

Development Services
From Concept to Construction

Phone: 503-823-7300 Email: bds@portlandoregon.gov 1900 SW 4th Ave, Portland, OR 97201
More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered - Held over from ID 25017 (7/28/21) for additional information

Appeal ID: 25049	Project Address: 1250 NW Kearney St
Hearing Date: 8/11/21	Appellant Name: John Burgard
Case No.: B-006	Appellant Phone: 971 334 0644
Appeal Type: Building	Plans Examiner/Inspector: John Butler
Project Type: commercial	Stories: 15 Occupancy: Residential Construction Type: concrete/steel/ brick
Building/Business Name: Heartline Apt./ Security Prop.	Fire Sprinklers: Yes - Riser Room
Appeal Involves: Reconsideration of appeal	LUR or Permit Application No.:
Plan Submitted Option: pdf [File 1]	Proposed use: Residential

APPEAL INFORMATION SHEET

Appeal item 1

Code Section	1010.1.9
Requires	Door Operation. Except specifically permitted by this section, egress doors shall be readily openable from the egress side without the use of a key or special knowledge or effort.
Code Modification or Alternate Requested	Add Electric lever sets to stairwell doors on egress side.
Proposed Design	Add access control and electric lever sets to Mezzanine and 1st floor stairwell doors with emergency door release pull stations with tamper covers at each door also to be integrated in with the building fire alarm panel to be released upon a alarm condition to allow for free egress. "Reconsideration Text" : Add access control and electric lever sets to Mezzanine and 1st floor stairwell doors with emergency door release pull station the tamper covers at door for release ,but the free passage from stairwell side of door, all electric lever sets will be integrated with the building fire alarm control panel for release on alarm condition and allow for free egress from either direction of the door.
Reason for alternative	The building is having issues with vagrant and homeless getting into stairwell and accessing the uppers floors that are residential units concerns and thief issues.

APPEAL DECISION

Electromagnetic lock at two egress doors of interior exit stair enclosure at level 1 and mezzanine with hardware preventing access to stair: Granted provided a pull station with signage is provided at the door and the electro-magnetic lock is tied into the fire alarm system such that activation of the fire alarm system or loss of power will unlock these doors.

Appellant may contact John Butler (503 865-6427) or e-mail at John.Butler@portlandoregon.gov with questions.

The Administrative Appeal Board finds with the conditions noted, that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

