

## Development Services

### From Concept to Construction

Phone: 503-823-7300 Email: [bds@portlandoregon.gov](mailto:bds@portlandoregon.gov) 1900 SW 4th Ave, Portland, OR 97201  
More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



#### APPEAL SUMMARY

**Status:** Mixed Decision. Items 1, 2: Decision Rendered. Item 3 Hold for Additional Information.

<b>Appeal ID:</b> 24413	<b>Project Address:</b> 401 N Schmeer Rd
<b>Hearing Date:</b> 11/25/20	<b>Appellant Name:</b> Daniel Reid
<b>Case No.:</b> B-017	<b>Appellant Phone:</b> 5032249560
<b>Appeal Type:</b> Building	<b>Plans Examiner/Inspector:</b> Renay Radke-Butts
<b>Project Type:</b> commercial	<b>Stories:</b> 1 <b>Occupancy:</b> S-1; B, A-2, A-3 (Accessory) <b>Construction Type:</b> V-B
<b>Building/Business Name:</b>	<b>Fire Sprinklers:</b> Yes - Fully-sprinklered ESFR system
<b>Appeal Involves:</b> Erection of a new structure	<b>LUR or Permit Application No.:</b> 20-174521-CO
<b>Plan Submitted Option:</b> pdf [File 1]	<b>Proposed use:</b> Warehouse & Office

#### APPEAL INFORMATION SHEET

##### Appeal item 1

<b>Code Section</b>	2019 OSSC, Section 507.5
<b>Requires</b>	Building must incorporate automatic fire sprinkler protection throughout in accordance with §903.3.1.1 for unlimited area.
<b>Code Modification or Alternate Requested</b>	Intent of the appeal is to exempt multiple small, pre-fabricated, accessory buildings from the sprinklering requirement applied to the main building.
<b>Proposed Design</b>	<p>The proposed site plan incorporates multiple accessory buildings (not including the trash enclosure, which has a separate permit) near the main building. The main building (282,840 SF) is designed to have Unlimited Area in accordance with §507.4 in the 2019 OSSC. The main building is proposed as Construction Type V-B with S-1 and accessory B, A-2, and A-3 occupancies. The main building is constructed of concrete tilt-up panels, with glazing on accessory office portion at the south end of the building, near one of the enclosures within this appeal. Accessory buildings are generally constructed of aluminum framing with metal roof panels. Walls are predominantly glazing set in aluminum with a 6" tall skirt fabricated from Medex fiberboard with fiberglass reinforced plastic facing. The roof is metal with ceiling panels adhered below which are vinyl coated for appearance and weather-resistance. All accessory buildings are constructed similarly – see attached cut sheets.</p> <p>OSSC §503.1.2 states that buildings on the same lot shall be regulated as separate structures or shall be considered as portions of one building for purposes of identifying allowable building area and height in accordance with Table 503. We wish to include the pre-fabricated accessory buildings as part of the main building for purposes of establishing allowable area and simplification of the permitting process. However, due to configuration and location relative to the main building and site utilities, sprinklering of the accessory buildings is impractical.</p>

Three smoking shelters (6'x6.5' enclosure) will be located within the 60'-0" yards of the main building. One Ride-Share shelter (8'x12' enclosure) will be outside the 60' yard of the main building.

<b>Reason for alternative</b>	<p>The proposed design is to allow the accessory structures to be Construction Type V-B, without automatic fire sprinklers based on the following mitigating factors:</p> <ul style="list-style-type: none"> <li>• Accessory buildings consist of a non-combustible primary structure, consistent with Type V-B construction, incorporating minor combustible materials for architectural benefit.</li> <li>• Primary building is fully sprinklered (ESFR) and consists of concrete, glass and steel construction (Type V-B)</li> <li>• Accessory buildings will include limited, if any combustible fuel load (i.e. no storage) to perform their intended purpose. Accessory buildings are located on concrete pads, so proximity to fuel loads is restricted.</li> <li>• Accessory buildings are outside of the enclosure of the main building and do not restrict movement of occupants to a safe location in the event of an emergency. Concrete pads and sidewalks are provided to facilitate circulation. All accessory buildings are occupied on a temporary basis throughout the course of business operations as a function of their intended purpose.</li> <li>• All accessory buildings are of limited area and have physical separation from the main building structure.</li> <li>• Given the small footprint and location of each accessory building, they represent only a minor obstruction to fire personnel in the event of an emergency. None is located adjacent to required exit doors or fire access doors.</li> <li>• Fire-resistive construction, such as heavy timber or gypsum board wrapping of the structure is impractical due to exterior exposure with the potential for moisture damage and susceptibility to vandalism and are not in character with the balance of the project.</li> <li>• NFPA 13 (2019) §9.3.2.3 for Exterior Projections would allow the accessory structures to be non-sprinklered and of combustible construction if they were attached to the main building so long as they do not include concealed spaces. No concealed space is present in the accessory buildings.</li> <li>• While designed to high-piled combustible storage requirements, no high-piled combustible storage will be present in the main building for the initial tenancy which requires the accessory structures. Upon lease termination, the accessory structures are anticipated to be removed to allow the building to be reutilized by another user.</li> </ul>
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## Appeal item 2

<b>Code Section</b>	2019 OSSC, Table 1004.5
<b>Requires</b>	Plan review item #133 issued on 11/13/2020 reads "Revise the following assembly area to use 1:7 OLF based on 'Assembly Standing space' Security, Security Vestibule, Weather Vestibule."
<b>Code Modification or Alternate Requested</b>	Intent of this appeal is to consider the spaces listed above to use a less intensive Occupant Load Factor due to their anticipated use.
<b>Proposed Design</b>	Propose 2,995 square feet of A-3 Assembly occupancy with an Occupant Load Factor of 1:20 (similar to an airport terminal use), yielding a calculated load of 150 occupants. The Weather Vestibule and Security Vestibule are designed as circulation spaces to provide access to the main Security area, which is also a circulation space for employee access to the adjacent Office, Locker/Break Room, and main Warehouse areas.
<b>Reason for alternative</b>	We believe that the alternative to allow for an additional 2,995 square feet of A-3 occupancy while remaining an accessory and non-separated occupancy does not affect the intent of the code limiting the aggregate area of accessory occupancies.

We believe that the alternative Occupant Load Factor of 1:20 is consistent with the proposed use as a distribution facility with 24-hour operation, multiple shifts, and employee-only access controlled by on-site Security staff. The Trip Generation report submitted in the approved Parking Adjustment (20-183310-00-LU) shows 123 peak-season, peak-hour inbound trips, including employees passing through the building entrance as well as tractor-trailer drivers entering the truck yard rather than the building entrance.

The use of the Vestibule and Security spaces are for employee circulation to and from the Warehouse, Office, Lockers, Restrooms, and Breakroom. These are not gathering areas where people will congregate.

The building is fully sprinklered with an ESFR system and pull-down fire alarm system. The building is classified as Unlimited Area.

Due to increased concerns around COVID-19 health measures the design allows for the Vestibule and Security areas to allow for greater social distancing amongst occupants.

### Appeal item 3

**Code Section** 2019 OSSC, Section 2902.1

**Requires** Plumbing fixtures shall be provided in the minimum number as shown in Table 2902.1 based on the actual use of the building or space.

**Code Modification or Alternate Requested** Intent of this appeal is to allow the already-proposed plumbing fixture counts to remain as designed and not require an increased number of fixtures due to adjustments in occupant load calculations based on Table 1004.5.

**Proposed Design** The current design includes 21 water closets (9 men's, 9 women's, 3 unisex), 17 lavatories (7 men's, 7 women's, 3 unisex), and 5 drinking fountains. This is based on a calculated load of 857 occupants, which is far higher than the actual proposed number of employees for this facility.

**Reason for alternative** We believe that the current plumbing fixture count is more than adequate for the proposed use as a distribution facility with 24-hour operation, multiple shifts, and employee-only access controlled by on-site Security staff. The Trip Generation report submitted in the approved Parking Adjustment (20-183310-00-LU) shows 123 peak-season, peak-hour inbound trips, including employees passing through the building entrance as well as tractor-trailer drivers entering the truck yard rather than the building entrance.

Therefore, any further increase in plumbing fixtures based on calculated occupant loads (including as a result of the previous Appeal item above) would place an excessive cost burden on the building owner.

