

## Development Services

### From Concept to Construction

Phone: 503-823-7300 Email: [bds@portlandoregon.gov](mailto:bds@portlandoregon.gov) 1900 SW 4th Ave, Portland, OR 97201  
More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



#### APPEAL SUMMARY

**Status:** Decision Rendered

<b>Appeal ID:</b> 24864	<b>Project Address:</b> 4981 SE Woodstock Blvd
<b>Hearing Date:</b> 5/12/21	<b>Appellant Name:</b> Dan Williams
<b>Case No.:</b> B-004	<b>Appellant Phone:</b> 503-819-7754
<b>Appeal Type:</b> Building	<b>Plans Examiner/Inspector:</b> Guy Altman
<b>Project Type:</b> commercial	<b>Stories:</b> 4 <b>Occupancy:</b> R-2, B <b>Construction Type:</b> V-A
<b>Building/Business Name:</b> Woodstock Apartments	<b>Fire Sprinklers:</b> Yes - Throughout
<b>Appeal Involves:</b> Erection of a new structure	<b>LUR or Permit Application No.:</b> 21-003259-CO
<b>Plan Submitted Option:</b> pdf [File 1] [File 2]	<b>Proposed use:</b> 4 Story mixed-use development

#### APPEAL INFORMATION SHEET

##### Appeal item 1

<b>Code Section</b>	Table 1020.1
<b>Requires</b>	Corridor walls shall be fire-resistance rated in accordance with Table 1020.1, Corridor Fire-Resistance Rating. Per Table 1020.1, Group R occupancies with NFPA 13 compliant sprinkler systems shall have corridors fire partitions with a minimum 1/2 HR. fire-resistance rating.
<b>Code Modification or Alternate Requested</b>	Alternate fire rating for glazing at interior wall in lobby.
<b>Proposed Design</b>	<p>Lobby #100 is required to have 1?2-HR rated fire partition walls forming the exit corridor and lobby enclosure as shown in the attached code summary. Office #101 forms a side of the lobby enclosure and is required to have 1?2-HR fire rated walls. The proposed office relites along this wall are to be safety glazing as shown on the attached interior elevations.</p> <p>The proposed building will have a NFPA 13 compliant sprinkler system throughout the building. To achieve the required minimum corridor 1?2-HR fire- resistance rating at the proposed safety glazing sections of this room enclosure, it is proposed to use a sprinkler system curtain that meets NFPA 13 standards for fire protection of non-rated glazing assemblies.</p> <p>Sprinkler system curtain that meets NFPA 13 standards for fire protection of non-rated glazing assemblies.</p>
<b>Reason for alternative</b>	<p>The purpose of providing relites at Office #100 is to provide a visually accessible interior environment and access to natural daylight for office occupants.</p> <p>The proposed use of a sprinkler system curtain that meets NFPA 13 standards for fire protection of non-rated glazing is a reliable and proven alternate materials and methods approach to achieving up to a 1-HR fire fire-resistance rating. In this proposed design, the fire-resistance rating required is 122-HR, and the combination of the safety glazing and NFPA standard sprinkler system curtain will provide the equivalency of a 1/2 HR rated corridor wall fire partition.</p>

## APPEAL DECISION

**Type 13 water curtain sprinkler protection at non-fire rated openings in 1/2 hour fire rated corridor:**  
**Granted provided windows are non-operable, fixed glazing doors are on closers and sprinklers are spaced not more than 6 feet apart and placed a minimum of 6 inches and a maximum of 12 inches from the opening(s) and a maximum of 12 inches below the ceiling. Sprinklers are to be installed on the occupied side of the openings. A separate permit from the Fire Marshal's Office is required.**  
**Appellant may contact John Butler (503 865-6427) or e-mail at [John.Butler@portlandoregon.gov](mailto:John.Butler@portlandoregon.gov) with questions.**

The Administrative Appeal Board finds with the conditions noted, that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to [www.portlandoregon.gov/bds/appealsinfo](http://www.portlandoregon.gov/bds/appealsinfo), call (503) 823-7300 or come in to the Development Services Center.



SCOTT|EDWARDS ARCHITECTURE LLP.

May 5, 2021

Woodstock Apartments: New 4-story mixed-use apartment building  
21-003259-CO; 20-206435-LU

## Building Code Adjustments:

Table 1020.1 (2019 OSSC) Types of Construction

### General Information:

Location:	4937 SE Woodstock Blvd., Portland, OR 97206
Property ID:	R312581
State Tax ID:	1S2E18CA -06300
State Tax Roll:	WOODSTOCK, BLOCK 3, INC PT VAC ST LOT 1, LOT 2
Plan District:	n/a
Neighborhood:	Woodstock
Zoning:	CM2 – Commercial Mixed Use 2
Overlay:	m – Centers Main Street
Occupancy:	R-2, B
Construction Type:	V-A
Sprinkler:	Automatic sprinkler system to be installed throughout

The project is a new 4-story mixed-use development with R-2 and M occupancies.

### Appeal Item #1: Alternate fire rating for glazing at interior wall in lobby

Requirements: Corridor walls shall be fire-resistance rated in accordance with Table 1020.1, Corridor Fire-Resistance Rating. Per Table 1020.1, Group R occupancies with NFPA 13 compliant sprinkler systems shall have corridors fire partitions with a minimum 1/2 HR. fire-resistance rating.

Code Modification or Alternate Requested: Lobby #100 is required to have 1/2-HR rated fire partition walls forming the exit corridor and lobby enclosure as shown in the attached code summary. Office #101 forms a side of the lobby enclosure and is required to have 1/2-HR fire rated walls. The proposed office relites along this wall are to be safety glazing as shown on the attached interior elevations.

The proposed building will have a NFPA 13 compliant sprinkler system throughout the building. To achieve the required minimum corridor 1/2-HR fire-resistance rating at the proposed safety glazing sections of this room enclosure, it is proposed to use a sprinkler system curtain that meets NFPA 13 standards for fire protection of non-rated glazing assemblies.

Reason for Alternative: The purpose of providing relites at Office #100 is to provide a visually accessible interior environment and access to natural daylight for office occupants.

The proposed use of a sprinkler system curtain that meets NFPA 13 standards for fire protection of non-rated glazing is a reliable and proven alternate materials and methods approach to achieving up to a 1-HR fire fire-resistance rating. In this proposed design, the fire-resistance rating required is ½-HR, and the combination of the safety glazing and NFPA standard sprinkler system curtain will provide the equivalency of a 1/2 HR rated corridor wall fire partition.



