

Development Services
From Concept to Construction



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More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)

APPEAL SUMMARY

Status: Hold for Additional Information

Appeal ID: 24865	Project Address: 2317 NE Clackamas St
Hearing Date: 5/12/21	Appellant Name: Mildred White
Case No.: B-005	Appellant Phone: 503-253-4283
Appeal Type: Building	Plans Examiner/Inspector: Amanda Rhoads
Project Type: residential	Stories: 2 Occupancy: single family Construction Type: V-B
Building/Business Name:	Fire Sprinklers: No
Appeal Involves: Alteration of an existing structure, occ Change from garage to ADU	LUR or Permit Application No.: 21-008199-LU
Plan Submitted Option: pdf [File 1] [File 2] [File 3] [File 4]	Proposed use: ADU

APPEAL INFORMATION SHEET

Appeal item 1

Code Section	Table R302.1
Requires	Projections of exterior walls that are less than 2' to a property line are not allowed.
Code Modification or Alternate Requested	Existing eave projection located within 2' of property line to remain and install alternate assembly which provides eave protection.
Proposed Design	<p>The existing west wall is a one-hour rated cmu wall, but the wood eave projects 4" from the wall, so that it ends within 2" of the property line. The proposed design is to install two layers of 5/8" type 'X' gypsum board on the underside of the existing eave, double 2x blocking is to be provided between the top plates of the cmu wall and the roof sheathing, two layers of 5/8" type 'x' gypsum board are to be installed on the interior side of the top plates and 2x blocking, and one layer type 'X' gypsum board is to be installed tight against the roof sheathing within 4' of the property line. Notes on the wall section provide additional limitations regarding proximity to property line and openings within the wall and roof within 3' of property line.</p> <p>This condition occurs at the west side only. The north side is located within 3' of the property line but there is no eave and the wall is a one-hour rated cmu wall.</p>
Reason for alternative	<p>The existing garage is located 6" from the west property line. The existing wall is one-hour rated from both sides but has a wood eave extension. The two layers of 5/8" thick, fire rated gypsum board will limit the spread of fire to the adjacent property.</p> <p>The requirement for fire rating is due to proximity to the property line and potential for an adjacent building to spread fire. The small eave provides minimal potential for the spread of fire and when wrapped with gypsum board this potential is mitigated.</p>

