

## Development Services

### From Concept to Construction

Phone: 503-823-7300 Email: [bds@portlandoregon.gov](mailto:bds@portlandoregon.gov) 1900 SW 4th Ave, Portland, OR 97201  
More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



#### APPEAL SUMMARY

**Status:** Decision Rendered - Held over from ID 25017 (7/28/21) for additional information

|   |  |
|---|--|
| <b>Appeal ID:</b> 25049                                       | <b>Project Address:</b> 1250 NW Kearney St   |
| <b>Hearing Date:</b> 8/11/21                                  | <b>Appellant Name:</b> John Burgard  |
| <b>Case No.:</b> B-006  | <b>Appellant Phone:</b> 971 334 0644   |
| <b>Appeal Type:</b> Building                                  | <b>Plans Examiner/Inspector:</b> John Butler   |
| <b>Project Type:</b> commercial                               | <b>Stories:</b> 15 <b>Occupancy:</b> Residential <b>Construction Type:</b> concrete/steel/ brick |
| <b>Building/Business Name:</b> Heartline Apt./ Security Prop. | <b>Fire Sprinklers:</b> Yes - Riser Room   |
| <b>Appeal Involves:</b> Reconsideration of appeal             | <b>LUR or Permit Application No.:</b>  |
| <b>Plan Submitted Option:</b> pdf [File 1]                    | <b>Proposed use:</b> Residential   |

#### APPEAL INFORMATION SHEET

##### Appeal item 1

|   |   |
|---|---|
| <b>Code Section</b>                             | 1010.1.9  |
| <b>Requires</b>                                 | Door Operation. Except specifically permitted by this section, egress doors shall be readily openable from the egress side without the use of a key or special knowledge or effort.   |
| <b>Code Modification or Alternate Requested</b> | Add Electric lever sets to stairwell doors on egress side.  |
| <b>Proposed Design</b>                          | Add access control and electric lever sets to Mezzanine and 1st floor stairwell doors with emergency door release pull stations with tamper covers at each door also to be integrated in with the building fire alarm panel to be released upon a alarm condition to allow for free egress.<br><br>"Reconsideration Text" : Add access control and electric lever sets to Mezzanine and 1st floor stairwell doors with emergency door release pull station the tamper covers at door for release ,but the free passage from stairwell side of door, all electric lever sets will be integrated with the building fire alarm control panel for release on alarm condition and allow for free egress from either direction of the door. |
| <b>Reason for alternative</b>                   | The building is having issues with vagrant and homeless getting into stairwell and accessing the uppers floors that are residential units concerns and thief issues.  |