FILE PATH: C:\Revit\_Locall\19162\_UAA\_Woodstock\_Apts\_20\_ispeaman.rvt

BUILDING CODE SUMMARY		2019 OREGON STRUCTURAL SPECIALTY CODE															
OCCUPANCY	R-2/ M MIXED USE NON-SEPARATED WITH ACCESSORY B OCCUPANCY AND OUTDOOR, UNCOVERED A-3 OCCUPANCY (NOT PART OF BUILDING AREA); M OCCUPANCY IS SHELL PERMIT ONLY.																
CONSTRUCTION TYPE	TYPE V-A, SPRINKLERED																
CHAPTER 4: SPECIAL DETAILED REQUIREMENTS BASED ON OCCUPANCY AND USE																	
SECTION 420.2	SEPARATION WALLS	WALLS SEPARATING DWELLING OR SLEEPING UNITS FROM EACH OTHER OR OTHER OCCUPANCIES SHALL BE CONSTRUCTED AS FIRE PARTITIONS IN ACCORDANCE WITH SECTION 708.															
SECTION 420.3	HORIZONTAL SEPARATION	FLOOR ASSEMBLIES SEPARATING DWELLING OR SLEEPING UNITS FROM EACH OTHER OR OTHER OCCUPANCIES SHALL BE CONSTRUCTED AS HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711.															
SECTION 420.4	SPRINKLER SYSTEM	GROUP R OCCUPANCIES, REQUIRED PER 903.2.8															
SECTION 420.5	FIRE & SMOKE ALARMS	GROUP R-2, FIRE ALARM SYSTEMS REQUIRED PER SECTION 907.2.9 SMOKE ALARMS REQUIRED PER 907.2.10.2															
CHAPTER 5: GENERAL BUILDING HEIGHTS AND AREAS																	
TABLE 504.3 TABLE 504.4 TABLE 506.2	HEIGHT / STORIES / AREA FACTOR	R-2: 70 FT / 4 STORY / 36000 SF M: 70 FT / 4 STORY / 42000 SF															
MODIFICATIONS																	
SECTION 506.2.4 MIXED OCCUPANCY, MULTISTORY BUILDINGS EQUATION 5-3	BUILDING AREA	Aa = At + (NS x If) = 36000 SF + (12000 SF x 0) = 36000 SF PER STORY															
	RATIO OF ALLOWABLE TO ACTUAL AREA PER STORY	FIRST FLOOR : 16897 / 36000 = 0.47 SECOND FLOOR : 16879 / 36000 = 0.47 THIRD FLOOR : 16879 / 36000 = 0.47 FOURTH FLOOR : 14186 / 36000 = 0.39 TOTAL = 1.80															
SECTION 506.3	FRONTAGE INCREASE	NOT USED															
	ACTUAL HEIGHT / STORIES LARGEST INDIVIDUAL STORY ACTUAL BUILDING AREA	45' - 0" / 4 Story 16735 SF 64223 SF															
<table><tr><th colspan="2">GROSS BUILDING AREA</th></tr><tr><th>FLOOR LEVEL</th><th>AREA (SF)</th></tr><tr><td>LEVEL 01</td><td>16735 SF</td></tr><tr><td>LEVEL 02</td><td>16692 SF</td></tr><tr><td>LEVEL 03</td><td>16692 SF</td></tr><tr><td>LEVEL 04</td><td>14104 SF</td></tr><tr><td></td><td>64223 SF</td></tr></table>				GROSS BUILDING AREA		FLOOR LEVEL	AREA (SF)	LEVEL 01	16735 SF	LEVEL 02	16692 SF	LEVEL 03	16692 SF	LEVEL 04	14104 SF		64223 SF
GROSS BUILDING AREA																	
FLOOR LEVEL	AREA (SF)																
LEVEL 01	16735 SF																
LEVEL 02	16692 SF																
LEVEL 03	16692 SF																
LEVEL 04	14104 SF																
	64223 SF																
SECTION 508.2	ACCESSORY OCCUPANCY	B 140 SF ACCESSORY AREA / 16735 SF GROSS FIRST FLOOR AREA = 0.008 <10%															
SECTION 508.3	MIXED OCCUPANCY	NON-SEPARATED															
CHAPTER 6: TYPES OF CONSTRUCTION / CONSTRUCTION CLASSIFICATION																	
TABLE 601	FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS																
	BUILDING ELEMENT	FIRE RATING *															
	PRIMARY STRUCTURAL FRAME	1 HOUR															
	BEARING WALLS	1 HOUR															
	EXTERIOR	1 HOUR															
	INTERIOR	1 HOUR															
	NON BEARING WALLS AND PARTITIONS - EXTERIOR	PER TABLE 602															
	NON BEARING WALLS AND PARTITIONS - INTERIOR	0 HOUR															
	FLOOR CONSTRUCTION AND SECONDARY MEMBERS	1 HOUR															
	ROOF CONSTRUCTION AND SECONDARY MEMBERS	1 HOUR															
	* UNLESS OTHERWISE REQUIRED BY THIS CODE																
TABLE 602	FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE																
	FIRE SEPARATION DISTANCE	FIRE RATING															
	X < 5'	R - 1 HOUR / M - 2 HOUR															
	5' <= X < 10'	R - 1 HOUR / M - 1 HOUR															
	10' <= X < 30'	R - 1 HOUR / M - 1 HOUR															
	X >= 30'	R - 1 HOUR / M - 0 HOUR															
CHAPTER 7: FIRE AND SMOKE PROTECTION FEATURES																	
TABLE 705.2	MINIMUM DISTANCE OF PROJECTION	40 INCHES FROM PROPERTY LINE (FSD)															
TABLE 705.8	MAXIMUM AREA OF WALL OPENINGS BASED ON FSD AND OPENING PROTECTION																
	0 TO LESS THAN 3'	UNPROTECTED, SPRINKLERED	PROTECTED, SPRINKLERED														
	3 TO LESS THAN 5'	NOT ALLOWED	NOT ALLOWED														
	5 TO LESS THAN 10'	15%	15%														
	10 TO LESS THAN 15'	25%	25%														
	15 TO LESS THAN 20'	45%	45%														
	20 TO LESS THAN 25'	75%	75%														
	25 TO LESS THAN 30'	NO LIMIT	NO LIMIT														
	30' OR GREATER	NO LIMIT	NO LIMIT														
		NOT REQUIRED	NOT REQUIRED														
SECTION 708	FIRE PARTITIONS	1 HOUR															
		1/2 HOUR AT GROUP R-2 CORRIDORS PER TABLE 1020.1															
SECTION 711	FLOOR AND ROOF ASSEMBLIES SUPPORTING CONSTRUCTION PER 711.2.3																
711.2.4.1	SEPARATING MIXED OCCUPANCIES	N/A, NONSEPARATED															
711.2.4.3	DWELLING / SLEEPING UNITS	1 HOUR															
711.2.4.5	SEPARATING INCIDENTAL USES	PER TABLE 509															
711.2.4.6	OTHER SEPARATIONS	N/A															
SECTION 713	SHAFT ENCLOSURES	NOT LESS THAN 1 HOUR CONNECTING LESS THAN 4 STORIES															
		NOT LESS THAN 2 HOUR CONNECTING 4 STORIES OR MORE															
713.13.3	CHUTE ACCESS ROOMS	1 HOUR FIRE BARRIER, 45 MIN OPENING PROTECTIVE															
713.13.4	CHUTE DISCHARGE ROOMS	2 HOUR FIRE BARRIER, 2 HOUR OPENING PROTECTIVE															
CHAPTER 8: INTERIOR FINISHES																	
TABLE 803.13	INTERIOR WALL AND CEILING FINISH REQUIREMENTS (FLAME SPREAD RATING)	R-2	M														
	INTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS	C	B														
	CORRIDORS AND ENCLOSURES FOR EXIT ACCESS STAIRWAYS AND RAMPS	C	C														
	ROOMS AND ENCLOSED SPACES	C	C														
CHAPTER 9: FIRE PROTECTION SYSTEMS																	
SECTION 903 SECTION 905.3.1	FULLY SPRINKLERED, NFPA 13 EXCEPTION 1, CLASS I STANDPIPE																
THE GENERAL CONTRACTOR SHALL SCHEDULE A FIRESTOPPING MEETING WITH THE BUILDING INSPECTOR AND ALL SUBCONTRACTORS THAT WILL BE INSTALLING FIRESTOPPING MATERIALS. EACH SUBCONTRACTOR WILL PROVIDE A LIST OF FIRESTOP MATERIALS/ ASSEMBLIES WHICH WILL BE USED. THE TYPE OF PENETRATIONS WHERE EACH MATERIAL/ ASSEMBLY WILL BE USED, AND THE LISTING AND APPROVAL INFORMATION (I.E. UL, ICC OR OTHER APPROVED) REPORT LISTING NUMBERS.) THIS INFORMATION MUST BE SUBMITTED TO, AND APPROVED BY, THE BUILDING INSPECTOR PRIOR TO ANY INSTALLATION. SEE CITY OF PORTLAND FIRESTOPPING PROGRAM GUIDE AT: HTTP://WWW.PORTLANDONLINE.COM/SHARED/CFM?ID=68669																	

CHAPTER 10: MEANS OF EGRESS					
SECTION 1004	OCCUPANT LOAD (OL) - R-2 OCCUPANT LOAD (OL) - A-3 OCCUPANT LOAD (OL) - M OCCUPANT LOAD (OL) - B	401 57 32 1			
SECTION 1005.3.1 SECTION 1005.3.2	STAIRWAY EGRESS CAPACITY FACTOR OTHER EGRESS CAPACITY FACTOR	0.3 0.2			
TABLE 1006.2.1	MAX OCCUPANT LOAD FOR ONE EXIT	R-2: 20 Occupants A-3, M: 49 Occupants			
	MAX COMMON PATH OF EGRESS TRAVEL	R-2: 125 FT A-3, M: 75 FT; B: 100 FT			
TABLE 1006.3.2	MIN EXITS PER STORY, 1-500 OCC	2			
TABLE 1006.3.3(1)	STORIES WITH ONE EXIT FOR R-2	4 UNITS / 125 FT TRAVEL DISTANCE / UP TO 3 STORIES			
TABLE 1006.3.3(2)	STORIES WITH ONE EXIT FOR OTHER OCCUPANCIES FIRST STORY OR BELOW GRADE PLANE	49 OCCUPANTS / 75 FT TRAVEL DISTANCE			
SECTION 1011.2	STAIRWAY WIDTH AND CAPACITY	36" (EXCEPTION 1, STAIRWAYS SERVING OCCUPANT LOAD <50)			
TABLE 1017.2	EXIT ACCESS TRAVEL DISTANCE	R-2, A-3, M: 250 FT; B: 300 FT			
TABLE 1020.1	CORRIDOR FIRE-RESISTANCE RATING	R-2: 1/2 HR A-3, M, B: 0			
TABLE 1020.2	MINIMUM CORRIDOR WIDTH	44 INCHES * 36 INCHES WITHIN DWELLING UNIT			
SECTION 1020.4	DEAD ENDS	R-2, M: 50 FEET *LENGTH IS NOT LIMITED WHERE LENGTH < 2.5x WIDTH			
SECTION 1023.2	INTERIOR EXIT STAIRWAY FIRE RATING	2 HOURS			
SECTION 1024.2	EXIT PASSAGEWAY WIDTH AND CAPACITY	36" (SERVING OCCUPANT LOAD <50)			
SECTION 1024.3	EXIT PASSAGEWAY FIRE RATING	1 HOUR			
EXIT DOOR SUMMARY					
EXIT #	OCCUPANT LOAD	REQUIRED CLEAR WIDTH	DOOR WIDTH	CLEAR WIDTH PROVIDED	
A	186	32"	78"	70"	
A	186	32"	78"	70"	
B	186	32"	42"	38"	
C	43	32"	36"	32"	
D	16	32"	72"	64"	
E	16	32"	72"	64"	
G1	EXIT ACCESS TRAVEL DISTANCE		36"	32"	
EGRESS PATH NAME		EGRESS PATH LENGTH			
		63' - 7 1/2"			
COURT & PATIO		155' - 10 1/16"			
RETAIL SHELL 1		27' - 10 11/16"			
RETAIL SHELL 2		27' - 2 3/4"			
FIRST FLOOR		150' - 6 15/32"			
SECOND FLOOR		108' - 2 15/32"			
THIRD FLOOR		108' - 2 15/32"			
FOURTH FLOOR		108' - 0 27/32"			
CHAPTER 11: ACCESSIBILITY					
SECTION 1107.6.2.2.1	TYPE A UNITS	R-2 OCCUPANCIES WITH GREATER THAN 20 DWELLING UNITS SHALL PROVIDE MIN. 2% TYPE A UNITS. TYPE A UNITS REQUIRED: 84 x 0.02 = 2 UNITS TYPE A UNITS PROVIDED: (1) 1 BED - 1 BATH AND (1) 3 BED - 2 BATH UNIT			
SECTION 1107.6.2.2.2	TYPE B UNITS	WHERE THERE ARE MORE THAN 4 DWELLING UNITS, ALL UNITS SHALL BE TYPE B UNITS.			
ADDITIONAL ACCESSIBILITY REQUIREMENTS					
APPLICABLE CODES: ANSI ICC A117.1 - 2009 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN FAIR HOUSING ACCESSIBILITY GUIDELINES  FHA SAFE HARBOR DESIGN DOCUMENT: FAIR HOUSING ACT DESIGN MANUAL					
CHAPTER 13: ENERGY EFFICIENCY					
E102.1, R-2 GREATER THAN 3 STORIES E102.3.2 CONSTRUCTION PROVISIONS, ASHRAE 90.1-2016, SECTION 4.2.1 CLIMATE ZONE 4C (MARINE 4)					
OPAQUE ELEMENTS		REQUIRED		PROVIDED	
		ASSEMBLY MAX.		INSULATION MIN. R-VALUE	
		OTHER	GROUP R	OTHER	GROUP R
ROOFS					
INSULATION ENTIRELY ABOVE DECK	U-0.032	U-0.032	R-30 CI	R-30 CI	N/A
METAL BUILDINGS	--	--	--	--	--
ATTIC AND OTHER	U-0.021	U-0.021	R-49	R-49	N/A
WALLS (ABOVE GRADE)					
MASS	U-0.104	U-0.90	R-9.5 CI	R-11.4 CI	R-10 CI
METAL BUILDINGS	--	--	--	--	--
STEEL-FRAMED	--	--	--	--	--
WOOD-FRAMED / OTHER	U-0.064	U-0.064	R-13 + R-3.8 CI or R-20	R-13 + R-3.8 CI or R-20	R-21
WALLS (BELOW GRADE)					
MASS	C-0.119	C-0.092	R-7.5 CI	R-10 CI	--
FLOORS					
MASS	--	--	--	--	--
STEEL JOIST	--	--	--	--	--
WOOD FRAMED / OTHER	U-0.33	U-0.33	R-30	R-30	N/A
SLAB-ON-GRADE FLOORS					
HEATED	--	--	--	--	--
UNHEATED	F-0.520	F-0.520	R-15 24"	R-15 24"	R-15 24"
OPAQUE DOORS					
SWINGING	U-0.370	U-0.370			N/A
NON-SWINGING	U-0.310	U-0.310			N/A
FENESTRATION					
		REQUIRED		PROVIDED	
		MAX U	MAX SHGC	MAX U	MAX SHGC
VERTICAL (0% - 40% OF WALL ALLOWED)					
NONMETAL FRAMING	0.31	0.36	1.10	0.26	0.22
METAL FRAMING, FIXED	0.38			0.38	
METAL FRAMING, OPERABLE	0.46			N/A	
METAL FRAMING, ENTRANCE DR	0.68			0.68	
SKYLIGHT (0% - 3% OF ROOF ALLOWED)					
		--	--	--	--
CI = CONTINUOUS INSULATION FC = FILLED CAVITY NR = NO REQUIREMENT NA = NOT APPLICABLE					
CHAPTER 29: PLUMBING FIXTURES					
PLUMBING FIXTURE SUMMARY					
		OCCUPANTS		WATER CLOSETS	
		MALE	FEMALE	MALE	FEMALE
OCCUPANCY (CHAPTER 3)	TOTAL				
A-3 (PATIO)	57	29	29	0.23	0.44
R-2 (LOUNGE)	47	24	24	0.19	0.67
B	1	1	1	0.02	0.02
REQUIRED				0.44	1.13
PROVIDED				1 Unisex WC Provided*	1 Unisex Lavatory Provided*
TOTAL UNITS					
R-2		84		MIN. 1 WC / LAV / Tub or Shower per unit required and provided	

