accordance with assembly tested.

\*\*Testing completed using MCM skin materials.

Manufacturing Facilities: Anoka, MN



S3200  
(Routed option no subgirt shown)



S3200NR  
(No return no subgirt shown)

This sheet is meant only to highlight Firestone's products and specifications. Information subject to change without notice. Firestone takes responsibility for furnishing quality materials, which meet Firestone's published product specification. As neither Firestone itself nor its representatives practice architecture, Firestone offers no opinion on, and expressly disclaims any responsibility for the soundness of any structure on which its products may be applied. If questions arise as to the soundness of a structure, or its ability to support a planned installation properly, the Owner should obtain opinions of competent structural engineers before proceeding. Firestone accepts no liability for any structural failure or for resultant damages, and no Firestone representative is authorized to vary the disclaimer.

Firestone Building Products  
1001 Lund Blvd. Anoka, MN 55303  
Phone: 763-576-9595 • Fax: 763-576-9596  
Toll Free: 800-426-7737

\*Approved\*  
City of Portland  
Bureau of Development Services

Planner

Date 12-1-2022

\*This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



Firestone Building Products offers the following 31 standard colors. We can also custom color match for unique aesthetic requirements.



Stone White SR	Sky Blue SR	Teal	Regal Red SR
Bone White SR	Regal Blue	Hemlock Green SR	Brandywine SR²
Almond SR	Electric Blue*	Tropical Patina SR	Colonial Red SR
Sandstone SR	Award Blue*	Patina Green SR	Terra Cotta SR
Slate Gray SR	Extra Dark Bronze	Dark Ivy SR²	Silver Metallic SR*
Cityscape SR	Dark Bronze SR¹	Sherwood Green SR	Classic Copper SR*
Charcoal Gray SR	Medium Bronze SR	Hartford Green	Champagne Metallic*
Sierra Tan SR	Matte Black SR¹	Mansard Brown SR	

These colors represent our steel and aluminum inventories.  
All systems are not available in all colors.  
A separate color card is available for aluminum composite.

Oil canning is not a cause for rejection.  
Protective film must be removed immediately after installation.  
For a true color representation, please contact us for actual metal sample(s).

LEGEND

★ = Premium Color

SR = Solar-Reflectant color with KYNAR finish having reflectivity of at least 0.25

SR¹ = values qualify in steel only

SR² = values qualify in aluminum only

**Note:**  
Colors to match existing Slate finishes.

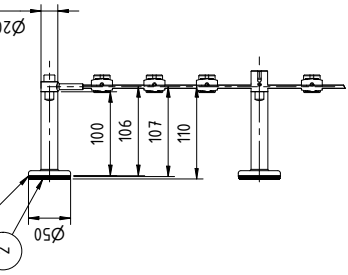
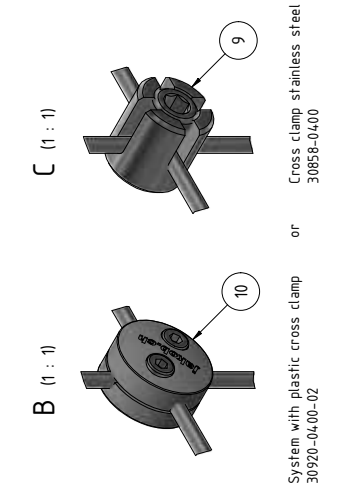
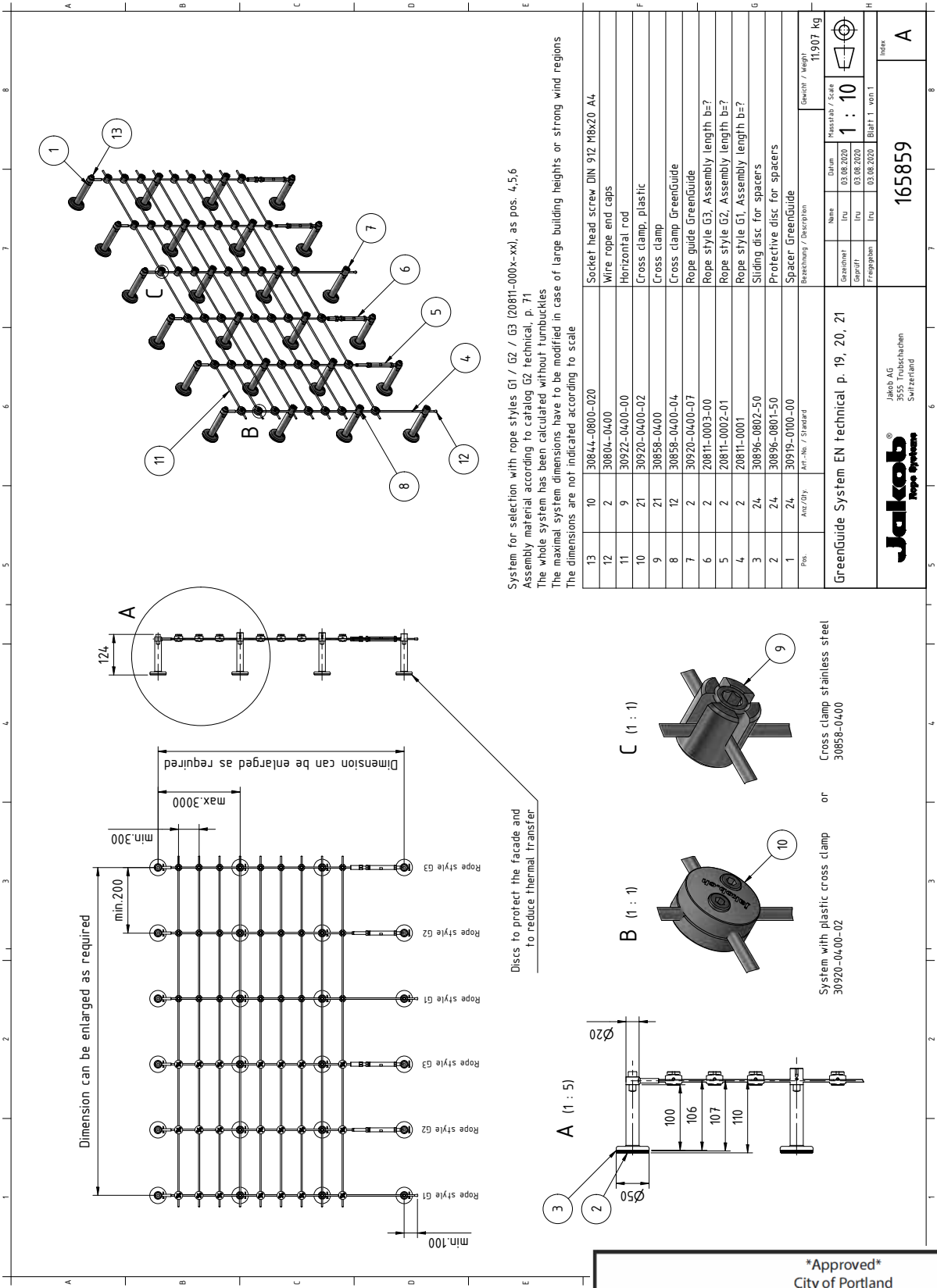
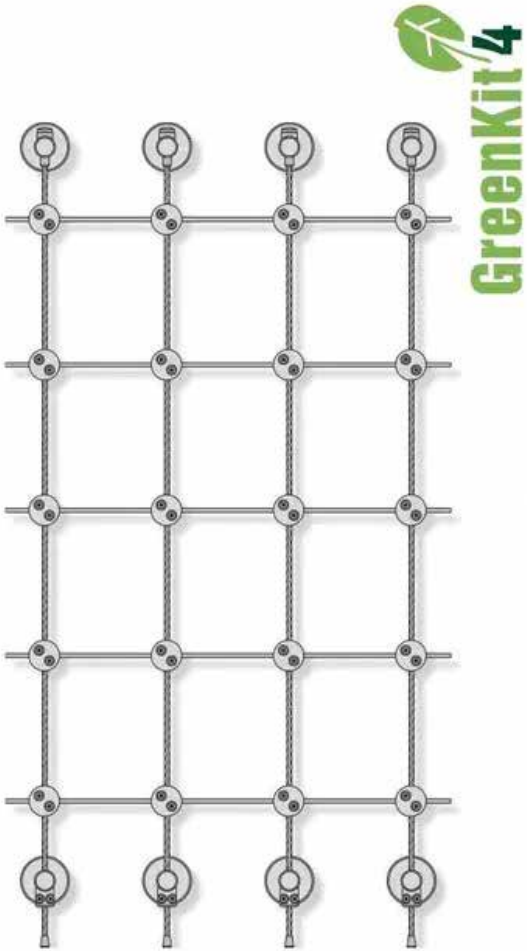
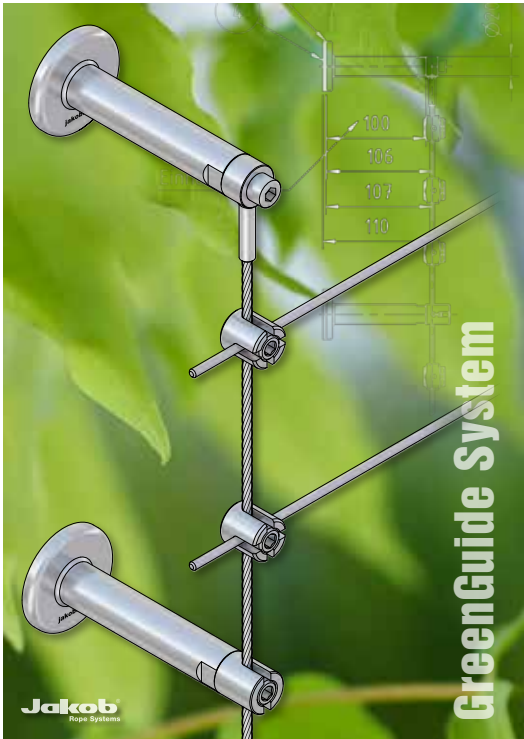
\*Approved\*  
City of Portland  
Bureau of Development Services

Planner Ti

Date 12-1-2022

\*This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

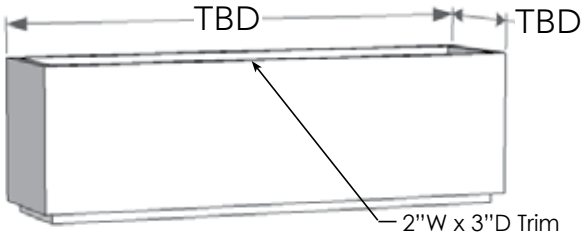




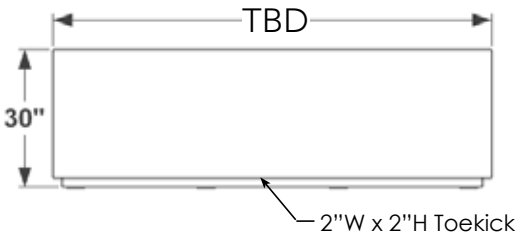
\*Approved\*  
City of Portland  
Bureau of Development Services  
Planner \_\_\_\_\_  
Date **12-1-2022**  
\*This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

Marek Fiberglass Rectangular Planters

SKU F1-MAR-RECX



PERSPECTIVE VIEW

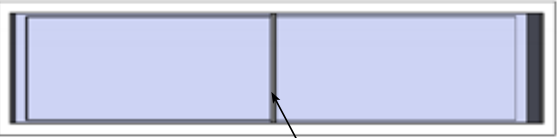


ELEVATION VIEW


- General Notes:
- 1. Locate drainage holes next to pads
  - 2. If no drain holes are requested it is assumed proper drainage will be added in the field
- Drainage: Yes\_\_\_ No\_\_\_



BOTTOM VIEW



INTERIOR VIEW

Date:	Content: Marek Rectangular Fiberglass Planter	Design by Planters Unlimited	
Scale: NTS	PN: F1-MAR-REC962430	All visual representations and designs are the intellectual property of Planters Unlimited and protected under copyright law. Any duplication of this design is in direct violation of the law and will result in legal action.	
DB: GGG	Color/Finish:	© Copyright 2008-2016	
CB:	Customer Approval:		
Rep:			
Order#:			

**\*Approved\***

City of Portland  
Bureau of Development Services

Planner Ti

Date **12-1-2022**

\* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
**FROM CONCEPT TO CONSTRUCTION**

Dan Ryan, Commissioner  
Rebecca Esau, Director  
Phone: (503) 823-7300  
Fax: (503) 823-5630  
TTY: (503) 823-6868  
[www.portland.gov/bds](http://www.portland.gov/bds)

Date: October 31, 2022

From: Tim Heron, Land Use Services  
503-823-7726 / [Tim.Heron@portlandoregon.gov](mailto:Tim.Heron@portlandoregon.gov)

## **REQUEST FOR RESPONSE**

**Case File: LU 22-122430 DZ – The Slate Building Parking Cap**  
**Pre App: PC # 20-131607**

This notice is being sent to all service and technical review agencies for their input on the proposal described below. Neighborhood Associations also receive this advance notice via e-mail. Your timely response, as indicated below, will help the assigned planner determine if applicable approval criteria can be met, or what conditions might be required.

- The approval criteria are listed below. Although we are interested in any comments you may have, please consider your response in terms of these criteria.
- All agencies are encouraged to use this as an opportunity to inform the applicant of any additional requirements that may be imposed by your agency during building permit phase – especially those that would significantly affect the proposal.
- Please note in your response which requirements are specifically associated with the applicable land use review approval criteria, and which requirements you have the independent authority to impose at time of building permits.
- Neighborhood Associations are encouraged to submit comments by the deadline noted below. To comment, you may e-mail your comments to me at my e-mail address identified above. After the staff report is published, please submit your comments to the Design Commission to me at my e-mail address identified above.

The Bureau of Development Services recommendation will be published ten days before the scheduled hearing date. You will also receive a Notice of Public Hearing for this proposal, with hearing date and time confirmed, mailed twenty days prior to the hearing.

- **Please send your response to BDS no later than: 11/21/22 – 21 days after the date of this RFR** (If I receive comments after this date, I may not have enough time to include them in the staff report).
- **We must publish our report by: 11/21/22**
- **A public hearing before the Design Commission is scheduled for December 1, 2022 at 1:30pm**



**Applicant:** Jessamyn Griffin, Works Progress Architecture LLP  
[jessamyn@worksarchitecture.net](mailto:jessamyn@worksarchitecture.net)  
811 SE Stark St, #210  
Portland, OR 97214

**Owner:** Block 75 LLC  
116 NE 6th Ave #400  
Portland, OR 97232-3529

**Owner's Agent:** Sarah Zahn and Ann Jaworski, Urban Development + Partners  
116 NE 6th Ave, Ste 400  
Portland, OR 97232

**Site Address:** 321 NE COUCH CT

**Legal Description:** BLOCK 75 LOT 1&2 TL 3000, EAST PORTLAND; BLOCK 75 LOT 2-6 TL 2900, EAST PORTLAND

**Tax Account No.:** R226504950, R226504970

**State ID No.:** 1N1E34DA 03000, 1N1E34DA 02900

**Quarter Section:** 3030

**Neighborhood:** Kerns, contact Jesse Lopez at [yosoyjay@gmail.com](mailto:yosoyjay@gmail.com)

**Business District:** Central Eastside Industrial Council, contact at [ceic@ceic.cc](mailto:ceic@ceic.cc)

**District Coalition:** Southeast Uplift, contact Matchu Williams at [matchu@seuplift.org](mailto:matchu@seuplift.org)

**Plan District:** Central City - Central Eastside

**Zoning:** EXd, Central Employment with design overlay

**Case Type:** DZ, Design Review

**Procedure:** Type III, with a public hearing before the Design Commission. The decision of the Design Commission can be appealed to City Council.

**Proposal:**

The Slate Building is on Block 75, a full city block located at the east end of the Burnside Bridge adjacent to the Couch Couplet; between NE Martin Luther King Jr Blvd (MLK), NE Third Avenue, NE Couch Street and NE Davis Street.

The existing Block 75 Slate building occupies the southern half of the block, including an open plaza to the north that provides east/west pedestrian access through the block from MLK to NE 3<sup>rd</sup> Avenue. Directly north of the plaza, a mid-block driveway/open ramp is located off of NE 3<sup>rd</sup> Avenue, providing access to the sub grade parking garage where loading, vehicle and bike parking for the existing building are located.

The existing ramp was built in conjunction with the Slate building at 321 NE Couch Court, approved by the Portland Design Commission August 21, 2014 [LU 14-163479 DZM] with Conditions. A full enclosure/cover of the ramp was purposefully excluded at the time, as future Phase 2 developments for the property directly to the north (assuming shared driveway access and/or possible cover of the ramp via the future building) were planned.

As such, this specific Condition of Approval was applied:

- The driveway cap must be constructed within 3 years of the issuance of a Certificate of Occupancy for Block 75 phase 1, unless construction of phase 2 has begun.

With completion of Slate on January 10, 2017, and Phase 2 development put on hold, the ramp cap design was re-engaged and reviewed via a follow up EA in June of 2020 (EA 20-131607)



which determined that if a permanent solution is desired, a more robust response to the Approval Criteria would be necessary.

The revised design for the cap enclosure includes:

- Maintaining existing property line/lots.
- Stucco clad CMU walls along the north and south facade, to replicate patterning of Block 75 Slate's panelized facade.
- Trellis and vine application at select panels on the south facade, to further soften the courtyard experience.
- Custom mural application [Title 4 – Original Art Mural] at the south facade to further engage the pedestrian experience from the courtyard and right of way.
- Faceted framed entry to the garage to match Block 75 Slate's framed elements.

The design also proposes two options:

- Option 1: provide a dynamic aluminum open truss roof structure and high-speed garage door; or
- Option 2: provide originally approved cedar slat trellis roof structure with no garage door.

Because the proposal is for exterior alterations to an existing building and an unmet Condition of Approval, Design Review is required.

**BES Note:** no new impervious area being added; the revised design will allow water through screening into the existing parking ramp. A Stormwater Management Memorandum is included in the [Original Submittal Folder here](#), and the revised proposal drawings are included in the [Revised Submittal Folder here](#).

**PBOT Note:** Driveway Design Exception Decision Form already approved per 22-124185 TR and included in the [Revised Submittal Folder here](#).

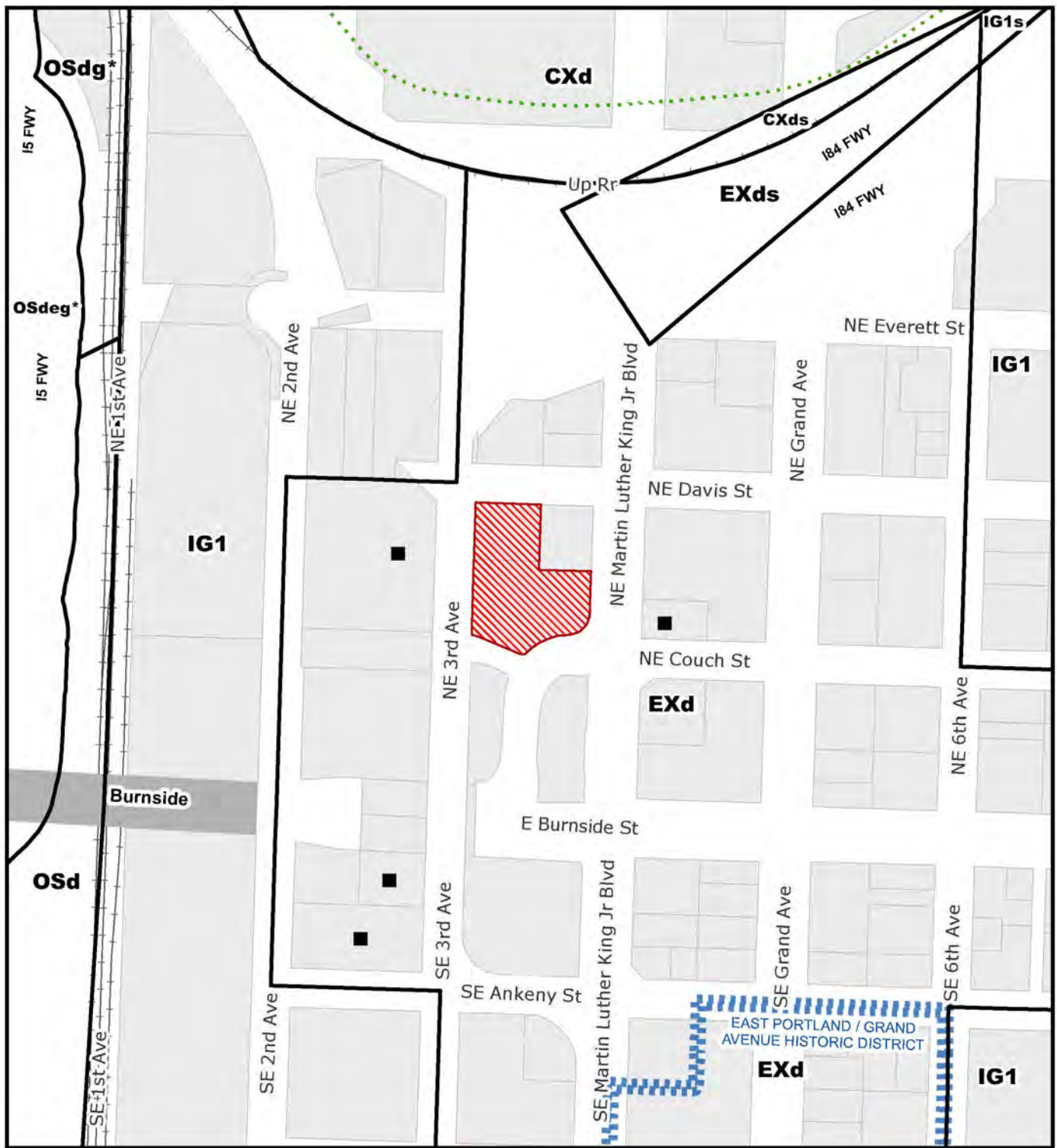
**Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33, (Portland Zoning Code). The applicable approval criteria are:

- Central City Fundamental Design Guidelines
- Special Design Guidelines for the Design Zone of the Central Eastside District of the Central City Plan

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was filed, provided that the application is complete at the time of filing, or complete within 180 days. This application was filed on March 14, 2022 and determined to be complete on **September 10, 2022**.

Enclosures: Zoning Map, Site Plan, Renderings, Enlarged Roof Plan, 2014 Condition of Approval, Garage Door Detail



# ZONING



For Zoning Code in effect Post August 1, 2021

CENTRAL CITY PLAN DISTRICT  
CENTRAL EASTSIDE SUB DISTRICT



Site



Historic Landmark



Recreational Trails

File No.	LU 22 - 122430 DZ
1/4 Section	3030
Scale	1 inch = 200 feet
State ID	1N1E34DA 2900
Exhibit	B Mar 14, 2022

LU 22-122430 DZ Exh D1

### FINAL DECISION BY THE DESIGN COMMISSION

CASE FILE NUMBER: LU 14-163479 DZM

PC # 14-103009

- W.P.A.**  
WORKS PROGRESS ARCHITECTURE, LLP

EA 20-131607



C2.3 NEW DESIGN PROPOSAL 2022

OPTION 1



South Wall at Plaza



North Wall



Aerial View of Driveway Cap

W.P.A

WORKS PROGRESS ARCHITECTURE, LLP

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RAMP CAP, 321 NE COUCH ST

EA 20-131607

10.20.2022 | Page 13  
LU 22-122430 DZ



## Roof





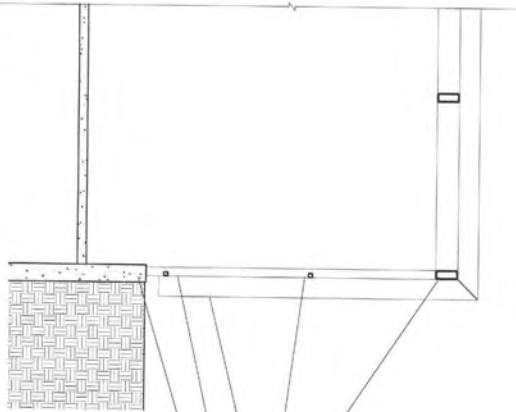
Driveway Cap from NE 3rd Ave



Aerial View of Driveway Cap



Driveway Cap from NE Davis St



Driveway Cap Detail

\*Approved\*  
City of Portland  
Bureau of Development Services  
Planner *Ketel*  
Date *August 21, 2014*  
\* This approval applies only to the  
reviews indicated and is subject to all  
national zoning requirements may vary.

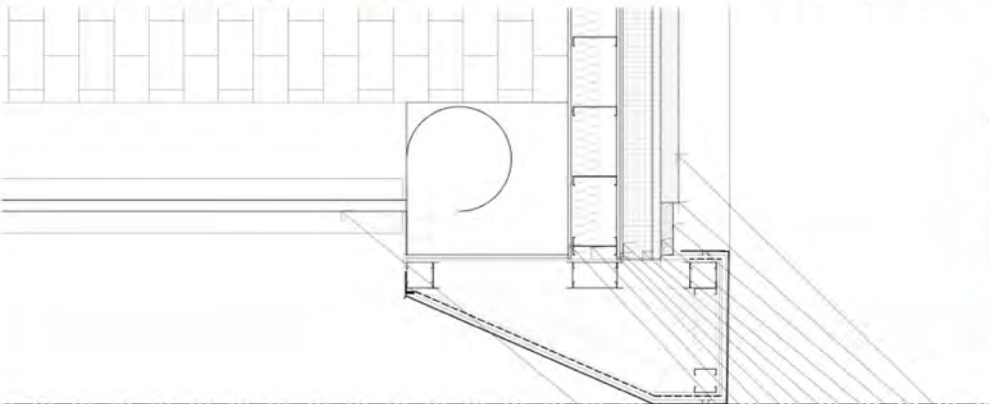
4" x 10" Tube Steel Beam  
2" x 2" Tube Steel  
2" x 10" Cedar @ 8" O.C.  
4" x 4" Tube Steel Post  
Concrete Foundation

### Condition of Approval "D"

The driveway cap must be constructed within 3 years of the issuance of a Certificate of Occupancy for Block 75 Phase One, unless construction of Phase Two has begun.

Driveway Cap Option 2 71

LU 14-163479 D2M  
LU 22-122430 DZ



Replace with new section

## C4.10 BUILDING DETAILS

Garage Elevation | Wall Section

- Multi-Layer Green Roof System
- Green Roof Edge Srip
- Ballast Rock
- Roofing Membrane
- Protection Board
- Tapered Insulation
- Vapor Barrier
- 5/8" Gypsum Board
- 3/4" USG Structural Panel
- Steel Joist
- 5/8" Gypsum Board
- Metal Fascia,
- Match Color & Finish to
- Existing State Building
- Overhead Coiling Grille,
- 10' CLR



1/4" = 1'-0"

W.P.A

WORKS PROGRESS ARCHITECTURE, LLP

All rights reserved.

RAMP CAP, 321 NE COUCH ST

EA 20-131607

10.20.2022 | Page 32  
LU 22-122430 DZ



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
**FROM CONCEPT TO CONSTRUCTION**

Dan Ryan, Commissioner  
Rebecca Esau, Director  
Phone: (503) 823-7300  
Fax: (503) 823-5630  
TTY: (503) 823-6868  
[www.portland.gov/bds](http://www.portland.gov/bds)

Date: October 27, 2022

To: Jessamyn Griffin, Works Progress Architecture, LLP  
811 SE Stark St, #210  
Portland OR 97214  
(503) 234-2945

From: Tim Heron

RE: LU 22-122430 DZ – The Slate Building Parking Cap

Dear Applicant:

I have received your application for a Design Review at 321 NE COUCH CT. Your application was deemed complete on **September 10, 2022**. Your case number is given above; the hearing is scheduled for **December 1, 2022 at 1:30 PM**. I am the planner handling your case, and can answer any questions you might have during the process.

You are required to post notice on the site of your proposal 30 days before the hearing. The information below will help you do this. I am also enclosing instructions for making the required posting boards and the notice that should be placed on the signs.

- A. Your site has 100 feet of frontage on NE MLK Jr Blvd, 200 feet of frontage on NE Couch Street, 200 feet of frontage on NE 3rd Avenue, and 100 feet of frontage on NE Davis Street.

You must post 1 sign along each of these frontages, four [4] total signs must be posted.

- B. These signs must be placed within 10 feet of the street frontage line, and must be visible to pedestrians and motorists. You may not post in the public right-of-way.
- C. Because the hearing for your case is scheduled for **December 1, 2022 at 1:30 PM**, you must post the notice by **November 1, 2022**, 30 days before the hearing.
- D. A certification statement is enclosed, which you must sign and return. The statement affirms that you posted the site. It also confirms your understanding that if you do not post the notice by the date above, your hearing will be automatically postponed. In addition, time limits on our processing of your case will be waived. You must return this statement to us by **November 17, 2022**, 14 days before the hearing.
- E. You should not remove the notice before the hearing, but it must be taken down within two weeks after the final decision is made on your request.

Encl: Posting Notice  
Statement Certifying Posting

cc: Application Case File



Jessamyn Griffin, Works Progress Architecture, LLP  
811 SE Stark St, #210  
Portland OR 97214  
(503) 234-2945

DATE: \_\_\_\_\_

TO: Tim Heron  
Bureau of Development Services  
1900 SW Fourth Ave., Suite 5000  
Portland, Oregon 97201

**APPLICANT'S STATEMENT CERTIFYING POSTING**

**Case File LU 22-122430 DZ – The Slate Building Parking Cap**

This certifies that I have posted notice on my site as required by the Zoning Code. I understand that the hearing is scheduled for December 1, 2022 at 1:30 PM, and that I was required to post the property at least 30 days before the hearing.

The required number of poster boards, with the notices attached, were set up on \_\_\_\_\_(date). These were placed within 10 feet of the street frontage line so that they were visible to pedestrians and motorists.

I understand that this form must be returned to the Bureau of Development Services no later than **November 17, 2022**, 14 days before the scheduled hearing. I also understand that if I do not post the notices by 30 days before the hearing, or return this form by 14 days before the hearing, my hearing will automatically be postponed. I also understand this will result in a waiver of the time limits for processing my case.

In addition, I understand that I may not remove the notices before the hearing, but am required to remove them within two weeks of the final decision on my request.

\_\_\_\_\_  
Signature


\_\_\_\_\_  
Print Name

\_\_\_\_\_  
Address

\_\_\_\_\_  
City/State/Zip Code

# Type III Land Use Review

## The Slate Building Parking Cap

CASE FILE	LU 22-122430 DZ
WHEN	<b>THURSDAY, December 1, 2022 @ 1:30 PM</b> <i>(This is the hearing start time –see Design Commission agenda for estimated project start time.)</i>
WHERE	 <b>ONLINE: Link to hearing is available at</b> <a href="http://www.portlandoregon.gov/bds/dcagenda">www.portlandoregon.gov/bds/dcagenda</a>
HOW	<b>TO TESTIFY:</b> Follow instructions on the Design Commission agenda <u>or</u> email the planner at <a href="mailto:Tim.Heron@portlandoregon.gov">Tim.Heron@portlandoregon.gov</a>
REVIEW BY	DESIGN COMMISSION
LAND USE REVIEW TYPE	<b>DESIGN REVIEW</b>
PROPOSAL	<p>The applicant requests Design Review approval for a proposed cap to the existing driveway/ open ramp access for the Slate Building per Condition of Approval [LU 14-163479 DZM].</p> <p>The new structure will consist of concrete masonry walls, original art murals, a high-speed garage door, and a faceted architectural screening cap over the ramp.</p>
REVIEW APPROVAL CRITERIA	<ul style="list-style-type: none"><li>• <a href="#">Central City Fundamental Design Guidelines</a></li><li>• <a href="#">Special Design Guidelines for the Design Zone of the Central Eastside District of the Central City Plan</a></li></ul>
SITE ADDRESS	321 NE Couch Street
ZONING/ DESIGNATION	<b>EXd – Central Employment with Design Overlay</b> <b>Central City/ Central Eastside Plan District</b>
FURTHER INFO	Available online at <a href="http://www.portlandoregon.gov/bds/dcagenda">http://www.portlandoregon.gov/bds/dcagenda</a> or contact the planner listed below at the Bureau of Development Services.
QUESTIONS? BDS CONTACT	<b>Tim Heron, City Planner</b> <b>(503) 823-7726 / <a href="mailto:Tim.Heron@PortlandOregon.gov">Tim.Heron@PortlandOregon.gov</a></b> Bureau of Development Services, 1900 SW 4 <sup>th</sup> Ave, Suite 5000, Portland, OR 97201

Traducción e interpretación | Chuyển Ngữ hoặc Phiên Dịch | 翻译或传译 | Turjumida ama Fasiraadda | 翻訳または通訳 | ການແປພາສາ ຫຼື ການອະທິບາຍ  
Письменный или устный перевод | Traducere sau Interpretare | 번역및통역 | الترجمة التحريرية أو الشفوية | Письмовий або усний переклад



503-823-7300



[BDS@PortlandOregon.gov](mailto:BDS@PortlandOregon.gov)



[www.PortlandOregon.gov/bds/translated](http://www.PortlandOregon.gov/bds/translated)

TTY: 503-823-6868  
Relay Service: 711

Jessamyn Griffin, Works Progress Architecture, LLP  
811 SE Stark St, #210  
Portland OR 97214  
(503) 234-2945

DATE: 11/9/2022 11/9/2022

TO: Tim Heron  
Bureau of Development Services  
1900 SW Fourth Ave., Suite 5000  
Portland, Oregon 97201

**APPLICANT'S STATEMENT CERTIFYING POSTING**

**Case File LU 22-122430 DZ – The Slate Building Parking Cap**

This certifies that I have posted notice on my site as required by the Zoning Code. I understand that the hearing is scheduled for December 1, 2022 at 1:30 PM, and that I was required to post the property at least 30 days before the hearing.

The required number of poster boards, with the notices attached, were set up on 11/1/2022 (date). These were placed within 10 feet of the street frontage line so that they were visible to pedestrians and motorists.

I understand that this form must be returned to the Bureau of Development Services no later than **November 17, 2022**, 14 days before the scheduled hearing. I also understand that if I do not post the notices by 30 days before the hearing, or return this form by 14 days before the hearing, my hearing will automatically be postponed. I also understand this will result in a waiver of the time limits for processing my case.

In addition, I understand that I may not remove the notices before the hearing, but am required to remove them within two weeks of the final decision on my request.

  
\_\_\_\_\_  
Signature

Jessamyn Griffin  
\_\_\_\_\_  
Print Name

\_\_\_\_\_  
Address

811 SE Stark St, Suite 210  
\_\_\_\_\_  
Address

\_\_\_\_\_  
Address

Portland, OR 97214  
\_\_\_\_\_  
City/State/Zip Code

\_\_\_\_\_  
City/State/Zip Code



Posting on NE Davis St



Posting on NE 3rd Ave



Posting on NE Couch St



Posting on NE MLK Jr. Blvd





**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
FROM CONCEPT TO CONSTRUCTION

Dan Ryan, Commissioner  
Rebecca Esau, Director  
Phone: (503) 823-7300  
Fax: (503) 823-5630  
TTY: (503) 823-6868  
[www.portland.gov/bds](http://www.portland.gov/bds)

**Date:** November 10, 2022  
**To:** Interested Person  
**From:** Tim Heron, Land Use Services  
503-823-7726 / [Tim.Heron@portlandoregon.gov](mailto:Tim.Heron@portlandoregon.gov)

**NOTICE OF A PUBLIC HEARING ON A PROPOSAL  
IN YOUR NEIGHBORHOOD**

CASE FILE: LU 22-122430 DZ –  
The Slate Building Parking Cap  
PC # 20-131607

REVIEW BY: Design Commission

WHEN: Thursday December 1, 2022 at 1:30 PM

REMOTE ACCESS: Design Commission Agenda

<https://www.portlandoregon.gov/bds/dcagenda>

**This land use hearing will be limited to remote participation via Zoom. Please refer to the instructions included with this notice to observe and participate remotely.**

Development has been proposed in your neighborhood requiring a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map are attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

**Applicant:** Jessamyn Griffin, Works Progress Architecture LLP  
[jessamyn@worksarchitecture.net](mailto:jessamyn@worksarchitecture.net)  
811 SE Stark St, #210  
Portland, OR 97214

**Applicant:** Block 75 LLC  
116 NE 6th Ave #400  
Portland, OR 97232-3529

**Owner's Agent:** Sarah Zahn and Ann Jaworski, Urban Development + Partners  
116 NE 6th Ave, Ste 400  
Portland, OR 97232

**Site Address:** 321 NE COUCH CT

**Legal Description:** BLOCK 75 LOT 1&2 TL 3000, EAST PORTLAND; BLOCK 75 LOT 2-6 TL 2900, EAST PORTLAND  
**Tax Account No.:** R226504950, R226504970  
**State ID No.:** 1N1E34DA 03000, 1N1E34DA 02900  
**Quarter Section:** 3030

**Neighborhood:** Kerns, contact Jesse Lopez at [yosoyjay@gmail.com](mailto:yosoyjay@gmail.com)  
**Business District:** Central Eastside Industrial Council, contact [ceic@ceic.cc](mailto:ceic@ceic.cc)  
**District Coalition:** Southeast Uplift, contact Matchu Williams at [matchu@seuplift.org](mailto:matchu@seuplift.org)

**Plan District:** Central City - Central Eastside  
**Zoning:** EXd, Central Employment with design overlay  
**Case Type:** DZ, Design Review  
**Procedure:** Type III, with a public hearing before the Design Commission. The decision of the Design Commission can be appealed to City Council.

### Proposal:

The Slate Building is on Block 75, a full city block located at the east end of the Burnside Bridge adjacent to the Couch Couplet; between NE Martin Luther King Jr Blvd (MLK), NE Third Avenue, NE Couch Street and NE Davis Street.

The existing Block 75 Slate building occupies the southern half of the block, including an open plaza to the north that provides east/west pedestrian access through the block from MLK to NE 3<sup>rd</sup> Avenue. Directly north of the plaza, a mid-block driveway/open ramp is located off of NE 3<sup>rd</sup> Avenue, providing access to the sub grade parking garage where loading, vehicle and bike parking for the existing building are located.

The existing ramp was built in conjunction with the Slate building at 321 NE Couch Court, approved by the Portland Design Commission August 21, 2014 [LU 14-163479 DZM] with Conditions. A full enclosure/cover of the ramp was purposefully excluded at the time, as future Phase 2 developments for the property directly to the north (assuming shared driveway access and/or possible cover of the ramp via the future building) were planned.

As such, this specific Condition of Approval was applied:

- The driveway cap must be constructed within 3 years of the issuance of a Certificate of Occupancy for Block 75 phase 1, unless construction of phase 2 has begun.

With completion of Slate on January 10, 2017, and Phase 2 development put on hold, the ramp cap design was re-engaged and reviewed via a follow up EA in June of 2020 (EA 20-131607) which determined that if a permanent solution is desired, a more robust response to the Approval Criteria would be necessary.

The revised design for the cap enclosure includes:

- Maintaining existing property line/lots.
- Stucco clad CMU walls along the north and south facade, to replicate patterning of Block 75 Slate's panelized facade.
- Trellis and vine application at select panels on the south facade, to further soften the courtyard experience.
- Custom mural application [Title 4 – Original Art Mural] at the south facade to further engage the pedestrian experience from the courtyard and right of way.
- Faceted framed entry to the garage to match Block 75 Slate's framed elements.

The design also proposes two options:

- Option 1: provide a dynamic aluminum open truss roof structure and high-speed garage door; or
- Option 2: provide originally approved cedar slat trellis roof structure with no garage door.

Because the proposal is for exterior alterations to an existing building and an unmet Condition of Approval, Design Review is required.

**Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33, (Portland Zoning Code). The applicable approval criteria are:

- [\*Central City Fundamental Design Guidelines\*](#)
- [\*Special Design Guidelines for the Design Zone of the Central Eastside District of the Central City Plan\*](#)

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on March 14, 2022 and determined to be complete on **September 10, 2022**.

**DECISION MAKING PROCESS**

The Bureau of Development Services will be making a recommendation on this proposal; our report and recommendation will be available 10 days before the hearing. The Staff report will be posted on the Bureau of Development Services website. Look at [www.portlandonline.com](http://www.portlandonline.com).

On the left side of the page use the search box to find Development Services, then click on the Zoning/Land Use section select Notices and Hearings. Land use review notices are listed by the District Coalition shown at the beginning of this document. If you are interested in viewing the file, please contact the planner listed on the front of this notice. The planner can provide information over the phone or via email. Only digital copies of the material in the file are available for viewing. Copies of all information in the file can be obtained for a fee equal to the cost of services. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at <http://www.portlandonline.com/auditor/index.cfm?c=28197>.

The neighborhood association, listed on the first page of this notice, may take a position on this application and may have scheduled an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

**We are seeking your comments on this proposal.** To comment, you may write or testify at the remote hearing. Please refer to the file number when seeking information or submitting testimony. In your comments, you must address the approval criteria as stated in the administrative report and decision which you previously received. Please note that all correspondence and testimony received will become part of the public record.

**Written comments must be received by the close of the record and should include the case file number.** Any new written testimony should be emailed to Tim Heron at [Tim.Heron@portlandoregon.gov](mailto:Tim.Heron@portlandoregon.gov).

Please note regarding USPS mail: If you choose to mail written testimony via USPS, USPS mail is only received a couple times a week, and testimony must be received before the close of the record. Therefore, please mail testimony well in advance of the hearing date.

Thank you for any information you can provide regarding this case. Note: If you have already written, it is not necessary to write again; your correspondence will be given to the Design Commission.

If you plan to testify at the hearing, please refer to instructions included with this notice.

The applicant and proponents have the burden of proof to show that each and every element of the approval criteria are satisfied. In order to prevail, the opponents must persuade the Design Commission to find that the applicant has not carried the burden of proof with regard to one or more of the approval criteria. The opponents may also explain to the Design Commission how or why the facts asserted by the applicant are not supported by evidence in the record. Opponents may wish to recommend conditions of approval which will make the proposal more acceptable, if approved.

Prior to the conclusion of the hearing before the Design Commission, any participant may request an opportunity to present additional evidence or testimony regarding the application. If such a request is made, the record will be held open for seven days to receive the new evidence and the record shall be held open for at least an additional seven days to provide the other parties an opportunity to respond to that new evidence.

#### **APPEAL PROCESS**

You can appeal the decision of the Design Commission to the City Council. If appealed, City Council will hold an evidentiary hearing. New evidence can be submitted to the City Council in the event of an appeal of an evidentiary hearing.

A fee is charged for appeals. Recognized neighborhood associations may qualify for an appeal fee waiver. The City Council's decision may be appealed to the Oregon Land Use Board of Appeals (LUBA).

Failure to raise an issue in person or in writing by the close of the record at or following the final evidentiary hearing on this case may preclude an appeal to LUBA on that issue. Also, if you do not provide enough detailed information to the Design Commission, they may not be able to respond to the issue you are trying to raise. In such a situation an appeal to LUBA based on that issue may not be allowed.

#### **HEARING CANCELLATION**

This public hearing will be cancelled due the inclement weather or other similar emergency.

- Hearings Officer: This public hearing will be cancelled if the City of Portland is closed. Check local television or the City of Portland website ([www.portlandoregon.gov](http://www.portlandoregon.gov)) for closures. Contact the Hearings Office at 503-823-7307, for immediate information regarding cancellations or rescheduling.
- Design Commission, Historic Landmarks Commission or Adjustment Committee: This public hearing will be cancelled if Portland Public Schools close due to inclement weather or other similar emergency. Check local television and radio reports for school closures. Please call the Bureau of Development Services at 503-823-7617, for information regarding cancellations or rescheduling.

The hearing will be rescheduled for the earliest possible date. A renotification notice will not be sent.

**The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior**



**to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).**

**Enclosures:**

Instructions for observing or Testifying at the Portland Design Commission, Historic Landmarks Commission, or Adjustment Committee Webinar Hearings, Zoning Map, Site Plan, Renderings, Enlarged Roof Plan, 2014 Condition of Approval, Garage Door Detail

## **Observing or Testifying at the Portland Design Commission, Historic Landmarks Commission, or Adjustment Committee Webinar Hearings**

Thank you for your interest in attending a land use public hearing. All hearings are currently held virtually, via Zoom. The information below will help you get connected.

\*\*\*If you do not have access to the internet from a home computer or mobile phone, please see the end of this document for instructions on how to participate from a City building at 1900 SW 4<sup>th</sup> Avenue in downtown Portland.

### **Preparing for the Hearing:**

1. To access the Zoom Webinar, please go to the online hearing Agenda, and click the link under the hearing date you are interested in participating: <https://www.portlandoregon.gov/bds/42441>
2. In advance of the hearing, please review documents and drawings in the project link within the Online Agenda.
  - Please also provide comments to the planner assigned in advance of the hearing.

### **Getting into the Hearing [Registering in Zoom to observe or participate in Hearing]:**

1. In order to observe or testify in the hearing, please be sure to Register for the Webinar as soon as possible.
  - The Webinar Link is posted to the Online Agenda typically one week prior to the hearing date.
2. Once you register you will receive an email notification of how to log-in or access the Webinar.
3. You can enter the Webinar no sooner than ten minutes before the start of the hearing.
4. You will be held in the Zoom waiting room until the Webinar begins. (Please note each individual agenda item has an estimated start time.)
5. If using a smartphone or tablet, download the Zoom app for easy entry into the Webinar.

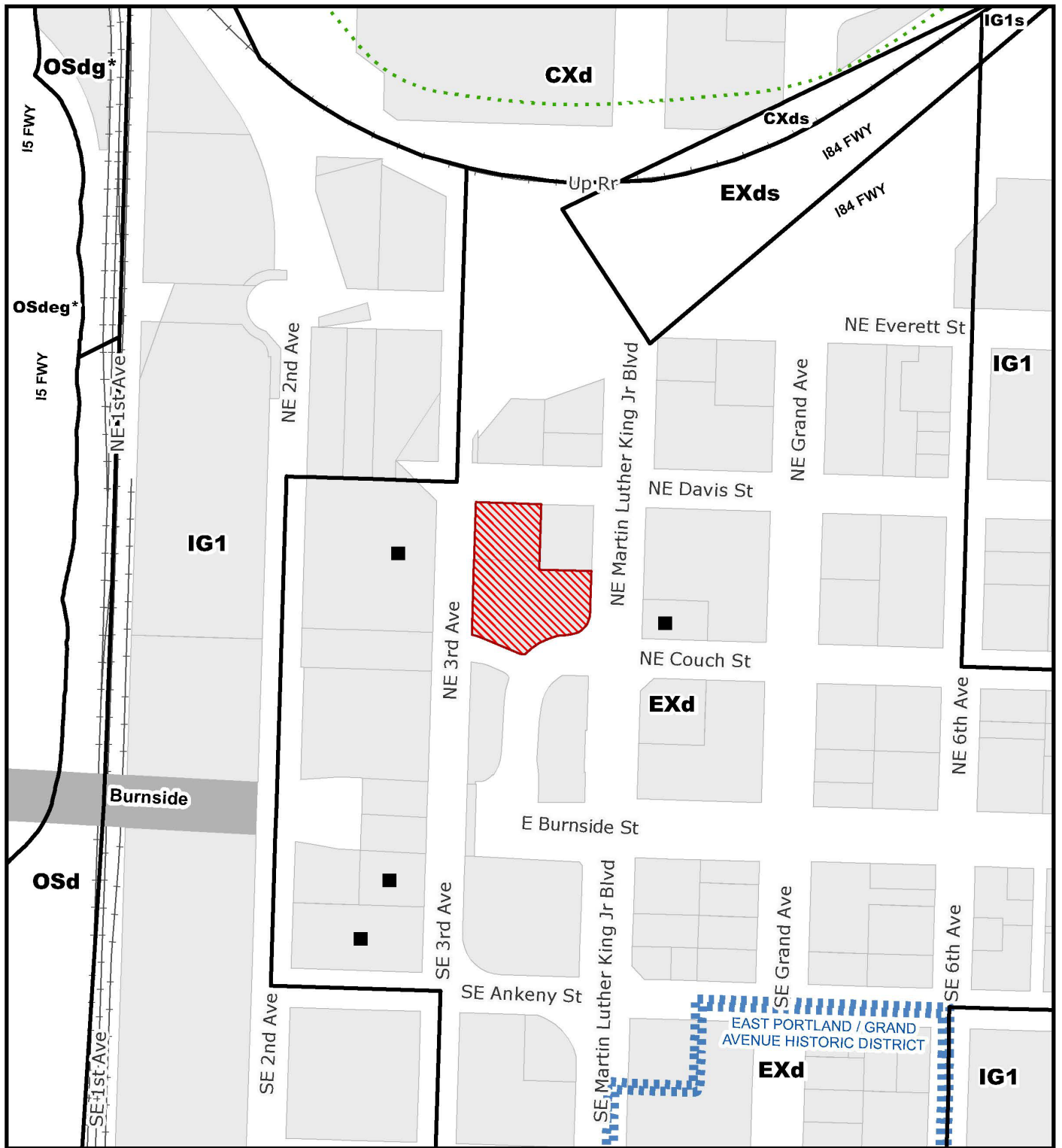
### **Public participation in the Hearing:**

1. After Staff and Applicant presentations, the Chair will announce public testimony is open, and will ask if anyone else would like to testify.
2. You can provide public comment in this Webinar in several ways:
  - If during registration you indicated you would like to testify, we will put your name in order of request. Once in the hearing, testifiers will be renamed "Testifier 1 – (Your Name)"
  - Members of the public will be automatically muted except for when they are called by the Hearings Clerk for their public comment. During the Webinar, the Hearings Clerk will promote participants to "Panelists" in the order of Webinar Registrations received. When it is your turn to provide testimony, please accept the Clerk's invitation to be promoted to Panelist.
  - If you indicated in your registration that you did not want to testify but later changed your mind, when testimony is open:
    - Click the "raise your hand" function in ZOOM, and the Hearings Clerk will add you to the list of testifiers.
    - If you will be participating by call-in, raise your hand by pressing \*9 - the Webinar host will see this notification.
  - When you are moved to Panelist position for your testimony, your name will be announced by the Chair or Hearings Clerk. Please be prepared to provide testimony.
  - Each testifier is allotted 2 minutes of testimony unless the Chair grants additional time.
  - Please manage your time when testifying. As a courtesy to other testifiers and our volunteer Commissions, please do not attempt to exceed the allotted amount of time.
3. We will enable screen sharing of presentations only for Design and Landmarks Commission members, project teams, and staff participating in the Webinar.
4. Testifiers who engage in inappropriate behavior or language will be promptly removed from the hearing.

### **Follow-up:**

1. The Webinar will be recorded and uploaded to the City of Portland Auditors website, under the Case File Number, here: <https://efiles.portlandoregon.gov/Search>.

\*\*\*If you do not have access to the internet from a home computer or mobile phone, we can provide accommodations for you to view a live video display of the hearing from 1900 SW 4<sup>th</sup> Avenue in downtown Portland. This option for participation requires you to travel to a City building where we will provide a computer for viewing the hearing. City staff will not be present at this viewing location. If you require such accommodation, please contact the BDS Hearings Clerk at 503-865-6525 before 8 AM on the day of the hearing.\*\*\*



# ZONING



For Zoning Code in effect Post August 1, 2021

CENTRAL CITY PLAN DISTRICT  
CENTRAL EASTSIDE SUB DISTRICT



Site



Historic Landmark



Recreational Trails

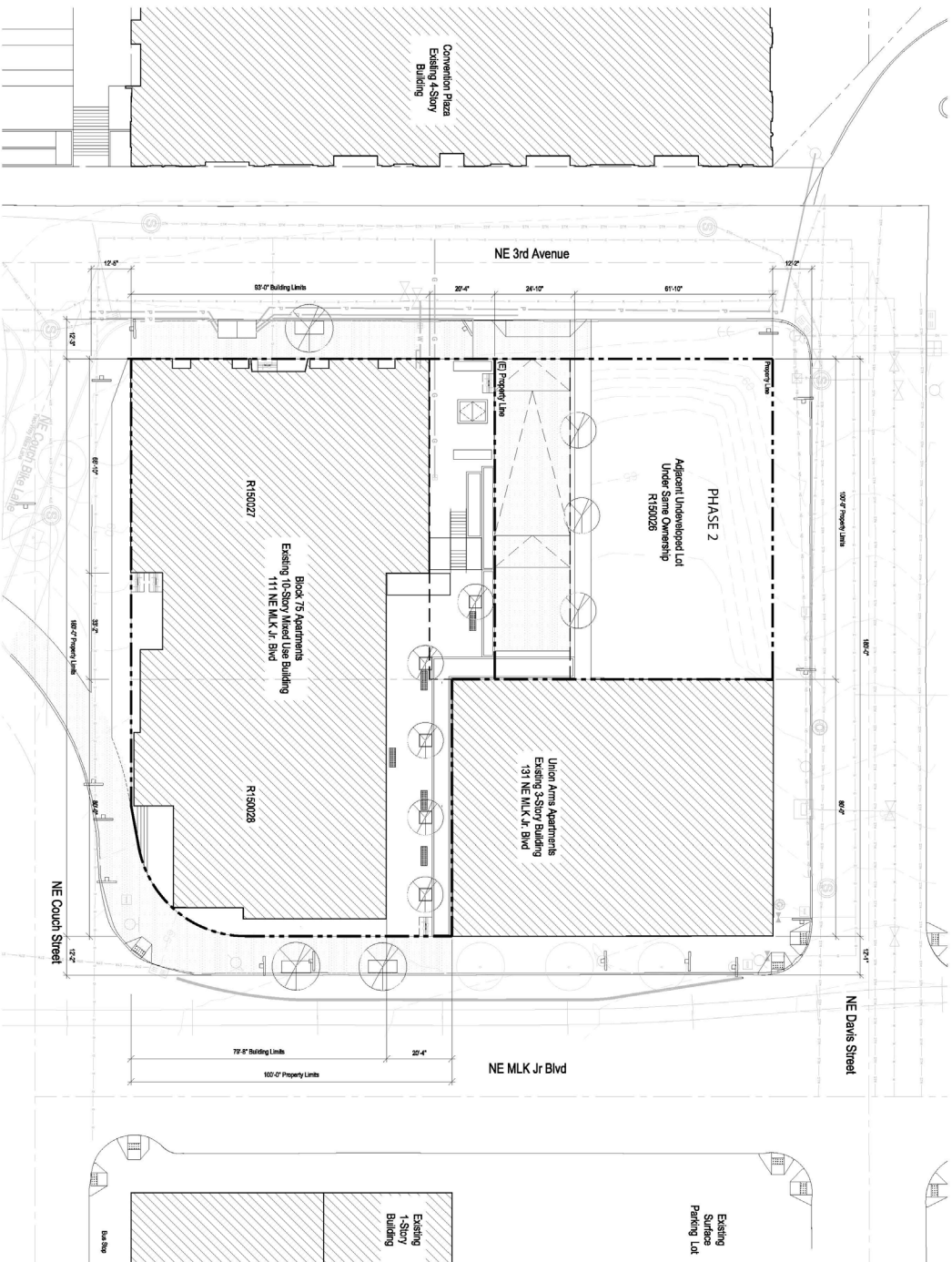
File No.	LU 22 - 122430 DZ
1/4 Section	3030
Scale	1 inch = 200 feet
State ID	1N1E34DA 2900
Exhibit	B Mar 14, 2022

## C2.1 ORIGINAL LAND USE APPROVAL

### SUMMARY OF APPROVED DESIGN ELEMENTS (PHASE 2)

FINAL DECISION BY THE DESIGN COMMISSION  
 RENDERED ON AUGUST 21, 2014  
 CASE FILE NUMBER: LU 14-163479 DZM  
 PC # 14-103009

- Original proposal/approval based on a two-phased development
- Building of 2nd phase will be located in vacant northwest quarter of the block
- Massing of new building will include a portion cantilevering over driveway ramp and will act as cap/cover for driveway
- Regardless of Phase 2 achievements, design is expected to include a successful screening solution for the driveway ramp
- In absence of any guarantee of Phase 2 timing/design, applicant has designed 'interim' driveway cap as part of this current proposal
- Phase 2 to begin construction soon after Phase 1, resulting in no need for parking cap
- A condition of approval will stipulate that driveway cap be constructed within 3 years of the issuance of a Certificate of Occupancy of Block 75 phase 1, unless construction of phase 2 has begun
- Driveway cap has rectilinear design, comprised of steel tube framing with 2"x10" cedar members spaced 8" on-center
- Driveway cap begins exactly where driveway begins at public sidewalk on 3rd Ave and terminates where driveway turns southward to enter the below-grade parking area
- Based on applicant's explanation and staff's understanding that phase 2 building will cover driveway, a reprieve of three years before requiring the cap to be constructed - if plans for phase 2 building become unexpectedly stalled - is reasonable





C2.3 NEW DESIGN PROPOSAL 2022

OPTION 1



South Wall at Plaza



North Wall



Aerial View of Driveway Cap

**W.P.A**

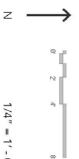
WORKS PROGRESS ARCHITECTURE, LLP

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RAMP CAP, 321 NE COUCH ST

EA 20-131607

10.20.2022 | Page 13  
LU 22-122430 DZ







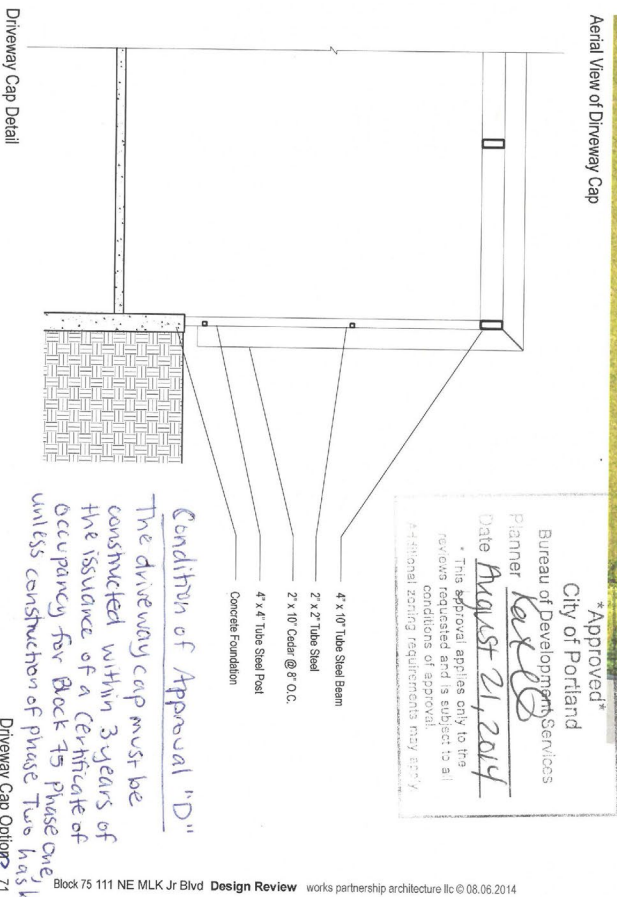
Driveway Cap from NE 3rd Ave



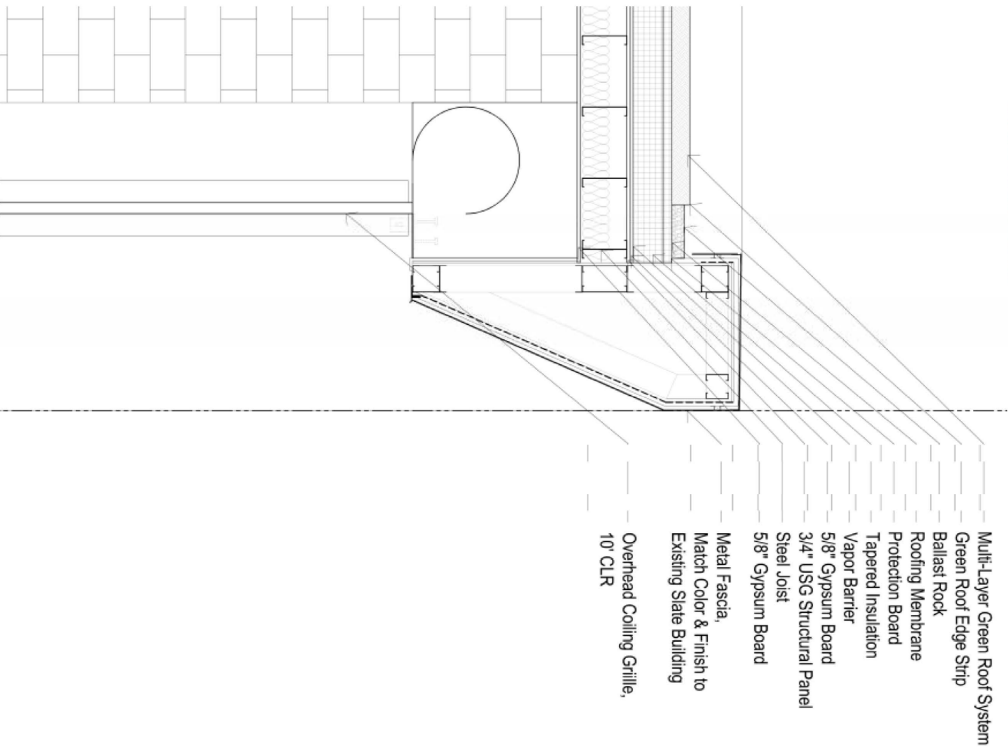
Aerial View of Driveway Cap



Driveway Cap from NE Davis St



LU 14-163479 DZM  
LU 22-122430 DZ



1/1" = 1'-0"