#### APPEAL DECISION

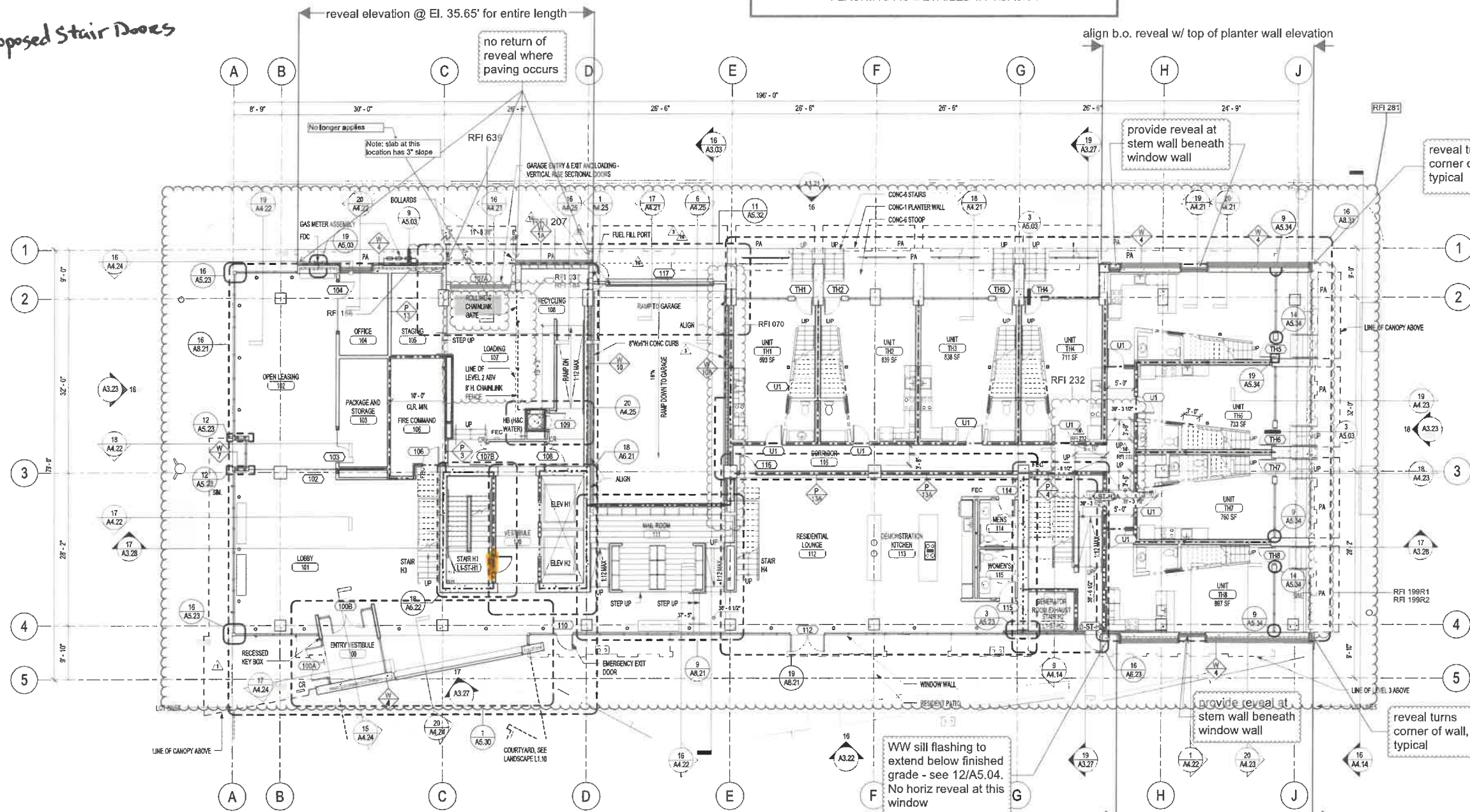
**Electromagnetic lock at two egress doors of interior exit stair enclosure at level 1 and mezzanine with hardware preventing access to stair: Granted provided a pull station with signage is provided at the door and the electro-magnetic lock is tied into the fire alarm system such that activation of the fire alarm system or loss of power will unlock these doors.**

**Appellant may contact John Butler (503 865-6427) or e-mail at [John.Butler@portlandoregon.gov](mailto:John.Butler@portlandoregon.gov) with questions.**

The Administrative Appeal Board finds with the conditions noted, that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

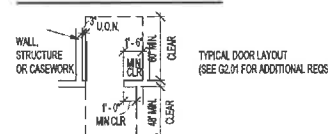
Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to [www.portlandoregon.gov/bds/appealsinfo](http://www.portlandoregon.gov/bds/appealsinfo), call (503) 823-7300 or come in to the Development Services Center.

Proposed Stair Doors



11 12TH AVE BUILDING - LEVEL 1 PLAN  
1/8" = 1'-0"

### 12TH AVENUE BUILDING PLAN SHEET LEGEND



- PLAN SHEET GENERAL NOTES**
- CRITICAL CLEARANCES ARE DESIGNATED "CLR", "CLR" OR "EXACT" AND ARE TO FINISH FACE OF PARTITION, OR BETWEEN BASEBOARDS WHERE PRESENT.
  - DIFFERING PARTITION TYPES SHALL ALIGN SO WALL FINISH PLANES CONTINUE UNBROKEN WITHIN ROOMS. U.O.N. CONTINUE UNBROKEN WITHIN ROOMS. U.O.N.
  - DOORS, WINDOWS AND RECESSES ARE TYPICALLY POSITIONED MIDPOINT OF THE SPAN OF THE WALL OR REFER TO PLAN SHEET LEGEND FOR TYPICAL DOOR LAYOUT OR UNLESS NOTED IN PLAN DIMENSIONS TO THE CENTERLINE OF THE OPENING. REFER TO DOOR AND WINDOW SCHEDULE FOR SIZE AND TYPE.