### APPEAL DECISION

- 1. Omission of fire sprinkler protection of 3 prefabricated smoking shelters within the 60 foot yard of the main unlimited area building: Granted provided a minimum of 10 feet separation is maintained between the shelters and the main building.**
- 2. Reduction in calculated occupant load factor for Main Security area based on use of space: Granted provided no lounge facilities are provided and space fully maintains it's intended function as circulation / security area.**
- 3. Reduction in required number of plumbing fixtures: Hold for additional information. Appellant may contact John Butler (503 865-6427) or e-mail at [John.Butler@portlandoregon.gov](mailto:John.Butler@portlandoregon.gov) with questions.**

For items 1 and 2: The Administrative Appeal Board finds with the conditions noted, that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code; do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

Pursuant to City Code Chapter 24.10, you may appeal this decision to the Building Code Board of Appeal within 90 calendar days of the date this decision is published. For information on the appeals process, go to [www.portlandoregon.gov/bds/appealsinfo](http://www.portlandoregon.gov/bds/appealsinfo), call (503) 823-7300 or come in to the Development Services Center.

For Item 3: Additional information is submitted as a no fee reconsideration, following the same submittal process and using the same appeals form as the original appeal. Indicate at the beginning of the appeal form that you are filing a reconsideration and include the original assigned Appeal ID number. The reconsideration will receive a new appeal number.

Include the original attachments and appeal language. Provide new text with only that information that is specific to the reconsideration in a separate paragraph(s) clearly identified as "Reconsideration Text" with any new attachments also referenced. No additional fee is required.



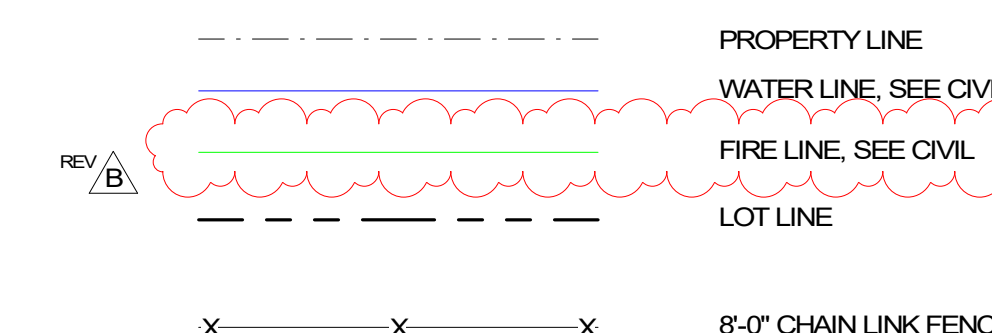


SITE AREA: (GROSS)		(DEVELOPABLE)
LOT F:	1,189,827 SF	26.8AC
LOT C:	530,180 SF	12.2AC
<b>LANDSCAPE AREA:</b>		
LOT F:	165,464 SF 11,027 SF	3.80AC 2.52AC
<b>BUILDING AREA:</b>		
WATER HOUSE:	282,840 SF	
OFFICE:	17,805 SF	
<b>PARKING: (REFER TO PARKING ADJUSTMENT CASEFILE #U 2)</b>		
LOT F:		
AUTO STALLS:	270 AUTO STALLS	(270 REQUIRED)
ADA STALLS:	7 ADA STALLS	(7 REQUIRED)
TRAILER STALLS:	183 TRAILER STALLS	(323 REQUIRED)
LOT C:		
TRAILER STALLS:	276 TRAILER STALLS	(323 REQUIRED)

**BICYCLE PARKING:**  
(CITY OF PORTLAND CODE CHAPTER 33.266, WAREHOUSE & FREIGHT MOVEMENT, STANDARD B)  
LONG TERM: 18 SPACES  
SHORT TERM: 4 SPACES  
ADD **A**

**DOCK DOORS:**  
SHIPPING DOCKS: **40 DOCK DOORS WITH LEVELERS**  
1 DOCK DOOR @ COMPACTOR  
RECEIVING DOCKS: 40 DOCK DOORS WITH LEVELERS  
DRIVE IN DOORS: 2 OVERHEAD DOORS, 14'-0" x 16'-0"

### LEGEND



## WATER QUALITY BACKFLOW NOTES - PI DCDA

Premises-Isolation Backflow Protection  
Required by Water Quality Backflow (WQBP) Review (503-823-7480)  
Water Bureau Backflow Assembly Installation Requirements:  
[www.portlandoregon.gov/water/backflow/installationrequirements](http://www.portlandoregon.gov/water/backflow/installationrequirements)  
Title 21.12.320, 28.08.020 and/or OAR 333-061-0070, 333-061-0071  
Plan Approved For Construction: Errors And Omissions Excepted.

**FIRE SPRINKLER WATER SERVICE:**  
It is unlawful to use a dedicated fire sprinkler water supply for purposes other than fire suppression and code required system testing.

Double Check Detector Assembly (DCDA) Required.  
Must be installed on private property at the property line on the centerline of the service, immediately adjacent to service connection.

Sump drain may not be directly connected to storm or sanitary sewer and must drain to grade.

New water services will be installed at a depth of 3-4 ft.  
It is the responsibility of the owner/contractor to make the property side connection.

## BES DEVELOPMENT REVIEW STAMPS

1. BES STORMWATER FACILITY INSPECTION REQUIRED AT TIME OF CONSTRUCTION. SEE GREEN BES INSPECTION CARD: To schedule, contact the automated inspection request (IVR) system at 503-823-7000 and request inspection #487 BES Onsite Stormwater Facility Evaluation – OR- you may also contact our office directly at 503-823-2059

2. SEPARATE BDS COMMERCIAL PLUMBING PERMIT REQUIRED FOR INSPECTION OF DOWNSPOUTS AND PRIVATE STORMWATER PIPING OUTSIDE OF STORM FACILITY

3. SEPARATE SEWER CONNECTION PERMIT REQUIRED. CONNECTION IS IN THE PUBLIC RIGHT OF WAY.

## WATER QUALITY BACKFLOW NOTES - PI RPBA

Premises-Isolation Backflow Protection  
Required by Water Quality Backflow (WQBF) Review (503-823-7480)  
Water Bureau Backflow Assembly Installation Requirements:  
[www.portlandoregon.gov/water/backflow/installationrequirements](http://www.portlandoregon.gov/water/backflow/installationrequirements)  
Title 21.12.320, 28.08.020 and/or OAR 333-061-0070, 333-061-0071  
Plan Approved For Construction: Errors And Omissions Excepted.

DOMESTIC WATER SERVICE:  
Backflow Prevention Assemblies Must Conform to  
EPA Lead Free Requirements.