## C4.10 BUILDING DETAILS

Garage Elevation | Wall Section



	A	B	C	D	E	F
1	ENDORSEMENT	INFO1	INFO2	NAME	ADDRESS/IO ADDRESS	CITYSTATEZIP/ADDRESSEE
2	RETURN SERVICE REQUESTED	1N1E34DA 1000	321 NE DAVIS STREET LLC &	LUCAS BITAR LP	9828 E BURNSIDE ST #200	PORTLAND OR 97216-2363
3	RETURN SERVICE REQUESTED		1N1E34DA 1100	PORTLAND CITY OF	1120 SW 5TH AVE #1000	PORTLAND OR 97204-1912
4	RETURN SERVICE REQUESTED	OREGON STATE OF- ODOT TECH	LEADERSHIP CNTR BRIDGEHEAD DEV LLC	PROPERTY MANAGEMENT #17715-B	4040 FAIRVIEW IND'L DR SE MS#2	SALEM OR 97302-1142
5	RETURN SERVICE REQUESTED		1N1E34DA 1400	BRIDGEHEAD DEVELOPMENT LLC	75 SE YAMHILL ST #201	PORTLAND OR 97214
6	RETURN SERVICE REQUESTED	1N1E34DA 1500	PACIFIC COAST FRUIT CO &	NEMARNIK DAVID P	201 NE 2ND AVE	PORTLAND OR 97232-2993
7	RETURN SERVICE REQUESTED		1N1E34DA 1500	ROSE CITY TRANSPORTATION INC	201 NE 2ND AVE #201	PORTLAND OR 97232
8	RETURN SERVICE REQUESTED	1N1E34DA 2001	YARD RESIDENCES LLC	ATTN SITH CHAISUROTE	17485 MONTERAY RD #308	MORGAN HILL CA 95037
9	RETURN SERVICE REQUESTED		1N1E34DA 2001	YARD RESIDENCES LLC	1725 S BASCOM AVE #1022	CAMPBELL CA 95008
10	RETURN SERVICE REQUESTED		1N1E34DA 2800	APPTREE SOFTWARE INC	422 NW 13TH AVE PMB 102	PORTLAND OR 97209-2930
11	RETURN SERVICE REQUESTED		1N1E34DA 2800	CASCADE ENERGY INC	123 NE 3RD AVE #400	PORTLAND OR 97232
12	RETURN SERVICE REQUESTED		1N1E34DA 2800	THE COMMISSARY LLC	123 NE 3RD AVE #010	PORTLAND OR 97232
13	RETURN SERVICE REQUESTED		1N1E34DA 2800	VIBRANT TABLE CATERING & EVENTS INC	2010 SE 8TH AVE	PORTLAND OR 97214
14	RETURN SERVICE REQUESTED		1N1E34DA 2900	503 LLC	11 NE MLK JR BLVD #401	PORTLAND OR 97232
15	RETURN SERVICE REQUESTED		1N1E34DA 2900	FREE PUBLIC SPC	PO BOX 564	MARYLHURST OR 97036-0564
16	RETURN SERVICE REQUESTED		1N1E34DA 2900	BIG ADS INC	321 NE COUCH ST #401	PORTLAND OR 97232
17	RETURN SERVICE REQUESTED		1N1E34DA 2900	GROUP MOJO LLC	329 NE COUCH ST	PORTLAND OR 97232
18	RETURN SERVICE REQUESTED		1N1E34DA 2900	SPACEBAR LLC	1355 NW EVERETT ST #100	PORTLAND OR 97209
19	RETURN SERVICE REQUESTED		1N1E34DA 3100	UNION ARMS LLC	1300 SW 5TH AVE #2400	PORTLAND OR 97201
20	RETURN SERVICE REQUESTED		1N1E34DA 3100	UNION ARMS LLC	1800 SW 1ST AVE #220	PORTLAND OR 97201
21	RETURN SERVICE REQUESTED		1N1E34DA 3300	BLOCK 76 LLC	PO BOX 0105	PORTLAND OR 97296
22	RETURN SERVICE REQUESTED		1N1E34DA 3500	INSIDEVOICES LLC	1110 SE HAWTHORNE BLVD	PORTLAND OR 97214-5246
23	RETURN SERVICE REQUESTED		1N1E34DA 3500	THE FAIR-HAIRED DUMBELL LLC	2500 NE SANDY BLVD # C	PORTLAND OR 97232
24	RETURN SERVICE REQUESTED	1N1E34DA 3700	PORTLAND CITY OF LEASED-PACIFIC	COAST FRUIT CO ATTN TED HENDRYX	PO BOX 1659	PORTLAND OR 97207-1659
25	RETURN SERVICE REQUESTED	CITY OF PORTLAND LEASED-	BRIDGEHEAD MASTER TENANT ATTN	BEAM DEV JOE VAN WAARDENBURG	75 SE YAMHILL ST #201	PORTLAND OR 97214-2298
26	RETURN SERVICE REQUESTED	1N1E34DA 4000	CITY OF PORTLAND LEASED- LUCAS	BITTAR LLC ATTN DEANNA BITAR	9828 E BURNSIDE ST #200	PORTLAND OR 97216
27	RETURN SERVICE REQUESTED		1N1E34DA 800	PACIFIC OUTDOOR ADVERTISING	715 NE EVERETT ST	PORTLAND OR 97232-2724
28	RETURN SERVICE REQUESTED		1N1E34DA 800	GL-MLK LLC	3050 SE DIVISION ST #270	PORTLAND OR 97202
29	RETURN SERVICE REQUESTED		1N1E34DA 900	205 NE MLK LLC	PO BOX 28198	PORTLAND OR 97228
30	RETURN SERVICE REQUESTED		1N1E34DA 900	KURE INC	205 NE MLK JR BLVD	PORTLAND OR 97232
31	RETURN SERVICE REQUESTED		1N1E34DA 900	PARKING NW LLC	PO BOX 6916	PORTLAND OR 97228
32	RETURN SERVICE REQUESTED		1N1E34DA 900	PORTLAND PEDALS INC	PO BOX 28198	PORTLAND OR 97228-8198
33	RETURN SERVICE REQUESTED		1N1E34DD 100	5 SE MLK BLVD LLC	1477 NW EVERETT ST	PORTLAND OR 97209
34	RETURN SERVICE REQUESTED	PORTLAND CITY OF LEASED-	KEY DEVELOPMENT & ASSET MANAGEMENT	INC ATTN JEFF PICKHARDT	501 PORTWAY AVE	HOOD RIVER OR 97031-1284
35	RETURN SERVICE REQUESTED	PORTLAND CITY OF LEASED-	TOWNE STORAGE PROPERTY LLC ATTN	WESTPORT CAPITAL PARTNERS	PO BOX 638	ADDISON TX 75001
36	RETURN SERVICE REQUESTED		1N1E34DD 700	GNICH ARCHITECTURE STUDIO LLC	1001 SE SANDY BLVD #100	PORTLAND OR 97214-1331
37	RETURN SERVICE REQUESTED		1N1E34DD 700	PATH PDX LLC	1640 NW IRVING ST	PORTLAND OR 97209
38	RETURN SERVICE REQUESTED	1N1E34DD 700	TEMPLETON OFFICE INVESTMENTS LLC	C/O TEMPLETON PROPERTY MANAGEMENT	1640 NW IRVING ST	PORTLAND OR 97209
39	RETURN SERVICE REQUESTED		1N1E34DD 700	NBP CAPITAL LLC	1640 NW IRVING ST	PORTLAND OR 97209-2213
40	RETURN SERVICE REQUESTED		1N1E34DD 900	NEMARNIK FAMILY PROPERTIES LLC	201 NE 2ND AVE	PORTLAND OR 97232-2984
41	RETURN SERVICE REQUESTED		1N1E35CB 3000	POWELL MOTORS INC	226 NE GRAND AVE	PORTLAND OR 97232
42	RETURN SERVICE REQUESTED	1N1E35CB 3000	POWELL VINCENT O JR TR &	POWELL PAMELA J TR	226 NE GRAND AVE	PORTLAND OR 97232
43	RETURN SERVICE REQUESTED		1N1E35CB 3100	HAGER MARGARET G	65044 E MT QUAIL CT	BRIGHTWOOD OR 97011
44	RETURN SERVICE REQUESTED		1N1E35CB 3100	POCHTAREV PAVEL	233 NE GRAND AVE	PORTLAND OR 97232
45	RETURN SERVICE REQUESTED		1N1E35CB 3200	FAIRFIELD NE GRAND LLC	5355 MIRA SORRENTO PL #100	SAN DIEGO CA 92121
46	RETURN SERVICE REQUESTED	1N1E35CB 3400	VOZ WORKERS RIGHTS	EDUCATION PROJECT	1131 SE OAK ST	PORTLAND OR 97214
47	RETURN SERVICE REQUESTED		1N1E35CB 3400	PDC DBA PROSPER PORTLAND	222 NW 5TH AVE	PORTLAND OR 97209-3812
48	RETURN SERVICE REQUESTED		1N1E35CB 3800	KEX PDX LLC	3050 SE DIVISION ST #270	PORTLAND OR 97202
49	RETURN SERVICE REQUESTED	1N1E35CB 3800	STARKE INC HOFFMAN STEWARD &	SCHMIDT PC	3 CENTERPOINTE DR #300	LAKE OSWEGO OR 97035
50	RETURN SERVICE REQUESTED		1N1E35CB 3900	PEACEHEALTH NETWORKS ON DEMAND LLC	1455 NW IRVING ST #600	PORTLAND OR 97209
51	RETURN SERVICE REQUESTED		1N1E35CB 3900	RANGER CHOCOLATE COMPANY	118 NE MLK JR BLVD	PORTLAND OR 97232
52	RETURN SERVICE REQUESTED		1N1E35CB 3900	CUP AND BAR LLC	118 NE MLK JR BLVD	PORTLAND OR 97232
53	RETURN SERVICE REQUESTED		1N1E35CB 3900	BOX OFFICE TICKETS INC	168 NE MLK JR BLVD	PORTLAND OR 97232
54	RETURN SERVICE REQUESTED		1N1E35CB 3900	REYNA CAPITAL CORP TAX DEPT OHA2	03-401 REYNOLDS WAY	KETTERING OH 45430-1586
55	RETURN SERVICE REQUESTED	1N1E35CB 3900	STARK'S GRAND AVENUE PROPERTY	INVESTMENTS LLC	12730 NE MARX ST	PORTLAND OR 97230
56	RETURN SERVICE REQUESTED		1N1E35CB 3900	TRAILHEAD COFFEE ROASTERS LLC	118 NE MLK JR BLVD	PORTLAND OR 97232
57	RETURN SERVICE REQUESTED		1N1E35CB 3900	KNUCKLEHEADS INC	168 NE MLK JR BLVD	PORTLAND OR 97232-2943
58	RETURN SERVICE REQUESTED		1N1E35CB 4000	PRECISION MOTOR CAR LTD INC	132 NE GRAND AVE	PORTLAND OR 97232
59	RETURN SERVICE REQUESTED		1N1E35CB 4000	DNDC PROPERTIES LLC	132 NE GRAND AVE	PORTLAND OR 97232-2937
60	RETURN SERVICE REQUESTED		1N1E35CB 4100	106 NE GRAND LLC	819 SE MORRISON ST #110	PORTLAND OR 97214
61	RETURN SERVICE REQUESTED		1N1E35CB 4100	FURNITURE SHOWCASE INC	9023 SE JANNSEN RD	CLACKAMAS OR 97015
62	RETURN SERVICE REQUESTED	1N1E35CB 8500	CALIBER COLLISON	PARADIGM TAX GROUP	PO BOX 800729	DALLAS TX 75380
63	RETURN SERVICE REQUESTED		1N1E35CB 8500	PERALA GENE A TR & PERALA MARY J TR	7225 NORTHLAND DR N #210	BROOKLYN PARK MN 55428-1575
64	RETURN SERVICE REQUESTED		1N1E35CB 8800	TELECARE CORPORATION	1080 MARINA VILLAGE PKWY #100	ALAMEDA CA 94501
65	RETURN SERVICE REQUESTED		1N1E35CB 8900	MFREV III - BURNSIDE LLC	353 N CLARK ST	CHICAGO IL 60654
66	RETURN SERVICE REQUESTED		1N1E35CC 2600	MANAGED HEALTHCARE NORTHWEST INC	1919 NW LOVEJOY ST	PORTLAND OR 97209
67	RETURN SERVICE REQUESTED	1N1E35CC 2600	OB PORTLAND PROPERTIES II LLC	ATTN OB PORTLAND PROPERTIES LLC	PO BOX 726	BELLEVUE WA 98009-0726
68				CURRENT RESIDENT	103 NE GRAND AVE	PORTLAND OR 97232
69				CURRENT RESIDENT	11 NE MLK JR BLVD	PORTLAND OR 97232
70				CURRENT RESIDENT	123 NE 3RD AVE #209	PORTLAND OR 97232
71				CURRENT RESIDENT	123 NE 3RD AVE #301	PORTLAND OR 97232
72				CURRENT RESIDENT	123 NE 3RD AVE #405	PORTLAND OR 97232
73				CURRENT RESIDENT	124 NE 3RD AVE #1001	PORTLAND OR 97232

	A	B	C	D	E	F
74				CURRENT RESIDENT	124 NE 3RD AVE #503	PORTLAND OR 97232
75				CURRENT RESIDENT	124 NE 3RD AVE #702	PORTLAND OR 97232
76				CURRENT RESIDENT	124 NE 3RD AVE #711	PORTLAND OR 97232
77				CURRENT RESIDENT	124 NE 3RD AVE #810	PORTLAND OR 97232
78				CURRENT RESIDENT	124 NE 3RD AVE #901	PORTLAND OR 97232
79				CURRENT RESIDENT	124 NE 3RD AVE #906	PORTLAND OR 97232
80				CURRENT RESIDENT	131 NE MLK JR BLVD #11	PORTLAND OR 97232
81				CURRENT RESIDENT	131 NE MLK JR BLVD #210	PORTLAND OR 97232
82				CURRENT RESIDENT	131 NE MLK JR BLVD #211	PORTLAND OR 97232
83				CURRENT RESIDENT	131 NE MLK JR BLVD #212	PORTLAND OR 97232
84				CURRENT RESIDENT	131 NE MLK JR BLVD #235	PORTLAND OR 97232
85				CURRENT RESIDENT	131 NE MLK JR BLVD #304	PORTLAND OR 97232
86				CURRENT RESIDENT	131 NE MLK JR BLVD #306	PORTLAND OR 97232
87				CURRENT RESIDENT	131 NE MLK JR BLVD #312	PORTLAND OR 97232
88				CURRENT RESIDENT	131 NE MLK JR BLVD #314	PORTLAND OR 97232
89				CURRENT RESIDENT	131 NE MLK JR BLVD #4	PORTLAND OR 97232
90				CURRENT RESIDENT	157 NE GRAND AVE	PORTLAND OR 97232
91				CURRENT RESIDENT	211 NE MLK JR BLVD	PORTLAND OR 97232
92				CURRENT RESIDENT	22 NE 2ND AVE #1012	PORTLAND OR 97232
93				CURRENT RESIDENT	22 NE 2ND AVE #1116	PORTLAND OR 97232
94				CURRENT RESIDENT	22 NE 2ND AVE #1122	PORTLAND OR 97232
95				CURRENT RESIDENT	22 NE 2ND AVE #620	PORTLAND OR 97232
96				CURRENT RESIDENT	22 NE 2ND AVE #708	PORTLAND OR 97232
97				CURRENT RESIDENT	22 NE 2ND AVE #809	PORTLAND OR 97232
98				CURRENT RESIDENT	22 NE 2ND AVE #918	PORTLAND OR 97232
99				CURRENT RESIDENT	22 NE 2ND AVE #919	PORTLAND OR 97232
100				CURRENT RESIDENT	230 E BURNSIDE ST	PORTLAND OR 97214
101				CURRENT RESIDENT	33 NE MLK JR BLVD	PORTLAND OR 97232
102				CURRENT RESIDENT	85 NE GRAND AVE	PORTLAND OR 97232
103				CURRENT RESIDENT	9 SE 3RD AVE #110	PORTLAND OR 97214
104				CURRENT RESIDENT	102 NE 2ND AVE	PORTLAND OR 97232
105				CURRENT RESIDENT	107 NE GRAND AVE	PORTLAND OR 97232
106				CURRENT RESIDENT	123 NE 3RD AVE #102	PORTLAND OR 97232
107				CURRENT RESIDENT	124 NE 3RD AVE #1000	PORTLAND OR 97232
108				CURRENT RESIDENT	124 NE 3RD AVE #1004	PORTLAND OR 97232
109				CURRENT RESIDENT	124 NE 3RD AVE #505	PORTLAND OR 97232
110				CURRENT RESIDENT	124 NE 3RD AVE #511	PORTLAND OR 97232
111				CURRENT RESIDENT	124 NE 3RD AVE #602	PORTLAND OR 97232
112				CURRENT RESIDENT	124 NE 3RD AVE #604	PORTLAND OR 97232
113				CURRENT RESIDENT	124 NE 3RD AVE #608	PORTLAND OR 97232
114				CURRENT RESIDENT	124 NE 3RD AVE #610	PORTLAND OR 97232
115				CURRENT RESIDENT	124 NE 3RD AVE #700	PORTLAND OR 97232
116				CURRENT RESIDENT	124 NE 3RD AVE #706	PORTLAND OR 97232
117				CURRENT RESIDENT	124 NE 3RD AVE #800	PORTLAND OR 97232
118				CURRENT RESIDENT	124 NE 3RD AVE #802	PORTLAND OR 97232
119				CURRENT RESIDENT	124 NE 3RD AVE #804	PORTLAND OR 97232
120				CURRENT RESIDENT	124 NE 3RD AVE #902	PORTLAND OR 97232
121				CURRENT RESIDENT	124 NE 3RD AVE #909	PORTLAND OR 97232
122				CURRENT RESIDENT	124 NE 3RD AVE #910	PORTLAND OR 97232
123				CURRENT RESIDENT	125 NE MLK JR BLVD	PORTLAND OR 97232
124				CURRENT RESIDENT	131 NE MLK JR BLVD #203	PORTLAND OR 97232
125				CURRENT RESIDENT	131 NE MLK JR BLVD #204	PORTLAND OR 97232
126				CURRENT RESIDENT	131 NE MLK JR BLVD #206	PORTLAND OR 97232
127				CURRENT RESIDENT	131 NE MLK JR BLVD #209	PORTLAND OR 97232
128				CURRENT RESIDENT	131 NE MLK JR BLVD #301	PORTLAND OR 97232
129				CURRENT RESIDENT	131 NE MLK JR BLVD #303	PORTLAND OR 97232
130				CURRENT RESIDENT	131 NE MLK JR BLVD #307	PORTLAND OR 97232
131				CURRENT RESIDENT	131 NE MLK JR BLVD #310	PORTLAND OR 97232
132				CURRENT RESIDENT	131 NE MLK JR BLVD #32	PORTLAND OR 97232
133				CURRENT RESIDENT	131 NE MLK JR BLVD #7	PORTLAND OR 97232
134				CURRENT RESIDENT	131 NE MLK JR BLVD #8	PORTLAND OR 97232
135				CURRENT RESIDENT	160 NE MLK JR BLVD	PORTLAND OR 97232
136				CURRENT RESIDENT	191 NE GRAND AVE	PORTLAND OR 97232
137				CURRENT RESIDENT	206 NE MLK JR BLVD	PORTLAND OR 97232
138				CURRENT RESIDENT	22 NE 2ND AVE #1009	PORTLAND OR 97232
139				CURRENT RESIDENT	22 NE 2ND AVE #1015	PORTLAND OR 97232
140				CURRENT RESIDENT	22 NE 2ND AVE #1017	PORTLAND OR 97232
141				CURRENT RESIDENT	22 NE 2ND AVE #1416	PORTLAND OR 97232
142				CURRENT RESIDENT	22 NE 2ND AVE #1419	PORTLAND OR 97232
143				CURRENT RESIDENT	22 NE 2ND AVE #1506	PORTLAND OR 97232
144				CURRENT RESIDENT	22 NE 2ND AVE #1510	PORTLAND OR 97232
145				CURRENT RESIDENT	22 NE 2ND AVE #1512	PORTLAND OR 97232
146				CURRENT RESIDENT	22 NE 2ND AVE #1621	PORTLAND OR 97232

	A	B	C	D	E	F
147				CURRENT RESIDENT	22 NE 2ND AVE #1913	PORTLAND OR 97232
148				CURRENT RESIDENT	22 NE 2ND AVE #2107	PORTLAND OR 97232
149				CURRENT RESIDENT	22 NE 2ND AVE #2108	PORTLAND OR 97232
150				CURRENT RESIDENT	22 NE 2ND AVE #2122	PORTLAND OR 97232
151				CURRENT RESIDENT	22 NE 2ND AVE #2222	PORTLAND OR 97232
152				CURRENT RESIDENT	22 NE 2ND AVE #615	PORTLAND OR 97232
153				CURRENT RESIDENT	22 NE 2ND AVE #716	PORTLAND OR 97232
154				CURRENT RESIDENT	22 NE 2ND AVE #811	PORTLAND OR 97232
155				CURRENT RESIDENT	22 NE 2ND AVE #906	PORTLAND OR 97232
156				CURRENT RESIDENT	22 NE 2ND AVE #921	PORTLAND OR 97232
157				CURRENT RESIDENT	365 NE COUCH ST	PORTLAND OR 97232
158				CURRENT RESIDENT	426 NE DAVIS ST	PORTLAND OR 97232
159				CURRENT RESIDENT	111 NE MLK JR BLVD	PORTLAND OR 97232
160				CURRENT RESIDENT	123 NE 3RD AVE #105	PORTLAND OR 97232
161				CURRENT RESIDENT	123 NE 3RD AVE #210	PORTLAND OR 97232
162				CURRENT RESIDENT	123 NE 3RD AVE #308	PORTLAND OR 97232
163				CURRENT RESIDENT	123 NE 3RD AVE #4	PORTLAND OR 97232
164				CURRENT RESIDENT	124 NE 3RD AVE #1007	PORTLAND OR 97232
165				CURRENT RESIDENT	124 NE 3RD AVE #1009	PORTLAND OR 97232
166				CURRENT RESIDENT	124 NE 3RD AVE #1010	PORTLAND OR 97232
167				CURRENT RESIDENT	124 NE 3RD AVE #1011	PORTLAND OR 97232
168				CURRENT RESIDENT	124 NE 3RD AVE #508	PORTLAND OR 97232
169				CURRENT RESIDENT	124 NE 3RD AVE #611	PORTLAND OR 97232
170				CURRENT RESIDENT	124 NE 3RD AVE #707	PORTLAND OR 97232
171				CURRENT RESIDENT	124 NE 3RD AVE #712	PORTLAND OR 97232
172				CURRENT RESIDENT	124 NE 3RD AVE #807	PORTLAND OR 97232
173				CURRENT RESIDENT	124 NE 3RD AVE #811	PORTLAND OR 97232
174				CURRENT RESIDENT	124 NE 3RD AVE #903	PORTLAND OR 97232
175				CURRENT RESIDENT	124 NE 3RD AVE #908	PORTLAND OR 97232
176				CURRENT RESIDENT	131 NE MLK JR BLVD #10	PORTLAND OR 97232
177				CURRENT RESIDENT	131 NE MLK JR BLVD #201	PORTLAND OR 97232
178				CURRENT RESIDENT	131 NE MLK JR BLVD #202	PORTLAND OR 97232
179				CURRENT RESIDENT	131 NE MLK JR BLVD #205	PORTLAND OR 97232
180				CURRENT RESIDENT	131 NE MLK JR BLVD #207	PORTLAND OR 97232
181				CURRENT RESIDENT	131 NE MLK JR BLVD #302	PORTLAND OR 97232
182				CURRENT RESIDENT	131 NE MLK JR BLVD #308	PORTLAND OR 97232
183				CURRENT RESIDENT	131 NE MLK JR BLVD #31	PORTLAND OR 97232
184				CURRENT RESIDENT	131 NE MLK JR BLVD #335	PORTLAND OR 97232
185				CURRENT RESIDENT	131 NE MLK JR BLVD #5	PORTLAND OR 97232
186				CURRENT RESIDENT	131 NE MLK JR BLVD #6	PORTLAND OR 97232
187				CURRENT RESIDENT	167 NE GRAND AVE	PORTLAND OR 97232
188				CURRENT RESIDENT	179 NE GRAND AVE	PORTLAND OR 97232
189				CURRENT RESIDENT	22 NE 2ND AVE #1023	PORTLAND OR 97232
190				CURRENT RESIDENT	22 NE 2ND AVE #1109	PORTLAND OR 97232
191				CURRENT RESIDENT	22 NE 2ND AVE #1118	PORTLAND OR 97232
192				CURRENT RESIDENT	22 NE 2ND AVE #1123	PORTLAND OR 97232
193				CURRENT RESIDENT	22 NE 2ND AVE #1206	PORTLAND OR 97232
194				CURRENT RESIDENT	22 NE 2ND AVE #1213	PORTLAND OR 97232
195				CURRENT RESIDENT	22 NE 2ND AVE #1220	PORTLAND OR 97232
196				CURRENT RESIDENT	22 NE 2ND AVE #1222	PORTLAND OR 97232
197				CURRENT RESIDENT	22 NE 2ND AVE #1408	PORTLAND OR 97232
198				CURRENT RESIDENT	22 NE 2ND AVE #1414	PORTLAND OR 97232
199				CURRENT RESIDENT	22 NE 2ND AVE #1522	PORTLAND OR 97232
200				CURRENT RESIDENT	22 NE 2ND AVE #1607	PORTLAND OR 97232
201				CURRENT RESIDENT	22 NE 2ND AVE #1807	PORTLAND OR 97232
202				CURRENT RESIDENT	22 NE 2ND AVE #1907	PORTLAND OR 97232
203				CURRENT RESIDENT	22 NE 2ND AVE #1908	PORTLAND OR 97232
204				CURRENT RESIDENT	22 NE 2ND AVE #1919	PORTLAND OR 97232
205				CURRENT RESIDENT	22 NE 2ND AVE #2022	PORTLAND OR 97232
206				CURRENT RESIDENT	22 NE 2ND AVE #607	PORTLAND OR 97232
207				CURRENT RESIDENT	22 NE 2ND AVE #619	PORTLAND OR 97232
208				CURRENT RESIDENT	22 NE 2ND AVE #707	PORTLAND OR 97232
209				CURRENT RESIDENT	22 NE 2ND AVE #714	PORTLAND OR 97232
210				CURRENT RESIDENT	22 NE 2ND AVE #721	PORTLAND OR 97232
211				CURRENT RESIDENT	22 NE 2ND AVE #723	PORTLAND OR 97232
212				CURRENT RESIDENT	22 NE 2ND AVE #808	PORTLAND OR 97232
213				CURRENT RESIDENT	22 NE 2ND AVE #816	PORTLAND OR 97232
214				CURRENT RESIDENT	22 NE 2ND AVE #907	PORTLAND OR 97232
215				CURRENT RESIDENT	240 NE MLK JR BLVD	PORTLAND OR 97232
216				CURRENT RESIDENT	30 NE MLK JR BLVD	PORTLAND OR 97232
217				CURRENT RESIDENT	34 NE GRAND AVE	PORTLAND OR 97232
218				CURRENT RESIDENT	5 SE MLK JR BLVD	PORTLAND OR 97214
219				CURRENT RESIDENT	106 NE GRAND AVE	PORTLAND OR 97232

	A	B	C	D	E	F
220				CURRENT RESIDENT	123 NE 3RD AVE #10	PORTLAND OR 97232
221				CURRENT RESIDENT	123 NE 3RD AVE #110	PORTLAND OR 97232
222				CURRENT RESIDENT	123 NE 3RD AVE #300	PORTLAND OR 97232
223				CURRENT RESIDENT	123 NE 3RD AVE #310	PORTLAND OR 97232
224				CURRENT RESIDENT	124 NE 3RD AVE #1002	PORTLAND OR 97232
225				CURRENT RESIDENT	124 NE 3RD AVE #500	PORTLAND OR 97232
226				CURRENT RESIDENT	124 NE 3RD AVE #504	PORTLAND OR 97232
227				CURRENT RESIDENT	124 NE 3RD AVE #506	PORTLAND OR 97232
228				CURRENT RESIDENT	124 NE 3RD AVE #509	PORTLAND OR 97232
229				CURRENT RESIDENT	124 NE 3RD AVE #510	PORTLAND OR 97232
230				CURRENT RESIDENT	124 NE 3RD AVE #512	PORTLAND OR 97232
231				CURRENT RESIDENT	124 NE 3RD AVE #708	PORTLAND OR 97232
232				CURRENT RESIDENT	124 NE 3RD AVE #710	PORTLAND OR 97232
233				CURRENT RESIDENT	124 NE 3RD AVE #803	PORTLAND OR 97232
234				CURRENT RESIDENT	124 NE 3RD AVE #900	PORTLAND OR 97232
235				CURRENT RESIDENT	124 NE 3RD AVE #905	PORTLAND OR 97232
236				CURRENT RESIDENT	131 NE MLK JR BLVD #208	PORTLAND OR 97232
237				CURRENT RESIDENT	131 NE MLK JR BLVD #214	PORTLAND OR 97232
238				CURRENT RESIDENT	131 NE MLK JR BLVD #22	PORTLAND OR 97232
239				CURRENT RESIDENT	131 NE MLK JR BLVD #220	PORTLAND OR 97232
240				CURRENT RESIDENT	131 NE MLK JR BLVD #23	PORTLAND OR 97232
241				CURRENT RESIDENT	131 NE MLK JR BLVD #305	PORTLAND OR 97232
242				CURRENT RESIDENT	131 NE MLK JR BLVD #309	PORTLAND OR 97232
243				CURRENT RESIDENT	131 NE MLK JR BLVD #311	PORTLAND OR 97232
244				CURRENT RESIDENT	131 NE MLK JR BLVD #320	PORTLAND OR 97232
245				CURRENT RESIDENT	172 NE MLK JR BLVD	PORTLAND OR 97232
246				CURRENT RESIDENT	20 NE MLK JR BLVD	PORTLAND OR 97232
247				CURRENT RESIDENT	201 NE 2ND AVE #100	PORTLAND OR 97232
248				CURRENT RESIDENT	22 NE 2ND AVE #1020	PORTLAND OR 97232
249				CURRENT RESIDENT	22 NE 2ND AVE #1211	PORTLAND OR 97232
250				CURRENT RESIDENT	22 NE 2ND AVE #1214	PORTLAND OR 97232
251				CURRENT RESIDENT	22 NE 2ND AVE #1422	PORTLAND OR 97232
252				CURRENT RESIDENT	22 NE 2ND AVE #1606	PORTLAND OR 97232
253				CURRENT RESIDENT	22 NE 2ND AVE #1609	PORTLAND OR 97232
254				CURRENT RESIDENT	22 NE 2ND AVE #1617	PORTLAND OR 97232
255				CURRENT RESIDENT	22 NE 2ND AVE #1920	PORTLAND OR 97232
256				CURRENT RESIDENT	22 NE 2ND AVE #1922	PORTLAND OR 97232
257				CURRENT RESIDENT	22 NE 2ND AVE #612	PORTLAND OR 97232
258				CURRENT RESIDENT	22 NE 2ND AVE #621	PORTLAND OR 97232
259				CURRENT RESIDENT	22 NE 2ND AVE #711	PORTLAND OR 97232
260				CURRENT RESIDENT	22 NE 2ND AVE #713	PORTLAND OR 97232
261				CURRENT RESIDENT	22 NE 2ND AVE #720	PORTLAND OR 97232
262				CURRENT RESIDENT	22 NE 2ND AVE #810	PORTLAND OR 97232
263				CURRENT RESIDENT	22 NE 2ND AVE #815	PORTLAND OR 97232
264				CURRENT RESIDENT	22 NE 2ND AVE #820	PORTLAND OR 97232
265				CURRENT RESIDENT	22 NE 2ND AVE #823	PORTLAND OR 97232
266				CURRENT RESIDENT	22 NE 2ND AVE #910	PORTLAND OR 97232
267				CURRENT RESIDENT	414 NE DAVIS ST	PORTLAND OR 97232
268				CURRENT RESIDENT	95 NE GRAND AVE	PORTLAND OR 97232
269	RETURN SERVICE REQUESTED	OWNER	1N1E34DA 2900	BLOCK 75 LLC	116 NE 6TH AVE #400	PORTLAND OR 97232-3529
270	RETURN SERVICE REQUESTED	OWNER	1N1E34DA 3000	BLOCK 75 II LLC	116 NE 6TH AVE #400	PORTLAND OR 97232
271	RETURN SERVICE REQUESTED	APPLICANT	WORKS PROGRESS ARCHITECTURE LLP	GRIFFIN JESSAMYN	811 SE STARK ST #210	PORTLAND OR 97214
272	RETURN SERVICE REQUESTED	OWNERS AGENT/PAYOR	URBAN DEVELOPMENT + PARTNERS	ZAHN SARAH & JAWORSKI ANN	116 NE 6TH AVE #400	PORTLAND OR 97232
273	RETURN SERVICE REQUESTED		SE UPLIFT NEIGHBORHOOD PROGRAM	WILLIAMS MATCHU	3534 SE MAIN ST	PORTLAND OR 97214
274	RETURN SERVICE REQUESTED		BUCKMAN COMMUNITY ASSOCIATION	OLSON NICK	3534 SE MAIN ST	PORTLAND OR 97214
275	RETURN SERVICE REQUESTED		LAND USE CONTACT	CENTRAL CITY CONCERN	232 NW 6TH AVE	PORTLAND OR 97209
276	RETURN SERVICE REQUESTED		KERNS NEIGHBORHOOD ASSOCIATION	LOPEZ JESSE	3534 SE MAIN ST	PORTLAND OR 97214
277	RETURN SERVICE REQUESTED		LAND USE CONTACT	LLOYD DISTRICT COMMUNITY ASSOC BA	PO BOX 6762	PORTLAND OR 97228
278	RETURN SERVICE REQUESTED		LAND USE CONTACT	LLOYD DISTRICT COMMUNITY ASSOC	PO BOX 6762	PORTLAND OR 97228
279	RETURN SERVICE REQUESTED		LAND USE CONTACT	AIA URBAN DESIGN COMMITTEE	403 NW 11TH	PORTLAND OR 97209
280	RETURN SERVICE REQUESTED			JUDY PETERS	6916 NE 40TH ST	VANCOUVER WA 98661
281	RETURN SERVICE REQUESTED		LAND USE CONTACT	STATE HISTORIC PRESERVATION OFFICE	725 SUMMER NE #C	SALEM OR 97301
282	RETURN SERVICE REQUESTED			KARLA MOORE-LOVE (CITY HALL)	1221 SW 4TH AVE #130	PORTLAND OR 97204
283	RETURN SERVICE REQUESTED		RISK & LAND DEPARTMENT	NW NATURAL	250 SW TAYLOR ST	PORTLAND OR 97204-3038
284	RETURN SERVICE REQUESTED		LAND USE CONTACT	PACIFIC POWER & LIGHT	7544 NE 33RD DR	PORTLAND OR 97211
285	RETURN SERVICE REQUESTED			DOUG KLOTZ	1908 SE 35TH PLACE	PORTLAND OR 97214
286	RETURN SERVICE REQUESTED		PORTLAND METRO REGIONAL SOLTUIONS	C/O DLCD REGIONAL REPRESENTATIVE	1600 SW FOURTH AVE #109	PORTLAND OR 97201
287	RETURN SERVICE REQUESTED		LAND USE CONTACT	PORT OF PORTLAND PLANNING	PO BOX 3529	PORTLAND OR 97208
288	RETURN SERVICE REQUESTED		LAND USE CONTACT	TRANSIT DEVELOPMENT	1800 SW FIRST AVE #300	PORTLAND OR 97201
289	RETURN SERVICE REQUESTED		MULT CO BRIDGE - 100 FOOT BUFFER	MULTNOMAH COUNTY BRIDGES	1403 SE WATER AVENUE	PORTLAND OR 97217
290	RETURN SERVICE REQUESTED		PORTLAND SCHOOL DISTRICT	LAND USE NOTICE CONTACT	501 N DIXON	PORTLAND OR 97227
291				LAND USE CONTACT	PROSPER PORTLAND	129/PROSPER
292				PORTLAND PARK TRAIL	TATE WHITE	B106/R1302



	A	B	C	D	E	F
293					HEARINGS CLERK	299/3100
294					DAWN KRANTZ	B299/R5000



# CITY OF PORTLAND ENVIRONMENTAL SERVICES



1120 SW Fifth Avenue, Suite 613, Portland, Oregon 97204 ■ Mingus Mapps, Commissioner ■ Michael Jordan, Director

## Land Use Response

**Date:** November 17, 2022

**To:** Tim Heron, BDS Land Use Services  
503-823-7726, Tim.Heron@portlandoregon.gov

**From:** Emma Kohlsmith, BES Systems Development  
503-823-8427, Emma.Kohlsmith@portlandoregon.gov

**Case File:** LU 22-122430

**Location:** 321 NE COUCH CT

**R#:** R150026, R150027, R150027, R150027, R150027, R150027, R150027, R150027, R150027

**Proposal:** DZ HEARING - The Slate Building is on Block 75, a full city block located at the east end of the Burnside Bridge adjacent to the Couch Couplet; between NE Martin Luther King Jr Blvd (MLK), NE Third Avenue, NE Couch Street and NE Davis Street.

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The following comments are based on the land use review plans and documents provided to the Bureau of Environmental Services (BES). Some references to Portland City Code (PCC) are included below; the applicant may also refer to the Auditor's Office [Online Charter and Code page](#).

### A. RESPONSE SUMMARY

BES does not object to approval of the design review application. Note that an updated stormwater Operations and Maintenance Plan will be required with the building permit application for the proposed shared stormwater planter.

### B. SANITARY SERVICE

1. *Existing Sanitary Infrastructure:* According to available GIS data, the following sewer infrastructure is located in the vicinity of the project site:
  - a. Public 24-inch CIPP combined sewer in NE Davis St (BES as-built #E10562).
  - b. Public 72-inch MONO sanitary interceptor in NE Davis St (BES as-built #21836).
  - c. Public 102-inch MONO sanitary interceptor in NE Davis St (BES as-built #3756).
  - d. Public 28-inch brick combined sewer in NE 3<sup>rd</sup> Ave (BES as-built #20039); and
  - e. Public 21-inch PVC combined sewer in NE Couch St (BES project #E08585).
2. *Sanitary Service:* It does not appear that changes are proposed to the existing sanitary disposal locations for the development to remain.
3. *Connection Requirements:* Connections to the City sewer system must meet the standards of the City of Portland's [Sewer and Drainage Facilities Design Manual](#), [PCC 17.32.090](#), administrative rules [ENB-4.07](#) and [ENB-4.17](#), and all other relevant City codes and rules. Sanitary sewage from private property must be separately conveyed to the property line and connected through individual laterals for discharge to the City separate sanitary or combined sewer. Per [ENB-4.07](#), sewer connection permits are required to make new connections to City mains and laterals, relocate or upsize existing laterals, and repair sewers in City right-of-way. The permittee is responsible for verifying the location, depth and size of an existing sewer lateral and for ensuring the lateral is clear of obstructions prior to connection.

Ph: 503-823-7740 Fax: 503-823-6995 ■ [www.portlandoregon.gov/bes](http://www.portlandoregon.gov/bes) ■ Using recycled paper ■ An Equal Opportunity Employer

The City of Portland complies with all non-discrimination laws including Title VI (Civil Rights) and Title II (ADA).  
To request a translation, accommodation or additional information, please call 503-823-7740, or use City TTY 503-823-6868, or Oregon Relay Service: 711.

LU 22-122430 DZ Exh E1

*Staff finds the applicant's proposed sanitary sewer service acceptable for the purpose of reviewing the design review application.*

### **C. STORMWATER MANAGEMENT**

1. *Existing Stormwater Infrastructure:* According to available GIS data, the following stormwater infrastructure is located in the vicinity of the project site:
  - a. There are no public storm-only sewers available to this property.
2. *General Stormwater Management Requirements:* Development and redevelopment sites that include any of the triggers listed in PCC 17.38.040 are subject to the policies and standards of PCC 17.38.035, Portland's [Stormwater Management Manual](#) (SWMM) and [Source Control Manual](#) (SCM). Projects must comply with the current adopted version of the SWMM as of the permit application date. A fundamental evaluation factor in the SWMM is the Stormwater Infiltration and Discharge Hierarchy (Section 1.3.3), which sets the framework that will be used to determine when a project's stormwater runoff must be infiltrated onsite and when offsite discharge will be permitted, and the parameters that must be met for either scenario. If tested infiltration rates on a property are greater than or equal to 2 inches per hour, onsite infiltration will be required unless the site qualifies for the ecoroof exception per Section 3.2.1 or infiltration is determined infeasible based on site conditions described in Chapter 2 of the SWMM. Note that maximum building coverage allowed by the zoning code, including below grade development, does not exempt the applicant from stormwater requirements. Pollution reduction and flow control requirements must be met using vegetated facilities to the maximum extent feasible, though roof runoff and some paved impervious surfaces are exempt when discharging directly to a UIC (refer to Sections 1.3.2, 1.3.4, 3.2.4 and 4.2.2 of the SWMM).
3. *Private Property Stormwater Management:* Stormwater runoff from this project must comply with all applicable standards of the SWMM and be conveyed to a discharge point along a route of service approved by the BES Director or the Director's designee.
  - a. The proposed project involves covering the existing ramp structure serving the building on 321 NE Couch Street. Currently stormwater from the ramp is collected in a trench drain at the end of the ramp and then pumped to a stormwater planter located above the east end of the ramp. The planter currently discharges to the combined sewer in NE Davis Street. Per the submitted materials, the proposed covering for the ramp will be pervious, therefore additional stormwater management requirements are not triggered and the existing trench drain and planter will remain.
  - b. However, the applicant has stated that they plan to modify the existing planter serving the ramp so that overflow from the planter will discharge into the storm system on 321 NE Couch (eventually discharging to the combined sewer in NE Couch) instead of the current disposal location across R150026 to the combined sewer in NE Davis. The ramp and the existing planter are both currently located on the lot to the north (R150026). Therefore, directing stormwater runoff from the ramp on R150026 into the storm system on 321 NE Couch will create a stormwater system that crosses property lines. This will likely require a BDS Plumbing Code Appeal as well as easements and maintenance agreements between the two properties (please contact BDS Plumbing with questions). In addition, at the time of permit review, BES will require an updated O&M plan for the shared stormwater facility. Since the proposed changes to the storm planter are minor and mostly below ground, no additional information is requested for the purpose of this design review application.

*Staff finds the applicant's proposed stormwater management plan acceptable for the purpose of reviewing the design review application.*

### **D. CONDITIONS OF APPROVAL**

BES has no recommended conditions of approval.

## **E. PERMIT INFORMATION**

At the time of permit review the applicant should be aware of the following:

1. *Connection Fees:* Sewer system development charges and connection fees are assessed at the time of building plan review and change every fiscal year on July 1<sup>st</sup>. For additional information on these fees use the [BDS Online Fee Estimator](#) or call the BES Development Review Team at 503-823-7761, option 2.
2. *Building Plans:* Building plans for this project must include a detailed site utility plan which shows proposed and existing sanitary connections, as well as stormwater management that meets the requirements of the version of the SWMM that is in effect at the time permit applications are submitted.

## **G. ADMINISTRATIVE REVIEW**

The applicant may request a modification of a decision presented in this response, as applicable, via an administrative review as outlined in PCC sections 17.06.050, 17.32.150, 17.33.100, 17.34.115, 17.36.110, 17.38.060 and 17.39.120 and in those sections' associated administrative rules. Some portions of this response are not decisions, but guidance related to requirements that this proposal may be subject to during City review of other processes, such as a building permit or public works permit review. While these are not decisions that are ripe to be considered through an administrative review, if the outcome of a future administrative review needs to be anticipated at this time in order to inform the land use action, the administrative review process may be utilized. Some items, such as technical standards, are not reviewable. For guidance on whether a modification can be requested and whether the land use process is the proper time to request it, consult with the BES staff identified above prior to submitting a request.

There is no fee charged for an administrative review, and all BES penalties and late fees will be stayed pending the outcome of the review process, as applicable. To request an administrative review, the applicant must complete the Administrative Review Request Form (located here: [www.portlandoregon.gov/bes/68285](http://www.portlandoregon.gov/bes/68285)) and submit it to the Systems Development staff listed above within 20 business days of the mailing date of this response. The applicant should coordinate with the BDS planner to determine whether applying for an administrative review would have an impact on state-mandated land use timelines.





PORTLAND BUREAU OF TRANSPORTATION

1900 SW Fourth Ave., Suite 5000 Portland, OR 97201 503-823-5185  
Fax 503-823-7576 TTY 503-823-6868 [www.portlandoregon.gov/transportation](http://www.portlandoregon.gov/transportation)

Jo Ann Hardesty Commissioner Chris Warner Director

## RESPONSE TO THE BUREAU OF DEVELOPMENT SERVICES LAND USE REVIEW REQUEST

### Portland Transportation Development Review Bureau of Transportation Engineering & Development

LU: 22-122430-000-00-LU Date: November 14, 2022  
To: Tim Heron, Bureau of Development Services, B299/R5000  
From: Michael Pina, B106/800, 503-823-4249  
Applicant: Jessamyn Griffin, WORKS PROGRESS ARCHITECTURE, LLP  
811 SE STARK ST, #210  
PORTLAND OR 97214  
Location: 321 NE COUCH CT  
TYPE OF REQUEST: Type 3 procedure DZ - Design Review

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### DESCRIPTION OF PROJECT

DZ HEARING - The Slate Building is on Block 75, a full city block located at the east end of the Burnside Bridge adjacent to the Couch Couplet; between NE Martin Luther King Jr Blvd (MLK), NE Third Avenue, NE Couch Street and NE Davis Street. The existing Block 75 Slate building occupies the southern half of the block, including an open plaza to the north that provides east/west pedestrian access through the block from MLK to NE 3rd Avenue. Directly north of the plaza, a mid-block driveway/open ramp is located off of NE 3rd Avenue, providing access to the sub grade parking garage where loading, vehicle and bike parking for the existing building are located. The existing ramp was built in conjunction with the Slate building at 321 NE Couch Court, approved by the Portland Design Commission August 21, 2014 [LU 14-163479 DZM] with Conditions. A full enclosure/cover of the ramp was purposefully excluded at the time, as future Phase 2 developments for the property directly to the north (assuming shared driveway access and/or possible cover of the ramp via the future building) were planned. As such, this specific Condition of Approval was applied: The driveway cap must be constructed within 3 years of the issuance of a Certificate of Occupancy for Block 75 phase 1, unless construction of phase 2 has begun. With completion of Slate on January 10, 2017, and Phase 2 development put on hold, the ramp cap design was re-engaged and reviewed via a follow up EA in June of 2020 (EA 20-131607) which determined that if a permanent solution is desired, a more robust response to the Approval Criteria would be necessary. The revised design for the cap enclosure includes: Maintaining existing property line/lots. Stucco clad CMU walls along the north and south facade, to replicate patterning of Block 75 Slate's panelized facade. Trellis and vine application at select panels on the south facade, to further soften the courtyard experience. Custom mural application [Title 4 Original Art Mural] at the south facade to further engage the pedestrian experience from the courtyard and right of way. Faceted framed entry to the garage to match Block 75 Slate's framed elements. The design also proposes two options: Option 1: provide a dynamic aluminum open truss roof structure and high-speed garage door; or Option 2: provide originally approved cedar slat trellis roof structure with no garage door. Because the proposal is for exterior alterations to an existing building and an unmet Condition of Approval, Design Review is required.

## **RESPONSE**

Portland Transportation/Development Review has reviewed the application for its potential impacts regarding the public right-of-way, traffic impacts and conformance with adopted policies, street designations, Title 33, Title 17, and for potential impacts upon transportation services.

### **Design Review Approval Criteria (33.825)**

There are no applicable transportation-related approval criteria associated with the proposed Design Review. However, there are elements of the request that have the potential to impact the abutting rights-of-way (ROW) and therefore must be evaluated by PBOT.

The applicant has obtained Driveway Design Exception 22-124185 TR for the proposed garage door placed at the property line if that option is chosen. All other transportation-related items have been addressed at time of the project's original build. Accordingly, PBOT has no objection over the ramp cover / closure.

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## **RECOMMENDATION**

PBOT has no objections to the proposed Design Review.

**From:** [Monica Ninh](#)  
**To:** [Heron, Tim](#)  
**Subject:** Testimony Opposing Slate Building Parking Cap  
**Date:** Wednesday, November 30, 2022 3:20:55 PM

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To whom it may concern,

We, Beautysession, oppose the proposal of the Slate building parking cap. We are a small, female owned business that is adjacent to the parking ramp in which the parking cap will be built. Not only is the design an eyesore, the structure and the inevitable construction would have a negative impact on our business. We are asking that the design commission reject this plan.

Our business is right next to the parking ramp. We were influenced to choose this space for our business in large part due to the natural light in the space. We perform esthetic services where natural light is instrumental to the outcome. Building a large structure would block out much of this light, thus hindering our services. Additionally, a lack of light would affect the overall ambiance of our space. Another important aspect to consider would be the impact that construction would have to our business. We have already been subjected, multiple times, to the negative effects of construction to our building. We have experienced a lack of parking, construction filth including litter from the construction crew, safety issues due to the lack of security surrounding the porta-potty (the transient population found this very attractive thus attracting people who broke into and used the bathroom for various reasons), the building owners/managers lack of information and help regarding during these circumstances, etc.

The owners of the Slate do not prioritize their tenants and have proven to be poor business partners. We were without heat ( and central air) from October 2021-June 2022 with temperatures dropping well below the level of comfortability. They assured us consistently that they were working on the issue, however that was clearly untrue. We cannot trust them to ensure that their new, egregious project will not impact our business negatively.

In conclusion, a parking cap is an unnecessary addition to the existing parking garage. It serves no real purpose, is unattractive in design, and will block out the natural lighting in our space. The construction will have detrimental effects on our business, therefore we are pleading that this proposal be denied.

Thank you for your time.

Sincerely,

Jade Simms & Monica Ninh  
Owners and Operators of Beautysession

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Beautysession  
Shop online: [www.beautysessionpdx.com](http://www.beautysessionpdx.com)  
Connect: IG @beautysessionpdx  
130 NE 3rd ave. Portland, OR 97232



# City of Portland, Oregon - Bureau of Development Services

1900 SW Fourth Avenue • Portland, Oregon 97201 | 503-823-7300 | [www.portland.gov/bds](http://www.portland.gov/bds)



## Land Use Review Application

File Number: \_\_\_\_\_

### FOR INTAKE, STAFF USE ONLY

Date Rec \_\_\_\_\_ by \_\_\_\_\_

☐ Type I ☐ Type Ix ☐ Type II ☐ Type IIx ☐ Type III ☐ Type IV

LU Reviews \_\_\_\_\_

[Y] [N] Unincorporated MC

[Y] [N] Flood Hazard Area (LD & PD only)

[Y] [N] Potential Landslide Hazard Area (LD & PD only)

[Y] [N] 100-year Flood Plain [Y] [N] DOGAMI

Qtr Sec Map(s) \_\_\_\_\_ Zoning \_\_\_\_\_

Plan District \_\_\_\_\_

Historic and/or Design District \_\_\_\_\_

Neighborhood \_\_\_\_\_

District Coalition \_\_\_\_\_

Business Assoc \_\_\_\_\_

Related File # \_\_\_\_\_

**APPLICANT: Complete all sections below that apply to the proposal. Please print legibly.**  
Email this application and supporting documents to: [LandUseIntake@portlandoregon.gov](mailto:LandUseIntake@portlandoregon.gov)

Development Site

Address or Location \_\_\_\_\_

Cross Street \_\_\_\_\_ Sq. ft./Acreage \_\_\_\_\_

Site tax account number(s)

R \_\_\_\_\_ R \_\_\_\_\_ R \_\_\_\_\_

R \_\_\_\_\_ R \_\_\_\_\_ R \_\_\_\_\_

Describe project (attach additional page if necessary)

Describe proposed stormwater disposal methods

Identify requested land use reviews

- **Design & Historic Reviews** - For **new development**, provide project valuation.

For **renovation**, provide exterior alteration value.

**AND** provide total project valuation.

\$ \_\_\_\_\_

\$ \_\_\_\_\_

\$ \_\_\_\_\_

- **Land Divisions** - Identify number of lots (include lots for existing development).

New street (public or private)?

☐ yes ☐ no

- **Affordable Housing** - For buildings containing five or more dwelling units, will 50% or more of the units be affordable to households with incomes equal to or less than 60% of the median family income for the county or state, whichever is greater?

☐ yes ☐ no ☐ N/A

**continued / over**



## Applicant Information

- Identify the primary contact person, applicant, property owner and contract purchaser. Include any person that has an interest in your property or anyone you want to be notified. Information provided, including telephone numbers and e-mail addresses, will be included in public notices.
- For all reviews, the applicant must sign the Responsibility Statement.
- For land divisions, all property owners must sign the application.

### PRIMARY CONTACT:

Typed Full Name \_\_\_\_\_ I acknowledge this typed name as my signature

Company/Organization \_\_\_\_\_

Mailing Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_

Day Phone \_\_\_\_\_ FAX \_\_\_\_\_ email \_\_\_\_\_

**Check all that apply** ☐ Applicant ☐ Owner ☐ Other

Typed Full Name \_\_\_\_\_ I acknowledge this typed name as my signature

Company/Organization \_\_\_\_\_

Mailing Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_

Day Phone \_\_\_\_\_ FAX \_\_\_\_\_ email \_\_\_\_\_

**Check all that apply** ☐ Applicant ☐ Owner ☐ Other

Typed Full Name \_\_\_\_\_ I acknowledge this typed name as my signature

Company/Organization \_\_\_\_\_

Mailing Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_

Day Phone \_\_\_\_\_ FAX \_\_\_\_\_ email \_\_\_\_\_

**Check all that apply** ☐ Applicant ☐ Owner ☐ Other

Typed Full Name \_\_\_\_\_ I acknowledge this typed name as my signature

Company/Organization \_\_\_\_\_

Mailing Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_

Day Phone \_\_\_\_\_ FAX \_\_\_\_\_ email \_\_\_\_\_

**Check all that apply** ☐ Applicant ☐ Owner ☐ Other

**Responsibility Statement** As the applicant submitting this application for a land use review, I am responsible for the accuracy of the information submitted. The information being submitted includes a description of the site conditions. I am also responsible for gaining the permission of the owner(s) of the property listed above in order to apply for this review and for reviewing the responsibility statement with them. If the proposal is approved, the decision and any conditions of the approval must be recorded in the County Deed Records for the property. The City of Portland is not liable if any of these actions are taken without the consent of the owner(s) of the property. In order to process this review, City staff may visit the site, photograph the property, or otherwise document the site as part of the review. I understand that the completeness of this application is determined by the Director. By my signature, I indicate my understanding and agreement to the Responsibility Statement.

Name of person submitting this application agrees to the above Responsibility Statement and acknowledges typed name as signature:

\_\_\_\_\_  
Date: \_\_\_\_\_

Phone number: \_\_\_\_\_

Email this application and supporting documents to  
[LandUseIntake@portlandoregon.gov](mailto:LandUseIntake@portlandoregon.gov)

Submittal of locked or password protected documents will delay intake of your application. 2



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
**FROM CONCEPT TO CONSTRUCTION**

Dan Ryan, Commissioner  
Rebecca Esau, Director  
Phone: (503) 823-7300  
Fax: (503) 823-5630  
TTY: (503) 823-6868  
[www.portland.gov/bds](http://www.portland.gov/bds)

April 4, 2022

Jessamyn Griffin  
WORKS PROGRESS ARCHITECTURE, LLP  
811 SE Stark St, #210  
Portland OR 97214

Re: Land Use Review LU 22-122430 DZ – Slate Parking Cover

Dear Jessamyn Griffin:

The Bureau of Development Services received your application for a Design Review located at 321 NE COUCH CT on March 14, 2022. Your case has been assigned to me, Tim Heron. In order to continue to review your application, additional information is needed. Once you submit this information, your application will be considered complete, and I will proceed with a full review of your proposal. Up to this point, your application has been reviewed only to determine if all required information has been submitted. The application has not been fully reviewed to determine if it meets the relevant approval criteria, however some issues you may want to consider are identified in Section II below.

**I. Information Necessary to Complete Application**

The following information must be submitted before your proposal can be evaluated:

1. **Site Plan.** A site plan to scale of the full site must be submitted [which includes the ground planes of the originally built and constructed mixed-use building.

Applications for additional reviews will not be accepted unless accompanied by the required fees. Please note that failure to submit the needed application with the required fee may result in a denial of your proposal.

**II. Time to Complete Application**

The Portland Zoning Code allows you up to 180 days to complete your application. Since the 180-day period began on the day we received the application, the deadline to make your application complete is **Monday September 12, 2022.**

**III. Determination of a Complete Application**

The application will be determined complete when you have submitted:

1. All of the requested information included in Section I, above. If you cannot provide all of the requested information at one time and intend to submit additional information, please include a written statement with each separate submittal indicating that you still intend to provide the additional missing information by the **Monday September 12, 2022** deadline, **or**
2. Some of the requested information included in Section I, above, and a written statement that no additional information will be provided; **or**
3. A written statement that none of the requested information included in Section I, above, will be provided.

Please be aware that not submitting the requested information may result in your application being denied. The information is needed to demonstrate the approval criteria are met. Once the application is deemed complete, review of your application can proceed using the information you have provided.

Your application will be approved if it meets the relevant land use review approval criteria. It is your responsibility to document how the approval criteria are met. The items listed above will help provide that documentation.

**Voiding of Application**

If your application is not complete by **Monday September 12, 2022**, it will be voided, and the application fee will not be refunded. The City's land use review procedures are outlined in Chapter 33.730 of the Portland Zoning Code.