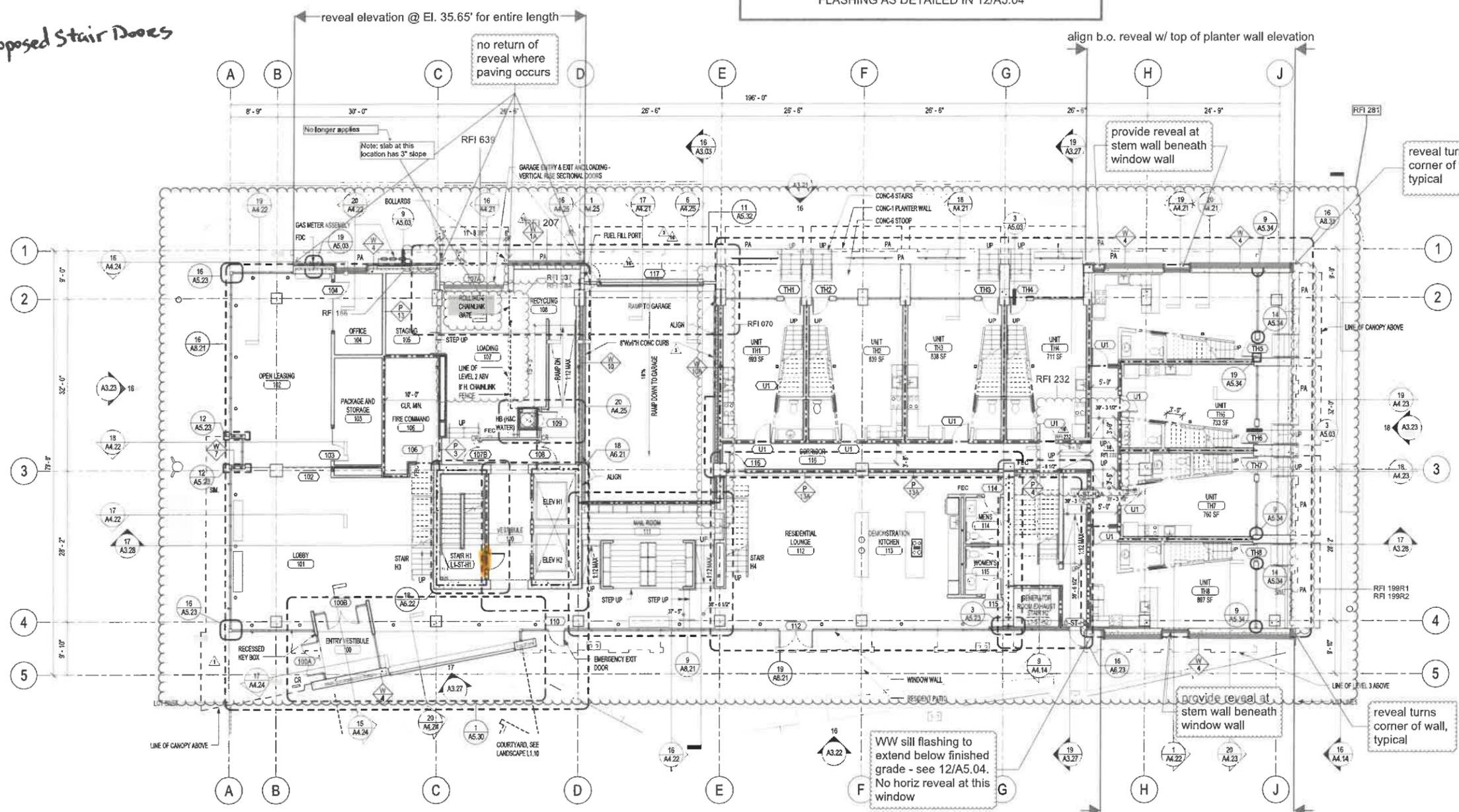
Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.

Proposed Stair Doors

LEGEND
 — EXTENT OF HORIZONTAL REVEAL & PLANTER FLASHING AS DETAILED IN 12/A5.04

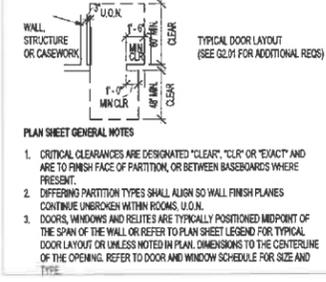
2018-05-17 ASI-070

MITHUN
 SEATTLE, WA 98101
 SAN FRANCISCO, CA 94101
 SAN FRANCISCO, CA 94101



11 12TH AVE BUILDING - LEVEL 1 PLAN
 1/8" = 1'-0"

12TH AVENUE BUILDING PLAN SHEET LEGEND



- WALL MOUNTED HOSE
- FLOOR MOUNTED HOSE
- DOWNSPOUT
- AREA FLOOR DRAIN
- GARAGE FLOOR DRAIN
- (RB) REMOVABLE BOLLARD
- FIRE EXTINGUISHER
- FE = WALL MOUNTED FIRE EXTINGUISHER
- FEC = SEMI RECESSED / RECESSED FIRE EXTINGUISHER CABINET
- ACCENT WALL - (P-1A) INDICATE PAINT COLOR, SEE FINISH SCHEDULE FOR DETAILS
- INDICATES SIDE WITH (2) LAYER GYP (WHEN CRITICAL)

SHEET DRAWING NOTES

- SEE SHEET G2.02 FOR ABBREVIATION INDEX.
- SEE SHEETS G2.01, G2.02 & G2.03 FOR ADDITIONAL ACCESSIBILITY REQUIREMENTS.
- SEE SHEET A5.01 FOR EXTERIOR WALL ASSEMBLIES.
- SEE SHEETS A8.01 AND A8.02 FOR INTERIOR PARTITION ASSEMBLIES.
- SEE SHEETS A6.11 - A6.24 FOR ENLARGED STAIR / ELEVATOR PLANS.
- SEE SHEETS A8.31 - A8.35 FOR UNIT PLANS.
- SEE SHEET A10.11/A10.21 FOR DOOR TYPES & SCHEDULE.
- SEE SHEET A6.32 FOR DECORATIVE METAL RAILINGS (DMR) TYPES.