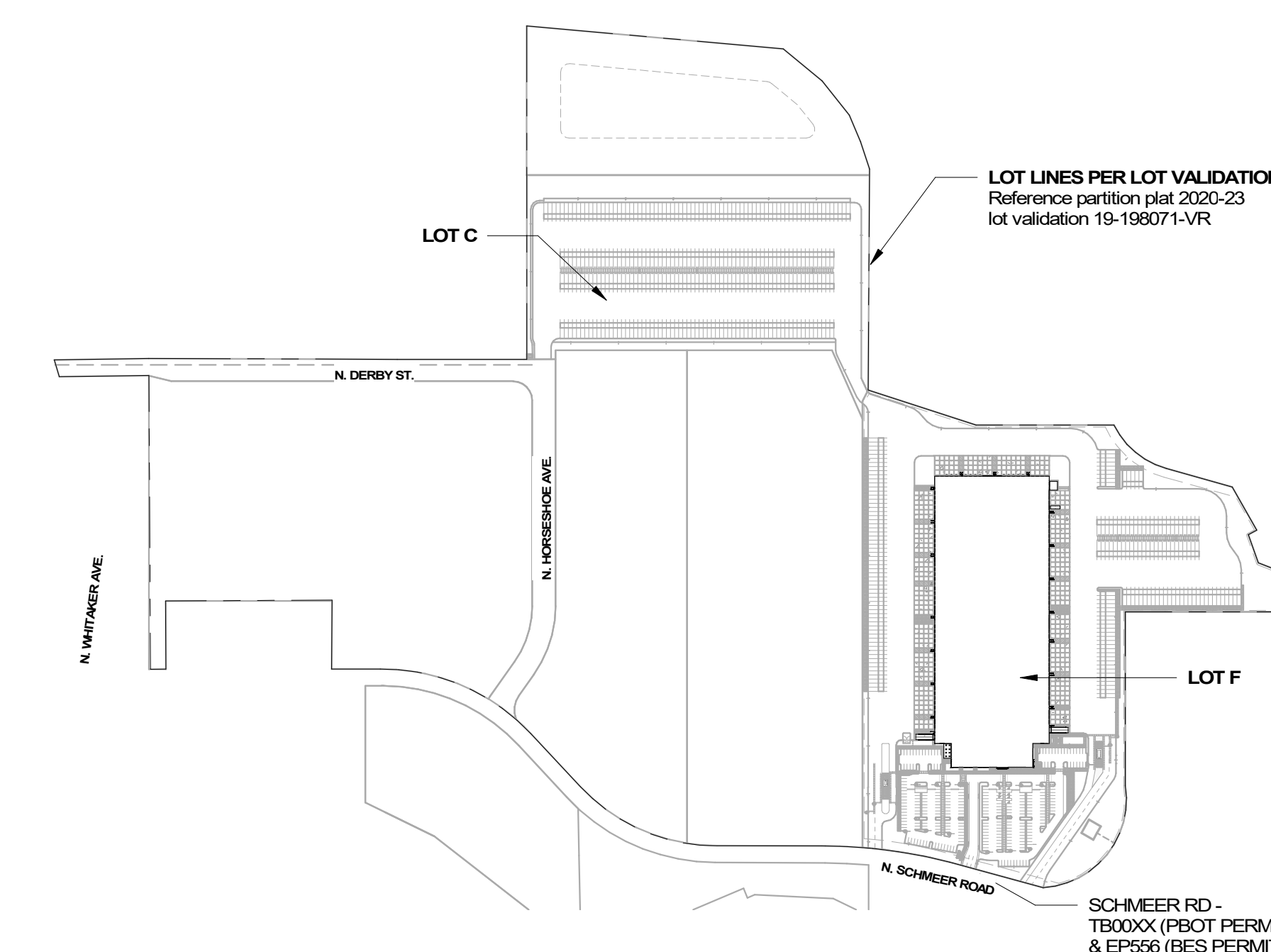
Reduced Pressure Backflow Assembly (RPBA) Required

Installation required on private property at property line on the centerline of the service, immediately adjacent to service connection.  
No connections prior to assembly.

Assembly must be 12' above finished grade and/or 100 Year flood plain, whichever is greater.  
Installation in an approved insulated outdoor enclosure.

Landscape irrigation point-of-connection (POC) to domestic plumbing system must occur downstream of the domestic water service premises-isolation (PI) backflow protection.

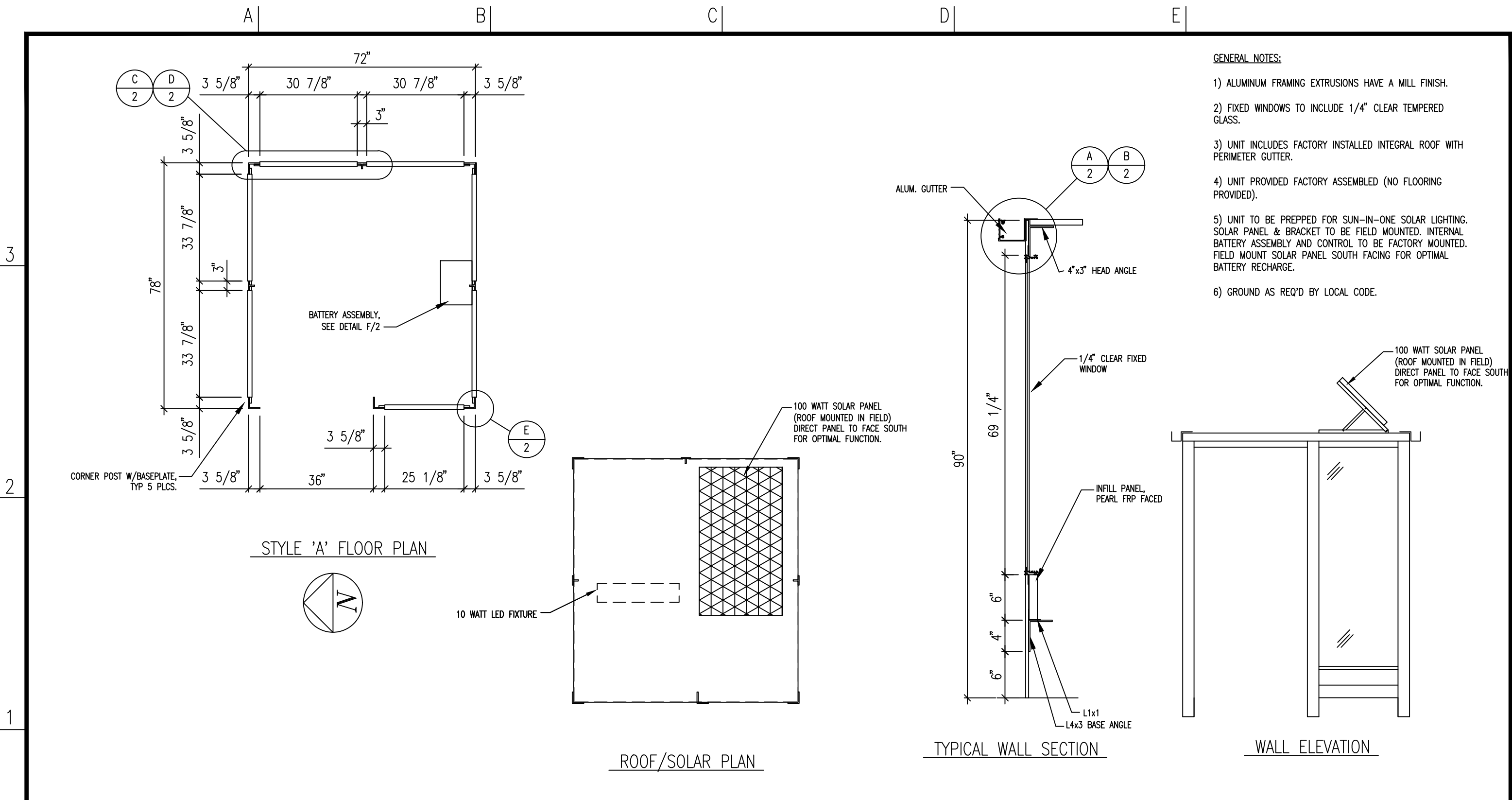
Installation of a premise-isolation backflow assembly will create a closed system and may result in problems associated with thermal expansion. Installer responsible for making provisions for thermal expansion.



