

Development Services
From Concept to Construction



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More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)

APPEAL SUMMARY

Status: Decision Rendered - Held over from ID 24159, item #3 (11/11/20), for additional information

Appeal ID: 24641	Project Address: 1221 SW 12th Ave
Hearing Date: 2/24/21	Appellant Name: Joshua Klyber
Case No.: B-006	Appellant Phone: 5032091458
Appeal Type: Building	Plans Examiner/Inspector: John Cooley
Project Type: commercial	Stories: 2 Occupancy: B, E, S-2 Construction Type: II-B
Building/Business Name: Northwest Academy - Plaza Building	Fire Sprinklers: Yes - Throughout proposed
Appeal Involves: Alteration of an existing structure, Reconsideration of appeal	LUR or Permit Application No.:
Plan Submitted Option: pdf [File 1] [File 2] [File 3]	Proposed use: Education Facility

APPEAL INFORMATION SHEET

Appeal item 1

Code Section 24.85.040 (A) & (B) Change of Occupancy or Use.

Requires A. Occupancy Change to a Higher Relative Hazard Classification. An occupancy change to a higher relative hazard classification will require seismic improvements based upon the factors of changes in the net floor area and the occupant load increases as indicated in Table 24.85-B below. All improvements to either the OSSC or ASCE 41 improvement standard shall be made such that the entire building conforms to the appropriate standard indicated in Table 24.85-B. Multiple occupancy changes to a single building may be made under this section without triggering a seismic upgrade provided the cumulative changes do not exceed 1/3 of the building net floor area or add more than 149 occupants with respect to the legal building occupancy as of October 1, 2004.

B. Occupancy Change to Same or Lower Relative Hazard Classification. An occupancy change to the same or a lower relative hazard classification or a change in use within any occupancy classification will require seismic improvements using either the OSSC or ASCE 41 improvement standard, as identified in Table 24.85-A above, where the change results in an increase in occupant load of more than 149 people as defined by the OSSC. Where seismic improvement is required, the entire building shall be improved to conform to the appropriate improvement standard identified in Table 24.85-A.

Multiple occupancy changes to a single building may be made under this section without triggering a seismic upgrade provided the cumulative changes do not result in the addition of more than 149 occupants with respect to the legal building occupancy as of October 1, 2004.

Code Modification or Alternate Requested Reconsideration:
No Change

Original:

Establish the "legal building occupancy as of October 1, 2004" required by 24.85.040 subsections (A) & (B)

Proposed Design

Reconsideration:

The original appeal was held for more information because the determination of the 2004 occupant load needed to be reviewed by the plan reviewer. After being reviewed by John Cooley, several changes were agreed upon resulting in a 2004 baseline occupant load of 544 occupants. This is a decrease of 8 occupants from the originally proposed 552 occupants. This increase was due to two changes: dividing the circulation areas between the assembly and classroom uses and also changing the occupant load of one classroom from a vocational lab to a standard classroom.

Original:

The Northwest Academy is consolidating its classrooms spread across multiple downtown locations in to one location in the Plaza and the Tower buildings. The Plaza structure is classified as a "URM building" due to a portion of its exterior wall being an unreinforced masonry construction.

The owners of this building plan to voluntarily replace that wall to eliminate the concerns.

Additionally, the owners will be bracing the parapet to the roof of the Plaza building.

The building will be fully sprinklered building.

The occupant load increase will not exceed 149 in either building.

The change of occupancy will not be more than 1/3rd the building floor area.

The attached occupant load is based on research of available documentation and from discussions with those familiar with the uses prior to 2004.

The occupant load calculations follow the 2019 OSSC method.

The occupant load calculations follow "Office Space Occupant Load Calculation Guide OSSC/10/#10", particularly the use of 100 sf/person for office uses for current space and those prior to 2004. Business uses are shown in adjacent column using 1:150 OLF. This is provided for information only, this appeal requests approval to use 1:100 OLF per the draft city guide.

During the preliminary life safety meeting, there was a question raised about the occupant load factor for the library prior to 2004. That room does not exist anymore, but we were able to confirm that it was an independent study area where individual students could study in between classes and also had a few computer terminals to access the internet. The occupant load factor used for that room was 1:50.

The proposed occupant load for the Plaza Building prior to October 1, 2004 is 552 occupants, see attached occupant load summary.

Reason for alternative

Reconsideration:

No Change

Original:

The Plaza and the Tower are distinct structures of two different construction types. Another appeal submitted in parallel address the need for a fire wall between the two structures to meet the allowable area and story limitations. These are complicated buildings due to age and their unique construction. These buildings will be expensive to upgrade them to the current seismic requirements. However, the buildings are being upgraded in other ways to improve their safety. Both buildings will be upgraded with automatic sprinklers where E occupancy is being proposed. This will provide additional protection that these buildings did not have, making them safer.

Fire rated separations is proposed in the basement to separate the buildings and in the first and second floors of both buildings. This will provide additional protection that these buildings did not have, making them safer.

Proposed voluntary seismic upgrades will improve the performance of the Plaza building. Although not a full seismic upgrade, it still improves the performance of this building.

The Northwest Academy is an independent arts-focused non-profit school for middle and high students in downtown Portland. It attracts students come from all over Portland and its suburbs due to its excellent academic reputation. Many of the teachers include former college instructors and professional artists, directors, dancers, musicians, and writers, which is essential to the high standards of this school. The proximity to performing art centers downtown allows these professionals to split their time between teaching and practice. Without this the school will not be able to bring these talented professionals to teach the students who excel in academics and the arts. Currently the school is spread across multiple buildings in downtown Portland, this opportunity to consolidate them in one location brings efficiency of space use and enriches the learning experience for the students.

This and other appeals submitted here is critical to the continued success of this unique educational program. Therefore we urge you to approve it.

APPEAL DECISION

Determination of Plaza Building occupancy as of October 1, 2004: Granted as proposed with occupant load factor of 1:100.

The Administrative Appeal Board finds that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to www.portlandoregon.gov/bds/appealsinfo, call (503) 823-7300 or come in to the Development Services Center.

CENTURY BUILDING SECOND FLOOR TI

1229 SW 12TH AVENUE (1208 SW 13TH AVENUE) R246832



REPRESENTATIONAL IMAGE. IMAGE SHOWN MAY NOT BE AN EXACT REPRESENTATION OF ACTUAL DESIGN AND CONSTRUCTION.

TAG LEGEND

NOT ALL TAGS MAY BE USED

ELEVATION NUMBER		BUILDING EXTERIOR ELEVATION
SHEET NUMBER		
ELEVATION NUMBER		BUILDING INTERIOR ELEVATION
SHEET NUMBER		
SECTION NUMBER		BUILDING SECTION
SHEET NUMBER		
SECTION NUMBER		WALL SECTION
SHEET NUMBER		
DETAIL NUMBER		DETAIL/ENLARGED PLAN REFERENCE
SHEET NUMBER		
DETAIL NUMBER		DETAIL REFERENCE
SHEET NUMBER		
		WINDOW TYPE
FIRST FLOOR		ELEVATION/SECTION DATUM HEIGHT
		DATUM HEIGHT
		WORK POINT
		NORTH ARROW
		BUILDING GRID DESIGNATION
REVISION AREA		ADDENDUM REVISION NUMBER
DOOR NUMBER		DOOR TAG
ROOM NUMBER		ROOM TAG
ROOM AREA		
OCCUPANCY CLASSIFICATION		OCCUPANCY TAG
NET OR GROSS AREA		
MAX FLOOR AREA PER OCCUPANT		
CEILING HEIGHT ABOVE FINISHED FLOOR		CEILING HEIGHT (AFF) TAG
CONFIGURATION		PARTITION TYPE
FRAMING SIZE		
FRAMING TYPE		
ADDITIONAL REQUIREMENTS		
PARTITION HEIGHT		

PROJECT DIRECTORY

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CONTRACTOR

TO BE DETERMINED

DISCLAIMER:

HENNEBERY EDDY ARCHITECTS, INC. MAKES NO REPRESENTATION AS TO THE COMPLETENESS, APPROPRIATENESS, OR COORDINATION OF INFORMATION PROVIDED BY, AND IS NOT LIABLE FOR THE WORK OF CONSULTANTS CONTRACTUALLY ENGAGED BY OTHERS.

DRAWING INDEX

COVER SHEET

ARCHITECTURE

- AG01 CODE ANALYSIS
- AG02 CODE ANALYSIS PLANS
- A001 DEMOLITION PLANS
- A100 SITE PLAN
- A201 FLOOR PLANS
- A601 REFLECTED CEILING PLAN - SECOND FLOOR
- A902 INTERIOR DETAILS- STAIR RAILS AND GUARD RAILS
- A903 INTERIOR DETAILS

PROJECT DESCRIPTION

THIS PROJECT MAKES MINOR INTERIOR IMPROVEMENTS TO HOUSE A PRIVATE 6-12 SCHOOL IN THE SECOND FLOOR OF THE EXISTING CENTURY BUILDING. A TWO-STORY STRUCTURE WITH BELOW GRADE PARKING. THE 11,996 SQUARE FEET OF INTERIOR IMPROVEMENTS WILL CHANGE OFFICE SPACE INTO CLASSROOM AND ADMINISTRATIVE SPACE FOR A THE SCHOOL, RESULTING IN A CHANGE OF OCCUPANCY. THIS ARE IS LESS THAN 1/3 OF THE TOTAL BUILDING AREA AND ALSO RESULTS IN A NET INCREASE IN OCCUPANT LOAD LESS THAN 150 OCCUPANTS, THEREBY NOT REQUIRING A SEISMIC UPGRADE.

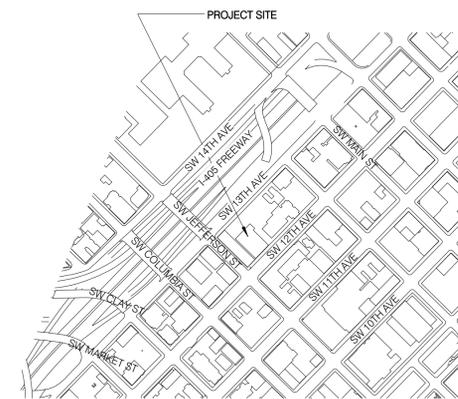
A MAJORITY OF EXISTING WALLS, DOORS AND OTHE EXISTING IMPROVEMENTS WILL REMAIN, WITH SOME REMOVAL OF WALLS COMBINE EXISTING OFFICES INTO NEW CLASSROOM SPACES. THE BUILDING WILL BECOME FULLY FIRE SPRINKLERED AS PART OF THIS PROJECT. A FIRE ALARM SYSTEM WILL ALSO BE INSTALLED. ACCESSIBILITY BARRIER REMOVAL WILL CONSIST OF PARKING SPACE IMPROVEMENTS AND MINOR RESTROOM BARRIER REMOVAL. THE EXISTING HVAC SYSTEMS WILL BE MODIFIED TO SATISFY THE NEW CONFIGURATION OF SPACES AND PROVIDE VENTILATION AIR. THE EXISTING EXIT SYSTEM WILL BE IMPROVED PROVIDING THE REQUIRED 5' WIDTH AT CORRIDORS WHERE MORE THAN 100 GROUP E OCCUPANTS ARE EXTING. EXISTING EGRESS ILLUMINATION WILL BE IMPROVED AS NEEDED.

GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE STATE OF OREGON 2010 STRUCTURAL, SPECIALTY CODE, CITY AND COUNTY ORDINANCES AND APPLICABLE, HEALTH, PLUMBING, MECHANICAL, FIRE AND ELECTRICAL CODES.
2. THE CONTRACTOR SHALL ACKNOWLEDGE AND UNDERSTAND THAT THE CONTRACT DOCUMENTS MAY REPRESENT IMPERFECT DATA AND MAY CONTAIN ERRORS, OMISSIONS, CONFLICTS, INCONSISTENCIES, CODE VIOLATIONS, AND IMPROPER USE OF MATERIALS. SUCH DEFICIENCIES WILL BE CORRECTED WHEN IDENTIFIED. THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE INDIVIDUAL CONTRACT DOCUMENTS AND REPORT AT ONCE IN WRITING TO THE ARCHITECT ANY DEFICIENCIES OR BEAR THE RISK AND EXPENSE OF ANY FAILURE TO DO SO. THE CONTRACTOR SHALL REQUIRE EACH SUBCONTRACTOR TO LIKEWISE STUDY THE DOCUMENTS AND IMMEDIATELY REPORT ANY DEFICIENCIES.
3. IN PERFORMING PROFESSIONAL SERVICES FOR THIS PROJECT, HENNEBERY EDDY ARCHITECTS, INC. ISSUES, EXPRESSES OR IMPUES NO WARRANTIES OR CERTIFICATIONS.
4. INFORMATION RELATING TO THE EXISTING BUILDING IS BASED ON OWNER PROVIDED DOCUMENTS AND FIELD MEASUREMENTS. ACTUAL CONDITIONS MAY VARY AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR.
5. THE CONTRACTOR SHALL PROVIDE SHORING, BRACING, SUPPORT AND PROTECTION AS REQUIRED.
6. THE CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION AND SHALL COORDINATE ALL CONSTRUCTION EFFORTS WITH THE OWNERS REQUIREMENTS.
7. PROVIDE CODE REQUIRED FIRE STOP MATERIAL AT PENETRATIONS OF RATED ASSEMBLIES.
8. SYSTEMS AND CONDITIONS HIDDEN FROM VIEW ARE BASED ON OWNER PROVIDED DOCUMENTS. HAVE NOT BEEN VERIFIED BY THE ARCHITECT, AND ARE PROVIDED FOR REFERENCE PURPOSES ONLY. ALL SYSTEMS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR.
9. WHERE NOTES IN THE DRAWINGS REQUIRE THE REMOVAL OF A BUILDING ELEMENT OR SYSTEM OR A COMPLETE COMPONENT COMPRISED OF MULTIPLE ELEMENTS, THE CONTRACTOR SHALL DISASSEMBLE AND REMOVE FROM THE SITE EACH ITEM IN ITS ENTIRETY SO AS TO ACCOMMODATE THE INSTALLATION OF THE NEW WORK TO FOLLOW.
10. THE CONTRACTOR SHALL PATCH AND REPAIR ELEMENTS WHERE ITEMS WERE REMOVED AND IN AREAS DAMAGED DURING DEMOLITION.
11. THE CONTRACTOR SHALL CLEAN, PLUG, PATCH AND REPAIR ALL MATERIALS AND SURFACES AND PREPARE THEM FOR NEW WORK.
12. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR LOCATING, IDENTIFYING, OR SPECIFYING MEANS OF REMOVAL OF ANY HAZARDOUS MATERIALS. HAZARDOUS MATERIAL TESTING SHALL BE COMPLETED BY OWNER CONTRACTED CONSULTANT.
13. THE CONTRACTOR SHALL PROVIDE FOR DUST CONTROL THROUGHOUT, SHALL PROVIDE TEMPORARY MEASURES TO VENTILATE AREAS DURING ALL PHASES OF DEMOLITION AND CONSTRUCTION, AND SHALL ERADICATE THE BUILD-UP OF FUMES FROM FINISH MATERIALS AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL MAINTAIN SW (B) AIR EXCHANGES PER HOUR UNLESS MORE STRINGENT OSHA, STATE OR LOCAL STANDARDS ARE TO BE ADHERED TO.
14. SOLID WOOD OR APPROVED SHEET METAL BLOCKING SECURED TO WALL FRAMING SHALL BE INSTALLED IN PARTITIONS AT ALL GRAB BARS, PLUMBING FIXTURES, WALL CABINETS, HARDWARE, AND ANY WALL MOUNTED ACCESSORIES REQUIRING SUPPORT.
15. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OWNER AND OWNER PROVIDED CONTRACTORS, IF ANY, AS REQUIRED TO IMPLEMENT THE SCOPE OF WORK.
16. ANY WORK ON THE FIRST FLOOR, INCLUDING BUT NOT LIMITED TO, FIRE SPRINKLER WORK, FIRE ALARM, AND PLUMBING MUST BE COMPLETED DURING NON-BUSINESS HOURS AND SHALL BE COORDINATED WITH THE OWNER FOR ACCESS.

DEFERRED/DESIGN-BUILD SUBMITTAL REQUIREMENTS

1. THE CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING DEFERRED/DESIGN-BUILD SUBMITTALS:
 - 1.1. FIRE SPRINKLER SYSTEM MODIFICATIONS
 - 1.2. FIRE ALARM MODIFICATIONS
 - 1.3. ELECTRICAL
 - 1.4. HVAC
 - 1.5. PLUMBING
2. THE PORTIONS OF THE PROJECT LISTED ABOVE WILL BE CONSTRUCTED USING A DESIGN-BUILD APPROACH. THE DRAWINGS INCLUDED IN THIS PACKAGE ARE PRELIMINARY TO PROVIDE A BASIS FOR PLANNING AND BIDDING.
3. ACTUAL DRAWINGS, DETAILS, AND CALCULATIONS FOR THE PORTIONS OF WORK LISTED AS DEFERRED/DESIGN-BUILD SUBMITTALS ARE TO BE PROVIDED BY THE CONTRACTOR AND SHALL INCLUDE ALL WORK REQUIRED TO IMPLEMENT THE ENTIRE PROJECT SCOPE RELATED TO THESE PORTIONS AND COORDINATION WITH OTHER WORK.
4. DEFERRED/DESIGN-BUILD SUBMITTAL INFORMATION REQUIRES REVIEW OF BOTH ARCHITECT/ENGINEER AND APPROVAL BY THE AUTHORITY HAVING JURISDICTION.
5. PERMIT ACQUISITION FOR THE DEFERRED/DESIGN-BUILD SCOPE OF WORK SHALL BE PROVIDED BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL VERIFY ALL UTILITIES AND EQUIPMENT, AND COORDINATE EQUIPMENT REQUIREMENTS AND LOCATIONS.
7. THE PROCEDURE FOR DEFERRED/DESIGN-BUILD SUBMITTAL IS AS FOLLOWS:
 - 7.1. INITIAL DESIGN REVIEW SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR PRELIMINARY REVIEW.
 - 7.2. FINAL DESIGN, ENGINEERING, AND SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW. SUCH DRAWINGS SHALL BE STAMPED AND SIGNED BY AN ENGINEER WHEN REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
 - 7.3. FOLLOWING THE ARCHITECT'S REVIEW, THE CONTRACTOR SHALL SUBMIT TO THE AUTHORITY HAVING JURISDICTION FOR PERMIT APPROVAL AND ACQUISITION.
 - 7.4. PROCUREMENT, FABRICATION, AND OTHER WORK RELATED TO DEFERRED/DESIGN-BUILD SUBMITTAL SHALL NOT BE PERFORMED UNTIL THE DEFERRED/DESIGN-BUILD SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND APPROVED BY THE ARCHITECT AND THE AUTHORITY HAVING JURISDICTION.



1 VICINITY MAP
1" = 400'-0"

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NORTHWEST ACADEMY

CENTURY BUILDING
SECOND FLOOR TI
1229 SW 12th Ave
Portland, OR

HEA Project no. 13025

Date: 11 DECEMBER 2013

CONSTRUCTION DOCUMENTS

Drawn by: RJK
Checked by: DR
Sheet:

COVER

Project Description

THIS PROJECT MAKES MINOR INTERIOR IMPROVEMENTS TO HOUSE A PRIVATE 6-12 SCHOOL IN THE SECOND FLOOR OF THE EXISTING CENTURY BUILDING, A TWO-STORY STRUCTURE WITH BELOW GRADE PARKING. THE 11,996 SQUARE FEET OF INTERIOR IMPROVEMENTS WILL CHANGE OFFICE SPACE INTO CLASSROOM AND ADMINISTRATIVE SPACE FOR A THE SCHOOL, RESULTING IN A CHANGE OF OCCUPANCY. THIS ARE IS LESS THAN 1/3 OF THE TOTAL BUILDING AREA AND ALSO RESULTS IN A NET INCREASE IN OCCUPANT LOAD LESS THAN 150 OCCUPANTS, THEREBY NOT REQUIRING A SEISMIC UPGRADE.

A MAJORITY OF EXISTING WALLS, DOORS AND OTHE EXISTING IMPROVEMENTS WILL REMAIN, WITH SOME REMOVAL OF WALLS COMBINE EXISTING OFFICES INTO NEW CLASSROOM SPACES. THE BUILDING WILL BECOME FULLY FIRE SPRINKLERED AS PART OF THIS PROJECT. A FIRE ALARM SYSTEM WILL ALSO BE INSTALLED. ACCESSIBILITY BARRIER REMOVAL WILL CONSIST OF PARKING SPACE IMPROVEMENTS AND MINOR RESTROOM BARRIER REMOVAL. THE EXISTING HVAC SYSTEMS WILL BE MODIFIED TO SATISFY THE NEW CONFIGURATION OF SPACES AND PROVIDE VENTILATION AIR. THE EXISTING EXIT SYSTEM WILL BE IMPROVED PROVIDING THE REQUIRED 5' WIDTH AT CORRIDORS WHERE MORE THAN 100 GROUP E OCCUPANTS ARE EXITING. EXISTING EGRESS ILLUMINATION WILL BE IMPROVED AS NEEDED.