Please contact me if you have any questions about this letter. My telephone number is **503-823-7726**, and my e-mail address is [Tim.Heron@portlandoregon.gov](mailto:Tim.Heron@portlandoregon.gov). Requested information noted above should be emailed to me. Please e-mail me for file dropbox instructions if document or drawing file sizes are greater than 5MB. Please label all correspondence and materials you submit with the case number LU 22-122430.

Sincerely,

Tim Heron, Planner  
Land Use Services Division

cc: Application Case File



# City of Portland Design Commission

## Type III Land Use Review

### MEMORANDUM

**Date:** November 21, 2022  
**To:** Design Commission  
**From:** Tim Heron, Design / Historic Review Team  
503-823-7726 | [tim.heron@portlandoregon.gov](mailto:tim.heron@portlandoregon.gov)  
**Re:** LU 22-122430 DZ – The Slate Building Parking Cap  
Type III Design Review – December 1, 2022

This memo is regarding the upcoming Type III hearing on December 1, 2022 for The Slate Building Parking Cap. The following supporting documents are available as follows:

- Staff Report, Zone Map, Drawings, and Guideline matrix can [all be accessed here](#).
- *Commissioners who requested hard copies will receive the full package via standard US mail.*

Please contact me with any questions or concerns.

#### I. PROGRAM OVERVIEW

The applicant requests Design Review approval for a proposed cap to the existing driveway/open ramp access for the Slate Building per Condition of Approval [LU 14-163479 DZM]. The new structure will consist of concrete masonry walls, original art murals, a high-speed garage door, and a faceted architectural screening cap over the ramp.

#### II. DEVELOPMENT TEAM BIO

<b>Architect</b>	WPA – Works Partnership Architecture
<b>Owner</b>	Urban Development Partners
<b>Project Valuation</b>	\$248,701

#### III. DESIGN REVIEW APPROVAL CRITERIA – See attached matrix.

- [Central City Fundamental Design Guidelines](#)
- [Special Design Guidelines for the Design Zone of the Central Eastside District of the Central City Plan](#)

#### III. MODIFICATIONS

None.

#### IV. STAFF RECOMMENDATION – Approval for Option 1, Denial for Option 2

- Staff found that the Option 1 [garage door and metal trellis] proposal meets the applicable Design Review criteria and therefore, the Staff Report recommends **approval** for these components with Conditions.



- Staff found that Option 2 [no garage door and wood trellis design] does not meet the applicable Design Review criteria and therefore, the Staff Report recommends **denial** for these components.

## V. CONDITIONS OF APPROVAL

The standard three Conditions of Approval [COA] have been added. Additional COAs are:

- C. Title 4 Art Mural will be completed within 3 years of this decision per Exhibit C1.1.*
- D. The dynamic metal truss cap [Option 1] will cover the entire parking accessway.*
- E. A garage door will be provided.*
- F. The proposed planters at the south side of the parking garage ramp cap will be irrigated to ensure the longevity of the proposed plantings.*

## VI. PROCEDURAL NOTES

- The application was deemed complete on September 10, 2022.

Attachments/ Links:

- *Zone Map*
- [Case File Link including](#)
  - [\[C-Exhibits, Appendix Drawings set, Guidelines matrix, and Pre-Application Summary Notes\]](#)



**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
FROM CONCEPT TO CONSTRUCTION

Dan Ryan, Commissioner  
Rebecca Esau, Director  
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Fax: (503) 823-5630  
TTY: (503) 823-6868  
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## **STAFF REPORT AND RECOMMENDATION TO THE DESIGN COMMISSION**

CASE FILE: LU 22-122430 DZ –  
The Slate Building Parking Cap  
PC # 20-131607

REVIEW BY: Design Commission

WHEN: Thursday December 1, 2022 at 1:30 PM

REMOTE ACCESS: Design Commission Agenda

<https://www.portlandoregon.gov/bds/dcagenda>

**This land use hearing will be limited to remote participation via Zoom. Please refer to the instructions included with this notice to observe and participate remotely.**

**Bureau of Development Services Staff:** Tim Heron 503-823-7726/  
[Tim.Heron@portlandoregon.gov](mailto:Tim.Heron@portlandoregon.gov)

### **GENERAL INFORMATION**

**Representative:** Jessamyn Griffin, Works Progress Architecture,  
[jessamyn@worksarchitecture.net](mailto:jessamyn@worksarchitecture.net)  
811 SE Stark St, #210  
Portland OR 97214

**Applicant:** Block 75 LLC  
116 NE 6th Ave #400  
Portland, OR 97232-3529

Sarah Zahn and Ann Jaworski, Urban Development + Partners  
116 NE 6th Ave, Ste 400  
Portland, OR 97232

**Site Address:** 321 NE COUCH CT

**Legal Description:** BLOCK 75 LOT 1&2 TL 3000, EAST PORTLAND; BLOCK 75 LOT  
2-6 TL 2900, EAST PORTLAND

**Tax Account No.:** R226504950, R226504970, R226504970, R226504970,  
R226504970, R226504970, R226504970, R226504970,  
R226504970

**State ID No.:** 1N1E34DA 03000, 1N1E34DA 02900, 1N1E34DA 02900, 1N1E34DA 02900, 1N1E34DA 02900, 1N1E34DA 02900, 1N1E34DA 02900, 1N1E34DA 02900, 1N1E34DA 02900

**Quarter Section:** 3030

**Neighborhood:** Kerns, contact Jesse Lopez at kernslanduse@gmail.com

**Business District:** Central Eastside Industrial Council, contact ceic@ceic.cc.

**District Coalition:** Southeast Uplift, contact Matchu Williams at matchu@seuplift.org

**Plan District:** Central City - Central Eastside

**Zoning:** EXd, Central Employment with design overlay

**Case Type:** DZ, Design Review

**Procedure:** Type III, with a public hearing before the Design Commission. The decision of the Design Commission can be appealed to City Council.

**Proposal:**

The Slate Building is on Block 75, a full city block located at the east end of the Burnside Bridge adjacent to the Couch Couplet; between NE Martin Luther King Jr Blvd (MLK), NE Third Avenue, NE Couch Street and NE Davis Street.

The existing Slate building occupies the southern half of Block 75, including an open plaza to the north that provides east/west pedestrian access through the block from MLK to NE 3<sup>rd</sup> Avenue. Directly north of the plaza, a mid-block driveway/open ramp is located off of NE 3<sup>rd</sup> Avenue, providing access to the sub grade parking garage where loading, vehicle and bike parking for the existing building are located.

The existing ramp was built in conjunction with the Slate building at 321 NE Couch Court, approved by the Portland Design Commission August 21, 2014 [LU 14-163479 DZM] with Conditions. A full enclosure/cover of the ramp was purposefully excluded at the time, as future Phase 2 developments for the property directly to the north (assuming shared driveway access and/or possible cover of the ramp via the future building) were planned.

As such, this specific Condition of Approval was applied:

- The driveway cap must be constructed within 3 years of the issuance of a Certificate of Occupancy for Block 75 phase 1, unless construction of phase 2 has begun.

With completion of Slate on January 10, 2017, and Phase 2 development put on hold, the ramp cap design was re-engaged and reviewed via a follow up Early Assistance appointment in June of 2020 (EA 20-131607) which determined that if a permanent solution is desired, a more robust response to the Approval Criteria would be necessary.

The currently proposed revised design for the cap enclosure includes:

- Maintaining existing property line/lots.
- Stucco clad CMU walls along the north and south facade of the ramp, to replicate patterning of Block 75 Slate's panelized facade.
- Trellis and vine application at select panels on the south facade, to further soften the courtyard experience.
- Custom mural application [Title 4 – Original Art Mural] at the south facade to further engage the pedestrian experience from the courtyard and right of way.
- Faceted framed entry to the garage to match Block 75 Slate's framed elements.

The design also proposes two options:

- Option 1: provide a metal open truss roof structure and high-speed garage door; or
- Option 2: provide a wood trellis roof structure with no garage door.

Because the proposal is for exterior alterations to an existing building and an unmet Condition of Approval, Design Review is required.

**Approval Criteria:**

In order to be approved, this proposal must comply with the approval criteria of Title 33, (Portland Zoning Code). The applicable approval criteria are:

- [\*Central City Fundamental Design Guidelines\*](#)
- [\*Special Design Guidelines for the Design Zone of the Central Eastside District of the Central City Plan\*](#)

## ANALYSIS

**Site and Vicinity:** Block 75 is located north of the Burnside Bridge and is bounded by NE Martin Luther King Boulevard to the east, NE Couch Street/future Court to the south, NE 3<sup>rd</sup> Avenue to the west, and NE Davis Street to the north. The proposal occupies the three-quarters of the block previously occupied by the Ararat bakery and restaurant building, which was demolished in 2008. The existing Union Arms apartment building, three stories tall and constructed in 1908, occupies the northeast quarter of the block. The rehabilitated Convention Plaza building – now called the Eastside Exchange – is located across NE 3<sup>rd</sup> Avenue from the subject site. The Couch Street Pedestrian Plaza, which abuts the Eastside Exchange building to the south, was also recently completed as part of the overall Eastside Exchange project. The Eastside Exchange building, whose historic name is the “Ira F. Powers Warehouse and Factory,” was listed in 2011 as a Historic Landmark on the National Register of Historic Places.

**Zoning:** The Central Employment (EX) base zone allows mixed uses and is intended for areas in the center of the City that have predominantly industrial-type development. The intent of the zone is to allow industrial and commercial uses that need a central location. Residential uses are allowed, but are not intended to predominate or set development standards for other uses in the area.

The Design Overlay Zone [d] promotes the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. This is achieved through the creation of design districts and applying the Design Overlay Zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. In addition, design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

The Central City Plan District implements the Central City Plan and other plans applicable to the downtown area. These other plans include the Downtown Plan, the River District Plan, the University District Plan, and the Central City Transportation Management Plan. The Central City plan district implements portions of these plans by adding code provisions that address special circumstances existing in the Central City area. The site is within the Central Eastside Subdistrict of the Central City Plan District.

**Land Use History:** City records indicate that prior land use reviews include:



- **LU 06-103735 ZC** – Approval of a Zoning Map Amendment to change the base zoning from General Industrial 1 (IG1) to Central Employment (EX) and to add the Design (d) overlay zone, for approximately 2.94 acres that include Blocks 67 and 68 and the western half of Blocks 75 and 76.
- **LU 14-163479 DZM** – Design Commission Approval for a new 10-story mixed-use building at Block 75 – The Slate Apartments; 131,158 square feet in area (148,997 square feet in area including the below-grade parking), 104'-4" tall; with 40 below-grade parking stalls and two below-grade loading spaces, ground-floor retail space, about 32,000 square feet of office space, and 75 housing units; with an east-west pedestrian path along the north edge of the building.

***Subject to this Land Use Review is Condition D:***

***D.*** The driveway cap must be constructed within 3 years of the issuance of a Certificate of Occupancy for Block 75 phase 1, unless construction of phase 2 has begun.

**Agency Review:** A “Notice of proposal in Your Neighborhood” was mailed **November 10, 2022**. The following Bureaus have responded with no issue or concerns:

- Bureau of Environmental Services, Exhibit E1.
- The Bureau of Transportation Engineering, Exhibit E2.

**Neighborhood Review:** A Notice of Proposal in Your Neighborhood was mailed on **November 10, 2022**. No written responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

## **ZONING CODE APPROVAL CRITERIA**

### **(1) DESIGN REVIEW (33.825)**

#### **33.825.010 Purpose**

Design Review ensures:

- That development conserves and enhances the recognized special design values of a site or area;
- The conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district;
- That certain types of infill development will be compatible with the neighborhood and enhance the area; and
- High design quality of public and private projects.

#### **33.825.055 Design Review Approval Criteria**

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

It is important to emphasize that design review goes beyond minimal design standards and is viewed as an opportunity for applicants to propose new and innovative designs. The design guidelines are not intended to be inflexible requirements. Their mission is to aid project designers in understanding the principal expectations of the city concerning urban design.

The review body conducting design review may waive individual guidelines for specific projects should they find that one or more fundamental design guidelines is not applicable to the circumstances of the particular project being reviewed.

The review body may also address aspects of a project design which are not covered in the guidelines where the review body finds that such action is necessary to better achieve the goals and objectives of design review in the Central City.

**Findings:** The site is designated with design overlay zoning (d). Therefore, the proposal requires Design Review approval. Because the site is within the Central Eastside Subdistrict of the Central City Plan District, the applicable approval criteria are [Central City Fundamental Design Guidelines](#) and the [Special Design Guidelines for the Design Zone of the Central Eastside District of the Central City Plan](#).

*Staff has addressed the applicable design guidelines organized by Tenet: Context, Public Realm, and Quality and Permanence.*

## CONTEXT

**A1 INTEGRATE THE RIVER** - Orient architectural and landscape elements including lobbies, entries, balconies, terraces and outdoor areas to the Willamette River and Greenway.

**A2 EMPHASIZE PORTLAND THEMES** - When provided, integrate Portland-related themes with the development's overall design concept.

**A2-1 RECOGNIZE TRANSPORTATION MODES, PRODUCE, AND COMMERCE AS PRIMARY THEMES OF EAST PORTLAND** - Recognize and incorporate East Portland Themes into a project design when appropriate.

**A3 RESPECT THE PORTLAND BLOCK STRUCTURES** - Maintain and extent the traditional 200-foot block pattern to preserve the Central City's ratio of open space to built space.

**A5 ENHANCE, EMBELLISH, AND IDENTIFY AREAS** - Enhance an area by reflecting the local character within the right of way. Embellish an area by integrating elements in new development that build on the area's character. Identify an area's special features or qualities by integrating them into new development.

**A6 REUSE/ REHABILITATE/ RESTORE BUILDINGS** - Where practical, reuse, rehabilitate and restore buildings and/or elements.

**C1 ENHANCE VIEW OPPORTUNITIES** - Orient windows, entrances, balconies and other building elements to surrounding points of interest and activity. Size and place new buildings to protect the existing views and view corridors. Develop building facades to create visual connections to adjacent public spaces.

**C1-1 INTEGRATE PARKING** - Integrate parking in a manner that is attractive and complementary to the site and its surroundings. Design parking garage exteriors to visually respect and integrate with adjacent buildings and environment.

## **C4 COMPLEMENT THE CONTEXT OF EXISTING BUILDINGS**

*Compliment the context of existing buildings by using and adding to the local design vocabulary.*

**Findings:** The site is located approximately three blocks east of the Willamette River. There is significant grade change, State and City infrastructure between the site and the river including the Union Pacific Railroad line, Interstate 5 and Interstate 84. Pedestrian access to the river is located at the nearby Eastbank Esplanade access point off the east end of the Burnside Bridge. The existing garage ramp access is to be

maintained mid-block off NE 3rd Avenue, taking advantage of the vehicular & freight movement on the street. Parking and parking access to remain with parking located at the basement level below grade.

A through-block plaza connection is being maintained as open space for the existing development to the south, in addition to maintaining light and air for the existing Union Arms apartment building on the NE quadrant. Additionally, the existing landscaping along the north side of the ramp will be maintained, providing screening from the adjacent areas.

The proposed Parking Ramp Cap is integrated into the existing garage entry in all ways possible, maintaining the same footprint and reusing retaining walls. All three visible facades are designed to provide visual connections to the existing surroundings. The entry is framed in the same faceted expression as Block 75 Slate's window framed views. The structure's height is proposed to provide a minimum necessary 10' tall garage opening for proper clearance and meet the Zoning Code for loading access, while also maximizing view opportunities over the roof from the upper courtyard in the plaza towards downtown. Both the north and south facades will be clad in dark stucco, with patterned reveals to reference The Slate's north facade. The south facade will include new planters and landscaping to complement the existing courtyard. Additionally, a Title 4 Original Art Mural will be painted along the south face of the new structure to further enhance the overall design and pedestrian engagement in the plaza.

Visual interest for the "cap" of the proposed parking ramp enclosure above is proposed as two design options:

1. Option 1 – dynamic metal truss cap. This option provides a dynamic metal truss cap, offering a sculptural element and enhanced engagement from the upper courtyard as well as maintaining views over the ramp cap structure. This option resolves a successful and interesting solution to the roofscape that is visible from the adjacent ROW and plaza, and best completes the intent of the 2014 Condition of Approval to literally cap the exposed parking and loading access ramp.

However, as the cap does not fully enclose the full width of the parking ramp to the below grade parking garage as required by the original Condition of Approval D per LU 14-163479 DZM, a Condition of Approval of this review will require the continuation of the dynamic metal truss cap to fully cover the below grade parking ramp. With this Condition, Option 1 meets the relevant design guideline approval criteria.

2. Option 2 – wood trellis cap. This option proposes a simple wood trellis and a flattened rooftop expression across the top of the parking ramp cap.

However, the intent of the Condition of Approval D per LU 14-163479 DZM was to provide a permanent solution to the parking cap by 2017 should a new development not be realized to fully cover this otherwise exposed suburban parking access typology. At

this time, now December 2022, a more permanent, and more dynamic design of this highly visible one-story roof should be realized.

Other options explored, but were ultimately not proposed for a variety of reasons, were an ecoroof to fully cover the parking cap or a combination rooftop patio and stormwater garden deck to better utilize this space for the site. These designs would also have better met the Design Guideline approval criteria. But, as a potential for future build out over this parking may still be viable, Staff agreed these two other options [ecoroof and/ or rooftop deck and stormwater garden] would likely inhibit that potential due the investment to install either of these two concepts. Therefore, while this Option 2 – wood trellis cap presents a simpler solution to screening the rooftop, the Option 1 - dynamic metal truss design better meets the approval criteria, and Staff recommends Denial of Option 2 – wood trellis cap.

*Therefore, Staff recommends Denial of the Option 2 because it does not meet these design guidelines.*

*However, with the Condition of Approval that the Option 1 dynamic metal truss cap fully cover the below grade parking ramp, Staff recommends Approval of this proposed Option 1 because it meets these design guidelines.*

## **PUBLIC REALM**

**A4 USE UNIFYING ELEMENTS** - *Integrate unifying elements and/or develop new features that help unify and connect individual buildings and different areas.*

**A7 ESTABLISH & MAINTAIN A SENSE OF URBAN ENCLOSURE** - *Define public rights of way by creating and maintaining a sense of urban enclosure.*

### **A7-1 MAINTAIN A SENSE OF URBAN ENCLOSURE WHEN SINGLE-STORY**

**BUILDINGS ARE SET BACK** - *Maintain a sense of urban enclosure, through the use of landscaping and other means, when single story buildings are set back from the property line.*

**A8 CONTRIBUTE TO A VIBRANT STREETScape** - *Integrate building setbacks with adjacent sidewalks to increase the space for potential public use. Develop visual and physical connections into buildings' active interior spaces from adjacent sidewalks. Use architectural elements such as atriums, grand entries and large ground-level windows to reveal important interior spaces and activities.*

**B1 REINFORCE AND ENHANCE THE PEDESTRIAN SYSTEM** - *Maintain a convenient access route for pedestrian travel where a public right-of-way exists or has existed. Develop and define the different zones of a sidewalk. Develop pedestrian access routes to supplement the public right-of-way system through superblocks or other large blocks.*

**B2 PROTECT THE PEDESTRIAN** - *Protect the pedestrian environment from vehicular movement. Develop integrated identification, sign and sidewalk-oriented night-lighting systems that offer safety, interest and diversity to the pedestrian. Incorporate building equipment, mechanical exhaust routing systems, and/or service areas in a manner that does not detract from the pedestrian environment.*



**B3-1 REDUCE WIDTH OF PEDESTRIAN CROSSINGS** - *Where possible, extend the sidewalk curbs at street intersections to narrow pedestrian crossings for a safer pedestrian environment.*

**B4 PROVIDE STOPPING AND VIEWING PLACES** - *Provide safe, comfortable places where people can stop, view, socialize, and rest. Ensure that these places do not conflict with other sidewalk issues.*

**B5 MAKE PLAZAS, PARKS & OPEN SPACE SUCCESSFUL** - *Orient building elements such as main entries, lobbies, windows, and balconies, to face public parks, plazas and open spaces. Where provided, integrate water features and/or public art to enhance the public open space. Develop locally-oriented pocket parks that incorporate amenities for nearby patrons.*

**C3 RESPECT ARCHITECTURAL INTEGRITY** - *Respect the original character of an existing building when modifying the exterior. Develop vertical and horizontal additions, that are compatible with the existing building, to enhance the overall proposal's architectural integrity.*

**C3-1 ENHANCE EXISTING THEMES IN THE DISTRICT** - *Look to buildings throughout the district for contextual precedent. Innovation and creativity are encouraged in design proposals which enhance the overall district character.*

**C6 DEVELOP TRANSITIONS BETWEEN BUILDINGS & PUBLIC SPACES** - *Develop transitions between private development and public open space. Use site design features such as movement zones, landscape elements, gathering places, and seating opportunities to develop transition areas where private development directly abuts a dedicated public open space.*

**C11 INTEGRATE ROOFS & USE ROOF TOPS** - *Integrate roof function, shape, surface materials, and colors with the building's overall design concept. Size and place rooftop mechanical equipment, penthouses, other components, and related screening elements to enhance views of the Central City's skyline, as well as views from other buildings or vantage points. Develop rooftop terraces, gardens, and associated landscaped areas to be effective stormwater management tools.*

## **QUALITY & PERMANENCE**

**C2 PROMOTE QUALITY & PERMANENCE IN DEVELOPMENT** - *Use design principles and building materials that promote quality and permanence.*

**C5 DESIGN FOR COHERENCY** - *Integrate the different building design elements including, but not limited to, construction materials, roofs, entrances, as well as window, door, sign, and lighting systems, to achieve a coherent composition.*

**Findings:** The NE 3rd Ave. entry gate will be framed in the same faceted expression as Block 75 Slate's window framed views and the proposed stucco finish walls along the north and south face reference the Slate's panelling. Along the south face a mural will be painted for further visual interest and pedestrian engagement and new planters and landscaping to complement the existing courtyard and screen the remaining southern facade at this location.

The proposed exterior materials, with exception of the wood materials proposed in Option 2, are high quality and low maintenance. Pre-finished, painted metal panels are used to clad the articulated garage entry on the west facade. Durable and low maintenance stucco is used along the north and south facades, with a mural and landscape screening to the south providing additional visual interest.

The existing plaza along the north property line provides a pedestrian pathway through the block connecting NE MLK to NE Third Ave and provides for gathering places to be used by the building users and retailers, offering multiple locations for people to stop, view, socialize and rest. The existing north plaza provides a variety of hard surfaces, seating and landscaped areas that create various sized spaced for intimate conversations or larger gatherings. The space is designed with integrated lighting so the plaza can be used after dark. The proposed Parking Ramp Cap will further enhance this plaza at the west end with the proposed murals and added landscaping. No change is proposed to pedestrian access.

The proposed Parking Ramp Cap completes and enhances the design of the adjacent Slate Building and site. All three visible facades are designed to provide visual connections to the existing surroundings and further engage the public realm. The entry is framed in the same faceted expression as Block 75 Slate's window framed views. The structure's height is proposed to both maximize views over the roof from the upper courtyard and provide a 10' tall garage opening. Both the north and south facades will be clad in dark stucco, with patterned reveals to reference The Slate's north facade. The south facade will include new planters and landscaping to complement the existing courtyard. Additionally, a mural will be painted along the south face of the new structure to further enhance the overall design and pedestrian engagement.

The existing ROW and plaza are maintained, with the new Parking Ramp Cap further defining the public right of way along NE 3rd Avenue and enhancing the existing open/through block connection. The garage ramp access, to increase pedestrian safety and vehicular movement, proposed two options:

1. Option 1 – garage door. This option provides secure access via a highspeed garage door at the SE 3<sup>rd</sup> Avenue property line. The enclosure of the street edge with a garage door that includes translucent glazing is appropriate and consistent with the pattern and approval of other zero-property line parking and loading door access points through the Central City. In fact, previously unsecured parking garage entries throughout the Central City have been recently requesting to add a garage door to secure the property. The proposed Option 1 has approval from the Portland Bureau of Transportation as well, and meets the design guideline approval criteria. As an option is proposed for no garage door [Option 2 below], a Condition of Approval for a zero-property line garage door will be required to meet these approval criteria above.
2. Option 2 – no garage door. This option leaves the garage ramp open and unsecured from the street, creates an unsafe condition for pedestrians at the

sidewalk, and is atypical to most all urban parking and loading access points to underground vehicle access throughout Central City. For these reasons the proposed Option 2 for no garage door does not meet the relevant approval criteria and Staff recommends denial of this option.

*Staff recommends Denial of the Option 2 – no garage door because it does not meet the design guidelines.*

*With the Condition of Approval that the Option 1 – garage door is provided, the Option 1 design meets these design guidelines.*

## DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

## CONCLUSIONS

The design review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. The proposal meets the applicable design guidelines and therefore warrants approval.

## TENTATIVE STAFF RECOMMENDATION

**Approval** for a revised design for the Slate Building parking ramp cap enclosure which includes:

- Stucco clad CMU walls along the north and south façade that replicate the patterning of Block 75 Slate's panelized facade.
- Trellis and vine application at select panels on the south facade.
- Custom mural application [Title 4 – Original Art Mural] at the south facade.
- Faceted framed entry to the garage to match Block 75 Slate's framed elements.

**Approval** for the Option 1 design, which provides a dynamic metal open truss roof structure and high-speed garage door.

**Denial** for Option 2 to provide a simplified wood trellis roof structure with no garage door.

**Approval** per the Exhibits C-1 through C-5, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B through G must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE - Case File LU 22-122430 DZ". All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."

- B. At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.
- C. Title 4 Art Mural will be completed within 3 years of this decision per Exhibit C1.1.
- D. The dynamic metal truss cap [Option 1] will cover the entire parking accessway.
- E. A garage door will be provided.
- F. The proposed planters at the south side of the parking garage ramp cap will be irrigated to ensure the longevity of the proposed plantings.
- G. No field changes allowed.

=====

**Procedural Information.** The application for this land use review was submitted on March 14, 2022, and was determined to be complete on **September 10, 2022**.

*Zoning Code Section 33.700.080* states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on March 14, 2022.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant waived the 120-day review period, as stated with Exhibit A2. Unless further extended by the applicant, **the 120 days will expire on: September 10, 2023**.

**Some of the information contained in this report was provided by the applicant.** As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the recommendation of the Bureau of Development Services with input from other City and public agencies.

**This report is not a decision. The review body for this proposal is the Design Commission who will make the decision on this case.** This report is a recommendation to the Design Commission by the Bureau of Development Services. The review body may adopt, modify, or reject this recommendation. The Design Commission will make a decision about this proposal at the hearing or will grant a

continuance. Any new written testimony should be emailed to Tim Heron at [Tim.Heron@PortlandOregon.gov](mailto:Tim.Heron@PortlandOregon.gov). If you cannot email comments and must mail comments via USPS mail, your comments to the Design Commission can be mailed c/o the Design Commission, 1900 SW Fourth Ave., Suite 5000, Portland, OR 97201.



**Please note regarding USPS mail:** USPS mail is only received a couple times a week, and testimony must be received before the close of the record. Therefore, please mail testimony well in advance of the hearing date.

If you are interested in viewing information in the file, please contact the planner listed on this decision. The planner can provide information over the phone or via email. Please note only digital copies of material in the file are available for viewing. A digital copy of the Portland Zoning Code is available on the internet at <http://www.portlandoregon.gov/zoningcode>.

You will receive mailed notice of the decision if you write a letter received before the hearing or testify at the hearing, or if you are the property owner or applicant. This Staff Report will be posted on the Bureau of Development Services website. Look at [www.portlandonline.com](http://www.portlandonline.com). On the left side of the page use the search box to find Development Services, then click on the Zoning/Land Use section, select Notices and Hearings. Land use review notices are listed by the District Coalition shown at the beginning of this document. You may review the file on this case at the Development Services Building at 1900 SW Fourth Ave., Suite 5000, Portland, OR 97201.

**Appeal of the decision.** The decision of the Design Commission may be appealed to City Council, who will hold a public hearing. If you or anyone else appeals the decision of the Design Commission, City Council will hold an evidentiary hearing, one in which new evidence can be submitted to them. Upon submission of their application, the applicant for this land use review chose to waive the 120-day time frame in which the City must render a decision. This additional time allows for any appeal of this proposal to be held as an evidentiary hearing.

**Who can appeal:** You may appeal the decision only if you write a letter which is received before the close of the record for the hearing, if you testify at the hearing, or if you are the property owner/applicant. **Appeals must be filed within 14 days of the decision. An appeal fee of \$5,789.00 will be charged (one-half of the BDS LUS application fee for this case).**

Additional information on how to file and the deadline for filing an appeal will be included with the decision. Assistance in filing the appeal and information on fee waivers are available from the Bureau of Development Services website: <https://www.portlandoregon.gov/bds/article/411635>. Neighborhood associations recognized by the Office of Neighborhood Involvement may qualify for a waiver of the appeal fee provided that the association has standing to appeal. The appeal must contain the signature of the Chair person or other person authorized by the association, confirming the vote to appeal was done in accordance with the organization's bylaws.

Neighborhood associations, who wish to qualify for a fee waiver, must complete the Type III Appeal Fee Waiver Request for Organizations Form and submit it prior to the appeal deadline. The Type III Appeal Fee Waiver Request for Organizations Form contains instructions on how to apply for a fee waiver, including the required vote to appeal.

**Recording the final decision.**

If this Land Use Review is approved the final decision will be recorded with the Multnomah County Recorder.

- *Unless appealed*, the final decision will be recorded after **December 14, 2022** by the Bureau of Development Services.

The applicant, builder, or a representative does not need to record the final decision with the Multnomah County Recorder.

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

**Expiration of this approval.** An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Zone Change and Comprehensive Plan Map Amendment approvals do not expire.

**Applying for your permits.** A building permit, occupancy permit, or development permit must be obtained before carrying out this project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed here.
- All applicable development standards, unless specifically exempted as part of this land use review.
- All requirements of the building code.
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the city.

**The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).**

**EXHIBITS – NOT ATTACHED UNLESS INDICATED**

- A. Applicant's Statement
  - 1. Original Submittal
  - 2. 120-day waiver
  - 3. Complete and hold request
- B. Zoning Map (attached)
- C. Plan & Drawings

**DESIGN STRATEGY**

- C1.1 OPTION 1 RENDERING
- C1.2 TRELLIS OPTION 1A - 12" O.C. SPACING OPTION
- C1.3 TRELLIS OPTION 1B - 16" O.C. SPACING OPTION
- C1.4 OPTION 2
- C1.5 UTILITY PLAN
- C1.6 STORM PLANTER CROSS SECTION
- C1.7 LANDSCAPE TREE PLAN
- C1.8 LANDSCAPE PLANTING PLAN
- C1.9 PLANTING MATERIALS
- C1.10 TITLE 4 MURAL

**BUILDING DRAWINGS**

- C2.1 BUILDING PLANS
- C2.4 BUILDING ELEVATIONS
- C2.7 BUILDING SECTIONS
- C2.9 MATERIAL PALETTE
- C2.10 BUILDING DETAILS

**MATERIAL & EQUIPMENT CUT SHEETS**

- C3.1 STUCCO
- C3.4 OVERHEAD COILING DOOR (OPTION 2 ONLY)
- C3.6 METAL PANELS
- C3.8 TRELLIS
- C3.9 PLANTERS

## D. Notification information:

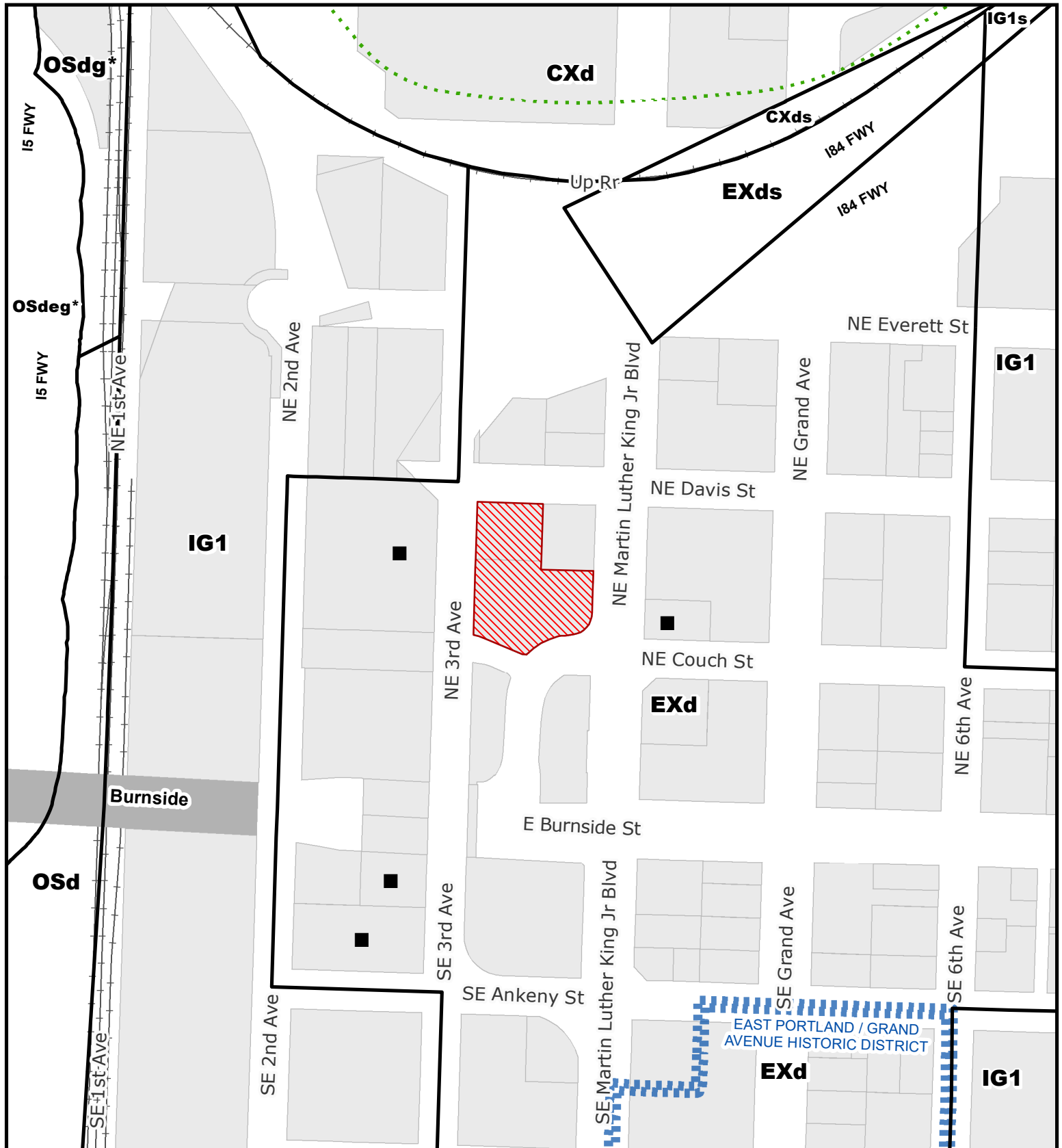
1. Request for response
2. Posting letter sent to applicant
3. Notice to be posted
4. Applicant's statement certifying posting
5. Mailed notice
6. Mailing list

## E. Agency Responses:

1. Bureau of Environmental Services
2. Bureau of Transportation Engineering and Development Review

## F. Letters – none received

1. Original LUR Application
2. Incomplete Letter



# ZONING



For Zoning Code in effect Post August 1, 2021

CENTRAL CITY PLAN DISTRICT  
CENTRAL EASTSIDE SUB DISTRICT



Site



Historic Landmark



Recreational Trails

File No.	LU 22 - 122430 DZ
1/4 Section	3030
Scale	1 inch = 200 feet
State ID	1N1E34DA 2900
Exhibit	B Mar 14, 2022





# RAMP CAP 321 NE COUCH ST

PRESENTED BY WORKS PROGRESS ARCHITECTURE

Revised Submittal: November 17, 2022

Design Review Package Draft

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C5.5    NEW DESIGN PROPSAL 2022

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C5.8    TRELLIS OPTION 1A - 16" O.C. SPACING OPTION

C5.9    NEW DESIGN PROPOSAL 2022





South Wall at Plaza

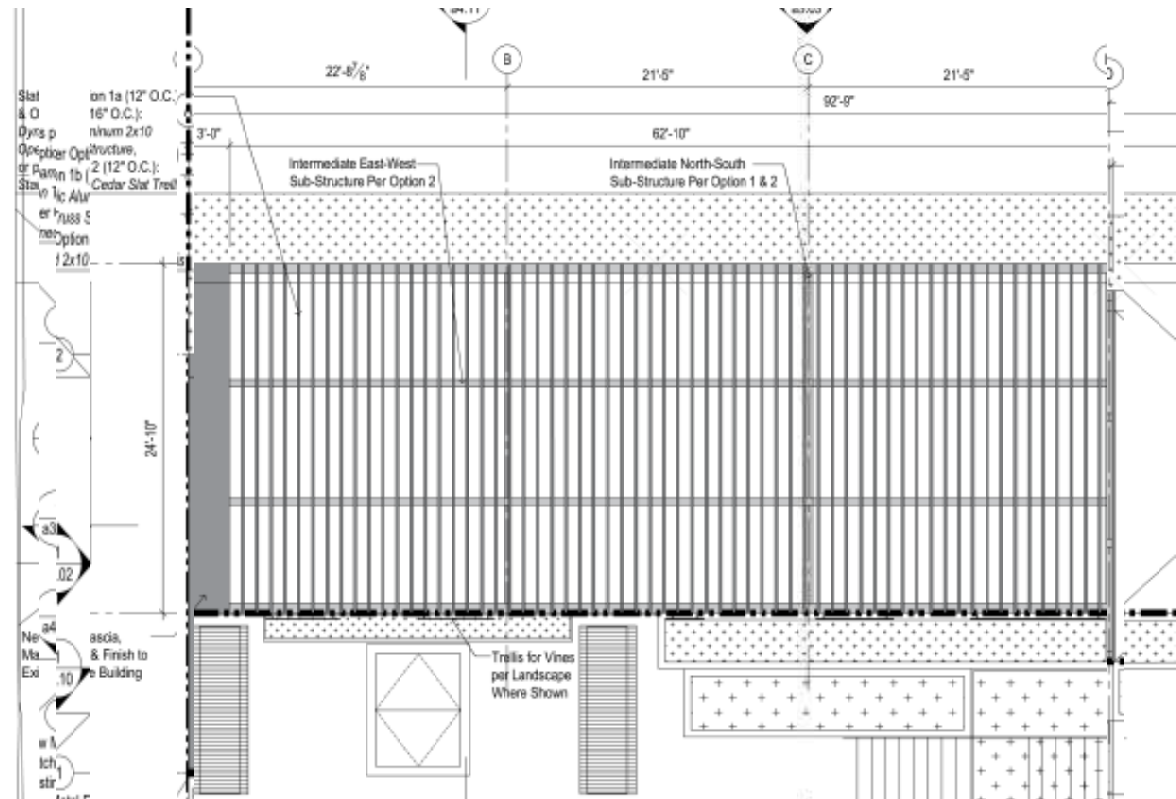
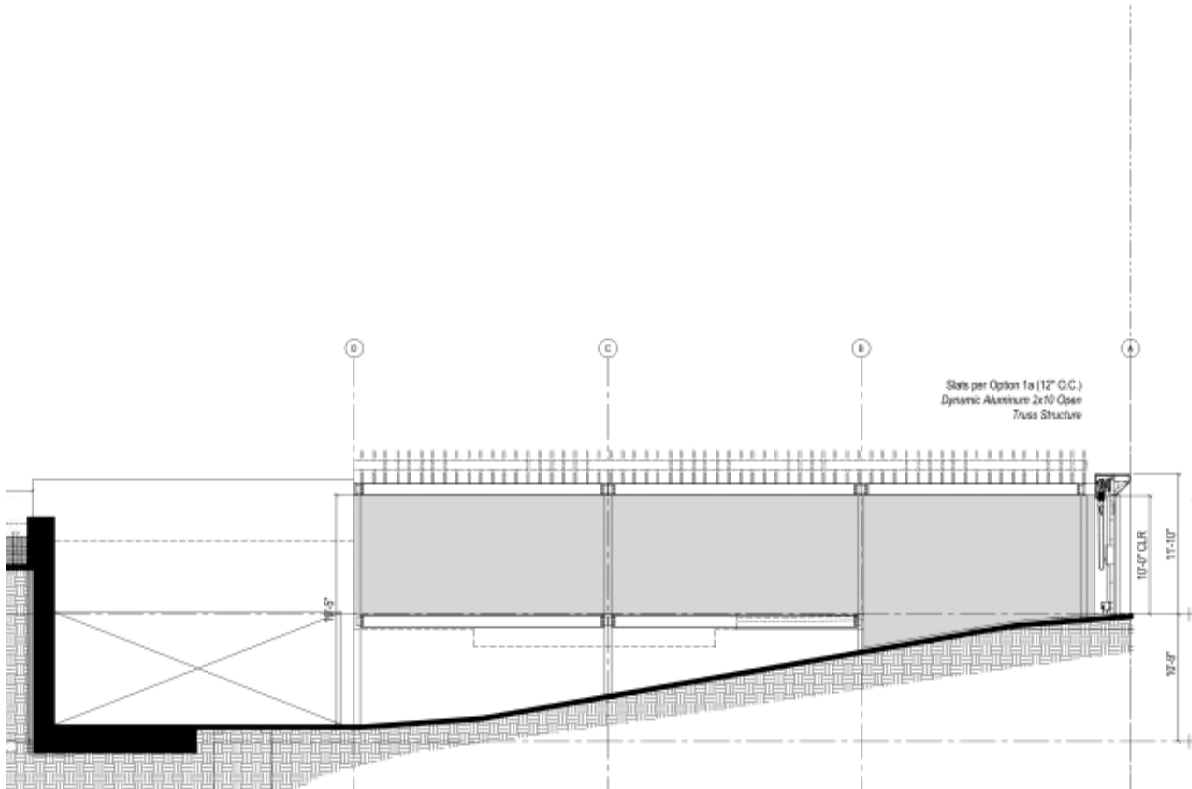


North Wall

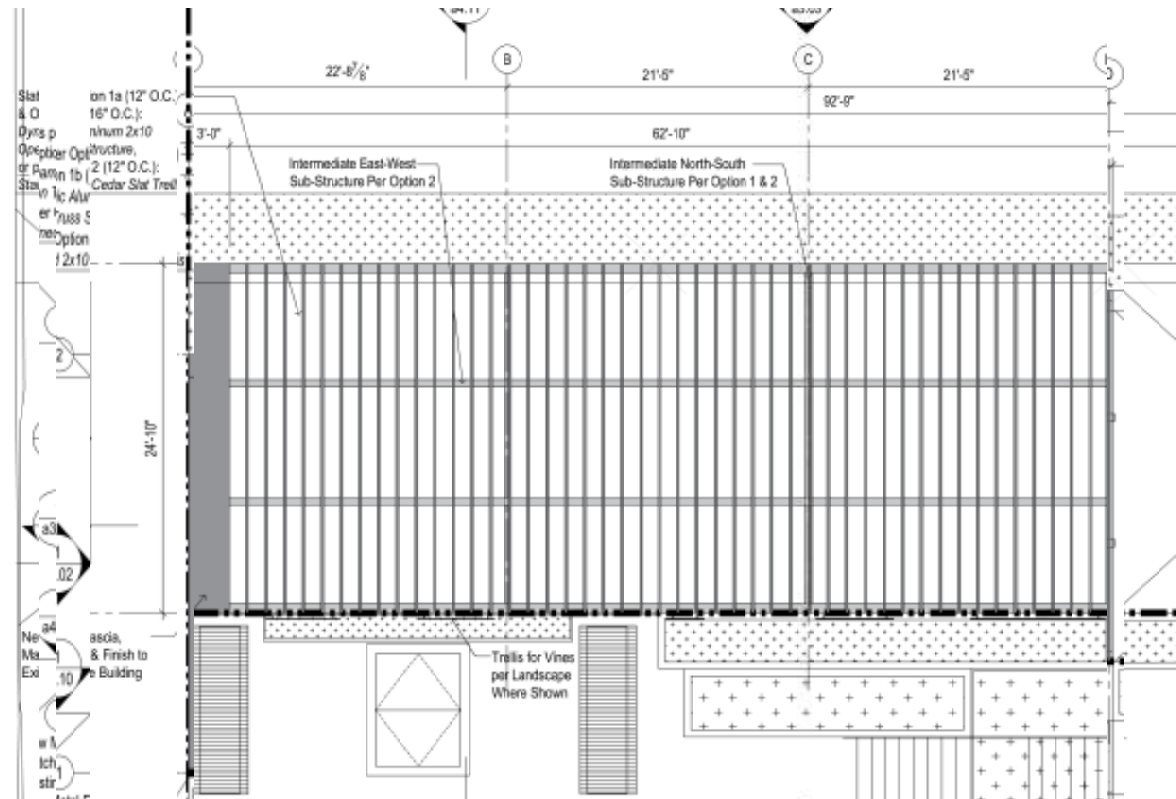
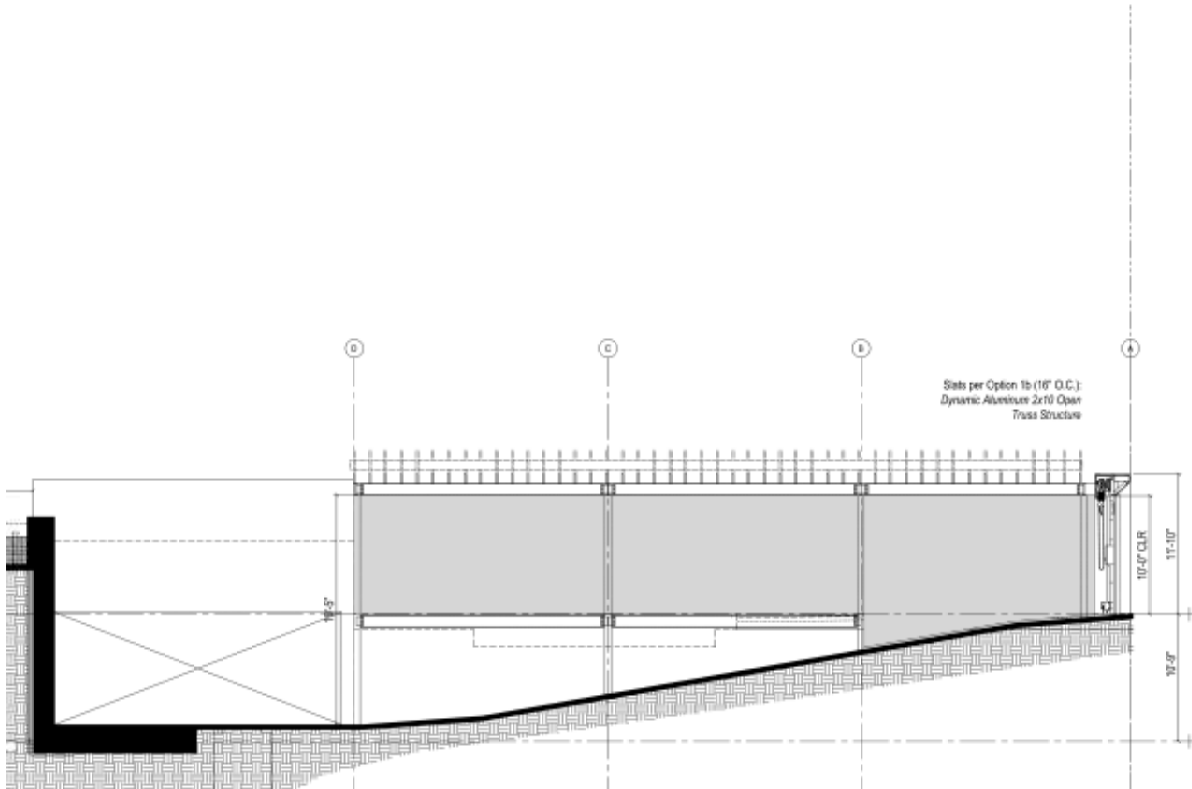


Aerial View of Driveway Cap













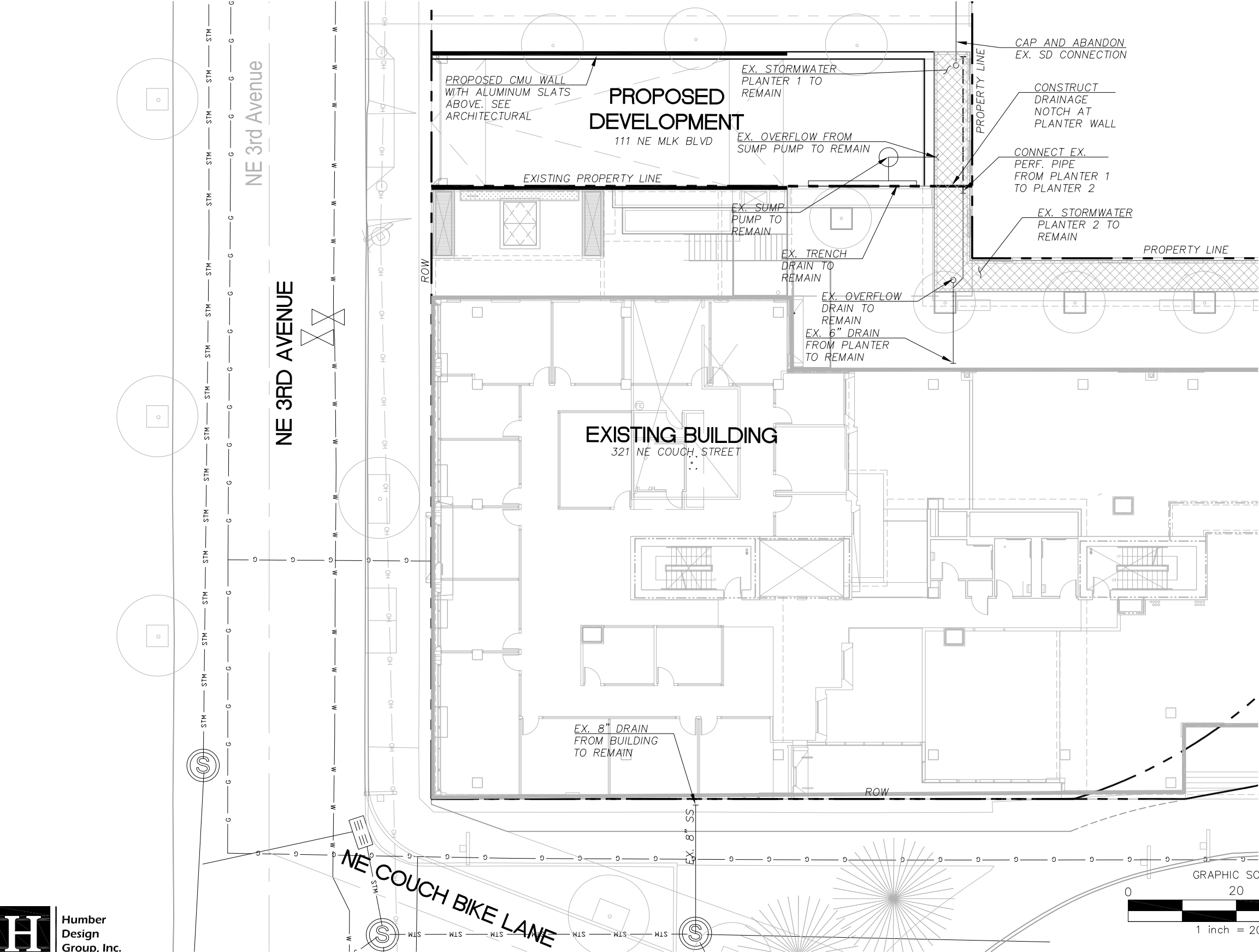
South Wall at Plaza



North Wall



Aerial View of Driveway Cap



STORMWATER NARRATIVE

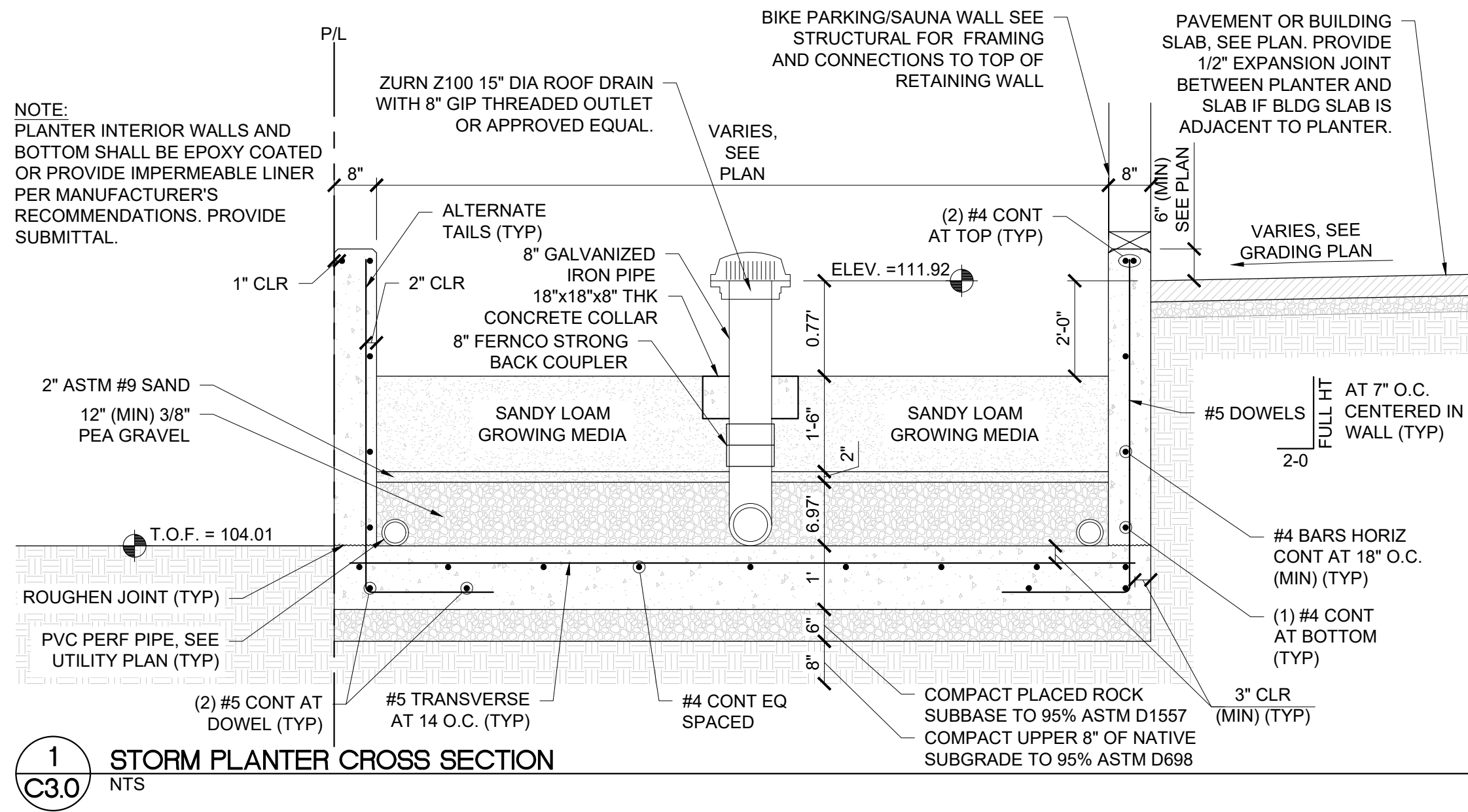
PRIVATE SITE:

STORMWATER MANAGEMENT WILL NOT BE REQUIRED FOR THE PROPOSED DEVELOPMENT BECAUSE NO NEW IMPERVIOUS SURFACE WILL BE CREATED. STORMWATER RUNOFF AT THE DRIVE WILL FALL THROUGH THE ALUMINUM SLAT STRUCTURE ABOVE AND ROUTE TO THE EXISTING TRENCH DRAIN WITH SUMP PUMP SYSTEM. THE PROJECT WILL CONTINUE TO FALL UNDER LEVEL 3 OF THE STORMWATER DISPOSAL HIERARCHY WITH OVERFLOWS FROM THE EXISTING PLANTERS DIRECTED TO THE EXISTING 21" COMBINED SEWER IN NE COUCH BIKE LANE.

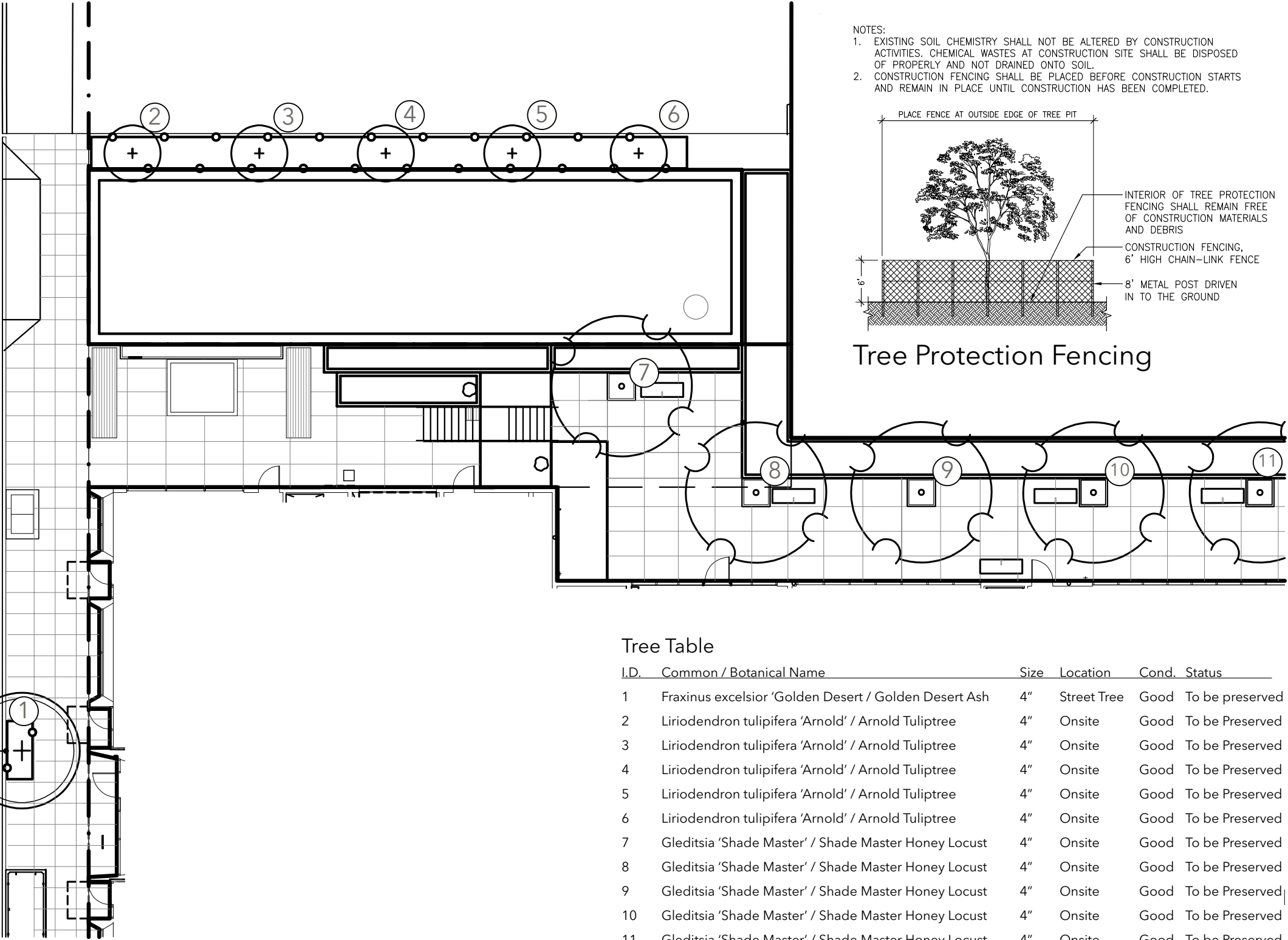
PUBLIC STREET IMPROVEMENTS:

PUBLIC FRONTAGE IMPROVEMENTS AND STORMWATER MANAGEMENT ARE NOT REQUIRED FOR THIS PROJECT.









