



City of Portland, Oregon
Bureau of Development Services
Land Use Services
 FROM CONCEPT TO CONSTRUCTION

Dan Ryan, Commissioner
 Rebecca Esau, Director
 Phone: (503) 823-7300
 Fax: (503) 823-5630
 TTY: (503) 823-6868
 www.portland.gov/bds

RECORDER

Please stamp the County Recorder's copy of the recording sheet and return with the attached decision to City of Portland, BDS 299/5000/BDS LUR

Multnomah County Official Records		2022-092506
E Murray, Deputy Clerk		
		10/06/2022 12:53:24 PM
LUA-LUA	Pgs=8 Stn=25 ATRA	\$111.00
\$40.00	\$11.00 \$60.00	

Date: 9/21/2022
To: Interested Person
From: Tanya Paglia, Land Use Services
 503-865-6518 / Tanya.Paglia@portlandoregon.gov

NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has approved a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision. The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 22-157148 DZM – SW PARK APARTMENTS

GENERAL INFORMATION

Site Address: 2057 SW PARK AVE
Owner: Park Avenue PSU LLC
 5331 S Macadam Ave Ste 258 Pmb 208 | Portland, OR 97239
Applicants: Ralph Tahrán | Tahrán Architecture & Planning LLC
 13741 Knaus Road | Lake Oswego, OR 97034
ralphtahrán@comcast.net

Developer: Nathaniel Rosemeyer | Main Street Development
4035 S Kelly St | Portland, OR 97239

Representative: Rowen Rystadt | Park Ave PSU LLC
5331 SW Macadam Ave #258 Pmb 208 | Portland, OR 97239

Legal Description: BLOCK 234 E 70' OF LOT 1 N 1/2 OF LOT 2, PORTLAND; BLOCK 234 N 1/2 OF LOT 2, PORTLAND

Tax Account No.: R667725410, R667725450

State ID No.: 1S1E04DA 08800, 1S1E04DB 00700

Quarter Section: 3228

Neighborhood: Southwest Hills Residential League, contact at landuse@swhrl.org

Business District: None

District Coalition: Neighbors West/Northwest, contact Darlene Urban Garrett at darlene@nwnw.org

Plan District: None

Zoning: **RM4d**, Residential Multi-Dwelling 4 with a Design Overlay

Case Type: **DZ**, Design Review

Procedure: **Type II**, an administrative decision with appeal to the Design Commission.

Proposal:

The applicant seeks design review approval for a proposed 12-story affordable housing apartment building with 98 residential units.

Note: The current proposal is an updated version of a previously approved project that was approved by a Type II design review, LU 20-213946 DZ, that was submitted on 11/9/2020 and approved on 3/18/2021. The previously approved project also went through a voluntary Design Advice Request (DAR) with the Portland Design Commission, EA 20-158166 DA, held on 8/6/2020 prior to submitting the initial land use review. The original Type II approval was appealed on 4/8/2021 on the appellant's claims of a procedural error and the public hearing for the appeal was held in front of the Portland Design Commission on 5/6/2021. After deliberation, the Design Commission voted 6-0 to deny the appeal.

The primary difference between the currently proposed project, and the previously approved one is that the building is one story larger. The previous building was 11-stories, and the current is 12-stories. There are also two new Modification requests to street lot-line setbacks in the current proposal. Finally, the current proposal includes an alternate option which the previous proposal did not include. This is described under "Alternate Option" below.

The majority of the 12-story structure will be prefabricated and the modular units with a stucco panel exterior will be assembled on site. The proposed building will be set into the sloping site with the main entry lobby at existing sidewalk grade on SW Park Avenue with an arcaded entry plaza wrapping the corner of SW Park Avenue and SW Clifton St. The 6,000 SF site located at the southeast corner of SW Clifton St and SW Park Ave is currently developed with two older, two-story single-family homes that will be deconstructed. The building will not exceed 109' in height (zoning code allows 110' maximum; as final details are worked out with mechanical and fire suppression systems, etc., ceilings may be raised a little from approved drawings but will not exceed 109').

Alternate Option (see plan set page C21-30): A 3'-7" strip of land along the western property line is a disputed area of the subject site at the time of this review. The applicant thus also seeks approval for an alternate option of the proposal that mirrors the first in every way but is a slightly smaller building in order to accommodate the smaller alternate lot size.

Modification requests [PZC 33.825.040]:

1. Reduce the required minimum front building setback from the required 5 feet to 0 feet (33.120.220)
2. Reduce the required minimum side building setback for a lot line that is a street lot line for buildings that are more than 55 feet tall from the required 5 feet to 0 feet (33.120.220)

Design review is required because the proposal is for exterior alterations in a Design Overlay zone.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The previous proposal was subject to a different set of approval criteria, the *Community Design Guidelines*. Code changes that were adopted by Portland City Council on 6/30/2021 and went into effect on 8/1/2021 as part of the Design Overlay Zone Amendments project ushered in an updated set of approval criteria, the *Portland Citywide Design Guidelines*. The relevant approval criteria are:

- Portland Citywide Design Guidelines
- PZC 33.825.040, Modifications that will better meet design review requirements

CONCLUSIONS

The proposed 12-story building will be a gateway building at the south end of the Park Avenue Bridge connecting the Park Blocks across I-405 to the residential pocket in which the building is located. The proposed building reflects the residential context of its immediate neighborhood while also acknowledging its context as part of the southern terminus of the Park Blocks, at the base of the West Hills, in close proximity to the future Green Loop, and as a bridgehead location. The tall glass corner treatment presents a very strong gateway element to the neighborhood, Park Blocks and the central city. The colorful Juliet balconies signal a residential building that is lively and somewhat playful and inviting. The balconies contribute to active façades, more livable units and add human scale and articulation to the building. The base of the building is devoted to active and public uses and the pedestrian experience of the site includes a prominent corner entry plaza at grade with the sidewalk along SW Clifton St and Park Ave. The design review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. The four new canopies successfully blend high-quality materials within the context of the original building design. The proposal meets the applicable design guidelines and modification criteria and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of a new twelve-story apartment building with 98 residential units.

Approval of the following Modification requests:

1. Reduce the required minimum front building setback from the required 5 feet to 0 feet (33.120.220)
2. Reduce the required minimum side building setback for a lot line that is a street lot line for buildings that are more than 55 feet tall from the required 5 feet to 0 feet (33.120.220)

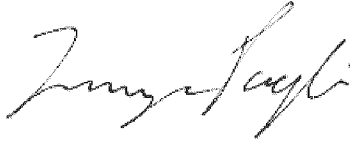
Approvals per Exhibits C-1 through C-30, signed and dated 9/15/2022, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B through C) must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE - Case File LU 22-157148 DZM." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."

B. At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.

C. No field changes allowed.

Staff Planner: Tanya Paglia



Decision rendered by: _____ **on 9/15/2022**

By authority of the Director of the Bureau of Development Services

Decision mailed: 9/21/2022

Last date to Appeal: October 5, 2022 by 4:30 pm

Effective Date (if no appeal): October 6, 2022 Decision may be recorded on this date

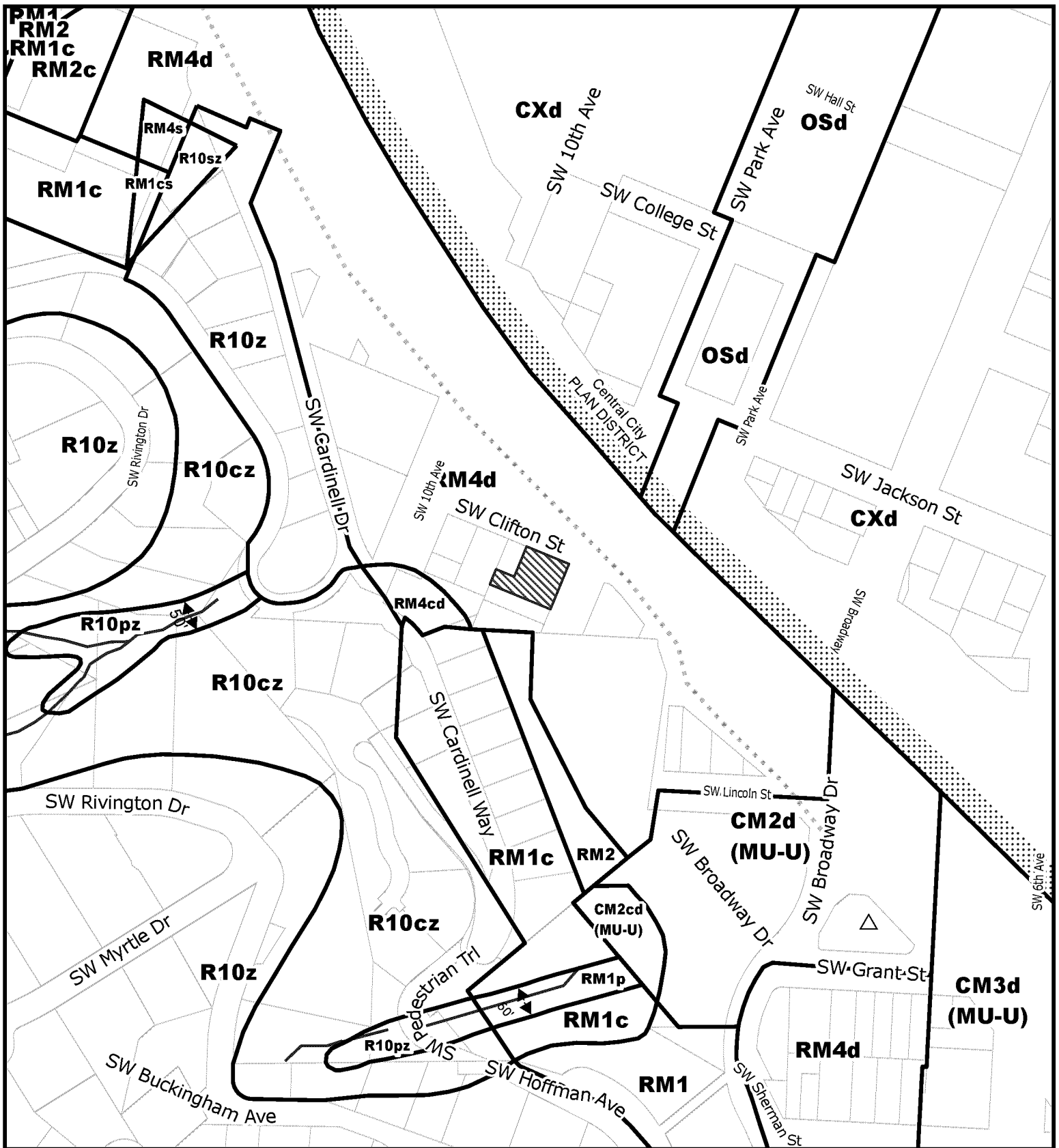
Kimberly Tallant, Principal Planner

City of Portland
Bureau of Development Services
1900 SW Fourth Ave, #5000
Portland, OR 97201

Date: October 6, 2022




Representative

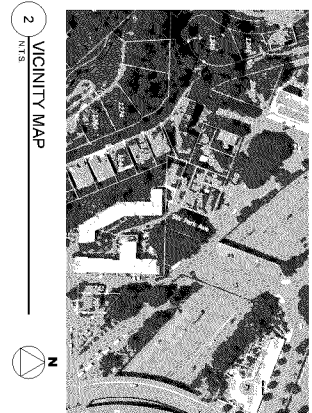
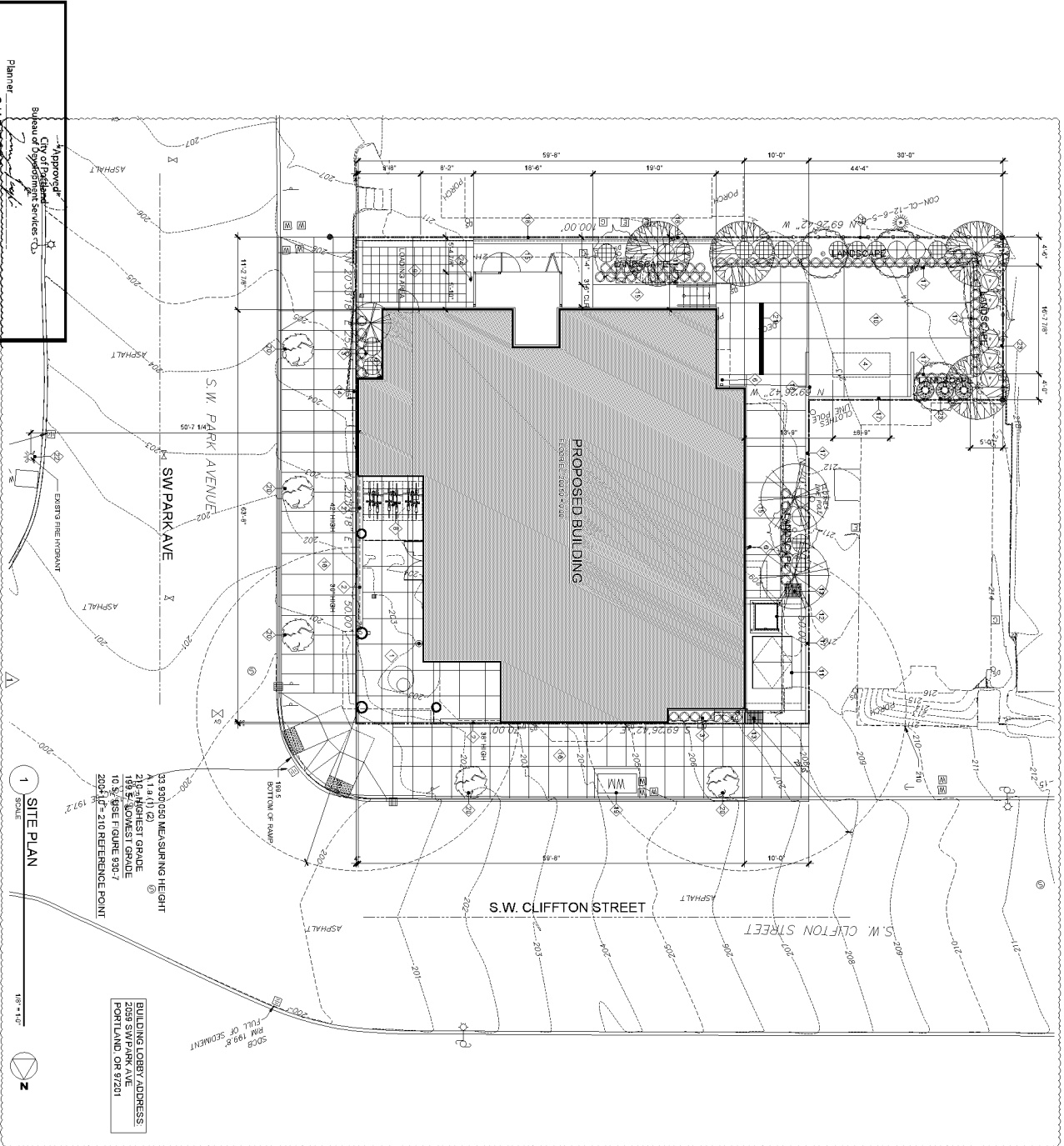


For Zoning Code in effect Post August 1, 2021

ZONING

-  Site
-  Historic Landmark
-  Stream
-  Recreational Trails

File No.	<u>LU 22 - 157148 DZM</u>
1/4 Section	<u>3228</u>
Scale	<u>1 inch = 200 feet</u>
State ID	<u>1S1E04DA 8800</u>
Exhibit	<u>B Jul 29, 2022</u>



LEGEND

- ◇ ARCADE
- ◇ CONC. LOW WALL
- ◇ FALTER
- ◇ EMERGENCY GENERATOR
- ◇ WINDOW WELL WITH 42" HIGH GUARDRAIL
- ◇ DOWNSPOUT
- ◇ NOT USED
- ◇ FLOOR MOUNTED BHE PARKING SHORT TERM
- ◇ CONCRETE PAVING WITH COLORED PAVERS SEE A12
- ◇ CONC. PAVEMENT WITH GRANULAR FILL - UN-OPTLOCK 1.18% X 2
- ◇ FLAZA
- ◇ WALL DOOR
- ◇ SHARP CURVE DOOR ACCESS
- ◇ VENT
- ◇ FOG CONNECTION
- ◇ WALKWAY
- ◇ PUBLIC IMPROVEMENT SEE CIVIL
- ◇ RETAINING WALL
- ◇ RETAINING WALL WITH 6' HIGH CMU FENCE
- ◇ WATER METER SEE CIVIL
- ◇ TREE WELL SEE CIVIL
- ◇ DRAIN TRENCH
- ◇ EMERGENCY FIRE HYDRANT
- ◇ WOOD FENCE
- ◇ LOADING AREA BSN

PROJECT DESCRIPTION

THE PROPOSED PROJECT IS A 12 STORY MASS TIMBER FRAME CONSTRUCTION WITH BASEMENT LOCATED IN 2059 SW PARK AVE PORTLAND, OR 97201.

CONSTRUCTION TYPE - VAB AND VJC

STRUD AKA TYPE B - 36 UNITS

TOTAL NUMBER OF UNITS - 36 UNITS

THE PROPOSED PROJECT IS APPROVED AUTOMATICALLY PER CHAPTER 97.018 IN ACCORDANCE WITH NHPA, 11

GENERAL INFORMATION

PROPERTY ID: R248517
 COUNTY: MULTNOMAH
 STATE ID: 1S1E09DA 8800
 NEW STATE ID: 1S1E09DA 08800
 MAP NUMBER: 3228 0410
 LAND TYPE: RES - RESIDENTIAL LAND
 TOTAL LAND AREA: 6,000.00 SF

SITE INFO

SITE ADDRESS:
 2059 SW PARK AVE
 PORTLAND, OR 97201

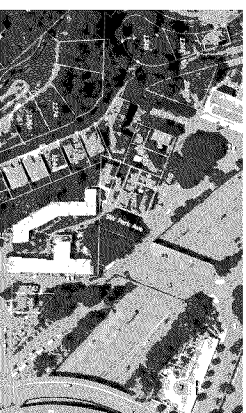
NEIGHBORHOOD

JURISDICTION: PORTLAND / MULTNOMAH

ZONING

ZONING: RM4
 DESCRIPTION: RESIDENTIAL MULTIDWELLING 4
 OVERLAY: d - Design
 BASE OVERLAY COMBINATION: RM4d
 COMP PLAN MID-U: Multi-Dwelling - Urban Center
 COMP PLAN OVERLAY: NONE

LAND INFORMATION
 RESIDENTIAL LAND 6,000 SF



SW PARK APARTMENTS
2059 SW PARK AVE,
PORTLAND OR. 97201

TAHRAN ARCHITECTURE & PLANNING LLC
333 S. STATE LAKE OSWEGO, OREGON 97034
T (503) 539 8802 | F (503) 697 1985 | e ralph@tahrancpa.comcast.net

SUBMITTED 02-05-21

REGISTERED ARCHITECT
STATE OF OREGON
RALPH TAHRAN
2009

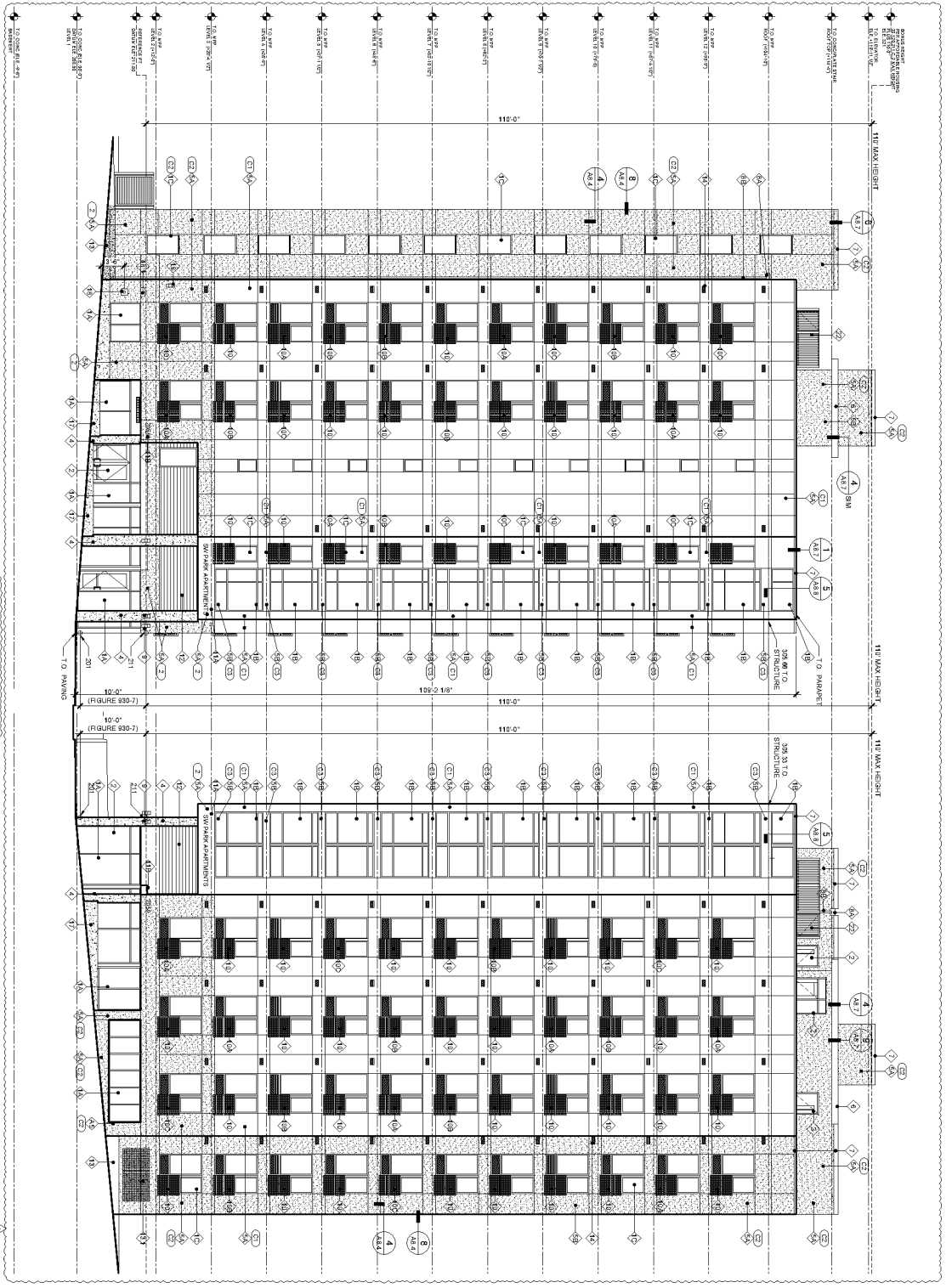
REGISTERED ARCHITECT
STATE OF OREGON
NATALIE STRIMLING
2009

DESIGNED BY: RALPH TAHRAN
DRAWN BY: RALPH TAHRAN
NO. DATE: ISSUE REVISION
15.09.22 1000

PROJECT NO. 2021-012

SHEET CONTENTS
SITE PLAN & KEY NOTES
SHEET NUMBER
A1.1

LU 22-157148 DZM C-1



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"

2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

23,900.050 MEASURING HEIGHT
 21'-0" (1) 02
 21'-0" (1) 02
 185.5' LOWEST GRADE
 10.5' USE FIGURE 930.7
 200'±10 = 210' REFERENCE POINT

- GENERAL NOTES**
- ALL KENOTER APPL'Y TO ELEVATIONS SECTIONS
 - SEE SHEET A3.1 WINDOW SCHEDULE
 - SEE SHEET A3.2 DOOR SCHEDULE
 - SEE SHEET A3.4 WALL ASSEMBLY
 - SEE SHEET A3.5 WALL PENETRATION DETAILS
 - SEE SHEET A3.6 FLOOR CEILING ROOF ASSEMBLY

- KEY NOTES**
- WINDOW TYPE 1 (BLACK FRAME) SEE SCHEDULE
 - WINDOW TYPE 2 (BLACK FRAME) SEE SCHEDULE
 - WINDOW TYPE 3 (BLACK FRAME) SEE SCHEDULE
 - DOOR PER SCHEDULE
 - CONCRETE LOW WALL
 - CONCRETE FOOT
 - STUCCO TYPE 1
 - STUCCO TYPE 2
 - PRE-FINISH METAL FACIA BOARD (GRANT MATCH ADJACENT SIDING)
 - PRE-FINISH METAL FLASHING (PAINT MATCH)
 - SCAFFOLD/OUTER PAINT MATCH ADJACENT SIDING
 - DOWNBOUT (PAINT MATCH ADJACENT SIDING)
 - OVER-CLOW PAINT MATCH ADJACENT SIDING
 - EXTERIOR LIGHTING
 - SIDING PANEL TYPE 1 (COLOR SW 1017)
 - SIDING PANEL TYPE 2 (COLOR SW 1127)
 - SIDING PANEL TYPE 3 (COLOR SW 1415)
 - SIDING PANEL TYPE 4 (COLOR SW 1011)
 - BUILDING SHIMMER
 - BUILDING ADDRESS
 - LAMINATED WOOD PANEL
 - METAL PLANTER
 - 4" W GREEN WALL
 - VENT PAINT MATCH ADJACENT SIDING
 - METAL LOWER PAINT MATCH ADJACENT SIDING
 - HANDRAIL SEE DETAIL A.M. 2
 - CONCRETE WALL CHAM BOARD FINISH
 - FPC CONNECTION
 - FPC SHIMMER
 - HOSE BIB
 - 47" HIGH GUARDRAIL
 - 42" HIGH GUARDRAIL GUARDRAIL
 - 7" HIGH EQUIPMENT METAL PANEL SCREEN
 - 4" W/ 1" FPC FINISH CONNECTION STAND AND WINDSHIELD FILTER FABRIC

COLORS

- (E1) STUCCO - STD M603-46
- (E2) SHERWIN WILLIAMS 689 28231 1229
- (E3) SHERWIN WILLIAMS 689 16494 1418
- (E4) SHERWIN WILLIAMS 689 16494 1418
- (E5) DARK CHANGSON BLACK
- (E6) COLOR MATCH WINDOW FRAME

AREA CALCULATION

EAST ELEVATION	7,800.00 SF
WALL AREA	1,078.20 SF
REQUIRED QUANTIFY 25%	968.22 SF
PERCENTAGE	24.22%
NORTH ELEVATION	6,588.00 SF
WALL AREA	968.22 SF
REQUIRED QUANTIFY 25%	2,420.50 SF
PERCENTAGE	31.09%

Approved:
 City of Portland
 Bureau of Development Services
 Planner: [Signature]
 Date: 9/15/2022
 *This approval applies only to the revisions requested and is subject to all conditions of approval. Additional zoning requirements may apply.

LU 22-157148 DZM C-10

SHEET CONTENTS

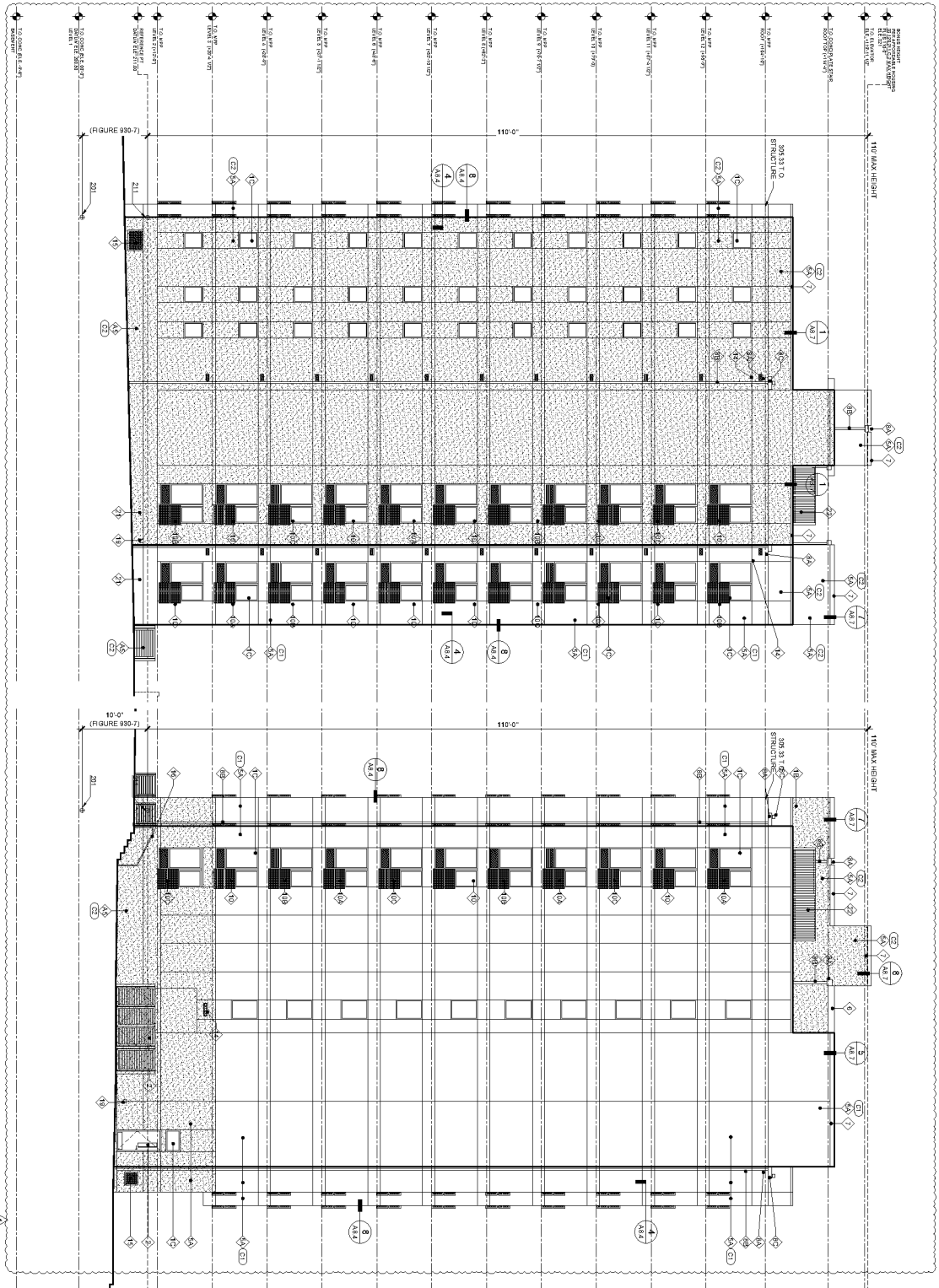
PROJECT NO.	2021-012
DATE	05/09/22
PROJECT NAME	SW PARK APARTMENTS
ARCHITECT	TAHRAN ARCHITECTURE & PLANNING LLC
SCALE	1/8" = 1'-0"
SHEET NUMBER	A3.1
BUILDING ELEVATIONS & KEY NOTES	

SW PARK APARTMENTS
 2059 SW PARK AVE,
 PORTLAND OR. 97201

TAHRAN ARCHITECTURE & PLANNING LLC
 333 S. STATE LAKE OSWEGO, OREGON 97034
 T (503) 539 8802 | F (503) 697 1985 | e ralph@tahrancpa.com



SUBMITTED 02-05-21



1 WEST ELEVATION
SCALE 1/8" = 1'-0"

2 SOUTH ELEVATION
SCALE 1/8" = 1'-0"

- GENERAL NOTES**
1. ALL KEYNOTES APPLY TO ELEVATION SECTIONS
 2. SEE SHEET A3.1 WINDOW SCHEDULE
 3. SEE SHEET A3.2 DOOR SCHEDULE
 4. SEE SHEET A3.3 WALL SCHEDULE
 5. SEE SHEET A3.4 WALL ASSEMBLY
 6. SEE SHEET A3.5 FLOOR CEILING ROOF ASSEMBLY

- KEY NOTES**
- 1 WINDOW TYPE 1 (BLACK FRAME) SEE SCHEDULE
 - 2 WINDOW TYPE 2 (BLACK FRAME) SEE SCHEDULE
 - 3 WINDOW TYPE 3 (BLACK FRAME) SEE SCHEDULE
 - 4 DOOR PER SCHEDULE
 - 5 CONCRETE LOW WALL
 - 6 CONCRETE FOOT
 - 7 STUDIO TYPE 1
 - 8 STUDIO TYPE 2
 - 9 PRE-FINISH METAL FACIA BOARD (GRANT MATCH ADJACENT SIDING)
 - 10 PRE-FINISH METAL FLASHING (PAINT MATCH ADJACENT SIDING)
 - 11 SCAFFOLD/OUTER PAINT MATCH ADJACENT SIDING
 - 12 DOWNBOUT (PAINT MATCH ADJACENT SIDING)
 - 13 OVER-LOW PAINT MATCH ADJACENT SIDING
 - 14 EXTERIOR LIGHTING
 - 15 SIDING PANEL TYPE 1 (COLOR SW 1072)
 - 16 SIDING PANEL TYPE 2 (COLOR SW 1127)
 - 17 SIDING PANEL TYPE 3 (COLOR SW 1045)
 - 18 SIDING PANEL TYPE 4 (COLOR SW 1071)
 - 19 BUILDING SHIMMER
 - 20 BUILDING ADDRESS
 - 21 LAMINATED WOOD PANEL
 - 22 METAL PLANTER
 - 23 4"X8 GREEN WALL
 - 24 VENT PAINT MATCH ADJACENT SIDING
 - 25 METAL LOUVER (PAINT MATCH ADJACENT SIDING)
 - 26 HANDRAIL SEE DETAIL A4.2
 - 27 CONCRETE WALL CHAM BOARD FINISH
 - 28 FPC CONNECTION
 - 29 FPC SHIMMER
 - 30 HOSE BIB
 - 31 4"X8 HIGH QUARTZITE
 - 32 4"X8 HIGH WINDSHIELD QUARTZITE
 - 33 7"THICK EQUIPMENT METAL PANEL SCREEN
 - 34 4"X8 FPC METAL PANEL SCREEN
 - 35 4"X8 FPC METAL PANEL SCREEN
 - 36 WINDSHIELD METAL PANEL SCREEN

- COLORS**
- (C1) STUDIO - STD M603-46
 - (C2) SHERWIN WILLIAMS 060 20231-1229
 - (C3) SHERWIN WILLIAMS 060 194-194-198
 - (C4) SHERWIN WILLIAMS 060 194-194-198
 - (C5) DARK CHANGCOAL BLACK
 - (C6) COLOR MATCH WINDOW FRAME

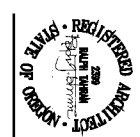
Approve
City of Portland
Bureau of Development Services
Planner
Date 01/15/2022
This sheet and any other drawings, specifications and is subject to all conditions of approval. Additional zoning requirements may apply.

LU 22-157148 DZM C-11

PROJECT: SW PARK APARTMENTS
DATE: 02-05-21
SHEET NUMBER: A3.2
BUILDING ELEVATIONS & KEY NOTES

SW PARK APARTMENTS
2059 SW PARK AVE,
PORTLAND OR. 97201

TAHRAN ARCHITECTURE & PLANNING LLC
333 S. STATE LAKE OSWEGO, OREGON 97034
T (503) 539 8802 | F (503) 697 1985 | e ralph@tahrancast.net



DATE: 02-05-21
SUBMITTED: 02-05-21



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Dan Ryan, Commissioner
Rebecca Esau, Director
Phone: (503) 823-7300
Fax: (503) 823-5630
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To: Interested Person
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503-865-6518 / Tanya.Paglia@portlandoregon.gov

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13741 Knaus Road | Lake Oswego, OR 97034
ralphtahran@comcast.net

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District Coalition: Neighbors West/Northwest, contact Darlene Urban Garrett at darlene@nwnw.org

Plan District: None

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2. Reduce the required minimum side building setback for a lot line that is a street lot line for buildings that are more than 55 feet tall from the required 5 feet to 0 feet (33.120.220)

Design review is required because the proposal is for exterior alterations in a Design Overlay zone.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The previous proposal was subject to a different set of approval criteria, the *Community Design Guidelines*. Code changes that were adopted by Portland City Council on 6/30/2021 and went into effect on 8/1/2021 as part of the Design Overlay Zone Amendments project ushered in an updated set of approval criteria, the *Portland Citywide Design Guidelines*. The relevant approval criteria are:

- Portland Citywide Design Guidelines
- PZC 33.825.040, Modifications that will better meet design review requirements

ANALYSIS

Site and Vicinity: The site is located at the northeast corner of SW Park Avenue and SW Clifton Street in the Southwest Community Plan Area. While the site is not located in a city plan district, the Central City Plan District is just across U.S. HWY I-405 to the east of the site. The site area is approximately 6,016 SF, smaller than a typical Portland downtown quarter block. Two older, two-story single-family homes currently exist on the site which sits at the end of a dead-end street that includes five 100-plus year-old houses on the west side of the street (including the 2 which will be deconstructed as part of this project). At the end of the street is the Park Avenue Gardens Apartment Complex.

The site is located in a highly diverse context where several very different areas meet. The proposal is located at the base of the West Hills. The proposed project sits on a small segment of Park Ave that dead ends to the southwest of the site due to steep topography that rises almost vertically to the south and west approximately 100 to 150 feet away to enclose this residential pocket. Surrounding development consists of a mix of older single-family homes and smaller multifamily development, as well as the five story Amy Apartments built approximately 150 feet to the west that has been open for about a year.

The site is directly across U.S. HWY I-405 from Portland State University and the North Park Blocks and is accessed via the Park Avenue Bridge. SW Clifton and SW Park Avenue are designated as Local Service Streets. The Park Avenue Bridge across I-405 connects the site and this district to the Green Loop, the North Park Blocks, and several transit connections. The site is close and convenient to several transit options, served by six different Tri-Met bus lines and three light rail lines, closest is 897 feet away at SW 6th and College Street.

Zoning: The RM4 zone is a high density, urban-scale multi-dwelling zone applied near the Central City, and in town centers, station areas, and along civic corridors that are served by frequent transit and are close to commercial services. It is intended to be an intensely urban zone with a high percentage of building coverage and a strong building orientation to the pedestrian environment of streets, with buildings located close to sidewalks with little or no front setback. This is a mid-rise to high-rise zone with buildings of up to seven or more stories. The Design overlay zone is applied to this zone.

The Design overlay zone ensures that Portland is both a city designed for people and a city in harmony with nature. The Design overlay zone supports the city's evolution within current and emerging centers of civic life. The overlay promotes design excellence in the built environment through the application of additional design standards and design guidelines that:

- Build on context by enhancing the distinctive physical, natural, historic and cultural qualities of the location while accommodating growth and change;
- Contribute to a public realm that encourages social interaction and fosters inclusivity in people's daily experience; and
- Promotes quality and long-term resilience in the face of changing demographics, climate and economy.

Land Use History: City records indicate that prior land use reviews include the following:

- LU 20-213946 DZ – Design Review approval of a new eleven-story apartment building with 91 residential units. This building was never built, and the current proposal is an update on this previously approved design.
- LU 90-023814 CU (PC 5574C) – Conditional use approval for a parking facility.
- LU 67-004010 DZ (DZ 008-67) – Approval with Conditions for front porch replacement.
- LU 61-004004 DZ (DZ 004-61) – Approval for front porch replacement.

Agency Review: A “Notice of Proposal in Your Neighborhood” was mailed **August 2, 2022**. The following six Bureaus, Divisions and/or Sections responded with no objections and four of these included comments found in Exhibits E-1 and E-4:

- Fire Bureau (Exhibit E-1)

- Bureau of Environmental Services (Exhibit E-2)
- Life Safety Division of the Bureau of Development Services (Exhibit E-3)
- Portland Bureau of Transportation – original response and follow-up response (Exhibit E-4 & E-5)
- Site Development Section of BDS
- Water Bureau

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on August 2, 2022. No responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

ZONING CODE APPROVAL CRITERIA

Chapter 33.825 Design Review

Section 33.825.010 Purpose of Design Review

Design review implements the Design overlay zone, strengthening these areas as places designed for people. Design review supports development that builds on context, contributes to the public realm, and provides high quality and resilient buildings and public spaces.

Section 33.825.055 Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

Findings: The site is designated with design overlay zoning (d), therefore the proposal requires Design Review approval. Because of the site's location, the applicable design guidelines are the Portland Citywide Design Guidelines.

Portland Citywide Design Guidelines

The Portland Citywide Design Guidelines consist of a set of guidelines for design cases in community planning areas outside of the Central City. The Portland Community Design Guidelines focus on three tenets: **Context**, balancing the aspirations of the future desired character with today's setting; **Public Realm**, strengthening a building and site's relationship with the public rights-of-way and open spaces; and **Quality and Resilience**, underscoring holistic site and building designs that benefit people and climate.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

01: Build on the character, local identity, and aspiration of the place.

Possible design approaches may include, but are not limited to:

- Community - Relating to the local community's identity, history, and cultural values and places.
- Architecture - Taking cues from desired character of existing architecture.
- Nature - Reflecting and enhancing local natural resources such as rivers, streams, buttes and vegetation.

02: Create Positive Relationship with surroundings.

Possible design approaches may include, but are not limited to:

- Building Massing - Developing effective placement and proportion of building massing toward adjacent lower-scale development and residential uses.
- Street Wall - Maintaining a vibrant street wall with continuous storefronts along historic main streets.
- Connectivity - Creating visual and physical links to adjacent pedestrian pathways and neighboring open spaces.
- Adjacent Historic Landmarks - Deferring to the neighboring historic landmark through massing and urban form.

03: Integrate and enhance on-site features and opportunities to contribute to a location’s uniqueness.

Possible design approaches may include, but are not limited to:

- Natural Resources - Minimizing site disturbance and integrating topography and natural resources found on-site.
- Viewpoints - Integrating views to community points of interest.
- On-site Older Buildings and Historic Resources - Retaining existing older buildings and historic resources.
- Social and Cultural Significance - Incorporating a site’s significant cultural or social history.

08: Design for quality, using enduring materials and strategies with a coherent approach.

Possible design approaches may include, but are not limited to:

- Unity - Expressing a clear and coherent design approach to unify building.
- Articulation - Highlighting function, hierarchy, or spaces through small breaks in form.
- Application of Exterior Materials - Expressing the building design with hierarchy, shifts or repetition.
- Quality of Materials - Providing quality, resilience, and durability in construction and execution of details.
- Building Openings - Offering permeability, depth, and texture.

09: Design for resilience, health, and stewardship of the environment, ensuring adaptability to climate change and the evolving needs of the city.

Possible design approaches may include, but are not limited to:

- Adaptable Buildings - Providing flexibility in building programming, floor heights, and building openings.
- Resource Conservation - Prioritizing the use of existing structures or reclaimed and recycled materials.
- Native Landscaping - Integrating native landscaping and large canopy trees to address heat island and provide for pollinators.
- Ecoroofs - Providing and integrating ecoroofs for pollinators and people.
- Bird-Safe - Reducing bird strikes through careful design.
- Daylight and Air - Providing daylight and ventilation and improving indoor air quality.
- On-Site Stormwater - Allowing rain to soak into the ground and filter through lush vegetation and landscaping.

Findings for 1, 2, 3, 8, and 9: The proposed building will be a 12-story residential structure with modular units utilizing quality and permanent materials. The prefabricated structure will utilize mass plywood panels for the floor and ceiling systems of the modular units. The walls will be light gauge steel framed with a stucco panel exterior.

The proposed 12-story affordable housing building is responding to a diverse context with a location that is adjacent to the Central City Plan District just across I-405 to the east and that is at the base of the west hills. The proposed building will be part of the southern terminus of the Park Blocks and is located in close proximity to the future Green Loop. This project joins the six-mile linear park across the small Park Avenue Bridge that enters the North Park Blocks leg of the Green Loop through Portland State University and on through the Central City.

The site’s placement also functions as a bridgehead location, on the south end of the Park Avenue Bridge across I-405 that connects this area with the Central City Plan District and the Portland State University campus. The site is part of a small dead-end location with steep topography that rises almost vertically to the south and west approximately 100 to 150 feet away to enclose this residential pocket. It is thus a gateway location that must respond to a very liminal context.

The project responds to its diverse context in a number of ways. One such way is the design’s acknowledgement of the bridge and Park Blocks by opening towards them with a prominent corner entrance. The proposed building is set into the sloping site to have the

main entry lobby at existing sidewalk grade on SW Park Avenue. The two-story cut-out corner entrance with large entry plaza wraps to both of the building's two street frontages and the building lobby and common amenity spaces are located towards the street frontages and entry courtyard providing greater visibility and activity to the street frontages.

Another contextual response is the exterior cladding which is primarily stucco and glass and features a nine-story glass corner that carries up levels three through eleven facing the Park Blocks that will be very visible from I-405. In addition, the building retains a small footprint as is common in this neighborhood. While the sloped grade limits the amount of glazing that can wrap around the building's base, the sidewalk level is primarily devoted to common use spaces and its predominantly glass street frontages offer visibility into the building and its functions to provide life along SW Clifton St and SW Park Ave.

Yet another response to context is the building's deployment of Juliet balconies on all facades. Given the residential nature of the immediate neighborhood, Juliet balconies are featured on every unit to enhance the building's residential sensibility as well as provide indoor/outdoor connection to residents. The balcony railings are a perforated metal panel, powder coated in four colors, to add detail, color and texture to the building skin, making the building elevations lively and not monolithic. Overall, the building enhances the sense of place and identity with a design that serves as a gateway between this enclosed residential pocket and the neighboring Park Blocks, Portland State University, and central city.

Therefore, these guidelines are met.

04: Design the sidewalk level of buildings to be active and human-scaled.

Possible design approaches may include, but are not limited to:

- Ground Floor Heights - Designing buildings with taller, more adaptable ground floors.
- Multiple Entries and Windows - Offering more than one entrance along the ground floors of buildings to provide "eyes on the street" and avoid blank expanses of walls.
- Weather Protection - Providing protection from wind, rain, and sun.
- Lighting - Enhancing safety and visibility for pedestrians and highlighting special building features.
- Residential Setbacks - Creating soft transitions while separating private spaces from public spaces.

05: Provide opportunities to pause, sit, and interact.

Possible design approaches may include, but are not limited to:

- Seating - Providing a variety of seating types for passersby and building users.
- Integrate Bicycles - Designing open spaces that accommodate parking for bicycles.
- Art/Water - Designing spaces that can integrate opportunities for art, stormwater or water features.
- Enclosure - Offering a comfortable buffer and distinction from the public realm.
- Trees and Landscaping - Promoting health and wellness by helping to mitigate the effects of urban heat island.

06: Integrate and minimize the impact of parking and building services.

Possible design approaches may include, but are not limited to:

- Vehicles and Parking - Screening and buffering vehicle areas from pedestrians and integrating parking into the building design.
- Utilities, Trash and Recycling - Siting and screening utilities, trash, and recycling enclosures away from public realm.
- Vaults - Integrating and concealing vaults within open areas.
- Stormwater Planters - Integrating stormwater with multiple uses, such as buffering, placemaking, and seating opportunities.
- Long-Term Bicycle Parking - Designing bicycle parking to encourage use by adding bike lobbies and bike repair amenities.

07: Support the comfort, safety, and dignity of residents, workers, and visitors through thoughtful site and building design.

Possible design approaches may include, but are not limited to:

- Internal Open Spaces - Offering a variety of multi-functional spaces such as balconies, stoops, plazas, play areas, and passive sitting areas.
- Internal Connections - Creating safe and visible pedestrian circulation through sites.
- Vehicles Areas - Ensuring that vehicle areas do not impair the usability and enjoyment of the site.
- Solar Access - Providing solar access to open areas.
- Windows and Entries - Orienting windows and entries toward on-site circulation and open areas.

Findings for 4, 5, 6, and 7: The proposed project addresses the pedestrian realm in a variety of ways that will make it a positive addition to the SW Park and Clifton streetscapes and beyond. The building, due to the highly visible corner location, height, and unique patterning, will assist in wayfinding in the area for pedestrians. The vertical glass component at the corner that faces the City and Park Blocks adds to the placemaking quality of the building.

The building concentrates its common use activities at the ground floor and includes significant amounts of windows which provide views into the activity inside as well as views out, creating eyes on the street to reduce the likelihood of criminal activity. The ground floor program includes multiple active uses for building occupants such as a lobby/lounge at the corner flanked by a large amenity room along the Clifton St frontage, and fitness room along the Park Ave frontage. The slope of the site is utilized to keep back of house functions away from the above grade street frontages. Visible from the sidewalk are exposed CLT panels of wood within the lobby that provide interest by expressing some of the technology used in the prefabricated modular unit construction of the building.

The main entrance to the building is located at the corner of the site's two street frontages, with a 12' deep covered entry plaza at grade with the sidewalk wrapping around the corner of Park Avenue and SW Clifton, providing weather protection, a comfortable place to meet and rest, and a strong sense of entrance. The entrance courtyard opens to the corner which orients the building towards the Park Blocks, University, bridge and central city. The covered plaza also allows indoor activity to extend from inside the building to the exterior with the lobby and amenity room both opening onto the plaza. Charred wood panels are applied to the upper covered entry walls to add texture, warmth, color and another residential quality building material to enhance the pedestrian level.

A spacious outdoor courtyard with bench seating and a large open area for activities is located in the southwest area of the site and is connected by pedestrian paths to Park Avenue and Clifton Streets. The perimeter of the courtyard is landscaped by a variety of plant types and scales. The courtyard will provide a welcome relief to the rear area of the adjoining three properties, now and in the future. At the west end of the building there are 20 units that will provide eyes on the courtyard. Perimeter trees will provide shade and privacy. There is no parking proposed, with the only vehicle area consisting of loading. While still a loading area, the character in the southeast corner of the site contributes to a vibrant streetscape as a human-scale outdoor space with quality paving materials, landscaping and other features that contribute to making it a place that can be appealing to pedestrians and not a space designed exclusively for vehicles.

As a residential building, all floors above the ground level are living spaces. These housing units are highly glazed at their street-facing walls, providing activity and eyes on the street along the street frontages. While all sides of the building include glazing, contributing to their active sensibilities and texture, the west and south elevations have less glazing on to provide privacy for adjoining properties while the street facing east and north elevations feature extensive glazing.

The building also addresses the pedestrian realm with architectural details including scoring to articulate the facades, add horizontality, and break-down the building's mass. Juliet balconies provide additional human-scale as well as a residential sensibility. The Juliet balconies help create lively and active façades by increasing activity and life on the

building's exterior and providing an indoor/outdoor connection where active uses can take place and signs of occupancy can take root, enriching the pedestrian experience for people passing by. They provide view opportunities both to and from the building for pedestrians, enhancing the visual connection between the building and neighborhood. The Juliet balconies help in breaking down the building's mass and enrichen the facade, adding texture. The patterning of the colorful panels breaks up the façades and creates a visually interesting composition.

Therefore, these guidelines are met.

33.825.040 Modifications That Will Better Meet Design Review Requirements:

The review body may consider modification of site-related development standards, including the sign standards of Chapters 32.32 and 32.34 of the Sign Code, as part of the design review process. The review body may not consider modifications to standards for which adjustments are prohibited. Modifications are done as part of design review and are not required to go through the adjustment process. Adjustments to use-related development standards (such as floor area ratios, intensity of use, size of the use, number of units, or other standards that are calculated based upon the size or intensity of the use such as the quantity of parking and loading spaces) are required to go through the adjustment process. Modifications that are denied through design review may be requested as an adjustment through the adjustment process. The review body will approve requested modifications if it finds that the applicant has shown that the following approval criteria are met:

- A. Better meets design guidelines.** The resulting development will better meet the applicable design guidelines; and
- B. Purpose of the standard.** On balance, the proposal will be consistent with the purpose of the standard for which a modification is requested.
- C. Mitigation of impacts.** Any impacts resulting from the modifications are mitigated to the extent practical.

Modification #1: Reduce the required minimum front building setback from the required 5 feet to 0 feet (PZC 33.120.220); and

Purpose Statement: The building setback regulations serve several purposes:

- They maintain light, air, separation for fire protection, and access for fire fighting;
- They reflect the general building scale and placement of multi-dwelling development in the City's neighborhoods;
- They promote a reasonable physical relationship between residences;
- They promote options for privacy for building residents and neighboring properties;
- They provide adequate flexibility to site a building so that it may be compatible with the neighborhood, fit the topography of the site, allow for required outdoor areas, and allow for architectural diversity;
- Setback requirements along transit streets create an environment that is inviting to pedestrians and transit users; and
- They provide room for a car to park in front of a garage door without overhanging the street or sidewalk, and they enhance driver visibility when backing onto the street.

Standard: 33.120.220, The required minimum front building setback is 5 feet from a front lot line.

Modification #2: Reduce the required minimum side building setback for a lot line that is a street lot line for buildings that are more than 55 feet tall from the required 5 feet to 0 feet (PZC 33.120.220)

Purpose Statement: The building setback regulations serve several purposes:

- They maintain light, air, separation for fire protection, and access for fire fighting;
- They reflect the general building scale and placement of multi-dwelling development in the City's neighborhoods;
- They promote a reasonable physical relationship between residences;
- They promote options for privacy for building residents and neighboring properties;
- They provide adequate flexibility to site a building so that it may be compatible with the neighborhood, fit the topography of the site, allow for required outdoor areas, and allow for architectural diversity;
- Setback requirements along transit streets create an environment that is inviting to pedestrians and transit users; and
- They provide room for a car to park in front of a garage door without overhanging the street or sidewalk, and they enhance driver visibility when backing onto the street.

Standard: 33.120.220, For buildings more than 55 feet tall, the required minimum side building setback is 5 feet from a side lot line that is a street lot line.

- A. Better meets design guidelines.** *The resulting development will better meet the applicable design guidelines; and*
- B. Purpose of the standard.** *On balance, the proposal will be consistent with the purpose of the standard for which a modification is requested.*
- C. Mitigation of impacts.** *Any impacts resulting from the modifications are mitigated to the extent practical.*

Findings for Modifications #1 and #2: Per Portland Zoning Code, 33.120.220, a building in the RM4 zone must be set back 5' from the front lot line, and a building in RM4 that is more than 55' tall must be set back 5' from a side lot line that is a street lot line. The two Modification requests will allow the building to come right up to the site's two street frontages along SW Park Ave and SW Clifton St.

On balance, the Modifications are consistent with the purpose of the standard. Locating the building at the street frontages will not negatively impact the appearance and pedestrian experience of the area and reflects the general building placement of the neighborhood. The ground floor of the proposed building is all community spaces, with no residential units that would require privacy. The two setbacks to be modified are along street lot lines which is a very different situation from setbacks along interior lot lines. The need to maintain light, air, separation for fire protection, and access for fire fighting is much different for an interior lot line where it affects the relationship between a proposed building and neighboring development. The two streets abutting the proposal are wide enough to handle a zero-lot-line building. In addition, there is no development across either street from the proposed building. SW Park is a 60' ROW and the subject site's Park Ave frontage is across the street from a publicly owned triangular open space with five very large elm trees, so the proposed building does not face any building for at least 250' to 350' on the east side. The open space currently lacks adjacent active uses and will benefit from the closer proximity of a building providing eyes on the street and a sense of place provided by a highly glazed street wall. SW Clifton is also a 60' ROW and the building's frontage is across this wide street from a sunken highway, I-405,

so the proposed building does not face any building for at least 250' on the north side.

Generally, the non-conforming front and side street lot-line setbacks will better meet the design review approval criteria than would a design that met the standards being modified which would locate the building further back. The Modifications' allowance of a zero setback on these two sides enables a better, more defined, articulation at the ground level, the pedestrian level, as they allow the building to be recessed at the northeast corner to create an arcade. The Modifications allow the building to provide the positive qualities of a highly glazed street wall to the pedestrian realm along the abutting sidewalks. The corner arcade is located at the key intersection of the building's two adjacent streets and is in close proximity to the pedestrian bridge connecting the neighborhood to the Park Blocks and PSU. The corner arcade area is recessed from 9'-6" to 10'-0" and creates a valuable covered open space for pedestrians to use and also provides a prominent entry to the building.

The ground floor of the proposed building is programmed with active uses along the two street frontages. The project underwent a Design Advice Request with a previous design that had a sunken courtyard on the north side along SW Clifton that would have complied with the minimum 5' setback. The Commission commented that the sunken courtyard posed safety problems and advised the applicants to make the amenity space interior rather exterior, which they did, resulting in the current proposal. The building's frontage along SW Clifton is activated by an indoor amenity space and the frontage along SW Park Ave is activated by a highly glazed fitness room, the lobby, and both frontages are activated by the entry arcade. The building as proposed, provides a better response to context and the pedestrian realm than would a building that was set back 5' on each street frontage.

Overall, the proposed project better meets the approval criteria, *the Portland Citywide Design Guidelines 2, and 4*, while allowing the building to be located as far from neighboring properties as possible. Placing the building at the north and east property lines moves the building the maximum extent possible from abutting residential properties. No negative impacts are anticipated from the modifications.

Therefore these Modifications merit approval.

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The proposed 12-story building will be a gateway building at the south end of the Park Avenue Bridge connecting the Park Blocks across I-405 to the residential pocket in which the building is located. The proposed building reflects the residential context of its immediate neighborhood while also acknowledging its context as part of the southern terminus of the Park Blocks, at the base of the West Hills, in close proximity to the future Green Loop, and as a bridgehead location. The tall glass corner treatment presents a very strong gateway element to the neighborhood, Park Blocks and the central city. The colorful Juliet balconies signal a residential building that is lively and somewhat playful and inviting. The balconies contribute to active façades, more livable units and add human scale and articulation to the building. The base of the building is devoted to active and public uses and the pedestrian experience of the

site includes a prominent corner entry plaza at grade with the sidewalk along SW Clifton St and Park Ave. The design review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. The four new canopies successfully blend high-quality materials within the context of the original building design. The proposal meets the applicable design guidelines and modification criteria and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of a new twelve-story apartment building with 98 residential units.

Approval of the following Modification requests:

1. Reduce the required minimum front building setback from the required 5 feet to 0 feet (33.120.220)
2. Reduce the required minimum side building setback for a lot line that is a street lot line for buildings that are more than 55 feet tall from the required 5 feet to 0 feet (33.120.220)

Approvals per Exhibits C-1 through C-30, signed and dated 9/15/2022, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B through C) must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE - Case File LU 22-157148 DZM." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- B. At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.
- C. No field changes allowed.

Staff Planner: Tanya Paglia



Decision rendered by: _____ **on 9/15/2022**

By authority of the Director of the Bureau of Development Services

Decision mailed: 9/21/2022

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on June 24, 2022, and was determined to be complete on July 29, 2022.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on June 24, 2022.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be

waived or extended at the request of the applicant. In this case, the applicant did not waive or extend the 120-day review period. Unless further extended by the applicant, **the 120 days will expire on: 11/26/2022.**

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed to the Design Commission, and if appealed a hearing will be held. The appeal application form can be accessed at <https://www.portlandoregon.gov/bds/45477>. Appeals must be received **by 4:30 PM on 10/5/2022. The completed appeal application form must be emailed to LandUseIntake@portlandoregon.gov and to the planner listed on the first page of this decision.** If you do not have access to e-mail, please telephone the planner listed on the front page of this notice about submitting the appeal application. **An appeal fee of \$250 will be charged.** Once the completed appeal application form is received, Bureau of Development Services staff will contact you regarding paying the appeal fee. The appeal fee will be refunded if the appellant prevails. There is no fee for Office of Community and Civic Life recognized organizations for the appeal of Type II and IIX decisions on property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Please contact the planner listed on the front page of this decision for assistance in filing the appeal and information on fee waivers. Please see the appeal form for additional information.

If you are interested in viewing information in this file, please contact the planner listed on the front of this notice. The planner can email you documents from the file. A fee would be required for all requests for paper copies of file documents. Additional information about the City of Portland, and city bureaus is available online at <https://www.portland.gov>. A digital copy of the Portland Zoning Code is available online at <https://www.portlandoregon.gov/zoningcode>.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Design Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Design

TYPE II LAND USE REVIEW APPLICATION FOR A CHANGE TO THE APPROVED LU12-345678 DZ, 91 UNIT, 11 STORY AFFORDABLE HOUSING PROJECT AT 2059 SW PARK AVENUE.

INTRODUCTION:

This application is for a change to an existing land use approval for a 91 unit, 11 story affordable housing project to be constructed for residents that earn no more than 60% average median income (AMI). All of the proposed apartments will be for 60% AMI residents. The building will be constructed at 2059 SW Park Avenue. We are requesting a change to allow an addition of one story to 12 stories and add seven units to the building within the "approved" building footprint and the same height. The addition adds more efficiency to the building type, adds seven more needed affordable housing units, and adds to the economic viability of the project. Due to rapidly escalating labor and materials pricing and increasing interest rates, building as efficiently as possible is imperative to make these projects possible. The appearance of the building with the added story will hardly be noticeable from the 11 story scheme as one can see on the Building Elevation comparison of the 11 story versus the 12 story. The height of the building is the same. The base height in this zone (RM4) is 100 feet as it is less than 1,000 feet from several transit options.

Since the project is designed as an affordable housing project for 60% AMI residents, it qualifies for a height bonus up to a maximum of 110 feet. Our proposed building is 95 feet high, as defined by the city height calculation method. The addition of seven units increases the square footage of the project by 3,717 square feet. The allowed square footage (FAR) for the site is 42,112 square feet, as the base FAR is 4:1 with a 3:1 bonus allowed for affordable housing ("deeper housing"). The proposed building has a total of 33,855 square feet, 80.4% of the allowed FAR. The addition of the seven dwelling units required an additional 252 square feet of outdoor space. We have added a rooftop deck to allow another amenity suggested by the Design Commission to increase our outdoor space. The project is required to have 3,528 square feet of outdoor area, we are providing 3,905 square feet with a combination of courtyards, amenities, fitness room, plaza, and roof top lounge, for the residents.

Our landscape area has remained unchanged from the original approval and provides 16.23% landscape area. The Building Elevations are composed of identical materials, colors, and proportions of the original approved project, and as reviewed by the Design Commission at our Design Advisory Request, LU 12-345678 DZ meeting held on August 6, 2020. We are providing our narrative on meeting Design Guidelines and Approval Criteria from our review with the Design Commission and staff on our original approval as the proposed change does not change the design significantly.

On March 23, 2022 at 6:00 PM, we held a zoom Neighborhood Meeting to present our proposed changes. The documentation of the meeting is included in our application.

Development Program Summary

The proposal is to build an 91-unit affordable housing building on a 6,016 square foot parcel at 2055-2057 SW Park Avenue. The building is an 11-story structure, modular units, prefabricated structure utilizing mass plywood panels and light gauge steel for a Type IV B building. Zoning on the property is RM4(d) with a base floor area (FAR) of 4:1 with a bonus option of 3:1 additional FAR for "deeper housing affordability" meaning a minimum of 50% of all units must accommodate residents that earn no more than 60% average median family income (AMI). All of the proposed apartments will be for 60% AMI residents. Base height for the structure is 100 feet, the proposal is for 94 feet as measured for the base point one calculation. The site is close and convenient to several transit options, served by six different Tri-Met bus lines and three light rail lines, closest is 897 feet away at SW 6th and College Street.

No specific "plan area" design guidelines apply to this location as it is just across the 405 Freeway to the south in a dead-end pocket of residential properties all zoned RM4 with the same opportunity for development. The property is in the SW Hills Residential League Neighborhood and is accessible to the Green Loop Concept of the Central City 2035 Plan.

This project joins the six-mile linear park across the small Park Avenue Bridge that enters the North Park Blocks leg of the Green Loop through Portland State University and on through the Central City. The Park Avenue Apartment project has utilized the six "Design Principles" for the Green Loop in the design of the project. They are:

1. Building Orientation:

This new development oriented the building lobby and common amenity spaces toward the Green Loop along Park Avenue and SW Clifton Street, providing greater visibility and activity to the street frontages.

2. Multi-Use Path:

Park Avenue designated a "local Street" will provide the most direct access to the North Park Blocks approximately 200 feet north.

3. Physical Separation:

The ground floor of the building is recessed from the sidewalk 12 feet to the main entry door to form a covered entry plaza for benches, plantings and short-term bicycle parking.

4. Connected Canopy:

The building does not front directly on the actual Green Loop but serves as an adjacent extension of it and will contribute to it with distinctive tree plantings and green features.

5. Branding Identity:

The building, due to the highly visible corner location and 11 stories high, will identify for residents and visitors where they are along the Loop.

6. Unique Street Furnishings:

Unique street furnishings will be prominent along the frontages of Park Avenue and Clifton Street.

ZONING: RM4(d)

The RM4 Zone is a high-density- multifamily dwelling zone applied near the Central City and in centers, station areas, and along civic corridors. Housing is intensely urban with a high percentage of building coverage, with little or no front setback. Allowed housing is characterized by mid-to-high-rise buildings.

DESIGN (d)

The Design (d) overlay zone promotes the conservation, enhancement and continued vitality of areas of the city with special scenic, architectural, or cultural value. This project requires Design Commission Review as a Type III process due to the size and value of the project.

DESIGN EXCEPTION

No Design Exceptions required.

SHEET INDEX

CONTEXT

SITE & VICINITY:

The 6016 square foot site is located at the northeast corner of SW Park Avenue and SW Clifton Street. The site has two older, two-story single-family homes that will be deconstructed to build the proposed Park Avenue Apartments. Surrounding development consists of a mix of older single-family homes and smaller multifamily development. Most recently, the five story Amy Apartments has been built approximately 150 feet to the west, and has been open for about a year. The site is part of a small dead-end location due to steep topography that rises almost vertically to the south and west approximately 100 to 150 feet away to enclose this residential pocket. The site is directly across U.S. HWY I-405 from Portland State University and the North Park Blocks and is accessed via the Park Avenue Bridge. Portland State Campus has numerous buildings 10 story or higher, residential, commercial and institutional approximately 250 feet from the subject site. SW Clifton and SW Park Avenue are designated as Local Service Streets. The Park Avenue Bridge across I-405 connects the site and this district to the Green Loop, the North Park Blocks, and several transit connections. The site is separated from the Central City Plan District by I-405.

SITE PLAN

The proposed building is set into the sloping site to have the main entry lobby at existing sidewalk grade on SW Park Avenue. The west end of the building will be set approximately seven feet into the site. An entry plaza of 12 feet deep wraps the corner of Park Avenue and SW Clifton. The northeast corner of the site has a predominantly nine story glass corner that faces PSU and the downtown area that will offer desirable views from those dwelling units. The building has a lot coverage of 63% of the site with 10-foot setbacks on the south and west sides that abut properties that are zoned for the same type of development of the subject site. A narrow long extension of the site exists at the southwest corner of the site that offers a convenient and natural courtyard area of over 1,000 square feet for the residents use and to contribute to the required outdoor area requirement in addition to the common areas inside the building. The courtyard will provide a welcome relief to the interior (rear) area of the adjoining three properties, now and in the future. When combined with minimum setbacks (10 ft.) required for buildings over 45 feet height the interior core of this block will be assured to be a minimum of 45 feet wide by 50 feet long, a valuable open space for the block.

CONCEPT DESIGN

The building design concept is deliberately disciplined to employ a certain construction type and method while achieving a Portland personality that has a

pedestrian emphasis and assists in a 24-hour Central City by being walkable to jobs, services, parks, transit choices and food choices. The building is designed to offer studio residences to a population earning no more than 60% of the average median family income of the area. The location and size of the site presents a constrained construction area. The building is being designed in close collaboration with a modular prefabrication company to be able to build as much of the project off site in a climate-controlled environment. The completed modular units will be trucked to the site, predominately 12 feet by 24 feet long units that will then be crane lifted into place, by a rubber tire crane, and attached to a ledger on the poured in place concrete stair and elevator shafts. A rubber tire crane can be used as the "mods" are relatively light, approximately 15,000 pounds each, due to the use of mass plywood panels, used for the floor and ceiling systems of the mod. The walls will be light gauge steel framed with a stucco panel exterior. The mods will be trucked in as finished units with windows in place and required exterior vents. The construction benefits are an efficient way to construct on a tight site, with limited construction staging areas, and speed of construction by prefabricating the majority of the project off site, with very little construction waste. Due to the need to maximize repetition for an efficient, feasible prefabricated project as much standardization as possible is needed to accomplish the project.

PORTLAND PERSONALITY

Rather than include specific symbols of Portland identity, the project emphasizes Portland themes such as light rail, active streets, views to the street and nature beyond and a commitment to environmental design.

ENHANCE, EMBELLISH AND IDENTIFY AREAS

The building places entries and views toward the street as much as possible. Every unit has either a view of the street towards downtown or towards the common courtyard.

ESTABLISH AND MAINTAIN A SENSE OF URBAN ENCLOSURE

The building is built up to or slightly over the public right-of-way creating a positive urban edge on the SW Clifton Street frontage that faces towards PSU and downtown. The urban edge has been further articulated through the use of oriel windows on both streets.

CONTRIBUTE TO VIBRANT STREETSCAPE

The sidewalk level area will be articulated and extended by recessing the glass window wall 12 feet. This combined with the projecting bays at levels 3 through 11 will create a generous protected area for pedestrians and residents.

STRENGTHEN GATEWAYS

The location of the project is near the north boundary edge defined by I-405. This building will be the first building one sees when crossing the Park Avenue Bridge from the North Park Blocks. The height of the building, the glass corner, the slender proportions and overall massing will establish a strong entryway to this high-density residential niche.

MAKE PLAZAS AND OPEN SPACES SUCCESSFUL

Building elements, like main entries, lobbies, and windows face the street directly and or the large internal courtyard area. All units have either a street side view or a courtyard view.

Chapter 33.825 Design Review

Section 33.825.010 Purpose of Design Review

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

Section 33.825.055 Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

Findings: The site is designated with design overlay zoning (d), therefore the proposal requires Design Review approval. Because of the site's location, the applicable design guidelines are the Community Design Guidelines.

Community Design Guidelines

The Community Design Guidelines consist of a set of guidelines for design and historic design cases in community planning areas outside of the Central City. These guidelines address the unique and special characteristics of the community plan area and the historic and conservation districts. The Community Design Guidelines focus on three general categories: (P) Portland Personality, which establishes Portland's urban design framework; (E) Pedestrian Emphasis, which states that Portland is a city for people as well as cars and other movement systems; and (D) Project Design, which assures that each development is sensitive to both Portland's urban design framework and the users of the city.

P1. Plan Area Character. Enhance the sense of place and identity by incorporating site and building design features that respond to the area's desired characteristics and traditions.

RESPONSE: The building has been designed to be a gateway entry to this enclosed pocket that is evolving into a collection of mid rise to high rise residential living that has a connection to Portland State University and the Park Blocks. The base of the building is entirely devoted to pedestrian activities and a strong sense of entrance. The building retains a "small footprint" as is a tradition in this neighborhood and the Portland small block urban center.

P2. Historic and Conservation Districts. Enhance the identity of historic and conservation districts by incorporating site and building design features that reinforce the area's historic significance. Near historic and conservation districts, use such features to reinforce and complement the historic areas.

RESPONSE: The site is not designated an Historic or Conservation District.

P3. Gateways. Develop or strengthen the transitional role of gateways identified in adopted community and neighborhood plans

RESPONSE: The building has been designed to be a gateway building at the south end of the Park Avenue Bridge. The tall glass corner treatment presents a very strong entrance element to the Park Blocks and the central city. The colorful Juliet balconies signal a residential building that is lively and somewhat playful and inviting

E1. The Pedestrian Network. Create an efficient, pleasant, and safe network of sidewalks and paths for pedestrians that link destination points and nearby residential areas while visually and physically buffering pedestrians from vehicle areas.

RESPONSE: The building is at the southwest corner of Park Avenue and Clifton Street and has full sidewalks along the frontage of each street that provide a direct efficient connection to the Park Blocks and transit options.

E2. Stopping Places. New large-scale projects should provide comfortable places along pedestrian circulation routes where people may stop, visit, meet, and rest.

RESPONSE: The base of the building provides a generous covered open area along Park Avenue and Clifton Streets to offer comfortable places to meet and rest.

E3. The Sidewalk Level of Buildings. Create a sense of enclosure and visual interest to buildings along sidewalks and pedestrian areas by incorporating small scale building design features, creating effective gathering places, and differentiating street level facades.

RESPONSE: The sidewalk level is entirely devoted to common use spaces and is predominantly glass frontage to offer visibility into the building and its functions to provide life along the street. The corner is recessed significantly to provide covered areas that create effective gathering spaces.

E4. Corners that Build Active Intersections. Create intersections that are active, unified, and have a clear identity through careful scaling detail and location of buildings, outdoor areas, and entrances.

RESPONSE: The building is at the corner of Park Avenue and Clifton Street, and the corner has been designed to be very active featuring a tall oriel window that will be very recognizable from the Park Blocks. The colorful Juliet balconies will signal its identity as a residential building.

E5. Light, Wind, and Rain. Enhance the comfort of pedestrians by locating and designing buildings and outdoor areas to control the adverse effects of sun, shadow, glare, reflection, wind, and rain.

RESPONSE: The large recessed areas along the east facade and the north facade provide covered areas that are protected from the elements. The project also has a large outdoor courtyard at the southwest corner of the site that can be accessed by anyone from Park Avenue and Clifton Streets. The courtyard will have benches, a vibrant landscape and trees along the perimeter of the courtyard to provide a pleasant outdoor area.

D1. Outdoor Areas. When sites are not fully built on, place buildings to create sizable, usable outdoor areas. Design these areas to be accessible, pleasant, and safe. Connect outdoor areas to the circulation system used by pedestrians;

D3. Landscape Features. Enhance site and building design through appropriate placement, scale, and variety of landscape features.

RESPONSE: The "L" shaped site provides us with an excellent opportunity to create an approximately 1500 square foot outdoor courtyard that will have bench seating and a large open area for activities. The courtyard is easily accessed by pedestrian connections to Park Avenue and Clifton Streets. ADA access is provided via the sidewalk along Clifton. The perimeter of the courtyard is landscaped by a variety of plant types and scales. Perimeter Trees will provide shade and privacy from surrounding residential development now, and in the future when larger scale buildings will be built. A number of different landscape features are placed around the building and are of various scales.

D2. Main Entrances. Make the main entrances to houses and buildings prominent, interesting, pedestrian accessible, and transit-oriented.

RESPONSE: The main entrance to the building is located at the northeast corner of the building, the most prominent corner of the site. It is the most direct and closest point to access transit and connect to the important Park Blocks through Portland State University.

D4. Parking Areas and Garages. Integrate parking in a manner that is attractive and complementary to the site and its surroundings. Locate parking in a manner that minimizes negative impacts on the community and its pedestrians. Design parking garage exteriors to visually respect and integrate with adjacent buildings and environment.

RESPONSE: The project does not have a parking garage or a parking area.

D5. Crime Prevention. Use site design and building orientation to reduce the likelihood of crime through the design and placement of windows, entries, active ground level uses, and outdoor areas.

RESPONSE: The building has all common use activities at the ground floor level with significant amounts of glass to provide plenty of "eyes on the street" to reduce the likelihood of criminal activity. Since it is a residential building, all the living spaces are located at the street frontages to provide more activity 24/7 along the street frontages. At the west end of the building there are 20 units that face the large common outdoor courtyard to provide eyes on the courtyard.

D6. Architectural Integrity. Respect the original character of buildings when making modifications that affect the exterior. Make additions compatible in scale, color, details, material proportion, and character with the existing building.

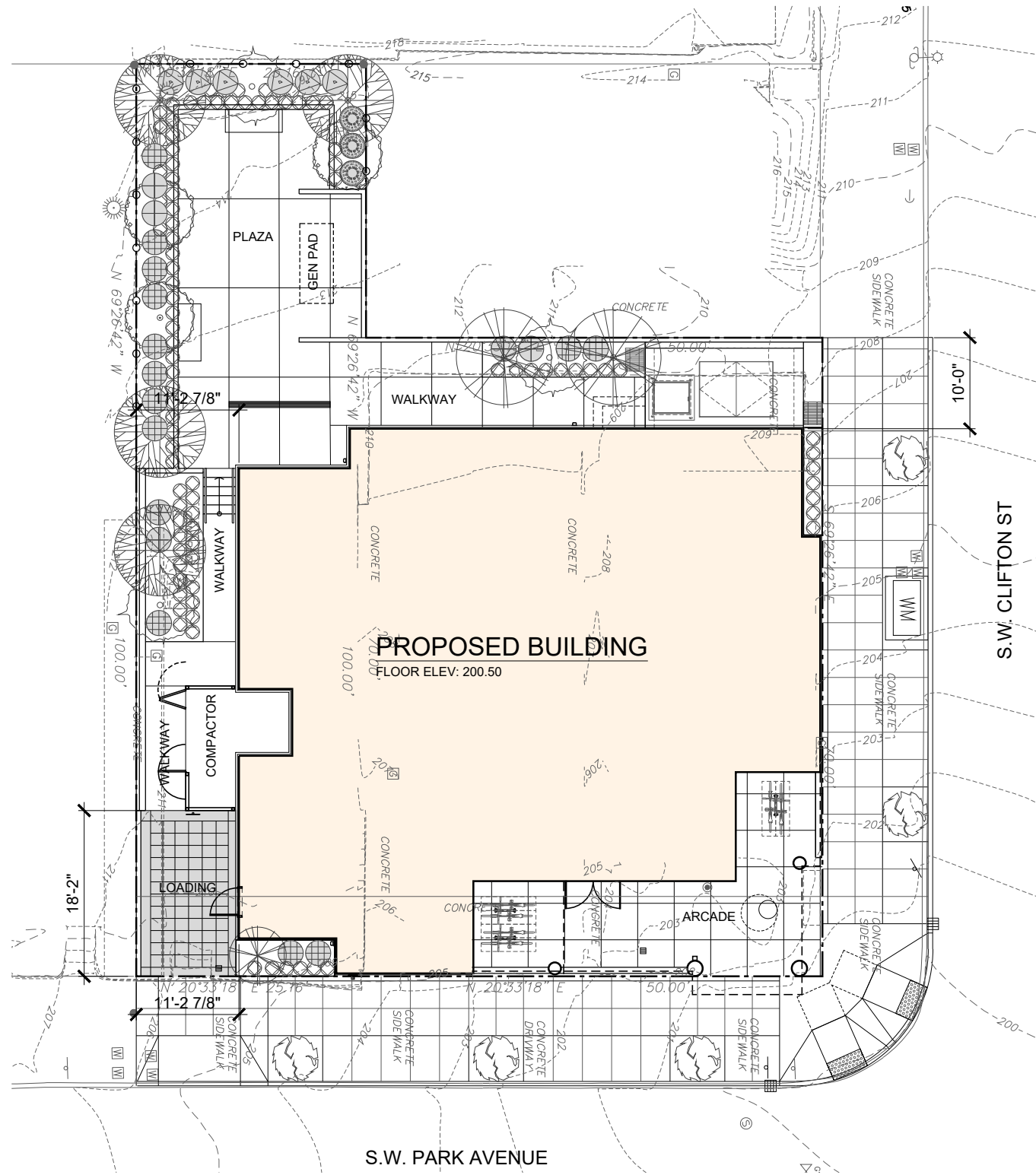
RESPONSE: This a new building, so there are no additions.

D7. Blending into the Neighborhood. Reduce the impact of new development on established neighborhoods by incorporating elements of nearby, quality buildings such as building details, massing, proportions, and materials.

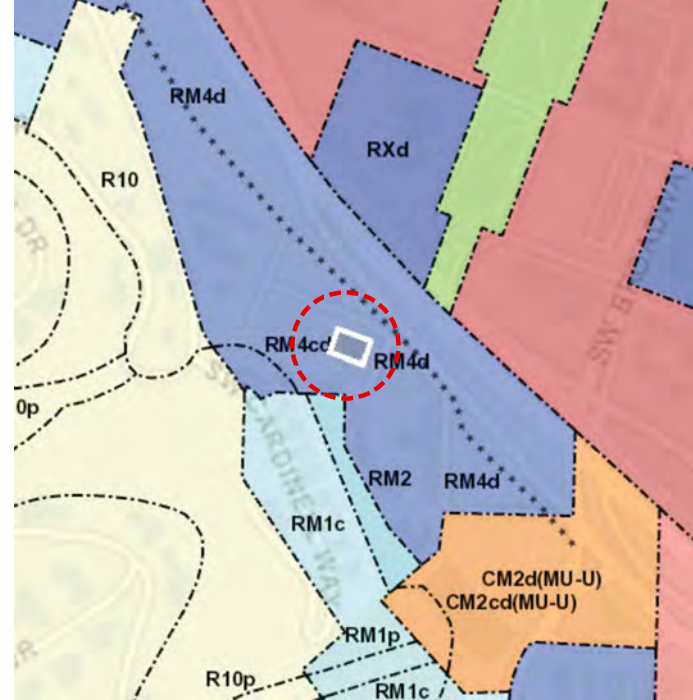
RESPONSE: This is one of the first large scale buildings in an area that has been designated for this size and scale of building by the Portland Zoning Code and Comprehensive Plan, so there will be a transition period from the current lower small scale buildings in the area to larger scale buildings, like the Amy 6 story apartments to the west and this proposed building. It is a residential area and the new zoning maintains it as a residential area, but at a much more dense scale. Details such as balconies, colors, articulation and street facing 24/7 life will maintain the residential character.

D8. Interest, Quality, and Composition. All parts of a building should be interesting to view, of long lasting quality, and designed to form a cohesive composition.

RESPONSE: The building is a unique first of its kind in the area, as it is a prefabricated modular high rise building that requires a certain regimen. High rise buildings by themselves require longer lasting quality materials. The composition of the building has been carefully crafted to provide articulation and proportions that breakdown the building block into sleek proportions. The colorful perforated metal Juliet balcony panels provide colorful interest and activity on the facades to provide a cohesive composition.



1 SITE PLAN
SCALE: 1/16" = 1'-0"



GENERAL INFORMATION

2059 SW PARK AVE
 PROPERTY ID: R246517
 COUNTY: MULTNOMAH
 STATE ID: 1S1E04DA 8800
 ALT ACCOUNT #: R667725410
 MAP NUMBER: 3228 OLD
 LAND TYPE: RES - RESIDENTIAL LAND
 TOTAL LAND AREA: 6,000.00 SF

SITE INFO

SITE ADDRESS:
 2059 SW PARK AVE
 PORTLAND, OR 97201

NEIGHBORHOOD

SOUTHWEST HILLS RESIDENTIAL LEAGUE
 JURISDICTION: PORTLAND / MULTNOMAH

ZONING

ZONE: RM4 (d)
 DESCRIPTION: RESIDENTIAL MULTI-DWELLING 4
 OVERLAY: d
 BASE OVERLAY COMBINATION: RM4d
 COMP PLAN: MD-U - Multi-Dwelling - Urban Center

TOTAL AREA 6,000 SF

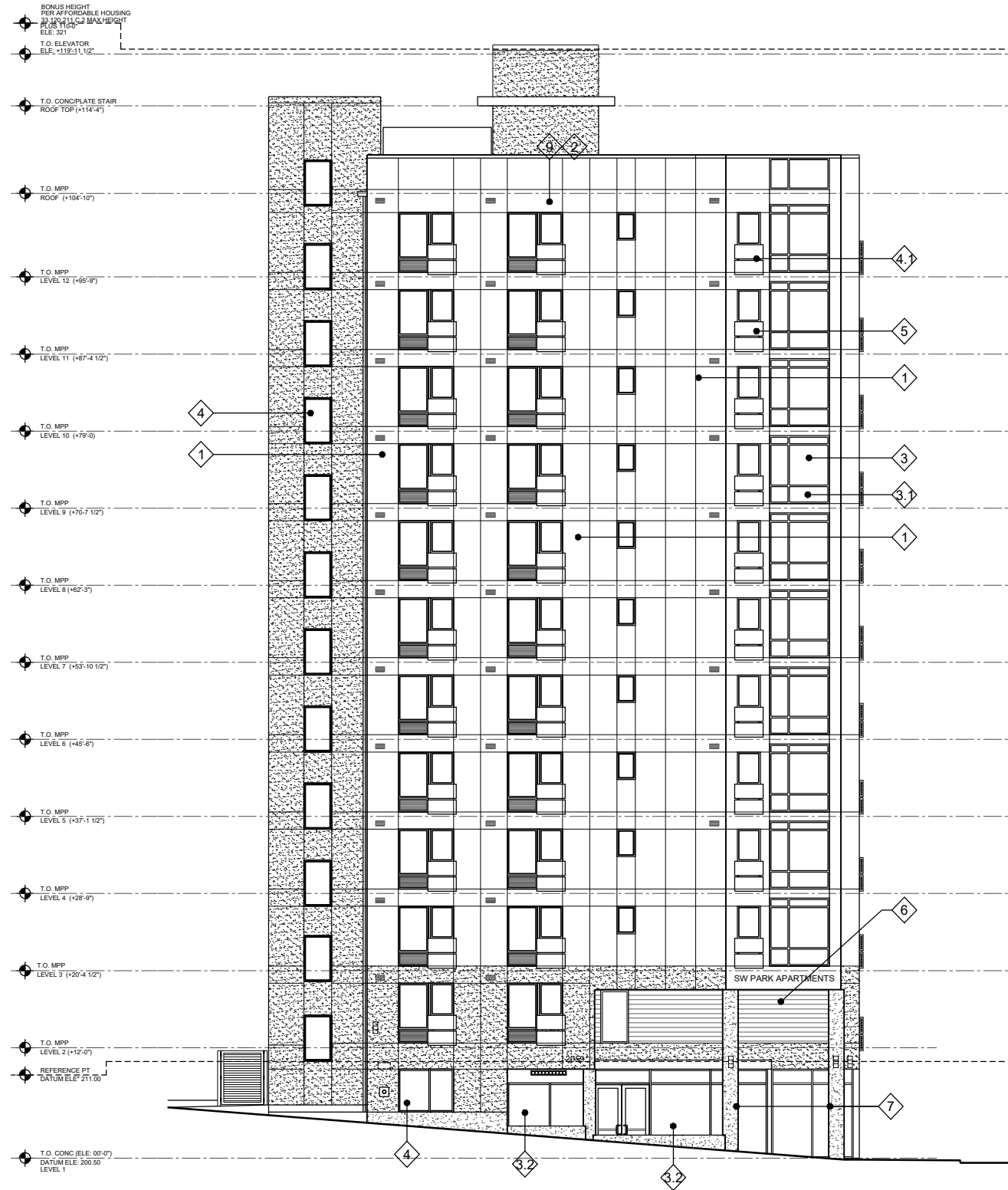
SETBACK

FRONT BUILDING SETBACK 0 FT
 STREET BUILDING SETBACK 0 FT
 MAXIMUM HEIGHT 75/100 FT

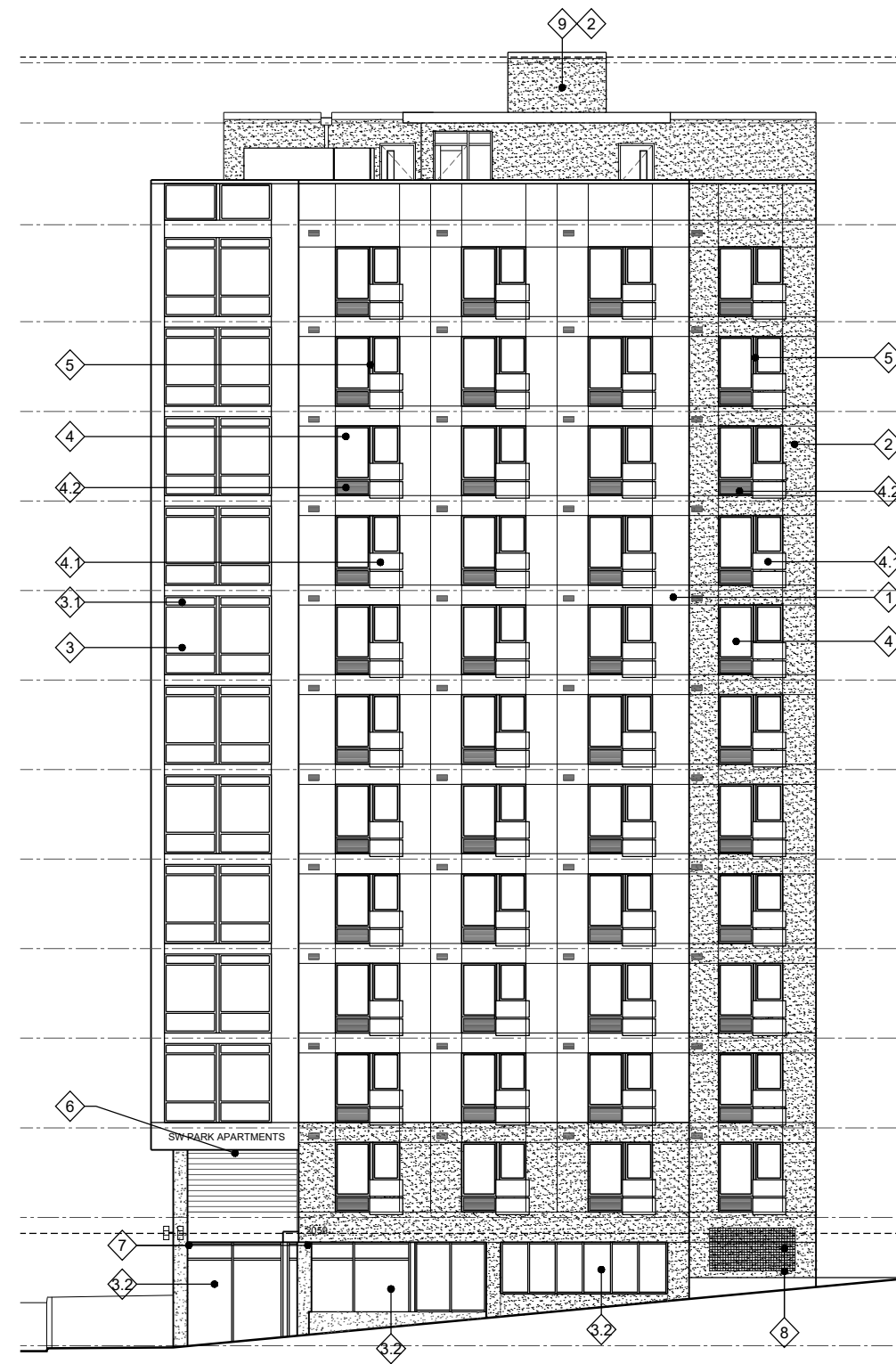
ROOFTOP MECHANICAL EQUIPMENT AND STAIRWELL ENCLOSURES THAT PROVIDE ROOFTOP ACCESS MAY EXTEND ABOVE THE HEIGHT LIMIT AS FOLLOWS, PROVIDED THAT THE EQUIPMENT AND ENCLOSURES ARE SET BACK AT LEAST 15 FEET FROM ALL ROOF EDGES ON STREET FACING FACADES.



2 VICINITY PLAN
NTS



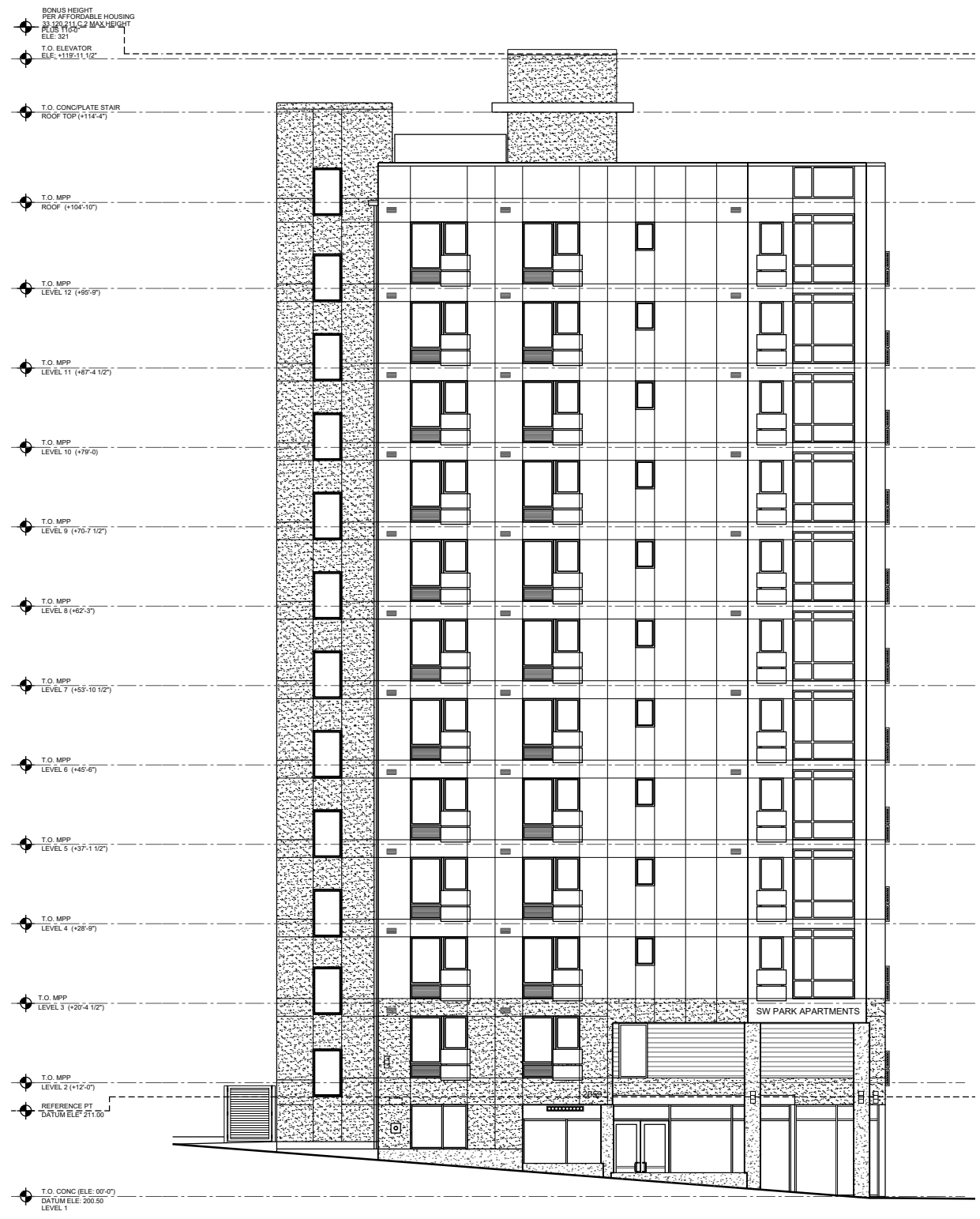
1 EAST ELEVATION
SCALE: 1/16" = 1'-0"



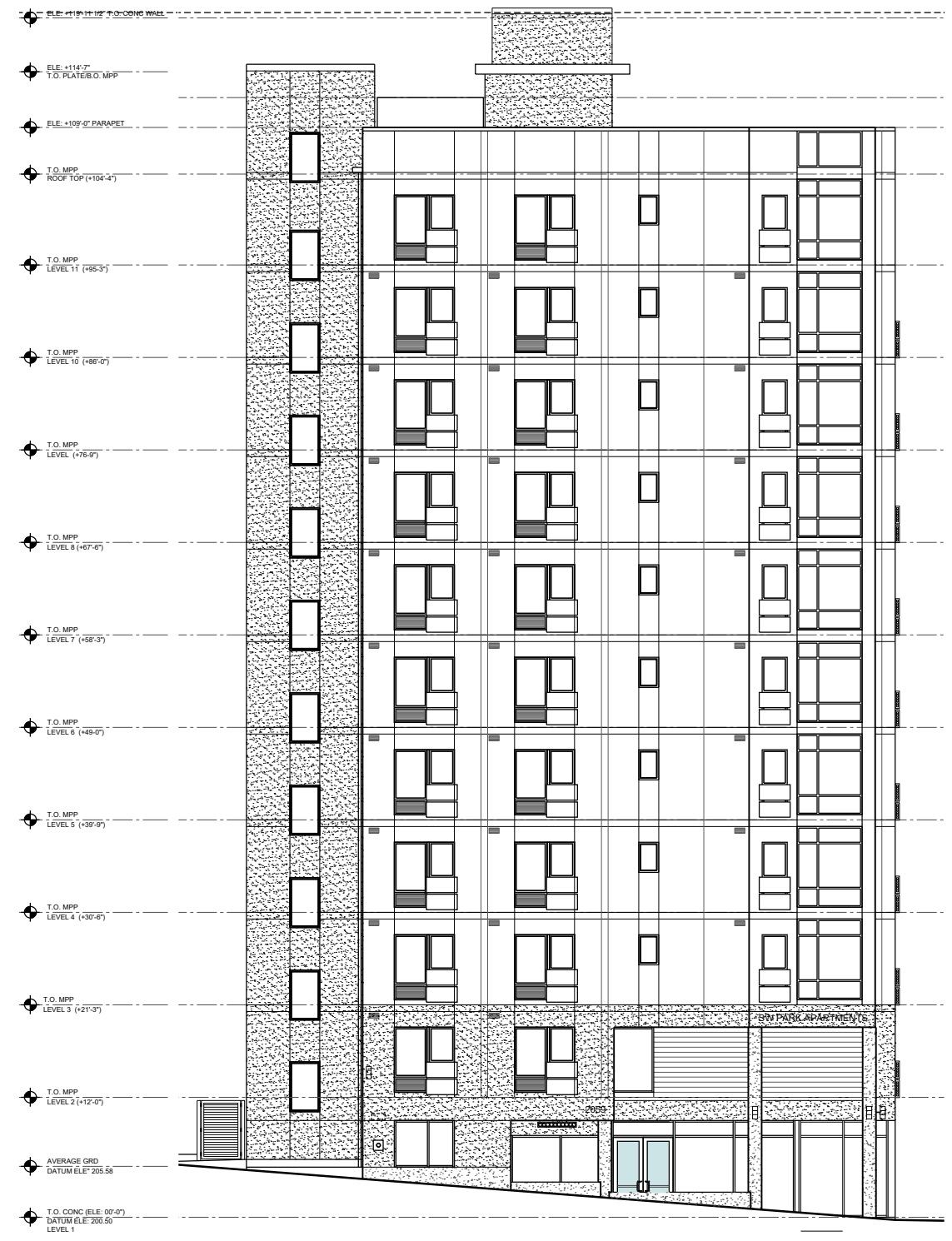
2 NORTH ELEVATION
SCALE: 1/16" = 1'-0"

KEYNOTES

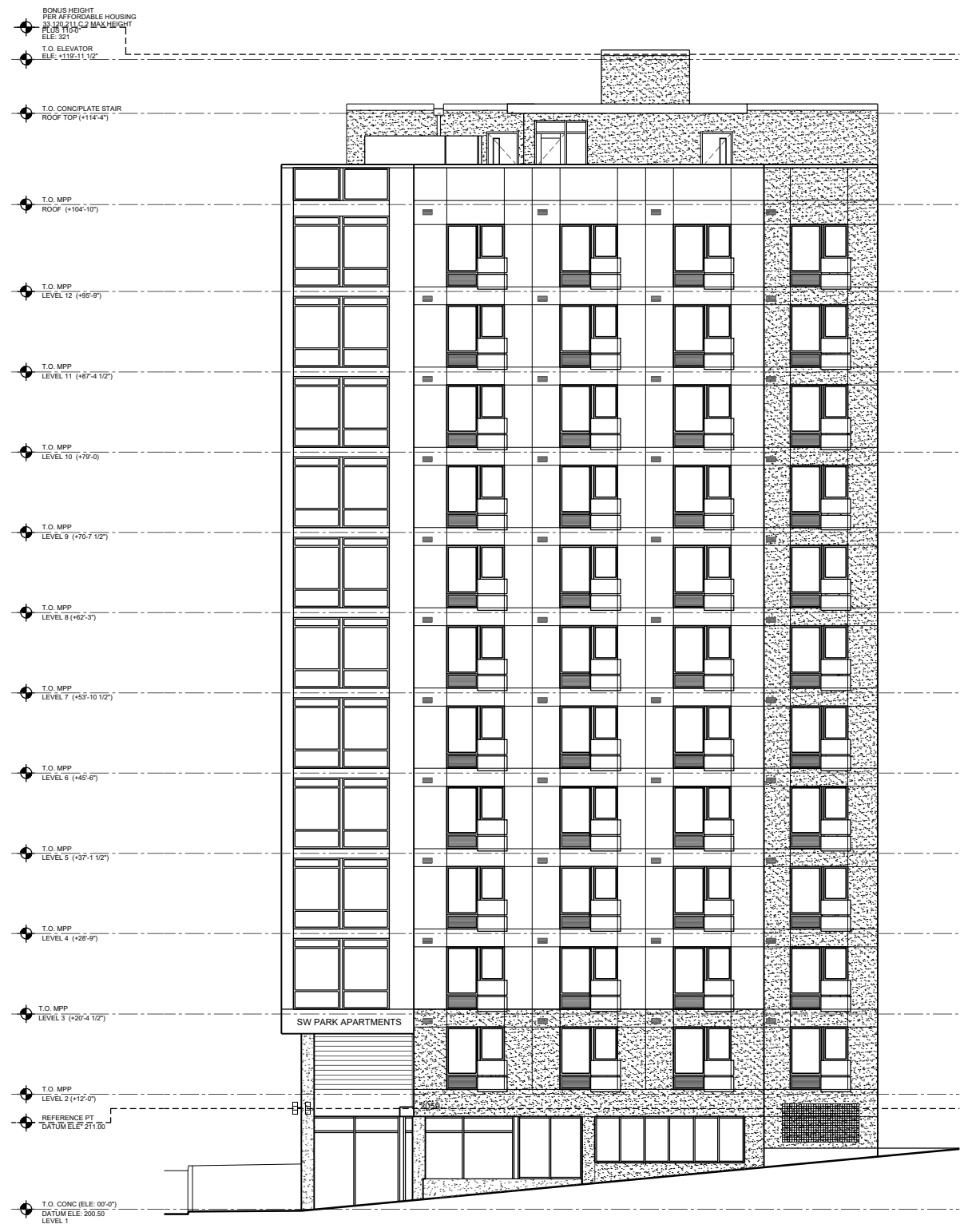
- 1 STUCCO - COLOR "LIGHT GRAY"
- 2 STUCCO - COLOR "DARK GRAY"
- 3 WINDOW WALL CURTAIN GLAZING FRAMING COLOR - "BLACK"
- 3.1 WINDOW SPANDREL GLAZING FRAMING COLOR - "BLACK"
- 3.2 WINDOW STOREFRONT GLAZING FRAMING COLOR - "BLACK"
- 4 WINDOW VINYL FRAMING COLOR - "BLACK"
- 4.1 JULIET WINDOW VINYL FRAMING COLOR - "BLACK"
- 4.2 LOUVER - "BLACK"
- 5 STEEL BALCONY WITH PUNCHED METAL GUARDRAIL OPENING
- 6 LAMINATED WOOD PANEL
- 7 CONC POST
- 8 PLANTER WITH GREEN WALL
- 9 ELEVATOR PENTHOUSE



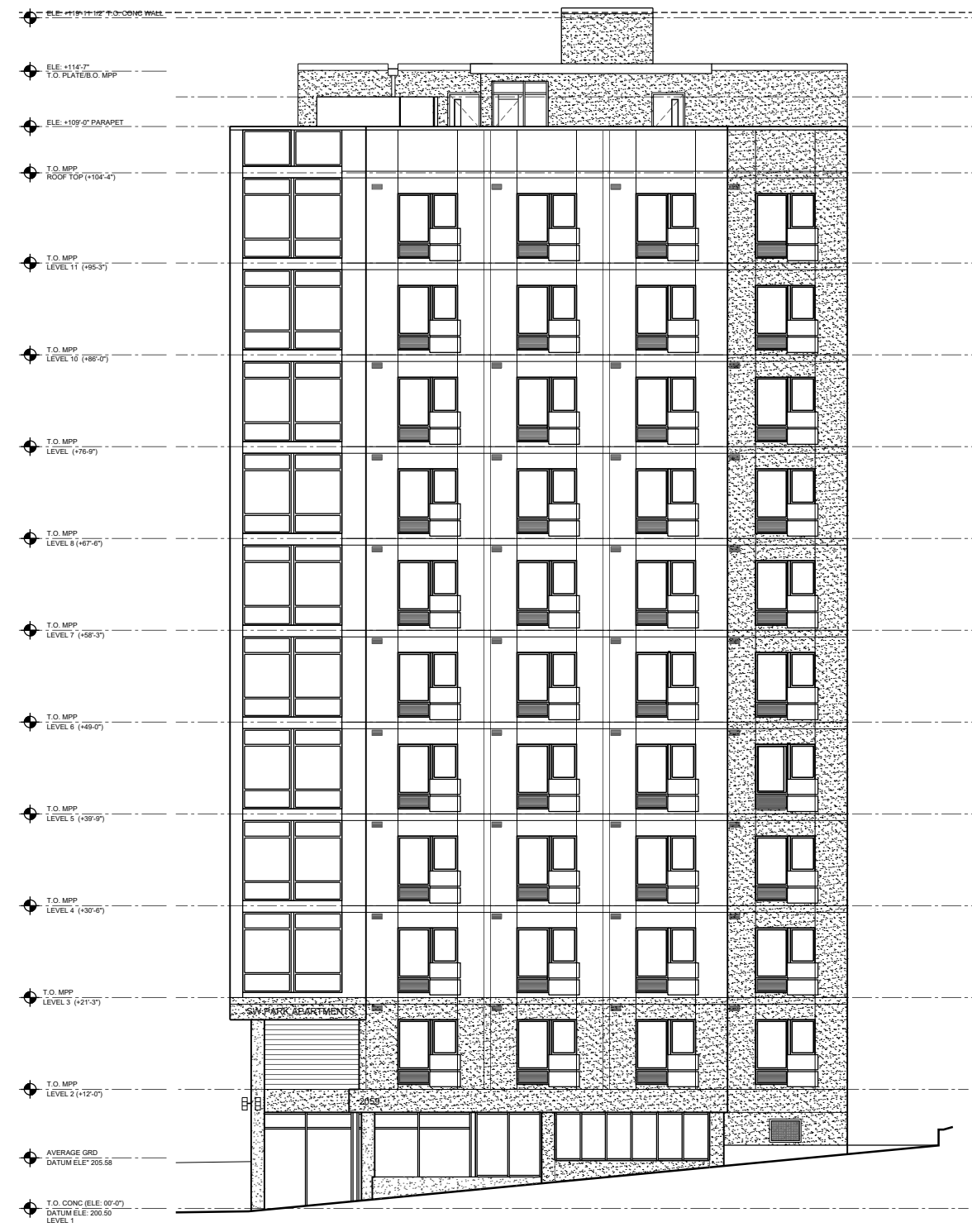
1 EAST ELEVATION - 12TH STORY
SCALE: 1/16" = 1'-0"



