

Development Services

From Concept to Construction

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APPEAL SUMMARY

Status: Decision Rendered - Held over from 24833 (4/28/21) for additional information

Appeal ID: 24862	Project Address: 4058 N Mississippi Ave
Hearing Date: 5/12/21	Appellant Name: Melynda Retallack
Case No.: B-003	Appellant Phone: 5037015277
Appeal Type: Building	Plans Examiner/Inspector: David Wood
Project Type: residential	Stories: 1 Occupancy: R Construction Type: V-B
Building/Business Name:	Fire Sprinklers: No
Appeal Involves: Addition to an existing structure, Reconsideration of appeal	LUR or Permit Application No.: 19-236164-RS
Plan Submitted Option: pdf [File 1]	Proposed use: Live-Work

APPEAL INFORMATION SHEET

Appeal item 1

Code Section	ORSC R101.2(5), OSSC 419
Requires	Per the building plans examiner - under ORSC, live/work in townhouses must meet OSSC 419. OSSC 419 - Live/work requires NFPA 13D sprinklers throughout.
Code Modification or Alternate Requested	This building is not a townhouse per the definitions in the ORSC. This is a detached single family, 1-story home (w/ basement) with a single story flower arrangement workshop proposed to be attached at the back. We propose building a 1-Hour fire rated assembly between the residential use (fire side) and the workshop as an alternate to this requirement.
Proposed Design	<p>We propose building a 2-Hour fire partition wall between the residential use and the workshop as an alternate to this requirement. This will be a wood stud wall with (2) layers of fire rated gypsum board on both sides - per UL U301. See attached sketch.</p> <p>Reconsideration text:</p> <p>We propose building a 1-Hour fire rated assembly between the residential use (fire side) and the flower arrangement workshop as an alternate to this requirement. This will be a wood stud wall with (2) layers of fire rated gypsum board on the fire side (existing house) running from the concrete basement wall to the bottom of the roof sheathing. The underside of the ceiling/truss assembly within 4' of this wall on both sides will also have (2) layers of 5/8" gyp bd. No openings are allowed in the roof within 5' of the fire wall on either side, the roofing to be Class B roof covering, and the door will be 20 min. fire rated with a closer. Assembly to meet U356 BXUV FIRE RESISTANCE RATING ANSI/UL 263 - 1 HOUR. A parapet is not required per 705.11 exp 4. See attached sketches – 1.00, 1.10, A5.00 AND A6.10.</p> <p>2nd Reconsideration text:</p> <p>We propose building a 1-Hour fire rated assembly between the residential use (fire side) and the flower arrangement workshop as an alternate to this requirement. This will be a wood stud wall with (2) layers of fire rated gypsum board on the fire side (existing house) running from the</p>

concrete basement wall to the bottom of the roof sheathing. The underside of the ceiling/truss assembly within 4' of this wall on both sides will also have (2) layers of 5/8" gyp bd. and the gyp. bd. Will wrap to the bottom of roof sheathing. No openings are allowed in the roof within 5' of the fire wall on either side, the roofing to be Class B roof covering, and the door will be 45 min. fire rated with a closer. Assembly to meet U356 BXUV FIRE RESISTANCE RATING ANSI/UL 263 - 1 HOUR. A parapet is not required per 705.11 exp 4. See attached sketches – 1.00, 1.10, A5.00 AND A6.10.

Reason for alternative The 2-Hour rated wall will allow occupants sufficient time to exit the single story building if a fire were to occur.

Reconsideration text:

The 1-Hour assembly and 20 min. door would contain a fire from the existing house side long enough to allow occupants sufficient time to exit the single story building if a fire were to occur.

2nd Reconsideration text:

The 1-Hour assembly and 45 min. door would contain a fire from the existing house side long enough to allow occupants sufficient time to exit the single story building if a fire were to occur.

APPEAL DECISION

Single family residence with attached workshop and one hour separation: Granted as proposed.

The Administrative Appeal Board finds that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.