Tree Table

I.D.	Common / Botanical Name	Size	Location	Cond.	Status
1	Fraxinus excelsior 'Golden Desert' / Golden Desert Ash	4"	Street Tree	Good	To be preserved
2	Liriodendron tulipifera 'Arnold' / Arnold Tuliptree	4"	Onsite	Good	To be Preserved
3	Liriodendron tulipifera 'Arnold' / Arnold Tuliptree	4"	Onsite	Good	To be Preserved
4	Liriodendron tulipifera 'Arnold' / Arnold Tuliptree	4"	Onsite	Good	To be Preserved
5	Liriodendron tulipifera 'Arnold' / Arnold Tuliptree	4"	Onsite	Good	To be Preserved
6	Liriodendron tulipifera 'Arnold' / Arnold Tuliptree	4"	Onsite	Good	To be Preserved
7	Gleditsia 'Shade Master' / Shade Master Honey Locust	4"	Onsite	Good	To be Preserved
8	Gleditsia 'Shade Master' / Shade Master Honey Locust	4"	Onsite	Good	To be Preserved
9	Gleditsia 'Shade Master' / Shade Master Honey Locust	4"	Onsite	Good	To be Preserved
10	Gleditsia 'Shade Master' / Shade Master Honey Locust	4"	Onsite	Good	To be Preserved
11	Gleditsia 'Shade Master' / Shade Master Honey Locust	4"	Onsite	Good	To be Preserved



Landscape Plan







Vine Maple



Jasmine



Sarcococca

LANDSCAPE NOTES

- Vines to be irrigated providing water at each plant
- Vine Selection, Star Jasmine (Trachelospermum jasminoides), is an evergreen vine that will grow well in shade and can be trained to grow over top of trellis structure
- Large "staked" plant material specified (10-15 gallon containers), so scale and pretrained vines will make impact on Day 1
- Sturdy Jakob Cable trellis structure provided for Vine to twine onto and grow up



Jakob Cable Trellis



Local Vine Application

PROJECT MURAL PROPOSED UNDER, TITLE 4 ORIGINAL ART MURALS

Chapter 4.10 Purpose

The purpose of this Title and the policy of the City of Portland is to permit and encourage original art murals on a content-neutral basis on certain terms and conditions. Original art murals comprise a unique medium of expression which serves the public interest. Original art murals have purposes distinct from signs and confer different benefits. Such purposes and benefits include: improved aesthetics; avenues for original artistic expression; public access to original works of art; community participation in the creation of original works of art; community building through the presence of and identification with original works of art; and a reduction in the incidence of graffiti and other crime. Murals can increase community identity and foster a sense of place and enclosure if they are located at heights and scales visible to pedestrians, are retained for longer periods of time and include a neighborhood process for discussion.

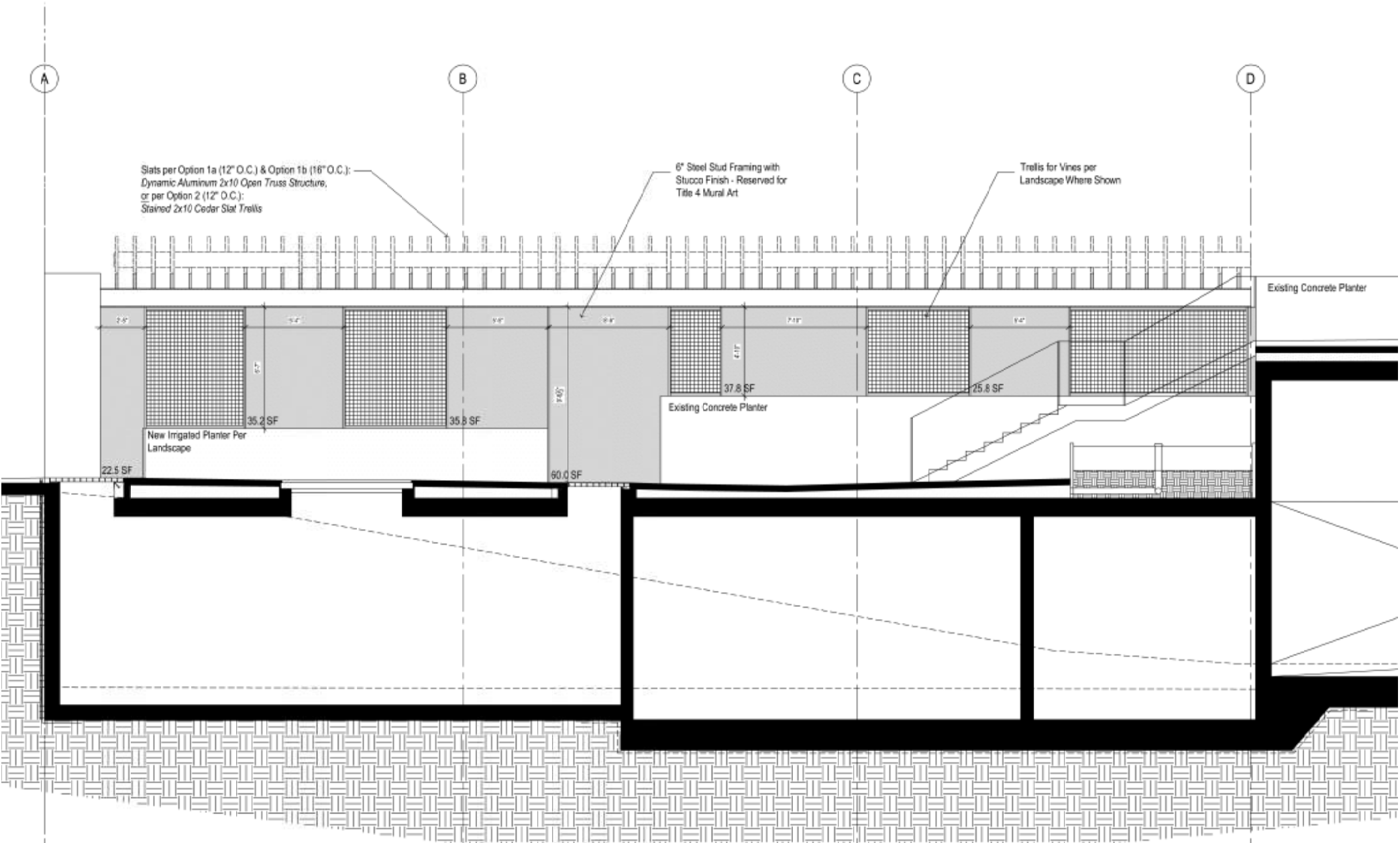
Chapter 4.20 Allowed and Prohibited Original Art Murals

(Amended by Ordinance Nos. 185915 and 189656, effective September 20, 2019.) Original Art Murals that meet all of the following criteria and which are not prohibited will be allowed upon satisfaction of the applicable permit requirements:

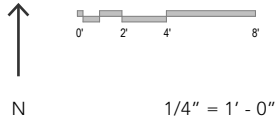
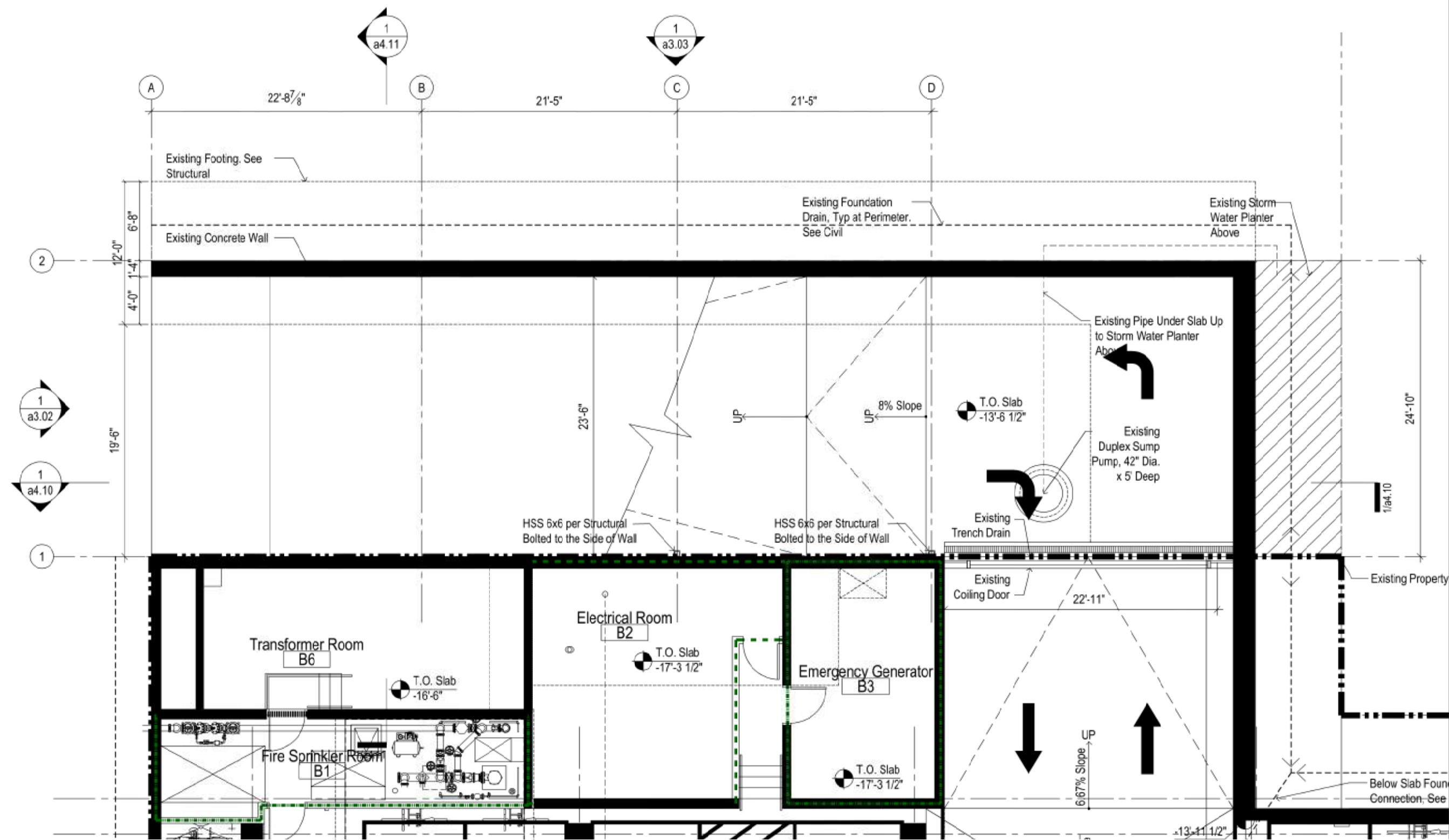
- 1. No part of the mural shall exceed 30 feet in height measured from the grade plane.
- 2. The mural shall remain in place, without alterations, for a period of 2 years, except in limited circumstances to be specified in the Bureau of Development Services Administrative Rules. The applicant shall certify in the permit application that the applicant agrees to maintain the mural in place for a period of 2 years without alteration.
- 3. The mural shall not extend more than 6 inches from the plane of the surface upon which it is tiled or painted or to which it is affixed.
- 4. In Design Overlay Zones, the mural shall meet all of the additional, objective Design Standards for Original Art Murals, as established in the Bureau of Development Services Administrative Rules.

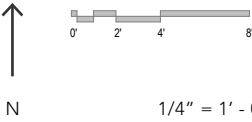
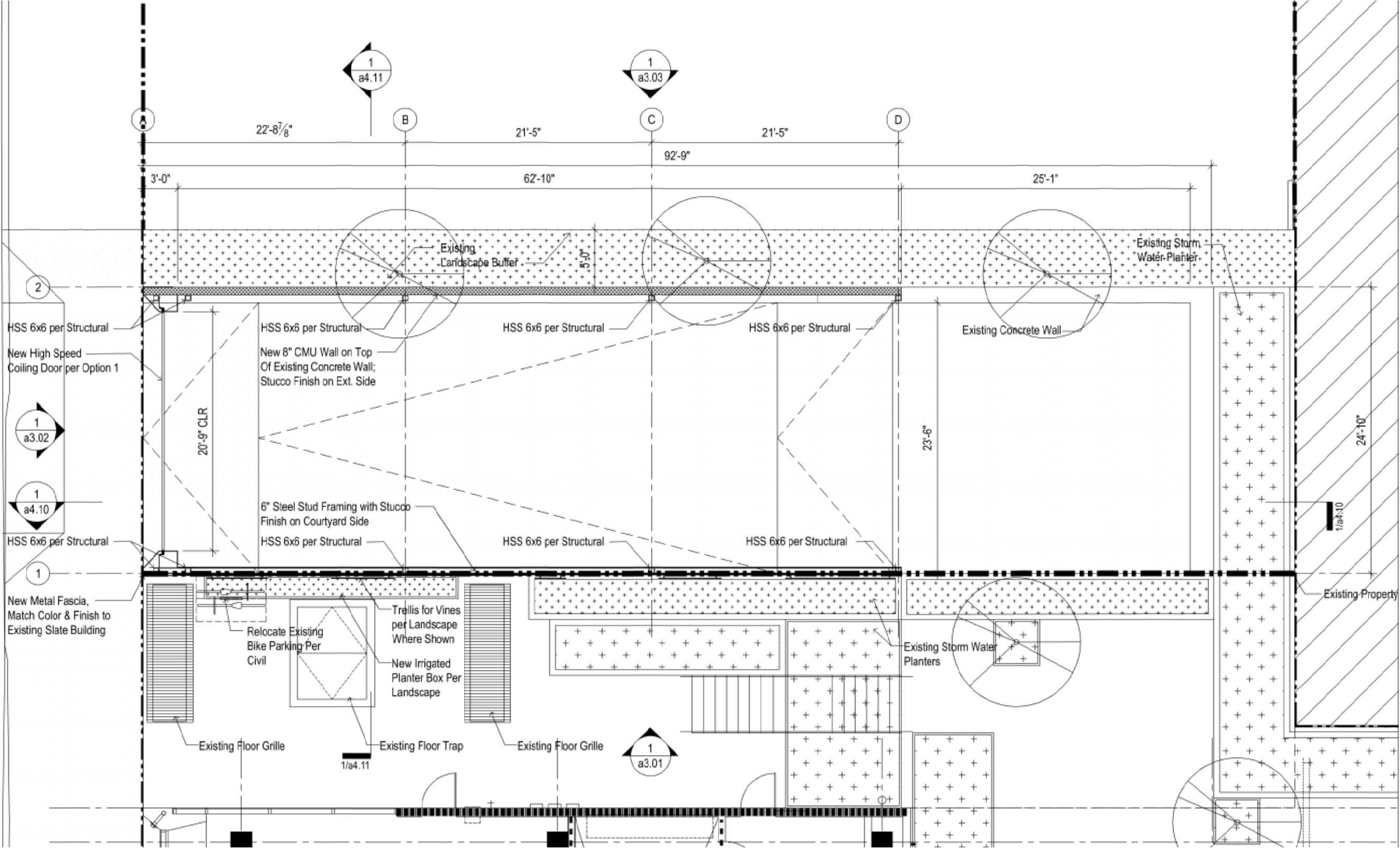
Chapter 4.30 Neighborhood Involvement Process

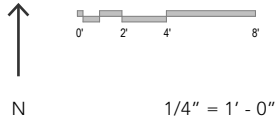
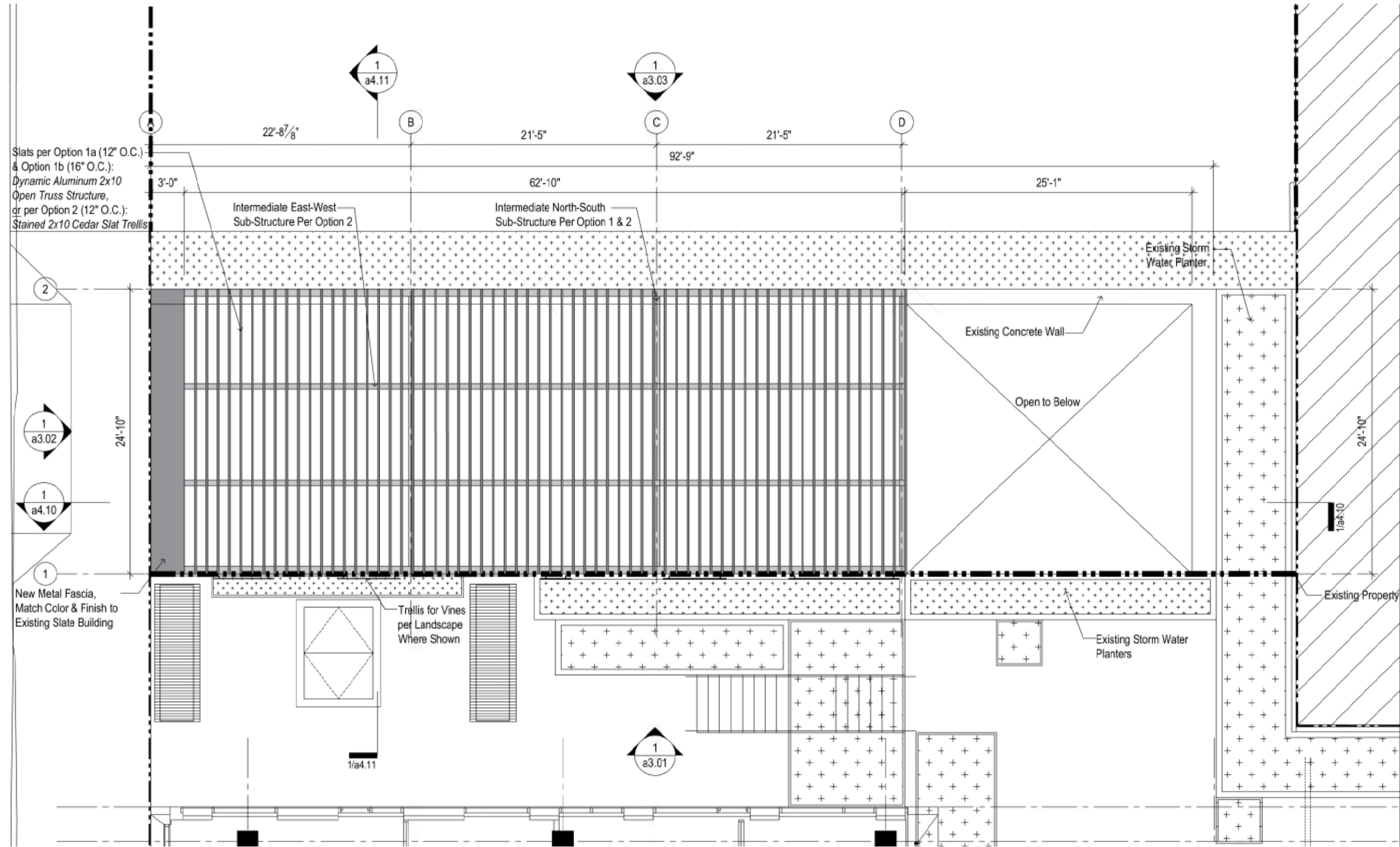
4.30.010 Establishment of Neighborhood Involvement Process for Permits. The Bureau of Development Services shall adopt through Administrative Rule a community involvement process requiring an applicant for an Original Art Mural permit to provide notice of and to hold a community meeting on the mural proposal at which interested members of the public may review and comment upon the proposed mural. No Original Art Mural permit shall be issued until the applicant certifies that he or she has completed the required Neighborhood Involvement Process. This is a process requirement only and in no event will an Original Art Mural permit be granted or denied based upon the content of the mural.

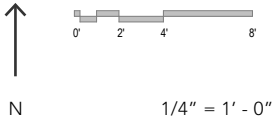
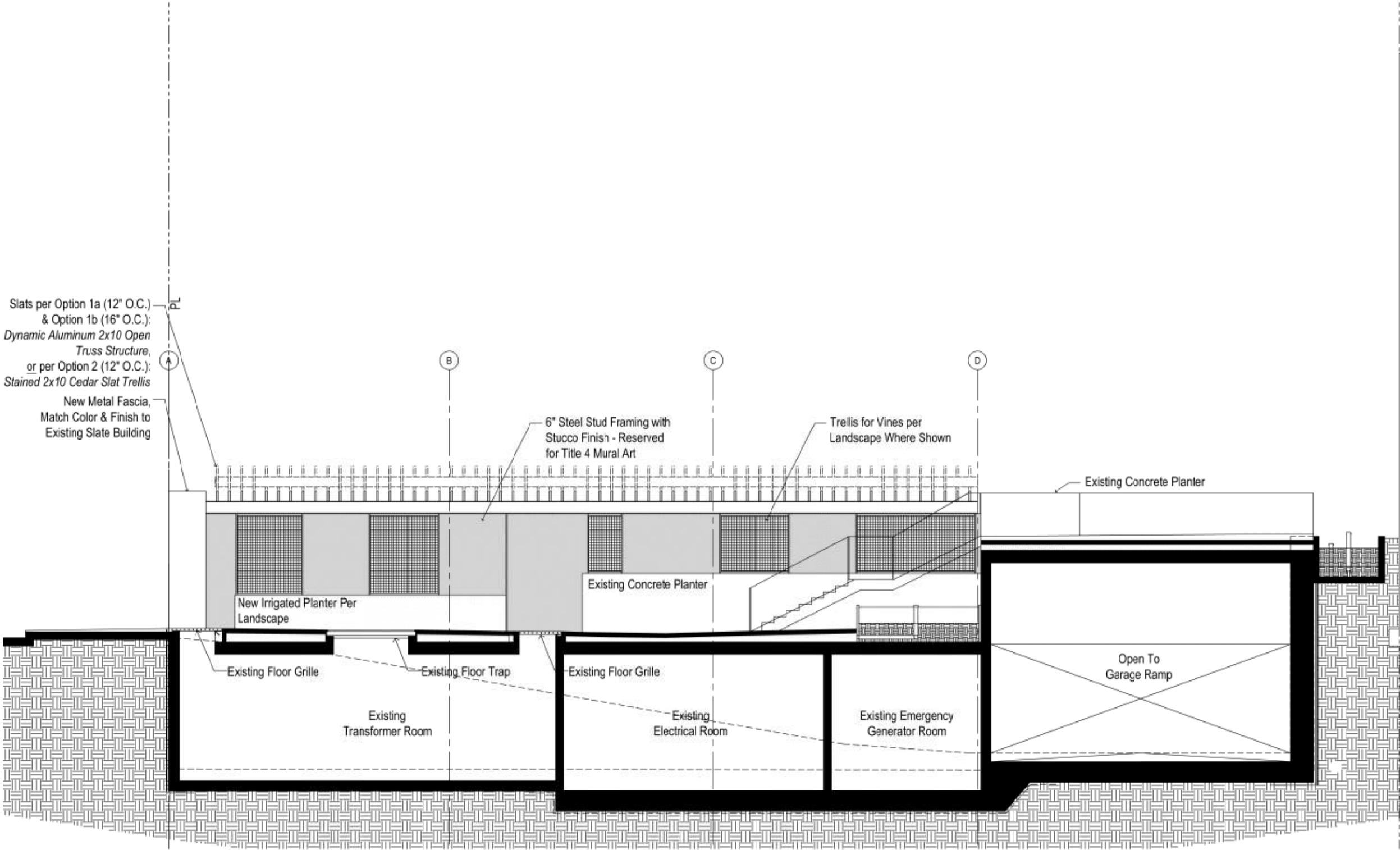




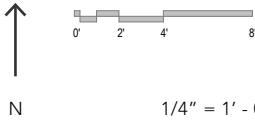
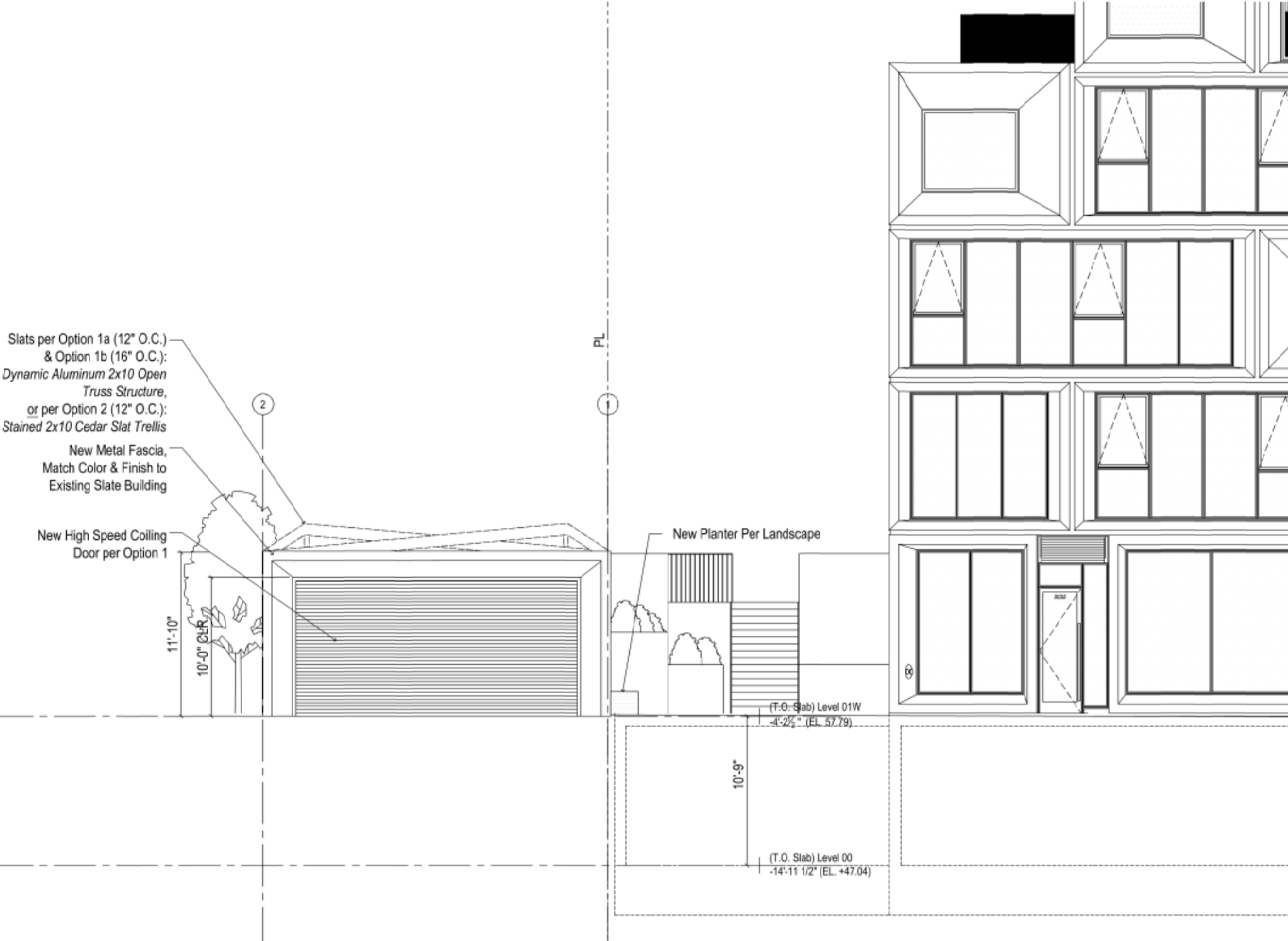


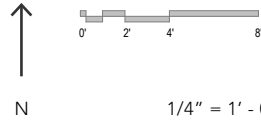
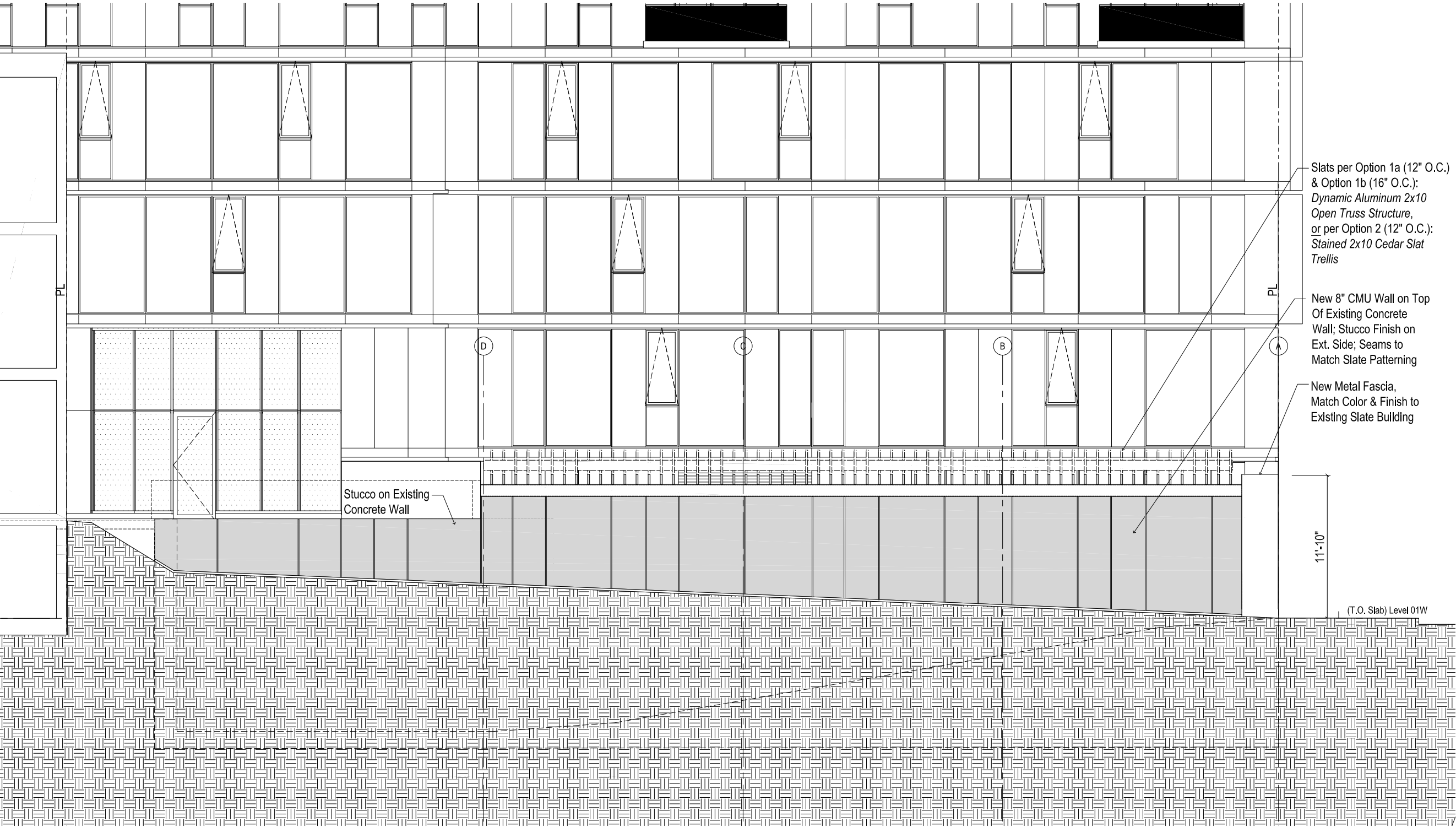


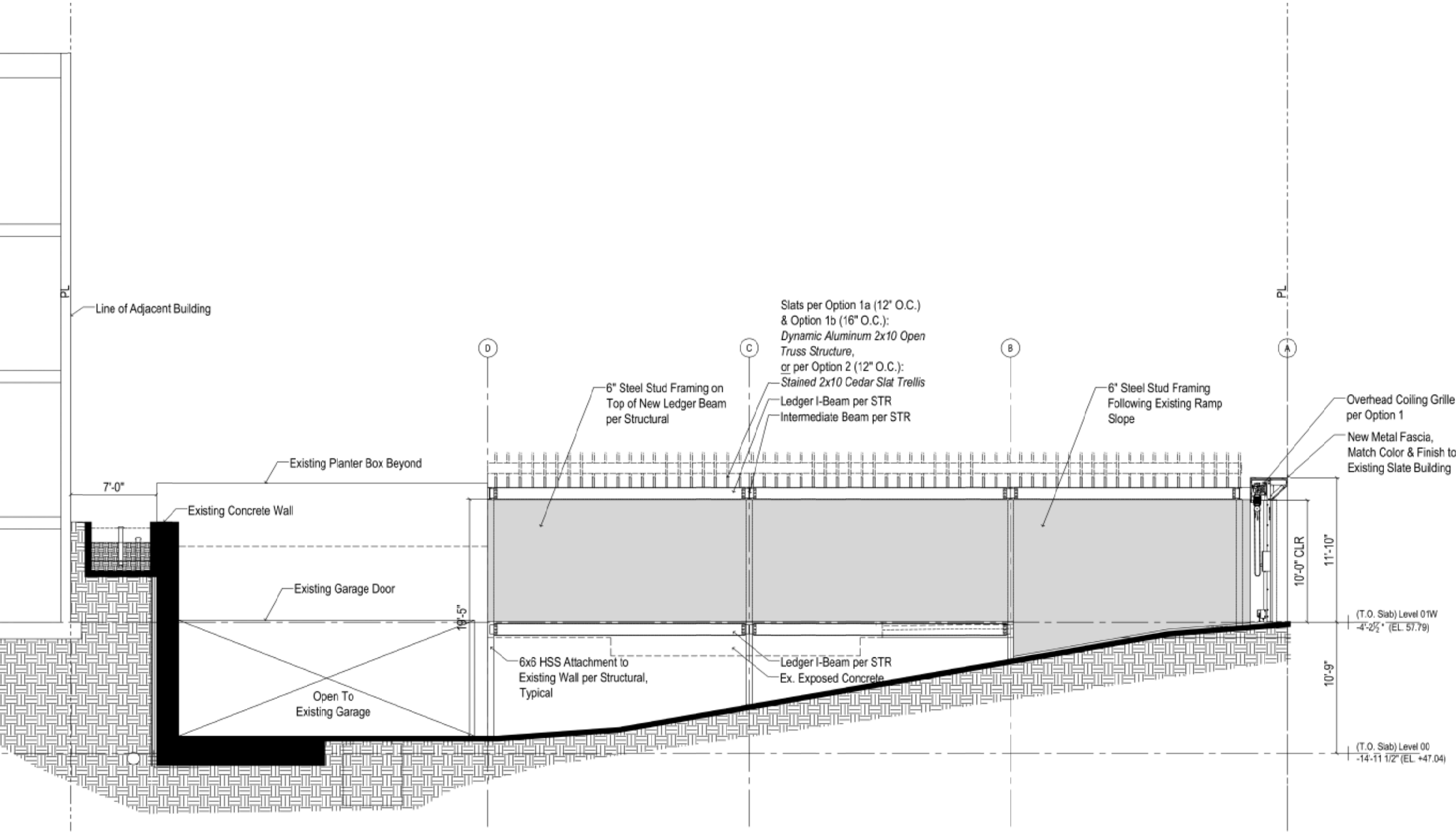


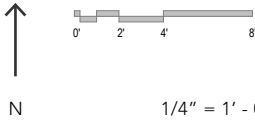
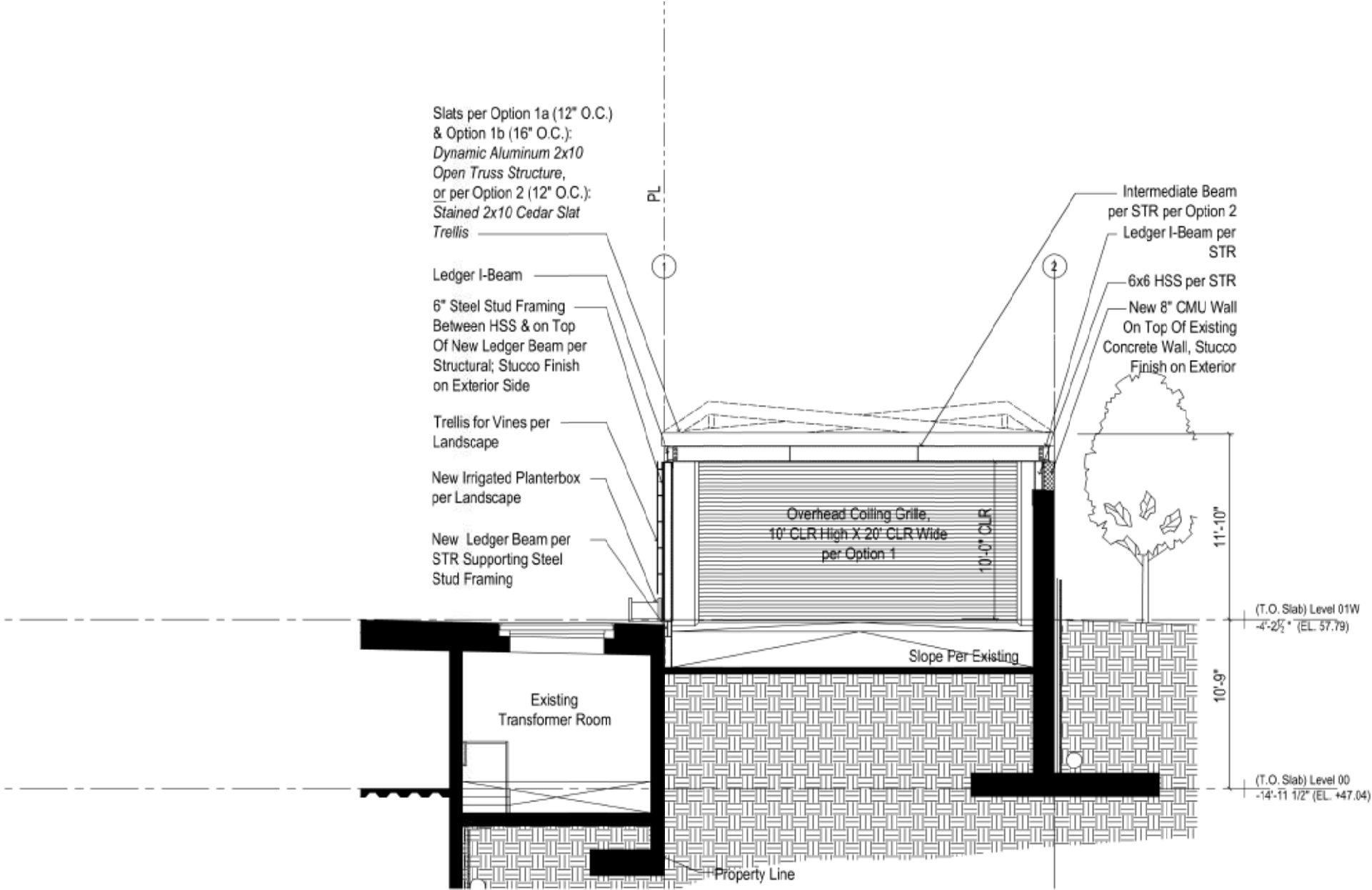












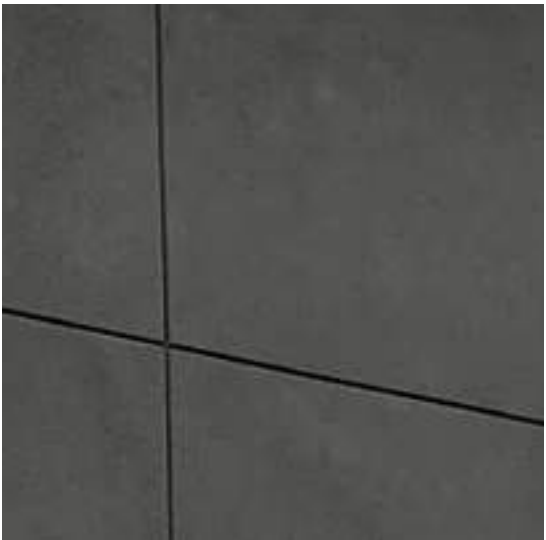




1. Trellis



2. Cedar 2x10 (Option 2)



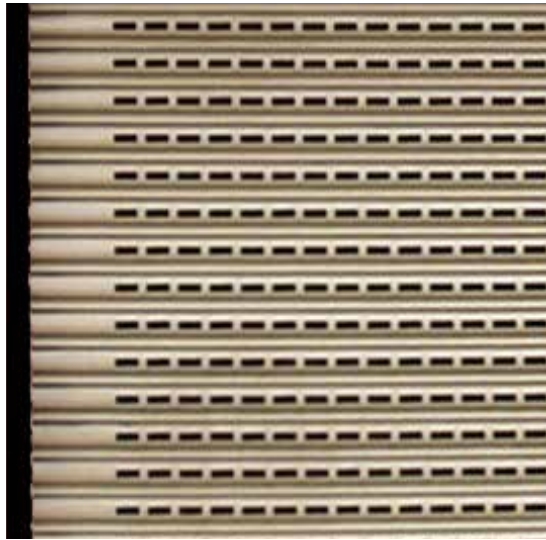
3. Stucco



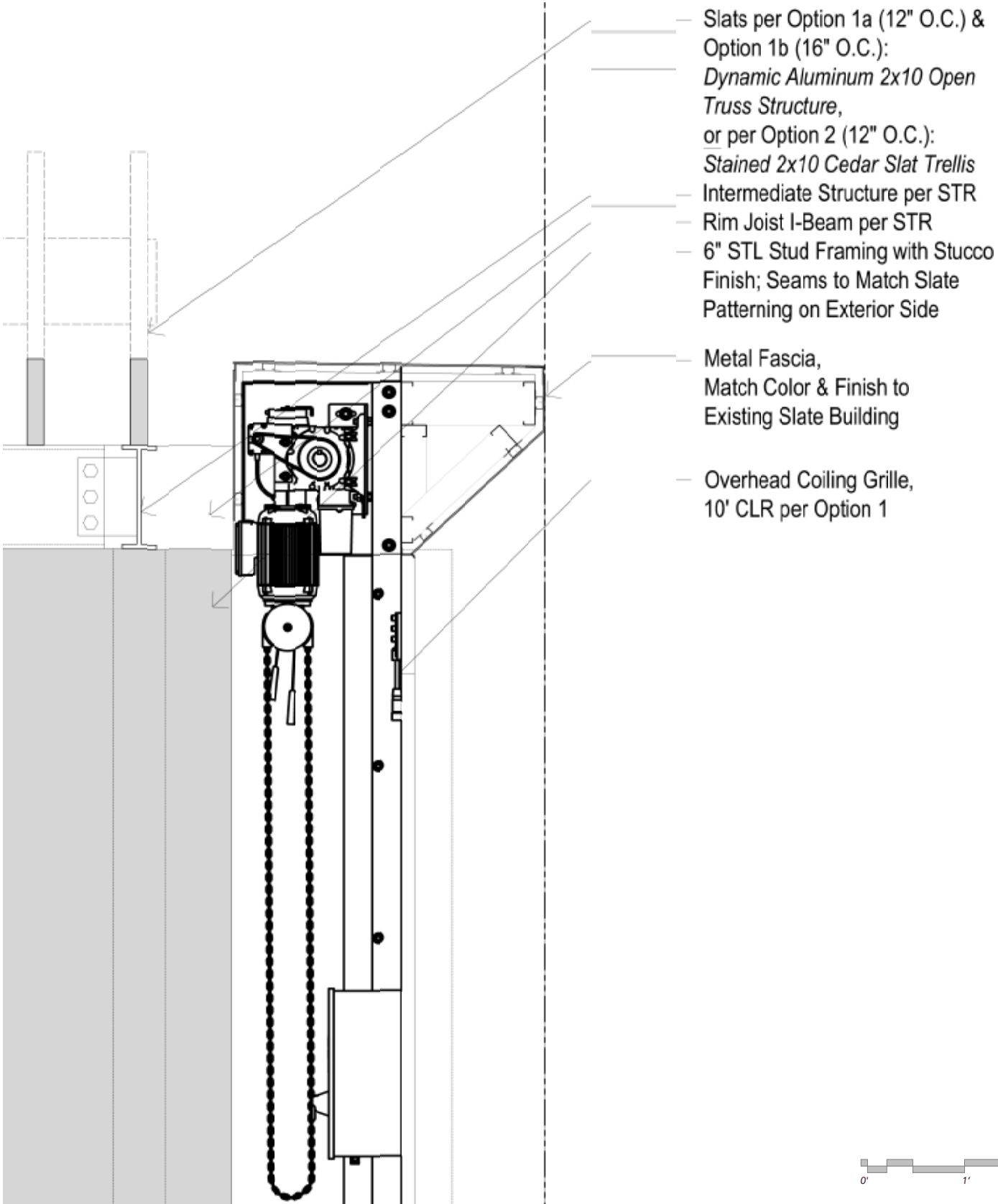
4. Slate Metal Panel  
Finish: Bone White & Dark Bronze



5. Aluminum or Steel Tubing (Option 1)



6. Garage Door  
Finish: Powder Coated Black





# Sentry Stucco Wall System with MasterSeal® 581

Direct applied fiber-reinforced hard-coat stucco system featuring MasterSeal® 581.

## System Description

Sentry Stucco is a direct applied cement plaster stucco system for concrete and CMU featuring MasterSeal 581 waterproof cement-based coating with cement plaster component applied to a thickness of up to 5/8". Optional Senergy base coat and DiamondShield™ reinforcing mesh are available for superior crack suppression. Finishes are available in a limitless color selection. Performance enhancement options include increased resistance to dirt pick-up and mildew, and specialty finishes that create stone-like, metallic or mottled stucco appearances. The system features easy installation, proven durability and low maintenance.

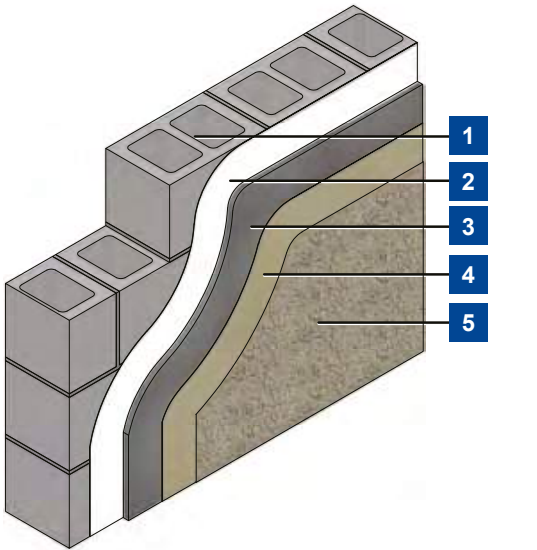
Integrated system components include MasterSeal 581, StuccoBase™/ StuccoBase Premix, optional Stucco Prime, and 100% acrylic polymer finish. Apply the system over poured concrete and unit masonry substrates.

## Uses

New or retrofit residential, institutional and commercial construction such as hotels, hospitals, retail centers, schools, multi-family apartments, condominiums, and government facilities.

## Advantages

- Resistant to impact and punctures; good for high traffic areas
- DiamondShield reinforcing mesh option further increases crack resistance
- Durable
- Susceptibility to efflorescence can be reduced by using Stucco Prime
- Additional safeguards against incidental moisture intrusion
- Direct applied removing the need for lath and mechanical fasteners
- Factory prepared StuccoBase minimizes potential site mixing errors; improves quality control
- Fire-resistive properties
- Low maintenance and life-cycle cost
- Elastomeric finish coat bridges hairline cracks
- Wide color and texture choices
- Fade-, abrasion-and dirt-resistant finishes contribute to low maintenance and life-cycle costs
- EPS shapes integrate into the system for economical architectural detailing
- Wide selection of finish textures, standard colors and unlimited custom colors



1. Concrete Masonry Units\*

2. MasterSeal 581
3. StuccoBase

4. StuccoPrime (Optional)

5. Senergy Finish Coat \*(By Others)

## Design Considerations

- The design wind load shall not exceed the system's allowable wind load as stated in applicable code reports.
- Details shall conform with Senergy Wall Systems' recommendations and shall be consistent with the project requirements.
- Expansion joints are required in the system where they exist in the substrate, where the system adjoins dissimilar construction, at changes in substrates.
- System shall terminate at expansion joints.
- Sealant joints shall be detailed and installed per sealant manufacturer's recommendations.
- A minimum 6:12 slope is required on all horizontal surfaces greater than 1" (25mm).
- Backer rod and sealant are required at door and window openings.



Sentry Stucco Wall System with MasterSeal 581  
System Summary

### Sentry Stucco Wall System with MasterSeal 581 and component performance:

TEST	METHOD	CRITERIA	RESULTS
Freeze-thaw Resistance	Per ICC-ES acceptance criteria AC-11	No sign of deleterious effects after 10 cycles	StuccoBase passed with no visible evidence of deterioration when examined under 5x magnification
Water Vapor Transmission	ASTM E96-Wet Cup	Report Value	StuccoBase 20.4 perms, MasterSeal 581 12 perms
Compressive Strength	ASTM C109	Report Value	3245 psi (22.4 MPa) average for StuccoBase
Flexural Strength	ASTM C348	Report Value	663 psi (4.57 MPa) average for StuccoBase
Surface Burning	ASTM E84	Report Value	<25 Flame Spread <450 Smoke Developed Includes MasterSeal 581, StuccoBase and Senergy Finishes
Non-Combustibility	ASTM E136	No flaming, excess temperature rise or weight loss when exposed to 1382 oF (750 oC)	Pass StuccoBase
Fire Resistance Rated Assemblies	ASTM E119	No transmission of heat greater than 250 oF above ambient; no passage of flame or hot gasses; no passage of water from hose stream test; for load bearing walls – ability to withstand load under test conditions	Does not affect rating of concrete or masonry wall
Tensile bond	ASTM D4541	Report Value	Min 150 psi, StuccoBase to MasterSeal 581

Master Builders Solutions  
Constructions Systems US, LLC  
889 Valley Park Drive  
Shakopee, MN 55379 USA

Customer Service (800) 433-9517  
Technical Service (800) 589-1336  
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## Sentry Stucco Ultra Wall System

A premium cement plaster stucco system with enhanced water management featuring Senershield-R/-RS/-VB air/water-resistive barrier.

### System Description

Senergy Sentry Stucco Ultra is a enhanced water management stucco system. The system uses Senergy liquid applied air/water-resistive barriers and Master Builders Solutions Drainage Mat to provide a premium level of protection of the sheathing and cavity against moisture and air intrusion. Optional Senergy base coat and DiamondShield reinforcing mesh are available for superior crack suppression. Senergy Sentry Stucco system offers design flexibility and aesthetic appeal.

Finishes are available in a limitless color selection. Performance enhancement options include increased resistance to dirt pick-up and mildew, and specialty finishes that create stone-like, metallic or mottled stucco appearances. Senergy Sentry Stucco Ultra has passed rigorous tests including Full-Scale Fire, Radiant Heat, Wind-Load, and Water Resistance. The system features easy installation, proven durability and low maintenance.

Integrated system components include Senershield-R/-RS or -VB, Master Builders Solutions Drainage Mat DF, PermaLath 1000 or Plaster Base, StuccoBase/ StuccoBase Premix, optional Senergy Base Coat and Reinforcing Mesh, optional Stucco Prime and Senergy Finish.

Apply the system directly to the following acceptable substrates:

- ASTM C1177 type sheathings, including DensGlass™ exterior sheathing, DensElement (as sheathing only), eXP™ sheathing, GlasRoc® sheathing, Securock™ glass-mat sheathing, Weather Defense™ Platinum sheathing, and GreenGlass® sheathing
- PermaBase™ cement-board by National Gypsum and other cement-boards (ASTM C1325 Type A Exterior)
- Untreated Exposure I or exterior plywood sheathing (grade C-D or better)
- Untreated Exposure I OSB
- Huber Zip Sheathing (sheathing only)
- Gypsum sheathing (ASTM C79/ASTM C1396)
- Poured concrete/unit masonry

### Uses

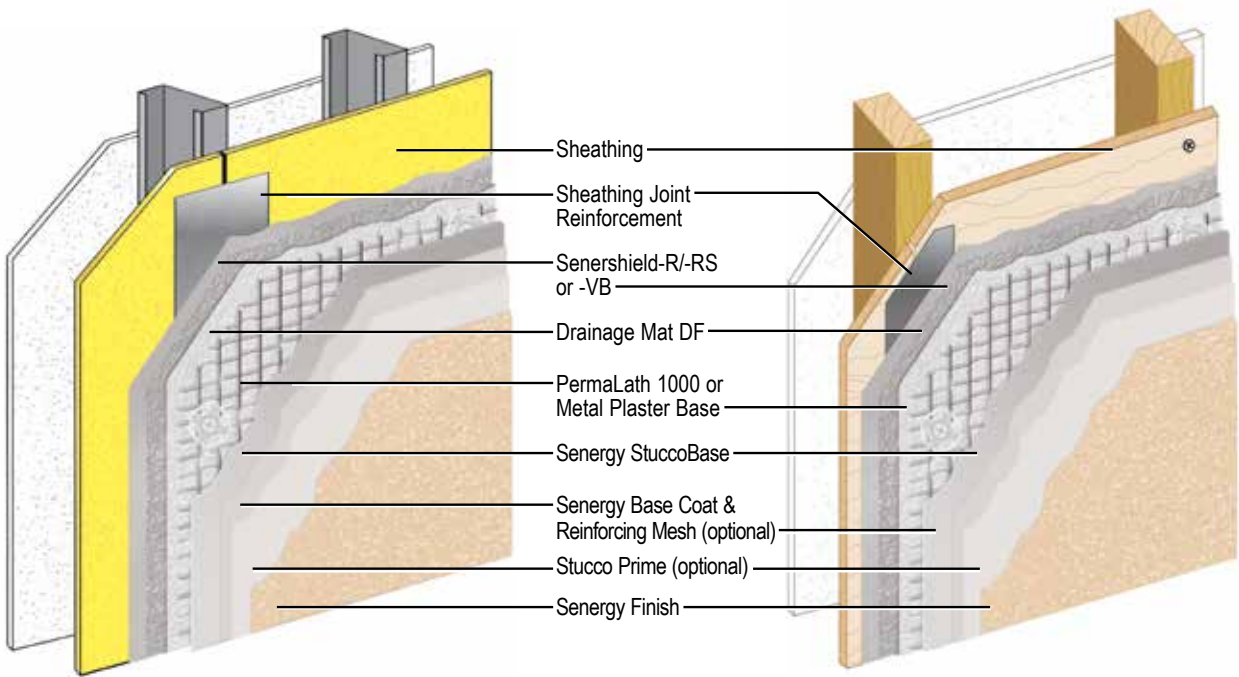
New or retrofit residential, institutional and commercial low-rise construction such as hotels, hospitals, retail centers, schools, multi-family apartments and condominiums, and government facilities.

### Design Considerations

- Maximum allowable deflection L/360
- The design wind load shall not exceed the system's allowable wind load as stated in applicable code reports.
- Details shall conform with Master Builders Solutions Wall Systems recommendations and shall be consistent with the project requirements.
- Control joints and trim accessories are required. Control joint placement is required in the Senergy Sentry Stucco Ultra Stucco Wall System every 144 ft² per ASTM C1063.
- Consult the framing and sheathing manufacturer for design and application considerations.
- Expansion joints are required in the system where they exist in the substrate, where the system adjoins dissimilar construction, at changes in substrates, at floor lines in multilevel wood frame construction, and where movement is anticipated
- System shall terminate at expansion joints.
- Sealant joints shall be detailed and installed per sealant manufacturer's recommendations
- A minimum 6:12 slope is required on all horizontal surfaces greater than 1"
- Backer rod, sealant and flashing are required at door and window openings



### Sentry Stucco Ultra Wall System



Sentry Stucco Ultra System over metal studs with ASTM C1325 or ASTM C1177 sheathing

Sentry Stucco Ultra System over wood studs with Exposure 1 or exterior plywood (Grade C/D or better) or Exposure 1 OSB sheathing

### Advantages

- Provides a drainage plane for directing incidental moisture out of the wall assembly
- Fluid applied air/water-resistive barrier provides a durable, seamless secondary moisture protection
- Three-dimensional Drainage Mat by Master Builders Solutions provides a drainage plane for maximum drainage and drying performance
- Seamless wall surface provides high resistance to potential water intrusion from rain and other environmental sources
- Available PermaLath 1000 self-furred glass fiber reinforcing lath that will not rust
- Factory prepared StuccoBase minimizes potential site mixing errors; improves quality control
- Senergy acrylic modified base coat over StuccoBase enhances water resistance performance and finish coat aesthetics
- Elastomeric finish coat bridges hairline cracks.
- DiamondShield reinforcing mesh option further increases crack resistance
- Resistant to impact and punctures; good for high traffic areas.
- Provides design flexibility with numerous design options
- Fade-, abrasion- and dirt-resistant
- Wide selection of finish textures, standard colors and unlimited custom color

### Limitations

- Susceptibility to efflorescence can be reduced by using Stucco Prime.
- Not for use below grade.



Sentry Stucco Ultra Wall System

System Testing			
Test	Method	Criteria	Results
Freeze-thaw Resistance	Per ICC-ES acceptance criteria AC-11	No sign of deleterious effects after 10 cycles	StuccoBase passed with no visible evidence of deterioration when examined under 5x magnification
Water Vapor Transmission	ASTM E96-Wet Cup	Report Value	StuccoBase 20.4 perms
Racking Load Test	ASTM E72	Report Value	Maximum load resistance 530 pounds (250 kg)
Compressive Strength	ASTM C109	Report Value	22.4 MPa (3245 psi) average for StuccoBase
Flexural Strength	ASTM C348	Report Value	4.57 MPa (663 psi) average for StuccoBase
Surface Burning	ASTM E84	Report Value	<25 Flame Spread <450 Smoke Developed Includes PermaLath 1000, StuccoBase, and Senergy Finishes
Non-Combustibility	ASTM E84	No flaming, excess temperature rise or weight loss when exposed to 750 °C (1382 °F)	Pass StuccoBase with PermaLath 1000 or metal plaster base
Fire Resistance Rated Assemblies	ASTM E119	No transmission of heat greater than 250 °F above ambient; no passage of flame or hot gasses of water from hose stream test; for loadbearing walls – ability to withstand load under test conditions	1 Hour Rated Assemblies': <ul style="list-style-type: none"><li>• Load bearing wood stud wall with 10.9 mm (7/16") OSB and 9.5 mm (3/8") StuccoBase</li><li>• Load bearing wood stud wall with 16 mm (5/8") Type X gypsum sheathing and 9.5 mm (3/8") StuccoBase</li><li>• Load bearing wood stud wall with 10.9 mm (7/16") OSB, PermaLath 1000 &amp; 12.7 mm (1/2") StuccoBase</li><li>• (from inside only)</li><li>• Non-load bearing stell framed wall with 16 mm (5/8") Type X gypsum sheathing, PermaLath 1000 &amp; 12.7 mm (1/2") StuccoBase</li></ul>

Reference Intertek Evaluation Reports CCRR-0230 and CCRR-0249

Sentry Stucco Ultra Wall System

General Air/Water-Resistive Barrier Minimum Performance			
Test	Method	Criteria	Results
Water-resistive barrier coatings used under EIFS	ASTM E2570		Meets all performance requirements
Air Leakage of Air Barrier Assemblies	ASTM E2357	0.2 l/(s.m²) @75 Pa (0.04 cfm/ft² @ 1.57 psf	0.0007 l/s.m² (0.0001 cfm/ft²) @ 75 Pa (1.75 psf) positive / post conditioning 0.0014 l/s.m² (0.0003 cfm/ft²) @ 75 Pa (1.57 psf) negative / post conditoning
Air Permeance of Building Materials	ASTM E2178	0.2 l/(s.m²) @ 75 Pa (0.004 cfm/ft² @ 1.75 psf)	0.0049 l/s.m² @ 75 Pa (0.00098 cfm/ft² @ 1.75 psf)
Rate of Air Leakage	ASTM E283		0.08185 l/s.m² @ 75 pa (0.0037 cfm/ft² @ 1.57 psf)
Water Vapor Transmission	ASTM E96	Report value	Senershield-R – 18 Perms (grains/Hr. in Hg ft²) @ 10 mils wet film thickness Senershield-RS 18 Perms (grains/Hr. in Hg. ft² @ 12 mils wet film thickness Senershield-R/RS – 14 Perms (grains/Hr. in Hg ft²) @ 20 mils wet film thickness Senershield-VB – 0.09 Perms (grains/Hr. in Hg. ft²) @ 26 mils wet film thickness
Pull-Off Strength of Coatings	ASTM D4541	Min. 110kPa (15.9 psi) or substrate failure	Pass – Tested over exterior gypsum sheathing, ASTM C1177 glass-mat sheathing, cement board, OSB, plywood; pvc and galvanized flashing
Nail Sealability (without Sheathing Fabric)	ASTM D1970	No water penetration at galvanized roofing nail penetration under 127 mm (5°) head of water after 3 days at 4 °C (40 °F)	Pass
Surface Burning	ASTM E84	Flame Spread < 25 Smoke Development < 450	Meets Class A: Flame spread = 15 Smoke developed = 95

Warranty Statement

Master Builders Solutions warrants this product to be free from manufacturing defects and to meet the technical properties on the current Product Bulletin, if used as directed within shelf life. Satisfactory results depend not only on quality products but also upon many factors beyond our control. MASTER BUILDERS SOLUTIONS MAKES NO OTHER WARRANTY OR GUARANTEE, EXPRESS OR IMPLIED, INCLUDING WARRANTIES OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE WITH RESPECT TO ITS PRODUCTS. The sole and exclusive remedy of Purchaser for any claim concerning this product, including but not limited to, claims alleging breach of warranty, negligence, strict liability or otherwise, is shipment to purchaser of product equal to the amount of product that fails to meet this warranty or refund of the original purchase price of product that fails to meet this warranty, at the sole option of Master Builders Solutions. In the absence of an extended warranty issued by Master Builders Solutions, any claims concerning this product must be received in writing within one (1) year from the date of shipment and any claims not presented within that period are waived by Purchaser. MASTER BUILDERS SOLUTIONS WILL NOT BE RESPONSIBLE FOR ANY SPECIAL, INCIDENTAL, CONSEQUENTIAL (INCLUDING LOST PROFITS) OR PUNITIVE DAMAGES OF ANY KIND.