\*Pending Building Code Appeal

1 ELEVATOR:		
WHERE ELEVATORS ARE PROVIDED IN BUILDINGS FOUR OR MORE STORIES HIGH, NOT FEWER THAN ONE ELEVATOR MUST BE SIZED TO ACCOMMODATE AN AMBULANCE STRETCHER 24" X 84".		
OCCUPANCY LOAD SIGNAGE:		
EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE.		
APPLICATIONS FOR OCCUPANT LOAD SIGNS ARE AVAILABLE ONLINE AT: WWW.PORTLANDONLINE.COM/FIRE/INDEX.CFM?IC=26203 OR AT THE FIRE MARSHAL'S OFFICE AT 1300 SE GIDEON ST.		
GAS BURNING OPEN FLAME APPLIANCES MUST COMPLY WITH THE FOLLOWING:		
THE GAS BURNING APPLIANCE IS CSA CERTIFIED OR UL LISTED AND INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.		
TO PREVENT TIPPING, THE APPLIANCE WILL BE PERMANENTLY SECURED IN PLACE.		
GAS WILL BE INTERNALLY PIPED TO THE APPLIANCE. NO FUEL TANK OR FUEL STORAGE WILL BE PROVIDED.		
A TIMER WILL BE INSTALLED TO ACTIVATE THE APPLIANCE.		
A TIMER WILL BE CONNECTED TO THE VALVE OF THE GAS BURNING APPLIANCE ALLOWING GAS TO FLOW TO THE APPLIANCE FOR PERIODS OF UP TO 60 MINUTES.		
A PORTABLE FIRE EXTINGUISHER WILL BE LOCATED ON THE SAME LEVEL AND INSTALLED WITHIN 75 FEET OF TRAVEL DISTANCE OF THE GAS BURNING APPLIANCE.		
AN AUTOMATIC FUEL SHUT-OFF VALVE WILL ACTIVATE UPON THE INITIATION OF A FIRE ALARM SIGNAL, IF PROVIDED, THAT WILL INTERRUPT THE FLOW OF GAS WHEN A FIRE ALARM IS ACTIVATED ANYWHERE IN THE BUILDING.		
A MANUAL EMERGENCY SHUTOFF VALVE WITH SIGNAGE WILL BE LOCATED WITHIN A MINIMUM OF 10 FEET AND A MAXIMUM OF 50 FEET FROM THE GAS BURNING APPLIANCE.		
NOTE: A BARBEQUE IS NOT REQUIRED TO BE CONNECTED TO AN AUTOMATIC FUEL SHUT-OFF VALVE. IF AN APPLICANT CHOOSES TO CONNECT THE BARBEQUE TO AN AUTOMATIC FUEL SHUT-OFF VALVE, MANUAL ACTION WILL BE REQUIRED TO RESTORE THE FLOW OF GAS TO THE BARBEQUE ONCE TRIPPED BY THE FIRE ALARM SYSTEM.		
PORTLAND FIRE CODE SUMMARY		
SECTION 503.1.1 FIRE APPARATUS ACCESS ROADS, WHERE REQUIRED, EXCEPTION: BUILDING MEETS THE CONDITIONS TO BE EXEMPT FROM THE REQUIREMENTS OF AERIAL FIRE APPARATUS ACCESS ROADS. 1. BUILDING IS EQUIPPED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM, 2. THERE ARE NO COMBUSTIBLE CONCEALED ATTIC SPACES, 3. ALL STAIRWAY EXIT ENCLOSURES SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 2 HOURS, 4. THE ROOF IS ESSENTIALLY FLAT (3-PERCENT SLOPE OR LESS) AND, 5. APPROVED ACCESS IS PROVIDED TO THE ROOF FROM BOTH STAIRWAYS BY A SHIP STAIR OR LADDER THAT PROVIDES A CLEAR WIDTH OF NOT LESS THAN 30 INCHES BETWEEN HANDRAILS THROUGH A ROOF HATCH OR TRAP DOOR NOT LESS THAN 30 INCHES (762 MM) WIDE AND 6 FEET (2438 MM) LONG (OSSC 1009). 6. BUILDING IS EQUIPPED WITH AT LEAST ONE STANDPIPE THAT TERMINATES ON THE ROOF.		
SECTION 510	EMERGENCY RESPONDER RADIO COVERAGE	REQUIRED, BUILDING OVER 50,000 SF
ZONING CODE SUMMARY		
ZONING	CM-2 m (PARTIAL) R5, R2.5, RM2	
BASE ZONE OVERLAY ZONE ADJACENT ZONING		
PLAN DISTRICT	--	
USE	RELIGIOUS HOUSEHOLD LIVING, RETAIL SALES & SERVICE	
CURRENT PROPOSED		
SITE AREA	23,000 SF	
IMPERVIOUS AREA	18,200 SF	
LANDSCAPE AREA	4,800 SF	
BUILDING AREA TOTAL	64,223 SF	
FIRST FLOOR	16,735 SF	
SECOND FLOOR	16,692 SF	
THIRD FLOOR	16,692 SF	
FOURTH FLOOR	14,104 SF	
DEVELOPMENT STANDARDS		REQUIRED
33.130.205 MAXIMUM FAR		2.5: 1
33.130.212 WITH BONUS - INCLUSIONARY HOUSING		4: 1
33.130.210.B.1 MAXIMUM BUILDING HEIGHT		45 FT
33.130.210.B.2 STEPDOWN HEIGHT		35 FT
33.130.215.B MINIMUM BUILDING SETBACKS		
STREET LOT LINE		0
GROUND FLOOR DWELLING, ACROSS FROM RF-RM2 ZONING		5 FT
LOT LINE AT C ZONING		0 FT
LOT LINE AT R5 ZONING		10 FT
33.130.215.C MAXIMUM BUILDING SETBACKS	10 FT FOR 50% (70% @ M OVERLAY)	
33.130.220 BUILDING COVERAGE	100%, INNER PATTERN AREA	<10 FT FOR 85% (77% @ M OVERLAY)
33.130.225 MIN. LANDSCAPE AREA	15%	REF LANDSCAPE
LANDSCAPED BUFFER AT RF-RM4		10 FT @ L3
33.130.228 RESIDENTIAL OUTDOOR AREA	SITE GREATER THAN 20,000 SF: 48 SF/UNIT 84 UNITS = 4,032 SF	OUTDOOR AREA: REF LANDSCAPE INDOOR COMMON AREA: 671 SF
33.130.230.B.1 GROUND FLOOR WINDOWS		
B.2 a (2) NOT AT DWELLING UNIT, 2 FRONTAGES		M OVERLAY, 60% / 25%
B.4 b DWELLING UNITS		5' SETBACK @ L1, 25% WINDOWS
33.130.235.C SCREENING - MECHANICAL ROOF MOUNT		SE WOODSTOCK: 70% SE 50TH: 27% 5' SETBACK @L1, 39% WINDOWS
33.245.040.A.2 a INCLUSIONARY HOUSING STANDARDS		REF MECHANICAL
33.266.100 PARKING		SET BACK FROM R-ZONE ROOF EDGE 3FT PER 1 FT OF EQUIPMENT HT
33.266.110.B CLOSE TO TRANSIT?		8% AFFORDABLE AT 60% AMI 84 UNITS x 0.08 = 7 UNITS/BEDS
33.266.110.D EXCEPTION - AFFORDABLE HOUSING		YES
33.266.200 BIKE PARKING		NO PARKING REQUIRED
TABLE 266-6 SHORT TERM - STANDARD A		
HOUSEHOLD LIVING		1 PER 20 UNITS (84 UNITS / 20 = 5 SPACES)
RETAIL SALES & SVC		2 OR 1 PER 2,700 SF NET AREA = 2 SPACES
TABLE 266-6 LONG TERM - STANDARD A		
HOUSEHOLD LIVING		1.5 PER UNIT (84 UNITS * 1.5 = 126 SPACES)
RETAIL SALES & SVC		2 OR 1 PER 3,800 SF NET AREA = 2 SPACES
33.266.210.D.1 IN-UNIT SPACES		5% MAXIMUM (63 SPACES)
33.266.210.D.3 HORIZONTAL SPACES		30% (38 SPACES)
LARGER SPACES		5% (6 SPACES)
ELECTRICAL OUTLET AVAILABLE		5% (6 SPACES)
33.266.310 LOADING		
33.266.310.C.2 a # REQUIRED		1 SPACE, STANDARD B, 18' x 9' x 10'
33.415.200 SETBACKS AND LANDSCAPING		N/A, INTERIOR LOADING SPACE
REQUIRED GROUND FLOOR ACTIVE USE		26% WITHIN 100' OF TRANSIT STREET 7,734 SF @ 25% = 1,934 SF
		2,034 SF PROVIDED (26%)