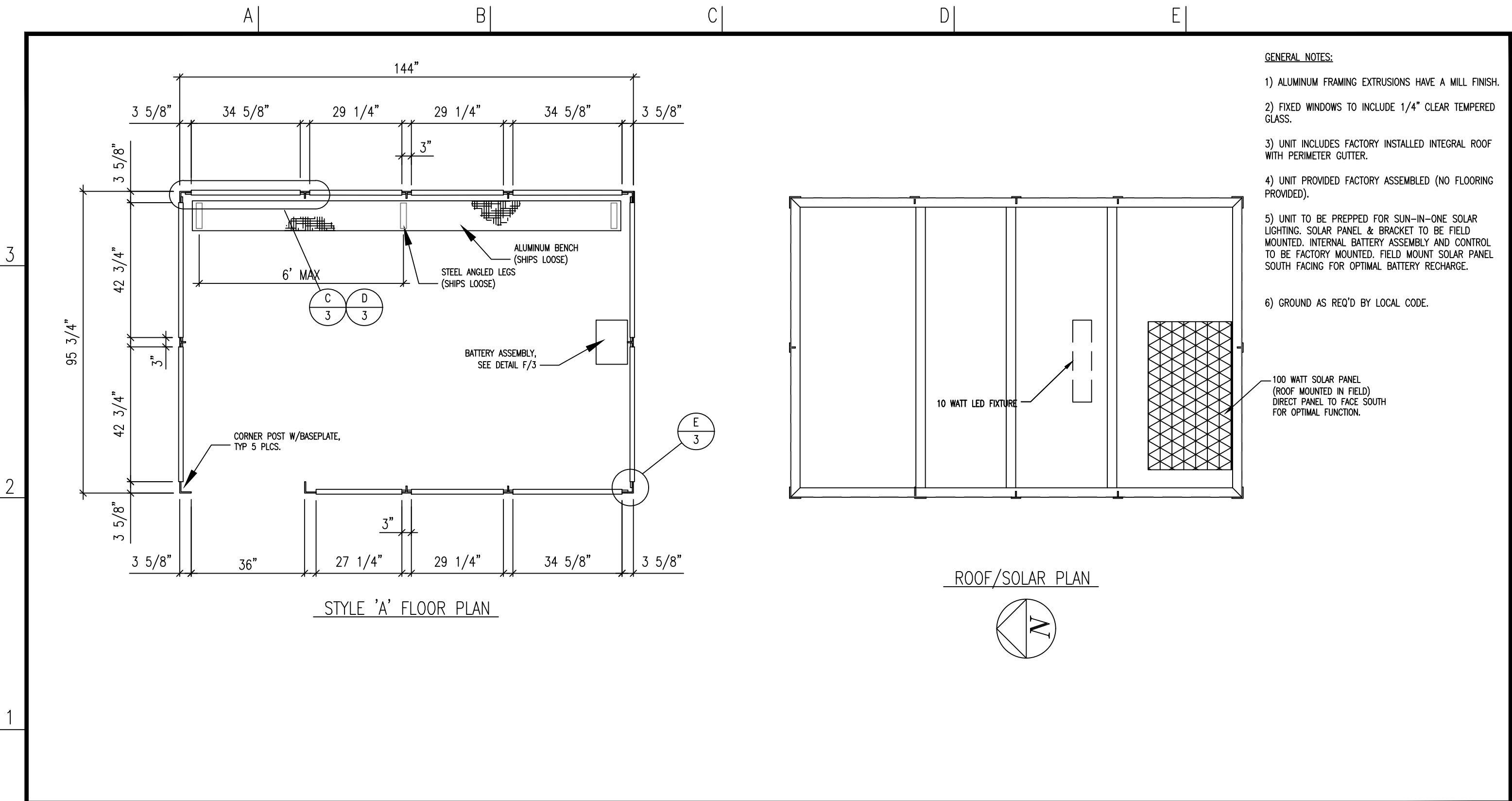
2 KEY VICINITY PLAN  
A01.00 1" = 400'-0"

LOT F - SITE PLAN  
1" = 60'-0"





ORDER NO.	DRAWN BY:	DATE:	PANEL HEIGHT:			<b>PORTAFAB</b> CORPORATION 18080 CHESTERFIELD AIRPORT ROAD, CHESTERFIELD, MO 63005 email: <a href="mailto:engineering@portafab.com">engineering@portafab.com</a> (800) 325-3781	REV.	DESCRIPTION	DATE
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SHEET NO.	SCALE:	REVISED:							
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**SECTION [13120]  
PREASSEMBLED SMOKING SHELTER**

**SECTION 1 GENERAL**

**1.01 SECTION INCLUDES**

- A. This Section specifies all requirements necessary to furnish and install a prefabricated portable aluminum smoking shelter(s) including, but not limited to the following:
  - 1. Frameworks
  - 2. Windows
  - 3. Door.
  - 4. Roof.
  - 5. Hold down clips

**1.02 RELATED SECTIONS**

- A. This Section shall be used in conjunction with the following other specifications and related Contract Documents to establish the total requirements for the referenced prefabricated smoking shelter.
  - 1. The Subcontract.
  - 2. Electrical service supply and connection.
  - 3. Site/Foundation work.
  - 4. Unloading, placement, installation and anchoring.
  - 5. Plumbing and piping (when required).
- B. In the event of conflict regarding requirements for prefabricated buildings between this Section and any other sections, the provisions of this Section shall govern.

**1.03 REFERENCES**

- A. Refer to *Porta-Fab Preassembled Smoking Shelter Specifications* website for technical data, design requirements and additional information.

**1.04 SUBMITTALS**

- A. Submit the following in addition to the standard requirements.
  - 1. Upon award of order, manufacturer shall prepare and submit copies of shop drawings as required for each different shelter required for this project. Drawings shall include elevations, section, floor plan, electric schedule, service entrance locations, and anchor clip detail.
  - 2. Color charts illustrating available colors and patterns for specified finishes shall be submitted to owner for prompt selections.



## **1.05 QUALITY ASSURANCE**

- A. Manufacturer:
  - 1. Structures shall be the product of a manufacturer with a minimum of 25 years-documented experience in the design and fabrication of portable aluminum buildings.
  - 2. Prefabricated smoking shelters by manufacturers other than the one approved shall submit sufficient data to enable approval to be given. As a minimum: Design drawings and /or calculations, applicable certifications, catalog information, and color samples showing equal range of variety.
  - 3. Adherence to applicable portions of state and local building codes is the responsibility of the owner. Building manufacturer shall not be responsible for permits, special engineering calculations, or architectural type drawings unless otherwise notified in writing 3-weeks prior to release of bid document.
  - 4. Design Loads: 30 lbs/ft<sup>2</sup> live load, 20 lbs/ft<sup>2</sup> wind load, 40 lbs/ft<sup>2</sup> floor load.

## **1.06 WARRANTY**

- A. Porta-Fab Preassembled Smoking Shelters are warranted against defects and workmanship for a period of one (1) year from date of original shipment. Porta-Fab is not responsible for or liable for modifications, alterations, misapplication or repairs made to the products in the field.

## **1.07 TECHNICAL SERVICES**

- A. Porta-Fab Corporation offers technical service support. For services regarding layout, design and product selection, as well as suggested specifications, contact the main office (Section 2.02).

# **SECTION 2 PRODUCTS**

## **2.01 PRODUCT NAME**

- A. Preassembled Smoking Shelters

## **2.02 MANUFACTURER**

- A. Porta-Fab Corporation  
18080 Chesterfield Airport Road  
Chesterfield, MO 63005 U.S.A.  
Phone: (636) 537-5555  
Fax: (636) 537-2955
- B. The use of a manufacturer's name, model or catalog number is for the purpose of establishing the standard of quality and general configuration.

## **2.03 PRODUCT DESCRIPTION**

**Basic Uses:** Describe uses: Smoke Shelter, Bus, Stop, etc. Building to be of aluminum construction, with FRP (fiberglass reinforced plastic) exterior surfaces. Building height to be 90" including integral exterior roof. Building dimension shall be based around PortaFab's Preassembled Smoking Shelter models.

- A. Structural members to be extruded aluminum angles, channels, and tee sections of structural alloy 6063-T5 alloy. Corner posts to be 3 5/8" x 3 5/8" x 3/8" grooved angle; grooved intermediate tees to be 3" x 2 1/8" x 3/8"; top angle to be 3" x 4" x 3/16".

- B. All structural components to be certified welded at all intersections to create a unitized framework. No rivets, bolts or other fasteners shall be used in joining structural components.
- C. Finish – Framework:
  - 1. Mill-finished aluminum
    - a. (Option) Provide painted exterior framework.
- D. Wall and Ceiling Panels:
  - 1. Wall panels shall be ½” Medex™ laminated on both sides with .035” FRP (fiberglass reinforced plastic). Panels shall be attached to the structural members with fasteners not exposed on the building exterior. Ceiling panels shall be minimum 5/8” white vinyl-faced particle board.
- E. Windows and Glazing:
  - 1. Windows shall have aluminum frames and inserts and to be industrial quality. Windows to be fixed (non-sliding). Exterior window sill height to be 16” above finished floor. Glass height is approximately 68” tall. Windows to be ½” clear insulated glass.
    - a. (Option) Fixed windows to be 1/2” tinted insulated glass.
- F. Exterior Roof
  - 1. Factory installed integral roof to consist of 5/8” plywood with vapor barrier on the exterior surface. Buildings larger than 4’ x 8’ to receive two layers of 5/8” plywood. Roofs to include aluminum gutters around the entire perimeter.

## SECTION 3 EXECUTION

### 3.01 INSTALLATION

- A. General: All preparatory work and installation work shall be performed by site-contractor and shall be performed in accordance with local and/or state codes.
- B. Pour concrete island minimum 4” deep. The island should be a minimum of 12” wider than the roofline dimensions to allow a 6” concrete border on each side of the building roofline. Level the pad and install a bollard at each corner of the building to further protect the building from damage caused by traffic.
- C. Building to arrive via flatbed truck or closed van. The carrier must contact end-user 24-hours prior to delivery to arrange for off-loading. Use either a forklift or overhead crane to off-load the building from the flatbed. If an overhead crane is used, be sure to use “spreader bars” to prevent the building fascia/roof from being damaged by the sling/straps. Square the building on the pad and anchor.
- D. Recommended concrete anchor is ½” x 4” galvanized or stainless steel, or comply with local codes – whichever is most stringent. Anchors are provided by site-contractor.
- E. Clean the work area.