FLOOR PLAN NOTES

- ALL EXTERIOR WALLS TYPE UNLESS NOTED OTHERWISE
- ALL UNIT PARTY WALLS PARTITIONS TYPE UNLESS NOTED OTHERWISE
- ALL INTERIOR PARTITIONS TYPE UNLESS NOTED OTHERWISE
- ALL INTERIOR CORRIDORS TYPE UNLESS NOTED OTHERWISE
- FLUORING AT WINDOW WALL UNLESS NOTED OTHERWISE

- SEE UNIT PLANS FOR INTERIOR WALL TYPES.
- SEE ENLARGED AND DIMENSIONING PLANS FOR ADD. DIMENSIONS
- PROVIDE MINIMUM 3" CLEAR MIN DIMENSION BETWEEN R.O. AND NEAREST PERPENDICULAR WALL AT ALL INTERIOR DOORS, UNLESS NOTED OTHERWISE, OR WHERE DOOR IS INTENDED TO BE CENTERED.
- MECHANICAL, ELECTRICAL AND PLUMBING SUBCONTRACTORS TO COMPLY WITH FIREBLOCKING AND FIRE STOPPING REQUIREMENTS AT ALL PENETRATIONS OF RATED WALLS.
- LOCATE WASHING MACHINE VALVE BOX IN WALL AT SIDE OF WASHER FOR SHUT OFF ACCESS, U.O.C.; REFER TO PLUMBING DRAWINGS.
- ALL UNIT REFRIGERATORS TO FREELY OPEN AT 110 DEGREES.
- PROVIDE 2-WAY COMMUNICATION DEVICE INSIDE ELEVATOR LOBBY AT EACH FLOOR (EXCEPT STREET LEVEL)
- SEE LANDSCAPE DRAWINGS FOR EXTERIOR PAVING
- WIRE SHELVING AT ALL UNIT CLOSETS U.O.C.

SECURITY PROPERTIES

PROJECT:
 BLOCK 136

LOCATION:
 1250 NW KEARNEY ST
 PORTLAND, OR 97209

PREPARED FOR:
 SECURITY PROPERTIES
 701 FIFTH AVE,
 SUITE 5700
 SEATTLE, WA 98104

RFI 011
 RFI 019
 RFI 037
 RFI 070
 RFI 184
 RFI 166
 RFI 207
 RFI 232
 RFI 199R1
 RFI 199R2
 RFI 639

NO.	DATE	DESCRIPTION
1	10/20/15	PERMIT RESP. #1
3	02/12/16	CONSTRUCT. SET
18	11/29/16	RFI 233
53	12/13/17	ASH-48 HR HI REVS

PROJECT DIRECTOR:
 BG, DG

PROJECT MANAGER:
 DS

PROJECT ARCHITECT:
 DS

PROJECT TEAM MEMBERS:
 GR, AB, KP, SD, AL, SB

DS



THIS DOCUMENT HAS BEEN PREPARED FOR PERMIT APPLICATION AND IS SUBJECT TO REVIEW AND MODIFICATION BY GOVERNMENTAL AGENCIES

12TH AVE BUILDING - LEVEL 1 PLAN

PROJECT NO:
 13257.17

DATE:
 FEBRUARY 12, 2016

A2.21
 CONSTRUCTION SET

© 2017 MITHUN, INC.