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MODELS 800 ADV/800C ADV  
ADVANCED ROLLING DOOR SYSTEM



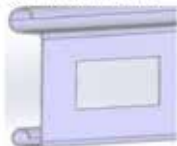
Model 800 ADV, Gray finish

HIGH TRAFFIC SOLUTION WITH LASTING DURABILITY

In today’s marketplace, security and low maintenance are key to business survival in an increasingly competitive environment.

To assist your business in driving these key initiatives, Wayne Dalton provides an advanced performance solution as an option to create a high performance environment.

No. 14 Slat Profile – Ventilated



- Available:
- Ventilated (fenestrated) flat-faced slat with 5" x 3/4" rectangular holes evenly spaced across slat - or per spec
  - Offers 16.5 to 17% open area over slat
  - Max of 20 ventilated slats per curtain
  - 20 psf maximum
  - 22, 20 or 18-gauge steel or stainless steel
  - Vision lites

RAL Powder Coat



- » RATED FOR DESIGN PRESSURE OF +/- 20 PSF
- » 3X FASTER THAN A STANDARD ROLLING STEEL DOOR
- » OPENING SPEED OF 24"/SEC, CLOSING SPEED OF 12"/SEC
- » SPRINGLESS DESIGN PROVIDES SMOOTH, RELIABLE, HIGH-CYCLE OPERATION

MODELS 800 ADV/800C ADV

STANDARD FEATURES OVERVIEW  
CONSTRUCTION

MOUNTING	Interior/exterior face-of-wall
CURTAIN	800: 3" flat slats (#14 profile), hardened powder coat (Gray, Beige, White) 22 ga. steel with alternating endlocks. 800C: 3" insulated flat slats (#34 profile), hardened powder coat (Gray, Beige, White) 22 ga. steel front/24 ga. steel backer with alternating endlocks. R-value* of 7.7; Sound Transmission Class rating of 22
MAX HEIGHT▲	20' (6,096 mm)
MAX WIDTH▲	20' (6,096 mm)
SPEED	Opening speed: 24"/sec. Closing Speed: 12"/sec
BOTTOM BAR	Two equal angles, 0.12 inch min. thickness, with wireless monitored sensing edge. Factory painted black
GUIDES	Three angle guide assembly; black
DOOR ROLL	Springless roll (steel tube with integral shafts, keyed on the drive end, supported by self-aligning greaseable sealed bearings). Door shall not require any counterbalance device
HOOD	24-gauge steel galvanized (Gray, Beige, White)
OPERATION	Direct drive, motor/gearbox/brake assembly with manual hand chain for power outages. 230V AC 3-phase is standard
CONTROL PANEL	NEMA 4X rated; variable frequency drive, self-diagnostics, timer to close programing options and non-resettable cycle counter are included
SAFETY DEVICES	Built-in brake mechanism, photoelectric sensors with commercial grade guards, wireless monitored safety edge; motor cover
WIND LOAD	+/- 20 psf standard

WARRANTY

TERMS	Five (5) year limited warranty on door system
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OPTIONS

- Actuators: loop detectors, radio control, push buttons, key switches, motion detectors, warning light, horns and strobes, second set of photoelectric sensors
- Flat insulated or non-insulated slat profile in a variety of gauges
- Vision/ventilation: 5" x 3/4" open fenestration; 5" x 3/4" acrylic vision lite
- Perimeter seals: surface guide weatherstrip, angled guide brush seal, exterior lintel weather seal, interior weather baffle
- Wind load: minimum of +/- 20 psf up to +/- 55 psf; options available to meet up to Dade County – Florida Building Commission High Velocity Hurricane Zone
- Custom color options
- Wireless accessories: pull cord station, palm station, 1-button push station, open-close-stop push button station
- Direct drive motor options available in 220/240V AC 1-phase, 460 or 575V AC 3-phase horsepower is appropriate to size and weight of door

\* Wayne Dalton uses a calculated R-value for our insulated doors.  
▲ Maximum height and width are independent of each other and may vary based on slat profile, material and gauge. Larger sizes may be available. Consult dealer for more information.

Wayne Dalton has designed the Advanced Rolling Door System with safety and security in mind.

This system comes standard with enhanced safety devices such as the built-in braking mechanism, photo eyes and wireless sensing edge. Designed for security, the curtain material is composed of interlocking metal slats, and the weight of the door coupled with the motor/gearbox/brake assembly helps deter the door from being pried open.

MATERIALS AND CONSTRUCTION

The direct drive heavy-duty gear box motor assembly requires minimum maintenance unlike conventional chain and sprocket system. Innovative springless design creates a door without a single spring to replace. The variable frequency drive system operates on a soft start and stop to hinder wear and tear on the system.

A non-resettable cycle counter tracks and displays total cycles for warranty and service and an LCD plain text read-out on the control panel indicates door actions, alarm and fault conditions in a user friendly language. These advanced diagnostics are used for fast set up and easy trouble shooting.

This door comes standard with wear-resistant powder coat technology, as well as door and guide construction that is rated for design pressure of +/- 20 psf.

Ideal applications are high cycle or high traffic areas such as public and government buildings, parking garages, police sally ports, auto dealerships, warehouses, industrial manufacturing facilities, shipping and receiving docks, airports and hospitals.

ADVANCED ROLLING DOOR SYSTEM

Advanced Rolling Doors that combines the security of regular rolling steel doors with low maintenance and high cycles of high performance doors.

- 1

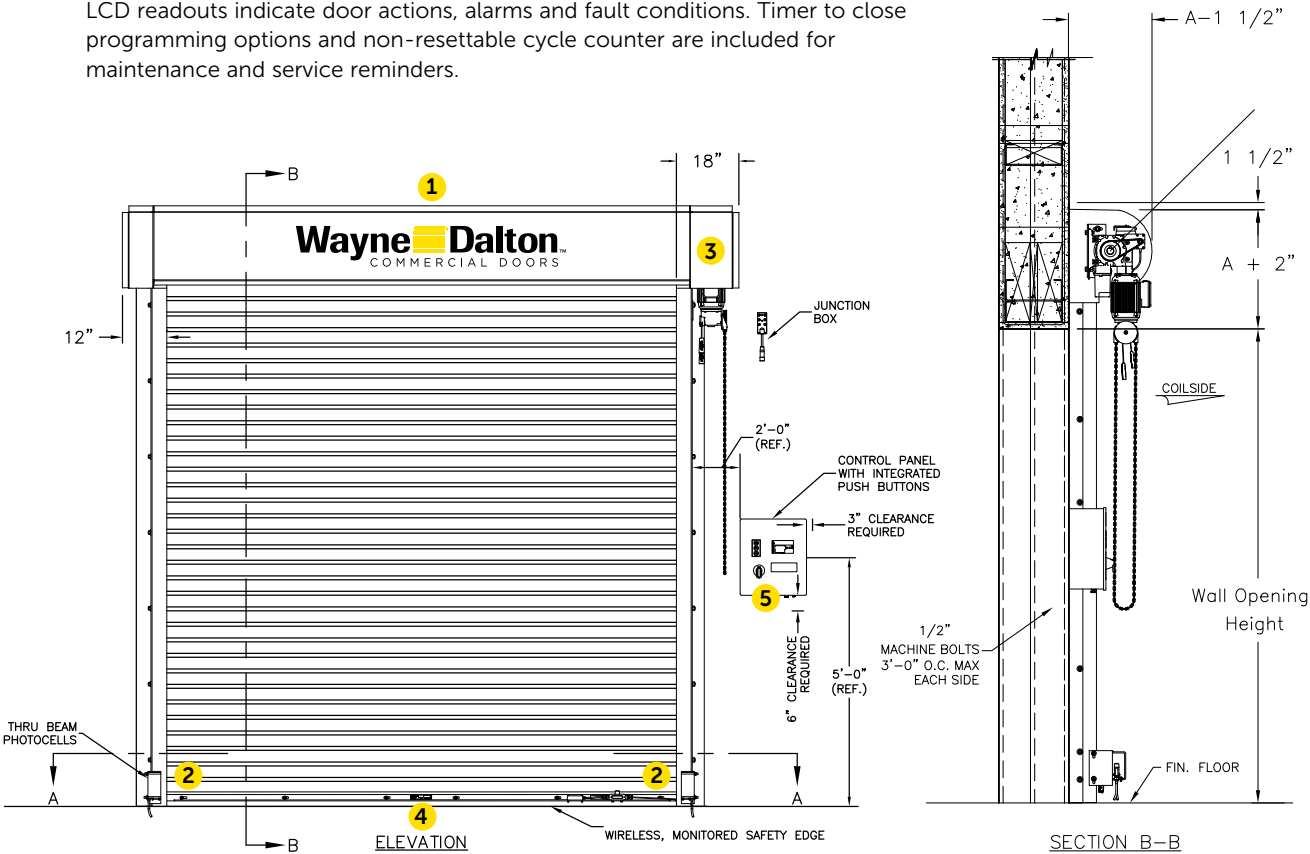
**SPRINGLESS BARREL DESIGN**  
Springless, high cycle design allows for the door system to be opened and closed frequently creating asset longevity and reliable performance over extended time without having to incur the cost of spring replacement.
- 2

**HEAVY-DUTY COMMERCIAL PHOTO EYES**  
Photoelectric sensors reverse the downward motion of the door when a person or object enters its path.
- 3

**DIRECT DRIVE HEAVY DUTY GEARBOX AND MOTOR WITH BUILT-IN BRAKING DEVICE**  
Ideal for high cycle applications. No drive chain and sprocket to adjust and maintain. Built-in braking mechanism protects against uncontrolled travel. Manual hand chain override for door operation during power loss.
- 4

**WIRELESS SAFETY EDGE**  
Wireless, monitored safety edge reverses downward motion upon impact.
- 5

**NEMA 4X CONTROL PANEL WITH BUILT-IN VARIABLE FREQUENCY DRIVE**  
Allows door to close at a slower speed than it opens to meet safety requirements. LCD readouts indicate door actions, alarms and fault conditions. Timer to close programming options and non-resettable cycle counter are included for maintenance and service reminders.





2014  
5/20/14

TECHNICAL INFORMATION SHEET

Firestone

BUILDING PRODUCTS

UNA-CLAD™ SERIES 3200

and Series 3200NR

Aluminum Plate Wall Panel System

DESCRIPTION:

The UNA-CLAD™ Series 3200 panel system is designed to utilize a .125" solid aluminum skin. The system utilizes break form fabrication with mechanically fastened extruded perimeter frame. Panels are then mounted to the wall with a custom snap on and slide attachment clip. A spline infill piece at the panel to panel joints allows for variance in color and joint size. The Series 3200 panel system is designed as a low cost water managed system that controls the impact of wind driven rain on exterior walls. The weather resistant barrier system behind the cladding allows air pressure to be transmitted through the panel system by way of vented openings in the panels, preventing wind driven rain from entering the wall cavity.

METHOD OF APPLICATION:

1.

Attachment of panels to a system of subgirts or direct attachment to a smooth, solid substrate of plywood is recommended for the Series 3200 panel.

2.

The Series 3200 panels must be installed in a sequential pattern.

3.

Application of a Firestone approved underlayment prior to panel installation is required

4.

Panel installation with the Firestone snap clip allows for thermal movement and minimizes time needed to mechanically attach clips in the field.

Note:

Follow approved shop drawing installation details.

STORAGE:

1.

Stored in a well ventilated, dry place where no moisture can contact the panels. Moisture (from rain, snow, condensation, etc.) trapped between layers of material may cause water stains or white rust, which can affect the service life of the material and will detract from its appearance.

2.

If outdoor storage cannot be avoided, protect the panels with a ventilated canvas or waterproof paper cover. Do not use plastic, which can cause condensation. Keep the material off the ground in an inclined position with an insulator such as wood, or keep panels crated. Protective film may degrade or become brittle with exposure to direct sunlight.

PRECAUTIONS:

1.

Oil canning is not a cause for rejection.

2.

Exercise caution when lifting, moving, transporting, storing or handling Firestone metal to avoid possible physical damage.

3.

Immediately remove protective film after installation.

PRODUCT DATA

Panel Type:

Aluminum Plate

Material Options:

.125", and .190" material thickness

Color:

Materials are finished after fabrication. Choose from FSMP standard colors or have unit custom painted.

Finish:

Kynar 500®/Hylar 5000™ high performance fluorocarbon resinous coatings

Optional Finish:

Anodized

Sealant:

Perimeter Sealant Dow 756 with primer or Momentive SCS2000 with primer

Clip:

Snap-On Side Clip

Substrate:

Subgirt System or Plywood

Standard Panel Surface:

Smooth

PANEL SIZE

Max Panel Width:

58" (1,473.2 mm)

Min. Panel Width:

6" (152.4 mm)

Recommended Max Panel Length:

157" (3,987.8 mm)

Min. Panel Length:

6" (152.4 mm)

2014  
5/20/14

TECHNICAL INFORMATION SHEET

Firestone

BUILDING PRODUCTS

UNA-CLAD™ SERIES 3200

and Series 3200NR

Aluminum Plate Wall Panel System

TECHNICAL INFORMATION

Air Infiltration:

ASTM E283

Water Penetration:

ASTM E331

Structural Performance:

ASTM E330

Dynamic Water Penetration:

AAMA 501.1

Pressure Equalized Rain Screen System:

AAMA 508\*\*

Florida Building Code Approved:

#FL12094

Fire Resistance:

ASTM E84 Class "A" Rating

Finish Testing Available:

Contact FSMP for Technical Information Sheets on Finishes.

\*Testing not applicable for all substrates, materials, and dimensions. All systems with test listings must be installed in accordance with assembly tested.

\*\*Testing completed using MCM skin materials.

Manufacturing Facilities:

Anoka, MN

S3200

(Routed option no subgirt shown)

S3200NR

(No return no subgirt shown)

is sheet is meant only to highlight Firestone's products and specifications. Information subject to change without notice. Firestone takes responsibility for furnishing quality materials, which meet Firestone's published product specification. As neither Firestone itself nor its representatives practice architecture, Firestone offers no opinion on, and expressly disclaims any responsibility for the soundness of any structure on which its products may be applied. If questions arise as to the soundness of a structure, or its ability to support a planned installation properly, the Owner should obtain opinions of competent structural engineers before proceeding. Firestone accepts no liability for any structural failure or for resultant damages, and no Firestone representative is authorized to vary the disclaimer.

Firestone Building Products

1001 Lund Blvd. Anoka, MN 55303

Phone: 763-576-9595 • Fax: 763-576-9596

Toll Free: 800-426-7737

http://www.firestonebpc.com

W.PA WORKS PROGRESS ARCHITECTURE, LLP

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RAMP CAP, 321 NE COUCH ST

LU-22-122430DZ

11.17.2022 | C3.6

LU 22-122430 DZ Exh G3



Firestone Building Products offers the following 31 standard colors. We can also custom color match for unique aesthetic requirements.



Stone White SR	Sky Blue SR	Teal	Regal Red SR
Bone White SR	Regal Blue	Hemlock Green SR	Brandywine SR²
Almond SR	Electric Blue*	Tropical Patina SR	Colonial Red SR
Sandstone SR	Award Blue*	Patina Green SR	Terra Cotta SR
Slate Gray SR	Extra Dark Bronze	Dark Ivy SR²	Silver Metallic SR*
Cityscape SR	Dark Bronze SR¹	Sherwood Green SR	Classic Copper SR*
Charcoal Gray SR	Medium Bronze SR	Hartford Green	Champagne Metallic*
Sierra Tan SR	Matte Black SR¹	Mansard Brown SR	

These colors represent our steel and aluminum inventories.  
All systems are not available in all colors.  
A separate color card is available for aluminum composite.

Oil canning is not a cause for rejection.  
Protective film must be removed immediately after installation.  
For a true color representation, please contact us for actual metal sample(s).

LEGEND

★ = Premium Color

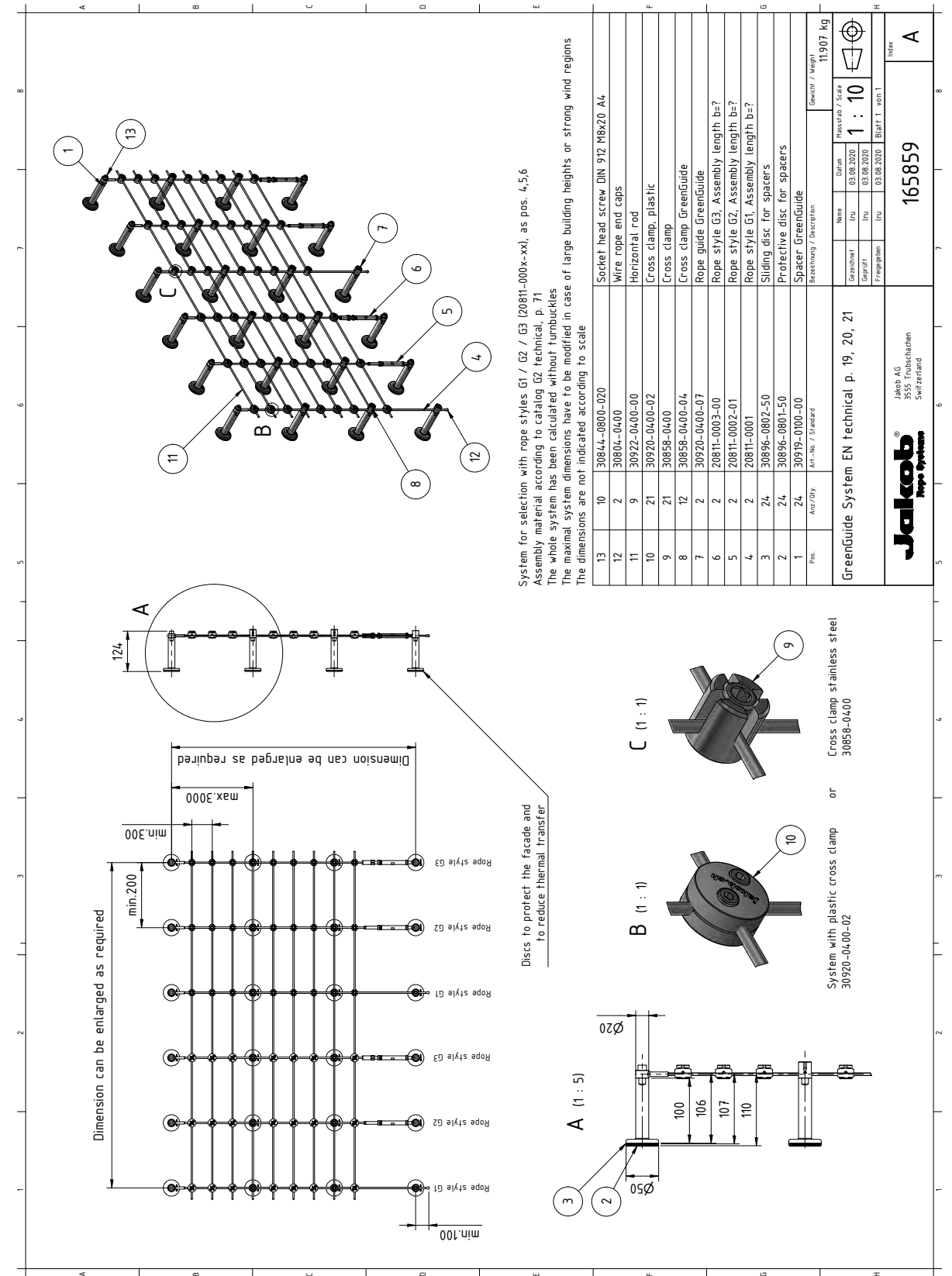
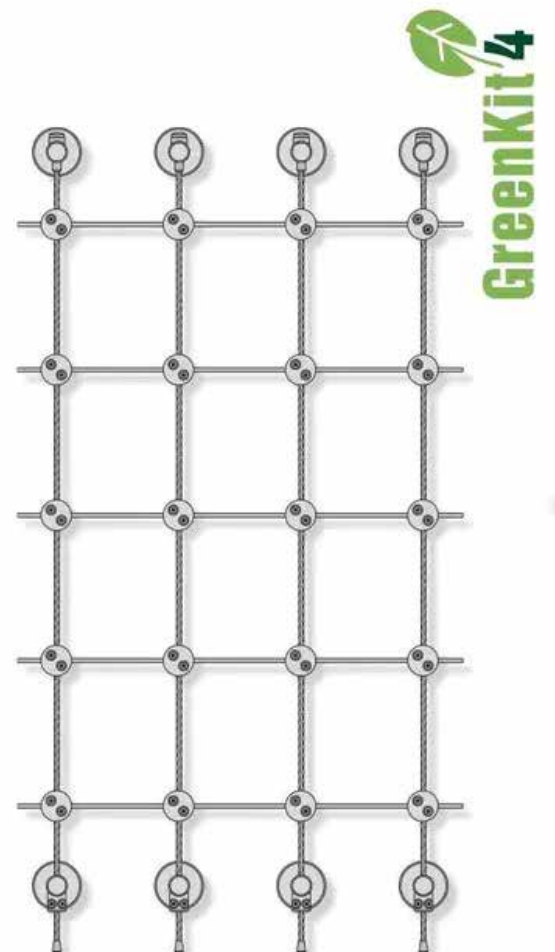
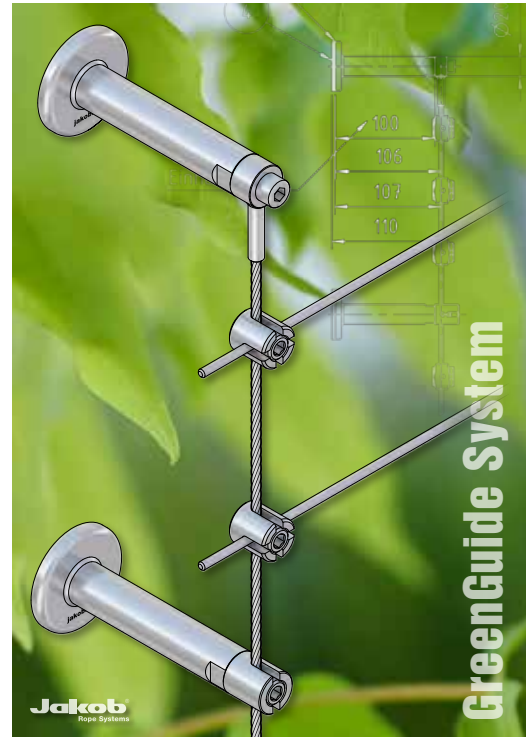
SR = Solar-Reflectant color with KYNAR finish having reflectivity of at least 0.25

SR¹ = values qualify in steel only

SR² = values qualify in aluminum only

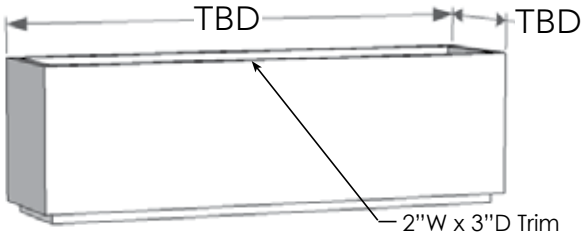
Note:  
Colors to match existing  
Slate finishes.

## MATERIAL & EQUIPMENT CUT SHEETS

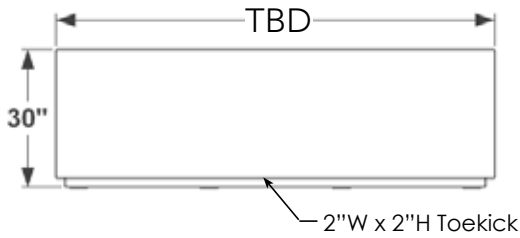


Marek Fiberglass Rectangular Planters

SKU F1-MAR-RECX



PERSPECTIVE VIEW

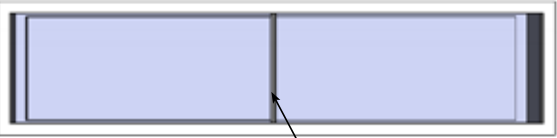


ELEVATION VIEW


- General Notes:
- 1. Locate drainage holes next to pads
  - 2. If no drain holes are requested it is assumed proper drainage will be added in the field
- Drainage: Yes\_\_\_ No\_\_\_



BOTTOM VIEW



INTERIOR VIEW

Date:	Content: Marek Rectangular Fiberglass Planter	Design by Planters Unlimited	 T:888-320-0626 F:760-598-9888
Scale: NTS	PN: F1-MAR-REC962430	All visual representations and designs are the intellectual property of Planters Unlimited and protected under copyright law. Any duplication of this design is in direct violation of the law and will result in legal action.	
DB: GGG	Color/Finish:	© Copyright 2008-2016	
CB:	Customer Approval:		
Rep:			
Order#:			

# APPENDIX

33

SITE INFORMATION

C4.1PROJECT SUMMARY

C4.2ZONING SUMMARY

C4.3EXISTING CONDITIONS & ADJACENT CONTEXT

36

PROJECT HISTORY

C5.1ORIGINAL LAND USE APPROVAL

C5.2REVISED EA DIRECTED DESIGN

C5.3NEW DESIGN PROPSAL 2022





PROJECT SUMMARY

ADDRESS: 321 NE Couch St  
PROPERTY ID #: R150027 & R150028  
STATE TAX #: 1N1E34DA 02900 &  
1N1E34DA 03200  
ALT ACCOUNT #:  
TAX ROLL:

Block 75 is a full city block located at the east end of the Burnside Bridge adjacent to the Couch Couplet; Between NE Martin Luther King Jr Blvd (MLK), NE Third Ave, NE Couch St. and NE Davis St. The existing Block 75 Slate building occupies the southern half of the block, including a generous open plaza to the north that provides an east/west through block connection. Directly north of the plaza, a mid block driveway/ open ramp is located off of NE 3rd Ave. providing access to the sub grade parking garage where loading, vehicle and bike parking for the existing building are located.

The proposed development caps the existing driveway/open ramp access at NE 3rd Ave., allowing for a fully secure and covered entry to the existing garage serving the Slate building at 321 NE Couch Ct. The new structure offers

two design options, both consisting of stucco clad CMU walls and dynamic open trellis roof structures.

Access to the garage will be provided via a framed opening in the same faceted expression as Block 75 Slate's framed views, with one option additionally including a high speed garage door.

The south facade will include new planters and landscaping, as well as a custom mural to further compliment and engage the courtyard.

ZONING CODE

Development Standards Summary

Base Zone .....	EX (Central Employment)
Overlay .....	d (Design Review)
District .....	CC (Central City)
Subdistrict .....	Central Eastside (CEID)
Base Zone FAR .....	3:1
CC FAR .....	9:1 (up to 12:1 with Transfers)
Base Zone Height .....	65 ft
CC Height .....	200 ft (Per 33.510.205 & Map 510-3)
Setbacks Required .....	0 ft to Adjacent EX zone 5 ft of Landscaping at Lot Lines Adjacent to Driveway
Building Lines .....	Required on Building Face along NE MLK Blvd
Ground Floor Windows .....	Required
Entrance Requirements .....	The main entrance must be within 25' of a transit street
Transit Streets .....	NE Couch & NE Martin Luther

ZONING MAP



VEHICLE & BIKE PARKING

Existing to Remain

Central City Parking Sector .....	Central Eastside Subdistrict, CE2
Minimum .....	No Minimum
Max .....	No Maximum
Vehicle Spaces Provided .....	48 + 2 ADA
No CCPR Required for up to 60 spaces on the site designated for allowed use.	
Loading Required .....	One Standard A
Loading Provided .....	Two Standard B Through Previous Modification

BIKE PARKING

	Residential	Office	Retail	TOTAL
Long Term Spaces .....	113	2	2	117
Short Term Spaces .....	4	2	2	8

LOADING

Loading Required .....	One Standard A Space, 35ftx10ft with clearance of 13 ft.
Loading Provided .....	Two Standard B Through Previous Modification



SITE INFORMATION



Neighborhood View looking south from NE MLK Blvd.

C4.3 EXISTING CONDITIONS & ADJACENT CONTEXT



Neighborhood View looking west from NE Davis St.



Neighborhood View looking south from NE 3rd Ave.



Site view looking east from NE 3rd Ave down drive/ramp.

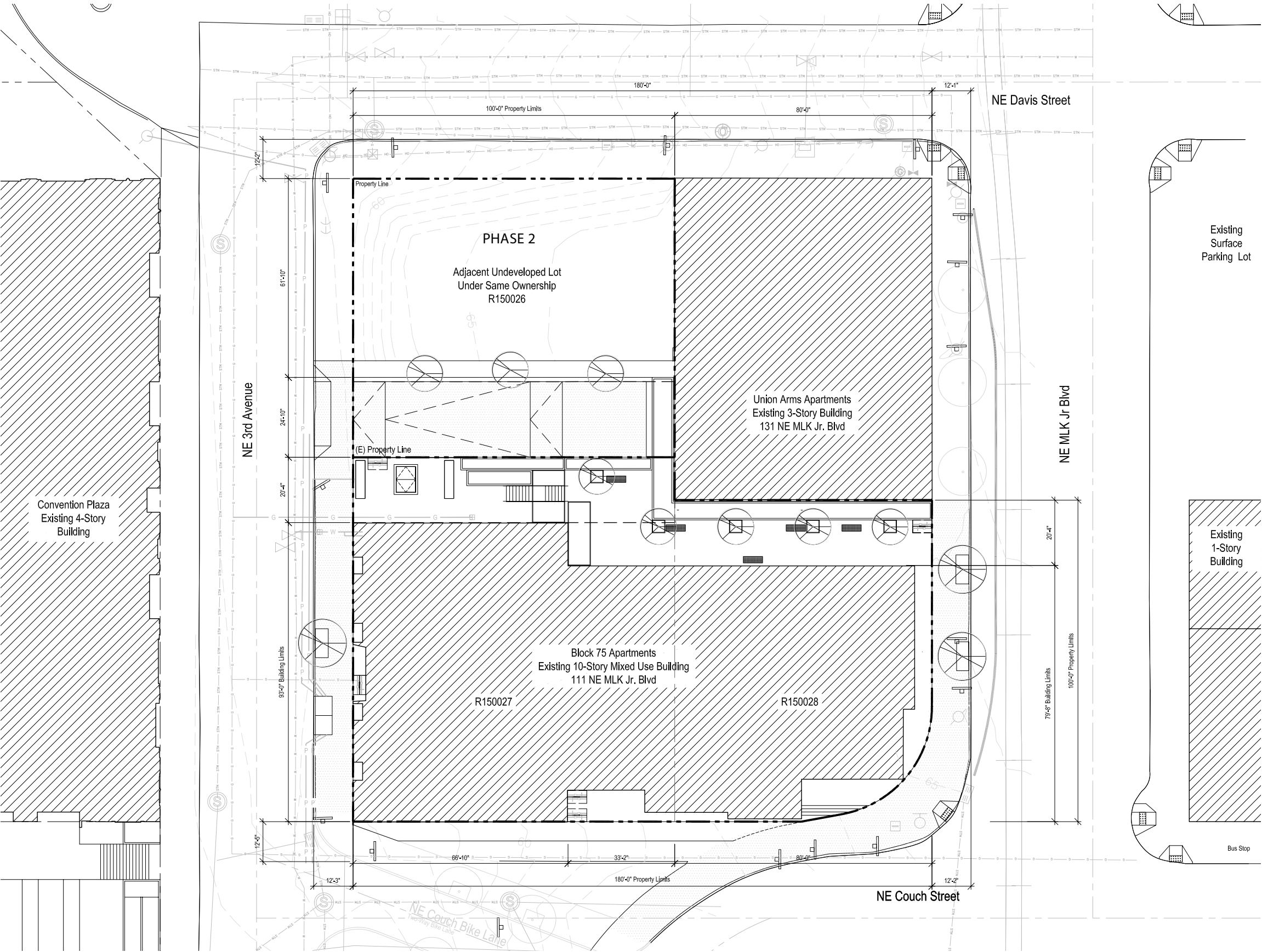


Site view looking east from NE 3rd Ave into courtyard.



Site view looking north west at upper courtyard.





SUMMARY OF APPROVED DESIGN ELEMENTS (PHASE 2)

FINAL DECISION BY THE DESIGN COMMISSION  
RENDERED ON AUGUST 21, 2014  
CASE FILE NUMBER: LU 14-163479 DZM  
PC # 14-103009

- Original proposal/approval based on a two-phased development
- Building of 2nd phase will be located in vacant northwest quarter of the block
- Massing of new building will include a portion cantilevering over driveway ramp and will act as cap/cover for driveway
- Regardless of Phase 2 achievements, design is expected to include a successful screening solution for the driveway ramp
- In absence of any guarantee of Phase 2 timing/design, applicant has designed 'interim' driveway cap as part of this current proposal
- Phase 2 to begin construction soon after Phase 1, resulting in no need for parking cap
- A condition of approval will stipulate that driveway cap be constructed within 3 years of the issuance of a Certificate of Occupancy of Block 75 phase 1, unless construction of phase 2 has begun
- Driveway cap has rectilinear design, comprised of steel tube framing with 2"x10" cedar members spaced 8" on-center
- Driveway cap begins exactly where driveway begins at public sidewalk on 3rd Ave and terminates where driveway turns southward to enter the below-grade parking area
- Based on applicant's explanation and staff's understanding that phase 2 building will cover driveway, a reprieve of three years before requiring the cap to be constructed - if plans for phase 2 building become unexpectedly stalled - is reasonable





Driveway Cap from NE 3rd Ave



North Wall

SIMPLE TRELLIS TOP, NO GATE

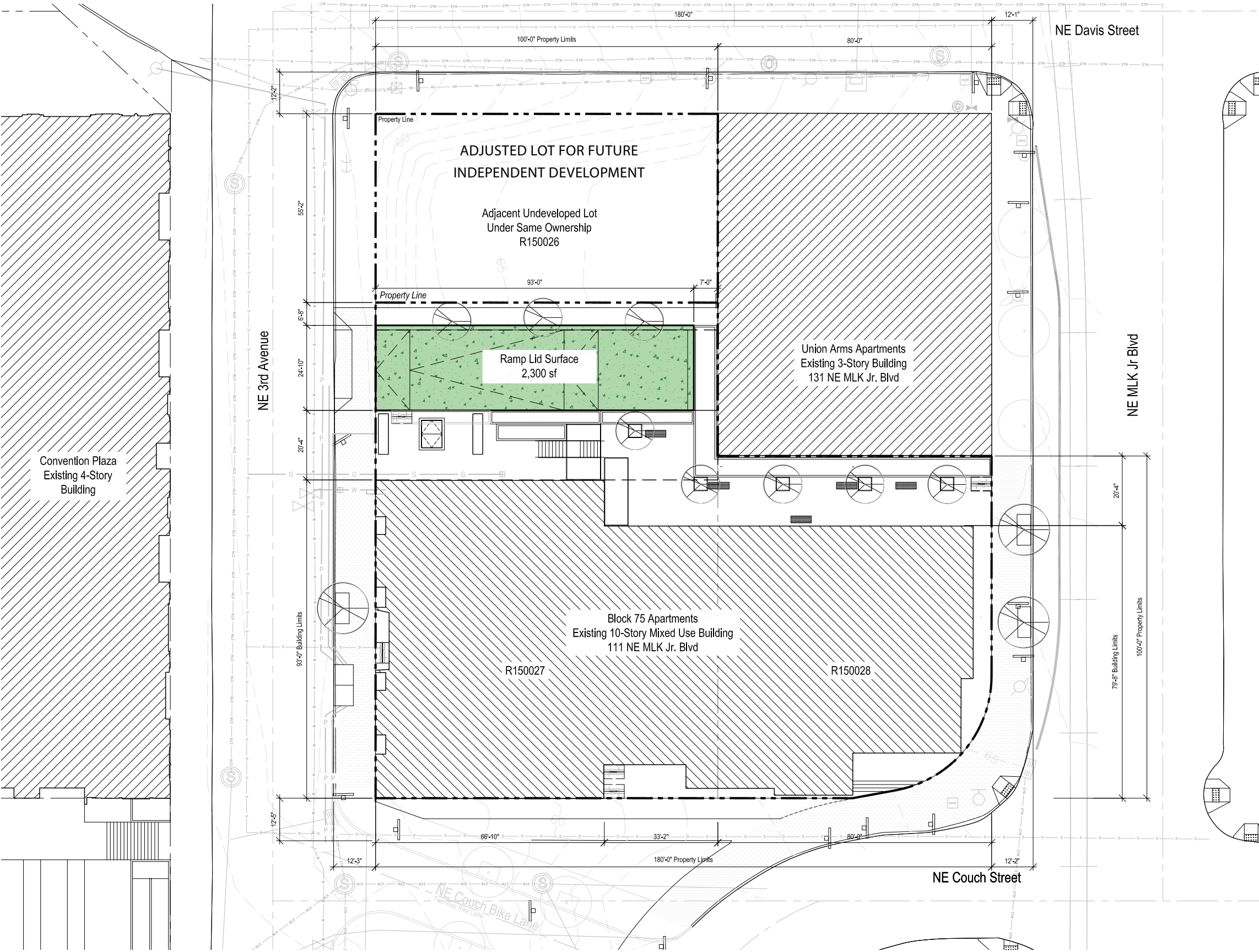
SUMMARY OF APPROVED DESIGN ELEMENTS

- Driveway cap has rectilinear design, comprised of steel tube framing with 2"x10" cedar members spaced 8" on-center
- Driveway cap begins exactly where drieway begins at public sidewalk on 3rd Ave and terminates where driveway turns southward to enter the below grade parking area



Aerial View of Driveway Cap





BDS PRE-APPLICATION CONFERENCE RESPONSE  
RENDERED ON JUNE 24, 2020  
CASE FILE NUMBER: 2020 EA20-131607

- REVISION SUMMARY
- EA recommended inclusion of full coverage eco-roof
  - EA recommended inclusion of high-speed garage door at ROW
  - EA recommended inclusion of mural/art at north wall of structure
  - Proposal included adjustment of property line location to allow separate development of north lot





South Wall at Plaza



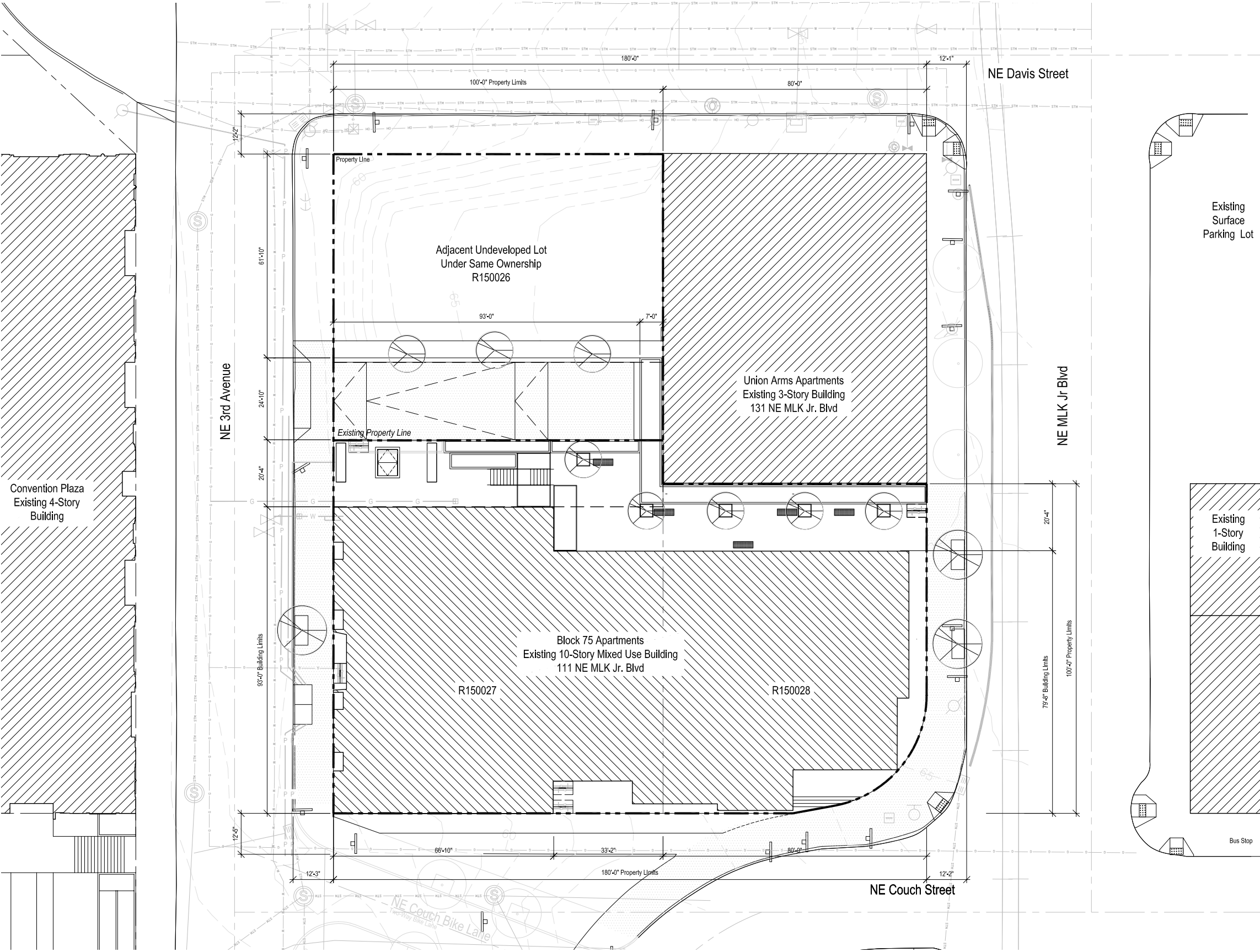
Green Roof View



North Wall



Proposed Site	
R150027 & R150028 Lot	22,177 sf
Ramp Cap Roof Area	2,300 sf



REVISION SUMMARY

- Option 1 replaces eco-roof with dynamic open trellis, allowing overall structure height to be minimized and provide for engaging views from the courtyard over the cap.
- Option 2 reverts to originally approved open trellis, allowing overall structure height to be minimized and provide for views from the courtyard over the cap.
- Locate mural on the south facade for more public engagement (eliminate mural at north wall as this is an interior lot line facade)
- Integrated landscape screen/vines at north and south facades
- Option 1 includes high-speed garage door at ROW
- Option 2 reverts to originally approved open garage at ROW
- Maintain existing PL location to optimize future north lot development





South Wall at Plaza

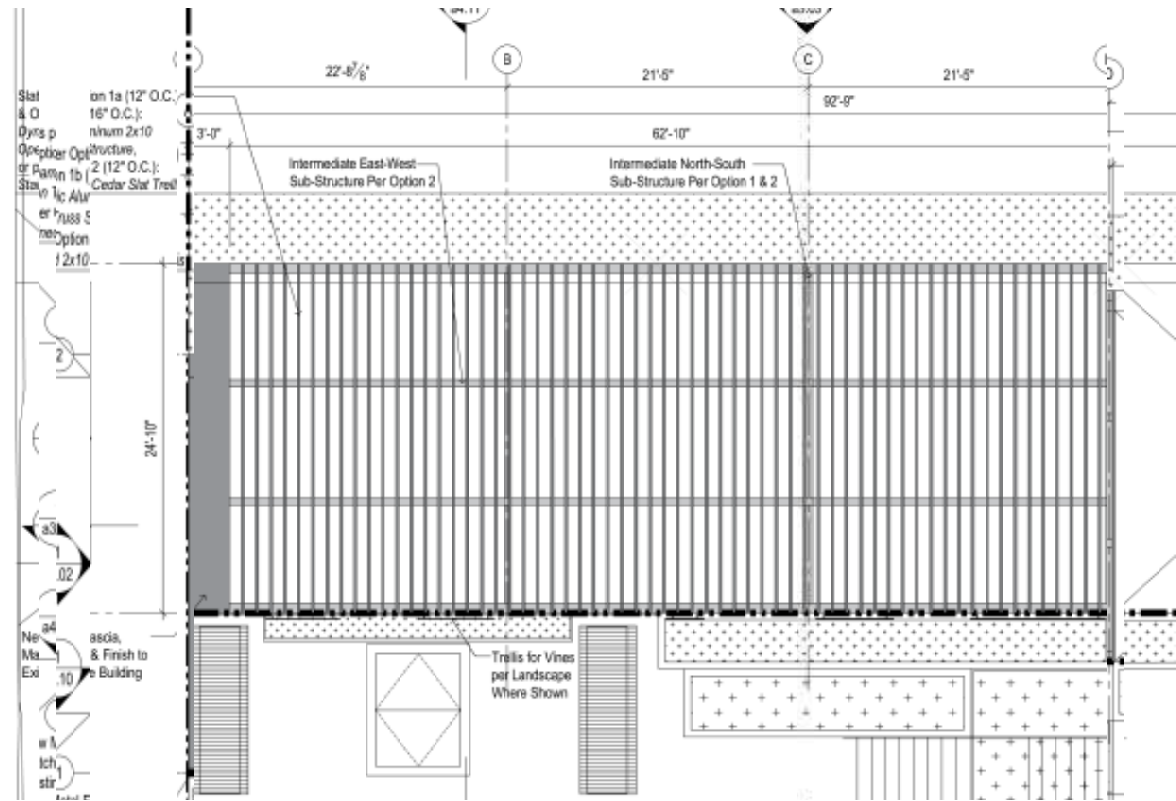
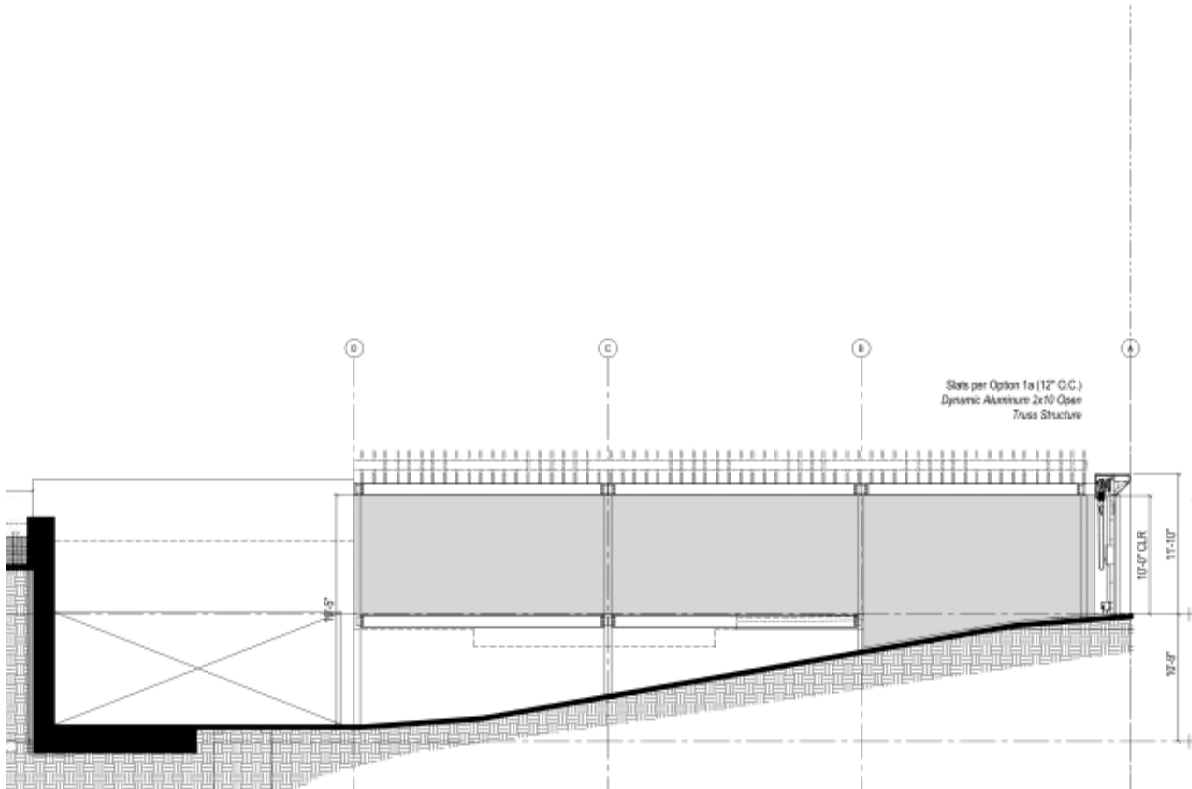


North Wall

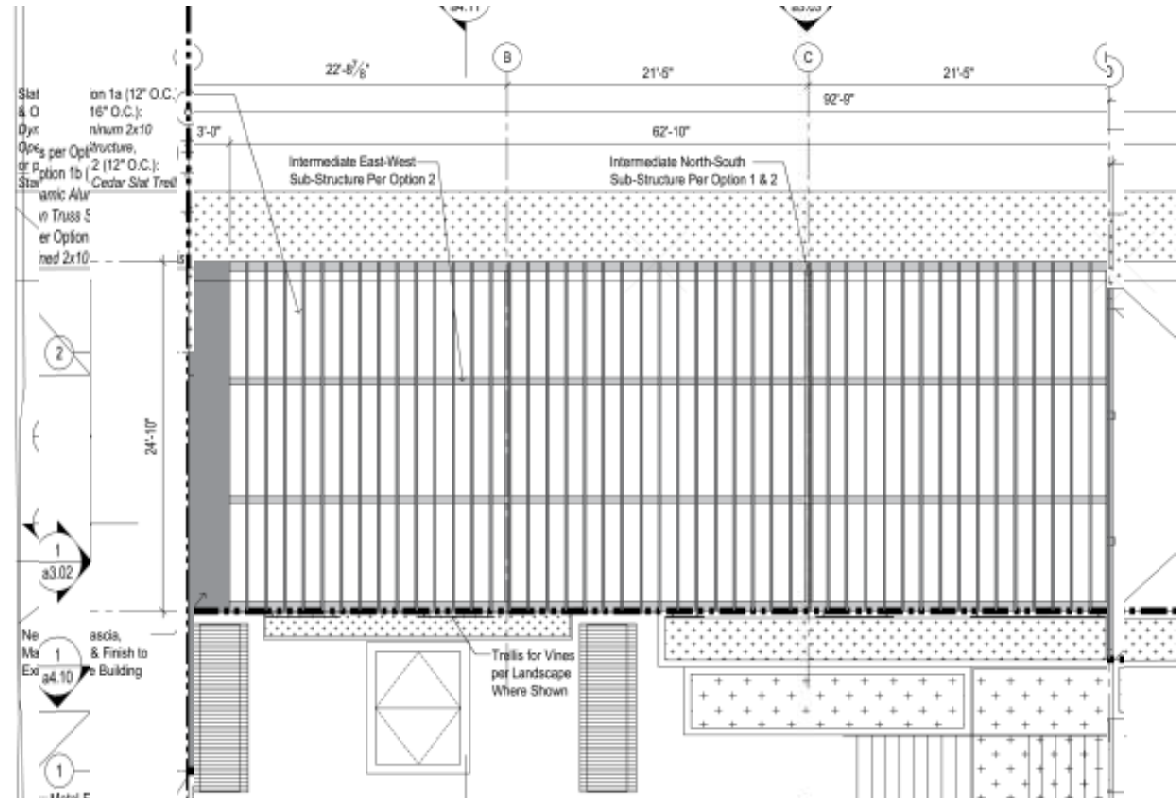
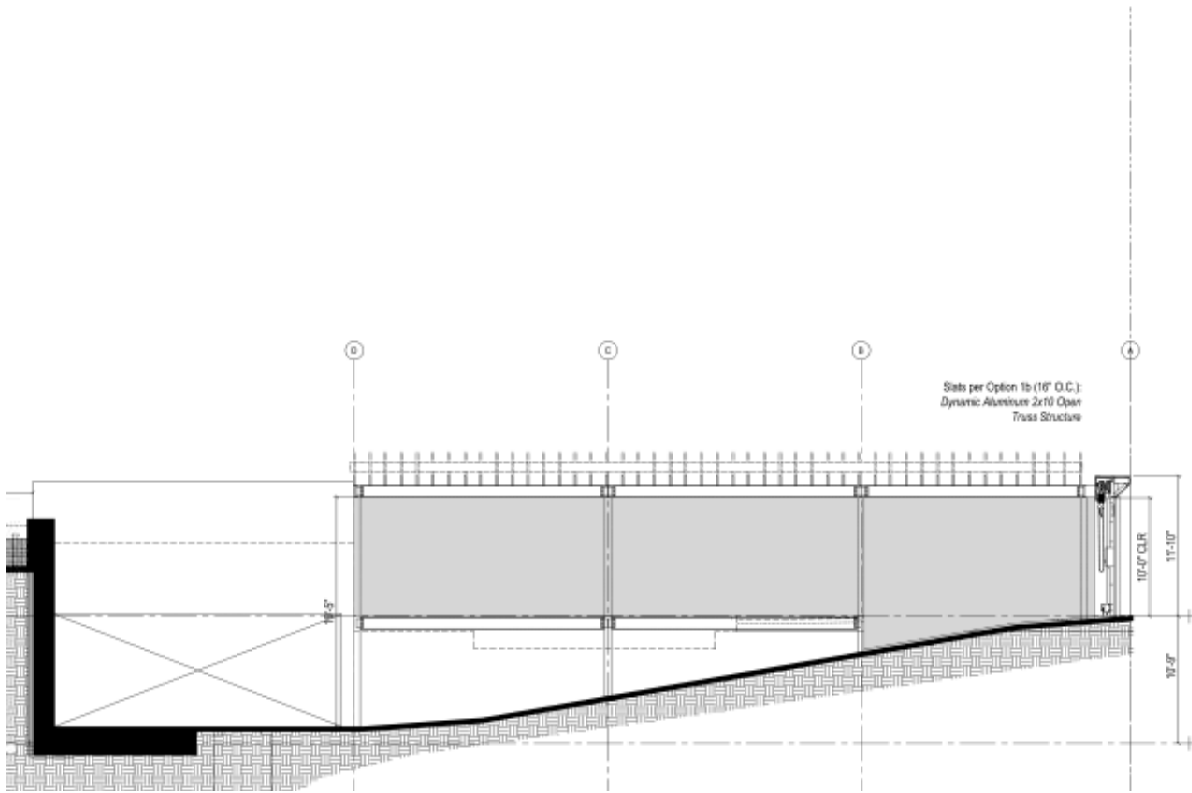


Aerial View of Driveway Cap





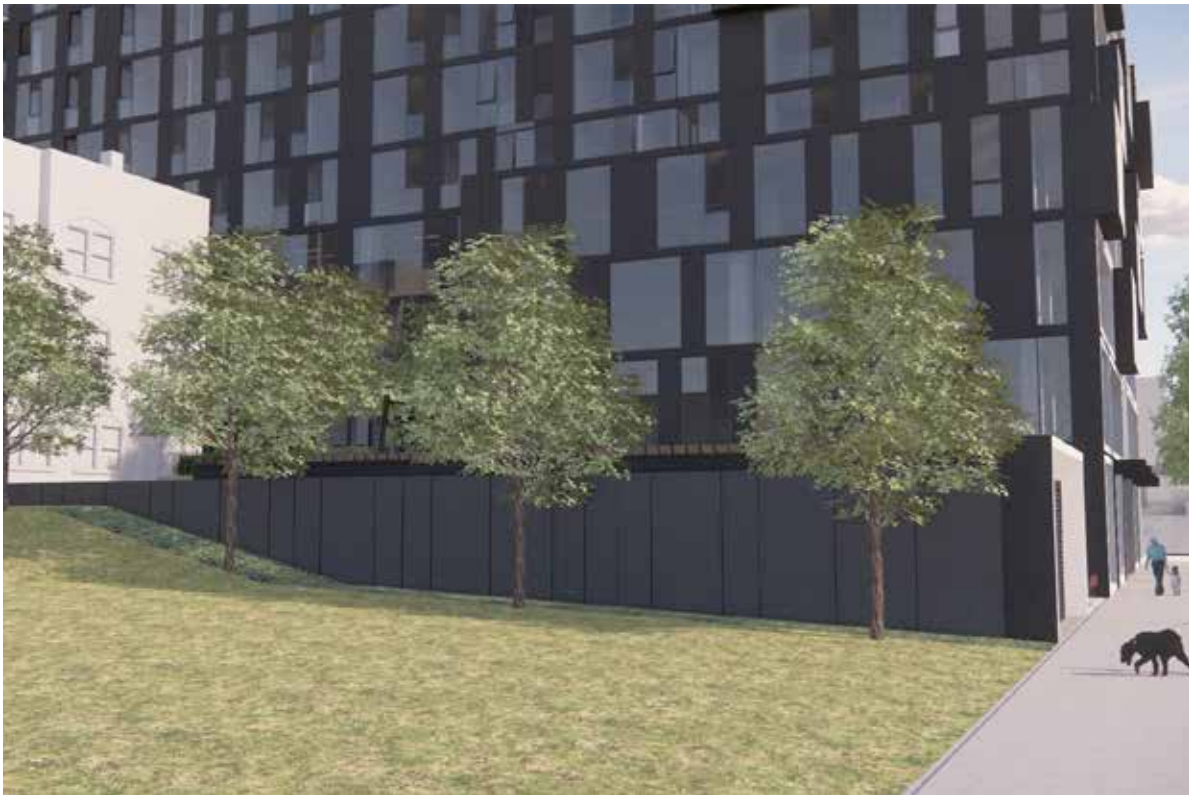








South Wall at Plaza



North Wall

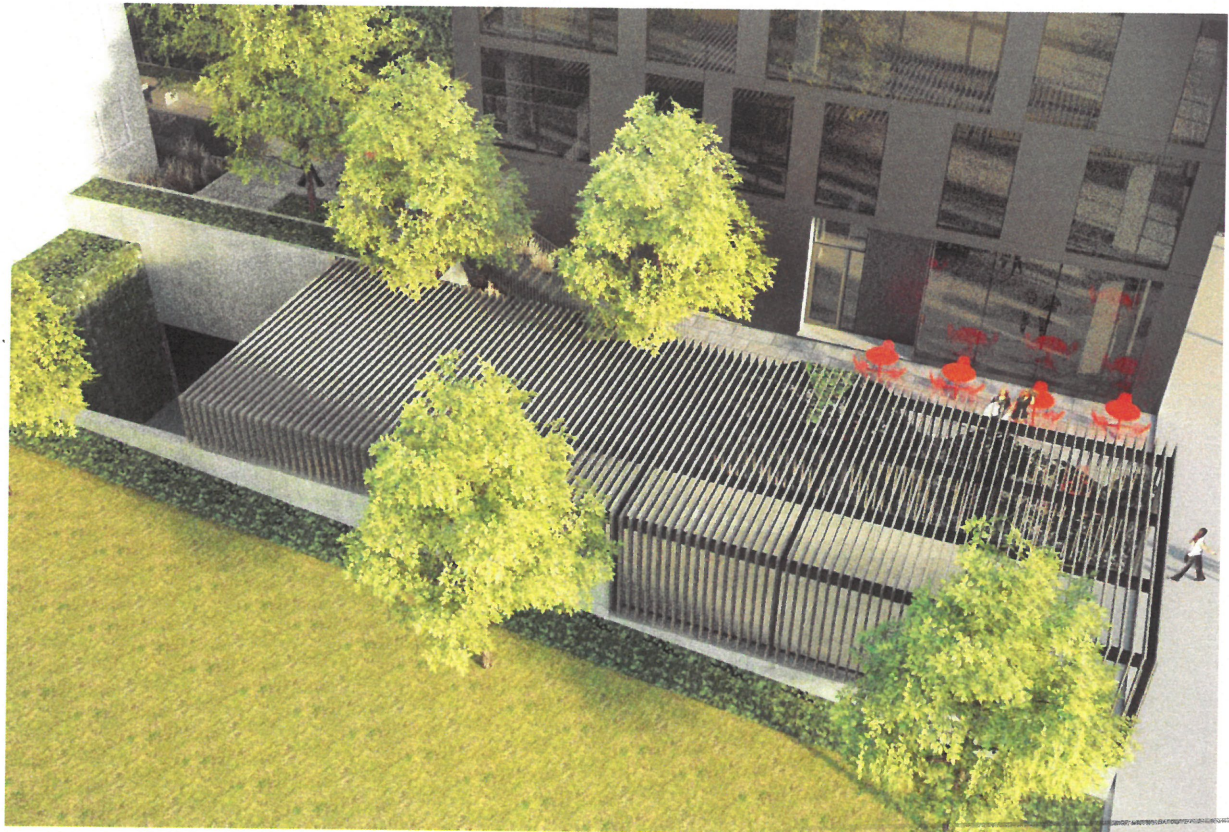


Aerial View of Driveway Cap





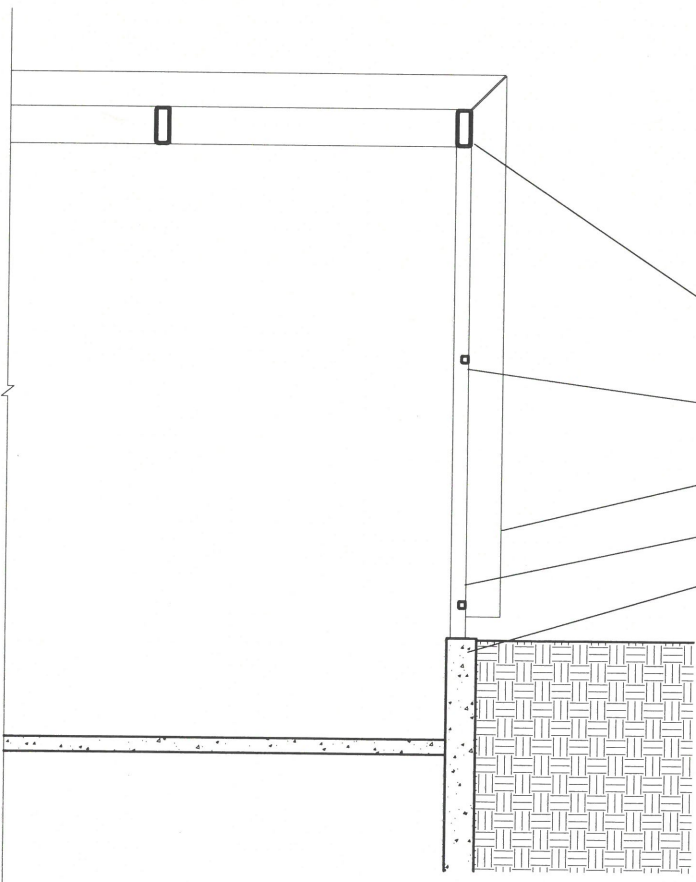
Driveway Cap from NE 3rd Ave



Aerial View of Driveway Cap



Driveway Cap from NE Davis St



Driveway Cap Detail

\*Approved\*  
 City of Portland  
 Bureau of Development Services  
 Planner *Karl*  
 Date *August 21, 2014*  
 \* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

- 4" x 10" Tube Steel Beam
- 2" x 2" Tube Steel
- 2" x 10" Cedar @ 8" O.C.
- 4" x 4" Tube Steel Post
- Concrete Foundation

Condition of Approval "D"  
 The driveway cap must be constructed within 3 years of the issuance of a Certificate of Occupancy for Block 75 Phase One, unless construction of phase Two has begun.  
 Driveway Cap Option 71

**LU 14-163479 DZM**  
 LU 22-122430 DZ Exh G3





**City of Portland, Oregon**  
**Bureau of Development Services**  
**Land Use Services**  
FROM CONCEPT TO CONSTRUCTION

Ted Wheeler, Mayor  
Rebecca Esau, Director  
Phone: (503) 823-7300  
Fax: (503) 823-5630  
TTY: (503) 823-6868  
[www.portlandoregon.gov/bds](http://www.portlandoregon.gov/bds)

## **BDS – Land Use Planner Response**

### **Pre-Application Conference**

**Date:** June 23, 2020

**To:** Jean Hester, Conference Facilitator  
503-8263-7783, [Jean.Hester@portlandoregon.gov](mailto:Jean.Hester@portlandoregon.gov)

**From:** Tim Heron  
503-823-7726, [Tim.Heron@portlandoregon.gov](mailto:Tim.Heron@portlandoregon.gov)

**File No.:** 20-131607

**Location:** 321 NE COUCH ST

**Tax Account:** R150027, R150028, R150027, R150027, R150027, R150027, R150027, R150027, R150027, R150027

**State ID Number:** 1N1E34DA 02900, 1N1E34DA 03200, 1N1E34DA 02900, 1N1E34DA 02900, 1N1E34DA 02900, 1N1E34DA 02900, 1N1E34DA 02900, 1N1E34DA 02900, 1N1E34DA 02900

**Proposal:** A Pre-Application Conference to discuss capping the existing driveway on NE Third Ave. to the below grade parking garage. A new 12' high speed garage door at the street frontage will secure access to the garage. The non-accessible lid will be designed with green roof and gravel patterning. A Type III Design Review is required to amend a previous condition of approval.