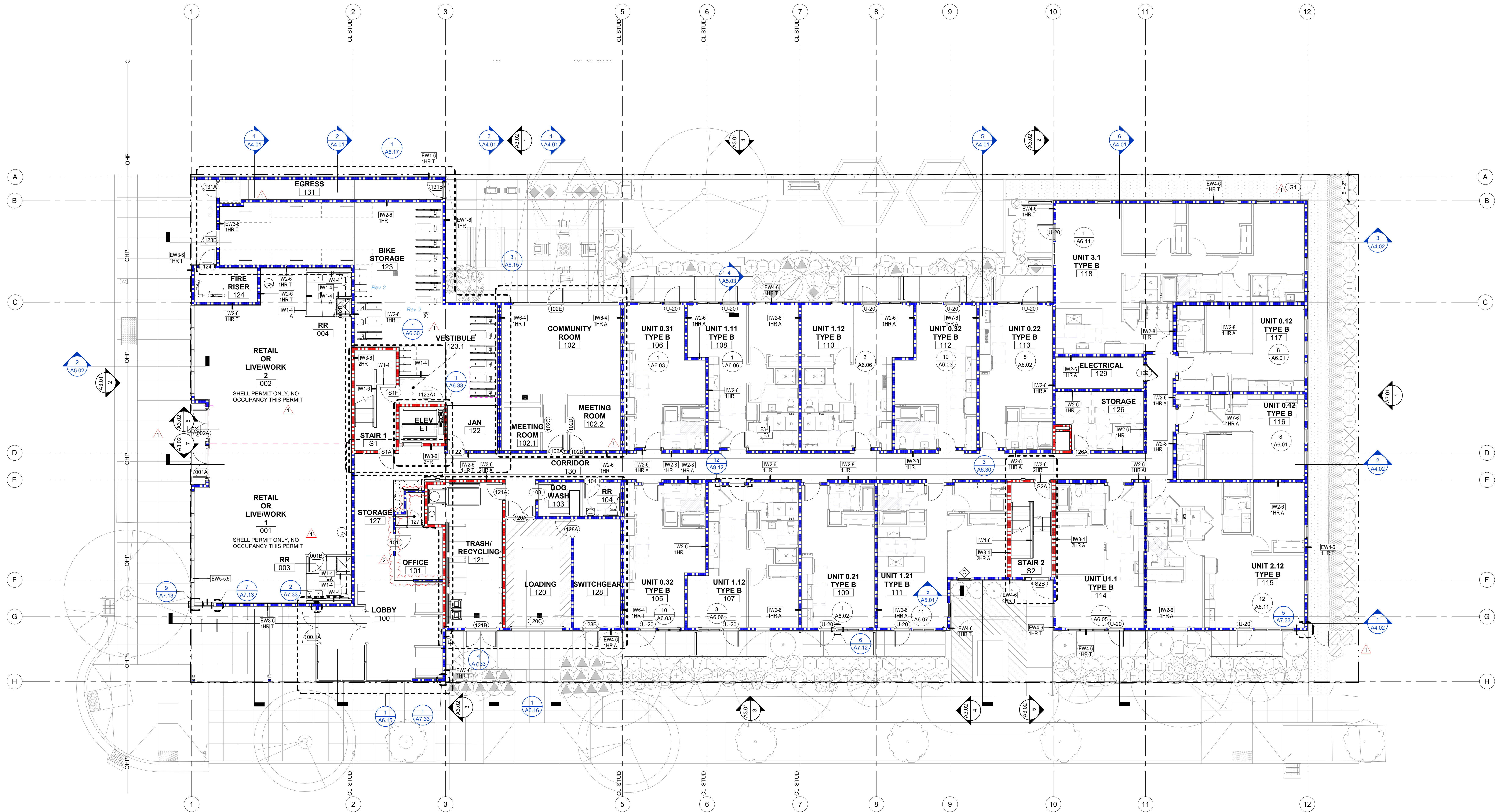
WOODSTOCK  
APARTMENTS

Job Number: 19162

4937 SE WOODSTOCK BLVD  
PORTLAND, OR 97206

URBAN ASSET ADVISORS

FILE PATH: C:\Revit\_Local\19162\_UAA\_Woodstock\_Apts\_20\_krodrigues.rvt

1 FIRST FLOOR PLAN  
1/8" = 1'-0"

## KEYNOTES (07-02)

## GENERAL SHEET NOTES

## LEGEND

- A. PROVIDE FIRE EXTINGUISHERS AND FIRE EXTINGUISHER CABINETS AS SHOWN / SPECIFIED. COORDINATE FINAL LOCATIONS WITH FIRE MARSHALL.
- B. ALL INTERIOR WALLS TO BE TYPE IW-1.4, UNLESS NOTED OTHERWISE.
- C. SIGNS SHALL BE OF DURABLE MATERIALS, PERMANENTLY INSTALLED AND READILY VISIBLE.
- a. ROOMS CONTAINING FIRE PROTECTION EQUIPMENT (FIRE SPRINKLER RISERS AND VALVES OR OTHER FIRE DETECTION, SUPPRESSION OR CONTROL ELEMENTS, FIRE ALARM CONTROL PANEL), ELECTRICAL AND OTHER UTILITY EQUIPMENT SHALL BE IDENTIFIED IN AN APPROVED MANNER.
- b. STAIRWAYS WITH ACCESS TO ROOF SHALL BE MARKED AT STREET AND FLOOR LEVELS WITH A SIGN INDICATING THAT THE STAIRWAY CONTINUES TO THE ROOF.

- 1 HOUR RATED ASSEMBLY
- 2 HOUR RATED ASSEMBLY

2 CITY RESP 2 05/04/2020

1 CITY RESP DM1 04/20/2021

GMP SET 03/17/2021

ISSUE DATE

Drawing:

FIRST FLOOR PLAN

Sheet No:

A2.11

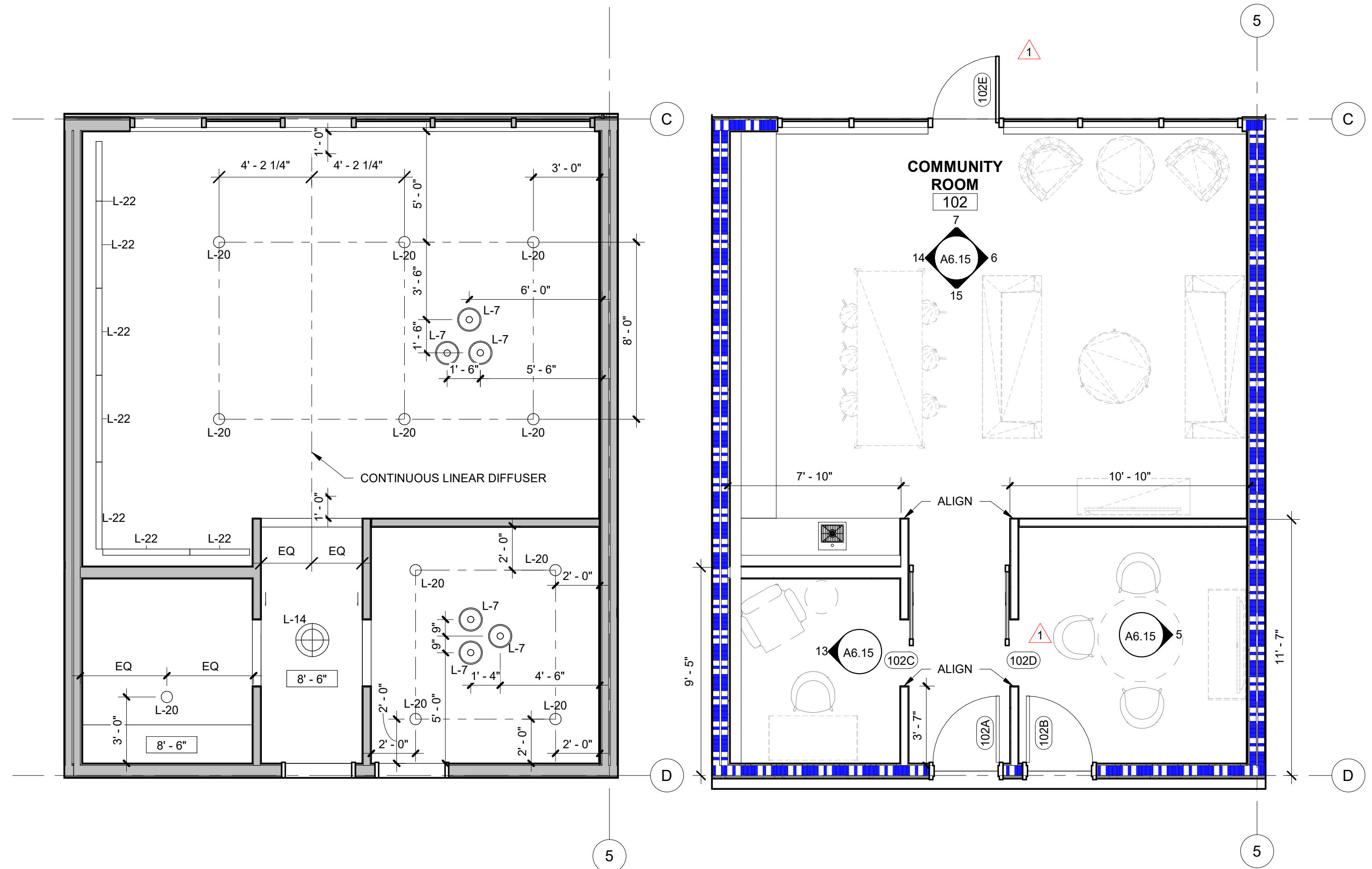


WOODSTOCK  
APARTMENTS

Job Number: 19162

4937 SE WOODSTOCK BLVD  
PORTLAND, OR 97206

FILE PATH: C:\Revit\_Local\19162\_UAA\_Woodstock\_Apts\_20\_krodrigues.rvt

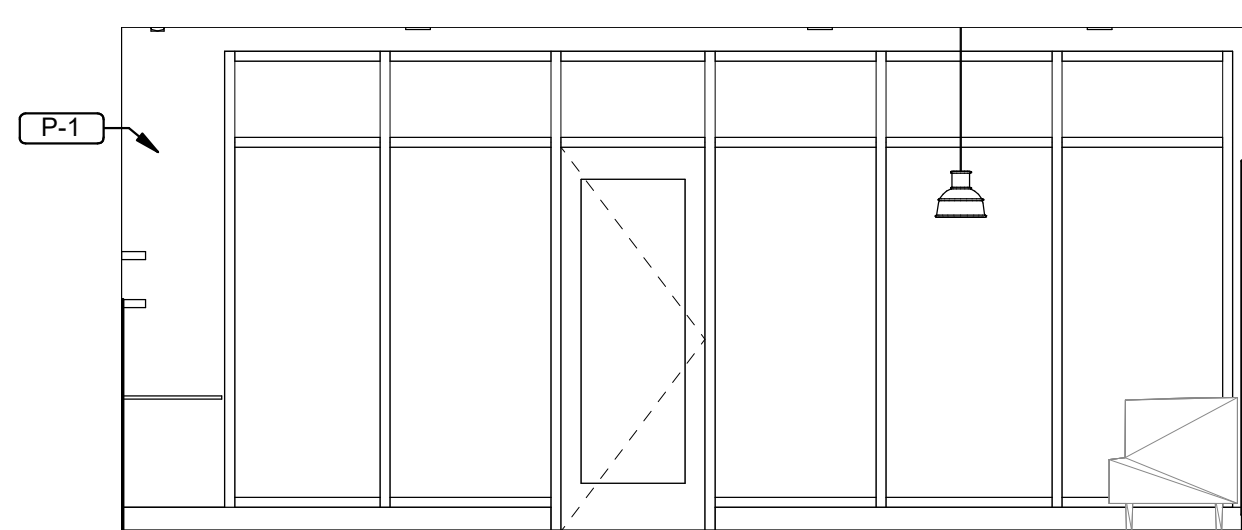


4 COMMUNITY ROOM RCP

1/4" = 1'-0"

3 COMMUNITY ROOM PLAN

1/4" = 1'-0"

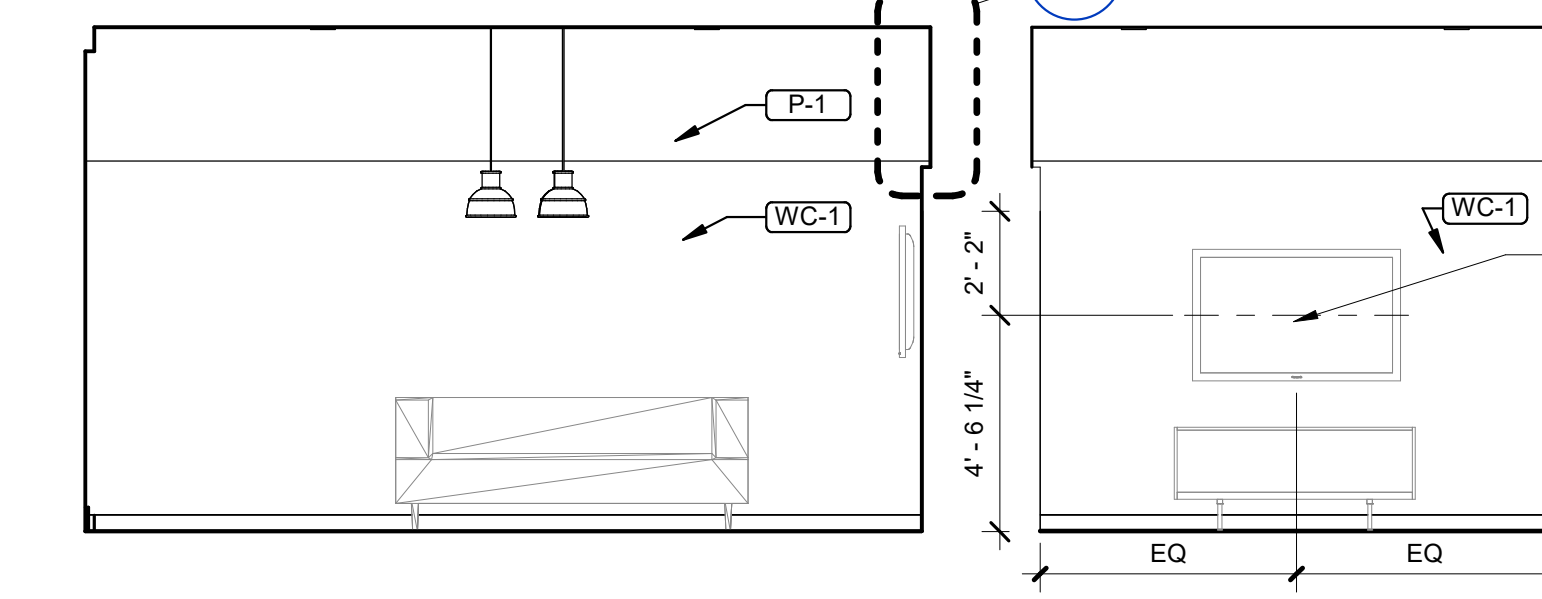


7 COMMUNITY ROOM - WEST

1/4" = 1'-0"

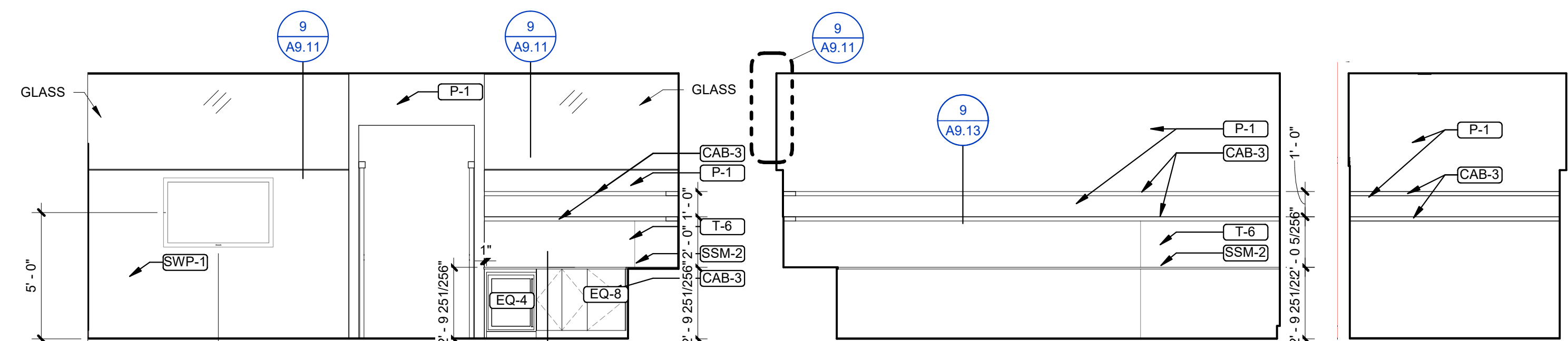
6 COMMUNITY ROOM - NORTH

1/4" = 1'-0"



5 MEETING ROOM - NORTH

1/4" = 1'-0"