Proposed stairclosets

PROJECT:
BLOCK 136

LOCATION:
1250 NW KEARNEY ST
PORTLAND, OR 97209

PREPARED FOR:
SECURITY PROPERTIES
701 FIFTH AVE,
SUITE 5700
SEATTLE, WA 98104

ASI 009
ASI 068

RFI 456

NO.	DATE	REVISION
1	10/20/15	PERMIT RESP. #1
3	02/12/16	CONSTRUCT. SET
4	12/17/15	PERMIT RESP. #2

PROJECT DIRECTOR
BG, DG
 PROJECT MANAGER
PH, DS
 PROJECT ARCHITECT
DS
 PROJECT TEAM MEMBERS
GR, AB, KP, SD, AL, SB
 CHECK
KB, BS, PC

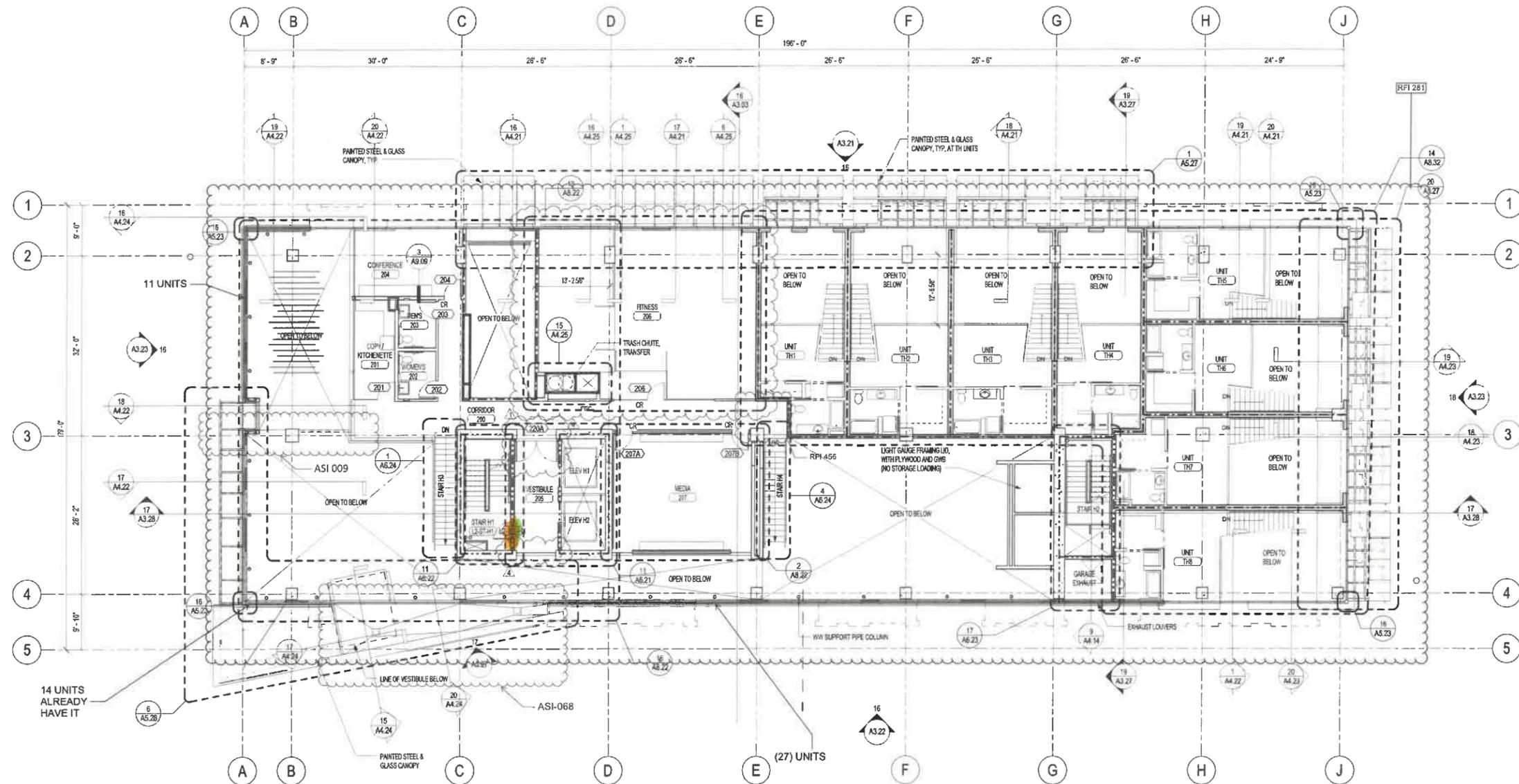


THIS DOCUMENT HAS BEEN PREPARED FOR PERMIT APPLICATION AND IS SUBJECT TO REVIEW AND MODIFICATION BY GOVERNMENTAL AGENCIES