Site & Zoning Information

PROJECT ADDRESS: 1229 SW 12TH AVE, PORTLAND, OR /1208 SW 13th AVE, PORTLAND, OR
LEGAL DESCRIPTION: PORTLAND, BLOCK N1/2D, LOT 2&3, LOT 6&7
PROPERTY ID: R246832
SITE AREA: 20,000 SQ.FT. (.46 ACRES)
ZONING OF SITE: RXd (CENTRAL RESIDENTIAL) WITH DESIGN OVERLAY
LAND USE CASE FILE: N/A

PARKING & LOADING:	MIN. REQUIRED	PROVIDED ON-SITE	PROVIDED ON-STREET	TOTAL PROVIDED
OFFICE SPACES:	0	65	N/A	N/A
CLASSROOM SPACES:	0	65	N/A	N/A
TOTAL AUTO SPACES:	0	65	N/A	N/A
ACCESSIBLE SPACES:	3	3	NA	NA
(1) IS VAN ACCESSIBLE				
BICYCLE PARKING:	<u>MIN. REQUIRED</u>	<u>PROVIDED</u>		
	48	48		
	long term	long term		

Governing Codes

BUILDING CODE EDITION: 2010 OREGON STRUCTURAL SPECIALTY CODE

Building Construction Data

CONSTRUCTION TYPE: III-B 48

Building Area

	Existing	Area of Change of Occupancy
Level 1	11,996 sf	0 sf
Level 2	11,996 sf	11,996 sf
Basement	19,000 sf	0 sf
Total	42,992 sf	11,996 sf
		$\frac{11996}{20000} = .27$

CHANGE OF OCCUPANCY AREA IS LESS THAN 1/3 OF BUILDING AREA

ALLOWABLE HEIGHT & BUILDING AREA:	GROUP	BASIC ALLOWABLE AREA (SF)	BASIC ALLOWABLE HEIGHT (STORIES)	BASIC ALLOWABLE HEIGHT (FEET)
	B	19,000	3	55'
	E	14,500	2	55'
	S-2	26,000	3	55'

HEIGHT MODIFICATIONS: None
(SECTION 504)

AREA MODIFICATIONS:

SPRINKLERS: YES, EXISTING SPRINKLERS AT S-2 PARKING GARAGE, 1ST AND 2ND LEVELS WILL BE FULLY SPRINKLERED AS PART OF THIS PROJECT.
 PERIMETER WITH AT LEAST 20' OPEN SPACE: 198'
 TOTAL BUILDING PERIMETER: 462'
 WIDTH OF PUBLIC WAY (30' LIMIT): 30'

MODIFIED ALLOWABLE HEIGHT & BUILDING AREA:

GROUP	MODIFIED ALLOWABLE AREA	MODIFIED ALLOWABLE HEIGHT	MODIFIED ALLOWABLE HEIGHT
E	46,089.70		72.86 FEET

Building Occupancy Data

OCCUPANCY GROUPS:	GROUP	CODE DESCRIPTION
FIRST FLOOR: ADULT EDUCATION	B	BUSINESS
SECOND FLOOR: EDUCATION	E	EDUCATION
BASEMENT: PRIVATE PARKING GARAGE	S-2	PARKING GARAGE

OCCUPANCY SEPARATION:

BUILDING CONTAINS BOTH NON-SEPARATED OCCUPANCIES AND SEPARATED OCCUPANCIES. THE BASEMENT S-2 PRIVATE PARKING GARAGE IS SEPARATED (1 HR HORIZONTAL) FROM THE NON-SEPARATED USES ON THE UPPER TWO FLOORS.

Room Specific Requirements

SEE FIRE / LIFE SAFETY DIAGRAMS.

Plumbing Fixture Count Requirements:

TABLE 29-A FOR: GROUP B OCCUPANCY 1 OCCUPANT PER 200 GROSS SF
 GROUP E OCCUPANCY 1 OCCUPANT PER 50 GROSS SF

FLOOR	WATER CLOSETS:	MALE		FEMALE	
		2 REQ'D / 4 PROVIDED	2 REQ'D / 3 PROVIDED	1	1
Floor 1- B	LAVATORIES:	1	1	0	0
	BATH/TUB OR SHOWER:	0	0	0	0
	DRINKING FOUNTAINS:	0	0	0	0
Floor 2 - E	WATER CLOSETS:	4	3	3	3
	LAVATORIES:	3	3	0	0
	BATH/TUB OR SHOWER:	0	0	0	0
	DRINKING FOUNTAINS:	1			

PLUMBING FIXTURE COUNT:	OCCUPANCY	WATER CLOSETS
	B	MEN 2 REQ'D / 4 PROVIDED WOMEN 2 REQ'D / 3 PROVIDED
	E	MEN 4 REQ'D / 2 PROVIDED WOMEN 3 REQ'D / 2 PROVIDED

TOTAL	WATER CLOSETS
	6 REQ'D / 8 PROVIDED 5 REQ'D / 8 PROVIDED
	LAVATORIES 4 REQ'D / 4 PROVIDED 4 REQ'D / 7 PROVIDED
	DRINKING FOUNTAINS 1 REQ'D / 1 PROVIDED

Fire Resistive Building Elements

FIRE-RESISTANCE RATING REQUIREMENTS	BUILDING ELEMENT	REQUIRED RATING
TABLE 601, FOR TYPE III-B	STRUCTURAL FRAME	0
	BEARING WALLS - EXTERIOR	2
	BEARING WALLS - INTERIOR	0
	NONBEARING WALLS - EXTERIOR	0
	NONBEARING WALLS - INTERIOR	0
	FLOOR CONSTRUCTION	0
	ROOF CONSTRUCTION	0

SEPARATION DISTANCES: SOUTH EXTERIOR WALLS IS LESS THAN 5' FROM ADJACENT STRUCTURE. THEREFORE, 1 HOUR IS REQUIRED. OPENINGS IN THIS WALL ARE EXISTING AND ARE PROTECTED (WIRE GLAZING).
 TABLE 602

EXTERIOR WALL OPENING PROTECTION: SOUTH EXTERIOR WALL IS LESS THAN 5' FROM ADJACENT STRUCTURE. THEREFORE, PROTECTED OPENINGS ARE ALLOWED UP TO 15%. AREA OF PROTECTED OPENINGS IS X%
 TABLE 705.8

VERTICAL SEPARATION OF OPENINGS: THIS SECTION SHALL NOT APPLY TO BUILDINGS THAT ARE THREE STORIES OR LESS ABOVE GRADE PLANE

SHAFT ENCLOSURES: EXCEPTION 11. NOT REQUIRED FOR FLOOR OPENINGS CREATED BY UNECLOSED STAIRS OR RAMPS IN ACCORDANCE WITH EXCEPTION 3 OR 4 IN SECTION 1016.1

ELEVATOR LOBBY: NOT REQUIRED, ELEVATOR DOES NOT CONNECT MORE THAN 3 STORIES.

FIRE PARTITIONS: NOT APPLICABLE

HORIZONTAL ASSEMBLIES: NOT APPLICABLE

FIRE RATING OF STRUCTURAL MEMBERS:	HORIZ. ASSEMBLY BETWEEN FLOORS	REQUIRED RATING
SECTION 714	1 AND 2	0
	2 AND 3	0
	3 AND ROOF	0

STRUCTURAL MEMBERS (BEAMS, COLUMNS, GIRDFERS)	REQUIRED RATING
FLOOR 1	0
FLOOR 2	0
FLOOR 3	0

CONCEALED SPACES: COMPLY WITH SECTION 717

FIRE RATED ASSEMBLIES: EXIT ACCESS CORRIDOR NOT RATED (BUILDING IS FIRE SPRINKLERED). STAIR/LOBBY AND ELEVATOR 2HR RATED (EXISTING)

INTERIOR FINISHES:	LOCATION/USE	CLASS
TABLE 803.5	EXIT ENCLOSURES & EXIT PASSAGEWAYS	B
	CORRIDORS	C
	ROOMS & ENCLOSED SPACES	C

Building Fire Protection & Suppression

AUTOMATIC FIRE SPRINKLERS: EXISTING AUTOMATIC FIRE SPRINKLERS PROVIDED AT PARKING GARAGE (S-2) LEVEL FIRE SPRINKLERS ARE ADDED AT FIRST AND SECOND FLOORS IN THIS PROJECT.

STANDPIPES: NOT REQUIRED
 SEC

FIRE ALARM: A MANUAL FIRE ALAM SYSTEM THAT ACTIVATES THE OCCUPANT NOTIFICATION SYSTEM IN ACCORDANCE WITH SECTION 907.5 SHALL BE INSTALLED IN GROUP E OCCUPANCIES

907.2.3 **GROUP E** EXCEPTION 3. MANUAL FIRE ALARM BOXES SHALL NOT BE REQUIRED IN GROUP E OCCUPANCIES WHERE THE BUILDING IS EQUIPPED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1. THE NOTIFICATIONS APPLIANCE WILL ACTIVATE ON SPRINKLER WATERFLOW AND MANUAL ACTIVATION IS PROVIDED FROM A NORMALLY OCCUPIED LOCATION.

907.2.2 **B** EXCEPTION:MANUAL FIRE ALARM BOXES ARE NOT BE REQUIRED WHERE THE BUILDING IS EQUIPPED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1. THE NOTIFICATIONS APPLIANCE WILL ACTIVATE ON SPRINKLER WATERFLOW AND MANUAL ACTIVATION IS PROVIDED FROM A NORMALLY OCCUPIED LOCATION.

DUCT SMOKE DETECTION: REQUIRED; SMOKE DETECTORS INSTALLED IN DUCTS SHALL BE LISTED FOR THE AIR VELOCITY, TEMPERATURE AND HUMIDITY PRESENT IN THE DUCT. DUCT SMOKE DETECTORS SHALL BE CONNECTED TO THE BUILDING'S FIRE ALARM CONTROL UNIT WHEN A FIRE ALARM SYSTEM IS REQUIRED BY SECTION 907.2, ACTIVATION OF A DUCT SMOKE DETECTOR SHALL INITIATE A VISIBILE AND AUDIBLE SUPERVISORY SIGNAL AT A CONSTANTLY ATTENDED LOCATION AND SHALL PERFORM THE INTENDED FIRE SAFETY FUNCTION IN ACCORDANCE WITH THIS CODE AND THE MECHANICAL CODE.

Exception 1: THE SUPERVISORY SIGNAL AT A CONSTANTLY ATTENDED LOCATION IS NOT REQUIRED WHERE DUCT SMOKE DETECTORS ACTIVATE THE BUILDING'S ALARM NOTIFICATION APPLIANCES.

PORTABLE FIRE EXTINGUISHERS: SHALL BE PROVIDED IN GROUP E OCCUPANCY AS REQUIRED BY THE FIRE CODE.

MINIMUM RATED SINGLE EXTINGUISHER: TYPE 2-A
 MAXIMUM FLOOR ARE PER UNIT OF A: 1,500 SF
 MAXIMUM FLOOR AREA FOR EXTINGUISHER: 11,250 SF
 MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER: 75'
 LOCATION OF EXTINGUISHERS WILL BE DETERMINED DURING WALK-THRU OF BUILDING WITH THE FIRE MARSHALL

Deferred Submittals

SEE COVER SHEET FOR DEFERRED SUBMITTAL REQUIREMENTS.

Building Exiting

OCCUPANT LOAD:	EXISTING LOAD	AREA (SF)	LOAD FACTOR	OCCUPANT LOAD
	BUSINESS AREAS LEVEL 1	11,996	100	120
	BUSINESS AREAS LEVEL 2	11,996	100	120
	PARKING GARAGE - LEVEL B	19,000	200	95
	EXISTING LOAD TOTAL			335

The basis for developing the 2004 baseline occupant load for the basement

PROPOSED LOAD	AREA (SF)	LOAD FACTOR	OCCUPANT LOAD
CLASSROOMS AREAS			
CLASSROOM	387	20 NSF	19
CLASSROOM	390	20 NSF	19
CLASSROOM	484	20 NSF	24
CLASSROOM	421	20 NSF	21
CLASSROOM	460	20 NSF	23
CLASSROOM	392	20 NSF	20
CLASSROOM	392	20 NSF	20
CLASSROOM	387	20 NSF	19

VOCATIONAL TEACHING			
ART STUDIO	1,275	50 NSF	25
ART STUDIO	572	50 NSF	11
SCIENCE	730	50 NSF	15
SCIENCE	675	50 NSF	13

CLASSROOM ACCESSORY STORAGE AREAS			
STORAGE	288	300 GSF	1
STORAGE	105	300 GSF	1
STORAGE	91	300 GSF	1

BUSINESS AREAS			
OFFICE	106	100 GSF	1
OFFICE	105	100 GSF	1
OFFICE	117	100 GSF	1
OFFICE	188	100 GSF	2
OFFICE	206	100 GSF	2
RECEPTION	403	100	4
WORK ROOM	107	100 GSF	1
WORK ROOM	197	100 GSF	2