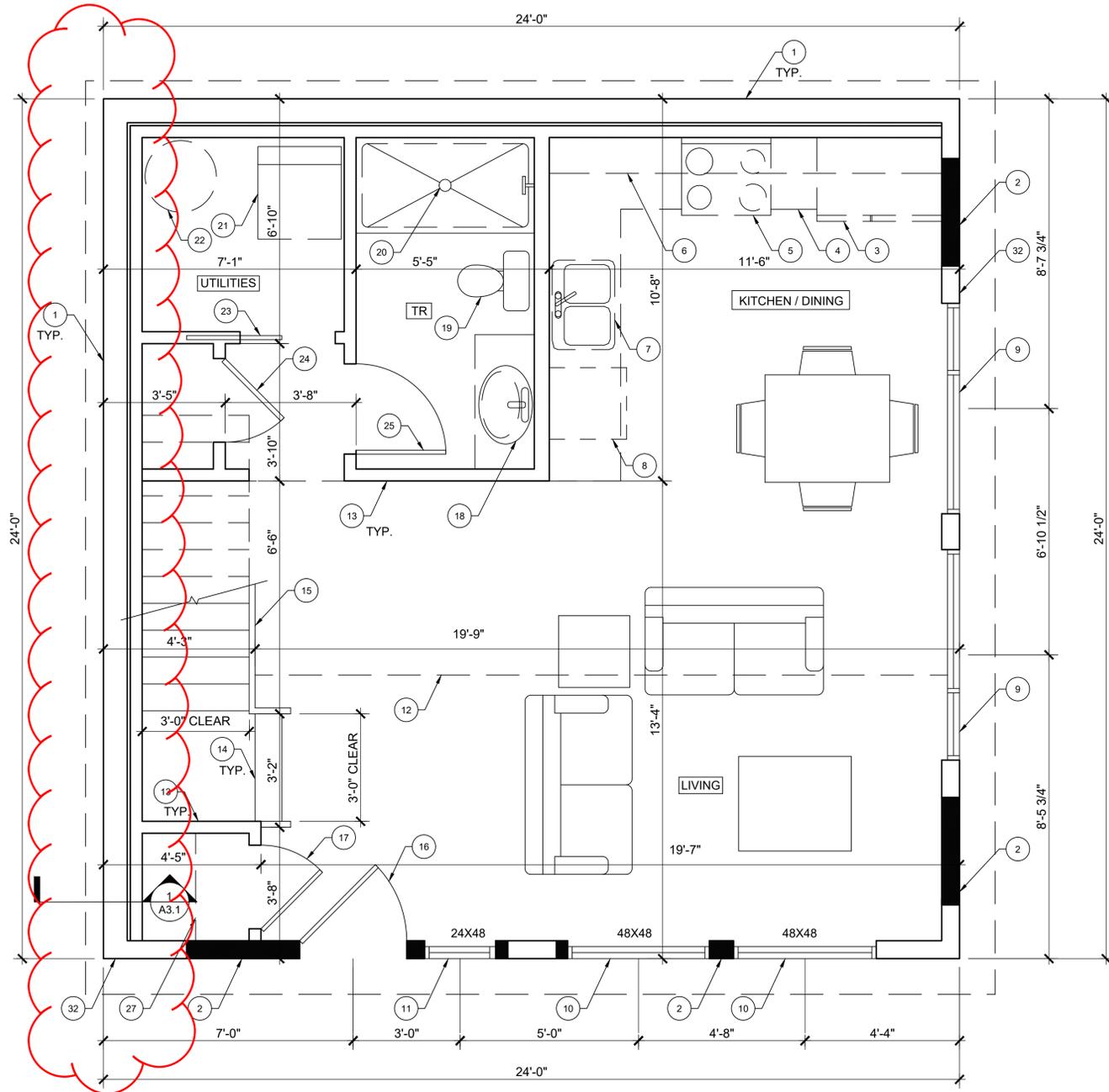
This alternate is proposed in order to retain the existing eave and eliminate extensive exterior work which would require access from, and disruption to, the neighboring property.

APPEAL DECISION

Alternate one hour assembly for West eave of existing garage within 2 feet of property line: Hold for additional information. See note below regarding the process for submitting additional information. Appellant may contact John Butler (503 865-6427) or e-mail at John.Butler@portlandoregon.gov with questions.

Additional information is submitted as a no fee reconsideration, following the same submittal process and using the same appeals form as the original appeal. Indicate at the beginning of the appeal form that you are filing a reconsideration and include the original assigned Appeal ID number. The reconsideration will receive a new appeal number.

Include the original attachments and appeal language. Provide new text with only that information that is specific to the reconsideration in a separate paragraph(s) clearly identified as "Reconsideration Text" with any new attachments also referenced. No additional fee is required.



1 PROPOSED FIRST FLOOR
 SCALE: 3/8" = 1'-0"
 NORTH

LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- NEW EXTERIOR WALL
- 4X4 PREFINISHED DOWNSPOUT TO RAIN BARREL
- SMOKE ALARM- HARD WIRED
- CARBON DIOXIDE ALARM
- STACKED WASHER AND DRYER BY OWNER
- HOT WATER HEATER
- ABOVE FINISHED FLOOR
- EXHAUST FAN

