

Development Services

From Concept to Construction

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More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



APPEAL SUMMARY

Status: Decision Rendered

Appeal ID: 24872	Project Address: 919 SW Taylor St
Hearing Date: 5/19/21	Appellant Name: Dan Petrescu
Case No.: B-001	Appellant Phone: 5034845428
Appeal Type: Building	Plans Examiner/Inspector: Preliminary
Project Type: commercial	Stories: 10 Occupancy: Group B Construction Type: Type II-B
Building/Business Name: Studio Building	Fire Sprinklers: Yes - existing building is fully sprinklered
Appeal Involves: Alteration of an existing structure	LUR or Permit Application No.: Preliminary - pre-permit application submittal
Plan Submitted Option: pdf [File 1]	Proposed use: Group B (existing, no change)

APPEAL INFORMATION SHEET

Appeal item 1

Code Section	ASHRAE 90.1 - Section 3 Definitions
Requires	In Section 3 - Definitions, ASHRAE defines a "roof" as: "Upper portion of the building envelope, including opaque areas and fenestrations, that is horizontal and tilted at an angle of less than 60 degrees from horizontal."
Code Modification or Alternate Requested	Confirm that the upper level exterior tilted walls of the Studio Building are classified as a "wall" not a "roof" based on the definition for "roof".
Proposed Design	The owner is proposing a building repair - to replace the existing metal standing seam panels at the upper level tilted walls with new metal standing seam panels. The existing upper level exterior tilted walls were designed to appear as a roof. However, they are tilted wall because the vertical surfaces are greater than 60 degrees from vertical.
Reason for alternative	With this appeal we are requesting confirmation that the exterior surfaces with tilt greater than 60 degrees from vertical be classified as a "wall" not a "roof". We are not asking for an alternative, we are asking for confirmation of this ASHRAE section.

Appeal item 2

Code Section	ASHRAE 90.1 - Section 5.1.3 - Envelope Alterations
Requires	"Alterations to the building envelope need to comply with the requirements of Section 5 for insulation....applicable to those specific portions of the building that are being altered"

Exception to Section 5.1.3 - Envelope Alterations

Exception 4 - The following need not comply with these requirements provided such alterations will not increase the energy use of the building.

"Alterations to walls and floors, where the existing structure is without framing cavities and no new framing cavities are created"

Code Modification or Alternate Requested No proposed alternate. We are asking that this exception applies to our project.

Proposed Design The owner is proposing a building repair - to replace the existing metal standing seam panels at the upper level tilted walls with new metal standing seam panels because the existing metal panels are deteriorated. The existing upper level exterior tilted walls are "walls" because the vertical surfaces of the top level are greater than 60 degrees from vertical.

The existing building structure is a solid cast-in place concrete tilted wall without roof cavities.

Reason for alternative With this appeal we are requesting confirmation that the Exception 4 applies to our project and that the proposed alteration (replace existing standing seam metal panels) does not require compliance with ASHRAE Section 5, and that additional insulation is not required. The building energy use will not be increased.