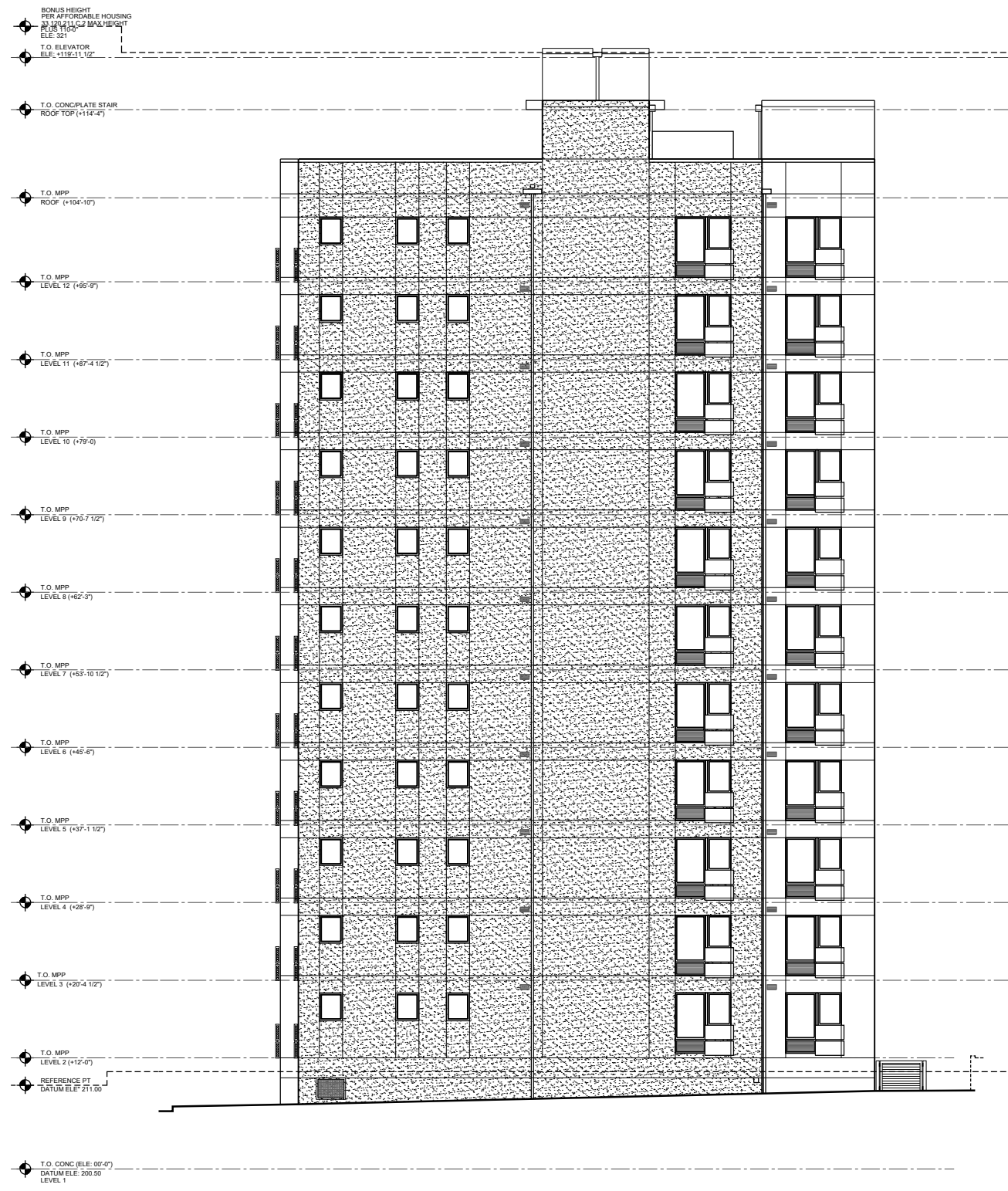
2 EAST ELEVATION - 11 STORY
SCALE: 1/16" = 1'-0"



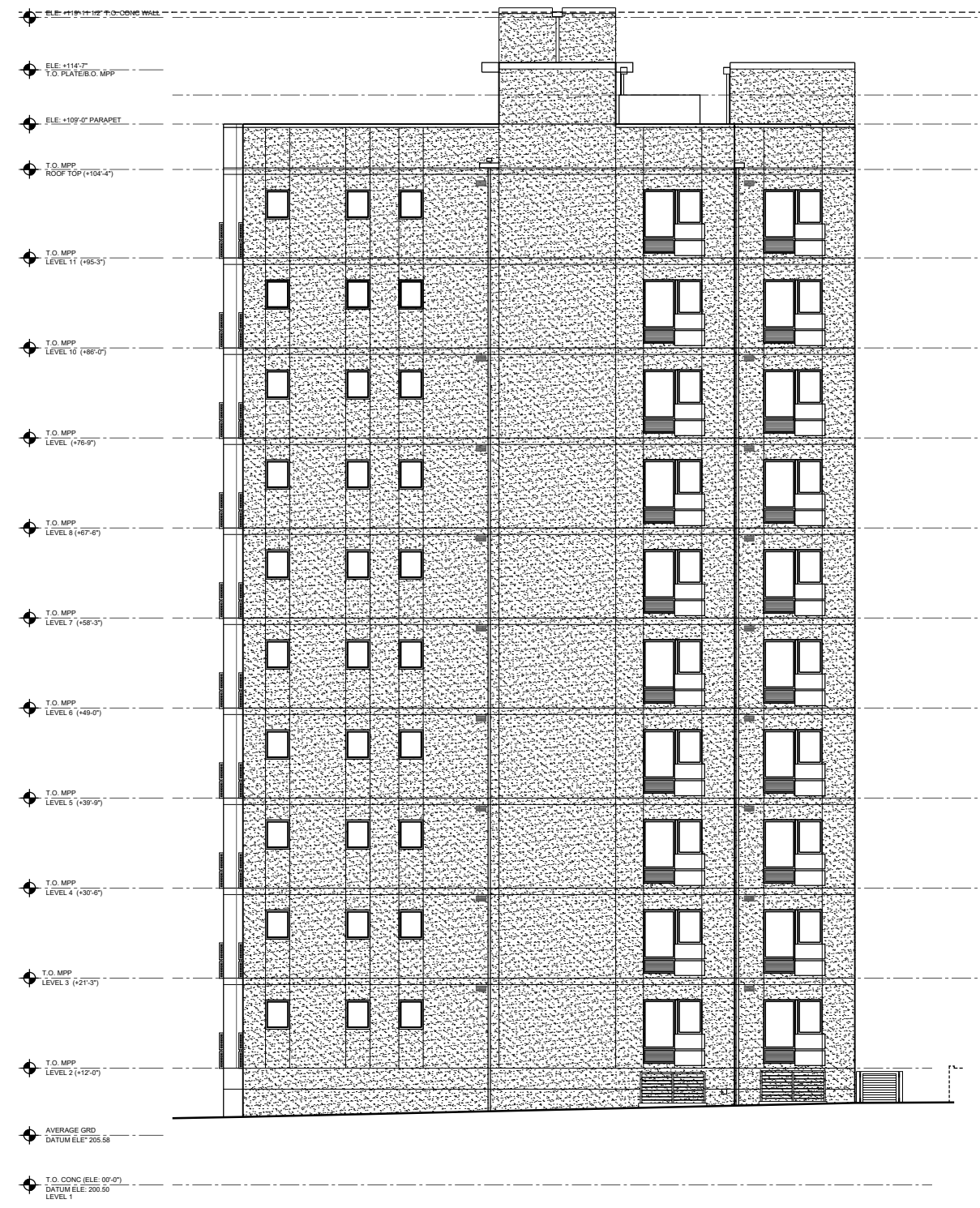
1 NORTH ELEVATION - 12TH STORY
SCALE: 1/16" = 1'-0"



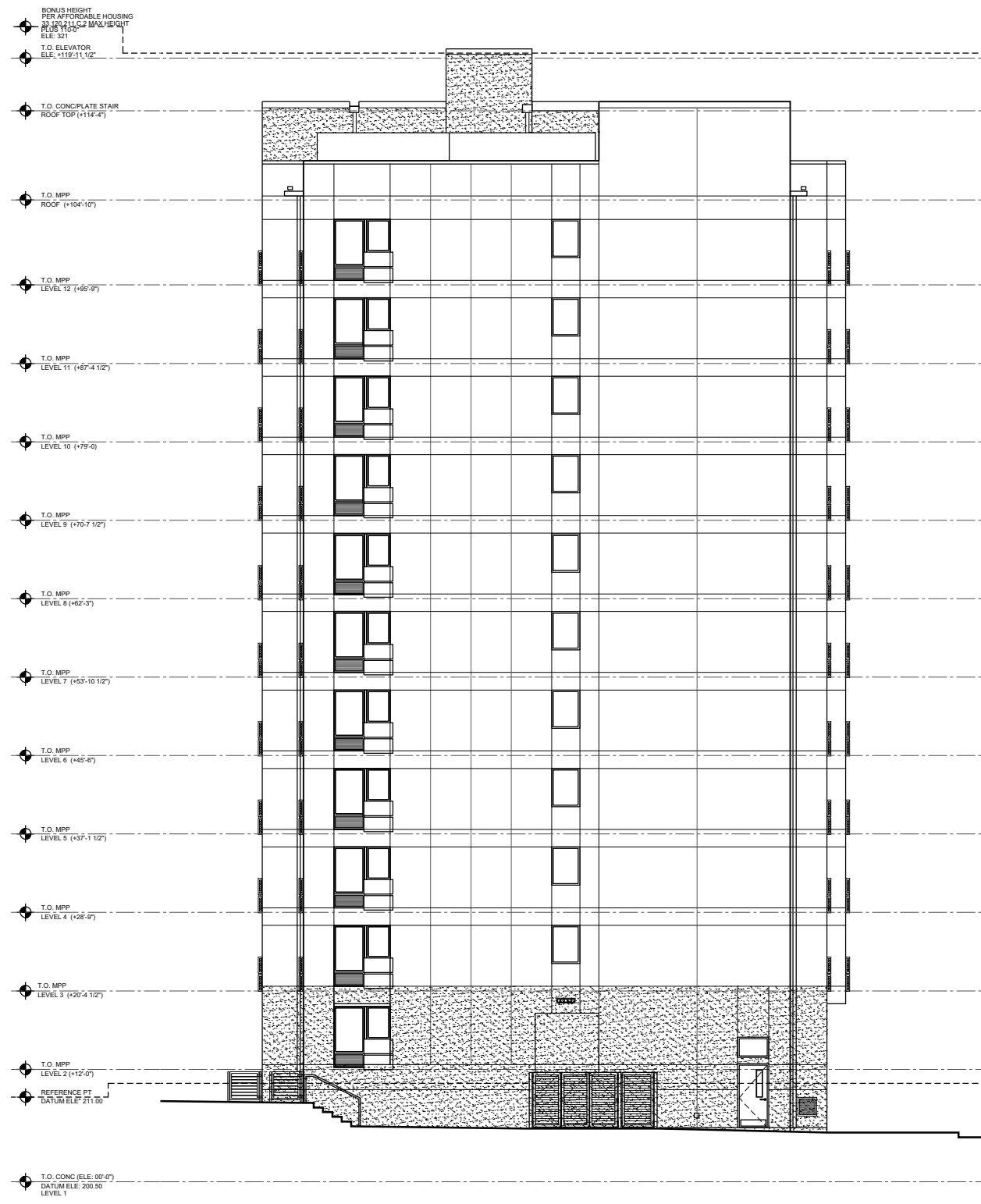
2 NORTH ELEVATION - 11TH STORY
SCALE: 1/16" = 1'-0"



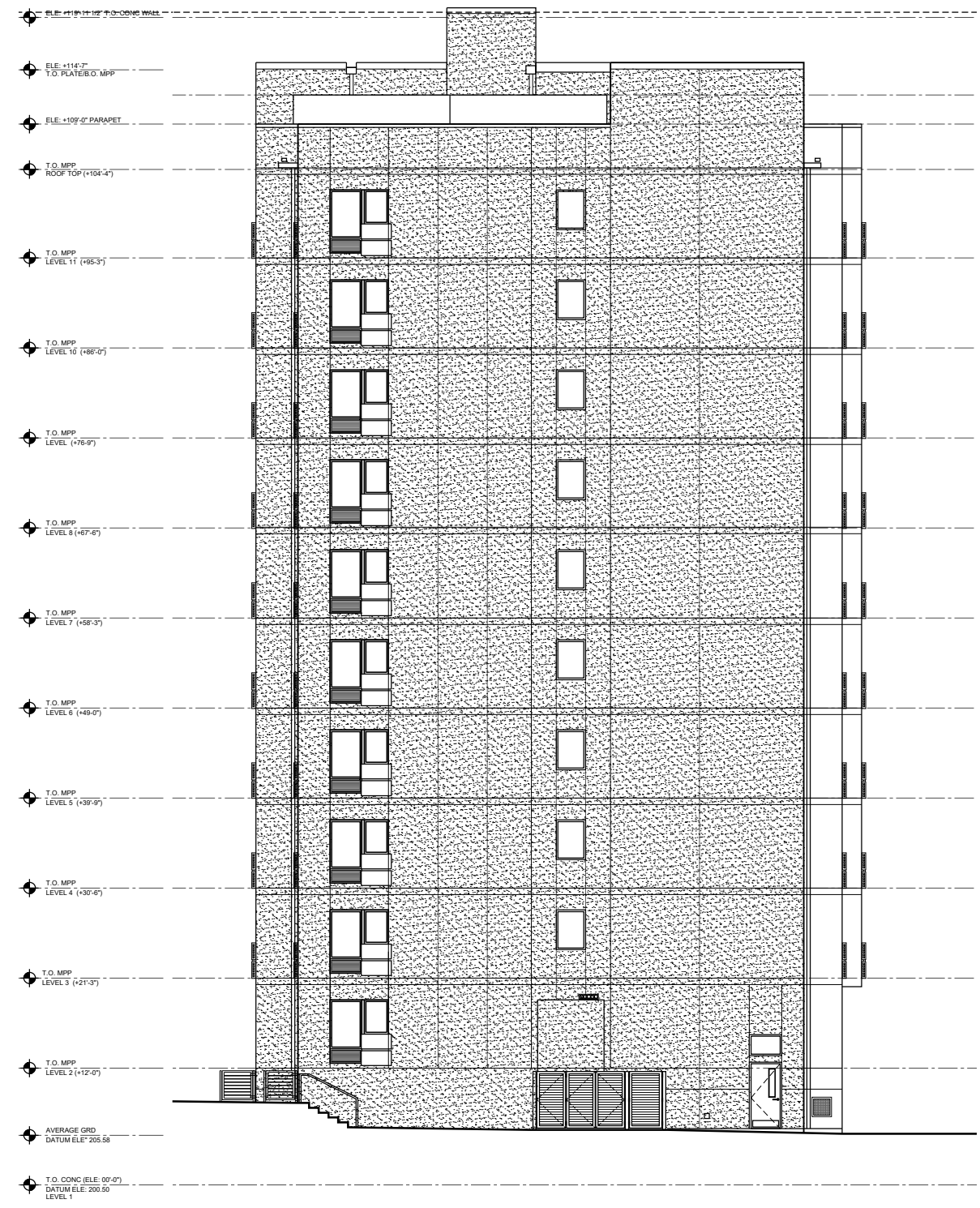
1 WEST ELEVATION - 12TH STORY
SCALE: 1/16" = 1'-0"



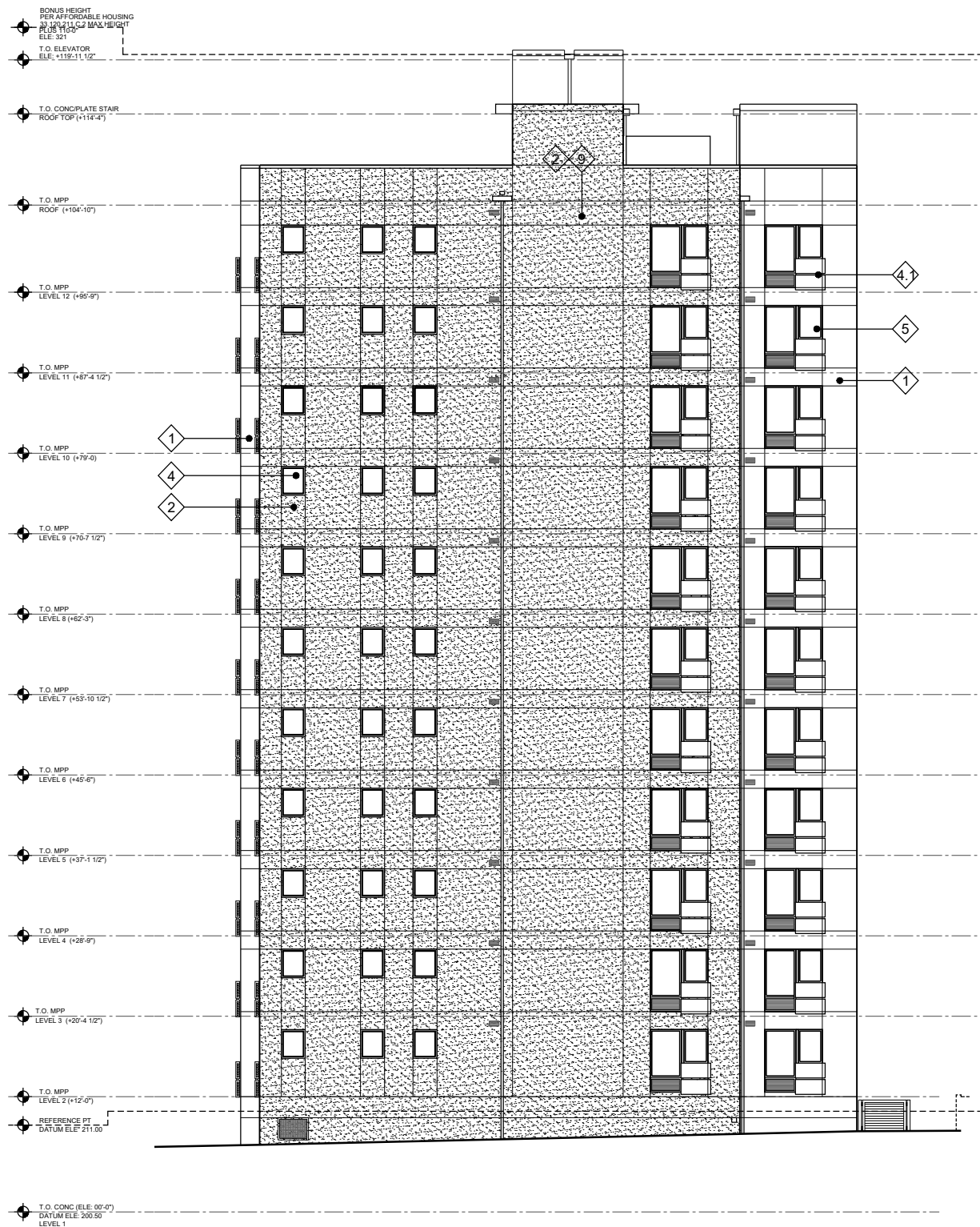
2 WEST ELEVATION - 11TH STORY
SCALE: 1/16" = 1'-0"



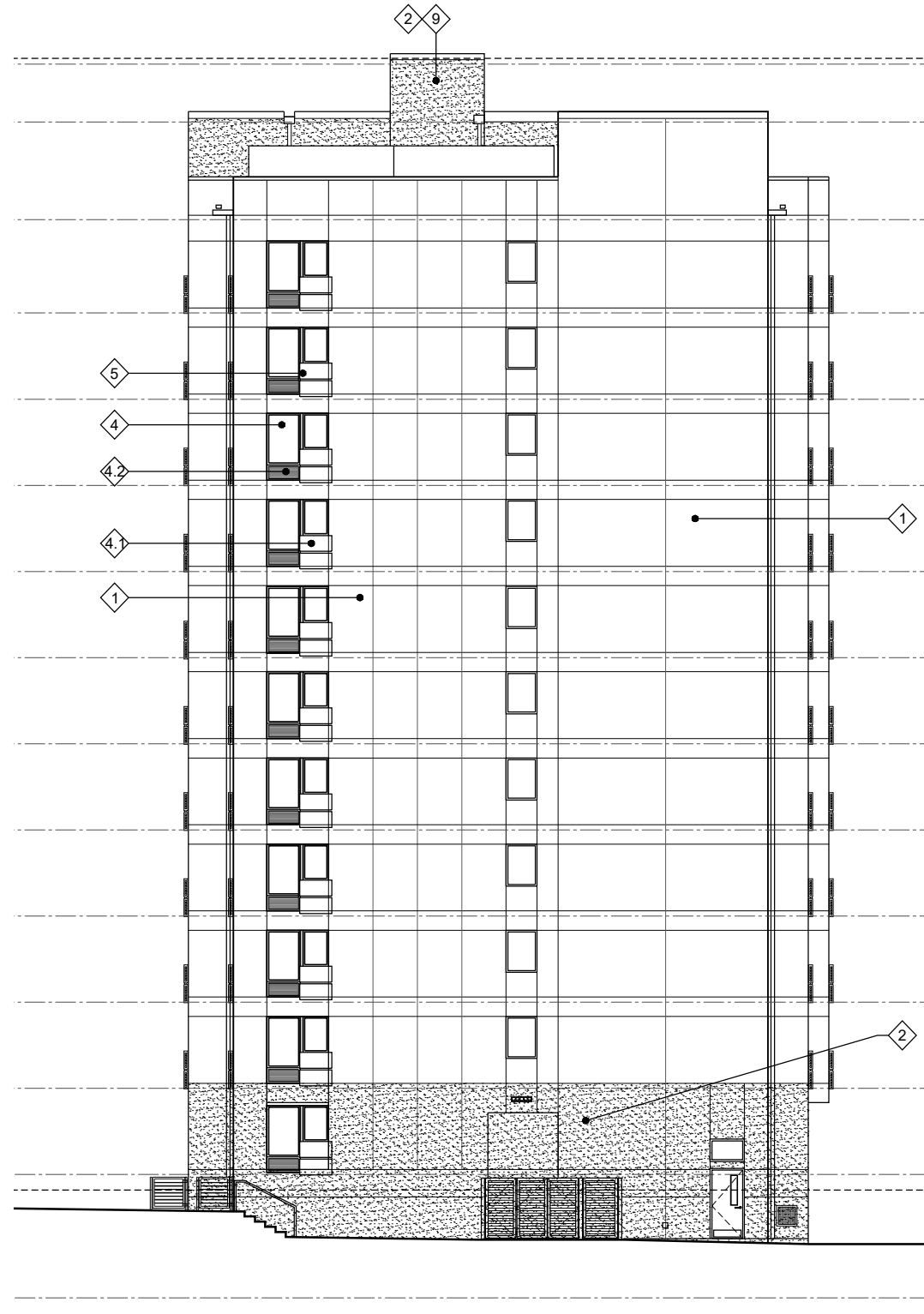
1 WEST ELEVATION - 12TH STORY
SCALE: 1/16" = 1'-0"



2 WEST ELEVATION - 11TH STORY
SCALE: 1/16" = 1'-0"

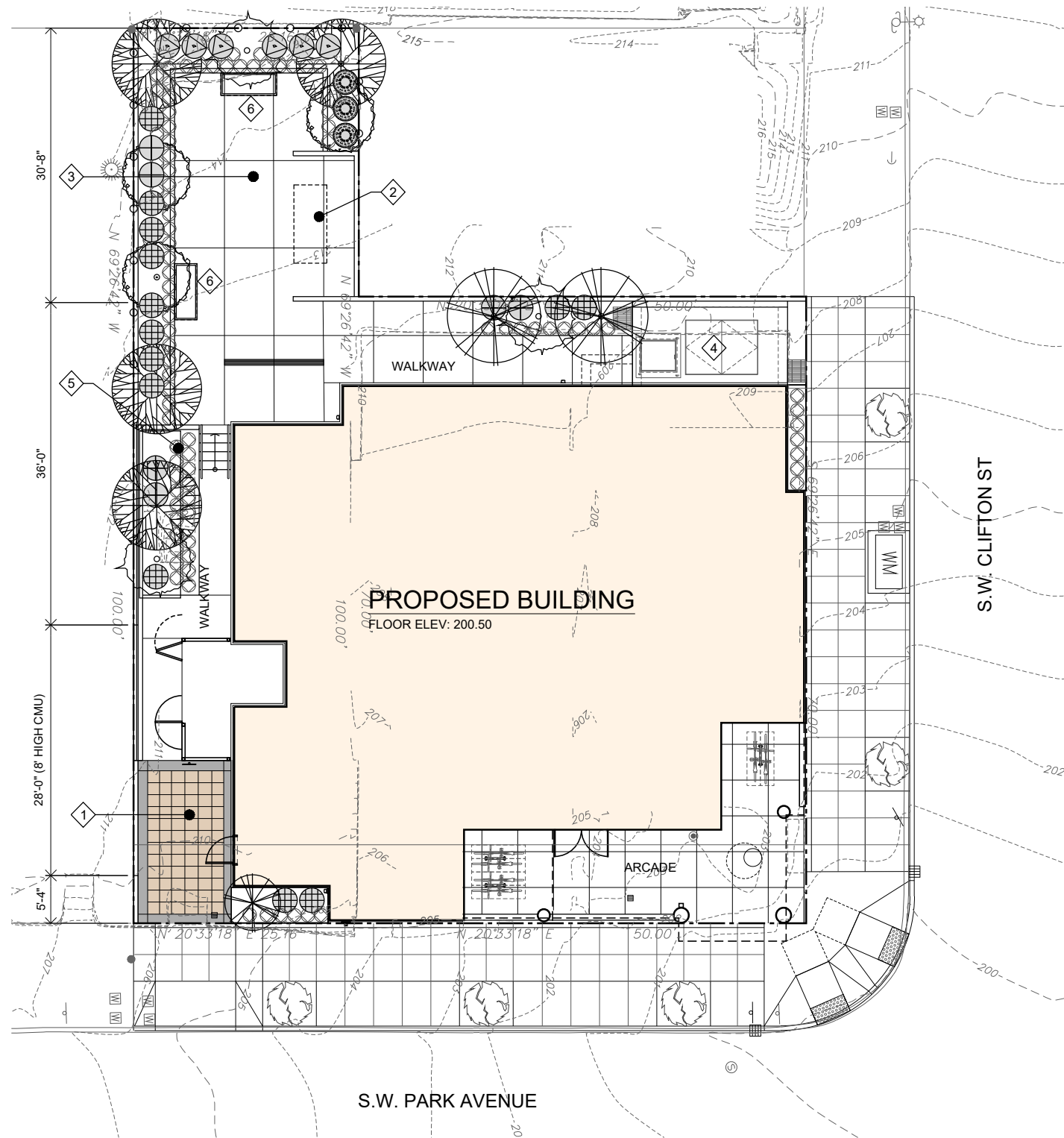


1 WEST ELEVATION
SCALE: 1/16" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

- KEYNOTES**
- 1 STUCCO - COLOR "OFF WHITE"
 - 2 STUCCO - COLOR "MEDIUM GRAY"
 - 3 WINDOW WALL CURTAIN GLAZING FRAMING COLOR - "BLACK"
 - 3.1 WINDOW SPANDREL GLAZING FRAMING COLOR - "BLACK"
 - 3.2 WINDOW STOREFRONT GLAZING FRAMING COLOR - "BLACK"
 - 4 WINDOW VINYL FRAMING COLOR - "BLACK"
 - 4.1 JULIET WINDOW VINYL FRAMING COLOR - "BLACK"
 - 4.2 LOUVER - "BLACK"
 - 5 STEEL BALCONY WITH PUNCHED METAL GUARDRAIL OPENING
 - 6 LAMINATED WOOD PANEL
 - 7 CONC POST
 - 8 PLANTER WITH GREEN WALL
 - 9 ELEVATOR PENTHOUSE



LANDSCAPE PLAN KEYNOTES

- 1 LOADING ZONE WITH CONCRETE COLORED PAVRES
- 2 GENERATOR PAD
- 3 OUT DOOR PLAZA WITH CONCRETE SURFACE
- 4 ELECTRICAL VAULT
- 5 LANSCAPE AREA FOR WATER QUALITY QUALITY FILTRATION
- 6 BENCH

PLANTING LEGEND

TREE	CODE	COMMON NAME	CONT	CAL	QUANTITY	SIZE	HEIGHT
	TBD	NEW DECIDUOUSE TREE MATCH EXISTING ALONG SIDEWALK	B&B	2 CAL	5	LARGE	5FT
	FRAN	FRAXINUS ANGUSTIFOLIA NARROWLEAF ASH	B&B	2 CAL	4	LARGE	5FT
	ALNUS	ALNUS RHOMBIFOLIA WHITE ALDER	B&B	2 CAL	2	LARGE	5FT
	ACER	ACER NIGRUM 'GREENCOLUMN' GREENCOLUMN MAPLE	B&B	2 CAL	3	MEDIUM	5FT
	JRM	ACER X FREEMANII 'JEFFERSON RED' JEFFERSON RED MAPLE	B&B	2 CAL	3	MEDIUM	5FT
	ESRED	EASTERN REDBUD CERCIS CANADENNIS	B&B	2 CAL	1	SMALL	5FT
SHRUBS	CODE	COMMON NAME	CONT	SPACING	QUANTITY		
	PF	POTENTILLA FRUTICOSA CVS.	3 GAL	3' O.C.	12		
	DAP	DAPHNE X BURKWOODII BURKWOOD DAPHNE	3 GAL	5' O.C.	6		
	PHILLE	PHILADELPHUS LEWISII MOCK ORANGE	3 GAL	3' O.C.	8		
	JHOLLY	ILEX CRENATA JAPANESE HOLLY	3 GAL	3' O.C.	4		

1 LANDSCAPE PLAN
SCALE: 1/16" = 1'-0"





Rowen Rystadt <rowen@nativeld.com>

SW Park Avenue Affordable Apartment Project - Neighborhood Notice

1 message

Rowen Rystadt <Rowen@nativeld.com>

Wed, Mar 9, 2022 at 11:47 AM

To: sylvia@swni.org, coalition@nwnw.org, cwestling@pps.net, info@goosehollow.org

Cc: Ralph Tahran <ralphtahran@comcast.net>, Austin Turner <austin@twsolns.com>

Dear Neighbor:

Please be advised that a formal land use and building permit application will be submitted to the City of Portland seeking approval of a new multi-family affordable apartment building for the property located at:

*2059 SW Park Ave**Portland, OR 97201**(Previously 2061, 2055-57 SW Park Ave)*

The petitioner is asking the City of Portland to approve these applications to allow development of a 98-Unit Studio Apartment building on the described property. This is a change from the 91-unit approved design. The building will be 12-stories instead of the 11-story approved design, but the height of the overall building will remain the same as the approved design. All units will still remain affordable at 60% AMI. The project has acquired approval for funding from Oregon Housing & Community Services.

In compliance with the Neighborhood Contact III requirements described in Chapter 33.705 of the City of Portland Planning and Zoning Title 33 code, a Neighborhood Information Meeting will be held to provide you with an opportunity to become fully aware of our development intentions and to give you an opportunity to influence the form of development. We request that a Zoom meeting or other remote conferencing technology be used in lieu of a public in-person meeting. The meeting must be scheduled by you within 14 days of this letter of notification, and scheduled to occur on a date and time of your choosing within 45 days of this letter. If we receive no response, we will present the project to the public in a meeting held on Thursday, March 24th, @ 6pm. Here is a link to the scheduled meeting:

<https://us02web.zoom.us/j/84546368485?pwd=T3ZFNGhyK0QzdWJ4cnlkV2QvWVNLQT09>

or Call

+1 669 900 6833 w/ ID 845 4636 8485

Passcode : 945734

LU 22-157148 DZM A-3

Here is a link to our conceptual design, project summary, and development team information:

<https://drive.google.com/file/d/1E3daasm5elLOzG4sOzAHofPCdtNA9ukL/view?usp=sharing>

At this meeting the petitioner will make every effort to illustrate how the property will be developed and to answer any questions. Should you have questions prior to the meeting, or would like me to send you a link to our plans instead of typing in that really long link, please contact me via email at RalphTahran@comcast.net. We look forward to hearing from you.

Sincerely,

Ralph Tahran

--

Rowen Rystadt
503-329-1124
rowen@nativeld.com

U.S. Postal Service
CERTIFIED MAIL® RECEIPT

Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage
\$

Total Postage and Fees
\$

Sent To
Portland Parkrun Neighbors Association
Street and Apt. No., or PO Box No.
2257 NW Raleigh St
City, State, ZIP+4®
Portland, OR 97210

Postmark
Here

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT

Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

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Extra Services & Fees (check box, add fee as appropriate)

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Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage
\$

Total Postage and Fees
\$

Sent To
SWARC / O NEIGHBORS WEST-NORTHWEST
Street and Apt. No., or PO Box No.
2257 NW Raleigh St
City, State, ZIP+4®
Portland, OR 97210

Postmark
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U.S. Postal Service™
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Sent To
MOOSE Hollow FOOTHILLS LEAGUE
Street and Apt. No., or PO Box No.
2257 NW Raleigh St
City, State, ZIP+4®
Portland, OR 97210

Postmark
Here

The UPS Store #3204
6312 SW CAPITOL HWY
PORTLAND, OR 97239-1938
503-293-6559

Terminal....: POS3204B Date.: 3/9/2022
Employee....: 191570 Time.: 12:02 PM

ITEM NAME	QTY	PRICE	TOTAL
First Class Package			\$0.10
Tax	1 @	\$0.10	\$0.00
MMV3S2PA8XHUV2 Tracking Number First Class Package			\$8.39
Tax	1 @	\$8.39	\$0.00
MMV3SZPXDRHFO Tracking Number First Class Package			\$8.39
Tax	1 @	\$8.39	\$0.00
MMV3SPDTQ92C Tracking Number First Class Package			\$8.29
Tax	1 @	\$8.29	\$0.00
Other Center Pricing			
Subtotal			\$25.17
Shipping/Other Charges			\$0.00
Total tax			\$0.00
Total			\$25.17
Cards			\$25.17

Items Designated NR are NOT eligible
for Returns, Refunds or Exchanges.

US Postal Rates Are Subject to Surcharge.



View The UPS Store, Inc.'s privacy notice at
<https://www.theupsstore.com/privacy-policy>

VISA *****2044 020215
03/09/2022 12:02 PM
TID 758461480002

Purchase

VISA DEBIT XXXXXXXXXXXX2044
ENTRY METHOD LU 22157148 DZM A-3
CVM SIGN
Invoice 0020003046
Clerk 19157

Thanks!

Thank you for submitting the online application for your project. You may print this page for your records. You should also receive an email containing receipt. If you do not, please check your spam and / or junk folders.

Print



City of Portland, Oregon

Powered by [Esri](#)

Project Location

Property ID: R246517
Portlandmaps.com
2059 SW PARK AVE
Portland, OR
97201

Applicant Info

Ralph Tahrn
RalphTahrn@comcast.net
(503) 539-8802

Project Info

SW Park Ave Apartments

Project size	42,000 ft ²
Date submitted	3/9/2022

The proposed affordable housing project will be 12-stories, comprised of 98 studio units. All units will be offered at or below 60% AMI.

[022 A1.1 Site & Key Notes 3.22.pdf](#)

Associations and Districts

Neighborhood associations, neighborhood coalitions and business districts within 400' of the submitted site:

Neighbors West-Northwest

District type: Neighborhood Coalition
<http://www.nwnw.org>
coalition@nwnw.org
(503) 823-4288

Portland Downtown Neighborhood Association

District type: Neighborhood Association
<http://www.portlanddowntownna.com>
Correspondence to:

Goose Hollow Foothills League

District type: Neighborhood Association
<http://www.goosehollow.org/>
Correspondence to:
Goose Hollow Foothills League, c/o

LU 22-157148 DZM A-3

Portland Downtown Neighborhood
Association, c/o Neighbors West-
Northwest, 2257 NW Raleigh,
Portland, OR 97210

Neighbors West/Northwest, 2257 NW
Raleigh St, Portland, OR 97210

Southwest Hills Residential League

SWHRL

District type: Neighborhood

Association

www.swhrl.org

Correspondence to:

SWHRL, c/o Neighbors West-
Northwest, 2257 NW Raleigh Street,
Portland, OR 97210

Required Public Meeting

Projects over 25,000 ft², or projects over 10,000 ft² with the Design (d) overlay zone are required to hold a public meeting. Please include the date, time, and location of the public meeting if required.

Date 3/23/2022, 6:00:00 PM
and
Time

Location Zoom meeting.

Notes <https://us02web.zoom.us/j/84546368485?pwd=T3ZFNGhyK0QzdWJ4cnlkV2QvWVNlQT09> or Call +1 669 900 6833 w/ ID 845 4636 8485 Passcode : 945734

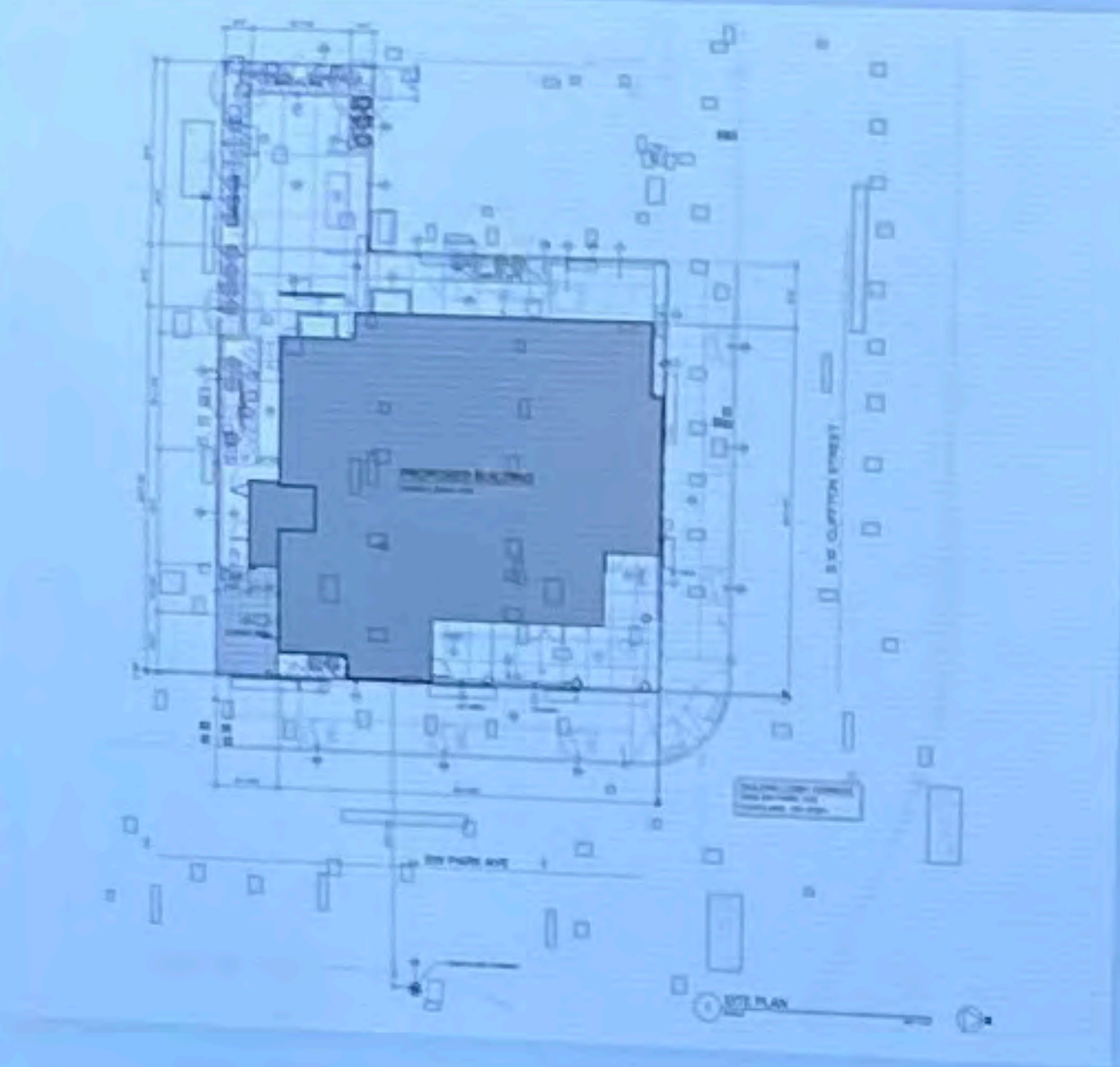


The Portland Bureau of Planning and Sustainability (BPS) develops creative and practical solutions to enhance Portland's livability, preserve distinctive places and plan for a resilient future. Visit www.portlandoregon.gov/bps to learn more.

503-823-7700 // bps@portlandoregon.gov
// [@portlandbps](https://www.instagram.com/portlandbps) // [Facebook](#) // [Map and directions](#)

Development Notice

PRELIMINARY PLAN



- 2059 SW Park Ave
- 12
- Amenity, Fitness, Studio Units
96 Units
- No Parking
- RM4 - Residential Multi-Dwelling
Zoning info: www.PortlandOregon.gov/ZoningCode

AN APPLICATION WILL BE SUBMITTED TO THE CITY FOR FUTURE CHANGES ON THIS SITE.

INFORMATIONAL MEETING

via ZOOM

March 23, 2022
@ 6:00pm

and Open Meeting

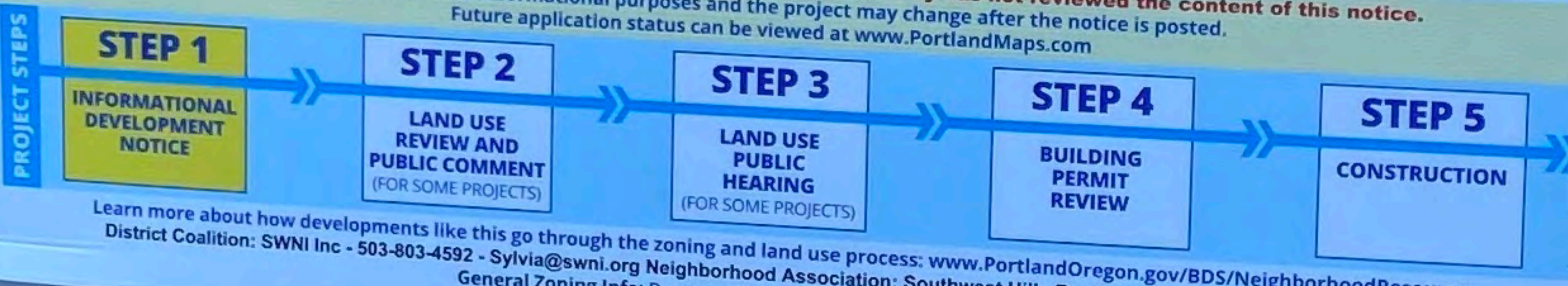
at 2059 SW Park Ave

Project: 2059 SW Park Ave

Applicant: Park Avenue PSU LLC
Contact: Ralph Tahrán, 503-539-8802
 Ralph.Tahrán@comcast.net
Project Info: Email for concept plan

The applicant will provide language services, auxiliary aids, alternative formats, or other reasonable accommodations for barrier-free access if requested at least 3 days prior to the meeting. Contact the applicant for accommodations.

The applicant posted this informational notice on Month Day, Year. The City has not reviewed the content of this notice. This notice is for informational purposes and the project may change after the notice is posted. Future application status can be viewed at www.PortlandMaps.com.



Learn more about how developments like this go through the zoning and land use process: www.PortlandOregon.gov/BDS/NeighborhoodResources
 District Coalition: SWNI Inc - 503-803-4592 - Sylvia@swni.org Neighborhood Association: Southwest Hills Residential League - Contact@SWHRL.org
 General Zoning Info: Bureau of Development Services - 503-823-7526

Development Notice

PRELIMINARY PLAN



- 2059 SW Park Ave
- 12
- Amenity, Fitness, Studio Units
96 Units
- No Parking
- RM4 - Residential Multi-Dwelling
Zoning info: www.PortlandOregon.gov/ZoningCode

AN APPLICATION
WILL BE SUBMITTED
TO THE CITY FOR
FUTURE CHANGES
ON THIS SITE.

INFORMATIONAL
MEETING

zoom

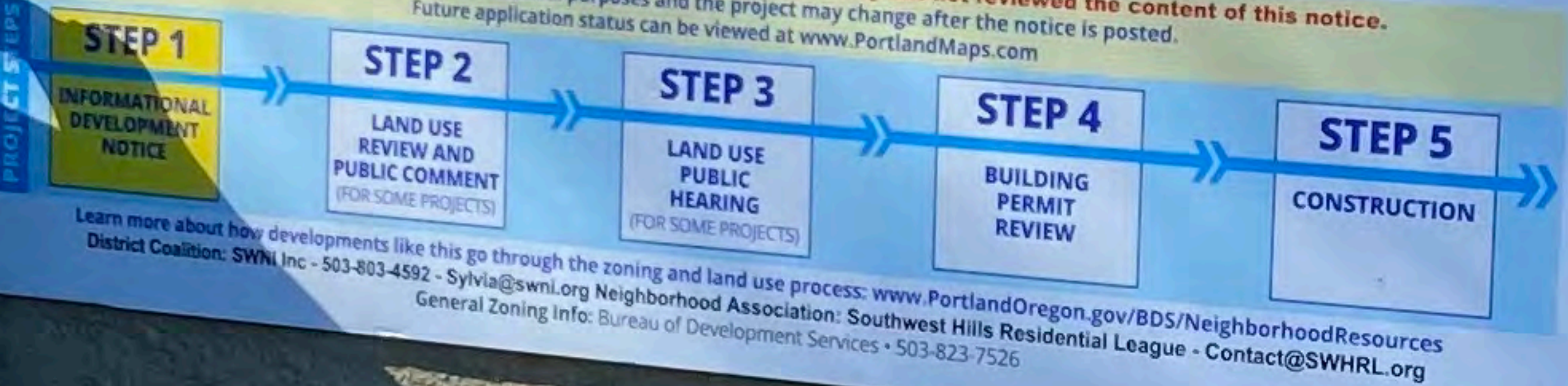
March 23, 2022
6:00pm
via zoom meeting

Applicant: Park Avenue PSU LLC
Contact: Ralph Tahrán, 503-539-8802
RalphTahrán@comcast.net
Email for concept plan

Project info:

The applicant will provide language services, auxiliary aids, alternative formats, or other reasonable accommodations for barrier-free access if requested at least 3 days prior to the meeting. Contact the applicant for accommodations.

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Learn more about how developments like this go through the zoning and land use process: www.PortlandOregon.gov/BDS/NeighborhoodResources
District Coalition: SWH, Inc - 503-803-4592 - Sylvia@swh.org Neighborhood Association: Southwest Hills Residential League - Contact@SWHRL.org
General Zoning Info: Bureau of Development Services - 503-823-7326

Soliciting
057



Park Avenue Apartments Neighborhood Meeting Notes II

Meeting Date: March 23, 2022

Meeting Time: 6:00pm

Meeting Location: Online Meeting via Zoom

The following notes are a summary of the neighborhood meeting that was held with members of the Southwest Hills Residential League, Southwest Neighborhoods Inc, and Goose Hollow neighborhood associations. A list of invitees and attendees are below in Attendees List.

The discussion is in regards to a new 98-unit, 12-story, affordable housing project. The project was presented to the community and neighborhood prior as a 91-unit, 11-story, affordable housing project on October 22, 2020.

NOTE: Topics of Discussion from the prior meeting are included for reference as some questions were asked again at the second meeting. This copy contains all noted topics of discussion for both meetings. Attendees from the prior meeting are included in the Attendees list. This document will be sent to all Attendees in the Attendees List below.

Topics of Discussion:

Risk of Erosion and Landslides

A resident living on Cardinell Drive expressed deep concern for fear that the construction of the building would cause the destruction of her home and others in the vicinity of the build. The homeowner expressed to the architect and developer team that she would be hiring an attorney to assess the project to ensure the builder carries liability insurance to cover a catastrophic events causing harm, death, or destruction of property arising from the construction of the building, and to scrutinize all engineering required for the build.

A resident living next door to the proposed building SW Park also expressed concern as to the impact the build could have on his home due to its age and vicinity.

Response:

The builder and developer will carry liability insurance commensurate with the size and nature of the construction type of the building. Given the construction of the building sits at the “toe” of the hill below the homes on Cardinell Drive, the risk of a catastrophic event as described by the homeowner’s concern is beyond exceptionally low. All engineering and subsequent measures taken to prevent the risk of erosion or landslide will meet or exceed the standards set by the City of Portland, and the State of Oregon.

The developer also noted that erosion or landslide risk is further mitigated due to the type of

construction of the building. Because the building will be modular, the on-site construction footprint and disturbance is reduced to a fraction of a typical building of its size.

Zoning- Oriel Window

A resident voiced concern about the oriel window referenced in the Design Advice Review plan set. The resident noted that the oriel window would be an exception to the zoning code.

Response:

The Oriel windows revised to meet design standard. No exceptions required.

Topics beyond Life Safety or Zoning

Affordability

A resident inquired if all of the units would be offered affordably.

Response:

All 98 units will be offered to the public at 60% AMI. All units will be affordable housing units.

Lack of Family Sized Units

Residents asked why the building consists of studios without family size units. The residents expressed that the neighborhood was family-oriented and that a building of this size and nature did not fit that expectation.

A resident inquired as to why a rendering of the project included a family in the foreground when the building is wholly studios.

Response:

The building cannot afford it. Due to increasing land costs and the subsequent carrying costs driven by market rate speculation, a unit mix affording family size units is now impossible. The developer reiterated that ALL, not some, of the studio units will be offered at 60% of the average

median income, that the building is at the edge of the neighborhood, and that affordable units are highly needed by individuals from the workforce community due its vicinity to the City Center, educational opportunities, transportation accessibility, and supportive services. Especially now.

Public Safety

A resident expressed concern that police are stretched thinly because of the ongoing riots, and that police responsiveness is subsequently decreased. The resident expressed that the residents of the new building will be an increased burden on the neighborhood.

A resident inquired as to what security measures would be in place either onsite or with the police regarding an expected increase in crime.

A former resident inquired as to the project's design; if aspects of the project's design took into mind the safety of women.

Response:

The developer recommended that the resident take their concern to authorities in public safety, however, denoted that the building will have surveillance and due to its location will be a deterrent to those entering the neighborhood with criminal behavior or intent. The project architect addressed other design considerations for the safety of all tenants, as to wider egress and wider hallways, as well as addressing opportunities that mitigate hiding places on the exterior of the building.

Property Management/Supportive Services

A resident inquired as to who will manage the property at stability. The resident also asked if there would be supportive services for the tenants of the building.

Response:

Cascade Property Management, a well-known and reputable property management company will be managing the property at stability. For those in need, supportive services will be provided by a number of local and national organizations offering health, educational, financial opportunities.

Financials/Proforma

A resident asked questions relating to the building's operating proforma. The resident asked if an event occurred where a large cash infusion was made to the project if family sized units would be possible.

Response:

The developer responded that the developer's proforma will not be publicly available. The developer responded that it would be possible to incorporate family sized units if there was a large infusion of capital to the project.

Attendees List

aaronvail746@yahoo.com, alyssa@liveudp.com, andreyyv89@gmail.com, anil.murty@gmail.com, ashwinigouder@gmail.com, askaylahere@gmail.com, baker.lyon@gmail.com, bbcindy@comcast.net, bobquillin@aol.com, bridget.varney03@gmail.com, cgondek@heronandcrane.com, chuschka@pavilionconstruction.com, cjohns28@comcast.net, craign@gbdarchitects.com, david.mccormick@portlandoregon.gov, deborahsingeorzan@gmail.com, dresley@sbcglobal.net, drnkassam@gmail.com, dwsandy369@gmail.com, dylan@gulick.family, ehenreid@gmail.com, eurotel@proaxis.com, fimarie27@gmail.com, flw14@hotmail.com, fraser.m.anna@gmail.com, harish@fiipdx.com, hcooney524@gmail.com, info@goosehollow.org, jacob.brostoff@portlandoregon.gov, jdewey@pdx.edu, jenni.pullen@portlandoregon.gov, jhw2@pdx.edu, jmerrick@chnw.org, joyceallegra@gmail.com, jschill2@pdx.edu, judith@atomicdirect.com, Karen Fox Management <karen@foxmanagementinc.com>, kawdogs@yahoo.com, kim.silverman@gmail.com, kmunro@msn.com, koinview@comcast.net, leiflidinlamon@gmail.com, lukegilmer@gmail.com, mandefro@ohsu.edu, mark.wells@portlandoregon.gov, marksg@pdx.edu, martha-amdeselassie@comcast.net, martyrentals@gmail.com, masonstreet@comcast.net, matt@bridgetownhomespdx.com, matthew.jacobsen@portlandoregon.gov, mccscott@msn.com, melanie@beyond-dealmaking.com, melissa.maebori09@gmail.com, miren_di@hotmail.com, murphpdx1324@gmail.com, nancyliggett@comcast.net, nancyseton@comcast.net, nichola@pdx.edu, parkplazaleasing@greystar.com, parkplazamgr@greystar.com, pdxpeoplecount@gmail.com, Peter Stuart WARD <peteward@pdx.edu>, pmpsteel@yahoo.com, pnlcarboney@gmail.com, q.vanbenschoten@gmail.com, Qin Hong <qingzi113@gmail.com>, Ralph Tahrn <ralphtahrn@comcast.net>, regnittep@yahoo.com, rhonda.luthy@gmail.com, robert.simon@portlandoregon.gov, Rowen Rystadt <rowen@nativeld.com>, Ryan Sturley <rsturley@chnw.org>, rtobin@pavilionconstruction.com, samsingeorzan@gmail.com, sandygleahy@gmail.com, saxonkimball@gmail.com, shepard.mw@gmail.com, shepard.robin@gmail.com, sister.teresa@societymary.org, slindley@pavilionconstruction.com, sofia.chavier@portlandoregon.gov, soniapeltzcurrie@gmail.com, stan@chesshirarchitecture.com, sue@haltonco.com, tim.seaman@gmail.com, tpfrederick@outlook.com, tprince@pdx.edu, vicente.harrison@portlandoregon.gov, vlad@unifylink.com, vwbus@ckoon.org, walters7@pdx.edu, wangdoud@gmail.com, weeklyscott@gmail.com, wlfailing@gmail.com, yessicamarie7@gmail.com, zohrehnasser@yahoo.com, Rob.Sparks7328@gmail.com, sakadera@msn.com, drdanasmith@icloud.com, dan@pacificservicecenter.com,

melanie.billings-yun@portlandoregon.gov, Sofia.Alvarez-Castro@portlandoregon.gov



Rowen Rystadt <rowen@nativeld.com>

Re: SW Park Avenue Affordable Apartment Project - Neighborhood Notice

1 message

Rowen Rystadt <Rowen@nativeld.com>

Mon, Mar 28, 2022 at 12:42 PM

To: sylvia@swni.org, coalition@nwnw.org, cwestling@pps.net, info@goosehollow.org

Cc: Ralph Tahran <ralphtahran@comcast.net>, Austin Turner <austin@twsolns.com>

Hello,

Please find the meeting notes for the Neighborhood Meeting attached that occurred online via Zoom on March 23, 2022. The meeting was in regards to the development of a 98-unit, 12-story affordable apartment building located at SW Park and Clifton St. The project was presented to the neighborhood as a 91-unit, 11-story building on October 22, 2020. The project has since been modified. The notes include prior meeting topics of discussion. I have included all attendees on this notice in the past and recent neighborhood meetings.

Kind regards,

On Wed, Mar 9, 2022 at 11:47 AM Rowen Rystadt <Rowen@nativeld.com> wrote:

Dear Neighbor:

Please be advised that a formal land use and building permit application will be submitted to the City of Portland seeking approval of a new multi-family affordable apartment building for the property located at:

*2059 SW Park Ave
Portland, OR 97201
(Previously 2061, 2055-57 SW Park Ave)*

The petitioner is asking the City of Portland to approve these applications to allow development of a 98-Unit Studio Apartment building on the described property. This is a change from the 91-unit approved design. The building will be 12-stories instead of the 11-story approved design, but the height of the overall building will remain the same as the approved design. All units will still remain affordable at 60% AMI. The project has acquired approval for funding from Oregon Housing & Community Services.

In compliance with the Neighborhood Contact III requirements described in Chapter 33.705 of the City of Portland Planning and Zoning Title 33 code, a Neighborhood Information Meeting will be held to provide you with an opportunity to become fully aware of our development intentions and to give you an opportunity to influence the form of development. We request that a Zoom meeting or other remote conferencing technology be used in lieu of a public in-person meeting. The meeting must be scheduled by you within 14 days of this letter of

LU 22-157148 DZM A-3

notification, and scheduled to occur on a date and time of your choosing within 45 days of this letter. If we receive no response, we will present the project to the public in a meeting held on Thursday, March 24rd, @ 6pm. Here is a link to the scheduled meeting:

<https://us02web.zoom.us/j/84546368485?pwd=T3ZFNGhyK0QzdWJ4cnlkV2QvWVNLQT09>

or Call

+1 669 900 6833 w/ ID 845 4636 8485

Passcode : 945734

Here is a link to our conceptual design, project summary, and development team information:

<https://drive.google.com/file/d/1E3daasm5eILOzG4sOzAHofPCdtNA9ukL/view?usp=sharing>

At this meeting the petitioner will make every effort to illustrate how the property will be developed and to answer any questions. Should you have questions prior to the meeting, or would like me to send you a link to our plans instead of typing in that really long link, please contact me via email at RalphTahran@comcast.net. We look forward to hearing from you.

Sincerely,

Ralph Tahran

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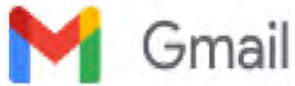
Rowen Rystadt
503-329-1124
rowen@nativeld.com

--

Rowen Rystadt
503-329-1124
rowen@nativeld.com

 **SW Park Avenue Apartments Neighborhood Meeting Notes II (2).pdf**
82K

LU 22-157148 DZM A-3



Austin Turner <austin@surevey.co>

Park Avenue Apartments Neighborhood Meeting Notes II

18 messages

Austin Turner <austin@twsolns.com>

Mon, Mar 28, 2022 at 12:30 PM

To: aaronvail746@yahoo.com, alyssa@liveudp.com, andreyvv89@gmail.com, anil.murty@gmail.com, ashwinigouder@gmail.com, askaylahere@gmail.com, baker.lyon@gmail.com, bbcindy@comcast.net, bobquillin@aol.com, bridget.varney03@gmail.com, cgondek@heronandcrane.com, chuschka@pavilionconstruction.com, cjohns28@comcast.net, craign@gbdarchitects.com, david.mccormick@portlandoregon.gov, deborahsingeorzan@gmail.com, dresley@sbcglobal.net, drnkassam@gmail.com, dwsandy369@gmail.com, dylan@gulick.family, ehenreid@gmail.com, eurotel@proaxis.com, fimarie27@gmail.com, flw14@hotmail.com, fraser.m.anna@gmail.com, harish@fiipdx.com, hcooney524@gmail.com, info@goosehollow.org, jacob.brostoff@portlandoregon.gov, jdewey@pdx.edu, jenni.pullen@portlandoregon.gov, jhw2@pdx.edu, jmerrick@chnw.org, joyceallegra@gmail.com, jschill2@pdx.edu, judith@atomicdirect.com, Karen Fox Management <karen@foxmanagementinc.com>, kawdogs@yahoo.com, kim.silverman@gmail.com, kmunro@msn.com, koinview@comcast.net, leiflidinlamon@gmail.com, lukegilmer@gmail.com, mandefro@ohsu.edu, mark.wells@portlandoregon.gov, marksg@pdx.edu, martha-amdeselassie@comcast.net, martyrentals@gmail.com, masonstreet@comcast.net, matt@bridgetownhomespdx.com, matthew.jacobsen@portlandoregon.gov, mccscott@msn.com, melanie@beyond-dealmaking.com, melissa.maebori09@gmail.com, miren_di@hotmail.com, murphpdx1324@gmail.com, nancyliggett@comcast.net, nancyseton@comcast.net, nichola@pdx.edu, parkplazaleasing@greystar.com, parkplazamgr@greystar.com, pdxpeoplecount@gmail.com, Peter Stuart WARD <peteward@pdx.edu>, pmpsteel@yahoo.com, pnlcarbone@gmail.com, q.vanbenschoten@gmail.com, Qin Hong <qingzi113@gmail.com>, Ralph Tahrán <ralphtahrán@comcast.net>, regnitte@yahoo.com, rhonda.luthy@gmail.com, robert.simon@portlandoregon.gov, Rowen Rystadt <rowen@natived.com>, Ryan Sturley <rsturley@chnw.org>, rtobin@pavilionconstruction.com, samsingeorzan@gmail.com, sandygleahy@gmail.com, saxonkimball@gmail.com, shepard.mw@gmail.com, shepard.robin@gmail.com, sister.teresa@societymary.org, slindley@pavilionconstruction.com, sofia.chavier@portlandoregon.gov, soniapeltzcurrie@gmail.com, stan@chesshirarchitecture.com, sue@haltonco.com, tim.seaman@gmail.com, tpfrederick@outlook.com, tprince@pdx.edu, vicente.harrison@portlandoregon.gov, vlad@unifylink.com, vwbus@ckoon.org, walters7@pdx.edu, wangdoud@gmail.com, weeklyscott@gmail.com, wlfailing@gmail.com, yessicamarie7@gmail.com, zohrehnasseri@yahoo.com, Rob.Sparks7328@gmail.com, sakadera@msn.com, drdanasmith@icloud.com, dan@pacificservicecenter.com, "Billings-Yun, Melanie" <melanie.billings-yun@portlandoregon.gov>, "Alvarez-Castro, Sofia" <Sofia.Alvarez-Castro@portlandoregon.gov>

Cc: Rowen Rystadt <rowen@natived.com>

Hello,

Please find the meeting notes for the Neighborhood Meeting attached that occurred online via Zoom on March 23, 2022. The meeting was in regards to the development of a 98-unit, 12-story affordable apartment building located at SW Park and Clifton St. The project was presented to the neighborhood as a 91-unit, 11-story building on October 22, 2020. The project has since been modified. The notes include prior meeting topics of discussion. I have included all attendees on this notice in the past and recent neighborhood meetings.

Kind regards,

--

Austin Turner

CEO & Founder, TW Solutions LLC.

LU 22-157148 DZM A-3



(408)663-6646 x701

austin@twsolns.com

www.twsolns.com



WORLDWIDE ERC[®]
MEMBER



Mail Delivery Subsystem <mailer-daemon@googlemail.com>
To: austin@surevey.co

Mon, Mar 28, 2022 at 12:30 PM



Message not delivered

Your message couldn't be delivered to **cgondek@heronandcrane.com** because the remote server is misconfigured. See technical details below for more information.

The response from the remote server was:

554 5.7.1 <cgondek@heronandcrane.com>: Relay access denied

Final-Recipient: rfc822; cgondek@heronandcrane.com

Action: failed

Status: 5.7.1

Remote-MTA: dns; mail1.g12.pair.com. (2607:f440::4227:463, the server for the domain heronandcrane.com.)

Diagnostic-Code: smtp; 554 5.7.1 <cgondek@heronandcrane.com>: Relay access denied

Last-Attempt-Date: Mon, 28 Mar 2022 12:30:27 -0700 (PDT)

LU 22-157148 DZM A-3

----- Forwarded message -----

From: Austin Turner <austin@twsolns.com>

To: aaronvail746@yahoo.com, alyssa@liveudp.com, andreyyv89@gmail.com, anil.murty@gmail.com, ashwinigouder@gmail.com, askaylahere@gmail.com, baker.lyon@gmail.com, bbcindy@comcast.net, bobquillin@aol.com, bridget.varney03@gmail.com, cgondek@heronandcrane.com, chuschka@pavilionconstruction.com, cjohns28@comcast.net, craign@gbdarchitects.com, david.mccormick@portlandoregon.gov, deborahsingeorzan@gmail.com, dresley@sbcglobal.net, drnkassam@gmail.com, dwsandy369@gmail.com, dylan@gulick.family, ehenreid@gmail.com, eurotel@proaxis.com, fimarie27@gmail.com, flw14@hotmail.com, fraser.m.anna@gmail.com, harish@fiipdx.com, hcooney524@gmail.com, info@goosehollow.org, jacob.brostoff@portlandoregon.gov, jdewey@pdx.edu, jenni.pullen@portlandoregon.gov, jhw2@pdx.edu, jmerrick@chnw.org, joyceallegra@gmail.com, jschill2@pdx.edu, judith@atomicdirect.com, Karen Fox Management <karen@foxmanagementinc.com>, kawdogs@yahoo.com, kim.silverman@gmail.com, kmunro@msn.com, koinview@comcast.net, leiflidinlamon@gmail.com, lukegilmer@gmail.com, mandefro@ohsu.edu, mark.wells@portlandoregon.gov, marksg@pdx.edu, martha-amdeselassie@comcast.net, martyrentals@gmail.com, masonstreet@comcast.net, matt@bridgetownhomespdx.com, matthew.jacobsen@portlandoregon.gov, mccscott@msn.com, melanie@beyond-dealmaking.com, melissa.maebori09@gmail.com, miren_di@hotmail.com, murphpdx1324@gmail.com, nancyliggett@comcast.net, nancyseton@comcast.net, nichola@pdx.edu, parkplazaleasing@greystar.com, parkplazamgr@greystar.com, pdxpeoplecount@gmail.com, Peter Stuart WARD <peteward@pdx.edu>, pmpsteel@yahoo.com, pnlcarboney@gmail.com, q.vanbenschoten@gmail.com, Qin Hong <qingzi113@gmail.com>, Ralph Tahrhan <ralphtahrhan@comcast.net>, regnittep@yahoo.com, rhonda.luthy@gmail.com, robert.simon@portlandoregon.gov, Rowen Rystadt <rowen@nativeld.com>, Ryan Sturley <rsturley@chnw.org>, rtobin@pavilionconstruction.com, samsingeorzan@gmail.com, sandygleahy@gmail.com, saxonkimball@gmail.com, shepard.mw@gmail.com, shepard.robin@gmail.com, sister.teresa@societymary.org, slindley@pavilionconstruction.com, sofia.chavier@portlandoregon.gov, soniapeltzcurrie@gmail.com, stan@chesshirarchitecture.com, sue@haltonco.com, tim.seaman@gmail.com, tpfrederick@outlook.com, tprince@pdx.edu, vicente.harrison@portlandoregon.gov, vlad@unifylink.com, vwbus@ckoon.org, walters7@pdx.edu, wangdoud@gmail.com, weeklyscott@gmail.com, wlfailing@gmail.com, yessicamarie7@gmail.com, zohrehnasser@yahoo.com, Rob.Sparks7328@gmail.com, sakadera@msn.com, drdanasmith@icloud.com, dan@pacificservicecenter.com, "Billings-Yun, Melanie" <melanie.billings-yun@portlandoregon.gov>, "Alvarez-Castro, Sofia" <Sofia.Alvarez-Castro@portlandoregon.gov>

Cc:

Bcc:

Date: Mon, 28 Mar 2022 12:30:16 -0700

Subject: Park Avenue Apartments Neighborhood Meeting Notes II

----- Message truncated -----

Mail Delivery Subsystem <mailer-daemon@googlemail.com>

To: austin@surevey.co

Mon, Mar 28, 2022 at 12:30 PM



Address not found

Your message wasn't delivered to **sister.teresa@societymary.org** because the domain [societymary.org](https://www.societymary.org) couldn't be found. Check for typos or unnecessary spaces and try again.

LU 22-157148 DZM A-3

The response was:

DNS Error: DNS type 'mx' lookup of societymary.org responded with code NXDOMAIN Domain name not found: societymary.org

Final-Recipient: rfc822; sister.teresa@societymary.org

Action: failed

Status: 4.0.0

Diagnostic-Code: smtp; DNS Error: DNS type 'mx' lookup of societymary.org responded with code NXDOMAIN

Domain name not found: societymary.org

Last-Attempt-Date: Mon, 28 Mar 2022 12:30:27 -0700 (PDT)

----- Forwarded message -----

From: Austin Turner <austin@twsolns.com>

To: aaronvail746@yahoo.com, alyssa@liveudp.com, andreyv89@gmail.com, anil.murty@gmail.com, ashwinigouder@gmail.com, askaylahere@gmail.com, baker.lyon@gmail.com, bbcindy@comcast.net, bobquillin@aol.com, bridget.varney03@gmail.com, cgondek@heronandcrane.com, chuschka@pavilionconstruction.com, cjohns28@comcast.net, craign@gbdarchitects.com, david.mccormick@portlandoregon.gov, deborahsingeorzan@gmail.com, dresley@sbcglobal.net, drnkassam@gmail.com, dwsandy369@gmail.com, dylan@gulick.family, ehenreid@gmail.com, eurotel@proaxis.com, fimarie27@gmail.com, flw14@hotmail.com, fraser.m.anna@gmail.com, harish@fiipdx.com, hcooney524@gmail.com, info@goosehollow.org, jacob.brostoff@portlandoregon.gov, jdewey@pdx.edu, jenni.pullen@portlandoregon.gov, jhw2@pdx.edu, jmerrick@chnw.org, joyceallegra@gmail.com, jschill2@pdx.edu, judith@atomicdirect.com, Karen Fox Management <karen@foxmanagementinc.com>, kawdogs@yahoo.com, kim.silverman@gmail.com, kmunro@msn.com, koinview@comcast.net, leifidinlamon@gmail.com, lukegilmer@gmail.com, mandefro@ohsu.edu, mark.wells@portlandoregon.gov, marksg@pdx.edu, martha-amdeselassie@comcast.net, martyrentals@gmail.com, masonstreet@comcast.net, matt@bridgetownhomespdx.com, matthew.jacobsen@portlandoregon.gov, mccscott@msn.com, melanie@beyond-dealmaking.com, melissa.maebori09@gmail.com, miren_di@hotmail.com, murphpdx1324@gmail.com, nancyliggett@comcast.net, nancyseton@comcast.net, nichola@pdx.edu, parkplazaleasing@greystar.com, parkplazamgr@greystar.com, pdxpeoplecount@gmail.com, Peter Stuart WARD <peteward@pdx.edu>, pmpsteel@yahoo.com, pnlcarbhone@gmail.com, q.vanbenschoten@gmail.com, Qin Hong <qingzi113@gmail.com>, Ralph Tahrhan <ralphtahrhan@comcast.net>, regnittep@yahoo.com, rhonda.luthy@gmail.com, robert.simon@portlandoregon.gov, Rowen Rystadt <rowen@nativeld.com>, Ryan Sturley <rsturley@chnw.org>, rtobin@pavilionconstruction.com, samsingeorzan@gmail.com, sandygleahy@gmail.com, saxonkimball@gmail.com, shepard.mw@gmail.com, shepard.robin@gmail.com, sister.teresa@societymary.org, slindley@pavilionconstruction.com, sofia.chavier@portlandoregon.gov, soniapeltzcurrie@gmail.com, stan@chesshirarchitecture.com, sue@haltonco.com, tim.seaman@gmail.com, tpfrederick@outlook.com, tprince@pdx.edu, vicente.harrison@portlandoregon.gov, vlad@unifylink.com, vwbus@ckoon.org, walters7@pdx.edu, wangdoud@gmail.com, weeklyscott@gmail.com, wlfailing@gmail.com, yessicamarie7@gmail.com, zohrehnasser@yahoo.com, Rob.Sparks7328@gmail.com, sakadera@msn.com, drdanasmith@icloud.com, dan@pacificservicecenter.com, "Billings-Yun, Melanie" <melanie.billings-yun@portlandoregon.gov>, "Alvarez-Castro, Sofia" <Sofia.Alvarez-Castro@portlandoregon.gov>

Cc:

Bcc:

Date: Mon, 28 Mar 2022 12:30:16 -0700

Subject: Park Avenue Apartments Neighborhood Meeting Notes II

----- Message truncated -----

Mail Delivery Subsystem <mailer-daemon@googlemail.com>

To: austin@surevey.co

Mon, Mar 28, 2022 at 12:30 PM

LU 22-157148 DZM A-3



Address not found

Your message wasn't delivered to **marksg@pdx.edu** because the address couldn't be found, or is unable to receive mail.

The response from the remote server was:

550 5.1.1 <marksg@pdx.edu>: Recipient address rejected: User unknown in relay recipient table

Final-Recipient: rfc822; marksg@pdx.edu

Action: failed

Status: 5.1.1

Remote-MTA: dns; piccarda.oit.pdx.edu (131.252.111.97, the server for the domain.)

Diagnostic-Code: smtp; 550 5.1.1 <marksg@pdx.edu>: Recipient address rejected: User unknown in relay recipient table

Last-Attempt-Date: Mon, 28 Mar 2022 12:30:29 -0700 (PDT)

----- Forwarded message -----

From: Austin Turner <austin@twsolns.com>

To: aaronvail746@yahoo.com, alyssa@liveudp.com, andreyv89@gmail.com, anil.murty@gmail.com, ashwinigouder@gmail.com, askaylahere@gmail.com, baker.lyon@gmail.com, bbcindy@comcast.net, bobquillin@aol.com, bridget.varney03@gmail.com, cgondek@heronandcrane.com, chuschka@pavilionconstruction.com, cjohns28@comcast.net, craign@gbdarchitects.com, david.mccormick@portlandoregon.gov, deborahsingeorzan@gmail.com, dresley@sbcglobal.net, drnkassam@gmail.com, dwsandy369@gmail.com, dylan@gulick.family, ehenreid@gmail.com, eurotel@proaxis.com, fimarie27@gmail.com, flw14@hotmail.com, fraser.m.anna@gmail.com, harish@fiipdx.com, hcooney524@gmail.com, info@goosehollow.org, jacob.brostoff@portlandoregon.gov, jdewey@pdx.edu, jenni.pullen@portlandoregon.gov, jhw2@pdx.edu, jmerrick@chnw.org, joyceallegra@gmail.com, jschill2@pdx.edu, judith@atomicdirect.com, Karen Fox Management <karen@foxmanagementinc.com>, kawdogs@yahoo.com, kim.silverman@gmail.com, kmunro@msn.com, koinview@comcast.net, leiflidl@comcast.net, lukegilmer@gmail.com, mandefro@ohsu.edu, mark.wells@portlandoregon.gov, marksg@pdx.edu, martha-amdeselassie@comcast.net, martyrentals@gmail.com, masonstreet@comcast.net, matt@bridgetownhomespdx.com, matthew.jacobsen@portlandoregon.gov, mccscott@msn.com, melanie@beyond-dealmaking.com, melissa.maebori09@gmail.com, miren_di@hotmail.com, murphpdx1324@gmail.com, nancyliggett@comcast.net, nancyseton@comcast.net, nichola@pdx.edu, parkplazaleasing@greystar.com, parkplazmgr@greystar.com, pdxpeoplecount@gmail.com, Peter Stuart WARD <peteward@pdx.edu>, pmpsteel@yahoo.com, pnlcarb@comcast.net, q.vanbenshoten@gmail.com, Qin Hong <qingzi113@gmail.com>, Ralph Tahrhan <ralph@comcast.net>, regnitte@yahoo.com, rhonda.luthy@gmail.com, robert.simon@portlandoregon.gov, Rowen Rystadt <rowen@nativevd.com>, Ryan Sturley <rsturley@chnw.org>, rtobin@pavilionconstruction.com, samsingeorzan@gmail.com, sandygleahy@gmail.com, saxonkimball@gmail.com, shepard.mw@gmail.com, shepard.robin@gmail.com,

LU 22-157148 DZM A-3

sister.teresa@societymary.org, slindley@pavilionconstruction.com, sofia.chavier@portlandoregon.gov, soniapeltzcurrie@gmail.com, stan@chesshirarchitecture.com, sue@haltonco.com, tim.seaman@gmail.com, tpfrederick@outlook.com, tprince@pdx.edu, vicente.harrison@portlandoregon.gov, vlad@unifylink.com, vwbus@ckoon.org, walters7@pdx.edu, wangdoud@gmail.com, weeklyscott@gmail.com, wlfailing@gmail.com, yessicamarie7@gmail.com, zohrehnasser@yahoo.com, Rob.Sparks7328@gmail.com, sakadera@msn.com, drdanasmith@icloud.com, dan@pacificservicecenter.com, "Billings-Yun, Melanie" <melanie.billings-yun@portlandoregon.gov>, "Alvarez-Castro, Sofia" <Sofia.Alvarez-Castro@portlandoregon.gov>

Cc:

Bcc:

Date: Mon, 28 Mar 2022 12:30:16 -0700

Subject: Park Avenue Apartments Neighborhood Meeting Notes II

----- Message truncated -----

Mail Delivery Subsystem <mailer-daemon@googlemail.com>

Mon, Mar 28, 2022 at 12:30 PM

To: austin@surevey.co



Address not found

Your message wasn't delivered to **peteward@pdx.edu** because the address couldn't be found, or is unable to receive mail.

The response from the remote server was:

550 5.1.1 <peteward@pdx.edu>: Recipient address rejected: User unknown in relay recipient table

Final-Recipient: rfc822; peteward@pdx.edu

Action: failed

Status: 5.1.1

Remote-MTA: dns; bonaventure.oit.pdx.edu (131.252.111.96, the server for the domain.)

Diagnostic-Code: smtp; 550 5.1.1 <peteward@pdx.edu>: Recipient address rejected: User unknown in relay recipient table

Last-Attempt-Date: Mon, 28 Mar 2022 12:30:31 -0700 (PDT)

----- Forwarded message -----

From: Austin Turner <austin@twsolns.com>

LU 22-157148 DZM A-3

To: aaronvail746@yahoo.com, alyssa@liveudp.com, andreyvv89@gmail.com, anil.murty@gmail.com, ashwinigouder@gmail.com, askaylahere@gmail.com, baker.lyon@gmail.com, bbcindy@comcast.net, bobquillin@aol.com, bridget.varney03@gmail.com, cgondek@heronandcrane.com, chuschka@pavilionconstruction.com, cjohns28@comcast.net, craign@gbdarchitects.com, david.mccormick@portlandoregon.gov, deborahsingeorzan@gmail.com, dresley@sbcglobal.net, drnkassam@gmail.com, dwsandy369@gmail.com, dylan@gulick.family, ehenreid@gmail.com, eurotel@proaxis.com, fimarie27@gmail.com, flw14@hotmail.com, fraser.m.anna@gmail.com, harish@fiipdx.com, hcooney524@gmail.com, info@goosehollow.org, jacob.brostoff@portlandoregon.gov, jdewey@pdx.edu, jenni.pullen@portlandoregon.gov, jhw2@pdx.edu, jmerrick@chnw.org, joyceallegra@gmail.com, jschill2@pdx.edu, judith@atomicdirect.com, Karen Fox Management <karen@foxmanagementinc.com>, kawdogs@yahoo.com, kim.silverman@gmail.com, kmunro@msn.com, koinview@comcast.net, leiflidinlamon@gmail.com, lukegilmer@gmail.com, mandefro@ohsu.edu, mark.wells@portlandoregon.gov, marksg@pdx.edu, martha-amdeselassie@comcast.net, martyrentals@gmail.com, masonstreet@comcast.net, matt@bridgetownhomespdx.com, matthew.jacobsen@portlandoregon.gov, mccscott@msn.com, melanie@beyond-dealmaking.com, melissa.maebori09@gmail.com, miren_di@hotmail.com, murphpdx1324@gmail.com, nancyliggett@comcast.net, nancyseton@comcast.net, nichola@pdx.edu, parkplazaleasing@greystar.com, parkplazamgr@greystar.com, pdxpeoplecount@gmail.com, Peter Stuart WARD <peteward@pdx.edu>, pmpsteel@yahoo.com, pnlcarboney@gmail.com, q.vanbenshoten@gmail.com, Qin Hong <qingzi113@gmail.com>, Ralph Tahrhan <ralphtahrhan@comcast.net>, regnittep@yahoo.com, rhonda.luthy@gmail.com, robert.simon@portlandoregon.gov, Rowen Rystadt <rowen@nativeld.com>, Ryan Sturley <rsturley@chnw.org>, rtobin@pavilionconstruction.com, samsingeorzan@gmail.com, sandygleahy@gmail.com, saxonkimball@gmail.com, shepard.mw@gmail.com, shepard.robin@gmail.com, sister.teresa@societymary.org, slindley@pavilionconstruction.com, sofia.chavier@portlandoregon.gov, soniapeltzcurrie@gmail.com, stan@chesshirarchitecture.com, sue@haltonco.com, tim.seaman@gmail.com, tpfrederick@outlook.com, tprince@pdx.edu, vicente.harrison@portlandoregon.gov, vlad@unifylink.com, vwbus@ckoon.org, walters7@pdx.edu, wangdoud@gmail.com, weeklyscott@gmail.com, wlfailing@gmail.com, yessicamarie7@gmail.com, zohrehnasser@yahoo.com, Rob.Sparks7328@gmail.com, sakadera@msn.com, drdanasmith@icloud.com, dan@pacificservicecenter.com, "Billings-Yun, Melanie" <melanie.billings-yun@portlandoregon.gov>, "Alvarez-Castro, Sofia" <Sofia.Alvarez-Castro@portlandoregon.gov>

Cc:

Bcc:

Date: Mon, 28 Mar 2022 12:30:16 -0700

Subject: Park Avenue Apartments Neighborhood Meeting Notes II

----- Message truncated -----

Mail Delivery Subsystem <mailer-daemon@googlemail.com>

Mon, Mar 28, 2022 at 12:30 PM

To: austin@surevey.co



Address not found

Your message wasn't delivered to **jhw2@pdx.edu** because the address couldn't be found, or is unable to receive mail.

The response from the remote server was:

550 5.1.1 <jhw2@pdx.edu>: Recipient address rejected: User unknown in relay recipient table

LU 22-157148 DZM A-3

Final-Recipient: rfc822; jhw2@pdx.edu

Action: failed

Status: 5.1.1

Remote-MTA: dns; [bonaventure.oit.pdx.edu](https://www.bonaventure.oit.pdx.edu) (131.252.111.96, the server for the domain.)

Diagnostic-Code: smtp; 550 5.1.1 <jhw2@pdx.edu>: Recipient address rejected: User unknown in relay recipient table

Last-Attempt-Date: Mon, 28 Mar 2022 12:30:31 -0700 (PDT)

----- Forwarded message -----

From: Austin Turner <austin@twsolns.com>

To: aaronvail746@yahoo.com, alyssa@liveudp.com, andreyvv89@gmail.com, anil.murty@gmail.com, ashwinigouder@gmail.com, askaylahere@gmail.com, baker.lyon@gmail.com, bbcindy@comcast.net, bobquillin@aol.com, bridget.varney03@gmail.com, cgondek@heronandcrane.com, chuschka@pavilionconstruction.com, cjohns28@comcast.net, craign@gbdarchitects.com, david.mccormick@portlandoregon.gov, deborahsingeorzan@gmail.com, dresley@sbcglobal.net, drnkassam@gmail.com, dwsandy369@gmail.com, dylan@gulick.family, ehenreid@gmail.com, eurotel@proaxis.com, fimarie27@gmail.com, flw14@hotmail.com, fraser.m.anna@gmail.com, harish@fiipdx.com, hcooney524@gmail.com, info@goosehollow.org, jacob.brostoff@portlandoregon.gov, jdewey@pdx.edu, jenni.pullen@portlandoregon.gov, jhw2@pdx.edu, jmerrick@chnw.org, joyceallegra@gmail.com, jschill2@pdx.edu, judith@atomicdirect.com, Karen Fox Management <karen@foxmanagementinc.com>, kawdogs@yahoo.com, kim.silverman@gmail.com, kmunro@msn.com, koinview@comcast.net, leiflidinlamon@gmail.com, lukegilmer@gmail.com, mandefro@ohsu.edu, mark.wells@portlandoregon.gov, marksg@pdx.edu, martha-amdeselassie@comcast.net, martyrentals@gmail.com, masonstreet@comcast.net, matt@bridgetownhomespdx.com, matthew.jacobsen@portlandoregon.gov, mccscott@msn.com, melanie@beyond-dealmaking.com, melissa.maebori09@gmail.com, miren_di@hotmail.com, murphpdx1324@gmail.com, nancyliggett@comcast.net, nancyseton@comcast.net, nichola@pdx.edu, parkplazaleasing@greystar.com, parkplazamgr@greystar.com, pdxpeoplecount@gmail.com, Peter Stuart WARD <peteward@pdx.edu>, pmpsteel@yahoo.com, pnlcarbone@gmail.com, q.vanbenschoten@gmail.com, Qin Hong <qingzi113@gmail.com>, Ralph Tahrhan <ralphtahrhan@comcast.net>, regnittep@yahoo.com, rhonda.luthy@gmail.com, robert.simon@portlandoregon.gov, Rowen Rystadt <rowen@nativeld.com>, Ryan Sturley <rsturley@chnw.org>, rtoin@pavilionconstruction.com, samsingeorzan@gmail.com, sandygleahy@gmail.com, saxonkimball@gmail.com, shepard.mw@gmail.com, shepard.robin@gmail.com, sister.teresa@societymary.org, slindley@pavilionconstruction.com, sofia.chavier@portlandoregon.gov, soniapeltzcurrie@gmail.com, stan@chesshirscharchitecture.com, sue@haltonco.com, tim.seaman@gmail.com, tpfrederick@outlook.com, tprince@pdx.edu, vicente.harrison@portlandoregon.gov, vlad@unifylink.com, vwbus@ckoon.org, walters7@pdx.edu, wangdoud@gmail.com, weeklyscott@gmail.com, wlfailing@gmail.com, yessicamarie7@gmail.com, zohrehnasser@yahoo.com, Rob.Sparks7328@gmail.com, sakadera@msn.com, drdanasmith@icloud.com, dan@pacificservicecenter.com, "Billings-Yun, Melanie" <melanie.billings-yun@portlandoregon.gov>, "Alvarez-Castro, Sofia" <Sofia.Alvarez-Castro@portlandoregon.gov>

Cc:

Bcc:

Date: Mon, 28 Mar 2022 12:30:16 -0700

Subject: Park Avenue Apartments Neighborhood Meeting Notes II

----- Message truncated -----

Mail Delivery Subsystem <mailer-daemon@googlemail.com>

Mon, Mar 28, 2022 at 12:30 PM

To: austin@surevey.co

LU 22-157148 DZM A-3



Address not found

Your message wasn't delivered to jschill2@pdx.edu because the address couldn't be found, or is unable to receive mail.

The response from the remote server was:

550 5.1.1 <jschill2@pdx.edu>: Recipient address rejected: User unknown in relay recipient table

Final-Recipient: rfc822; jschill2@pdx.edu

Action: failed

Status: 5.1.1

Remote-MTA: dns; bonaventure.oit.pdx.edu (131.252.111.96, the server for the domain.)

Diagnostic-Code: smtp; 550 5.1.1 <jschill2@pdx.edu>: Recipient address rejected: User unknown in relay recipient table

Last-Attempt-Date: Mon, 28 Mar 2022 12:30:31 -0700 (PDT)

----- Forwarded message -----

From: Austin Turner <austin@twsolns.com>

To: aaronvail746@yahoo.com, alyssa@liveudp.com, andreyv89@gmail.com, anil.murty@gmail.com, ashwinigouder@gmail.com, askaylahere@gmail.com, baker.lyon@gmail.com, bbcindy@comcast.net, bobquillin@aol.com, bridget.varney03@gmail.com, cgondek@heronandcrane.com, chuschka@pavilionconstruction.com, cjohns28@comcast.net, craign@gbdarchitects.com, david.mccormick@portlandoregon.gov, deborahsingeorzan@gmail.com, dresley@sbcglobal.net, drnkassam@gmail.com, dwsandy369@gmail.com, dylan@gulick.family, ehenreid@gmail.com, eurotel@proaxis.com, fimarie27@gmail.com, flw14@hotmail.com, fraser.m.anna@gmail.com, harish@fiipdx.com, hcooney524@gmail.com, info@goosehollow.org, jacob.brostoff@portlandoregon.gov, jdewey@pdx.edu, jenni.pullen@portlandoregon.gov, jhw2@pdx.edu, jmerrick@chnw.org, joyceallegra@gmail.com, jschill2@pdx.edu, judith@atomicdirect.com, Karen Fox Management <karen@foxmanagementinc.com>, kawdogs@yahoo.com, kim.silverman@gmail.com, kmunro@msn.com, koinview@comcast.net, leiflidinlamon@gmail.com, lukegilmer@gmail.com, masonstreet@comcast.net, mandefro@ohsu.edu, mark.wells@portlandoregon.gov, marksg@pdx.edu, martha-amdeselassie@comcast.net, martyrentals@gmail.com, matt@bridgetownhomespdx.com, matthew.jacobsen@portlandoregon.gov, mccscott@msn.com, melanie@beyond-dealmaking.com, melissa.maebori09@gmail.com, miren_di@hotmail.com, murphpdx1324@gmail.com, nancyliggett@comcast.net, nancyseton@comcast.net, nichola@pdx.edu, parkplazaleasing@greystar.com, parkplazamgr@greystar.com, pdxpeoplecount@gmail.com, Peter Stuart WARD <peteward@pdx.edu>, pmpsteel@yahoo.com, pnlcarbone@gmail.com, q.vanbenschoten@gmail.com, Qin Hong <qingzi113@gmail.com>, Ralph Tahrhan <ralphtahrhan@comcast.net>, regnittep@yahoo.com, rhonda.luthy@gmail.com, robert.simon@portlandoregon.gov, Rowen Rystadt <rowen@nativeld.com>, Ryan Sturley <rsturley@chnw.org>, rtobin@pavilionconstruction.com, samsingeorzan@gmail.com, sandygleahy@gmail.com, saxonkimball@gmail.com, shepard.mw@gmail.com, shepard.robin@gmail.com, sister.teresa@societymary.org, slindley@pavilionconstruction.com, sofia.chavier@portlandoregon.gov, soniapeltzcurrie@gmail.com, stan@chesshirarchitecture.com, sue@haltonco.com, tim.seaman@gmail.com, tpfrederick@outlook.com, tprince@pdx.edu, vicente.harrison@portlandoregon.gov, vlad@unifylink.com, vwbus@ckoon.org, walters7@pdx.edu, wangdoud@gmail.com, weeklyscott@gmail.com, wlfailing@gmail.com, yessicamarie7@gmail.com, zohrehnasser@yahoo.com, Rob.Sparks7328@gmail.com, sakadera@msn.com, drdanasmith@icloud.com, dan@pacificservicecenter.com, "Billings-Yun, Melanie" <melanie.billings-yun@portlandoregon.gov>, "Alvarez-Castro, Sofia" <Sofia.Alvarez-Castro@portlandoregon.gov>

LU 22-157148 DZM A-3

Cc:
Bcc:
Date: Mon, 28 Mar 2022 12:30:16 -0700
Subject: Park Avenue Apartments Neighborhood Meeting Notes II
----- Message truncated -----

Mail Delivery Subsystem <mailer-daemon@googlemail.com>
To: austin@surevey.co

Mon, Mar 28, 2022 at 12:30 PM



Address not found

Your message wasn't delivered to **nichola@pdx.edu** because the address couldn't be found, or is unable to receive mail.

The response from the remote server was:

550 5.1.1 <nichola@pdx.edu>: Recipient address rejected: User unknown in relay recipient table

Final-Recipient: rfc822; nichola@pdx.edu
Action: failed
Status: 5.1.1
Remote-MTA: dns; piccarda.oit.pdx.edu (131.252.111.97, the server for the domain.)
Diagnostic-Code: smtp; 550 5.1.1 <nichola@pdx.edu>: Recipient address rejected: User unknown in relay recipient table
Last-Attempt-Date: Mon, 28 Mar 2022 12:30:32 -0700 (PDT)

----- Forwarded message -----

From: Austin Turner <austin@twsolns.com>
To: aaronvail746@yahoo.com, alyssa@liveudp.com, andreyvv89@gmail.com, anil.murty@gmail.com, ashwinigouder@gmail.com, askaylahere@gmail.com, baker.lyon@gmail.com, bbcindy@comcast.net, bobquillin@aol.com, bridget.varney03@gmail.com, cgondek@heronandcrane.com, chuschka@pavilionconstruction.com, cjohns28@comcast.net, craign@gbdarchitects.com, david.mccormick@portlandoregon.gov, deborahsingeorzan@gmail.com, dresley@sbcglobal.net, drnkassam@gmail.com, dwsandy369@gmail.com, dylan@gulick.family, ehenreid@gmail.com, eurotel@proaxis.com, fimarie27@gmail.com, flw14@hotmail.com, fraser.m.anna@gmail.com, harish@fiipdx.com, hcooney524@gmail.com, info@goosehollow.org

LU 22-157148 DZM A-3

jacob.brostoff@portlandoregon.gov, jdewey@pdx.edu, jenni.pullen@portlandoregon.gov, jhw2@pdx.edu, jmerrick@chnw.org, joyceallegra@gmail.com, jschill2@pdx.edu, judith@atomicdirect.com, Karen Fox Management <karen@foxmanagementinc.com>, kawdogs@yahoo.com, kim.silverman@gmail.com, kmunro@msn.com, koinview@comcast.net, leiflidlamon@gmail.com, lukegilmer@gmail.com, mandefro@ohsu.edu, mark.wells@portlandoregon.gov, marksg@pdx.edu, martha-amdeselassie@comcast.net, martyrentals@gmail.com, masonstreet@comcast.net, matt@bridgetownhomespdx.com, matthew.jacobsen@portlandoregon.gov, mccscott@msn.com, melanie@beyond-dealmaking.com, melissa.maebori09@gmail.com, miren_di@hotmail.com, murphpdx1324@gmail.com, nancyliggett@comcast.net, nancyseton@comcast.net, nichola@pdx.edu, parkplazaleasing@greystar.com, parkplazamgr@greystar.com, pdxpeoplecount@gmail.com, Peter Stuart WARD <peteward@pdx.edu>, pmpsteel@yahoo.com, pnlcarbone@gmail.com, q.vanbenschoten@gmail.com, Qin Hong <qingzi113@gmail.com>, Ralph Tahrhan <ralphtahrhan@comcast.net>, regnittep@yahoo.com, rhonda.luthy@gmail.com, robert.simon@portlandoregon.gov, Rowen Rystadt <rowen@nativeld.com>, Ryan Sturley <rsturley@chnw.org>, rtobin@pavilionconstruction.com, samsingeorzan@gmail.com, sandygleahy@gmail.com, saxonkimball@gmail.com, shepard.mw@gmail.com, shepard.robin@gmail.com, sister.teresa@societymary.org, slindley@pavilionconstruction.com, sofia.chavier@portlandoregon.gov, soniapeltzcurrie@gmail.com, stan@chesshirarchitecture.com, sue@haltonco.com, tim.seaman@gmail.com, tpfrederick@outlook.com, tprince@pdx.edu, vicente.harrison@portlandoregon.gov, vlad@unifylink.com, vwbus@ckoon.org, walters7@pdx.edu, wangdoud@gmail.com, weeklyscott@gmail.com, wlfailing@gmail.com, yessicamarie7@gmail.com, zohrehnasser@yahoo.com, Rob.Sparks7328@gmail.com, sakadera@msn.com, drdanasmith@icloud.com, dan@pacificservicecenter.com, "Billings-Yun, Melanie" <melanie.billings-yun@portlandoregon.gov>, "Alvarez-Castro, Sofia" <Sofia.Alvarez-Castro@portlandoregon.gov>

Cc:

Bcc:

Date: Mon, 28 Mar 2022 12:30:16 -0700

Subject: Park Avenue Apartments Neighborhood Meeting Notes II

----- Message truncated -----

Melissa Maebori <melissa.maebori09@gmail.com>

Mon, Mar 28, 2022 at 12:31 PM

To: Austin Turner <austin@twsolns.com>

I don't love here anymore please take me off this list.

Thanks!

Melissa

[Quoted text hidden]

Austin Turner <austin@twsolns.com>

Mon, Mar 28, 2022 at 12:34 PM

To: aaronvail746@yahoo.com, alyssa@liveudp.com, andreyvv89@gmail.com, anil.murty@gmail.com, ashwinigouder@gmail.com, askaylahere@gmail.com, baker.lyon@gmail.com, bbcindy@comcast.net, bobquillin@aol.com, bridget.varney03@gmail.com, cgondek@heronandcrane.com, chuschka@pavilionconstruction.com, cjohns28@comcast.net, craign@gbdarchitects.com, david.mccormick@portlandoregon.gov, deborahsingeorzan@gmail.com, dresley@sbcglobal.net, drnkassam@gmail.com, dwsandy369@gmail.com, dylan@gulick.family, ehenreid@gmail.com, eurotel@proaxis.com, fimarie27@gmail.com, flw14@hotmail.com, fraser.m.anna@gmail.com, harish@fiiipdx.com, hcooney524@gmail.com, info@goosehollow.org, jacob.brostoff@portlandoregon.gov, jdewey@pdx.edu, jenni.pullen@portlandoregon.gov, jhw2@pdx.edu, jmerrick@chnw.org, joyceallegra@gmail.com, jschill2@pdx.edu, judith@atomicdirect.com, Karen Fox Management <karen@foxmanagementinc.com>, kawdogs@yahoo.com, kim.silverman@gmail.com, kmunro@msn.com, koinview@comcast.net, leiflidlamon@gmail.com, lukegilmer@gmail.com, mandefro@ohsu.edu, mark.wells@portlandoregon.gov, marksg@pdx.edu, martha-amdeselassie@comcast.net, martyrentals@gmail.com, masonstreet@comcast.net, matt@bridgetownhomespdx.com, matthew.jacobsen@portlandoregon.gov, mccscott@msn.com, melanie@beyond-dealmaking.com, melissa.maebori09@gmail.com, miren_di@hotmail.com, murphpdx1324@gmail.com, nancyliggett@comcast.net, nancyseton@comcast.net, nichola@pdx.edu, parkplazaleasing@greystar.com, parkplazamgr@greystar.com, pdxpeoplecount@gmail.com, Peter Stuart WARD <peteward@pdx.edu>, pmpsteel@yahoo.com, pnlcarbone@gmail.com, q.vanbenschoten@gmail.com, Qin Hong <qingzi113@gmail.com>, Ralph Tahrhan <ralphtahrhan@comcast.net>, regnittep@yahoo.com, rhonda.luthy@gmail.com, robert.simon@portlandoregon.gov, Rowen Rystadt <rowen@nativeld.com>, Ryan Sturley <rsturley@chnw.org>, rtobin@pavilionconstruction.com, samsingeorzan@gmail.com, sandygleahy@gmail.com, saxonkimball@gmail.com, shepard.mw@gmail.com, shepard.robin@gmail.com, sister.teresa@societymary.org, slindley@pavilionconstruction.com, sofia.chavier@portlandoregon.gov

EU-22-157148 D2M A-3

Notification of Neighborhood Meeting

*Tahran Architecture & Planning, LLC
13741 Knaus Rd
Lake Oswego, OR 97034
503-539-8802
RalphTahran@comcast.net*

3/9/2022

Goose Hollow Foothills League
c/o Neighbors West/Northwest
2257 NW Raleigh St, Portland, OR 97210

Dear Neighbor:

Please be advised that a formal land use and building permit application will be submitted to the City of Portland seeking approval of a new multi-family affordable apartment building for the property located at:

*2059 SW Park Ave
Portland, OR 97201
(Previously 2061, 2055-57 SW Park Ave)*

The petitioner is asking the City of Portland to approve these applications to allow development of a 98-Unit Studio Apartment building on the described property. This is a change from the 91-unit approved design. The building will be 12-stories instead of the 11-story approved design, but the height of the overall building will remain the same as the approved design. All units will still remain affordable at 60% AMI. The project has acquired approval for funding from Oregon Housing & Community Services.

In compliance with the Neighborhood Contact requirements described in Chapter 33.705 of the City of Portland Planning and Zoning Title 33 code, a Neighborhood Information Meeting will be held to provide you with an opportunity to become fully aware of our development intentions and to give you an opportunity to influence the form of development. We request that a Zoom meeting or other remote conferencing technology be used in lieu of a public in-person meeting. The meeting must be scheduled by you within 14 days of this letter of notification, and scheduled to occur on date and time of your choosing within 45 days of this letter. If we receive no response, we will present the project to the public in a meeting held on Thursday, March 24rd, @ 6pm. Here is a link to the scheduled meeting:

<https://us02web.zoom.us/j/84546368485?pwd=T3ZFNGhyK0QzdWJ4cnlkV2QvWVNlQk9kdz09>
T09
or Call
+1 669 900 6833 w/ ID 845 4636 8485
Passcode : 945734

Here is a link to our conceptual design, project summary, and development team information:

<https://drive.google.com/file/d/1E3daasm5eILOzG4sOzAHofPCdtNA9ukL/view?usp=sharing>

At this meeting the petitioner will make every effort to illustrate how the property will be developed and to answer any questions. Should you have questions prior to the meeting, or would like me to send you a link to our plans instead of typing in that really long link, please contact me via email at RalphTahran@comcast.net. We look forward to hearing from you.

Sincerely,

Ralph Tahran



Rowen Rystadt <rowen@nativeld.com>

Re: SW Park Avenue Affordable Apartment Project - Neighborhood Notice

1 message

Rowen Rystadt <Rowen@nativeld.com>

Mon, Mar 28, 2022 at 12:42 PM

To: sylvia@swni.org, coalition@nwnw.org, cwestling@pps.net, info@goosehollow.org

Cc: Ralph Tahran <ralphtahran@comcast.net>, Austin Turner <austin@twsolns.com>

Hello,

Please find the meeting notes for the Neighborhood Meeting attached that occurred online via Zoom on March 23, 2022. The meeting was in regards to the development of a 98-unit, 12-story affordable apartment building located at SW Park and Clifton St. The project was presented to the neighborhood as a 91-unit, 11-story building on October 22, 2020. The project has since been modified. The notes include prior meeting topics of discussion. I have included all attendees on this notice in the past and recent neighborhood meetings.

Kind regards,

On Wed, Mar 9, 2022 at 11:47 AM Rowen Rystadt <Rowen@nativeld.com> wrote:

Dear Neighbor:

Please be advised that a formal land use and building permit application will be submitted to the City of Portland seeking approval of a new multi-family affordable apartment building for the property located at:

*2059 SW Park Ave
Portland, OR 97201
(Previously 2061, 2055-57 SW Park Ave)*

The petitioner is asking the City of Portland to approve these applications to allow development of a 98-Unit Studio Apartment building on the described property. This is a change from the 91-unit approved design. The building will be 12-stories instead of the 11-story approved design, but the height of the overall building will remain the same as the approved design. All units will still remain affordable at 60% AMI. The project has acquired approval for funding from Oregon Housing & Community Services.

In compliance with the Neighborhood Contact III requirements described in Chapter 33.705 of the City of Portland Planning and Zoning Title 33 code, a Neighborhood Information Meeting will be held to provide you with an opportunity to become fully aware of our development intentions and to give you an opportunity to influence the form of development. We request that a Zoom meeting or other remote conferencing technology be used in lieu of a public in-person meeting. The meeting must be scheduled by you within 14 days of this letter of

LU 22-157148 DZM A-3

notification, and scheduled to occur on a date and time of your choosing within 45 days of this letter. If we receive no response, we will present the project to the public in a meeting held on Thursday, March 24rd, @ 6pm. Here is a link to the scheduled meeting:

<https://us02web.zoom.us/j/84546368485?pwd=T3ZFNGhyK0QzdWJ4cnlkV2QvWVNLQT09>

or Call

+1 669 900 6833 w/ ID 845 4636 8485

Passcode : 945734

Here is a link to our conceptual design, project summary, and development team information:

<https://drive.google.com/file/d/1E3daasm5eILOzG4sOzAHofPCdtNA9ukL/view?usp=sharing>

At this meeting the petitioner will make every effort to illustrate how the property will be developed and to answer any questions. Should you have questions prior to the meeting, or would like me to send you a link to our plans instead of typing in that really long link, please contact me via email at RalphTahran@comcast.net. We look forward to hearing from you.

Sincerely,

Ralph Tahran

--

Rowen Rystadt
503-329-1124
rowen@nativeld.com

--

Rowen Rystadt
503-329-1124
rowen@nativeld.com

 **SW Park Avenue Apartments Neighborhood Meeting Notes II (2).pdf**
82K

LU 22-157148 DZM A-3



Neighborhood Contact – Certification Statement

The Neighborhood Contact requirement provides a way to learn more about a proposed development before a land use review or building permit is submitted. The applicant must provide documentation with the land use review or building permit application to document that Neighborhood Contact requirements are met. There are three different Neighborhood Contact processes, each requiring slightly different documentation. These requirements are listed below. This form can also be used to satisfy the requirements to submit a signed statement certifying certain requirements related to timelines and note distribution were met.

To complete this form:

1. Check the box that corresponds to the Neighborhood Contact process required.
2. Sign the bottom of this form to verify that timeline and note distribution requirements were met.
3. Submit the listed documentation requirements with the land use review or building permit application to verify other Neighborhood Contact requirements were met.

Neighborhood Contact 1

- A copy of the initial notification email or letter sent to the neighborhood association, district neighborhood coalition, and business association;
- A list of email or postal addresses to which the initial notification email or letter was sent;
- Photograph(s) of the sign(s) installed at the proposed development sites that legibly shows the sign’s text;
- A signed statement certifying that:
 - The initial notification email or letter was sent at least 35 days, but not more than 1 year, before applying for the land use review or building permit;
 - The required sign(s) was posted at least 35 days, but not more than 1 year, before applying for the land use review or building permit;

Neighborhood Contact 2

- A copy of the initial notification email or letter sent to the neighborhood association(s), district neighborhood coalition(s), and business association(s);
- A list of email or postal addresses to which the initial notification email or letter was sent;
- A copy of the attendance log that includes attendees’ name and address or email address;
- Photograph(s) of the sign(s) installed at the proposed development sites that legibly shows the sign’s text;
- A signed statement certifying that:
 - The initial notification email or letter was sent at least 35 days, but not more than 1 year, before applying for the land use review or building permit;
 - The required sign(s) was posted at least 35 days, but not more than 1 year, before applying for the land use review or building permit;
 - The required meeting was held at least 14 days before applying for the land use review or building permit and at least 14 days after sending the initial notification email or letter and posting the required sign(s); and
 - Notes from the public meeting were emailed or mailed to the neighborhood association, district neighborhood coalition, business association, school district and any meeting attendees who provided an email or postal address, prior to applying for the land use review or building permit.

continued on back

Neighborhood Contact 3

- A copy of the initial notification email or letter sent to the neighborhood association(s), district neighborhood coalition(s), business association, and school district;
- A list of email or postal addresses to which the initial notification email or letter was sent;
- A copy of the attendance log that includes attendees' name and address or email address;
- Photograph(s) of the sign(s) installed at the proposed development sites that legibly shows the sign's text;
- A signed statement certifying that:
 - The initial notification email or letter was sent at least 35 days, but not more than 1 year, before applying for the land use review or building permit;
 - The required sign(s) was posted at least 35 days, but not more than 1 year, before applying for the land use review or building permit;
 - The required meeting request was sent;
 - The neighborhood association either did not reply or declined the request, or that the neighborhood association meeting took place; and
 - Notes from the public meeting were emailed or mailed to the neighborhood association, district neighborhood coalition, business association, school district and any meeting attendees who provided an email or postal address, prior to applying for the land use review or building permit.

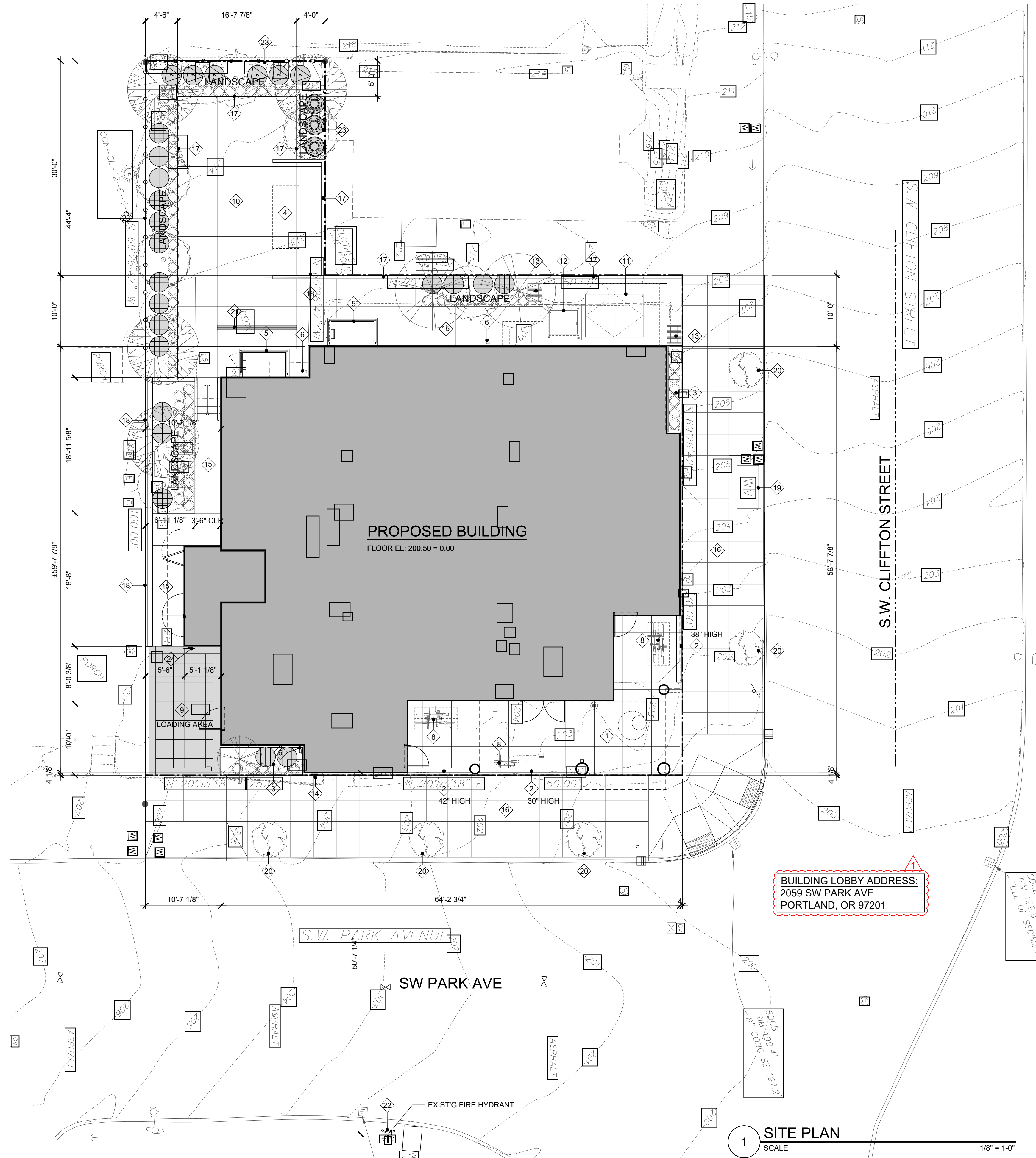
By filling out this form, I acknowledge the Neighborhood Contact requirements for the marked option above have been met.