ASSEMBLY (UNCONCENTRATED)			
BREAK ROOM	254	15 NSF	17
UNOCCUPIED SPACES			
WOMEN'S RESTROOM	225	0	0
ELECTRICAL CLOSET	18	0	0
IT ROOM	39	0	0
MEN'S RESTROOM	112	0	0
CIRCULATION - OTHER	1,701	0	0
SHAFTS/GROSSING	1137	0	0
ELEVATOR/STAIR LANDING	185	0	0

FLOOR 2 PROPOSED TOTAL	11,996		263
FLOOR 1 - NO CHANGES			
			120
PARKING GARAGE - NO CHANGES			
			95
NEW LOAD TOTAL			478

NET GAIN IN OCCUPANT LOAD PROPOSED
NET GAIN IN OCCUPANTS IS LESS THAN 150 143

STAIRWAYS:

MINIMUM WIDTH 44" (GREATER THAN 50 OCCUPANTS)
 STAIR TO ROOF NOT REQUIRED FOR ONLY 2 STORIES
 STAIRWAY FLOOR NUMBER SIGNS NOT REQUIRED FOR ONLY 3 STORIES

EXIT SIGNS:

REQUIRED

EGRESS ILLUMINATION:

EMERGENCY EGRESS LIGHTING TO BE A MINIMUM OF 1 FOOT CANDLE AT FLOOR LEVEL FOR A MINIMUM DURATION OF 90 MINUTES AND TO ILLUMINATE A MINIMUM 36 INCH WIDE PATH (32 INCHES AT DOORS). BACKUP POWER TO BE PROVIDED BY BATTERY BACKUP
 EXISTING LIGHTING HAS BATTERY BACKUP EGRESS LIGHTING IN CORRIDORS

COMMON PATH OF TRAVEL:

MAXIMUM DISTANCE OF COMMON PATH OF TRAVEL (TO POINT OF EXIT OPTIONS MEASURED IN VECTORS): 100' (SPRINKLER INCREASE)

EXIT ACCESS:

NUMBER OF REQUIRED EXITS = 2
 BUILDING OVERALL DIAGONAL = 166 FT
 MINIMUM DISTANCE BETWEEN EXITS REQUIRED = 55 FT
 PROVIDED = 133 FT

FLOOR	OCCUPANTS	EXITS REQUIRED
FLOOR 2	266	2
TRAVEL DISTANCE:		
1018.4	DEAD ENDS	MAX DISTANCE ALLOWED
E	250'	MAX DISTANCE PROVIDED
		175'

CORRIDORS:

FLOOR 2: GROUP E - WITH SPRINKLER SYSTEM, NO RATING REQUIRED
 MINIMUM WIDTH = 44"; 72" IN GROUP E WITH A CORRIDOR HAVING A REQUIRED CAPACITY OF 100 OR MORE

1018.4 DEAD ENDS FLOOR 2: 50' MAX. (GROUP E)

Energy Code Requirements

COMPLIANCE PATH: ENERGY USE OF THE BUILDING IS NOT INCREASED. ALTERATION DOES NOT REPLACE EXISTING LUMINAIRES, NO CHANGES TO MECHANICAL SYSTEMS. NO CHANGES TO EXTERIOR.

Accessibility

BUILDING EXTERIOR ACCESSIBLE ROUTE: SEE FIRE / LIFE SAFETY DIAGRAM.

BUILDING INTERIOR ACCESSIBLE ROUTE: ENTIRE PROPOSED TENANT IMPROVEMENT AND BUILDING ACCESS IS ACCESSIBLE. AISLES ARE 44" MINIMUM; CORRIDOR AT SOUTH EXIT STAIR IS 72"; SERVES MORE THAN 100 OCCUPANTS



Hennebery Eddy Architects Inc.
 921 SW WASHINGTON STREET SUITE 210
 PORTLAND OREGON 97205
 503 227 4860 TEL
 503 227 4920 FAX
 www.henneberyyeddy.com

NORTHWEST ACADEMY

CENTURY BUILDING SECOND FLOOR TI
 1229 SW 12th Ave
 Portland, OR

HEA Project no. 13025

Date: 11 DECEMBER 2013

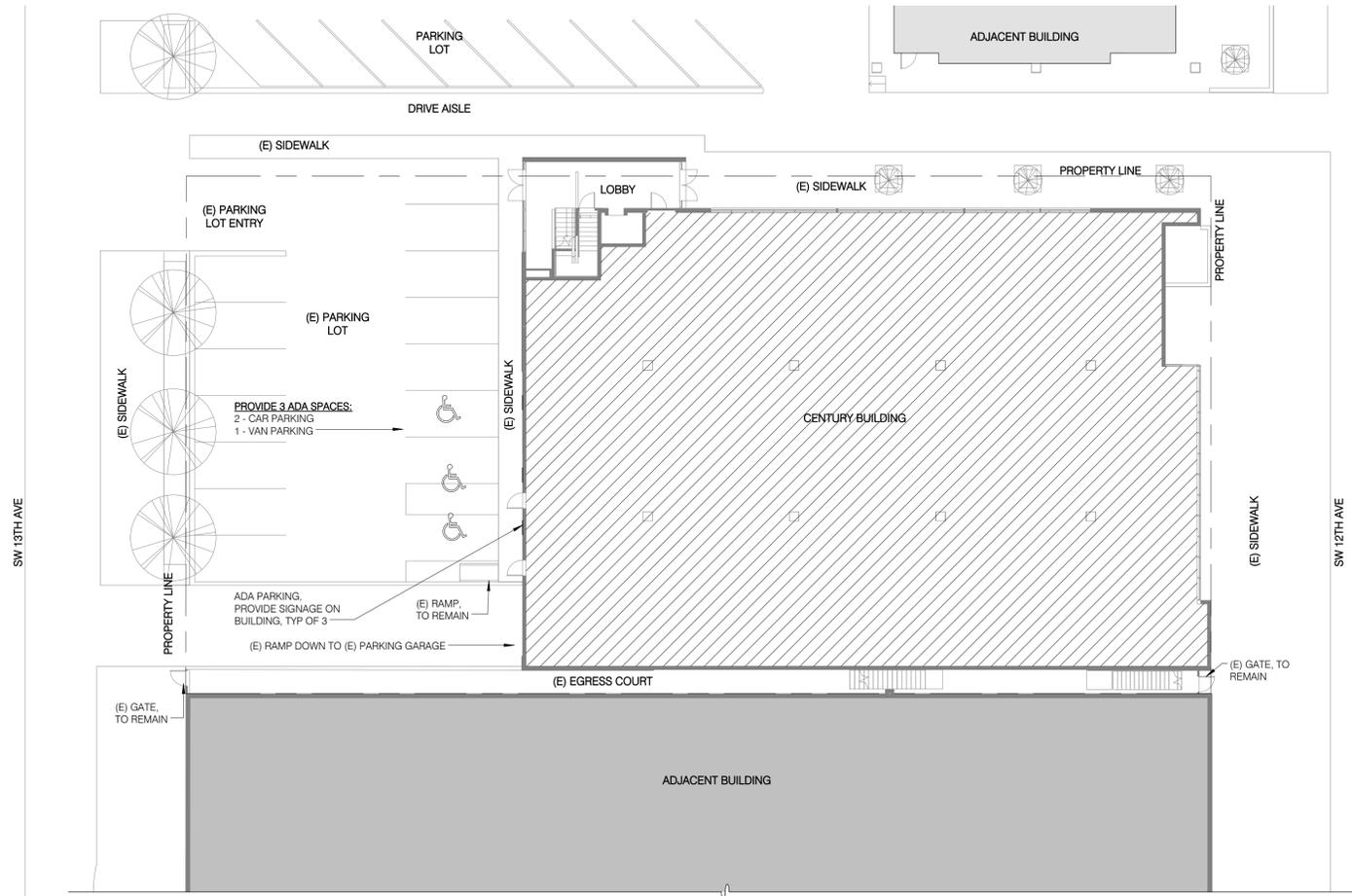
CONSTRUCTION DOCUMENTS

Revisions:

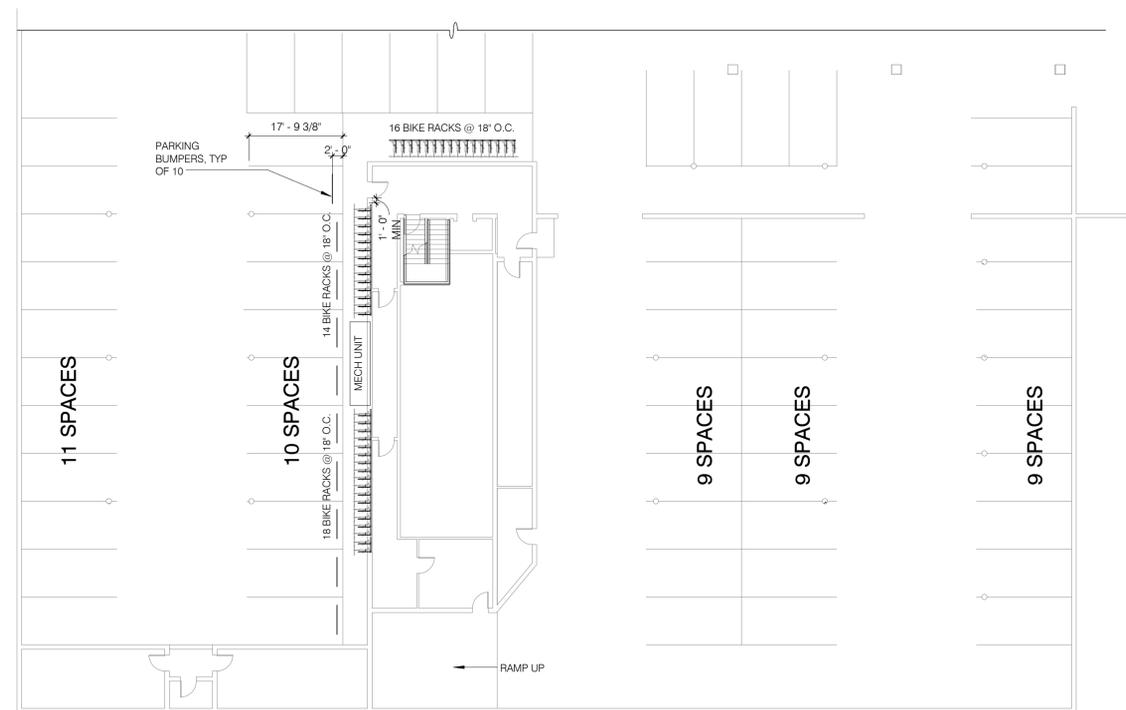
Drawn by: RJK
 Checked by: DR
 Sheet:

CODE ANALYSIS

AG01
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1 SITE PLAN
A100
1/16" = 1'-0"



2 PARKING GARAGE PLAN
A100
1/16" = 1'-0"



Hennebery Eddy Architects

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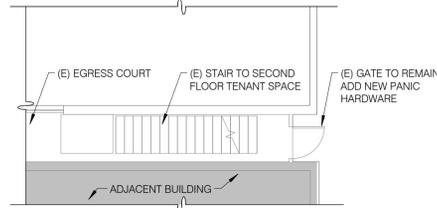
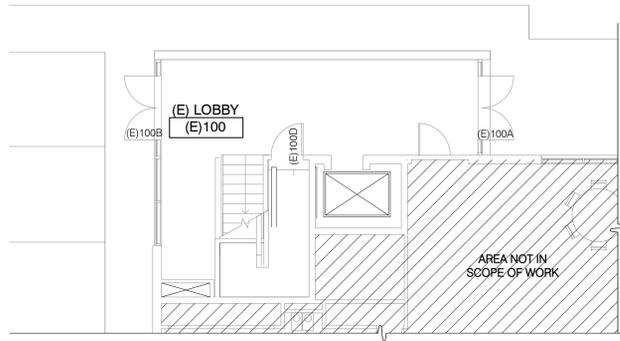
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Checked by: DR
Sheet:

SITE PLAN

CONSTRUCTION DOCUMENTS

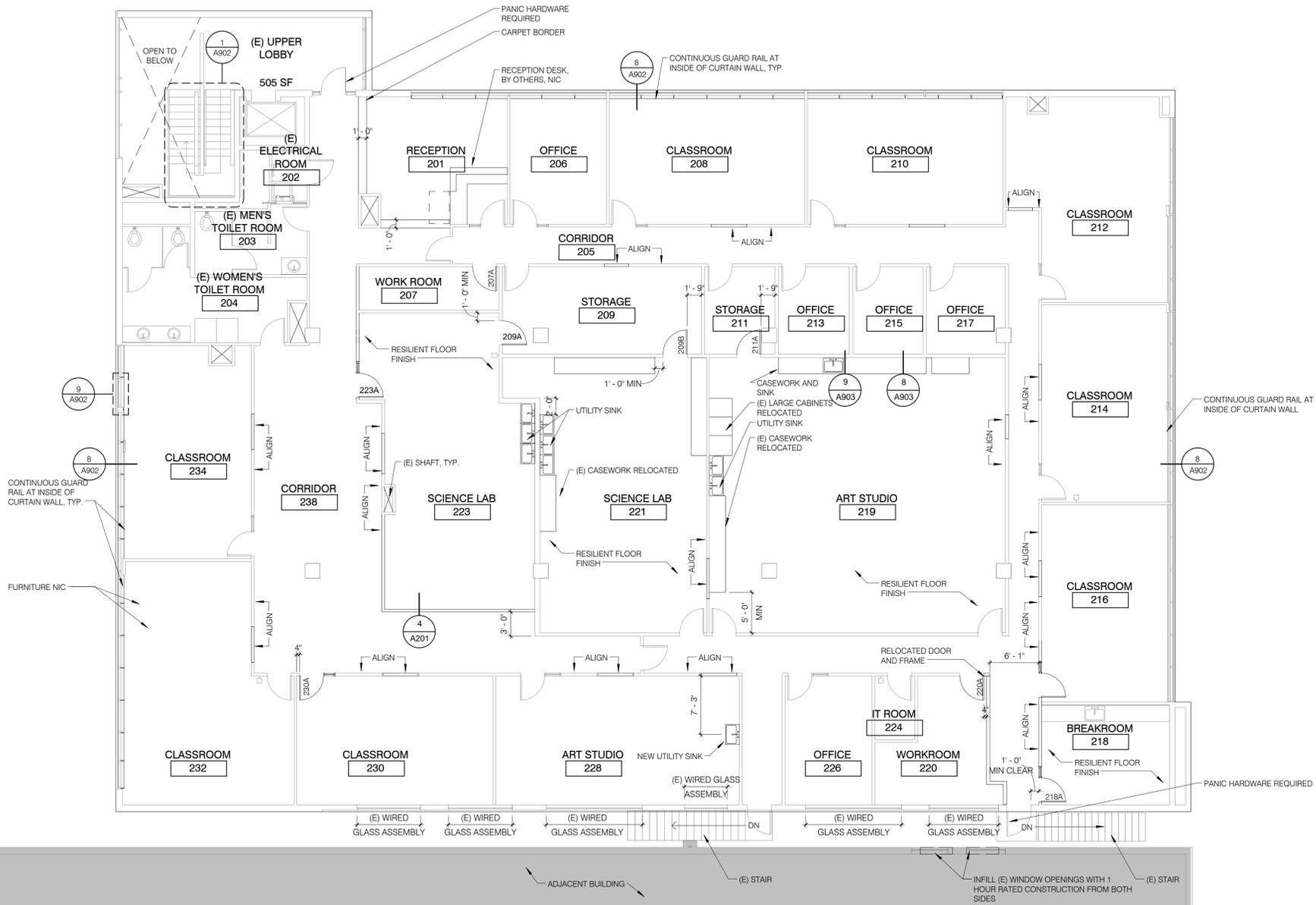
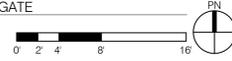
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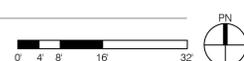
1 FLOOR PLAN - FIRST FLOOR - PARTIAL
1/8" = 1'-0"

3 FLOOR PLAN - FIRST FLOOR - EAST GATE
1/8" = 1'-0"



2 FLOOR PLAN - SECOND FLOOR
1/8" = 1'-0"

4 DOOR & FRAME TYPES AND NOTES
1/4" = 1'-0"



FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS NOTED OTHERWISE.
- PERIMETER DIMENSIONS FROM EXTERIOR WALLS ARE TO FACE OF EXISTING CONCRETE WALL, UNLESS OTHERWISE NOTED.
- ALL NEW WALLS TO BE PARTITION TYPE S4.2N-> UNLESS NOTED OTHERWISE.
- PROVIDE BLOCKING IN WALLS FOR ALL CASEWORK, GRAB BARS AND OFCI SHELVING PER DETAIL 1/A90X, TYPICAL.
- RELOCATED CASEWORK/SINKS - CONTRACTOR TO REMOVE FROM OWNER PROVIDED LOCATION AND INSTALLED IN THIS LOCATION.
- ALL ROOMS TO HAVE CPT FLOOR FINISH, RUBBER WALL BASE, (E) ACT CEILINGS & PAINTED GYP BD WALLS UNO.

LEGEND

- EXISTING WALL
- NEW WALL

INTERIOR PARTITION TYPE MATRIX

FRAMING	FRAMING SIZE	CONFIGURATION		ADDITIONAL REQUIREMENTS	PARTITION HEIGHT
		1	2		
S	4 = 3 5/8"			N - NONE	

GENERAL MATRIX NOTES:

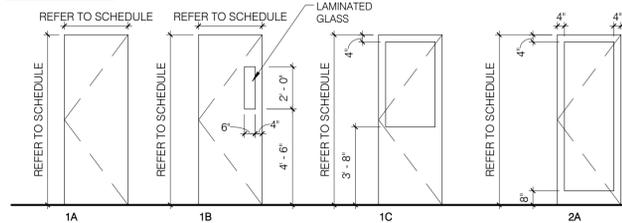
- THE FRAMING COLUMN CONTROLS THE ROW FOR FRAMING SIZE AND CONFIGURATION COLUMNS.
- METAL STUDS - 33 MILS UNO, OR AS REQUIRED BY THE FIRE RATING, WHICHEVER IS STRICTEST.
- STUD SPACING @ 16" O.C. UNO, OR AS REQUIRED BY FIRE RATING, WHICHEVER IS STRICTEST.
- 5/8" GYPSUM BOARD UNO.
- TYPE X GYPSUM BOARD ON RATED PARTITIONS.
- ACOUSTIC SEAL AT PERIMETER AND PENETRATIONS OF SOUND-RATED PARTITIONS. ACHIEVE STC RATING WHERE INDICATED.
- ACHIEVE STC RATING WHERE INDICATED. MAINTAIN FIRE RATING BEHIND FIRE.
- EXTINGUISHER CABINETS, ELECTRICAL CABINETS, AND OTHER RECESSES. MAINTAIN FIRE RATING AROUND STRUCTURAL ELEMENTS.
- THE PROJECT MAY NOT UTILIZE ALL ITEMS ON THE MATRIX.

CONFIGURATION SPECIFIC NOTES:

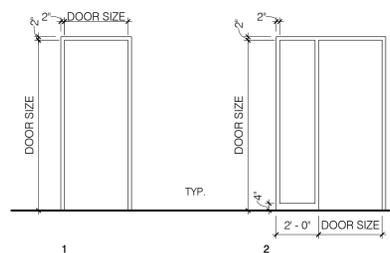
- OSSC ITEM #14-1.3 WHEN STUDS ARE 2X4 MINIMUM
- OSSC ITEM #14-1.5 WHEN STUDS ARE 2X4 MINIMUM
- UL #F1420 WHEN STUDS ARE 1-5/8"

NO.	TYPE	DOOR			FRAME			ASSEMBLY RATING	
		WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	TYPE		
207A	1A	3'-0"	7'-0"	0'-1 3/4"	WD	P	1	HMK	PF
208A	1A	3'-0"	7'-0"	0'-1 3/4"	WD	P	1	HMK	PF
209B	1A	3'-0"	7'-0"	0'-1 3/4"	WD	P	1	HMK	PF
211A	1A	3'-0"	7'-0"	0'-1 3/4"	WD	P	1	HMK	PF
218A	2A	3'-0"	7'-0"	0'-1 3/4"	WD/GLAZING	P	2	WD	PF
220A	1A	3'-0"	7'-0"	0'-1 3/4"	WD	P	1	HMK	PF
223A	2A	3'-0"	7'-0"	0'-1 3/4"	WD/GLAZING	P	2	WD	PF
230A	2A	3'-0"	7'-0"	0'-1 3/4"	WD/GLAZING	P	2	WD	PF

DOOR TYPES



FRAME TYPES



ABBREVIATIONS: DOOR SCHEDULE

- CLR CLEAR FINISH
- FIN FINISH
- HDW HARDWARE
- HM HOLLOW METAL
- HMK HOLLOW METAL KNOCK DOWN
- LVR LOUVER
- MATL MATERIAL
- P PAINT
- PF PRE-FINISHED
- SC SOLID CORE WOOD
- TG TEMPERED GLAZING
- TRANS TRANSLUCENT GLAZING
- WD WOOD

GENERAL DOOR SCHEDULE NOTES

- PROVIDE ADA COMPLIANT LEVER HARDWARE AT ALL HINGED DOORS, TYP.
- ALL DOOR TYPES AND FRAME TYPES MIGHT NOT BE USED.
- REFER TO SHEET A902 FOR FRAMING DETAILS.
- PAINT ALL EXISTING DOORS AND FRAMES.
- SALVAGE AND REUSE (E) DOORS.



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NORTHWEST ACADEMY

CENTURY BUILDING
SECOND FLOOR TI
1229 SW 12th Ave
Portland, OR

HEA Project no. 13025

Date: 11 DECEMBER 2013

CONSTRUCTION DOCUMENTS

Revisions:

Drawn by: RK
Checked by: DR
Sheet: FLOOR PLANS

CONSTRUCTION DOCUMENTS

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1208 SW 13TH AV

BLD98-03440



BUREAU OF BUILDINGS
 PERMIT APPLICATION CENTER
 PO BOX 8120
 PORTLAND, OREGON 97207-8120



MULTNOMAH
 COUNTY

CITY OF PORTLAND

BUILDING PERMIT NUMBER: **85598-03440**

DATE RECEIVED: 09/21/98

JOB ADDRESS: **1208 SW 13TH AV**

DESCRIPTION: TI FOR CULINARY INSTITUTE, INCL. OFFICES, CLASSROOMS & FOOD LABS, NO CHANGE OF OCCUPANCY.