End of Section



FOR JURISDICTION USE

## Occupancy Legend

- A-2 (ASSEMBLY)
- ACCESSORY
- B (BUSINESS)
- B (CLASSROOM)
- B (KITCHEN)
- B CONFERENCE
- LOCKER ROOM
- N/A (NO OCCUPANTS)
- S-1 (STORAGE)

## LEGEND

LIGHTED EXIT SIGN PER OSSC 1013.1

FIRE EXTINGUISHER, MOUNTED TO COLUMN.  
GO TO VERIFY FINAL LOCATIONS AND  
REQUIREMENTS WITH FIRE MARSHALL

FIRE EXTINGUISHER CABINET. GO TO VERIFY  
FINAL LOCATIONS AND REQUIREMENTS WITH  
FIRE MARSHALL. SEE DETAIL 517A5.41

MAXIMUM TRAVEL DISTANCE  
COMMON PATH DISTANCE

EXIT

1 HR FIRE BARRIER WALL

EGRESS LOAD THROUGH EXIT

SPLIT EGRESS LOAD

TOTAL OCC LOAD

SPLIT OCC LOAD TO  
RESPECTIVE EXIT

AREA TAG

OCC TYPE

AREA (SF)

OCC LOAD

LOAD FACTOR

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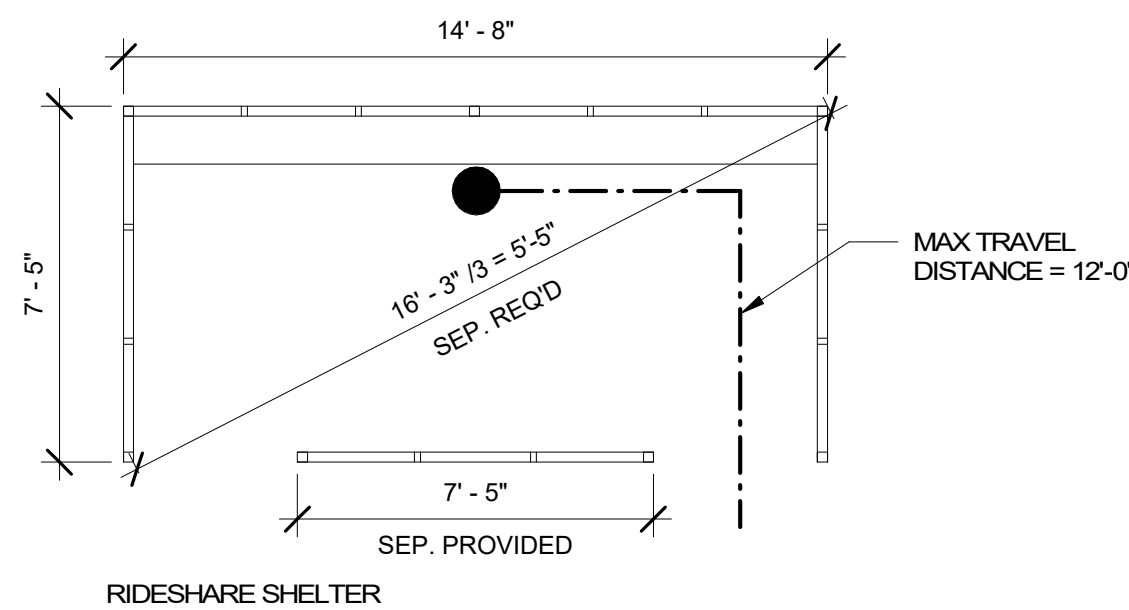
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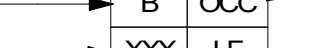
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(G01.11)  $1/4'' = 1'-0''$



S-1 (STORAGE)

	REQUIRED R-VALUE	PROVIDED R-VALUE	MAX U-FACTOR	PROVIDED U-FACTOR	MAX SHGC	PROVIDED SHGC
WINDOW	--	--	0.38	0.47	0.60	0.40
ENTRANCE DOOR	--	--	0.68	0.52	0.60	0.40
MASS WALLS OFFICE	R-9.5 cl	R-13	--	--	--	--
ROOF	R-30 cl	R-30 cl	0.032	0.032	--	--
SOUND ATTENUATION	--	R-13	--	--	--	--
SLAB ON GRADE	N/A	N/A	--	--	--	--

ADDITIONAL INFORMATION:

A. VERTICAL PENETRATION AREA: SEE COMCHECK ENVELOPE COMPLIANCE REPORT.

B. CONTINUOUS AIR BARRIER SHALL BE PROVIDED THROUGHOUT BUILDING ENVELOPE PER EECSS 502.4.1.

1. METAL ROOF DECK

2. SINGLE-PLY ROOF MEMBRANE

3. TILT-UP CONCRETE WALLS W/ SEALED JOINTS

ALL PENETRATIONS OF THE AIR BARRIER MUST BE SEALED PER EECSS 502.4.1.

C. DOCKING SHALL BE MARKED WITH U-FACTOR, SOLAR HEAT GAIN COEFFICIENT, VISUAL TRANSMITTANCE AND LEAKAGE RATING PER 303.1.3 AND 502.4.3.

D. OTHER: SEE EECSS 502.4.1 FOR ADDITIONAL INFORMATION PER AIR LEAKAGE RATE OF THE BUILDING ENVELOPE, NOT TO EXCEED 4.0 CFM/FS.

DROP-OFF SHELTER	98 SF	15	7
PRE-FAB SMOKERS SHELTER	99 SF	15	7
PRE-FAB SMOKERS SHELTER	99 SF	15	7
PRE-FAB SMOKERS SHELTER	132 SF	15	9
GUARD HOUSE	147 SF	150	1
GUARD HOUSE	286 SF	150	2

A-2 (ASSEMBLY)	513 SF	15	35
PRE-FAB SMOKERS SHELTER	547 SF	15	37
SMOKERS SHELTER	1008 SF	15	68
BREAK ROOM	2878 SF	15	192
	4947 SF		332

ACCESSORY		
CORRIDOR	240 SF	0
TRUCKER LOUNGE	401 SF	0
TRUCKER LOUNGE	401 SF	0
RESTROOM	491 SF	0
UTILITY	516 SF	0
MULTI-FAITH	519 SF	0
RESTROOM	560 SF	0
CORRIDOR	969 SF	0
RESTROOM	1328 SF	0
SECURITY LOBBY	2995 SF	0
	8420 SF	0