APPEAL DECISION

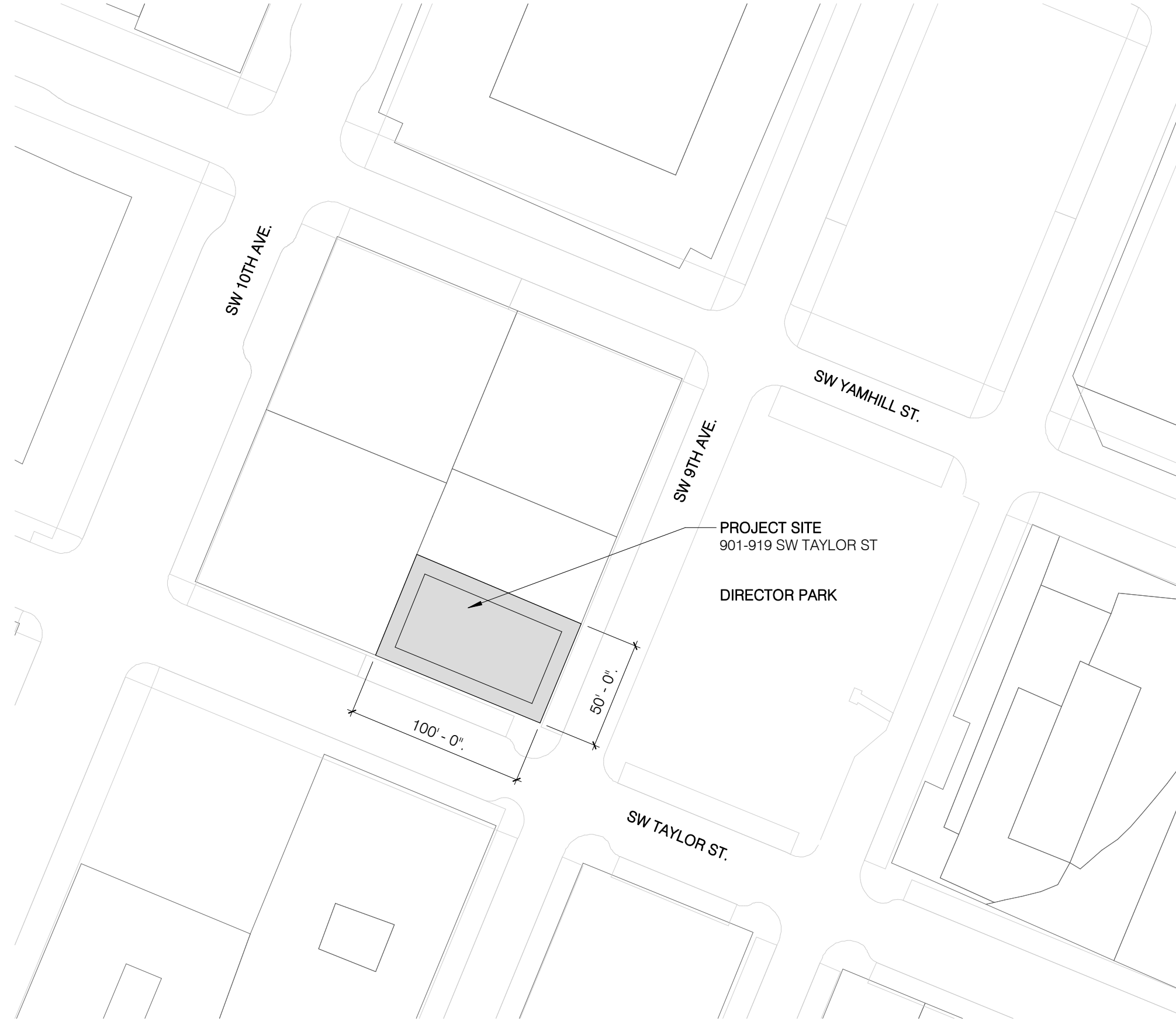
1. Determination of exterior tilted construction as a wall and not a roof: Granted as proposed.

2. Omission of insulation in tilted walls as allowed by ASHRAE 90.1: Granted as proposed.

The Administrative Appeal Board finds that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.

STUDIO BUILDNG - METAL PANELS REPLACEMENT



1 SITE PLAN..
COVER 1" = 60'-0"

DRAWING SHEET INDEX

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ARCHITECTURAL	
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A102	DEMOLITION ELEVATIONS -NORTH & WEST
A201	ROOF PLAN
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A302	ENLARGED ELEVATIONS -WEST & NORTH
A801	DETAILS
A802	DETAILS
A803	DETAILS