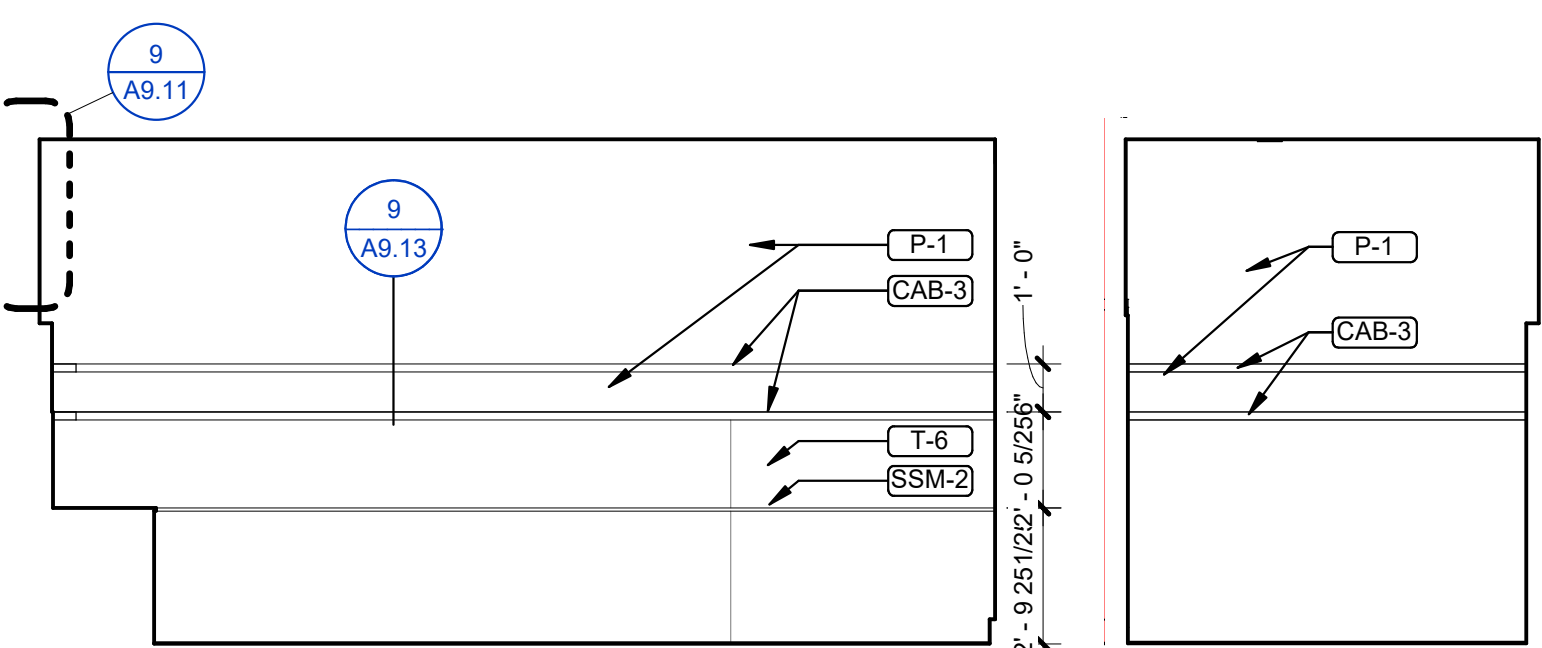


15 COMMUNITY ROOM - EAST

1/4" = 1'-0"

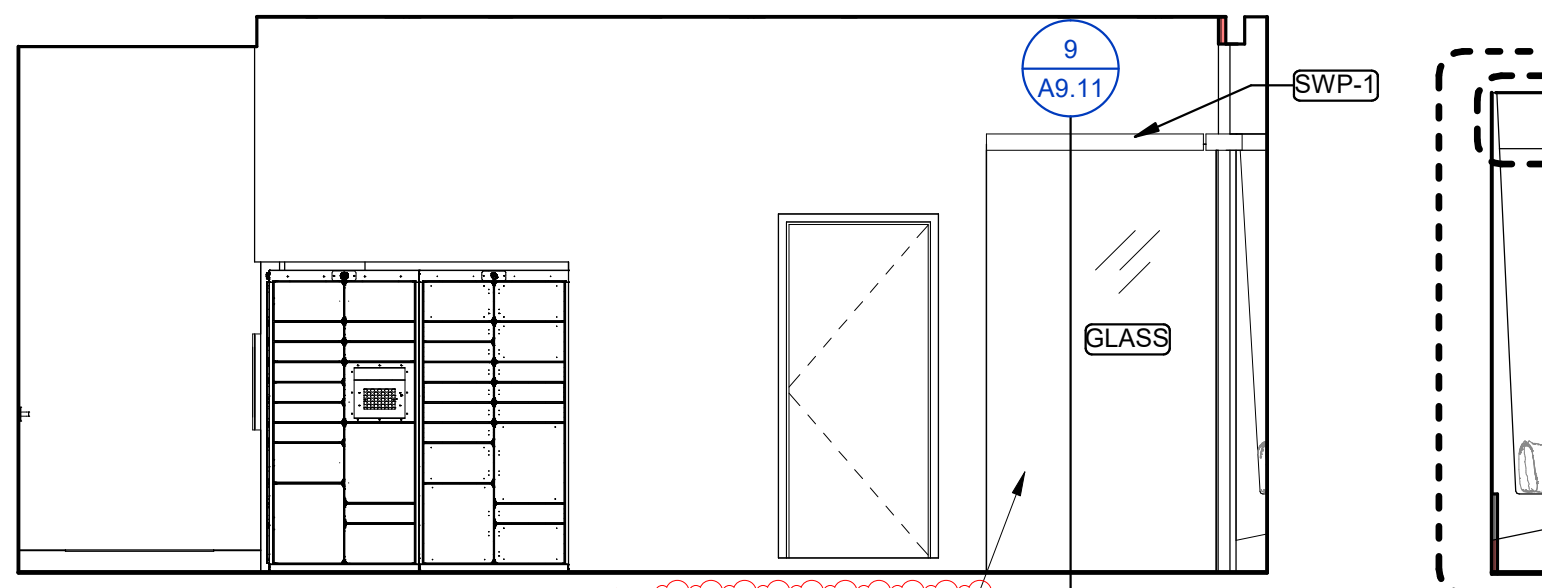
14 COMMUNITY ROOM - SOUTH

1/4" = 1'-0"



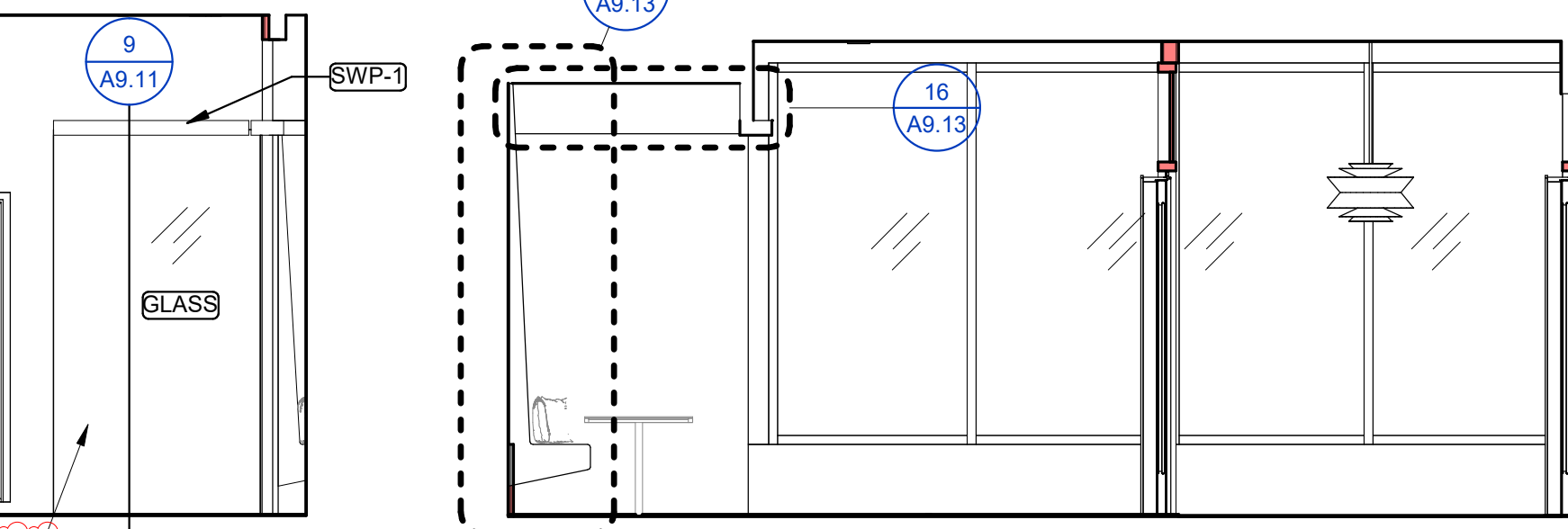
13 ZOOM ROOM - SOUTH

1/4" = 1'-0"



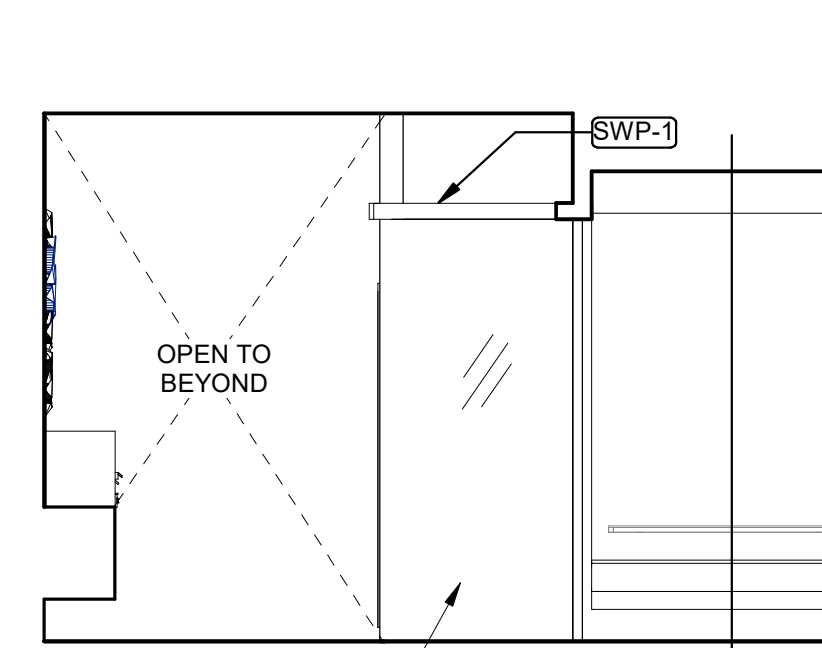
18 LOBBY - PARCEL BOXES

1/4" = 1'-0"



