

## Development Services

### From Concept to Construction

Phone: 503-823-7300 Email: [bds@portlandoregon.gov](mailto:bds@portlandoregon.gov) 1900 SW 4th Ave, Portland, OR 97201  
More Contact Info (<http://www.portlandoregon.gov/bds/article/519984>)



#### APPEAL SUMMARY

**Status:** Hold for Additional Information

<b>Appeal ID:</b> 24409	<b>Project Address:</b> 1111 SE Tenino St
<b>Hearing Date:</b> 11/25/20	<b>Appellant Name:</b> Edward Radulescu
<b>Case No.:</b> B-014	<b>Appellant Phone:</b> 5036792493
<b>Appeal Type:</b> Building	<b>Plans Examiner/Inspector:</b> Sloan Shelton
<b>Project Type:</b> commercial	<b>Stories:</b> 3 <b>Occupancy:</b> R-2 <b>Construction Type:</b> V-B
<b>Building/Business Name:</b> SE 11th Apartments 1	<b>Fire Sprinklers:</b> Yes - NFPA 13R Throughout
<b>Appeal Involves:</b> Erection of a new structure	<b>LUR or Permit Application No.:</b> 19-265965-CO
<b>Plan Submitted Option:</b> mail [File 1] [File 2] [File 3] [File 4]	<b>Proposed use:</b> R-2 Apartments

#### APPEAL INFORMATION SHEET

##### Appeal item 1

<b>Code Section</b>	705.2
<b>Requires</b>	Cornices, eave overhangs, exterior balconies and similar projections extending beyond the exterior wall shall conform to the requirements of this section and Section 1406. Exterior egress balconies and exterior exit stairways and ramps shall also comply with Sections 1019 and 1026, respectively. Projections shall not extend any closer to the line used to determine the fire separation distance than shown in Table 705.2.
<b>Code Modification or Alternate Requested</b>	Applicant wishes to upgrade the sprinkler system to a full NFPA 13, construct the balconies of fire retardant treated wood, and provide sprinkler heads at the balconies in order to allow for a greater projection.
<b>Proposed Design</b>	This appeal applies to the 4 balconies on the north side and the 2 on the east side of the proposed building - on the north side; 2 at the 2nd floor and 2 at 3rd floor and on the east side 1 on the 2nd floor and 1 on the 3rd floor. The balconies are stacked. The exterior walls of the building are one hour construction, the balcony guardrails are of non-combustible materials, and the deck will be constructed of fire retardant treated wood and heavy timbers for 1-hour construction. The sprinkler system in the building will be upgraded from NFPA 13R to NFPA 13 and sprinkler heads will be provided at each balcony per the Fire Curtain requirements.
<b>Reason for alternative</b>	The reason for the alternate is to allow for the units to have an outdoor recreation area that meets the minimum dimensional standards per the zoning code. By constructing the decks as non-combustible materials, installing sprinkler heads, and upgrading the fire sprinkler system to a full NFPA 13 the life safety and fire protection elements are equivalent to that of the code intent.

##### Appeal item 2

<b>Code Section</b>	705.8, 1027.5
<b>Requires</b>	Openings in exterior walls shall comply with Section 705.8.1 through 705.8.6.2. Table 705.8 allows for openings in a wall with a fire separation distance of 5' to less than 10' and where the openings are unprotected but the building is sprinklered to have 25% openings. 1027.5 requires landings at exterior exit stairs to have a fire separation distance of 10'.
<b>Code Modification or Alternate Requested</b>	The applicant wishes to not have the opening at the exterior stairs be included in the exterior wall opening area calculation and allow the landings to be at a fire separation distance of 5' from the property line.
<b>Proposed Design</b>	The exterior stair on the north side is open on 1 side and has a fire separation distance of 5' at the opening and stair landings from the property line. A water curtain will be proposed at the stair landings on each floor and at the ceiling on the 3rd floor per 705.8.2 in lieu of enclosing the stairs and allowing it to be excluded from the fire separation distance opening area calculation. The exterior walls of the building, including the exterior walls that wrap around the stairs are constructed as 1-hour rated exterior wall assemblies. The exception in 705.8.2 states "Opening protectives are not required where the building is equipped with an automatic sprinkler system in accordance to 903.1.1.1 and the exterior openings are protected by a water curtain using automatic sprinklers approved for that use." The applicant wishes to have this exception apply to the exterior wall opening created by the exterior exit stair.
<b>Reason for alternative</b>	The alternate is to allow for an open air stairway that accesses the units. In order to meet the code the alternate would be to enclose the exit stairs and provide a door. By providing non-combustible materials at the deck, fire sprinklers and water curtain, and 1-hour construction around the exterior stairs the intent for life safety and fire protection is equal to the intent of the code.

## APPEAL DECISION

**1. Decrease in maximum allowable fire separation distance of balcony projection: Hold for additional information.**

**2. Increase in allowable area of exterior wall openings with sprinkler protection: Hold for additional information.**

**Appellant may contact John Butler (503 865-6427) or e-mail at [John.Butler@portlandoregon.gov](mailto:John.Butler@portlandoregon.gov) with questions.**

Additional information is submitted as a no fee reconsideration, following the same submittal process and using the same appeals form as the original appeal. Indicate at the beginning of the appeal form that you are filing a reconsideration and include the original assigned Appeal ID number. The reconsideration will receive a new appeal number.

Include the original attachments and appeal language. Provide new text with only that information that is specific to the reconsideration in a separate paragraph(s) clearly identified as "Reconsideration Text" with any new attachments also referenced. No additional fee is required.

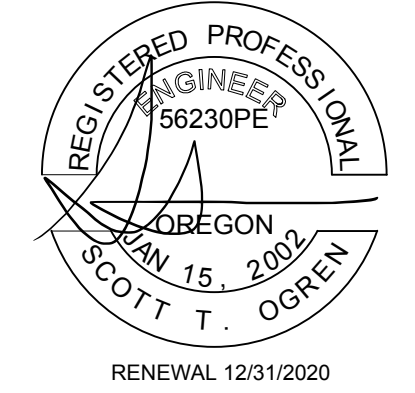


1 WINDOW DETAILS  
A2.0 SCALE: 1/4" = 1'-0"

A FRONT ELEVATION (WEST)  
A2.0 SCALE: 1/4" = 1'-0"