7

FEE DESCRIPTION	AMOUNT FEE	AMOUNT DUE	UPDATED
PERMIT FEE (0101)	\$774.80	\$774.80	10/16/98
PLAN CHECK/PROCESS FEE (0111)	\$503.62	\$503.62	10/16/98
STATE SURCHARGE (0141)	\$38.74	\$38.74	10/16/98
MICROFILM (0131)	\$4.40	\$4.40	10/16/98
FIRE CODE ENFORCEMENT (0701)	\$123.96	\$123.96	10/16/98
FIRE LIFE SAFETY PLAN REV*0110	\$309.92	\$309.92	10/16/98
ZONING INSPECTION FEE* (0120)	\$116.22	\$116.22	10/16/98
PLANNING PLAN CHECK (0246)	\$170.00	\$170.00	10/16/98
TOTAL FEES:	\$2,041.66	\$2,041.66	Amount Due

PROPERTY OWNER: NIEMEYER JOHN
 CONTRACTOR : C G CONSTRUCTION

APPLICANT/ AUTHORIZED AGENT: *[Signature]*

FOR INSPECTION CALL: (503) 823-7000
 TDD# (503) 823-6868

PERMITS ARE NON-TRANSFERABLE AND EXPIRE IF WORK IS NOT COMMENCED WITHIN 180 DAYS OF ISSUANCE OR IF WORK IS SUSPENDED FOR MORE THAN 180 DAYS.

THIS PERMIT IS NOT VALID UNLESS STAMPED WITH RECEIPT NUMBER

S.D.

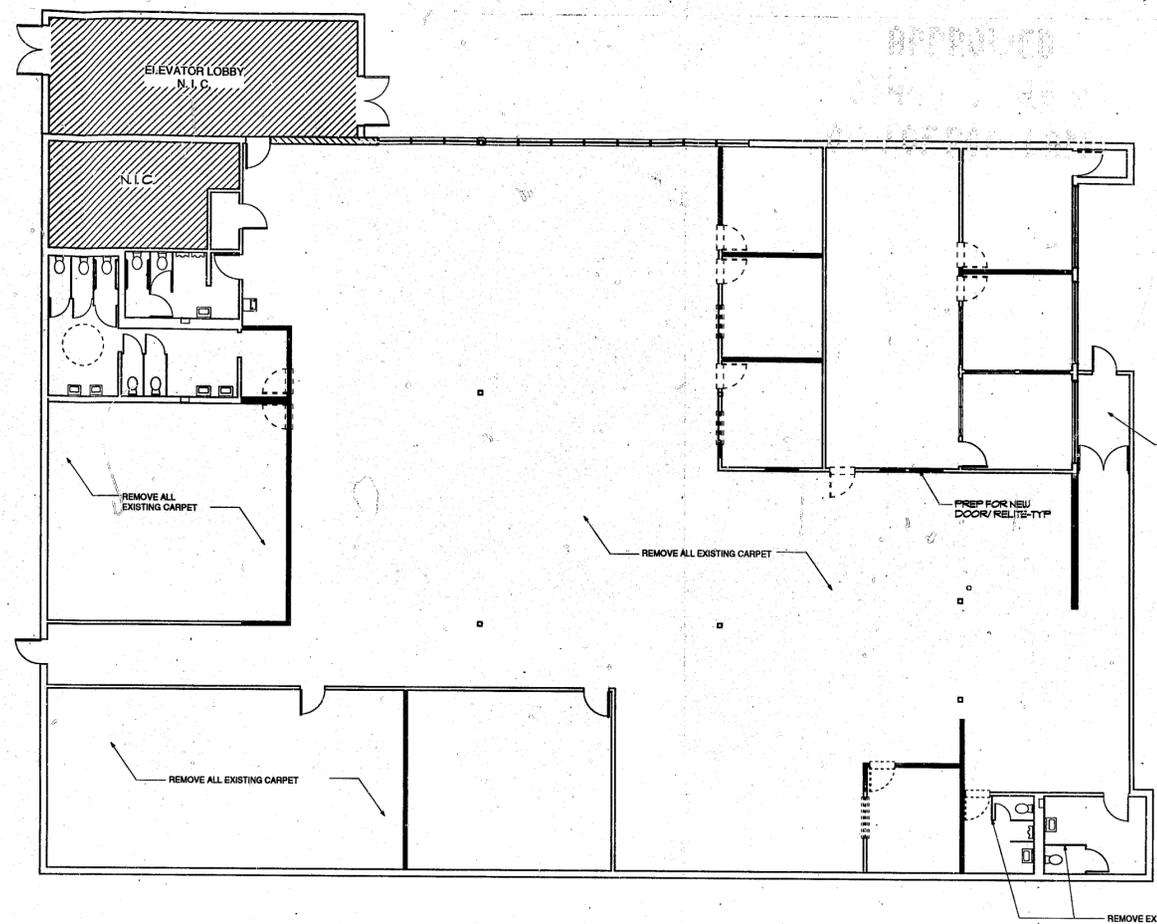
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- 1) CONTRACTOR TO COORDINATE THE REMOVAL AND DISPOSAL OF ALL EXISTING BUILDING MATERIALS SCHEDULED TO BE REMOVED WITH THE OWNER.
- 2) LIGHT FIXTURES: IT IS THE INTENT TO PRESERVE AS MANY OF THE EXISTING FLUORESCENT CEILING FIXTURES AS POSSIBLE. REMOVE ONLY THOSE FIXTURES THAT WOULD OCCUR IN THE HOUR CORRIDOR AREAS. STORE ALL FIXTURES FOR POSSIBLE RE-INSTALLATION.
- 3) ALL EXISTING FLOOR FINISHES TO BE REMOVED, INCLUDING CARPET, PAD, V. C. T., SHEET VINYL AND RUBBER BASE TO BE REPLACED WITH NEW AS INDICATED ON THE FINISH SCHEDULE AND FLOOR PLAN. (U. N. O.)
- 4) EXISTING DOORS, FRAMES, DOOR HARDWARE AND RELITES TO BE SAVED AND RE-USED WHERE POSSIBLE.
- 5) CONTRACTOR TO FILL AND PATCH EXISTING CONCRETE SLAB AS REQUIRED TO PROVIDE SMOOTH UNIFORM SURFACE PRIOR TO NEW FLOOR COVERING INSTALLATION.
- 6) CAP ALL EXISTING UTILITIES BACK TO WALLS AND UNDER FLOORS IN A MANNER THAT ALLOWS FOR FUTURE RE-USE.

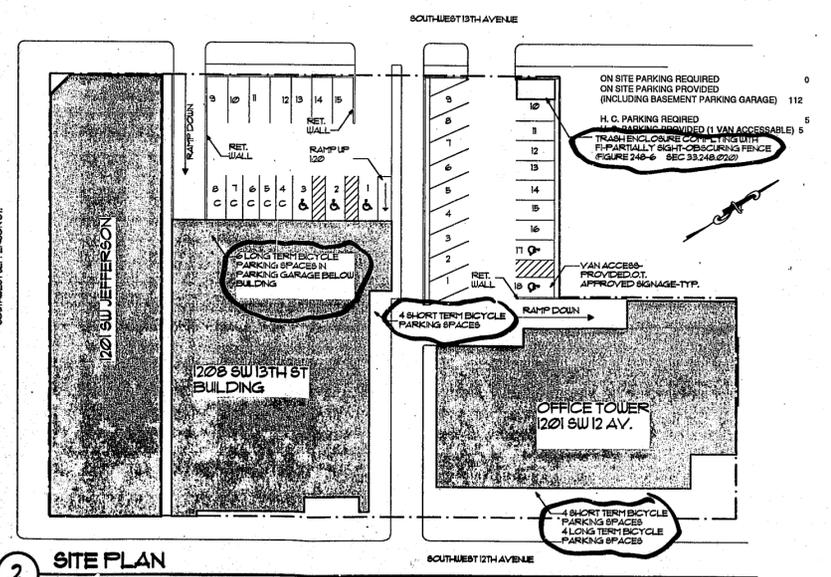


HARRISON ROYCE ARCHITECTURE
 805 NORTHEAST TILLAMOOK STREET
 PORTLAND, OREGON 97212
 503-291-9622
 hroyce@hroycearch.com

WESTERN CULINARY INSTITUTE
 TENANT IMPROVEMENT
 1221 SW 12TH AVENUE, PORTLAND, OREGON

City of Portland
 Bureau of Planning
 by *DRW* Date *2/21/12*
 Approved For Building Permit
 Purpose

1 DEMOLITION PLAN
 SCALE 1/8" = 1'-0"



2 SITE PLAN
 SCALE 1/32"

PROJECT INFORMATION:

BUILDING OWNER:	MANLANDER INVESTMENTS 310 S. W. FOURTH AVE., SUITE 520 PORTLAND, OR 97204 CONTACT: SANDY EASTHAM 503-232-4000
TENANT:	WESTERN CULINARY INSTITUTE 1316 S. W. THIRTEENTH AVE. PORTLAND, OR 97201 CONTACT: ERIC STROMQUIST 503-223-2245
CONTRACTOR:	C. G. CONSTRUCTION 1811 N. W. UPSHUR PORTLAND, OR 97209 CONTACT: DAVE CARL 503-226-1078
ARCHITECT:	HARRISON ROYCE ARCHITECTURE 805 NE TILLAMOOK STREET PORTLAND, OR 97212 CONTACT: TRIPP ROYCE 503-281-8402

TABLE OF CONTENTS:

SHEET#	SHEET TITLE
A1	COVER SHEET AND DEMO PLAN
A2	FLOOR PLAN
A3	REFLECTED CEILING PLAN

PROJECT DATA:

SITE AREA:	EXISTING
BUILDING ADDRESS:	1208 SW 13th Street
IMPROVEMENT AREA:	11,500 SQ. FT.
CONSTRUCTION TYPE:	II NR
OCCUPANCY:	B