### SHEET DRAWING NOTES

- SEE SHEET G0.02 FOR ABBREVIATION INDEX.
- SEE SHEETS G0.01, G0.02 & G0.03 FOR ADDITIONAL ACCESSIBILITY REQUIREMENTS.
- SEE SHEET A0.01 FOR EXTERIOR WALL ASSEMBLIES.
- SEE SHEETS A0.01 AND A0.02 FOR INTERIOR PARTITION ASSEMBLIES.
- SEE SHEETS A0.11 - A0.24 FOR ENLARGED STAIR / ELEVATOR PLANS.
- SEE SHEETS A0.31 - A0.35 FOR UNIT PLANS.
- SEE SHEET A0.12, A0.21 FOR DOOR TYPES & SCHEDULE.
- SEE SHEET A0.32 FOR DECORATIVE METAL RAILINGS (DMR) TYPES.

### FLOOR PLAN NOTES

- ALL EXTERIOR WALLS TYPE UNLESS NOTED OTHERWISE
- ALL UNIT PARTY WALLS PARTITIONS TYPE UNLESS NOTED OTHERWISE
- ALL INTERIOR PARTITIONS TYPE UNLESS NOTED OTHERWISE
- ALL INTERIOR CORRIDORS TYPE UNLESS NOTED OTHERWISE
- FLUORING AT WINDOW WALL UNLESS NOTED OTHERWISE
- SEE UNIT PLANS FOR INTERIOR WALL TYPES.
- SEE ENLARGED AND DIMENSIONING PLANS FOR ADD. DIMENSIONS
- PROVIDE VERIFIY A 3" CLEAR MIN DIMENSION BETWEEN R.O. AND NEAREST PERPENDICULAR WALL AT ALL INTERIOR DOORS, UNLESS NOTED OTHERWISE, OR WHERE DOOR IS INTENDED TO BE CENTERED.
- MECHANICAL, ELECTRICAL AND PLUMBING SUBCONTRACTORS TO COMPLY WITH FIREBLOCKING AND FIRE STOPPING REQUIREMENTS AT ALL PENETRATIONS OF RATED WALLS.
- LOCATE WASHING MACHINE VALVE BOX IN WALL AT SIDE OF WASHER FOR SHUT OFF ACCESS. U.O.N. REFER TO PLUMBING DRAWINGS.
- ALL UNIT REFRIGERATORS TO FREELY OPEN AT 110 DEGREES.
- PROVIDE 2-WAY COMMUNICATION DEVICE INSIDE ELEVATOR LOBBY AT EACH FLOOR (EXCEPT STREET LEVEL).
- SEE LANDSCAPE DRAWINGS FOR EXTERIOR PAVING
- WIRE SHELVING AT ALL UNIT CLOSETS U.O.N.

PROJECT:  
BLOCK 136

LOCATION:  
1250 NW KEARNEY ST  
PORTLAND, OR 97209

PREPARED FOR:  
SECURITY PROPERTIES  
701 FIFTH AVE,  
SUITE 5700  
SEATTLE, WA 98104

RFI 011  
RFI 019  
RFI 037  
RFI 070  
RFI 184  
RFI 166  
RFI 207  
RFI 232  
RFI 199R1  
RFI 199R2  
RFI 639

| NO. | DATE     | DESCRIPTION        |
|-----|----------|--------------------|
| 1   | 10/20/15 | PERMIT RESP. #1    |
| 3   | 02/12/16 | CONSTRUCT. SET     |
| 18  | 11/28/16 | RFI 233            |
| 53  | 12/13/17 | ASH-048 HR H1 REVS |

PROJECT DIRECTOR  
BG, DG  
PROJECT MANAGER  
DS  
PROJECT ARCHITECT  
DS  
PROJECT TEAM MEMBERS  
GR, AB, KP, SD, AL, SB  
CHECK  
DS