DOOR NO.	LOCATION	DOOR SCHEDULE		RATING	NOTES
		SIZE	HEIGHT		
		WIDTH			
100	TRASH	3'-6"	7'-0"	45 MIN.	
101	UNIT ENTRY	3'-0"	7'-0"	45 MIN.	
102	BEDROOM	3'-0"	6'-8"	-	
103	BATH	3'-0"	6'-8"	-	
104	STORAGE	3'-0"	6'-8"	-	
105	STORAGE	2'-6"	6'-8"	-	
106	CLOSET	4'-0"	6'-8"	-	BI-PASS DOORS
107	CLOSET	6'-0"	6'-8"	-	BI-PASS DOORS
108	FIRE RISER	2'-6"	6'-8"	-	2' TALL TRANSOM
109	UNIT ENTRY	3'-0"	7'-0"	-	
2ND FLOOR					
200	DECK	3'-0"	7'-0"	45 MIN.	
201	UNIT ENTRY	3'-0"	7'-0"	45 MIN.	
202	BEDROOM	3'-0"	6'-8"	-	
203	BATH	3'-0"	6'-8"	-	
204	STORAGE	2'-6"	6'-8"	-	
205	NOT USED	-	-	-	
206	CLOSET	4'-0"	6'-8"	-	BI-PASS DOORS
207	CLOSET	4'-0"	6'-8"	-	BI-PASS DOORS
208	CLOSET	5'-0"	6'-8"	-	BI-PASS DOORS
209	DECK	3'-0"	7'-0"	-	1' TALL TRANSOM
THIRD FLOOR					
300	DECK	3'-0"	7'-0"	45 MIN.	
301	UNIT ENTRY	3'-0"	7'-0"	45 MIN.	
302	BEDROOM	3'-0"	6'-8"	-	
303	BATH	3'-0"	6'-8"	-	
304	STORAGE	2'-0"	6'-8"	-	
305	NOT USED	-	-	-	
306	CLOSET	4'-0"	6'-8"	-	BI-PASS DOORS
307	CLOSET	4'-0"	6'-8"	-	BI-PASS DOORS
308	CLOSET	5'-0"	6'-8"	-	BI-PASS DOORS
309	DECK	3'-0"	7'-0"	-	1' TALL TRANSOM

NOTE: PROVIDE LEVER TYPE HARDWARE @ ALL DOORS



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DRAWN BY:		CHECKED BY:	
SCALE:		ISSUE DATE:	
1/4"=1'-0"		10.18.19	
REVISIONS:			
1		6.24.20	
		LIFE SAFETY	
2		5.12.20 ZONING	

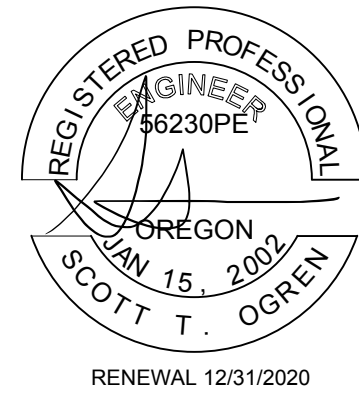
Balcony Projections



B RIGHT SIDE  
ELEVATION (SOUTH)  
A2.0 SCALE: 1/4" = 1'-0"

11TH AVE  
19-UNIT APARTMENT HOUSE  
8134 SE 11TH AVE  
PORTLAND, OREGON  
EPR DESIGN





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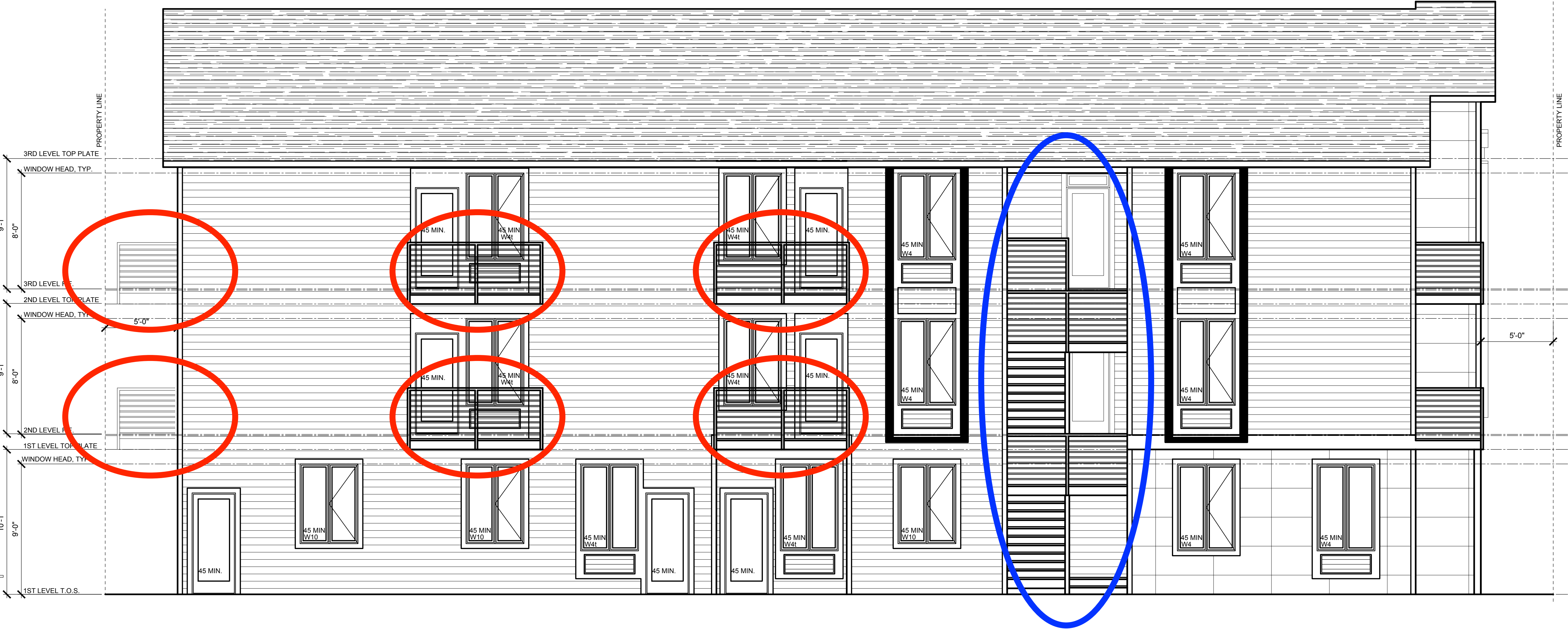
REVISIONS:  
1 6.24.20  
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**11TH AVE**  
**19-UNIT APARTMENT HOUSE**  
**8134 SE 11TH AVE**  
**PORTLAND, OREGON**  
**EPR DESIGN**