COVER SHEET & DEMOLITION PLAN

NO.	0809
DATE	06-20-08
REVISIONS:	
BUILDING DEP. SUBMITTAL	
PLANNING REQUIREMENTS	8.22.04

7
A1

HARRISON ROYCE ARCHITECTURE 1988
DO NOT REPRODUCE WITHOUT PERMISSION

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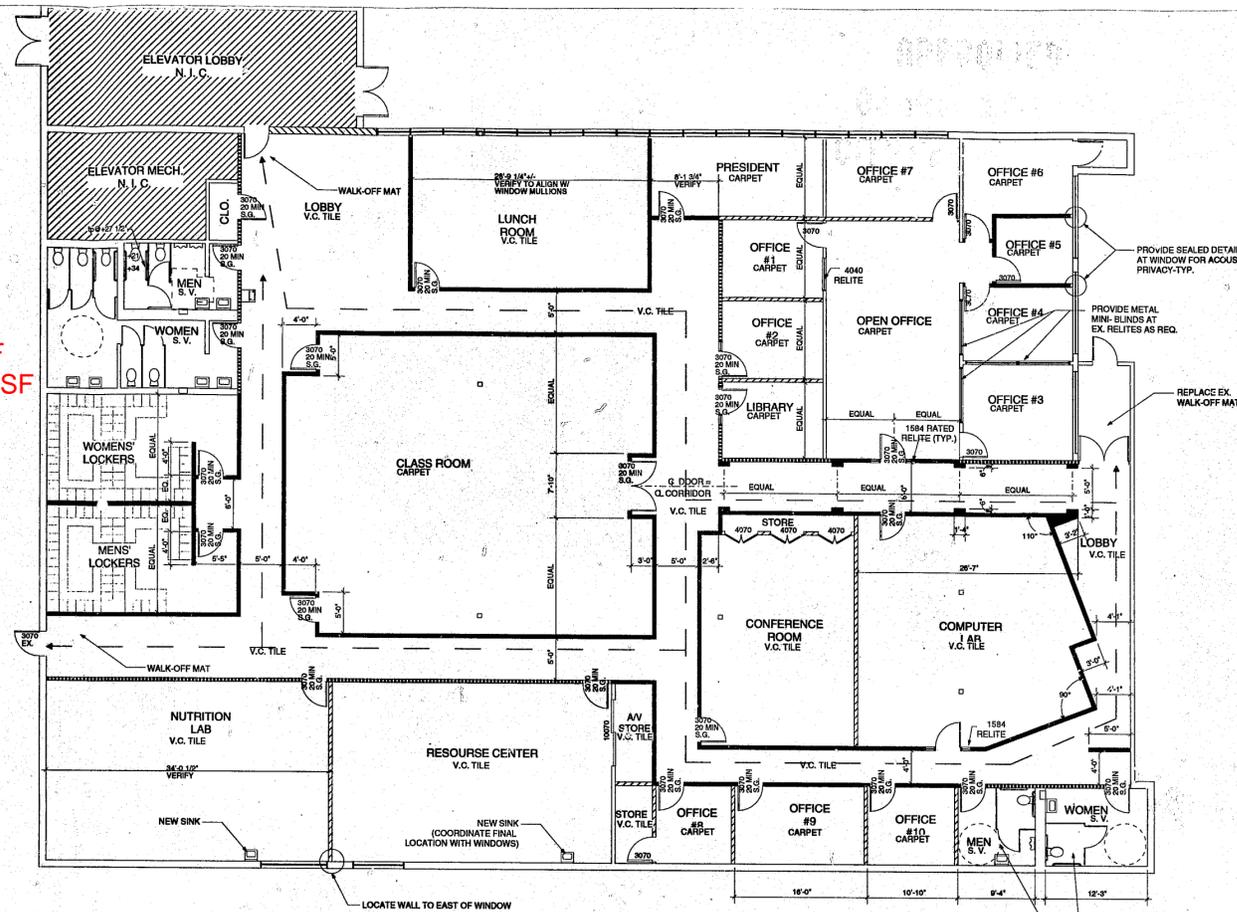
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Calculation of occupant load of circulation space

Total net area = 4458 SF
 Total gross area = 4568 SF
 Net area = 49% of total area
 Gross area = 51% of total area

Circulation Space = 2970 SF
 Net Circulation Space = 1455 SF
 Gross Circulation Space = 1515 SF



- GENERAL NOTES:**
- CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. CONFLICTS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE CONSTRUCTION. ANY CORRECTION WORK REQUIRED AS THE RESULT OF NOT REPORTING SUCH DISCREPANCIES SHALL BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER.
 - CONTRACTOR AND SUBCONTRACTORS SHALL CAREFULLY EXAMINE THE SITE AND THE CONSTRUCTION CONDITIONS OF THE WORK. ERRORS AND OMISSIONS IN THE PLANS SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE BEGINNING OF ANY FIELD AND SO THAT ADDENDA MAY BE ISSUED. FAILURE TO DO SO ON THE PART OF THE CONTRACTOR DOES NOT RELIEVE HIM OF THE RESPONSIBILITY TO PROVIDE A CORRECT AND FINISHED PRODUCT.
 - CONSTRUCTION TO INCLUDE BUT NOT BE LIMITED TO WORK SHOWN. SUB-CONTRACTORS TO REVIEW DRAWINGS AND MAKE MODIFICATIONS AS REQUIRED BY TRADES INVOLVED.
 - ALL REQUIREMENTS TO CONFORM TO OREGON STATE BUILDING AND FIRE LIFE SAFETY CODES, U.S.C. 1994 EDITION W/ 1996 AMENDMENTS.
 - DIMENSIONS ARE TO FACE OF FINISH AND CENTER LINE OF COLUMNS.
 - DOOR OPENINGS IN ONE-HOUR RATED CORRIDORS SHALL BE PROTECTED BY A TIGHT FITTING SMOKE AND DRAFT CONTROL ASSEMBLY HAVING A FIRE PROTECTION RATING OF NOT LESS THAN RENTY MINUTE. THE LABEL ASSEMBLY SHALL BE SELL CLASSIFIED OR AUTOMATICALLY CLASSIFIED BY ACTIVATION OF A SMOKE DETECTOR AND SHALL BE PROVIDED WITH A GASKET SO INSTALLED AS TO PROVIDE A SEAL AT THE STOP ON BOTH SIDES AND THE TOP.
 - ALL RELITES IN ONE-HOUR CORRIDORS SHALL BE LABELED 30-MINUTE OR MORE.
 - GENERAL CONTRACTOR TO COORDINATE ARCHITECTURAL DRAWINGS WITH MECHANICAL AND ELECTRICAL DRAWINGS.
 - SUBMIT ALL ELECTRICAL AND MECHANICAL DRAWINGS TO THE ARCHITECT FOR APPROVAL OF COMPLIANCE WITH DESIGN INTENT.
 - PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY CODE.
 - DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. ALL DOORS MUST COMPLY WITH CURRENT ACCESSIBILITY STANDARDS.
 - FIRE DAMPERS SHALL BE INSTALLED AND ACCESSIBLE FOR SERVICING AT ALL DUCTS PENETRATING FIRE RATED WALL AND CEILING ASSEMBLIES.
 - TOP OF RELITES TO MATCH TOP OF DOORS.
 - ALL GYPSUM BOARD TO BE A MINIMUM OF 5/8" THICK AND SHALL BE SCREWED TO 3/16" MINIMUM METAL STUDS AT 24" O.C. (N.O.).
 - PROVIDE ACOUSTIC INSULATION IN ALL NEW WALLS WITH ADDITIONAL ACOUSTIC BATTS 4 FEET EACH SIDE OF WALLS ABOVE CEILING TILES.
 - CONTRACTOR TO ADJUST THE RESISTIVE FORCE OF ALL NEW AND EXISTING INTERIOR DOOR CLOSERS TO A MAXIMUM PRESSURE OF 6 LB. TO COMPLY WITH ADA REQUIREMENTS.

WALL KEY:

- EXISTING UNRATED WALL ASS.
- NEW UNRATED WALL ASS.
- EXISTING WALL-UPGRADE TO 1-HOUR ASS.
- NEW 1-HOUR WALL ASS.

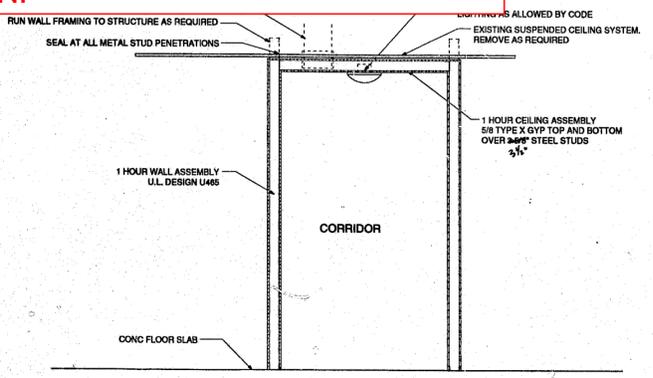
3/16" metal studs w/ 5/8" gyp. above 2 sides

EXITING KEY:

- ← EXIT PATH
- FOR EXIT LIGHTING-SEE REFLECTED CEILING PLAN

1 FLOOR PLAN
 SCALE 1/8" = 1'-0"

2004 BASELINE OCCUPANT LOAD ANALYSIS WAS RECALCULATED BASED ON THIS INFORMATION, USING ACCURATE OLF AND OCCUPANT ANALYSIS METHOD TO INCLUDE CORRIDORS AS PART OF THE GROSS CALCULATION.



2 1 HOUR CORRIDOR TUNNEL
 SCALE 1/2" = 1'-0"

OCCUPANCY CALCULATIONS:

ROOM NAME	SIZE	U. B. C. REGU.	TOTAL OCCUPANCY
Lunch Room	511	15	34
Resource Center	728	100	7
Conference Room	470	15	31
Classroom	1540	20	77
Lockers	570	50	11
Student Lobby	375	15	25
President	195	100	2
Nutrition Lab	728	100	7
Intern Coord.	150	100	2
Career Services	195	100	2
Career Services	156	100	2
Comptroller	154	100	2
Computer Lab	720	100	7
Work Area	475	100	5
Office #1	114	100	1
Office #2	114	100	1
LIBRARY	114	100	1
Office #3	154	100	1
Office #4	120	100	1
Office #5	75	100	1
Office #6	120	100	1
Office #7	150	100	2
Office #8	85	100	1
Office #9	150	100	2
Office #10	88	100	1
STORAGE	164	300	1
toilets	600	100	6
TOTALS	9028		233

HARRISON ROYCE
 REGISTERED ARCHITECT
 STATE OF OREGON

ARCHITECTURE
 805 NORTHEAST TILAMOOK STREET
 PORTLAND, OREGON 97212
 503-281-8402
 hroyce@comcast.net

WESTERN CULINARY INSTITUTE
 TENANT IMPROVEMENT
 1221 SW 12TH AVENUE, PORTLAND, OREGON

FLOOR PLAN

NO. 9809
 DATE 08-20-08
 REVISIONS:
 BUILDING DEP. SUBMITTAL
 9-16-08

A2

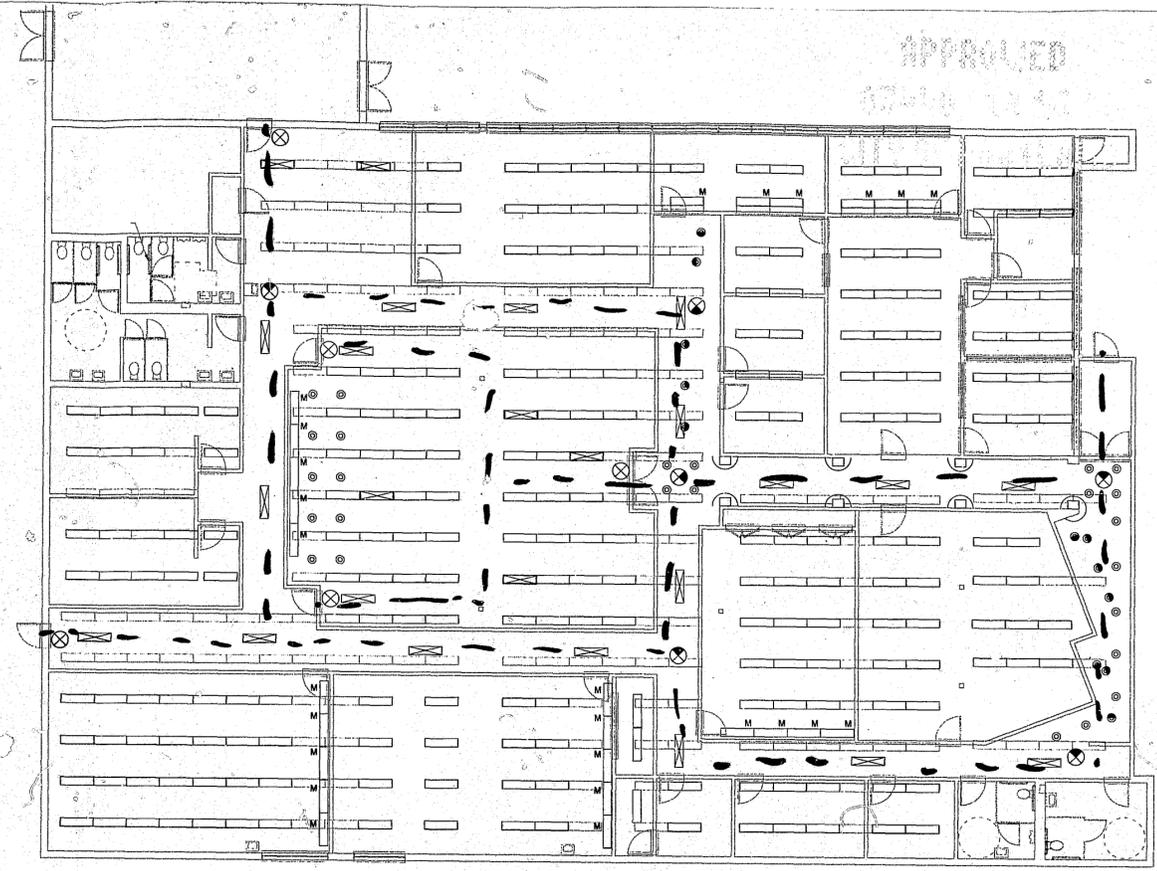
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APPROVED