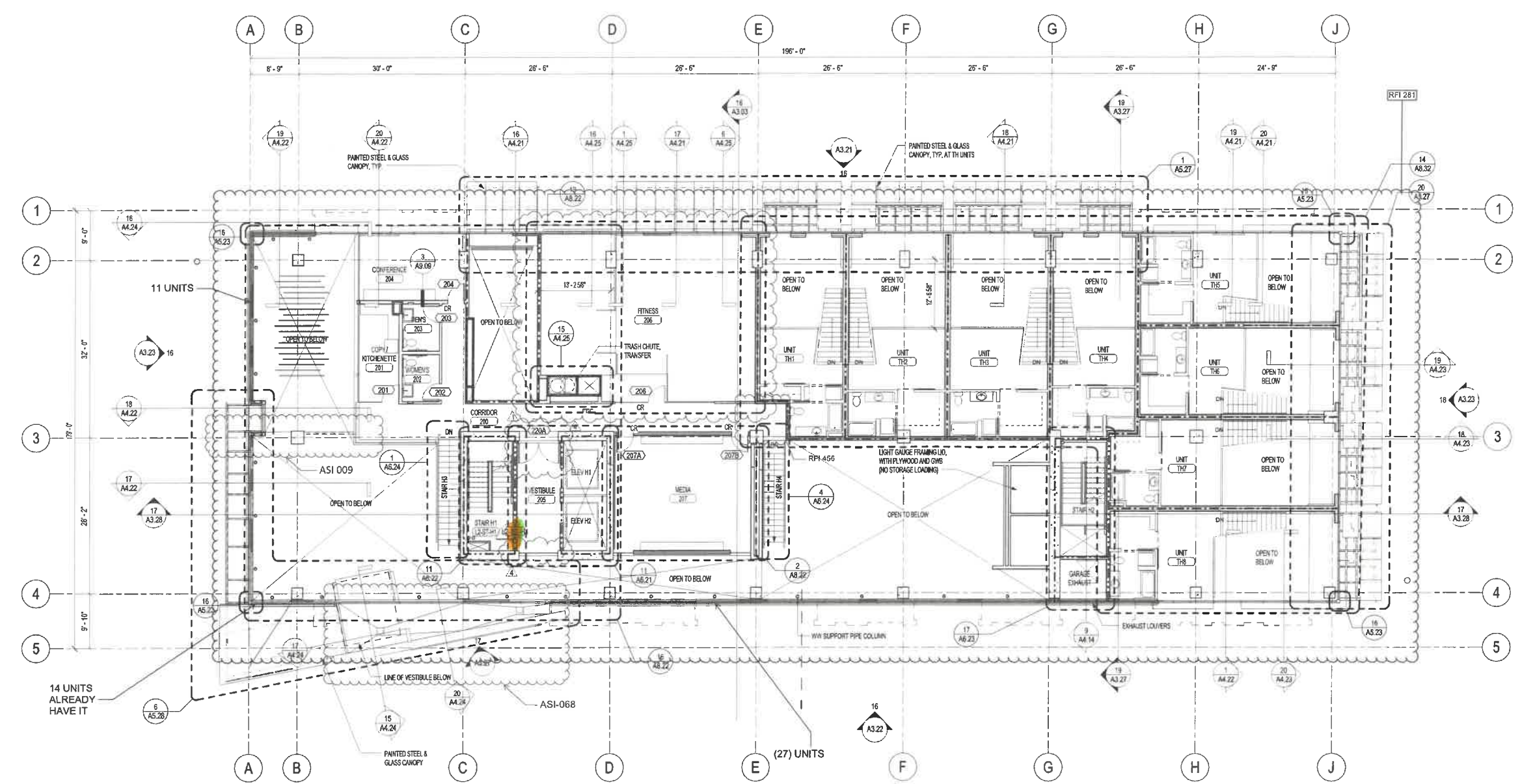
THIS DOCUMENT HAS BEEN PREPARED FOR PERMIT APPLICATION AND IS SUBJECT TO REVIEW AND MODIFICATION BY GOVERNMENTAL AGENCIES

12TH AVE BUILDING - LEVEL 1 PLAN

PROJECT NO.  
13257.17  
DATE  
FEBRUARY 12, 2016

PROJECT NO.  
A2.21  
CONSTRUCTION SET  
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Proposed stairdoors



11 12TH AVE BUILDING - LEVEL 2 PLAN  
1/8" = 1'-0"