Printed Name: _____ Date: _____

I acknowledge this typed name as my signature

Additional Printed Name: _____ Date: _____

I acknowledge this typed name as my signature



- LEGEND**
- 1 ARCADE
 - 2 CONC LOW WALL
 - 3 PLANTER
 - 4 EMERGENCY GENERATOR
 - 5 WINDOW WELL WITH 42" HIGH GUARDRAIL
 - 6 DOWNSPOUT
 - 7 WINDOW WELL
 - 8 FLOOR MOUNTED BIKE PARKING (SHORT TERM)
 - 9 LOADING AREA WITH COLORED PAVER SEE A1.2 CONC PAVERS-MUTUAL MATERIALS - UNI-OPTILOC 3 1/8"X4" 1/2" X 8 7/8" - COLOR GRAY
 - 10 PLAZA
 - 11 VAULT DOOR
 - 12 SUMP PUMP DOOR ACCESS
 - 13 VENT
 - 14 FDC CONNECTION
 - 15 WALKWAY
 - 16 PUBLIC IMPROVEMENT SEE CIVIL
 - 17 RETAINING WALL
 - 18 RETAINING WALL WITH 6' HIGH CMU FENCE
 - 19 WATER METER SEE CIVIL
 - 20 TREE WELL SEE CIVIL
 - 21 LINEAR DRAIN
 - 22 EXIST'G FIRE HYDRANT
 - 23 WOOD FENCE
 - 24 LOADING AREA SIGN

PROJECT DESCRIPTION
 THE PROPOSED PROJECT IS 12 STORY MASS TIMBER PANEL CONSTRUCTION WITH BASEMENT LOCATED IN 2057 SW PARK AVE PORTLAND, OR 97201.

CONSTRUCTION TYPE - IV-B AND IVC
 STUDIO ADA TYPE B - 96 UNITS
 STUDIO ADA TYPE A - 2 UNITS
 TOTAL NUMBER OF UNITS - 98 UNITS

THE BUILDING IS EQUIPPED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13.

GENERAL INFORMATION

PROPERTY ID: R246517
 COUNTY: MULTNOMAH
 STATE ID: 1S1E04DA 8800
 NEW STATE ID: 1S1E04DA -08800
 ALT ACCOUNT #: R667725410
 MAP NUMBER: 3228 OLD
 LAND TYPE: RES - RESIDENTIAL LAND
 TOTAL LAND AREA: 6,000.00 SF

SITE INFO

SITE ADDRESS:
 2055-2061 SW PARK AVE
 PORTLAND, OR 97201

NEIGHBORHOOD

JURISDICTION: PORTLAND / MULTNOMAH

ZONING

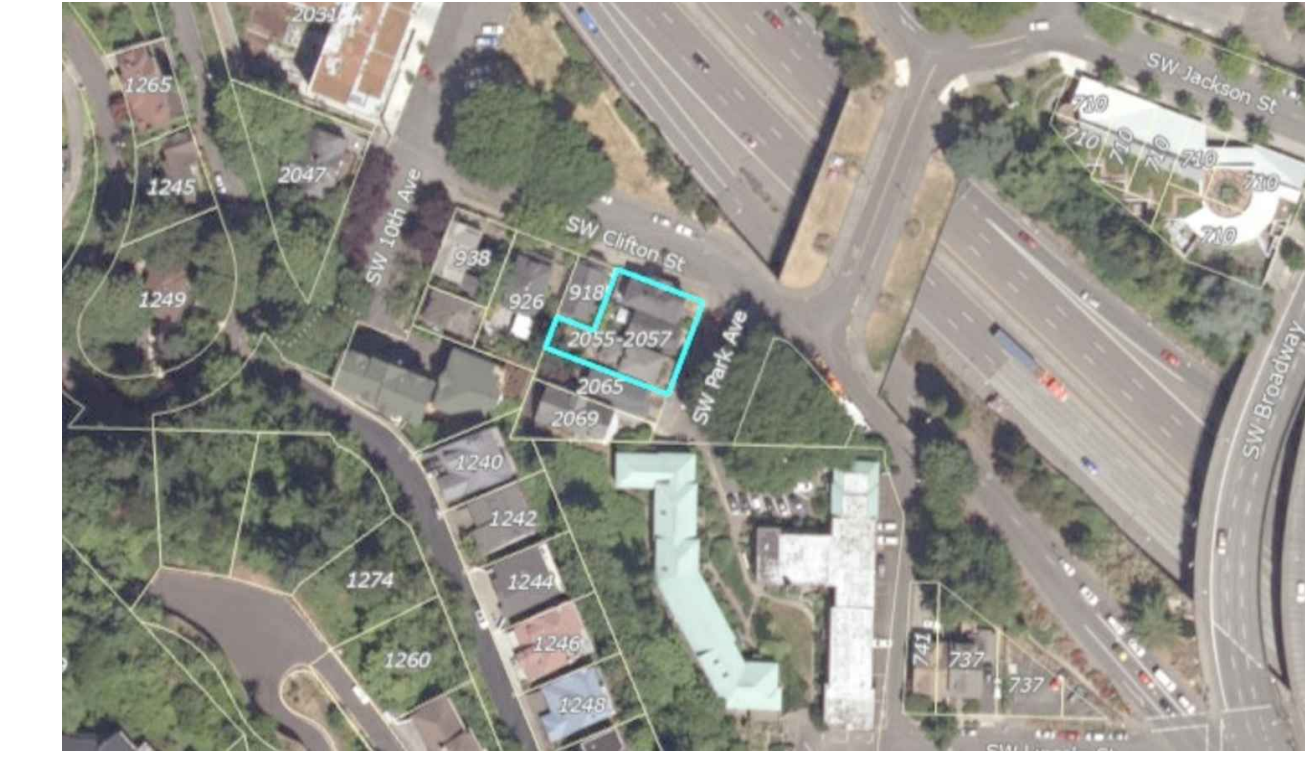
ZONE: RM4 - RESIDENTIAL MULTI-DWELLING 4
 DESCRIPTION:
 OVERLAY: d - Design
 BASE OVERLAY COMBINATION: RM4d
 COMP PLAN: MD-U - Multi-Dwelling - Urban Center
 COMP PLAN OVERLAY: NONE

LAND INFORMATION

RESIDENTIAL LAND 6,000 SF

BUILDING LOBBY ADDRESS:
 2059 SW PARK AVE
 PORTLAND, OR 97201

1 SITE PLAN
 SCALE 1/8" = 1'-0"



2 VICINITY MAP
 N.T.S.

PERMIT SET 10-21-21
TAHRAN ARCHITECTURE & PLANNING LLC
 333 S. STATE LAKE OSWEGO, OREGON 97034
 T (503) 539 8802 F (503) 697 1985 E ralph@tahrancpa.com

SW PARK APARTMENTS
 2055-2061 SW PARK AVE,
 PORTLAND OR: 97201

CHECKED BY	RALPH TAHRAN	
DRAWN BY	RCM	
NO	DATE	ISSUE / REVISION
1	06.07.22	RESPONSE TO PLAN REVIEW
		11/25/2021

PROJ NO.
 2021-012

SHEET CONTENTS
SITE PLAN & KEY NOTES

SHEET NUMBER

A1.1



Design and Historic Resource Review Section
Bureau of Development Services
City of Portland
1900 SW 4th Avenue
Portland OR 97201

Date: April 20, 2022

RE: Design Review Procedure Certification for Affordable Housing Developments Confirmation Letter

This letter confirms the following for Park Avenue Apartments at project address 2055-2057 SW Park Ave, 2061 SW Park Ave, Portland, OR 97201 (“Project”):

1. We have received an application for *4% LIHTC* from Park Avenue PSU LLC
2. As a condition of the awarded funding, this Project will have certain covenant(s), regulatory agreement(s), extended use agreement(s) and/or another similar documents that sets affordability restrictions on the maximum allowable rent charged to be set at **60%** of Median Family Income for **98** residential units representing **50% or more** of total residential units in this project and these affordability restrictions are for *minimum 30 years*.
3. This Project, as designed, triggers Type III design review; however, Portland City Code (PCC) 33.825.025.A Table 825-1[2] and PCC Subsection 30.01.170 allow an affordable housing project to choose Type II design review if at least 50 percent of the total number of dwelling units on the site are affordable for those earning no more than 60 percent of the area median income for a minimum of 30 years.; and
4. This Project meets the affordable housing criteria established in PCC 33.825.025.A Table 825-1[2] and PCC 30.01.170 and is applying for Type II design review from the Bureau of Development Services, as authorized by Ordinance 190477.

Please do not hesitate to contact Logan Schulze or Alan Borges for further information about Park Avenue Apartments eligibility. Thank you for your attention and consideration to this affordable housing project.

Kind regards,

Logan Schulze

Logan Schulze, Production Analyst
Affordable Rental Housing Production Section

Oregon Housing and Community Service
Tel: 971-388-6195
Email: logan.schulze@hcs.oregon.gov



City of Portland, Oregon
Bureau of Development Services
Office of the Director
FROM CONCEPT TO CONSTRUCTION

Dan Ryan, Commissioner
 Rebecca Esau, Director
 Phone: (503) 823-7300
 Fax: (503) 823-6983
 TTY: (503) 823-6868
www.portland.gov/bds

May 13, 2022

Rowen Rystadt
Rowen@nativeld.com

Re: A Land Use fee waiver for the affordable housing project associated with site addresses 2055-2057 & 2061 SW Park Ave

Dear Mr. Rystadt,

Thank you for contacting the Bureau of Development Services to request a reduction of fees for the Land Use fees associated with the affordable housing project located at 2055-2057 & 2061 SW Park Ave.

Our records show the fee for the required Land Use review totals \$22,807.00. The Bureau of Development Services (BDS) fees total \$17,940.00. See the chart below for a breakdown of fees:

Land Use Design Review	Bureaus	Total Fees	Waiver Amount (50%)	Amount Owed
	BDS	\$ 17,940.00	\$ 8,970.00	\$ 8,970.00
	Water Bureau	\$ 140.00	\$ 0	\$ 140.00
	Environmental Services	\$ 1,715.00	\$ 0	\$ 1,715.00
	Transportation	\$ 3,012.00	\$ 0	\$ 3,012.00
	TOTAL	\$ 22,807.00	\$ 8,970.00	\$ 13,837.00

Note: I am only authorized to waive fees directly related with BDS operations.

Due to the low-income housing project designated exclusively for residential individuals whose incomes are 60% or less of the area median income based on the Department of Housing and Urban Development, **I am authorizing a 50% fee waiver for the Land Use Design Review.** You are responsible for paying the remaining balance of \$13,837.00.

If you wish to request additional fee waivers as the project advances through the process, please contact Colleen Poole colleen.poole@portlandoregon.gov.

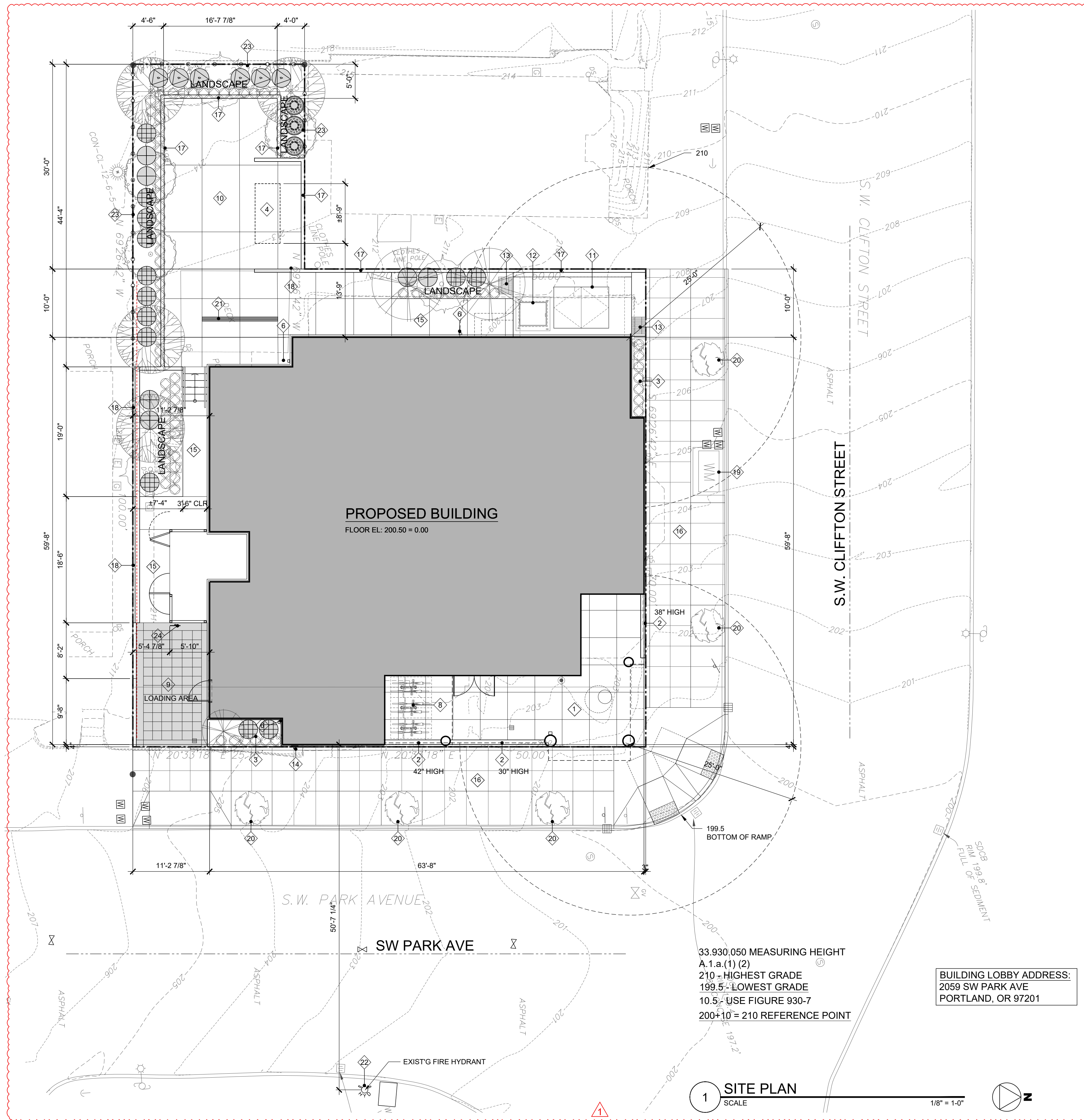
I hope the fee reduction shows our support and commitment to help bring affordable housing to the city.

Sincerely,

Rebecca Esau

Rebecca Esau, Director
 Bureau of Development Services

Cc: Karen Guillen-Chapman, Commissioner Ryan's Office Liaison
 Kim Tallant, Land Use Services Division Manager
 Kara Fioravanti, Design and Historic Resource Reviews and Record Management
 BDS LUS Technicians



LEGEND

- 1 ARCADE
- 2 CONC LOW WALL
- 3 PLANTER
- 4 EMERGENCY GENERATOR
- 5 WINDOW WELL WITH 42" HIGH GUARDRAIL
- 6 DOWNSPOUT
- 7 NOT USED
- 8 FLOOR MOUNTED BIKE PARKING (SHORT TERM)
- 9 LOADING AREA WITH COLORED PAVER SEE A1.2
CONC PAVERS-MUTUAL MATERIALS - UNI-OPTILOC 3 1/8"X4"
1/2" X 8 7/8" - COLOR GRAY
- 10 PLAZA
- 11 VAULT DOOR
- 12 SUMP PUMP DOOR ACCESS
- 13 VENT
- 14 FDC CONNECTION
- 15 WALKWAY
- 16 PUBLIC IMPROVEMENT SEE CIVIL
- 17 RETAINING WALL
- 18 RETAINING WALL WITH 6' HIGH CMU FENCE
- 19 WATER METER SEE CIVIL
- 20 TREE WELL SEE CIVIL
- 21 DRAIN TRENCH
- 22 EXIST'G FIRE HYDRANT
- 23 WOOD FENCE
- 24 LOADING AREA SIGN

PROJECT DESCRIPTION

THE PROPOSED PROJECT IS 12 STORY MASS TIMBER PANEL CONSTRUCTION WITH BASEMENT LOCATED IN 2059 SW PARK AVE PORTLAND, OR 97201.

CONSTRUCTION TYPE - IV-B AND IVC

STUDIO ADA TYPE B - 96 UNITS
STUDIO ADA TYPE A - 2 UNITS
TOTAL NUMBER OF UNITS - 98 UNITS

THE BUILDING IS EQUIPPED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13.

GENERAL INFORMATION

PROPERTY ID: R246517
COUNTY: MULTNOMAH
STATE ID: 1S1E04DA 8800
NEW STATE ID: 1S1E04DA -08800
ALT ACCOUNT #: R667725410
MAP NUMBER: 3228 OLD
LAND TYPE: RES - RESIDENTIAL LAND
TOTAL LAND AREA: 6,000.00 SF

SITE INFO

SITE ADDRESS:
2059 SW PARK AVE
PORTLAND, OR 97201

NEIGHBORHOOD

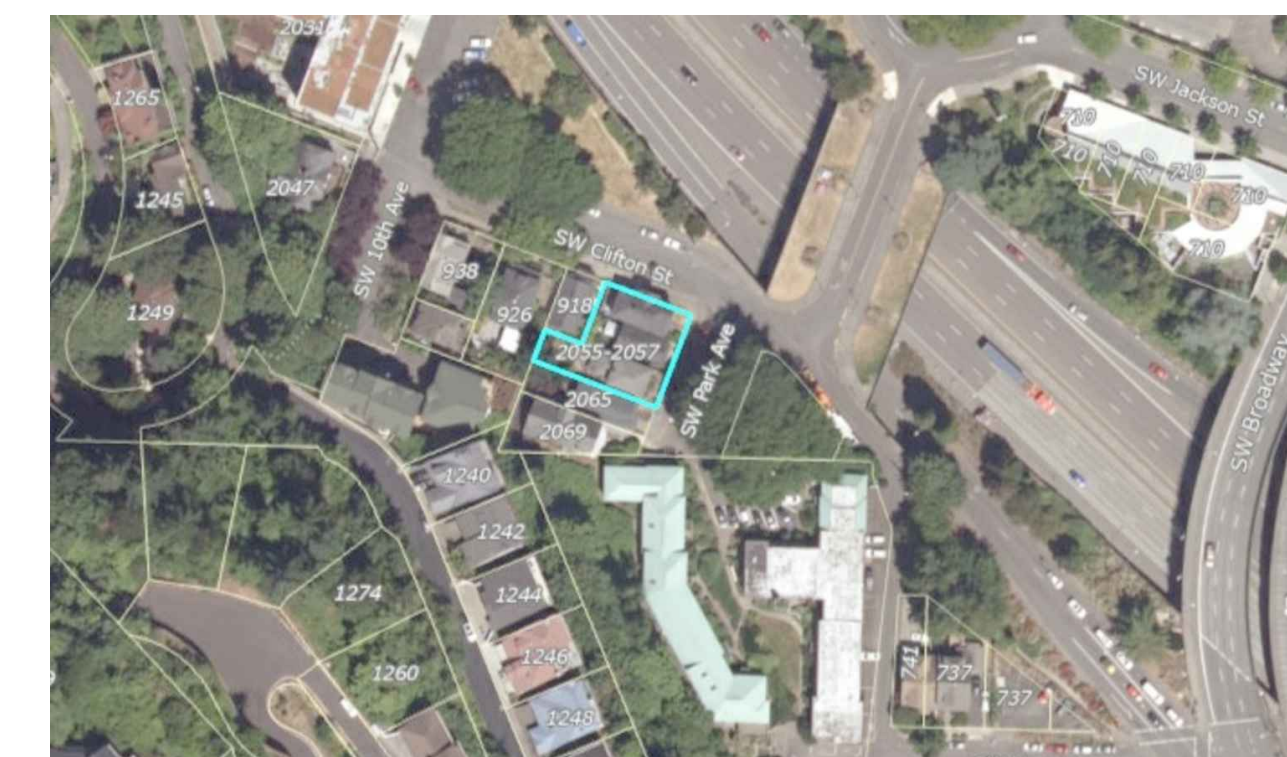
JURISDICTION: PORTLAND / MULTNOMAH

ZONING

ZONE: RM4 - RESIDENTIAL MULTI-DWELLING 4
DESCRIPTION:
OVERLAY: d - Design
BASE OVERLAY COMBINATION: RM4d
COMP PLAN: MD-U - Multi-Dwelling - Urban Center
COMP PLAN OVERLAY: NONE

LAND INFORMATION

RESIDENTIAL LAND 6,000 SF



2 VICINITY MAP
N.T.S.



SUBMITTED 02-05-21

TAHRAN ARCHITECTURE & PLANNING LLC
333 S. STATE LAKE OSWEGO, OREGON 97034
T (503) 539 8802 | F (503) 697 1985 | e ralph@tahrancpa.com

SW PARK APARTMENTS
2059 SW PARK AVE,
PORTLAND OR: 97201

CHECKED BY	RALPH TAHRAN	
DRAWN BY	RCM	
NO	DATE	ISSUE/REVISION
05.06.22		OWNER/ARCHITECT REVISION

PROJ NO.
2021-012

SHEET CONTENTS
SITE PLAN & KEY NOTES

SHEET NUMBER

A1.1

SW Park Avenue Apartments

2059 SW PARK AVE
PORTLAND, OREGON 97201

Property Information Area SF
Property ID : R246517 6,000.00 SF

Lot Area 6,000.00 SF
FAR 42,112.00 SF

Zone: RM4
Total Number of Units 98 Studio

Location	Unit Area	Common Area	Total Area	ST
Basement		2,244.53 SF	2,244.53 SF	with Stair
Level 1		3,198.00 SF	2,711.00 SF	without stair
Level 2	2,428.00 SF	938.81 SF	3,366.81 SF	with Stair
Level 3	2,788.00 SF	445.59 SF	3,233.59 SF	without stair
Level 4	2,788.00 SF	929.53 SF	3,717.53 SF	with Stair
Level 5	2,788.00 SF	445.59 SF	3,233.59 SF	without stair
Level 6	2,788.00 SF	929.53 SF	3,717.53 SF	with Stair
Level 7	2,788.00 SF	445.59 SF	3,233.59 SF	without stair
Level 8	2,788.00 SF	929.53 SF	3,717.53 SF	with Stair
Level 9	2,788.00 SF	445.59 SF	3,233.59 SF	without stair
Level 10	2,788.00 SF	929.53 SF	3,717.53 SF	with Stair
Level 11	2,788.00 SF	445.59 SF	3,233.59 SF	without stair
Level 12	2,788.00 SF	929.53 SF	3,717.53 SF	with Stair
Total	24,732.00 SF	9,637.29 SF	32,409.28 SF	98

FAR 7 to 1 or 6 to 1 (1)

Location	Total Area
Level 1	748.00 SF
Level 2	3,366.81 SF
Level 3	3,717.53 SF
Level 4	3,717.53 SF
Level 5	3,717.53 SF
Level 6	3,717.53 SF
Level 7	3,717.53 SF
Level 8	3,717.53 SF
Level 9	3,717.53 SF
Level 10	3,717.53 SF
Level 11	3,717.53 SF
Level 12	3,717.53 SF
Total Area	33,855.06 SF

Bike Parking Calculations

Long Term Bike	98 Units x 1.1 =	107.00
Short Term Bike (1 Bike at every 20 units)		5.00
Total bike parking requirement		112.00

PROVIDED

BIKE PARKING	Horizontal	Vertical	Horizontal	No of Bike
Location	36"x120"	18"x44"	18"x60"	
Basement	none	none	48	48
Arcade (Short Term)	none	None	6	6
Level 1	6	10	none	16
Level 2	none	8	none	8
Level 3	none	9	none	9
Level 4	none	9	none	9
Level 5	none	9	none	9
Level 6	none	9	none	9
Level 7	none	none	none	0
Level 8	none	none	none	
Level 9	none	none	none	
Level 10	none	none	none	
Level 11	none	none	none	
Level 12	none	none	none	
Total Bike Parking	6	54	54	114

BIKE RACK

	Required	Provided
Large Bicycle Space 5%	5.60	6
Horizontal Bicycle Parking Min 30%	33.60	54

Floor area Calculation

Level 1	Floor Area	Studio	No. of Toilet
Lobby	239.00 SF		
Amenity	844.00 SF		
Residential	640.00 SF		
Fitness	440.00 SF		
Sprinkler Room	22.00 SF		
Machine Room	30.00 SF		
Trash Enclosure	123.00 SF		
Corridor	373.00 SF		
Total Area	2,711.00 SF		

Floor Area Calculation

Level 2	Floor Area	Studio	No. of Toilet
Unit 1	300.00 SF	Studio	1
Unit 2	300.00 SF	Studio	1
Unit 3	300.00 SF	Studio	1
Unit 4	340.00 SF	Studio	1
Unit 5	324.00 SF	Studio	1
Unit 6	288.00 SF	Studio	1
Unit 7	288.00 SF	Studio	1
Unit 8	288.00 SF	Studio	1
Total Number of Units	2,428.00 SF		8

Floor Area Calculation

Level 2	Floor Area	Studio	No. of Toilet
Unit 1	300.00 SF	Studio	1
Unit 2	300.00 SF	Studio	1
Unit 3	300.00 SF	Studio	1
Unit 4	340.00 SF	Studio	1
Unit 5	324.00 SF	Studio	1
Unit 6	288.00 SF	Studio	1
Unit 7	288.00 SF	Studio	1
Unit 8	288.00 SF	Studio	1
Total Number of Units	2,428.00 SF		8

Level 3 to 12	Floor Area	Studio	No. of Toilet
Unit 1	300.00 SF	Studio	1
Unit 2	300.00 SF	Studio	1
Unit 3	300.00 SF	Studio	1
Unit 4	340.00 SF	Studio	1
Unit 5	324.00 SF	Studio	1
Unit 6	288.00 SF	Studio	1
Unit 7	288.00 SF	Studio	1
Unit 8	288.00 SF	Studio	1
Unit 9	360.00 SF	Studio	1
Total Number of Units	2,788.00 SF		9

Location	No of Units
Level 1	0
Level 2	8
Level 3	9
Level 4	9
Level 5	9
Level 6	9
Level 7	9
Level 8	9
Level 9	9
Level 10	9
Level 11	9
Level 12	9
Total Number of Units	98

Lot Area 6,000.00 SF

Outdoor Area Calculation		
98 Units x 36 sf		3,528.00 SF
Amenity		435.00 SF
Fitness Room		435.00 SF
Rooftop Lounge		2,669.00 SF
Total Outdoor area		3,539.00 SF

Landscape Area Calculation

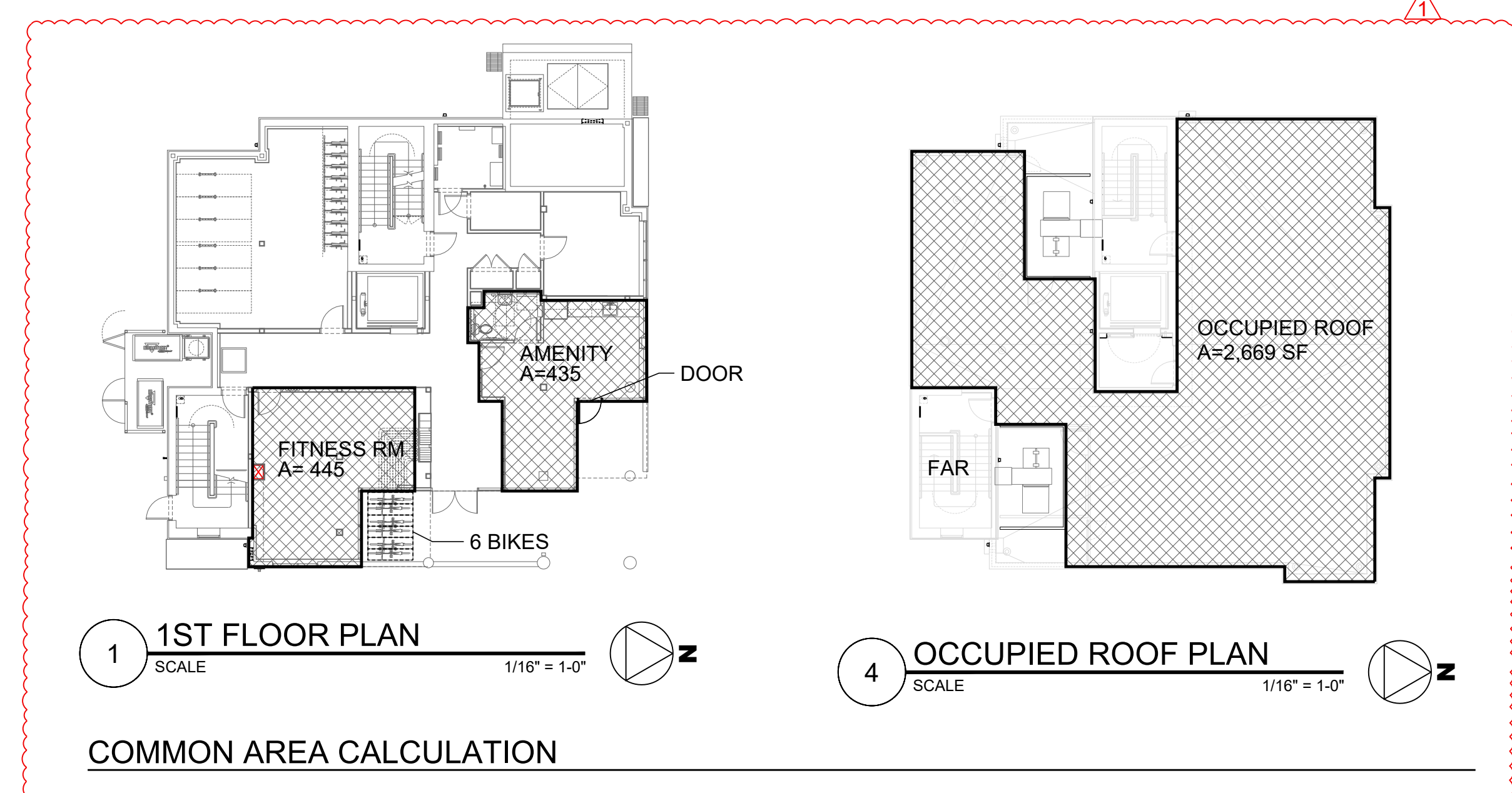
Building Footprint	3,187.00 SF		53.12%
Compactor	80.00 SF		1.33%
Plaza/Walkway (15%)	1,527.00 SF	229.05 SF	
Arcade/Courtyard (15%)	512.00 SF	76.80 SF	
Landscape	694.00 SF	694.00 SF	
Total Landscape Area	6,000.00	999.85 SF	16.23%

LOT AREA

LANDSCAPE AREA CALCULATION	AREA SF
AREA 1	415.00 SF
AREA 1.1	133.00 SF
AREA 2	77.00 SF
AREA 3	44.00 SF
AREA 4	25.00 SF
TOTAL LANDSCAPE	694.00 SF

HARDSCAPE AREA CALCULATION

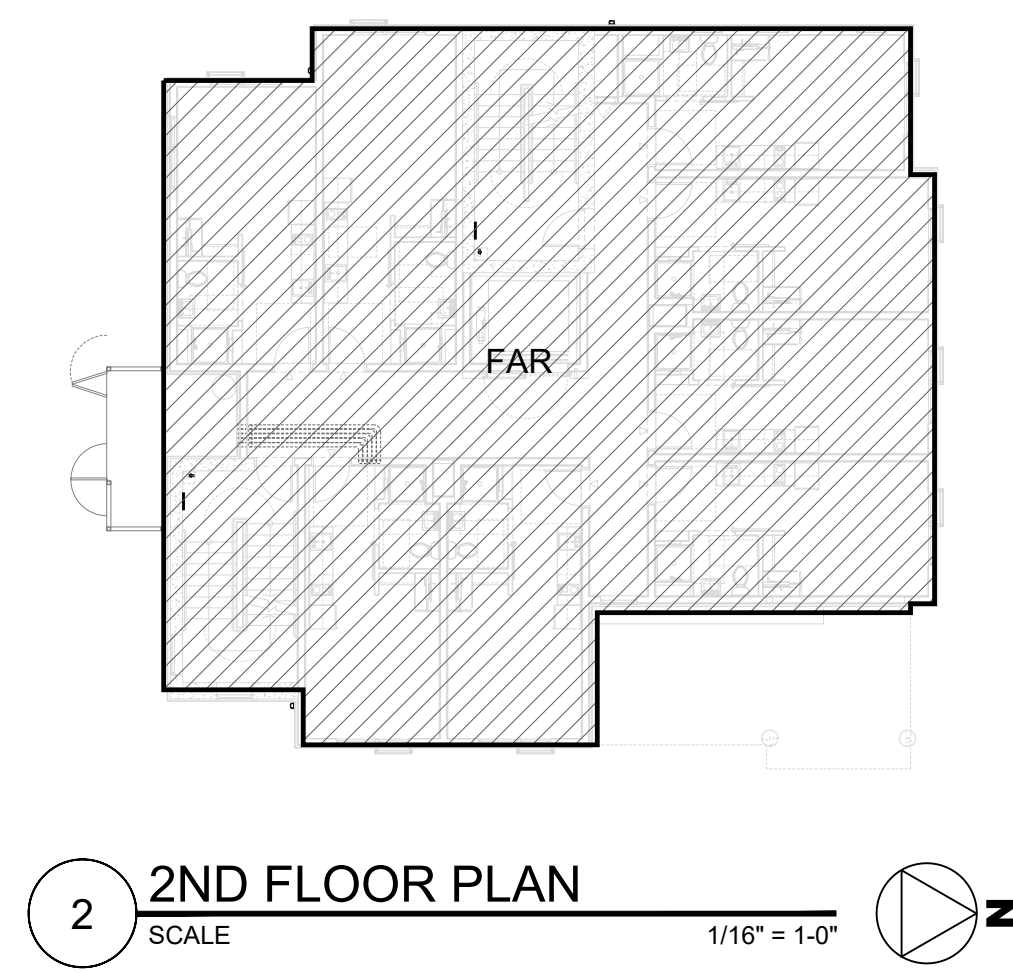
	AREA SF	15 PERCENT
ARCADE	512.00 SF	76.80 SF
PLAZA/COURTYARD/WALKWAY	1,527.00 SF	229.05 SF
OVERALL LANDSCAPE AREA	16.7%	999.85 SF



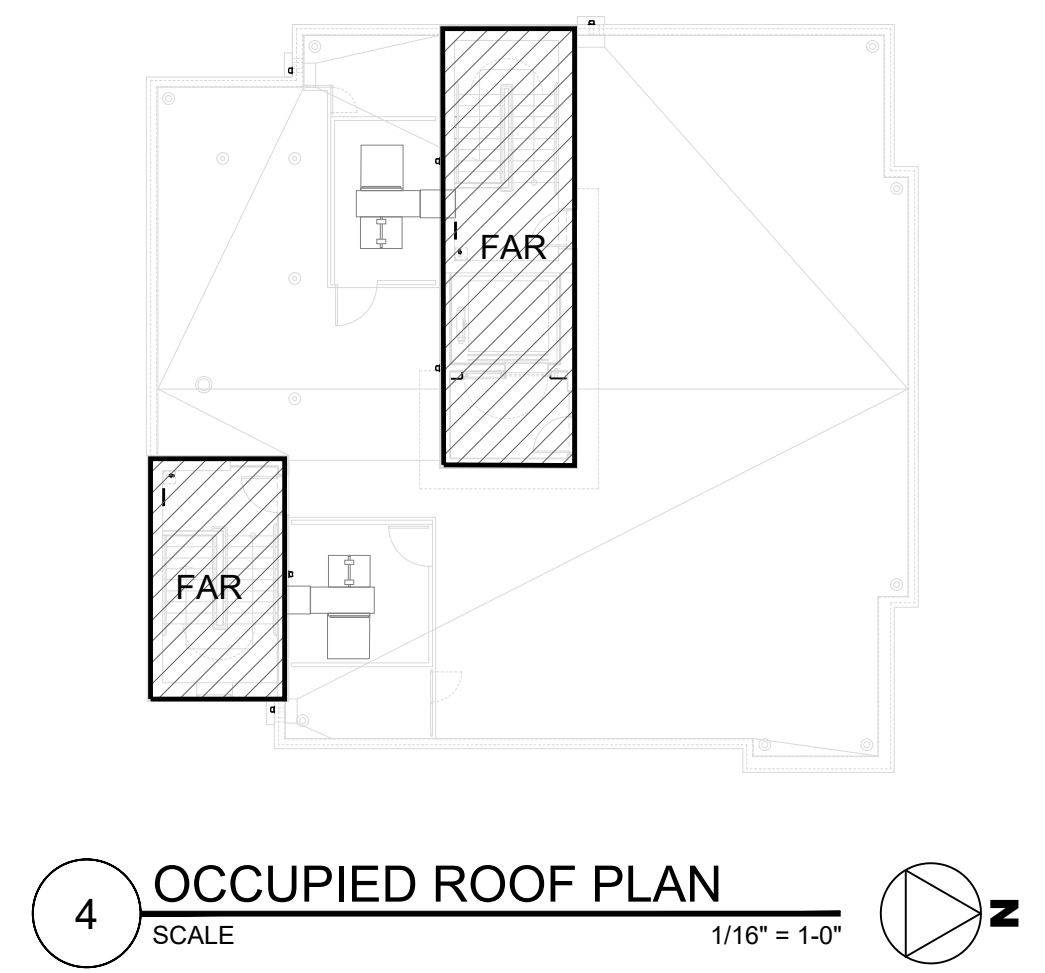
1 1ST FLOOR PLAN
SCALE 1/16" = 1-0"

4 OCCUPIED ROOF PLAN
SCALE 1/16" = 1-0"

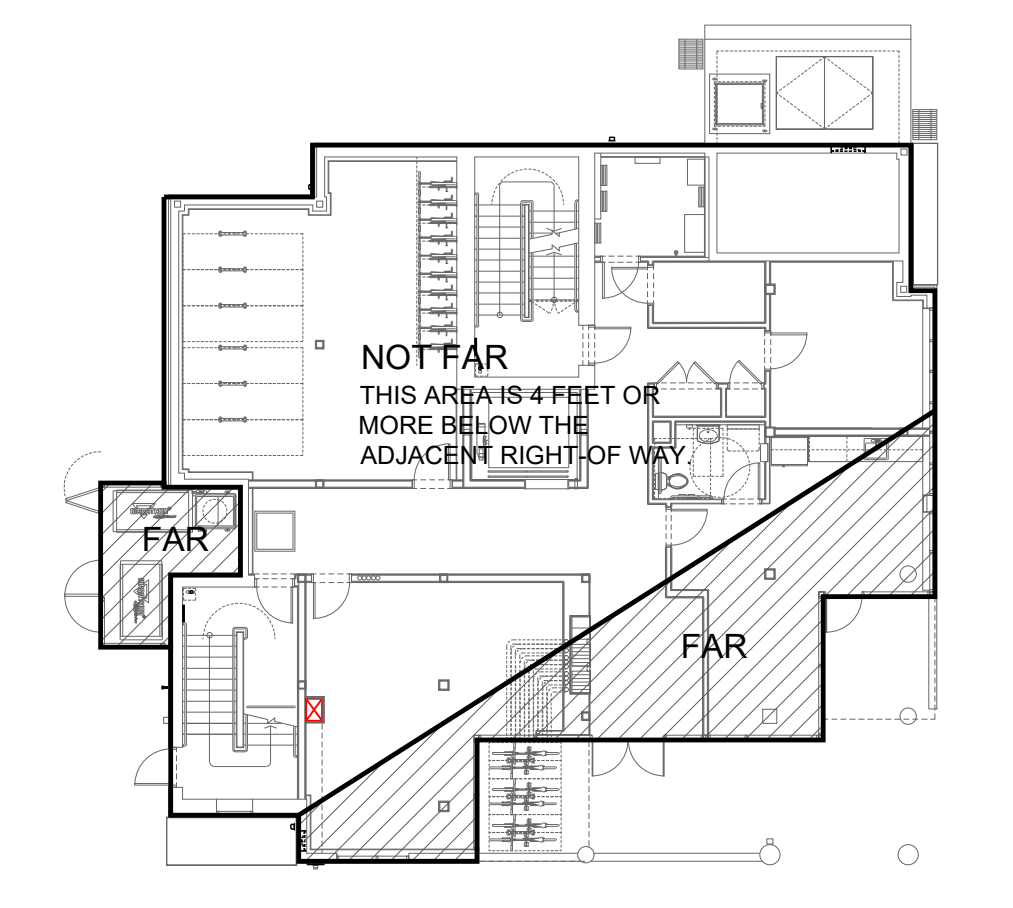
COMMON AREA CALCULATION



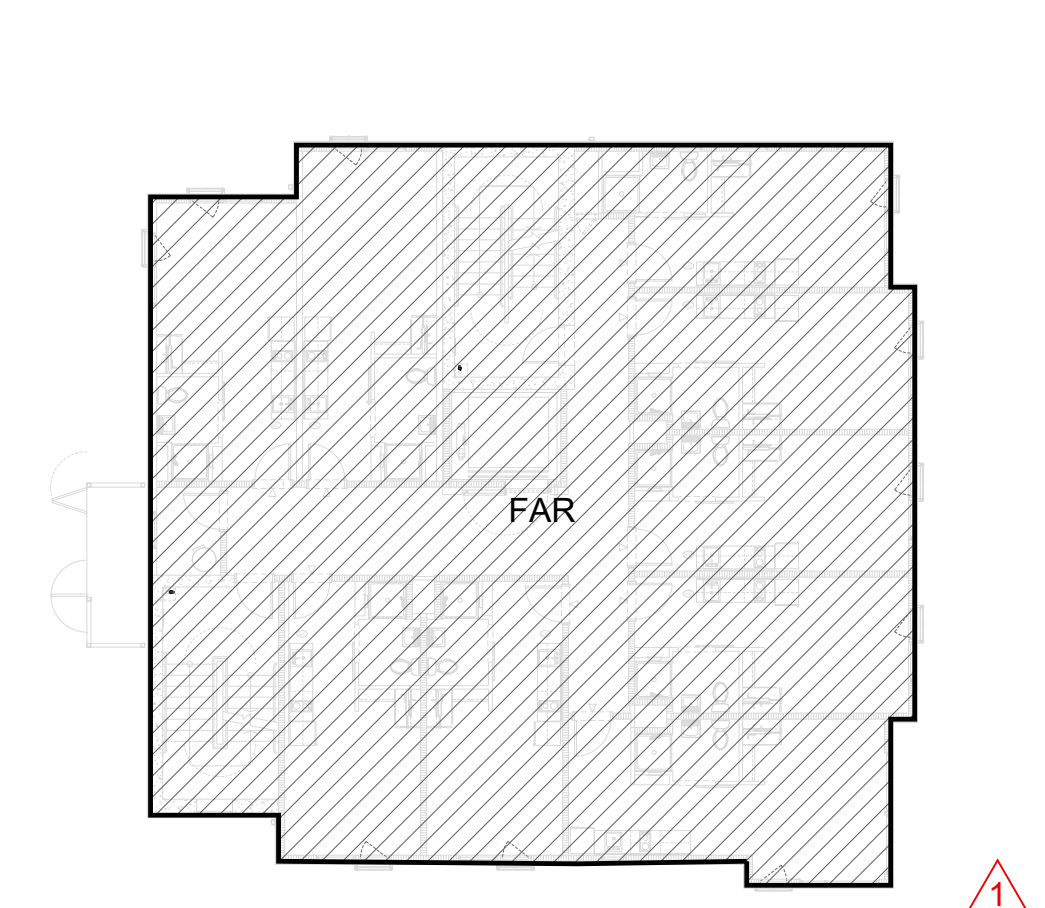
2 2ND FLOOR PLAN
SCALE 1/16" = 1-0"



4 OCCUPIED ROOF PLAN
SCALE 1/16" = 1-0"



1 1ST FLOOR PLAN
SCALE 1/16" = 1-0"



3 3RD-12TH FLOOR PLAN
SCALE 1/16" = 1-0"



SUBMITTED 02-05-21

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SW PARK APARTMENTS
2059 SW PARK AVE,
PORTLAND OR. 97201

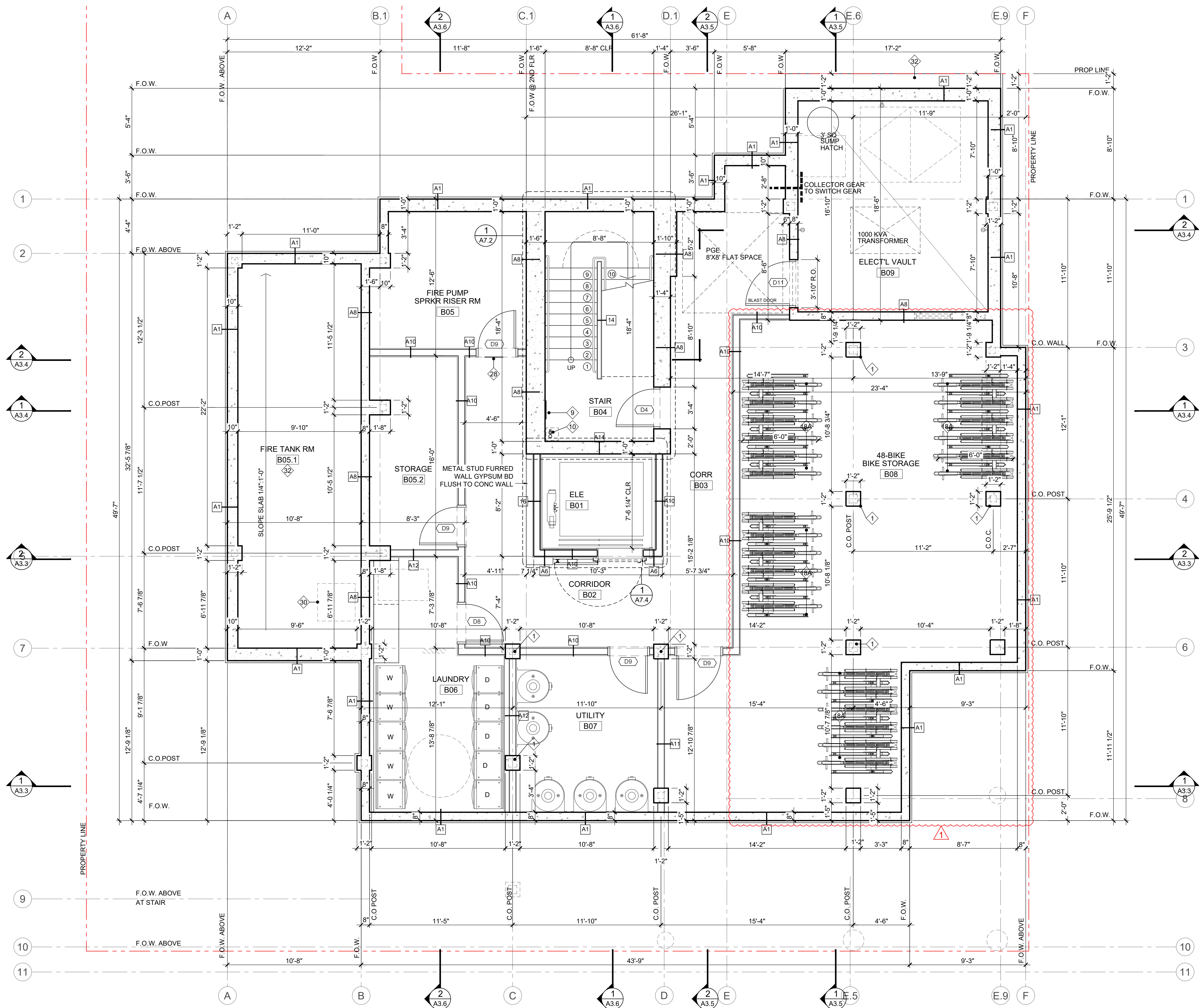
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PROJ NO.
2021-012

SHEET CONTENTS
TITLE 33
PLANNING
AND ZONING

SHEET NUMBER

A0.0

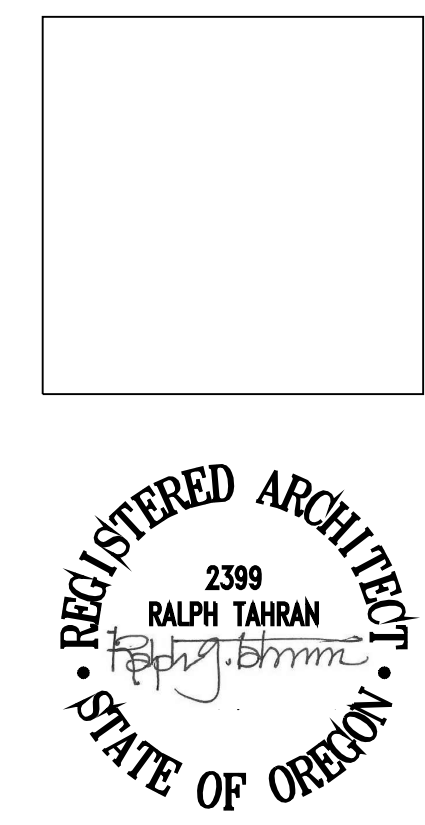


1 BASEMENT FLOOR PLAN
SCALE 1/4" = 1'-0"

KEYNOTES	
1	CONCRETE COLUMN SEE DETAIL 11.11.1/A8.5
1A	COLUMN WRAP SEE DETAIL 10/A8.5
2	CONCRETE BEAM
3	FLOOR ABOVE
4	PLUMBING CHASE
5	ERRC CABINET/CHASE
6	FLOOR DRAIN
7	JULIET BALCONY
8	METAL LOUVER (PAINT MATCH ADJACENT SIDING) PER MECHANICAL
9	STAIR IDENTIFICATION SIGN SEE DETAIL 7/A7.3
10	STANDPIPE SEE DETAIL 3/A8.8
11	TRASH COMPACTOR
12	TRASH BIN
13	TRASH CHUTE
14	MAIL BOX SEE DETAIL 2/A3.7
15	FDC CONNECTION
16	KNOXBOX
17	DOWNSPOUT
18A	BIKE RACK (STACK) SEE DETAIL A4.13
18B	BIKE RACK (FLOOR MOUNTED) SEE DETAIL A4.13
18C	BIKE RACK (WALL MOUNTED) SEE DETAIL A4.13
18D	3'x10' LARGE BICYCLE FLOOR SPACE
19	CONCRETE LOW WALL
20	HOSE BIB
21	WINDOW WELL W/ GUARDRAIL
22	FIXED LADDER
23	WASHER
24	DRYER
25	WATER HEATER
26	ROOF BELOW
27	METAL PLANTER SEE L1.1
28	SIGN SEE TYPICAL DETAIL 2/A8.9 (CODE SUMMARY SEE A0.2A)
29	FIRE DEPARTMENT CONNECTION SIGN (CODE SUMMARY SEE A0.2A)
30	DOOR SIGNAGE
31	36"x36" ACCESS HATCH
32	SHORING SEE STRUCTURAL DWG
33	WATER PROOF FINISH FLOOR, WALL, CEILING

NOTES	
1.	DIMENSIONS ARE TO GRID LINE OR FACE OF STUD, UNLESS OTHERWISE NOTED.
2.	▷ INDICATES UNIT ENTRY
3.	SEE LANDSCAPE AND CIVIL FOR SITE WORK
4.	SEE SCHEDULE OF WINDOWS A11.1
5.	SEE SCHEDULE OF DOORS A10.1
6.	SEE WALL ASSEMBLY TYPES A0.3, A0.4 SEE FLOOR/CEILING ASSEMBLY TYPES A0.3, A0.4
7.	ENLARGE ARCADE SEE 1/A4.13
8.	ELECTRICAL FIXTURES AND ELECTRICAL LIGHTING PANEL LOCATION SEE ELECTRICAL DRAWINGS.
9.	MECHANICAL EXHAUST FAN AND LOCATION SEE MECHANICALS DRAWINGS.
10.	ALL OUTLETS AND PENETRATIONS AT UNIT DEMISING, STAIR, ELEVATOR, AND CORRIDOR WALLS SHOULD HAVE PUTTY PADS COVERING THE ENTIRE OUTLET.
11.	ALL PENETRATIONS AT UNIT DEMISING, STAIR, ELEVATOR, AND CORRIDOR WALLS NEED TO BE SEALED WITH CAULK PER WALL ASSEMBLY FIRE RATING.
12.	DO NOT SCALE DRAWINGS. EXTERIOR DIMENSIONS ARE TO GRID LINES, AND OUTSIDE FACE. INTERIOR DIMENSION ARE GRID LINES AND FACE OF STUD. OPENINGS ARE DIMENSIONED TO THE CENTER OF THE OPENING, UNO.
13.	CONTRACTOR SHALL VERIFY LOCATIONS AND SIZING OF ALL OPENINGS INCLUDING BUT NOT LIMITED TO HVAC, DOORS AND WINDOWS WITH APPLICABLE SUBCONTRACTORS.
14.	WINDOW LOCATIONS VARIES BY ROOM AND FLOOR LEVEL. SEE ENLARGED PLAN SHEETS, AS WELL AS WINDOW SCHEDULE FOR WINDOW SIZES.
15.	WINDOW SIZES ARE NOMINAL ROUGH OPENING, WIDTH AND HEIGHT.

CARBON MONOXIDE / SMOKE DETECTOR (SC)	
1.	CARBON MONOXIDE ALARM SHOULD OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE SLEEPING ROOM.
2.	CARBON MONOXIDE ALARM SHOULD BE PROVIDED ON EACH OF DWELLING.
3.	SC SYMBOL USED FOR COMBINATION SMOKE DETECTOR/CARBON MONOXIDE DETECTOR.
4.	S/C DETECTORS TO THE 110V, INTERCONNECT WITH BATTERY BACKUP.
5.	LOCATED WITHIN 15 FEET OUTSIDE OF EACH BEDROOM.



REGISTERED ARCHITECT
2399
RALPH TAHRHAN
STATE OF OREGON

TAHARAN ARCHITECTURE & PLANNING LLC
333 S. STATE LAKE OSWEGO, OREGON 97034
T (503) 539 8802 | F (503) 697 1985 | e ralph@tahrhan.comcast.net

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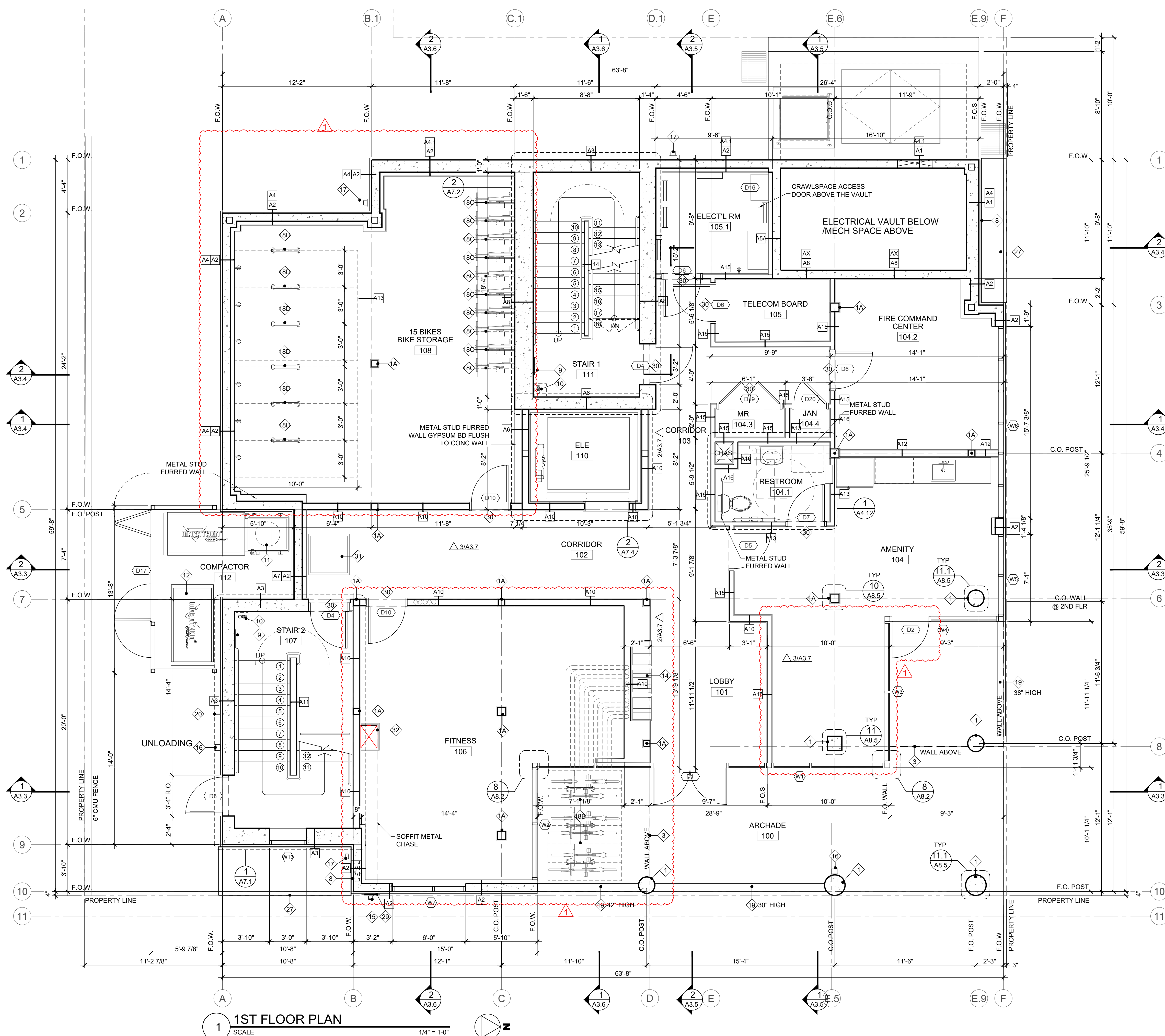
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SHEET CONTENTS
BASEMENT FLOOR PLAN & KEY NOTES

SHEET NUMBER

A2.0

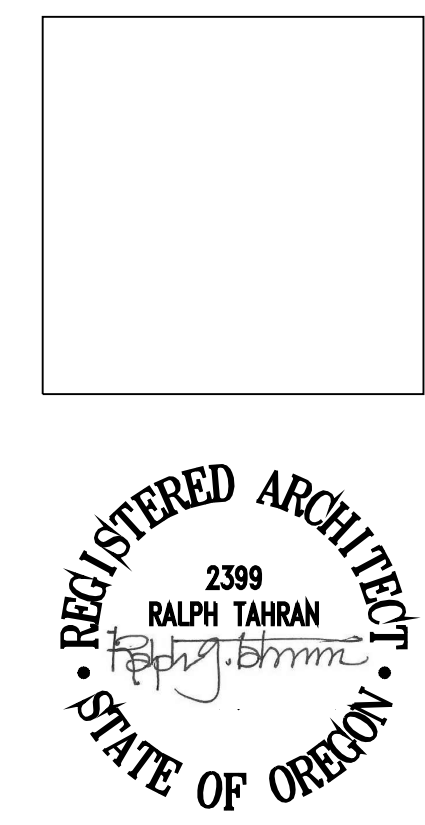


1 1ST FLOOR PLAN
SCALE 1/4" = 1'-0"

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- 1 CONCRETE COLUMN SEE DETAIL 11.11.1/A8.5
 - 1A COLUMN WRAP SEE DETAIL 10/A8.5
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 - 13 TRASH CHUTE
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 - 27 METAL PLANTER SEE L.1
 - 28 SIGN SEE TYPICAL DETAIL 2/A8.9 (CODE SUMMARY SEE A0.2A)
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 - 30 DOOR SIGNAGE
 - 31 36"x36" ACCESS HATCH
 - 32 METAL CHASE

- ### NOTES
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 2. ▷ INDICATES UNIT ENTRY
 3. SEE LANDSCAPE AND CIVIL FOR SITE WORK
 4. SEE SCHEDULE OF WINDOWS A11.1
 5. SEE SCHEDULE OF DOORS A10.1
 6. SEE WALL ASSEMBLY TYPES A0.3, A0.4 SEE FLOOR/CEILING ASSEMBLY TYPES A0.3, A0.4
 7. ENLARGE ARCADE SEE 1/A4.13
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 5. LOCATED WITHIN 15 FEET OUTSIDE OF EACH BEDROOM.



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 T (503) 539 8802 | F (503) 697 1985 | e ralphtahrhan@comcast.net

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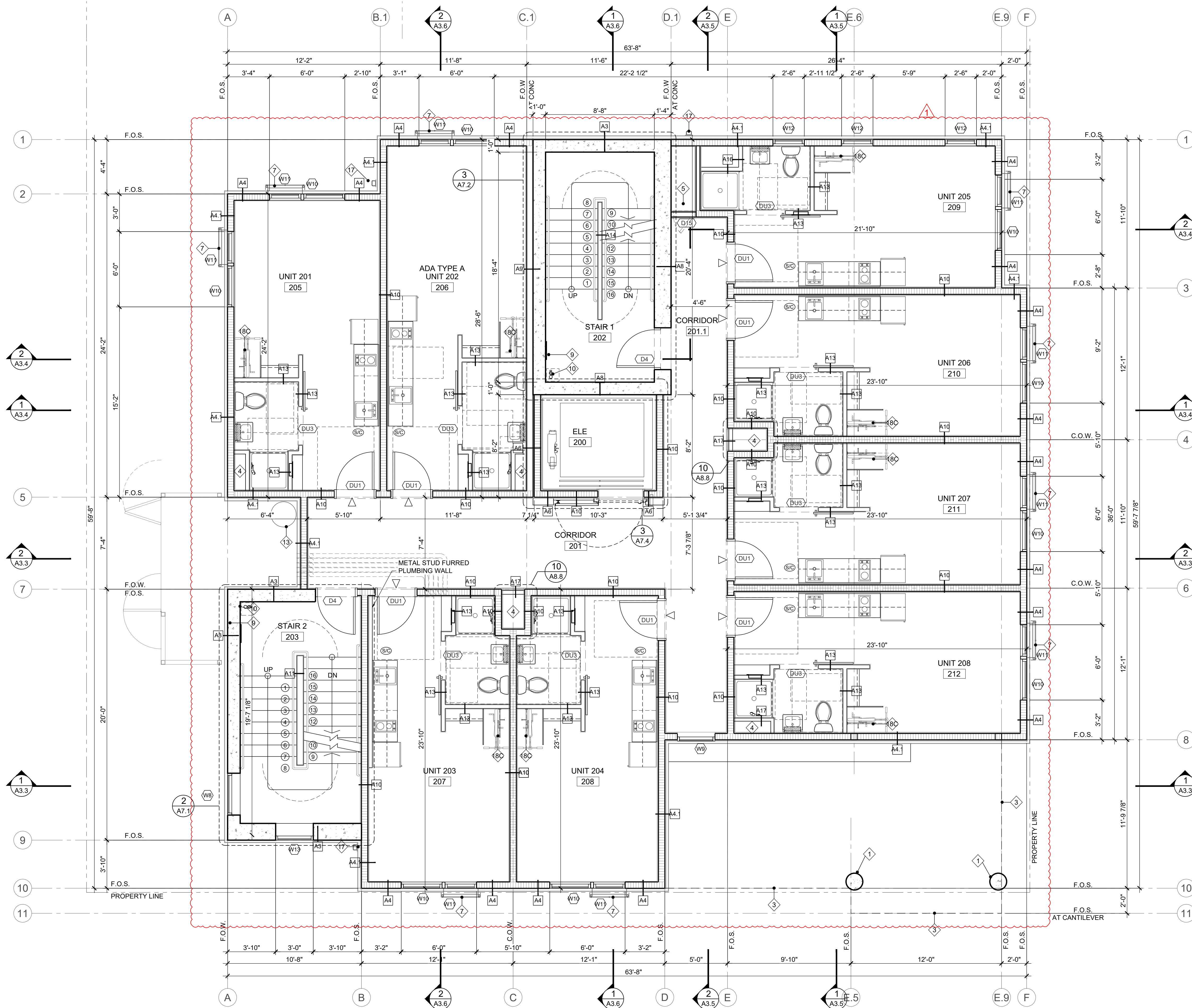
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 DRAWN BY: RGM
 NO DATE ISSUE/REVISION
 05.06.22 OWNER/ARCHITECT REVISION

PROJ NO.
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SHEET CONTENTS
1ST FLOOR PLAN & KEY NOTES

SHEET NUMBER

A2.1

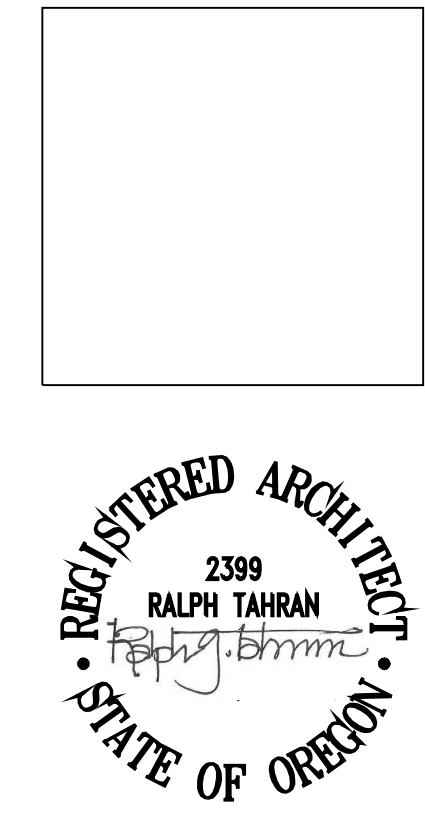


1 SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

- ### KEYNOTES
- 1 CONCRETE COLUMN SEE DETAIL 11.11.1/A8.5
 - 1A COLUMN WRAP SEE DETAIL 10/A8.5
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 - 13 TRASH CHUTE
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 - 18B BIKE RACK (FLOOR MOUNTED) SEE DETAIL A4.13
 - 18C BIKE RACK (WALL MOUNTED) SEE DETAIL A4.13
 - 18D 3'x10' LARGE BICYCLE FLOOR SPACE
 - 19 CONCRETE LOW WALL
 - 20 HOSE BIB
 - 21 WINDOW WELL W/ GUARDRAIL
 - 22 FIXED LADDER
 - 23 WASHER
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 - 25 WATER HEATER
 - 26 ROOF BELOW
 - 27 METAL PLANTER SEE L.1

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 6. SEE WALL ASSEMBLY TYPES A0.3, A0.4 SEE FLOOR/CEILING ASSEMBLY TYPES A0.3, A0.4
 7. ENLARGE ARCADE SEE 1/A4.13
 8. ELECTRICAL FIXTURES AND ELECTRICAL LIGHTING PANEL LOCATION SEE ELECTRICAL DRAWINGS.
 9. MECHANICAL EXHAUST FAN AND LOCATION SEE MECHANICALS DRAWINGS.
 10. ALL OUTLETS AND PENETRATIONS AT UNIT DEMISING, STAIR, ELEVATOR, AND CORRIDOR WALLS SHOULD HAVE PUTTY PADS COVERING THE ENTIRE OUTLET.
 11. ALL PENETRATIONS AT UNIT DEMISING, STAIR, ELEVATOR, AND CORRIDOR WALLS NEED TO BE SEALED WITH CAULK PER WALL ASSEMBLY FIRE RATING.
 12. DO NOT SCALE DRAWINGS. EXTERIOR DIMENSIONS ARE TO GRID LINES, AND OUTSIDE FACE. INTERIOR DIMENSIONS ARE GRID LINES AND FACE OF STUD. OPENINGS ARE DIMENSIONED TO THE CENTER OF THE OPENING, UNO.
 13. CONTRACTOR SHALL VERIFY LOCATIONS AND SIZING OF ALL OPENINGS INCLUDING BUT NOT LIMITED TO HVAC, DOORS AND WINDOWS WITH APPLICABLE SUBCONTRACTORS.
 14. WINDOW LOCATIONS VARIES BY ROOM AND FLOOR LEVEL. SEE ENLARGED PLAN SHEETS, AS WELL AS WINDOW SCHEDULE FOR WINDOW SIZES.
 15. WINDOW SIZES ARE NOMINAL ROUGH OPENING, WIDTH AND HEIGHT.

- ### CARBON MONOXIDE / SMOKE DETECTOR (S/C)
1. CARBON MONOXIDE ALARM SHOULD OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE SLEEPING ROOM.
 2. CARBON MONOXIDE ALARM SHOULD BE PROVIDED ON EACH OF DWELLING.
 3. S/C SYMBOL USED FOR COMBINATION SMOKE DETECTOR/CARBON MONOXIDE DETECTOR.
 4. S/C DETECTORS TO THE 110V, INTERCONNECT WITH BATTERY BACKUP.
 5. LOCATED WITHIN 15 FEET OUTSIDE OF EACH BEDROOM.



SUBMITTED 02-05-21

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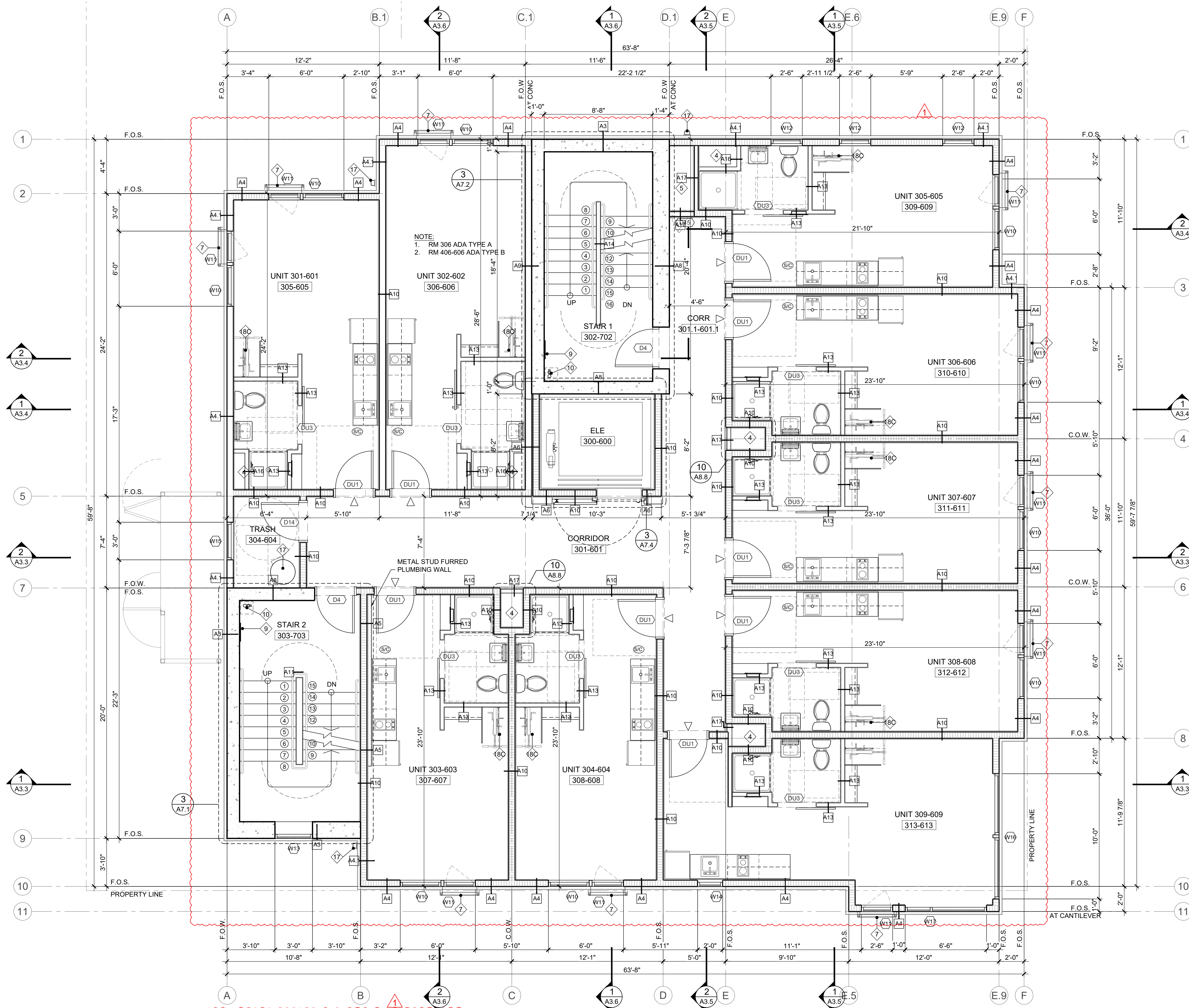
PROJ NO.
2021-012

SHEET CONTENTS

2ND
FLOOR PLAN
& KEY NOTES

SHEET NUMBER

A2.2

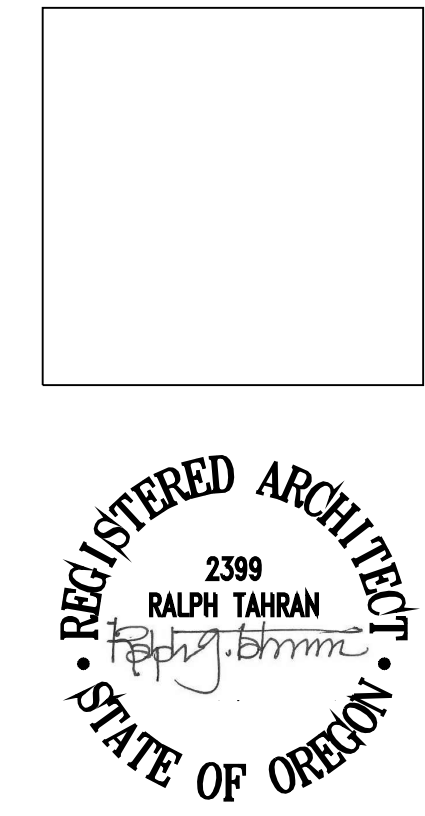


1 TYPICAL 3RD-6TH FLOOR PLAN
SCALE 1/4" = 1'-0"

- ### KEYNOTES
- 1 CONCRETE COLUMN SEE DETAIL 11.11.1/A8.5
 - 1A COLUMN WRAP SEE DETAIL 10/A8.5
 - 2 CONCRETE BEAM
 - 3 FLOOR ABOVE
 - 4 PLUMBING CHASE
 - 5 ERRC CABINET/CHASE
 - 6 FLOOR DRAIN
 - 7 JULIET BALCONY
 - 8 METAL LOUVER (PAINT MATCH ADJACENT SIDING) PER MECHANICAL
 - 9 STAIR IDENTIFICATION SIGN SEE DETAIL 7/A7.3
 - 10 STANDPIPE SEE DETAIL 3/A8.8
 - 11 TRASH COMPACTOR
 - 12 TRASH BIN
 - 13 TRASH CHUTE
 - 14 MAIL BOX SEE DETAIL 2/A3.7
 - 15 FDC CONNECTION
 - 16 KNOXBOX
 - 17 DOWNSPOUT
 - 18A BIKE RACK (STACK) SEE DETAIL A4.13
 - 18B BIKE RACK (FLOOR MOUNTED) SEE DETAIL A4.13
 - 18C BIKE RACK (WALL MOUNTED) SEE DETAIL A4.13
 - 18D 3'x10' LARGE BICYCLE FLOOR SPACE
 - 19 CONCRETE LOW WALL
 - 20 HOSE BIB
 - 21 WINDOW WELL W/ GUARDRAIL
 - 22 FIXED LADDER
 - 23 WASHER
 - 24 DRYER
 - 25 WATER HEATER
 - 26 ROOF BELOW
 - 27 METAL PLANTER SEE L1.1

- ### NOTES
1. DIMENSIONS ARE TO GRID LINE OR FACE OF STUD, UNLESS OTHERWISE NOTED.
 2. ▷ INDICATES UNIT ENTRY
 3. SEE LANDSCAPE AND CIVIL FOR SITE WORK
 4. SEE SCHEDULE OF WINDOWS A11.1
 5. SEE SCHEDULE OF DOORS A10.1
 6. SEE WALL ASSEMBLY TYPES A0.3, A0.4 SEE FLOOR/CEILING ASSEMBLY TYPES A0.3, A0.4
 7. ENLARGE ARCADE SEE 1/A4.13
 8. ELECTRICAL FIXTURES AND ELECTRICAL LIGHTING PANEL LOCATION SEE ELECTRICAL DRAWINGS.
 9. MECHANICAL EXHAUST FAN AND LOCATION SEE MECHANICAL DRAWINGS.
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 5. LOCATED WITHIN 15 FEET OUTSIDE OF EACH BEDROOM.



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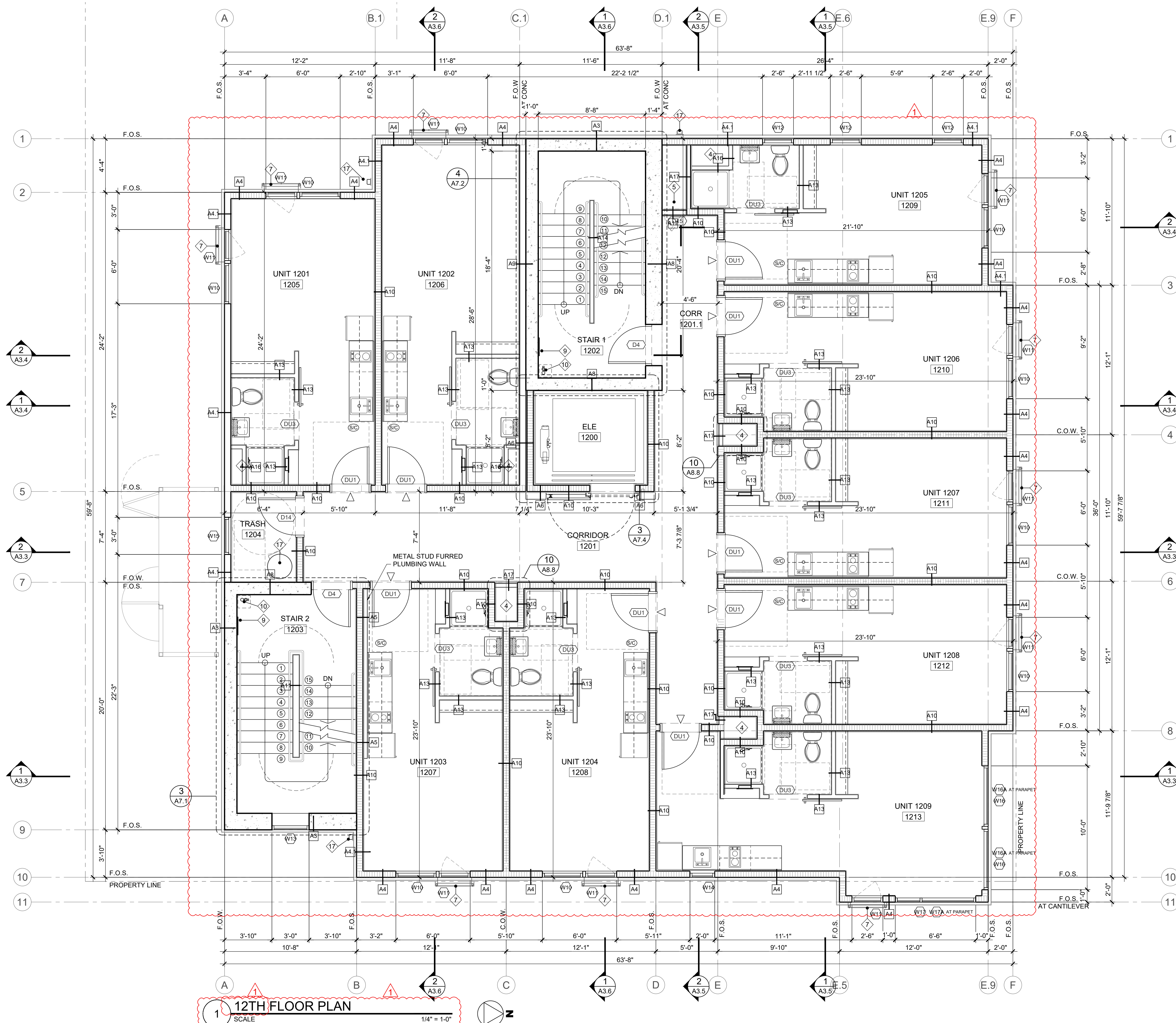
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SHEET CONTENTS
TYPICAL 3RD-6TH FLOOR PLAN & KEY NOTES

SHEET NUMBER

A2.3

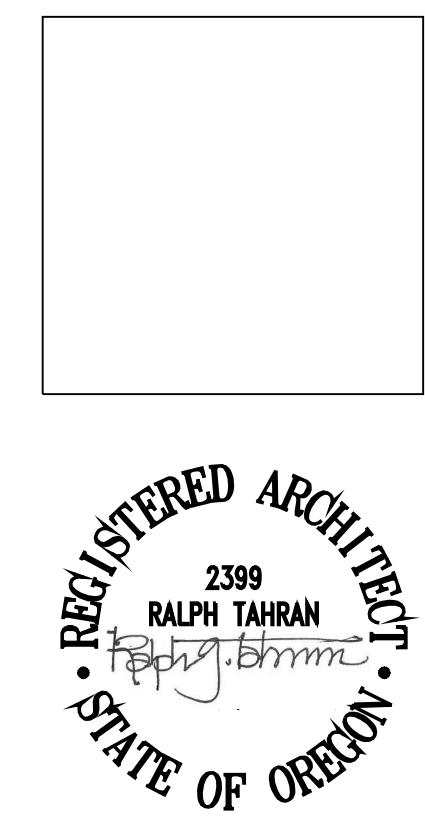


12TH FLOOR PLAN
SCALE 1/4" = 1'-0"

KEYNOTES	
1	CONCRETE COLUMN SEE DETAIL 11.11.1/A8.5
1A	COLUMN WRAP SEE DETAIL 10/A8.5
2	CONCRETE BEAM
3	FLOOR ABOVE
4	PLUMBING CHASE
5	ERRC CABINET/CHASE
6	FLOOR DRAIN
7	JULIET BALCONY
8	METAL LOUVER (PAINT MATCH ADJACENT SIDING) PER MECHANICAL
9	STAIR IDENTIFICATION SIGN SEE DETAIL 7/A7.3
10	STANDPIPE SEE DETAIL 3/A8.8
11	TRASH COMPACTOR
12	TRASH BIN
13	TRASH CHUTE
14	MAIL BOX SEE DETAIL 2/A3.7
15	FDC CONNECTION
16	KNOXBOX
17	DOWNSPOUT
18A	BIKE RACK (STACK) SEE DETAIL A4.13
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18C	BIKE RACK (WALL MOUNTED) SEE DETAIL A4.13
18D	3'X10' LARGE BICYCLE FLOOR SPACE
19	CONCRETE LOW WALL
20	HOSE BIB
21	WINDOW WELL W/ GUARDRAIL
22	FIXED LADDER
23	WASHER
24	DRYER
25	WATER HEATER
26	ROOF BELOW
27	METAL PLANTER SEE L.1.1

NOTES	
1.	DIMENSIONS ARE TO GRID LINE OR FACE OF STUD, UNLESS OTHERWISE NOTED.
2.	▷ INDICATES UNIT ENTRY
3.	SEE LANDSCAPE AND CIVIL FOR SITE WORK
4.	SEE SCHEDULE OF WINDOWS A11.1
5.	SEE SCHEDULE OF DOORS A10.1
6.	SEE WALL ASSEMBLY TYPES A0.3, A0.4 SEE FLOOR/CEILING ASSEMBLY TYPES A0.3, A0.4
7.	ENLARGE ARCADE SEE 1/A4.13
8.	ELECTRICAL FIXTURES AND ELECTRICAL LIGHTING PANEL LOCATION SEE ELECTRICAL DRAWINGS.
9.	MECHANICAL EXHAUST FAN AND LOCATION SEE MECHANICALS DRAWINGS.
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13.	CONTRACTOR SHALL VERIFY LOCATIONS AND SIZING OF ALL OPENINGS INCLUDING BUT NOT LIMITED TO HVAC, DOORS AND WINDOWS WITH APPLICABLE SUBCONTRACTORS.
14.	WINDOW LOCATIONS VARIES BY ROOM AND FLOOR LEVEL. SEE ENLARGED PLAN SHEETS, AS WELL AS WINDOW SCHEDULE FOR WINDOW SIZES.
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CARBON MONOXIDE / SMOKE DETECTOR (S/C)	
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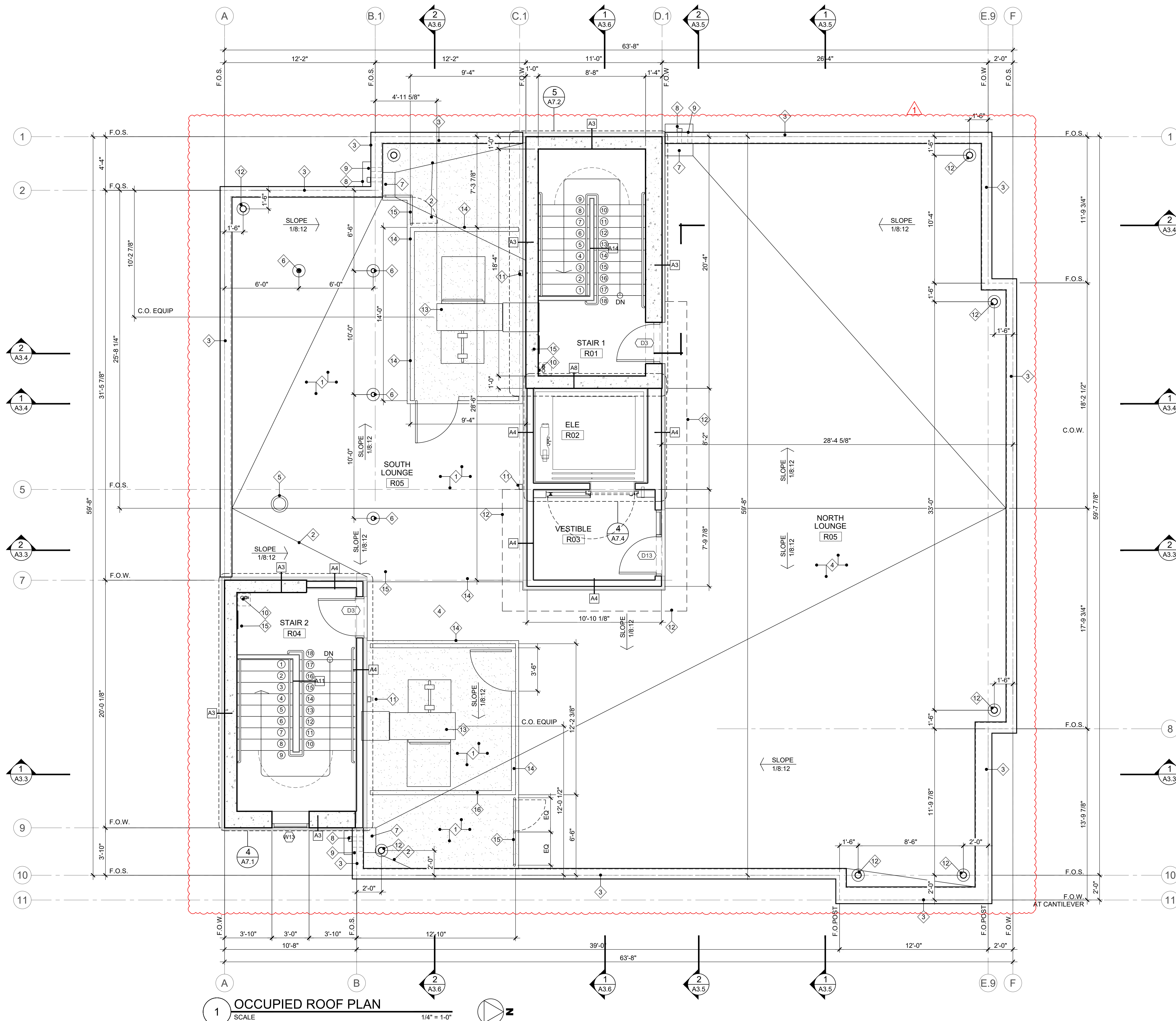
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SHEET CONTENTS
12TH FLOOR PLAN & KEY NOTES
SHEET NUMBER
A2.4

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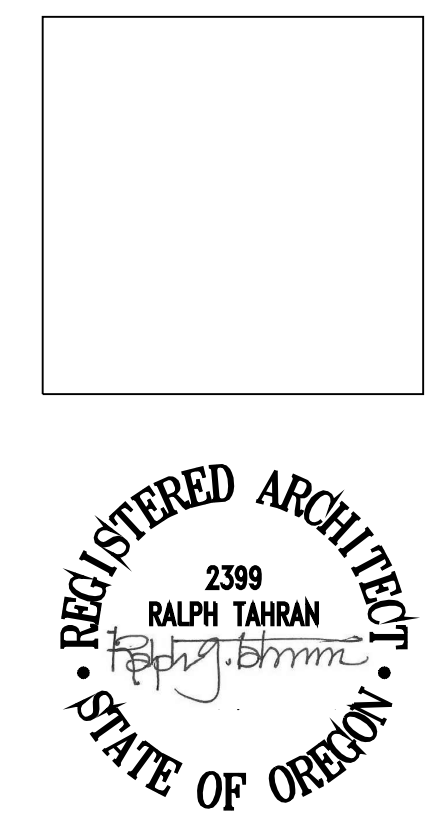
1 OCCUPIED ROOF PLAN
SCALE 1/4" = 1'-0"

KEY NOTES

- 1 TPO ROOFING
- 2 VALLEY DRAIN TOWARDS ROOF DRAIN AND OVERFLOW SCUPPER OPENING
- 3 FACTORY BUILT PARAPET TYPICAL
- 4 TPO WITH RUBBER MATT
- 5 TRASH CHUTE
- 6 FALL PROTECTION SEE DETAIL 1/A8.8
- 7 ROOF DRAIN
- 8 GUTTER/SCUPPER SEE DETAIL 2/A8.7
- 9 OVERFLOW SEE DETAIL 3/A8.7
- 10 STANDPIPE SEE DETAIL 3/A8.8
- 11 DOWNSPOUT
- 12 ROOF DAVITS
- 13 MECH EQUIPMENT SEE MECH PLAN
- 14 MECH SCREEN
- 15 GUARDRAIL/FENCE WITH 36" WIDE GATE

GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF STUD U.N.O.
 2. SEE SHEET C FOR SYMBOLS AND LEGENDS
 3. SEE SHEET A10.1 FOR DOOR SCHEDULES AND DETAILS
 4. SEE SHEET MECHANICAL FOR EQUIPMENT LAYOUT AND INFORMATION
 5. SEE SHEET A0.3 FOR WALL ASSEMBLY TYPE
 6. SEE SHEET A7.1, A7.2 & A7.3 FOR ENLARGE STAIR PLAN/SECTION
- OUTRIGGER BEAM TIEBACK ANCHORS FOR SWING-STAGES MUST BE RATED FOR 4 TIMES THE HOIST MOTOR CAPACITY. MOST SWING STAGE HOIST MOTORS ARE RATED AT 1,000 LBS SO THE ROOF ANCHORS CHOSEN MUST BE RATED FOR 4,000 LBS. 29 CFR 1926.451(D)(1)
- PERSONAL FALL ARREST SYSTEMS SHALL LIMIT THE MAXIMUM ARRESTING FORCE ON A WORKER TO 1,800 POUNDS WHEN USED WITH A BODY HARNESS. 29 CFR 1926.502(D)(16)(ii)
- FALL ARREST ANCHOR POINTS: A NON-CERTIFIED ANCHOR POINT MUST PROVIDE SUFFICIENT STRENGTH TO WITHSTAND 5,000 POUNDS PER ATTACHED WORKER. 29 CFR 1926.502(D)(15) A CERTIFIED ANCHOR MUST BE CAPABLE OF WITHSTANDING TWICE THE POTENTIAL IMPACT ENERGY OF A WORKER FREE FALLING A DISTANCE OF 6 FEET. 29 CFR 1926.502(D)(16)(V) THE CERTIFIED ANCHOR CHOSEN MUST BE RATED FOR AT LEAST 3,600 POUNDS.
- WHEN USING ROOF ANCHORS (INDEPENDENTLY) FOR FALL ARREST AND AS OUTRIGGER BEAM TIEBACKS, A MINIMUM RATING OF 4,000 POUNDS IS REQUIRED.



SUBMITTED 02-05-21

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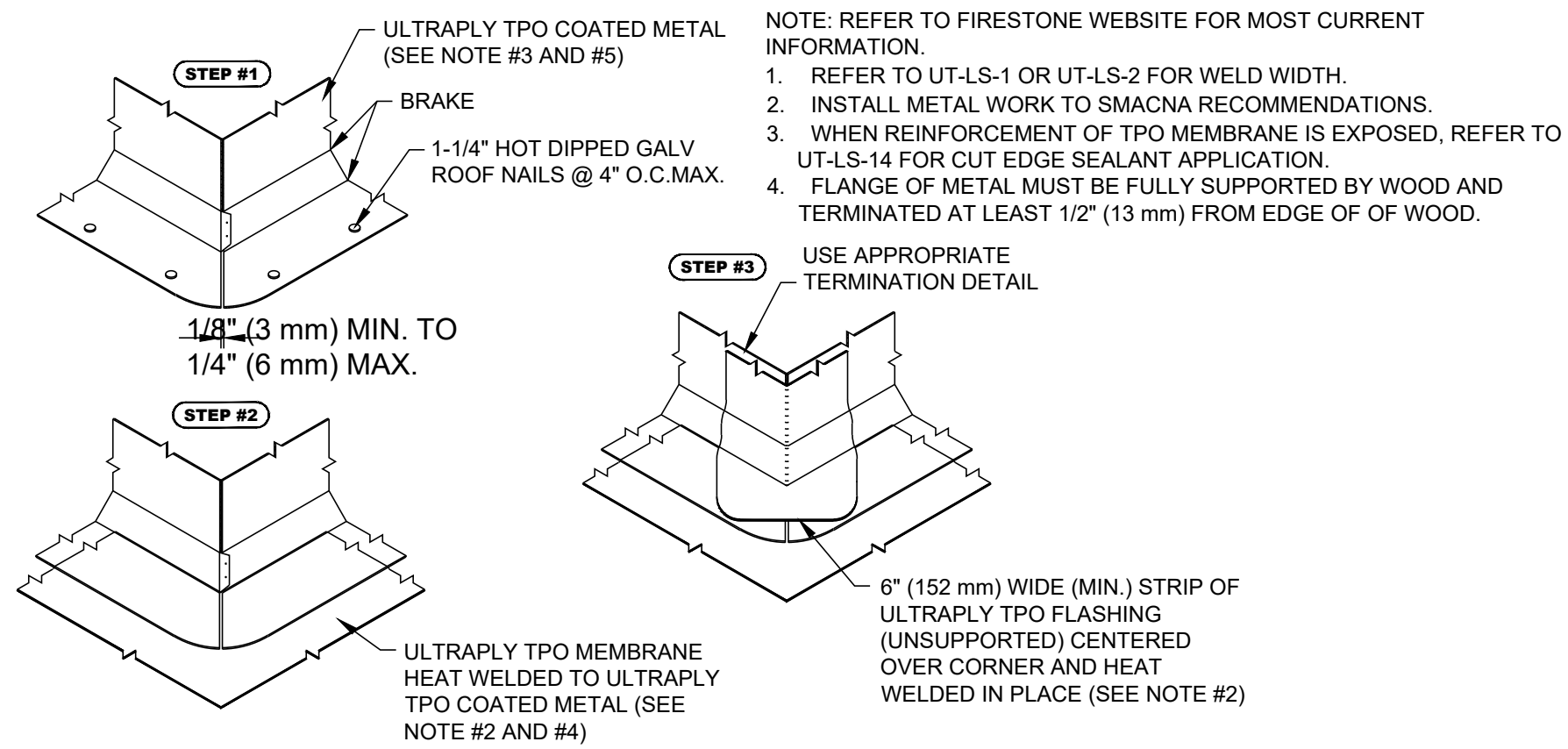
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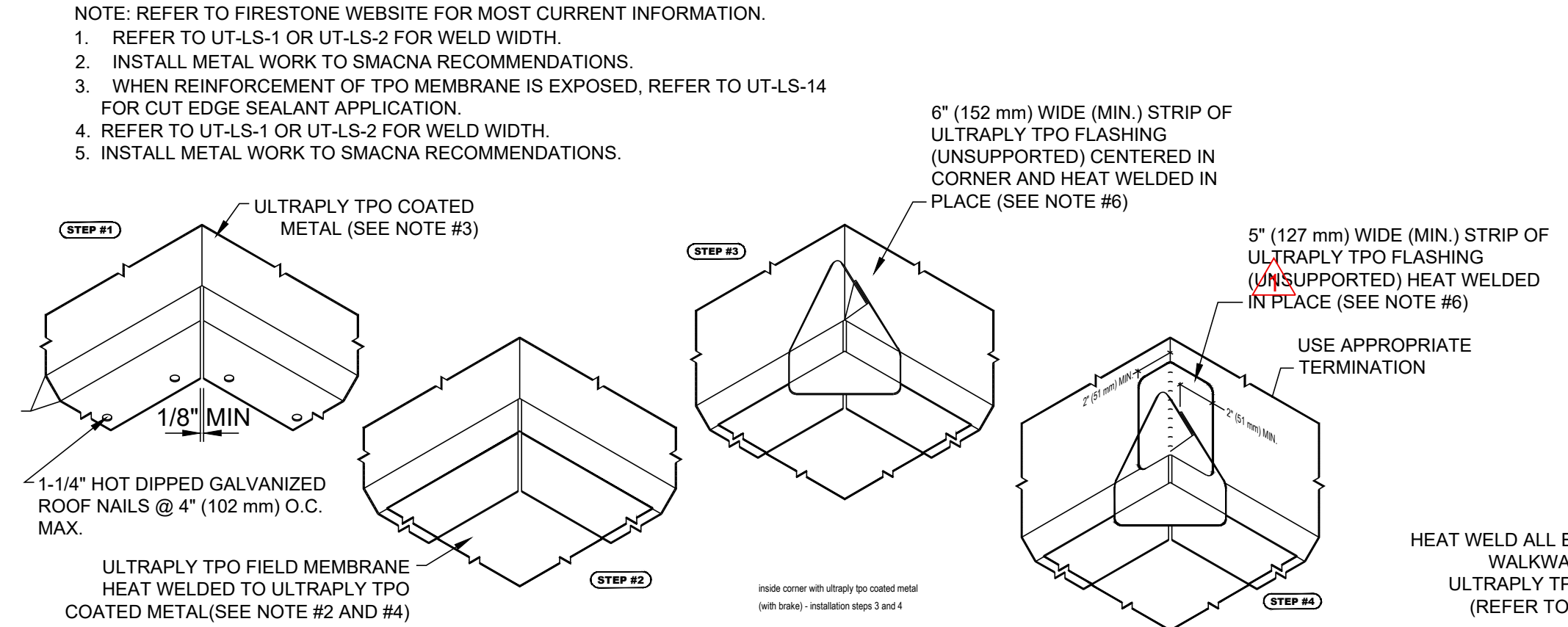
SHEET CONTENTS
OCCUPIED ROOF PLAN & KEYNOTES

SHEET NUMBER

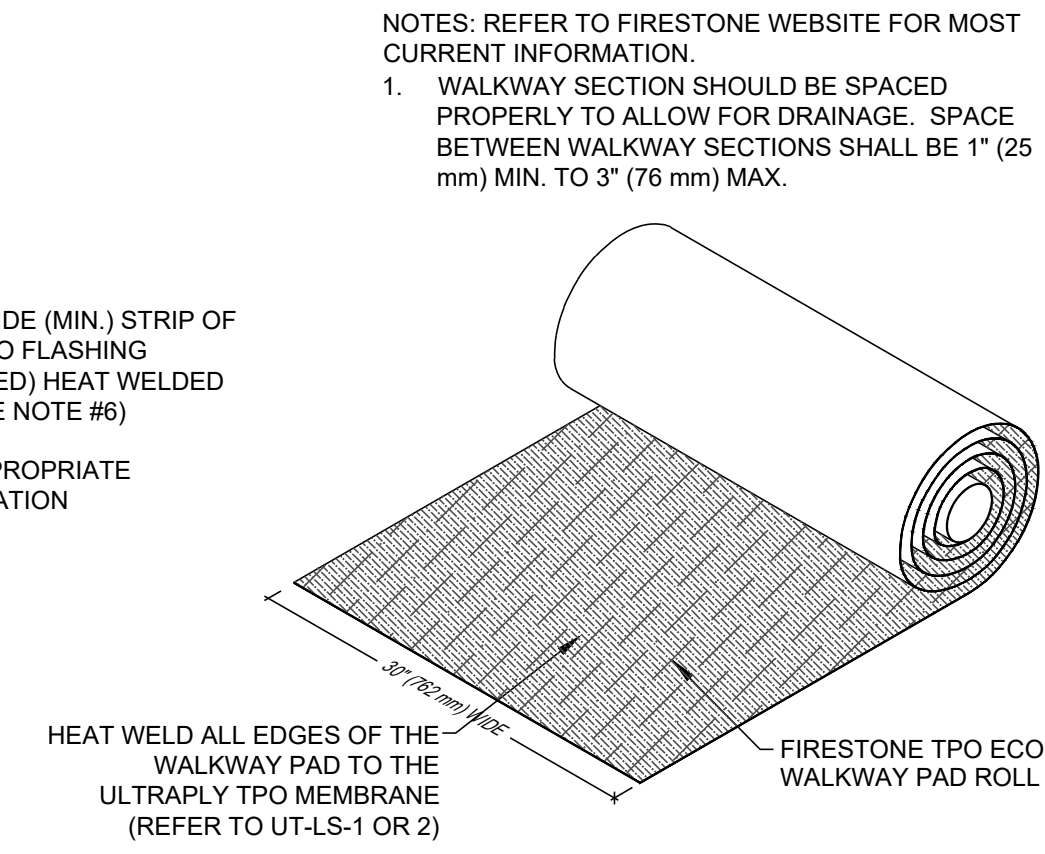
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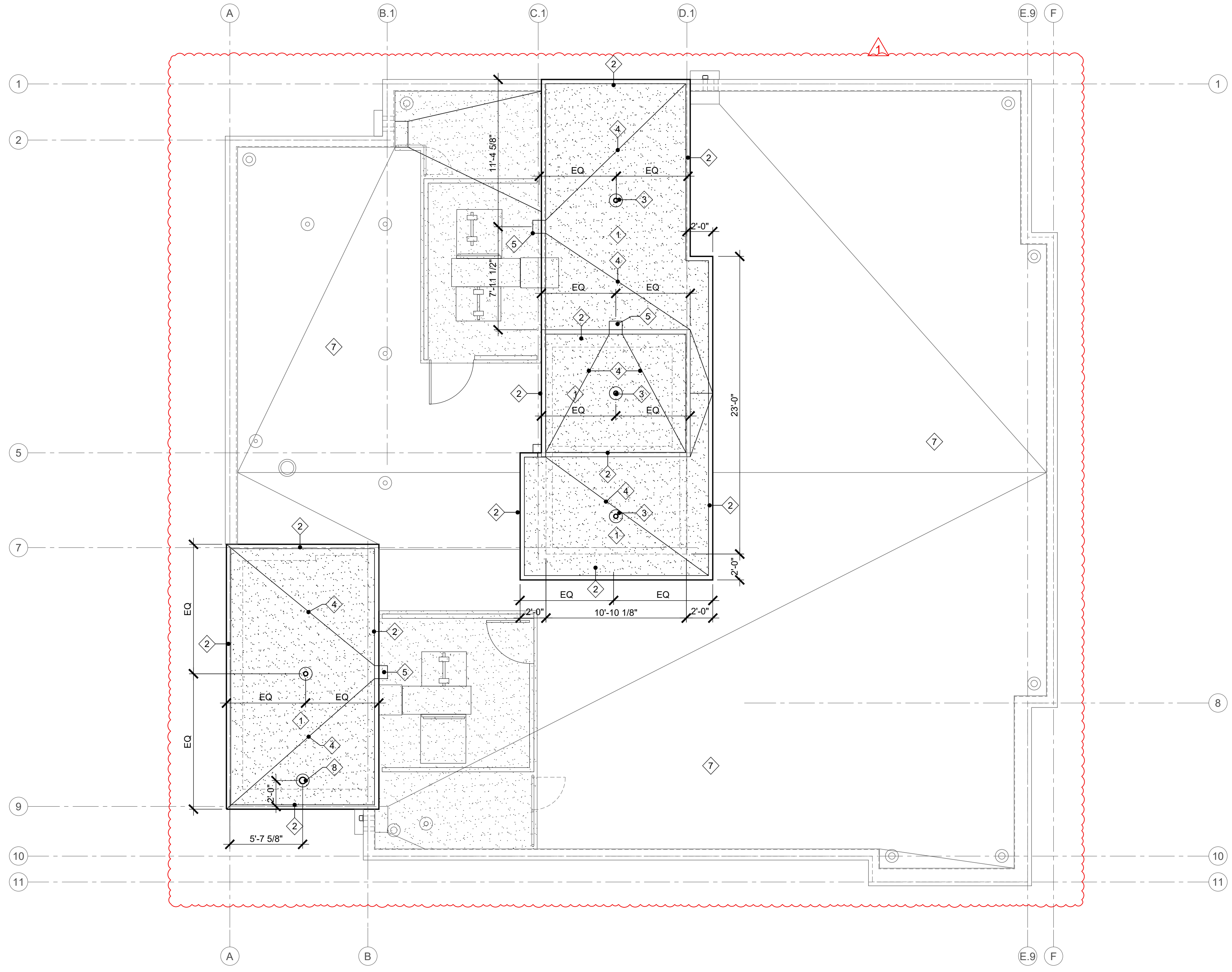
2 TYPICAL OUTSIDE CORNER CANT DETAIL
N.T.S.