MISSISSIPPI WORKSHOP

THE M STREETS LLC
 4058 N MISSISSIPPI AVE | OR | 97227

DATE: 09/23/2019

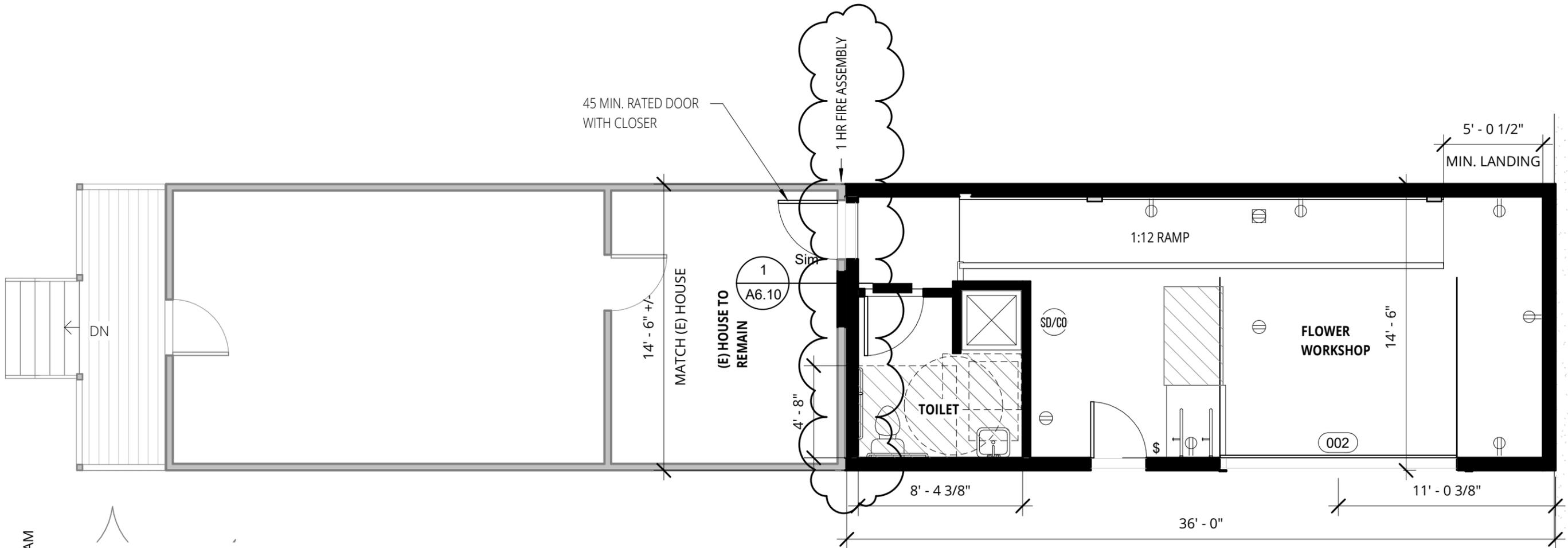
PERMIT PLAN

REVISIONS

- 1 10/17/2019
- 3 4/6/2021

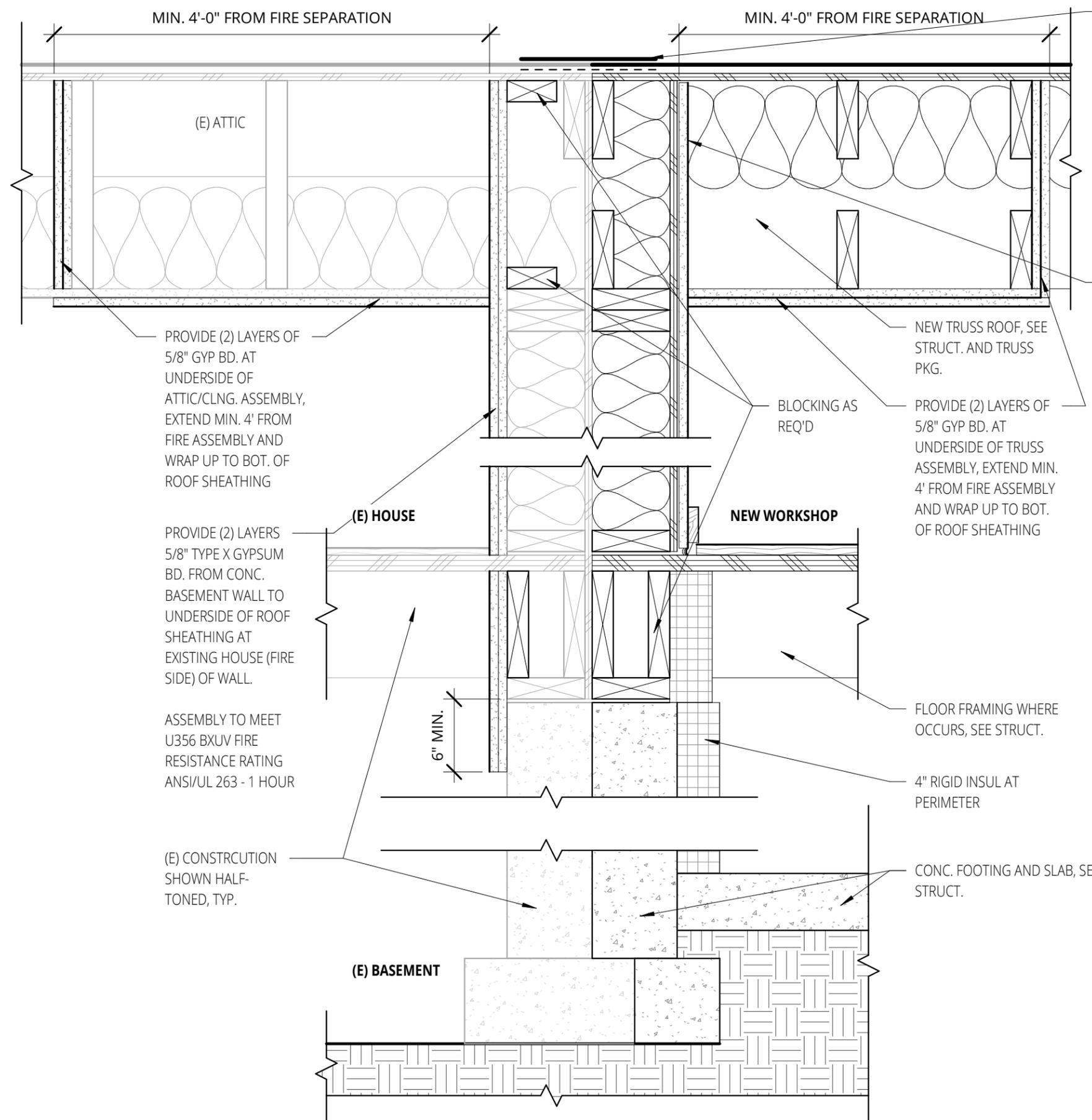
APPEAL - FLOOR
 PLAN

1.10



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1 1ST FLR PLAN - WORKSHOP
 3/16" = 1'-0"



PROVIDE OVERLAP WITH EXISTING ROOF PER MFR.
 NEW AND EXISTING ROOF TO MEET CLASS B ROOF COVERING REQ.
 NO OPENINGS ALLOWED IN ROOF WITHIN 5' OF FIRE ASSEMBLY ON EITHER SIDE.

MIN. 4'-0" FROM FIRE SEPARATION

MIN. 4'-0" FROM FIRE SEPARATION

(E) ATTIC

PROVIDE (2) LAYERS OF 5/8" GYP BD. AT UNDERSIDE OF ATTIC/CLNG. ASSEMBLY, EXTEND MIN. 4' FROM FIRE ASSEMBLY AND WRAP UP TO BOT. OF ROOF SHEATHING