8134 SE 11TH 19\_UNIT\_FLR

**A2.1**

**C LEFT SIDE  
ELEVATION (NORTH)**  
SCALE: 1/4" = 1'-0"



**1 NORTH ELEVATION NOTES:**  
WALL AREA & OPENINGS PER STORY:  
BASED ON FIRE SEPARATION DISTANCE:  
5' TO LESS THAN 10' FROM PROPERTY LINE:  
MAX. ALLOWABLE OPENINGS = 10% AS UNPROTECTED / NON-SPRINKLERED; 25% AS  
PROTECTED OR SPRINKLERED.  
1ST FLOOR WALL AREA AT 5' TO LESS THAN 10' OF FIRE SEPARATION DISTANCE: 891 S.F.  
WALL OPENINGS: 225 S.F.  
225/891=25% (25% ALLOWED AS PROTECTED)  
2ND FLOOR WALL AREA AT 5' TO LESS THAN 10' OF FIRE SEPARATION DISTANCE: 775 S.F.  
WALL OPENINGS: 138 S.F.  
138/775=18% (25% ALLOWED AS PROTECTED)  
3RD FLOOR WALL AREA AT 5' TO LESS THAN 10' OF FIRE SEPARATION DISTANCE: 775 S.F.  
WALL OPENINGS: 138 S.F.  
138/775=18% (25% ALLOWED AS PROTECTED)

**1 EAST ELEVATION NOTES:**  
WALL AREA & OPENINGS PER STORY:  
BASED ON FIRE SEPARATION DISTANCE:  
5' TO LESS THAN 10' FROM PROPERTY LINE:  
MAX. ALLOWABLE OPENINGS = 10% AS UNPROTECTED / NON-SPRINKLERED; 25% AS  
PROTECTED OR SPRINKLERED.  
1ST FLOOR WALL AREA AT 5' TO LESS THAN 10' OF FIRE SEPARATION DISTANCE: 461 S.F.  
WALL OPENINGS: 90.5 S.F.  
90.5/461=20% (25% ALLOWED AS PROTECTED)  
2ND FLOOR WALL AREA AT 5' TO LESS THAN 10' OF FIRE SEPARATION DISTANCE: 401 S.F.  
WALL OPENINGS: 99 S.F.  
99/401=25% (25% ALLOWED AS PROTECTED)  
3RD FLOOR WALL AREA AT 5' TO LESS THAN 10' OF FIRE SEPARATION DISTANCE: 401 S.F.  
WALL OPENINGS: 99 S.F.  
99/401=25% (25% ALLOWED AS PROTECTED)