3 TYPICAL INSIDE CORNER CANT DETAIL
N.T.S.



4 TYPICAL WALK PAD DETAIL
N.T.S.



1 ROOF PLAN
SCALE 3/16" = 1'-0"

KEY NOTES

- 1 TPO ROOFING
- 2 METAL COPPING SEE DETAIL 5/A8.7
- 3 FALL PROTECTION
- 4 VALLEY DRAIN TOWARDS ROOF DRAIN AND OVERFLOW SCUPPER OPENING
- 5 SCUPPER/GUTTER SEE DETAIL 6, 10/A8.7
- 6 FALL PROTECTION SEE DETAIL 1/A8.8
- 7 ROOF BELOW
- 8 ROOF DAVIT



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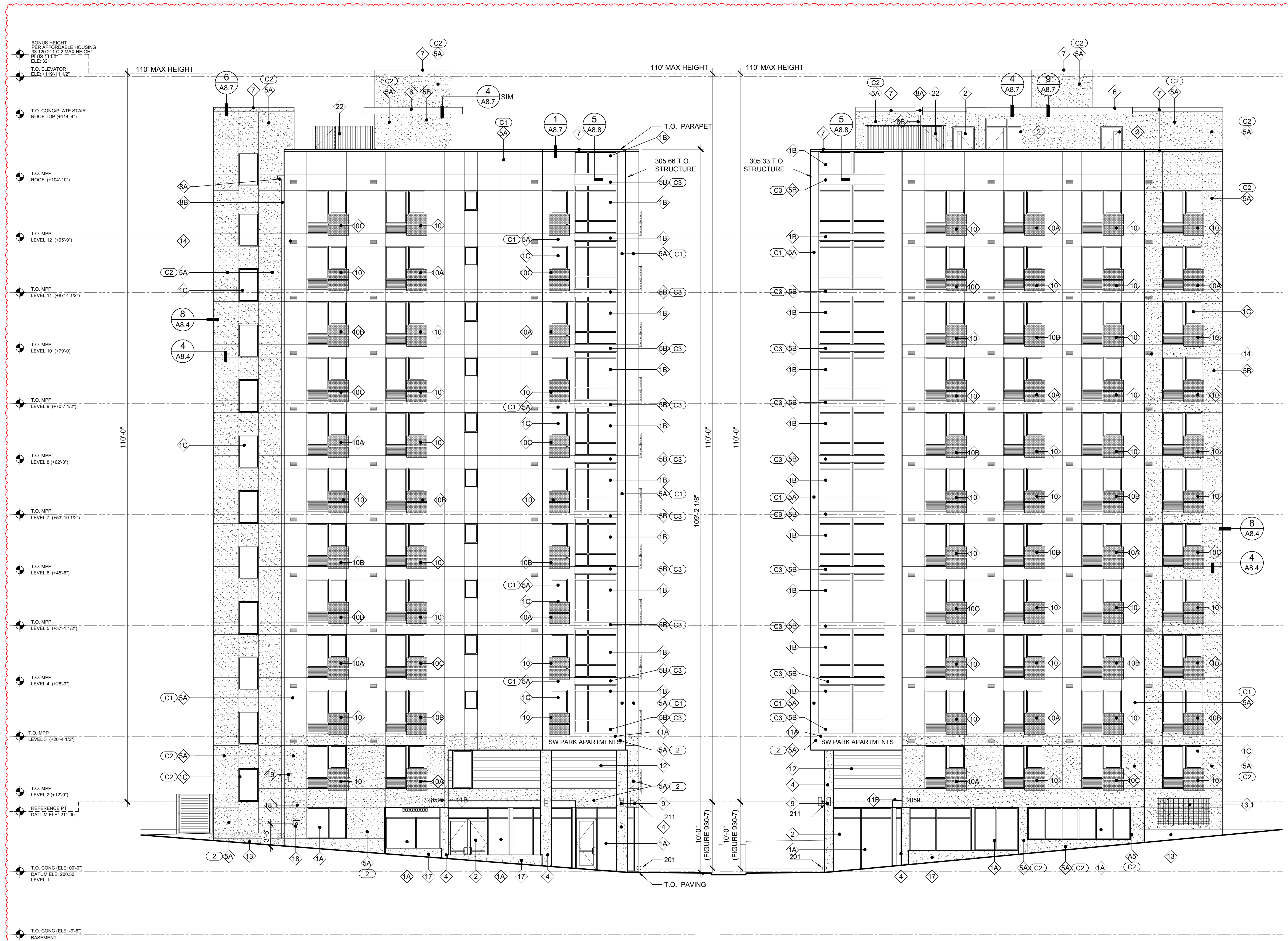
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SHEET CONTENTS
ROOF PLAN
& KEY NOTES

SHEET NUMBER
A2.6



1 EAST ELEVATION
SCALE 1/8" = 1'-0"

33.930.050 MEASURING HEIGHT
A.1.a.(1) (2)
210 - HIGHEST GRADE
199.5 - LOWEST GRADE
10.5 - USE FIGURE 930-7
200+10 = 210 REFERENCE POINT

2 NORTH ELEVATION
SCALE 1/8" = 1'-0"

GENERAL NOTES

1. ALL KEYNOTES APPLY TO ELEVATIONS / SECTIONS
2. SEE SHEET A9.1 - WINDOW SCHEDULE
3. SEE SHEET A10.1 - DOOR SCHEDULE
4. SEE SHEET A12.1-A12.3 - WALL PENETRATION DETAILS
5. SEE SHEET A0.3-A0.4 - WALL ASSEMBLY
6. SEE SHEET A0.4 - FLOOR, CEILING, ROOF ASSEMBLY

KEY NOTES

- 1A WINDOW TYPE 1 (BLACK FRAME) SEE SCHEDULE
- 1B WINDOW TYPE 2 (BLACK FRAME) SEE SCHEDULE
- 1C WINDOW TYPE 3 (BLACK FRAME) SEE SCHEDULE
- 2 DOOR PER SCHEDULE
- 3 CONCRETE LOW WALL
- 4 CONCRETE POST
- 5A STUCCO TYPE 1
- 5B STUCCO TYPE 2
- 6 PRE-FINISH METAL FASCIA BOARD (PAINT MATCH ADJACENT SIDING)
- 7 PRE-FINISH METAL FLASHING (PARAPET CAP)
- 8A SCUPPER/GUTTER (PAINT MATCH ADJACENT SIDING)
- 8B DOWNSPOUT (PAINT MATCH ADJACENT SIDING)
- 8C OVERFLOW (PAINT MATCH ADJACENT SIDING)
- 9 EXTERIOR LIGHTING
- 10 SIDING PANEL TYPE 1 COLOR SW 7072
- 10A SIDING PANEL TYPE 2 COLOR SW 7747
- 10B SIDING PANEL TYPE 3 COLOR SW 7613
- 10C SIDING PANEL TYPE 4 COLOR SW 0071
- 11A BUILDING SIGNAGE
- 11B BUILDING ADDRESS
- 12 LAMINATED WOOD PANEL
- 13 METAL PLANTER
- 13A 4'X8' GREEN WALL
- 14 VENT (PAINT MATCH ADJACENT SIDING)
- 15 METAL LOUVER (PAINT MATCH ADJACENT SIDING)
- 16 HANDRAIL SEE DETAIL 4/A1.2
- 17 CONCRETE WALL FORM BOARD FINISH
- 18 FDC CONNECTION
- 18A FDC SIGNAGE
- 19 HOSE BIB
- 20 42" HIGH GUARDRAIL
- 21 42" HIGH WINDOW WELL GUARDRAIL
- 22 7' HIGH EQUIPMENT METAL PANEL SCREEN
- 23 4" DIA PVC PERF PIPE IN FREE DRAINING SAND AND GRAVEL ON 1" - 1 1/4" DRAINAGE ROCK WRAP PIPE MIRAFI-140N FILTER FABRIC

COLORS

- C1 STUCCO - STO 16003-85 SHERWIN WILLIAMS RGB: 232,231,223
- C2 STUCCO - STO MEDIUM GRAY SHERWIN WILLIAMS RGB: 196,196,193
- C3 DARK - CHARCOAL BLACK COLOR MATCH WINDOW FRAME

GLAZING AREA CALCULATION

EAST ELEVATION

WALL AREA	7,010.00 SF
REQUIRED GLAZING 15%	1,051.50 SF
PROVIDED	1,663.00 SF
PERCENTAGE	23.72%

NORTH ELEVATION

WALL AREA	6,588.00 SF
REQUIRED GLAZING 15%	988.20 SF
PROVIDED	2,048.00 SF
PERCENTAGE	31.09%



REGISTERED ARCHITECT
 2399
 RALPH TAHRAN
 STATE OF OREGON
 SUBMITTED 02-05-21
 TAHRAN ARCHITECTURE & PLANNING LLC
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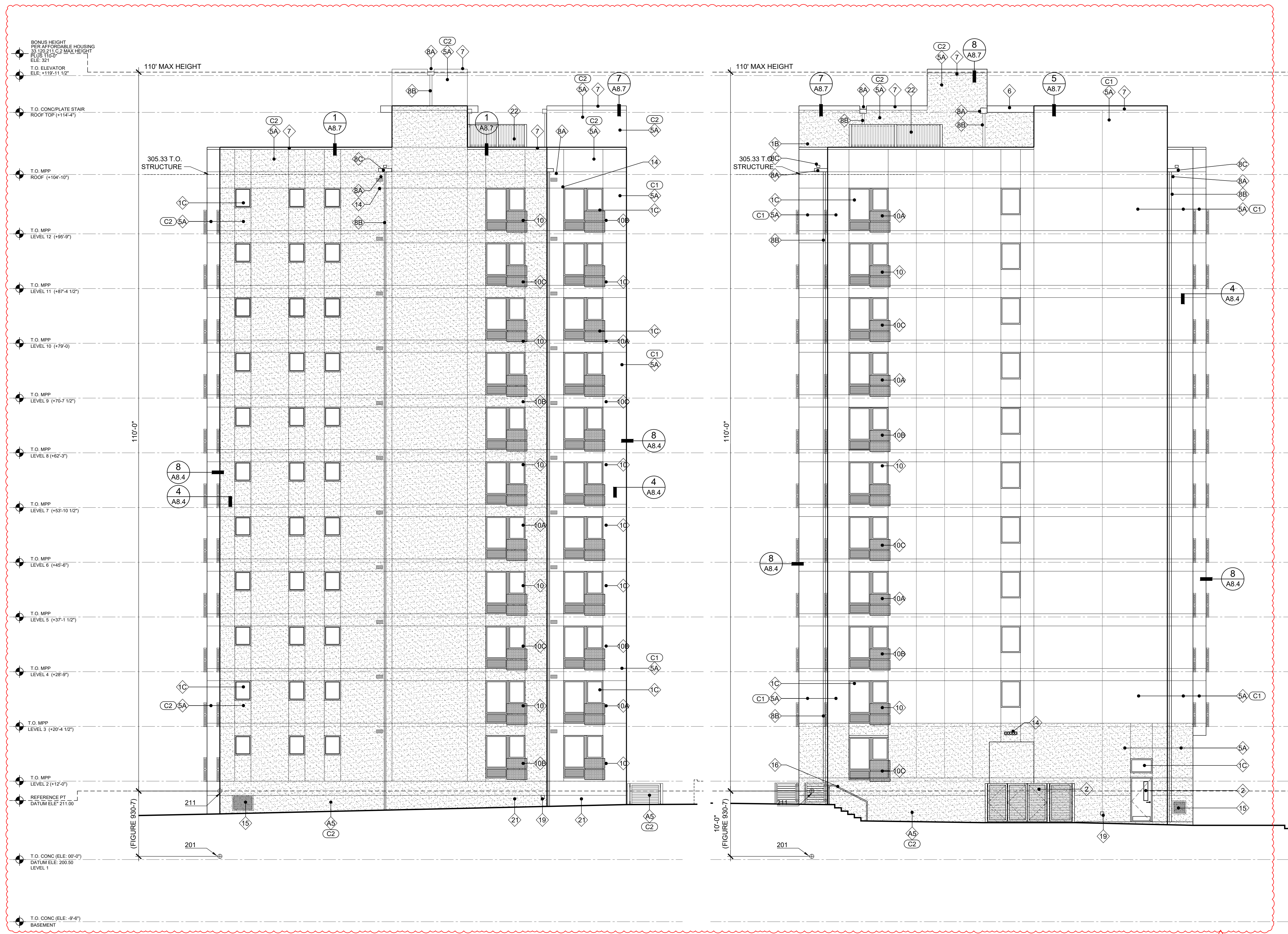
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SHEET CONTENTS
BUILDING ELEVATIONS & KEY NOTES

SHEET NUMBER

A3.1



1 WEST ELEVATION
SCALE 1/8" = 1'-0"

2 SOUTH ELEVATION
SCALE 1/8" = 1'-0"

GENERAL NOTES

1. ALL KEYNOTES APPLY TO ELEVATIONS / SECTIONS
2. SEE SHEET A9.1 - WINDOW SCHEDULE
3. SEE SHEET A10.1 - DOOR SCHEDULE
4. SEE SHEET A12.1-A12.3 - WALL PENETRATION DETAILS
5. SEE SHEET A0.3-A0.4 - WALL ASSEMBLY
6. SEE SHEET A0.4 - FLOOR, CEILING, ROOF ASSEMBLY

KEY NOTES

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- 1C WINDOW TYPE 3 (BLACK FRAME) SEE SCHEDULE
- 2 DOOR PER SCHEDULE
- 3 CONCRETE LOW WALL
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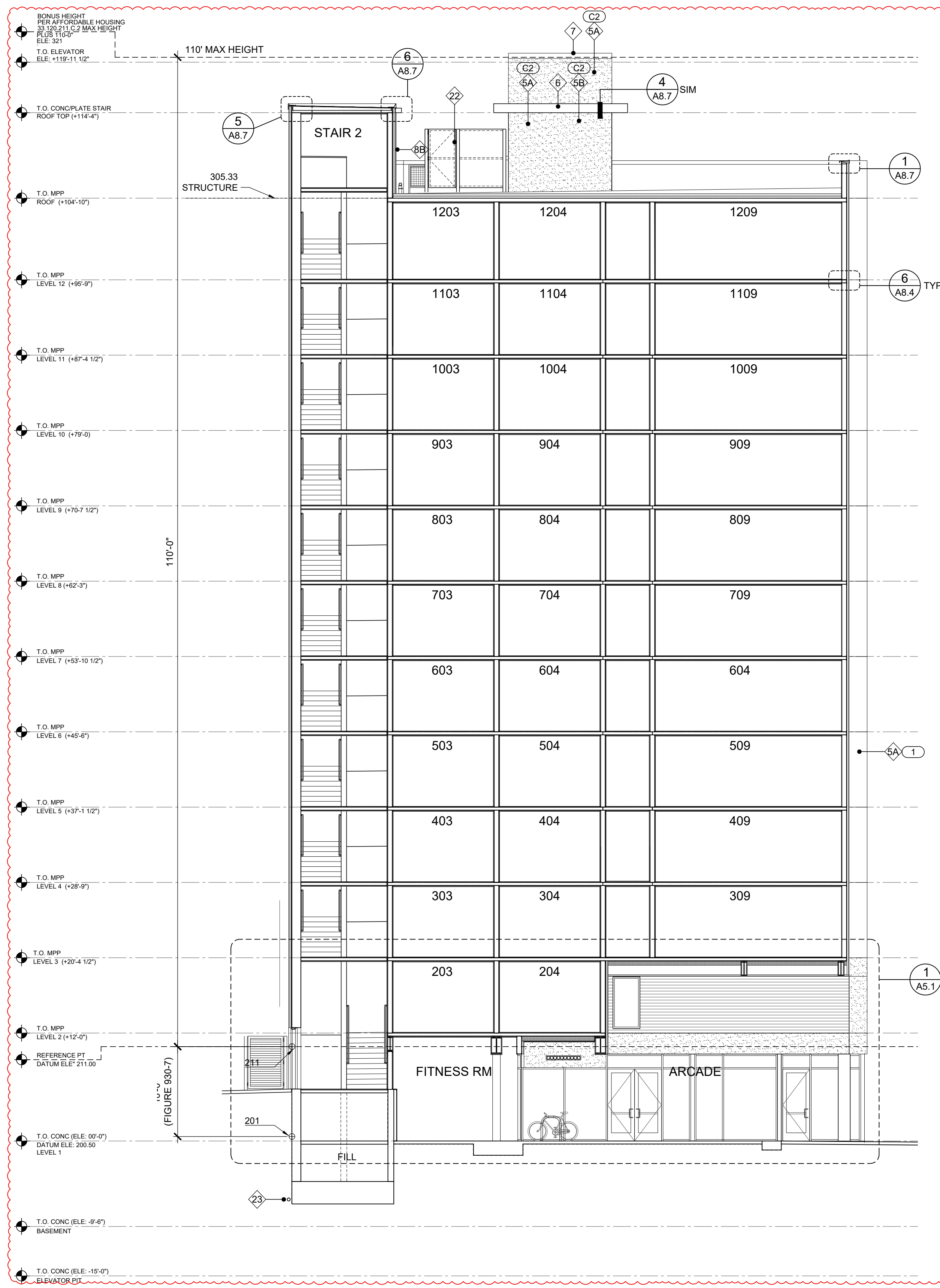
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	05.06.22	OWNER/ARCHITECT REVISION

PROJ NO.
2021-012

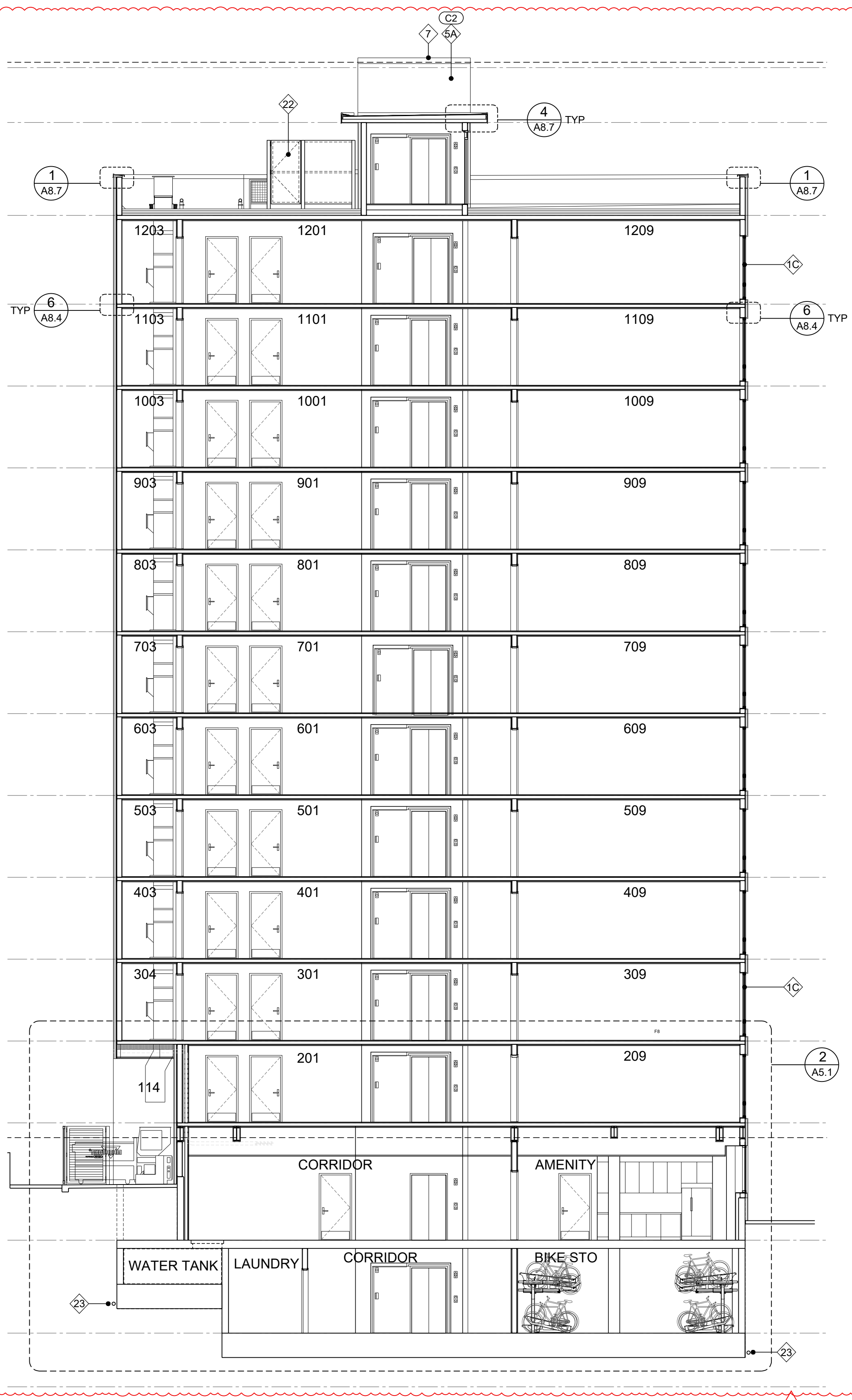
SHEET CONTENTS
 BUILDING
 ELEVATIONS &
 KEY NOTES

SHEET NUMBER

A3.2



1 BUILDING SECTION
SCALE 1/8" = 1'-0"



2 BUILDING SECTION
SCALE 1/8" = 1'-0"

GENERAL NOTES

1. ALL KEYNOTES APPLY TO ELEVATIONS / SECTIONS
2. SEE SHEET A9.1 - WINDOW SCHEDULE
3. SEE SHEET A10.1 - DOOR SCHEDULE
4. SEE SHEET A12.1-A12.3 - WALL PENETRATION DETAILS
5. SEE SHEET A0.3-A0.4 - WALL ASSEMBLY
6. SEE SHEET A0.4 - FLOOR, CEILING, ROOF ASSEMBLY

KEY NOTES

- 1A WINDOW TYPE 1 (BLACK FRAME) SEE SCHEDULE
- 1B WINDOW TYPE 2 (BLACK FRAME) SEE SCHEDULE
- 1C WINDOW TYPE 3 (BLACK FRAME) SEE SCHEDULE
- 2 DOOR PER SCHEDULE
- 3 CONCRETE LOW WALL
- 4 CONCRETE POST
- 5A STUCCO TYPE 1
- 5B STUCCO TYPE 2
- 6 PRE-FINISH METAL FASCIA BOARD (PAINT MATCH ADJACENT SIDING)
- 7 PRE-FINISH METAL FLASHING (PARAPET CAP)
- 8A SCUPPER/GUTTER (PAINT MATCH ADJACENT SIDING)
- 8B DOWNSPOUT (PAINT MATCH ADJACENT SIDING)
- 8C OVERFLOW (PAINT MATCH ADJACENT SIDING)
- 9 EXTERIOR LIGHTING
- 10 SIDING PANEL TYPE 1 COLOR SW 7072
- 10A SIDING PANEL TYPE 2 COLOR SW 7747
- 10B SIDING PANEL TYPE 3 COLOR SW 7613
- 10C SIDING PANEL TYPE 4 COLOR SW 0071
- 11A BUILDING SIGNAGE
- 11B BUILDING ADDRESS
- 12 LAMINATED WOOD PANEL
- 13 METAL PLANTER
- 14 4'X8' GREEN WALL
- 14 VENT (PAINT MATCH ADJACENT SIDING)
- 15 METAL LOUVER (PAINT MATCH ADJACENT SIDING)
- 16 HANDRAIL SEE DETAIL 4/A1.2
- 17 CONCRETE WALL FORM BOARD FINISH
- 18 FDC CONNECTION
- 18 FDC SIGNAGE
- 19 HOSE BIB
- 20 42" HIGH GUARDRAIL
- 21 42" HIGH WINDOW WELL GUARDRAIL
- 22 7" HIGH EQUIPMENT METAL PANEL SCREEN
- 23 4" DIA PVC PERF PIPE IN FREE DRAINING SAND AND GRAVEL ON 1" 1/4" DRAINAGE ROCK WRAP PIPE MIRAFI-140N FILTER FABRIC

COLORS

- C1 STUCCO - STO 16003-85 SHERWIN WILLIAMS RGB: 232,231,223
- C2 STUCCO - STO MEDIUM GRAY SHERWIN WILLIAMS RGB: 196,196,193
- C3 DARK - CHARCOAL BLACK COLOR MATCH WINDOW FRAME



REGISTERED ARCHITECT
 2399
 RALPH TAHRAN
 STATE OF OREGON
 SUBMITTED 02-05-21
 TAHRAN ARCHITECTURE & PLANNING LLC
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SW PARK APARTMENTS
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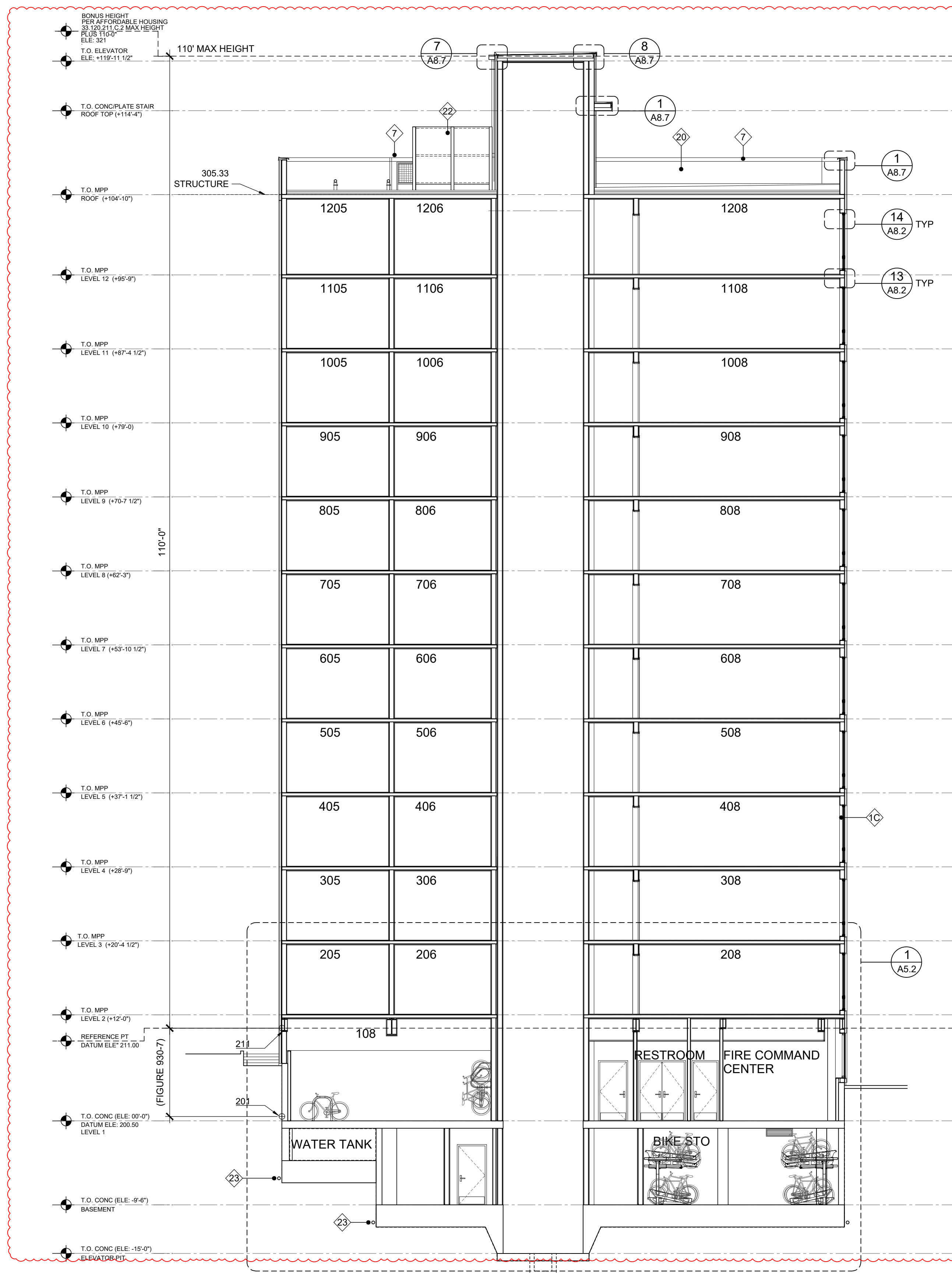
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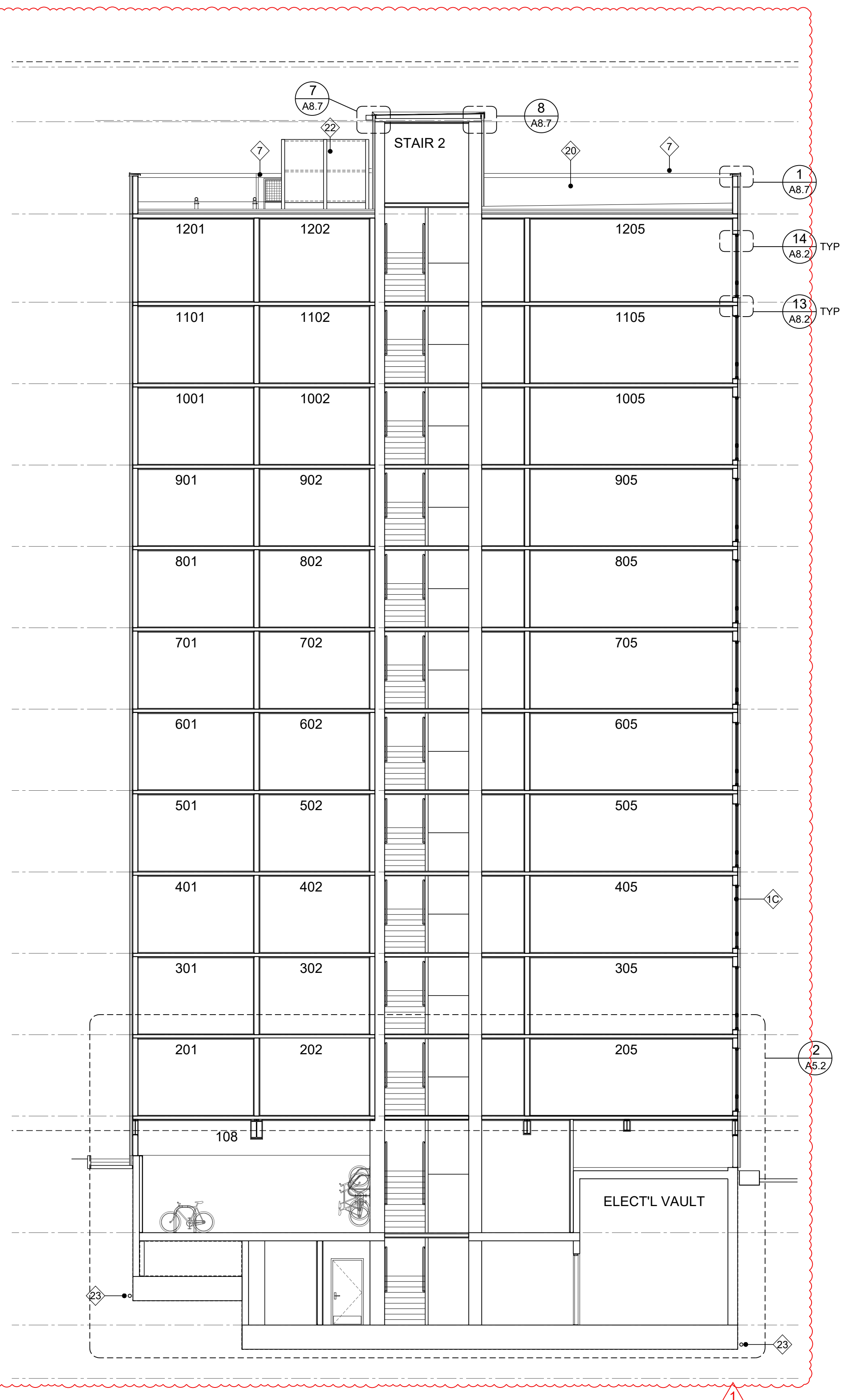
SHEET CONTENTS
 BUILDING SECTION & KEY NOTES

SHEET NUMBER

A3.3



1 BUILDING SECTION
SCALE 1/8" = 1'-0"



2 BUILDING SECTION
SCALE 1/8" = 1'-0"

GENERAL NOTES

1. ALL KEYNOTES APPLY TO ELEVATIONS / SECTIONS
2. SEE SHEET A9.1 - WINDOW SCHEDULE
3. SEE SHEET A10.1 - DOOR SCHEDULE
4. SEE SHEET A12.1-A12.3 - WALL PENETRATION DETAILS
5. SEE SHEET A0.3-A0.4 - WALL ASSEMBLY
6. SEE SHEET A0.4 - FLOOR, CEILING, ROOF ASSEMBLY

KEY NOTES

- 1A WINDOW TYPE 1 (BLACK FRAME) SEE SCHEDULE
- 1B WINDOW TYPE 2 (BLACK FRAME) SEE SCHEDULE
- 1C WINDOW TYPE 3 (BLACK FRAME) SEE SCHEDULE
- 2 DOOR PER SCHEDULE
- 3 CONCRETE LOW WALL
- 4 CONCRETE POST
- 5A STUCCO TYPE 1
- 5B STUCCO TYPE 2
- 6 PRE-FINISH METAL FASCIA BOARD (PAINT MATCH ADJACENT SIDING)
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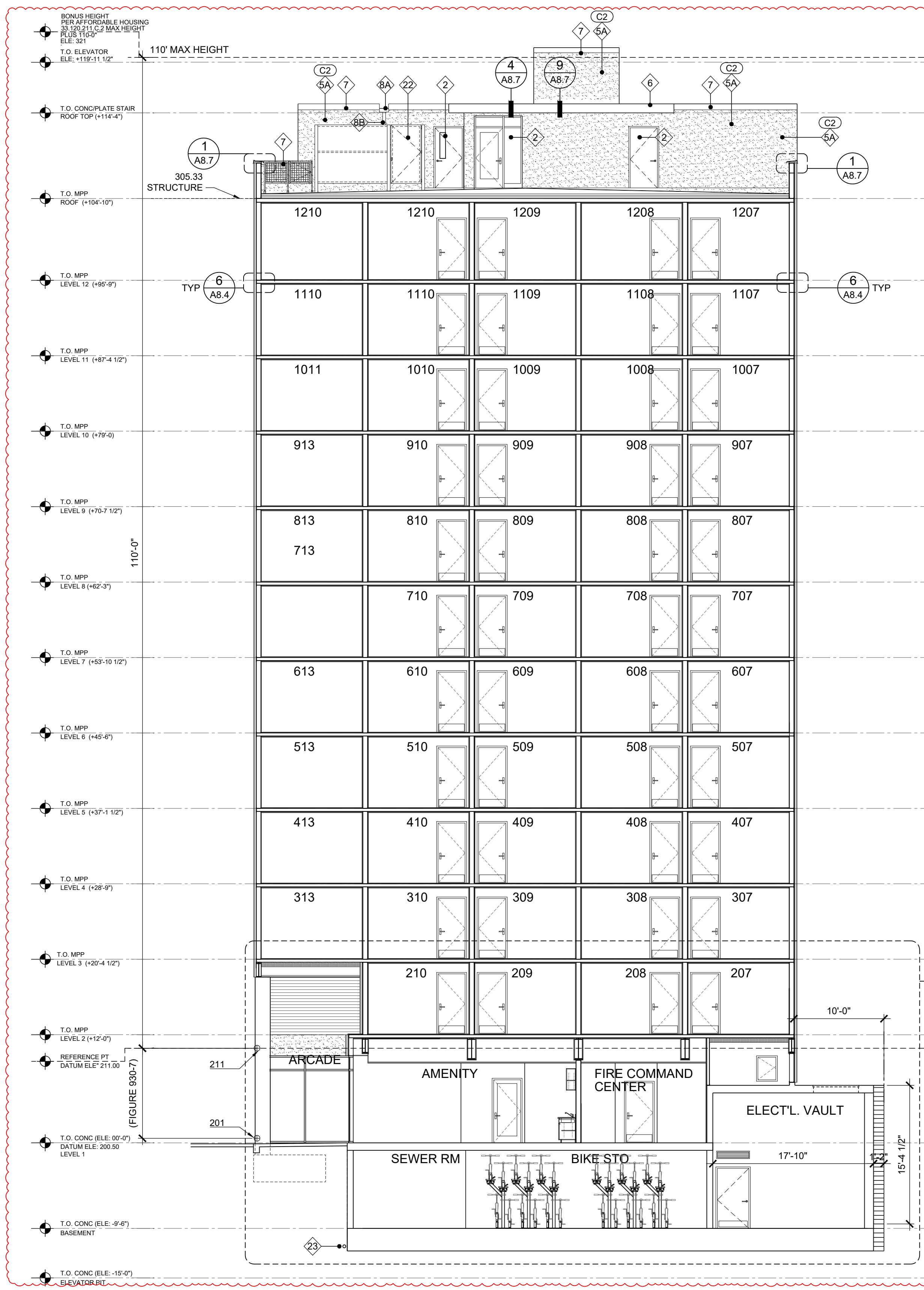
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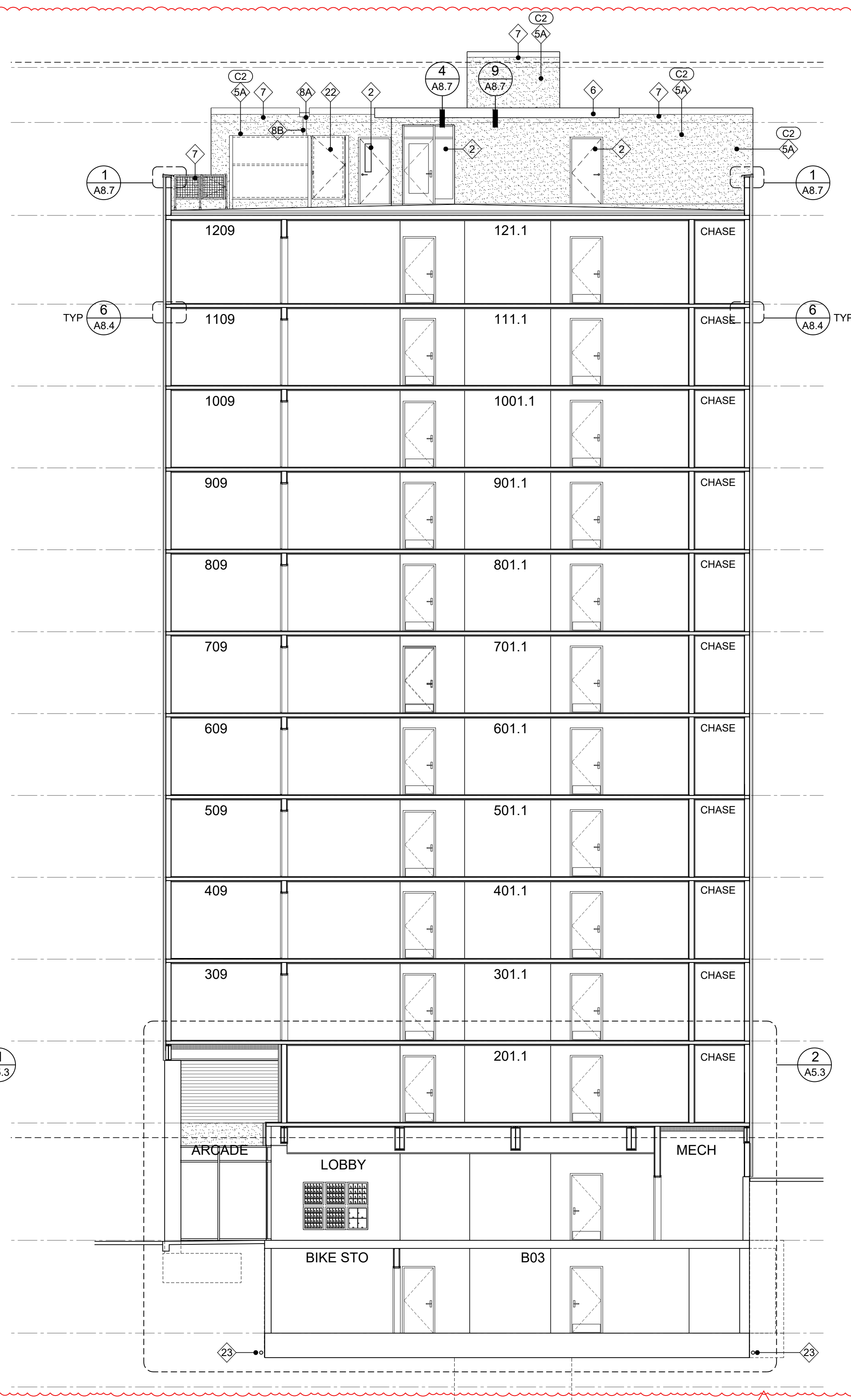
SHEET CONTENTS
BUILDING SECTION & KEY NOTES

SHEET NUMBER

A3.4



1 BUILDING SECTION
SCALE 1/8" = 1'-0"



2 BUILDING SECTION
SCALE 1/8" = 1'-0"

GENERAL NOTES

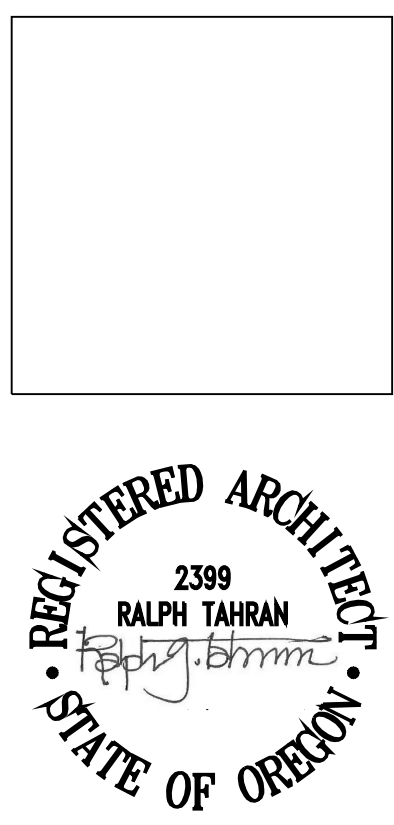
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- SEE SHEET A10.1 - DOOR SCHEDULE
- SEE SHEET A12.1-A12.3 - WALL PENETRATION DETAILS
- SEE SHEET A0.3-A0.4 - WALL ASSEMBLY
- SEE SHEET A0.4 - FLOOR, CEILING, ROOF ASSEMBLY

KEY NOTES

- 1 WINDOW TYPE 1 (BLACK FRAME) SEE SCHEDULE
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COLORS

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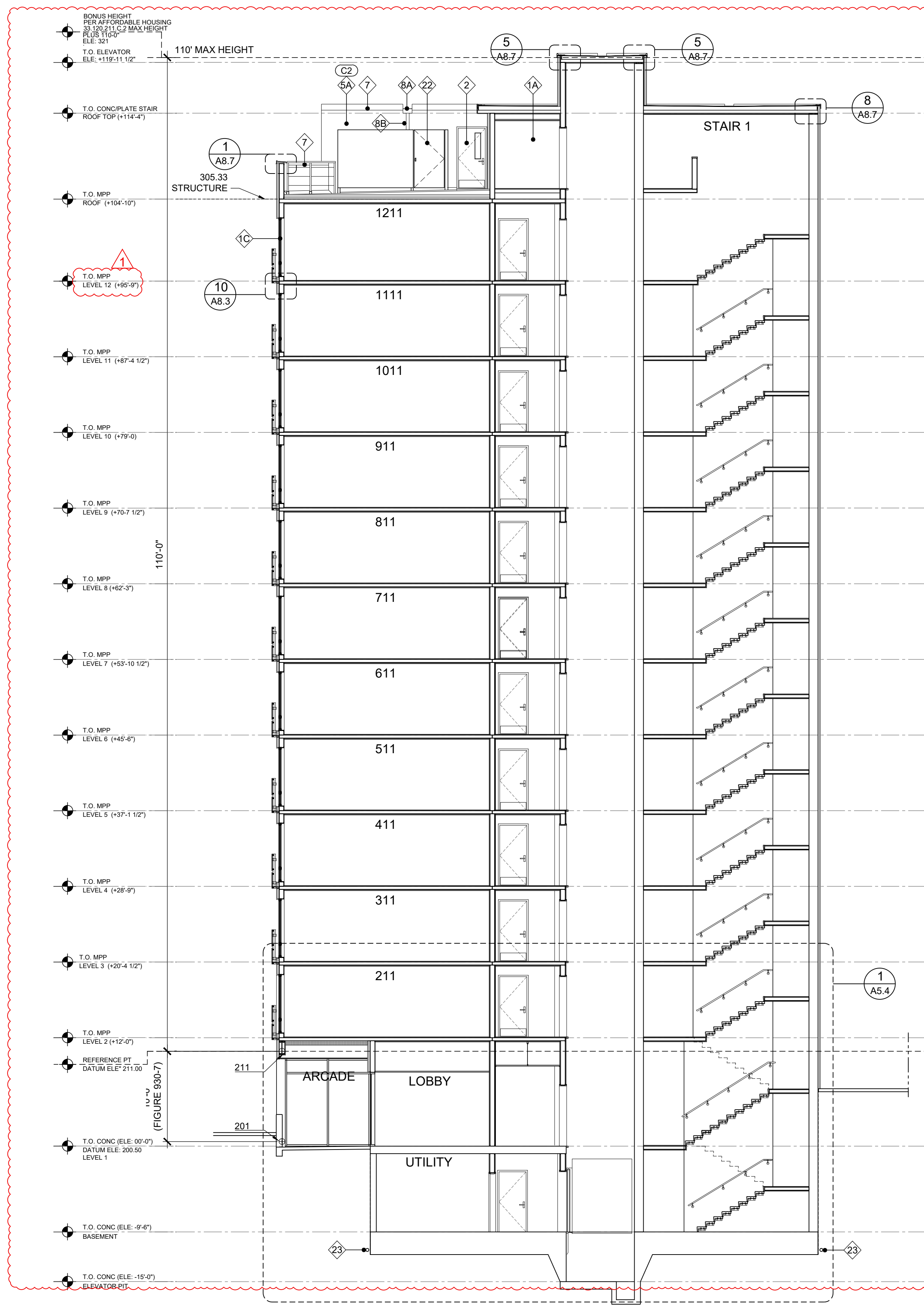
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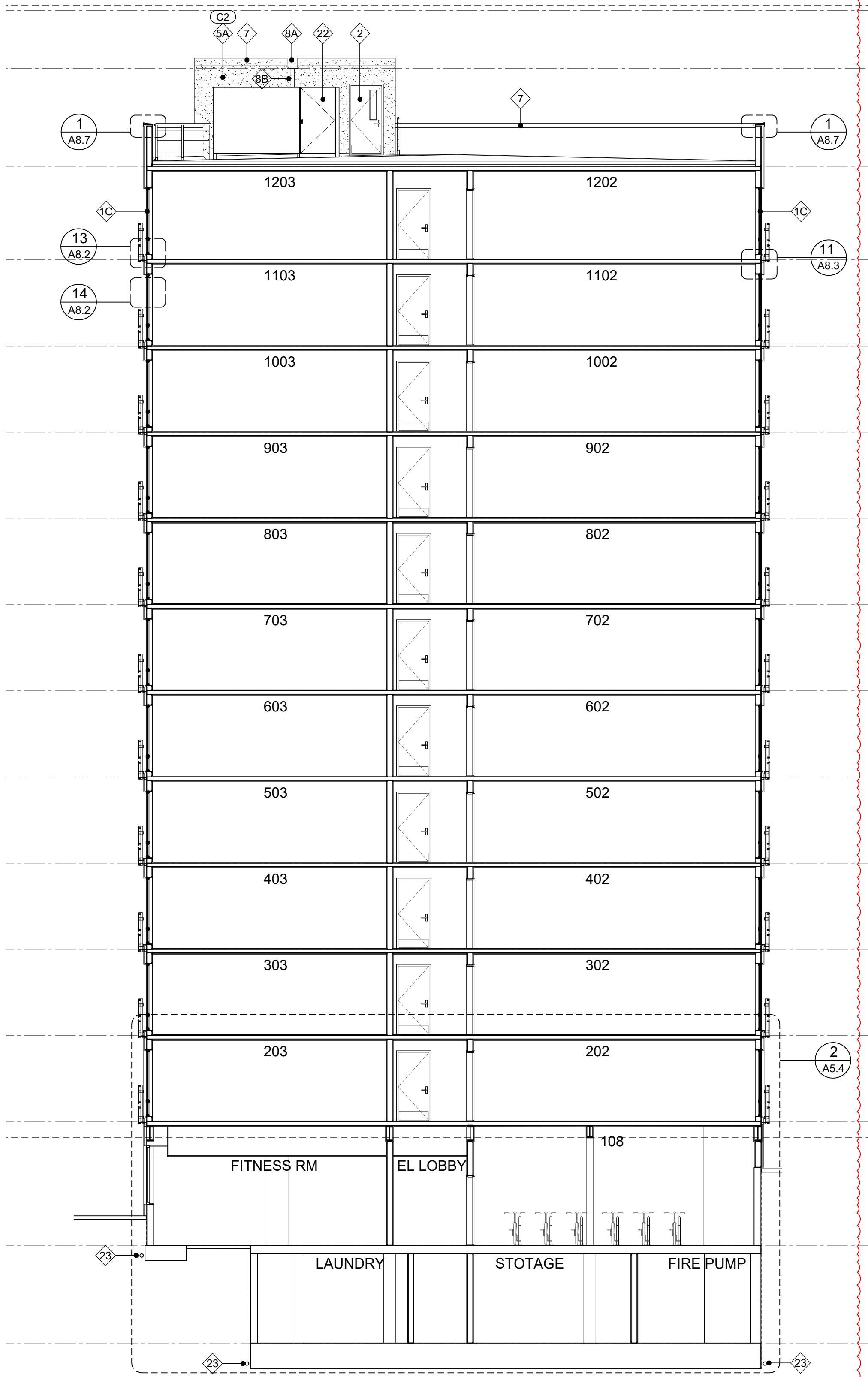
SHEET CONTENTS
BUILDING SECTION & KEY NOTES

SHEET NUMBER

A3.5



1 BUILDING SECTION
SCALE 1/8" = 1'-0"



2 BUILDING SECTION
SCALE 1/8" = 1'-0"

GENERAL NOTES

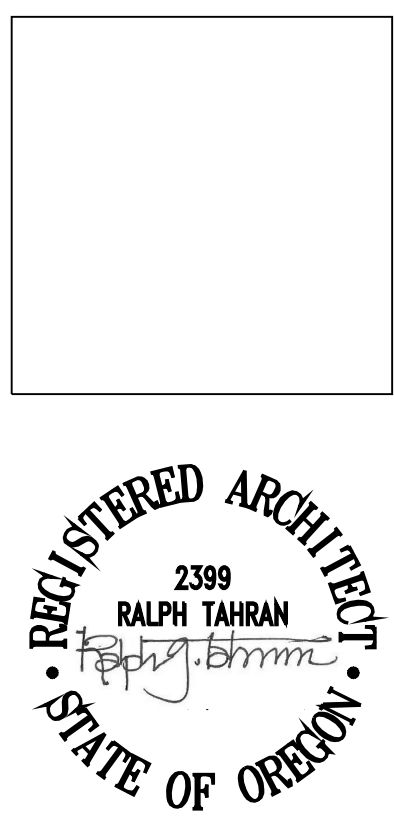
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- 29 FDC SIGNAGE
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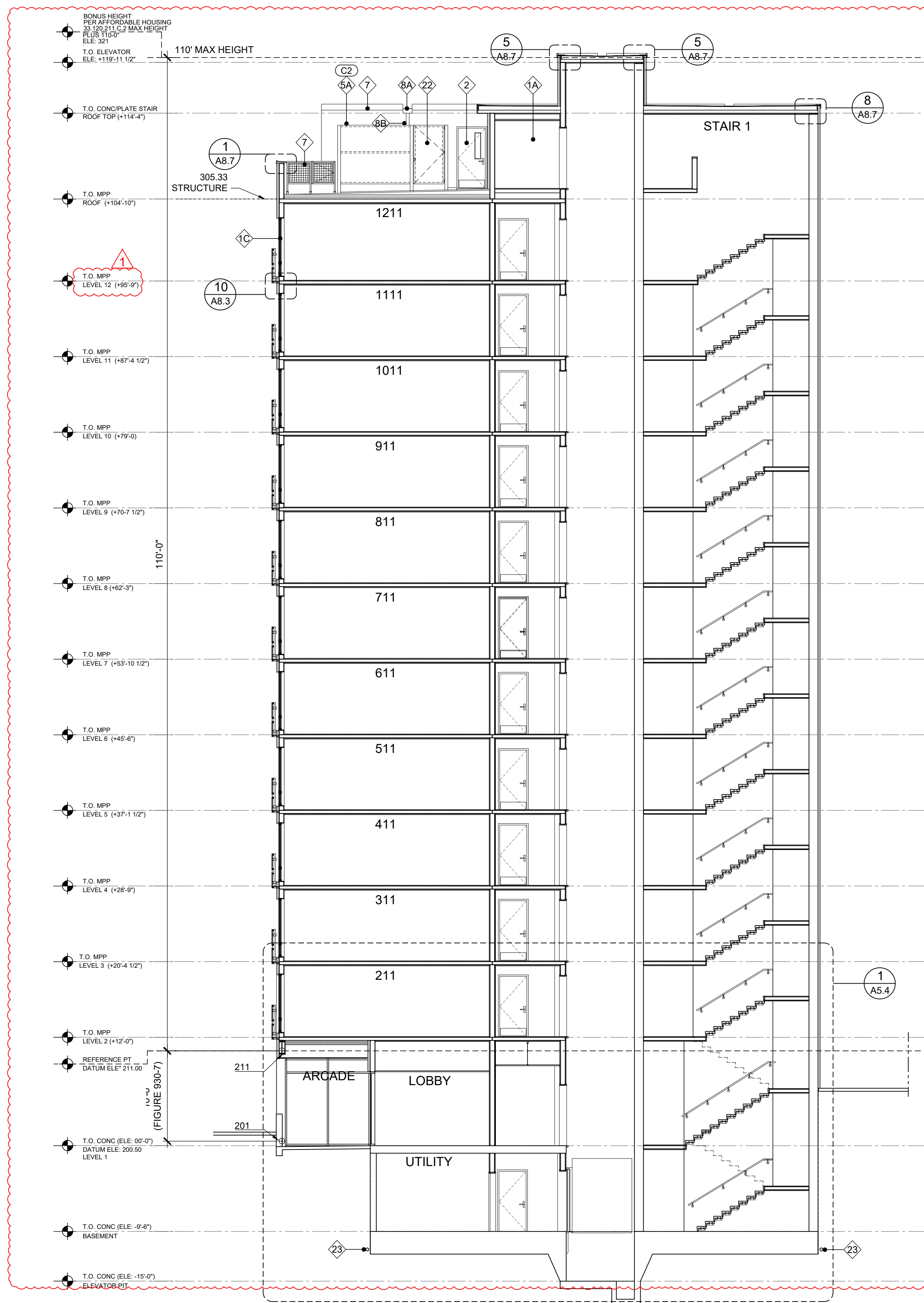
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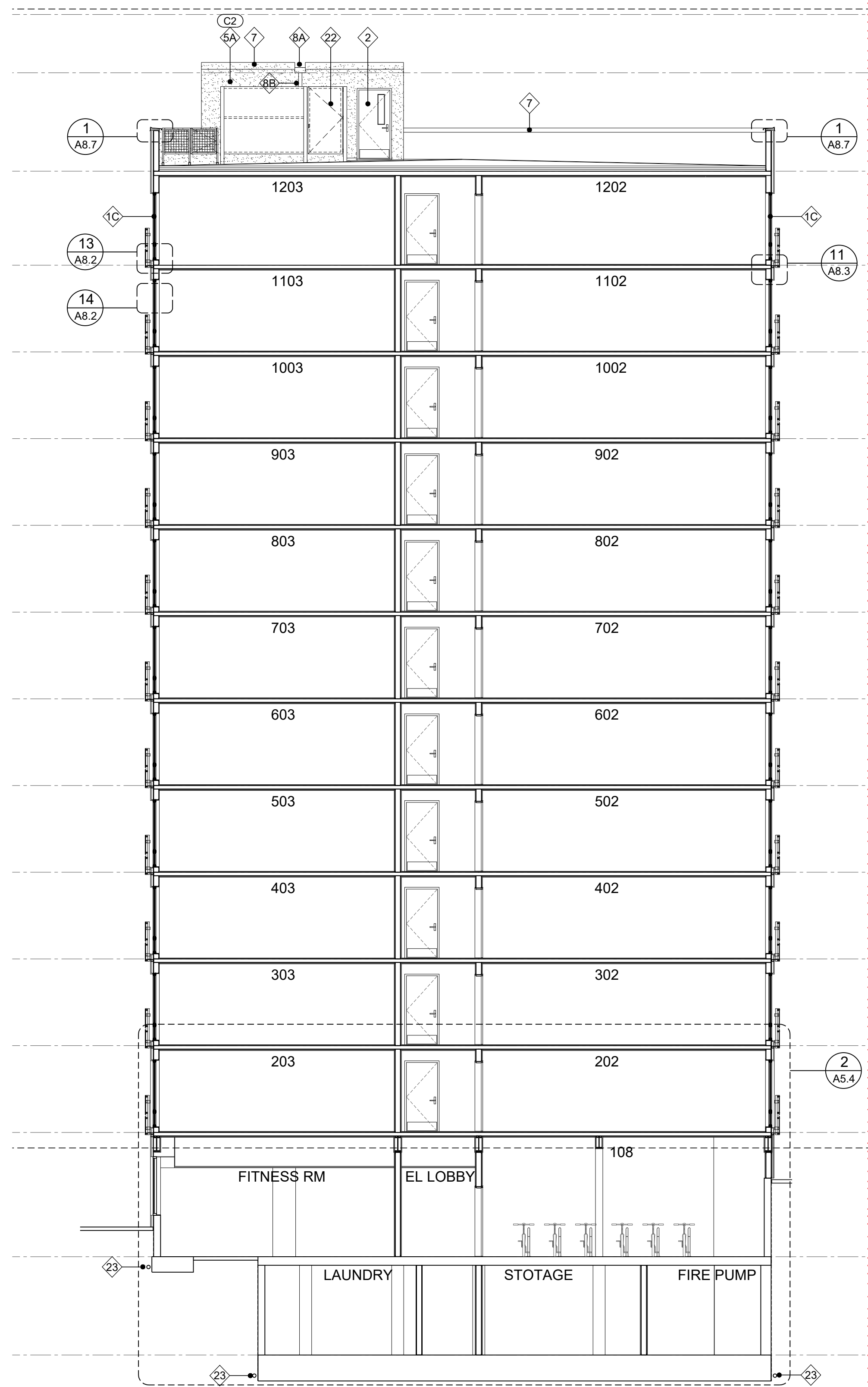
SHEET CONTENTS
 BUILDING SECTION & KEY NOTES

SHEET NUMBER

A3.6



1 BUILDING SECTION
SCALE 1/8" = 1'-0"



2 BUILDING SECTION
SCALE 1/8" = 1'-0"

GENERAL NOTES

1. ALL KEYNOTES APPLY TO ELEVATIONS / SECTIONS
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COLORS

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- C2 STUCCO - STO MEDIUM GRAY SHERWIN WILLIAMS RGB: 196,196,193
- C3 DARK - CHARCOAL BLACK COLOR MATCH WINDOW FRAME



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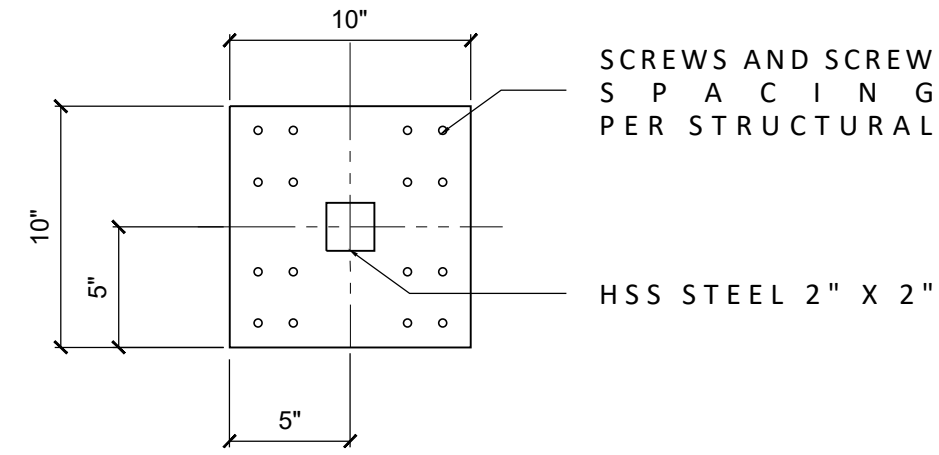
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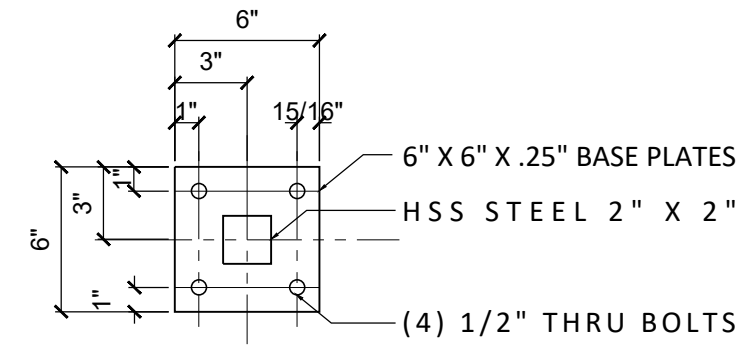
SHEET CONTENTS
BUILDING SECTION & KEY NOTES

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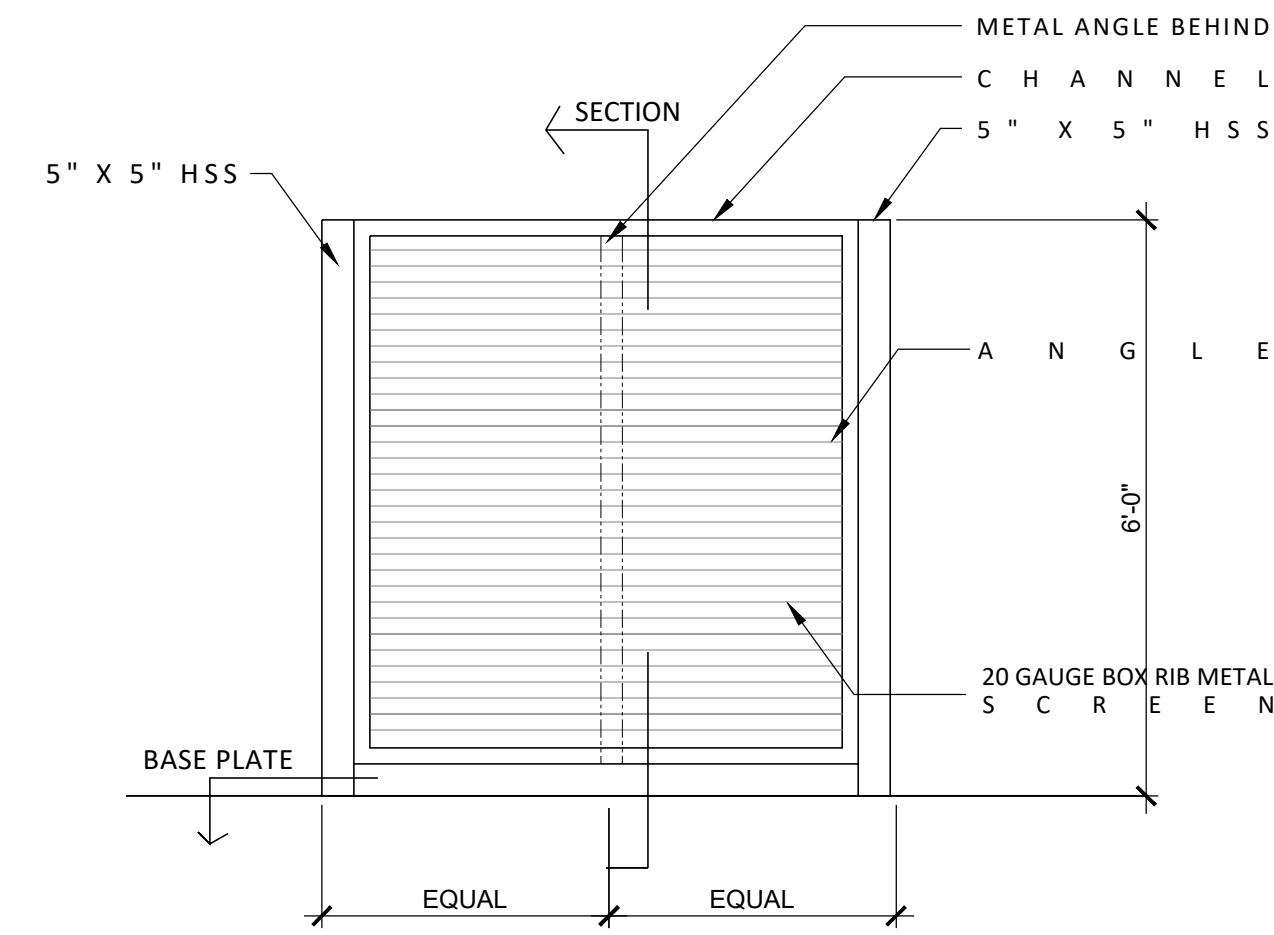
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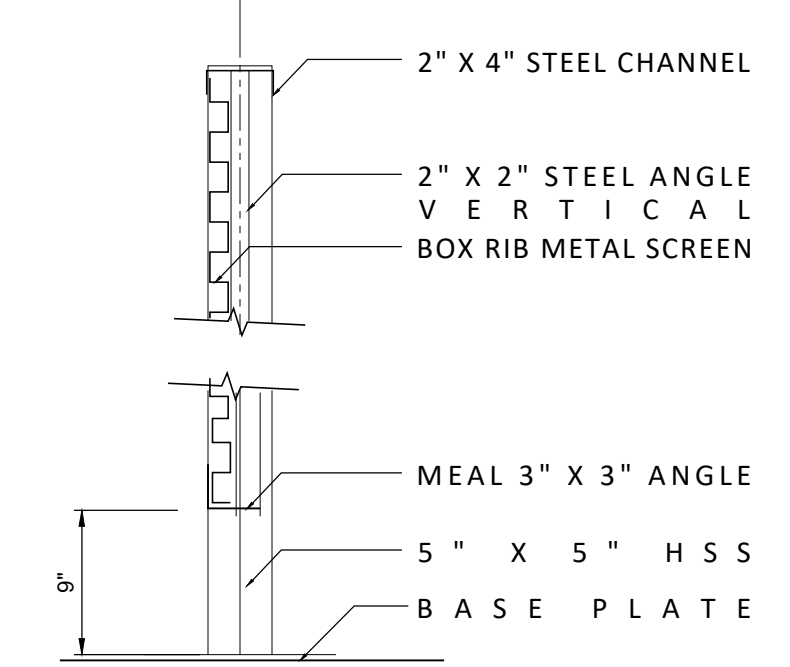
1 LOW BASE PLATE
SCALE 1 1/2" = 1-0"



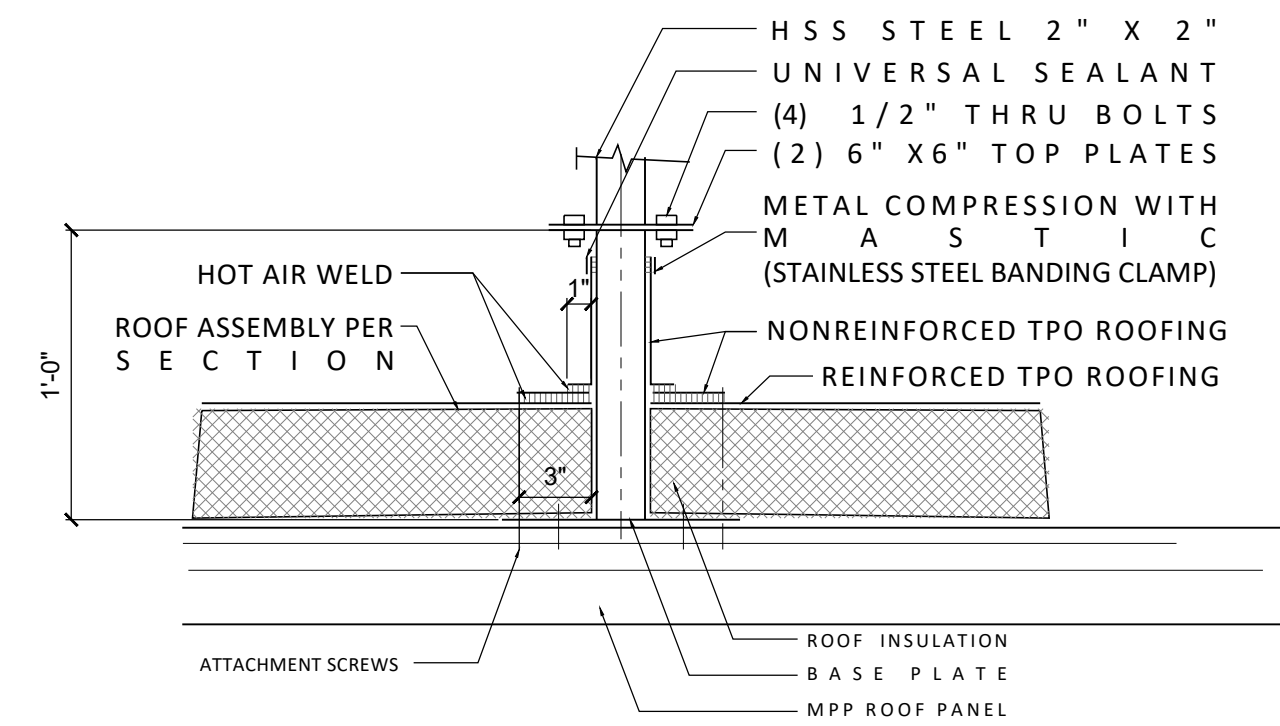
2 LOW FENCE TOP PLATE
SCALE 1 1/2" = 1-0"



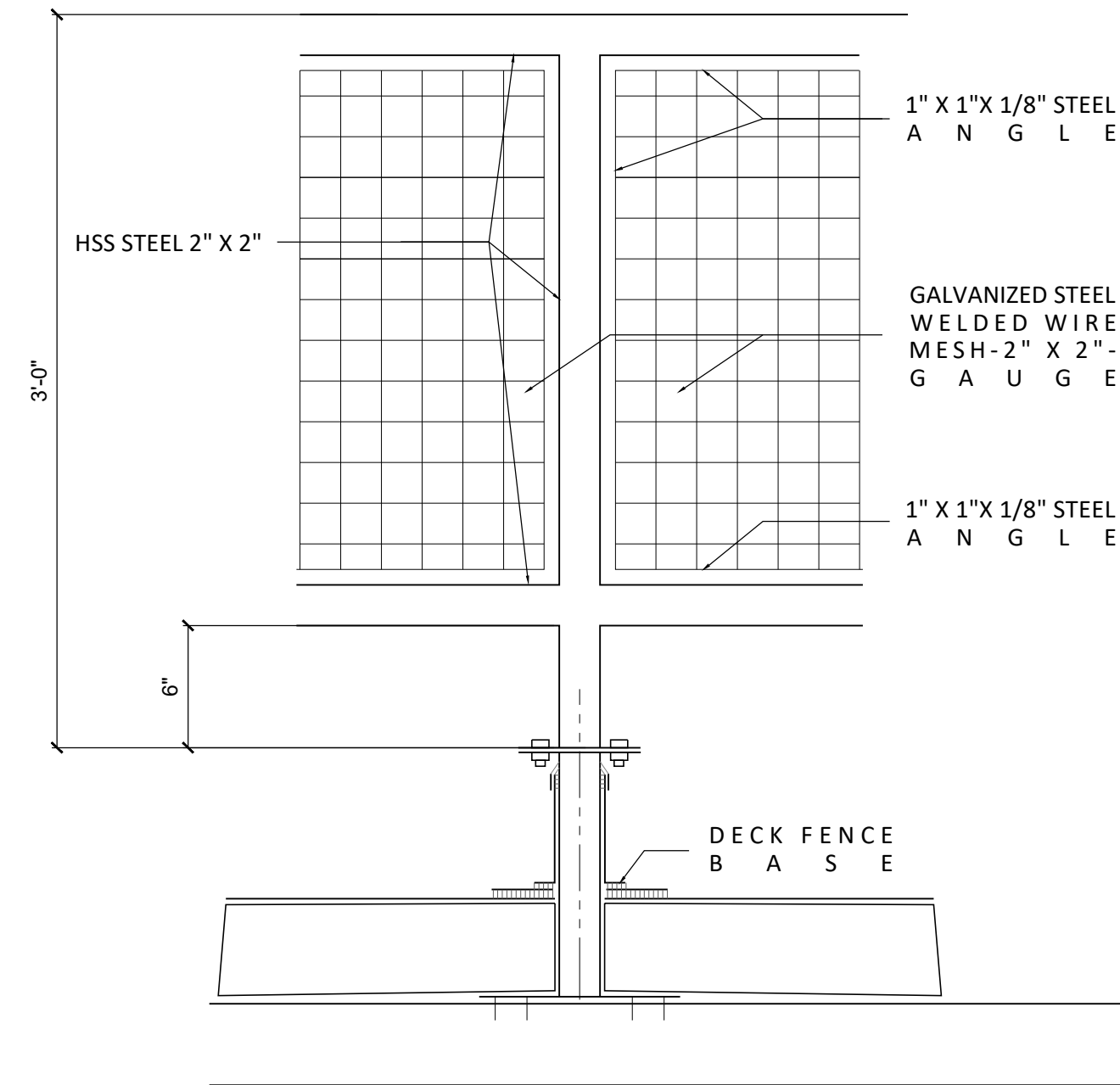
5 ELEVATION COMPACTOR SCREEN
SCALE 1/2" = 1-0"



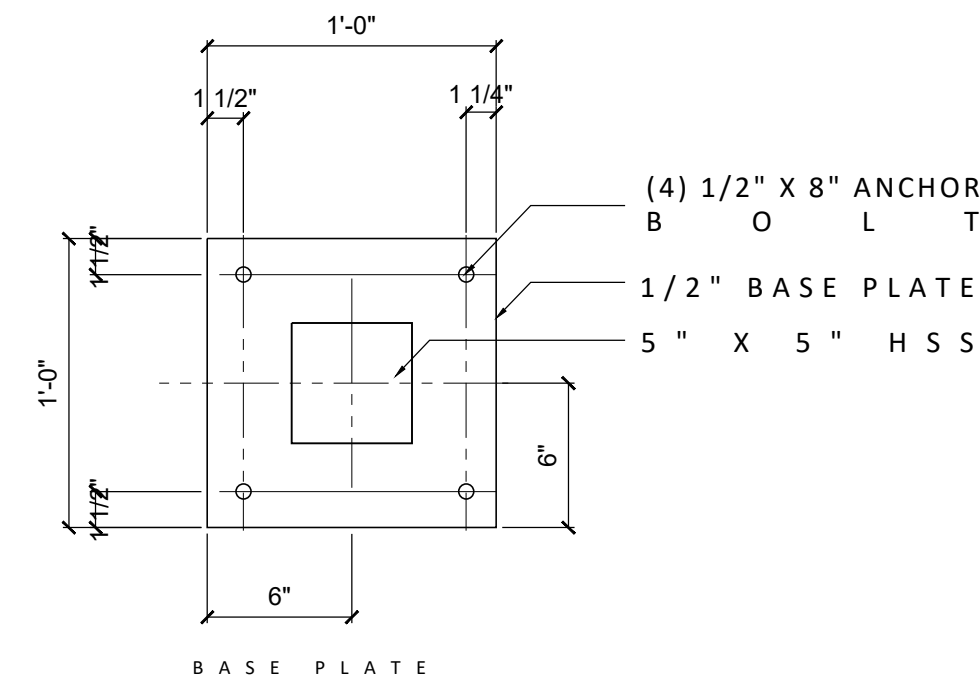
6 SECTION COMPACTOR SCREEN
SCALE 1" = 1-0"



3 LOW DECK FENCE BASE
SCALE 1 1/2" = 1-0"



4 LOW ROOF TOP DECK FENCE BASE
SCALE 1 1/2" = 1-0"



1 ELEVATION COMPACTOR SCREEN
SCALE 1 1/2" = 1-0"



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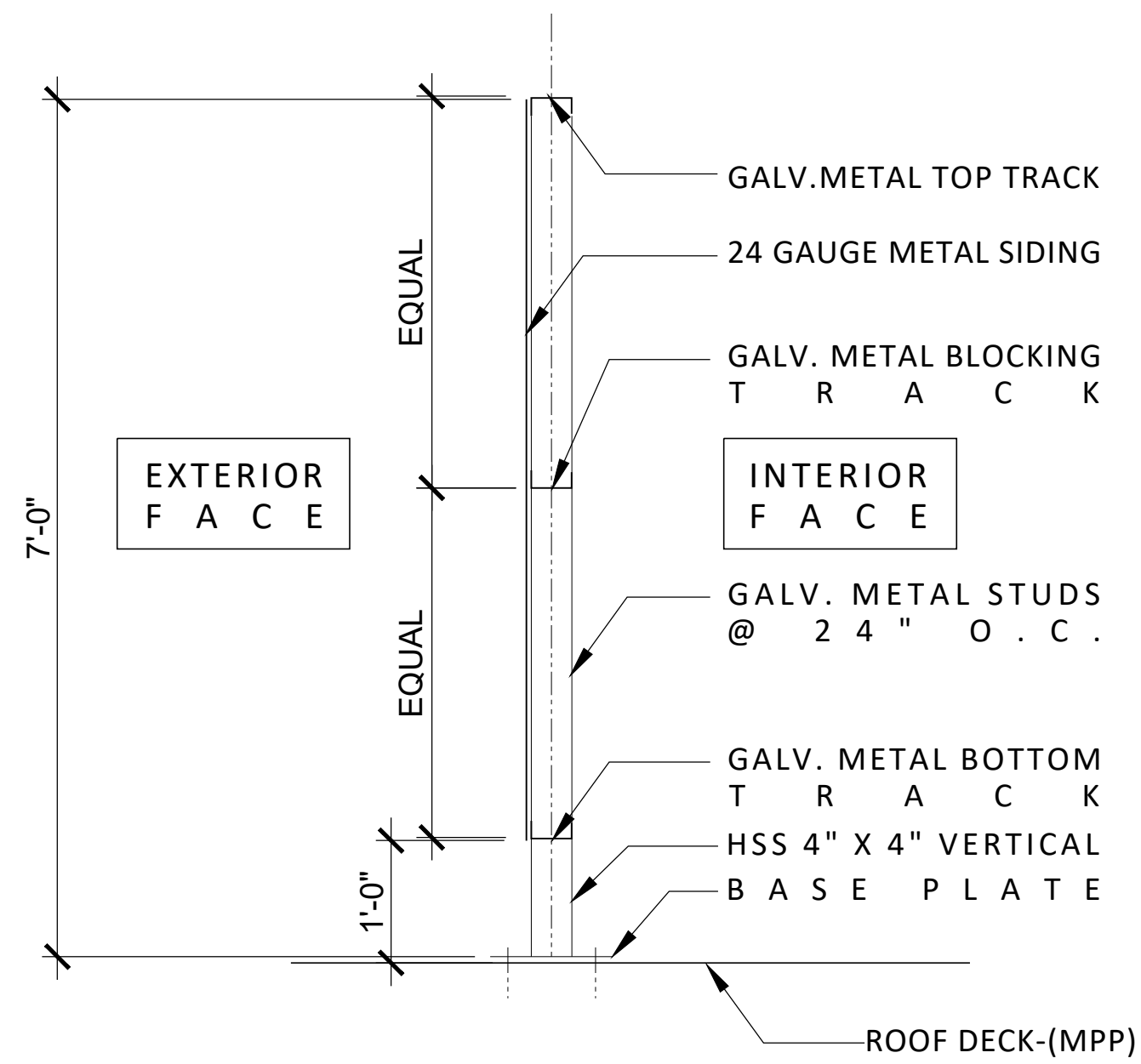
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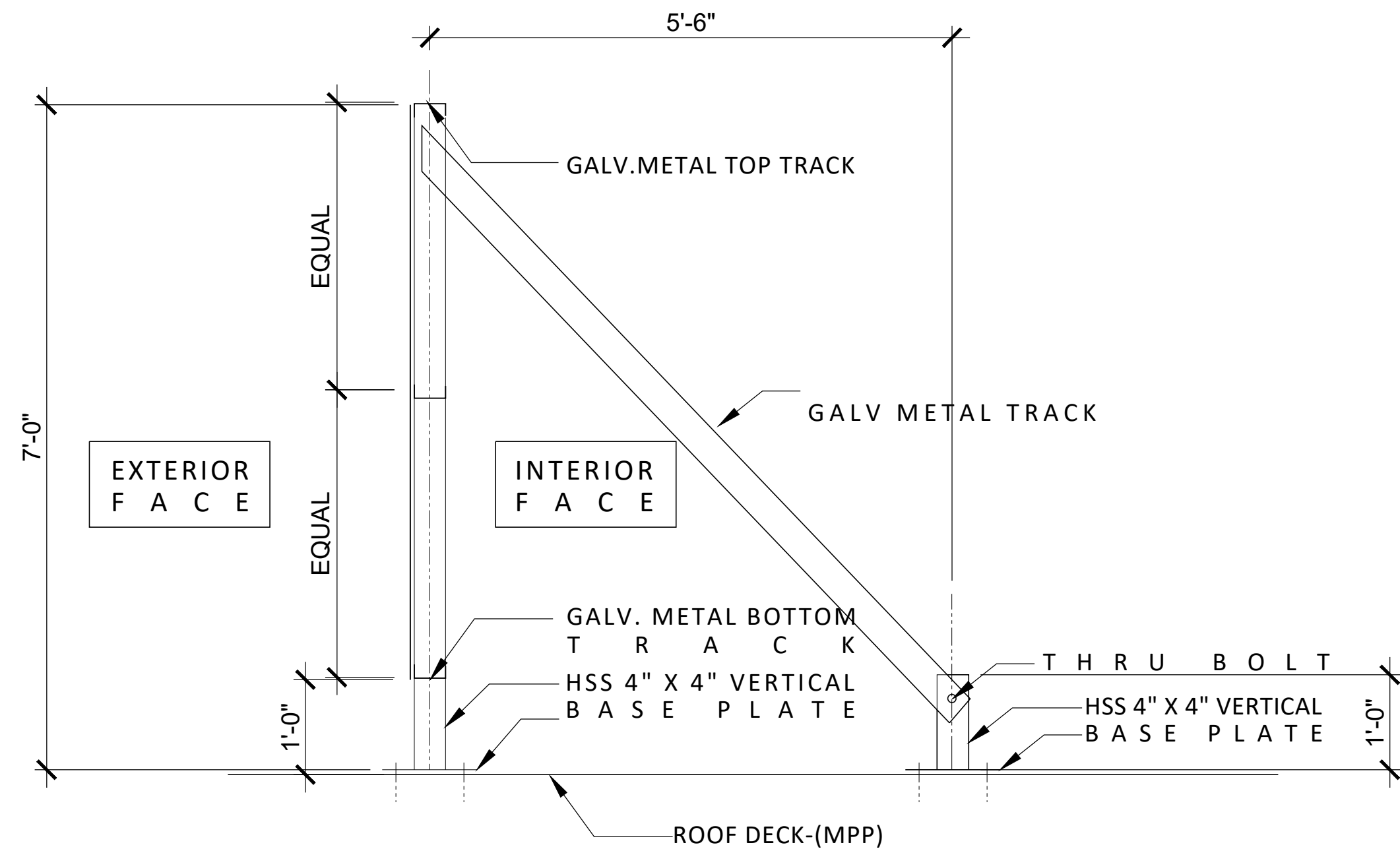
PROJ NO.
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SHEET CONTENTS
**ARCHITECTURAL
DETAILS**

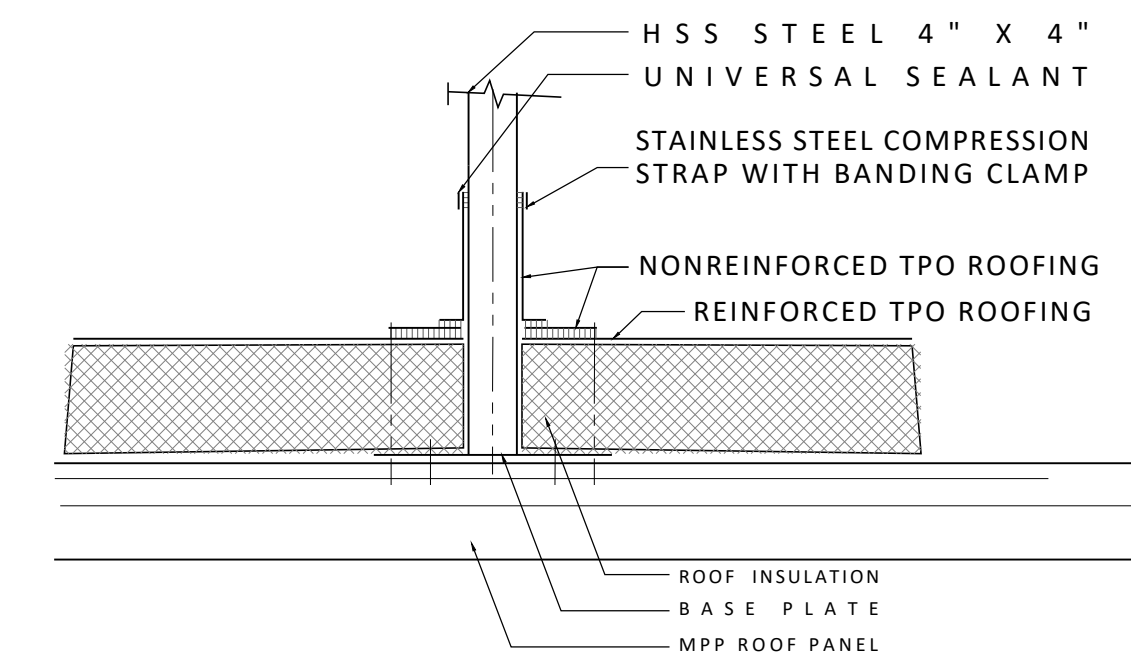
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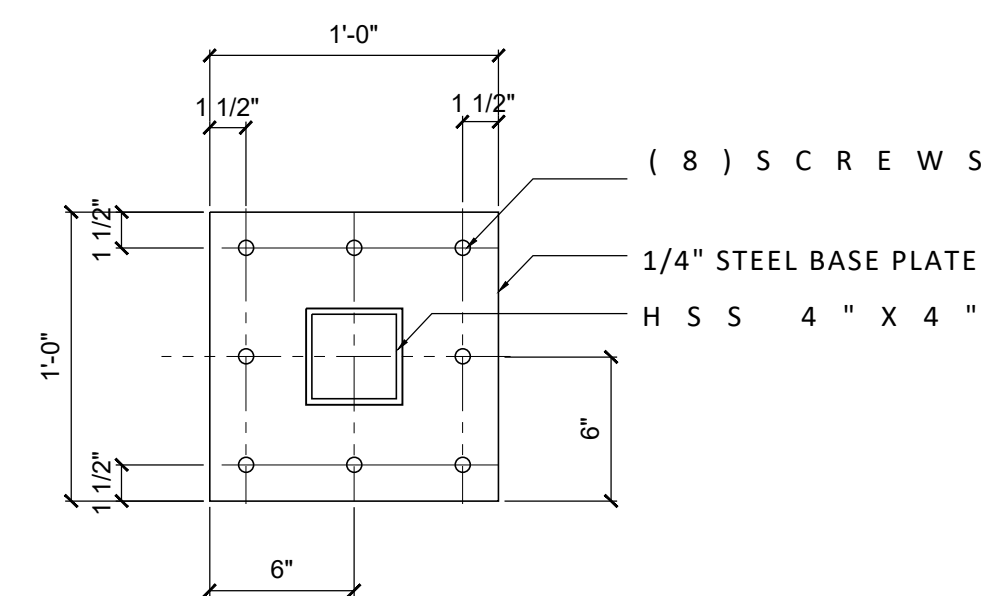
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SCALE 3/4" = 1'-0"



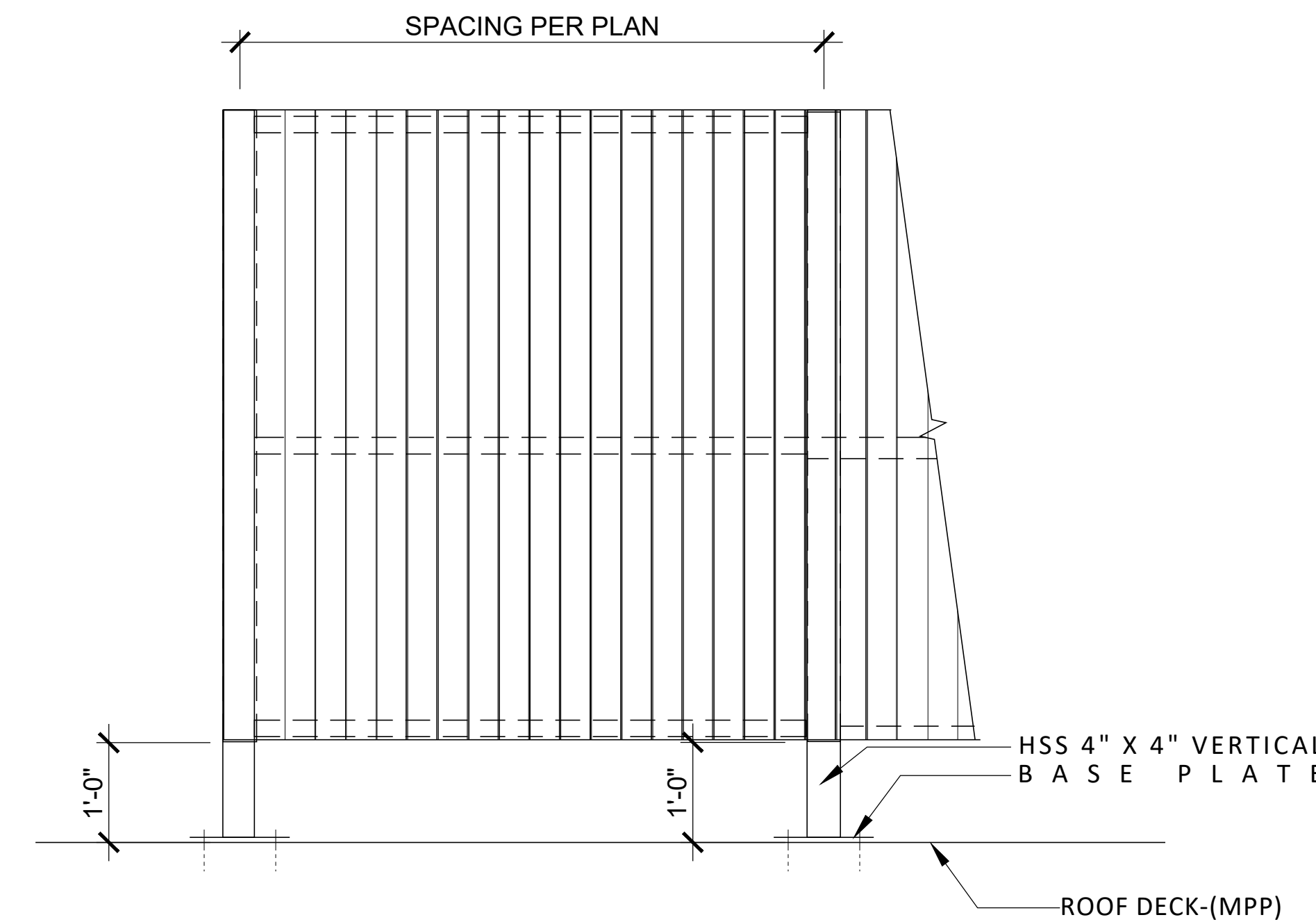
2 ROOF SCREEN WITH KICKER
SCALE 3/4" = 1'-0"



5 ROOF SCREEN DETAIL
SCALE 1 1/2" = 1'-0"



3 BASE PLATE
SCALE 1 1/2" = 1'-0"



4 ROOF SCREEN ELEVATION
SCALE 3/4" = 1'-0"



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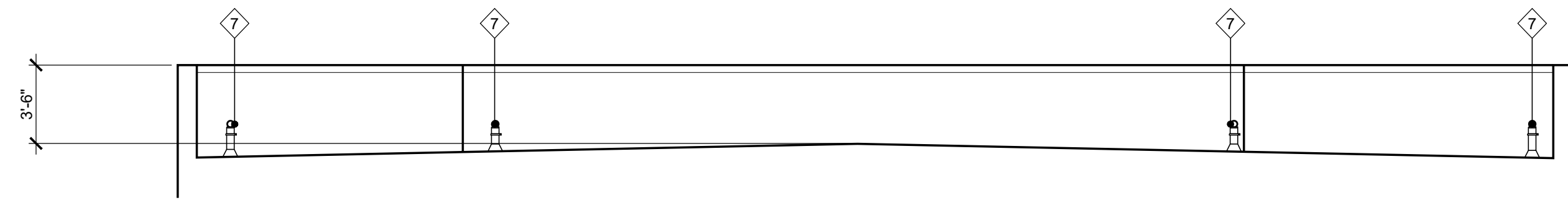
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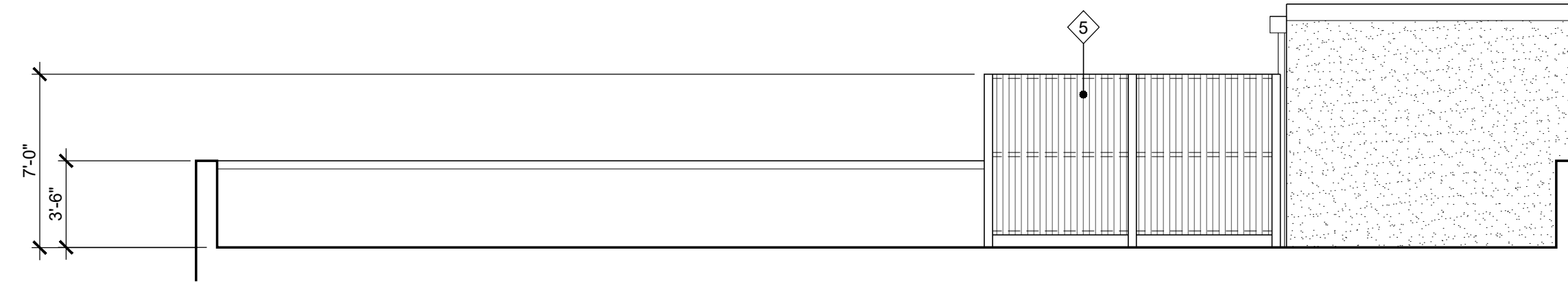
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ARCHITECTURAL DETAILS

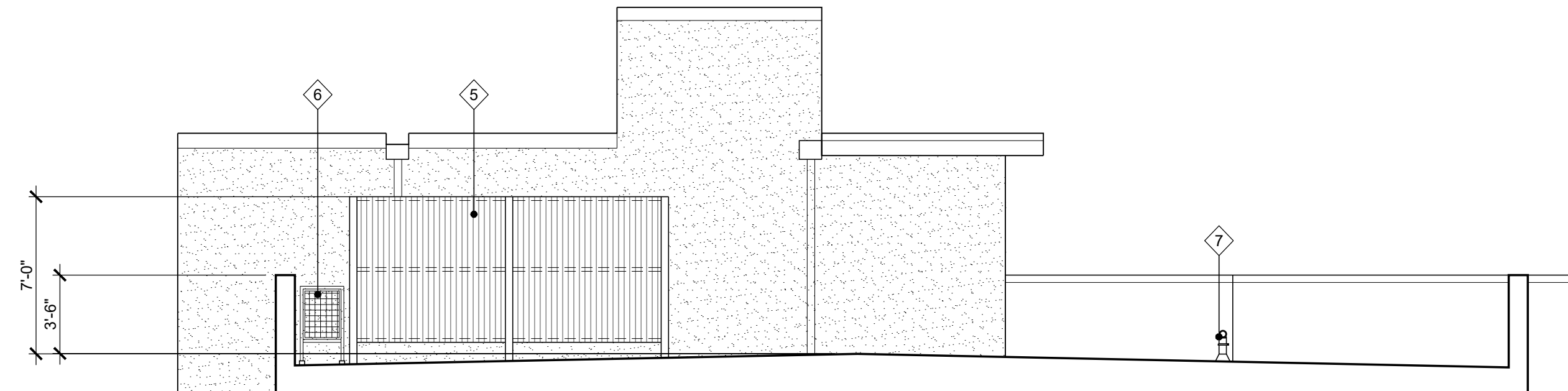
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A8.12



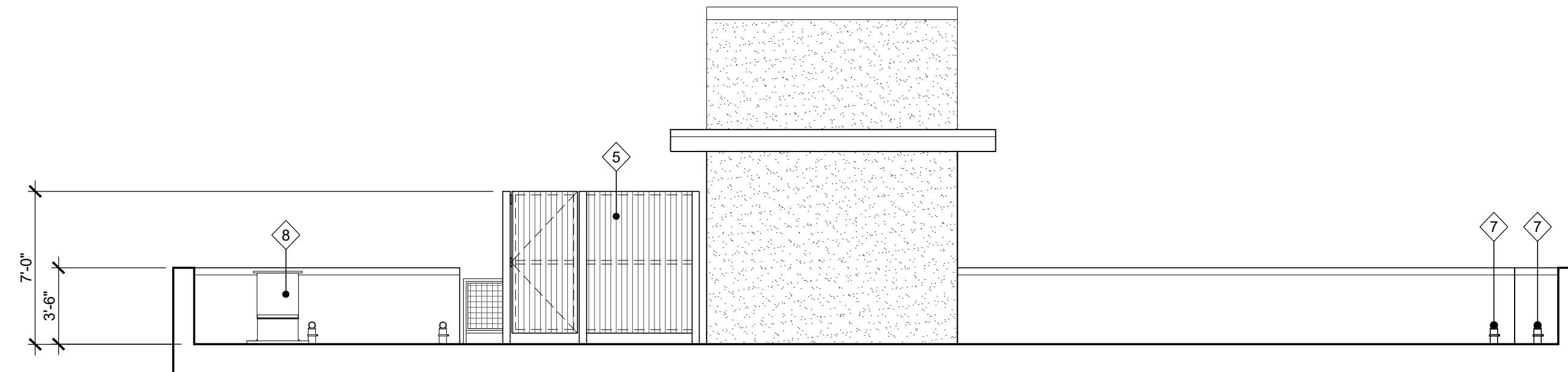
5 OCCUPIED ROOF ELEVATION
SCALE 3/16" = 1'-0"



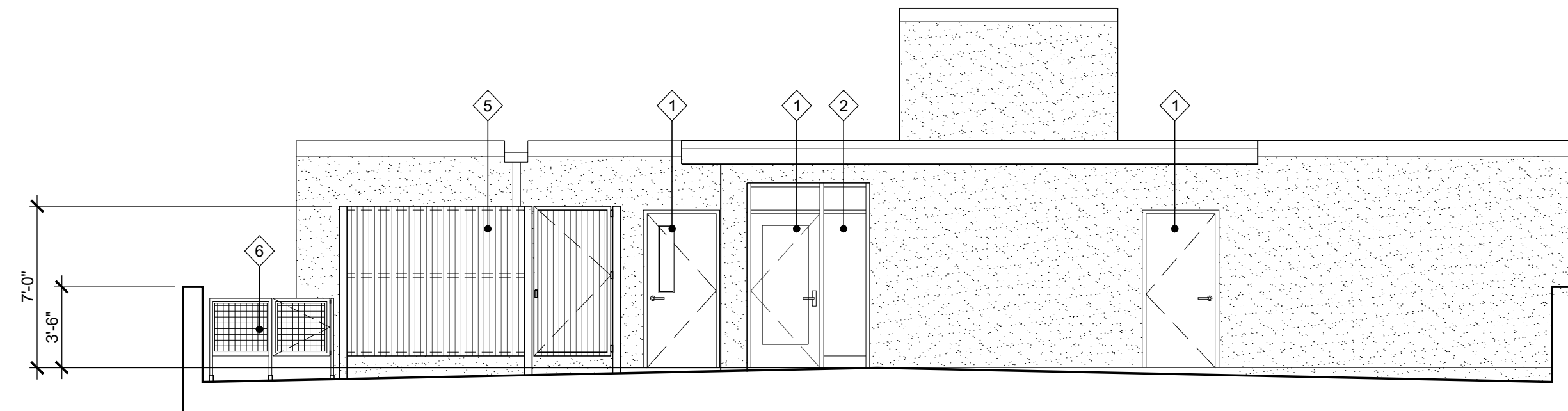
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SCALE 3/16" = 1'-0"



3 OCCUPIED ROOF ELEVATION
SCALE 3/16" = 1'-0"



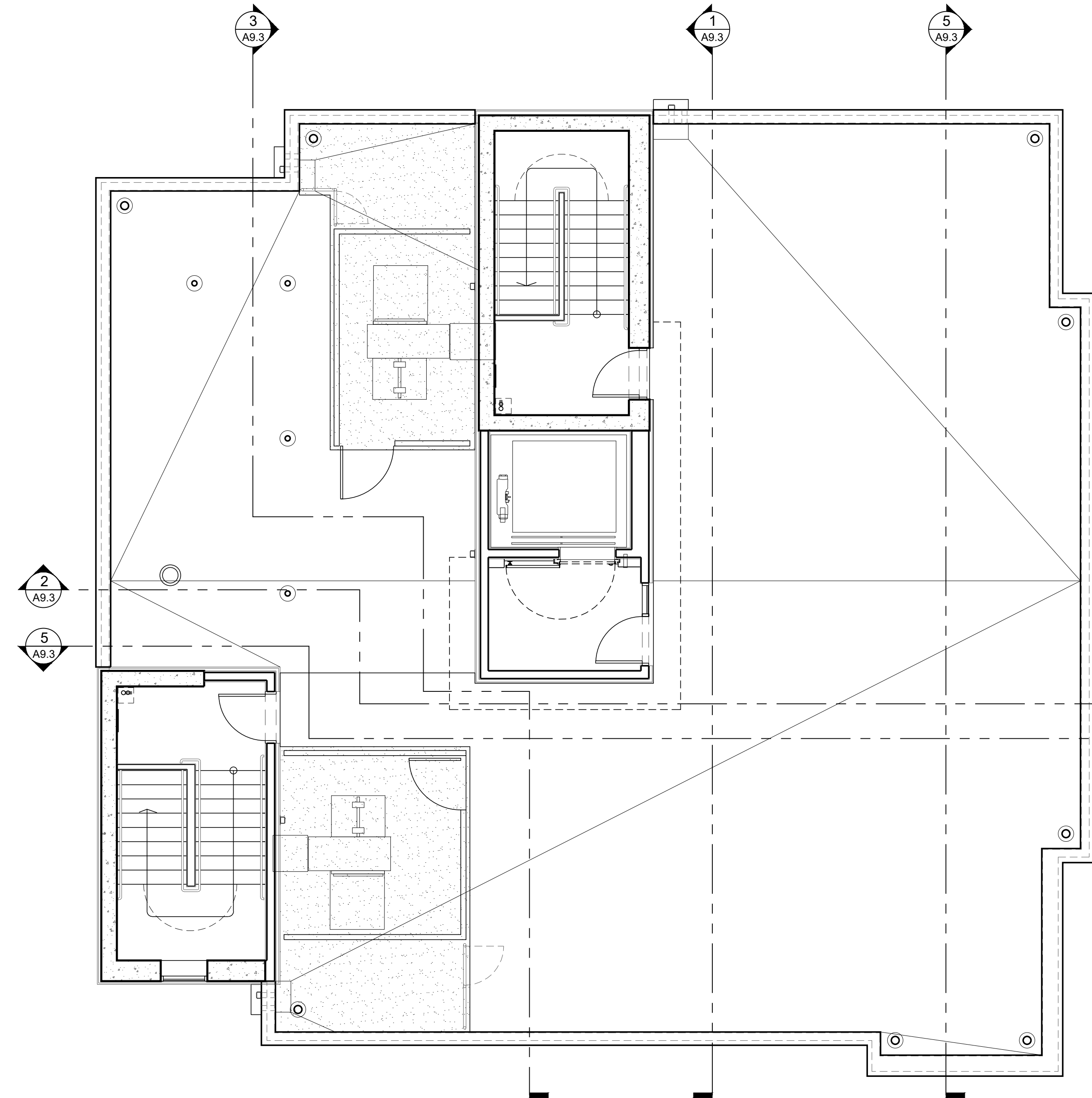
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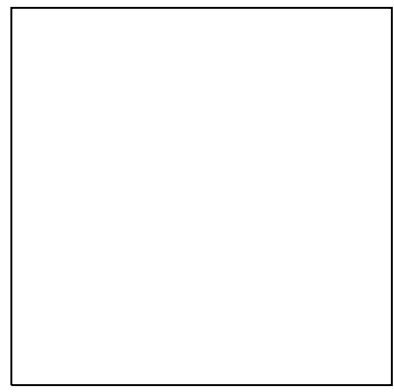
1 OCCUPIED ROOF ELEVATION
SCALE 3/16" = 1'-0"

KEYNOTES

- 1 DOOR SEE SCHEDULE A10.1
- 2 WINDOW SEE SCHEDULE A10.2
- 3 EXTERIOR WALL SEE FINISHES
- 4 METAL RAILING
- 5 MECHANICAL SCREEN
- 6 FENCE
- 7 FALL PROTECTION
- 8 EXHAUST



1 OCCUPIED ROOF PLAN
SCALE 3/16" = 1'-0"



SUBMITTED 02-05-21

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SW PARK APARTMENTS
2059 SW PARK AVE,
PORTLAND OR. 97201

CHECKED BY	RALPH TAHRAN	
DRAWN BY	RCM	
NO	DATE	ISSUE/REVISION
	05.06.22	OWNER/ARCHITECT REVISION

PROJ NO.
2021-012

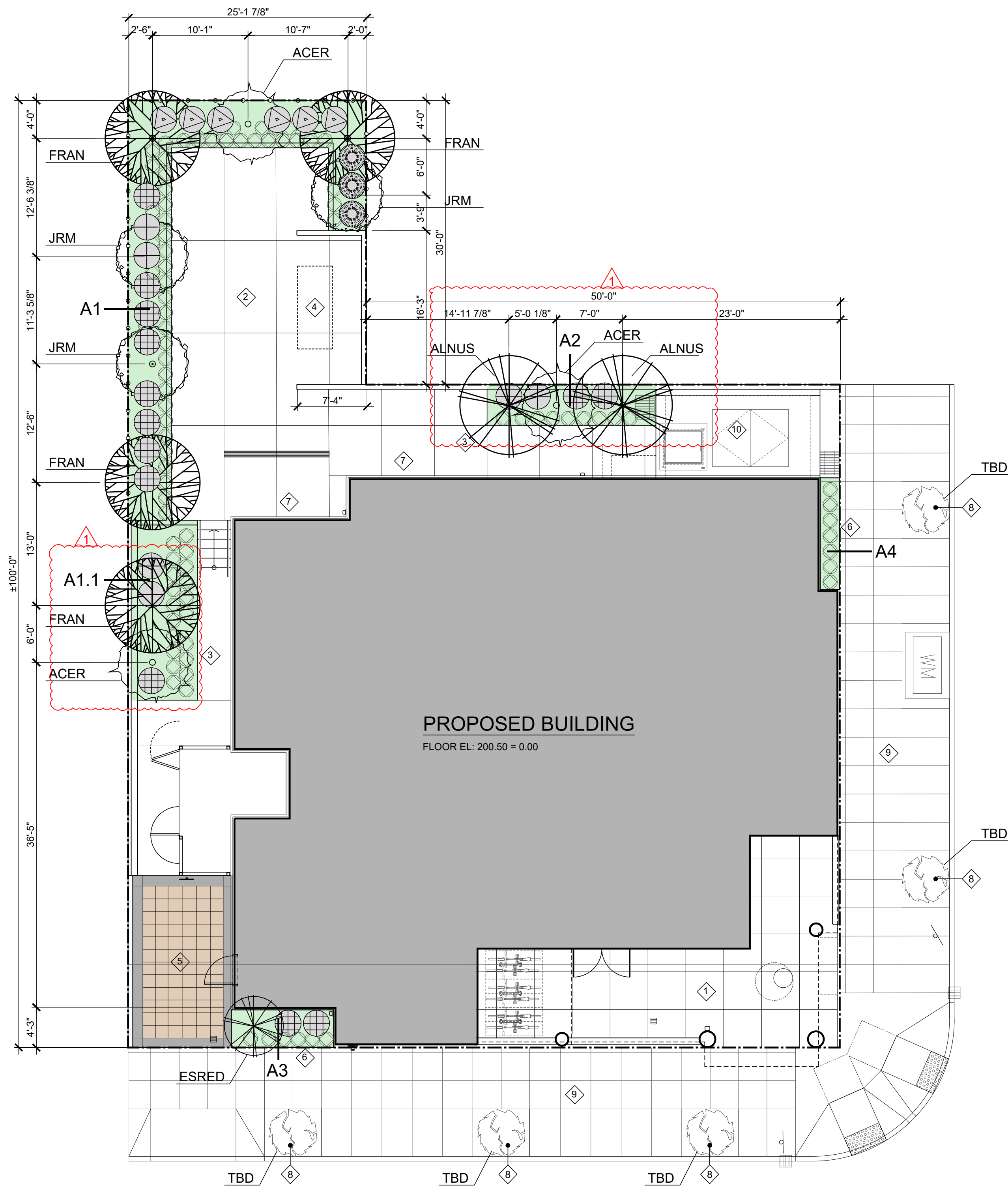
SHEET CONTENTS

ROOF DECK
PLAN & ELEV.