The information provided at the conference and included in this response is based on the information you provided prior to and at the conference and reflects regulations in effect at the time of the conference. This response provides information and guidance only. It is preliminary in nature and based on the information the applicant provided to BDS staff. It is neither a land use review nor a final decision regarding this project. References are to the Portland Zoning Code available online at [www.portlandonline.com/zoningcode](http://www.portlandonline.com/zoningcode).

### **A. KEY ISSUES AND REQUIREMENTS**

The following issues and requirements have been summarized for the applicant to pay special attention to as they may impact the proposed project.

#### **1. Design Review Process**

- a. **Procedure Type.** The project will be subject to a Type III Design Review based on the thresholds per table 825-1 of Section 33.825.025, and 33.730.140 Requests for

Changes to Conditions of Approval. Submittal requirements can be found in Section D below.

- b. **Approval Criteria.** The applicable approval criteria are the Central City Fundamental Design Guidelines and the Special Design Guidelines for the Design Zone of the Central Eastside District and can be found at [portlandoregon.gov/designguidelines](http://portlandoregon.gov/designguidelines). Other approval criteria may apply if *Modifications* (Section [33.825.040](#)) or *Adjustments* (Section [33.805.040](#)) to development standards are requested.
- c. **Additional Reviews.** *Modification* review may be requested as part of land use review for site-related standards (such as setbacks, size of loading spaces) that are not met. *Adjustment* review may be requested as part of the design review for use-related development standards (such as floor area ratios, number of loading spaces, number of parking spaces) that are not met.
- d. **Fees.** Land Use Review Fee Schedule for the required reviews can be found at <https://www.portlandoregon.gov/bds/article/67127>.
- e. **Guide to Design Review.** You are encouraged to review the Guide to the Design Review Process prepared by the Design Commission, which provides guidance and expectations of the Design Review process. The guide can be found at [the BDS website at https://www.portlandoregon.gov/bds/article/625096](https://www.portlandoregon.gov/bds/article/625096).
- f. **Certificate of Compliance.** Approval of a Design Review allows for the proposed work to be built. The expectation is that the building permit will reflect the project (including the details) that was approved. To ensure this, a Certificate of Compliance will be required at the time of building permit as indicated in a condition of approval. The Certificate of Compliance form can be found at <https://www.portlandoregon.gov/bds/article/623658>.

## 2. Specific Design Review Issues

---

This preliminary feedback is based solely on the information in the Pre-Application Conference submittal.

- a. **Amend Condition of Approval for LU 14-163479 DZM, Block 75 – The Slate Apartments through a Type 3 Design Review, submit a revised design for the parking lid, and set a new timeline for completion.**

### 1. Amend Condition through new Type 3 Design Review.

The 2014 Design Commission decision contains this Condition of Approval:

*D. The driveway cap must be constructed within 3 years of the issuance of a Certificate of Occupancy for Block 75 phase 1, unless construction of phase 2 has begun.*

The Certificate of Occupancy was issued on January 10, 2017. As three years has past – January 10, 2020 – the approval for this design has expired, and this site is in violation of this Condition.

Per 33.730.140 Requests for Changes to Conditions of Approval:

- A. Generally. Requests for changes to conditions of approval are processed using the current procedure assigned to the land use review and the current approval criteria for the original land use review, unless this Title specifies another procedure or set of approval criteria.*

Therefore, a Type 3 Design Review and Approval is required.

## **2. Submit a revised design for the parking lid.**

Additionally, as the approved work has not been completed, and the Condition of Approval has expired, a revised design must be considered. The 2014 approved Condition of Approval design reflects an outdated design response [unsecured street edge and the open trellis design cover] that would not meet the expectations of the current Portland Design Commission [the approval body for a Type 3 Design Review] and how the Design Guideline Approval criteria would be applied to structures in this now thriving Burnside Bridgehead Pedestrian District in 2020.

A revised proposal, as proposed for this Pre-Application conference, that incorporates 1) a green/ fully vegetated roof, 2) secured vehicular access via a speed door at the street edge, and 3) incorporates Public Art or an Original Art Mural along the north facing concrete wall would be an appropriate design direction to propose.

## **3. Set a new timeline for completion.**

With the agreement by the applicant to provide a revised design, a Condition of Approval to complete a final design and installation within 3 years of the date of the original January 10, 2020 expiration of the subject Condition to January 10, 2023 would be acceptable.

### **b. Option to consider secondary rooftop design proposal for potential development along the adjacent ½ block to the north.**

- As discussed in the Pre-Application conference, the adjacent ½ block to the north may be developed into a multi-story hotel [Pre-application Conference EA-19-200271 PC – New Hotel at 131 NE MLK Jr. Blvd]. In consideration of this, or any other Type III Land Use development proposal on the northern parcel that includes a different treatment of the ramp cap, would fulfill the requirement for the ramp cap. The applicant is encouraged to submit a secondary design for consideration and comment during the Type 3 Design Review to show potential options for the ramp lid.
- Should the northern parcel receive Type 3 Design Review Approval prior to the revised Condition of Approval deadline, the revised design by The Slate ownership would be waived pending a Condition of Approval that ensures the approved design or alternate design will be constructed in a timely manner.

## **3. Applicable Development Standards**

Development standards that will apply to the project include, but are not necessarily limited to, those from the following chapters in the Zoning Code (Title 33) and other City codes



available online at <https://www.portlandoregon.gov/bds/36809>. All codes noted below are per the adopted Central City 2035 code revisions and went into effect on July 9, 2018.

- 33.825 Design Review
- 33.510 Central City Plan District, Central Eastside Subdistrict - development standards in the plan district may supersede those in the base zone and chapters below.
- 33.420 Design Overlay Zone
- 33.266 Parking and Loading
- 33.258 Nonconforming Upgrades - interior or exterior improvements to a site totaling more than \$168,550 requires up to 10% of the project cost must be spent toward bringing the site into conformance with identified zoning code standards.
- 33.248 Landscaping and Screening
- 33.140 Employment Zones (EX – Central Employment zone)
- Title 32 Sign Code – note, signs of any size within the Historic Resource overlay zone require a Historic Resource Review, while signs over 32 SF in size in the Design Overlay zone require Design Review.
- Title 11 Tree Code - note, tree preservation requirements do not apply to properties zoned CX.

#### 4. General Design Items to Note

---

- a. **Building materials.** High quality, durable building materials (building skin, storefronts, windows, doors, canopies, signs, etc.), that respond to the context of the surrounding area or district, are expected (*Guidelines C2 – Promote Quality and Permanence in Development and C4 - Complement the Context of Existing Buildings*).
- b. **Ground level materials.** Materials at the ground floor should be durable enough for use adjacent to public sidewalks, such as brick and masonry (*Guideline C2 – Promote Quality and Permanence in Development*).
- c. **Ground level weather protection.** Pedestrian weather protection should be provided. This can be achieved with generous canopies that project out over the sidewalk or ground level setbacks (*Guideline B6 - Develop Weather Protection*).
- d. **Loading and parking door materials.** Integrate these doors with the architecture. Solid doors with translucent glazing are a supportable option. If ventilation is needed, perforated doors with solid panels located to screen car lights and views into parking/loading areas is a supportable alternative (*Guidelines C5 - Design for Coherency and Guidelines B2 – Protect the Pedestrian*).
- e. **Vents/Louvers & Mechanical.** Vents through the roof are preferable. If wall mounted on the facade, vents/louvers should be integrated into the windows openings. Associated mechanical units should be organized and screened (*Guidelines B2 – Protect the Pedestrian, C5 – Design for Coherency, and C11 – Integrate Roofs and Use Rooftops*).

- f. **Gas & Electric Meters.** Locate gas and electric meters inside the building to minimize their impact. Gas regulators may be placed on the building's exterior and should be well integrated and, ideally, screened within the façade (*Guidelines B2 – Protect the Pedestrian, C2 – Promote Quality and Permanence in Development, and C5 – Design for Coherency*).
- g. **Exterior Lighting.** Exterior lighting should be integrated into the building's overall concept and ensure a safe pedestrian condition along the adjacent sidewalk and within open spaces on the site. Exterior lighting can be used to highlight the building's architecture, however, should not impact the skyline at night. (*Guidelines B2 – Protect the Pedestrian, C4 – Complement the Context of Existing Buildings, C5 – Design for Coherency, C8 – Differentiate the Sidewalk Level of Buildings, and C11 – Integrate Exterior Lighting*).
- h. **Signs.** Signs should be sized appropriately for the building, the district and the pedestrian realm and should incorporate district-appropriate materials (*Guidelines A7 – Establish and Maintain a Sense of Urban Enclosure, A8 – Contribute to a Vibrant Streetscape, C4 – Complement the Context of Existing Buildings, C5 – Design for Coherency, C8 – Differentiate the Sidewalk Level of Buildings, and C13 – Integrate Signs*).

## 5. Coordination with Other Agencies

---

### a. Transportation (PBOT)

- Utility Transformers. Locate utility transformers underground. They should be within the adjacent right-of-way if no opportunities exist on-site outside of the building. Consult with the utility providing electrical service. Also consult with Portland Bureau of Transportation (PBOT) if within the right-of-way. Please note, PBOT has a new review process for locating private use utility vaults in the public right-of-way, known as Utility Vault Exclusive Use for Development (UVE). Information can be found at the PBOT website at <https://www.portlandoregon.gov/citycode/article/622900>.

### b. Environmental Services (BES)

- Stormwater Management. Stormwater management information, including infiltration tests, utility plans, stormwater facility designs, and site landscaping, must be submitted with the Design Review application. BES needs to review these elements early to ensure there are no issues that could affect the building size, location or site design.

### c. Fire / Life Safety

- Preliminary Life Safety Meeting. A separate, preliminary life safety meeting is beneficial to identify critical life safety and building code related issues early in the process so the Design Review proposal can incorporate those critical issues. This meeting is encouraged before the Design Review approval. More information and the application can be found at <https://www.portlandoregon.gov/bds/article/94545>

- **Glazing and Energy Calculations.** If large amounts of glazing are proposed, it is highly encouraged that energy calculations are done prior to submitting the proposal for your Design Review, in case the design is affected by energy code requirements.
- d. Regional Arts and Cultural Council (RACC)** – If public art will be incorporated into the development proposal, please reach out to RACC before commencing with the Design process to identify a scope of work and budget for proposed art. Please contact Peggy Kendellen ([pkendellen@racc.org](mailto:pkendellen@racc.org)) / (503) 823-4196 or Kristin Calhoun ([kcalhoun@racc.org](mailto:kcalhoun@racc.org)) / (503) 823-5401. BDS staff can also help to facilitate coordination with RACC.
- The term “public art” is defined by City Code Chapter 5.74. Art that is not approved through the RACC review process may be considered a “sign” per the definition of sign in the Title 32 Sign Code (32.22.020.YY) and must meet Sign Code standards or receive Modifications/Adjustments to the applicable standards.

## B. PREVIOUS LAND USE REVIEWS

As part of your application, address relevant conditions of approval from previous land use reviews on the site and discuss the current status of compliance. Below are the relevant land use case reviews that the City of Portland has on record for the subject site:

1. EA-19-200271 PC – New Hotel at 131 NE MLK Jr. Blvd.
2. LU 14-163479 DZ - Burnside Bridgehead Block 75: Block 75 - ¾ block development, now The Slate: <https://efiles.portlandoregon.gov/Record/6863480/>
3. EA 15-247554 DA - 19-Story Mixed use Office Tower: Block 75 North – ¼ block mixed use development: <https://efiles.portlandoregon.gov/Record/8196773/>

## C. NEIGHBORHOOD NOTIFICATION

When you apply for a Type III Land Use Review, all property owners within 400 feet, and all neighborhood associations and recognized organizations within 1,000 feet of your site will receive notification of your proposal.

- The site is located within the neighborhood association of Kerns, contact Elliott Mantell at [commonchiro@yahoo.com](mailto:commonchiro@yahoo.com)
- The site is located within 400/1,000 feet of None/Lloyd District Community, contact Ziggy Lopuszynski at [zlopuszynski@cpportland.com](mailto:zlopuszynski@cpportland.com), Buckman, contact Richard Johnson at [buckmanlandusepdx@gmail.com](mailto:buckmanlandusepdx@gmail.com) neighborhood association.
- The site is located within the district neighborhood coalition of Southeast Uplift, contact Leah Fisher at 503-232-0010.
- The site is located within the business association of Central Eastside Industrial Council, contact [ceic@ceic.cc](mailto:ceic@ceic.cc).
- Contact information for neighborhood associations, neighborhood district coalitions, and business associations is available at [www.portlandonline.com/oni/search/](http://www.portlandonline.com/oni/search/).

## D. SUBMITTAL REQUIREMENTS FOR LAND USE REVIEWS



This list identifies the materials you must submit for your application to be considered complete. For additional details, see Zoning Code Section [33.730.060](#).

#### PROJECT INFORMATION & NARRATIVE

2 hard copies + 1 digital

##### **8.5" x 11" FORMAT:**

- Land Use Review application form
- Project team and Project cost
- Project narrative
- [Request for an Evidentiary Hearing and Waiver of Right to a Decision within 120 Days](#)
- Zoning summary
- Response to Design Guidelines
- Modifications and Adjustments requests & approval criteria responses
- Response to DAR (narrative)
- Technical Reports – Stormwater Loading Analysis, Queuing Study, etc.
- Sustainable features/green technology / LEED goals, etc.

#### DIGITAL MODEL

1 digital

Design Review proposals in the Central City plan district that include new development or changes in the bulk of an existing building are required to submit a three-dimensional digital model with the Design Review application. The digital files required include:

- Sketch up Model (.skp File)
- 3-D Model plugged into Google Earth (.kmz File)

#### DRAWINGS

4 hard copies + 1 digital

##### **11" x 17" FORMAT**

"C" Exhibits should represent proposed development/alterations, drawings at architectural or engineering scale, numbered consecutively (C.1, C.2, C.3, etc.) and generally be in the following order:

- Title Page
- Table of Contents
- Site Plan
- Floor and Roof Plans - roof plan should show all rooftop elements, including mechanical
- Elevations - B/W and color, and without shade or shadows, if project is close to or touching its neighbors, include street-facing elevations in their immediate context, including adjacent buildings
- Building Sections - Include some depicting relationships to adjacent buildings
- Building Details – windows/doors, storefronts, canopies, balconies, signage and their attachments, etc., control joints, seismic joints, and other visible construction details
- Materials / Colors - clearly identify each building material by name
- Landscape Plans
- Lighting Plans
- Civil Plans
- Cut Sheets - only pertinent product info like type, finish, color, dimensions

**SUPPORTING INFORMATION**

1 hard copy + 1 digital

**11" x 17" FORMAT:**

Appendix should include information that supports the drawings, numbered consecutively (APP.1, APP.2, APP.3, etc):

- Renderings - day and night in context, must be simple and not enhanced marketing-type images, avoid dramatic lighting effects
- Context – plan area, urban (3-block radius), site
- Sightlines - sightline drawings from relevant vantage points
- Material Photos & Examples
- Massing & Design Concept
- Miscellaneous Diagrams - FAR, ground floor windows, clear vs. spandrel panels, height, Modifications, Adjustments, etc.
- Responses to DAR (diagram)

**GENERAL FORMATTING**

- One staple in upper left corner (not bound)
- Label all sheets at lower right corner with the land use case number, which will be given to you when you submit your land use application, (i.e., **LU 12-345678 DZ**) and number each page/sheet as **Exhibit C.xx**, replacing the "xx" with a page number.
- Provide one electronic copy (flash drive or link via email)
- Review all color quality in submittal to ensure it accurately represent the colors intended.
- When returning for a 2nd hearing, revisions to the prior submittals should be illustrated and clearly marked in a side by side comparison.
- Conduct a thorough review before submitting your drawing packet.

**REQUIREMENTS FOR HEARINGS**

20 days before the hearing date submit:

- 10 sets of the Drawings ("C" Exhibits)
- 10 sets of the Supporting Information ("APP" Exhibits)
- 1 digital copy

**When you are ready to submit an application you may do so online as the Development Service Center is currently closed due to City's response to the COVID-19 State of Emergency. Please see the BDS Website at <http://www.portlandoregon.gov/bds/37988> for where to submit your application.**



City of Portland  
**Design Commission**

## **Type III Land Use Review**

LU 22-122430 DZ

# **The Slate Building – Parking Cap**

December 1, 2022

Staff Presentation



## **Context**

Location

Zoning

Approval Criteria

Context

Project History

Program Overview

Project Materials

## **Applicant Presentation**

## **Approvability Items**

Context

Public Realm

Quality & Permanence

## **Staff Recommendation**

Conditions of Approval





# Location

## Address:

- 321 NE Couch Street
- Central City Plan District
- Central Eastside subdistrict

## Site Area:

- ~30,000 SF [3/4 block]

## Existing Condition

- 10-story mixed use apartment building
- 2014 Condition of Approval to "cap" the below grade parking access ramp

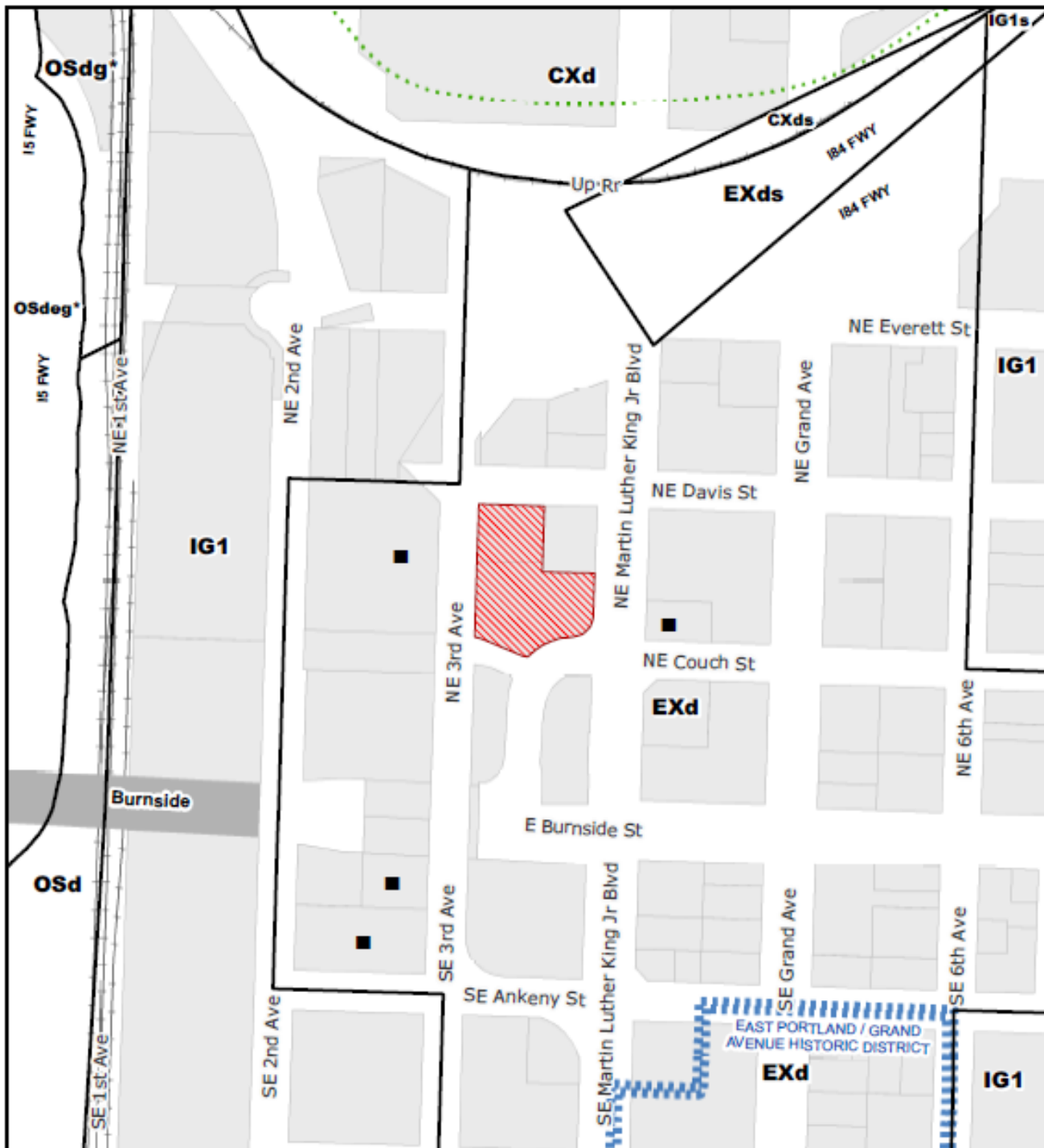
## Site Disposition

- +/- 10' slope up to east

## Street Frontages

- NE 3<sup>rd</sup> Avenue
- NE Davis Street
- NE MLK Jr Boulevard
- NE Couch Street





# Zoning

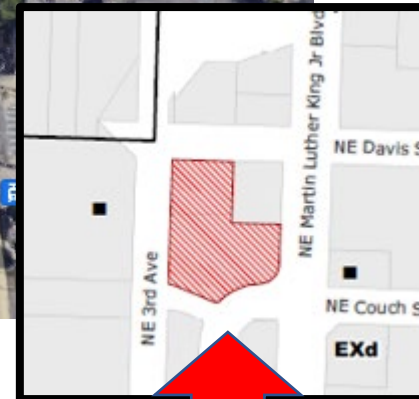
Base Zone: EXd  
Central Employment with Design  
Overlay

Floor Area Ratio: 9:1

Height: 200'

## Approval Criteria

*Central City Fundamental Design  
Guidelines*  
*Central Eastside Design  
Guidelines*



# Context

$\frac{3}{4}$  block lot with building fronting NE MLK Jr Blvd, NE Couch Street & NE Davis Street

**High-Density Mixed Use Central City Development in the Central Eastside.** A variety of uses include retail, office, entertainment venues, and residential

Structures are primarily turn of the century concrete and masonry. Newer development since 2000 has added metal clad, glass curtain wall, & stucco buildings, and one asphalt shingle clad building

LU-22-122430 DZ Exh H1



# Street Hierarchy

## NE MLK Jr Boulevard

- Regional Transit/ Major Transit Priority Street
- Central City Transit/ Pedestrian Street
- Local Service Street

## NE Couch Street

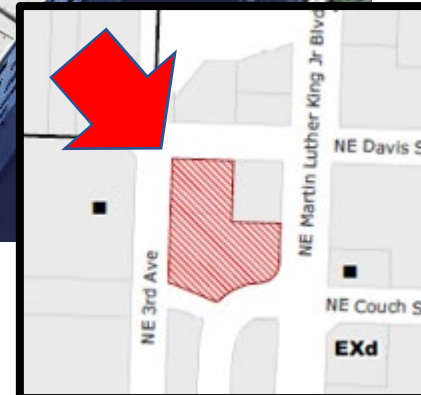
- Regional Transit/ Major Transit Priority Street
- Central City Transit/ Pedestrian Street
- Major City Bikeway
- Local Service Street

## NE 3rd Avenue

- Local Service Street

## NE Davis Street

- Local Service Street







# Program History

- 2014 Design Commission Approval Block 75 - Slate Building (LU 14-163479 DZM)
- Ten Story mixed use residential building, mid-block alley, plaza and frontage along the NE Couch Street Burnside-Couch Couplet
- Condition of Approval to cap parking access from NE Davis







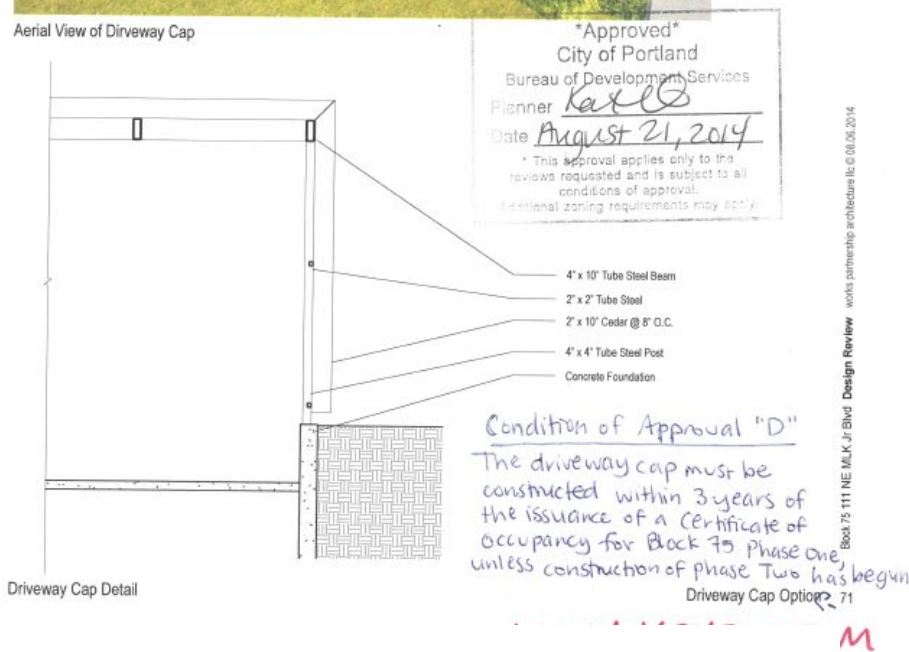
Driveway Cap from NE 3rd Ave



Driveway Cap from NE Davis St



Aerial View of Driveway Cap



# Program History

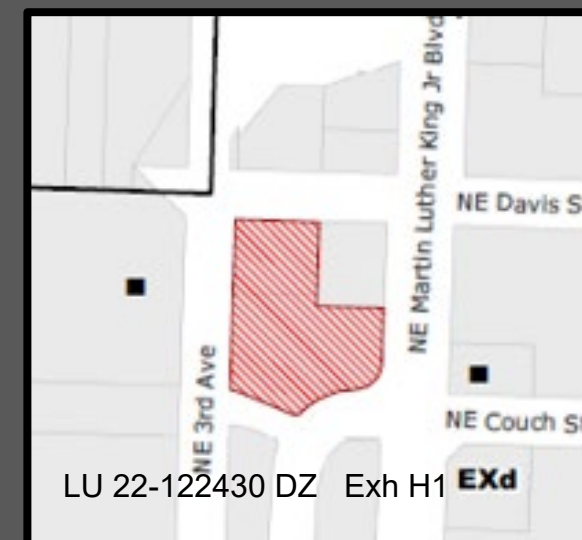
- Condition of Approval to cap parking access from NE Davis not yet completed

## Condition D:

- *The driveway cap must be constructed within 3 years of the issuance of a Certificate of Occupancy for Block 75 phase 1, unless construction of phase 2 has begun.*

## LU 14-163479 DZM - Condition D:

**D.** *The driveway cap must be constructed within 3 years of the issuance of a Certificate of Occupancy for Block 75 phase 1, unless construction of phase 2 has begun.*



# Program Overview

- A New Type 3 Design Review to complete the Condition was required as no new development proposal was submitted
- The proposal revises the design response to 2014 Condition of Approval for the Parking Ramp Cap

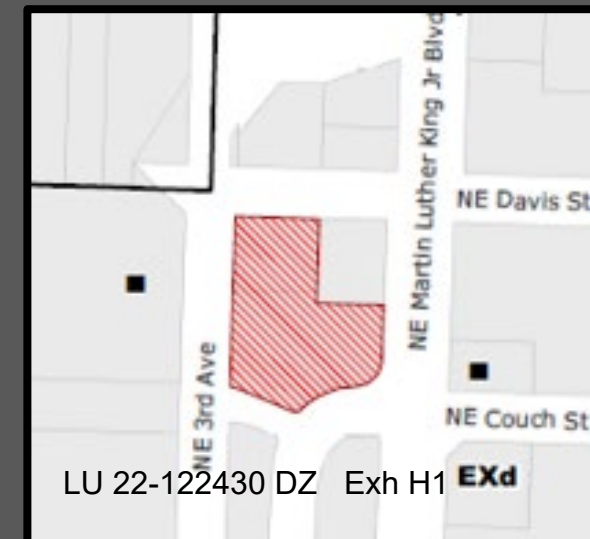


The currently proposed revised design for the cap enclosure includes:

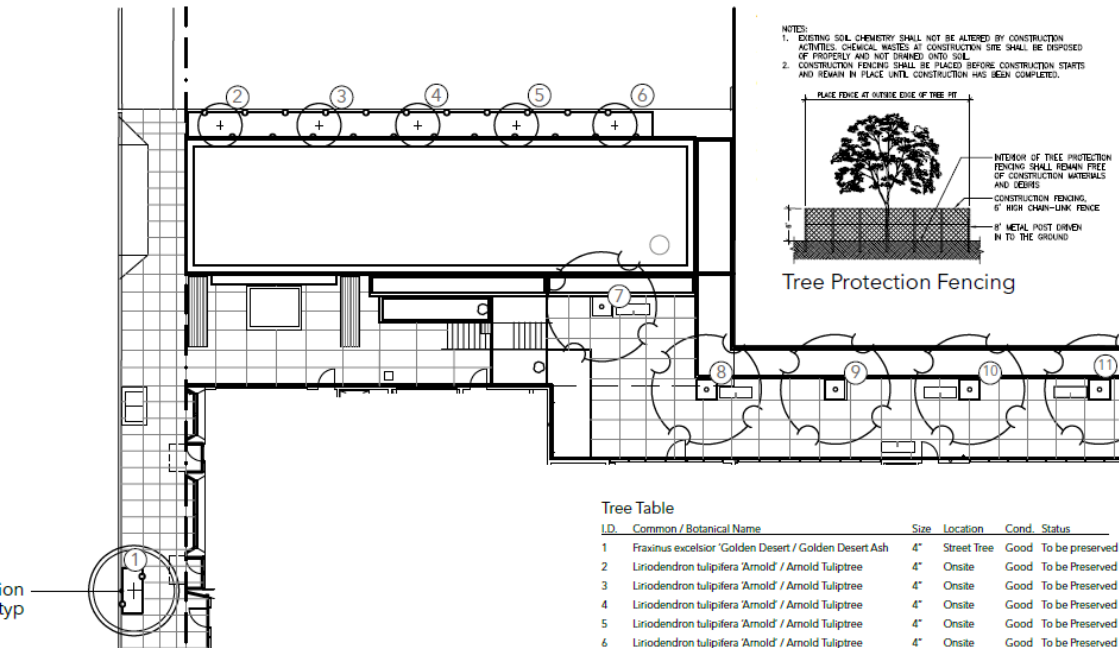
- Maintaining existing property line/lots.
- Stucco clad CMU walls along the north and south facade of the ramp, to replicate patterning of Block 75 Slate's panelized facade.
- Trellis and vine application at select panels on the south facade, to further soften the courtyard experience.
- Custom mural application [Title 4 – Original Art Mural] at the south facade to further engage the pedestrian experience from the courtyard and right of way.
- Faceted framed entry to the garage to match Block 75 Slate's framed elements.

***The design also proposes two options:***

- ***Option 1A/B: provide a metal open truss roof structure and high-speed garage door; or***
- ***Option 2: provide a wood trellis roof structure with no garage door.***







## SIGN STRATEGY

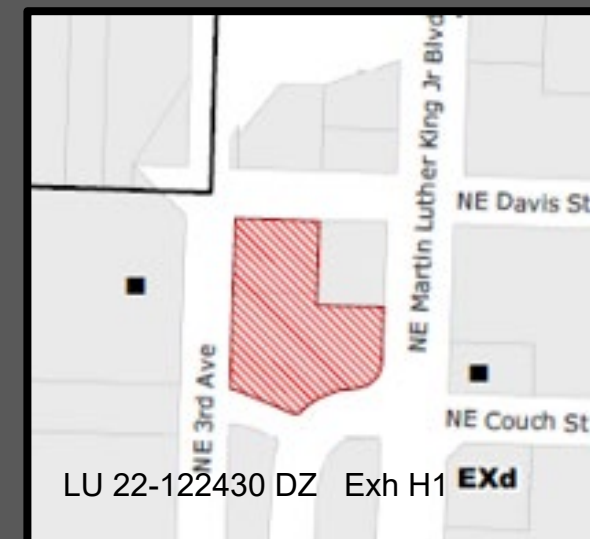


## C1.8 LANDSCAPE PLANTING PLAN

Roof Structure & Vines - Option 2 Only

# Program Overview

- A New Type 3 Design Review to complete the Condition was required as no new development proposal was submitted
- The proposal revises the design response to 2014 Condition of Approval for the Parking Ramp Cap



# Program Overview

- A New Type 3 Design Review to complete the Condition was required as no new development proposal was submitted.
- A revised response to the Condition of Approval for the Cap include Option 1 A/B, and Option 2



South Wall at Plaza



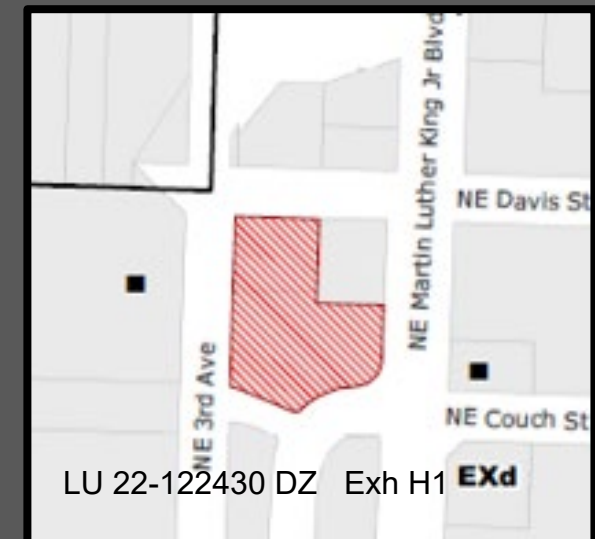
North Wall



Aerial View of Driveway Cap

## ***Option 1A/B:***

***Provide a metal open truss roof structure and high-speed garage door [A - 12" or B - 16" spacing truss spacing]***





# Program Overview

- A New Type 3 Design Review to complete the Condition was required as no new development proposal was submitted.
- A revised response to the Condition of Approval for the Cap include Option 1 A/B, and Option 2



South Wall at Plaza

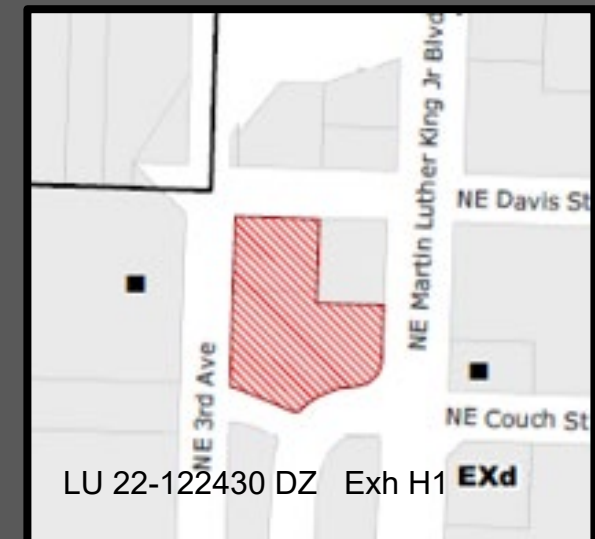


North Wall



Aerial View of Driveway Cap

**Option 2:**  
**Provide a wood trellis roof structure with no garage door.**





# Applicant Presentation

LU 22-122430 DZ Exh H1

# Discussion Topics

LU 22-122430 DZ Exh H1



South Wall at Plaza



**Option 1 A/B – dynamic metal truss cap resolves a successful and interesting solution to the roofscape that is visible from the adjacent ROW and plaza, and best completes the intent of the 2014 Condition of Approval to literally cap the exposed parking and loading access ramp.**

**However, as the cap does not fully enclose the full width of the parking ramp to the below grade parking garage as required by the original Condition of Approval D per LU 14-163479 DZM, a Condition of Approval of this review will require the continuation of the dynamic metal truss cap to fully cover the below grade parking ramp.**

**With this Condition, Option 1 meets the relevant design guideline approval criteria.**

## Context

### • Option 1 A/B

**Design Guidelines**  
**A3 RESPECT THE PORTLAND BLOCK STRUCTURES**

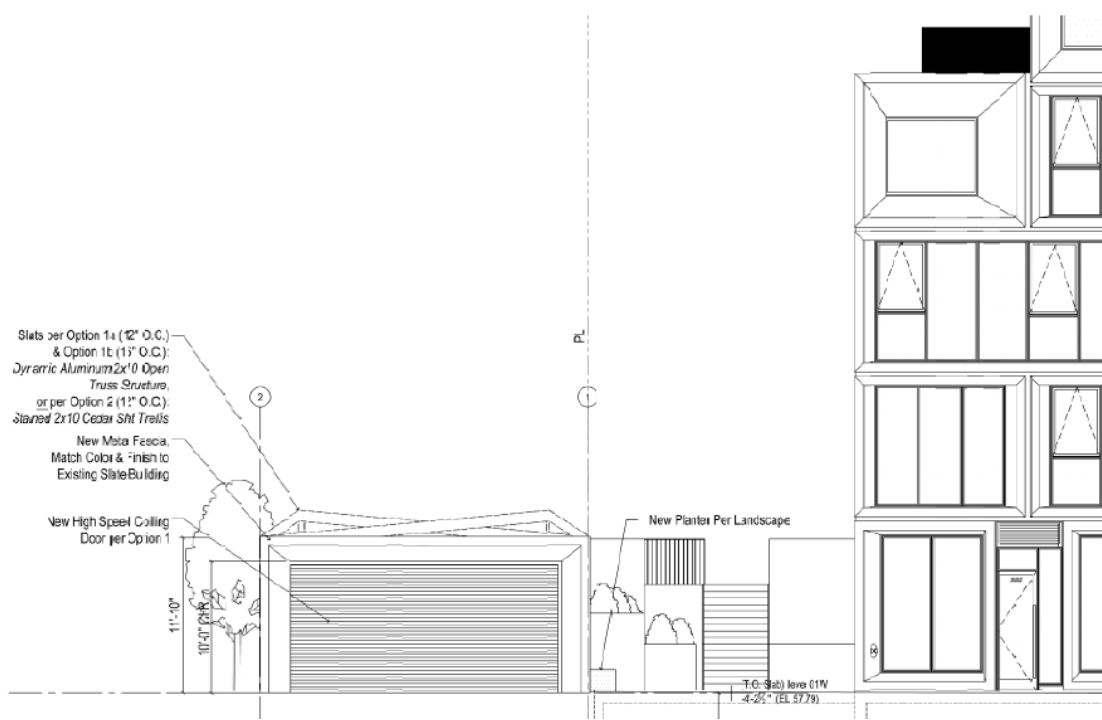
**A5 ENHANCE, EMBELLISH, AND IDENTIFY AREAS**

**C1 ENHANCE VIEW OPPORTUNITIES**

**C1-1 INTEGRATE PARKING**

**C4 COMPLEMENT THE CONTEXT OF EXISTING BUILDINGS**





**Option 1 – garage door. This option provides secure access via a highspeed garage door at the SE 3rd Avenue property line.**

**The enclosure of the street edge with a garage door that includes translucent glazing is appropriate and consistent with the pattern and approval of other zero-property line parking and loading door access points through the Central City. In fact, previously unsecured parking garage entries throughout the Central City have been recently requesting to add a garage door to secure the property. The proposed Option 1 has approval from the Portland Bureau of Transportation and meets the design guideline approval criteria.**

**With the Condition of Approval that the Option 1 – garage door is provided; the Option 1 A/B design meets these design guidelines.**

# Public Realm, Quality and Permanence

## • Option 1 A/B

### Design Guidelines

*A7 ESTABLISH &  
MAINTAIN A SENSE OF  
URBAN ENCLOSURE*

*A8 CONTRIBUTE TO A  
VIBRANT STREETScape*

*B1 REINFORCE AND  
ENHANCE THE  
PEDESTRIAN SYSTEM*

*B2 PROTECT THE  
PEDESTRIAN*



# Context

## • Option 2

**Design Guidelines**  
*A3 RESPECT THE  
 PORTLAND BLOCK  
 STRUCTURES*

*A5 ENHANCE,  
 EMBELLISH, AND  
 IDENTIFY AREAS*

*C1 ENHANCE VIEW  
 OPPORTUNITIES*

*C1-1 INTEGRATE  
 PARKING*

*C4 COMPLEMENT THE  
 CONTEXT OF EXISTING  
 BUILDINGS*

**Option 2 – wood trellis cap.** This option proposes a simple wood trellis and a flattened rooftop expression across the top of the parking ramp cap.

The intent of the Condition of Approval D per LU 14-163479 DZM was to provide a permanent solution to the parking cap by 2017 should a new development not be realized to fully cover this otherwise exposed suburban parking access typology. A more permanent, and more dynamic design of this highly visible one-story roof and garage door consistent with other underground parking garage access should be realized.

***Therefore, Staff recommends Denial of the Option 2 because it does not meet these design guidelines.***

# Public Realm, Quality and Permanence

- Option 1 A/B

## Design Guidelines

*A7 ESTABLISH &  
MAINTAIN A SENSE OF  
URBAN ENCLOSURE*

*A8 CONTRIBUTE TO A  
VIBRANT STREETScape*

*B1 REINFORCE AND  
ENHANCE THE  
PEDESTRIAN SYSTEM*

*B2 PROTECT THE  
PEDESTRIAN*

LU 22-122430 DZ Exh H1



## Option 2 – no garage door.

This option leaves the garage ramp open and unsecured from the street, creates an unsafe condition for pedestrians at the sidewalk, and is atypical to most all urban parking and loading access points to underground vehicle access throughout Central City. For these reasons the proposed Option 2 for no garage door does not meet the relevant approval criteria and Staff recommends denial of this option.

**Staff recommends Denial of the Option 2 – no garage door because it does not meet the design guidelines.**



# Staff Recommendations

LU 22-122430 DZ Exh H1

## Staff Recommendation

**Approval** for a revised design for the Slate Building parking ramp cap enclosure which includes:

- Stucco clad CMU walls along the north and south façade that replicate the patterning of Block 75 Slate's panelized facade.
- Trellis and vine application at select panels on the south facade.
- Custom mural application [Title 4 – Original Art Mural] at the south facade.
- Faceted framed entry to the garage to match Block 75 Slate's framed elements.

**Approval** for the Option 1 A/B design, which provides a dynamic metal open truss roof structure and high-speed garage door.

**Denial** for Option 2 to provide a simplified wood trellis roof structure with no garage door.

# Conditions of Approval

*Additional Conditions of Approval include:*

- C. Title 4 Art Mural will be completed within 3 years of this decision per Exhibit C1.1.**
- D. The dynamic metal truss cap [Option 1 A/B] will cover the entire parking accessway.**
- E. A garage door will be provided.**
- F. The proposed planters at the south side of the parking garage ramp cap will be irrigated to ensure the longevity of the proposed plantings.**



**Questions**  
LU 22-122430 DZ Exh H1

# 12/1/22 - DESIGN COMMISSION HEARING

## 22-122430 DZ- The Slate Building Parkine: Ca

### ATTEND ES - TESTIFIERS IN RED (subject to change)

FIRST NAME	LAST NAME	EMAIL	ADDRESS	CITY	ZIP	WOULD YOU LIKE TO TESTIFY
Doug	Bean	dougb@dougbbean.com	PO Box 2519	Portland	97208	NO
Jacob	Loeb	info@montavilla.net	19 SE 78th Ave	Portland	97215	NO
Tina	Bue	tinabue@gmail.com	4525 NE Fremont Street #406	Portland	97213	NO



# RAMP CAP 321 NE COUCH ST

PRESENTED BY WORKS PROGRESS ARCHITECTURE

Revised Submittal: December 1st, 2022

Design Review Package



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C3.8TRELLIS

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PROJECT SUMMARY

ADDRESS: 321 NE Couch St  
PROPERTY ID #: R150027 & R150028  
STATE TAX #: 1N1E34DA 02900 &  
1N1E34DA 03200  
ALT ACCOUNT #:  
TAX ROLL:

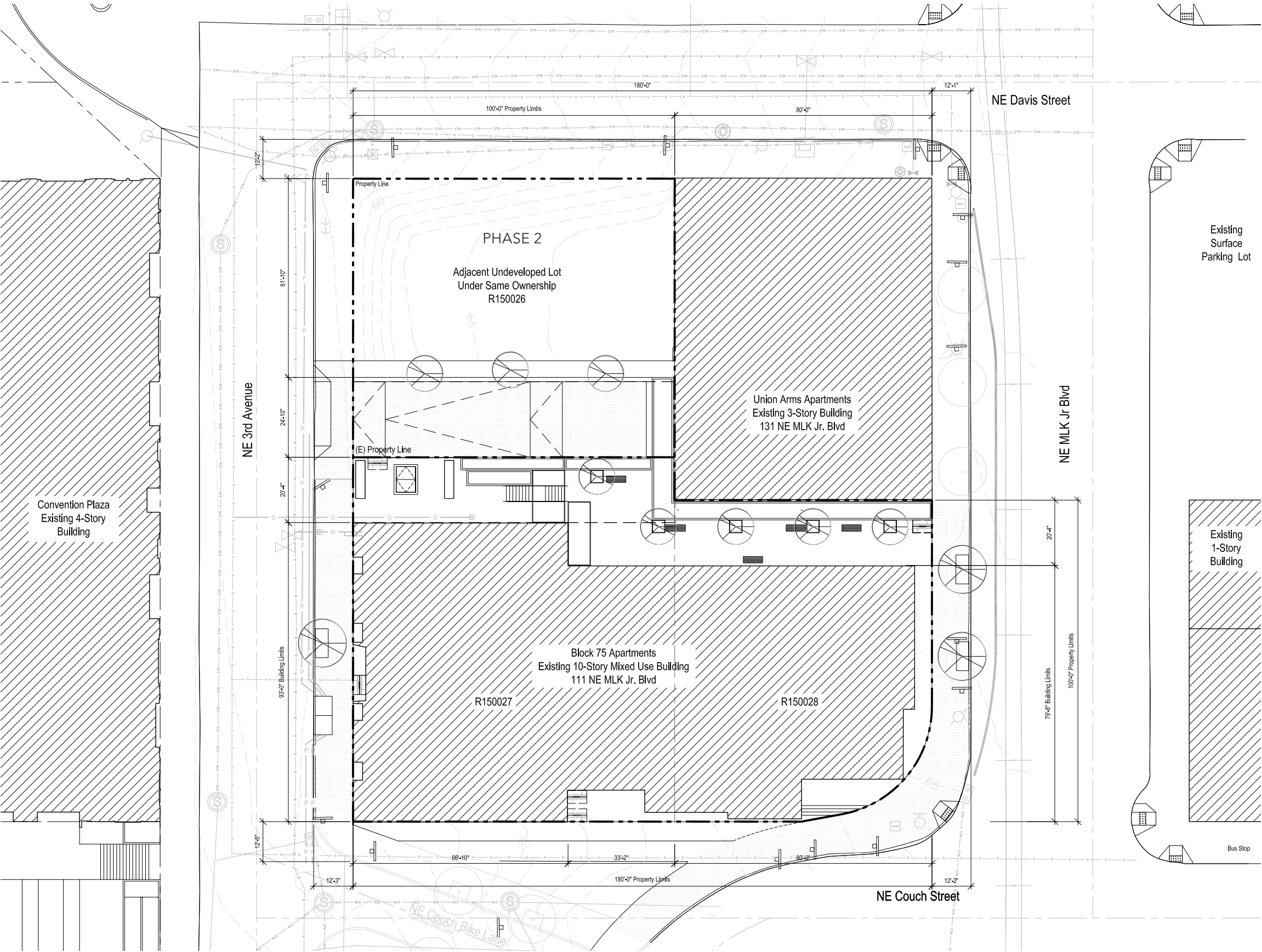
Block 75 is a full city block located at the east end of the Burnside Bridge adjacent to the Couch Couplet; Between NE Martin Luther King Jr Blvd (MLK), NE Third Ave, NE Couch St. and NE Davis St. The existing Block 75 Slate building occupies the southern half of the block, including a generous open plaza to the north that provides an east/west through block connection. Directly north of the plaza, a mid block driveway/ open ramp is located off of NE 3rd Ave. providing access to the sub grade parking garage where loading, vehicle and bike parking for the existing building are located.

The proposed development caps the existing driveway/open ramp access at NE 3rd Ave., allowing for a fully secure and covered entry to the existing garage serving the Slate building at 321 NE Couch Ct. The new structure offers

two design options, both consisting of stucco clad CMU walls and dynamic open trellis roof structures.

Access to the garage will be provided via a framed opening in the same faceted expression as Block 75 Slate's framed views, with one option additionally including a high speed garage door.

The south facade will include new planters and landscaping, as well as a custom mural to further compliment and engage the courtyard.