### 12TH AVENUE BUILDING PLAN SHEET LEGEND

- PLAN SHEET GENERAL NOTES**
- CRITICAL CLEARANCES ARE DESIGNATED "CLEAR," "CLR" OR "EXACT" AND ARE TO FINISH FACE OF PARTITION, OR BETWEEN BASEBOARDS WHERE PRESENT.
  - DIFFERING PARTITION TYPES SHALL ALIGN SO WALL FINISH PLANES CONTINUE UNBROKEN WITHIN ROOMS, U.O.A.
  - DOORS, WINDOWS AND RELITES ARE TYPICALLY POSITIONED MIDPOINT OF THE SPAN OF THE WALL OR REFER TO PLAN SHEET LEGEND FOR TYPICAL DOOR LAYOUT OR UNLESS NOTED IN PLAN. DIMENSIONS TO THE CENTERLINE OF THE OPENING, REFER TO DOOR AND WINDOW SCHEDULE FOR SIZE AND TYPE.
- TYPICAL DOOR LAYOUT**  
(SEE G2.01 FOR ADDITIONAL RECS)
- WALL STRUCTURE OR CASEWORK**
- MIN CLR**
- 1'-0" MIN CLR**
- 1'-0" MIN CLR**
- 1'-0" MIN CLR**

- WALL MOUNTED HOSE/BB**
- FLOOR MOUNTED HOSE/BB**
- DOWNSPOUT**
- AREA FLOOR DRAIN**
- GARAGE FLOOR DRAIN**
- (R) REMOVABLE BOLLARD**
- FIRE EXTINGUISHER:**
- FE = WALL MOUNTED FIRE EXTINGUISHER**
- FE = SEMI RECESSED / RECESSED**
- FIRE EXTINGUISHER CABINET**
- ACCENT WALL - (P-3A) INDICATE PAINT COLOR, SEE FINISH SCHEDULE FOR DETAILS**
- INDICATES SIDE WITH (2) LAYER GYP (WHEN CRITICAL)**

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- SEE SHEETS G2.01, G2.02 & G2.03 FOR ADDITIONAL ACCESSIBILITY REQUIREMENTS.
- SEE SHEET A5.01 FOR EXTERIOR WALL ASSEMBLIES.
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- SEE SHEETS A6.11 - A6.24 FOR ENLARGED STAIR / ELEVATOR PLANS.
- SEE SHEETS A6.31 - A6.35 FOR UNIT PLANS.
- SEE SHEET A10.11/A10.21 FOR DOOR TYPES & SCHEDULE.
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- ALL INTERIOR CORRIDORS TYPE UNLESS NOTED OTHERWISE
- FLOORING AT WINDOW WALL UNLESS NOTED OTHERWISE

- SEE UNIT PLANS FOR INTERIOR WALL TYPES
- SEE ENLARGED AND DIMENSIONING PLANS FOR ADD. DIMENSIONS
- PROVIDE VENTILATION A 1' CLEAR MIN DIMENSION BETWEEN R.O. AND NEAREST PERPENDICULAR WALL AT ALL INTERIOR DOORS, UNLESS NOTED OTHERWISE, OR WHERE DOOR IS INTENDED TO BE CENTERED.
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MITHUN

SEATTLE / New York / Los Angeles / San Francisco / Chicago / Dallas / Houston / Phoenix / Portland / San Diego / Washington, DC

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SUITE 5700  
SEATTLE, WA 98104

ASI 009  
ASI 068

RFI 456

| NO. | DATE     | REVISION        |
|-----|----------|-----------------|
| 1   | 10/20/15 | PERMIT RESP. #1 |
| 3   | 02/12/16 | CONSTRUCT. SET  |
| 4   | 12/17/15 | PERMIT RESP. #2 |

PROJECT DIRECTOR  
BG, DG

PROJECT MANAGER  
HD, DS

PROJECT ARCHITECT  
DS

PROJECT TEAM MEMBERS  
GR, AS, KP, SD, AL, SB

OWNER  
KB, BS, PC



THIS DOCUMENT HAS BEEN PREPARED FOR PERMIT APPLICATION AND IS SUBJECT TO REVIEW AND MODIFICATION BY GOVERNMENTAL AGENCIES

12TH AVENUE BUILDING - LEVEL 2 PLAN

REVISION NO.  
13257.00

DATE  
FEBRUARY 12, 2016

PROJECT NO.  
A2.22

CONSTRUCTION SET

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