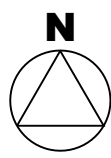
SHEET NUMBER

A9.3

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1 LANDSCAPE PLAN
SCALE 3/16" = 1'-0"



LEGEND

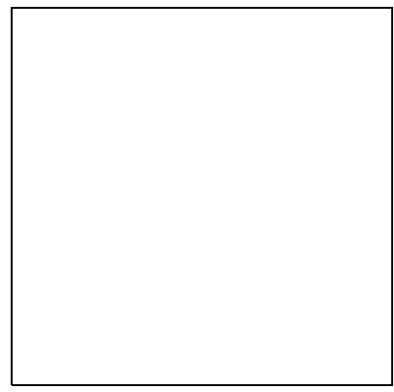
- 1 ARCADE
- 2 PLAZA
- 3 WALKWAY
- 4 EMERGENCY GENERATOR
- 5 LOADING AREA
LOADING AREA WITH COLORED PAVER SEE A1.2
CONG PAVERS-MUTUAL MATERIALS - UNI-OPTILOC 3 1/8"X4"
1/2" X 8 7/8" - COLOR GRAY
- 6 PLANTER
- 7 WINDOW WELL
- 8 INSTALL NEW STREET TREE UNDER
"MINOR IMPROVEMENT PUBLIC WORKS PERMIT".
SEE CIVIL DWG.
- 9 SIDEWALK SEE CIVIL DRAWING
- 10 UNDERGROUND ELECTRICAL VAULT

L1, GENERAL LANDSCAPING.

1. INTENT. THE L1 STANDARD IS A LANDSCAPE TREATMENT FOR OPEN AREAS. IT IS INTENDED TO BE APPLIED IN SITUATIONS WHERE DISTANCE IS USED AS THE PRINCIPAL MEANS OF SEPARATING USES OR DEVELOPMENT, AND LANDSCAPING IS REQUIRED TO ENHANCE THE AREA IN-BETWEEN. WHILE PRIMARILY CONSISTING OF GROUND COVER PLANTS, IT ALSO INCLUDES A MIXTURE OF TREES, HIGH SHRUBS, AND LOW SHRUBS.
2. REQUIRED MATERIALS. THE L1 STANDARD HAS TWO DIFFERENT REQUIREMENTS FOR TREES AND SHRUBS. GROUND COVER PLANTS MUST FULLY COVER THE REMAINDER OF THE LANDSCAPED AREA.
 - A. WHERE THE AREA TO BE LANDSCAPED IS LESS THAN 30 FEET DEEP, THE STANDARD IS ONE LARGE TREE PER 30 LINEAR FEET, ONE MEDIUM TREE PER 22 LINEAR FEET, OR ONE SMALL TREE PER 16 LINEAR FEET. TREES OF DIFFERENT SIZES MAY BE COMBINED TO MEET THE STANDARD. TREES MAY BE GROUPED.
 - B. WHERE THE AREA IS 30 FEET DEEP OR GREATER, THE REQUIREMENT IS EITHER TWO HIGH SHRUBS OR THREE LOW SHRUBS PER 400 SQUARE FEET OF LANDSCAPED AREA IN ADDITION TO THE TREES REQUIRED IN 2.A, ABOVE. THE SHRUBS AND TREES MAY BE GROUPED.
3. ALL STREET TREE ACTIVITIES MUST COMPLY WITH TH1073*

AREA CALCULATION

BUILDING COVERAGE		
MAX. BUILDING COVERAGE 85% OF SITE AREA AREA		
LOT AREA		6,000.00 SF
LANDSCAPE AREA CALCULATION		
AREA 1		415.00 SF
AREA 1.1		133.00 SF
AREA 2		77.00 SF
AREA 3		44.00 SF
AREA 4		25.00 SF
TOTAL LANDSCAPE		694.00 SF
HARDSCAPE AREA CALCULATION		
ARCADE	512.00 SF	15 PERCENT 76.80 SF
PLAZA/COURTYARD/WALKWAY	1,527.00 SF	229.05 SF
OVERALL LANDSCAPE AREA		16.7% 999.85 SF



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SW PARK APARTMENTS
 2059 SW PARK AVE,
 PORTLAND OR. 97201

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DRAWN BY	RCM	
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SHEET CONTENTS
LANDSCAPE PLAN

SHEET NUMBER

L1.1

PARK AVENUE APARTMENTS
2059 PARK AVENUE

MODIFICATION APPLICATION TO RM4 ZONE SETBACK REQUIREMENT
33.120.220.B, 5 FOOT FRONT/AND SIDE STREET SETBACKS

SECTION 33.120.220.B MINIMUM BUILDING SETBACKS:

1.b. Buildings more than 55 feet tall. The required minimum side and rear building setback for buildings that are more than 55 feet tall is 10 feet from a side or rear lot line that is not a street lot line, and 5 feet from a side or front lot line that is a street lot line.

REQUEST:

We are requesting a modification to reduce the minimum required north side setback for the building along SW Clifton Street from five feet to zero feet, and to reduce the minimum required east side setback for the building along SW Park Avenue from five feet to zero feet. The approval criteria that need to be addressed are found in Section 33.825.040.

INTRODUCTION:

The project is for a 12 story, 98-unit affordable housing project for residents that earn no more than 60% average median family income (AMI) at the southeast corner of SW Clifton Street and SW Park Avenue, on a site zoned RM4d. The Portland Zoning Code describes the RM4 Zone Characteristics (Section 33.120.030D) as: RM4 Zone. RM4 Zone is a high density, urban-scale multi-dwelling zone applied near the Central City, and in town centers, station areas, and along civic corridors that are served by frequent transit and are close to commercial services. It is intended to be an intensely urban zone with a high percentage of building coverage and a strong building orientation to the pedestrian environment of streets with buildings located close to sidewalks with little or no front setback. This is a mid-rise to high-rise zone with buildings of up to seven or more stories. The Design Overlay Zone is applied to this zone.

The Design Overlay Zone is applied to this parcel with no specific design guidelines attached to it, so the area is subject to Community Design Guidelines. The abutting properties to the south and west are zoned RM4d also and can be developed similar to the subject parcel. We are requesting a zero setback for a portion of the building (44%) on the side yard (north side) fronting on SW Clifton Street a 60-foot-wide public right of way. Beyond the right of way to the north is an Oregon Department of Transportation right of way (ROW) that is vacant all the way to the I-405 freeway. The north elevation of the subject building does not face any neighbors. We are also requesting a zero front yard setback for a portion of the building (85%) on the east side of the building fronting on SW Park Avenue, also a 60-foot ROW. Beyond the ROW, the building faces a triangular publicly owned open space that has five large elm trees on it. This east elevation also does not face any neighbors.

THE APPROVAL CRITERIA FOR MODIFICATIONS CONSIDERED DURING DESIGN REVIEW ARE:

- A.) Better meets design guidelines. The resulting development will better meet the applicable design guidelines.

RESPONSE: The ground floor of the proposed building is all community use spaces, with no residential units on the ground floor requiring any setbacks from the front or side for privacy, light, or air. The allowance of a zero setback on these two sides allows a better, more defined, articulation at the ground

level, the pedestrian level, as the building is recessed northeast corner of the building, recessed from 9'6" to 10'-0" creates a valuable covered open space for all pedestrians to use as it creates a strong prominent entry. The large, recessed areas along the east façade and the north façade provide covered areas that are protected from the elements.

This project was reviewed by the City's Design Commission at a Design Advice Request (DAR) Meeting, held August 6, 2020. The Commission made the following comments especially as it pertains to the north and east sides where this modification is requested.

Design Commission Comments:

"The Commission felt the corner treatment (NE) of the building was very successful, particularly the main entrance and entry colonnade."

DAR Summary of Comments:

- "Building corner treatment is very successful."
- "Main entrance and entry colonnade are fantastic."
- "The arcade overhang provides sufficient weather protection."

The commission also commented on our original submittal of the north side along SW Clifton, we had a sunken courtyard that would have complied with the minimum five-foot required setback, but the Commission commented that the sunken courtyard (due to topography on SW Clifton) poses safety problems and directed us to, "Explore making the courtyard space an interior amenity space." In our final design as shown in this request, we have incorporated it in an interior "indoor common area" as suggested to improve the SW Clifton Street pedestrian environment. The upper portions of the building are predominantly on the north and east property lines except to meet articulation design requirements. Placing these portions of the building in this regard allows the maximum setbacks at the south and west property lines that directly face existing residential uses. The north and east elevations do not face any residential uses but present the corner of the building to the PSU Park Blocks to form a prominent gateway to this residential area. Responding to the Design Commission comments has assured a design that "better meets applicable design guidelines."

B.) Purpose of the standard. On balance, the proposal will be consistent with the purpose of the standard for which a modification is requested; and....

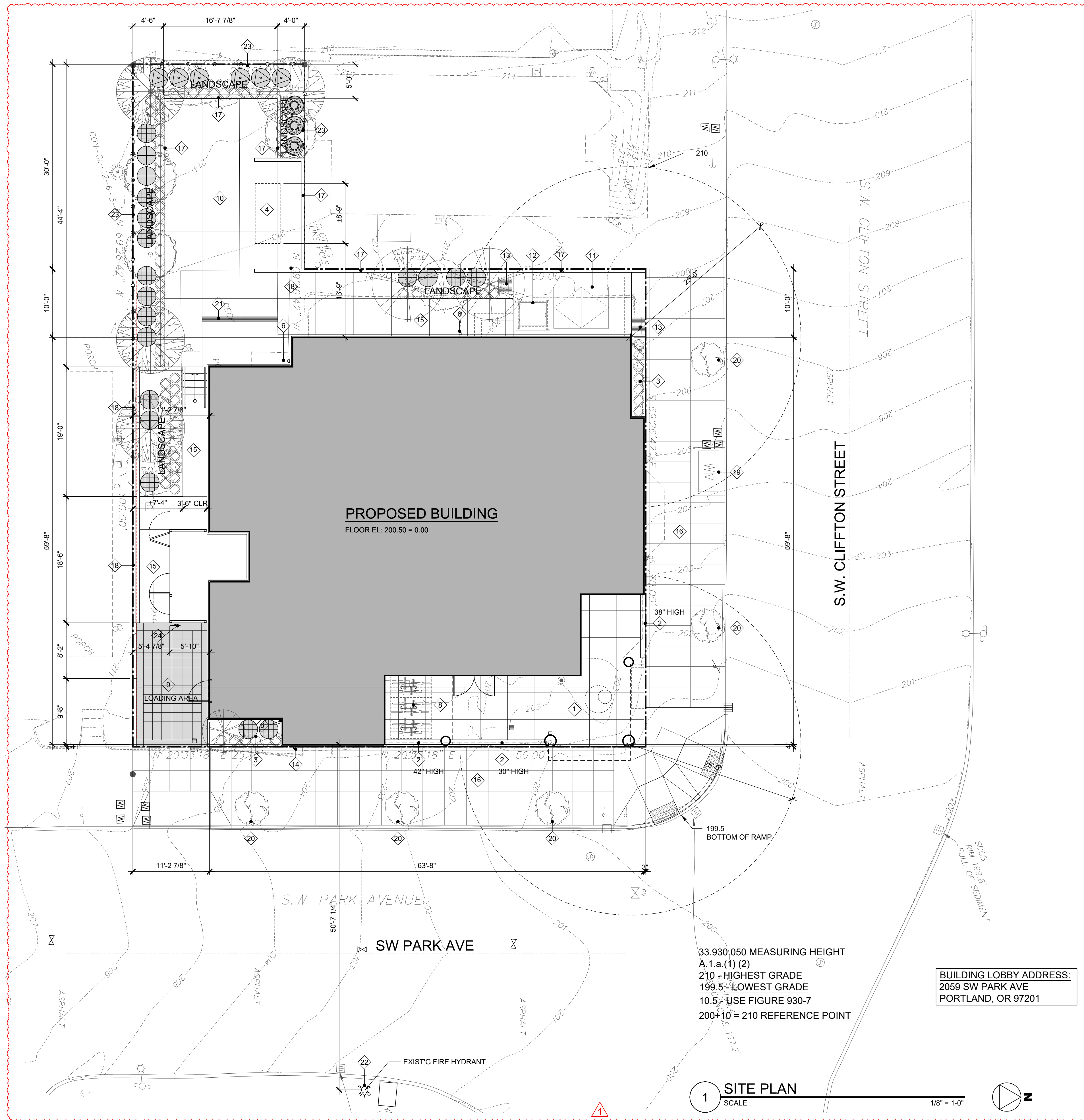
RESPONSE: The purpose of the standard is to give more separation for residential uses that are on the ground floor level. A zero setback is allowed for ground floors that are in commercial, office and community use. This building does not have any residential use on the ground floor, it is all in common area, amenity space, entry lobby, fitness room, bike storage and utility spaces where topography buries the spaces into the hillside at the south and west sides of the property. These spaces are all very similar in uses that are found in commercial and office uses, so we feel the proposed design is very consistent with the purpose of the standard for which this modification is requested.

C.) Mitigation of impacts. Any impacts resulting from the modifications are mitigated to the extent practical.

RESPONSE: We do not anticipate any impacts from the modification requested in that placing the building at the north and east property lines moves the building the maximum extent possible from abutting residential properties. We meet all requirements and setbacks where we abut any other

property. In addition, as mentioned in the Introduction, the north side fronts on SW Clifton Street, a 60-foot ROW, plus an additional ODOT ROW that abuts the I-405 Freeway, so the proposed building does not face any building for at least 250 feet on the north side. The east side faces SW Park Avenue, also a 60-foot public ROW, plus another publicly owned triangular open space with five very large elm trees, so the proposed building does not face any other building of any kind for another 250 to 350 feet minimum.

:



LEGEND

- 1 ARCADE
- 2 CONC LOW WALL
- 3 PLANTER
- 4 EMERGENCY GENERATOR
- 5 WINDOW WELL WITH 42" HIGH GUARDRAIL
- 6 DOWNSPOUT
- 7 NOT USED
- 8 FLOOR MOUNTED BIKE PARKING (SHORT TERM)
- 9 LOADING AREA WITH COLORED PAVER SEE A1.2
CONC PAVERS-MUTUAL MATERIALS - UNI-OPTILOC 3 1/8"X4"
1/2" X 8 7/8" - COLOR GRAY
- 10 PLAZA
- 11 VAULT DOOR
- 12 SUMP PUMP DOOR ACCESS
- 13 VENT
- 14 FDC CONNECTION
- 15 WALKWAY
- 16 PUBLIC IMPROVEMENT SEE CIVIL
- 17 RETAINING WALL
- 18 RETAINING WALL WITH 6' HIGH CMU FENCE
- 19 WATER METER SEE CIVIL
- 20 TREE WELL SEE CIVIL
- 21 DRAIN TRENCH
- 22 EXIST'G FIRE HYDRANT
- 23 WOOD FENCE
- 24 LOADING AREA SIGN

PROJECT DESCRIPTION

THE PROPOSED PROJECT IS 12 STORY MASS TIMBER PANEL CONSTRUCTION WITH BASEMENT LOCATED IN 2059 SW PARK AVE PORTLAND, OR 97201.

CONSTRUCTION TYPE - IV-B AND IVC

STUDIO ADA TYPE B - 96 UNITS
STUDIO ADA TYPE A - 2 UNITS
TOTAL NUMBER OF UNITS - 98 UNITS

THE BUILDING IS EQUIPPED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13.

GENERAL INFORMATION

PROPERTY ID: R246517
COUNTY: MULTNOMAH
STATE ID: 1S1E04DA 8800
NEW STATE ID: 1S1E04DA -08800
ALT ACCOUNT #: R667725410
MAP NUMBER: 3228 OLD
LAND TYPE: RES - RESIDENTIAL LAND
TOTAL LAND AREA: 6,000.00 SF

SITE INFO

SITE ADDRESS:
2059 SW PARK AVE
PORTLAND, OR 97201

NEIGHBORHOOD

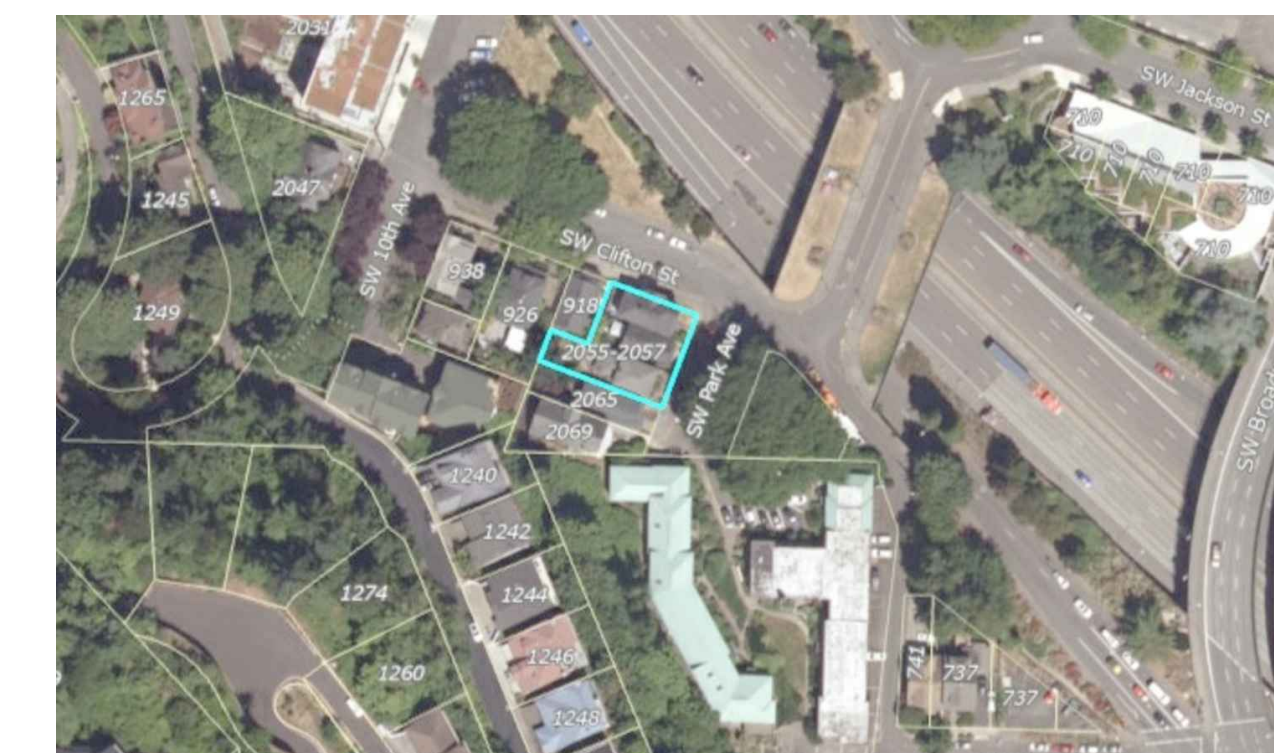
JURISDICTION: PORTLAND / MULTNOMAH

ZONING

ZONE: RM4 - RESIDENTIAL MULTI-DWELLING 4
DESCRIPTION:
OVERLAY: d - Design
BASE OVERLAY COMBINATION: RM4d
COMP PLAN: MD-U - Multi-Dwelling - Urban Center
COMP PLAN OVERLAY: NONE

LAND INFORMATION

RESIDENTIAL LAND 6,000 SF



2 VICINITY MAP
N.T.S.



SUBMITTED 02-05-21

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SW PARK APARTMENTS
2059 SW PARK AVE,
PORTLAND OR: 97201

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PROJ NO.
2021-012

SHEET CONTENTS
SITE PLAN & KEY NOTES

SHEET NUMBER

A1.1

SW Park Avenue Apartments

2059 SW PARK AVE
PORTLAND, OREGON 97201

Property Information	Area	SF
Property ID : R246517	6,000.00	SF

Lot Area	6,000.00	SF
FAR	42,112.00	SF
Zone: RM4		
Total Number of Units	98	Studio

Location	Unit Area	Common Area	Total Area	ST
Basement		2,244.53 SF	2,244.53 SF	with Stair
Level 1		2,999.44 SF	2,552.16 SF	without stair
Level 2	2,428.00 SF	938.81 SF	3,366.81 SF	with Stair
Level 3	2,788.00 SF	445.59 SF	3,233.59 SF	without stair
Level 4	2,788.00 SF	929.53 SF	3,717.53 SF	with Stair
Level 5	2,788.00 SF	445.59 SF	3,233.59 SF	without stair
Level 6	2,788.00 SF	929.53 SF	3,717.53 SF	with Stair
Level 7	2,788.00 SF	445.59 SF	3,233.59 SF	without stair
Level 8	2,788.00 SF	929.53 SF	3,717.53 SF	with Stair
Level 9	2,788.00 SF	445.59 SF	3,233.59 SF	without stair
Level 10	2,788.00 SF	929.53 SF	3,717.53 SF	with Stair
Level 11	2,788.00 SF	445.59 SF	3,233.59 SF	without stair
Level 12	2,788.00 SF	929.53 SF	3,717.53 SF	with Stair
Total	24,732.00 SF	9,438.73 SF	32,250.44 SF	98

FAR 7 to 1 or 6 to 1 (1)

Location	Total Area
Level 1	748.00 SF
Level 2	3,366.81 SF
Level 3	3,717.53 SF
Level 4	3,717.53 SF
Level 5	3,717.53 SF
Level 6	3,717.53 SF
Level 7	3,717.53 SF
Level 8	3,717.53 SF
Level 9	3,717.53 SF
Level 10	3,717.53 SF
Level 11	3,717.53 SF
Level 12	3,717.53 SF
Total Area	33,855.06 SF

Bike Parking Calculations

Long Term Bike	98 Units x 1.1 =	107.00
Short Term Bike (1 Bike at every 20 units)		5.00
Total bike parking requirement		112.00

PROVIDED

BIKE PARKING	Horizontal	Vertical	Horizontal	No of Bike
Location	36"x120"	18"x44"	18"x60"	
Basement	none	none	48	48
Arcade (Short Term)	none	None	6	6
Level 1	6	10	none	16
Level 2	none	8	none	8
Level 3	none	9	none	9
Level 4	none	9	none	9
Level 5	none	9	none	9
Level 6	none	9	none	9
Level 7	none	none	none	0
Level 8	none	none	none	
Level 9	none	none	none	
Level 10	none	none	none	
Level 11	none	none	none	
Level 12	none	none	none	
Total Bike Parking	6	54	54	114

BIKE RACK

	Required	Provided
Large Bicycle Space 5%	5.60	6
Horizontal Bicycle Parking Min 30%	33.60	54

Floor area Calculation

Level 1	Floor Area	Studio	No. of Toilet
Lobby	126.00 SF		
Amenity	435.00 SF		1
Bike Storage	640.00 SF		
Fitness	445.00 SF		
Fire Command Center	204.00 SF		
Electrical Room	57.00 SF		
Janitor Closet	10.00 SF		
Machine Room	19.00 SF		
Trash Enclosure	123.00 SF		
Corridor	493.16 SF		
Total Area	2,552.16 SF		

Floor Area Calculation

Level 2	Floor Area	Studio	No. of Toilet
Unit 1	300.00 SF	Studio	1
Unit 2	300.00 SF	Studio	1
Unit 3	300.00 SF	Studio	1
Unit 4	340.00 SF	Studio	1
Unit 5	324.00 SF	Studio	1
Unit 6	288.00 SF	Studio	1
Unit 7	288.00 SF	Studio	1
Unit 8	288.00 SF	Studio	1
Total Number of Units	2,428.00 SF		8

Floor Area Calculation

Level 2	Floor Area	Studio	No. of Toilet
Unit 1	300.00 SF	Studio	1
Unit 2	300.00 SF	Studio	1
Unit 3	300.00 SF	Studio	1
Unit 4	340.00 SF	Studio	1
Unit 5	324.00 SF	Studio	1
Unit 6	288.00 SF	Studio	1
Unit 7	288.00 SF	Studio	1
Unit 8	288.00 SF	Studio	1
Total Number of Units	2,428.00 SF		8

Level 3 to 12	Floor Area	Studio	No. of Toilet
Unit 1	300.00 SF	Studio	1
Unit 2	300.00 SF	Studio	1
Unit 3	300.00 SF	Studio	1
Unit 4	340.00 SF	Studio	1
Unit 5	324.00 SF	Studio	1
Unit 6	288.00 SF	Studio	1
Unit 7	288.00 SF	Studio	1
Unit 8	288.00 SF	Studio	1
Unit 9	360.00 SF	Studio	1
Total Number of Units	2,788.00 SF		9

Location	No of Units
Level 1	0
Level 2	8
Level 3	9
Level 4	9
Level 5	9
Level 6	9
Level 7	9
Level 8	9
Level 9	9
Level 10	9
Level 11	9
Level 12	9
Total Number of Units	98

Lot Area	6,000.00 SF
-----------------	--------------------

Outdoor Area Calculation

98 Units x 36 sf	3,528.00 SF
Amenity	435.00 SF
Fitness Room	445.00 SF
Rooftop Lounge	2,669.00 SF
Total Outdoor area	3,549.00 SF

Landscape Area Calculation

Building Footprint	3,187.00 SF	53.12%
Compactor	80.00 SF	1.33%
Plaza/Walkway (15%)	1,527.00 SF	229.05 SF
Arcade/Courtyard (15%)	512.00 SF	76.80 SF
Landscape	694.00 SF	694.00 SF
Total Landscape Area	6,000.00	999.85 SF 16.23%

LOT AREA

LANDSCAPE AREA CALCULATION	6,000.00 SF
AREA 1	415.00 SF
AREA 1.1	133.00 SF
AREA 2	77.00 SF
AREA 3	44.00 SF
AREA 4	25.00 SF
TOTAL LANDSCAPE	694.00 SF

HARDSCAPE AREA CALCULATION

ARCADIE	512.00 SF	76.80 SF
PLAZA/COURTYARD/WALKWAY	1,527.00 SF	229.05 SF
OVERALL LANDSCAPE AREA	16.7%	999.85 SF

1 1ST FLOOR PLAN
SCALE 1/16" = 1-0"

4 OCCUPIED ROOF PLAN
SCALE 1/16" = 1-0"

COMMON AREA CALCULATION

2 2ND FLOOR PLAN
SCALE 1/16" = 1-0"

4 OCCUPIED ROOF PLAN
SCALE 1/16" = 1-0"

1 1ST FLOOR PLAN
SCALE 1/16" = 1-0"

3 3RD-12TH FLOOR PLAN
SCALE 1/16" = 1-0"



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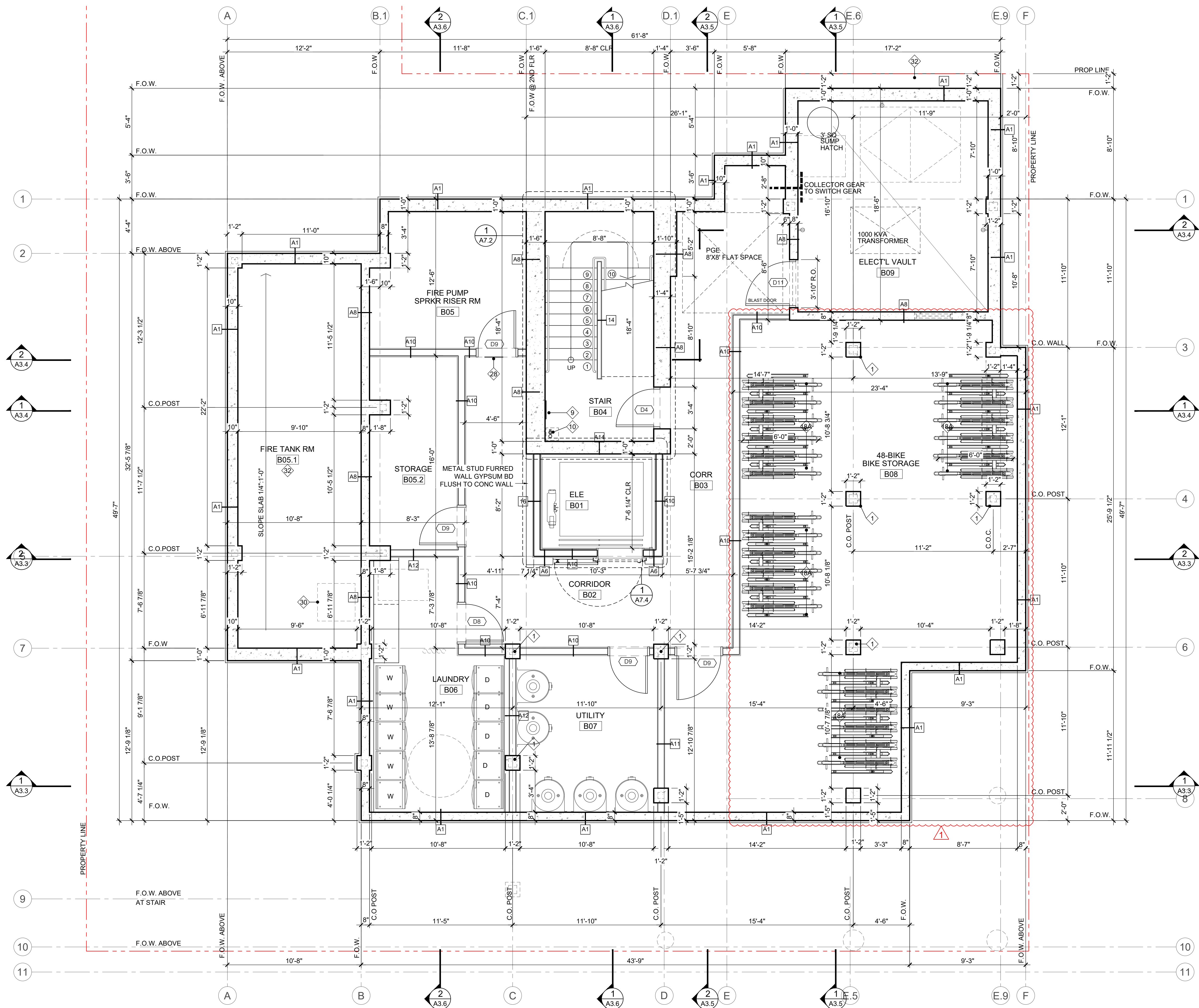
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05.06.22	OWNER/ARCHITECT REVISION

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SHEET CONTENTS
TITLE 33 PLANNING AND ZONING

SHEET NUMBER

A0.0

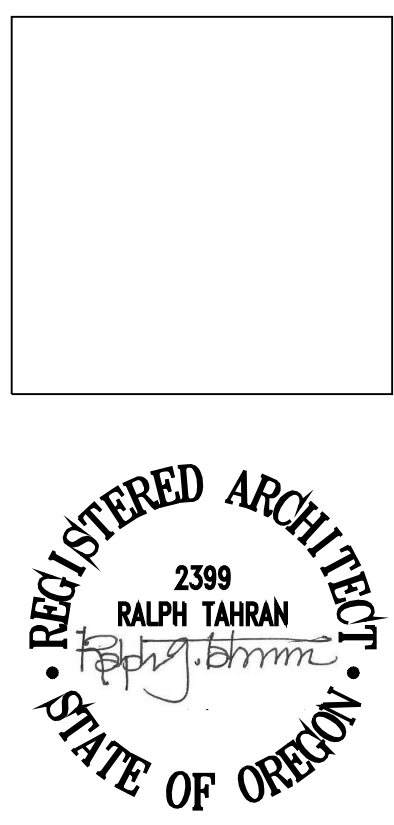


1 BASEMENT FLOOR PLAN
SCALE 1/4" = 1'-0"

KEYNOTES	
1	CONCRETE COLUMN SEE DETAIL 11.11.1/A8.5
1A	COLUMN WRAP SEE DETAIL 10/A8.5
2	CONCRETE BEAM
3	FLOOR ABOVE
4	PLUMBING CHASE
5	ERRC CABINET/CHASE
6	FLOOR DRAIN
7	JULIET BALCONY
8	METAL LOUVER (PAINT MATCH ADJACENT SIDING) PER MECHANICAL
9	STAIR IDENTIFICATION SIGN SEE DETAIL 7/A7.3
10	STANDPIPE SEE DETAIL 3/A8.8
11	TRASH COMPACTOR
12	TRASH BIN
13	TRASH CHUTE
14	MAIL BOX SEE DETAIL 2/A3.7
15	FDC CONNECTION
16	KNOXBOX
17	DOWNSPOUT
18A	BIKE RACK (STACK) SEE DETAIL A4.13
18B	BIKE RACK (FLOOR MOUNTED) SEE DETAIL A4.13
18C	BIKE RACK (WALL MOUNTED) SEE DETAIL A4.13
18D	3'x10' LARGE BICYCLE FLOOR SPACE
19	CONCRETE LOW WALL
20	HOSE BIB
21	WINDOW WELL W/ GUARDRAIL
22	FIXED LADDER
23	WASHER
24	DRYER
25	WATER HEATER
26	ROOF BELOW
27	METAL PLANTER SEE L.1.1
28	SIGN SEE TYPICAL DETAIL 2/A8.9 (CODE SUMMARY SEE A0.2A)
29	FIRE DEPARTMENT CONNECTION SIGN (CODE SUMMARY SEE A0.2A)
30	DOOR SIGNAGE
31	36"x36" ACCESS STRUCTURE
32	SHORING SEE STRUCTURAL DWG
33	WATER PROOF FINISH FLOOR, WALL, CEILING

NOTES	
1.	DIMENSIONS ARE TO GRID LINE OR FACE OF STUD, UNLESS OTHERWISE NOTED.
2.	▷ INDICATES UNIT ENTRY
3.	SEE LANDSCAPE AND CIVIL FOR SITE WORK
4.	SEE SCHEDULE OF WINDOWS A11.1
5.	SEE SCHEDULE OF DOORS A10.1
6.	SEE WALL ASSEMBLY TYPES A0.3, A0.4 SEE FLOOR/CEILING ASSEMBLY TYPES A0.3, A0.4
7.	ENLARGE ARCADE SEE 1/A4.13
8.	ELECTRICAL FIXTURES AND ELECTRICAL LIGHTING PANEL LOCATION SEE ELECTRICAL DRAWINGS.
9.	MECHANICAL EXHAUST FAN AND LOCATION SEE MECHANICALS DRAWINGS.
10.	ALL OUTLETS AND PENETRATIONS AT UNIT DEMISING, STAIR, ELEVATOR, AND CORRIDOR WALLS SHOULD HAVE PUTTY PADS COVERING THE ENTIRE OUTLET.
11.	ALL PENETRATIONS AT UNIT DEMISING, STAIR, ELEVATOR, AND CORRIDOR WALLS NEED TO BE SEALED WITH CAULK PER WALL ASSEMBLY FIRE RATING.
12.	DO NOT SCALE DRAWINGS. EXTERIOR DIMENSIONS ARE TO GRID LINES, AND OUTSIDE FACE. INTERIOR DIMENSION ARE GRID LINES AND FACE OF STUD. OPENINGS ARE DIMENSIONED TO THE CENTER OF THE OPENING, UNO.
13.	CONTRACTOR SHALL VERIFY LOCATIONS AND SIZING OF ALL OPENINGS INCLUDING BUT NOT LIMITED TO HVAC, DOORS AND WINDOWS WITH APPLICABLE SUBCONTRACTORS.
14.	WINDOW LOCATIONS VARIES BY ROOM AND FLOOR LEVEL. SEE ENLARGED PLAN SHEETS, AS WELL AS WINDOW SCHEDULE FOR WINDOW SIZES.
15.	WINDOW SIZES ARE NOMINAL ROUGH OPENING, WIDTH AND HEIGHT.

CARBON MONOXIDE / SMOKE DETECTOR (SC)	
1.	CARBON MONOXIDE ALARM SHOULD OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE SLEEPING ROOM.
2.	CARBON MONOXIDE ALARM SHOULD BE PROVIDED ON EACH OF DWELLING.
3.	SC SYMBOL USED FOR COMBINATION SMOKE DETECTOR/CARBON MONOXIDE DETECTOR.
4.	S/C DETECTORS TO THE 110V, INTERCONNECT WITH BATTERY BACKUP.
5.	LOCATED WITHIN 15 FEET OUTSIDE OF EACH BEDROOM.



SUBMITTED 02-05-21

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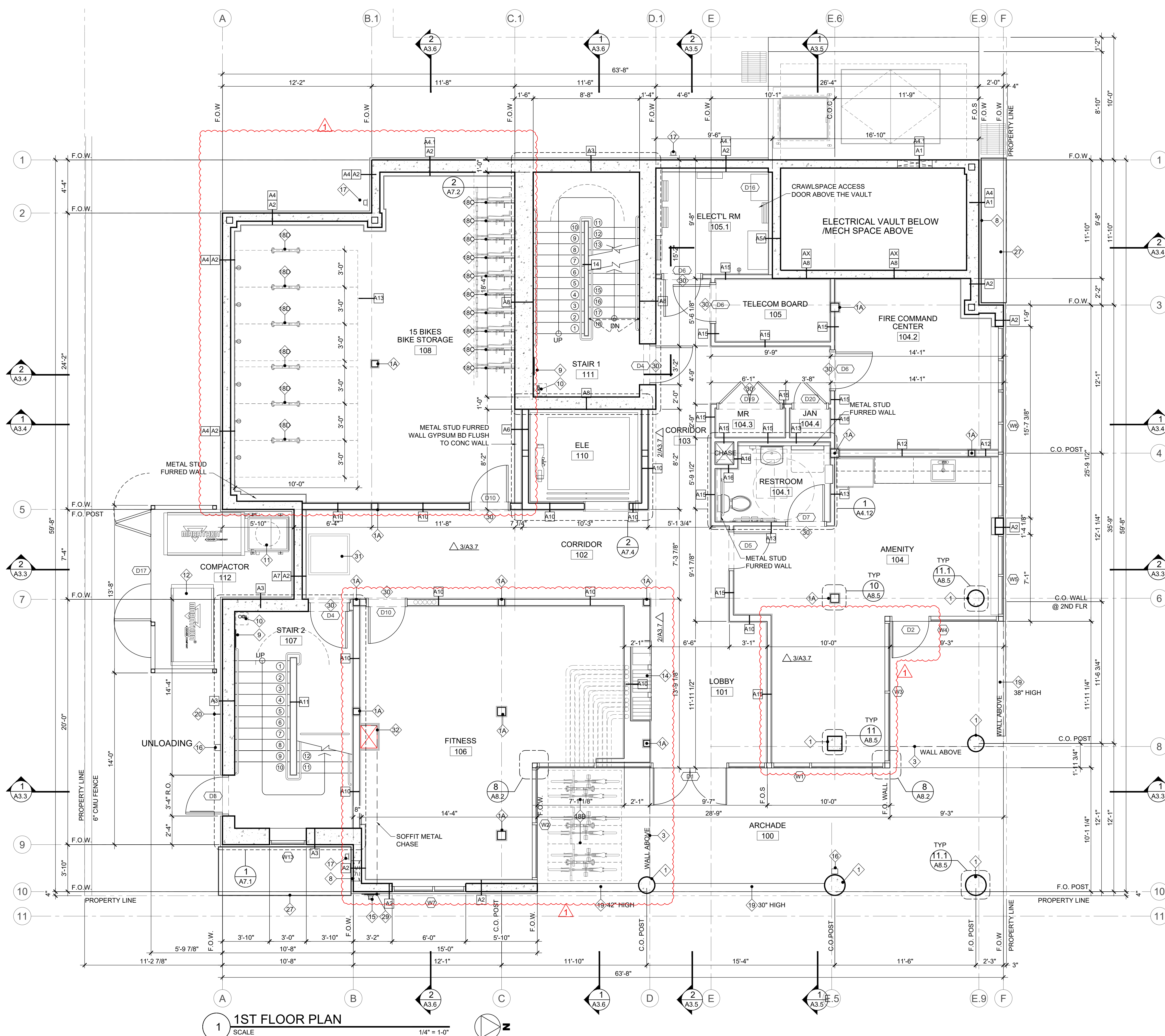
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SHEET CONTENTS
BASEMENT FLOOR PLAN & KEY NOTES

SHEET NUMBER

A2.0



1 1ST FLOOR PLAN
SCALE 1/4" = 1'-0"

KEYNOTES

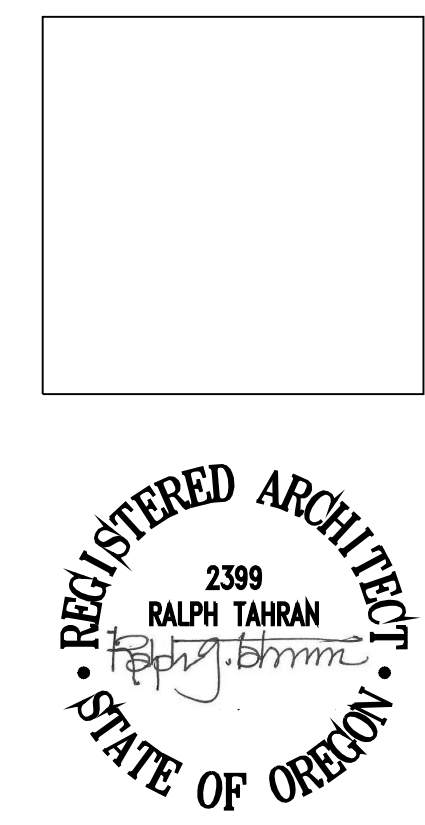
- 1 CONCRETE COLUMN SEE DETAIL 11.11.1/A8.5
- 1A COLUMN WRAP SEE DETAIL 10/A8.5
- 2 CONCRETE BEAM
- 3 FLOOR ABOVE
- 4 PLUMBING CHASE
- 5 ERRC CABINET/CHASE
- 6 FLOOR DRAIN
- 7 JULIET BALCONY
- 8 METAL LOUVER (PAINT MATCH ADJACENT SIDING) PER MECHANICAL
- 9 STAIR IDENTIFICATION SIGN SEE DETAIL 7/A7.3
- 10 STANDPIPE SEE DETAIL 3/A8.8
- 11 TRASH COMPACTOR
- 12 TRASH BIN
- 13 TRASH CHUTE
- 14 MAIL BOX SEE DETAIL 2/A3.7
- 15 FDC CONNECTION
- 16 KNOXBOX
- 17 DOWNSPOUT
- 18A BIKE RACK (STACK) SEE DETAIL A4.13
- 18B BIKE RACK (FLOOR MOUNTED) SEE DETAIL A4.13
- 18C BIKE RACK (WALL MOUNTED) SEE DETAIL A4.13
- 18D 3'x10' LARGE BICYCLE FLOOR SPACE
- 19 CONCRETE LOW WALL
- 20 HOSE BIB
- 21 WINDOW WELL W/ GUARDRAIL
- 22 FIXED LADDER
- 23 WASHER
- 24 DRYER
- 25 WATER HEATER
- 26 ROOF BELOW
- 27 METAL PLANTER SEE L.1
- 28 SIGN SEE TYPICAL DETAIL 2/A8.9 (CODE SUMMARY SEE A0.2A)
- 29 FIRE DEPARTMENT CONNECTION SIGN (CODE SUMMARY SEE A0.2A)
- 30 DOOR SIGNAGE
- 31 36"x36" ACCESS HATCH
- 32 METAL CHASE

NOTES

1. DIMENSIONS ARE TO GRID LINE OR FACE OF STUD, UNLESS OTHERWISE NOTED.
2. ▷ INDICATES UNIT ENTRY
3. SEE LANDSCAPE AND CIVIL FOR SITE WORK
4. SEE SCHEDULE OF WINDOWS A11.1
5. SEE SCHEDULE OF DOORS A10.1
6. SEE WALL ASSEMBLY TYPES A0.3, A0.4 SEE FLOOR/CEILING ASSEMBLY TYPES A0.3, A0.4
7. ENLARGE ARCADE SEE 1/A4.13
8. ELECTRICAL FIXTURES AND ELECTRICAL LIGHTING PANEL LOCATION SEE ELECTRICAL DRAWINGS.
9. MECHANICAL EXHAUST FAN AND LOCATION SEE MECHANICALS DRAWINGS.
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CARBON MONOXIDE / SMOKE DETECTOR (SC)

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4. S/C DETECTORS TO THE 110V, INTERCONNECT WITH BATTERY BACKUP.
5. LOCATED WITHIN 15 FEET OUTSIDE OF EACH BEDROOM.



SUBMITTED 02-05-21
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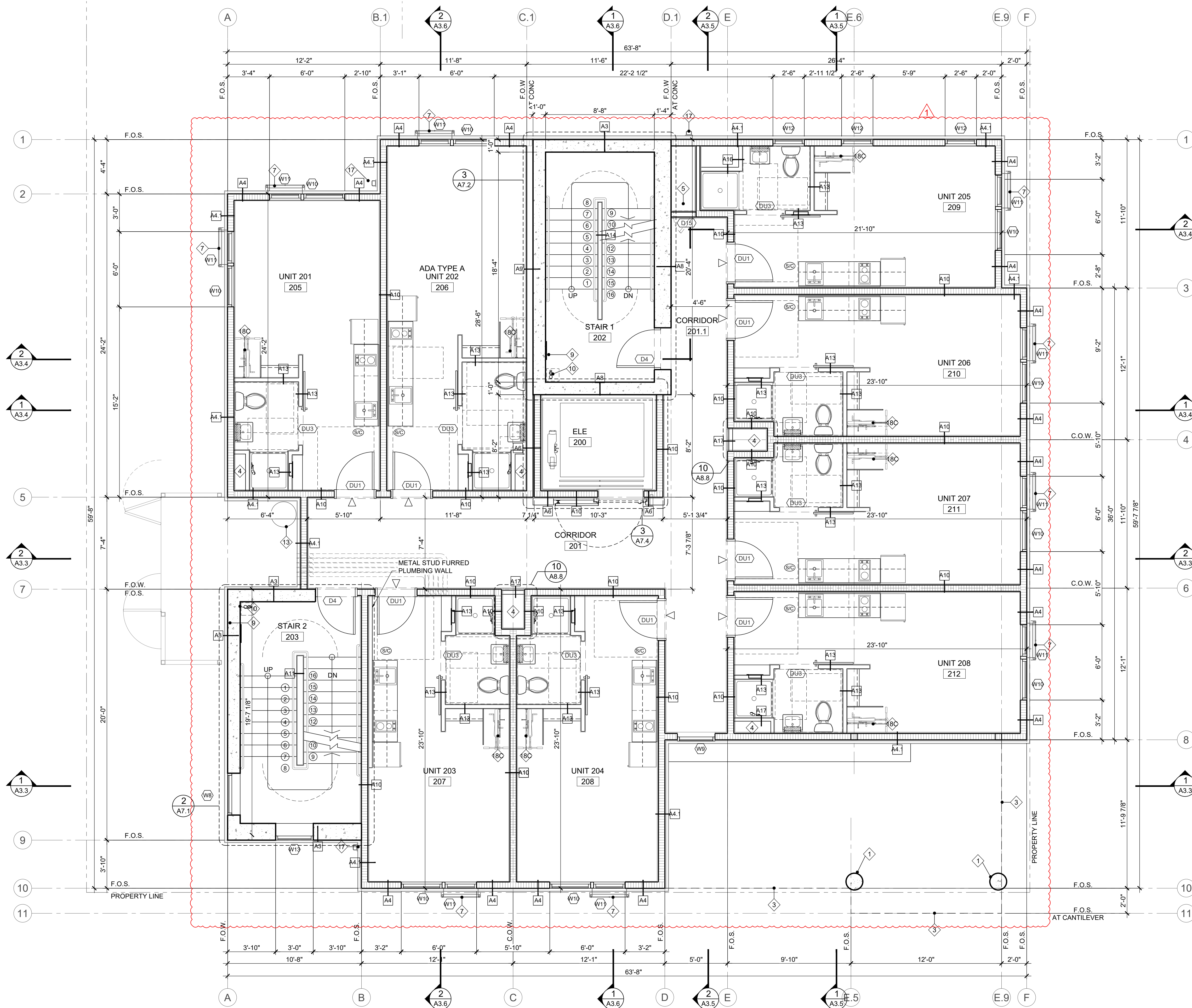
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SHEET CONTENTS
1ST FLOOR PLAN & KEY NOTES

SHEET NUMBER

A2.1

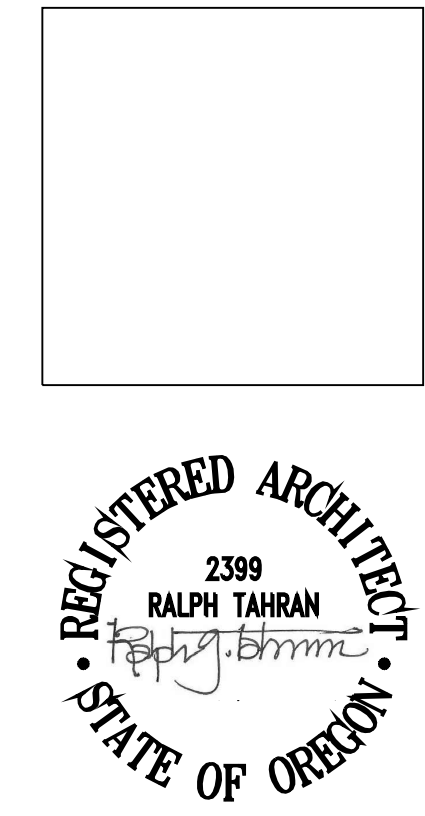


1 SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

- ### KEYNOTES
- 1 CONCRETE COLUMN SEE DETAIL 11.11.1/A8.5
 - 1A COLUMN WRAP SEE DETAIL 10/A8.5
 - 2 CONCRETE BEAM
 - 3 FLOOR ABOVE
 - 4 PLUMBING CHASE
 - 5 ERRC CABINET/CHASE
 - 6 FLOOR DRAIN
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 - 10 STANDPIPE SEE DETAIL 3/A8.8
 - 11 TRASH COMPACTOR
 - 12 TRASH BIN
 - 13 TRASH CHUTE
 - 14 MAIL BOX SEE DETAIL 2/A3.7
 - 15 FDC CONNECTION
 - 16 KNOXBOX
 - 17 DOWNSPOUT
 - 18A BIKE RACK (STACK) SEE DETAIL A4.13
 - 18B BIKE RACK (FLOOR MOUNTED) SEE DETAIL A4.13
 - 18C BIKE RACK (WALL MOUNTED) SEE DETAIL A4.13
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 - 20 HOSE BIB
 - 21 WINDOW WELL W/ GUARDRAIL
 - 22 FIXED LADDER
 - 23 WASHER
 - 24 DRYER
 - 25 WATER HEATER
 - 26 ROOF BELOW
 - 27 METAL PLANTER SEE L.1

- ### NOTES
1. DIMENSIONS ARE TO GRID LINE OR FACE OF STUD, UNLESS OTHERWISE NOTED.
 2. ▷ INDICATES UNIT ENTRY
 3. SEE LANDSCAPE AND CIVIL FOR SITE WORK
 4. SEE SCHEDULE OF WINDOWS A11.1
 5. SEE SCHEDULE OF DOORS A10.1
 6. SEE WALL ASSEMBLY TYPES A0.3, A0.4 SEE FLOOR/CEILING ASSEMBLY TYPES A0.3, A0.4
 7. ENLARGE ARCADE SEE 1/A4.13
 8. ELECTRICAL FIXTURES AND ELECTRICAL LIGHTING PANEL LOCATION SEE ELECTRICAL DRAWINGS.
 9. MECHANICAL EXHAUST FAN AND LOCATION SEE MECHANICALS DRAWINGS.
 10. ALL OUTLETS AND PENETRATIONS AT UNIT DEMISING, STAIR, ELEVATOR, AND CORRIDOR WALLS SHOULD HAVE PUTTY PADS COVERING THE ENTIRE OUTLET.
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 4. S/C DETECTORS TO THE 110V, INTERCONNECT WITH BATTERY BACKUP.
 5. LOCATED WITHIN 15 FEET OUTSIDE OF EACH BEDROOM.



SUBMITTED 02-05-21

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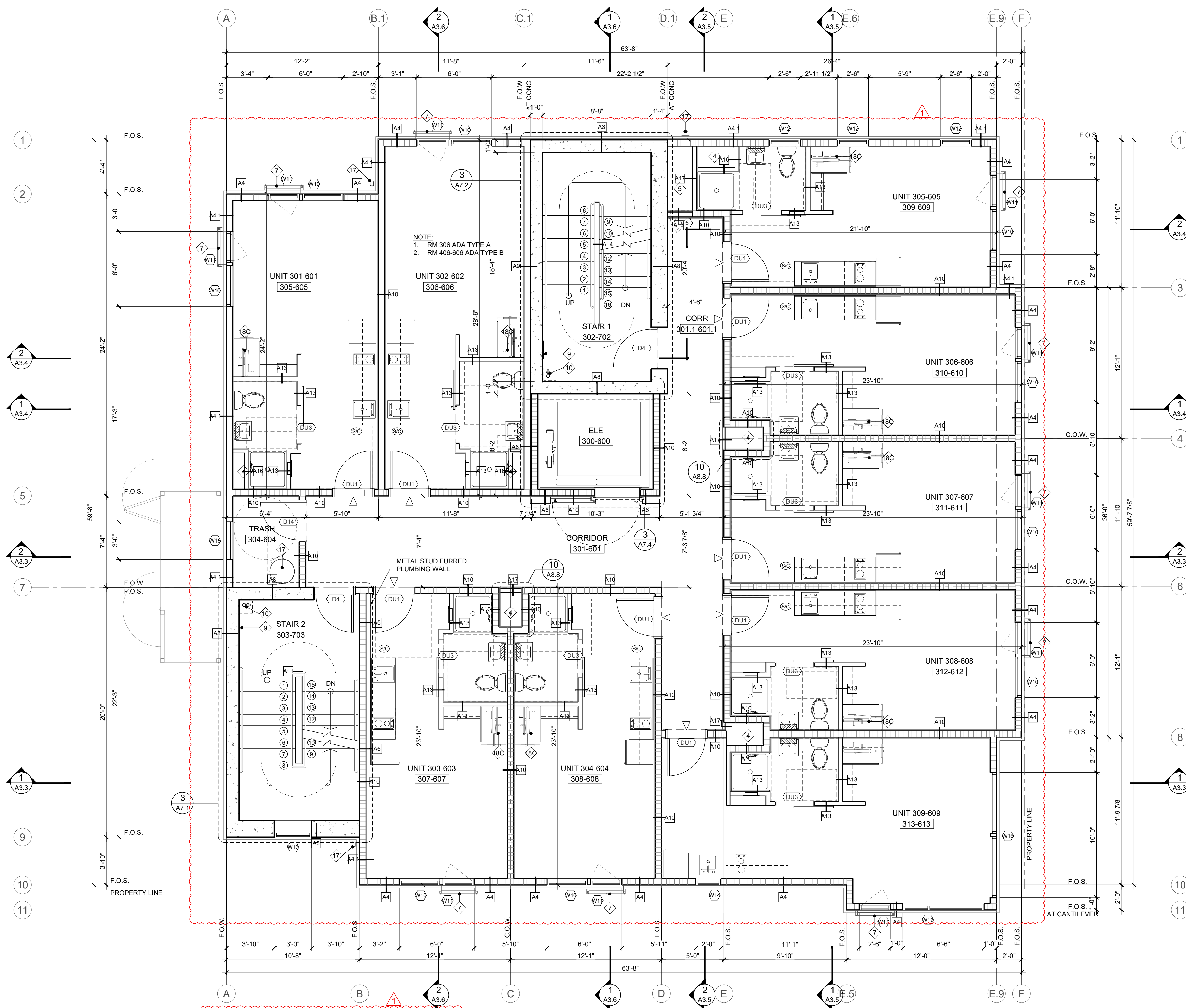
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SHEET CONTENTS
2ND FLOOR PLAN & KEY NOTES

SHEET NUMBER

A2.2

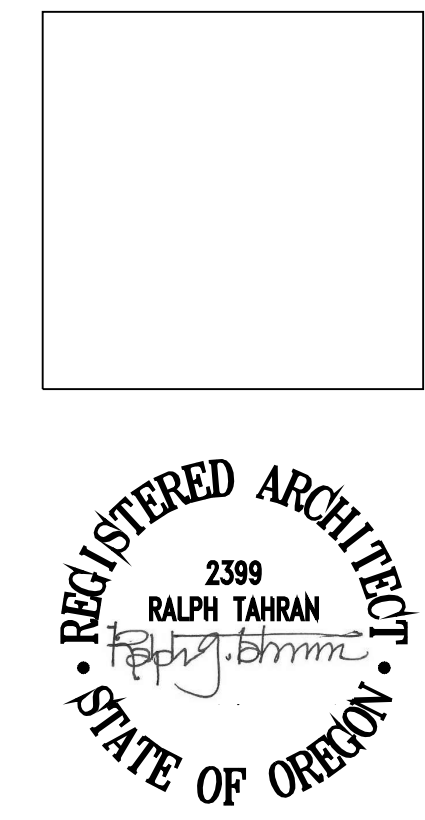


1 TYPICAL 3RD-6TH FLOOR PLAN
SCALE 1/4" = 1'-0"

- ### KEYNOTES
- 1 CONCRETE COLUMN SEE DETAIL 11.11.1/A8.5
 - 1A COLUMN WRAP SEE DETAIL 10/A8.5
 - 2 CONCRETE BEAM
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 - 26 ROOF BELOW
 - 27 METAL PLANTER SEE L.1.1

- ### NOTES
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 4. SEE SCHEDULE OF WINDOWS A11.1
 5. SEE SCHEDULE OF DOORS A10.1
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 7. ENLARGE ARCADE SEE 1/A4.13
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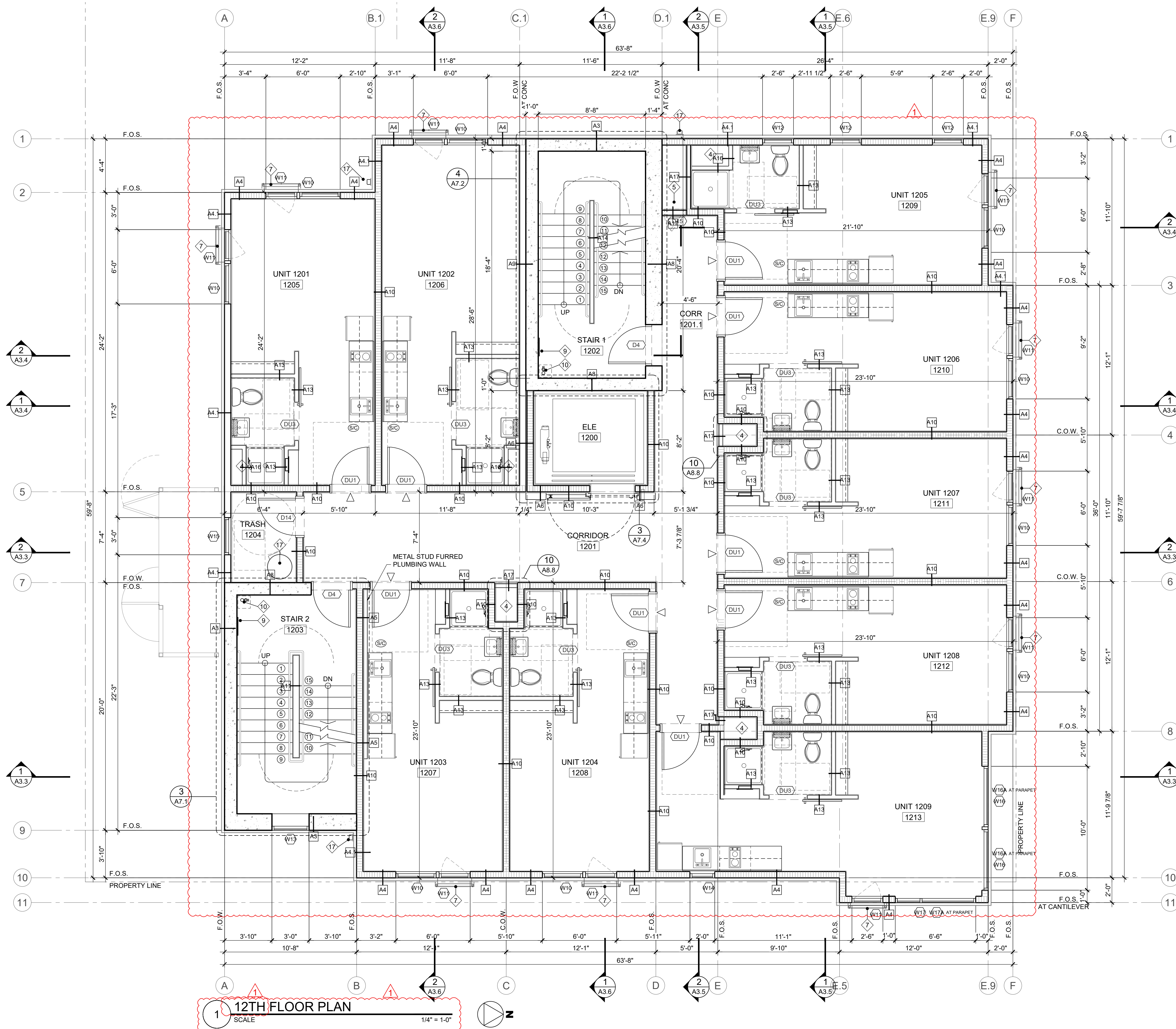
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SHEET CONTENTS
 TYPICAL
 3RD-6TH
 FLOOR PLAN
 & KEY NOTES

SHEET NUMBER

A2.3

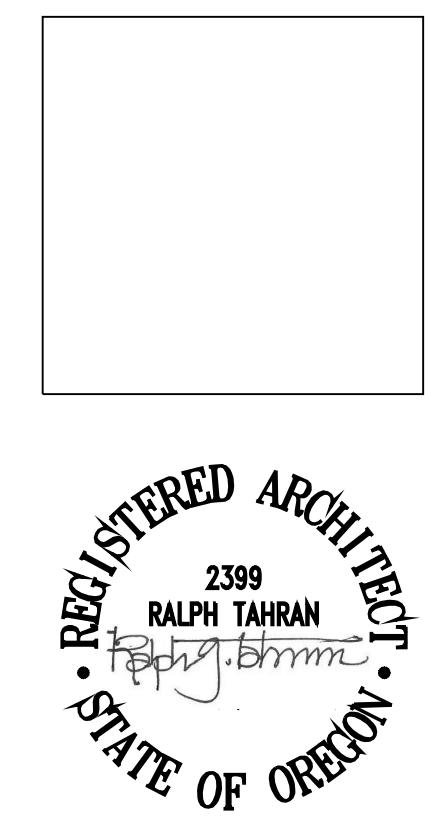


12TH FLOOR PLAN
SCALE 1/4" = 1'-0"

KEYNOTES	
1	CONCRETE COLUMN SEE DETAIL 11.11.1/A8.5
1A	COLUMN WRAP SEE DETAIL 10/A8.5
2	CONCRETE BEAM
3	FLOOR ABOVE
4	PLUMBING CHASE
5	ERRC CABINET/CHASE
6	FLOOR DRAIN
7	JULIET BALCONY
8	METAL LOUVER (PAINT MATCH ADJACENT SIDING) PER MECHANICAL
9	STAIR IDENTIFICATION SIGN SEE DETAIL 7/A7.3
10	STANDPIPE SEE DETAIL 3/A8.8
11	TRASH COMPACTOR
12	TRASH BIN
13	TRASH CHUTE
14	MAIL BOX SEE DETAIL 2/A3.7
15	FDC CONNECTION
16	KNOXBOX
17	DOWNSPOUT
18A	BIKE RACK (STACK) SEE DETAIL A4.13
18B	BIKE RACK (FLOOR MOUNTED) SEE DETAIL A4.13
18C	BIKE RACK (WALL MOUNTED) SEE DETAIL A4.13
18D	3'X10' LARGE BICYCLE FLOOR SPACE
19	CONCRETE LOW WALL
20	HOSE BIB
21	WINDOW WELL W/ GUARDRAIL
22	FIXED LADDER
23	WASHER
24	DRYER
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27	METAL PLANTER SEE L.1.1

NOTES	
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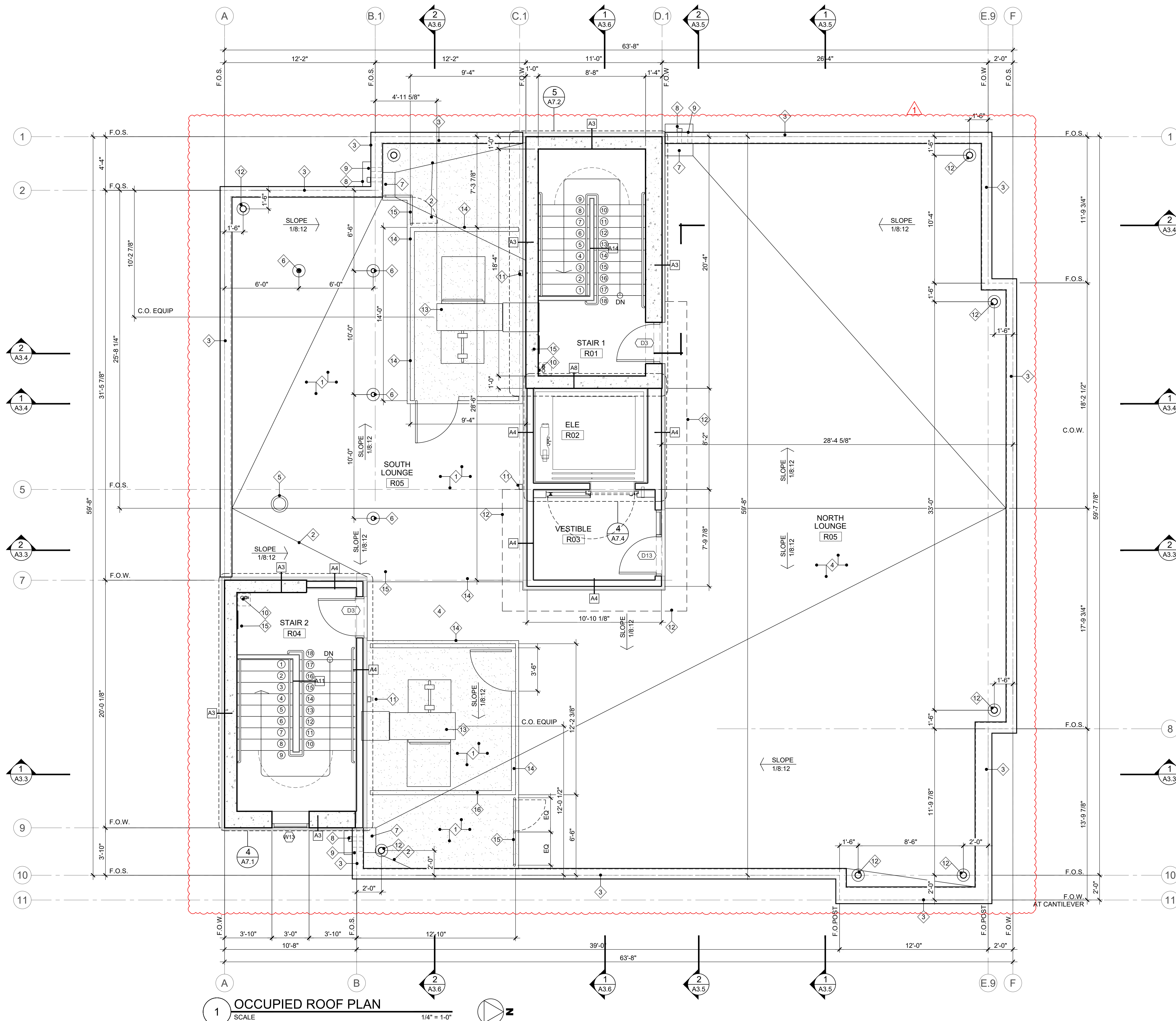
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SHEET CONTENTS
12TH FLOOR PLAN & KEY NOTES
SHEET NUMBER
A2.4

LU 22-157148 DZM A-9



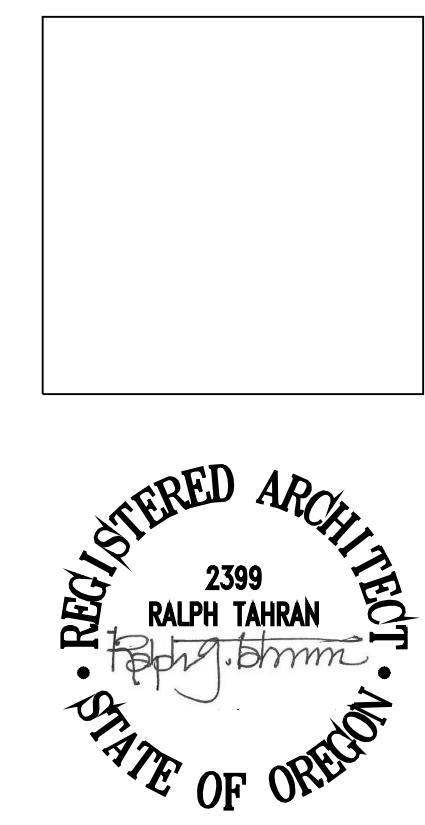
1 OCCUPIED ROOF PLAN
SCALE 1/4" = 1'-0"

KEY NOTES

- 1 TPO ROOFING
- 2 VALLEY DRAIN TOWARDS ROOF DRAIN AND OVERFLOW SCUPPER OPENING
- 3 FACTORY BUILT PARAPET TYPICAL
- 4 TPO WITH RUBBER MATT
- 5 TRASH CHUTE
- 6 FALL PROTECTION SEE DETAIL 1/A8.8
- 7 ROOF DRAIN
- 8 GUTTER/SCUPPER SEE DETAIL 2/A8.7
- 9 OVERFLOW SEE DETAIL 3/A8.7
- 10 STANDPIPE SEE DETAIL 3/A8.8
- 11 DOWNSPOUT
- 12 ROOF DAVITS
- 13 MECH EQUIPMENT SEE MECH PLAN
- 14 MECH SCREEN
- 15 GUARDRAIL/FENCE WITH 36" WIDE GATE

GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF STUD U.N.O.
 2. SEE SHEET C FOR SYMBOLS AND LEGENDS
 3. SEE SHEET A10.1 FOR DOOR SCHEDULES AND DETAILS
 4. SEE SHEET MECHANICAL FOR EQUIPMENT LAYOUT AND INFORMATION
 5. SEE SHEET A0.3 FOR WALL ASSEMBLY TYPE
 6. SEE SHEET A7.1, A7.2 & A7.3 FOR ENLARGE STAIR PLAN/SECTION
- OUTRIGGER BEAM TIEBACK ANCHORS FOR SWING-STAGES MUST BE RATED FOR 4 TIMES THE HOIST MOTOR CAPACITY. MOST SWING STAGE HOIST MOTORS ARE RATED AT 1,000 LBS SO THE ROOF ANCHORS CHOSEN MUST BE RATED FOR 4,000 LBS. 29 CFR 1926.451(D)(1)
- PERSONAL FALL ARREST SYSTEMS SHALL LIMIT THE MAXIMUM ARRESTING FORCE ON A WORKER TO 1,800 POUNDS WHEN USED WITH A BODY HARNESS. 29 CFR 1926.502(D)(16)(ii)
- FALL ARREST ANCHOR POINTS: A NON-CERTIFIED ANCHOR POINT MUST PROVIDE SUFFICIENT STRENGTH TO WITHSTAND 5,000 POUNDS PER ATTACHED WORKER. 29 CFR 1926.502(D)(15) A CERTIFIED ANCHOR MUST BE CAPABLE OF WITHSTANDING TWICE THE POTENTIAL IMPACT ENERGY OF A WORKER FREE FALLING A DISTANCE OF 6 FEET. 29 CFR 1926.502(D)(16)(V) THE CERTIFIED ANCHOR CHOSEN MUST BE RATED FOR AT LEAST 3,600 POUNDS.
- WHEN USING ROOF ANCHORS (INDEPENDENTLY) FOR FALL ARREST AND AS OUTRIGGER BEAM TIEBACKS, A MINIMUM RATING OF 4,000 POUNDS IS REQUIRED.



SUBMITTED 02-05-21

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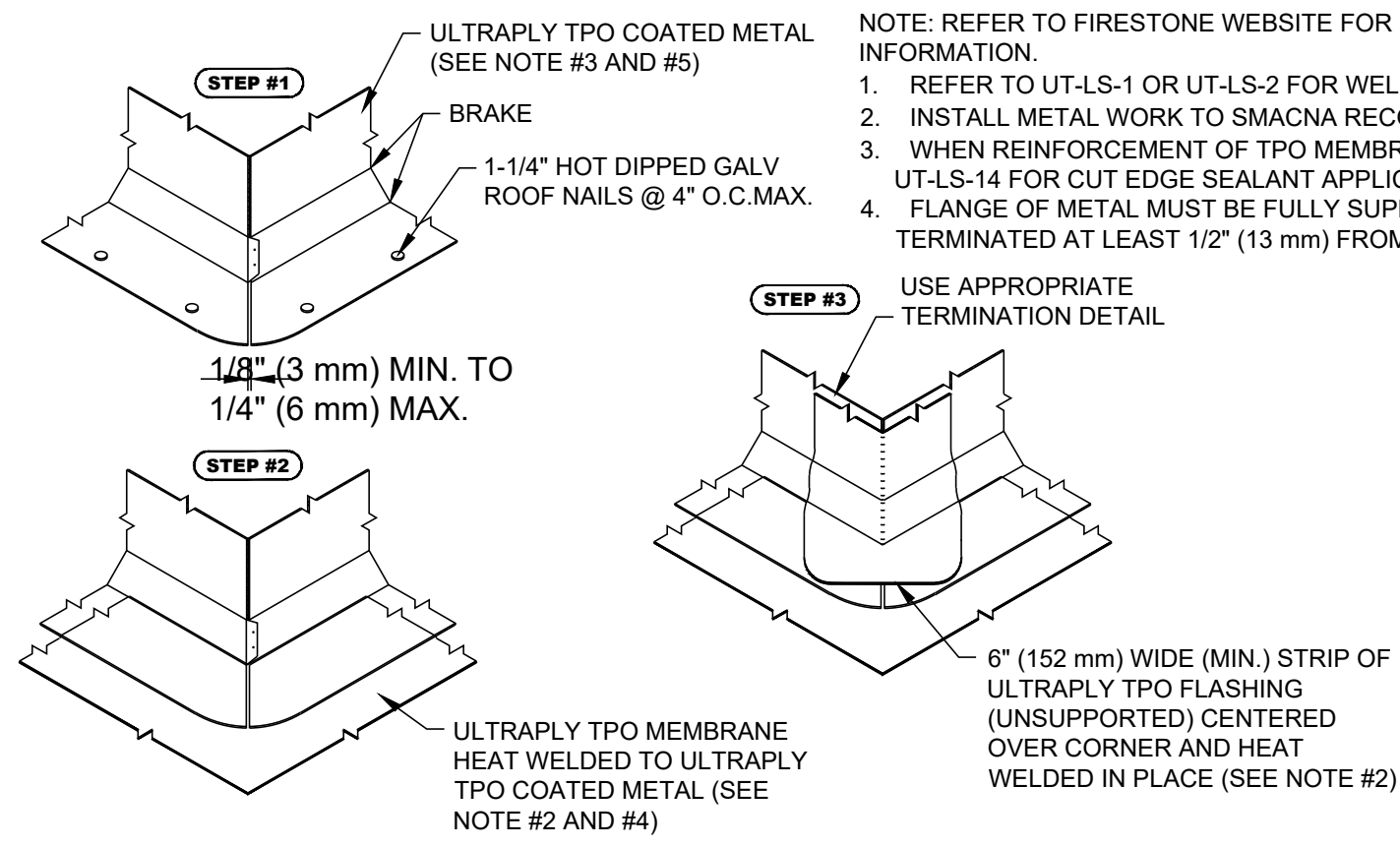
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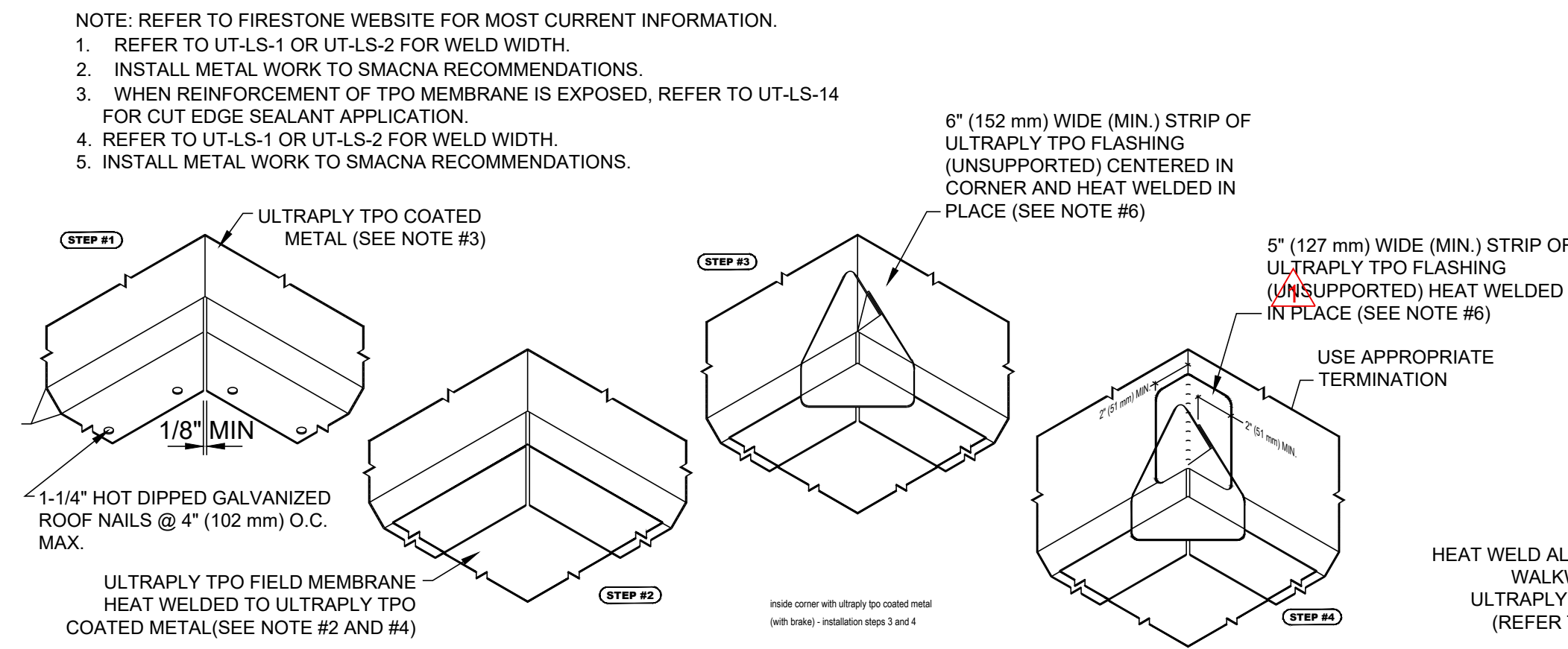
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OCCUPIED ROOF PLAN & KEYNOTES

SHEET NUMBER

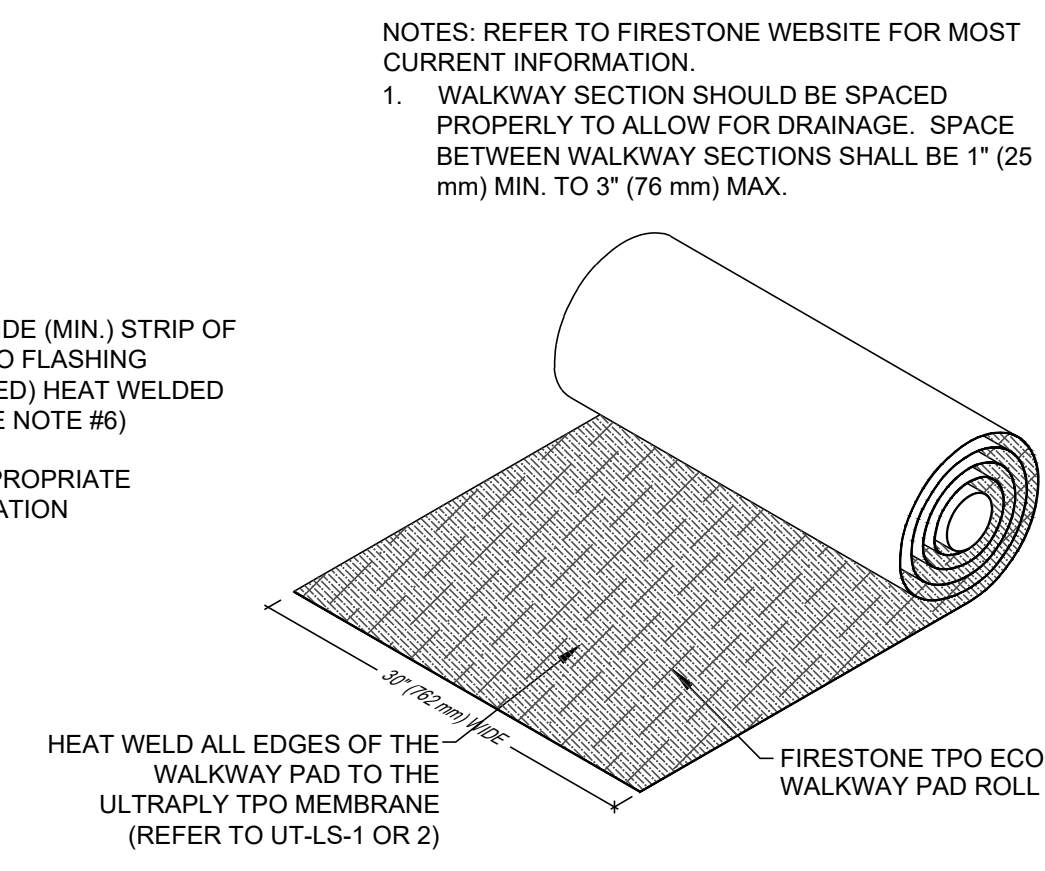
A2.5



2 TYPICAL OUTSIDE CORNER CANT DETAIL
N.T.S.



3 TYPICAL INSIDE CORNER CANT DETAIL
N.T.S.



KEY NOTES

- 1 TPO ROOFING
- 2 METAL COPPING SEE DETAIL 5/A8.7
- 3 FALL PROTECTION
- 4 VALLEY DRAIN TOWARDS ROOF DRAIN AND OVERFLOW SCUPPER OPENING
- 5 SCUPPER/GUTTER SEE DETAIL 6, 10/A8.7
- 6 FALL PROTECTION SEE DETAIL 1/A8.8
- 7 ROOF BELOW
- 8 ROOF DAVIT

SUBMITTED 02-05-21



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SW PARK APARTMENTS
2059 SW PARK AVE,
PORTLAND OR. 97201

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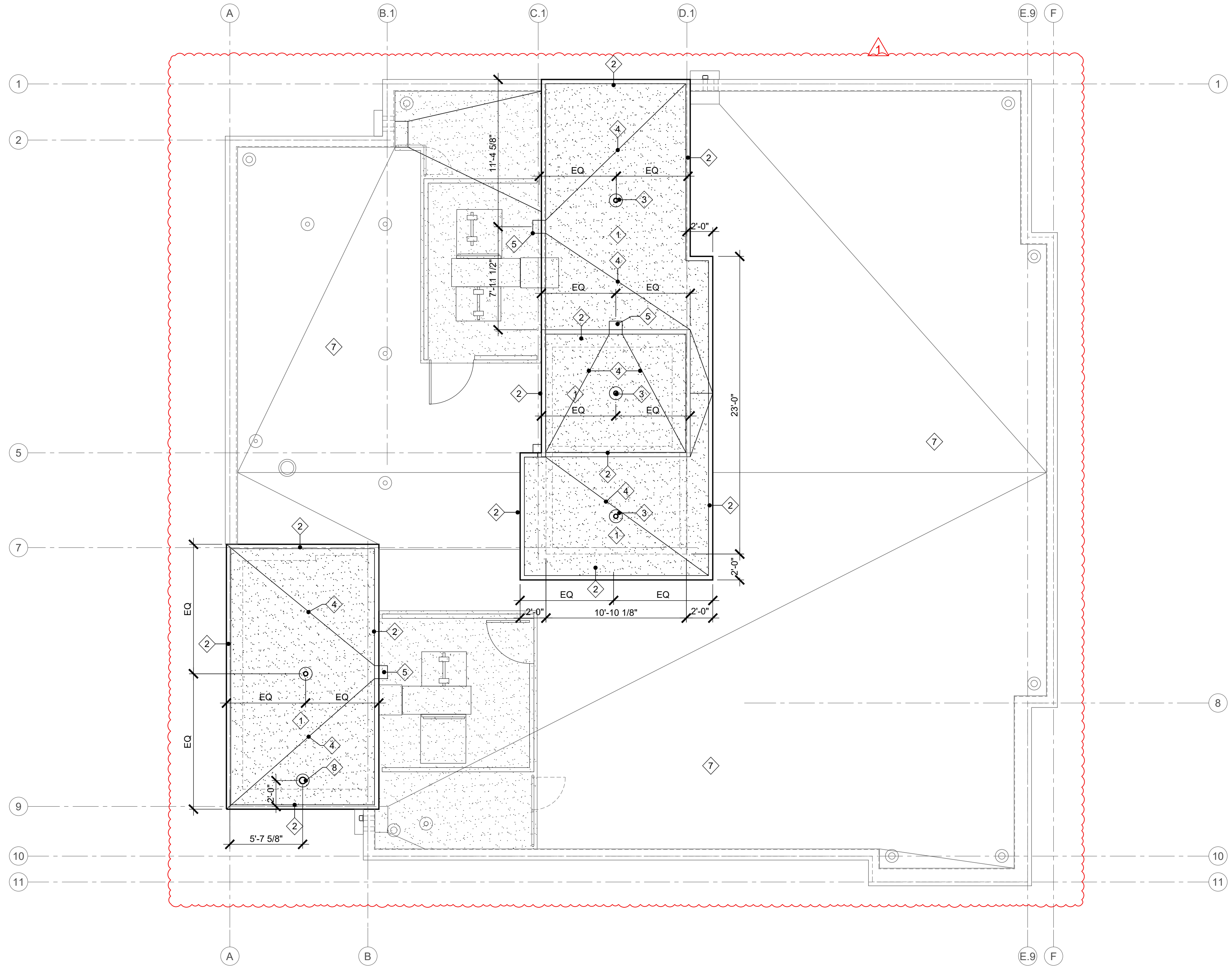
PROJ NO.
2021-012

SHEET CONTENTS
ROOF PLAN
& KEY NOTES

SHEET NUMBER

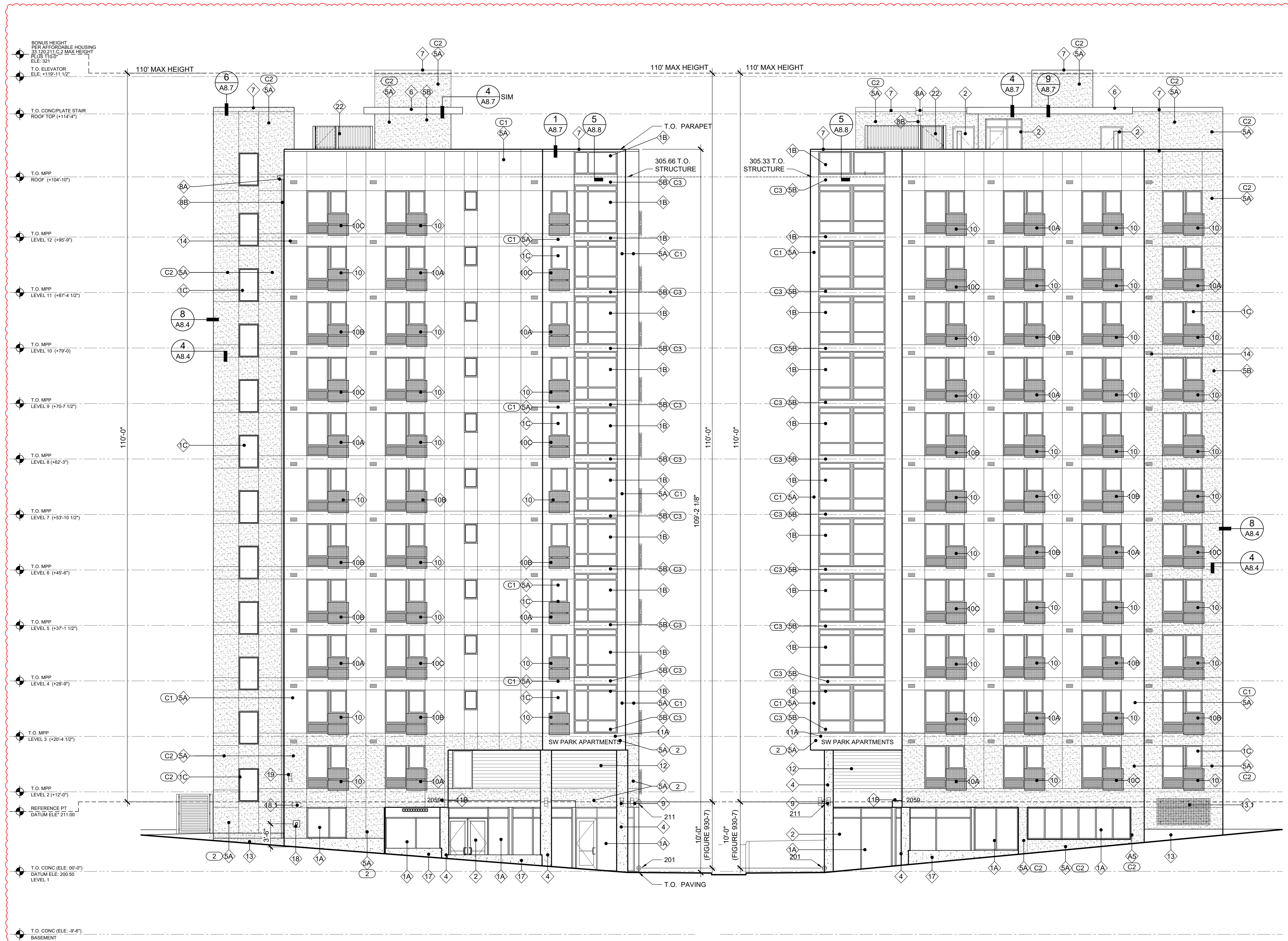
A2.6

LU 22-157148 DZM A-9



1 ROOF PLAN
SCALE 3/16" = 1'-0"

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GENERAL NOTES

1. ALL KEYNOTES APPLY TO ELEVATIONS / SECTIONS
2. SEE SHEET A9.1 - WINDOW SCHEDULE
3. SEE SHEET A10.1 - DOOR SCHEDULE
4. SEE SHEET A12.1-A12.3 - WALL PENETRATION DETAILS
5. SEE SHEET A0.3-A0.4 - WALL ASSEMBLY
6. SEE SHEET A0.4 - FLOOR, CEILING, ROOF ASSEMBLY

KEY NOTES

- 1A WINDOW TYPE 1 (BLACK FRAME) SEE SCHEDULE
- 1B WINDOW TYPE 2 (BLACK FRAME) SEE SCHEDULE
- 1C WINDOW TYPE 3 (BLACK FRAME) SEE SCHEDULE
- 2 DOOR PER SCHEDULE
- 3 CONCRETE LOW WALL
- 4 CONCRETE POST
- 5A STUCCO TYPE 1
- 5B STUCCO TYPE 2
- 6 PRE-FINISH METAL FASCIA BOARD (PAINT MATCH ADJACENT SIDING)
- 7 PRE-FINISH METAL FLASHING (PARAPET CAP)
- 8A SCUPPER/GUTTER (PAINT MATCH ADJACENT SIDING)
- 8B DOWNSPOUT (PAINT MATCH ADJACENT SIDING)
- 8C OVERFLOW (PAINT MATCH ADJACENT SIDING)
- 9 EXTERIOR LIGHTING
- 10 SIDING PANEL TYPE 1 COLOR SW 7072
- 10A SIDING PANEL TYPE 2 COLOR SW 7747
- 10B SIDING PANEL TYPE 3 COLOR SW 7613
- 10C SIDING PANEL TYPE 4 COLOR SW 0071
- 11A BUILDING SIGNAGE
- 11B BUILDING ADDRESS
- 12 LAMINATED WOOD PANEL
- 13 METAL PLANTER
- 13A 4'X8' GREEN WALL
- 14 VENT (PAINT MATCH ADJACENT SIDING)
- 15 METAL LOUVER (PAINT MATCH ADJACENT SIDING)
- 16 HANDRAIL SEE DETAIL 4/A1.2
- 17 CONCRETE WALL FORM BOARD FINISH
- 18 FDC CONNECTION
- 18A FDC SIGNAGE
- 19 HOSE BIB
- 20 42" HIGH GUARDRAIL
- 21 42" HIGH WINDOW WELL GUARDRAIL
- 22 7' HIGH EQUIPMENT METAL PANEL SCREEN
- 23 4" DIA PVC PERF PIPE IN FREE DRAINING SAND AND GRAVEL ON 1" - 1 1/4" DRAINAGE ROCK WRAP PIPE MIRAFI-140N FILTER FABRIC

COLORS

- C1 STUCCO - STO 16003 -85 SHERWIN WILLIAMS RGB: 232,231,223
- C2 STUCCO - STO MEDIUM GRAY SHERWIN WILLIAMS RGB: 196,196,193
- C3 DARK - CHARCOAL BLACK COLOR MATCH WINDOW FRAME

GLAZING AREA CALCULATION	
EAST ELEVATION	
WALL AREA	7,010.00 SF
REQUIRED GLAZING 15%	1,051.50 SF
PROVIDED	1,663.00 SF
PERCENTAGE	23.72%
NORTH ELEVATION	
WALL AREA	6,588.00 SF
REQUIRED GLAZING 15%	988.20 SF
PROVIDED	2,048.00 SF
PERCENTAGE	31.09%

1 EAST ELEVATION
SCALE 1/8" = 1'-0"

33.930.050 MEASURING HEIGHT
A.1.a.(1) (2)
210 - HIGHEST GRADE
199.5 - LOWEST GRADE
10.5 - USE FIGURE 930-7
200+10 = 210 REFERENCE POINT

2 NORTH ELEVATION
SCALE 1/8" = 1'-0"



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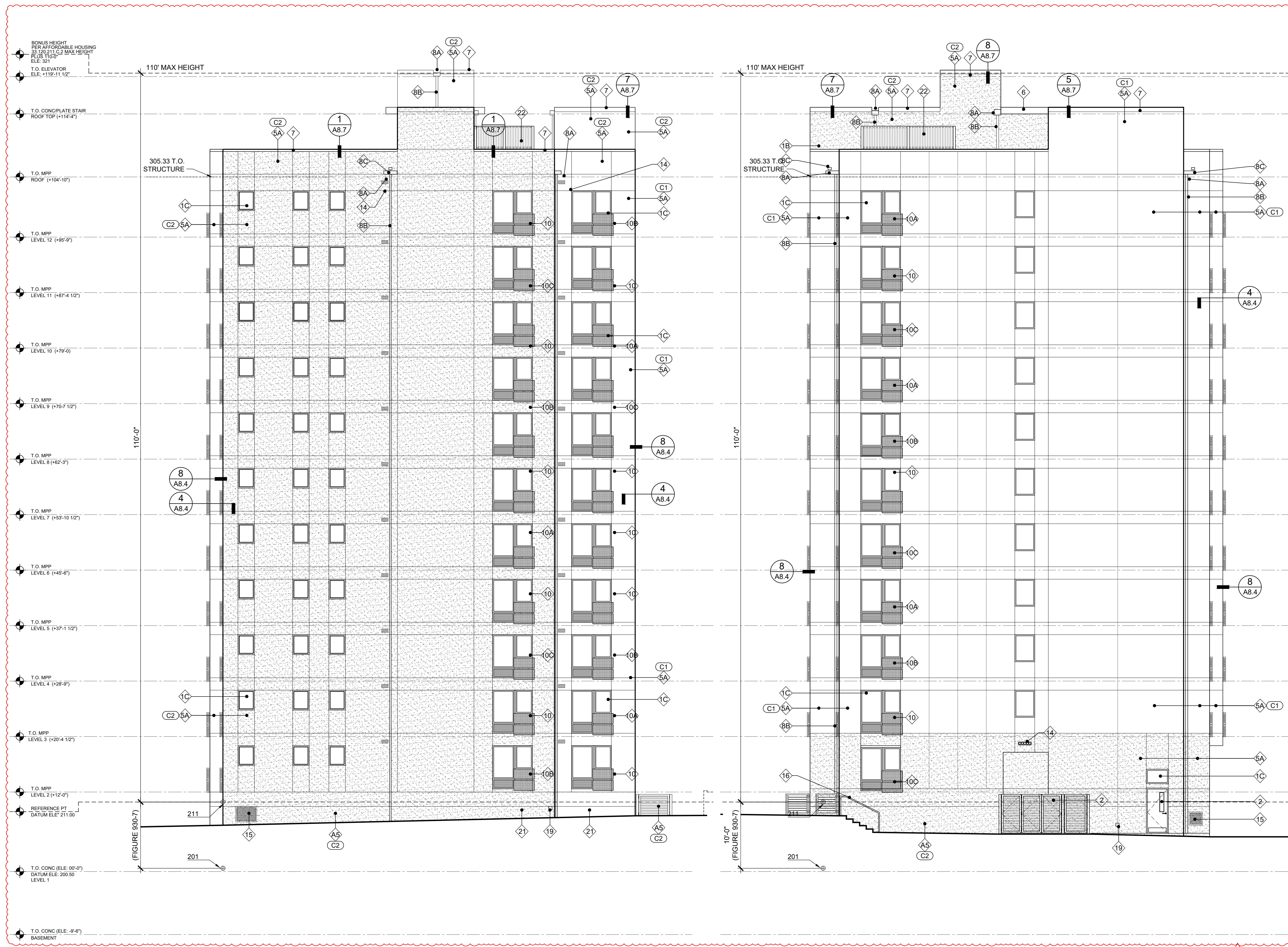
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SHEET CONTENTS
BUILDING ELEVATIONS & KEY NOTES

SHEET NUMBER

A3.1



GENERAL NOTES

1. ALL KEYNOTES APPLY TO ELEVATIONS / SECTIONS
2. SEE SHEET A9.1 - WINDOW SCHEDULE
3. SEE SHEET A10.1 - DOOR SCHEDULE
4. SEE SHEET A12.1-A12.3 - WALL PENETRATION DETAILS
5. SEE SHEET A0.3-A0.4 - WALL ASSEMBLY
6. SEE SHEET A0.4 - FLOOR, CEILING, ROOF ASSEMBLY

KEY NOTES

- 1A WINDOW TYPE 1 (BLACK FRAME) SEE SCHEDULE
- 1B WINDOW TYPE 2 (BLACK FRAME) SEE SCHEDULE
- 1C WINDOW TYPE 3 (BLACK FRAME) SEE SCHEDULE
- 2 DOOR PER SCHEDULE
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- 23 4" DIA PVC PERF PIPE IN FREE DRAINING SAND AND GRAVEL ON 1" - 1 1/4" DRAINAGE ROCK WRAP PIPE MIRAFI-140N FILTER FABRIC

COLORS

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- C2 STUCCO - STO MEDIUM GRAY SHERWIN WILLIAMS RGB: 196,196,193
- C3 DARK - CHARCOAL BLACK COLOR MATCH WINDOW FRAME

1 WEST ELEVATION
SCALE 1/8" = 1'-0"

2 SOUTH ELEVATION
SCALE 1/8" = 1'-0"



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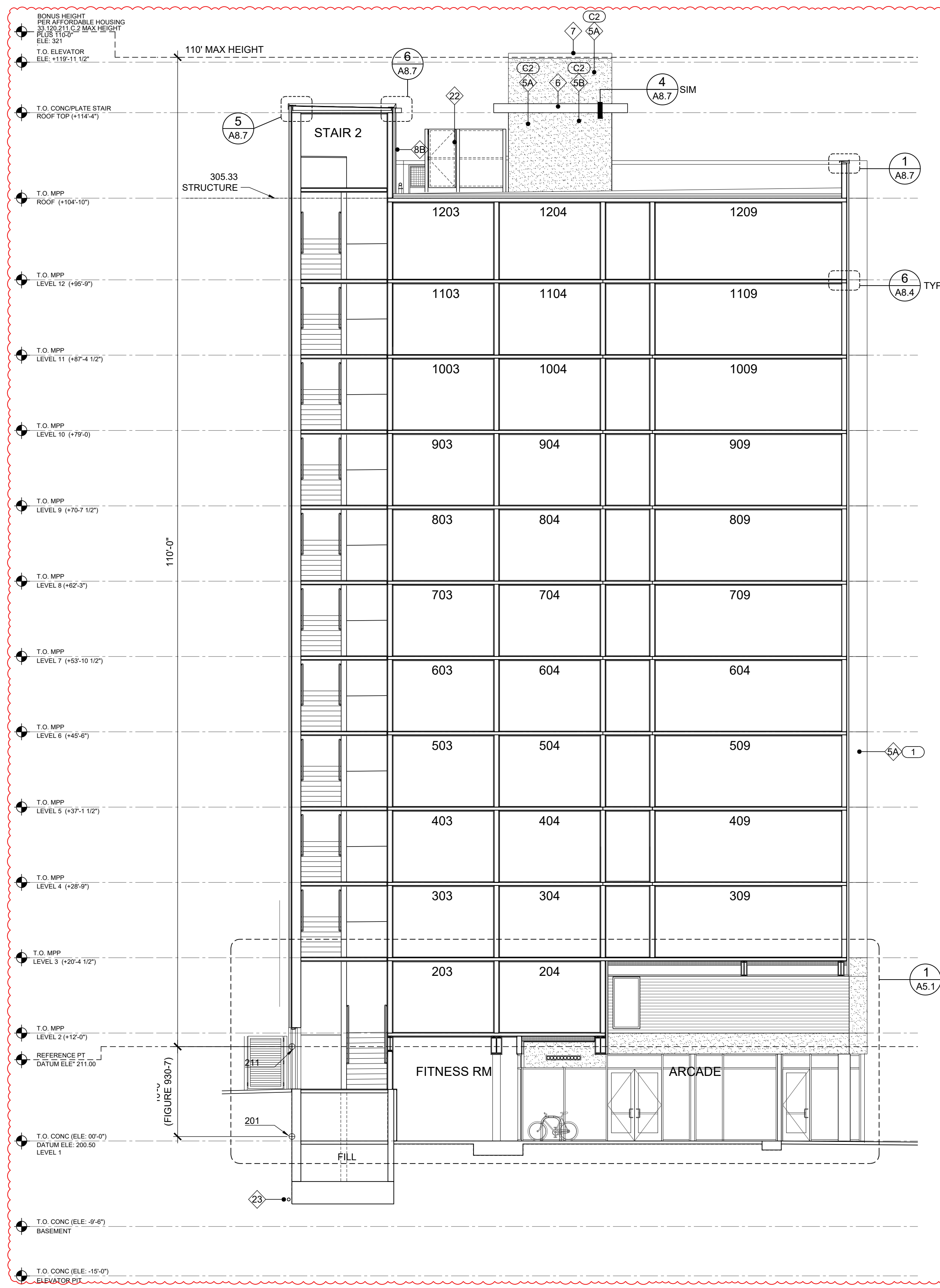
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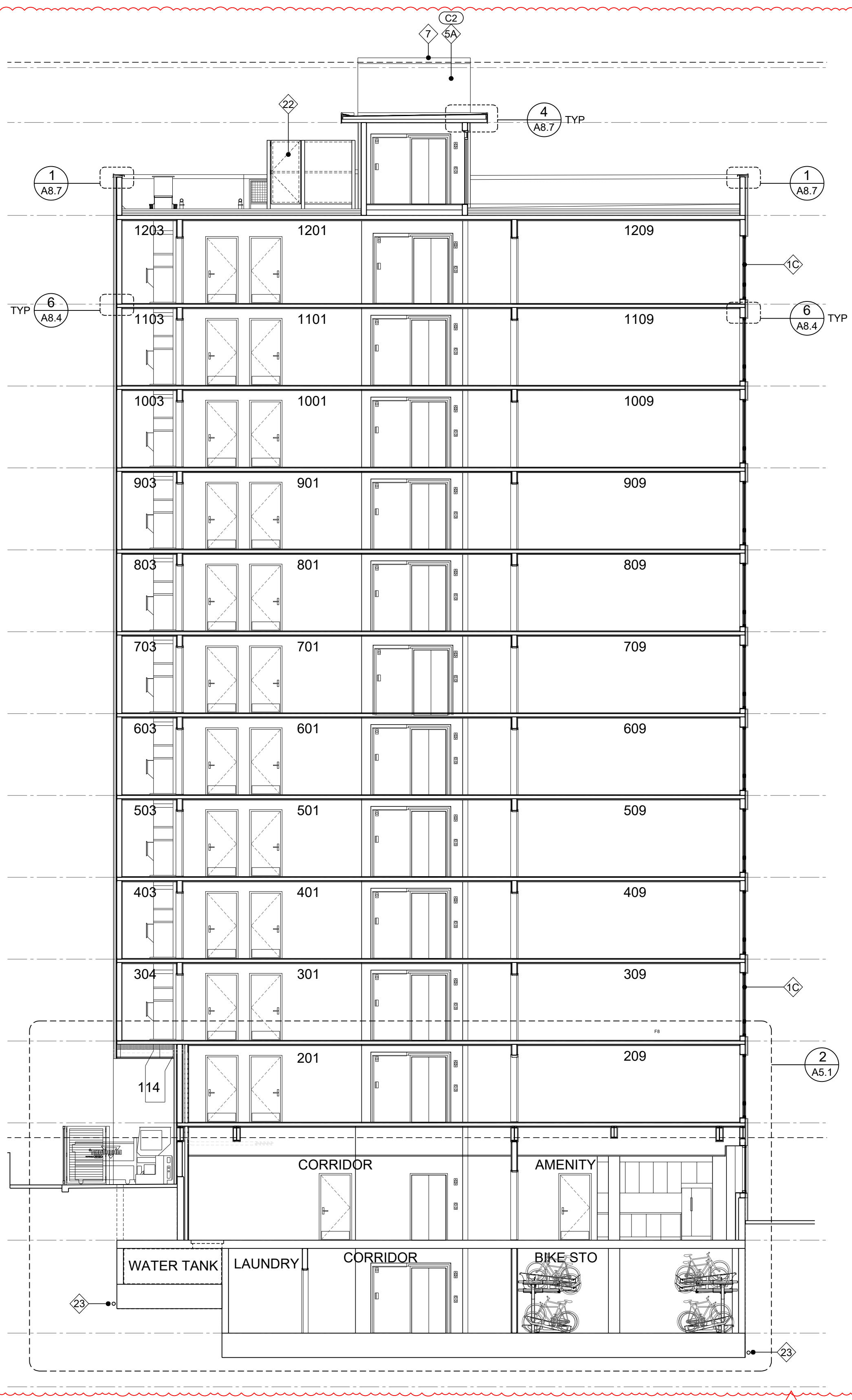
SHEET CONTENTS
 BUILDING
 ELEVATIONS &
 KEY NOTES

SHEET NUMBER

A3.2



1 BUILDING SECTION
SCALE 1/8" = 1'-0"



2 BUILDING SECTION
SCALE 1/8" = 1'-0"

GENERAL NOTES

1. ALL KEYNOTES APPLY TO ELEVATIONS / SECTIONS
2. SEE SHEET A9.1 - WINDOW SCHEDULE
3. SEE SHEET A10.1 - DOOR SCHEDULE
4. SEE SHEET A12.1-A12.3 - WALL PENETRATION DETAILS
5. SEE SHEET A0.3-A0.4 - WALL ASSEMBLY
6. SEE SHEET A0.4 - FLOOR, CEILING, ROOF ASSEMBLY