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HEA Project no. 20028
Date: 04.01.2021
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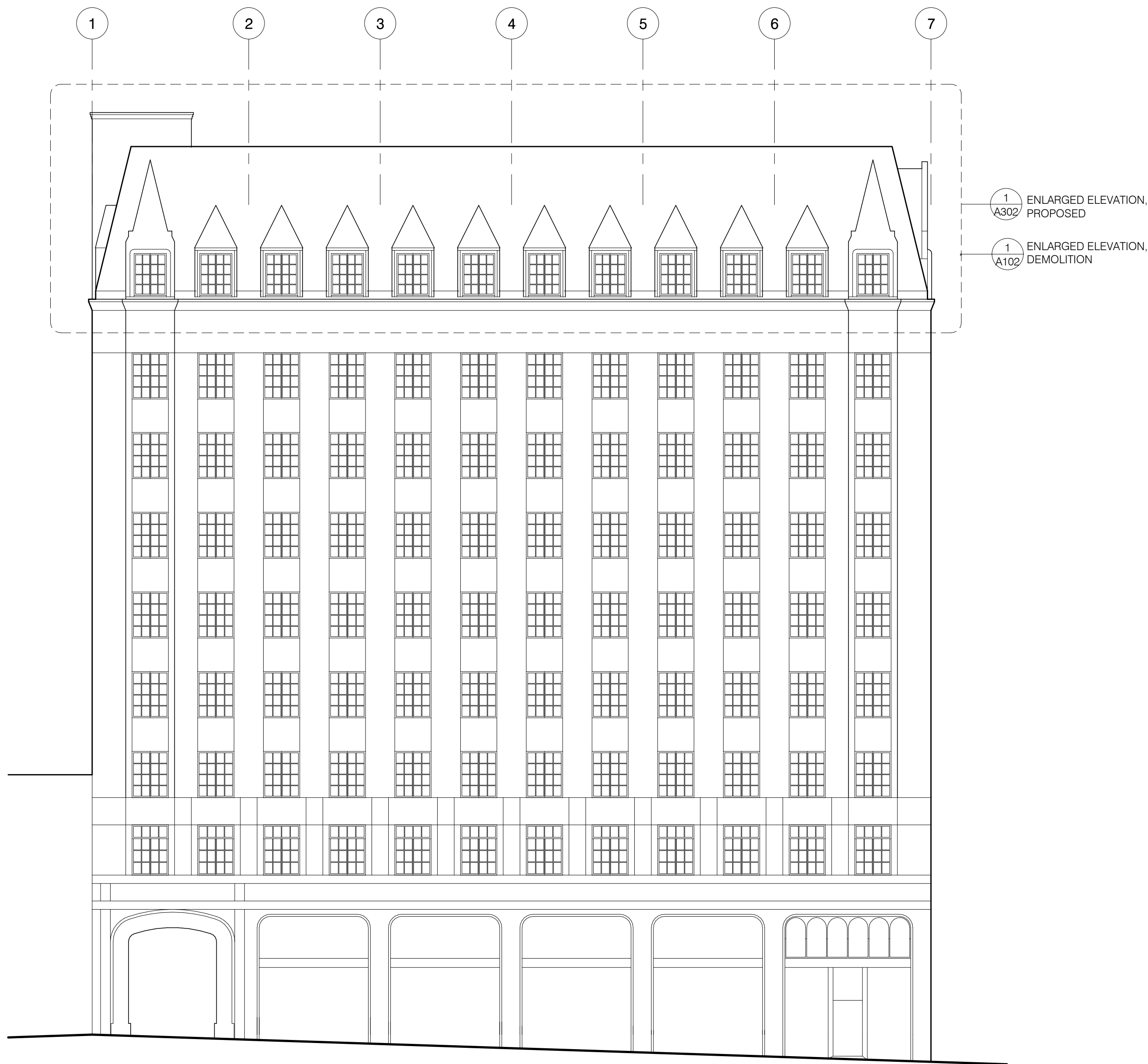
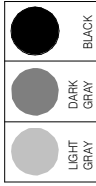
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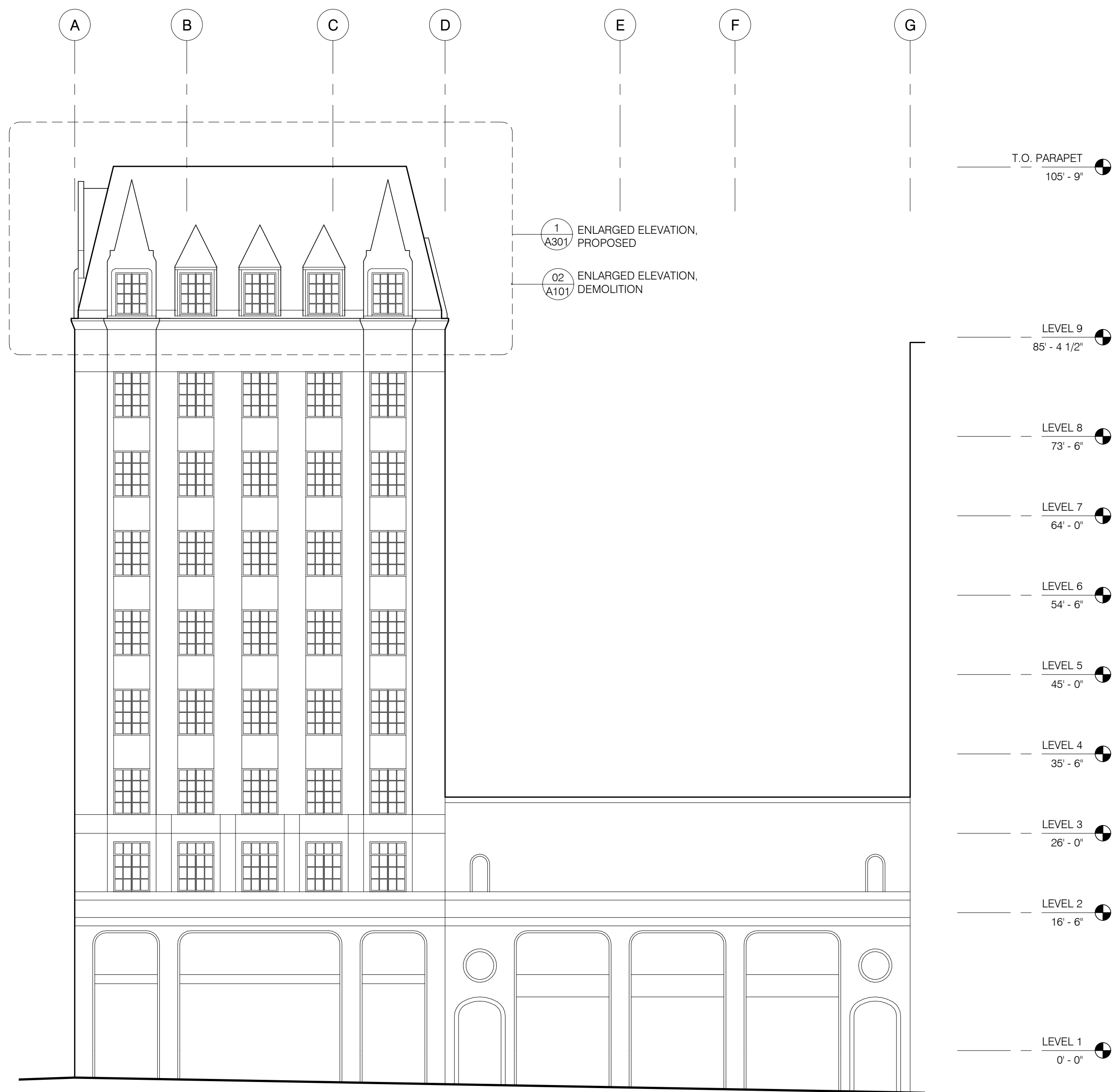
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SETTINGS FOR VIEWING AND PRINTING CONTENT ARE OPTIMIZED WHEN ALL THREE DOTS ARE VISIBLE.
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3
A001 REFERENCE ELEVATION - SOUTH
1" = 10'-0"