B (BUSINESS)			
SECURITY DESK	151 SF	150	2
OFFICE	925 SF	150	7
OFFICE	2216 SF	150	15
	3292 SF		24

B (CLASSROOM)			
TRAINING	1135 SF	50	23
	1135 SF		23

B (KITCHEN)			
KITCHEN	368 SF	200	2
KITCHEN	398 SF	200	2

766 SF		4	
B CONFERENCE			
CONFERENCE	289 SF	15	20
289 SF		20	

LOCKER ROOM	586 SF	50	12
	586 SF		12

N/A (NO OCCUPANTS)			
BREAK ROOM SHAFT	18 SF		
AM CARE SHAFT	34 SF		

AUTOMATED ROBOT AREA	60242 SF	0	
	60293 SF		0

STOR	104 SF	300	1
UTILITY	112 SF	300	1
TRASH ENCLOSURE	242 SF	300	1

STOR	253 SF	300	1
BIKE STORAGE	378 SF	200	2
UTILITY	1143 SF	300	4

WAREHOUSE	199002 SF	500	399
	201234 SF		409
Grand total	281824 SF		857

1018			
ANCE PROVIDED	MAX TRAVEL DISTANCE	TRAVEL DIST. PROVIDED	EXITS R

N/A	300'-0"	143'-3"	1
N/A	300'-0"	163'-0"	1
N/A	300'-0"	28'-6"	1

N/A	300'-0"	28'-6"	1
N/A	300'-0"	46'-0"	1
8'-7"	250'-0"	102'-2"	2

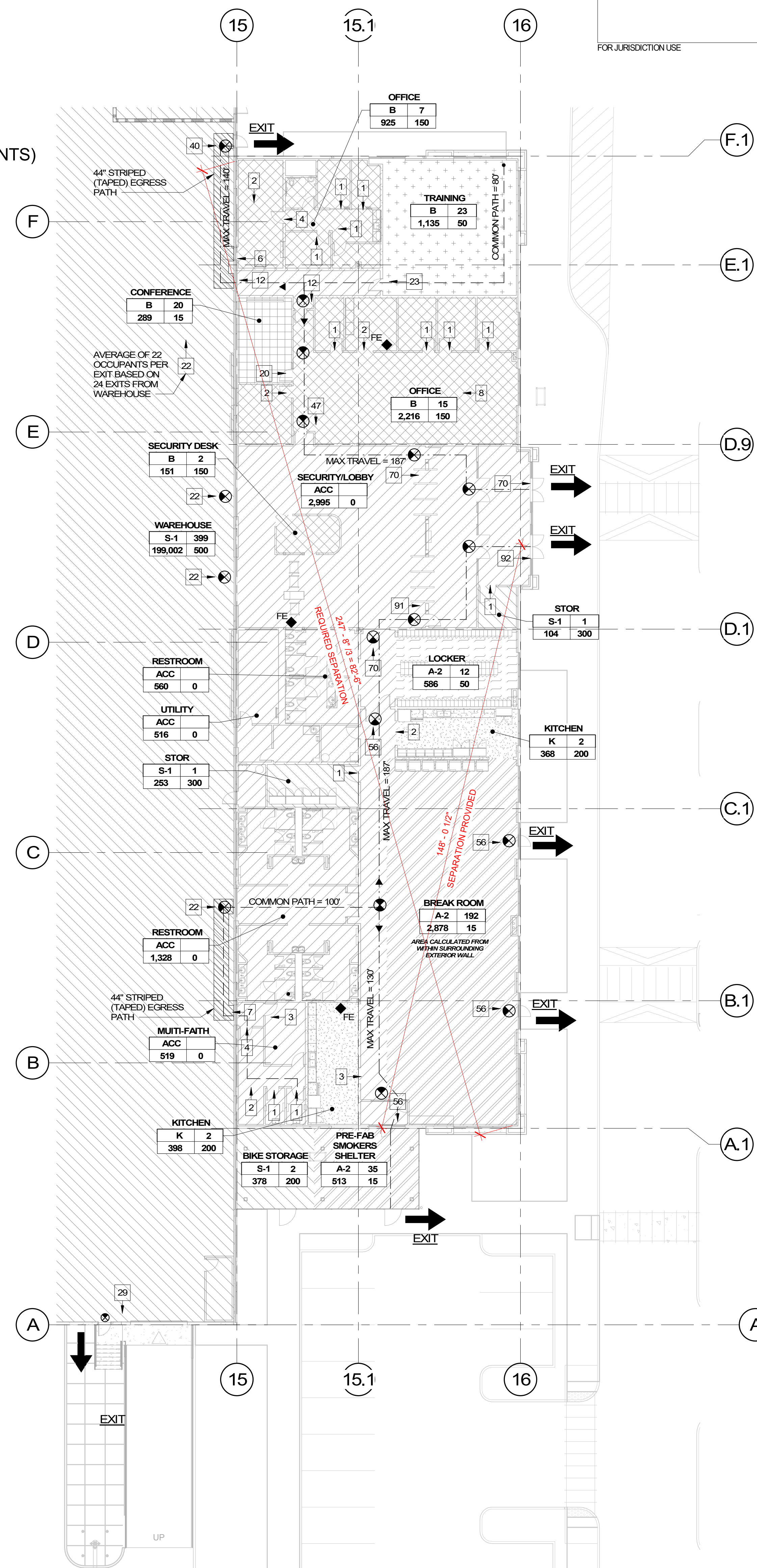
-11"	250'-0"	86'-0"	2
3'-11"	250'-0"	86'-0"	2
-10 1/2"	250'-0"	242'-0"	2

N/A	250'-0"	242'-0"	2
7'-5"	300'-0"	12'-0"	1

N/A	300'-0"	17'-0"	1
N/A	250'-0"	11'-0"	1
N/A	250'-0"	24'-0"	1

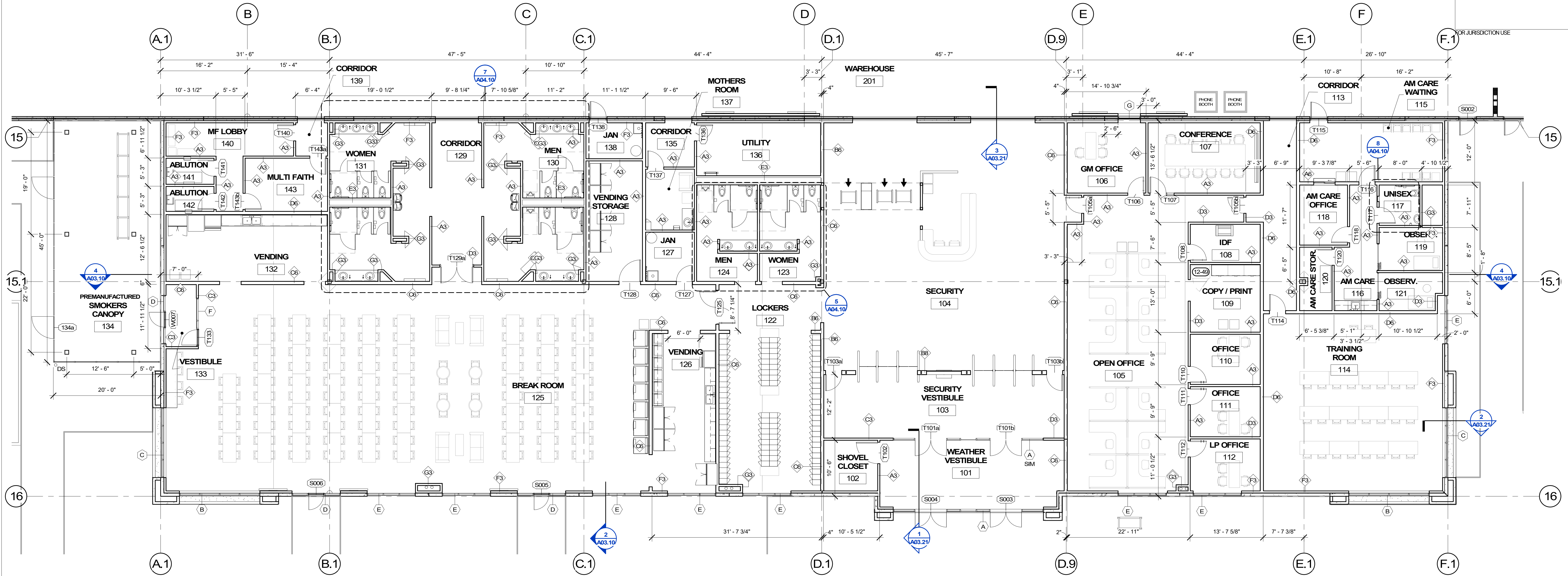
			19
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(G01.11)  $1/16'' = 1'-0''$