GENERAL NOTES

1. CONTRACTOR SHALL VERIFY AND CONFIRM EXISTING CONDITIONS AND SERVICE CONNECTIONS SHOWN OR IMPLIED ON DRAWINGS PRIOR TO START OF CONSTRUCTION OR ORDERING OF MATERIALS. NOTIFY A/E AND OWNER OF ANY DISCREPANCIES.
2. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND AND THE 2017 OREGON RESIDENTIAL SPECIALTY CODE (ORSC).
3. EXTERIOR DIMENSIONS SHOWN ARE TO EXTERIOR FACE OF STUD OR FRAMED OPENING UNLESS NOTED OTHERWISE. PROVIDE ALLOWANCE FOR SHIM AS REQUIRED. INTERIOR DIMENSIONS ARE TO FACE OF STUD OR FRAMED OPENING UNLESS NOTED OTHERWISE. HINGE SIDE OF DOORS ARE LOCATED 6" FROM FACE OF STUD UNLESS NOTED OTHERWISE.
4. ALL HABITABLE ROOMS SHALL BE PROVIDED WITH AN AREA OF WINDOWS EQUAL TO A MIN OF 8% OF FLOOR AREA OF THAT SPACE. HABITABLE ROOMS SHALL BE PROVIDED WITH AN AREA OF WINDOWS OPENABLE TO THE OUTDOORS EQUAL TO A MIN OF 4% OF FLOOR AREA OF THAT SPACE.
5. ALL INTERIOR DOORS TO BE 3'-0" W X 7'-0" H SOLID CORE WOOD DOOR UNLESS NOTED OTHERWISE. VERIFY STYLE, FINISH, AND HARDWARE W/ ARCHITECT OR OWNER.
6. LIGHT AND VENTILATION NOT INDICATED ON THESE PLANS SHALL BE PROVIDED AS PER SECTION R303 OF THE ORSC.
7. WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD AND SMOKE DENSITY IN ACCORDANCE WITH SECTION R315 OF THE ORSC.
8. ALL INSULATION INDICATED ON THE PLANS SHALL COMPLY WITH OR EXCEED THE REQUIREMENTS IN SECTION R316 OF THE ORSC.
9. CONTRACTOR SHALL PROVIDE ALL NECESSARY TESTING AND COORDINATE ALL REQUIRED INSPECTIONS.
10. ALL DOORS AND WINDOWS SHALL COMPLY WITH APPLICABLE ENERGY CODES.
11. TYPICAL INTERIOR WALLS UNLESS NOTED OTHERWISE TO BE 2x4 @ 16" O.C. WOOD STUD FULL HEIGHT FRAMING WITH 1/2" GYPSUM BOARD EACH SIDE AND SOUND ATTENUATION INSULATION AT BATHROOMS OR PER OWNER. SEE DETAILS 5/A4.1 AND 6/A4.1.
12. TYPICAL INTERIOR PLUMBING WALLS UNLESS NOTED OTHERWISE TO BE 2x6 @ 16" O.C. WOOD STUD FULL HEIGHT FRAMING WITH 1/2" GYPSUM BOARD AND SOUND ATTENUATION INSULATION. VERIFY WIDTH REQUIREMENT WITH PLUMBER. PROVIDE GREEN BOARD AT PLUMBING WALLS. SEE DETAILS 5/A4.1 AND 6/A4.1.