1
A001 REFERENCE ELEVATION - EAST
1" = 10'-0"

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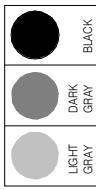
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ELEVATIONS

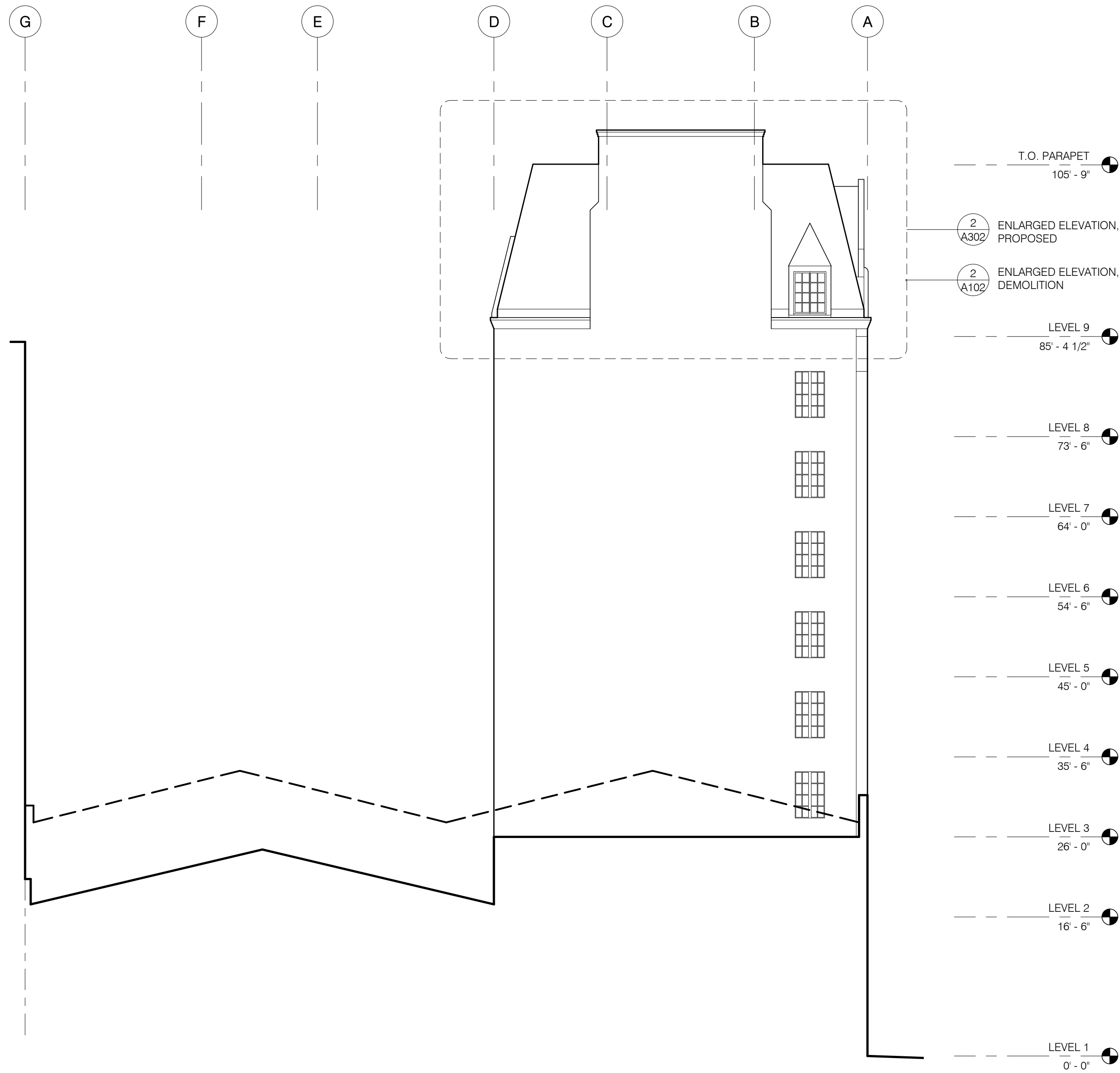
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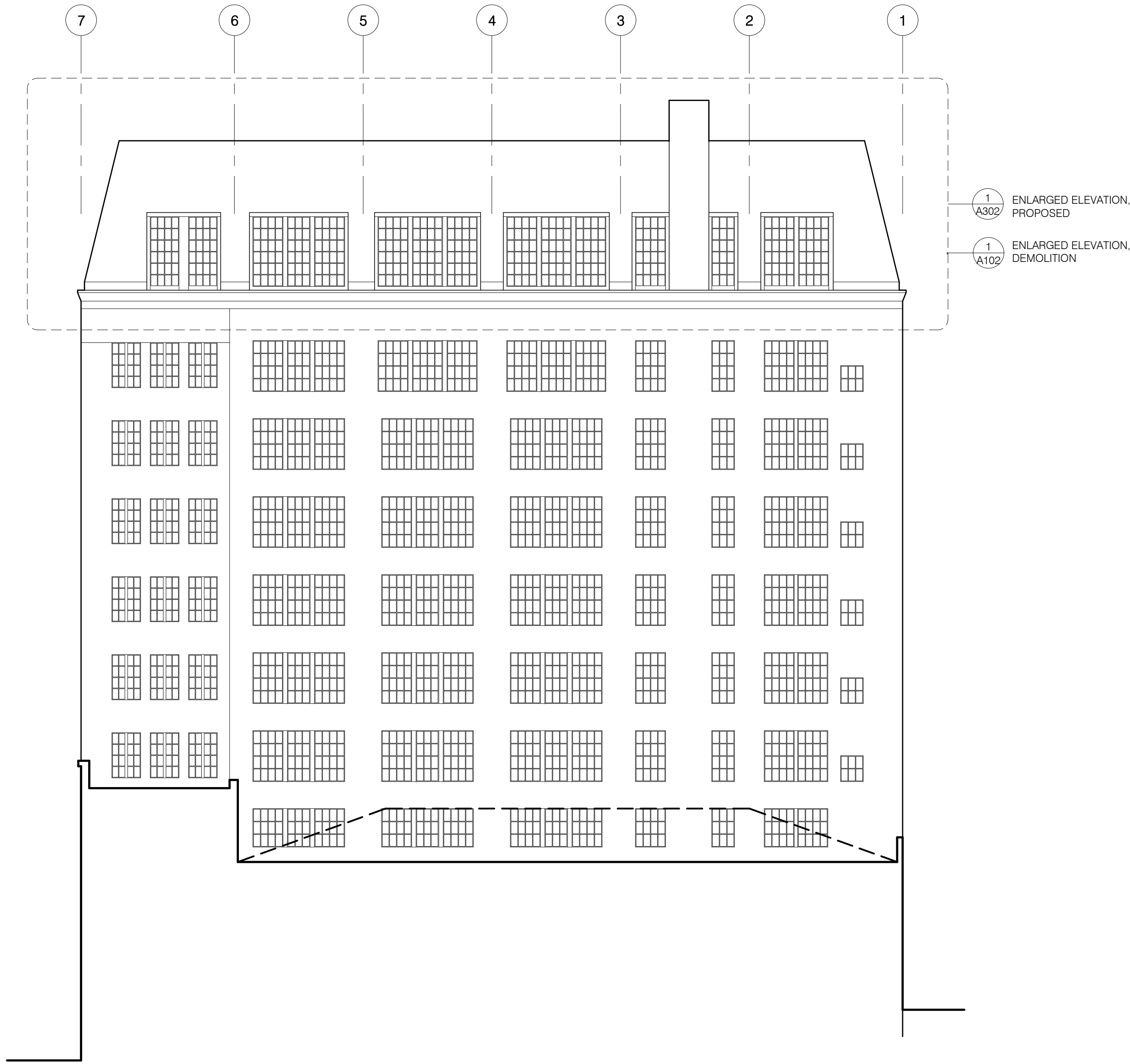