1 OFFICE FLOOR PLAN  
1/8" = 1'-0"

#### GENERAL NOTES

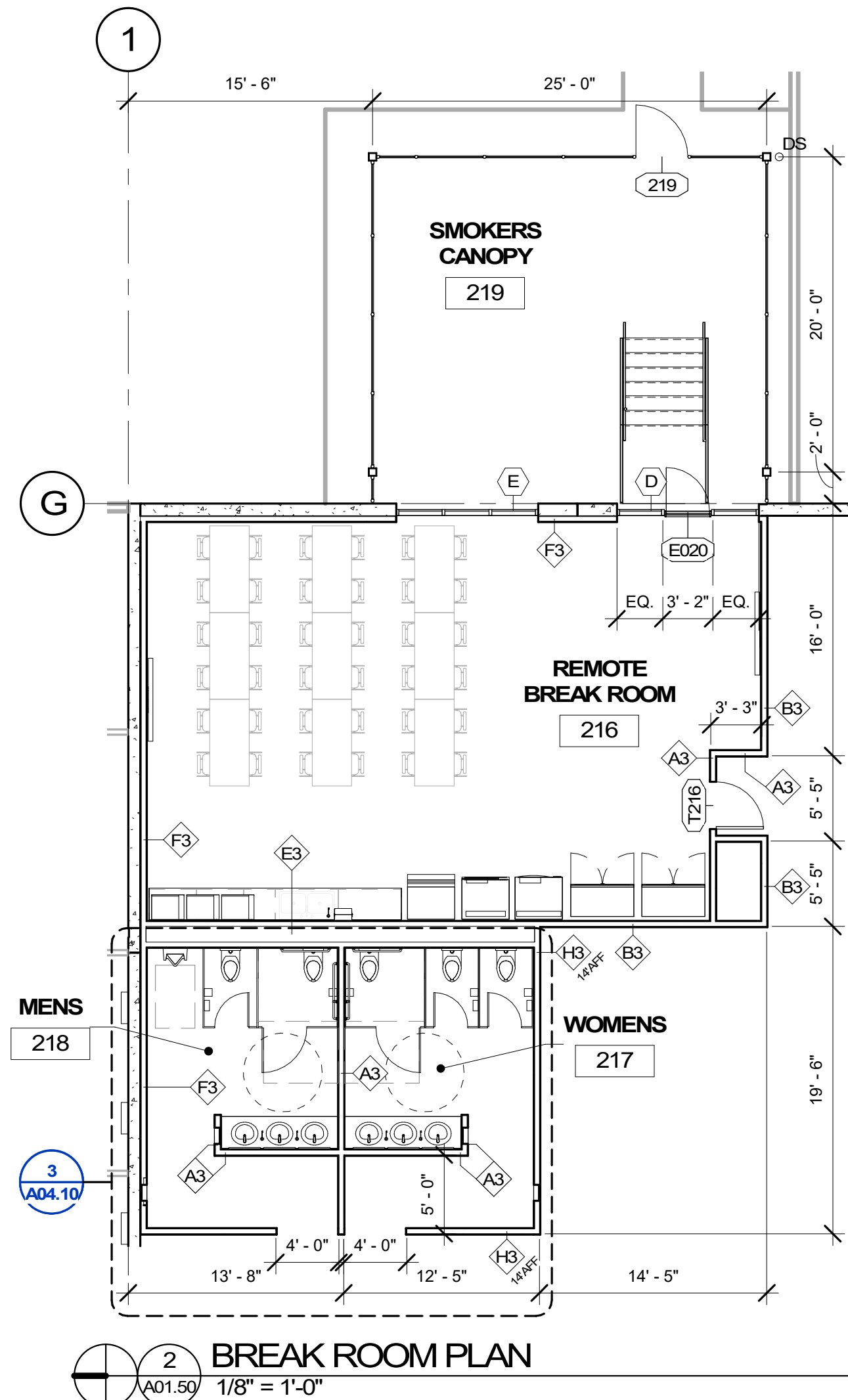
- A. AT AREAS OPEN TO STRUCTURE, PAINT METAL DECK, STRUCTURE, EXPOSED CONDUIT, MECHANICAL DUCT WORK, AND FIRE SPRINKLER COMPONENTS (EXCEPT HEADS) PER PLAN, UNLESS OTHERWISE NOTED.
- B. SEE ELECTRICAL AND MECHANICAL DRAWINGS FOR MORE INFO. BRACE ALL WALLS PER 9 / A03.10 EXCEPT WHERE SHEATHED EACH SIDE.
- C. GC TO PROVIDE COMPLIANT FIRE EXTINGUISHERS IN OCCUPANCIES AND LOCATIONS AS REQUIRED PER SECTION 906 IN THE INTERNATIONAL FIRE CODE. MOUNTING HEIGHTS TO MEET THE PROVISIONS OF ANSI A117.1 - 308 (48" MAX.). CABINET SHALL PROVIDE NO MORE THAN 4" INTO WALKS, CORRIDORS, PASSAGEWAYS OR AISLES. LOCATE CABINET(S) 75-FOOT MAX. TRAVEL DISTANCE TO REACH THE EXTINGUISHERS. (1) 25 EXTINGUISHER TO COVER MAXIMUM FLOOR AREA OF 3,000 SF LOCATIONS TO BE REVIEWED WITH OWNER AND ARCHITECT PRIOR TO INSTALLATION.
- D. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE AND IN PROPER ALIGNMENT, U.N.O. CENTER LOCATION OF NEW WALL CONSTRUCTION ON EXISTING COLUMNS, PIER, JOISTS OR WINDOW MULLION, AS SHOWN. PROVIDE FURRING AT EXISTING PARTITIONS AS REQUIRED TO INSTALL ELECTRICAL ITEMS AS INDICATED ON THE DRAWINGS. ALL EXPOSED GYPSUM BOARD EDGES TO HAVE VINYL OR METAL EDGE TRIM.
- E. ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. PROVIDE LEVEL 4 FINISH, U.N.O. SEE MATERIAL SCHEDULE & FINISH PLAN FOR MATERIALS & LOCATIONS THAT REQUIRE A LEVEL 5 FINISH, U.N.O. ALL DIMENSIONS ARE TO FACE OF FRAMING, U.N.O. DIMENSIONS NOTED "HOLD" MUST BE ACCURATELY MAINTAINED, AND SHALL NOT VARY MORE THAN 1/8" WITHOUT WRITTEN INSTRUCTION FROM ARCHITECT. "ALIGN" MEANS TO ACCURATELY LOCATE FINISHED FACES IN THE SAME PLANE. DIMENSIONS NOTED "CLEAR" ARE MINIMUM DIMENSIONS WHICH MUST BE MAINTAINED WITHOUT EXCEPTION. DIMENSIONS MARKED + MEAN A VARIANCE NOT GREATER THAN 1 INCH. VERIFY DIMENSIONS EXCEEDING TOLERANCE WITH THE ARCHITECT. ALL DIMENSIONS TO THE EXTERIOR WINDOW WALL ARE TO THE FINISH FACE OF WALL BELOW SILL, U.N.O.
- F. GYPSUM WALLBOARD AT BOTH SIDES OF ALL PARTITIONS WITH PLUMBING ROUGH-IN (E.G. RESTROOMS, PANTRIES, JANITORS CLOSETS, WET COLUMNS, ETC.) SHALL BE MOISTURE-RESISTANT. METAL STUDS AT PARTITIONS TO RECEIVE CERAMIC TILE ARE TO BE (MINIMUM) @ 16" O.C. (MAXIMUM). REFER TO THE FINISH PLANS FOR TILE LOCATIONS.
- G. THE CONTRACTOR SHALL ESTABLISH A SINGLE FLOOR ELEVATION THAT IS TO BE USED TO SET THE TOP OF ALL DOORS SUCH THAT THE TOP OF ALL DOORS OF THE SAME HEIGHT WILL ALIGN REGARDLESS OF VARIATIONS IN THE FLOOR SLAB OR FINISHED FLOOR THICKNESS. THERE SHALL BE NO EXPOSED PIPE, CONDUIT, DUCTS, VENTS, ETC. ALL SUCH LINES SHALL BE CONCEALED OR FURRED AND FINISHED, UNLESS OTHERWISE NOTED AS EXPOSED CONSTRUCTION ON THE DRAWING.
- H. DOOR AND CASED OPENINGS WITHOUT LOCATION DIMENSIONS OR DETAILS ARE TO BE (4) INCHES FROM ADJACENT WALL AT HINGE SIDE OF DOOR OR CENTERED BETWEEN WALLS.
- I. GC SHALL BE RESPONSIBLE FOR PROVIDING ALL BLOCKING FOR ALL WALL AND CEILING MOUNTED ITEMS, INCLUDING HARDWARE, LIGHT FIXTURES, GRAB BARS, CASEWORK, AND ALL OWNER PROVIDED ITEMS. PROVIDE SHEET METAL REINFORCING (8" HORIZONTALLY MOUNTED STRIP OF 20 GA. GALVANIZED SHEET METAL) CONCEALED IN PARTITIONS WHERE WALL OR CEILING MOUNTED ITEM IS INDICATED ON DRAWINGS. ALL CONCEALED LUMBER AND BLOCKING TO BE FIRE TREATED. WHERE BLOCKING OR ADDITIONAL STUDS ARE REQUIRED AT EXISTING PARTITIONS, THEY ARE TO BE PATCHED AND REPAIRED.