KEYNOTES

- 1 EXISTING ONE HOUR RATED CMU EXTERIOR WALL
- 2 NEW EXTERIOR WALL. SEE SECTION 1/A3.1
- 3 REFRIGERATOR PER OWNER
- 4 COUNTER AND 34" HIGH CABINETS PER OWNER. PROVIDE UPPER AND LOWER CABINETS, GARBAGE DISPOSAL AND VENT HOOD TO EXTERIOR.
- 5 RANGE PER OWNER
- 6 UPPER CABINETS PER OWNER
- 7 TWO BASIN STAINLESS STEEL KITCHEN SINK PER OWNER
- 8 UNDER COUNTER DISHWASHER PER OWNER
- 9 6'-0" W X 4'-0" H OPERABLE WINDOW. SILL AT 3'-0" A.F.F. SEE DETAILS 2/A4.1 AND 3/A4.1
- 10 4'-0" W X 4'-0" H FIXED WINDOW. SILL AT 3'-0" A.F.F. SEE DETAILS 2/A4.1 AND 3/A4.1
- 11 2'-0" W X 4'-0" H FIXED WINDOW. SILL AT 3'-0" A.F.F. SEE DETAILS 2/A4.1 AND 3/A4.1
- 12 FLOOR ABOVE
- 13 NEW INTERIOR WALL. SEE DETAIL 5/A4.1 FOR FIRST FLOOR, 6/A4.1 FOR SECOND FLOOR
- 14 36" MIN CLEAR STAIRS WITH 8" MAX RISE AND 10" RUN. MINIMUM OVERHEAD CLEARANCE IS 6'-8". SEE DETAILS 4/A3.1 AND 5/A3.1
- 15 36" HIGH WOOD GUARDRAIL. OPENINGS MUST BE LESS THAN 4" CLEAR.
- 16 3'-0" X 7'-0" FIBERGLASS DOOR. INSTALL THRESHOLD, RAIN DRIP, AND GASKETING
- 17 3'-0" H X 6'-8" WOOD INTERIOR DOOR TYPICAL. SEE DETAIL 1/A4.1
- 18 3'-8" W X 1'-8" DEEP COUNTER AND SINK. VERIFY A MINIMUM OF 4" FROM EDGE OF SINK TO ADJACENT WALL OR 2" TO ADJACENT FIXTURE
- 19 TOILET PER OWNER. VERIFY CENTERLINE IS 15" FROM FACE OF ADJACENT FIXTURE
- 20 BATHTUB/ SHOWER PER OWNER. INSTALL SO THAT ADJACENT TOILET CENTERLINE IS 15" MIN FROM FACE OF SHOWER ENCLOSURE
- 21 STACKED WASHER AND DRYER PER OWNER
- 22 WATER HEATER PER OWNER
- 23 2'-8" W X 6'-8" H WOOD POCKET DOOR PER OWNER. PROVIDE PRIVACY HARDWARE
- 24 2'-8" W X 6'-8" H WOOD DOOR PER OWNER. PROVIDE PRIVACY HARDWARE
- 25 2'-4" W X 6'-8" H WOOD DOOR PER OWNER
- 26 WOOD HANDRAIL AT 36" A.F.F. SEE DETAIL. 3/A3.1
- 27 CLOSET SHELVES AND ROD PER OWNER
- 28 DUCTLESS HIGH WALL HEAT PUMP. SEE ELECTRICAL AND SITE PLANS
- 29 BUILT-IN CLOSET PER OWNER
- 30 2'-4" W X 2'-6" H FIXED WINDOW. SILL AT 10'-6" A.F.F. SEE DETAILS 2/A4.1 AND 3/A4.1
- 31 ROOF EDGE ABOVE
- 32 EXISTING WOOD FRAMED EXTERIOR WALL

BAMA
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NE CLACKAMAS ST.