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1
A002 REFERENCE ELEVATION - WEST
1" = 10'-0"



2
A002 REFERENCE ELEVATION - NORTH
1" = 10'-0"

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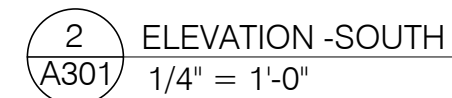
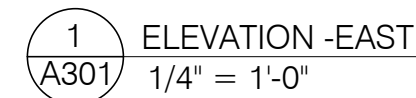
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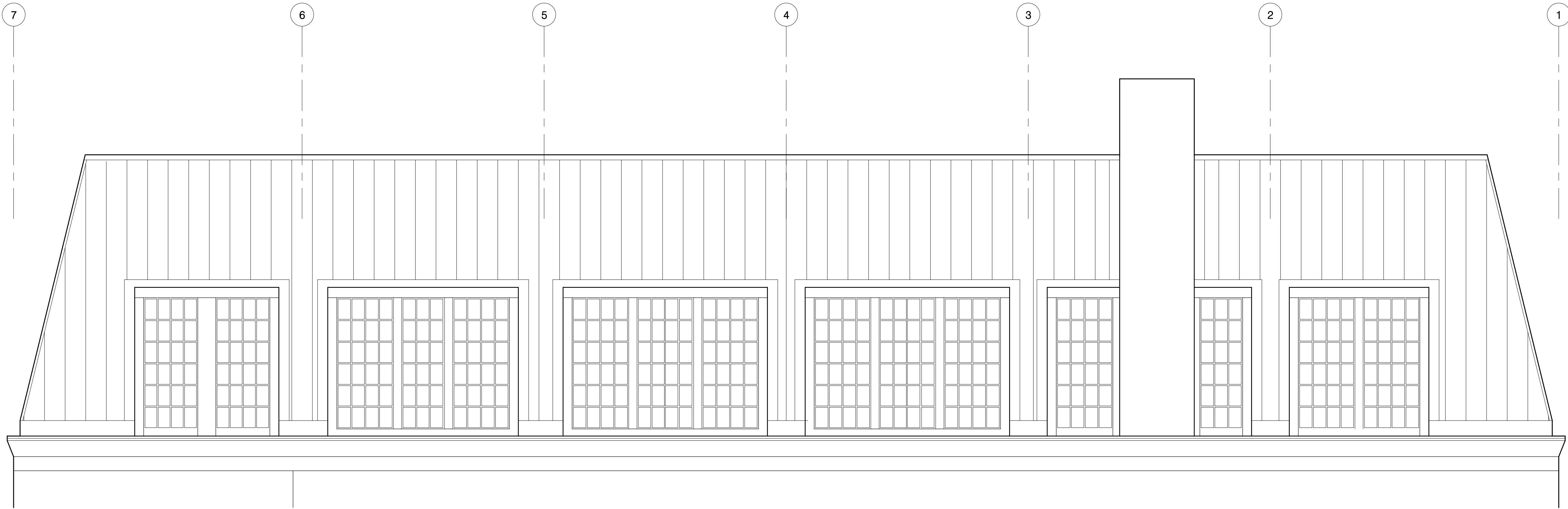
1. SEE SHEET AG00 FOR GENERAL NOTES.
2. GRADE LINES INDICATED ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR GRADING INFORMATION.
3. LINE OF FOUNDATIONS (SHOWN DASHED) ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. REFER TO STRUCTURAL DRAWINGS FOR FOOTING ELEVATIONS.
4. DIMENSIONS ARE SHOWN TO DIMENSION POINT OF REFERENCED DETAIL WHERE APPLICABLE.
5. ALIGN MATERIAL, CONTROL AND EXPANSION JOINTS VERTICALLY AND HORIZONTALLY WITH ADJACENT JOINTS AND DOOR, WINDOW AND LOUVER HEADS/JAMBS/SILLS AS INDICATED ON THE DRAWINGS. VERIFY DIMENSIONS WITH DETAIL CONDITIONS. VERIFY LOCATION AND ALIGNMENT WITH ARCHITECT.
6. MOUNTING LOCATION OF DEVICES AS INDICATED. VERIFY WITH ARCHITECT IF NOT INDICATED ON ARCHITECTURAL DRAWINGS.