#### SYMBOLS LEGEND

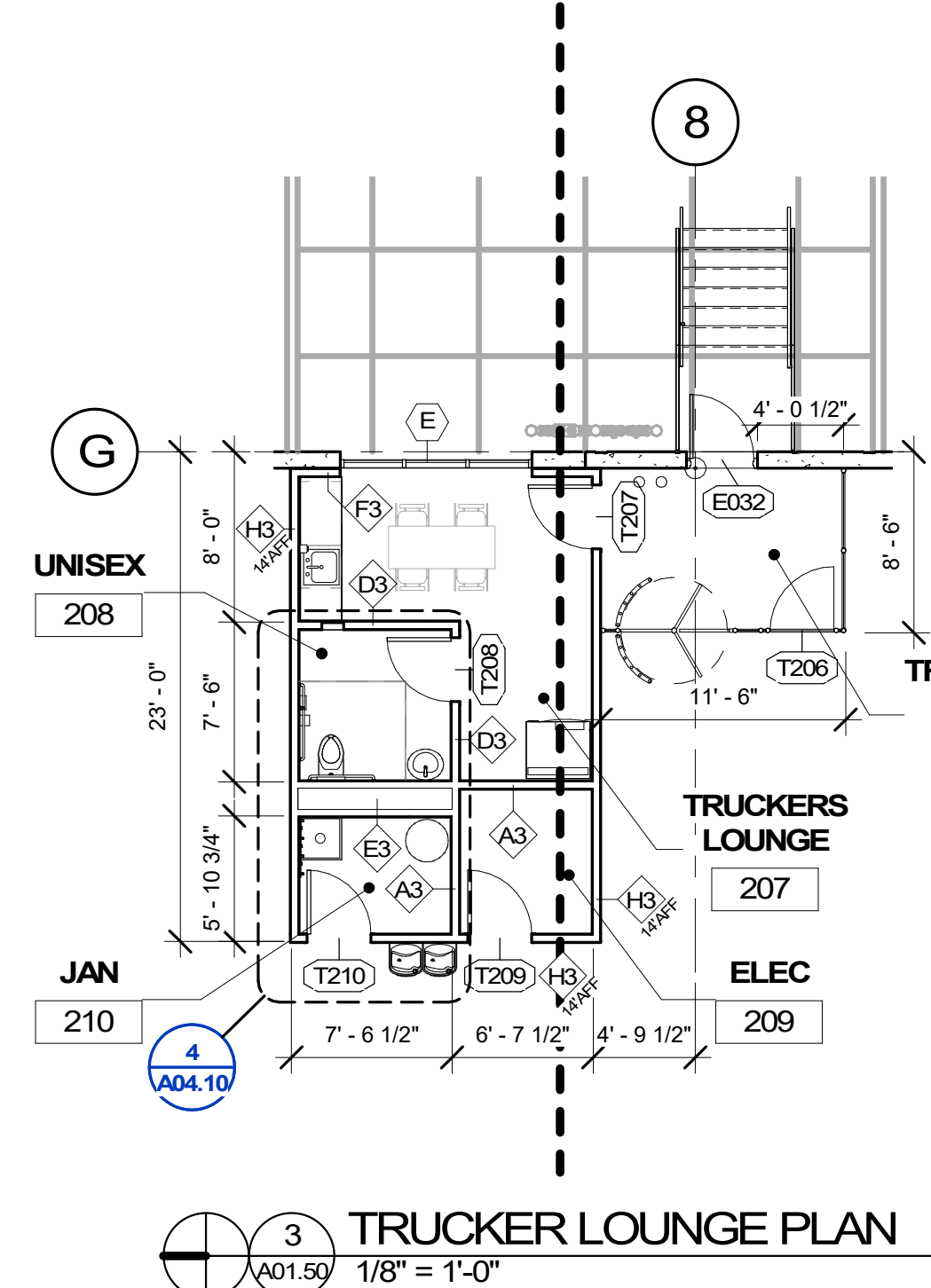
CENTERLINE	CL
PANEL JOINT	PJ
POUR STRIP	PS
CONTROL JOINT	CJ
CONSTRUCTION JOINT	CONST
OUTSIDE FACE	OSF
UNDERSLAB VAPOR BARRIER	OSF
CLEAN OUT, SEE PLUMBING	CO
FLOOR SINK, SEE PLUMBING	FS
ROOF DRAIN, SEE AND PLUMBING	RD
OVERFLOW ROOF DRAIN	RDO
SEE AND PLUMBING	
SANITARY SEWER, SEE PLUMBING	SS
KEYNOTE	7
GRIDLINE (TYP)	0
PANEL, SEE STRUCTURAL	##
FIRE EXTINGUISHER CABINET	FEC

#### KEYNOTES

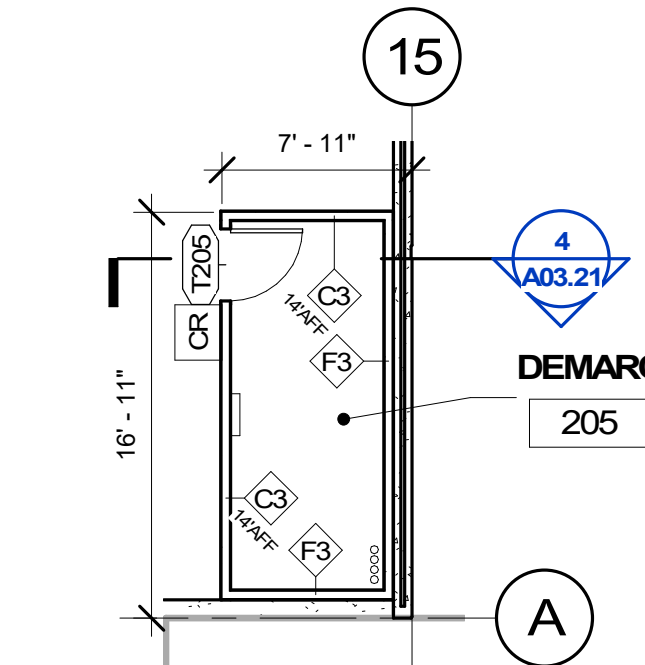
- 12-49 16" OR 48" STEEL GUARDRAIL AT BATTERY CHARGERS ELECTRICAL EQUIPMENT, AND FIRE RISERS. (PAINT PT-6)



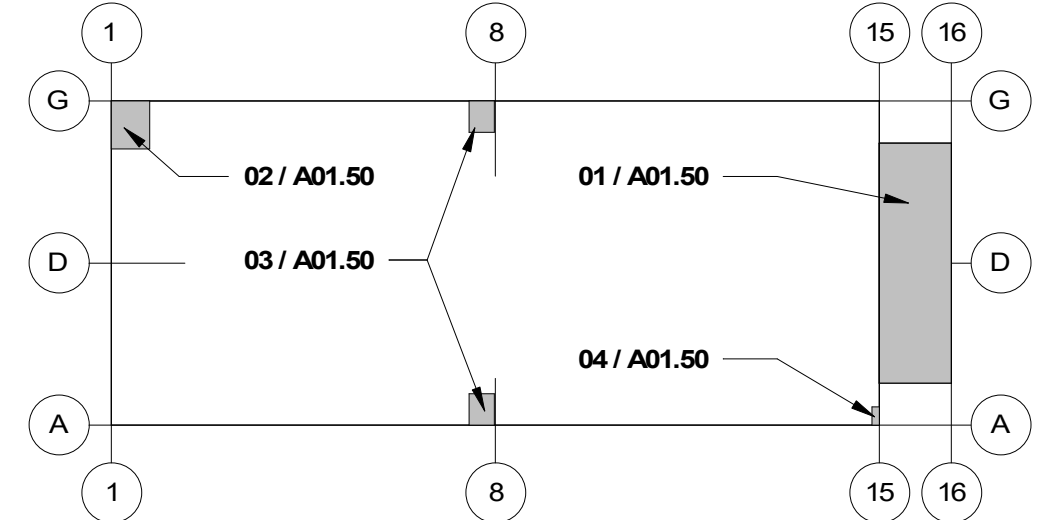
2 BREAK ROOM PLAN  
1/8" = 1'-0"



3 TRUCKER LOUNGE PLAN  
1/8" = 1'-0"



4 DEMARC PLAN  
1/8" = 1'-0"



KEY PLAN

PERMIT SET - SEPTEMBER 21, 2020

**PORTLAND MEADOWS**  
PDXx-LOT C & F  
9475 N HORSESHOE AVE  
PORTLAND, OR 97217

**PROLOGIS**

4380 SW MACADAM AVE.  
SUITE 285, PORTLAND OR  
97239

Date 9/21/2020 Project No. 2200335.00  
Sheet Title ENLARGED FLOOR PLANS

Sheet No. **A01.50**  
Released for Construction  
Not Released for Construction