3217-3219 NE Clackamas Street
 Portland, OR 97212

Proj #

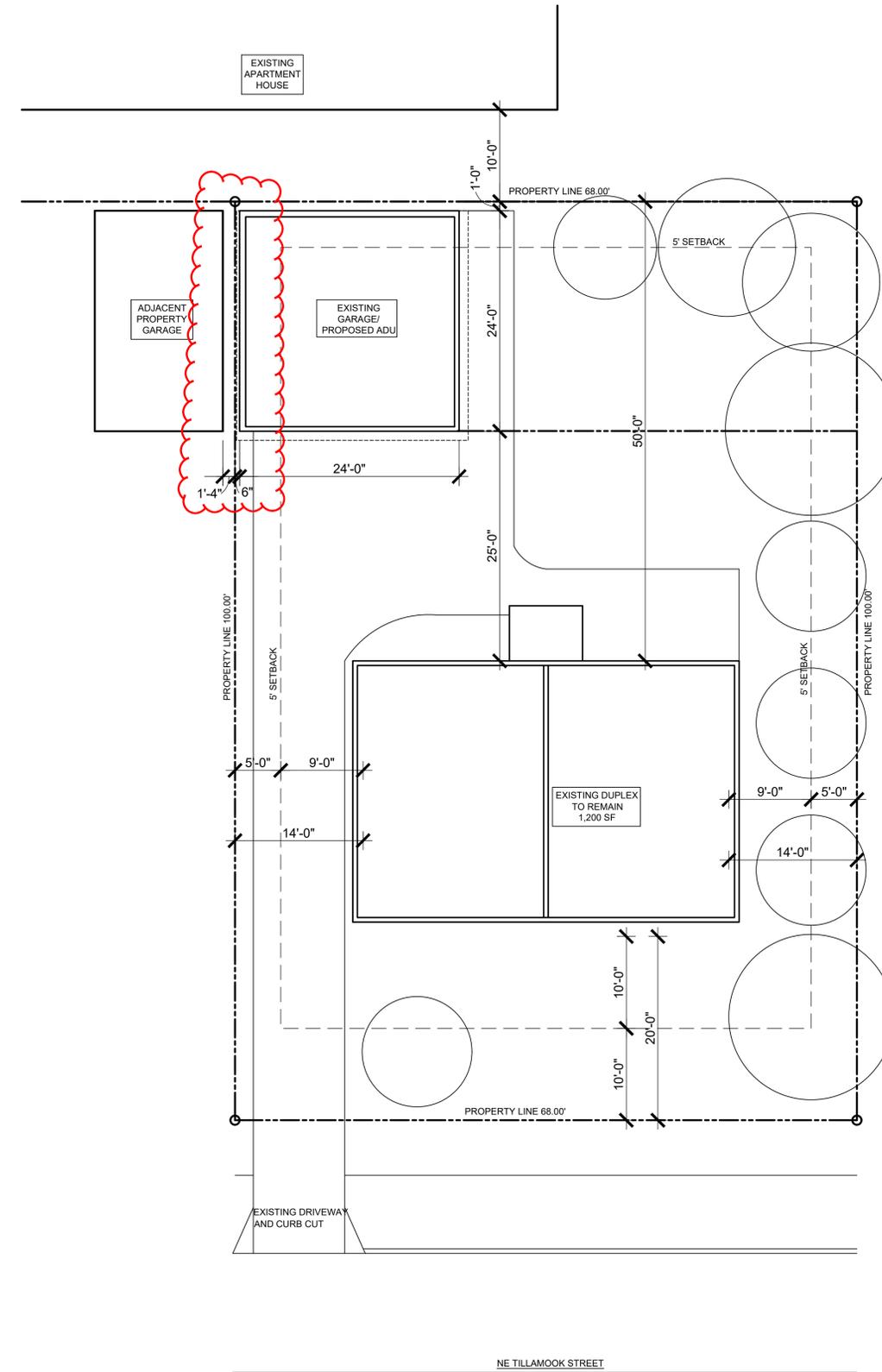
REVISIONS:

Owner Review:
 December 3, 2020

SHEET NO.
A1.1

PRELIMINARY FLOOR PLAN

ZONING INFORMATION
 ADDRESS: 3217-2319 NE CLACKAMAS ST. PORTLAND, OR 97232
 ZONING: R2.5
 LOT SIZE: 6,800 SF (68' X 100')
 PROPOSED USE: DUPLEX AND DETACHED ADU (HOUSEHOLD LIVING)
 MINIMUM DWELLING UNITS: 1
 MAXIMUM DWELLING UNITS: 2 + ADU
 EXISTING GARAGE FOOTPRINT: 576 SF
 PROPOSED ADU FOOTPRINT: 576 SF
 EXISTING DUPLEX FOOTPRINT: 1,200 SF
 REQUIRED SETBACKS:
 FRONT: 10'
 GARAGE: 18'
 SIDE: 5'
 REAR: 5'
 PROPOSED SETBACKS:
 FRONT: 10'
 GARAGE: 18'
 SIDE: 5'
 REAR: 5'
 MINIMUM PARKING REQUIRED: 2 SPACES
 MINIMUM PARKING PROVIDED: 3 SPACES
 MAXIMUM ALLOWED BUILDING COVERAGE: 2,520 SF
 MAXIMUM TOTAL BUILDING COVERAGE PROPOSED: 1,776 SF
 MAXIMUM HEIGHT: 35'
 MINIMUM OUTDOOR AREA: 200 SF
 LANDSCAPING REQUIRED: NONE



NORTH
 1
 SD1.1
 SCALE: 1/8" = 1'-0"
PROPOSED SITE PLAN

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NE CLACKAMAS ST.