12TH AVE BUILDING - LEVEL 2 PLAN

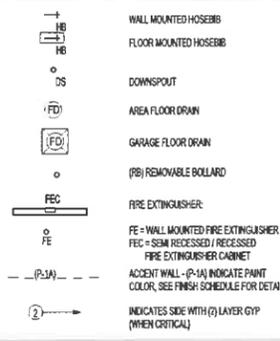
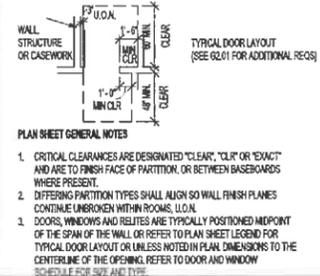
REVISION NO. 13257.00
DATE FEBRUARY 12, 2016

ORIGINAL SHEET: 0216.0216.11
A2.22
 CONSTRUCTION SET
 © 2016 MITHUN, INC.



11 12TH AVE BUILDING - LEVEL 2 PLAN
 1/8" = 1'-0"

**12TH AVENUE BUILDING
 PLAN SHEET LEGEND**



SHEET DRAWING NOTES

- SEE SHEET G2.02 FOR ABBREVIATION INDEX.
- SEE SHEETS G2.01, G2.02 & G2.03 FOR ADDITIONAL ACCESSIBILITY REQUIREMENTS.
- SEE SHEET A5.01 FOR EXTERIOR WALL ASSEMBLIES.
- SEE SHEETS A8.01 AND A8.02 FOR INTERIOR PARTITION ASSEMBLIES.
- SEE SHEETS A6.11 - A6.24 FOR ENLARGED STAIR / ELEVATOR PLANS.
- SEE SHEETS A8.31 - A8.38 FOR UNIT PLANS.
- SEE SHEET A10.11 / A10.21 FOR DOOR TYPES & SCHEDULE.
- SEE SHEET A6.32 FOR DECORATIVE METAL RAILINGS (DMR) TYPES.

FLOOR PLAN NOTES

- ALL EXTERIOR WALLS TYPE UNLESS NOTED OTHERWISE
- ALL UNIT PARTY WALLS PARTITIONS TYPE UNLESS NOTED OTHERWISE
- ALL INTERIOR PARTITIONS TYPE UNLESS NOTED OTHERWISE
- ALL INTERIOR CORRIDORS TYPE UNLESS NOTED OTHERWISE
- FLOORING AT WINDOW WALL UNLESS NOTED OTHERWISE

- SEE UNIT PLANS FOR INTERIOR WALL TYPES
- SEE ENLARGED AND DIMENSIONING PLANS FOR ADD. DIMENSIONS
- PROVIDE MIN. 3" CLEAR MIN. DIMENSION BETWEEN R.O. AND NEAREST PERPENDICULAR WALL AT ALL INTERIOR DOORS, UNLESS NOTED OTHERWISE, OR WHERE DOOR IS INTENDED TO BE CENTERED.
- MECHANICAL, ELECTRICAL AND PLUMBING SUBCONTRACTORS TO COMPLY WITH PREBLOCKING AND FIRE STOPPING REQUIREMENTS AT ALL PENETRATIONS OF RATED WALLS.
- LOCATE WASHING MACHINE VALVE BOX IN WALL AT SIDE OF WASHER FOR SHUT OFF ACCESS, U.O.A. REFER TO PLUMBING DRAWINGS.
- ALL UNIT REFRIGERATORS TO FREELY OPEN AT 110 DEGREES.
- PROVIDE 2-WAY COMMUNICATION DEVICE INSIDE ELEVATOR LOBBY AT EACH FLOOR (EXCEPT STREET LEVEL).
- SEE LANDSCAPE DRAWINGS FOR EXTERIOR PAVING
- WIRE SHELVING AT ALL UNIT CLOSETS U.O.A.