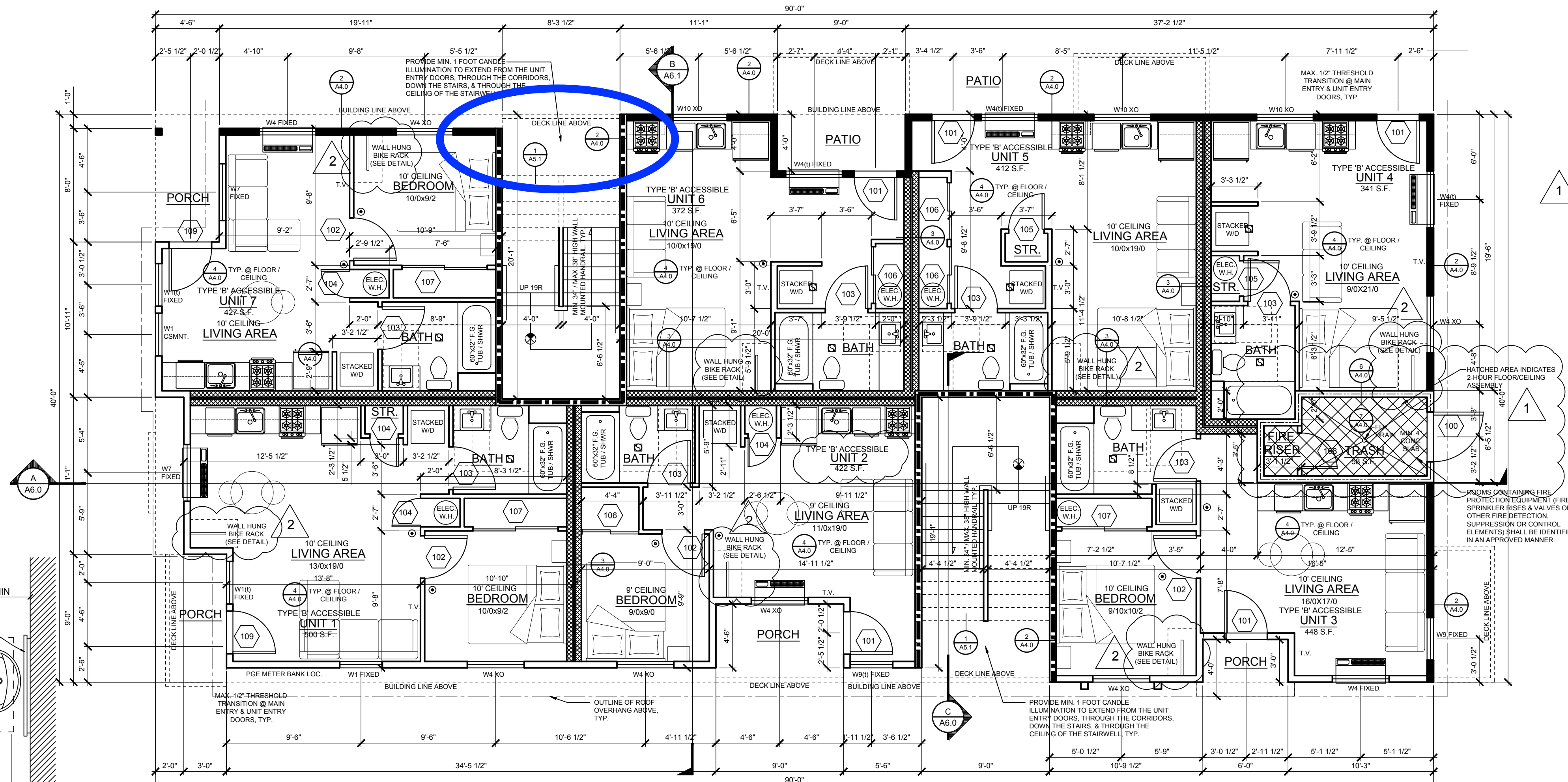
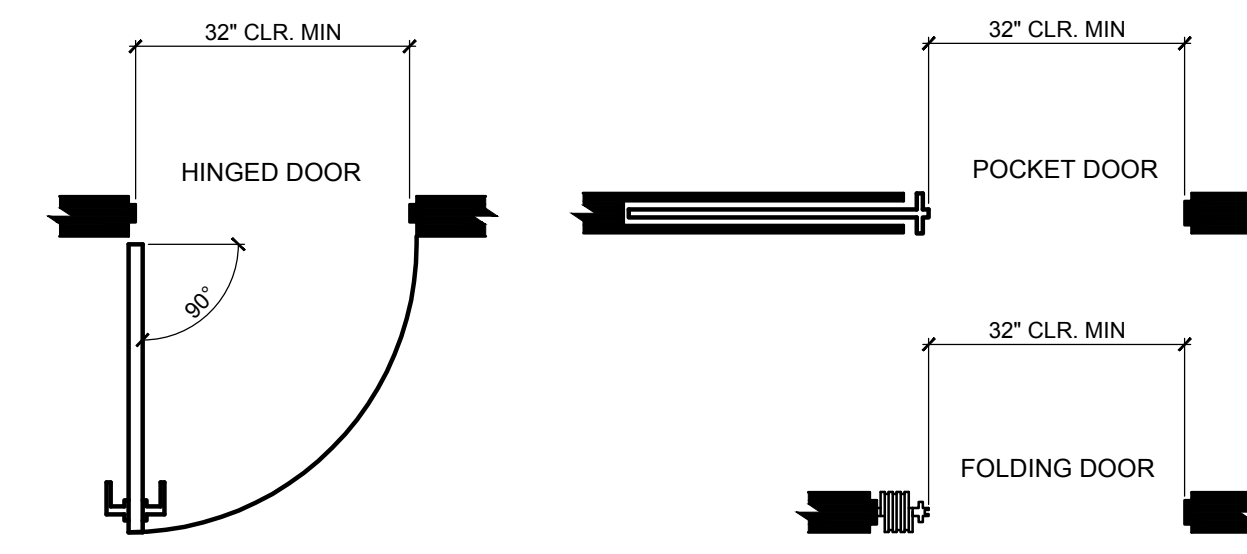
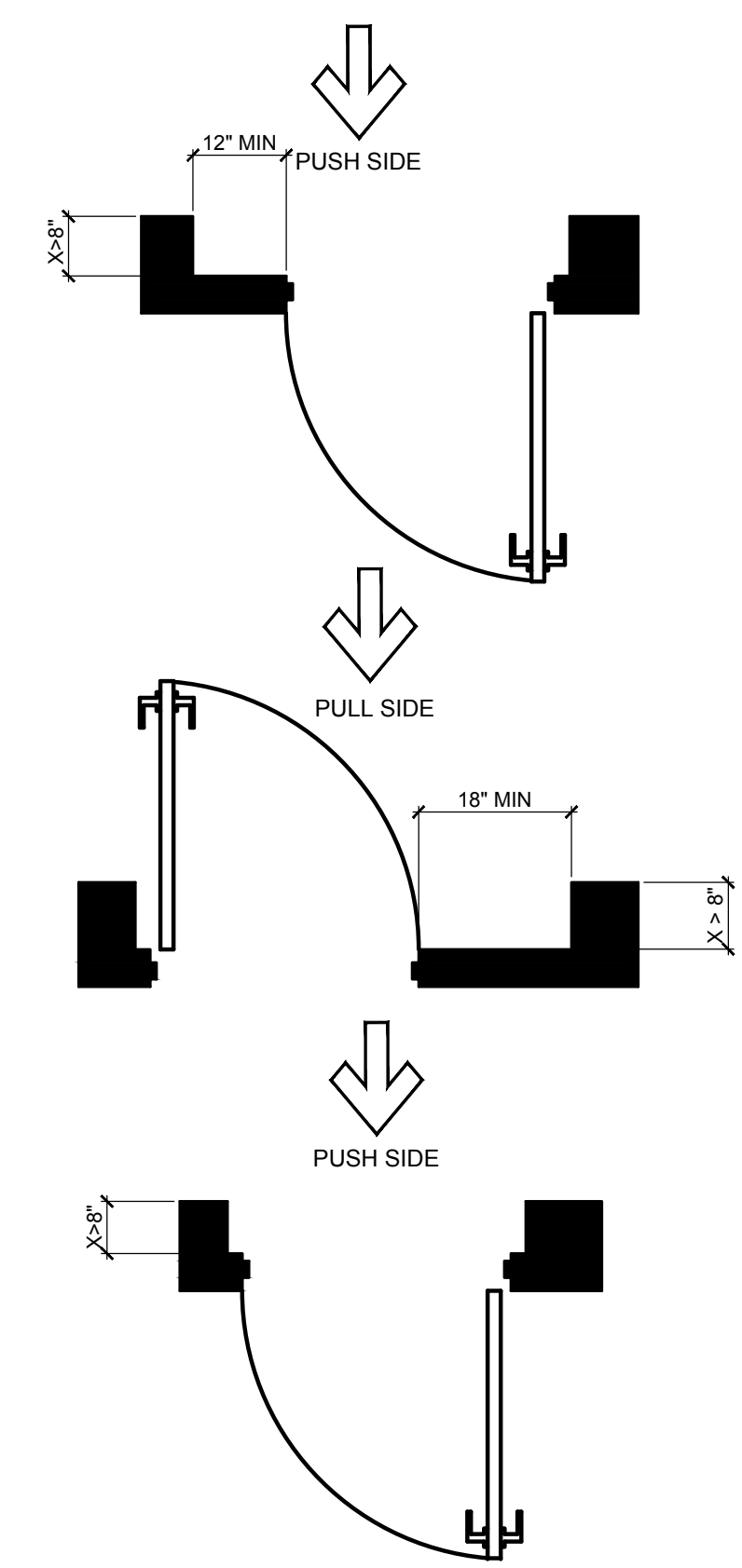
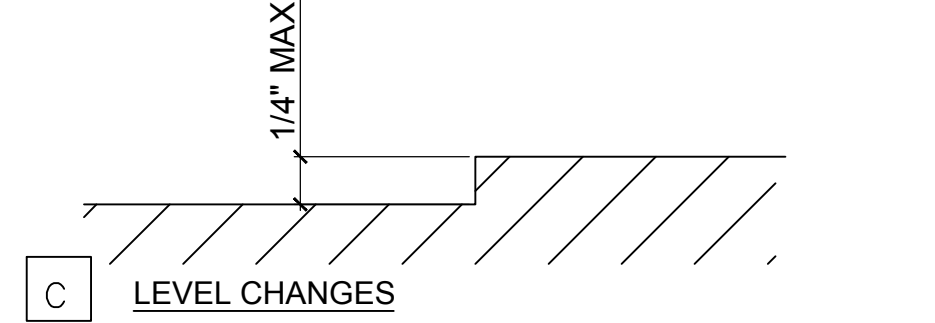
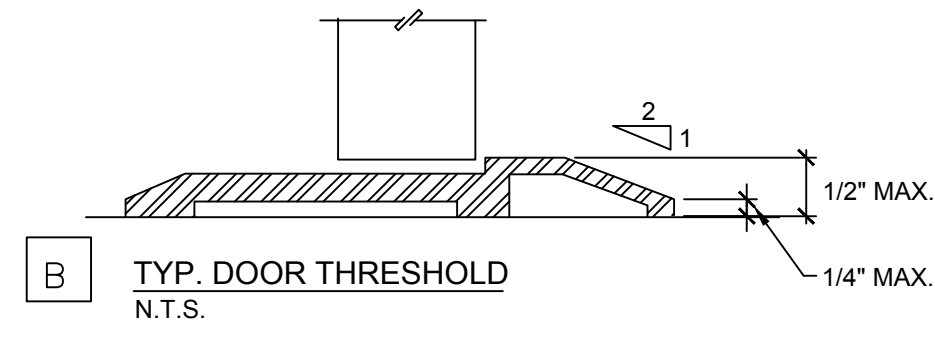