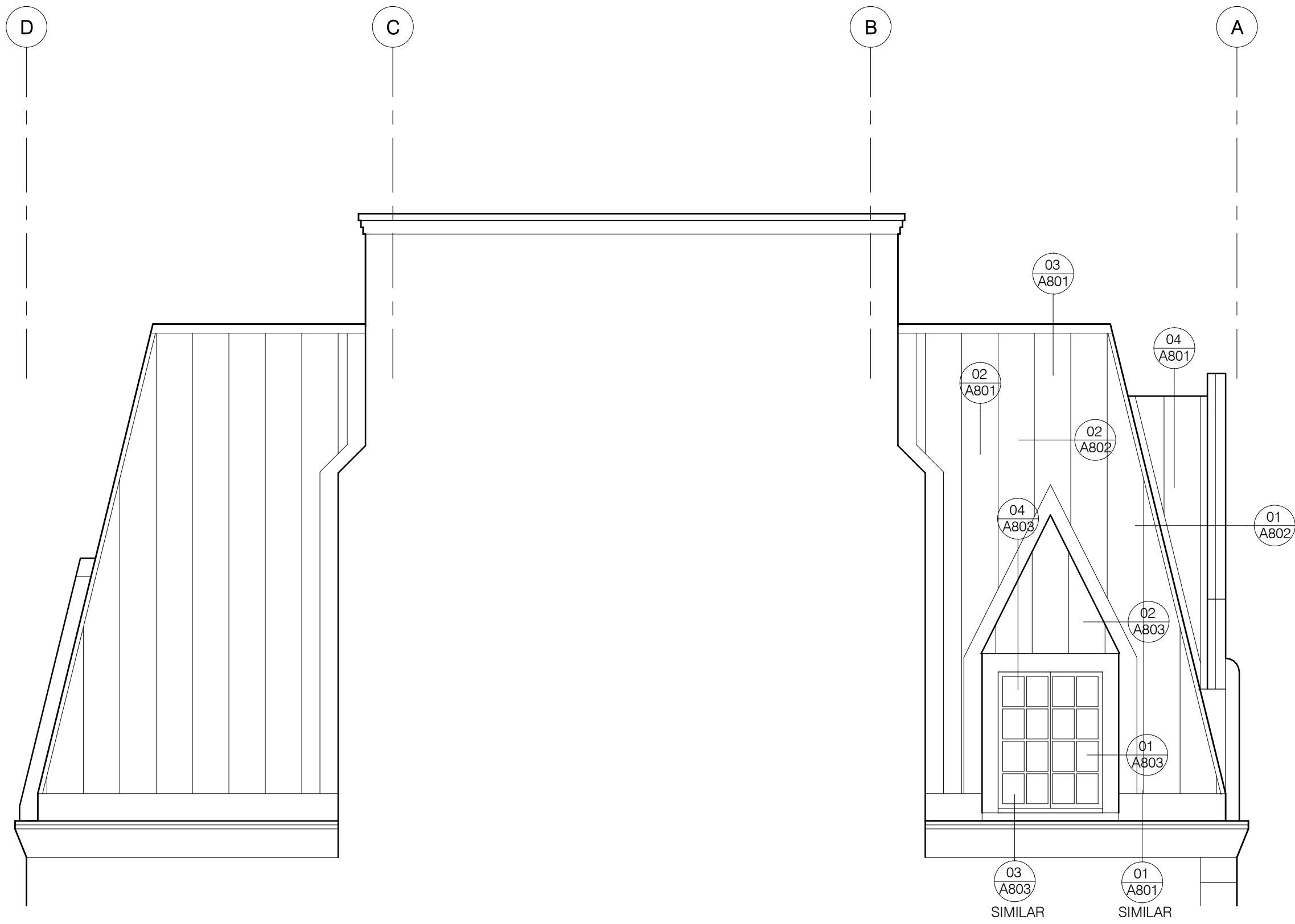
A301

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1
A302
ELEVATION - NORTH
1/4" = 1'-0"