KEY NOTES

- 1A WINDOW TYPE 1 (BLACK FRAME) SEE SCHEDULE
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COLORS

- C1 STUCCO - STO 16003-85 SHERWIN WILLIAMS RGB: 232,231,223
- C2 STUCCO - STO MEDIUM GRAY SHERWIN WILLIAMS RGB: 196,196,193
- C3 DARK - CHARCOAL BLACK COLOR MATCH WINDOW FRAME



REGISTERED ARCHITECT
 2399
 RALPH TAHRHAN
 STATE OF OREGON
 SUBMITTED 02-05-21
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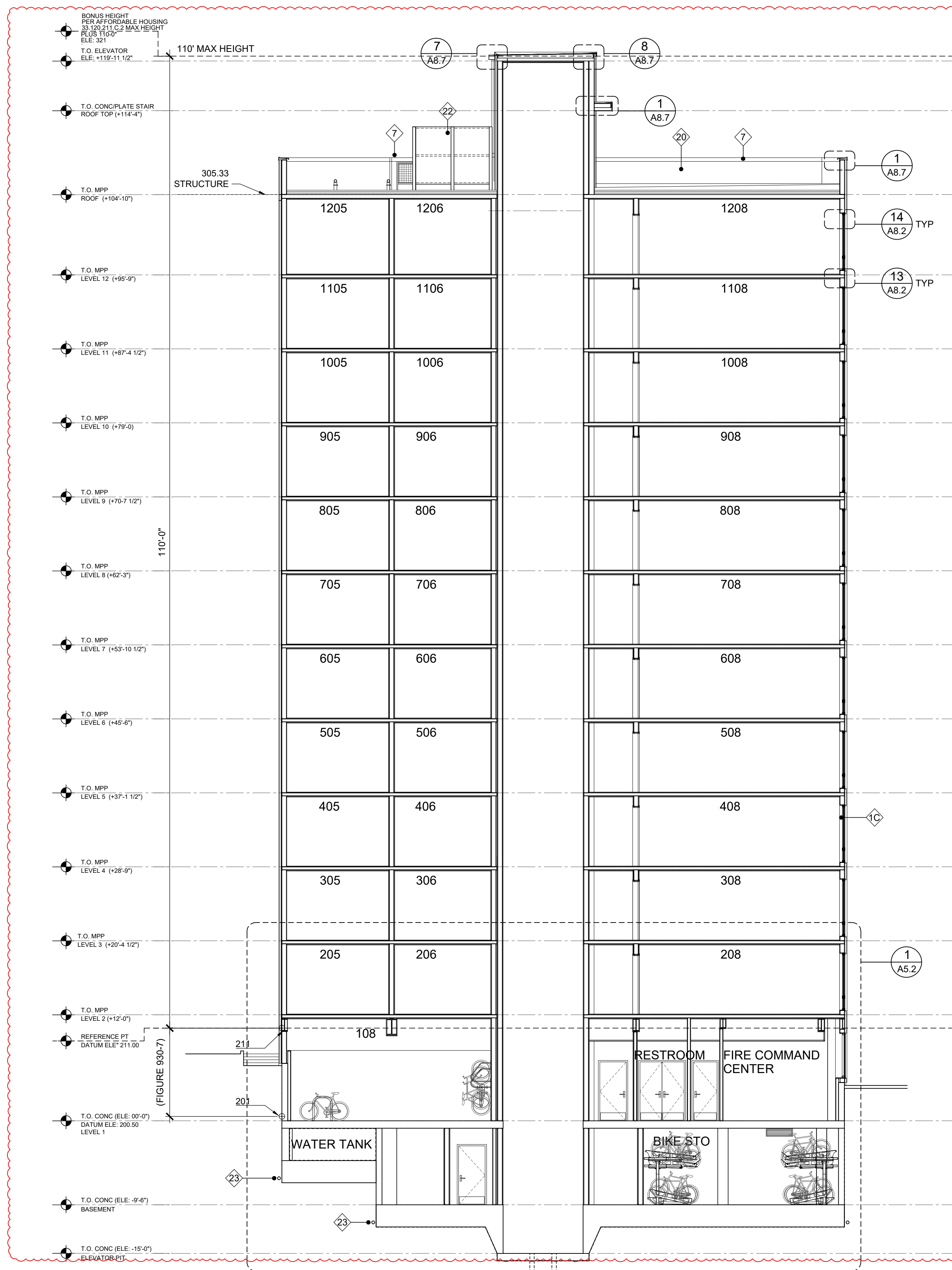
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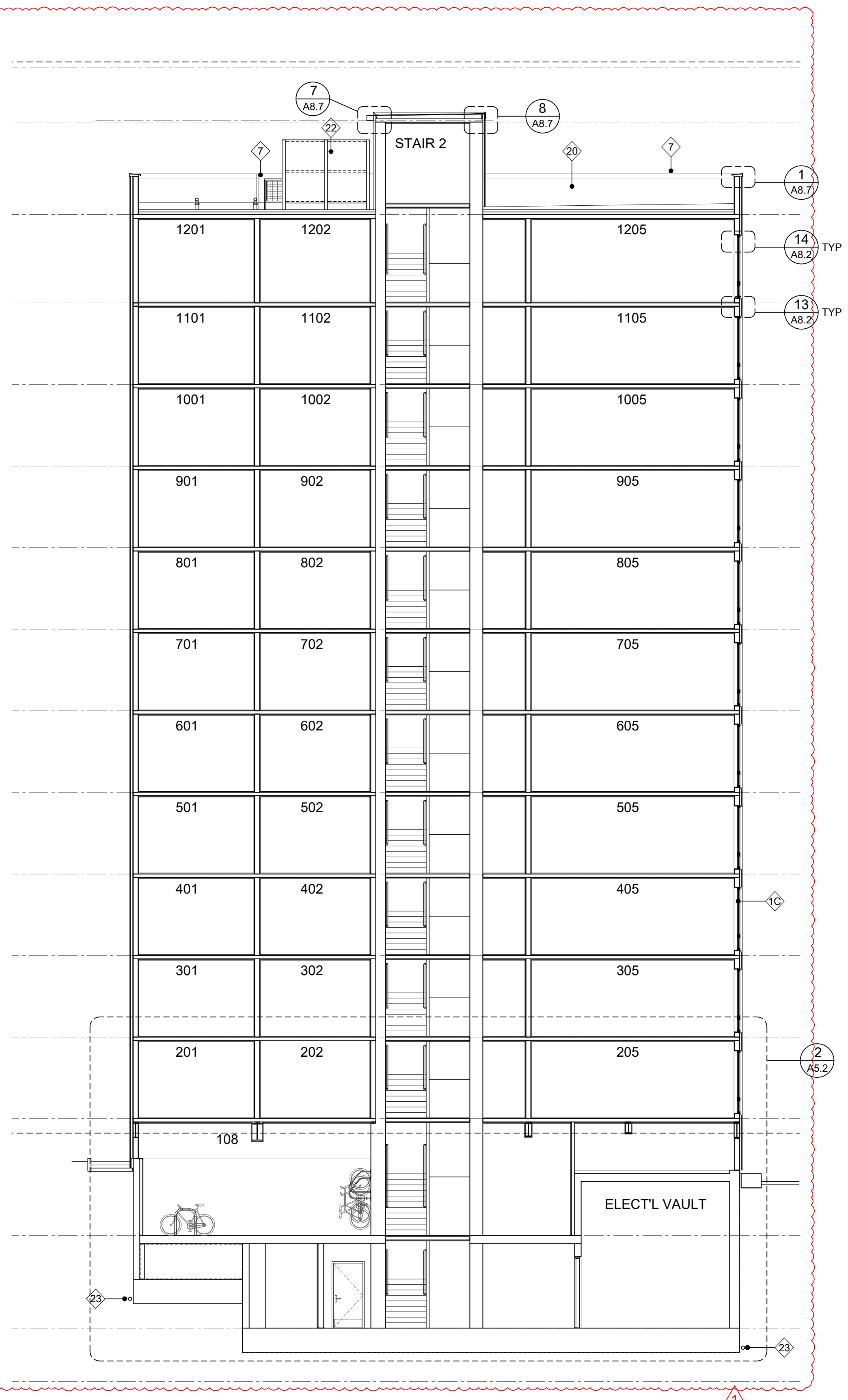
SHEET CONTENTS
 BUILDING SECTION & KEY NOTES

SHEET NUMBER

A3.3



1 BUILDING SECTION
SCALE 1/8" = 1'-0"



2 BUILDING SECTION
SCALE 1/8" = 1'-0"

GENERAL NOTES

1. ALL KEYNOTES APPLY TO ELEVATIONS / SECTIONS
2. SEE SHEET A9.1 - WINDOW SCHEDULE
3. SEE SHEET A10.1 - DOOR SCHEDULE
4. SEE SHEET A12.1-A12.3 - WALL PENETRATION DETAILS
5. SEE SHEET A0.3-A0.4 - WALL ASSEMBLY
6. SEE SHEET A0.4 - FLOOR, CEILING, ROOF ASSEMBLY

KEY NOTES

- 1A WINDOW TYPE 1 (BLACK FRAME) SEE SCHEDULE
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- 21 42" HIGH WINDOW WELL GUARDRAIL
- 22 7" HIGH EQUIPMENT METAL PANEL SCREEN
- 23 4" DIA PVC PERF PIPE IN FREE DRAINING SAND AND GRAVEL ON 1" 1/4" DRAINAGE ROCK WRAP PIPE MIRAFI-140N FILTER FABRIC

COLORS

- C1 STUCCO - STO 16003-85 SHERWIN WILLIAMS RGB: 232,231,223
- C2 STUCCO - STO MEDIUM GRAY SHERWIN WILLIAMS RGB: 196,196,193
- C3 DARK - CHARCOAL BLACK COLOR MATCH WINDOW FRAME



SUBMITTED 02-05-21

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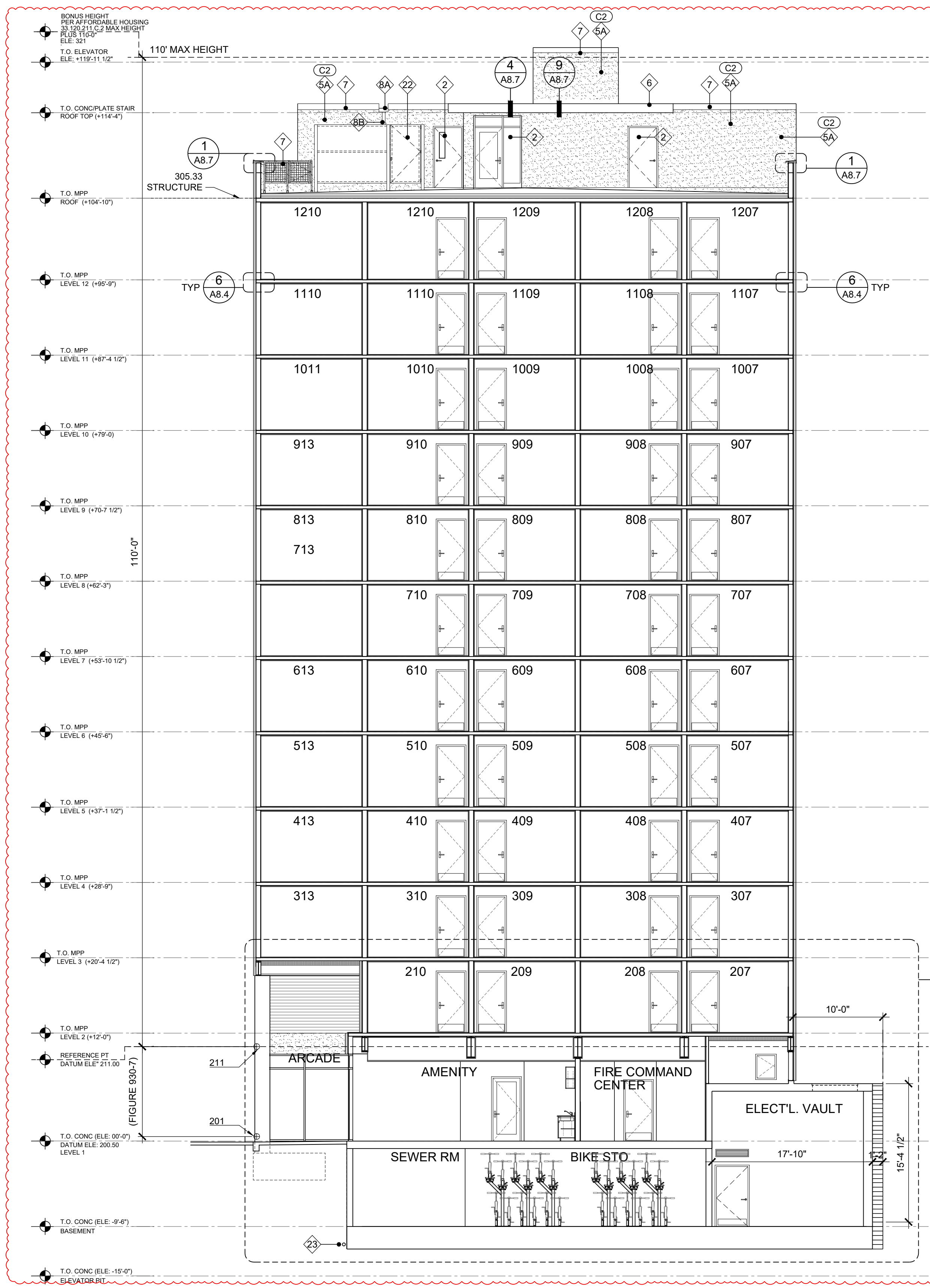
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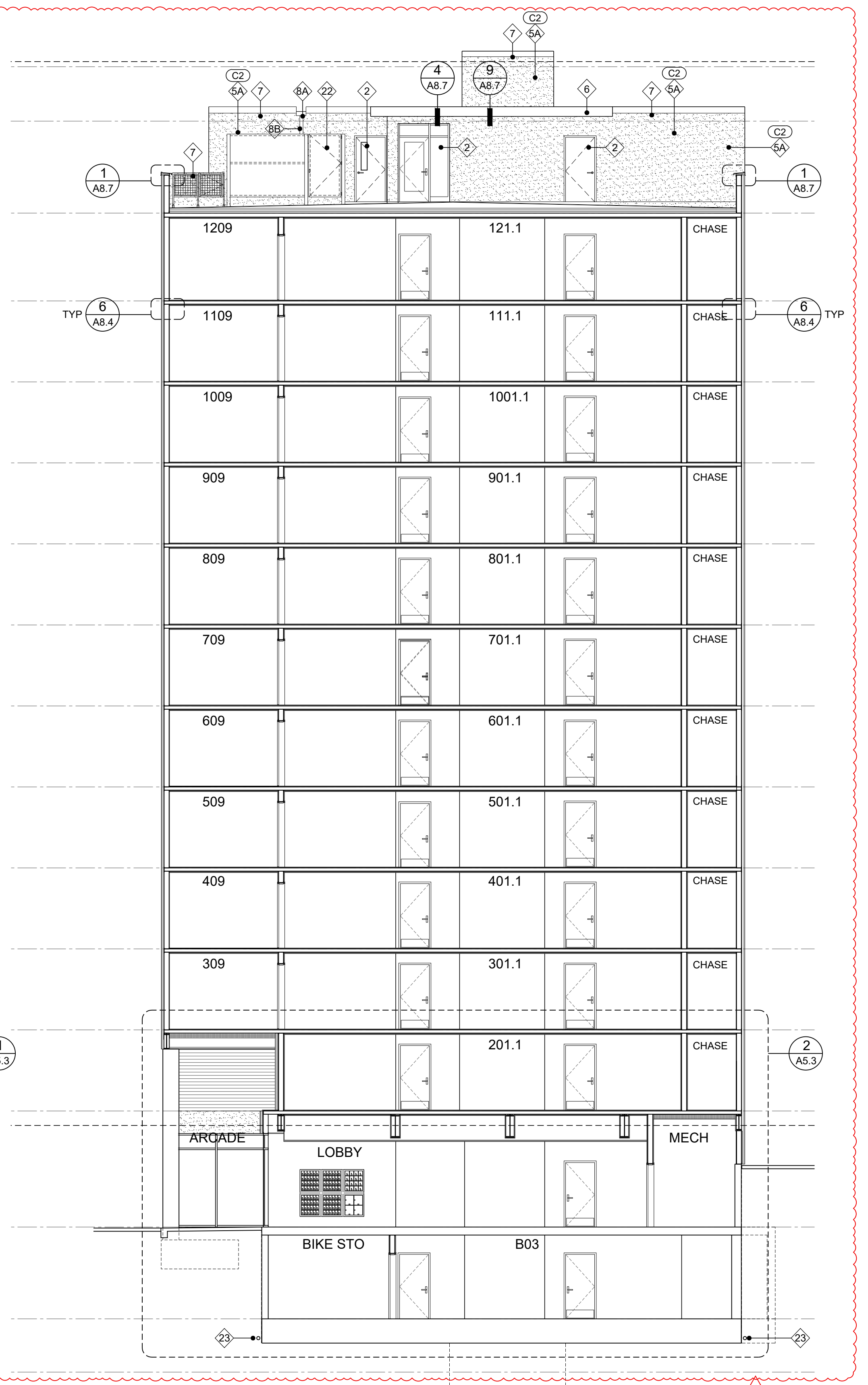
SHEET CONTENTS
BUILDING SECTION & KEY NOTES

SHEET NUMBER

A3.4



1 BUILDING SECTION
SCALE 1/8" = 1'-0"



2 BUILDING SECTION
SCALE 1/8" = 1'-0"

GENERAL NOTES

1. ALL KEYNOTES APPLY TO ELEVATIONS / SECTIONS
2. SEE SHEET A9.1 - WINDOW SCHEDULE
3. SEE SHEET A10.1 - DOOR SCHEDULE
4. SEE SHEET A12.1-A12.3 - WALL PENETRATION DETAILS
5. SEE SHEET A0.3-A0.4 - WALL ASSEMBLY
6. SEE SHEET A0.4 - FLOOR, CEILING, ROOF ASSEMBLY

KEY NOTES

- 1A WINDOW TYPE 1 (BLACK FRAME) SEE SCHEDULE
- 1B WINDOW TYPE 2 (BLACK FRAME) SEE SCHEDULE
- 1C WINDOW TYPE 3 (BLACK FRAME) SEE SCHEDULE
- 2 DOOR PER SCHEDULE
- 3 CONCRETE LOW WALL
- 4 CONCRETE POST
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- 21 42" HIGH WINDOW WELL GUARDRAIL
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COLORS

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- C2 STUCCO - STO MEDIUM GRAY SHERWIN WILLIAMS RGB: 196,196,193
- C3 DARK - CHARCOAL BLACK COLOR MATCH WINDOW FRAME



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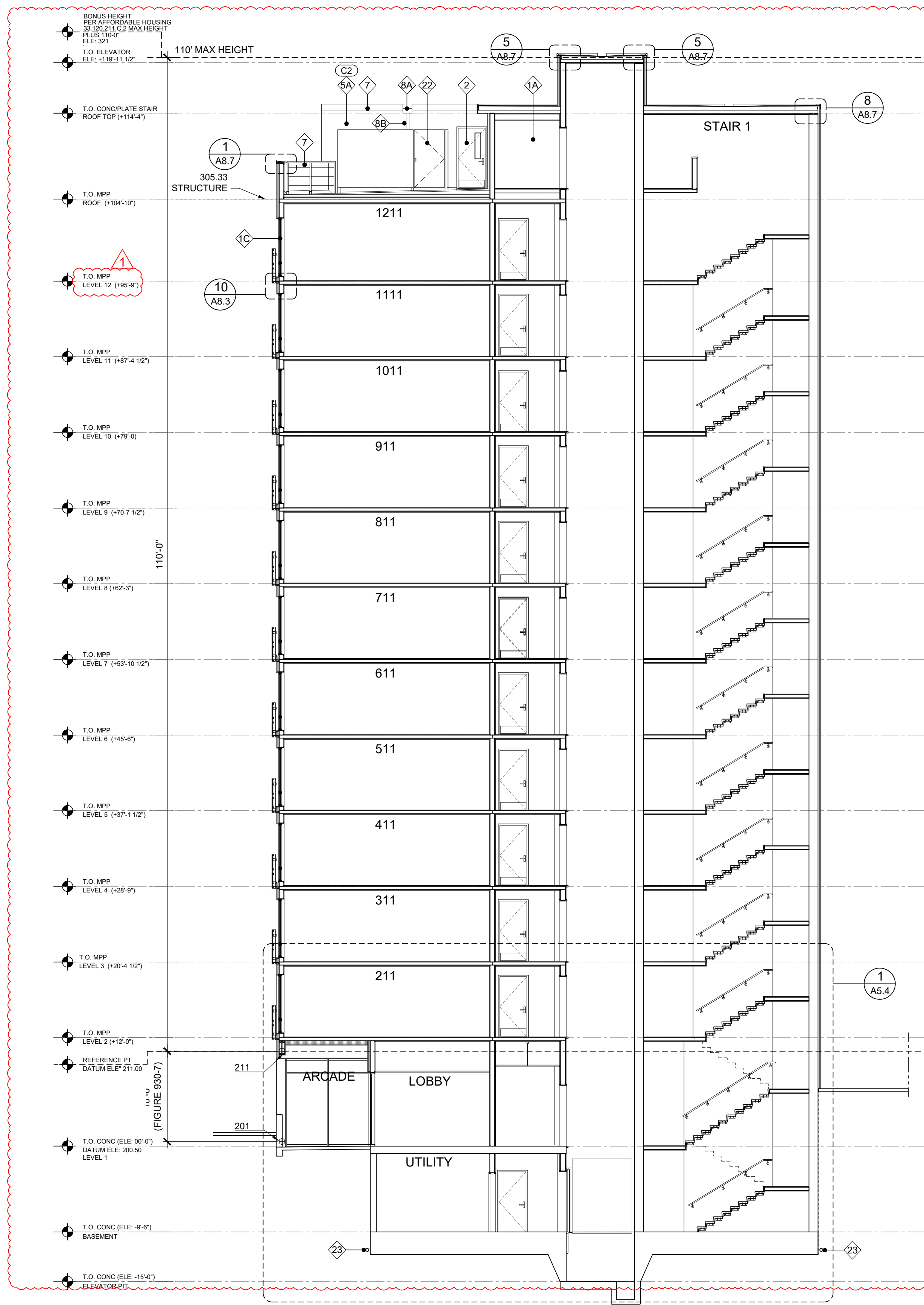
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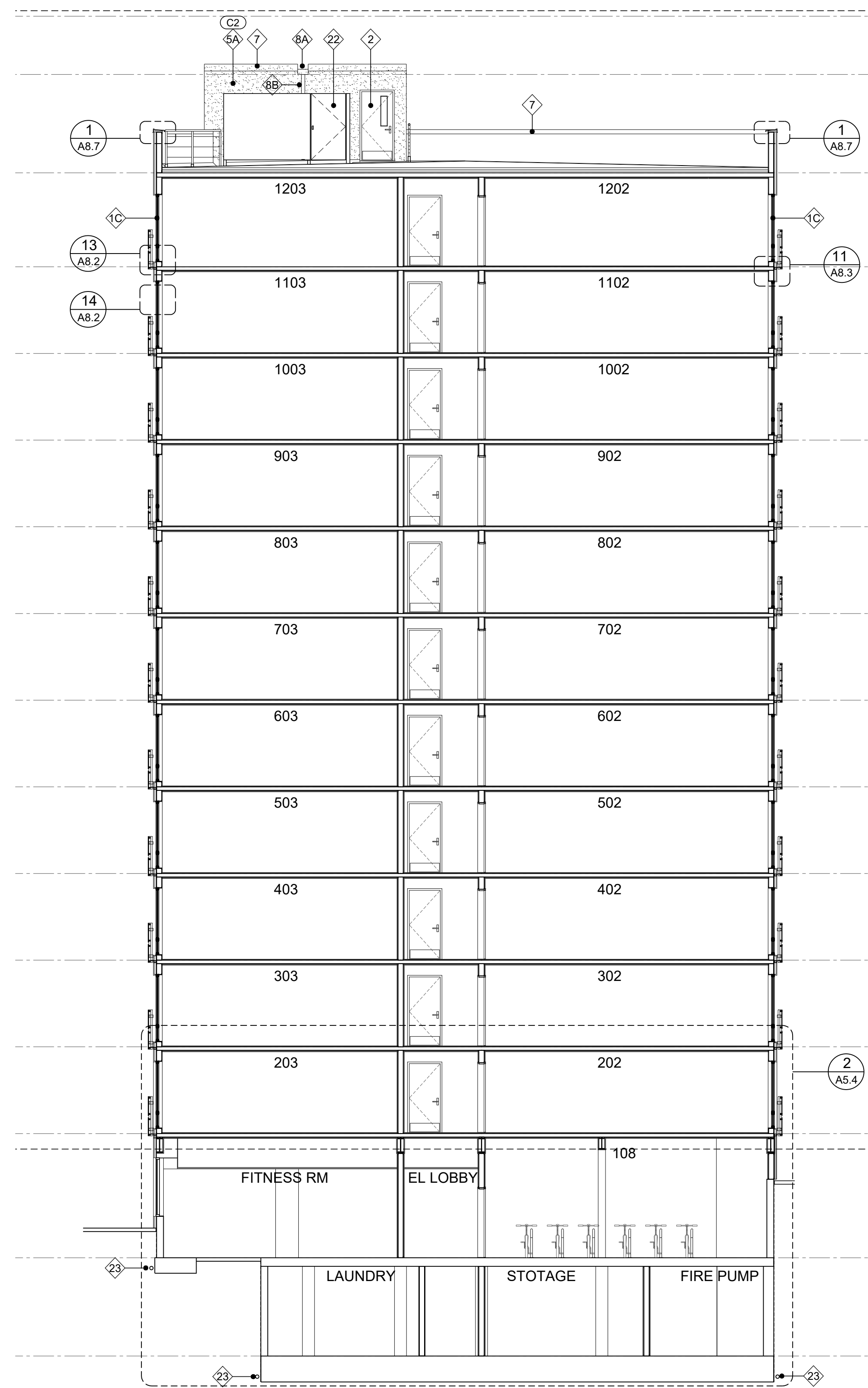
SHEET CONTENTS
BUILDING SECTION & KEY NOTES

SHEET NUMBER

A3.5



1 BUILDING SECTION
SCALE 1/8" = 1'-0"



2 BUILDING SECTION
SCALE 1/8" = 1'-0"

GENERAL NOTES

1. ALL KEYNOTES APPLY TO ELEVATIONS / SECTIONS
2. SEE SHEET A9.1 - WINDOW SCHEDULE
3. SEE SHEET A10.1 - DOOR SCHEDULE
4. SEE SHEET A12.1-A12.3 - WALL PENETRATION DETAILS
5. SEE SHEET A0.3-A0.4 - WALL ASSEMBLY
6. SEE SHEET A0.4 - FLOOR, CEILING, ROOF ASSEMBLY

KEY NOTES

- 1A WINDOW TYPE 1 (BLACK FRAME) SEE SCHEDULE
- 1B WINDOW TYPE 2 (BLACK FRAME) SEE SCHEDULE
- 1C WINDOW TYPE 3 (BLACK FRAME) SEE SCHEDULE
- 2 DOOR PER SCHEDULE
- 3 CONCRETE LOW WALL
- 4 CONCRETE POST
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COLORS

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- C2 STUCCO - STO MEDIUM GRAY SHERWIN WILLIAMS RGB: 196,196,193
- C3 DARK - CHARCOAL BLACK COLOR MATCH WINDOW FRAME



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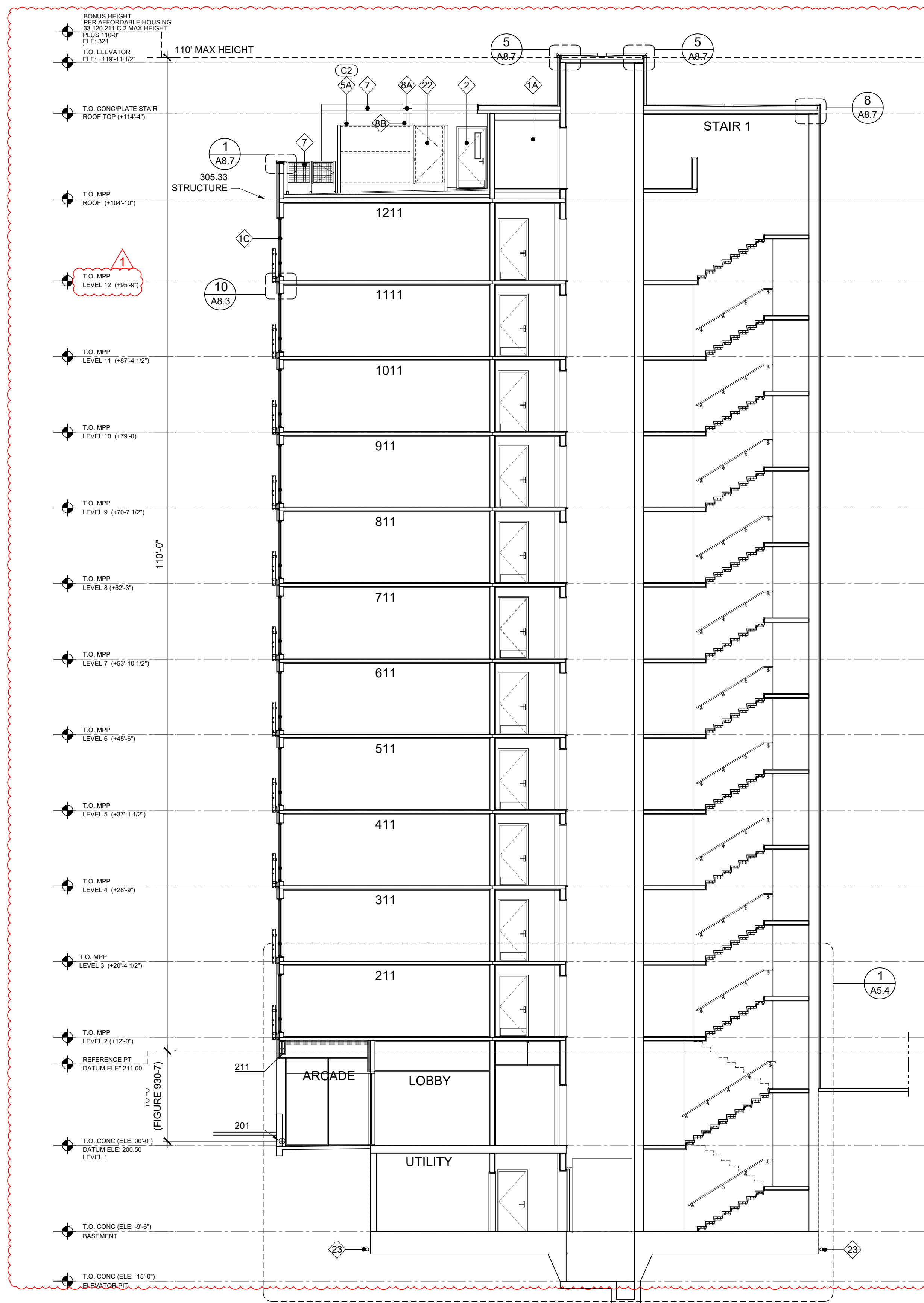
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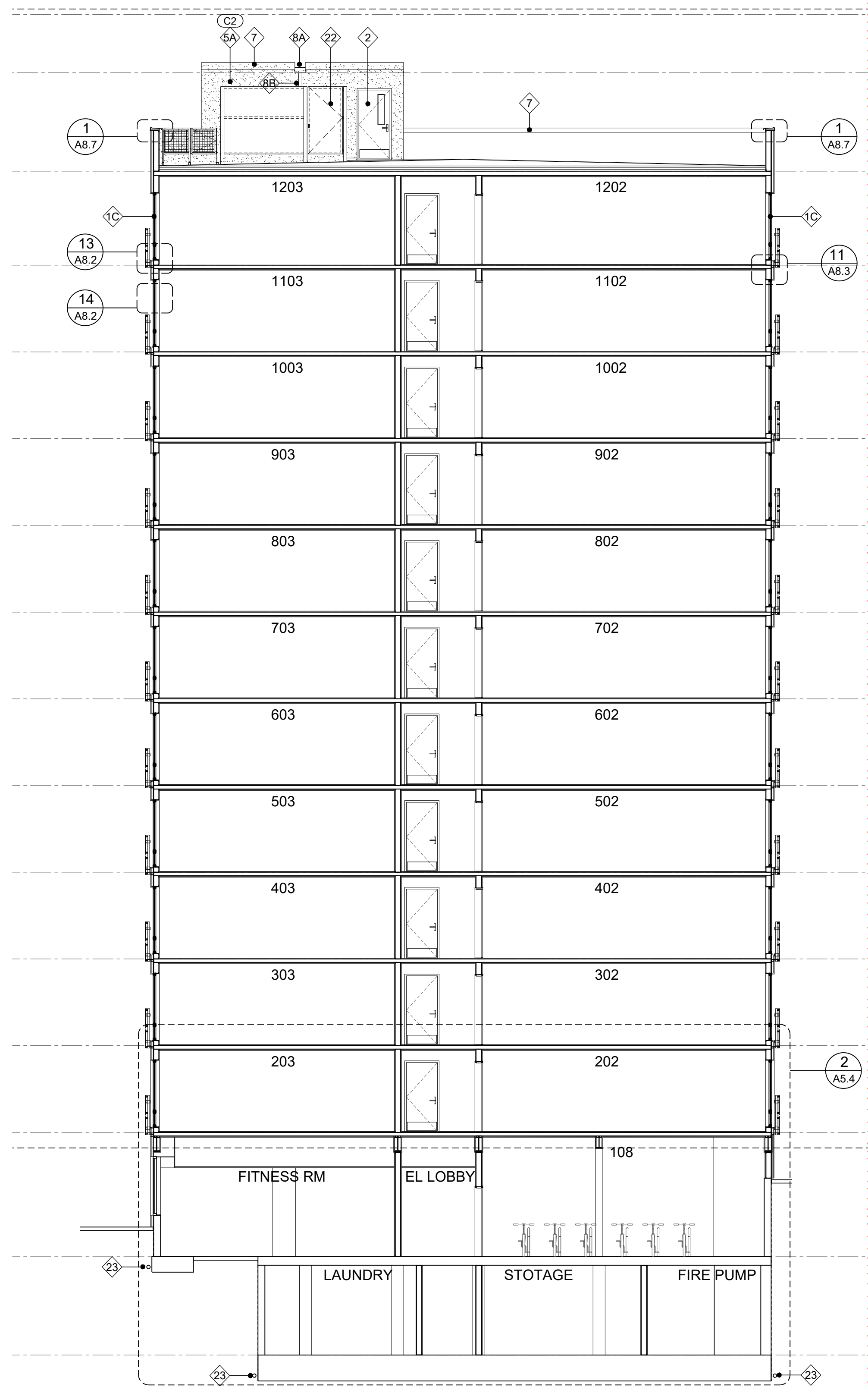
SHEET CONTENTS
 BUILDING SECTION & KEY NOTES

SHEET NUMBER

A3.6



1 BUILDING SECTION
SCALE 1/8" = 1'-0"



2 BUILDING SECTION
SCALE 1/8" = 1'-0"

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6. SEE SHEET A0.4 - FLOOR, CEILING, ROOF ASSEMBLY

KEY NOTES

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- 3 WINDOW TYPE 3 (BLACK FRAME) SEE SCHEDULE
- 4 DOOR PER SCHEDULE
- 5 CONCRETE LOW WALL
- 6 CONCRETE POST
- 7 STUCCO TYPE 1
- 8 STUCCO TYPE 2
- 9 PRE-FINISH METAL FASCIA BOARD (PAINT MATCH ADJACENT SIDING)
- 10 PRE-FINISH METAL FLASHING (PARAPET CAP)
- 11 SCUPPER/GUTTER (PAINT MATCH ADJACENT SIDING)
- 12 DOWNSPOUT (PAINT MATCH ADJACENT SIDING)
- 13 OVERFLOW (PAINT MATCH ADJACENT SIDING)
- 14 EXTERIOR LIGHTING
- 15 SIDING PANEL TYPE 1 COLOR SW 7072
- 16 SIDING PANEL TYPE 2 COLOR SW 7747
- 17 SIDING PANEL TYPE 3 COLOR SW 7613
- 18 SIDING PANEL TYPE 4 COLOR SW 0071
- 19 BUILDING SIGNAGE
- 20 BUILDING ADDRESS
- 21 LAMINATED WOOD PANEL
- 22 METAL PLANTER
- 23 4'X8' GREEN WALL
- 24 VENT (PAINT MATCH ADJACENT SIDING)
- 25 METAL LOUVER (PAINT MATCH ADJACENT SIDING)
- 26 HANDRAIL SEE DETAIL 4/A1.2
- 27 CONCRETE WALL FORM BOARD FINISH
- 28 FDC CONNECTION
- 29 FDC SIGNAGE
- 30 HOSE BIB
- 31 42" HIGH GUARDRAIL
- 32 42" HIGH WINDOW WELL GUARDRAIL
- 33 7" HIGH EQUIPMENT METAL PANEL SCREEN
- 34 4" DIA PVC PERF PIPE IN FREE DRAINING SAND AND GRAVEL ON 1" - 1/4" DRAINAGE ROCK WRAP PIPE MIRAFI-140N FILTER FABRIC

COLORS

- C1 STUCCO - STO 16003-85 SHERWIN WILLIAMS RGB: 232,231,223
- C2 STUCCO - STO MEDIUM GRAY SHERWIN WILLIAMS RGB: 196,196,193
- C3 DARK - CHARCOAL BLACK COLOR MATCH WINDOW FRAME



REGISTERED ARCHITECT
 2399
 RALPH TAHRAN
 STATE OF OREGON
 SUBMITTED 02-05-21
 TAHRAN ARCHITECTURE & PLANNING LLC
 333 S. STATE LAKE OSWEGO, OREGON 97034
 T (503) 539 8802 | F (503) 697 1985 | e ralph@tahrancpa.com

SW PARK APARTMENTS
 2059 SW PARK AVE,
 PORTLAND OR. 97201

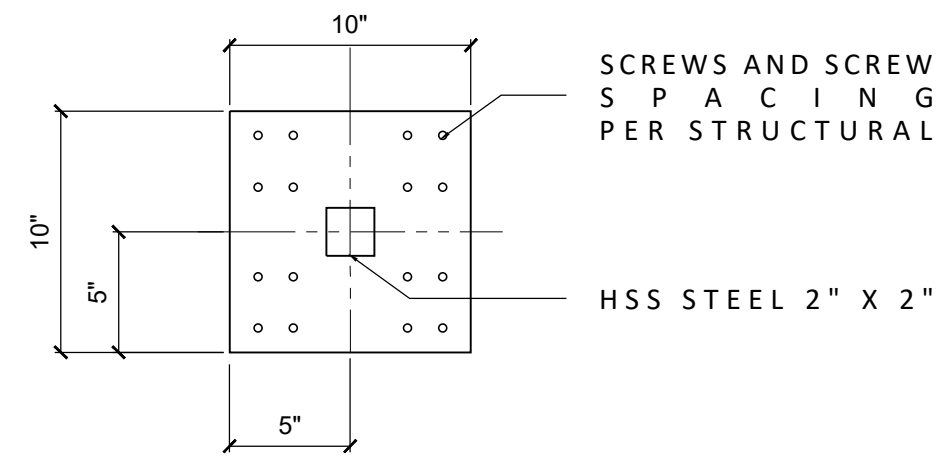
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DRAWN BY	RCM	
NO	DATE	ISSUE/REVISION
1	05.06.22	OWNER/ARCHITECT REVISION

PROJ NO.
2021-012

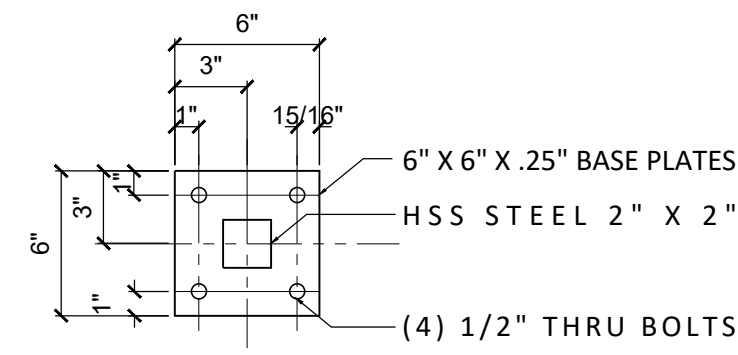
SHEET CONTENTS
 BUILDING SECTION & KEY NOTES

SHEET NUMBER

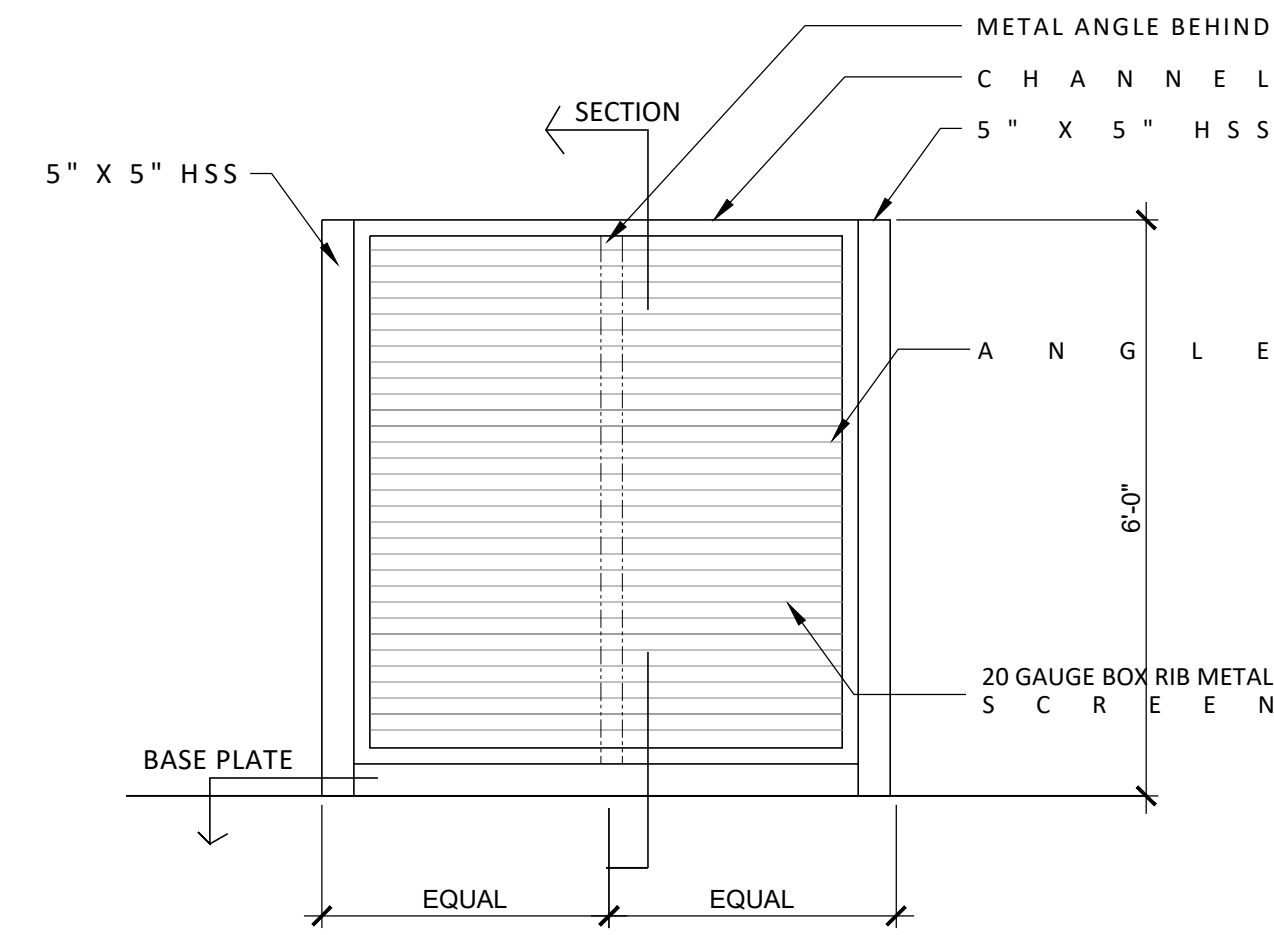
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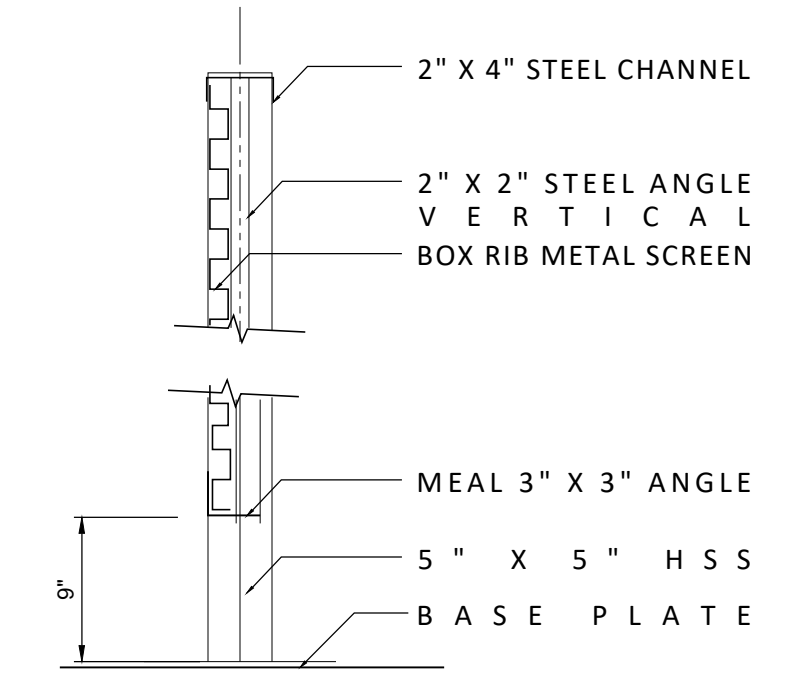
1 LOW BASE PLATE
SCALE 1 1/2" = 1-0"



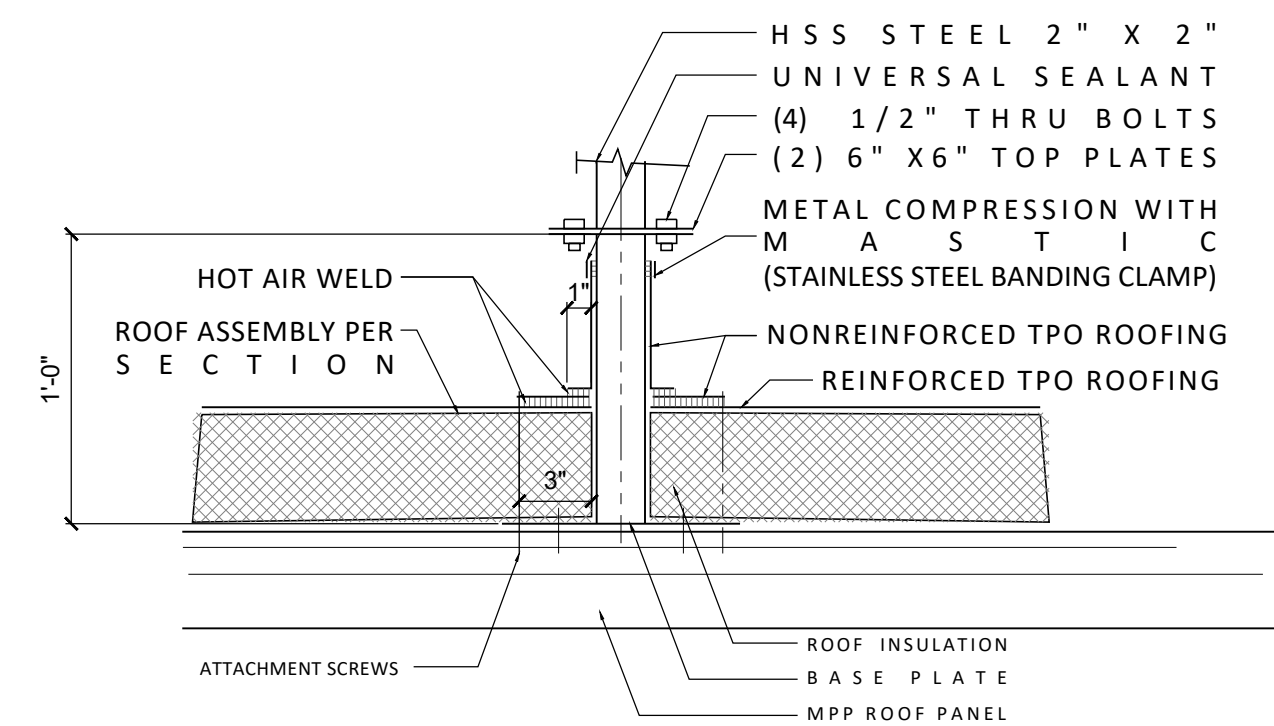
2 LOW FENCE TOP PLATE
SCALE 1 1/2" = 1-0"



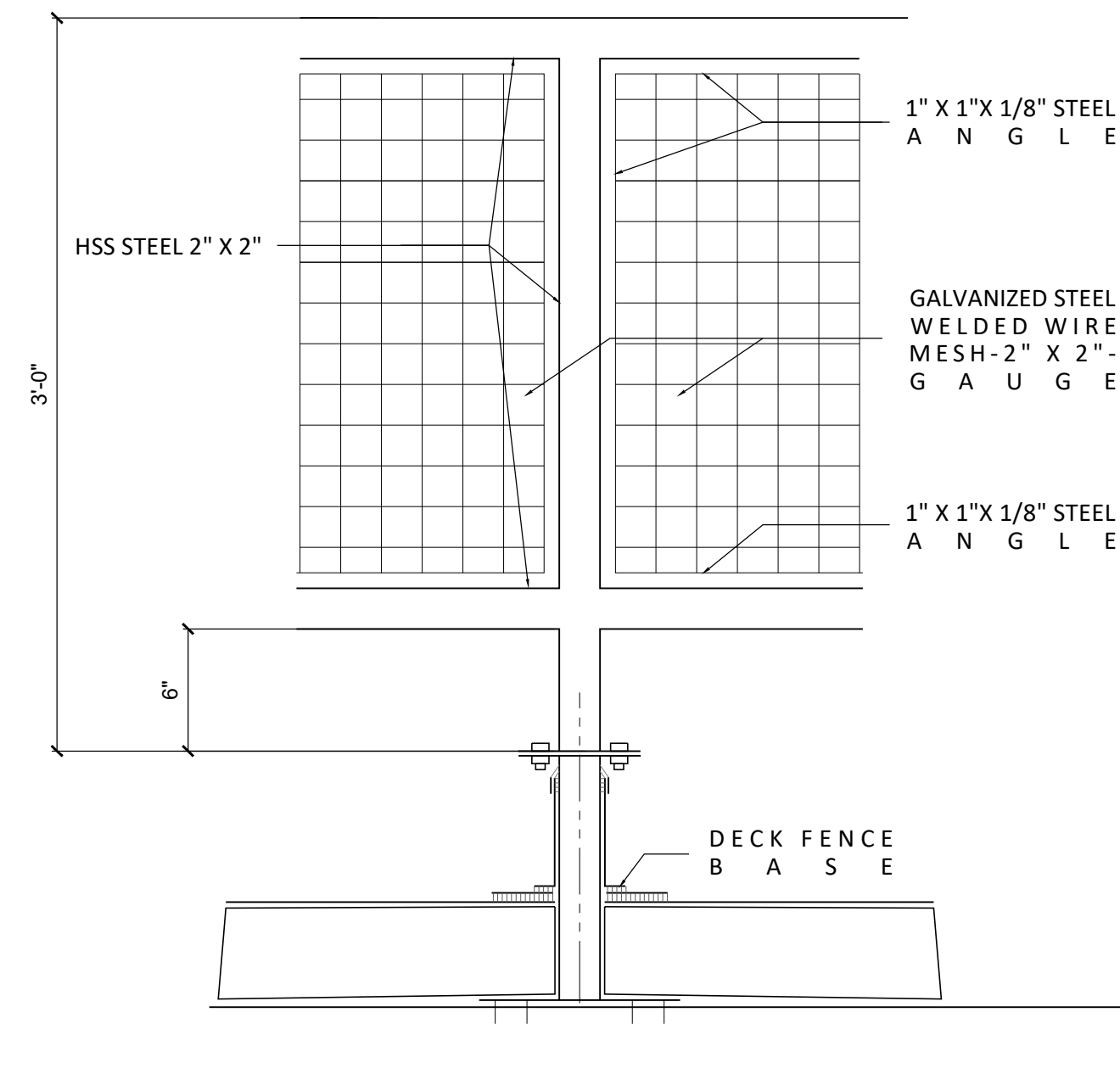
5 ELEVATION COMPACTOR SCREEN
SCALE 1/2" = 1-0"



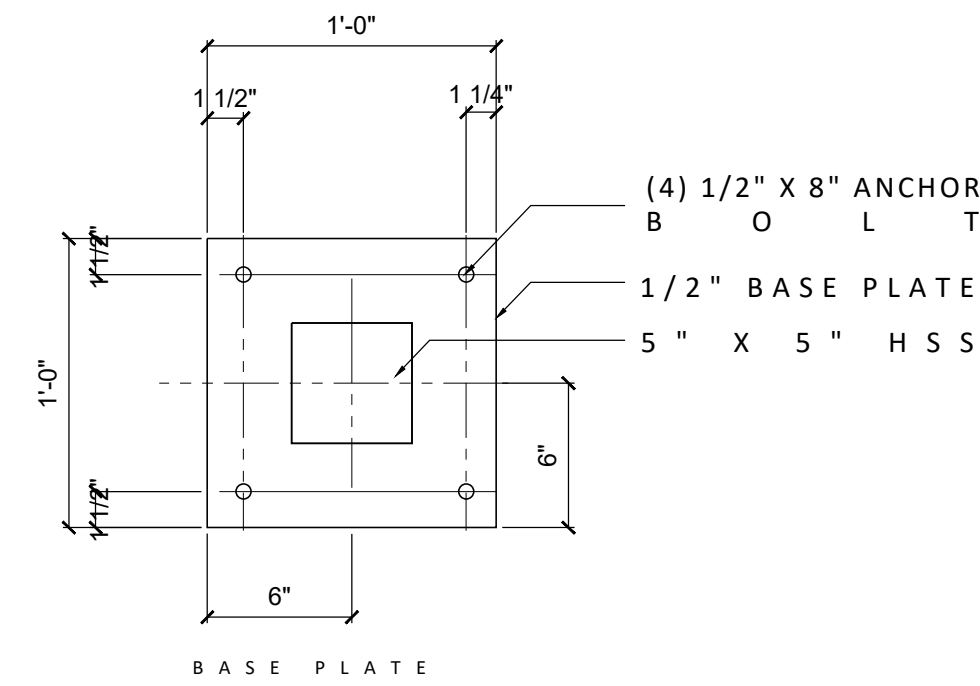
6 SECTION COMPACTOR SCREEN
SCALE 1" = 1-0"



3 LOW DECK FENCE BASE
SCALE 1 1/2" = 1-0"



4 LOW ROOF TOP DECK FENCE BASE
SCALE 1 1/2" = 1-0"



1 ELEVATION COMPACTOR SCREEN
SCALE 1 1/2" = 1-0"



SUBMITTED 02-05-21

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SW PARK APARTMENTS
2059 SW PARK AVE,
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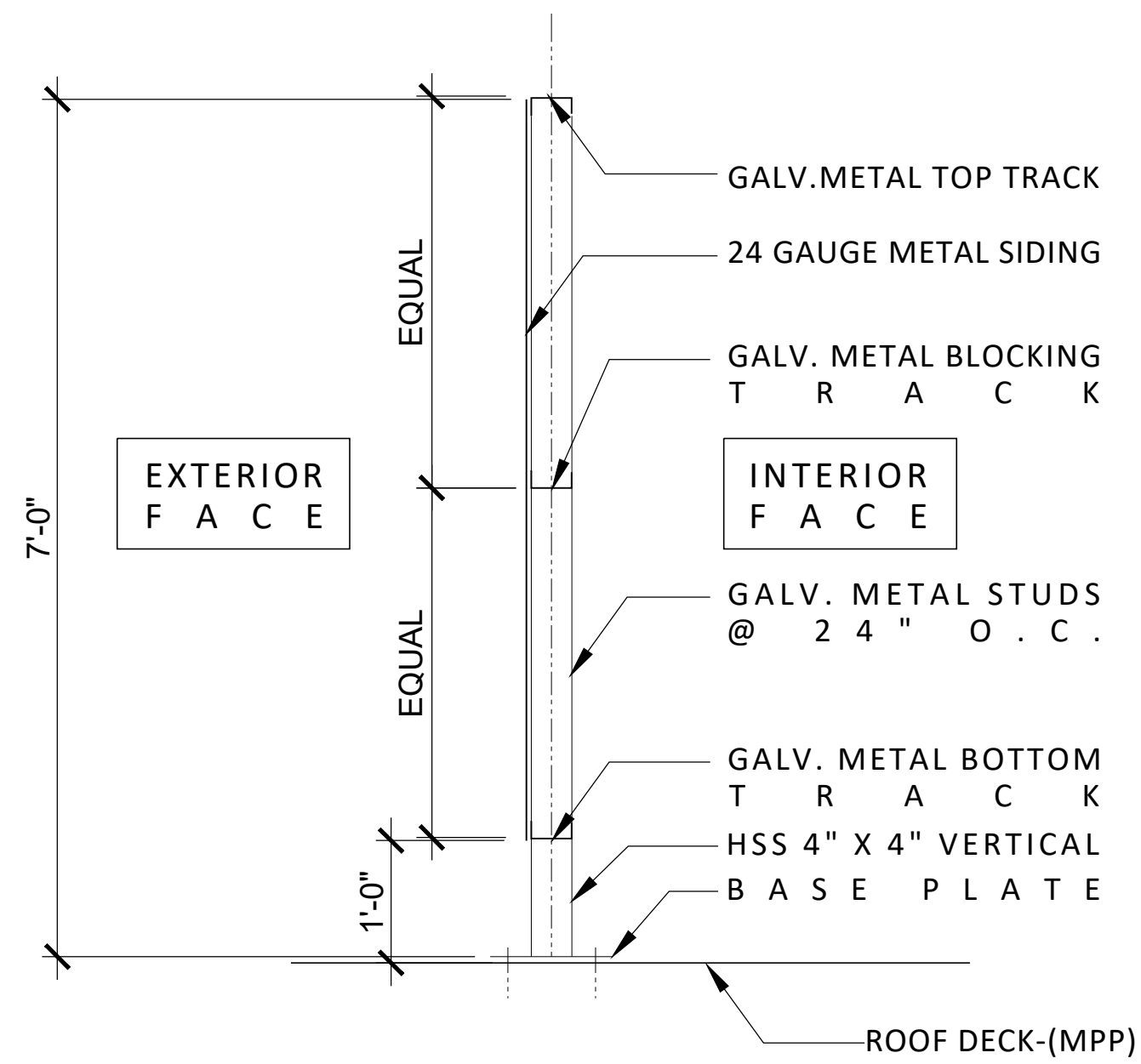
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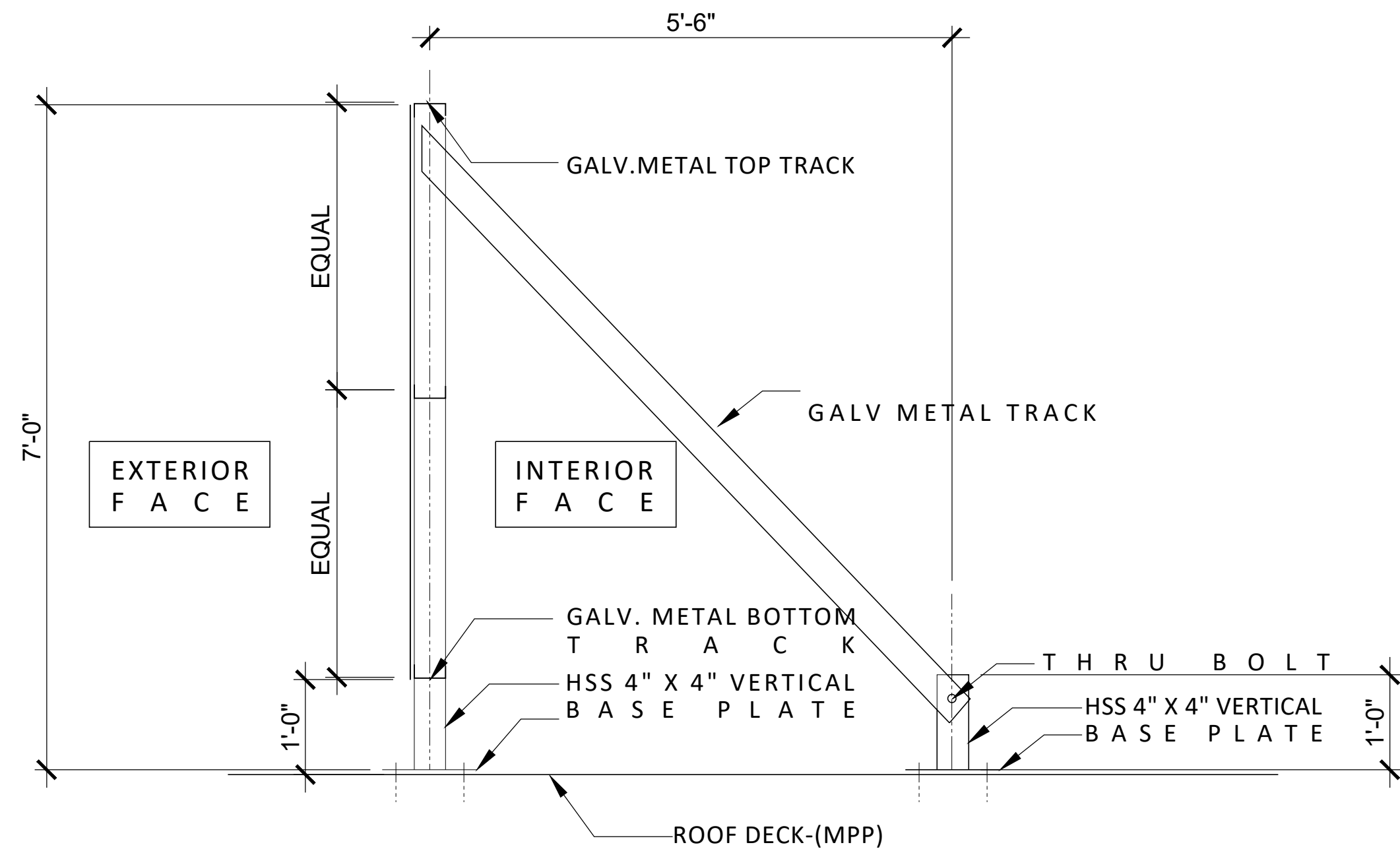
SHEET CONTENTS
ARCHITECTURAL
DETAILS

SHEET NUMBER

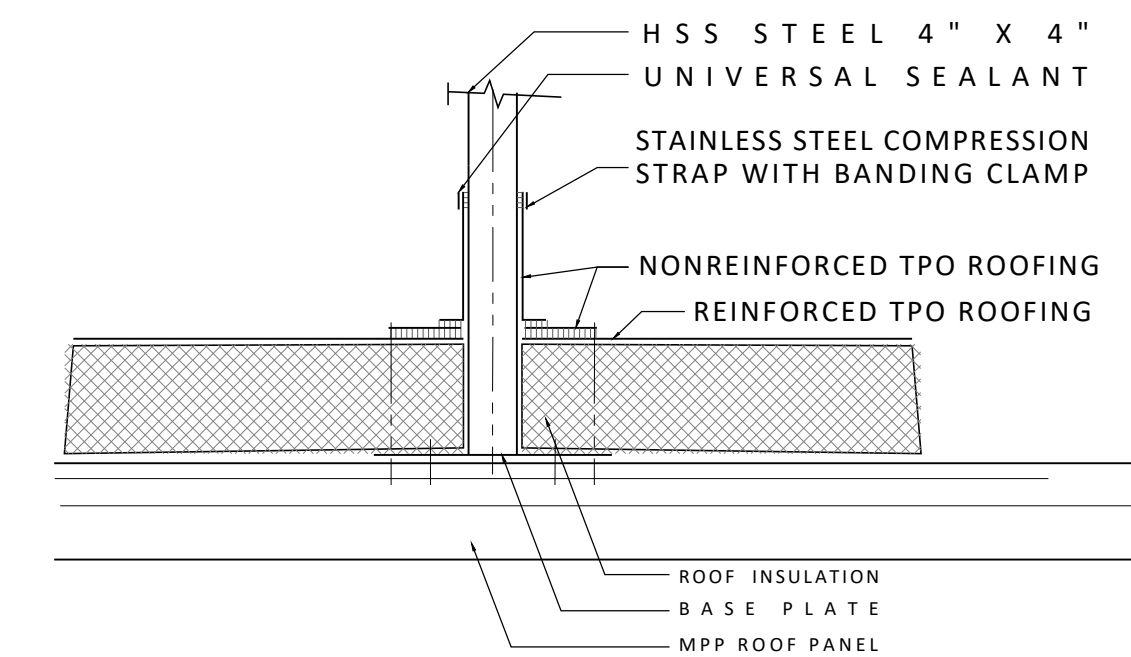
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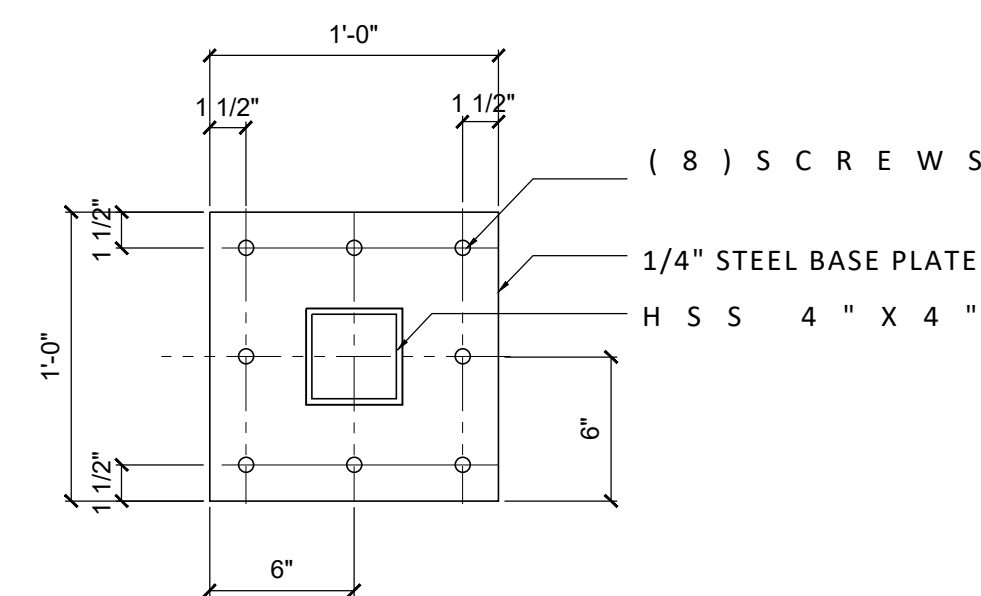
1 ROOF SCREEN
SCALE 3/4" = 1'-0"



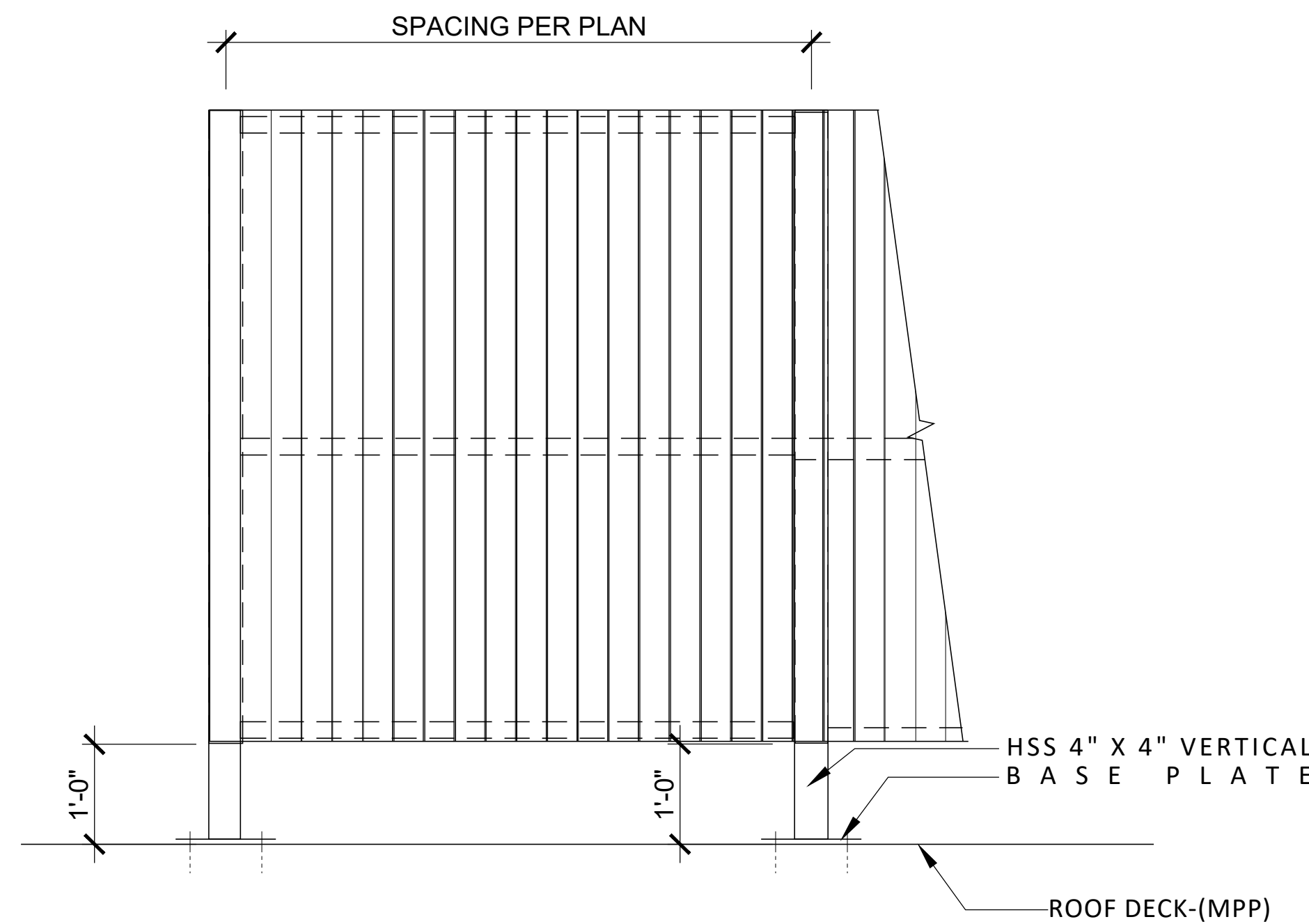
2 ROOF SCREEN WITH KICKER
SCALE 3/4" = 1'-0"



5 ROOF SCREEN DETAIL
SCALE 1 1/2" = 1'-0"



3 BASE PLATE
SCALE 1 1/2" = 1'-0"



4 ROOF SCREEN ELEVATION
SCALE 3/4" = 1'-0"



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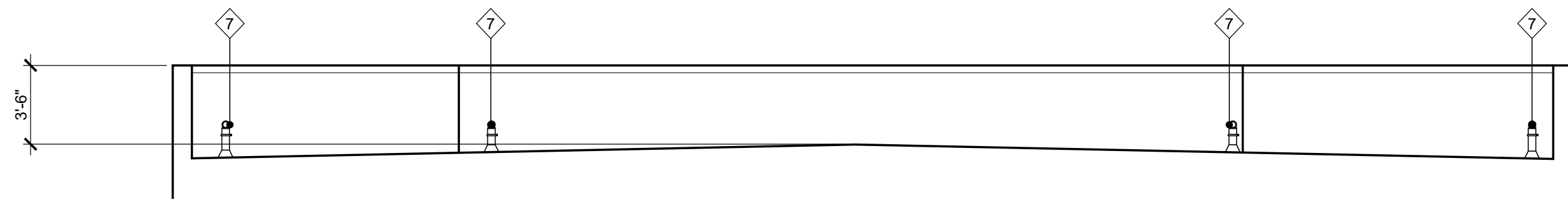
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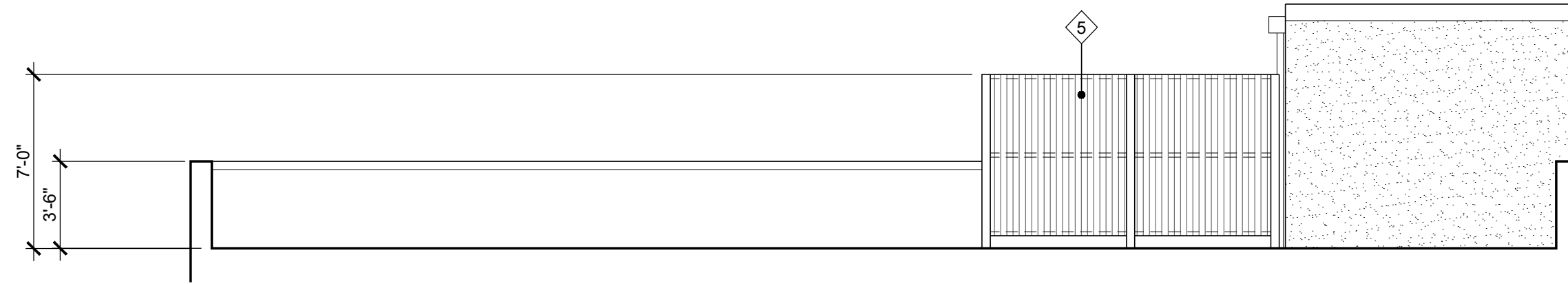
PROJ NO.
2021-012

SHEET CONTENTS
ARCHITECTURAL DETAILS

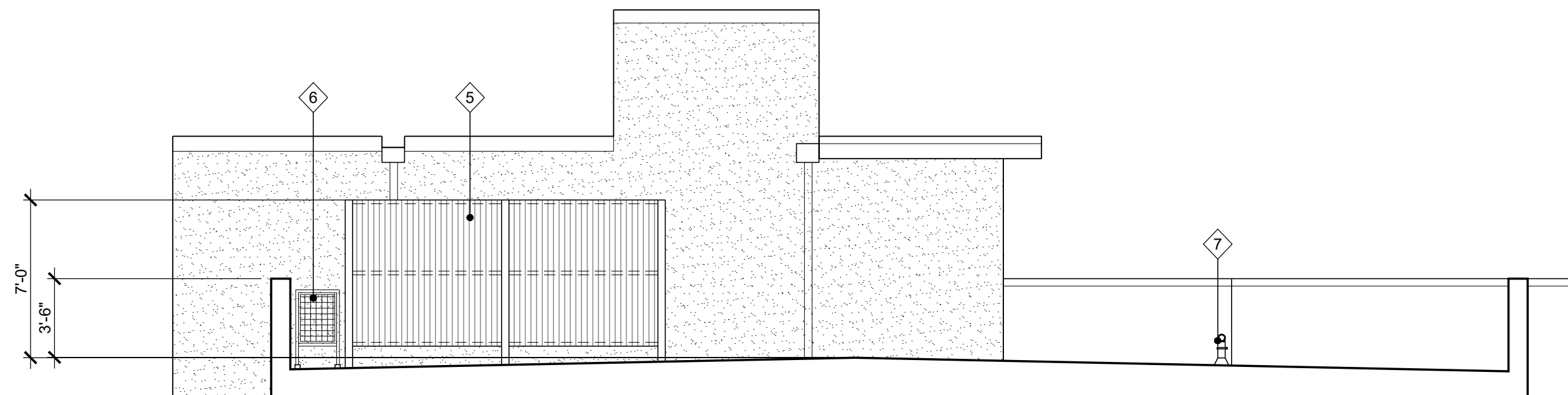
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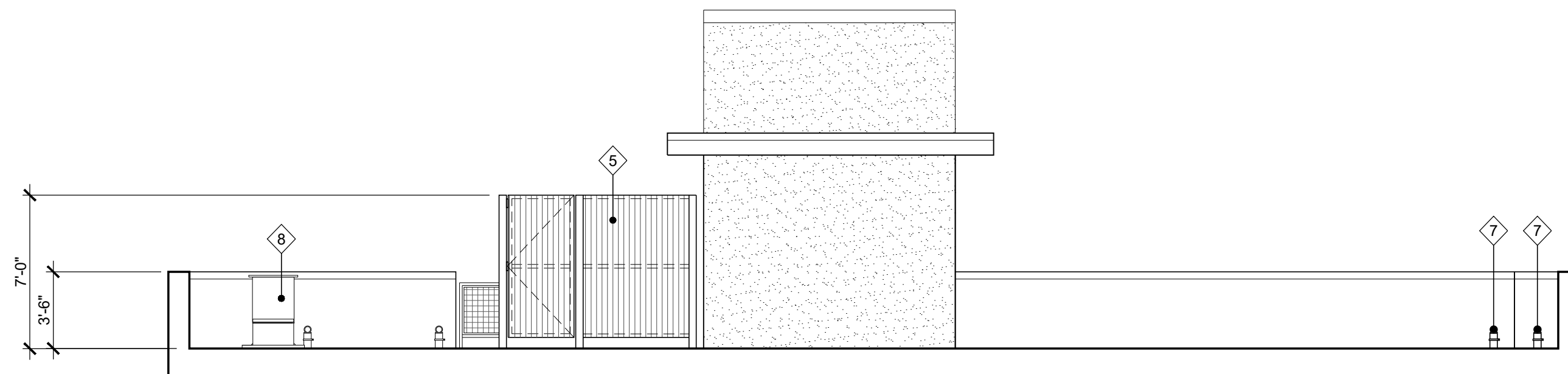
5 OCCUPIED ROOF ELEVATION
SCALE 3/16" = 1'-0"



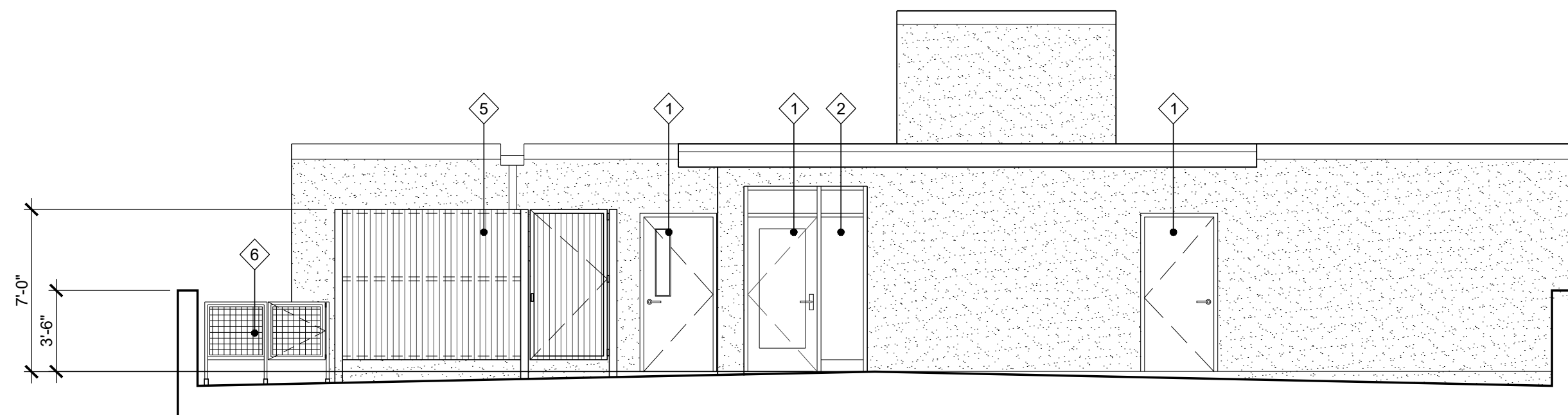
4 OCCUPIED ROOF ELEVATION
SCALE 3/16" = 1'-0"



3 OCCUPIED ROOF ELEVATION
SCALE 3/16" = 1'-0"



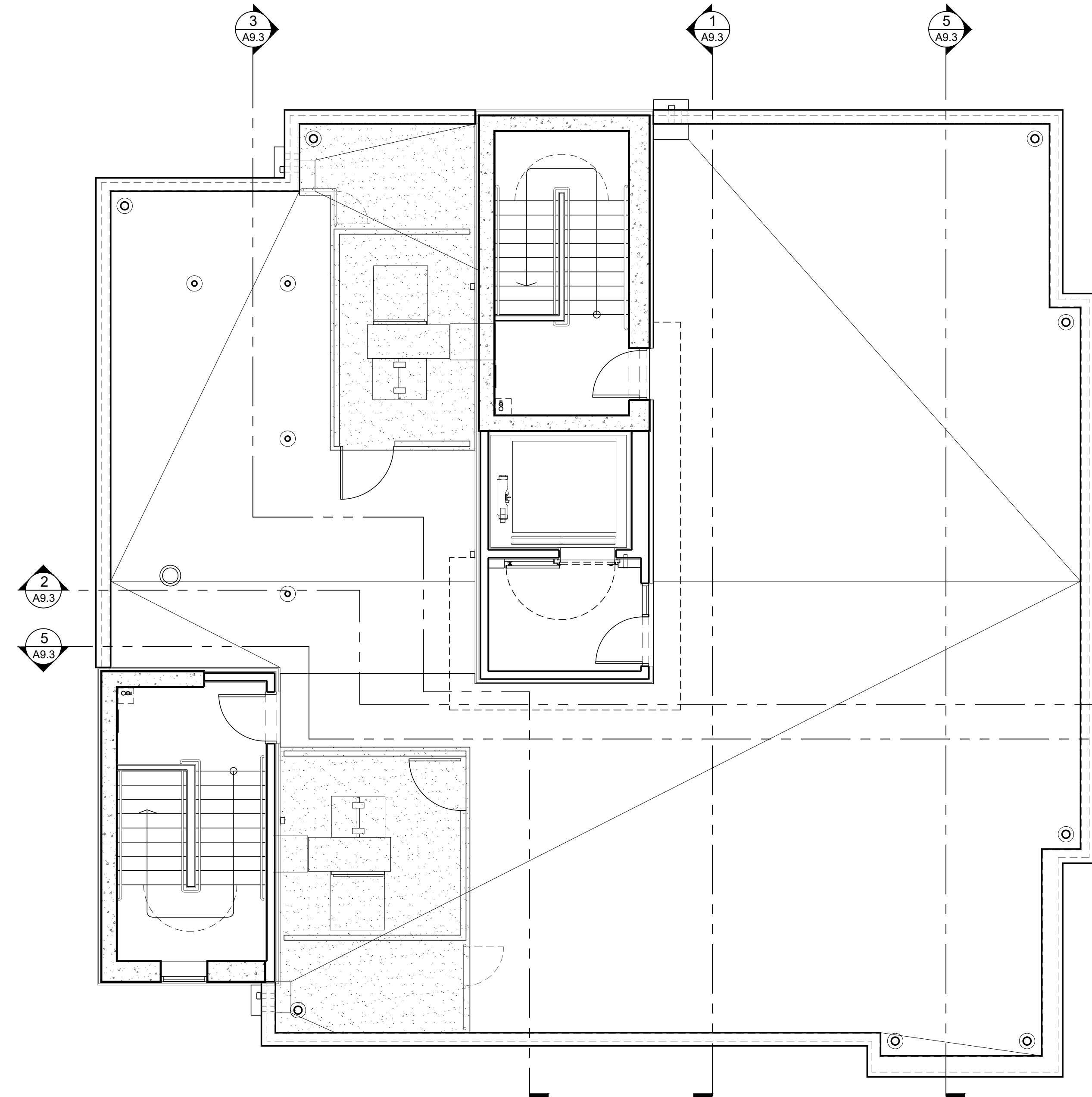
2 OCCUPIED ROOF ELEVATION
SCALE 3/16" = 1'-0"



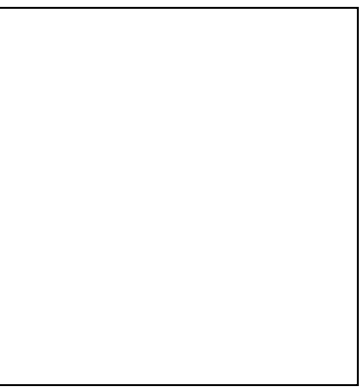
1 OCCUPIED ROOF ELEVATION
SCALE 3/16" = 1'-0"

KEYNOTES

- 1 DOOR SEE SCHEDULE A10.1
- 2 WINDOW SEE SCHEDULE A10.2
- 3 EXTERIOR WALL SEE FINISHES
- 4 METAL RAILING
- 5 MECHANICAL SCREEN
- 6 FENCE
- 7 FALL PROTECTION
- 8 EXHAUST



1 OCCUPIED ROOF PLAN
SCALE 3/16" = 1'-0"



SUBMITTED 02-05-21

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SW PARK APARTMENTS
2059 SW PARK AVE,
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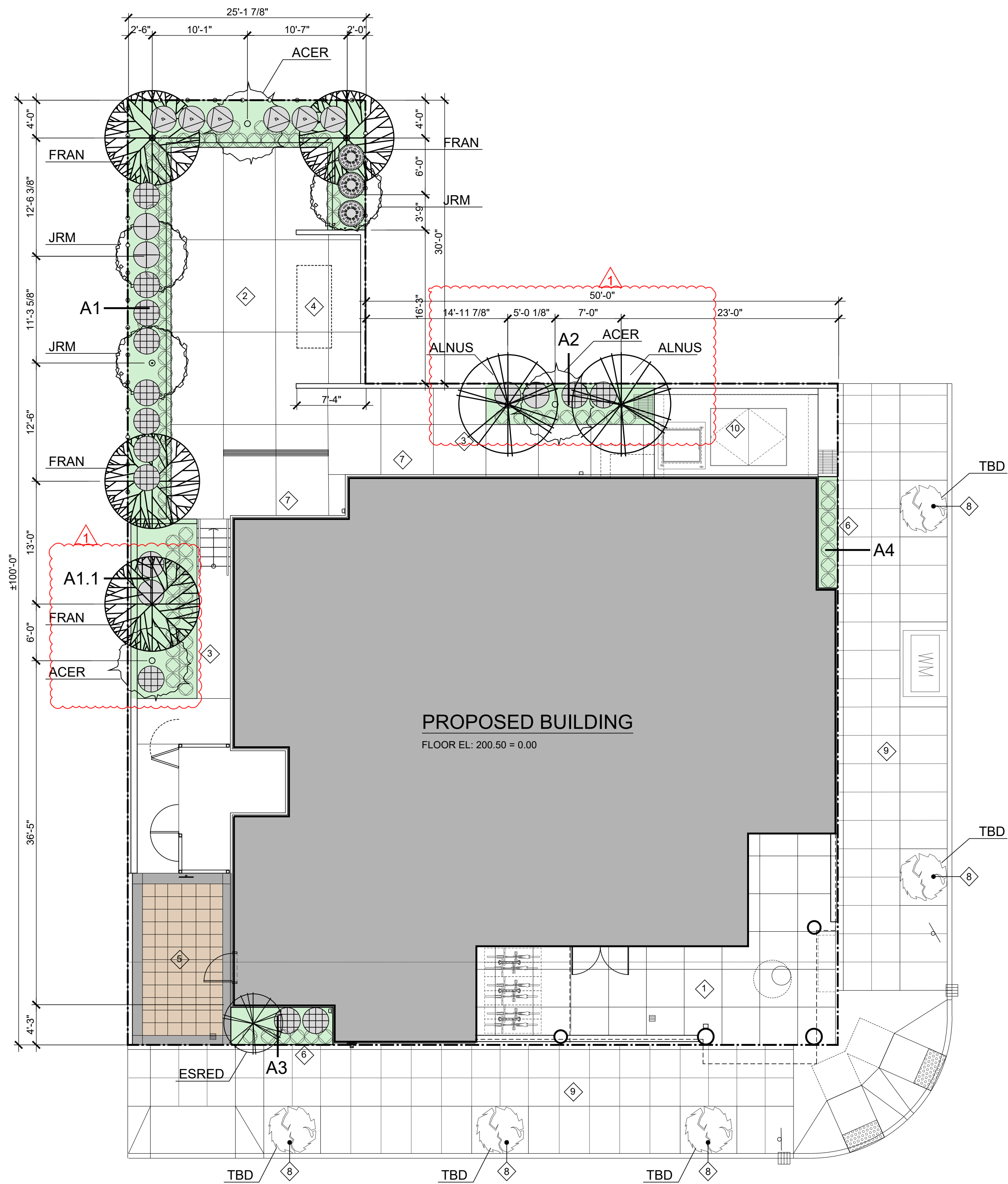
SHEET CONTENTS

ROOF DECK
PLAN & ELEV.

SHEET NUMBER

A9.3

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1 LANDSCAPE PLAN
SCALE 3/16" = 1'-0"

LEGEND

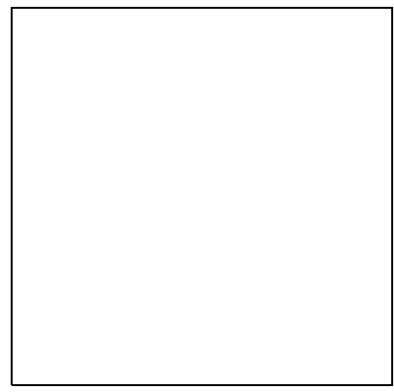
- 1 ARCADE
- 2 PLAZA
- 3 WALKWAY
- 4 EMERGENCY GENERATOR
- 5 LOADING AREA
LOADING AREA WITH COLORED PAVER SEE A1.2
CONG PAVERS-MUTUAL MATERIALS - UNI-OPTILOC 3 1/8"X4"
1/2" X 8 7/8" - COLOR GRAY
- 6 PLANTER
- 7 WINDOW WELL
- 8 INSTALL NEW STREET TREE UNDER
"MINOR IMPROVEMENT PUBLIC WORKS PERMIT".
SEE CIVIL DWG.
- 9 SIDEWALK SEE CIVIL DRAWING
- 10 UNDERGROUND ELECTRICAL VAULT

L1, GENERAL LANDSCAPING.

1. INTENT. THE L1 STANDARD IS A LANDSCAPE TREATMENT FOR OPEN AREAS. IT IS INTENDED TO BE APPLIED IN SITUATIONS WHERE DISTANCE IS USED AS THE PRINCIPAL MEANS OF SEPARATING USES OR DEVELOPMENT, AND LANDSCAPING IS REQUIRED TO ENHANCE THE AREA IN-BETWEEN. WHILE PRIMARILY CONSISTING OF GROUND COVER PLANTS, IT ALSO INCLUDES A MIXTURE OF TREES, HIGH SHRUBS, AND LOW SHRUBS.
2. REQUIRED MATERIALS. THE L1 STANDARD HAS TWO DIFFERENT REQUIREMENTS FOR TREES AND SHRUBS. GROUND COVER PLANTS MUST FULLY COVER THE REMAINDER OF THE LANDSCAPED AREA.
 - A. WHERE THE AREA TO BE LANDSCAPED IS LESS THAN 30 FEET DEEP, THE STANDARD IS ONE LARGE TREE PER 30 LINEAR FEET, ONE MEDIUM TREE PER 22 LINEAR FEET, OR ONE SMALL TREE PER 16 LINEAR FEET. TREES OF DIFFERENT SIZES MAY BE COMBINED TO MEET THE STANDARD. TREES MAY BE GROUPED.
 - B. WHERE THE AREA IS 30 FEET DEEP OR GREATER, THE REQUIREMENT IS EITHER TWO HIGH SHRUBS OR THREE LOW SHRUBS PER 400 SQUARE FEET OF LANDSCAPED AREA IN ADDITION TO THE TREES REQUIRED IN 2.A, ABOVE. THE SHRUBS AND TREES MAY BE GROUPED.
3. ALL STREET TREE ACTIVITIES MUST COMPLY WITH TH1073*

AREA CALCULATION

BUILDING COVERAGE		
MAX. BUILDING COVERAGE 85% OF SITE AREA AREA		
LOT AREA		6,000.00 SF
LANDSCAPE AREA CALCULATION		
AREA 1		415.00 SF
AREA 1.1		133.00 SF
AREA 2		77.00 SF
AREA 3		44.00 SF
AREA 4		25.00 SF
TOTAL LANDSCAPE		694.00 SF
HARDSCAPE AREA CALCULATION		
ARCADE	512.00 SF	15 PERCENT 76.80 SF
PLAZA/COURTYARD/WALKWAY	1,527.00 SF	229.05 SF
OVERALL LANDSCAPE AREA		16.7% 999.85 SF



SUBMITTED 02-05-21
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SW PARK APARTMENTS
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PROJ NO.
2021-012

SHEET CONTENTS
LANDSCAPE PLAN

SHEET NUMBER

L1.1

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August 18, 2022

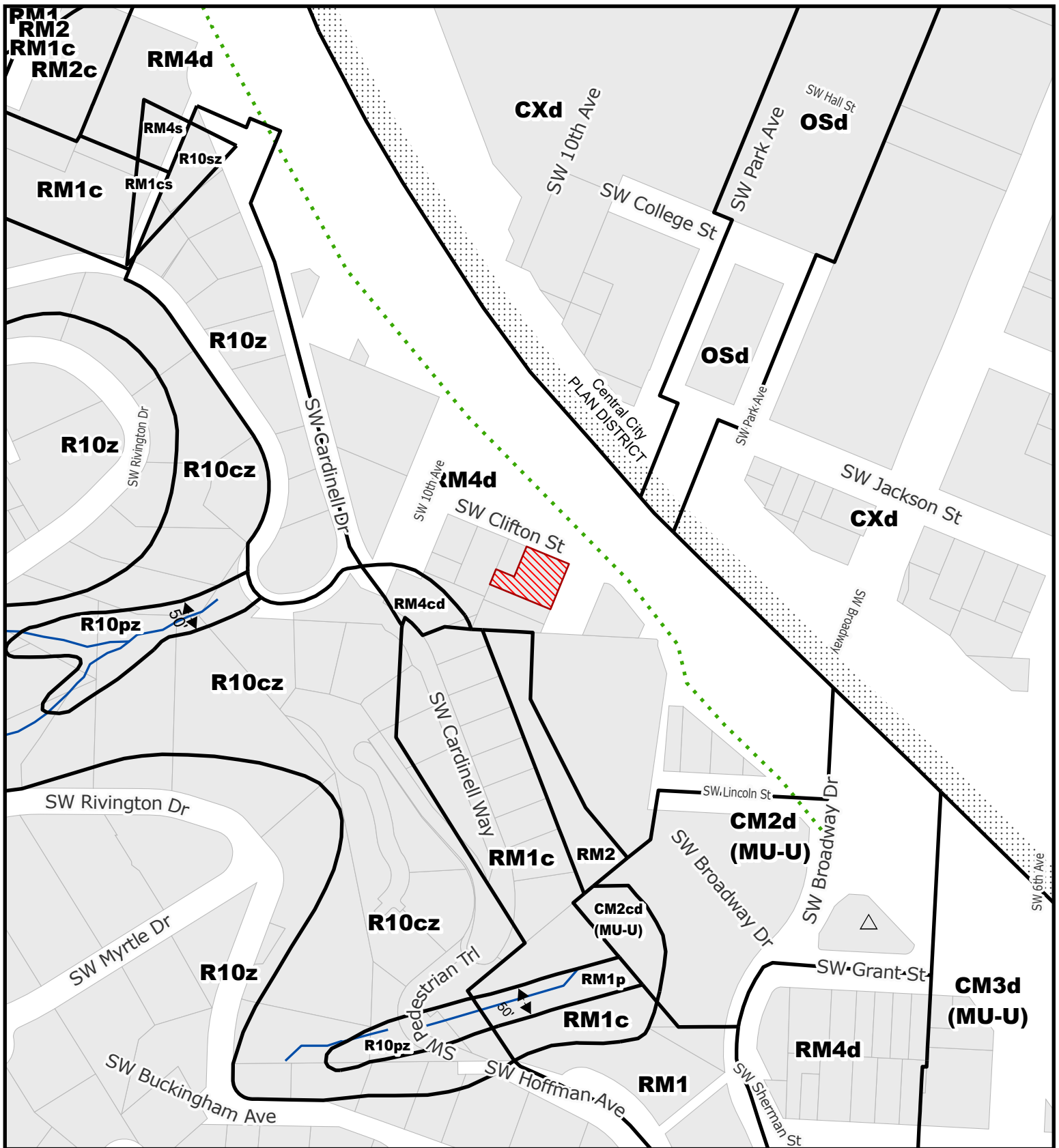
Good morning Tanya

Please find attached our Option B proposal for our proposed 12 story affordable housing project on Park Avenue. We are asking the Design Commission to review this option along with our original submission to hopefully gain acceptance of either proposal. The reason for the Option B, is basically a timing issue as we need to comply with other affordable housing requirements of timing to be able to achieve this project. The two options are very similar, except Option B shows an extra 3'-7" at the west setback, as there is a current questioning of the ownership and use of the most westerly 3'-7" in an adverse possession question that is being resolved, however, we need to keep our project advancing, regardless of which party ends up being able to use that 3'-7" strip. Option B presents an option that is 3'-7" shorter in the East/West direction, but is practically identical in the overall design as our original proposal. Review and acceptance of either option will allow our process to keep moving to a building permit. Please forward this option with our original submittal so it can be reviewed at our upcoming meeting. If you have any questions or need any further clarification, please contact me at 503-539-8802 or email me. We look forward to our meeting.

Thank you

Ralph Tahran, Architect

Tahran Architecture & Planning LLC.

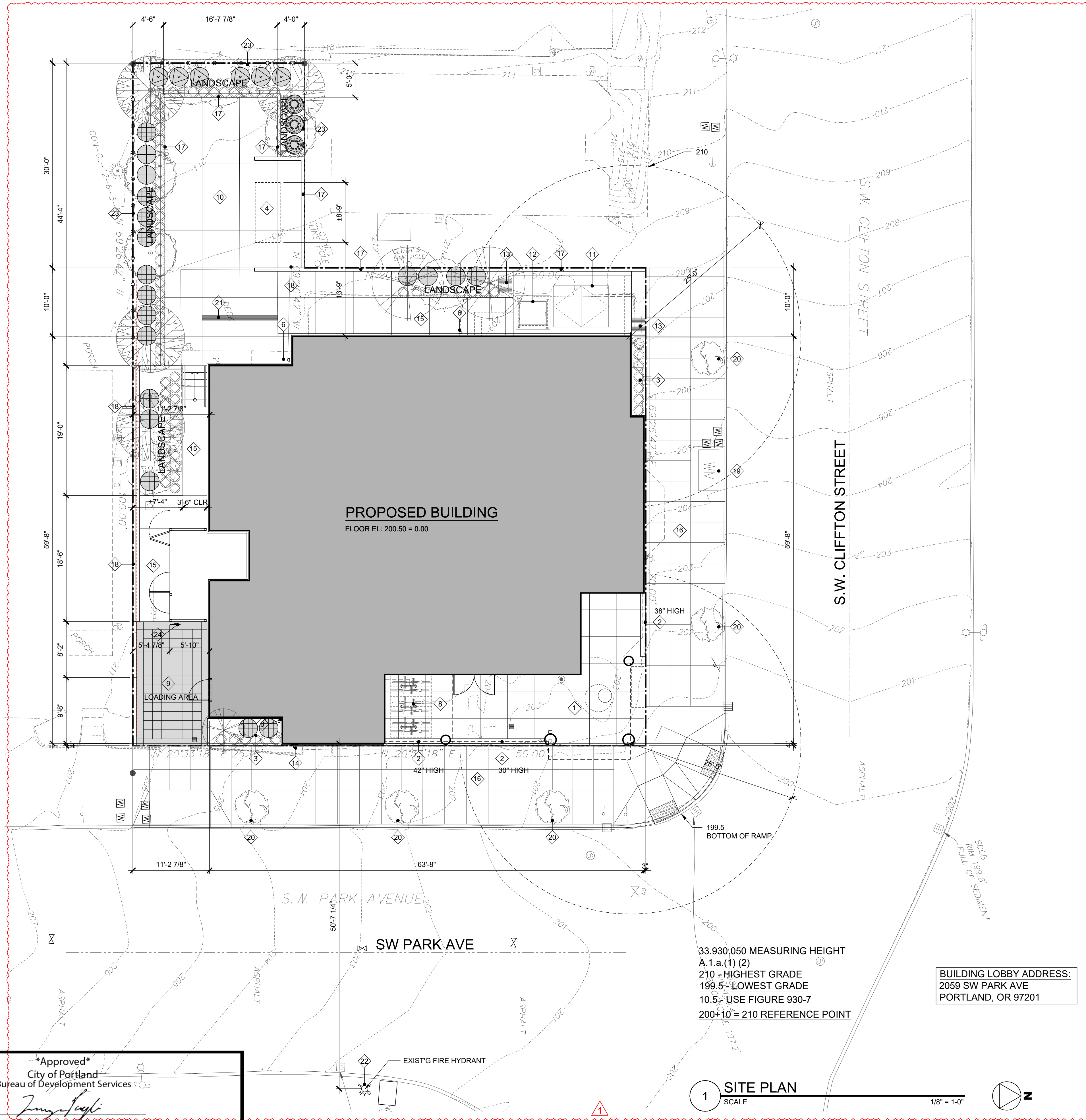


For Zoning Code in effect Post August 1, 2021

ZONING

-  Site
-  Historic Landmark
-  Stream
-  Recreational Trails

File No.	<u>LU 22 - 157148 DZM</u>
1/4 Section	<u>3228</u>
Scale	<u>1 inch = 200 feet</u>
State ID	<u>1S1E04DA 8800</u>
Exhibit	<u>B Jul 29, 2022</u>



LEGEND

- 1 ARCADE
- 2 CONC LOW WALL
- 3 PLANTER
- 4 EMERGENCY GENERATOR
- 5 WINDOW WELL WITH 42" HIGH GUARDRAIL
- 6 DOWNSPOUT
- 7 NOT USED
- 8 FLOOR MOUNTED BIKE PARKING (SHORT TERM)
- 9 LOADING AREA WITH COLORED PAVER SEE A1.2
CONC PAVERS-MUTUAL MATERIALS - UNI-OPTILOC 3 1/8"X4"
1/2" X 8 7/8" - COLOR GRAY
- 10 PLAZA
- 11 VAULT DOOR
- 12 SUMP PUMP DOOR ACCESS
- 13 VENT
- 14 FDC CONNECTION
- 15 WALKWAY
- 16 PUBLIC IMPROVEMENT SEE CIVIL
- 17 RETAINING WALL
- 18 RETAINING WALL WITH 6' HIGH CMU FENCE
- 19 WATER METER SEE CIVIL
- 20 TREE WELL SEE CIVIL
- 21 DRAIN TRENCH
- 22 EXIST'G FIRE HYDRANT
- 23 WOOD FENCE
- 24 LOADING AREA SIGN

PROJECT DESCRIPTION

THE PROPOSED PROJECT IS 12 STORY MASS TIMBER PANEL CONSTRUCTION WITH BASEMENT LOCATED IN 2059 SW PARK AVE PORTLAND, OR 97201.

CONSTRUCTION TYPE - IV-B AND IVC

STUDIO ADA TYPE B - 96 UNITS
 STUDIO ADA TYPE A - 2 UNITS
 TOTAL NUMBER OF UNITS - 98 UNITS

THE BUILDING IS EQUIPPED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13.

GENERAL INFORMATION

PROPERTY ID: R246517
 COUNTY: MULTNOMAH
 STATE ID: 1S1E04DA 8800
 NEW STATE ID: 1S1E04DA -08800
 ALT ACCOUNT #: R667725410
 MAP NUMBER: 3228 OLD
 LAND TYPE: RES - RESIDENTIAL LAND
 TOTAL LAND AREA: 6,000.00 SF

SITE INFO

SITE ADDRESS:
 2059 SW PARK AVE
 PORTLAND, OR 97201

NEIGHBORHOOD

JURISDICTION: PORTLAND / MULTNOMAH

ZONING

ZONE: RM4 - RESIDENTIAL MULTI-DWELLING 4
 DESCRIPTION:
 OVERLAY: d - Design
 BASE OVERLAY COMBINATION: RM4d
 COMP PLAN: MD-U - Multi-Dwelling - Urban Center
 COMP PLAN OVERLAY: NONE

LAND INFORMATION

RESIDENTIAL LAND 6,000 SF

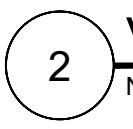
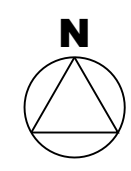
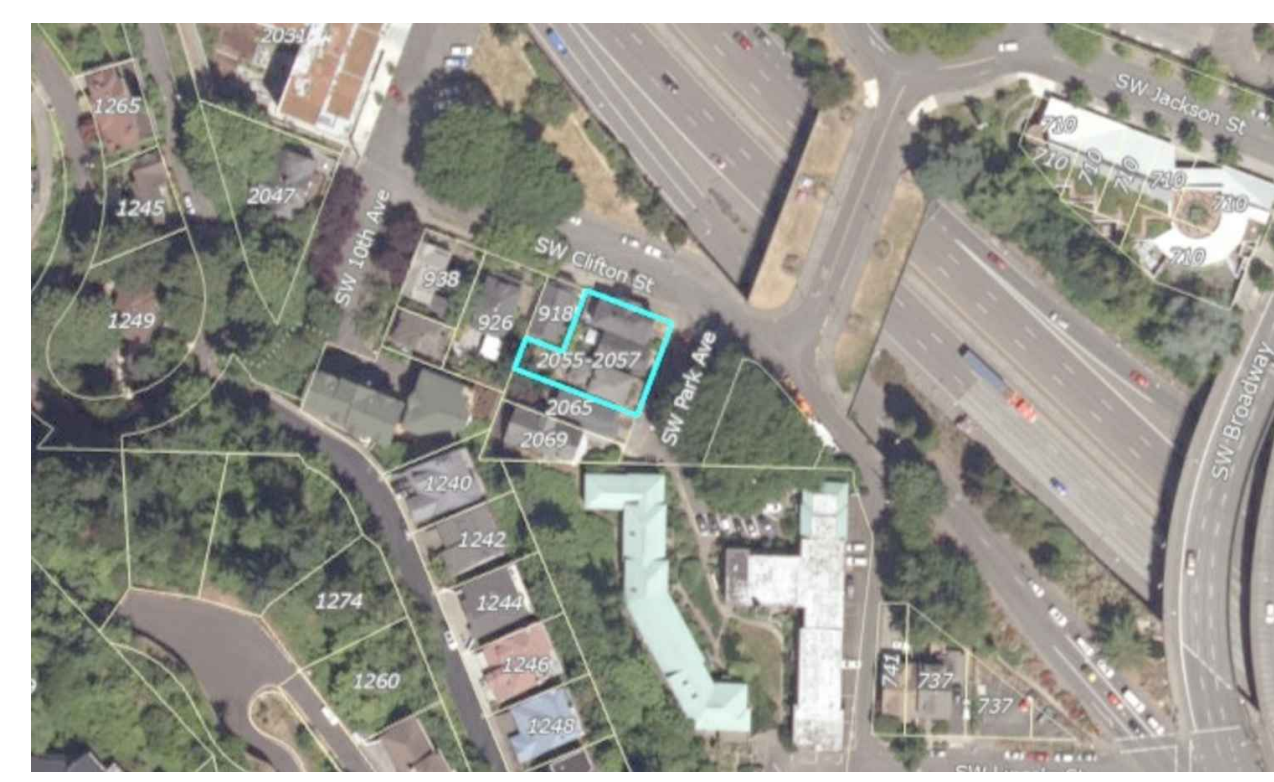
33.930,050 MEASURING HEIGHT
 A.1.a.(1) (2)
 210 - HIGHEST GRADE
 199.5 - LOWEST GRADE
 10.5 - USE FIGURE 930-7
 200+10 = 210 REFERENCE POINT

BUILDING LOBBY ADDRESS:
 2059 SW PARK AVE
 PORTLAND, OR 97201

1 **SITE PLAN**
SCALE

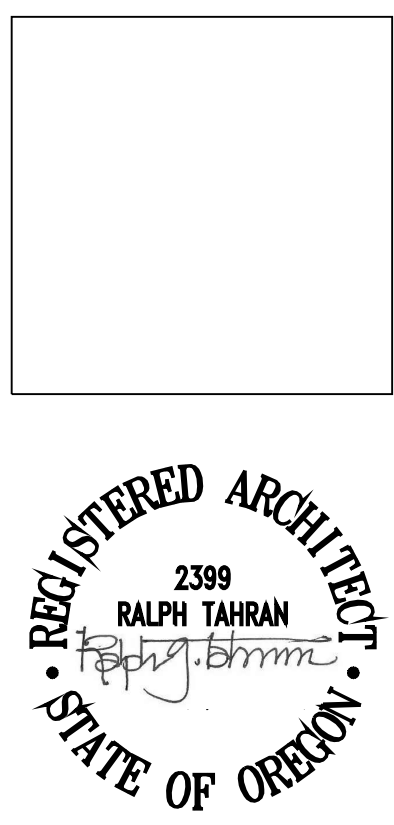
1/8" = 1'-0"

2 **VICINITY MAP**
N.T.S.