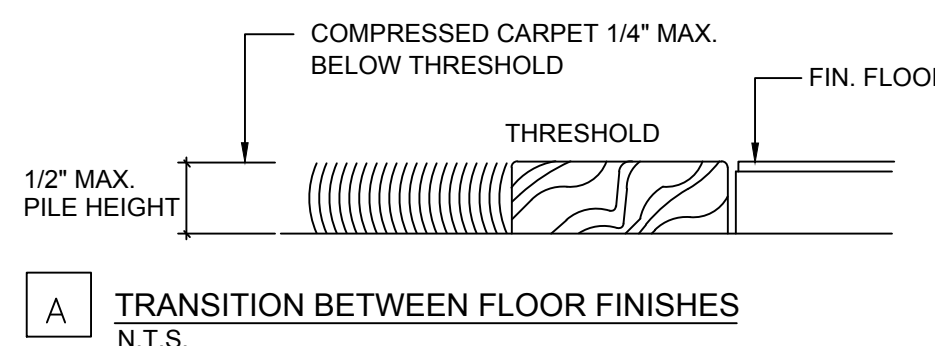
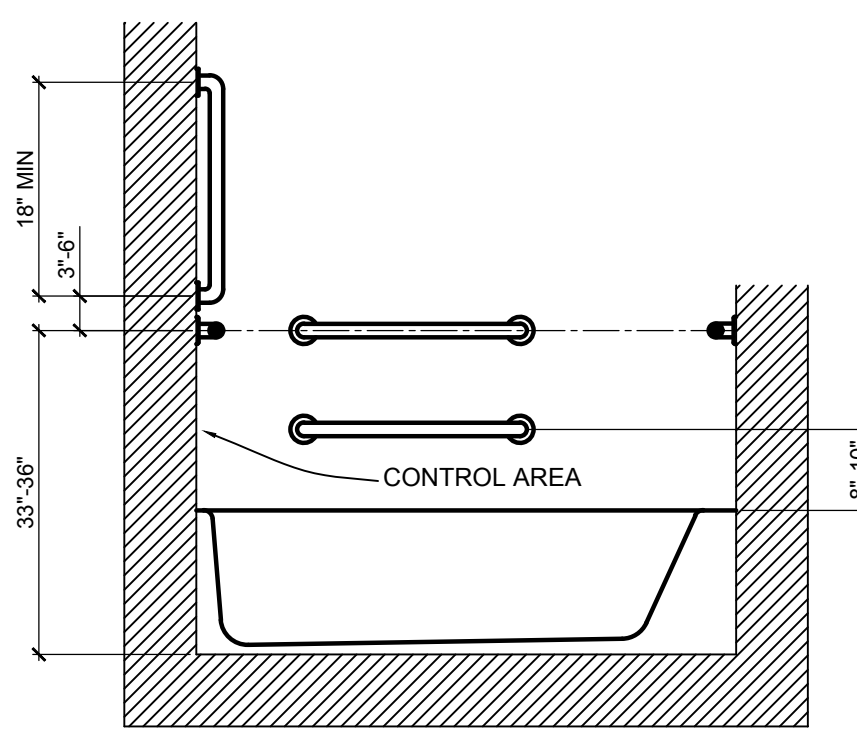
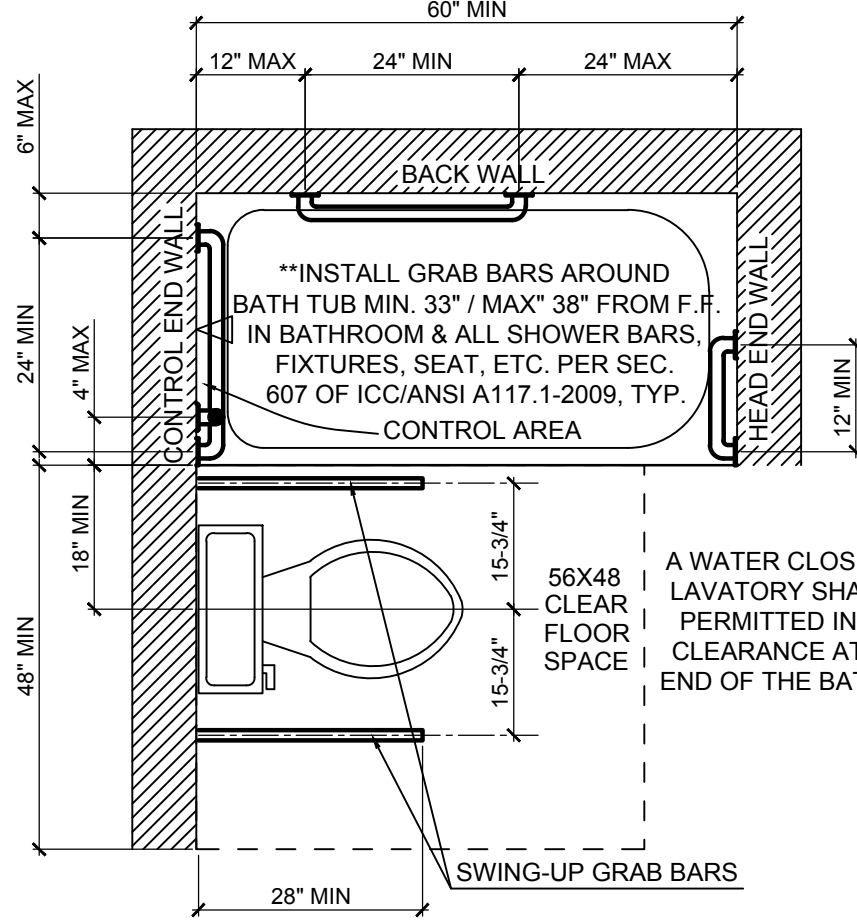
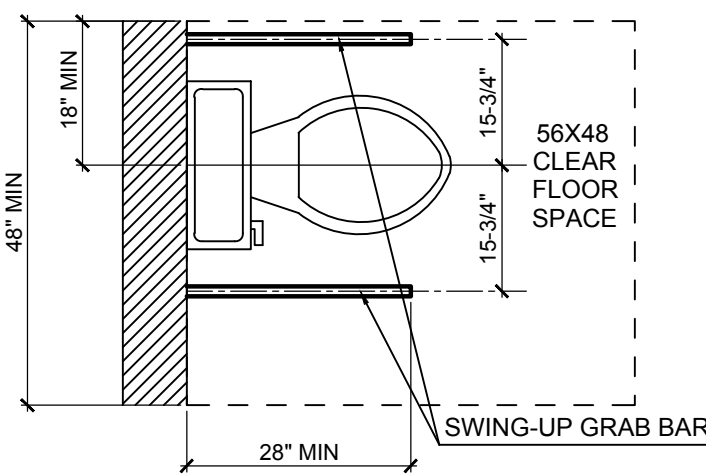
**Exterior Wall Opening**  
**Balcony Projections**