SUMMARY OF APPROVED DESIGN ELEMENTS (PHASE 2)

FINAL DECISION BY THE DESIGN COMMISSION  
RENDERED ON AUGUST 21, 2014  
CASE FILE NUMBER: LU 14-163479 DZM  
PC # 14-103009

- Original proposal/approval based on a two-phased development
- Building of 2nd phase will be located in vacant northwest quarter of the block
- Massing of new building will include a portion cantilevering over driveway ramp and will act as cap/cover for driveway
- Regardless of Phase 2 achievements, design is expected to include a successful screening solution for the driveway ramp
- In absence of any guarantee of Phase 2 timing/design, applicant has designed 'interim' driveway cap as part of this current proposal
- Phase 2 to begin construction soon after Phase 1, resulting in no need for parking cap
- A condition of approval will stipulate that driveway cap be constructed within 3 years of the issuance of a Certificate of Occupancy of Block 75 phase 1, unless construction of phase 2 has begun
- Driveway cap has rectilinear design, comprised of steel tube framing with 2"x10" cedar members spaced 8" on-center
- Driveway cap begins exactly where driveway begins at public sidewalk on 3rd Ave and terminates where driveway turns southward to enter the below-grade parking area
- Based on applicant's explanation and staff's understanding that phase 2 building will cover driveway, a reprieve of three years before requiring the cap to be constructed - if plans for phase 2 building become unexpectedly stalled - is reasonable





Driveway Cap from NE 3rd Ave



North Wall

SIMPLE TRELLIS TOP, NO GATE

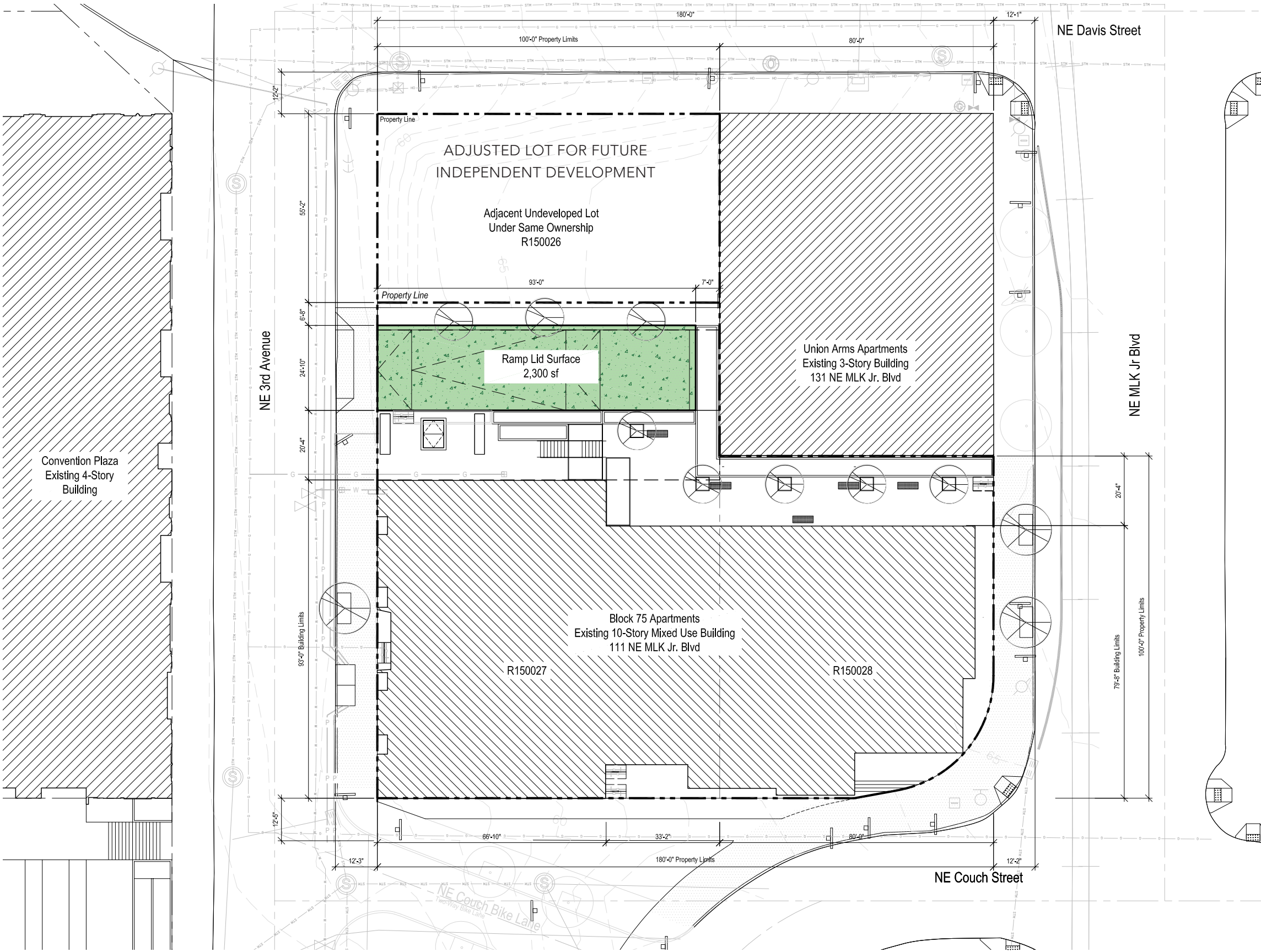
SUMMARY OF APPROVED DESIGN ELEMENTS

- Driveway cap has rectilinear design, comprised of steel tube framing with 2"x10" cedar members spaced 8" on-center
- Driveway cap begins exactly where drieway begins at public sidewalk on 3rd Ave and terminates where driveway turns southward to enter the below grade parking area



Aerial View of Driveway Cap





BDS PRE-APPLICATION CONFERENCE RESPONSE  
RENDERED ON JUNE 24, 2020  
CASE FILE NUMBER: 2020 EA20-131607

- REVISION SUMMARY
- EA recommended inclusion of full coverage eco-roof
  - EA recommended inclusion of high-speed garage door at ROW
  - EA recommended inclusion of mural/art at north wall of structure
  - Proposal included adjustment of property line location to allow separate development of north lot





South Wall at Plaza



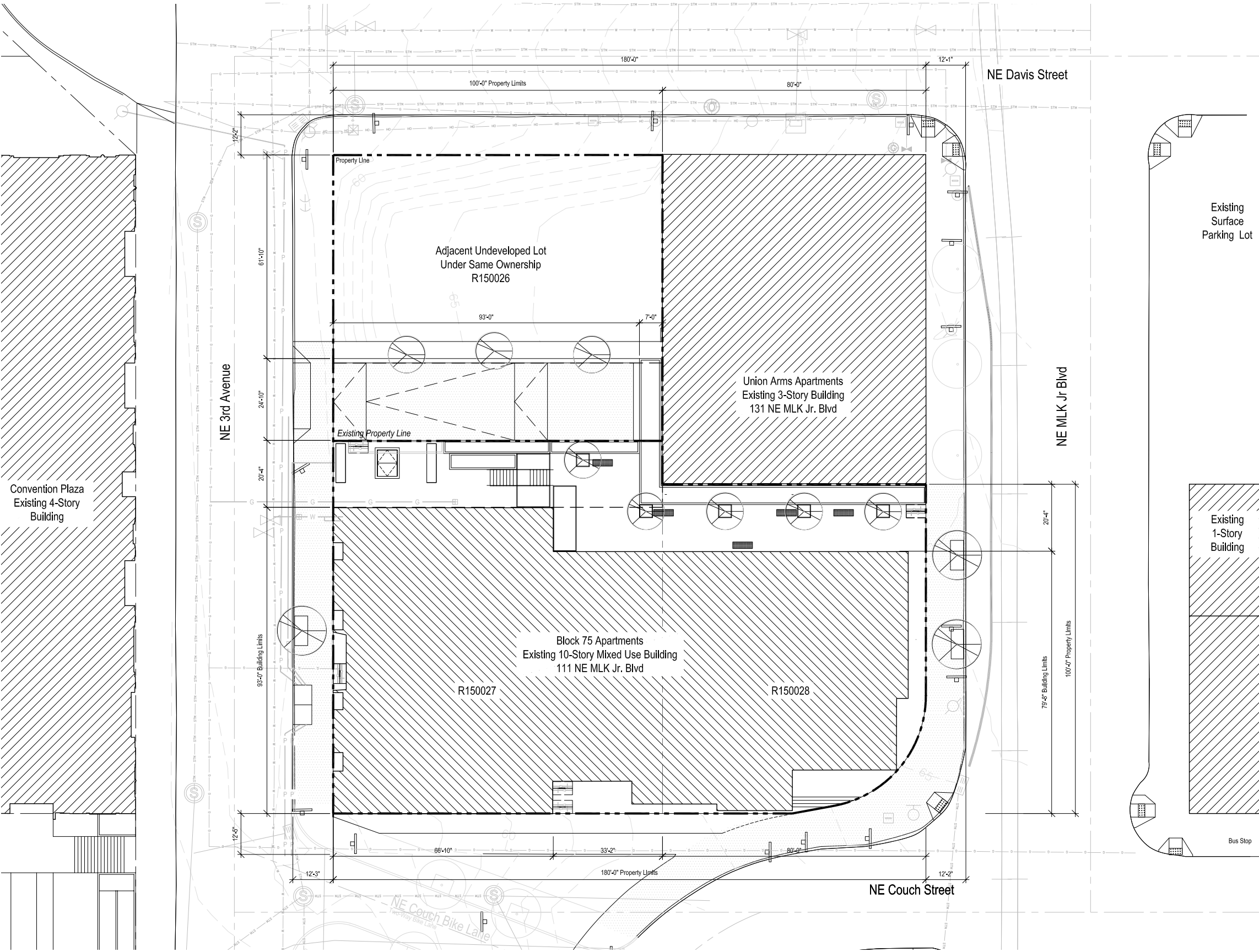
Green Roof View



North Wall



Proposed Site	
R150027 & R150028 Lot	22,177 sf
Ramp Cap Roof Area	2,300 sf



REVISION SUMMARY

- Option 1 replaces eco-roof with dynamic open trellis, allowing overall structure height to be minimized and provide for engaging views from the courtyard over the cap.
- Option 2 reverts to originally approved open trellis, allowing overall structure height to be minimized and provide for views from the courtyard over the cap.
- Locate mural on the south facade for more public engagement (eliminate mural at north wall as this is an interior lot line facade)
- Integrated landscape screen/vines at north and south facades
- Option 1 includes high-speed garage door at ROW
- Option 2 reverts to originally approved open garage at ROW
- Maintain existing PL location to optimize future north lot development





South Wall at Plaza

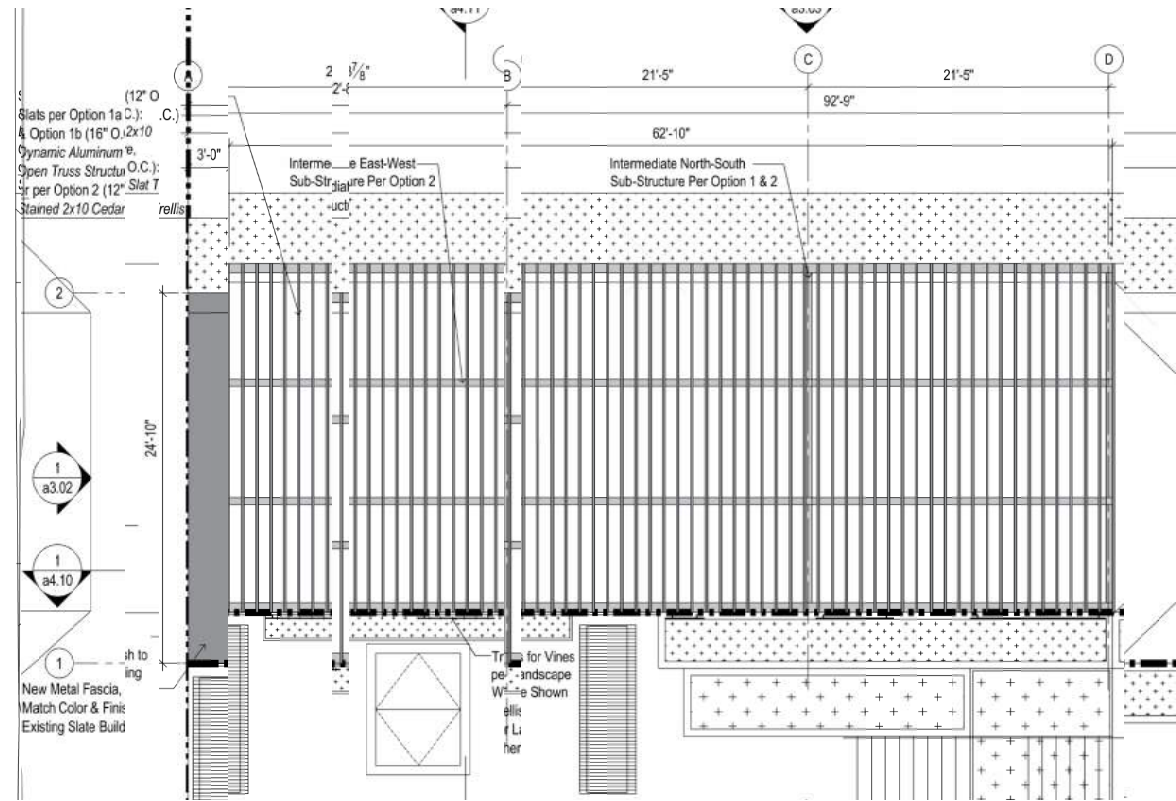
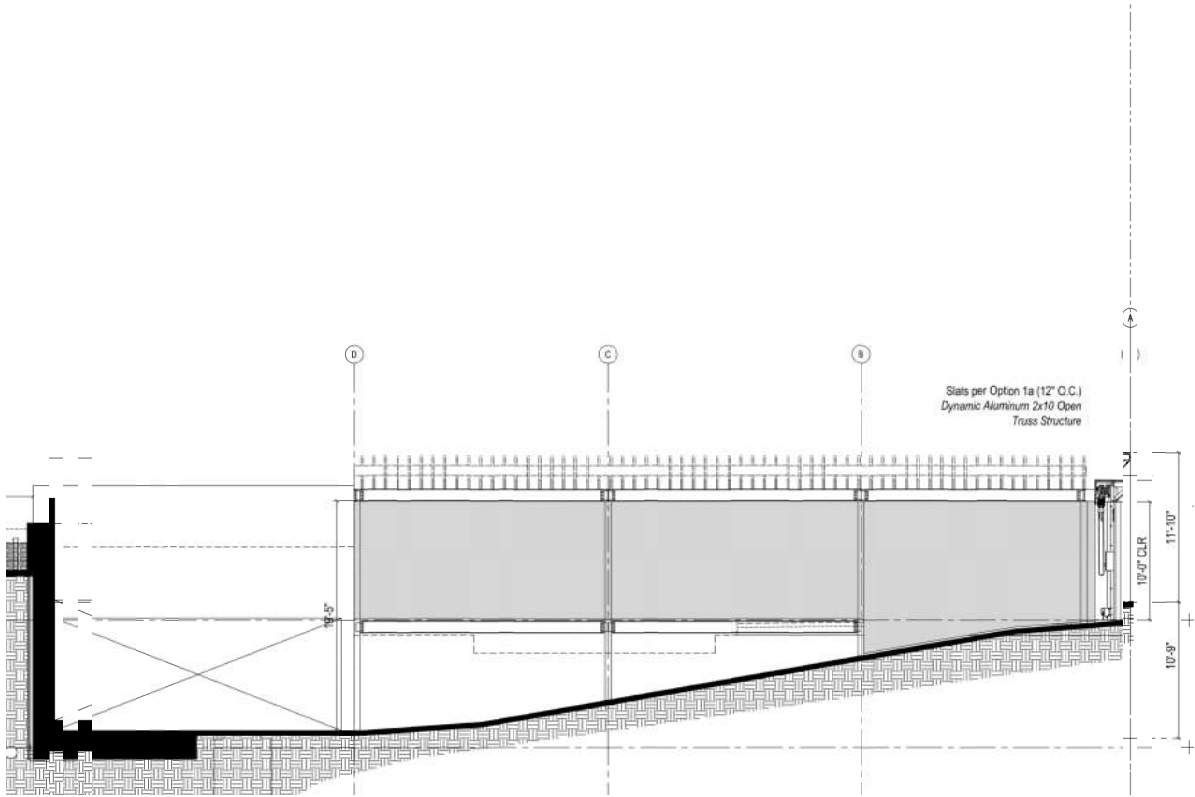


North Wall

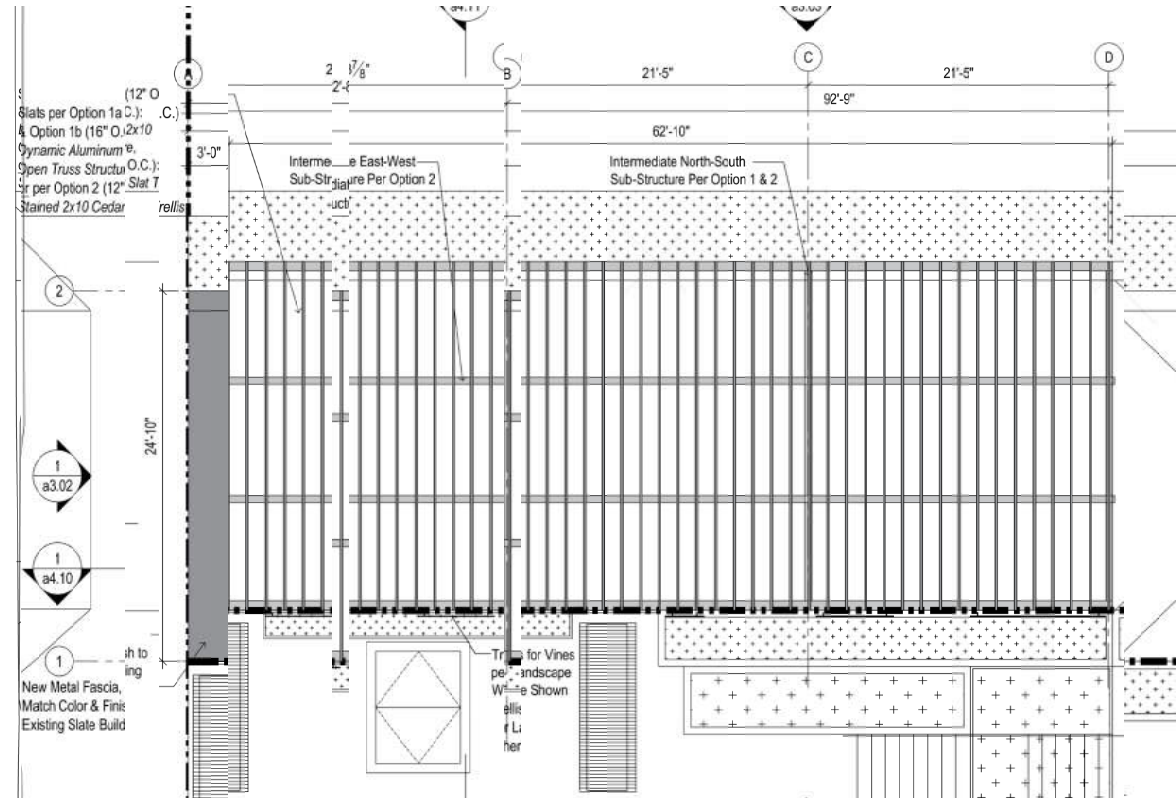
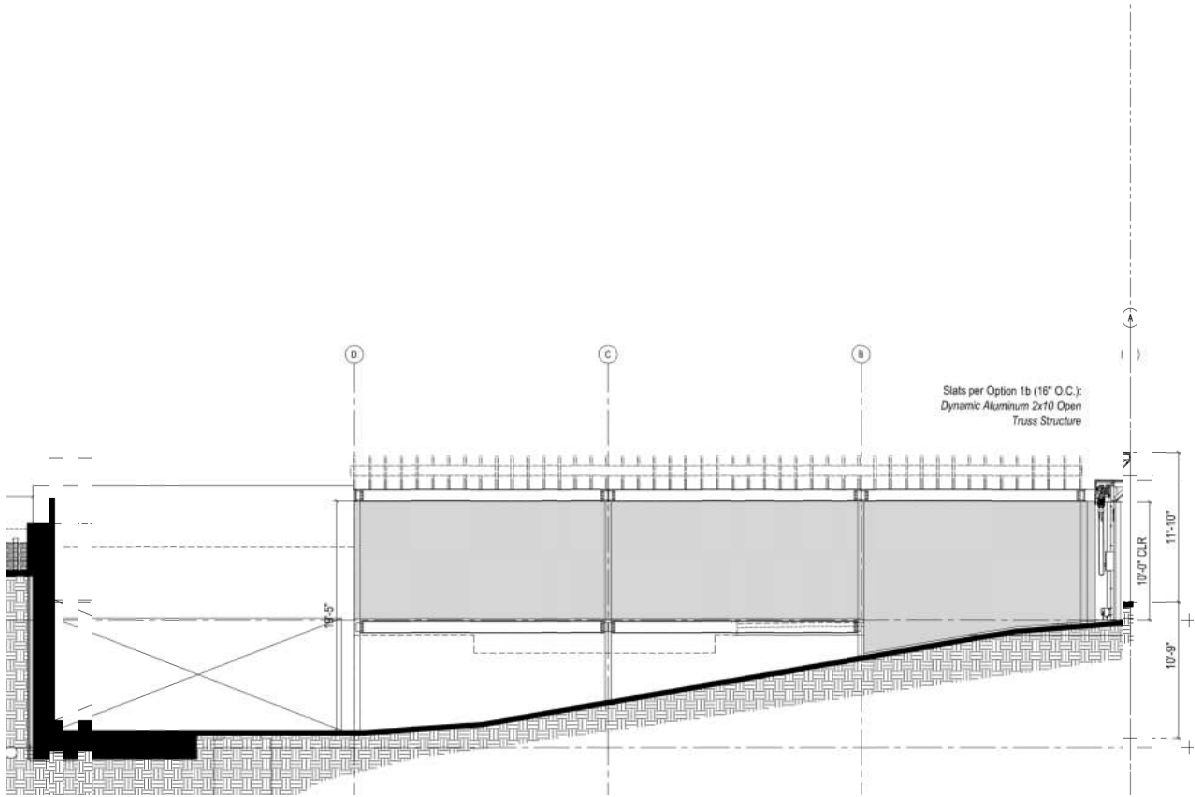


Aerial View of Driveway Cap













South Wall at Plaza

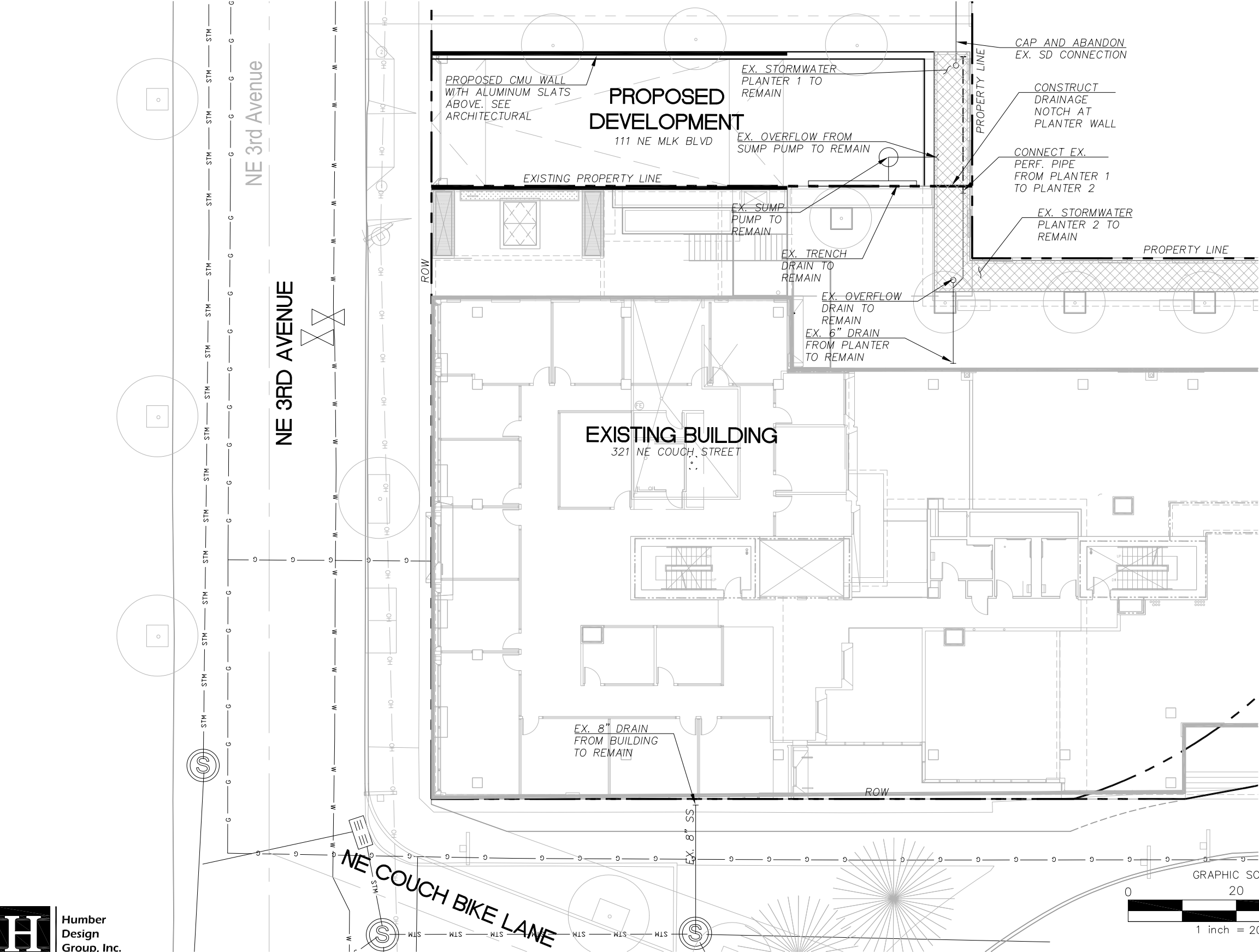


North Wall



Aerial View of Driveway Cap





STORMWATER NARRATIVE

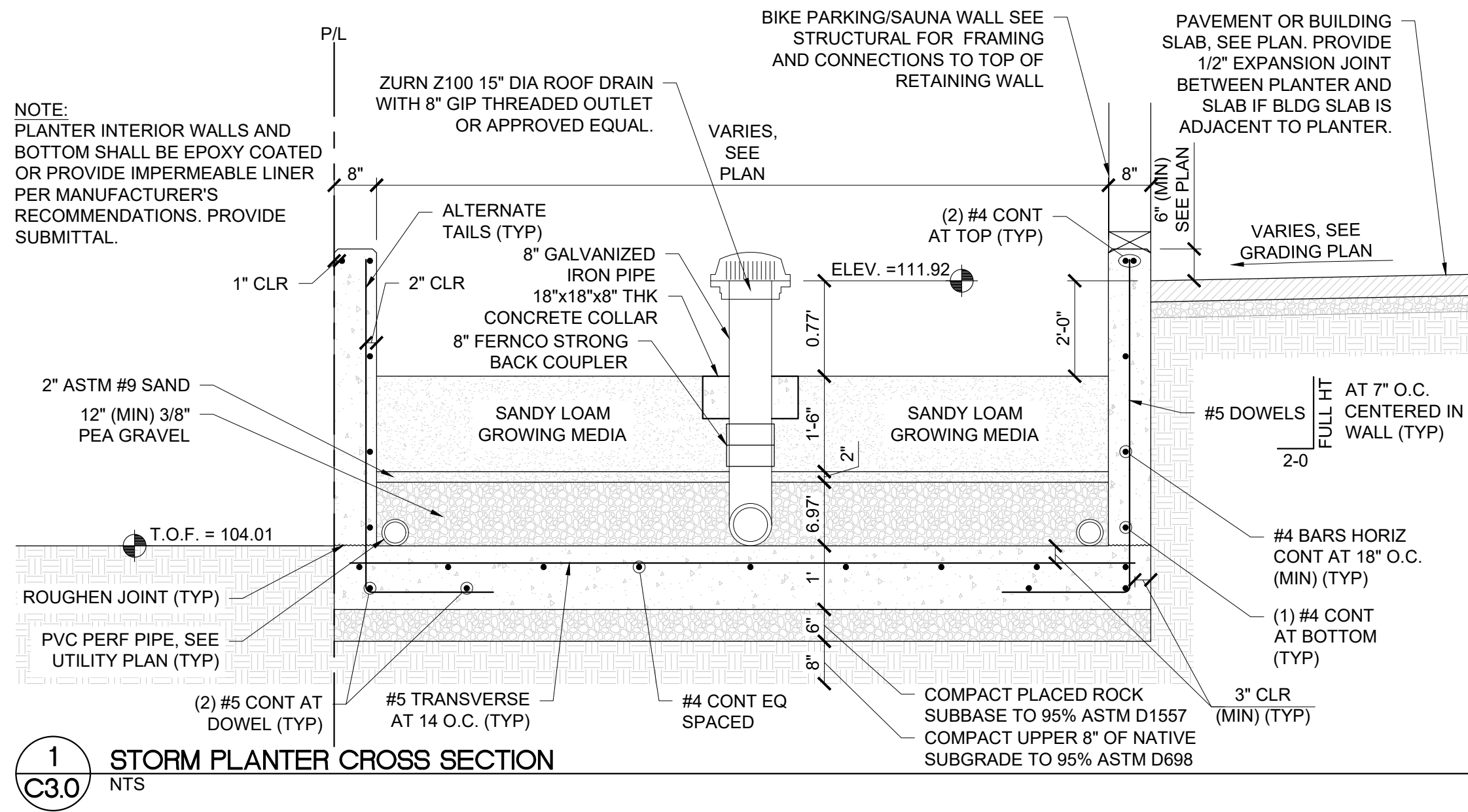
PRIVATE SITE:

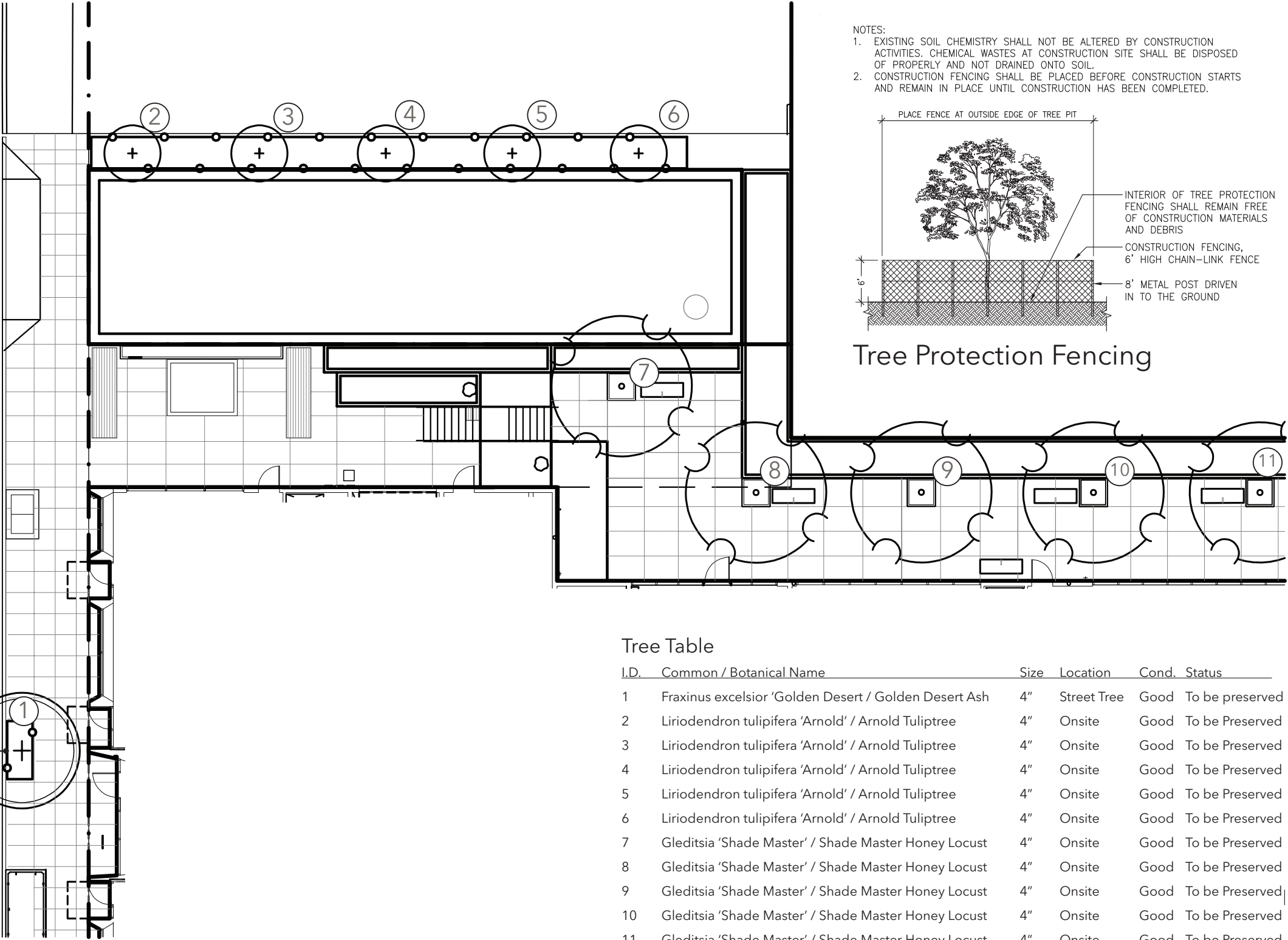
STORMWATER MANAGEMENT WILL NOT BE REQUIRED FOR THE PROPOSED DEVELOPMENT BECAUSE NO NEW IMPERVIOUS SURFACE WILL BE CREATED. STORMWATER RUNOFF AT THE DRIVE WILL FALL THROUGH THE ALUMINUM SLAT STRUCTURE ABOVE AND ROUTE TO THE EXISTING TRENCH DRAIN WITH SUMP PUMP SYSTEM. THE PROJECT WILL CONTINUE TO FALL UNDER LEVEL 3 OF THE STORMWATER DISPOSAL HIERARCHY WITH OVERFLOWS FROM THE EXISTING PLANTERS DIRECTED TO THE EXISTING 21" COMBINED SEWER IN NE COUCH BIKE LANE.

PUBLIC STREET IMPROVEMENTS:

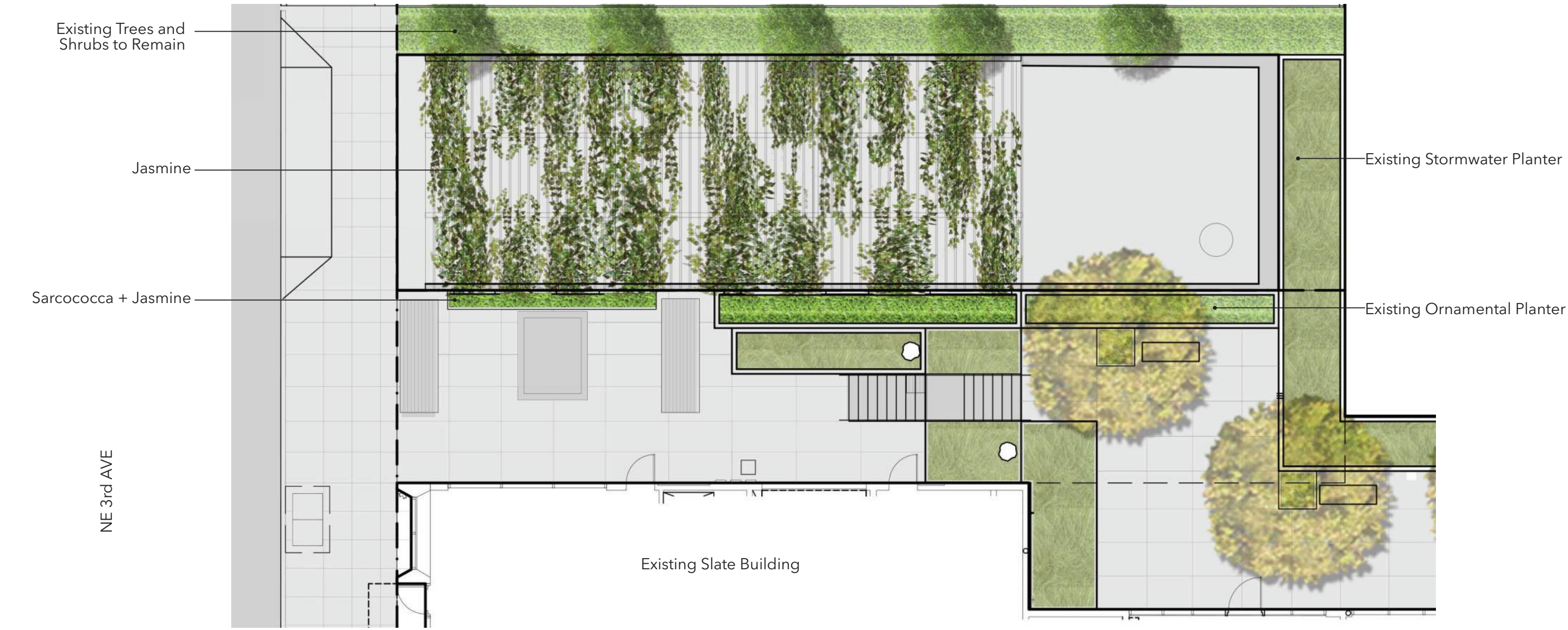
PUBLIC FRONTAGE IMPROVEMENTS AND STORMWATER MANAGEMENT ARE NOT REQUIRED FOR THIS PROJECT.











Landscape Plan







Vine Maple



Jasmine



Sarcococca

LANDSCAPE NOTES

- Vines to be irrigated providing water at each plant
- Vine Selection, Star Jasmine (Trachelospermum jasminoides), is an evergreen vine that will grow well in shade and can be trained to grow over top of trellis structure
- Large "staked" plant material specified (10-15 gallon containers), so scale and pretrained vines will make impact on Day 1
- Sturdy Jakob Cable trellis structure provided for Vine to twine onto and grow up



Jakob Cable Trellis



Local Vine Application

PROJECT MURAL PROPOSED UNDER, TITLE 4 ORIGINAL ART MURALS

Chapter 4.10 Purpose

The purpose of this Title and the policy of the City of Portland is to permit and encourage original art murals on a content-neutral basis on certain terms and conditions. Original art murals comprise a unique medium of expression which serves the public interest. Original art murals have purposes distinct from signs and confer different benefits. Such purposes and benefits include: improved aesthetics; avenues for original artistic expression; public access to original works of art; community participation in the creation of original works of art; community building through the presence of and identification with original works of art; and a reduction in the incidence of graffiti and other crime. Murals can increase community identity and foster a sense of place and enclosure if they are located at heights and scales visible to pedestrians, are retained for longer periods of time and include a neighborhood process for discussion.

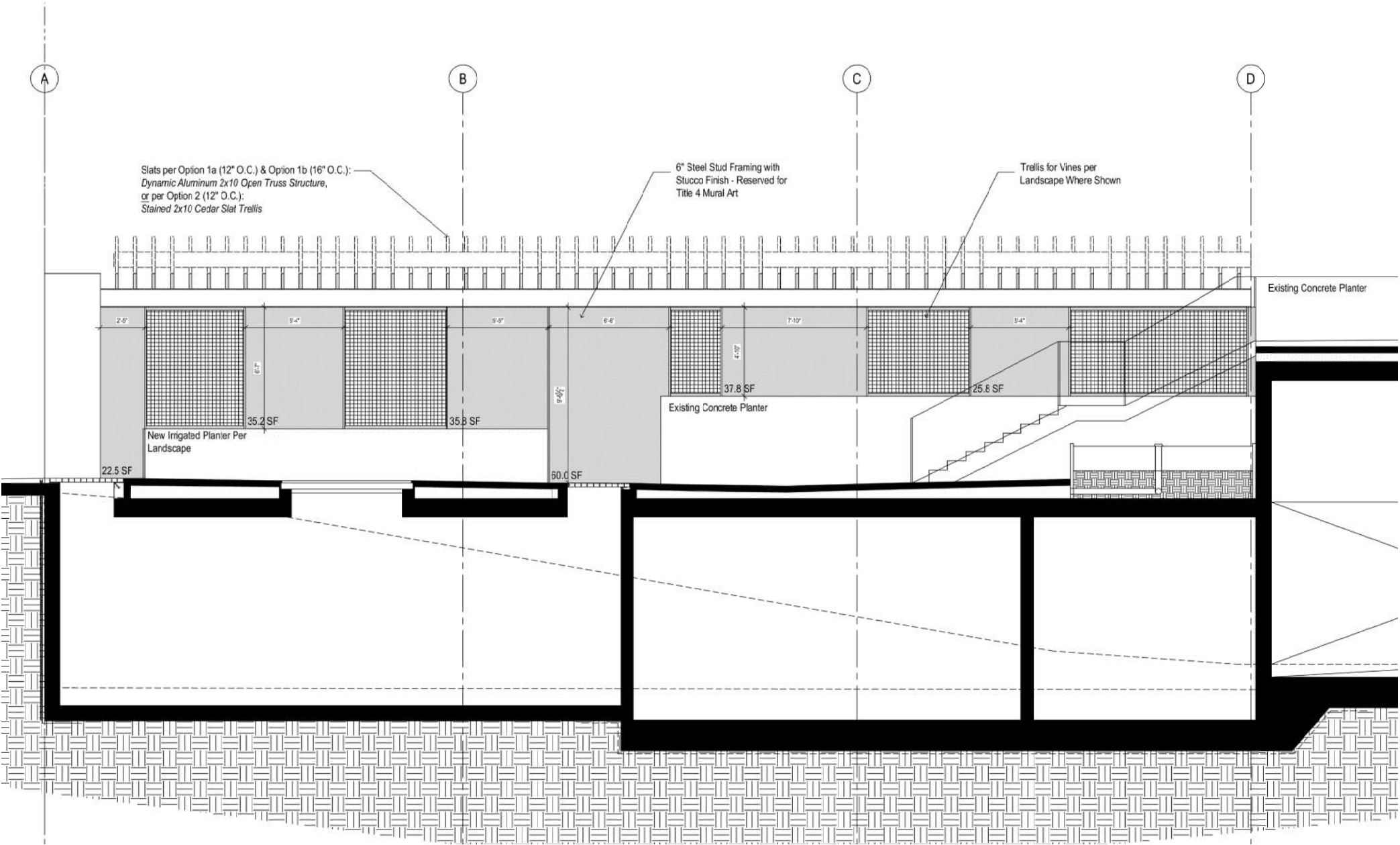
Chapter 4.20 Allowed and Prohibited Original Art Murals

(Amended by Ordinance Nos. 185915 and 189656, effective September 20, 2019.) Original Art Murals that meet all of the following criteria and which are not prohibited will be allowed upon satisfaction of the applicable permit requirements:

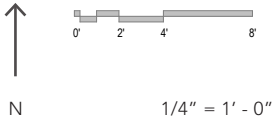
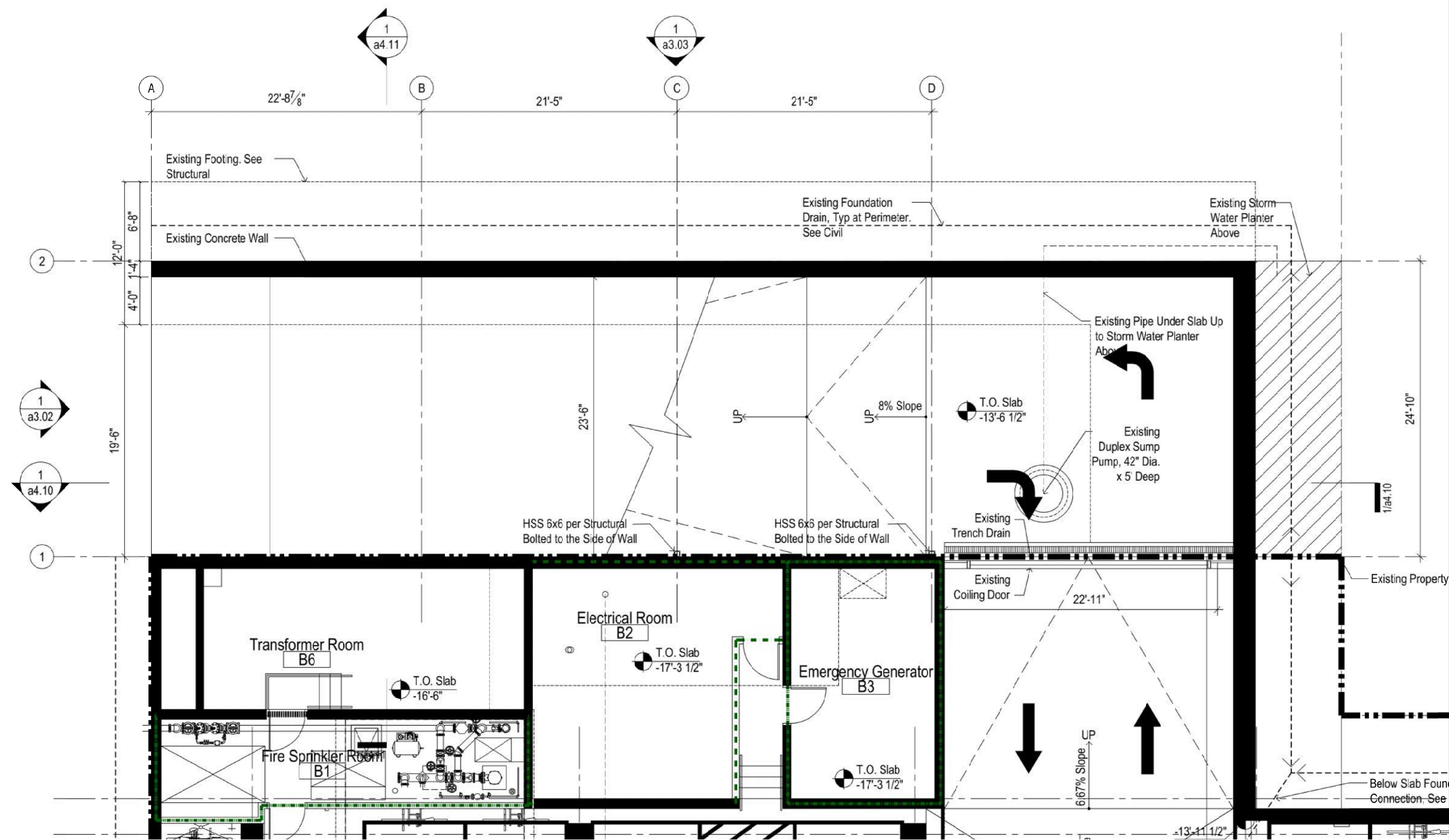
- 1. No part of the mural shall exceed 30 feet in height measured from the grade plane.
- 2. The mural shall remain in place, without alterations, for a period of 2 years, except in limited circumstances to be specified in the Bureau of Development Services Administrative Rules. The applicant shall certify in the permit application that the applicant agrees to maintain the mural in place for a period of 2 years without alteration.
- 3. The mural shall not extend more than 6 inches from the plane of the surface upon which it is tiled or painted or to which it is affixed.
- 4. In Design Overlay Zones, the mural shall meet all of the additional, objective Design Standards for Original Art Murals, as established in the Bureau of Development Services Administrative Rules.

Chapter 4.30 Neighborhood Involvement Process

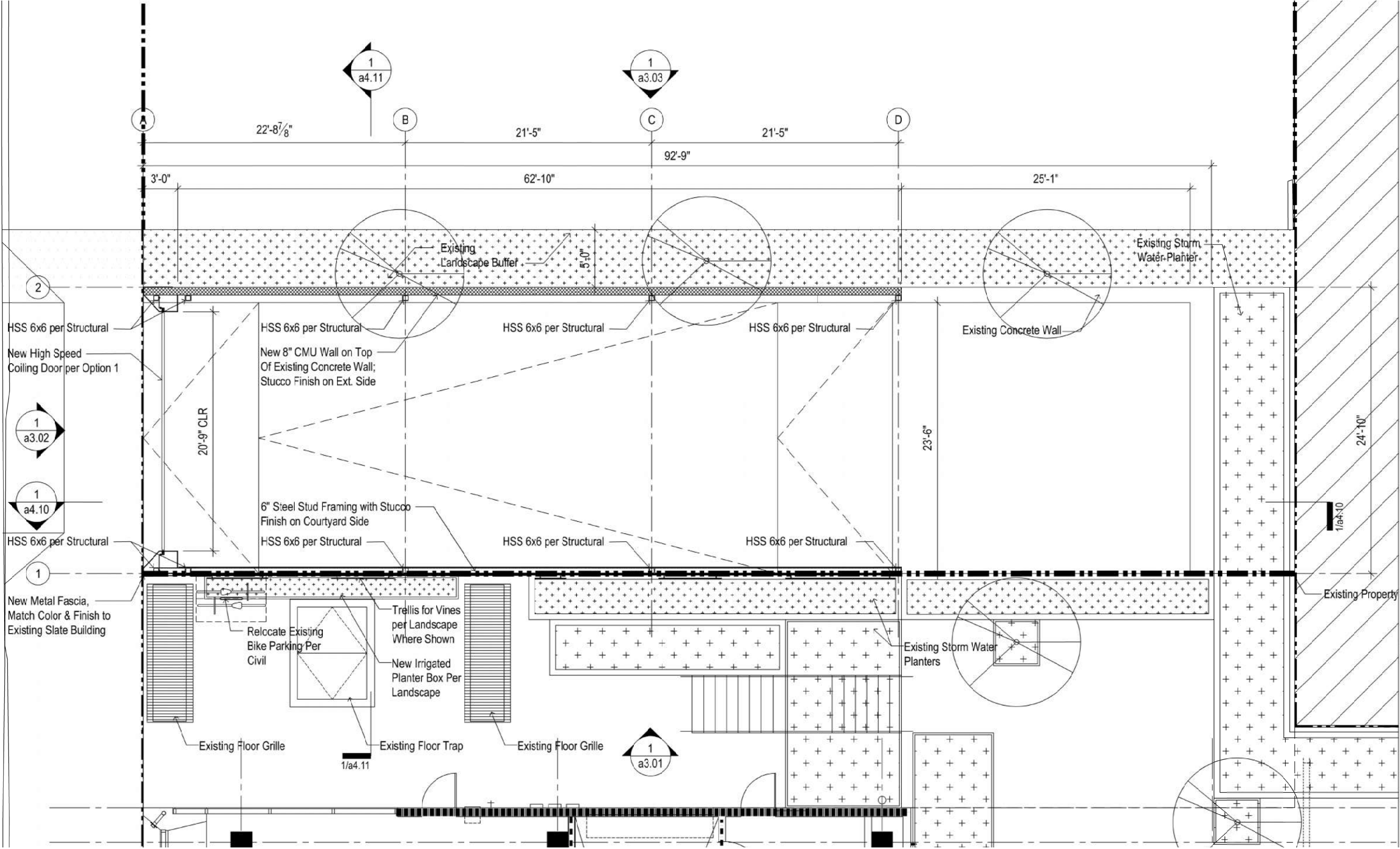
4.30.010 Establishment of Neighborhood Involvement Process for Permits. The Bureau of Development Services shall adopt through Administrative Rule a community involvement process requiring an applicant for an Original Art Mural permit to provide notice of and to hold a community meeting on the mural proposal at which interested members of the public may review and comment upon the proposed mural. No Original Art Mural permit shall be issued until the applicant certifies that he or she has completed the required Neighborhood Involvement Process. This is a process requirement only and in no event will an Original Art Mural permit be granted or denied based upon the content of the mural.

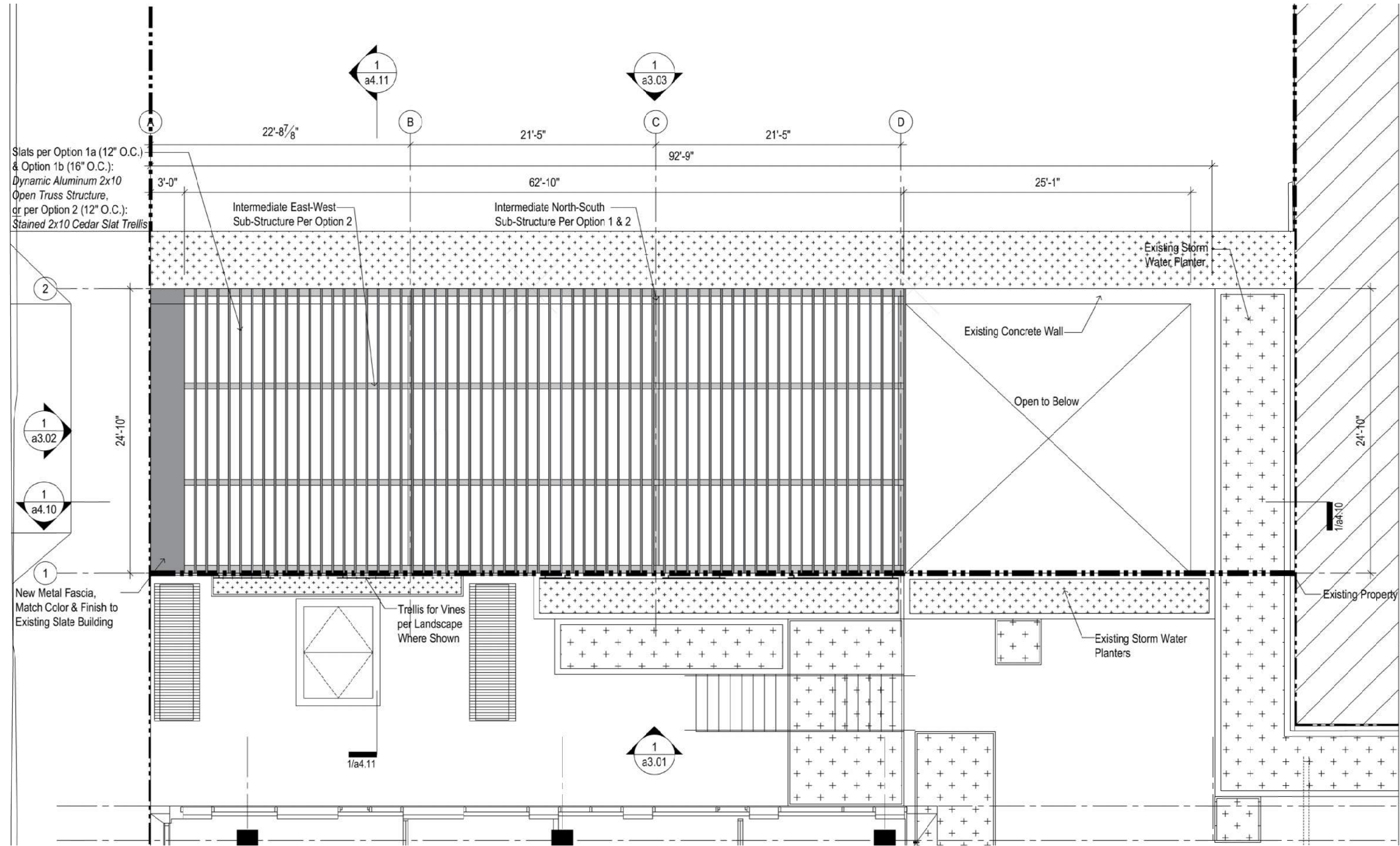




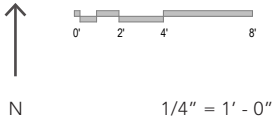
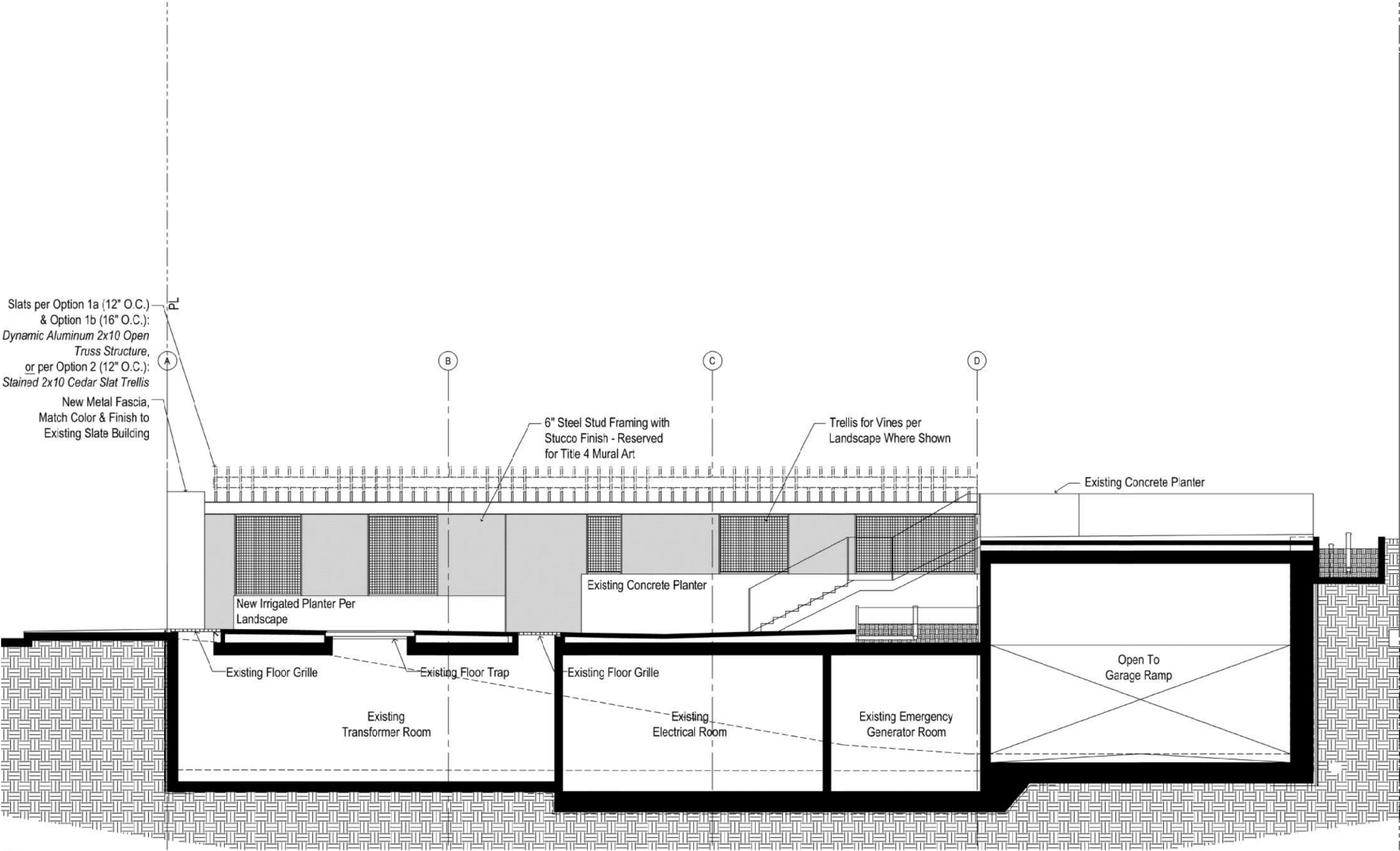




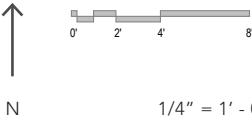
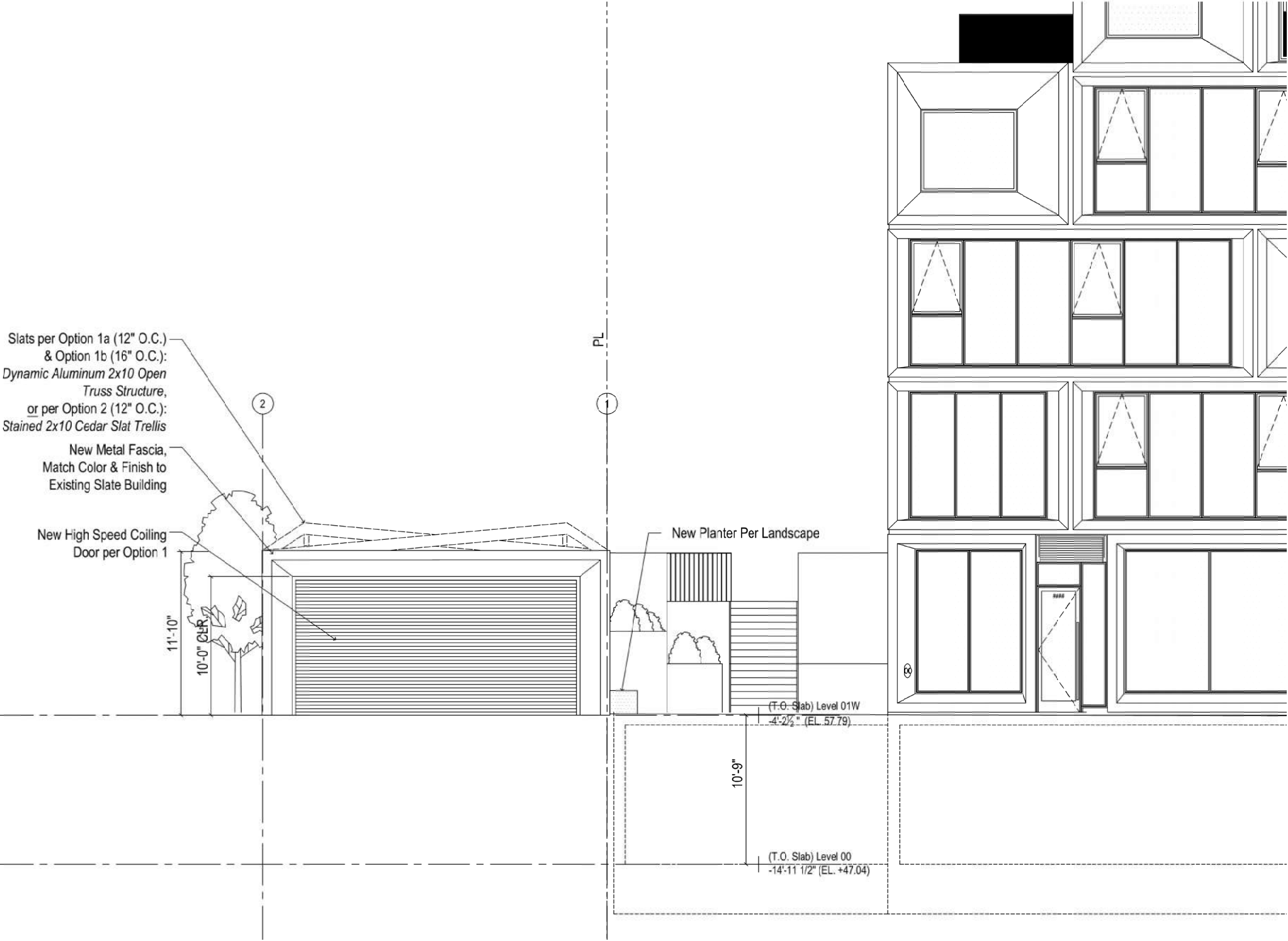