PROVIDE (2) LAYERS 5/8" TYPE X GYPSUM BD. FROM CONC. BASEMENT WALL TO UNDERSIDE OF ROOF SHEATHING AT EXISTING HOUSE (FIRE SIDE) OF WALL.

ASSEMBLY TO MEET U356 BXUV FIRE RESISTANCE RATING ANSI/UL 263 - 1 HOUR

(E) CONSTRUCTION SHOWN HALF-TONED, TYP.

(E) HOUSE

NEW WORKSHOP

(E) BASEMENT

5/8" GYP. BD.

NEW TRUSS ROOF, SEE STRUCT. AND TRUSS PKG.

BLOCKING AS REQ'D

PROVIDE (2) LAYERS OF 5/8" GYP BD. AT UNDERSIDE OF TRUSS ASSEMBLY, EXTEND MIN. 4' FROM FIRE ASSEMBLY AND WRAP UP TO BOT. OF ROOF SHEATHING

FLOOR FRAMING WHERE OCCURS, SEE STRUCT.

4" RIGID INSUL AT PERIMETER

CONC. FOOTING AND SLAB, SEE STRUCT.

6" MIN.

1 WALL SECTION - 1 HR RATED WALL - EXISTING AT NEW STRUCT.

1 1/2" = 1'-0"

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DATE: 09/23/2019

PERMIT PLAN

REVISIONS
 3 4/6/2021

FIRE RATED WALL
 DETAILS

A6.10

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