2
A302
ELEVATION - WEST
1/4" = 1'-0"

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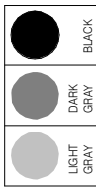
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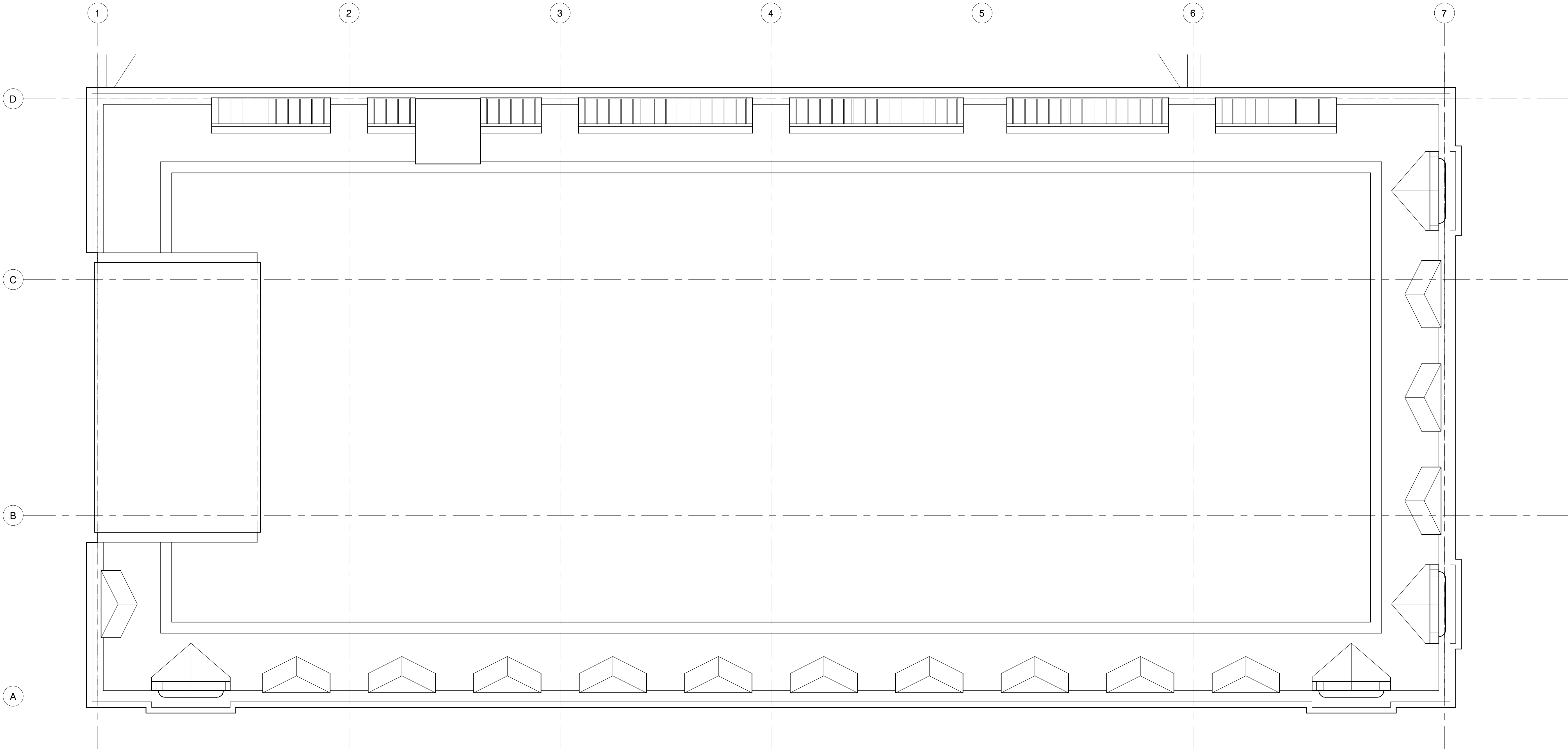
ENLARGED
ELEVATIONS
-WEST & NORTH

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1 DEMOLITION ROOF PLAN
A000 1/4" = 1'-0"

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Sheet: DEMOLITION ROOF PLAN

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