**D REAR ELEVATION (EAST)**  
SCALE: 1/4" = 1'-0"





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1

2-HOUR WALLS W/ MIN.  
50 STC (SEE DETAIL 6 ON A4.0)

1-HOUR FIRE BARRIER (SEE DETAIL 2  
ON A4.0 AND DETAILS ON A4.1)

# GENERAL NOTES:

1. WINDOW HEAD HEIGHTS:  
SEE BUILDING ELEVATIONS.  
PROJECT PROVIDES OPERATING CONTROL DEVICE (WINDO) AT 4'1" 2ND & 3RD LEVEL  
OPERATING WINDOWS THAT MEET ASTM F2000  
STANDARD INSTALLED STANDARD  
PROJECT PROVIDES WINDOW PREVENTION  
DEVICES WITH EMERGENCY EGRESS (EGRESS)  
RELEASE MECHANISM.
2. ALL GLAZING "OR" LESS ABOVE F.F. TO BE  
TEMPERED GLASS TYPE.
3. ALL DOOR HEADINGS @ TYPE "B" ACCESSIBLE  
UNITS SHALL BE LEVER TYPE U.N.O.
4. 1 THRESHOLD @ ENTRY DOORS TO PER MAX  
1" MIN. W/ 1/2" MAX. SLOPE. 1/2" PER IBC  
A117.1 SEC. 404.4 & FIGURE 303.3
5. GENERAL NOTES ON SHEET G1 FOR  
DETAILS ON CONSTRUCTION COMPONENTS &  
DETAILS ON ACCESSORIES.
6. PROVIDE GFI OUTLETS AT ALL KITCHEN,  
LAUNDRY, & BATH LOCATIONS.
7. PROVIDE P-TAC UNITS FOR HEATING &  
COOLING SYSTEMS @ EACH UNIT. PROVIDE  
MECHANICAL EXHAUST FOR EACH UNIT AS  
REQUIRED (BY OTHERS). SHALL.
8. WATER HEATERS SHALL BE ELECTRIC. TYPE  
1A.  
EXHAUST DUCTING FROM APPLIANCES &  
FURNACES TO BE GAS TIGHT. DUCTING  
EXHAUST OUTLETS TO BE MIN. 3" FROM  
OPERABLE WINDOWS. TYPE.
9. RANGE HOODS SHALL TERMINATE AT THE  
OUTSIDE AIR EXHAUST & A MIN. 12" DUCTS  
SERVING THE RANGE HOODS.  
DO NOT INSTALL AT THE CEILING SPACE OR  
AREAS INSIDE THE BUILDING.

**GENERAL ACCESSIBILITY NOTES:**  
**PROVIDE P.T. SOLID BLOCKING IN STUD WALL CAVITIES**  
**@ ALL WALL MOUNTED FIXTURES INCLUDING:**  
**TOILET ACCESSORIES, GRAB BARS, & WALL MOUNTED**  
**LAVS. ALL GRAB BARS & FIXTURES SHALL BE INSTALLED**  
**TO RESIST A SINGLE CONCENTRATED LOAD OF 250#**  
**APPLIED IN ANY DIRECTION AT ANY POINT ON THE**  
**GRAB BAR OR FIXTURE.**

BATHTUB PLAN VIEW  
BATHROOM CLEARANCE IN TYPE B UNITS - OPTION A BATHROOMS  
(ICC A117.1-2009 FIG. 1004.11.3.1.3.2)

BATHTUB ELEVATION  
BATHROOM CLEARANCE IN TYPE B UNITS - OPTION A BATHROOMS  
(ICC A117.1-2009 FIG. 1004.11.3.1.3.2)

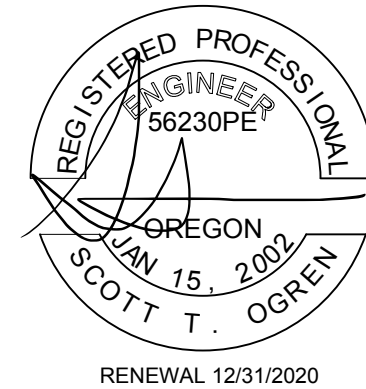
**NOTES:**

1. 1/2" MAXIMUM TOTAL HEIGHT WITH 1/4" MAXIMUM VERTICAL CHANGE AT EDGE.
2. 1 : 2 SLOPED BEVEL REQUIRED IF LEVEL CHANGE IS OVER 1/4" VERTICAL LEVEL CHANGE.
3. 1/4" MAXIMUM VERTICAL LEVEL CHANGE.

## CLEARANCE LATCH SIDE OF ACCESSIBLE DOORS

## CLEAR WIDTH OF ACCESSIBLE DOORWAYS





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1/4" = 1'-0"	2.6.20
REVISIONS:	
1	6.24.20 LIFE SAFETY