Approved
 City of Portland
 Bureau of Development Services
 Planner: *[Signature]*
 Date: 9/15/2022
 *This approval only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

SUBMITTED 02-05-21



TAHRAN ARCHITECTURE & PLANNING LLC
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SW PARK APARTMENTS
 2059 SW PARK AVE,
 PORTLAND OR: 97201

CHECKED BY	RALPH TAHRAN	
DRAWN BY	RCM	
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1	05.06.22	OWNER/ARCHITECT REVISION

PROJ NO.
2021-012

SHEET CONTENTS
SITE PLAN & KEY NOTES

SHEET NUMBER

A1.1

LU 22-157148 DZM C-1

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SW Park Avenue Apartments

2059 SW PARK AVE
PORTLAND, OREGON 97201

Property Information Area SF
Property ID : R246517 6,000.00 SF

Lot Area 6,000.00 SF
FAR 42,112.00 SF

Zone: RM4
Total Number of Units 98 Studio

Location	Unit Area	Common Area	Total Area	ST
Basement		2,244.53 SF	2,244.53 SF	with Stair
Level 1		2,999.44 SF	2,552.16 SF	without stair
Level 2	2,428.00 SF	938.81 SF	3,366.81 SF	with Stair
Level 3	2,788.00 SF	445.59 SF	3,233.59 SF	without stair
Level 4	2,788.00 SF	929.53 SF	3,717.53 SF	with Stair
Level 5	2,788.00 SF	445.59 SF	3,233.59 SF	without stair
Level 6	2,788.00 SF	929.53 SF	3,717.53 SF	with Stair
Level 7	2,788.00 SF	445.59 SF	3,233.59 SF	without stair
Level 8	2,788.00 SF	929.53 SF	3,717.53 SF	with Stair
Level 9	2,788.00 SF	445.59 SF	3,233.59 SF	without stair
Level 10	2,788.00 SF	929.53 SF	3,717.53 SF	with Stair
Level 11	2,788.00 SF	445.59 SF	3,233.59 SF	without stair
Level 12	2,788.00 SF	929.53 SF	3,717.53 SF	with Stair
Total	24,732.00 SF	9,438.73 SF	32,250.44 SF	98

FAR 7 to 1 or 6 to 1 (1)

Location	Total Area
Level 1	748.00 SF
Level 2	3,366.81 SF
Level 3	3,717.53 SF
Level 4	3,717.53 SF
Level 5	3,717.53 SF
Level 6	3,717.53 SF
Level 7	3,717.53 SF
Level 8	3,717.53 SF
Level 9	3,717.53 SF
Level 10	3,717.53 SF
Level 11	3,717.53 SF
Level 12	3,717.53 SF
Total Area	33,855.06 SF

Bike Parking Calculations

Long Term Bike	98 Units x 1.1 =	107.00
Short Term Bike (1 Bike at every 20 units)		5.00
Total bike parking requirement		112.00

PROVIDED

BIKE PARKING	Horizontal	Vertical	Horizontal	No of Bike
Location	36"x120"	18"x44"	18"x60"	
Basement	none	none	48	48
Arcade (Short Term)	none	none	6	6
Level 1	6	10	none	16
Level 2	none	8	none	8
Level 3	none	9	none	9
Level 4	none	9	none	9
Level 5	none	9	none	9
Level 6	none	9	none	9
Level 7	none	none	none	0
Level 8	none	none	none	
Level 9	none	none	none	
Level 10	none	none	none	
Level 11	none	none	none	
Level 12	none	none	none	
Total Bike Parking	6	54	54	114

BIKE RACK

	Required	Provided
Large Bicycle Space 5%	5.60	6
Horizontal Bicycle Parking Min 30%	33.60	54

Floor area Calculation

Level 1	Floor Area	Studio	No. of Toilet
Lobby	126.00 SF		
Amenity	435.00 SF		1
Bike Storage	640.00 SF		
Fitness	445.00 SF		
Fire Command Center	204.00 SF		
Electrical Room	57.00 SF		
Janitor Closet	10.00 SF		
Machine Room	19.00 SF		
Trash Enclosure	123.00 SF		
Corridor	493.16 SF		
Total Area	2,552.16 SF		

Floor Area Calculation

Level 2	Floor Area	Studio	No. of Toilet
Unit 1	300.00 SF	Studio	1
Unit 2	300.00 SF	Studio	1
Unit 3	300.00 SF	Studio	1
Unit 4	340.00 SF	Studio	1
Unit 5	324.00 SF	Studio	1
Unit 6	288.00 SF	Studio	1
Unit 7	288.00 SF	Studio	1
Unit 8	288.00 SF	Studio	1
Total Number of Units	2,428.00 SF		8

Floor Area Calculation

Level 2	Floor Area	Studio	No. of Toilet
Unit 1	300.00 SF	Studio	1
Unit 2	300.00 SF	Studio	1
Unit 3	300.00 SF	Studio	1
Unit 4	340.00 SF	Studio	1
Unit 5	324.00 SF	Studio	1
Unit 6	288.00 SF	Studio	1
Unit 7	288.00 SF	Studio	1
Unit 8	288.00 SF	Studio	1
Total Number of Units	2,428.00 SF		8

Level 3 to 12

Level 3 to 12	Floor Area	Studio	No. of Toilet
Unit 1	300.00 SF	Studio	1
Unit 2	300.00 SF	Studio	1
Unit 3	300.00 SF	Studio	1
Unit 4	340.00 SF	Studio	1
Unit 5	324.00 SF	Studio	1
Unit 6	288.00 SF	Studio	1
Unit 7	288.00 SF	Studio	1
Unit 8	288.00 SF	Studio	1
Unit 9	360.00 SF	Studio	1
Total Number of Units	2,788.00 SF		9

Location

Location	No of Units
Level 1	0
Level 2	8
Level 3	9
Level 4	9
Level 5	9
Level 6	9
Level 7	9
Level 8	9
Level 9	9
Level 10	9
Level 11	9
Level 12	9
Total Number of Units	98

Lot Area

6,000.00 SF

Outdoor Area Calculation

98 Units x 36 sf	3,528.00 SF
Amenity	435.00 SF
Fitness Room	445.00 SF
Rooftop Lounge	2,669.00 SF
Total Outdoor area	3,549.00 SF

Landscape Area Calculation

Building Footprint	3,187.00 SF	53.12%
Compactor	80.00 SF	1.33%
Plaza/Walkway (15%)	1,527.00 SF	229.05 SF
Arcade/Courtyard (15%)	512.00 SF	76.80 SF
Landscape	694.00 SF	694.00 SF
Total Landscape Area	6,000.00	999.85 SF 16.23%

LOT AREA

6,000.00 SF

LANDSCAPE AREA CALCULATION

AREA 1	415.00 SF
AREA 1.1	133.00 SF
AREA 2	77.00 SF
AREA 3	44.00 SF
AREA 4	25.00 SF
TOTAL LANDSCAPE	694.00 SF

HARDSCAPE AREA CALCULATION

	AREA SF	15 PERCENT
ARCADE	512.00 SF	76.80 SF
PLAZA/COURTYARD/WALKWAY	1,527.00 SF	229.05 SF
OVERALL LANDSCAPE AREA	16.7%	999.85 SF

1 1ST FLOOR PLAN
SCALE 1/16" = 1-0"

4 OCCUPIED ROOF PLAN
SCALE 1/16" = 1-0"

COMMON AREA CALCULATION

2 2ND FLOOR PLAN
SCALE 1/16" = 1-0"

4 OCCUPIED ROOF PLAN
SCALE 1/16" = 1-0"

1 1ST FLOOR PLAN
SCALE 1/16" = 1-0"

3 3RD-12TH FLOOR PLAN
SCALE 1/16" = 1-0"

Approved
City of Portland
Bureau of Development Services

Planner *[Signature]*
Date **9/15/2022**

*This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.



SUBMITTED 02-05-21

TAHRAN ARCHITECTURE & PLANNING LLC
333 S. STATE LAKE OSWEGO, OREGON 97034
T (503) 539-8802 | F (503) 697-1985 | e ralph@tahrancast.net

SW PARK APARTMENTS
2059 SW PARK AVE,
PORTLAND OR. 97201

CHECKED BY	RALPH TAHRAN
DRAWN BY	RGM
NO. DATE	ISSUE/REVISION
05.06.22	OWNER/ARCHITECT REVISION

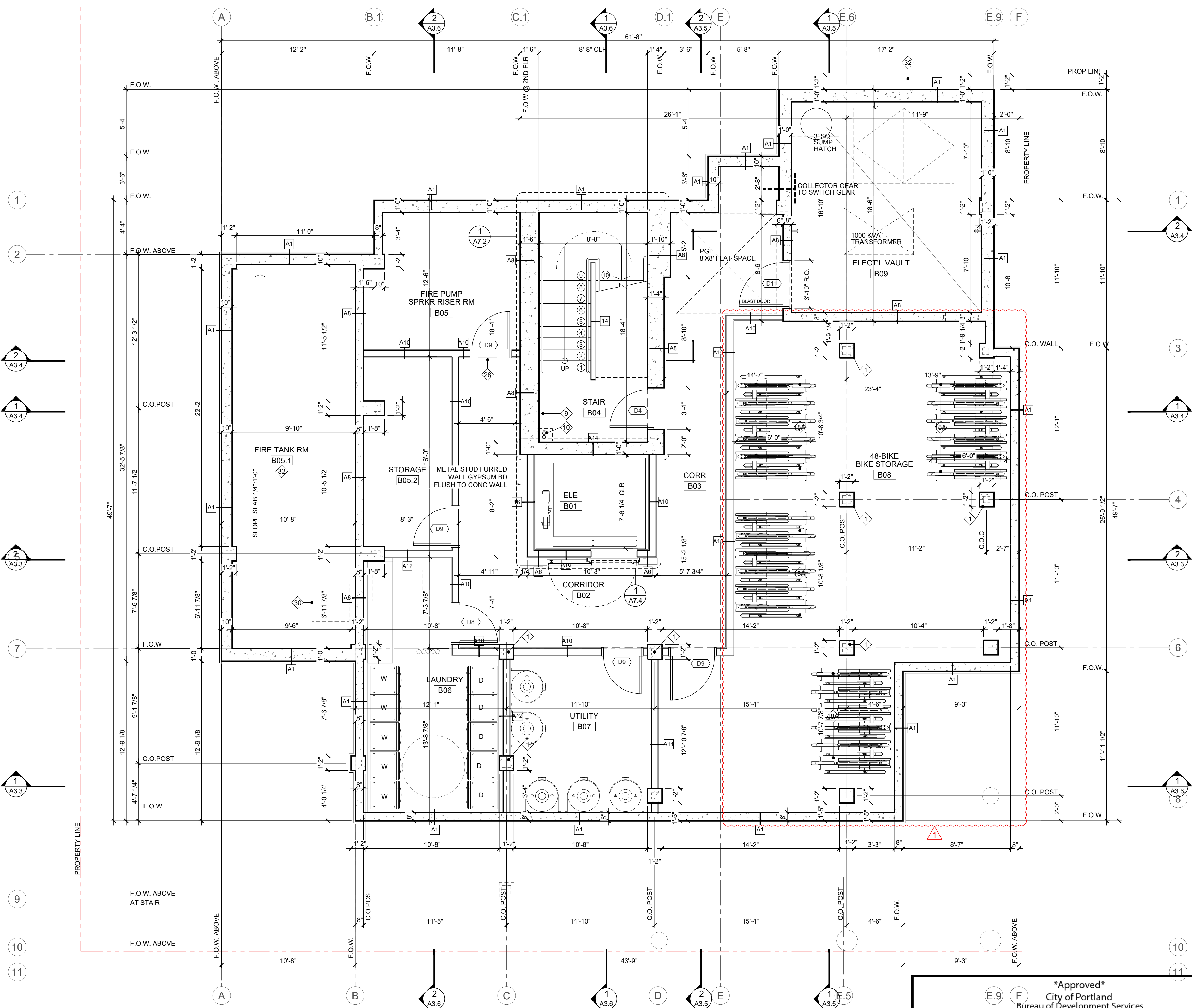
PROJ. NO.
2021-012

SHEET CONTENTS
TITLE 33
PLANNING
AND ZONING

SHEET NUMBER

A0.0

LU 22-157148 DZM C-2



KEYNOTES

- 1 CONCRETE COLUMN SEE DETAIL 11.11.1/A8.5
- 1A COLUMN WRAP SEE DETAIL 10/A8.5
- 2 CONCRETE BEAM
- 3 FLOOR ABOVE
- 4 PLUMBING CHASE
- 5 ERRC CABINET/CHASE
- 6 FLOOR DRAIN
- 7 JULIET BALCONY
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- 15 FDC CONNECTION
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- 17 DOWNSPOUT
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- 22 FIXED LADDER
- 23 WASHER
- 24 DRYER
- 25 WATER HEATER
- 26 ROOF BELOW
- 27 METAL PLANTER SEE L1.1
- 28 SIGN SEE TYPICAL DETAIL 2/A8.9 (CODE SUMMARY SEE A0.2A)
- 29 FIRE DEPARTMENT CONNECTION SIGN (CODE SUMMARY SEE A0.2A)
- 30 DOOR SIGNAGE
- 31 36"x36" ACCESS HATCH
- 32 SHORING SEE STRUCTURAL DWG
- 33 WATER PROOF FINISH FLOOR, WALL, CEILING

- ### NOTES
1. DIMENSIONS ARE TO GRID LINE OR FACE OF STUD, UNLESS OTHERWISE NOTED.
 2. ▷ INDICATES UNIT ENTRY
 3. SEE LANDSCAPE AND CIVIL FOR SITE WORK
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 5. SEE SCHEDULE OF DOORS A10.1
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 14. WINDOW LOCATIONS VARIES BY ROOM AND FLOOR LEVEL. SEE ENLARGED PLAN SHEETS, AS WELL AS WINDOW SCHEDULE FOR WINDOW SIZES.
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CARBON MONOXIDE / SMOKE DETECTOR (SC)

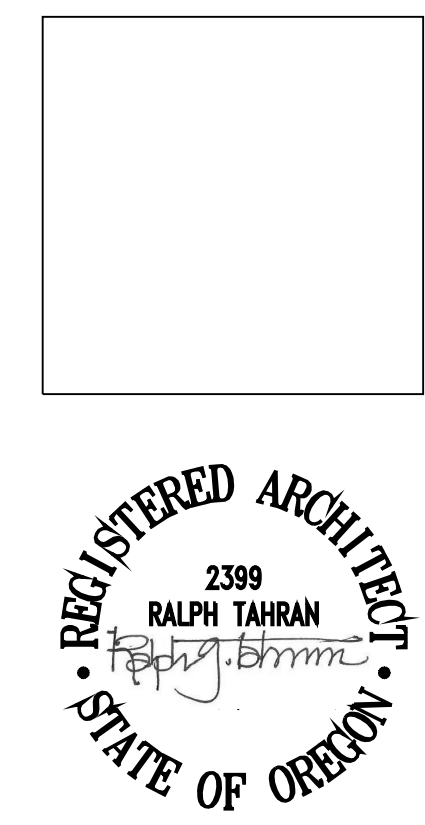
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3. SC SYMBOL USED FOR COMBINATION SMOKE DETECTOR/CARBON MONOXIDE DETECTOR.
4. S/C DETECTORS TO THE 110V, INTERCONNECT WITH BATTERY BACKUP.
5. LOCATED WITHIN 15 FEET OUTSIDE OF EACH BEDROOM.

1 BASEMENT FLOOR PLAN
SCALE 1/4" = 1'-0"

Approved
City of Portland
Bureau of Development Services

Planner *Jenny Seigler*
Date 9/15/2022

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SUBMITTED 02-05-21

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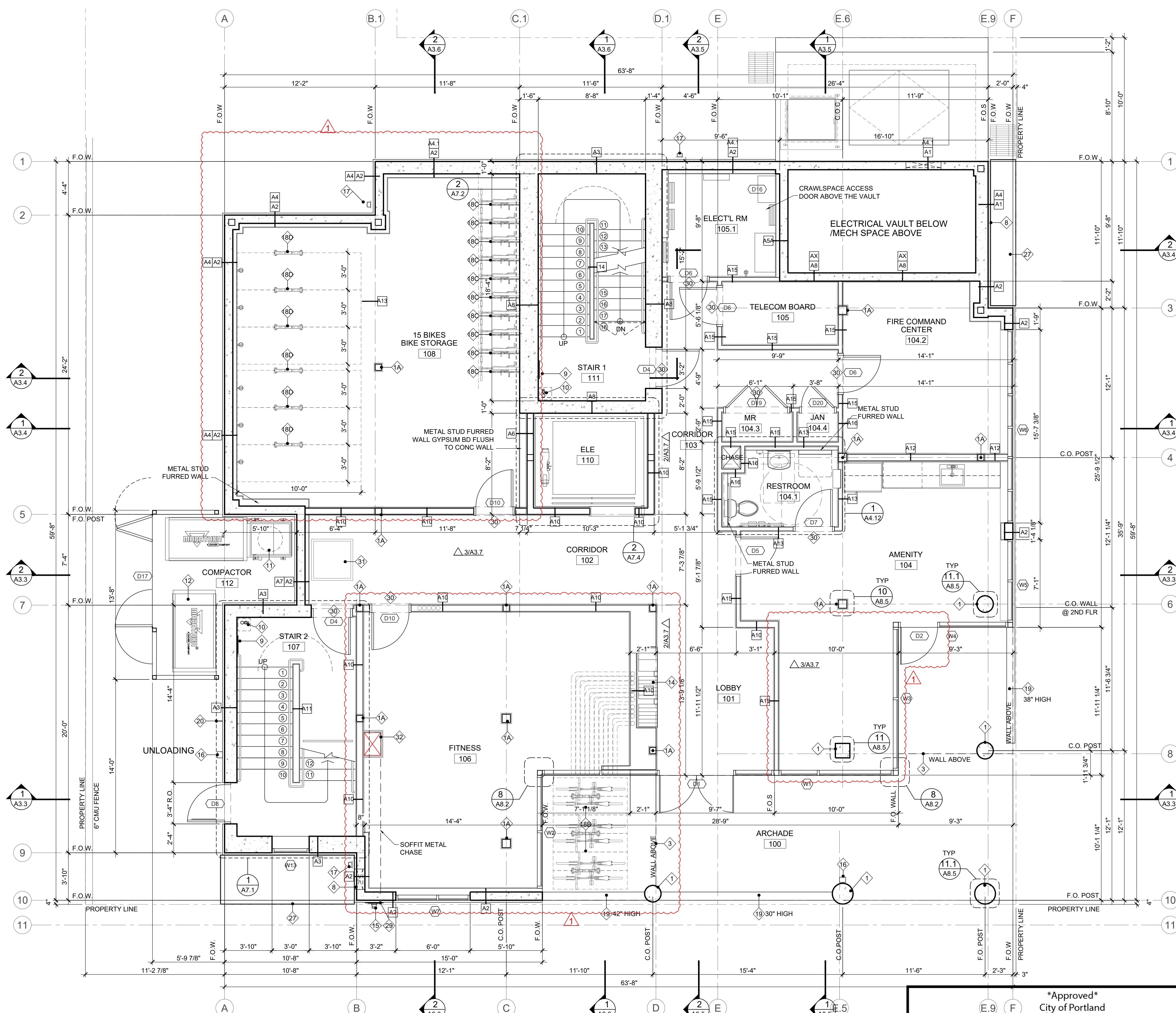
PROJ NO.
2021-012

SHEET CONTENTS
BASEMENT FLOOR PLAN & KEY NOTES

SHEET NUMBER

A2.0

LU 22-157148 DZM C-3



1 1ST FLOOR PLAN
SCALE 1/4" = 1'-0"

KEYNOTES

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- 2 CONCRETE BEAM
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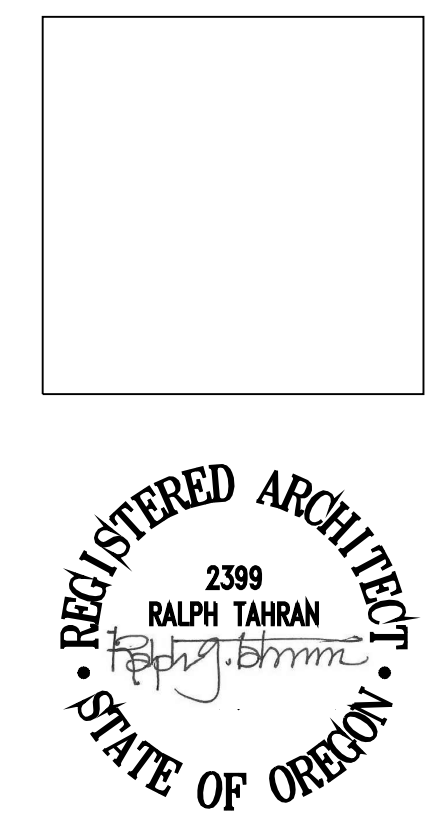
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 5. LOCATED WITHIN 15 FEET OUTSIDE OF EACH BEDROOM.

Approved
City of Portland
Bureau of Development Services

Planner *Jenny Seagle*
Date 9/15/2022

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SUBMITTED 02-05-21

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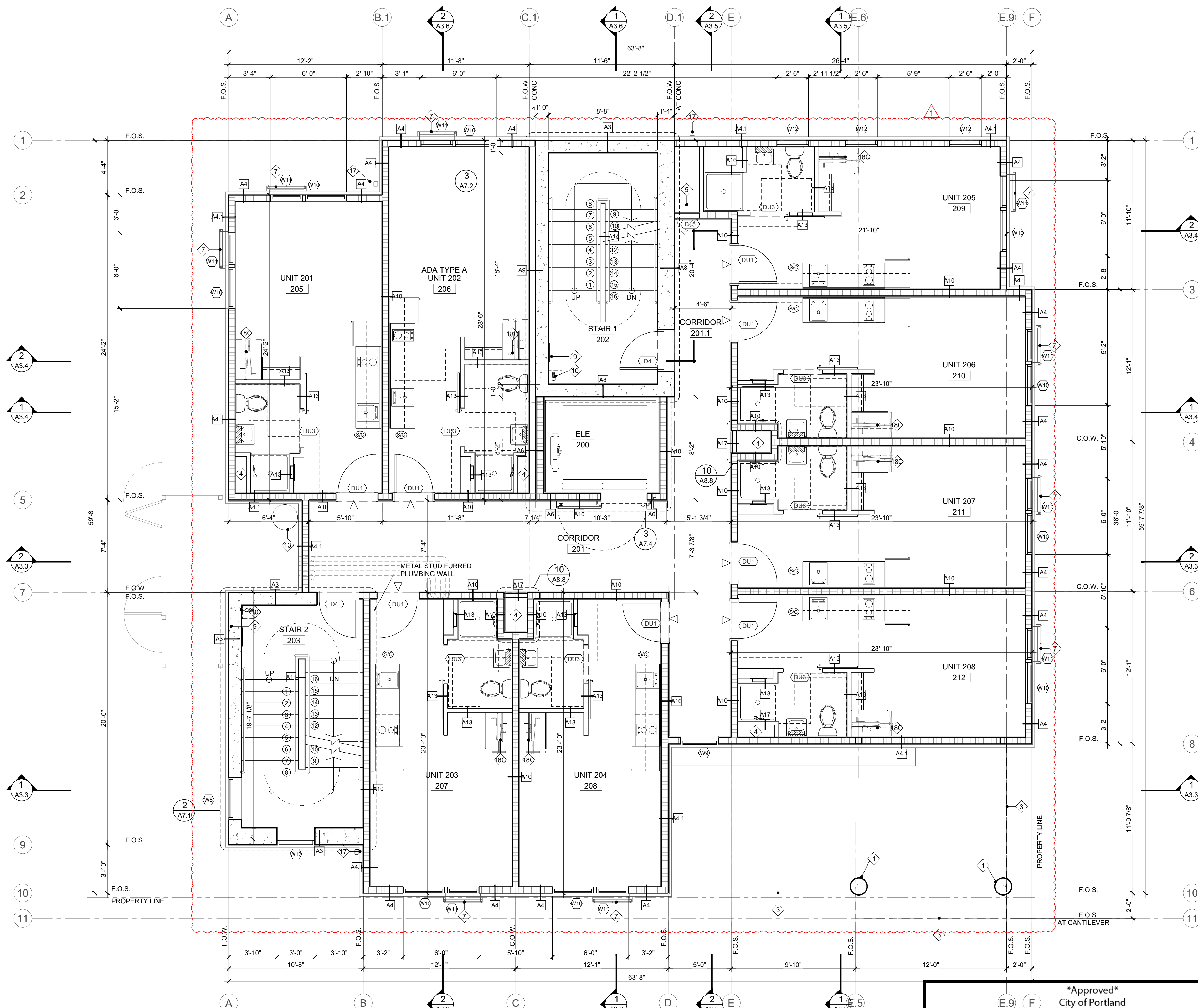
PROJ NO.
2021-012

SHEET CONTENTS
1ST FLOOR PLAN & KEY NOTES

SHEET NUMBER

A2.1

LU 22-157148 DZM C-4



1 SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

- ### KEYNOTES
- 1 CONCRETE COLUMN SEE DETAIL 11.11.1/A8.5
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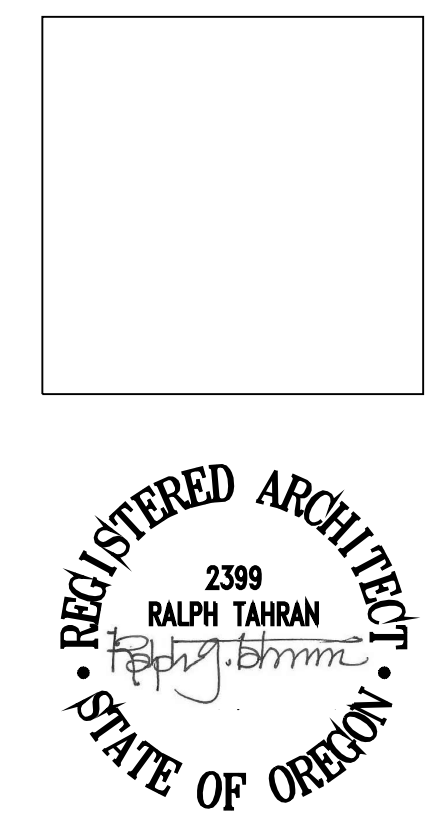
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 3. S/C SYMBOL USED FOR COMBINATION SMOKE DETECTOR/CARBON MONOXIDE DETECTOR.
 4. S/C DETECTORS TO THE 110V, INTERCONNECT WITH BATTERY BACKUP.
 5. LOCATED WITHIN 15 FEET OUTSIDE OF EACH BEDROOM.

Approved
City of Portland
Bureau of Development Services

Planner *Jenny Seagle*
Date 9/15/2022

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SUBMITTED 02-05-21

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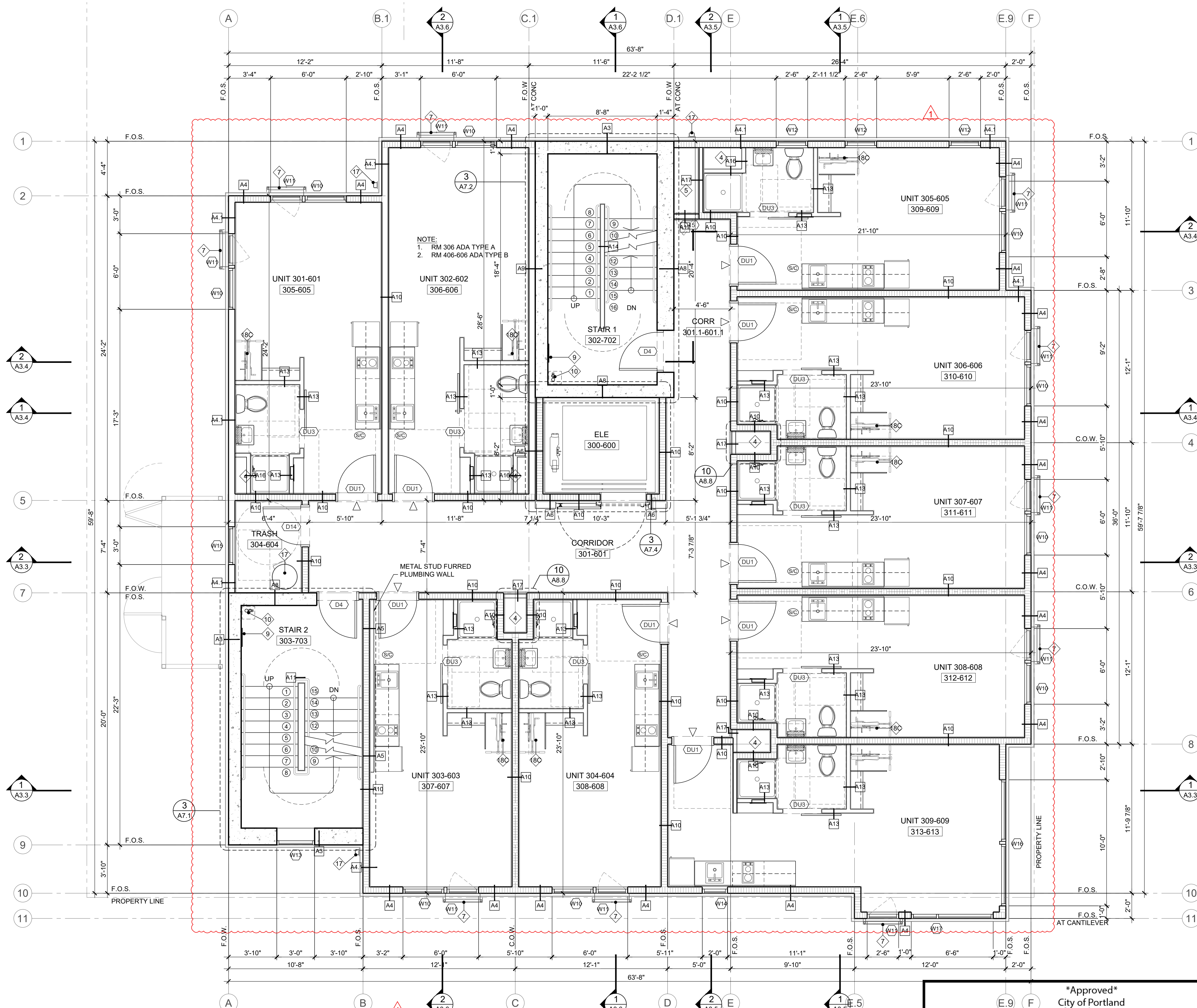
SHEET CONTENTS

2ND FLOOR PLAN & KEY NOTES

SHEET NUMBER

A2.2

LU 22-157148 DZM C-5



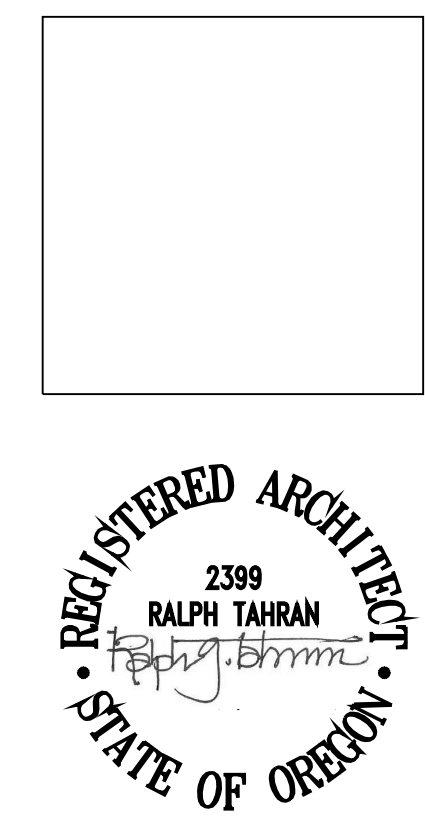
1 TYPICAL 3RD-6TH FLOOR PLAN
SCALE 1/4" = 1'-0"

Approved
City of Portland
Bureau of Development Services
Planner *[Signature]*
Date 9/15/2022
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- ### KEYNOTES
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 4. S/C DETECTORS TO THE 110V, INTERCONNECT WITH BATTERY BACKUP.
 5. LOCATED WITHIN 15 FEET OUTSIDE OF EACH BEDROOM.



SUBMITTED 02-05-21
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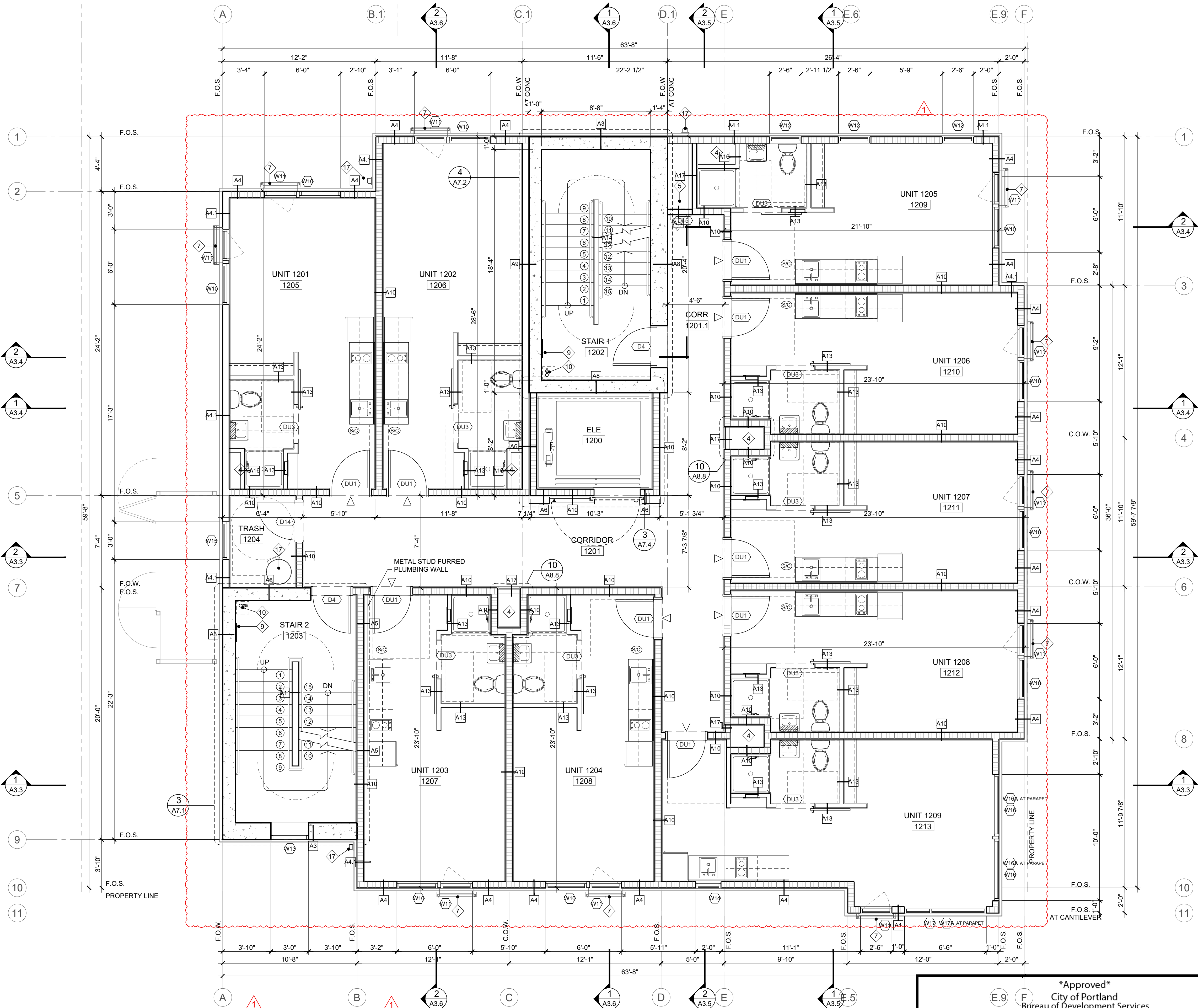
PROJ NO. 2021-012

SHEET CONTENTS
TYPICAL
3RD-6TH
FLOOR PLAN
& KEY NOTES

SHEET NUMBER

A2.3

LU 22-157148 DZM C-6



12TH FLOOR PLAN
SCALE 1/4" = 1'-0"

Approved
City of Portland
Bureau of Development Services
Planner *[Signature]*
Date 9/15/2022
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 - 23 WASHER
 - 24 DRYER
 - 25 WATER HEATER
 - 26 ROOF BELOW
 - 27 METAL PLANTER SEE L1.1

- ### NOTES
1. DIMENSIONS ARE TO GRID LINE OR FACE OF STUD, UNLESS OTHERWISE NOTED.
 2. ▷ INDICATES UNIT ENTRY
 3. SEE LANDSCAPE AND CIVIL FOR SITE WORK
 4. SEE SCHEDULE OF WINDOWS A11.1
 5. SEE SCHEDULE OF DOORS A10.1
 6. SEE WALL ASSEMBLY TYPES A0.3, A0.4 SEE FLOOR/CEILING ASSEMBLY TYPES A0.3, A0.4
 7. ENLARGE ARCADE SEE 1/A4.13
 8. ELECTRICAL FIXTURES AND ELECTRICAL LIGHTING PANEL LOCATION SEE ELECTRICAL DRAWINGS.
 9. MECHANICAL EXHAUST FAN AND LOCATION SEE MECHANICALS DRAWINGS.
 10. ALL OUTLETS AND PENETRATIONS AT UNIT DEMISING, STAIR, ELEVATOR, AND CORRIDOR WALLS SHOULD HAVE PUTTY PADS COVERING THE ENTIRE OUTLET.
 11. ALL PENETRATIONS AT UNIT DEMISING, STAIR, ELEVATOR, AND CORRIDOR WALLS NEED TO BE SEALED WITH CAULK PER WALL ASSEMBLY FIRE RATING.
 12. DO NOT SCALE DRAWINGS. EXTERIOR DIMENSIONS ARE TO GRID LINES, AND OUTSIDE FACE. INTERIOR DIMENSION ARE GRID LINES AND FACE OF STUD. OPENINGS ARE DIMENSIONED TO THE CENTER OF THE OPENING, UNO.
 13. CONTRACTOR SHALL VERIFY LOCATIONS AND SIZING OF ALL OPENINGS INCLUDING BUT NOT LIMITED TO HVAC, DOORS AND WINDOWS WITH APPLICABLE SUBCONTRACTORS.
 14. WINDOW LOCATIONS VARIES BY ROOM AND FLOOR LEVEL. SEE ENLARGED PLAN SHEETS, AS WELL AS WINDOW SCHEDULE FOR WINDOW SIZES.
 15. WINDOW SIZES ARE NOMINAL ROUGH OPENING, WIDTH AND HEIGHT.

- ### CARBON MONOXIDE / SMOKE DETECTOR (S/C)
1. CARBON MONOXIDE ALARM SHOULD OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE SLEEPING ROOM.
 2. CARBON MONOXIDE ALARM SHOULD BE PROVIDED ON EACH OF DWELLING.
 3. S/C SYMBOL USED FOR COMBINATION SMOKE DETECTOR/CARBON MONOXIDE DETECTOR.
 4. S/C DETECTORS TO THE 110V, INTERCONNECT WITH BATTERY BACKUP.
 5. LOCATED WITHIN 15 FEET OUTSIDE OF EACH BEDROOM.



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SW PARK APARTMENTS
2059 SW PARK AVE,
PORTLAND OR. 97201

CHECKED BY RALPH TAHRAN
DRAWN BY RGM
NO DATE ISSUE/REVISION
05.06.22 OWNER/ARCHITECT REVISION

PROJ NO.
2021-012

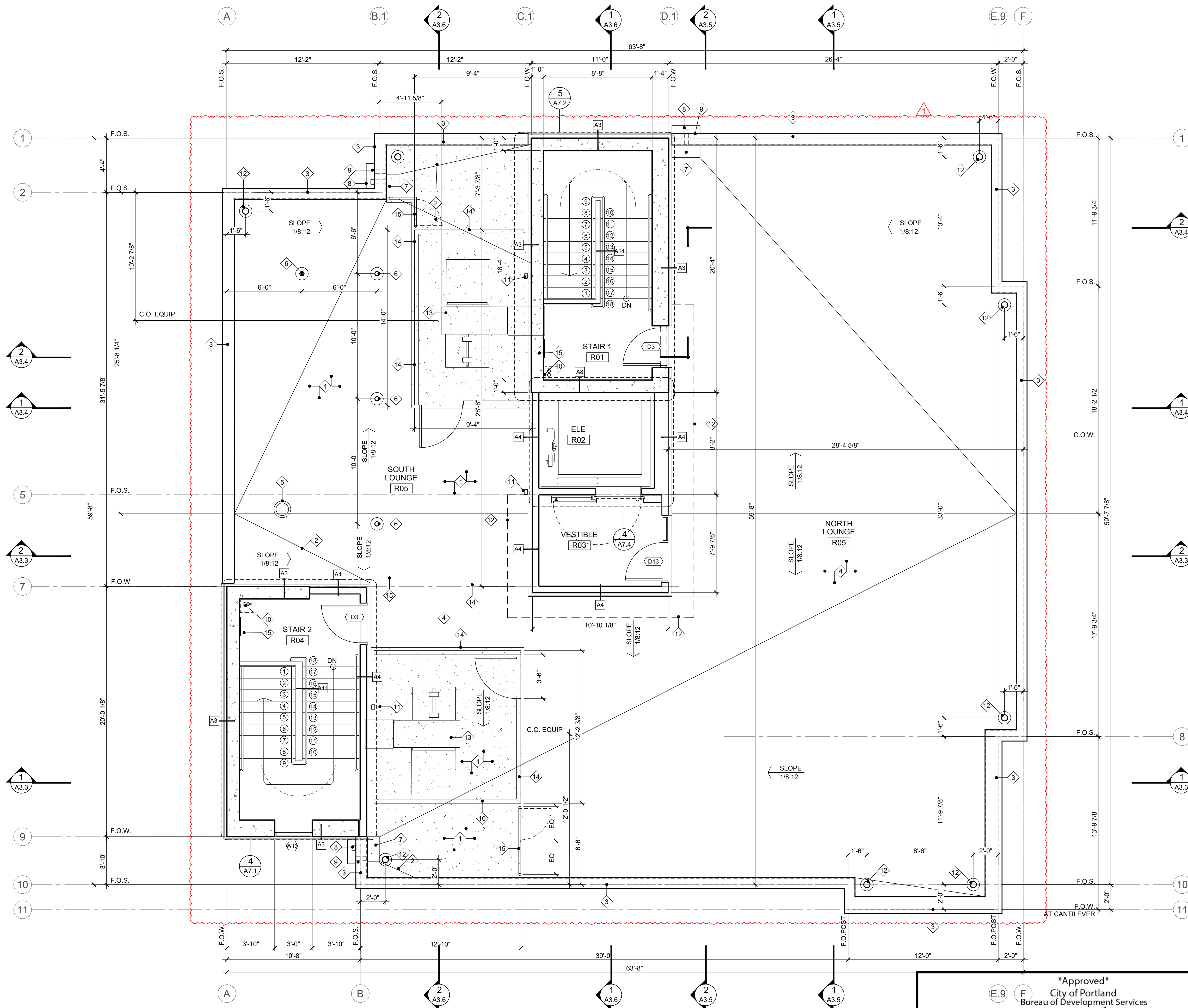
SHEET CONTENTS

12TH FLOOR PLAN & KEY NOTES

SHEET NUMBER

A2.4

LU 22-157148 DZM C-7

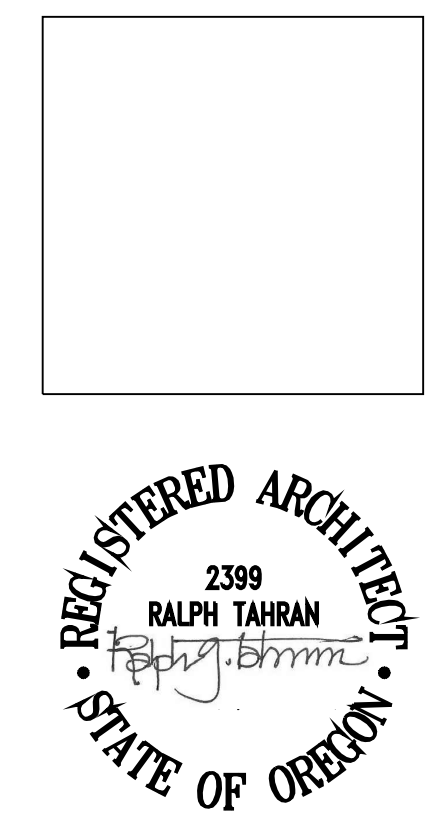


1 OCCUPIED ROOF PLAN
SCALE 1/4" = 1'-0"

Approved
City of Portland
Bureau of Development Services
Planner *[Signature]*
Date 9/15/2022
* This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

- ### KEY NOTES
- 1 TPO ROOFING
 - 2 VALLEY DRAIN TOWARDS ROOF DRAIN AND OVERFLOW SCUPPER OPENING
 - 3 FACTORY BUILT PARAPET TYPICAL
 - 4 TPO WITH RUBBER MATT
 - 5 TRASH CHUTE
 - 6 FALL PROTECTION SEE DETAIL 1/A8.8
 - 7 ROOF DRAIN
 - 8 GUTTER/SCUPPER SEE DETAIL 2/A8.7
 - 9 OVERFLOW SEE DETAIL 3/A8.7
 - 10 STANDPIPE SEE DETAIL 3/A8.8
 - 11 DOWNSPOUT
 - 12 ROOF DAVITS
 - 13 MECH EQUIPMENT SEE MECH PLAN
 - 14 MECH SCREEN
 - 15 GUARDRAIL/FENCE WITH 36" WIDE GATE

- ### GENERAL NOTES
1. ALL DIMENSIONS ARE TO FACE OF STUD U.N.O.
 2. SEE SHEET C FOR SYMBOLS AND LEGENDS
 3. SEE SHEET A10.1 FOR DOOR SCHEDULES AND DETAILS
 4. SEE SHEET MECHANICAL FOR EQUIPMENT LAYOUT AND INFORMATION
 5. SEE SHEET A0.3 FOR WALL ASSEMBLY TYPE
 6. SEE SHEET A7.1, A7.2 & A7.3 FOR ENLARGE STAIR PLAN/SECTION
- OUTRIGGER BEAM TIEBACK ANCHORS FOR SWING-STAGES MUST BE RATED FOR 4 TIMES THE HOIST MOTOR CAPACITY. MOST SWING STAGE HOIST MOTORS ARE RATED AT 1,000 LBS SO THE ROOF ANCHORS CHOSEN MUST BE RATED FOR 4,000 LBS. 29 CFR 1926.451(D)(1)
- PERSONAL FALL ARREST SYSTEMS SHALL LIMIT THE MAXIMUM ARRESTING FORCE ON A WORKER TO 1,800 POUNDS WHEN USED WITH A BODY HARNESS. 29 CFR 1926.502(D)(16)(ii)
- FALL ARREST ANCHOR POINTS: A NON-CERTIFIED ANCHOR POINT MUST PROVIDE SUFFICIENT STRENGTH TO WITHSTAND 5,000 POUNDS PER ATTACHED WORKER. 29 CFR 1926.502(D)(15) A CERTIFIED ANCHOR MUST BE CAPABLE OF WITHSTANDING TWICE THE POTENTIAL IMPACT ENERGY OF A WORKER FREE FALLING A DISTANCE OF 6 FEET. 29 CFR 1926.502(D)(16)(V) THE CERTIFIED ANCHOR CHOSEN MUST BE RATED FOR AT LEAST 3,600 POUNDS.
- WHEN USING ROOF ANCHORS (INDEPENDENTLY) FOR FALL ARREST AND AS OUTRIGGER BEAM TIEBACKS, A MINIMUM RATING OF 4,000 POUNDS IS REQUIRED.



SUBMITTED 02-05-21

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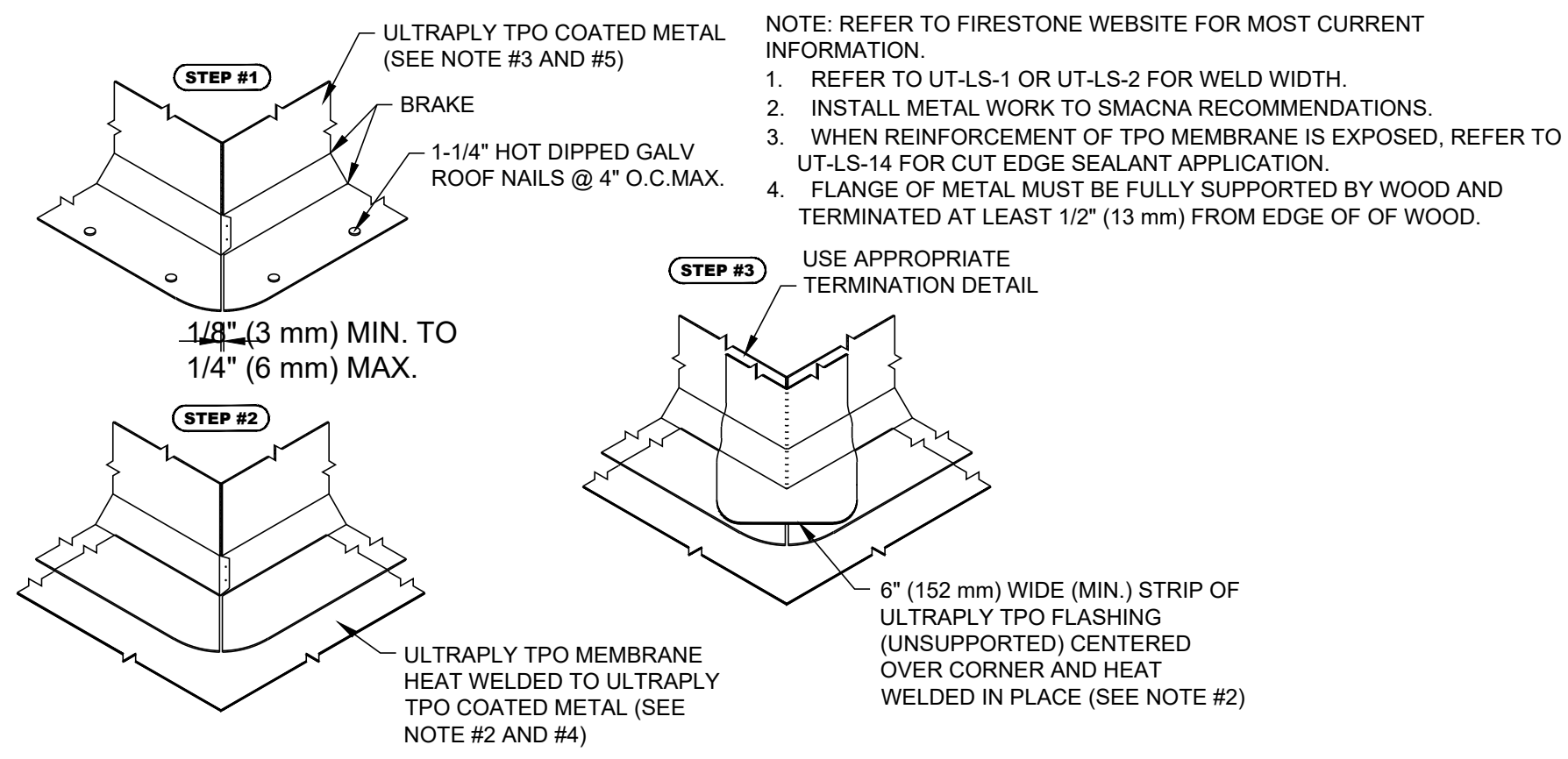
PROJ NO. 2021-012

SHEET CONTENTS
OCCUPIED ROOF PLAN & KEYNOTES

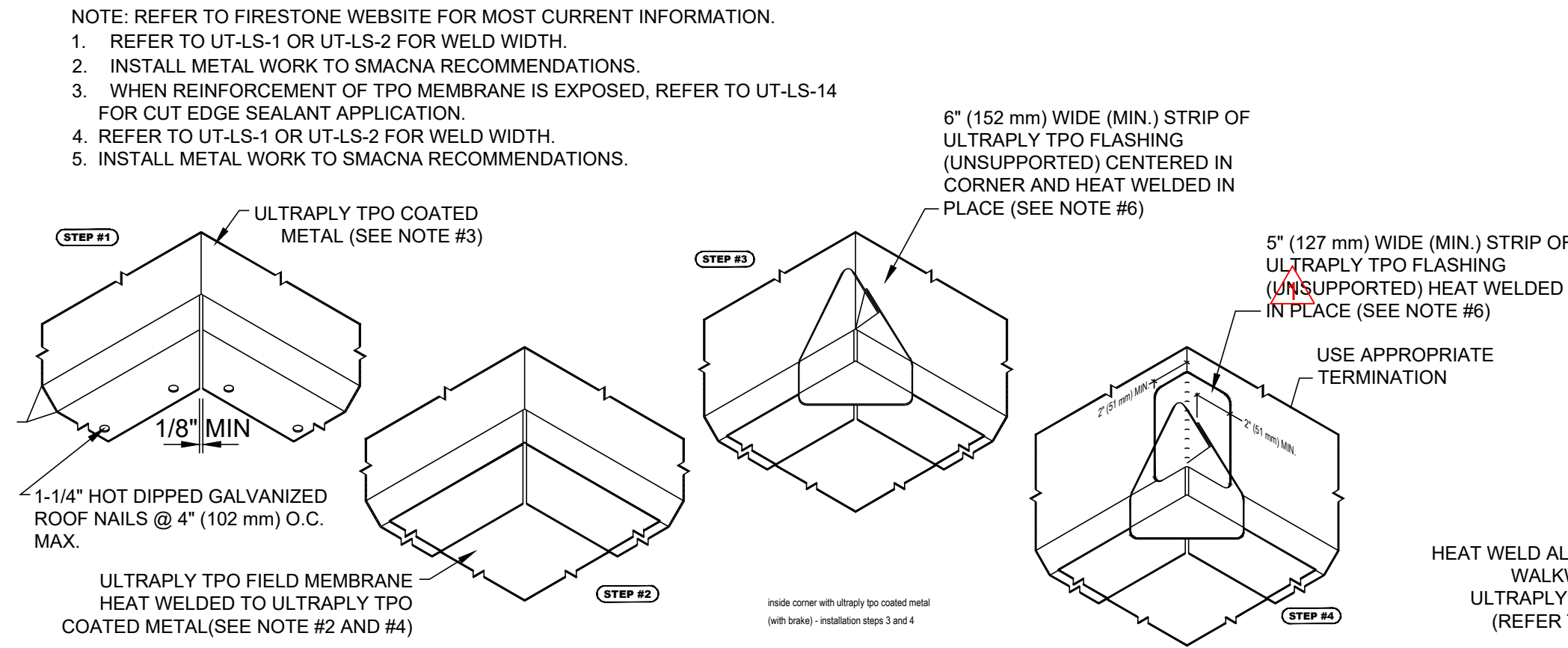
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A2.5

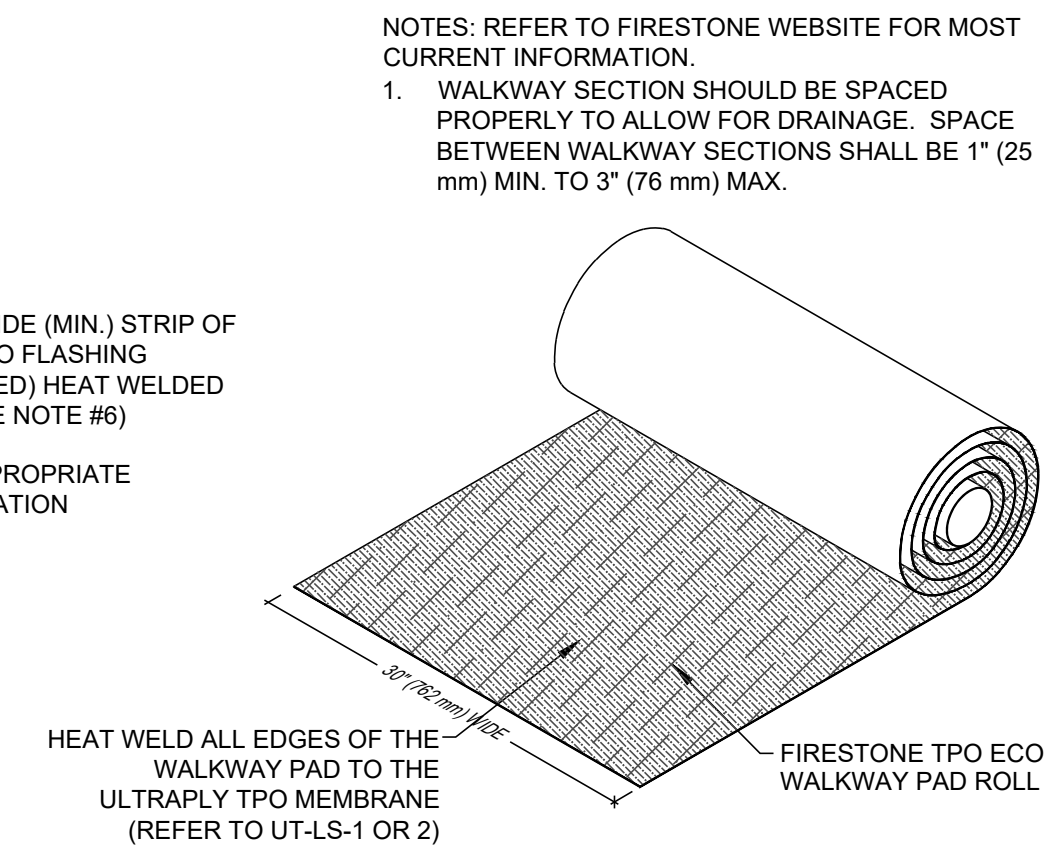
LU 22-157148 DZM C-8



2 TYPICAL OUTSIDE CORNER CANT DETAIL
N.T.S.



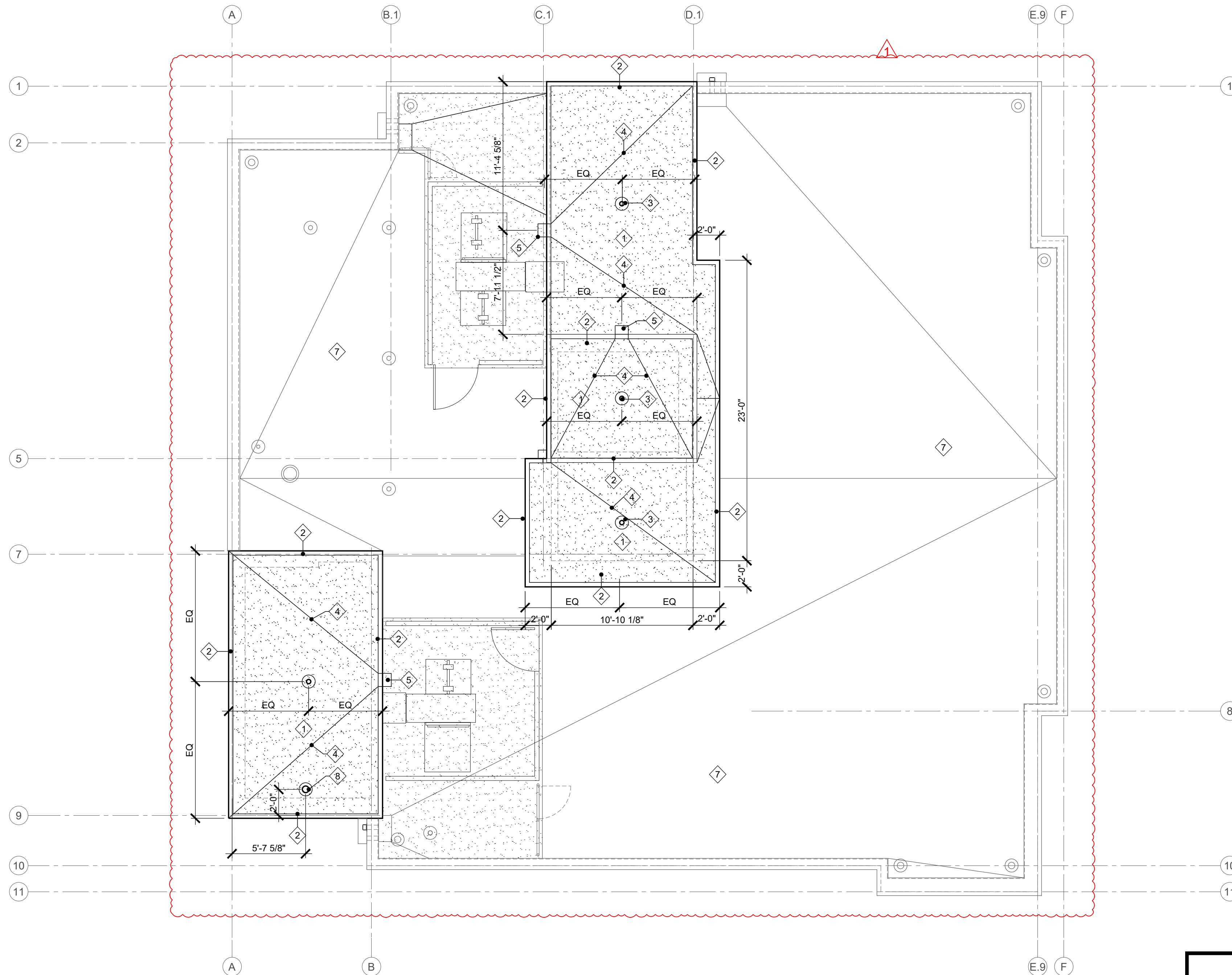
3 TYPICAL INSIDE CORNER CANT DETAIL
N.T.S.



4 TYPICAL WALK PAD DETAIL
N.T.S.

KEY NOTES

- 1 TPO ROOFING
- 2 METAL COPPING SEE DETAIL 5/A8.7
- 3 FALL PROTECTION
- 4 VALLEY DRAIN TOWARDS ROOF DRAIN AND OVERFLOW SCUPPER OPENING
- 5 SCUPPER/GUTTER SEE DETAIL 6, 10/A8.7
- 6 FALL PROTECTION SEE DETAIL 1/A8.8
- 7 ROOF BELOW
- 8 ROOF DAVIT



1 ROOF PLAN
SCALE 3/16" = 1'-0"



REGISTERED ARCHITECT
2399
RALPH TAHRAN
STATE OF OREGON

SUBMITTED 02-05-21

TAHRAN ARCHITECTURE & PLANNING LLC
333 S. STATE LAKE OSWEGO, OREGON 97034
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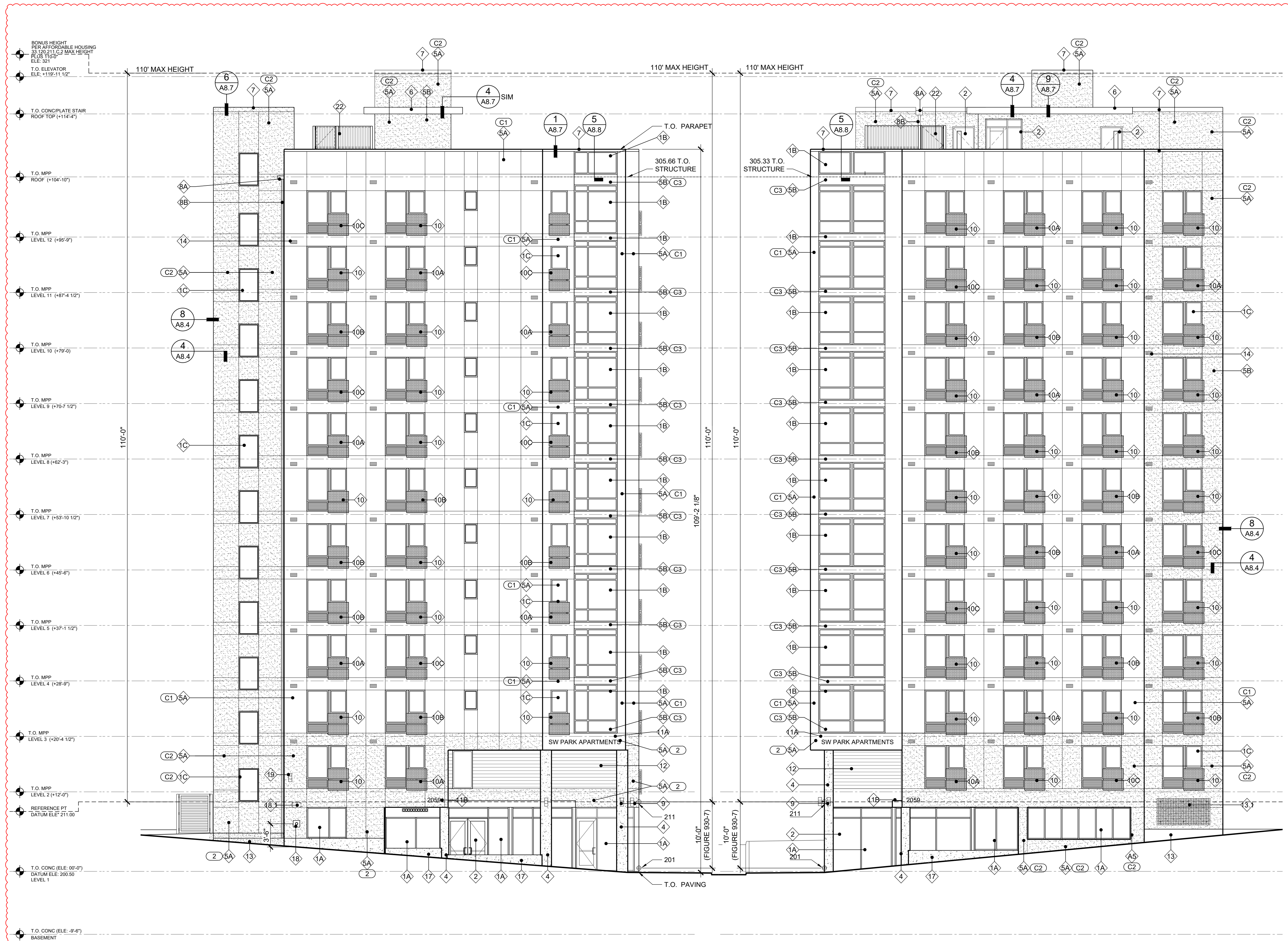
SHEET CONTENTS
ROOF PLAN
& KEY NOTES

SHEET NUMBER

A2.6

Approved
City of Portland
Bureau of Development Services
Planner *Zany Sepli*
Date **9/15/2022**
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LU 22-157148 DZM C-9



GENERAL NOTES

1. ALL KEYNOTES APPLY TO ELEVATIONS / SECTIONS
2. SEE SHEET A9.1 - WINDOW SCHEDULE
3. SEE SHEET A10.1 - DOOR SCHEDULE
4. SEE SHEET A12.1-A12.3 - WALL PENETRATION DETAILS
5. SEE SHEET A0.3-A0.4 - WALL ASSEMBLY
6. SEE SHEET A0.4 - FLOOR, CEILING, ROOF ASSEMBLY

KEY NOTES

- 1A WINDOW TYPE 1 (BLACK FRAME) SEE SCHEDULE
- 1B WINDOW TYPE 2 (BLACK FRAME) SEE SCHEDULE
- 1C WINDOW TYPE 3 (BLACK FRAME) SEE SCHEDULE
- 2 DOOR PER SCHEDULE
- 3 CONCRETE LOW WALL
- 4 CONCRETE POST
- 5A STUCCO TYPE 1
- 5B STUCCO TYPE 2
- 6 PRE-FINISH METAL FASCIA BOARD (PAINT MATCH ADJACENT SIDING)
- 7 PRE-FINISH METAL FLASHING (PARAPET CAP)
- 8A SCUPPER/GUTTER (PAINT MATCH ADJACENT SIDING)
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- 8C OVERFLOW (PAINT MATCH ADJACENT SIDING)
- 9 EXTERIOR LIGHTING
- 10 SIDING PANEL TYPE 1 COLOR SW 7072
- 10A SIDING PANEL TYPE 2 COLOR SW 7747
- 10B SIDING PANEL TYPE 3 COLOR SW 7613
- 10C SIDING PANEL TYPE 4 COLOR SW 0071
- 11A BUILDING SIGNAGE
- 11B BUILDING ADDRESS
- 12 LAMINATED WOOD PANEL
- 13 METAL PLANTER
- 13 4'X8' GREEN WALL
- 14 VENT (PAINT MATCH ADJACENT SIDING)
- 15 METAL LOUVER (PAINT MATCH ADJACENT SIDING)
- 16 HANDRAIL SEE DETAIL 4/A1.2
- 17 CONCRETE WALL FORM BOARD FINISH
- 18 FDC CONNECTION
- 18 FDC SIGNAGE
- 19 HOSE BIB
- 20 42" HIGH GUARDRAIL
- 21 42" HIGH WINDOW WELL GUARDRAIL
- 22 7' HIGH EQUIPMENT METAL PANEL SCREEN
- 23 4" DIA PVC PERF PIPE IN FREE DRAINING SAND AND GRAVEL ON 1" - 1 1/4" DRAINAGE ROCK WRAP PIPE MIRAFI-140N FILTER FABRIC

COLORS

- C1 STUCCO - STO 16003 -85 SHERWIN WILLIAMS RGB: 232,231,223
- C2 STUCCO - STO MEDIUM GRAY SHERWIN WILLIAMS RGB: 196,196,193
- C3 DARK - CHARCOAL BLACK COLOR MATCH WINDOW FRAME

GLAZING AREA CALCULATION EAST ELEVATION	
WALL AREA	7,010.00 SF
REQUIRED GLAZING 15%	1,051.50 SF
PROVIDED	1,663.00 SF
PERCENTAGE	23.72%
NORTH ELEVATION	
WALL AREA	6,588.00 SF
REQUIRED GLAZING 15%	988.20 SF
PROVIDED	2,048.00 SF
PERCENTAGE	31.09%

1 EAST ELEVATION
SCALE 1/8" = 1'-0"

33.930.050 MEASURING HEIGHT
A.1.a.(1) (2)
210 - HIGHEST GRADE
199.5 - LOWEST GRADE
10.5 - USE FIGURE 930-7
200+10 = 210 REFERENCE POINT

2 NORTH ELEVATION
SCALE 1/8" = 1'-0"

Approved
City of Portland
Bureau of Development Services

Planner *[Signature]*
Date **9/15/2022**
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SUBMITTED 02-05-21
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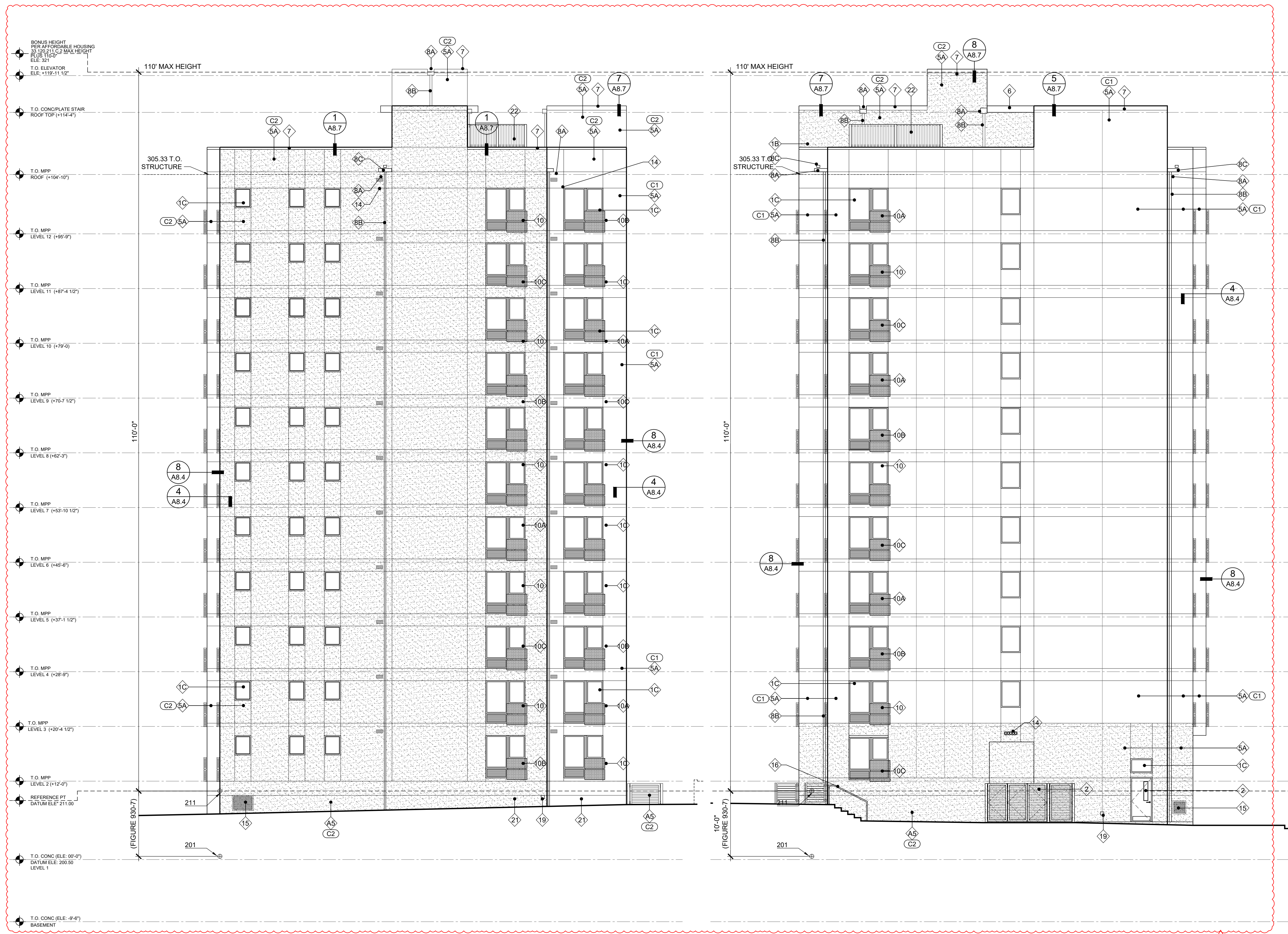
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05.06.22	OWNER/ARCHITECT REVISION

PROJ NO.
2021-012

SHEET CONTENTS
BUILDING ELEVATIONS & KEY NOTES

SHEET NUMBER

A3.1



GENERAL NOTES

1. ALL KEYNOTES APPLY TO ELEVATIONS / SECTIONS
2. SEE SHEET A9.1 - WINDOW SCHEDULE
3. SEE SHEET A10.1 - DOOR SCHEDULE
4. SEE SHEET A12.1-A12.3 - WALL PENETRATION DETAILS
5. SEE SHEET A0.3-A0.4 - WALL ASSEMBLY
6. SEE SHEET A0.4 - FLOOR, CEILING, ROOF ASSEMBLY

KEY NOTES

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COLORS

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- C3 DARK - CHARCOAL BLACK COLOR MATCH WINDOW FRAME

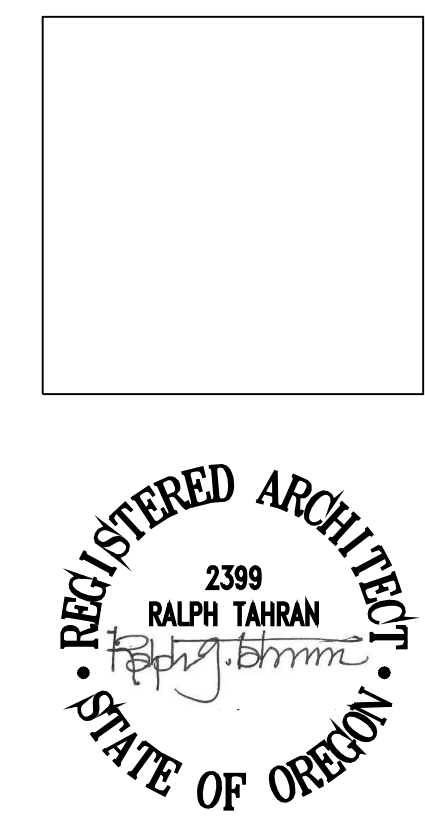
1 WEST ELEVATION
SCALE 1/8" = 1'-0"

2 SOUTH ELEVATION
SCALE 1/8" = 1'-0"

Approved
City of Portland
Bureau of Development Services

Planner *[Signature]*
Date 9/15/2022

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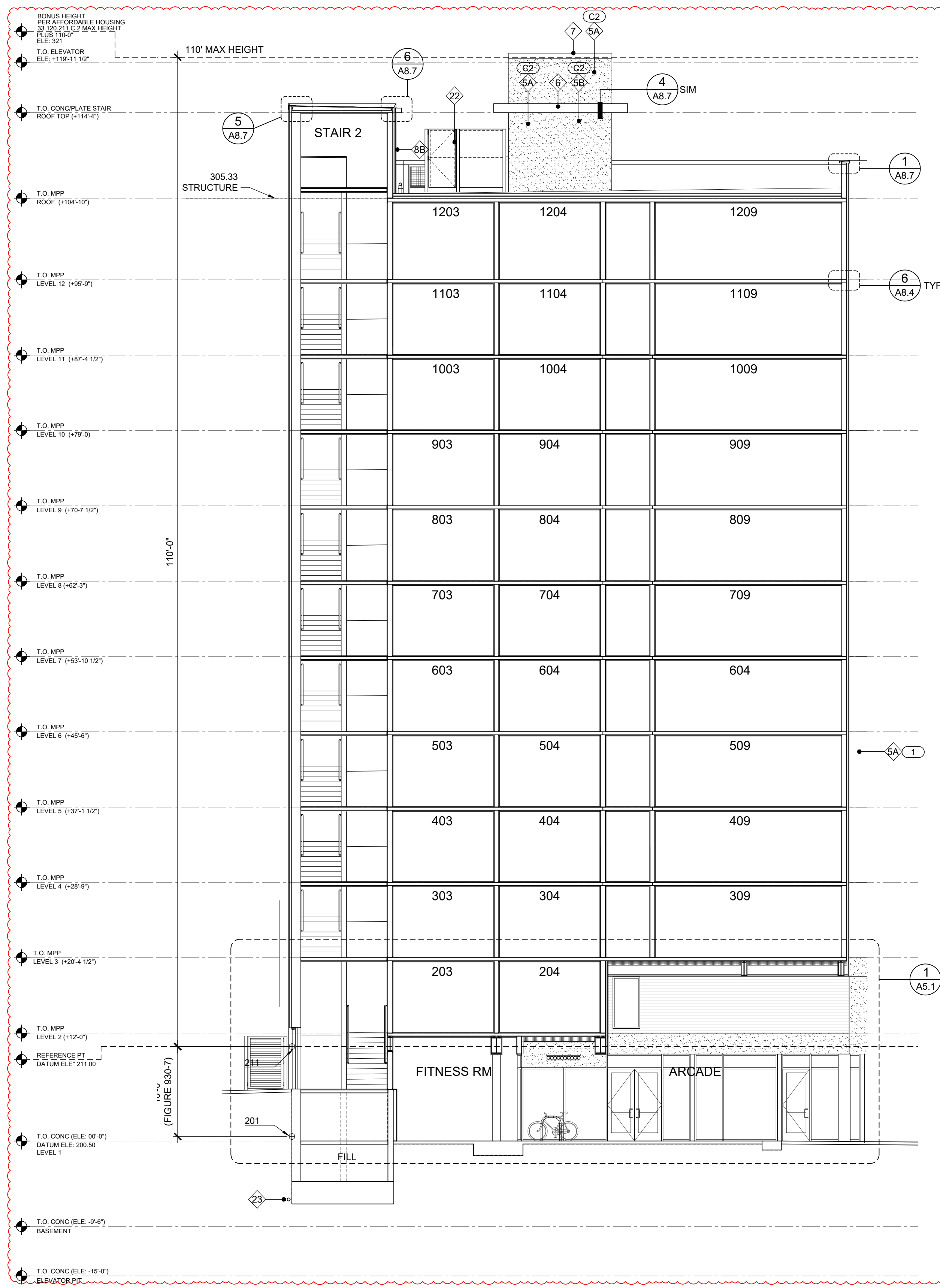
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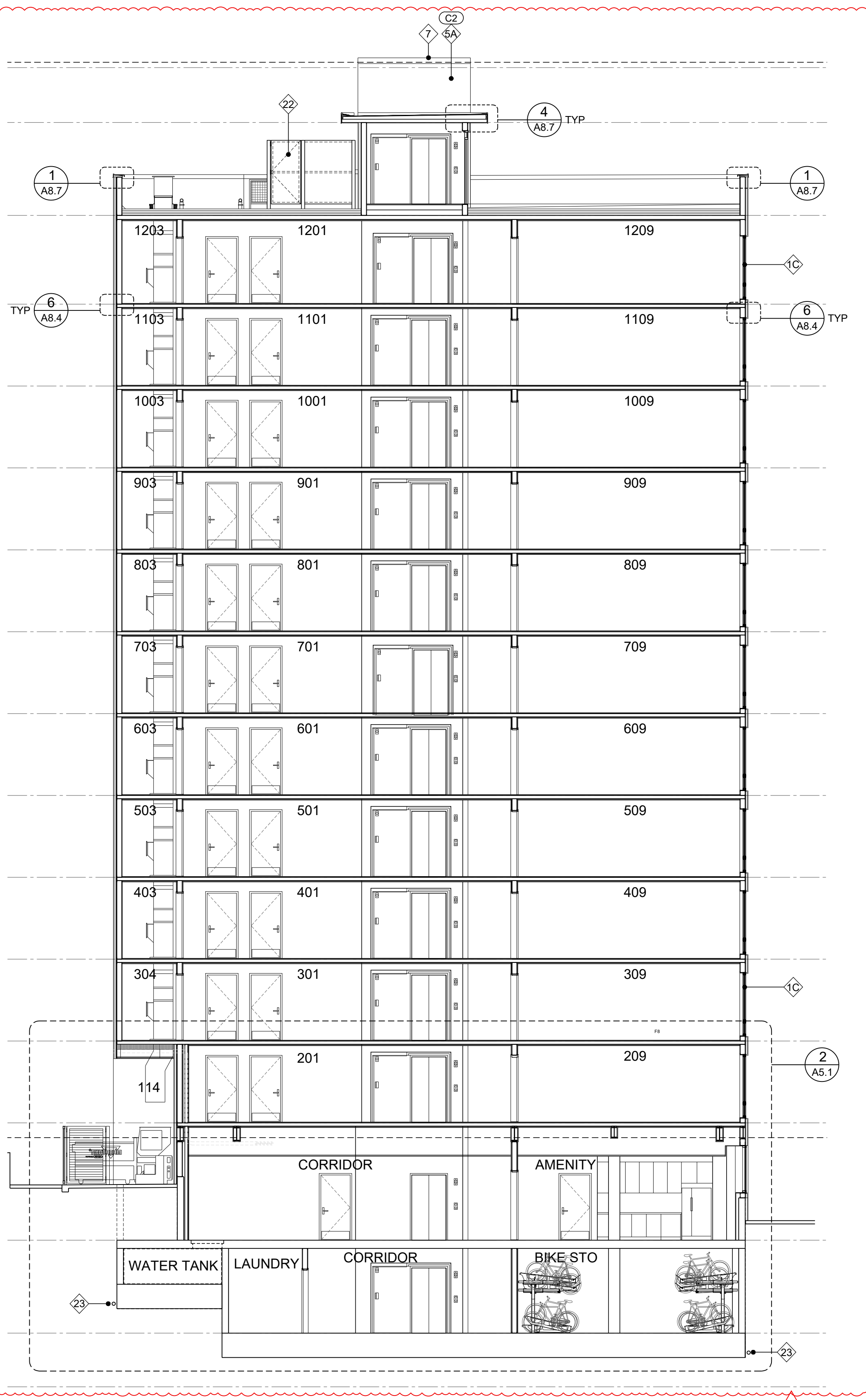
SHEET CONTENTS
BUILDING ELEVATIONS & KEY NOTES

SHEET NUMBER

A3.2



1 BUILDING SECTION
SCALE 1/8" = 1'-0"



2 BUILDING SECTION
SCALE 1/8" = 1'-0"

GENERAL NOTES

- ALL KEYNOTES APPLY TO ELEVATIONS / SECTIONS
- SEE SHEET A9.1 - WINDOW SCHEDULE
- SEE SHEET A10.1 - DOOR SCHEDULE
- SEE SHEET A12.1-A12.3 - WALL PENETRATION DETAILS
- SEE SHEET A0.3-A0.4 - WALL ASSEMBLY
- SEE SHEET A0.4 - FLOOR, CEILING, ROOF ASSEMBLY

KEY NOTES

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- C3 DARK - CHARCOAL BLACK COLOR MATCH WINDOW FRAME



REGISTERED ARCHITECT
2399
RALPH TAHRAN
STATE OF OREGON
TAHARAN ARCHITECTURE & PLANNING LLC
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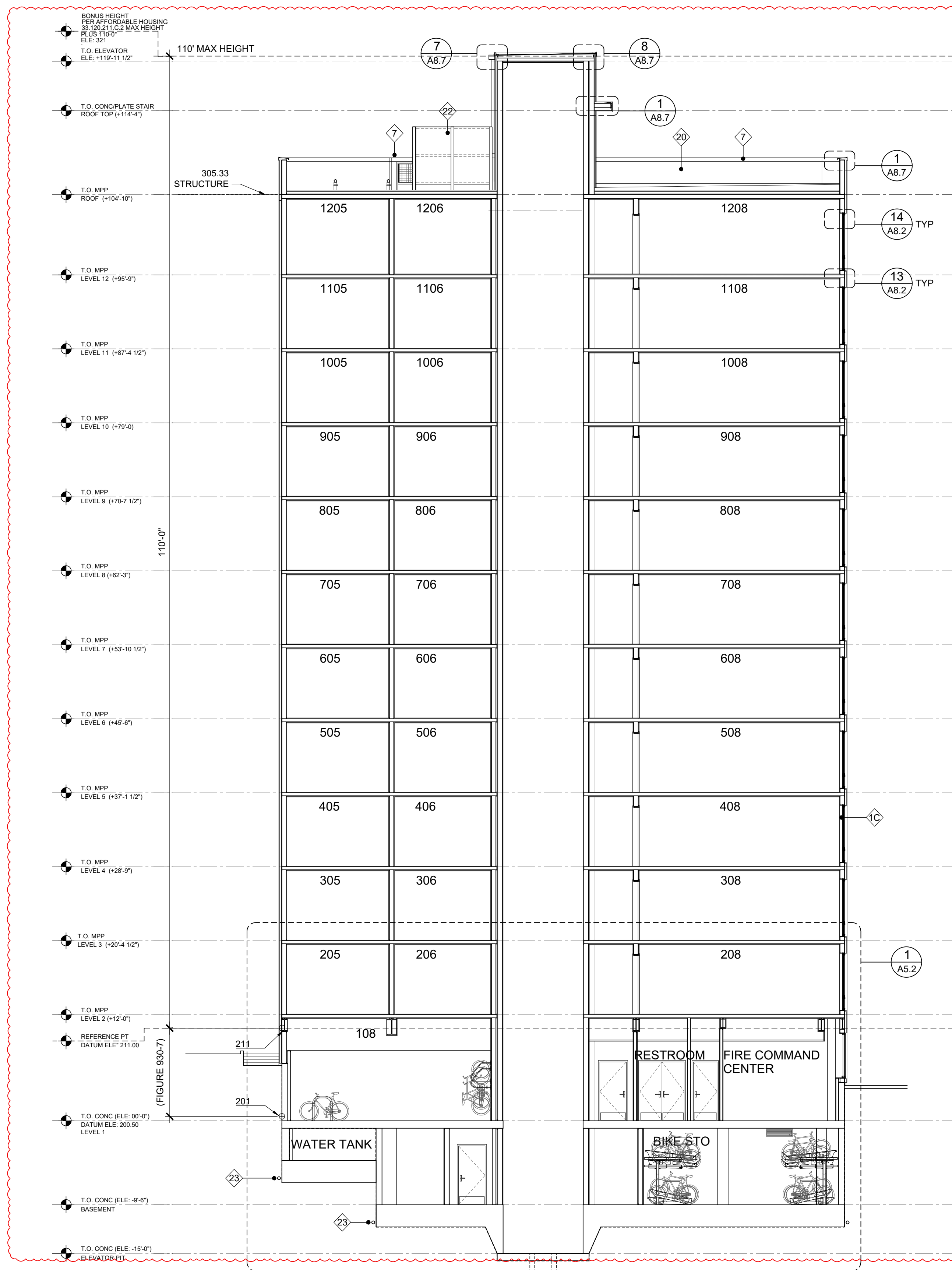
SHEET CONTENTS

BUILDING SECTION & KEY NOTES

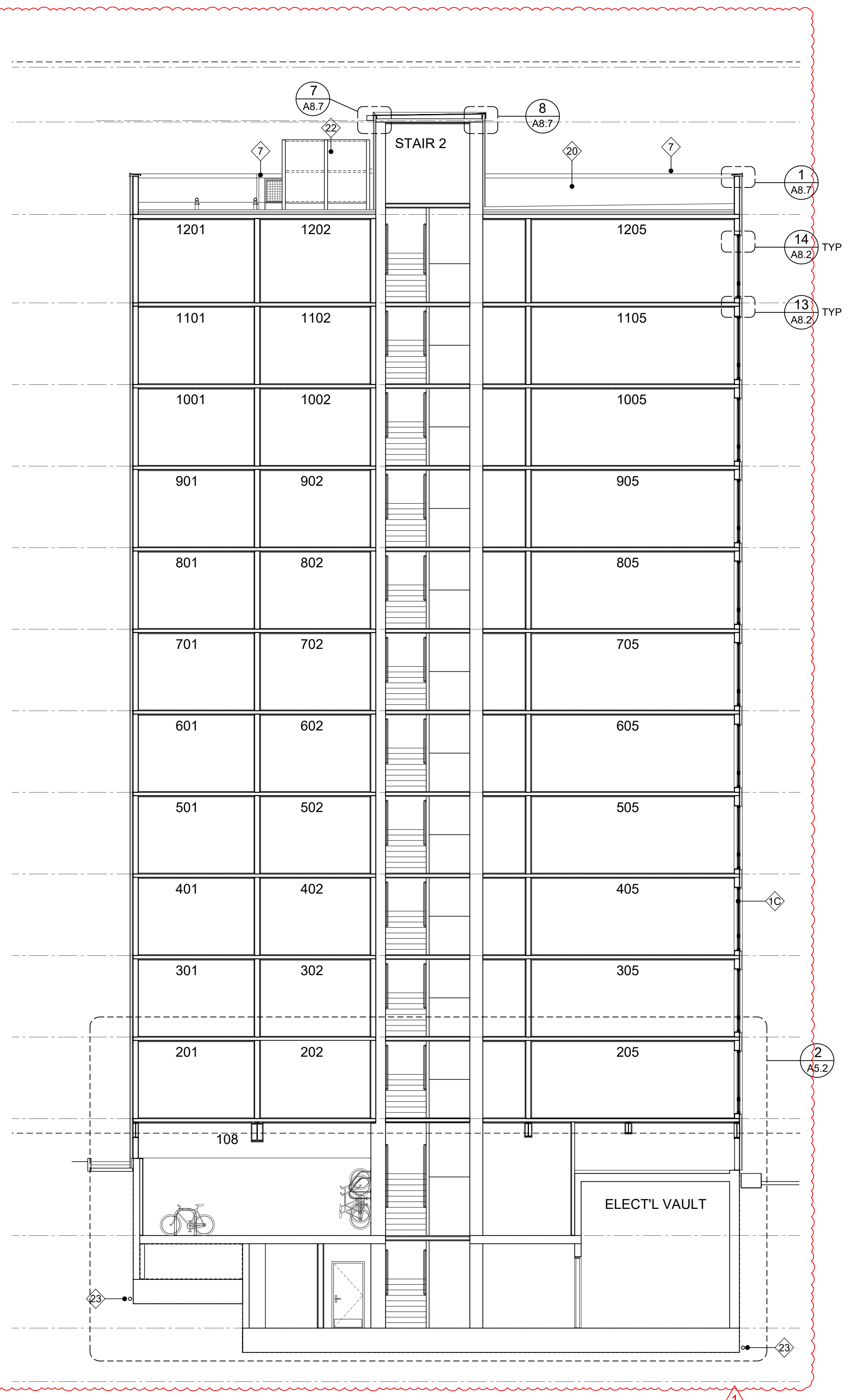
SHEET NUMBER

A3.3

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City of Portland
Bureau of Development Services
Planner *[Signature]*
Date **9/15/2022**
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1 BUILDING SECTION
SCALE 1/8" = 1'-0"



2 BUILDING SECTION
SCALE 1/8" = 1'-0"

GENERAL NOTES

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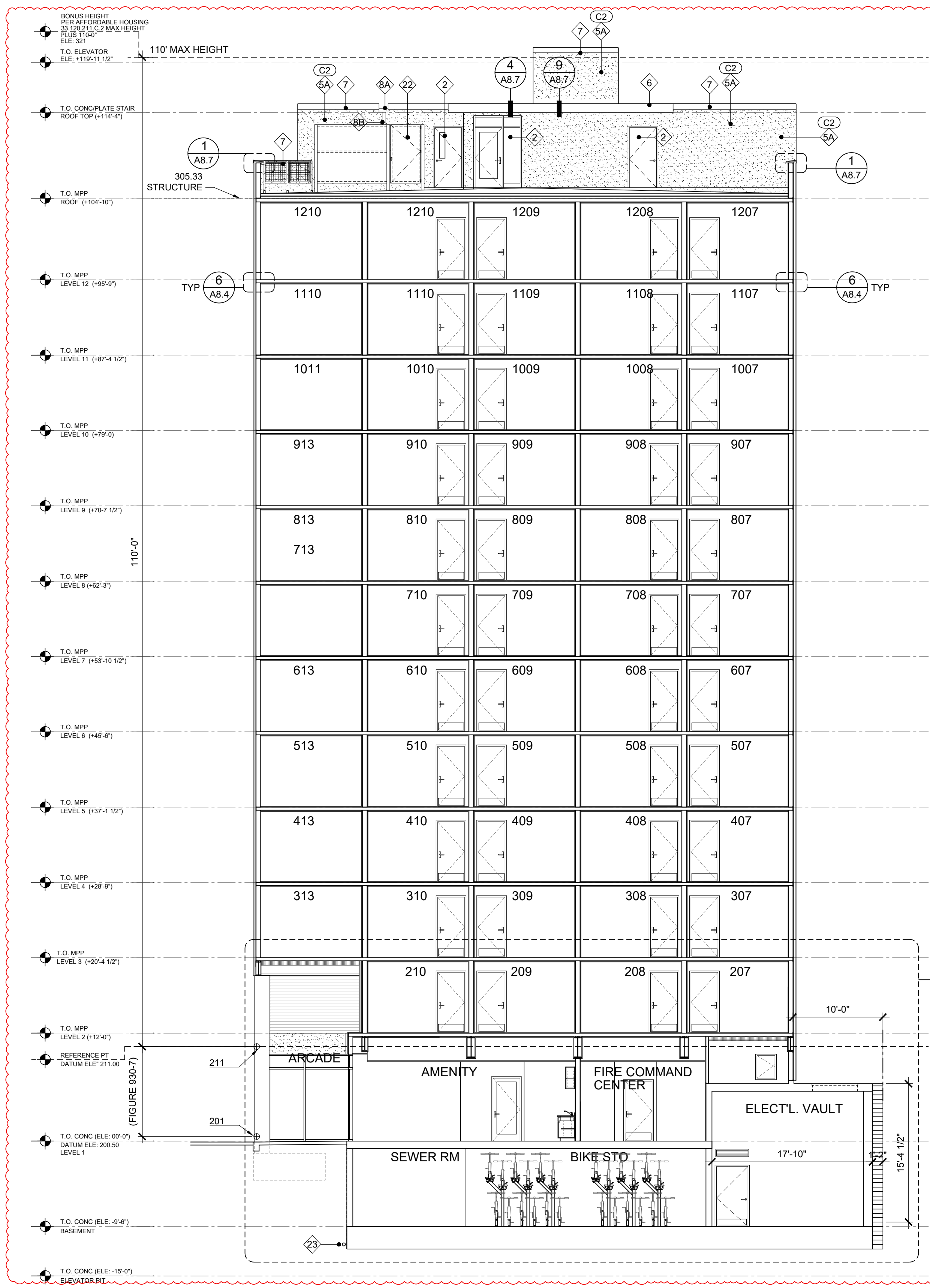
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SHEET CONTENTS
 BUILDING SECTION & KEY NOTES

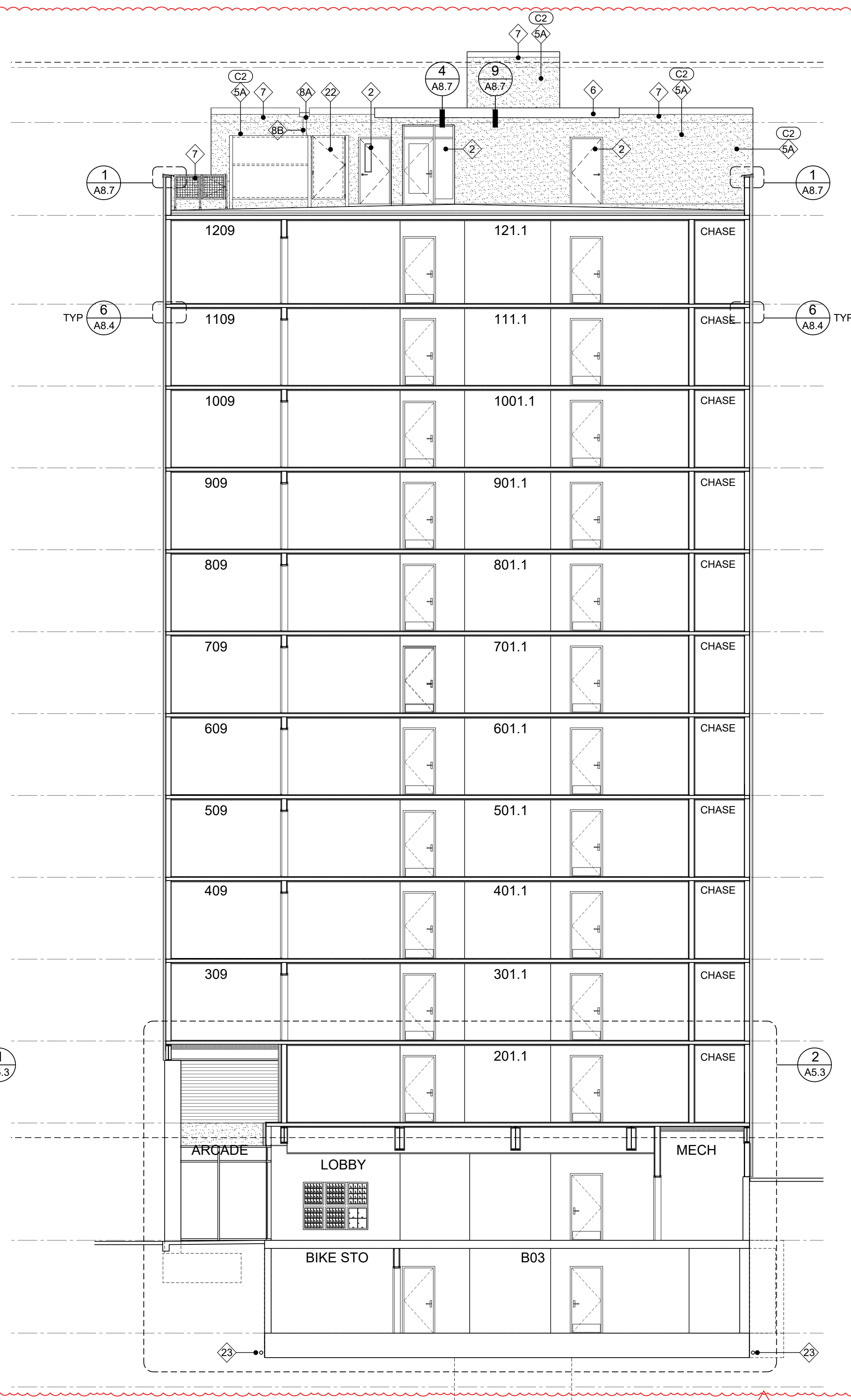
SHEET NUMBER

A3.4

Approved
 City of Portland
 Bureau of Development Services
 Planner *[Signature]*
 Date **9/15/2022**
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1 BUILDING SECTION
SCALE 1/8" = 1'-0"



2 BUILDING SECTION
SCALE 1/8" = 1'-0"

GENERAL NOTES

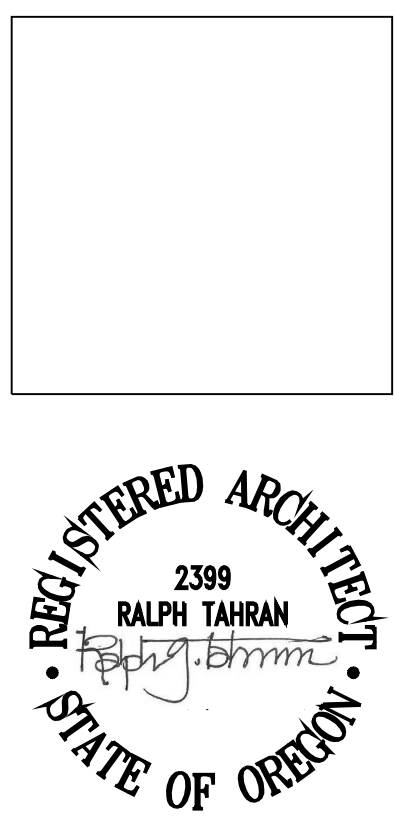
1. ALL KEYNOTES APPLY TO ELEVATIONS / SECTIONS
2. SEE SHEET A9.1 - WINDOW SCHEDULE
3. SEE SHEET A10.1 - DOOR SCHEDULE
4. SEE SHEET A12.1-A12.3 - WALL PENETRATION DETAILS
5. SEE SHEET A0.3-A0.4 - WALL ASSEMBLY
6. SEE SHEET A0.4 - FLOOR, CEILING, ROOF ASSEMBLY

KEY NOTES

- 1A WINDOW TYPE 1 (BLACK FRAME) SEE SCHEDULE
- 1B WINDOW TYPE 2 (BLACK FRAME) SEE SCHEDULE
- 1C WINDOW TYPE 3 (BLACK FRAME) SEE SCHEDULE
- 2 DOOR PER SCHEDULE
- 3 CONCRETE LOW WALL
- 4 CONCRETE POST
- 5A STUCCO TYPE 1
- 5B STUCCO TYPE 2
- 6 PRE-FINISH METAL FASCIA BOARD (PAINT MATCH ADJACENT SIDING)
- 7 PRE-FINISH METAL FLASHING (PARAPET CAP)
- 8A SCUPPER/GUTTER (PAINT MATCH ADJACENT SIDING)
- 8B DOWNSPOUT (PAINT MATCH ADJACENT SIDING)
- 8C OVERFLOW (PAINT MATCH ADJACENT SIDING)
- 9 EXTERIOR LIGHTING
- 10 SIDING PANEL TYPE 1 COLOR SW 7072
- 10A SIDING PANEL TYPE 2 COLOR SW 7747
- 10B SIDING PANEL TYPE 3 COLOR SW 7613
- 10C SIDING PANEL TYPE 4 COLOR SW 0071
- 11A BUILDING SIGNAGE
- 11B BUILDING ADDRESS
- 12 LAMINATED WOOD PANEL
- 13 METAL PLANTER
- 13 4'X8' GREEN WALL
- 14 VENT (PAINT MATCH ADJACENT SIDING)
- 15 METAL LOUVER (PAINT MATCH ADJACENT SIDING)
- 16 HANDRAIL SEE DETAIL 4/A1.2
- 17 CONCRETE WALL FORM BOARD FINISH
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- 22 7" HIGH EQUIPMENT METAL PANEL SCREEN
- 23 4" DIA PVC PERF PIPE IN FREE DRAINING SAND AND GRAVEL ON 1" 1/4" DRAINAGE ROCK WRAP PIPE MIRAFI-140N FILTER FABRIC

COLORS

- C1 STUCCO - STO 16003-85 SHERWIN WILLIAMS RGB: 232,231,223
- C2 STUCCO - STO MEDIUM GRAY SHERWIN WILLIAMS RGB: 196,196,193
- C3 DARK - CHARCOAL BLACK COLOR MATCH WINDOW FRAME



SUBMITTED 02-05-21
 TAHRAN ARCHITECTURE & PLANNING LLC
 333 S. STATE LAKE OSWEGO, OREGON 97034
 T (503) 539 8802 | F (503) 697 1985 | e ralph.tahran@comcast.net