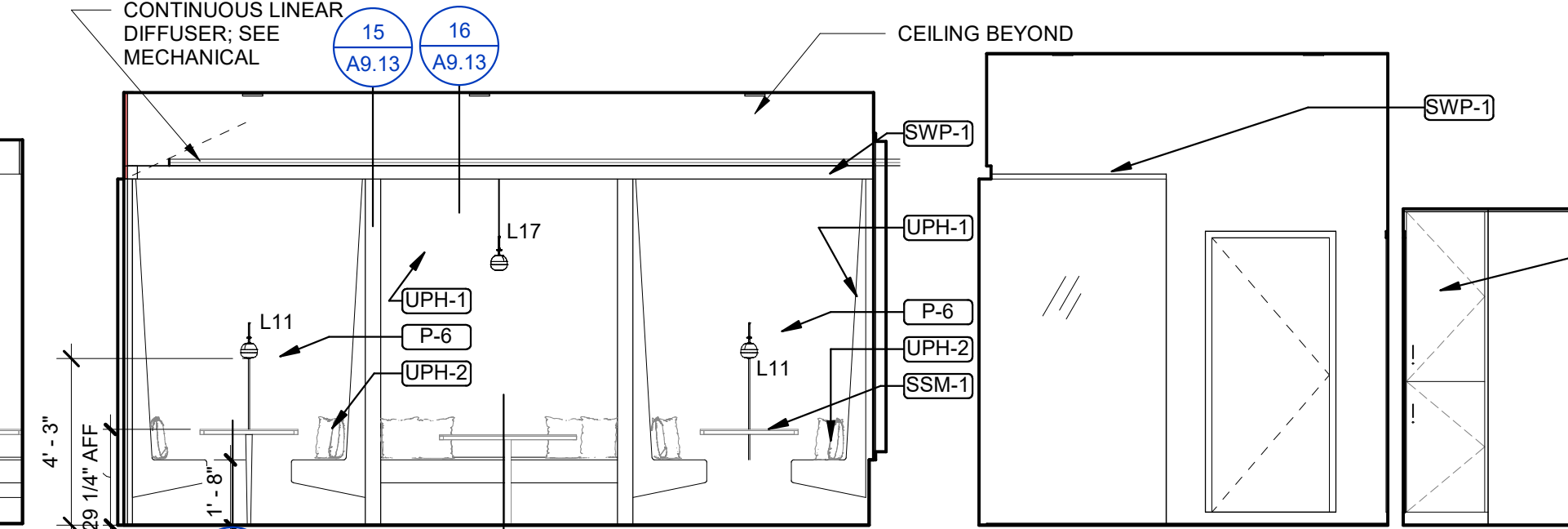
17 LOBBY - EAST

1/4" = 1'-0"



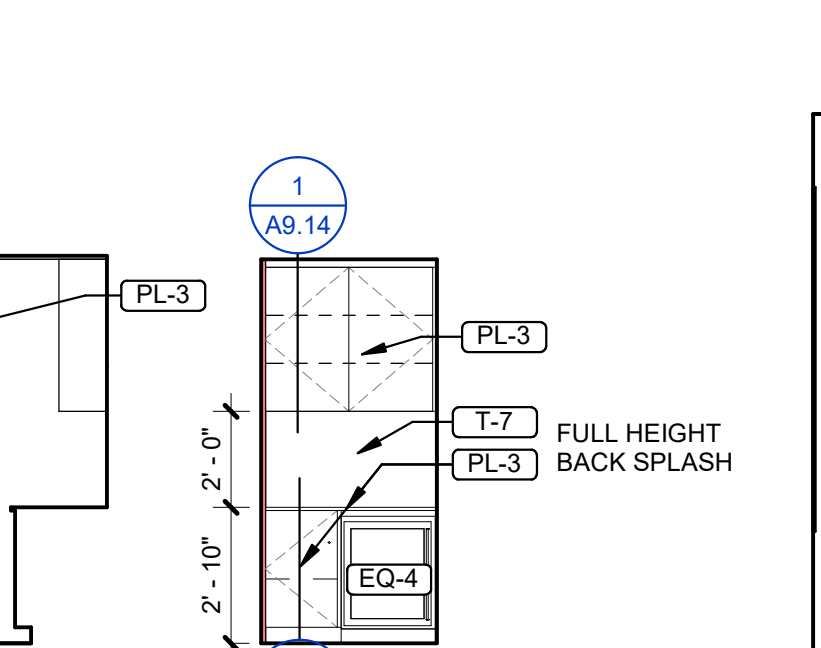
12 LOBBY - WEST

1/4" = 1'-0"



11 LOBBY - NORTH

1/4" = 1'-0"

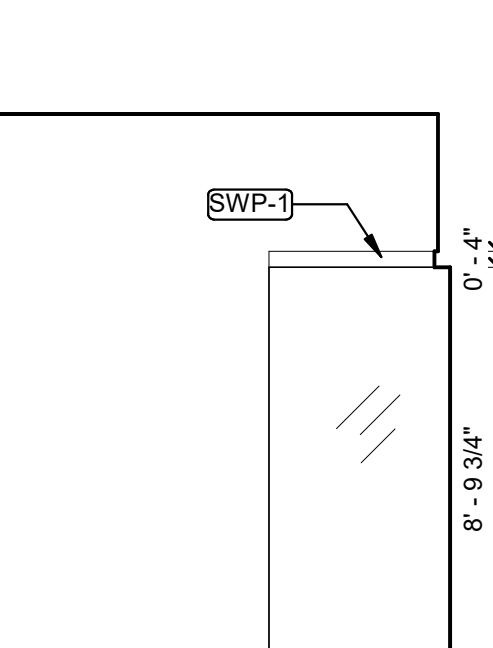


10 OFFICE CLOSET - SOUTH

1/4" = 1'-0"

9 OFFICE CLOSET - WEST

1/4" = 1'-0"

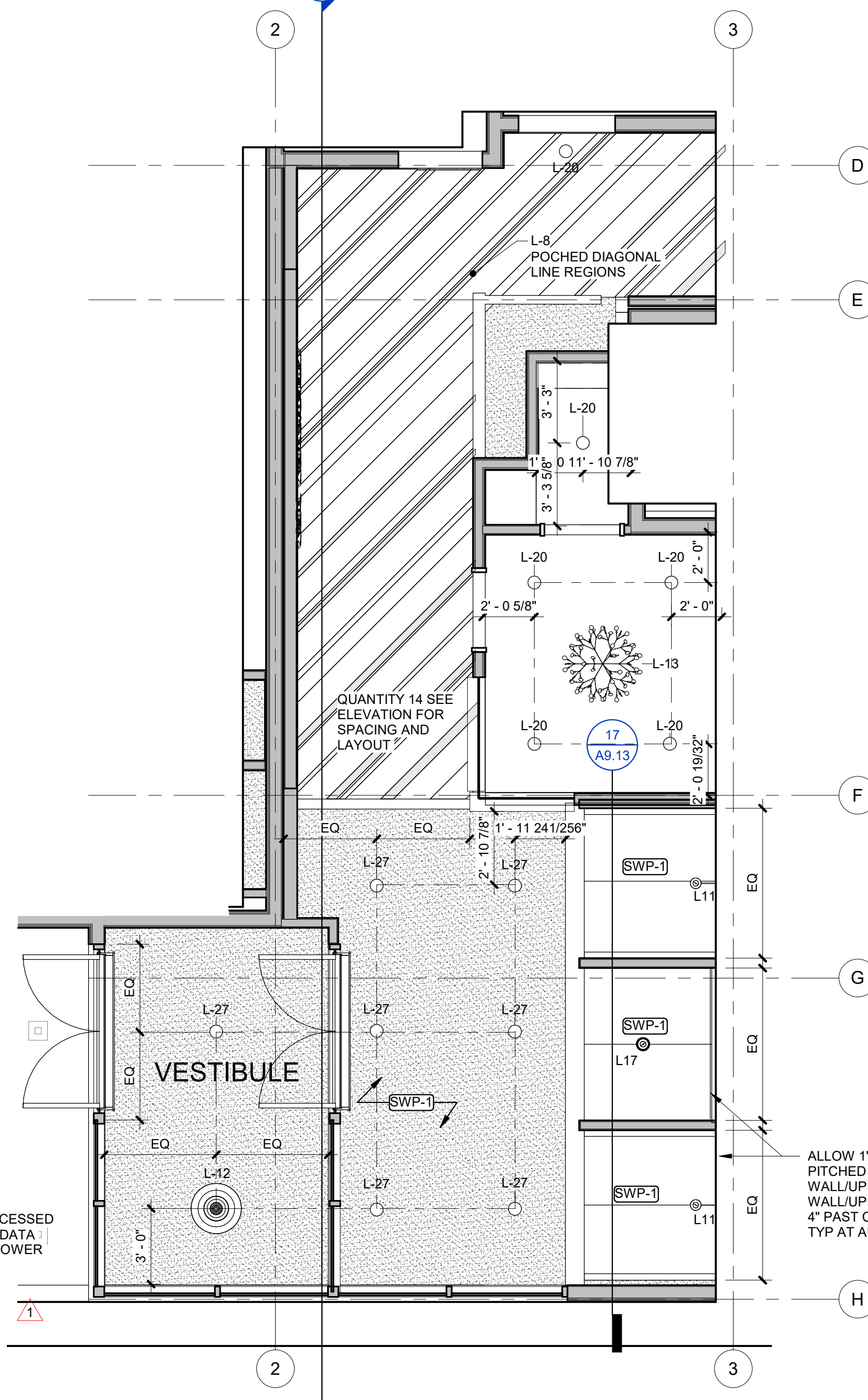


8 OFFICE - EAST

1/4" = 1'-0"