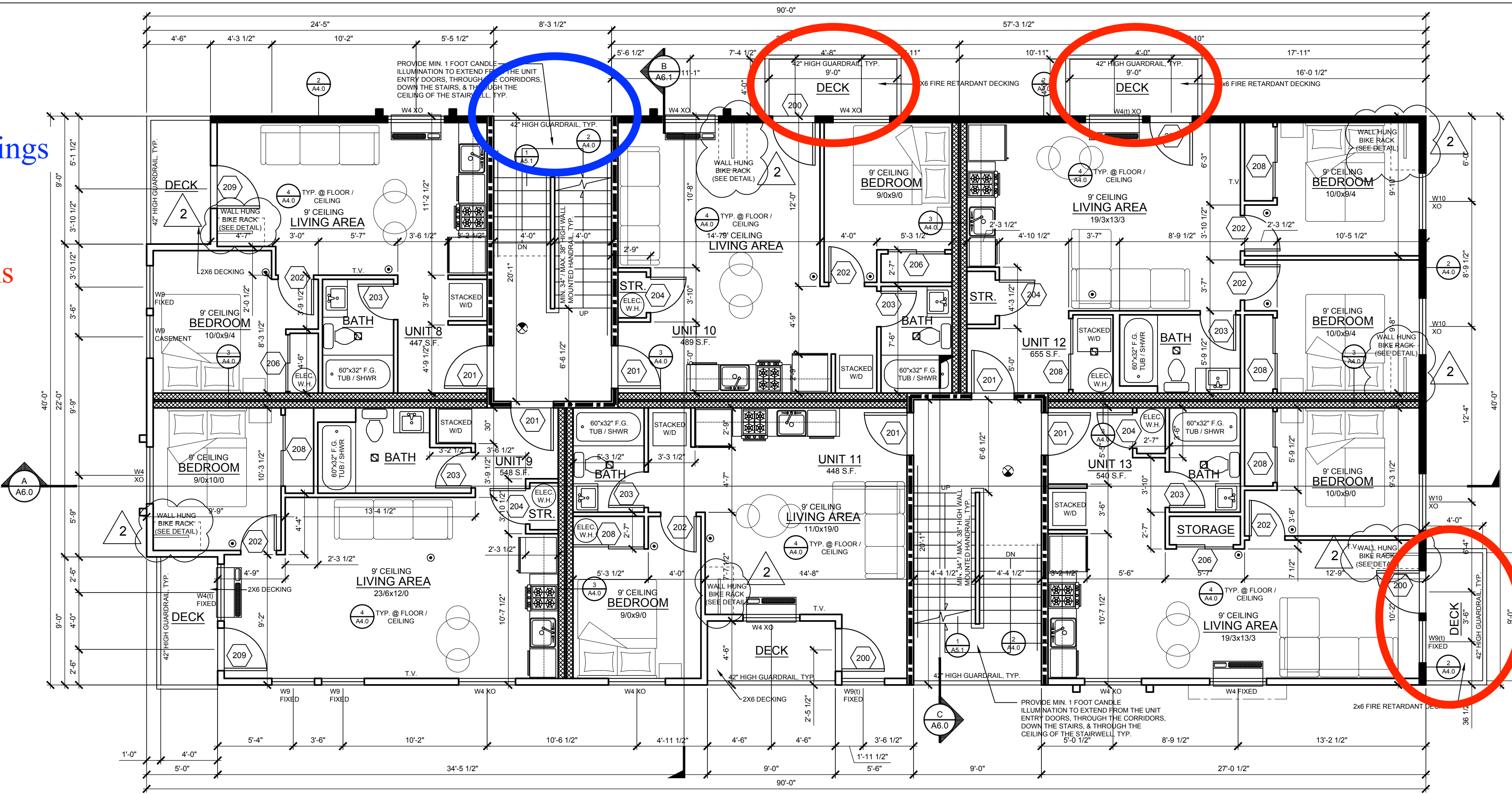
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8134 SE 11TH 19 UNIT\_FLR