1 REFLECTED CEILING PLAN
SCALE 1/8" = 1'-0"

- LIGHT FIXTURES REMOVED FOR REUSE AS NEEDED
- LIGHT FIXTURES TO REMAIN
- WALL WASHER
- RECESSED CAN
- EXIT LIGHT-CEILING MOUNT
- EXIT LIGHT-DIRECTIONAL
- EXIT LIGHT-WALL MOUNT
- RECYCLED FIXTURE
- PROVIDE EGRESS LIGHTING TO PROVIDE 1 LUMEN PER SQ. FT. W/ BATTERY BACKUP, IN ALL CORRIDORES AND IN CLASSROOM

--- Egress Pathway

HARRISON ROYCE



ARCHITECTURE
805 NORTHEAST TELAMOOK STREET
PORTLAND, OREGON 97212
503.281.9452
hroyce@earthlink.net

WESTERN CULINARY INSTITUTE
TENENT IMPROVEMENT
1221 SW 12TH AVENUE, PORTLAND, OREGON

REFLECTED CEILING PLAN

NO. 0809
DATE 06-20-08
REVISIONS:
BUILDING DEP. SUBMITTAL

A3

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DO NOT REPRODUCE WITHOUT PERMISSION

S.D.

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1208 SW 13TH AV

MEC97-00421



CITY OF
PORTLAND, OREGON
BUREAU OF BUILDINGS

1120 S.W. 5th Avenue
Portland, Oregon 97204-1992
Mailing Address: P.O. Box 8120
Portland, Oregon 97207-8120
(503) 823-7300
FAC: (503) 823-6983
TDD: (503) 823-6868

MECHANICAL PERMIT NUMBER: MEC97-00421 07-MAR-97
JOB ADDRESS: 1208 SW 13TH AV JOB: add ducting to existing gas paks

CUSTOMER: CENTURY PLAZA

OREGON AIRE
PORTLAND OR

PERMITTED WORK:

FEE	FEE	DUE
PERMIT FEE*... (0102)	\$ 186.00	\$ 186.00 07-MAR-97
MECHANICAL PLAN REVIEW (0112)	\$ 111.60	\$ 111.60 07-MAR-97
STATE SURCHARGE MECH (0142)	\$ 9.30	\$ 9.30 07-MAR-97
TOTAL FEES DUE:	\$306.90	

PROPERTY OWNER: NIEMEYER, JOHN

The installation is being made on property I own which is not being constructed for sale, lease, or rent.

Signature _____

26

CD

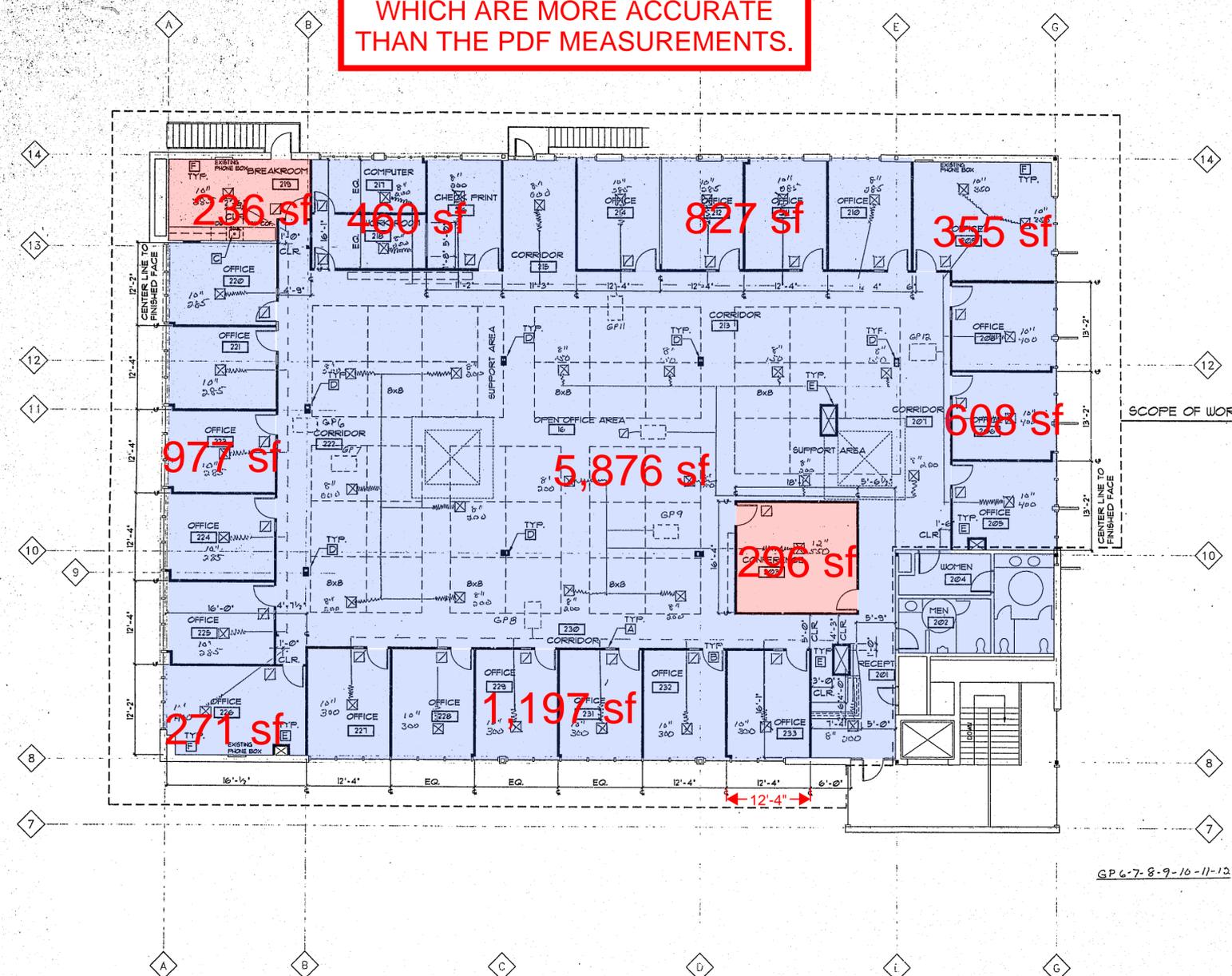
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NOTE: AREAS MAY NEED TO BE VERIFIED WITH HENNEBERRY EDDY WITH THEIR DWG FILES, WHICH ARE MORE ACCURATE THAN THE PDF MEASUREMENTS.



GENERAL NOTES

- ALL WORK TO BE PERFORMED IN ACCORDANCE WITH BUILDING STANDARDS.
- MAINLANDER TO PROVIDE DESIGN BUILD SERVICES FOR ALL MODIFICATIONS TO BUILDING MECHANICAL, PLUMBING, ELECTRICAL AND FIRE PROTECTION SYSTEMS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PREPARE AND SUBMIT DESIGN-BUILD DOCUMENTS FOR APPROVAL SHOWING EXISTING AND NEW LOCATIONS OF LIGHTING, HVAC, FIRE SPRINKLERS, SMOKE DETECTORS, EXIT SIGNS AND EMERGENCY LIGHTING AND FIRE EXTINGUISHERS. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITION OF BUILDING CODES AND STANDARDS.
- CONTRACTOR TO COORDINATE WITH BUILDING MANAGEMENT AND TENANT ANY INTERRUPTIONS TO ELECTRICAL, MECHANICAL, PLUMBING OR FIRE PROTECTION SERVICES WHICH AFFECT THE OPERATION OF THE REMAINING PORTIONS OF THE BUILDING. ANY INTERRUPTION OF THE SERVICES ARE TO BE SCHEDULED IN ADVANCE AND THEIR DURATION KEPT TO A MINIMUM.

FLOOR PLAN NOTES

- ALL DIMENSIONS FROM CENTER OF WALL TO CENTER OF WALL, UNLESS OTHERWISE NOTED.
- ALL NEW PARTITION CONSTRUCTION AND BRACING TO MATCH EXISTING BUILDING STANDARD AND COMPLY WITH UBC CHAPTER 4.1. MATCH EXISTING CONSTRUCTION WHERE NEW PARTITIONS MEET WITH EXISTING TO FORM SMOOTH TRANSITIONS. PATCH AND REPAIR EXISTING PARTITIONS AS REQUIRED FOR 'AS NEW' CONDITION. PREPARE FOR PAINT.
- ALL DOORS IN 1 HOUR RATED WALL TO BE RATED 20 MIN IN ACCORDANCE WITH UBC 43-2. DOOR AND FRAME SHALL BEAR APPROVED LABEL.

PLAN LEGEND

- EXISTING WALL OR PARTITION TO REMAIN
- NEW PARTITION TO UNDERSIDE OF DROPPED CEILING. 3 1/2" STUD STANDARD WITH 5/8" GYP. BOARD BOTH SIDES.

FLOOR PLAN KEY NOTES

- A PROVIDE BUILDING STANDARD RELITE.
- B PROVIDE BUILDING STANDARD 3'-0" WIDE DOOR UNLESS OTHERWISE NOTED.
- C MAINTAIN A CLEAR FLOOR SPACE OF 2'-6" WIDE AND A HEIGHT OF 34" ON CENTER WITH SINK. DETAIL TO BE PROVIDED BY DESIGNER. PROVIDE HOT AND COLD WATER AT SINK. HOT WATER TO BE INSTA-HOT UNIT.
- D FIR OUT COLUMNS AS MINIMALLY AS POSSIBLE, TO ACCOMMODATE ELECTRICAL ONLY.
- E FIR OUT EXISTING HVAC DUCTWORK.
- F FIR OUT EXISTING BRICK WALLS AS DIRECTED BY BUILDING OWNER.

Bainbridge Design, Inc.
 319 SW Washington
 Suite 914
 Portland, OR 97204
 TEL: 503 224 6681
 FAX: 503 224 2023
 E-Mail: bainbrig@teleport.com

KIPP & COMPANY
 CENTURY PLAZA
 1208 SW 13TH
 PORTLAND, OREGON

Sheet Title:
CONSTR. PLAN

Project Team:
 HW, TS, YS

Date: 01/30/97

Revisions:

Scale: 1/8"=1'-0"

File: KIPPXDWG

Sheet Number:
A1

1 CONSTRUCTION PLAN
 1/8"=1'-0" KIPPX



GP 6-7-8-9-10-11-12 EXISTING ROOFTOP GAS PIPES

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