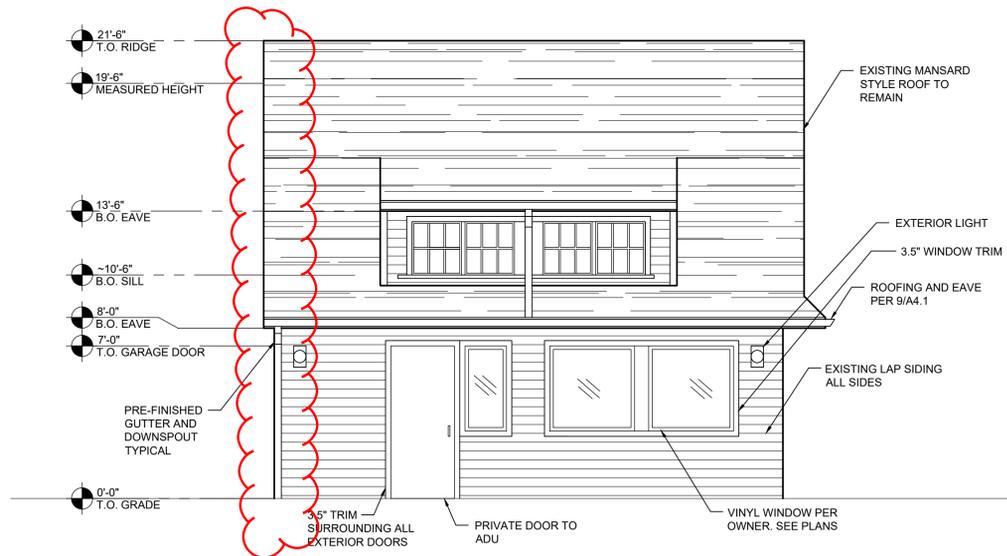
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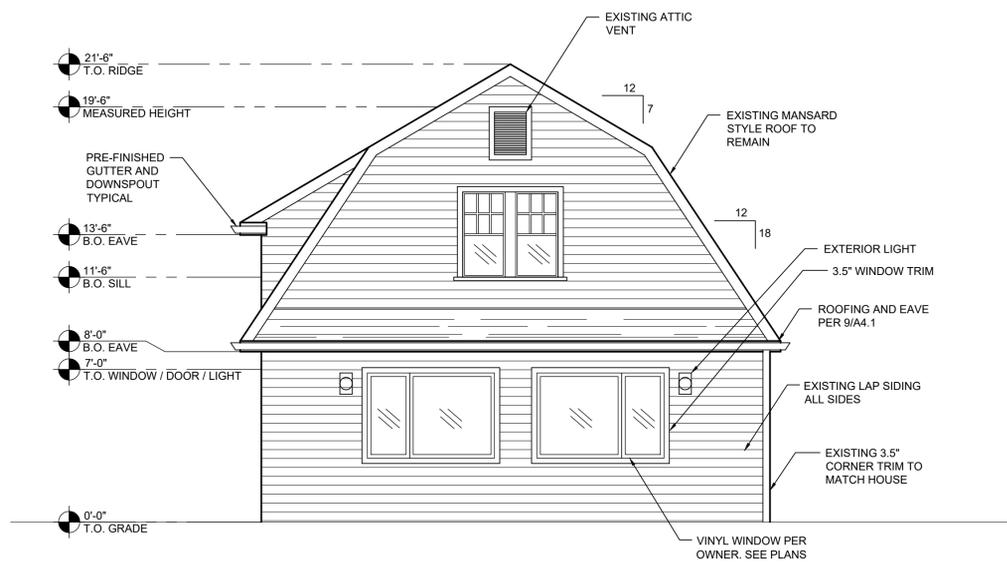
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SHEET NO.
SD1.1
 SITE PLAN