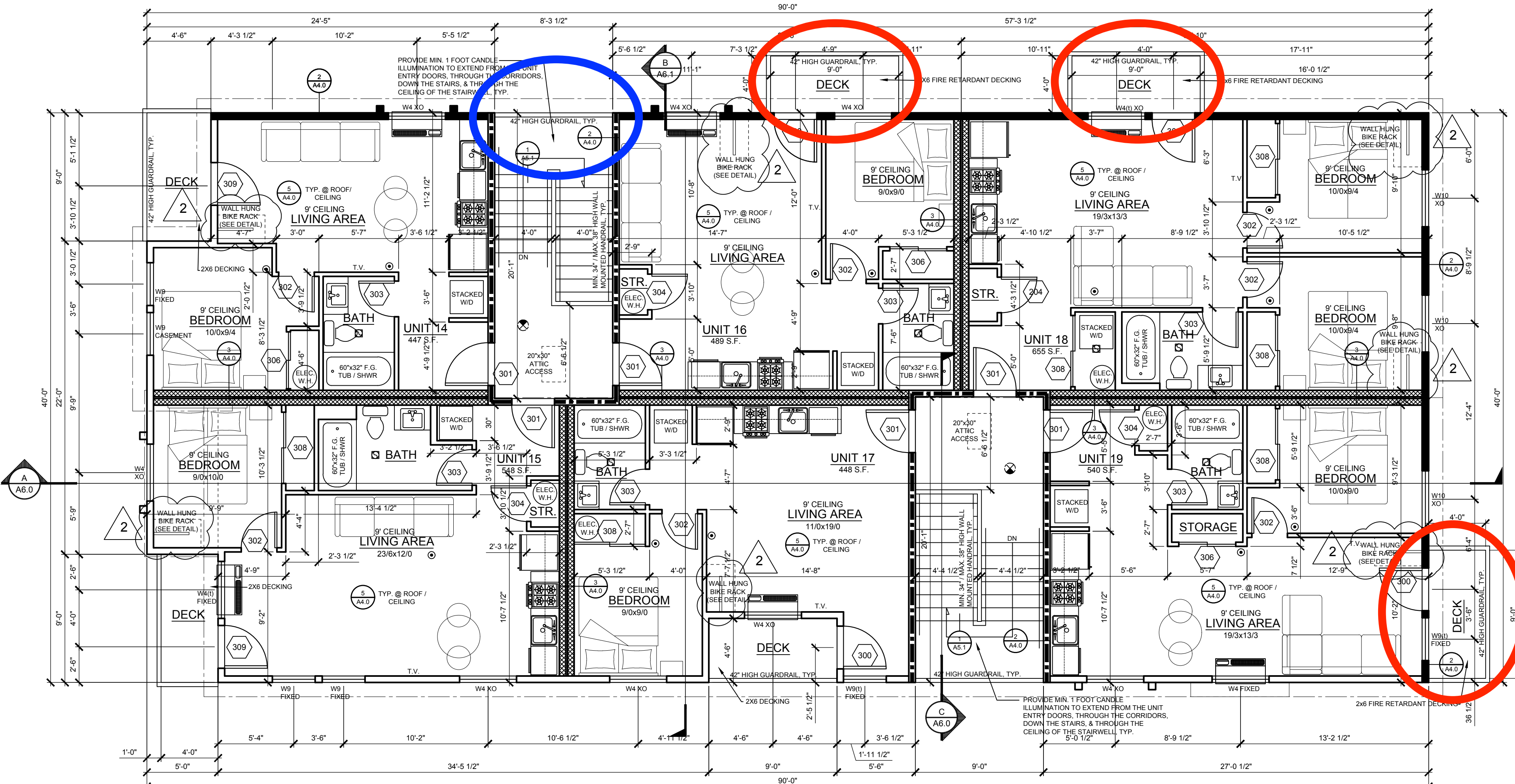
A3.1

Exterior wall openings

Balcony projections



**2ND LEVEL FLOOR PLAN**  
SCALE: 3/16" = 1'-0"  
TOTAL FLOOR AREA: 3,127 S.F.



**3RD LEVEL FLOOR PLAN**  
SCALE: 3/16" = 1'-0"  
TOTAL FLOOR AREA: 3,127 S.F.

- LEGEND:**
- 2-HOUR FIRE PARTITION BETWEEN DWELLING UNITS W/ MIN. 50 STC (SEE DETAIL 3 ON A4.0)
  - 1-HOUR EXTERIOR WALLS (SEE DETAIL 2 ON A4.0)
  - 1-HOUR INTERIOR WALLS W/ MIN. 50 STC (SEE DETAIL 1 ON A4.0)
  - 2-HOUR WALLS W/ MIN. 50 STC (SEE DETAIL 6 ON A4.0)
  - 1-HOUR FIRE BARRIER (SEE DETAIL 2 ON A4.0 AND DETAILS ON A4.1)
  - 80 CFM BATH OR LAUNDRY FAN W/ TIMER SWITCHES & DEHUMIDISTAT. VENT TO OUTSIDE AIR W/ MIN. 28 GA. STEEL DUCTING, TYP.
  - 110V. COMBO SMOKE & CARBON MONOXIDE ALARM W/ BATTERY BACK-UP, TYP.
  - COMBINATION EXIT SIGN W/ EGRESS ILLUMINATION & BATTERY BACKUP (MIN. 1 FOOT CANDLE ILLUMINATION) THE 1 FOOT CANDLE ILLUMINATION LEVEL MUST EXTEND FROM THE UNIT ENTRY DOORS, THROUGH THE STAIR EXIT CORRIDOR, DOWN THE STAIRS, & THROUGH THE CEILING OF THE ENTRY PORCH, TYP.
  - SEE DOOR SCHEDULE ON SHEET A2.0 FOR DOOR DETAILS
- GENERAL NOTES:**
- WINDOW HEAD HEIGHTS SEE BUILDING ELEVATIONS. PROVIDE A WINDOW OPENING CONTROL DEVICE (WOC) @ ALL 2ND & 3RD LEVEL OPERABLE WINDOWS THAT MEET ASTM F2090 STANDARD ENTITLED "STANDARD SPECIFICATION FOR WINDOW FALL PREVENTION DEVICES WITH EMERGENCY ESCAPE (EGRESS) RELEASE MECHANISM"
  - ALL GLAZING 18" OR LESS ABOVE F.F.E. TO BE TEMPERED GLASS, TYP.
  - ALL DOOR HANDLES @ TYPE "B" ACCESSIBLE UNITS SHALL BE LEVER TYPE UNITS.
  - THRESHOLD @ ENTRY DOORS TO BE MAX. 1/2" IN HEIGHT W/ BEVELED EDGES PER ICC A117.1 SEC. 404.2.4 FIGURE 303.3
  - SEE GENERAL NOTES ON SHEET G1 FOR DETAILS ON CONSTRUCTION COMPONENTS & ENERGY CODE REQUIREMENTS.
  - PROVIDE GFI OUTLETS @ ALL KITCHEN, LAUNDRY, & BATH LOCATIONS, TYP.
  - PROVIDE P-TAC UNITS FOR HEATING & COOLING SYSTEMS @ EACH UNIT. PROVIDE MECHANICAL VENTILATION FOR EACH UNIT AS REQUIRED (BY OTHERS), TYP.
  - WATER HEATERS SHALL BE ELECTRIC, TYP.
  - ALL VENT DUCTING FROM APPLIANCES & FANS TO BE MIN. 28 GA. STEEL DUCTING. EXHAUST OUTLETS TO BE MIN. 3'-0" FROM OPERABLE WINDOWS.
  - RANGE HOODS SHALL TERMINATE TO THE OUTSIDE AIR THROUGH A SINGLE-WALL DUCT. DUCTS SERVING THE RANGE HOODS SHALL NOT TERMINATE IN AN ATTIC, CRAWL SPACE OR AREAS INSIDE THE BUILDING.
  - KITCHEN VENTILATION SYSTEM SHALL HAVE A CAPACITY OF 160cfm INTERMITTENT OR 25cfm CONTINUOUS.
  - BATHROOMS WITH BATHING & SPA SHALL HAVE A VENTILATION SYSTEM CAPACITY OF 80cfm MIN. INTERMITTENT OR 20cfm CONTINUOUS. THESE FANS ARE TO BE CONTROLLED WITH A TIMER OR DEHUMIDISTAT.
  - TOILET ROOMS WITHOUT BATHING OR SPA SHALL HAVE A VENTILATION SYSTEM CAPACITY OF 80cfm MIN. THESE FANS ARE TO BE CONTROLLED WITH A TIMER OR DEHUMIDISTAT.
  - DRYER VENT SHALL TERMINATE TO THE OUTSIDE AIR WITH A MAXIMUM LENGTH OF 25'-0". THE MAXIMUM LENGTH SHALL BE REDUCED 2'-0" FOR EACH 45° BEND & 5'-0" FOR EACH 90° BEND. THE MAXIMUM LENGTH OF THE EXHAUST DUCT DOES NOT INCLUDE THE TRANSITION DUCT.
  - VERIFY ALL WINDOW / DOOR ROUGH OPENINGS W/ MANUFACTURER, TYP.
  - TYP. STAIR TREADS TO HAVE A MAX. 7" RISE & MIN. 11" TREAD DEPTH. PROVIDE A 3/4" MIN. / 8" MAX. HIGH HANDRAIL ON BOTH SIDES OF STAIRS. GUARDRAILS TO BE 42" HIGH MIN SEE DETAIL ON SHEET A5.1, TYP.
  - TYPICAL INTERIOR SHEATHING @ NON-RATED WALLS & CEILINGS: 5/8" GYPSUM WALL BOARD, TYP.
  - SEE SHEET A4.0 & A4.1 FOR FIRE RATED ASSEMBLY DETAILS, TYP.
  - FIRE-RESISTING MATERIAL TO BE MIN. 2x LUMBER OR (2) LAYERS OF 1" NOM. LUMBER W/ BROKEN LAP JOINTS OR OTHER APPROVED MATERIAL, METHOD, TYP.
  - DRAFTSTOP MATERIAL TO BE MIN. 1/2" GYPSUM BRD. OR OTHER APPROVED MATERIAL (METHOD), TYP.
  - ALL EXTERIOR DECKS SHALL BE CONSTRUCTED OF HEAVY TIMBER MEMBERS: STRUCTURAL BEAMS MIN. 4"x12" DECK JOISTS MIN. 2" NOMINAL WIDTH 12" DECKING MIN. 2" NOMINAL WIDTH 1/2" PROVIDE TYP. 13 WATER CURTAIN SPRINKLER PROTECTION @ DECK PROJECTIONS PER 2018 IBC W/ SPRINKLER HEADS SPACED NOT MORE THAN 6' O.C. & PLACED A MIN. OF 6" & A MAX. OF 2" BELOW THE PROJECTIONS. A SEPARATE PERMIT FROM THE FIRE MARSHAL'S OFFICE IS REQUIRED.
  - SEE SHEET A5.1 FOR BIKE RACK DETAILS & SPACING INFORMATION