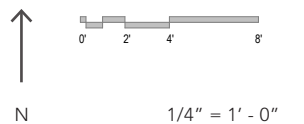
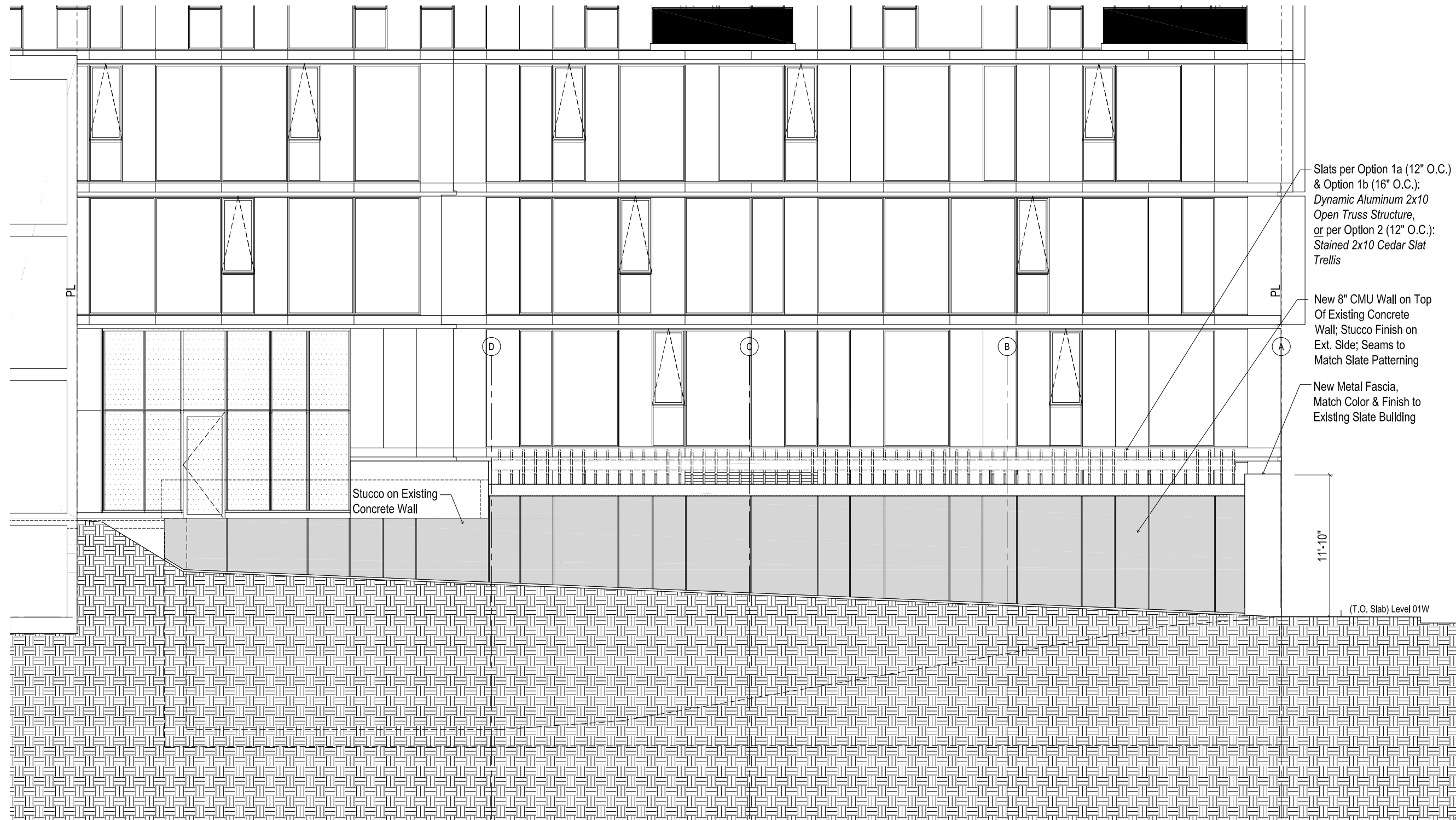


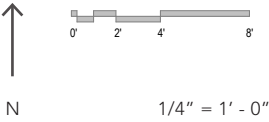
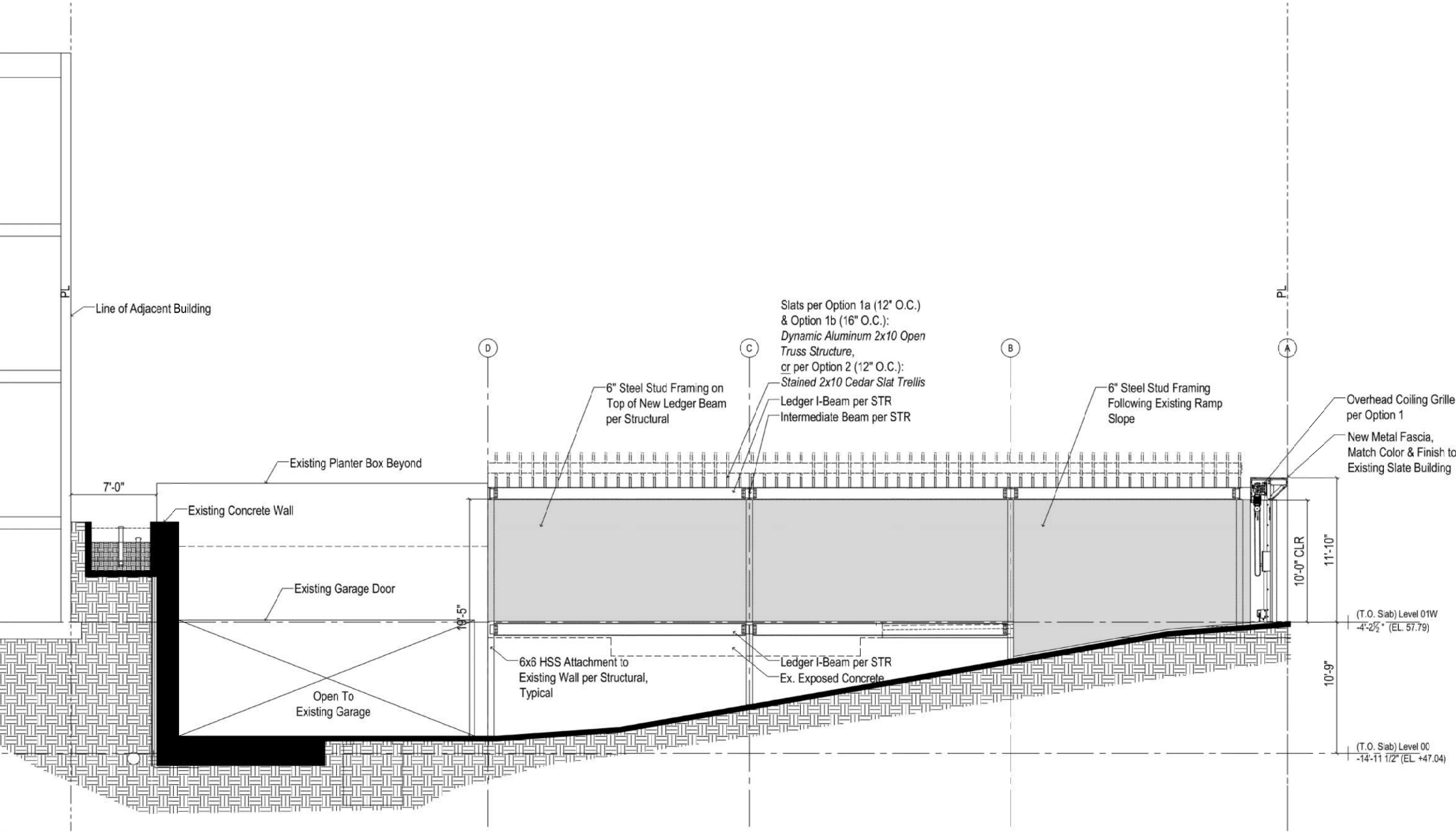




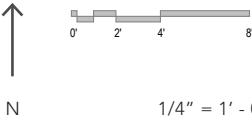
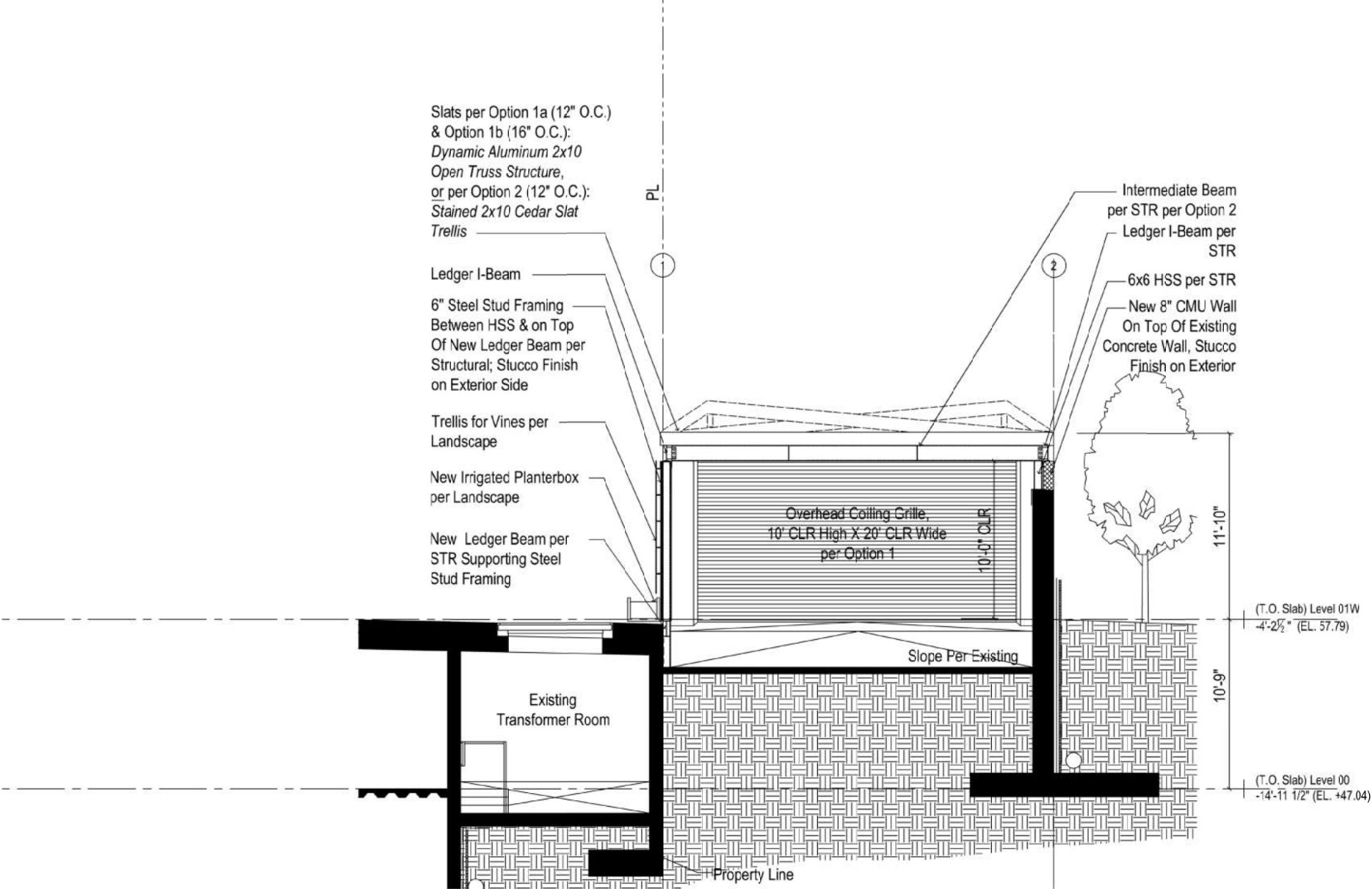










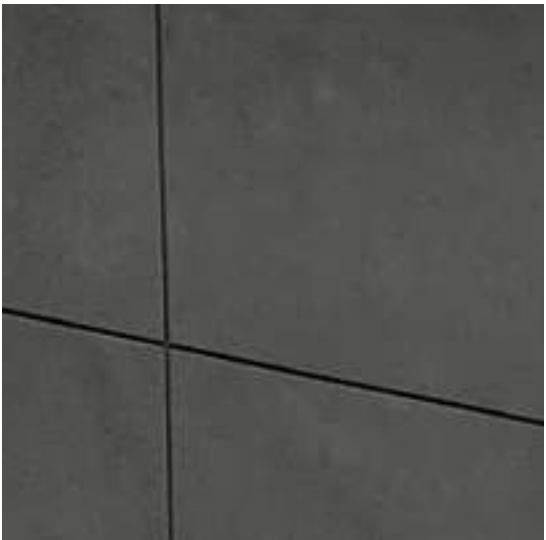




1. Trellis



2. Cedar 2x10 (Option 2)



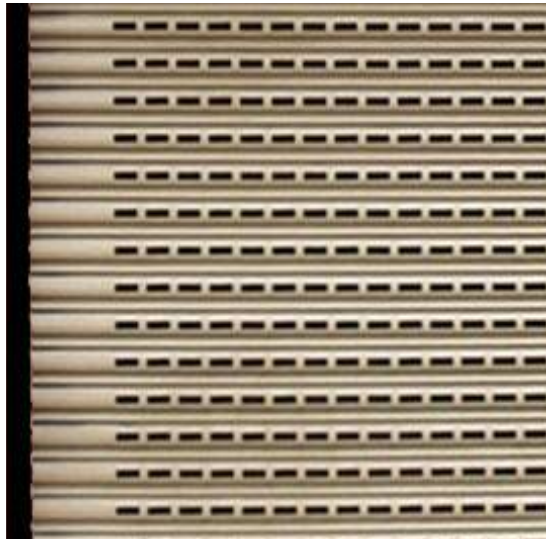
3. Stucco



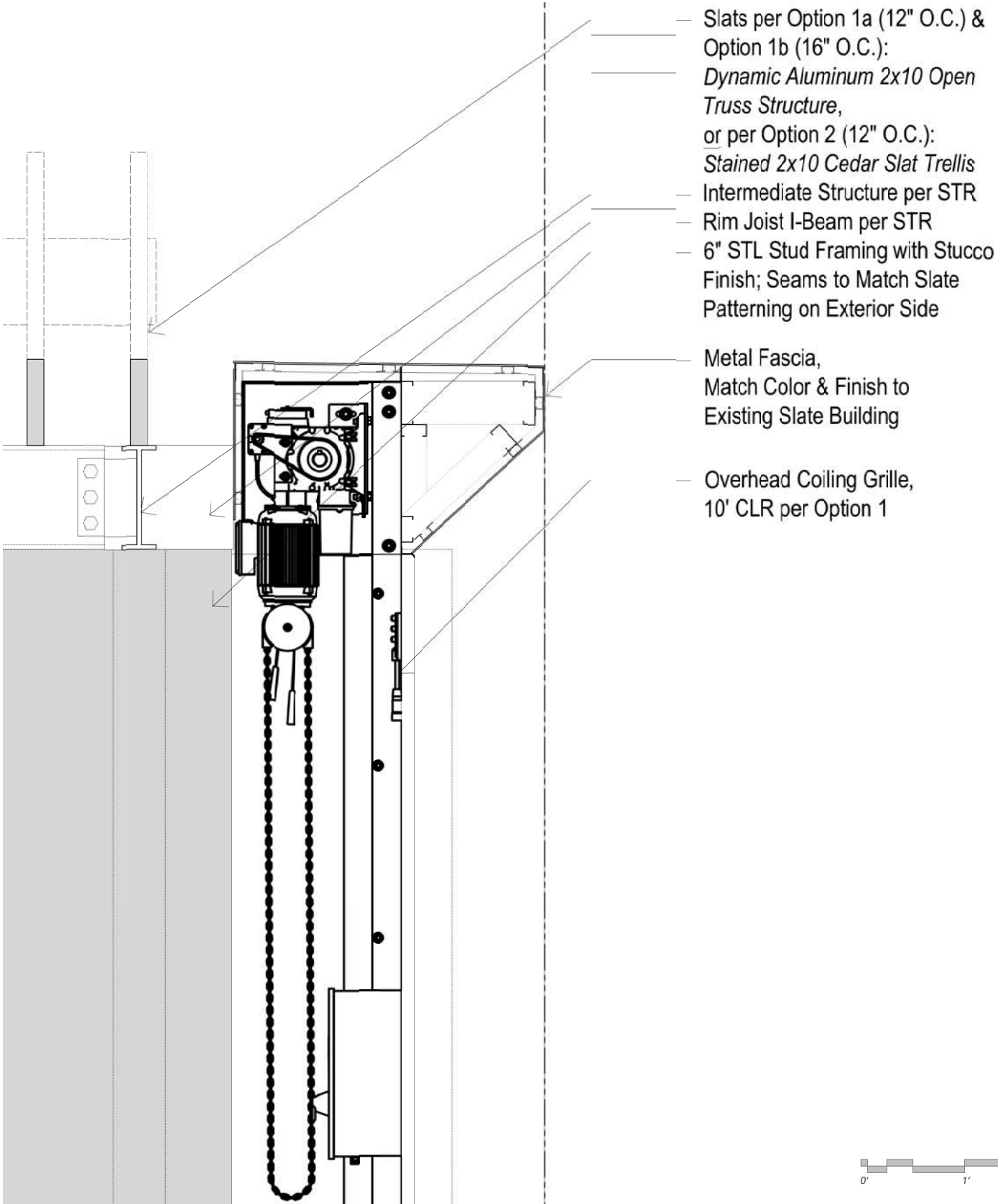
4. Slate Metal Panel  
Finish: Bone White & Dark Bronze



5. Aluminum Tubing (Option 1)



6. Garage Door  
Finish: Powder Coated Black



1-1/2" = 1' - 0"



# APPENDIX

APPENDIX

29	MATERIAL & EQUIPMENT CUT SHEETS
C3.1	STUCCO
C3.4	OVERHEAD COILING DOOR (OPTION 2 ONLY)
C3.6	METAL PANELS
C3.8	TRELLIS
C3.9	PLANTERS



# Sentry Stucco Wall System with MasterSeal® 581

Direct applied fiber-reinforced hard-coat stucco system featuring MasterSeal® 581.

## System Description

Sentry Stucco is a direct applied cement plaster stucco system for concrete and CMU featuring MasterSeal 581 waterproof cement-based coating with cement plaster component applied to a thickness of up to 5/8". Optional Senergy base coat and DiamondShield™ reinforcing mesh are available for superior crack suppression. Finishes are available in a limitless color selection. Performance enhancement options include increased resistance to dirt pick-up and mildew, and specialty finishes that create stone-like, metallic or mottled stucco appearances. The system features easy installation, proven durability and low maintenance.

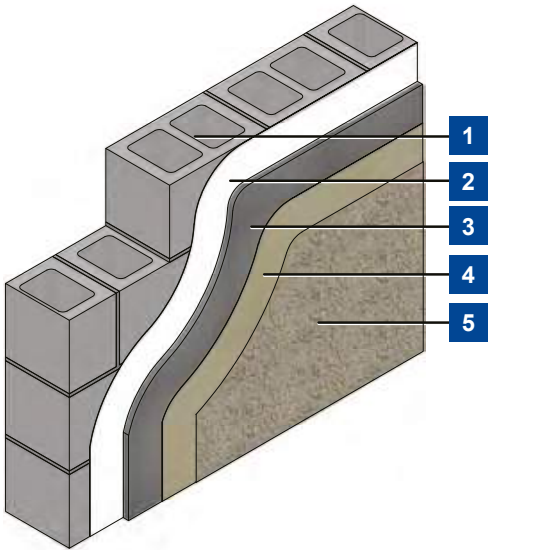
Integrated system components include MasterSeal 581, StuccoBase™/ StuccoBase Premix, optional Stucco Prime, and 100% acrylic polymer finish. Apply the system over poured concrete and unit masonry substrates.

## Uses

New or retrofit residential, institutional and commercial construction such as hotels, hospitals, retail centers, schools, multi-family apartments, condominiums, and government facilities.

## Advantages

- Resistant to impact and punctures; good for high traffic areas
- DiamondShield reinforcing mesh option further increases crack resistance
- Durable
- Susceptibility to efflorescence can be reduced by using Stucco Prime
- Additional safeguards against incidental moisture intrusion
- Direct applied removing the need for lath and mechanical fasteners
- Factory prepared StuccoBase minimizes potential site mixing errors; improves quality control
- Fire-resistive properties
- Low maintenance and life-cycle cost
- Elastomeric finish coat bridges hairline cracks
- Wide color and texture choices
- Fade-, abrasion-and dirt-resistant finishes contribute to low maintenance and life-cycle costs
- EPS shapes integrate into the system for economical architectural detailing
- Wide selection of finish textures, standard colors and unlimited custom colors



1. Concrete Masonry Units\*

2. MasterSeal 581
3. StuccoBase

4. StuccoPrime (Optional)

5. Senergy Finish Coat \*(By Others)

## Design Considerations

- The design wind load shall not exceed the system's allowable wind load as stated in applicable code reports.
- Details shall conform with Senergy Wall Systems' recommendations and shall be consistent with the project requirements.
- Expansion joints are required in the system where they exist in the substrate, where the system adjoins dissimilar construction, at changes in substrates.
- System shall terminate at expansion joints.
- Sealant joints shall be detailed and installed per sealant manufacturer's recommendations.
- A minimum 6:12 slope is required on all horizontal surfaces greater than 1" (25mm).
- Backer rod and sealant are required at door and window openings.

A brand of  
**MASTER®  
BUILDERS  
SOLUTIONS**

Sentry Stucco Wall System with MasterSeal 581  
System Summary

### Sentry Stucco Wall System with MasterSeal 581 and component performance:

TEST	METHOD	CRITERIA	RESULTS
Freeze-thaw Resistance	Per ICC-ES acceptance criteria AC-11	No sign of deleterious effects after 10 cycles	StuccoBase passed with no visible evidence of deterioration when examined under 5x magnification
Water Vapor Transmission	ASTM E96-Wet Cup	Report Value	StuccoBase 20.4 perms, MasterSeal 581 12 perms
Compressive Strength	ASTM C109	Report Value	3245 psi (22.4 MPa) average for StuccoBase
Flexural Strength	ASTM C348	Report Value	663 psi (4.57 MPa) average for StuccoBase
Surface Burning	ASTM E84	Report Value	<25 Flame Spread <450 Smoke Developed Includes MasterSeal 581, StuccoBase and Senergy Finishes
Non-Combustibility	ASTM E136	No flaming, excess temperature rise or weight loss when exposed to 1382 oF (750 oC)	Pass StuccoBase
Fire Resistance Rated Assemblies	ASTM E119	No transmission of heat greater than 250 oF above ambient; no passage of flame or hot gasses; no passage of water from hose stream test; for load bearing walls – ability to withstand load under test conditions	Does not affect rating of concrete or masonry wall
Tensile bond	ASTM D4541	Report Value	Min 150 psi, StuccoBase to MasterSeal 581

**Master Builders Solutions**  
**Constructions Systems US, LLC**  
889 Valley Park Drive  
Shakopee, MN 55379 USA

**Customer Service** (800) 433-9517  
**Technical Service** (800) 589-1336  
[senergy.master-builders-solutions.com/en](http://senergy.master-builders-solutions.com/en)



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## Sentry Stucco Ultra Wall System

A premium cement plaster stucco system with enhanced water management featuring Senershield-R/-RS/-VB air/water-resistive barrier.

### System Description

Senergy Sentry Stucco Ultra is a enhanced water management stucco system. The system uses Senergy liquid applied air/water-resistive barriers and Master Builders Solutions Drainage Mat to provide a premium level of protection of the sheathing and cavity against moisture and air intrusion. Optional Senergy base coat and DiamondShield reinforcing mesh are available for superior crack suppression. Senergy Sentry Stucco system offers design flexibility and aesthetic appeal.

Finishes are available in a limitless color selection. Performance enhancement options include increased resistance to dirt pick-up and mildew, and specialty finishes that create stone-like, metallic or mottled stucco appearances. Senergy Sentry Stucco Ultra has passed rigorous tests including Full-Scale Fire, Radiant Heat, Wind-Load, and Water Resistance. The system features easy installation, proven durability and low maintenance.

Integrated system components include Senershield-R/-RS or -VB, Master Builders Solutions Drainage Mat DF, PermaLath 1000 or Plaster Base, StuccoBase/ StuccoBase Premix, optional Senergy Base Coat and Reinforcing Mesh, optional Stucco Prime and Senergy Finish.

Apply the system directly to the following acceptable substrates:

- ASTM C1177 type sheathings, including DensGlass™ exterior sheathing, DensElement (as sheathing only), eXP™ sheathing, GlasRoc® sheathing, Securock™ glass-mat sheathing, Weather Defense™ Platinum sheathing, and GreenGlass® sheathing
- PermaBase™ cement-board by National Gypsum and other cement-boards (ASTM C1325 Type A Exterior)
- Untreated Exposure I or exterior plywood sheathing (grade C-D or better)
- Untreated Exposure I OSB
- Huber Zip Sheathing (sheathing only)
- Gypsum sheathing (ASTM C79/ASTM C1396)
- Poured concrete/unit masonry

### Uses

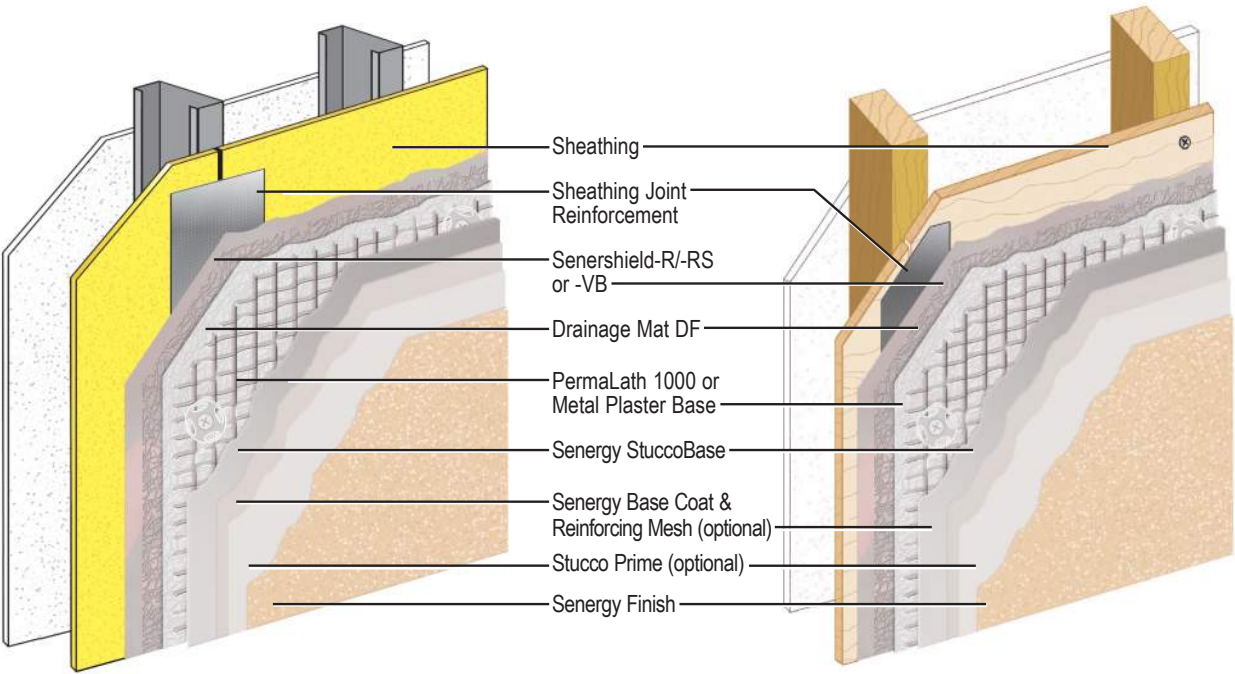
New or retrofit residential, institutional and commercial low-rise construction such as hotels, hospitals, retail centers, schools, multi-family apartments and condominiums, and government facilities.

### Design Considerations

- Maximum allowable deflection L/360
- The design wind load shall not exceed the system's allowable wind load as stated in applicable code reports.
- Details shall conform with Master Builders Solutions Wall Systems recommendations and shall be consistent with the project requirements.
- Control joints and trim accessories are required. Control joint placement is required in the Senergy Sentry Stucco Ultra Stucco Wall System every 144 ft² per ASTM C1063.
- Consult the framing and sheathing manufacturer for design and application considerations.
- Expansion joints are required in the system where they exist in the substrate, where the system adjoins dissimilar construction, at changes in substrates, at floor lines in multilevel wood frame construction, and where movement is anticipated
- System shall terminate at expansion joints.
- Sealant joints shall be detailed and installed per sealant manufacturer's recommendations
- A minimum 6:12 slope is required on all horizontal surfaces greater than 1"
- Backer rod, sealant and flashing are required at door and window openings



### Sentry Stucco Ultra Wall System



Sentry Stucco Ultra System over metal studs with ASTM C1325 or ASTM C1177 sheathing

Sentry Stucco Ultra System over wood studs with Exposure 1 or exterior plywood (Grade C/D or better) or Exposure 1 OSB sheathing

### Advantages

- Provides a drainage plane for directing incidental moisture out of the wall assembly
- Fluid applied air/water-resistive barrier provides a durable, seamless secondary moisture protection
- Three-dimensional Drainage Mat by Master Builders Solutions provides a drainage plane for maximum drainage and drying performance
- Seamless wall surface provides high resistance to potential water intrusion from rain and other environmental sources
- Available PermaLath 1000 self-furred glass fiber reinforcing lath that will not rust
- Factory prepared StuccoBase minimizes potential site mixing errors; improves quality control
- Senergy acrylic modified base coat over StuccoBase enhances water resistance performance and finish coat aesthetics
- Elastomeric finish coat bridges hairline cracks.
- DiamondShield reinforcing mesh option further increases crack resistance
- Resistant to impact and punctures; good for high traffic areas.
- Provides design flexibility with numerous design options
- Fade-, abrasion- and dirt-resistant
- Wide selection of finish textures, standard colors and unlimited custom color

### Limitations

- Susceptibility to efflorescence can be reduced by using Stucco Prime.
- Not for use below grade.



Sentry Stucco Ultra Wall System

System Testing			
Test	Method	Criteria	Results
Freeze-thaw Resistance	Per ICC-ES acceptance criteria AC-11	No sign of deleterious effects after 10 cycles	StuccoBase passed with no visible evidence of deterioration when examined under 5x magnification
Water Vapor Transmission	ASTM E96-Wet Cup	Report Value	StuccoBase 20.4 perms
Racking Load Test	ASTM E72	Report Value	Maximum load resistance 530 pounds (250 kg)
Compressive Strength	ASTM C109	Report Value	22.4 MPa (3245 psi) average for StuccoBase
Flexural Strength	ASTM C348	Report Value	4.57 MPa (663 psi) average for StuccoBase
Surface Burning	ASTM E84	Report Value	<25 Flame Spread <450 Smoke Developed Includes PermaLath 1000, StuccoBase, and Senergy Finishes
Non-Combustibility	ASTM E84	No flaming, excess temperature rise or weight loss when exposed to 750 °C (1382 °F)	Pass StuccoBase with PermaLath 1000 or metal plaster base
Fire Resistance Rated Assemblies	ASTM E119	No transmission of heat greater than 250 °F above ambient; no passage of flame or hot gasses of water from hose stream test; for loadbearing walls – ability to withstand load under test conditions	1 Hour Rated Assemblies': <ul style="list-style-type: none"><li>• Load bearing wood stud wall with 10.9 mm (7/16") OSB and 9.5 mm (3/8") StuccoBase</li><li>• Load bearing wood stud wall with 16 mm (5/8") Type X gypsum sheathing and 9.5 mm (3/8") StuccoBase</li><li>• Load bearing wood stud wall with 10.9 mm (7/16") OSB, PermaLath 1000 &amp; 12.7 mm (1/2") StuccoBase</li><li>• (from inside only)</li><li>• Non-load bearing stell framed wall with 16 mm (5/8") Type X gypsum sheathing, PermaLath 1000 &amp; 12.7 mm (1/2") StuccoBase</li></ul>

Reference Intertek Evaluation Reports CCRR-0230 and CCRR-0249

Sentry Stucco Ultra Wall System

General Air/Water-Resistive Barrier Minimum Performance			
Test	Method	Criteria	Results
Water-resistive barrier coatings used under EIFS	ASTM E2570		Meets all performance requirements
Air Leakage of Air Barrier Assemblies	ASTM E2357	0.2 l/(s.m²) @75 Pa (0.04 cfm/ft² @ 1.57 psf	0.0007 l/s.m² (0.0001 cfm/ft²) @ 75 Pa (1.75 psf) positive / post conditioning 0.0014 l/s.m² (0.0003 cfm/ft²) @ 75 Pa (1.57 psf) negative / post conditoning
Air Permeance of Building Materials	ASTM E2178	0.2 l/(s.m²) @ 75 Pa (0.004 cfm/ft² @ 1.75 psf)	0.0049 l/s.m² @ 75 Pa (0.00098 cfm/ft² @ 1.75 psf)
Rate of Air Leakage	ASTM E283		0.08185 l/s.m² @ 75 pa (0.0037 cfm/ft² @ 1.57 psf)
Water Vapor Transmission	ASTM E96	Report value	Senershield-R – 18 Perms (grains/Hr. in Hg ft²) @ 10 mils wet film thickness Senershield-RS 18 Perms (grains/Hr. in Hg. ft² @ 12 mils wet film thickness Senershield-R/RS – 14 Perms (grains/Hr. in Hg ft²) @ 20 mils wet film thickness Senershield-VB – 0.09 Perms (grains/Hr. in Hg. ft²) @ 26 mils wet film thickness
Pull-Off Strength of Coatings	ASTM D4541	Min. 110kPa (15.9 psi) or substrate failure	Pass – Tested over exterior gypsum sheathing, ASTM C1177 glass-mat sheathing, cement board, OSB, plywood; pvc and galvanized flashing
Nail Sealability (without Sheathing Fabric)	ASTM D1970	No water penetration at galvanized roofing nail penetration under 127 mm (5°) head of water after 3 days at 4 °C (40 °F)	Pass
Surface Burning	ASTM E84	Flame Spread < 25 Smoke Development < 450	Meets Class A: Flame spread = 15 Smoke developed = 95

Warranty Statement

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MODELS 800 ADV/800C ADV  
ADVANCED ROLLING DOOR SYSTEM



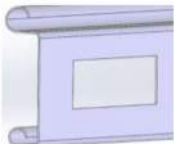
Model 800 ADV, Gray finish

HIGH TRAFFIC SOLUTION WITH LASTING DURABILITY

In today’s marketplace, security and low maintenance are key to business survival in an increasingly competitive environment.

To assist your business in driving these key initiatives, Wayne Dalton provides an advanced performance solution as an option to create a high performance environment.

No. 14 Slat Profile – Ventilated



- Available:
- Ventilated (fenestrated) flat-faced slat with 5" x 3/4" rectangular holes evenly spaced across slat; or per spec
  - Offers 16.5 to 17% open area over slat
  - Max of 20 ventilated slats per curtain
  - 20 psf maximum
  - 22, 20 or 18-gauge steel or stainless steel
  - Vision lites

RAL Powder Coat



- » RATED FOR DESIGN PRESSURE OF +/- 20 PSF
- » 3X FASTER THAN A STANDARD ROLLING STEEL DOOR
- » OPENING SPEED OF 24"/SEC, CLOSING SPEED OF 12"/SEC
- » SPRINGLESS DESIGN PROVIDES SMOOTH, RELIABLE, HIGH-CYCLE OPERATION

MODELS 800 ADV/800C ADV

STANDARD FEATURES OVERVIEW  
CONSTRUCTION

MOUNTING	Interior/exterior face-of-wall
CURTAIN	800: 3" flat slats (#14 profile), hardened powder coat (Gray, Beige, White) 22 ga. steel with alternating endlocks. 800C: 3" insulated flat slats (#34 profile), hardened powder coat (Gray, Beige, White) 22 ga. steel front/24 ga. steel backer with alternating endlocks. R-value* of 7.7; Sound Transmission Class rating of 22
MAX HEIGHT▲	20' (6,096 mm)
MAX WIDTH▲	20' (6,096 mm)
SPEED	Opening speed: 24"/sec. Closing Speed: 12"/sec
BOTTOM BAR	Two equal angles, 0.12 inch min. thickness, with wireless monitored sensing edge. Factory painted black
GUIDES	Three angle guide assembly; black
DOOR ROLL	Springless roll (steel tube with integral shafts, keyed on the drive end, supported by self-aligning greaseable sealed bearings). Door shall not require any counterbalance device
HOOD	24-gauge steel galvanized (Gray, Beige, White)
OPERATION	Direct drive, motor/gearbox/brake assembly with manual hand chain for power outages. 230V AC 3-phase is standard
CONTROL PANEL	NEMA 4X rated; variable frequency drive, self-diagnostics, timer to close programing options and non-resettable cycle counter are included
SAFETY DEVICES	Built-in brake mechanism, photoelectric sensors with commercial grade guards, wireless monitored safety edge; motor cover
WIND LOAD	+/- 20 psf standard

WARRANTY

TERMS	Five (5) year limited warranty on door system
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OPTIONS

- Actuators: loop detectors, radio control, push buttons, key switches, motion detectors, warning light, horns and strobes, second set of photoelectric sensors
- Flat insulated or non-insulated slat profile in a variety of gauges
- Vision/ventilation: 5" x 3/4" open fenestration; 5" x 3/4" acrylic vision lite
- Perimeter seals: surface guide weatherstrip, angled guide brush seal, exterior lintel weather seal, interior weather baffle
- Wind load: minimum of +/- 20 psf up to +/- 55 psf; options available to meet up to Dade County – Florida Building Commission High Velocity Hurricane Zone
- Custom color options
- Wireless accessories: pull cord station, palm station, 1-button push station, open-close-stop push button station
- Direct drive motor options available in 220/240V AC 1-phase, 460 or 575V AC 3-phase horsepower is appropriate to size and weight of door

\* Wayne Dalton uses a calculated R-value for our insulated doors.  
▲ Maximum height and width are independent of each other and may vary based on slat profile, material and gauge. Larger sizes may be available. Consult dealer for more information.

Wayne Dalton has designed the Advanced Rolling Door System with safety and security in mind.

This system comes standard with enhanced safety devices such as the built-in braking mechanism, photo eyes and wireless sensing edge. Designed for security, the curtain material is composed of interlocking metal slats, and the weight of the door coupled with the motor/gearbox/brake assembly helps deter the door from being pried open.

MATERIALS AND CONSTRUCTION

The direct drive heavy-duty gear box motor assembly requires minimum maintenance unlike conventional chain and sprocket system. Innovative springless design creates a door without a single spring to replace. The variable frequency drive system operates on a soft start and stop to hinder wear and tear on the system.

A non-resettable cycle counter tracks and displays total cycles for warranty and service and an LCD plain text read-out on the control panel indicates door actions, alarm and fault conditions in a user friendly language. These advanced diagnostics are used for fast set up and easy trouble shooting.

This door comes standard with wear-resistant powder coat technology, as well as door and guide construction that is rated for design pressure of +/- 20 psf.

Ideal applications are high cycle or high traffic areas such as public and government buildings, parking garages, police sally ports, auto dealerships, warehouses, industrial manufacturing facilities, shipping and receiving docks, airports and hospitals.

ADVANCED ROLLING DOOR SYSTEM

Advanced Rolling Doors that combines the security of regular rolling steel doors with low maintenance and high cycles of high performance doors.

- 1

**SPRINGLESS BARREL DESIGN**

Springless, high cycle design allows for the door system to be opened and closed frequently creating asset longevity and reliable performance over extended time without having to incur the cost of spring replacement.
- 2

**HEAVY-DUTY COMMERCIAL PHOTO EYES**

Photoelectric sensors reverse the downward motion of the door when a person or object enters its path.
- 3

**DIRECT DRIVE HEAVY DUTY GEARBOX AND MOTOR WITH BUILT-IN BRAKING DEVICE**

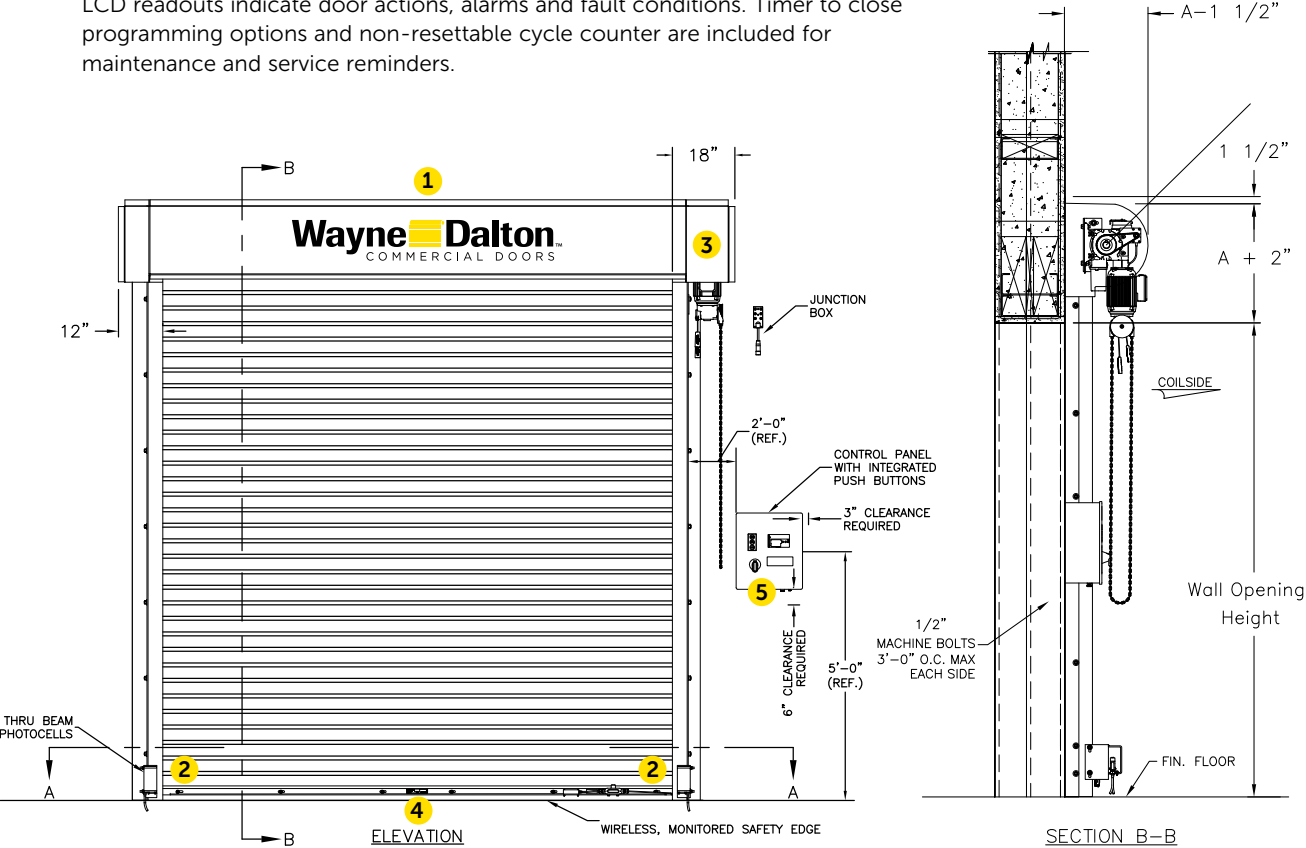
Ideal for high cycle applications. No drive chain and sprocket to adjust and maintain. Built-in braking mechanism protects against uncontrolled travel. Manual hand chain override for door operation during power loss.
- 4

**WIRELESS SAFETY EDGE**

Wireless, monitored safety edge reverses downward motion upon impact.
- 5

**NEMA 4X CONTROL PANEL WITH BUILT-IN VARIABLE FREQUENCY DRIVE**

Allows door to close at a slower speed than it opens to meet safety requirements. LCD readouts indicate door actions, alarms and fault conditions. Timer to close programming options and non-resettable cycle counter are included for maintenance and service reminders.





TECHNICAL INFORMATION SHEET

2014  
5/20/14



UNA-CLAD™ SERIES 3200  
and Series 3200NR  
Aluminum Plate Wall Panel System

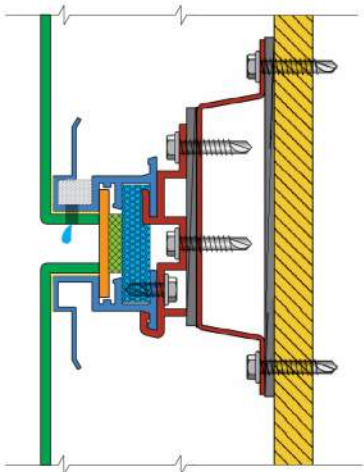
**DESCRIPTION:**  
The UNA-CLAD™ Series 3200 panel system is designed to utilize a .125" solid aluminum skin. The system utilizes break form fabrication with mechanically fastened extruded perimeter frame. Panels are then mounted to the wall with a custom snap on and slide attachment clip. A spline infill piece at the panel to panel joints allows for variance in color and joint size. The Series 3200 panel system is designed as a low cost water managed system that controls the impact of wind driven rain on exterior walls. The weather resistant barrier system behind the cladding allows air pressure to be transmitted through the panel system by way of vented openings in the panels, preventing wind driven rain from entering the wall cavity.

- METHOD OF APPLICATION:**
1. Attachment of panels to a system of subgirts or direct attachment to a smooth, solid substrate of plywood is recommended for the Series 3200 panel.
  2. The Series 3200 panels must be installed in a sequential pattern.
  3. Application of a Firestone approved underlayment prior to panel installation is required
  4. Panel installation with the Firestone snap clip allows for thermal movement and minimizes time needed to mechanically attach clips in the field.

Note: Follow approved shop drawing installation details.

- STORAGE:**
1. Stored in a well ventilated, dry place where no moisture can contact the panels. Moisture (from rain, snow, condensation, etc.) trapped between layers of material may cause water stains or white rust, which can affect the service life of the material and will detract from its appearance.
  2. If outdoor storage cannot be avoided, protect the panels with a ventilated canvas or waterproof paper cover. Do not use plastic, which can cause condensation. Keep the material off the ground in an inclined position with an insulator such as wood, or keep panels crated. Protective film may degrade or become brittle with exposure to direct sunlight.

- PRECAUTIONS:**
1. Oil canning is not a cause for rejection.
  2. Exercise caution when lifting, moving, transporting, storing or handling Firestone metal to avoid possible physical damage.
  3. Immediately remove protective film after installation.



PRODUCT DATA

Panel Type:	Aluminum Plate
Material Options:	.125", and .190" material thickness
Color:	Materials are finished after fabrication. Choose from FSMP standard colors or have unit custom painted.
Finish:	Kynar 500®/Hylar 5000™ high performance fluorocarbon resinous coatings
Optional Finish:	Anodized
Sealant:	Perimeter Sealant Dow 756 with primer or Momentive SCS2000 with primer
Clip:	Snap-On Side Clip
Substrate:	Subgirt System or Plywood
Standard Panel Surface:	Smooth

PANEL SIZE

Max Panel Width:	58" (1,473.2 mm)
Min. Panel Width:	6" (152.4 mm)
Recommended Max Panel Length:	157" (3,987.8 mm)
Min. Panel Length:	6" (152.4 mm)

TECHNICAL INFORMATION SHEET

2014  
5/20/14



UNA-CLAD™ SERIES 3200  
and Series 3200NR  
Aluminum Plate Wall Panel System

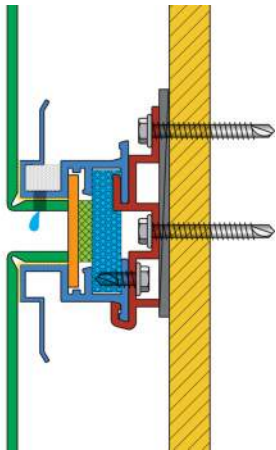
TECHNICAL INFORMATION

Air Infiltration:	ASTM E283
Water Penetration:	ASTM E331
Structural Performance:	ASTM E330
Dynamic Water Penetration:	AAMA 501.1
Pressure Equalized Rain Screen System:	AAMA 508**
Florida Building Code Approved:	#FL12094
Fire Resistance:	ASTM E84 Class "A" Rating
Finish Testing Available:	Contact FSMP for Technical Information Sheets on Finishes.

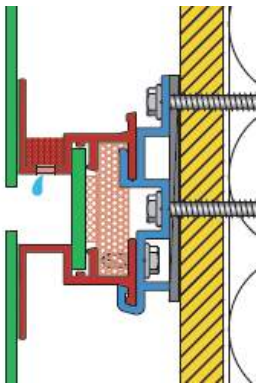
\*Testing not applicable for all substrates, materials, and dimensions. All systems with test listings must be installed in accordance with assembly tested.

\*\*Testing completed using MCM skin materials.

Manufacturing Facilities: Anoka, MN



S3200  
(Routed option no subgirt shown)



S3200NR  
(No return no subgirt shown)

This sheet is meant only to highlight Firestone's products and specifications. Information subject to change without notice. Firestone takes responsibility for furnishing quality materials, which meet Firestone's published product specification. As neither Firestone itself nor its representatives practice architecture, Firestone offers no opinion on, and expressly disclaims any responsibility for the soundness of any structure on which its products may be applied. If questions arise as to the soundness of a structure, or its ability to support a planned installation properly, the Owner should obtain opinions of competent structural engineers before proceeding. Firestone accepts no liability for any structural failure or for resultant damages, and no Firestone representative is authorized to vary the disclaimer.

**Firestone Building Products**  
1001 Lund Blvd. Anoka, MN 55303  
Phone: 763-576-9595 • Fax: 763-576-9596  
Toll Free: 800-426-7737  
<http://www.firestonebpc.com>

Firestone Building Products offers the following 31 standard colors.  
We can also custom color match for unique aesthetic requirements.



Stone White SR	Sky Blue SR	Teal	Regal Red SR
Bone White SR	Regal Blue	Hemlock Green SR	Brandywine SR²
Almond SR	Electric Blue*	Tropical Patina SR	Colonial Red SR
Sandstone SR	Award Blue*	Patina Green SR	Terra Cotta SR
Slate Gray SR	Extra Dark Bronze	Dark Ivy SR²	Silver Metallic SR*
Cityscape SR	Dark Bronze SR¹	Sherwood Green SR	Classic Copper SR*
Charcoal Gray SR	Medium Bronze SR	Hartford Green	Champagne Metallic*
Sierra Tan SR	Matte Black SR¹	Mansard Brown SR	

These colors represent our steel and aluminum inventories.  
All systems are not available in all colors.  
A separate color card is available for aluminum composite.

Oil canning is not a cause for rejection.  
Protective film must be removed immediately after installation.  
For a true color representation, please contact us for actual metal sample(s).

LEGEND

★ = Premium Color

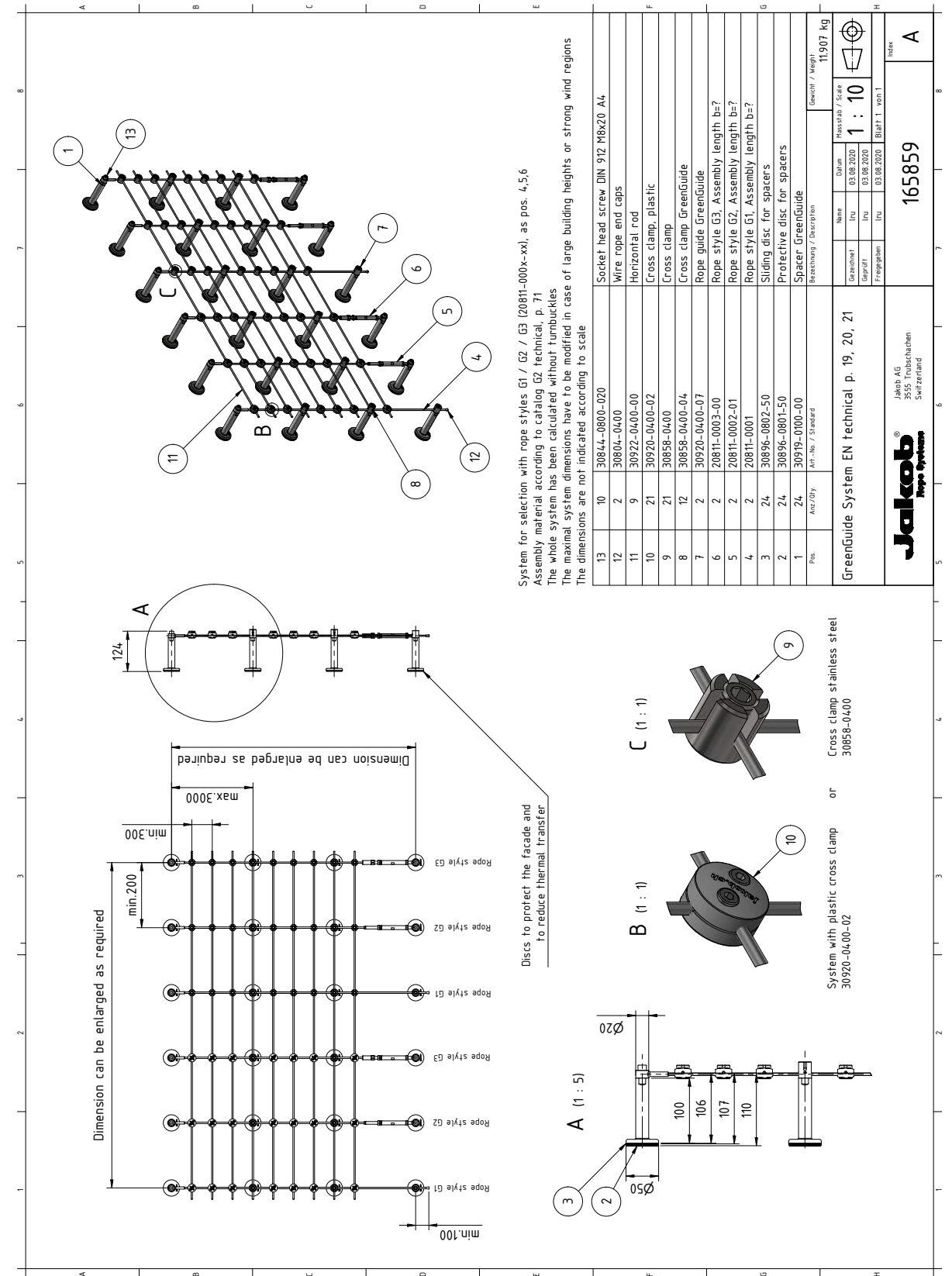
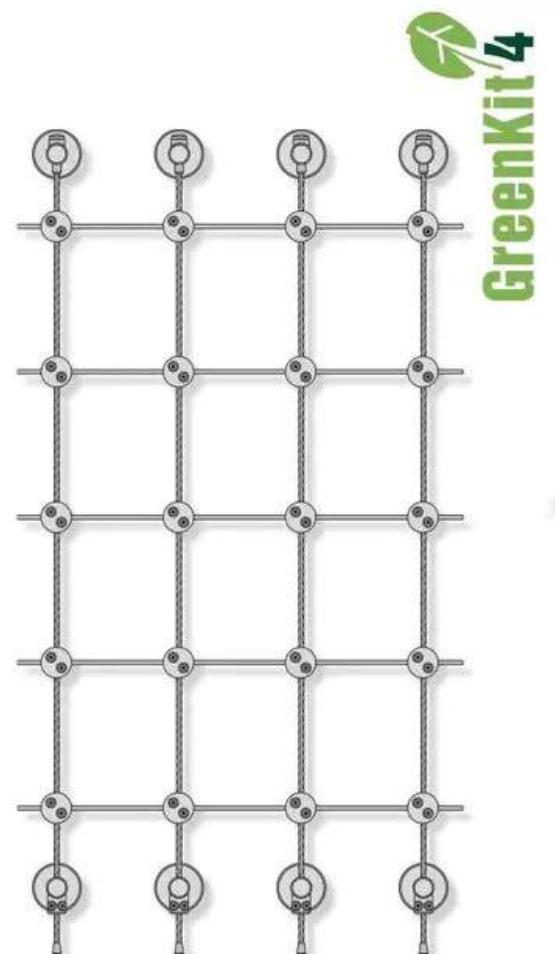
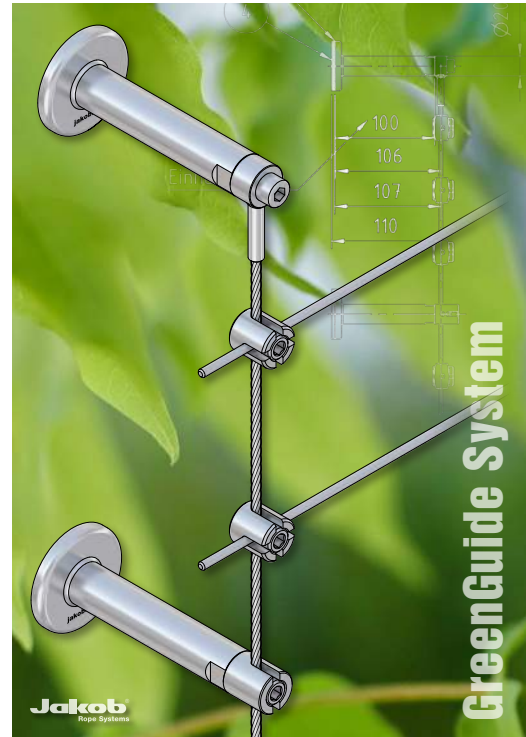
SR = Solar-Reflectant color with KYNAR finish having reflectivity of at least 0.25

SR¹ = values qualify in steel only

SR² = values qualify in aluminum only

Note:  
Colors to match existing  
Slate finishes.

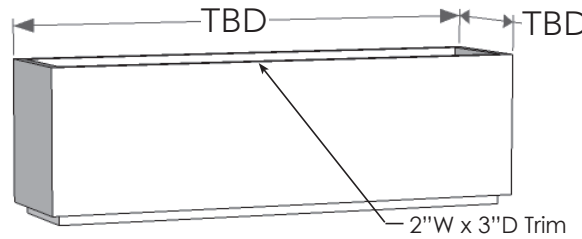
## MATERIAL & EQUIPMENT CUT SHEETS



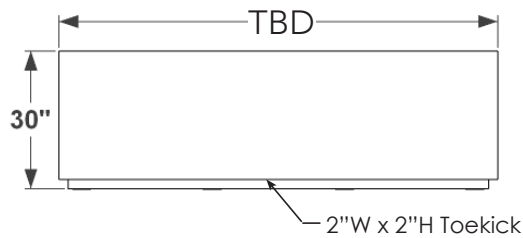


Marek Fiberglass Rectangular Planters

SKU F1-MAR-RECX

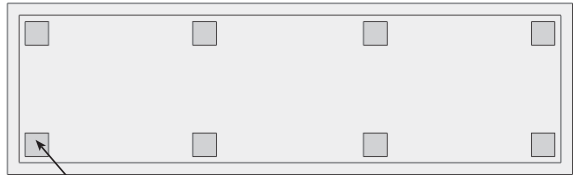


PERSPECTIVE VIEW

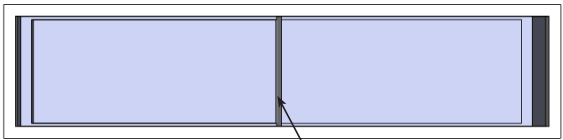


ELEVATION VIEW


- General Notes:
- 1. Locate drainage holes next to pads
  - 2. If no drain holes are requested it is assumed proper drainage will be added in the field
- Drainage: Yes\_\_\_ No\_\_\_



BOTTOM VIEW



INTERIOR VIEW

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Rep:			
Order#:			