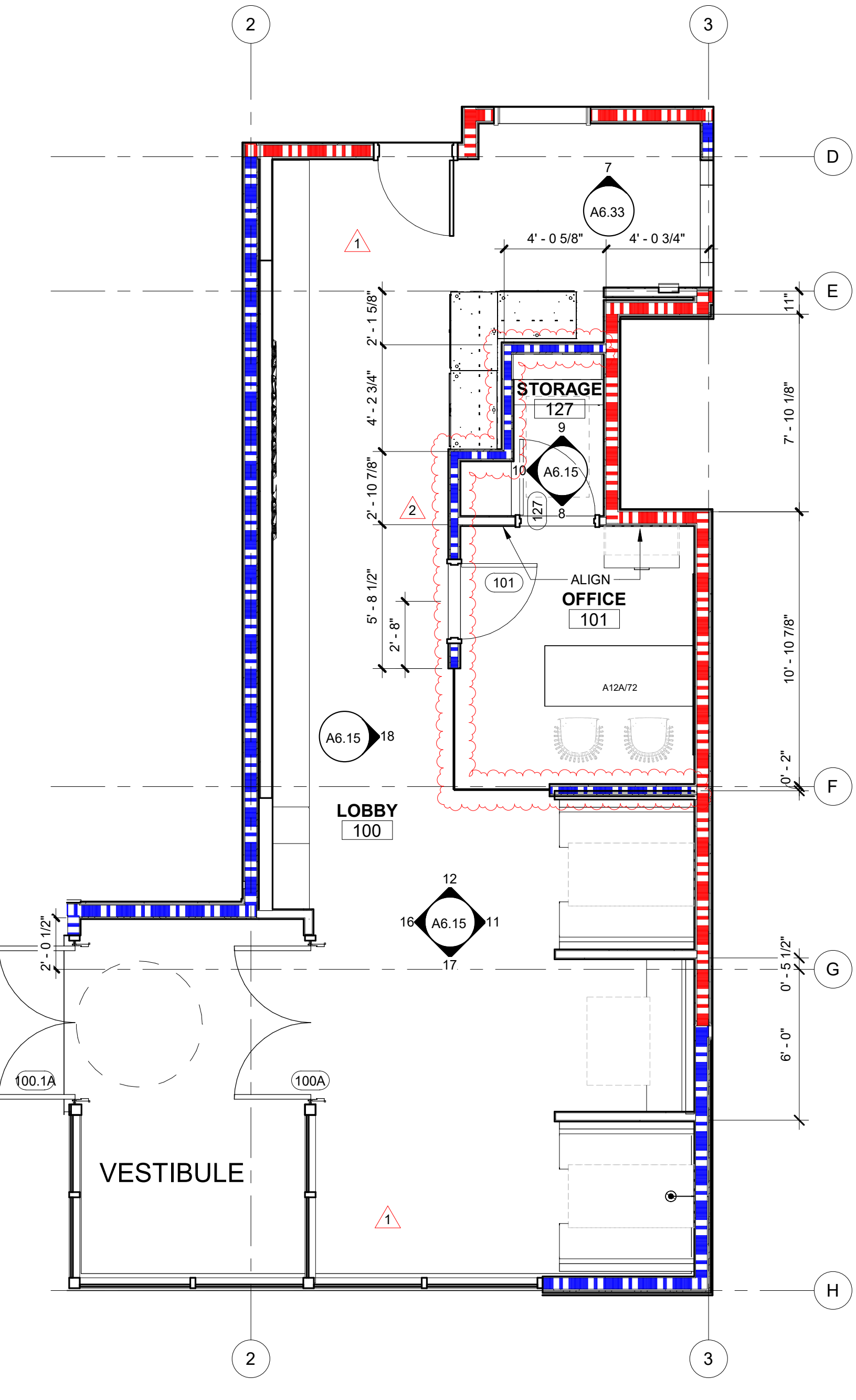
2 LOBBY RCP

1/4" = 1'-0"



1 LOBBY FLOOR PLAN

1/4" = 1'-0"

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OF THE ARCHITECT AND MAY NOT BE DUPLICATED OR USED  
WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

KEYNOTES	07-02	LIGHTING LEGEND										GENERAL SHEET NOTES			
		<div><div><div><div><div><div>L-1 DESC: EXTERIOR, RECESSED LED DOWNLIGHT LOCATION: CANOPY &amp; SOFFIT AT SOUTH ELEV</div><div>L-2 DESC: EXTERIOR, SURFACE MOUNT SCONCE, DOWNLIGHT LOCATION: LOCATED AT GROUND FLOOR UNIT PATIOS, OUTDOOR COMMUNITY AREA, TRASH AND LOADING ROOM ENTRANCES.</div><div>L-3 DESC: EXTERIOR, WALL MOUNTED, RECESSED PATHWAY LIGHTS LOCATION: LOCATED AT GROUND FLOOR UNIT PATIOS, NORTH AND NORTHWEST ELEVATIONS. (SEE A3.01 &amp; A3.01)</div><div>L-4 DESC: EXTERIOR, STRING LIGHTS LOCATION: LOCATED AT GROUND COMMUNITY PATIO. SEE LANDSCAPE PLANS.</div><div>L-5 DESC: 6" DOWN LIGHT LOCATION: RETAIL RESTROOMS</div></div><div><div>L-6 DESC: WALL SCONCE LOCATION: PUBLIC RESTROOM</div><div>L-7 DESC: PENDANT LIGHTING LOCATION: COMMUNITY ROOM ENTRANCES.</div><div>L-8 DESC: INTEGRAL CEILING LIGHTING LOCATION: LOBBY</div><div>L-9 DESC: WALL SCONCE LOCATION: STAIR</div><div>L-10 DESC: SCONCE LIGHTING LOCATION: MAIL WALL</div></div><div><div>L-11 DESC: PENDANT LOCATION: LOBBY BOOTHS</div><div>L-12 DESC: PENDANT LOCATION: LOBBY LOUNGE</div><div>L-13 DESC: PENDANT LOCATION: PROPERTY MANAGEMENT OFFICE</div><div>L-14 DESC: FLUSH MOUNT CEILING LOCATION: 1ST FLOOR CORRIDOR</div><div>L-15 DESC: FLUSH MOUNT CEILING LOCATION: 24 FLOOR CORRIDOR</div></div></div></div><div><div><div>L-16 DESC: WALL WASH LOCATION: CORRIDOR ACCENT WALLS</div><div>L-17 DESC: PENDANT LOCATION: LOBBY BOOTH</div><div>L-18 DESC: BLACK SURFACE MOUNTED CAN LOCATION: COMMON AREAS</div><div>L-19 DESC: INTERIOR, WALL MOUNTED LIGHT FIXTURE LOCATION: STAIRS</div><div>L-20 DESC: SEMI RECESSED LIGHT LOCATION: UNIT TYPICAL LIGHTING</div></div><div><div>L-21 DESC: WALL SCONCE LOCATION: UNIT BATHROOM</div><div>L-22 DESC: UNDER CAB LIGHT LOCATION: UNIT KITCHEN *TAGGED IN ELEVATIONS</div><div>L-23 DESC: BATH FAN WITH LIGHT LOCATION: UNIT BATHROOM</div><div>L-24 DESC: CEILING MOUNTED FAN LOCATION: UNIT LIVING AREA</div><div>L-25 DESC: SURFACE MOUNTED CLOSET LIGHT LOCATION: UNIT CLOSETS</div></div><div><div>L-26 DESC: PENDANT LOCATION: OVERISLAND @ UNITS</div><div>L-27 DESC: RIMLES RECESSED LIGHT LOCATION: LOBBY DOWN LIGHTING</div></div></div></div><div><div><div>A. ALL CEILING HEIGHTS ARE FROM FINISH FLOOR ELEVATION.</div><div>B. CEILING MOUNTED DEVICES TO BE CENTERED IN CEILING AND ALIGNED WITH OTHER DEVICES.</div><div>C. FIRE SPRINKLER HEADS AND CEILING MOUNTED DEVICES ARE SHOWN FOR ARCHITECTURAL INTENT ONLY IN SELECTED ROOMS. DEVICES NOT SHOWN SHALL NOT BE INTERPRETED AS NOT REQUIRED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SATISFY THE REQUIREMENTS OF THE LOCAL JURISDICTION FOR QUANTITY AND LOCATION OF DEVICES THROUGHOUT THE PROJECT. OBTAIN APPROVAL OF THE LAYOUT FROM THE ARCHITECT PRIOR TO INSTALLATION OF ALL SYSTEMS AND DEVICES.</div><div>D. VERIFY ALL SPRINKLER HEAD LOCATIONS WITH FIRE PROTECTION DRAWINGS.</div><div>E. CENTER LIGHTS IN ROOMS OR SPACES UNLESS DIMENSIONED OTHERWISE.</div><div>F. SEE MECHANICAL DRAWINGS FOR DIFFUSER TYPES. CENTER MECH. DIFFUSERS, GRILLES AND ACCESS PANELS IN GRID, ROOM OR SPACE. ALIGN WITH LIGHT FIXTURES WHERE APPLICABLE.</div><div>G. SEE MECHANICAL AND PLUMBING FOR REQUIRED ACCESS PANEL LOCATIONS. PAINT MATCH ADJACENT CEILING COLOR.</div><div>H. FOR UNIT RCP'S SEE ENLARGED UNIT PLAN SHEETS.</div></div></div></div>													

2 CITY RESP 2 05/04/2020

1 CITY RESP DM1 04/20/2021

GMP SET 03/17/2021

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Drawing:

ENLARGED PLANS,  
RCPs, & INT  
ELEVATIONS

Sheet No:

A6.15