1 PROPOSED SOUTH ELEVATION
A2.1 SCALE: 1/4" = 1'-0"



2 PROPOSED EAST ELEVATION
A2.1 SCALE: 1/4" = 1'-0"

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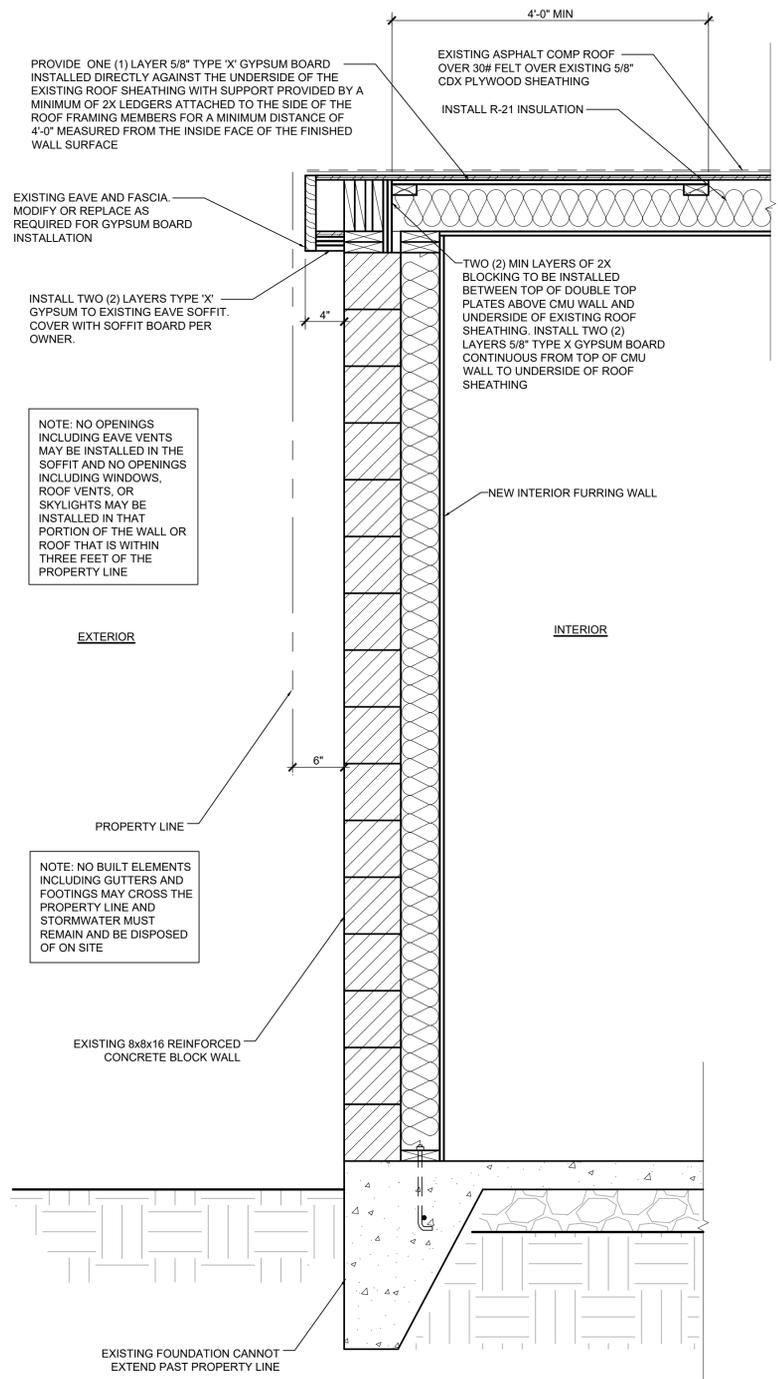
NE CLACKAMAS ST.

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Street
Portland, OR 97212

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REVISIONS:

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SHEET NO.
A2.1
EXISTING EXTERIOR
ELEVATIONS



1 WEST WALL SECTION
A3.1 SCALE: 1" = 1'-0"

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NE CLACKAMAS ST.

3217-3219 NE Clackamas Street
Portland, OR 97212

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REVISIONS:

Owner Review:
DATE: 12/10/2020
A3.1
BUILDING SECTION &
EXTERIOR DETAILS