SW PARK APARTMENTS
 2059 SW PARK AVE,
 PORTLAND OR. 97201

CHECKED BY RALPH TAHRAN
 DRAWN BY RGM
 NO DATE ISSUE/REVISION
 05.06.22 OWNER/ARCHITECT REVISION

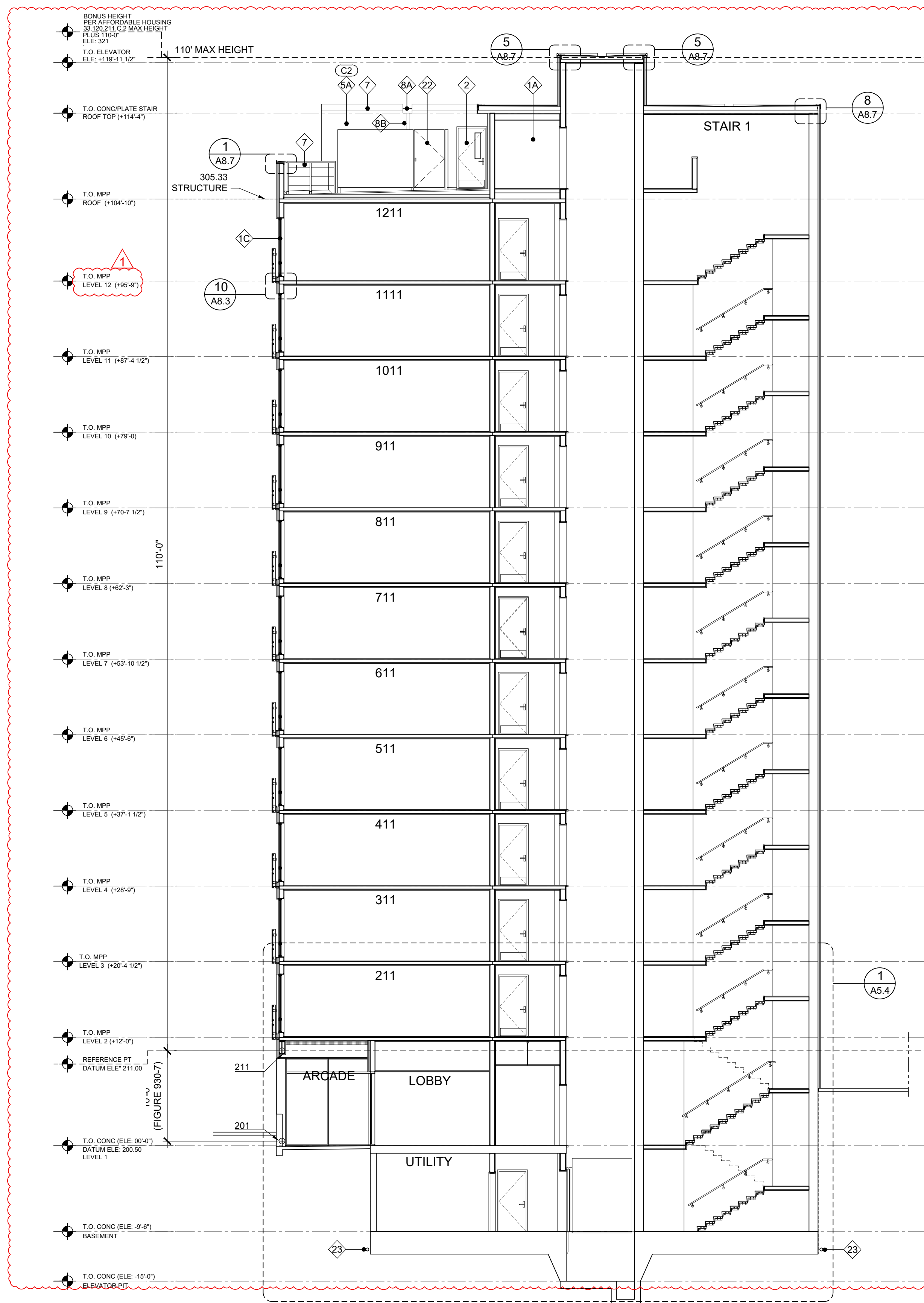
PROJ NO.
 2021-012

SHEET CONTENTS
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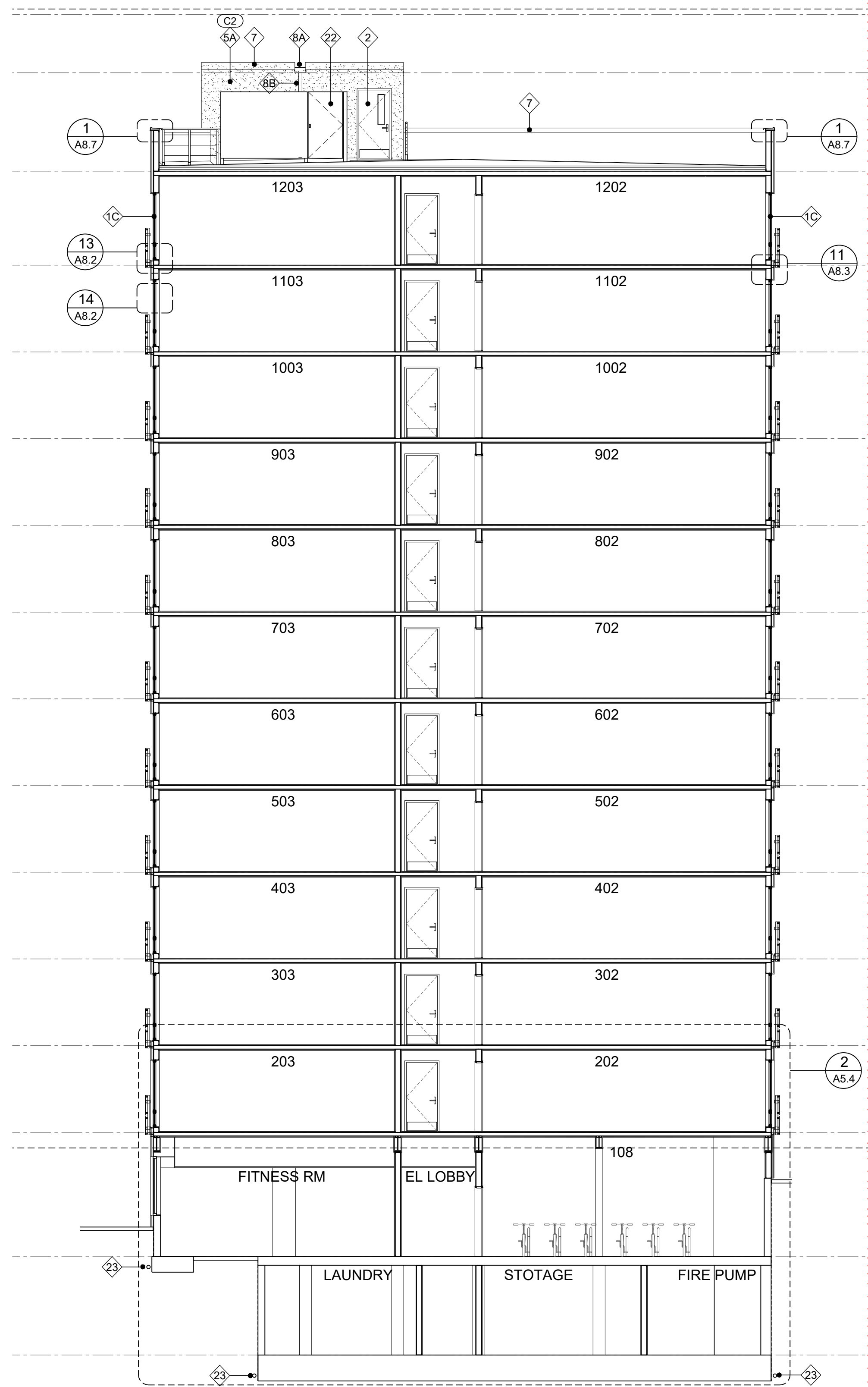
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REGISTERED ARCHITECT
2399
RALPH TAHRAN
STATE OF OREGON

TAHARAN ARCHITECTURE & PLANNING LLC
333 S. STATE LAKE OSWEGO, OREGON 97034
T (503) 539 8802 | F (503) 697 1985 | e ralph.tahran@comcast.net

SW PARK APARTMENTS
2059 SW PARK AVE,
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DRAWN BY	RCM	
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PROJ NO.
2021-012

SHEET CONTENTS

BUILDING SECTION & KEY NOTES

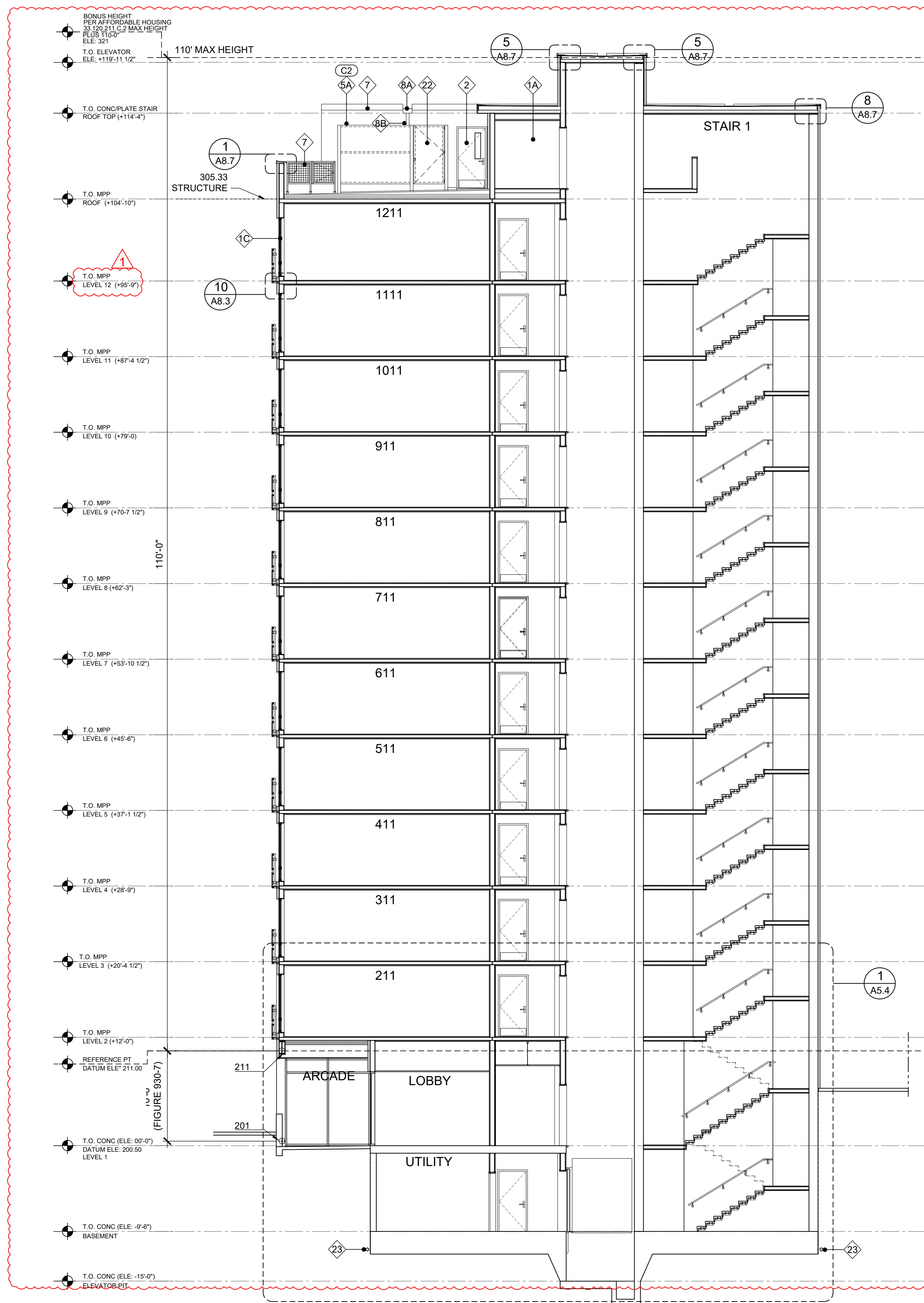
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A3.6

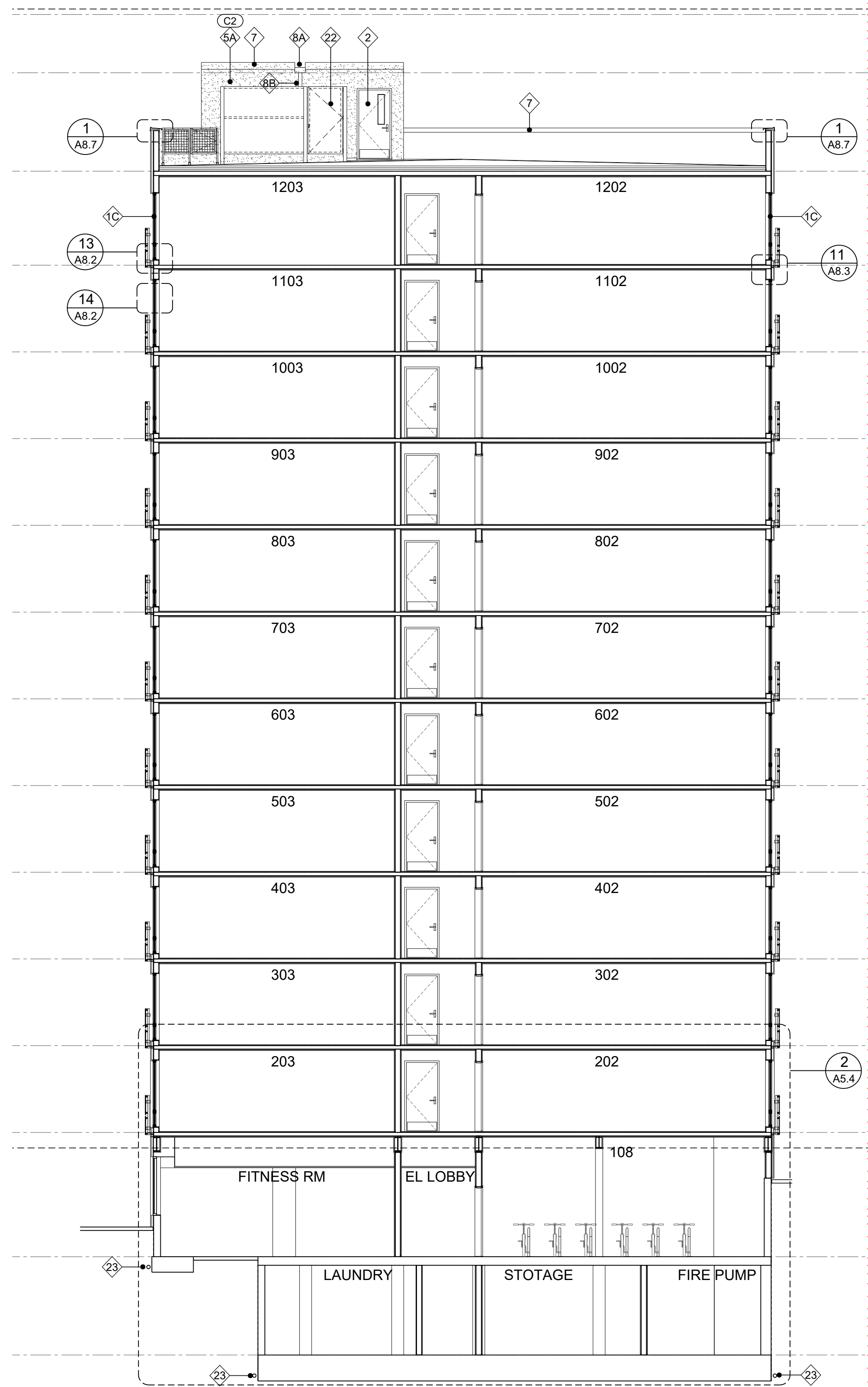
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 STATE OF OREGON
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SW PARK APARTMENTS
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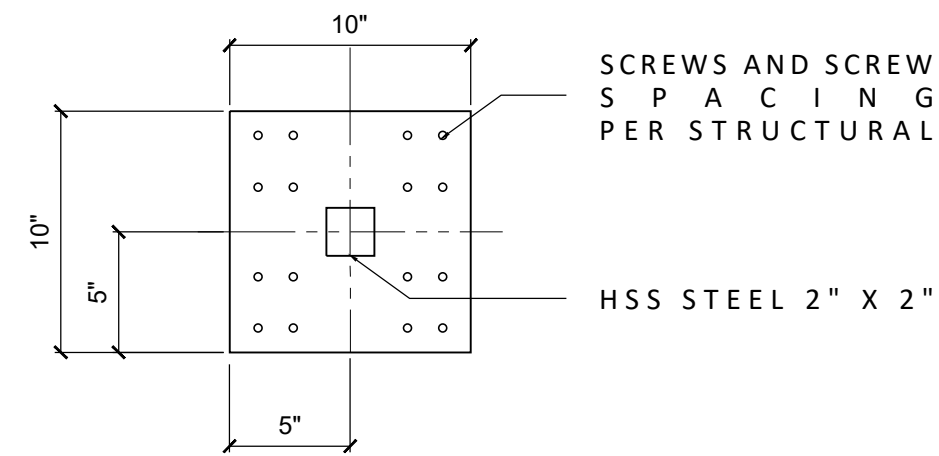
SHEET CONTENTS

BUILDING SECTION & KEY NOTES

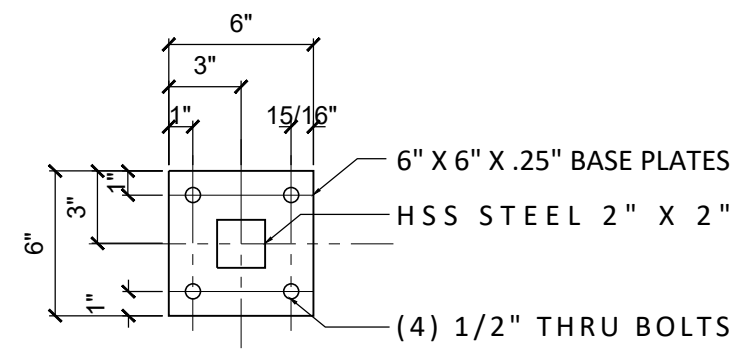
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A3.6

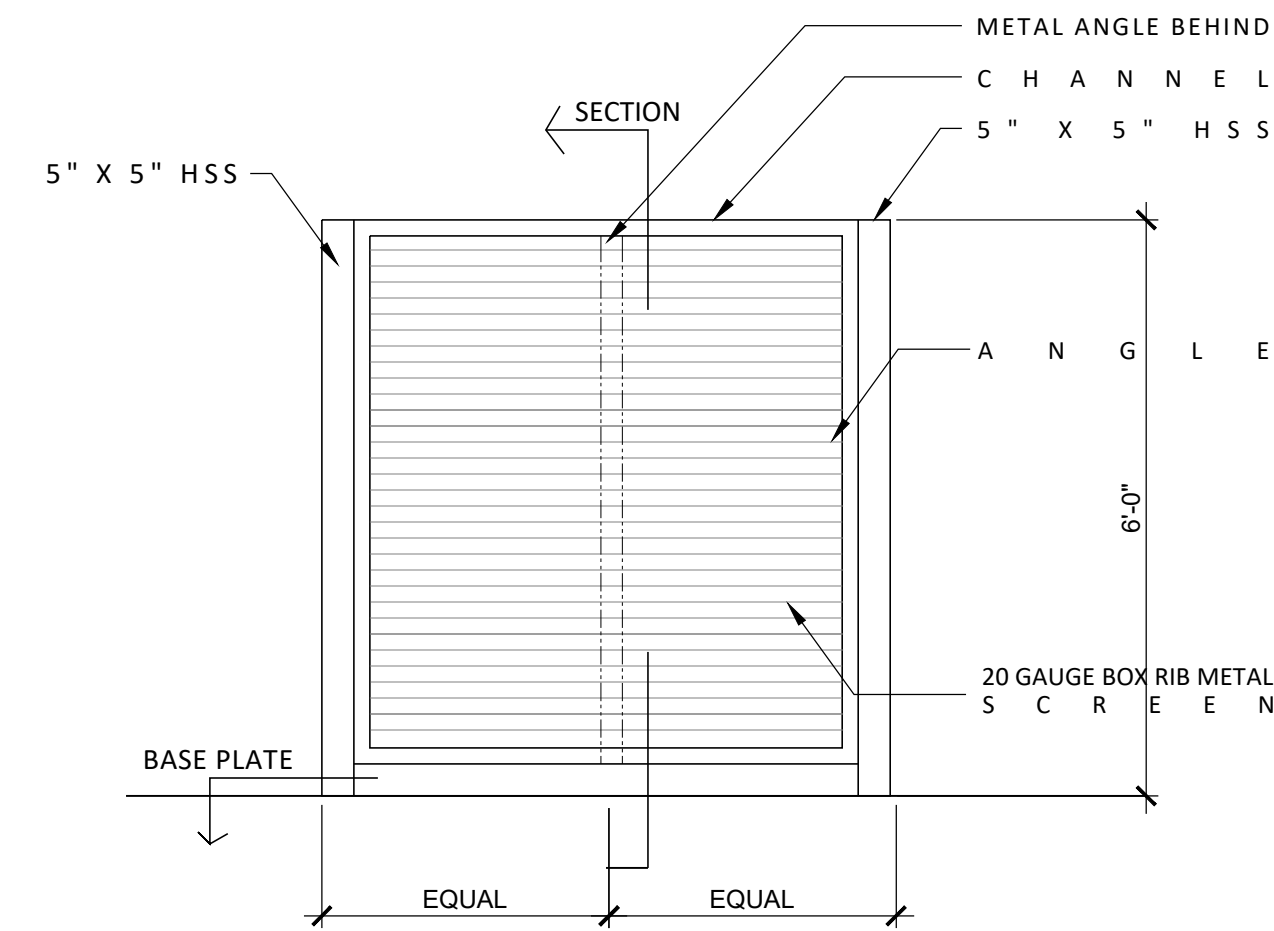
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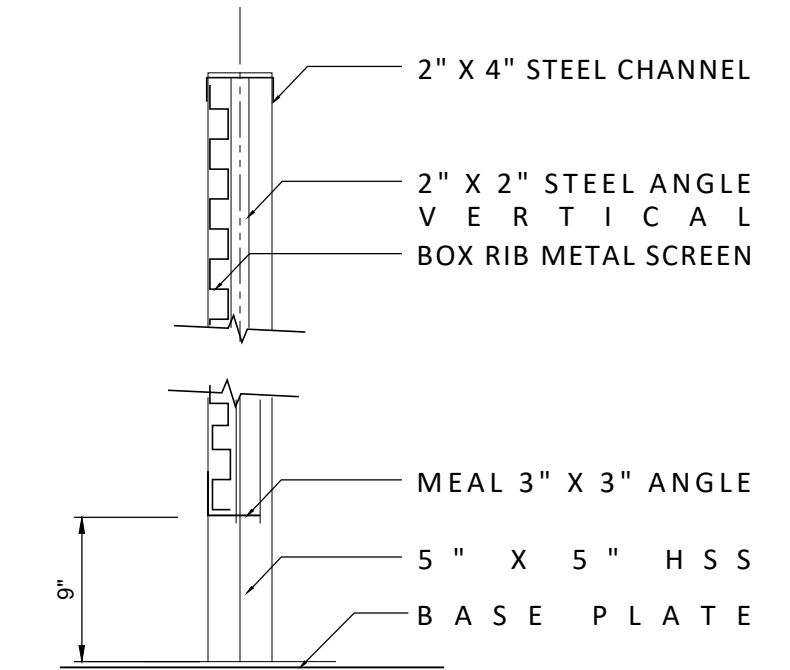
1 LOW BASE PLATE
SCALE 1 1/2" = 1'-0"



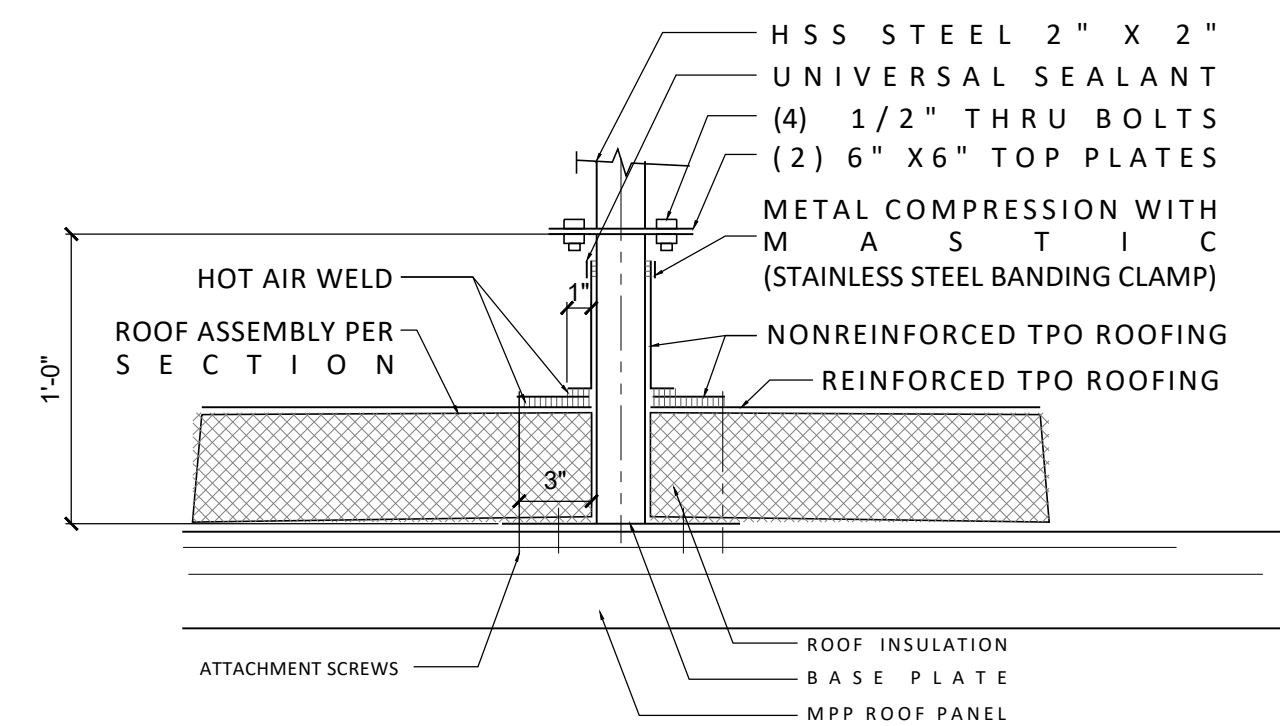
2 LOW FENCE TOP PLATE
SCALE 1 1/2" = 1'-0"



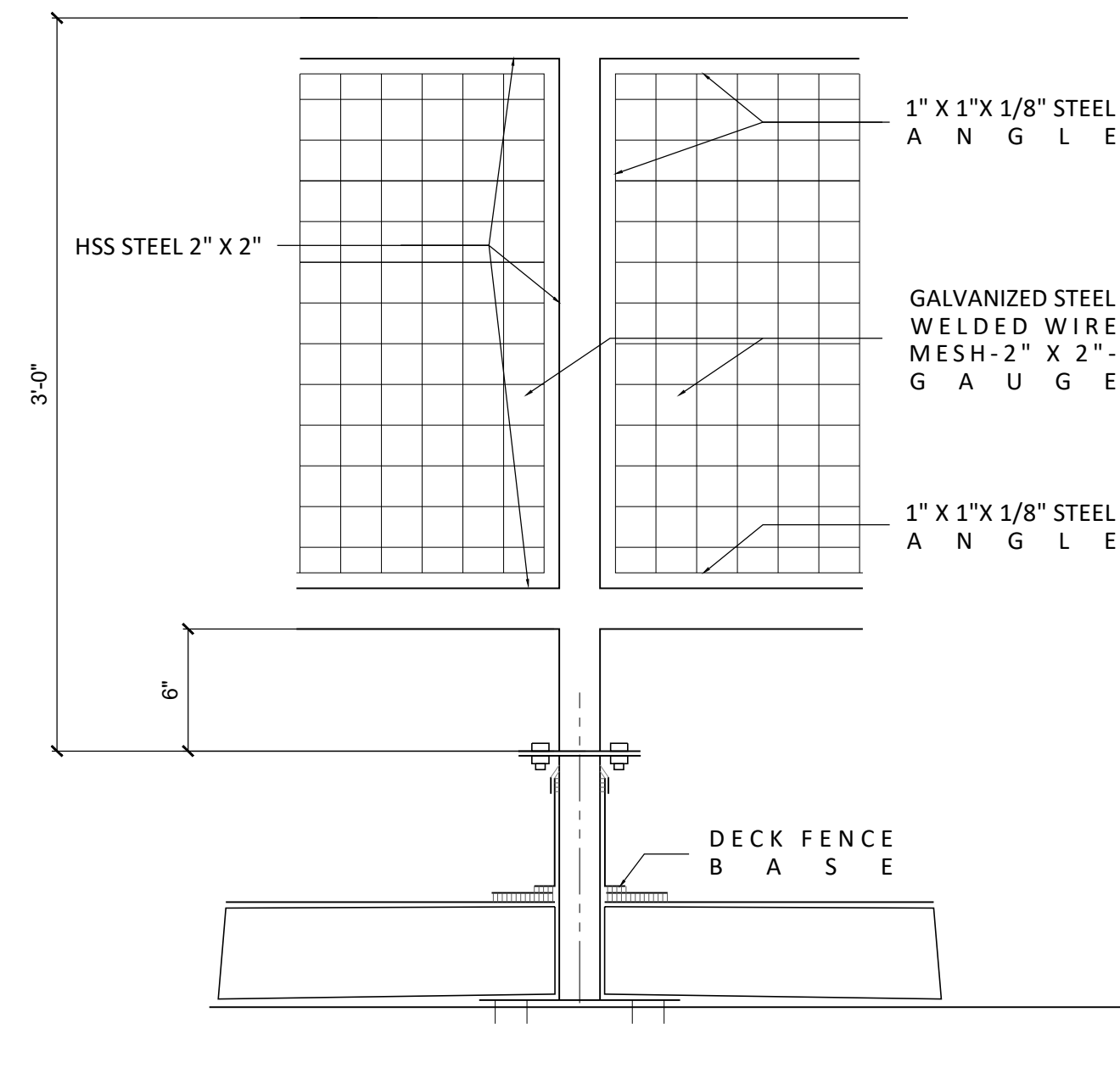
5 ELEVATION COMPACTOR SCREEN
SCALE 1/2" = 1'-0"



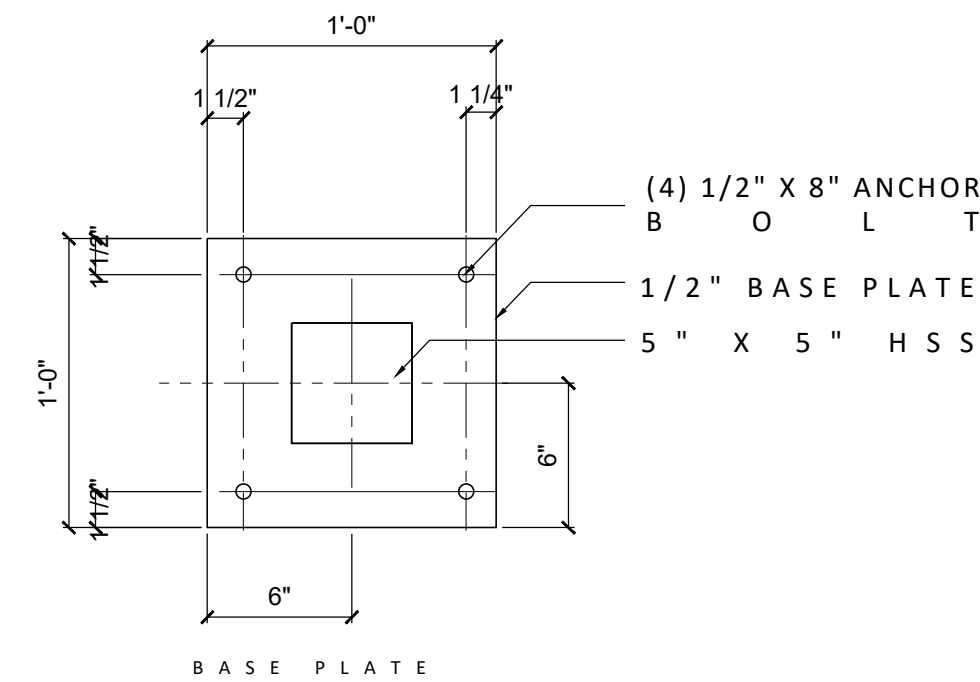
6 SECTION COMPACTOR SCREEN
SCALE 1" = 1'-0"



3 LOW DECK FENCE BASE
SCALE 1 1/2" = 1'-0"



4 LOW ROOF TOP DECK FENCE BASE
SCALE 1 1/2" = 1'-0"



1 ELEVATION COMPACTOR SCREEN
SCALE 1 1/2" = 1'-0"



REGISTERED ARCHITECT
2399
RALPH TAHRAN
STATE OF OREGON
SUBMITTED 02-05-21
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T (503) 539 8802 | F (503) 697 1985 | e ralph@tahrancpa.com

SW PARK APARTMENTS
2059 SW PARK AVE,
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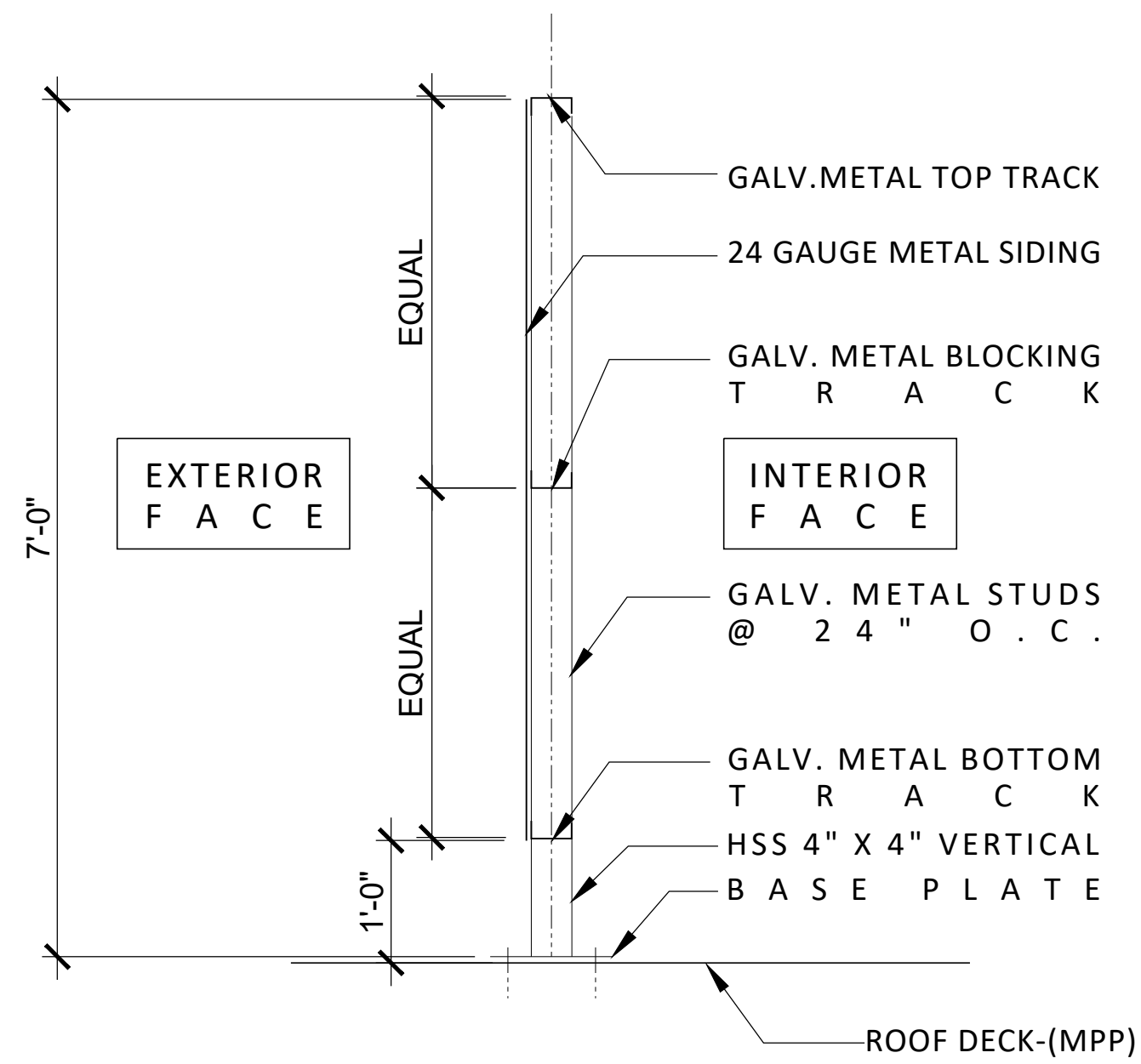
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SHEET CONTENTS
ARCHITECTURAL
DETAILS

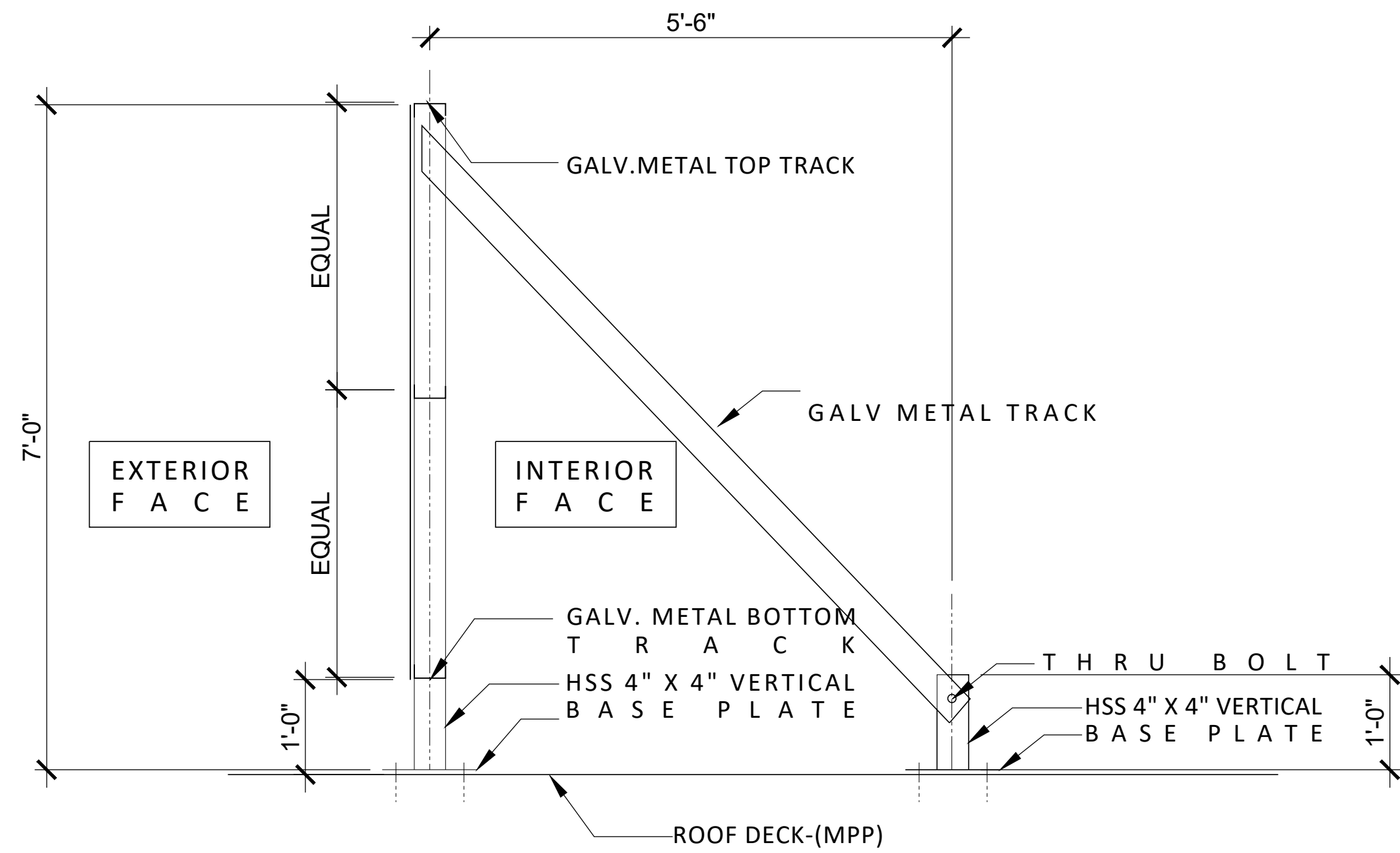
SHEET NUMBER

A8.11

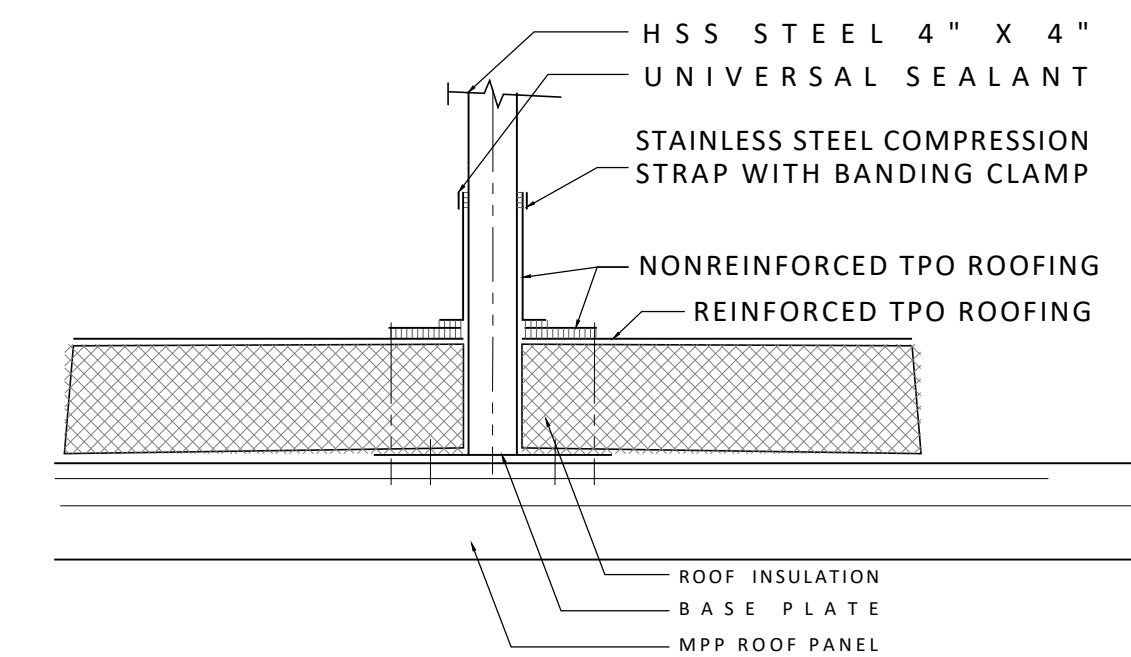
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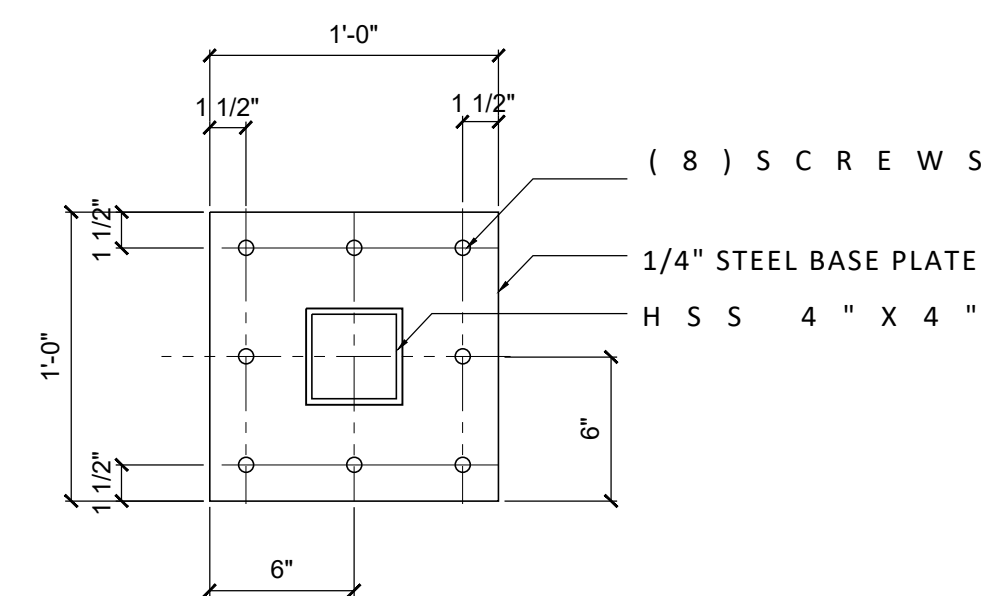
1 ROOF SCREEN
SCALE 3/4" = 1'-0"



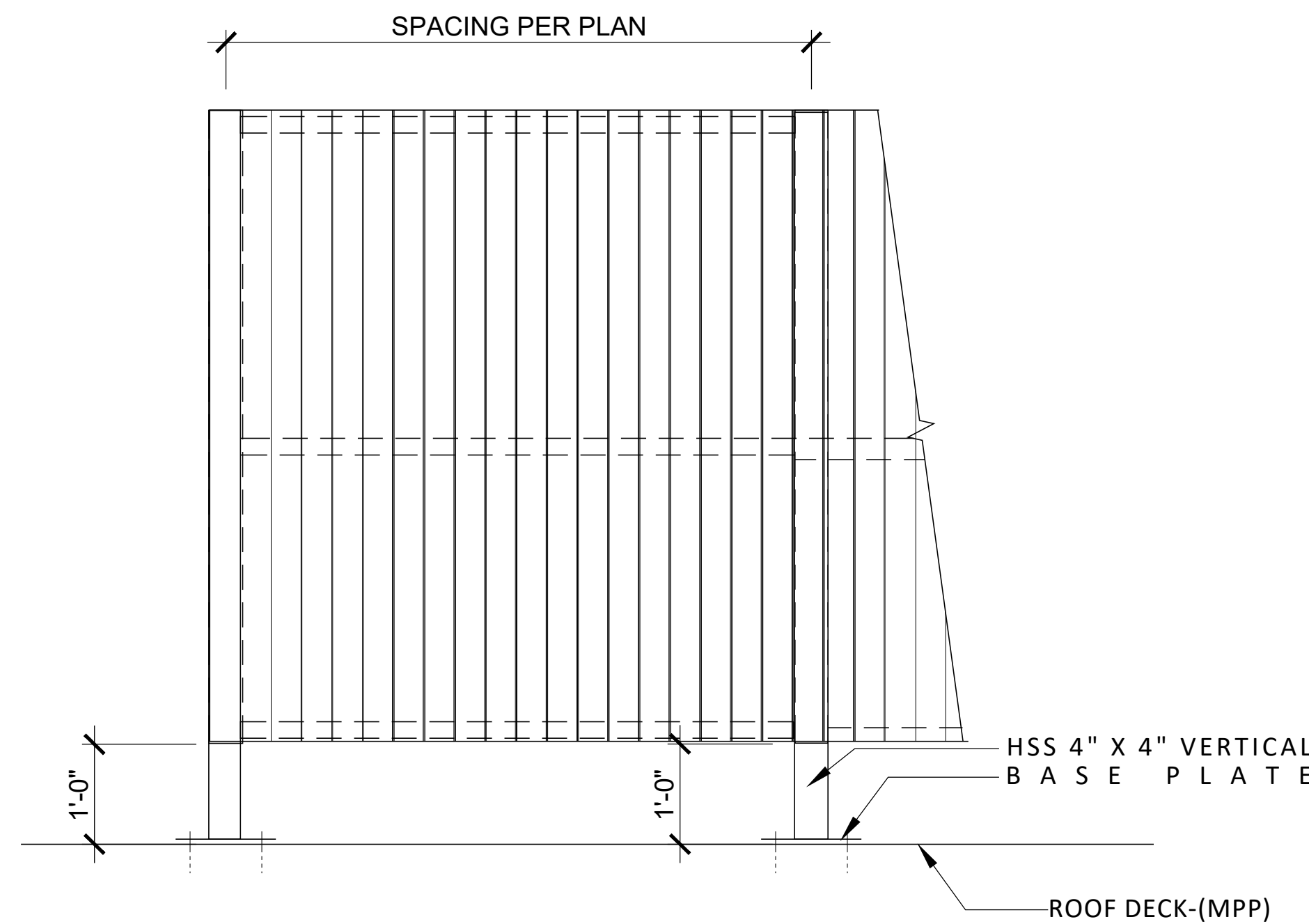
2 ROOF SCREEN WITH KICKER
SCALE 3/4" = 1'-0"



5 ROOF SCREEN DETAIL
SCALE 1 1/2" = 1'-0"



3 BASE PLATE
SCALE 1 1/2" = 1'-0"



4 ROOF SCREEN ELEVATION
SCALE 3/4" = 1'-0"

Approved
City of Portland
Bureau of Development Services
Planner *Zany Sepli*
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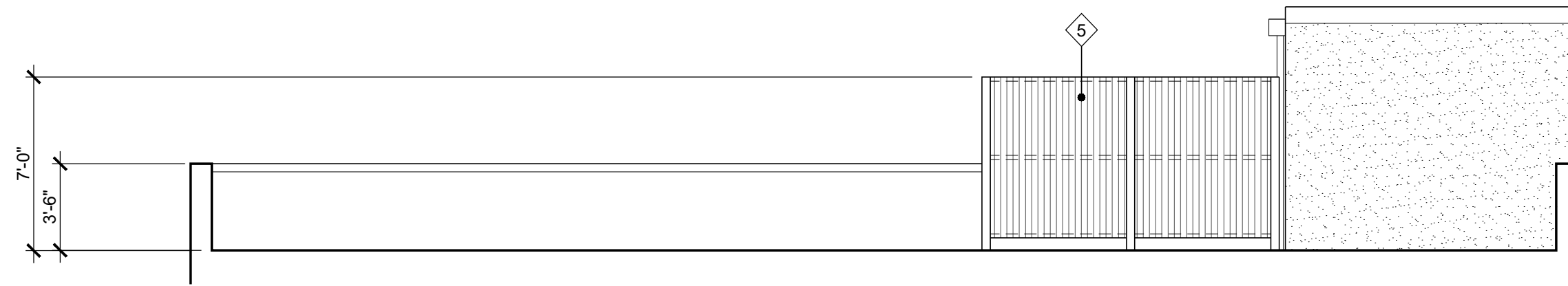
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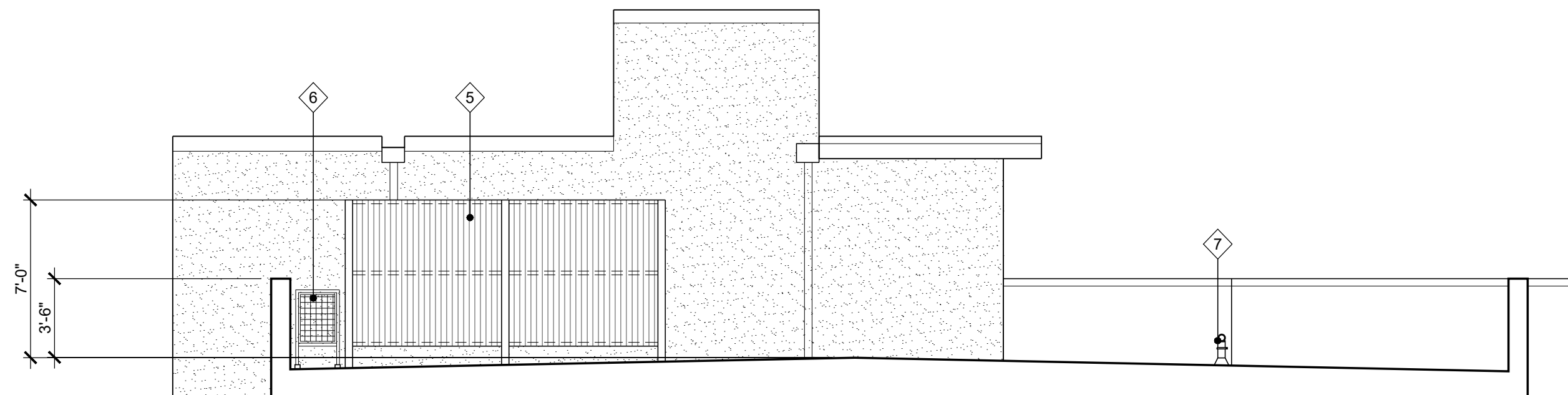
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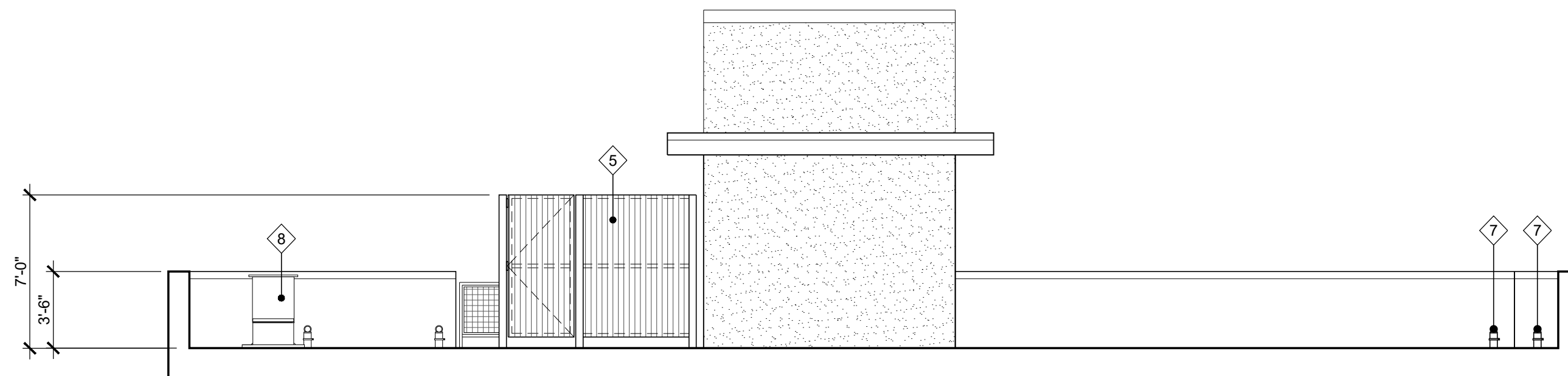
5 OCCUPIED ROOF ELEVATION
SCALE 3/16" = 1'-0"



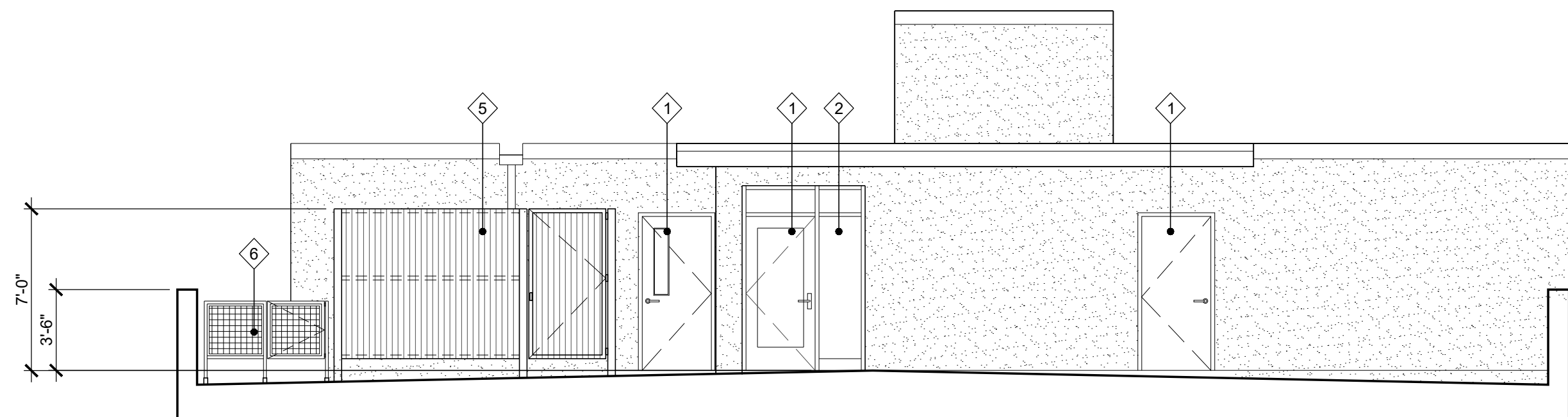
4 OCCUPIED ROOF ELEVATION
SCALE 3/16" = 1'-0"



3 OCCUPIED ROOF ELEVATION
SCALE 3/16" = 1'-0"



2 OCCUPIED ROOF ELEVATION
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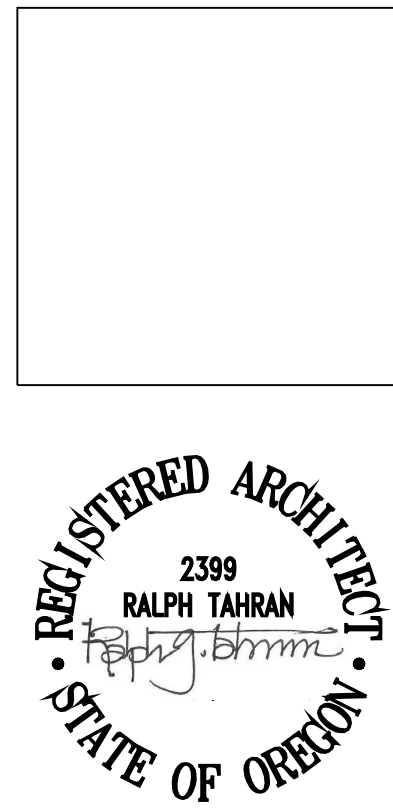


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KEYNOTES

- 1 DOOR SEE SCHEDULE A10.1
- 2 WINDOW SEE SCHEDULE A10.2
- 3 EXTERIOR WALL SEE FINISHES
- 4 METAL RAILING
- 5 MECHANICAL SCREEN
- 6 FENCE
- 7 FALL PROTECTION
- 8 EXHAUST



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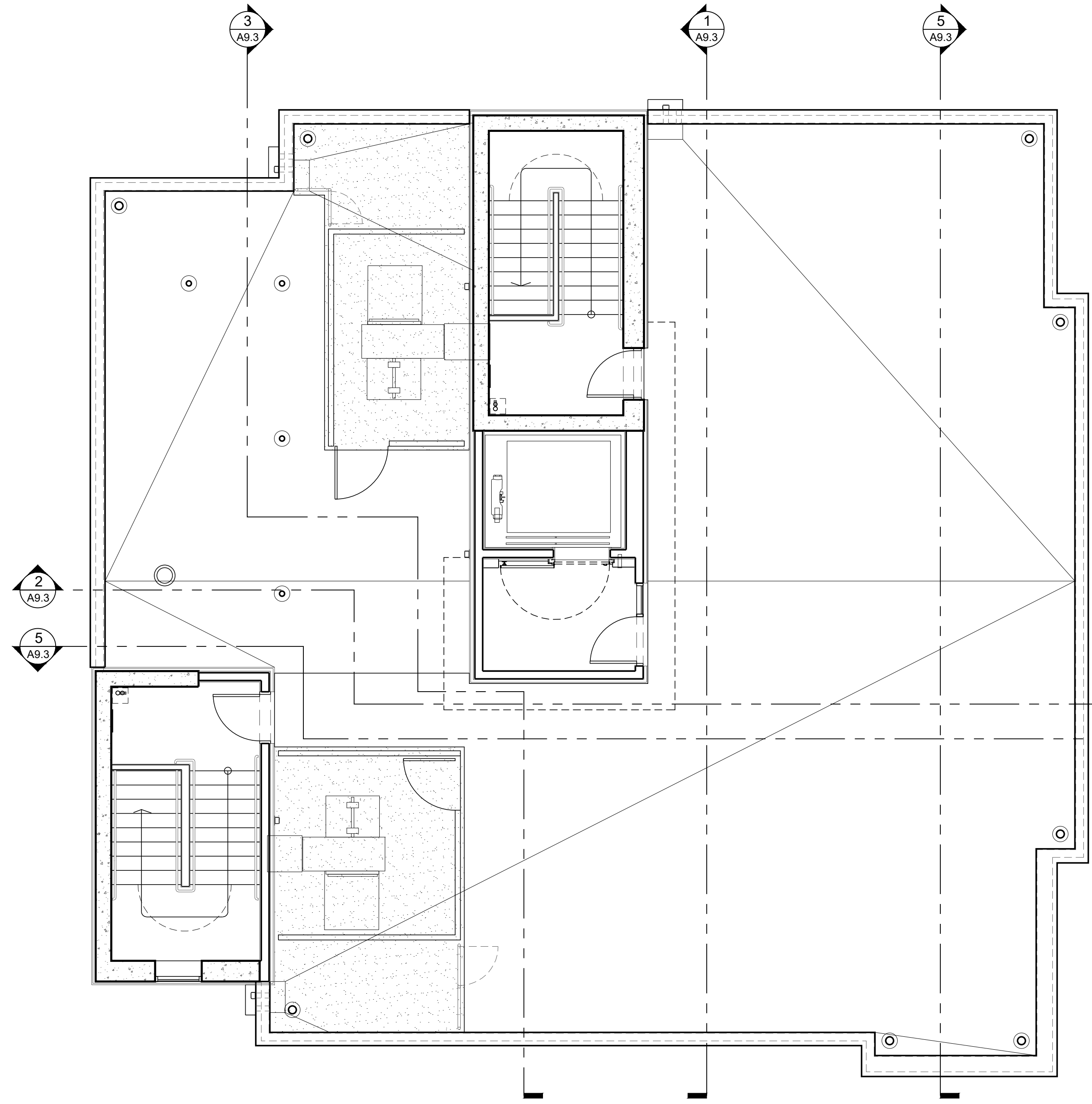
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SHEET CONTENTS

ROOF DECK
PLAN & ELEV.

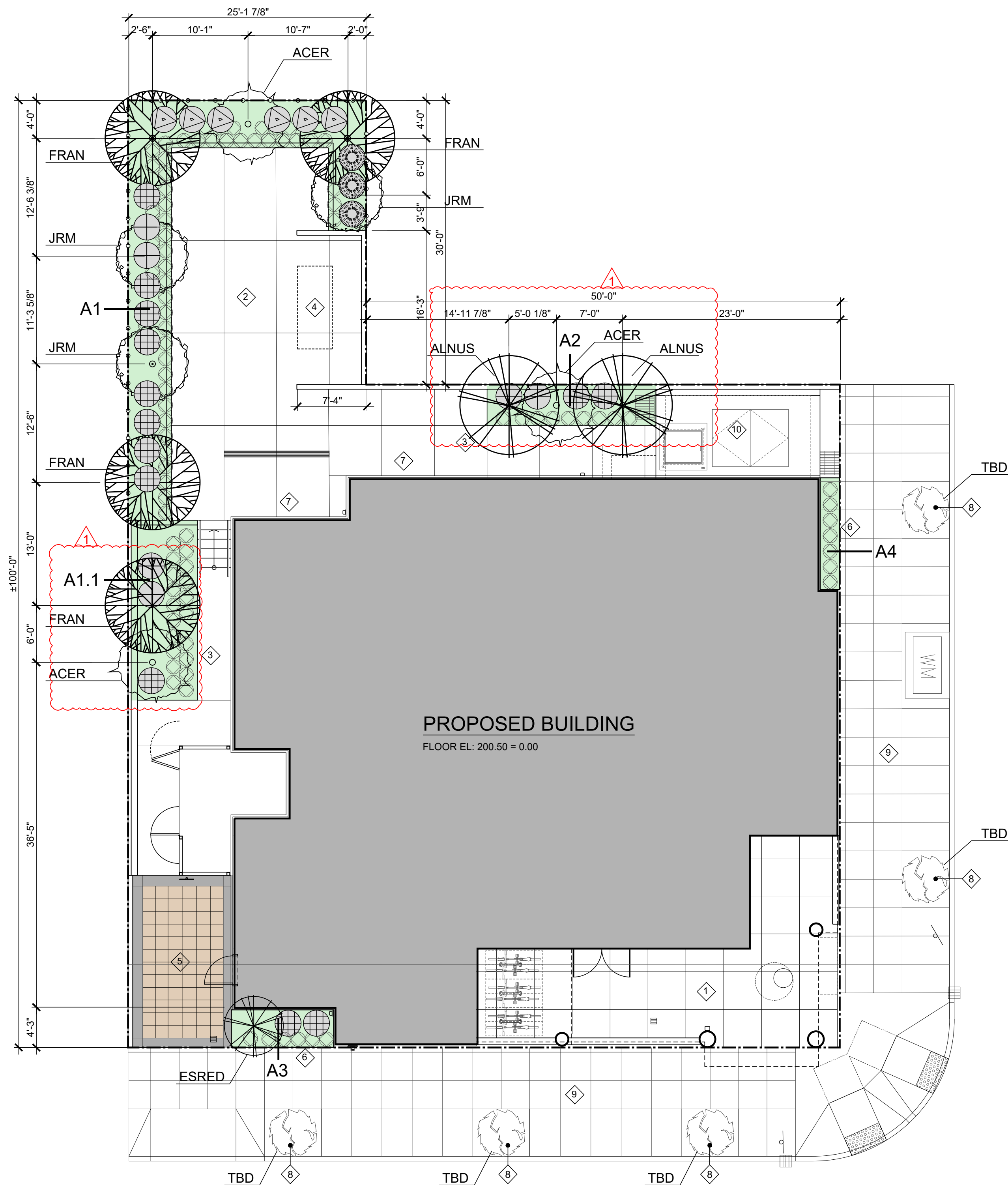
SHEET NUMBER

A9.3



1 OCCUPIED ROOF PLAN
SCALE 3/16" = 1'-0"

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1 LANDSCAPE PLAN

SCALE 3/16" = 1'-0"



LEGEND

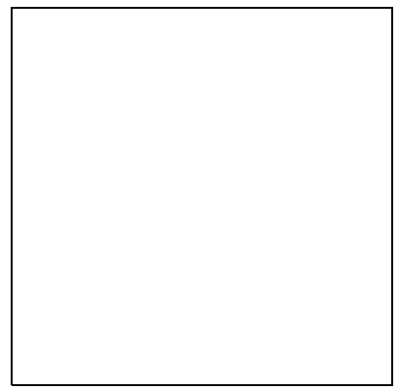
- 1 ARCADE
- 2 PLAZA
- 3 WALKWAY
- 4 EMERGENCY GENERATOR
- 5 LOADING AREA
LOADING AREA WITH COLORED PAVER SEE A1.2
CONG PAVERS-MUTUAL MATERIALS - UNI-OPTILOC 3 1/8"X4"
1/2" X 8 7/8" - COLOR GRAY
- 6 PLANTER
- 7 WINDOW WELL
- 8 INSTALL NEW STREET TREE UNDER
"MINOR IMPROVEMENT PUBLIC WORKS PERMIT".
SEE CIVIL DWG.
- 9 SIDEWALK SEE CIVIL DRAWING
- 10 UNDERGROUND ELECTRICAL VAULT

L1, GENERAL LANDSCAPING.

1. INTENT. THE L1 STANDARD IS A LANDSCAPE TREATMENT FOR OPEN AREAS. IT IS INTENDED TO BE APPLIED IN SITUATIONS WHERE DISTANCE IS USED AS THE PRINCIPAL MEANS OF SEPARATING USES OR DEVELOPMENT, AND LANDSCAPING IS REQUIRED TO ENHANCE THE AREA IN-BETWEEN. WHILE PRIMARILY CONSISTING OF GROUND COVER PLANTS, IT ALSO INCLUDES A MIXTURE OF TREES, HIGH SHRUBS, AND LOW SHRUBS.
2. REQUIRED MATERIALS. THE L1 STANDARD HAS TWO DIFFERENT REQUIREMENTS FOR TREES AND SHRUBS. GROUND COVER PLANTS MUST FULLY COVER THE REMAINDER OF THE LANDSCAPED AREA.
 - A. WHERE THE AREA TO BE LANDSCAPED IS LESS THAN 30 FEET DEEP, THE STANDARD IS ONE LARGE TREE PER 30 LINEAR FEET, ONE MEDIUM TREE PER 22 LINEAR FEET, OR ONE SMALL TREE PER 16 LINEAR FEET. TREES OF DIFFERENT SIZES MAY BE COMBINED TO MEET THE STANDARD. TREES MAY BE GROUPED.
 - B. WHERE THE AREA IS 30 FEET DEEP OR GREATER, THE REQUIREMENT IS EITHER TWO HIGH SHRUBS OR THREE LOW SHRUBS PER 400 SQUARE FEET OF LANDSCAPED AREA IN ADDITION TO THE TREES REQUIRED IN 2.A, ABOVE. THE SHRUBS AND TREES MAY BE GROUPED.
3. ALL STREET TREE ACTIVITIES MUST COMPLY WITH TH1073*

AREA CALCULATION

BUILDING COVERAGE		
MAX. BUILDING COVERAGE 85% OF SITE AREA AREA		
LOT AREA		6,000.00 SF
LANDSCAPE AREA CALCULATION		
AREA 1		415.00 SF
AREA 1.1		133.00 SF
AREA 2		77.00 SF
AREA 3		44.00 SF
AREA 4		25.00 SF
TOTAL LANDSCAPE		694.00 SF
HARDSCAPE AREA CALCULATION		
ARCANE	512.00 SF	15 PERCENT 76.80 SF
PLAZA/COURTYARD/WALKWAY	1,527.00 SF	229.05 SF
OVERALL LANDSCAPE AREA		16.7% 999.85 SF



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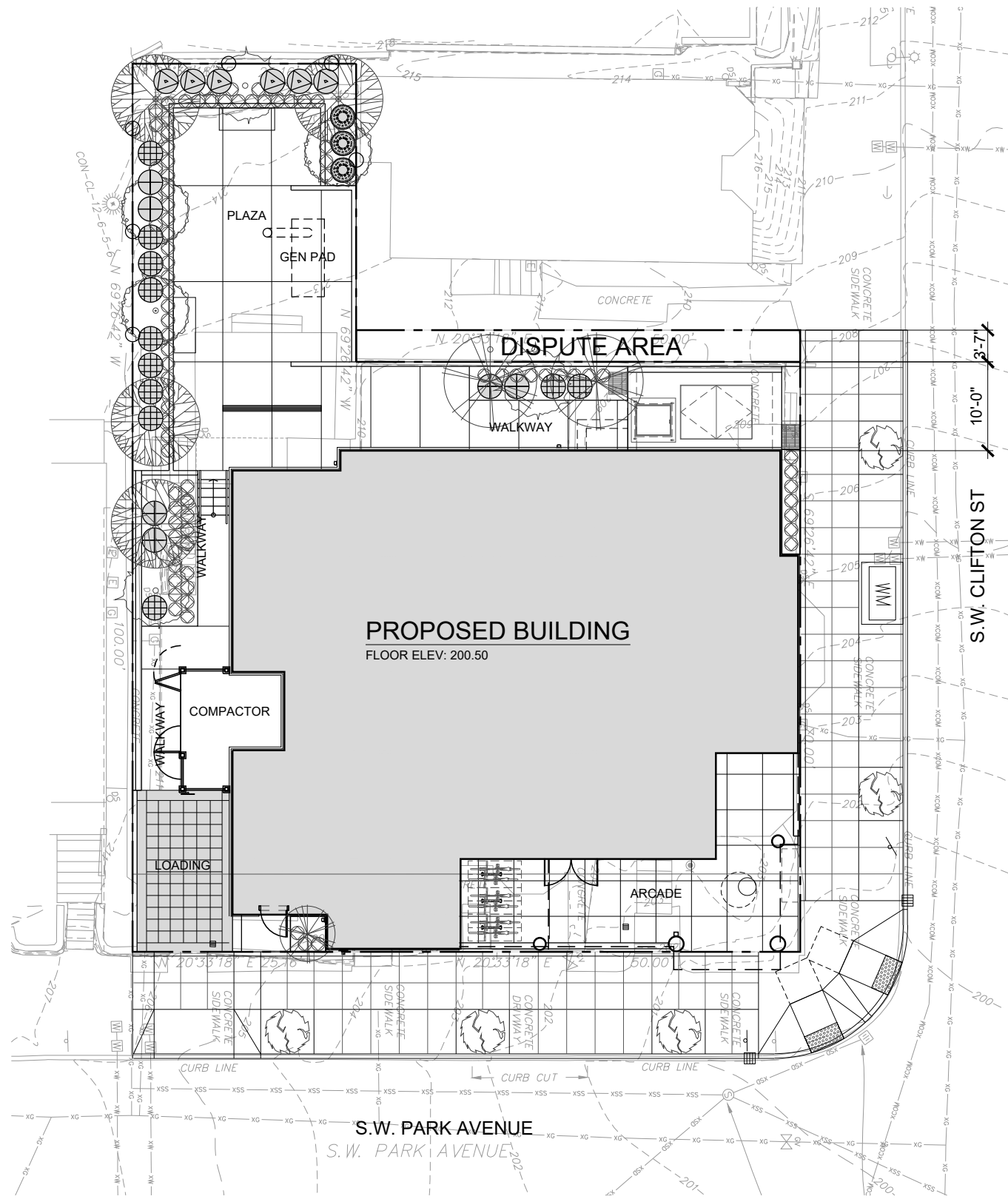
SHEET CONTENTS
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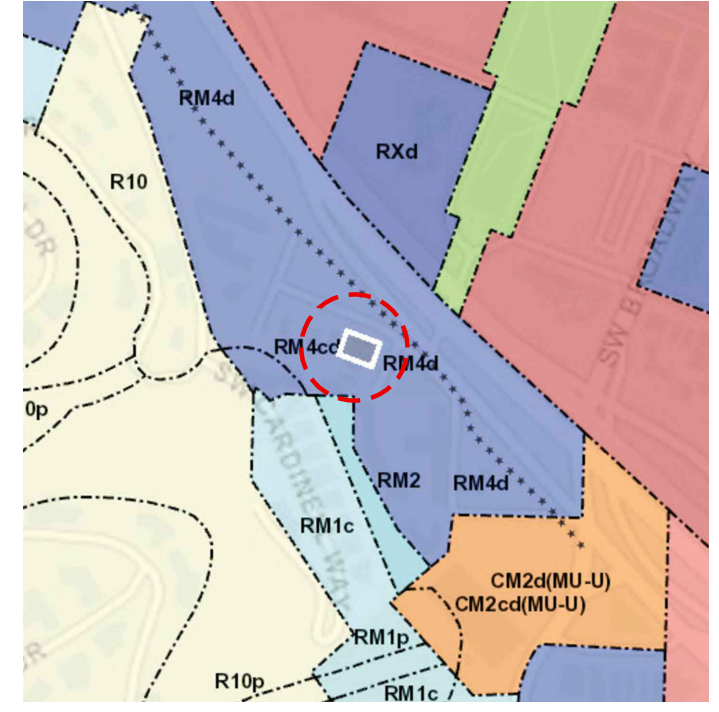
L1.1

Approved
 City of Portland
 Bureau of Development Services
 Planner Jimmy Scapi
 Date 9/15/2022
 *This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

OPTION B



1 SITE PLAN
SCALE: 1/16" = 1'-0"



2 VICINITY PLAN
NTS

GENERAL INFORMATION
 2059 SW PARK AVE
 PROPERTY ID: R246517
 COUNTY: MULTNOMAH
 STATE ID: 1S1E04DA 8800
 ALT ACCOUNT #: R667725410
 MAP NUMBER: 3228 OLD
 LOT: 1
 BLOCK: 234
 NEIGHBORHOOD: SOUTHWEST HILLS
 JURISDICTION: PORTLAND / MULTNOMAH
 OWNER: PARK AVENUE PSU LLC
 ADDRESS: 5331 S MACADAM AVE STE 258 PMB 208
 PORTLAND OR 97239

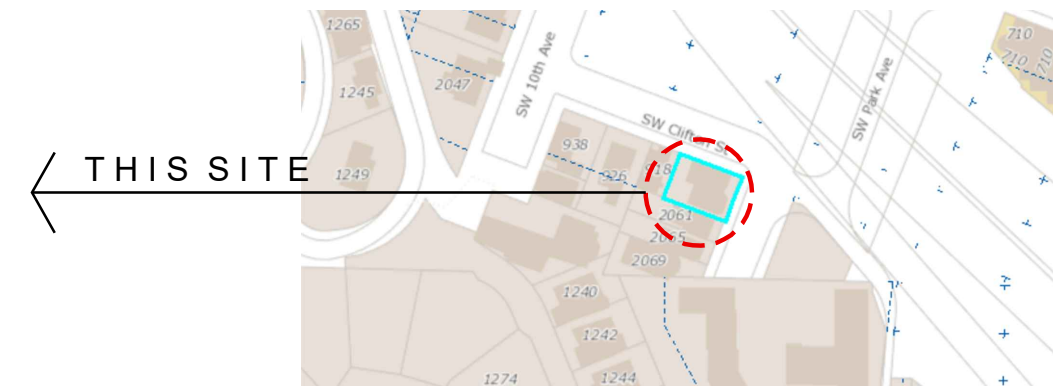
ZONING
 ZONE: RM4 (d)
 DESCRIPTION: RESIDENTIAL MULTI-DWELLING 4
 OVERLAY: d
 BASE OVERLAY COMBINATION: RM4d
 COMP PLAN: MD-U - Multi-Dwelling - Urban Center

LAND INFORMATION
 RESIDENTIAL LAND

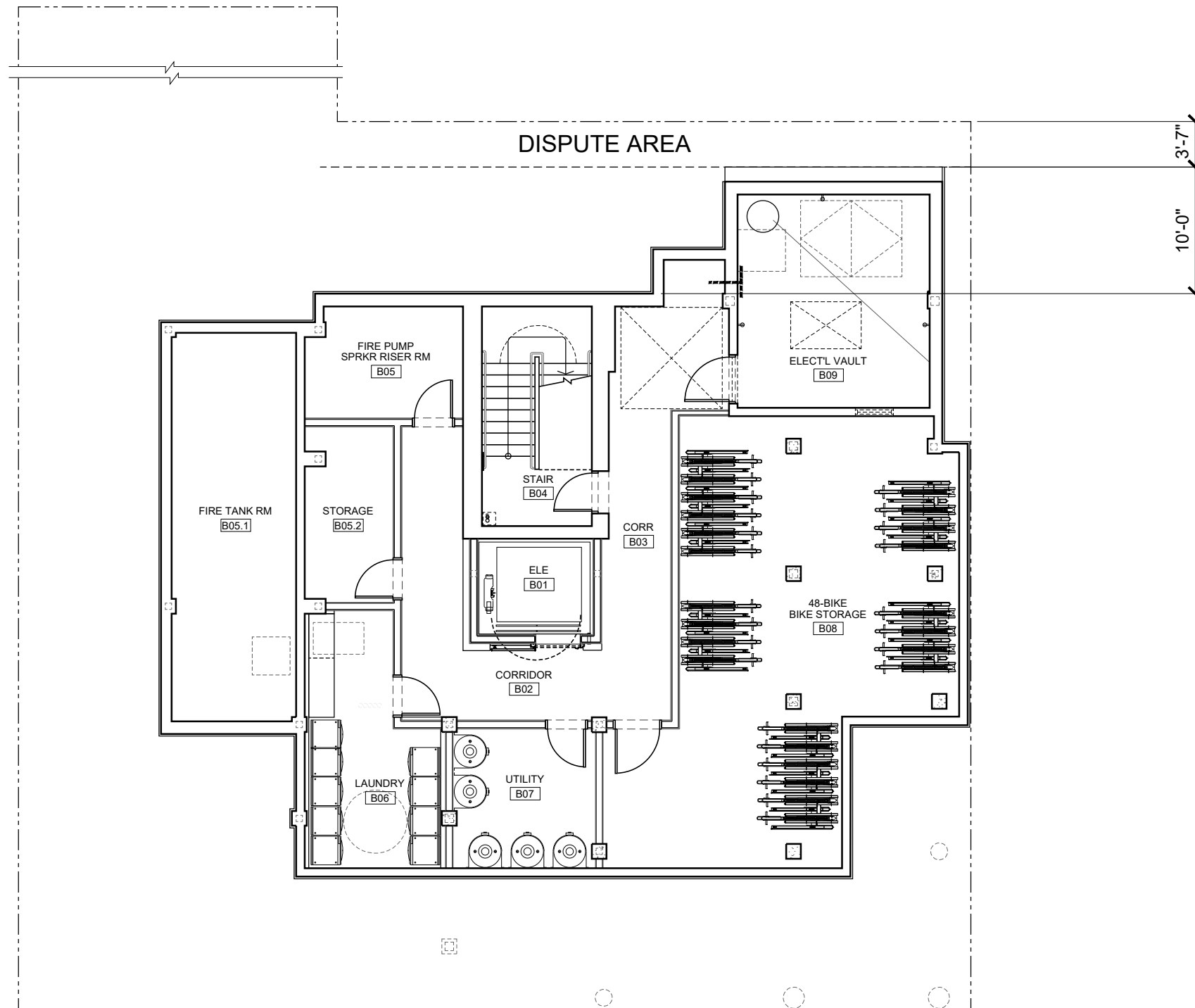
TOTAL LAND AREA 6,000 SF

SETBACK
 FRONT BUILDING SETBACK 0 FT
 STREET BUILDING SETBACK 0 FT
 MAXIMUM HEIGHT 110 FT

ROOFTOP MECHANICAL EQUIPMENT AND STAIRWELL ENCLOSURES THAT PROVIDE ROOFTOP ACCESS MAY EXTEND ABOVE THE HEIGHT LIMIT AS FOLLOWS, PROVIDED THAT THE EQUIPMENT AND ENCLOSURES ARE SET BACK AT LEAST 15 FEET FROM ALL ROOF EDGES ON STREET FACING FACADES.



OPTION B



1 BASEMENT FLOOR PLAN
SCALE: 3/32" = 1'-0"

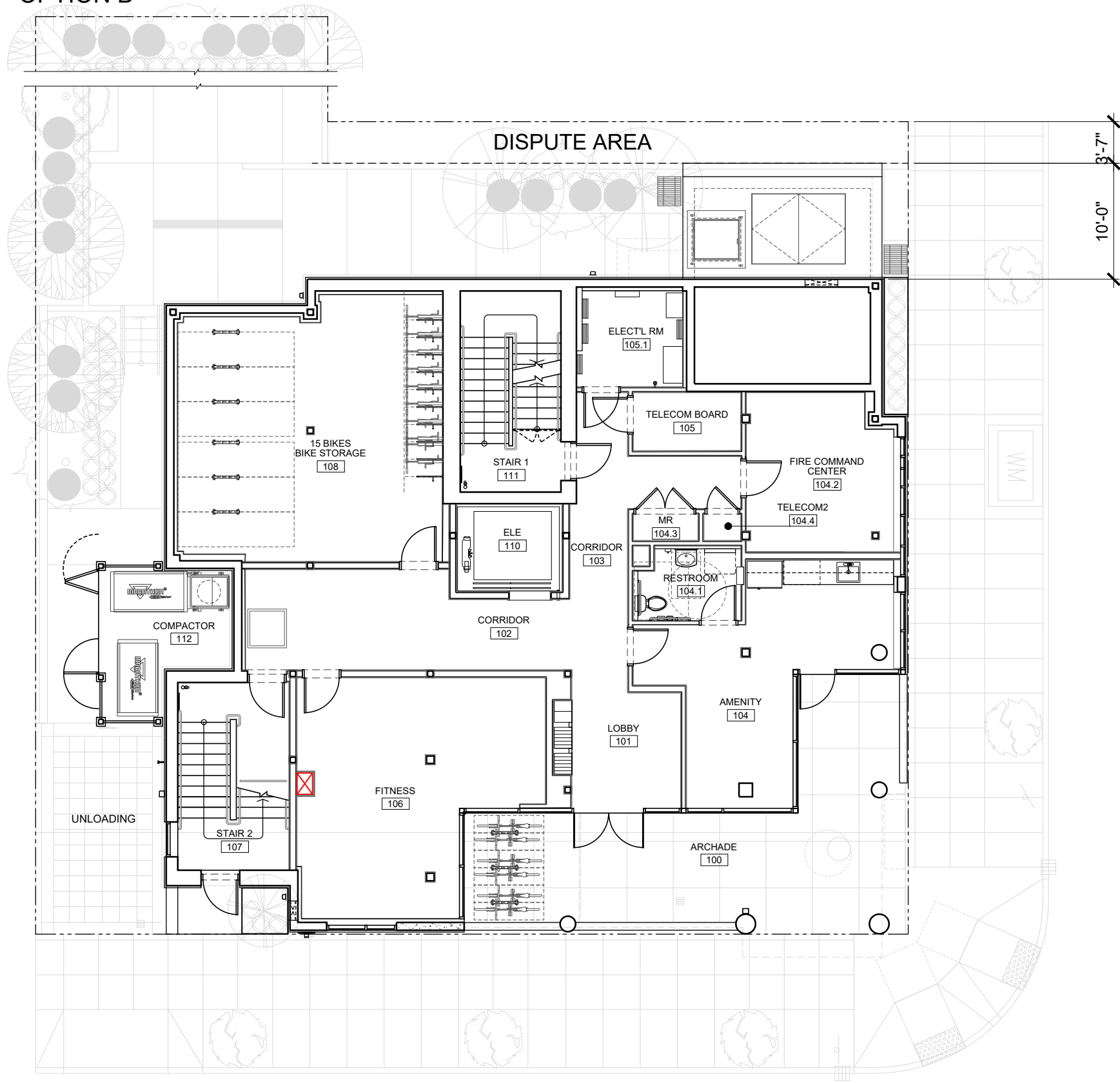


Approved
City of Portland
Bureau of Development Services

Planner: *[Signature]*
Date: 9/15/2022

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OPTION B



1 LEVEL 1
SCALE: 3/32" = 1'-0"

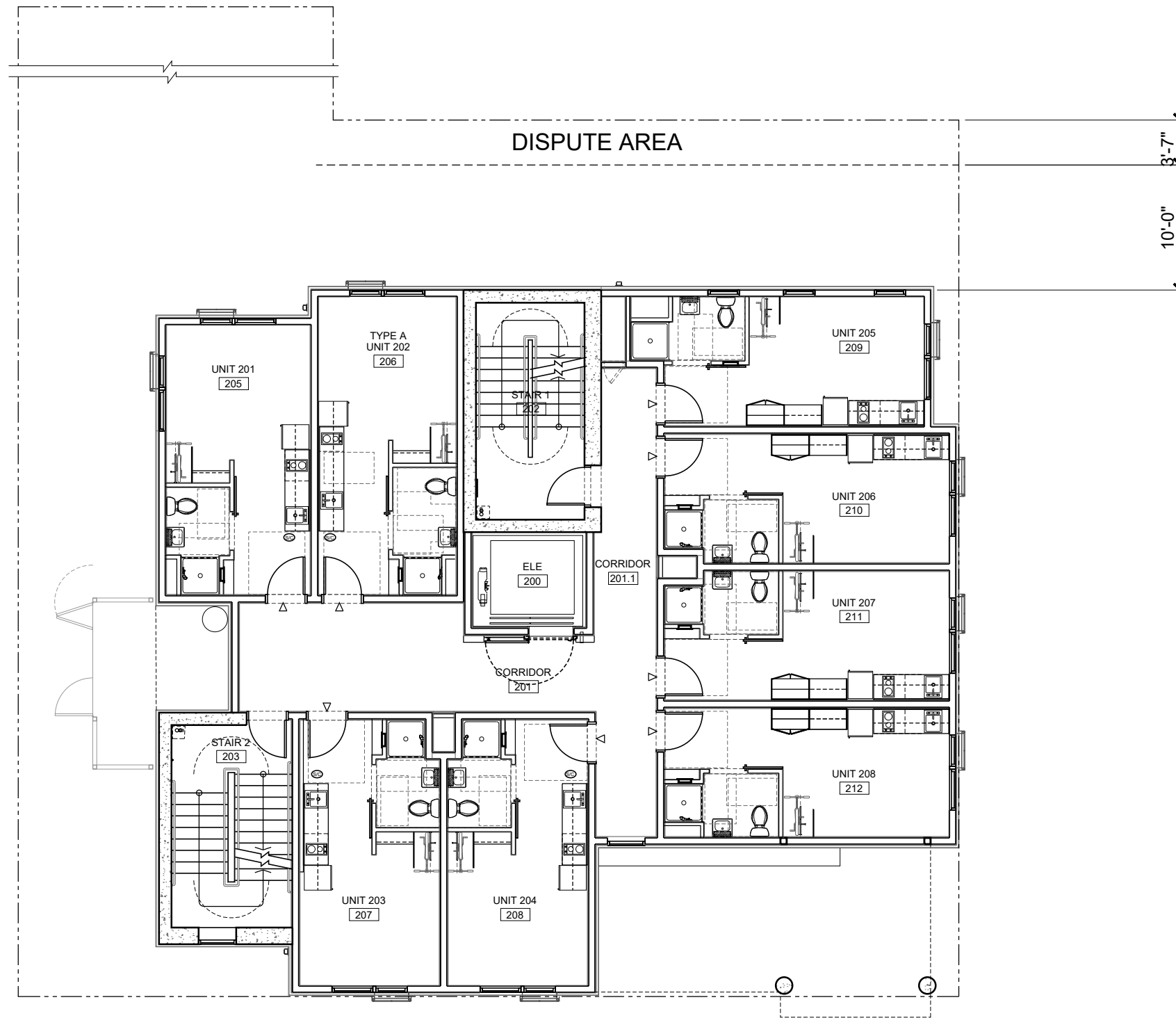


Approved
City of Portland
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Planner *[Signature]*
Date **9/15/2022**

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OPTION B

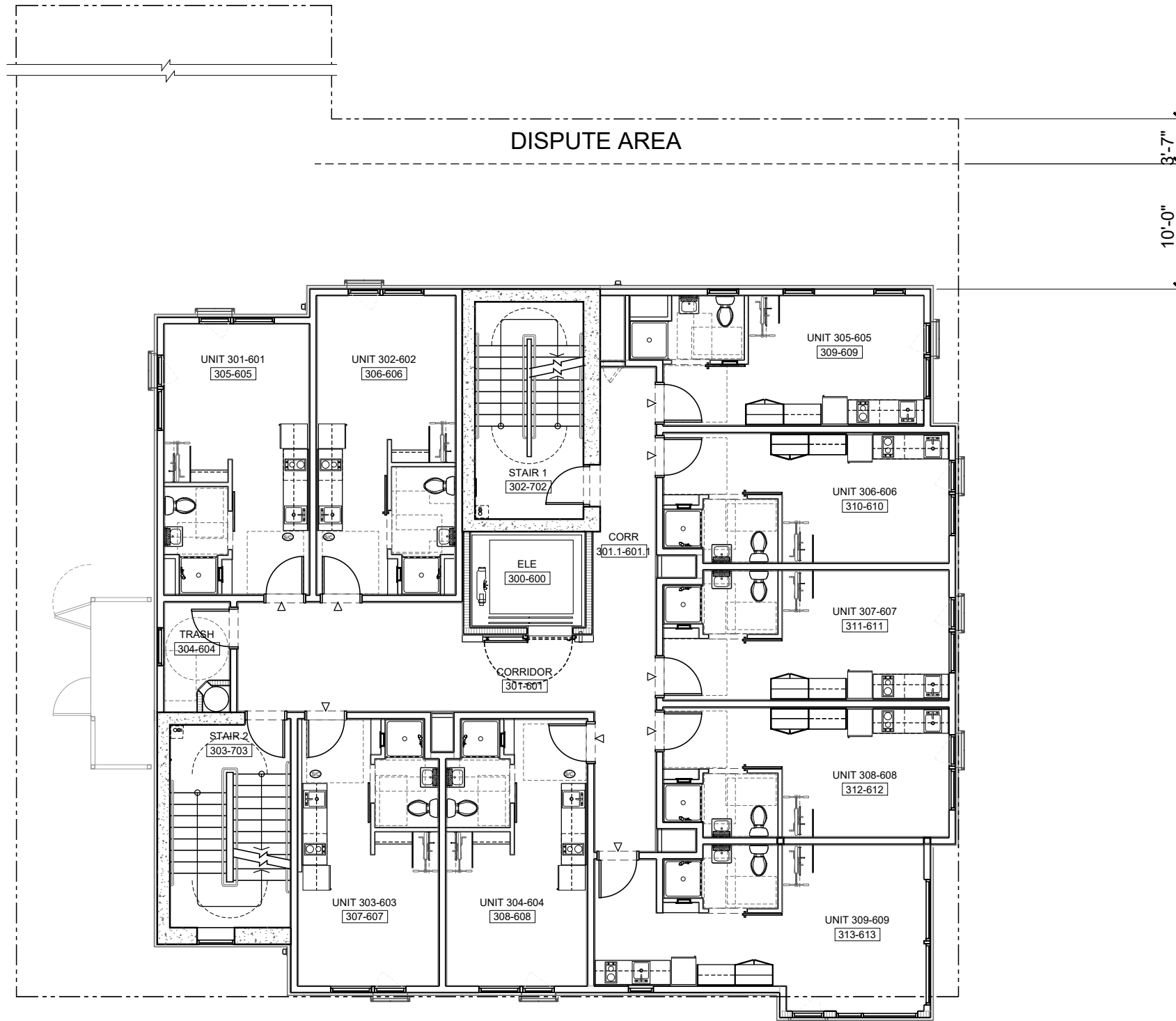


1 LEVEL 2
SCALE: 3/32" = 1'-0"



Approved
City of Portland
Bureau of Development Services
Planner *[Signature]*
Date 9/15/2022
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OPTION B



1 LEVEL 3 TO 6
SCALE: 3/32" = 1'-0"

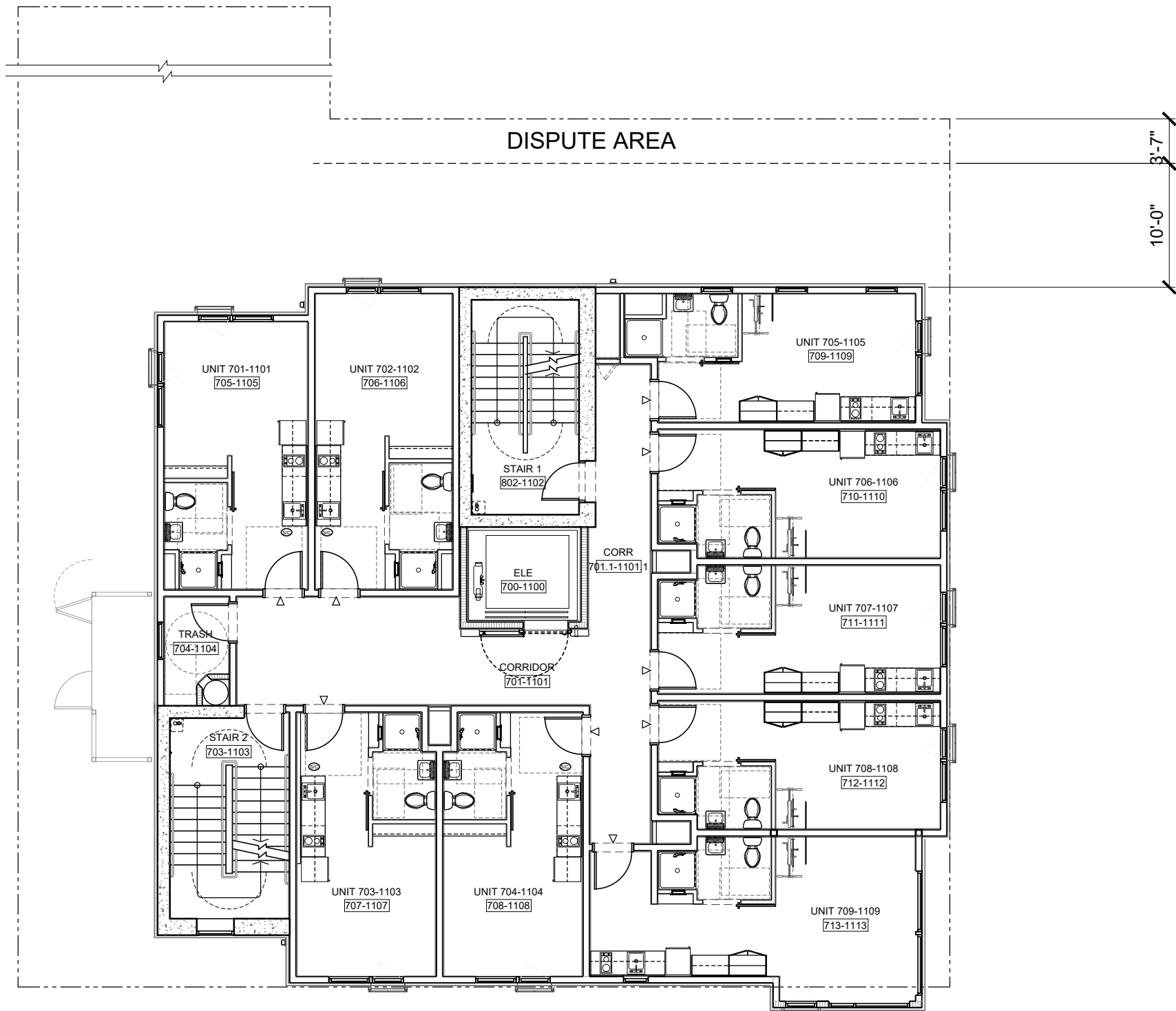


Approved
City of Portland
Bureau of Development Services

Planner *[Signature]*
Date **9/15/2022**

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OPTION B



1 LEVEL 7 TO 11
SCALE: 3/32" = 1'-0"

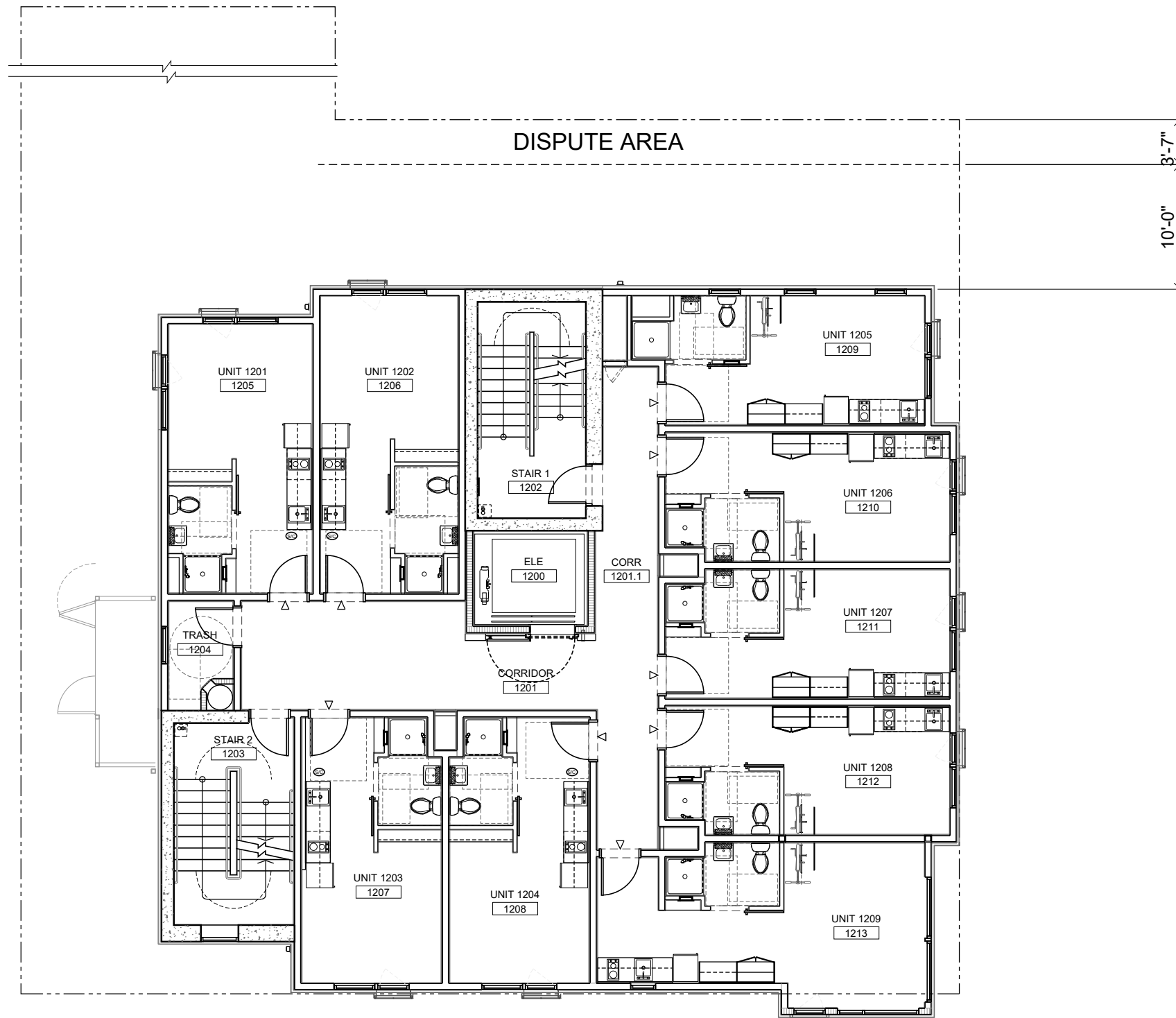


Approved
City of Portland
Bureau of Development Services

Planner: *[Signature]*
Date: 9/15/2022

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OPTION B



1 LEVEL 12
SCALE: 3/32" = 1'-0"

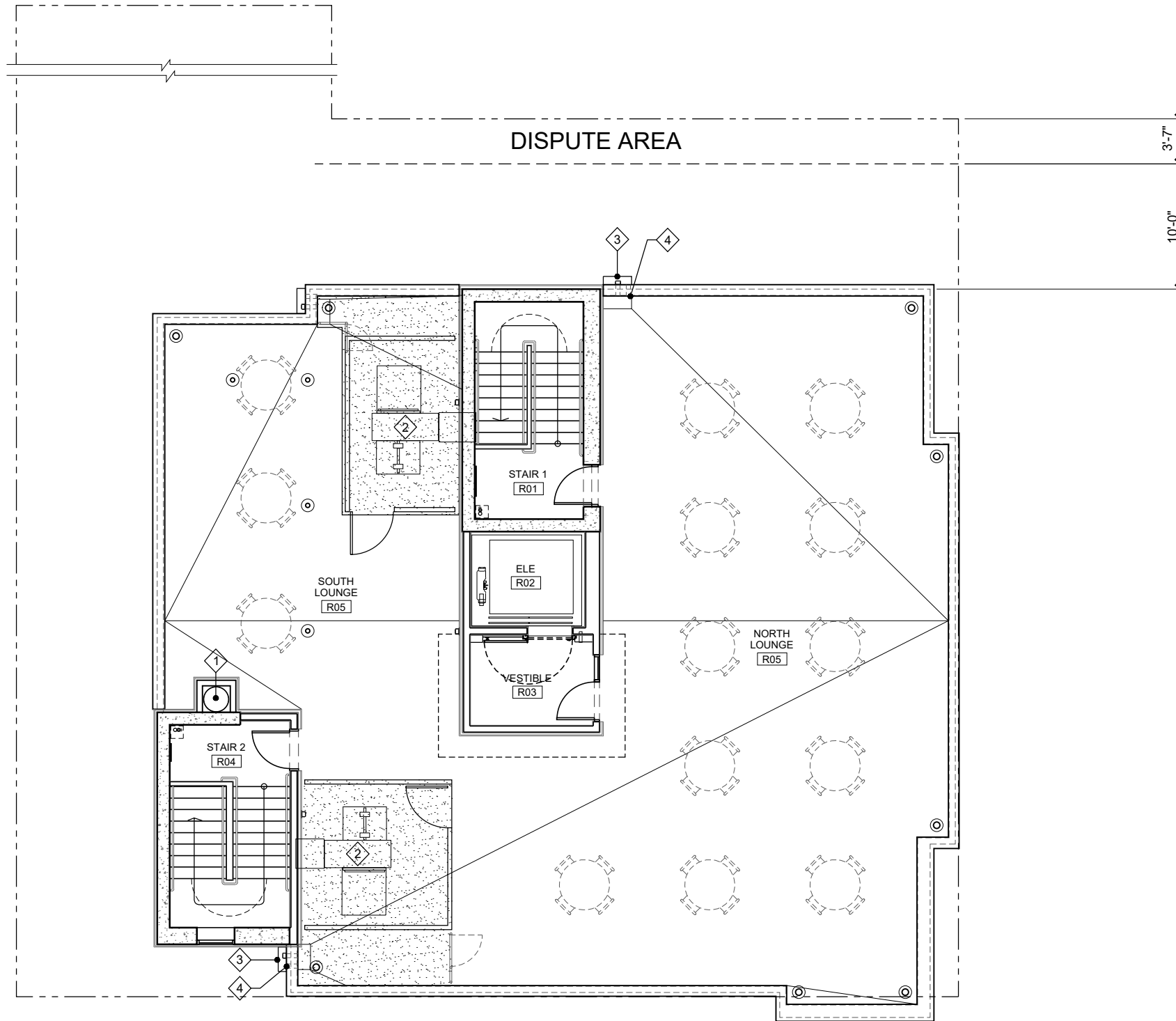


Approved
City of Portland
Bureau of Development Services

Planner: *[Signature]*
Date: 9/15/2022

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OPTION B



- KEYNOTES**
- 1 TRASH CHUTE EXHAUST
 - 2 MECH EQUIPMENT
 - 3 ROOF DRAIN
 - 4 OVERFLOW

1 ROOF PLAN
SCALE: 3/32" = 1'-0"



Approved
City of Portland
Bureau of Development Services

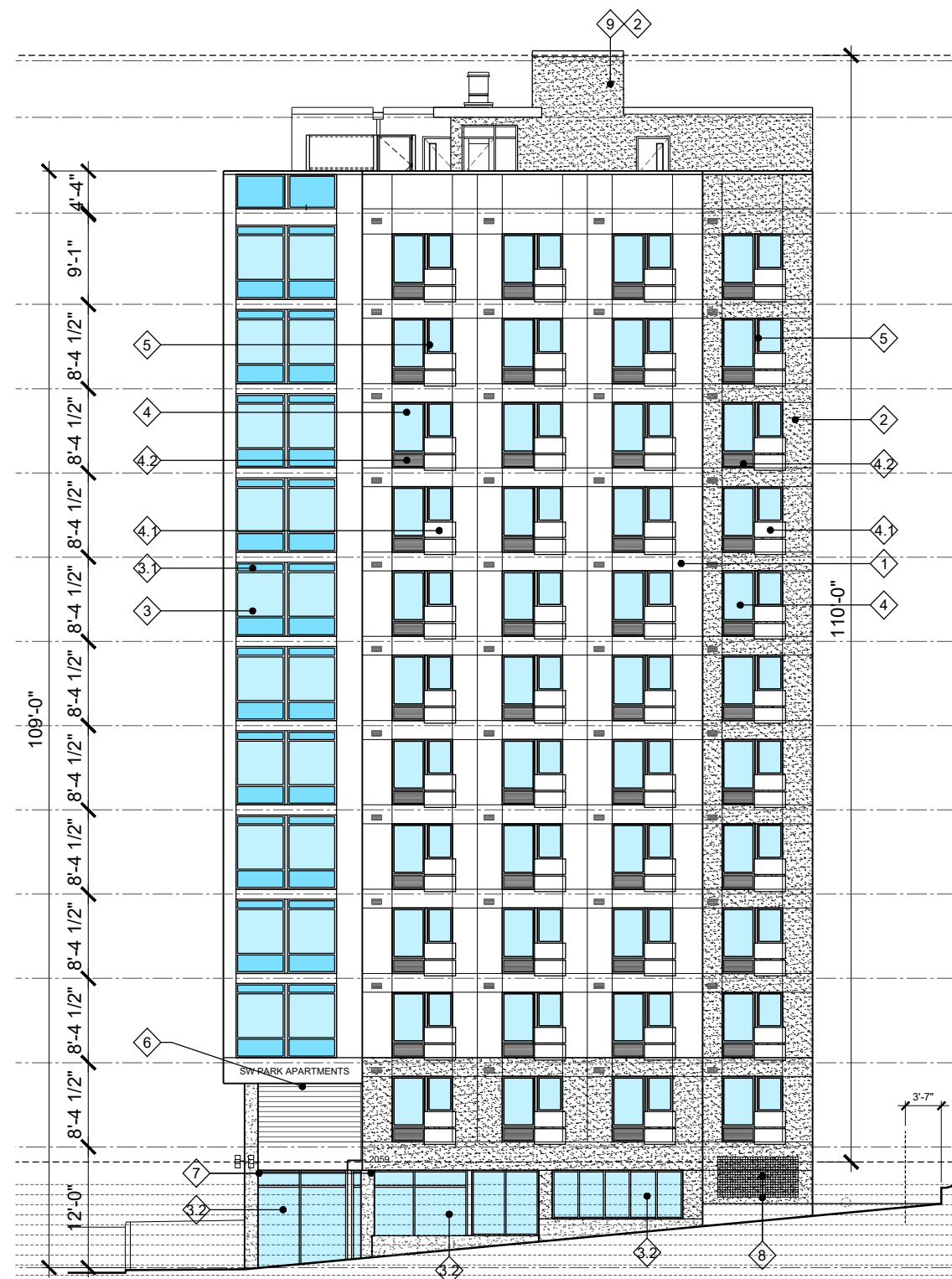
Planner: *[Signature]*
Date: 9/15/2022

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OPTION B



1 EAST ELEVATION
SCALE: 1/16" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/16" = 1'-0"

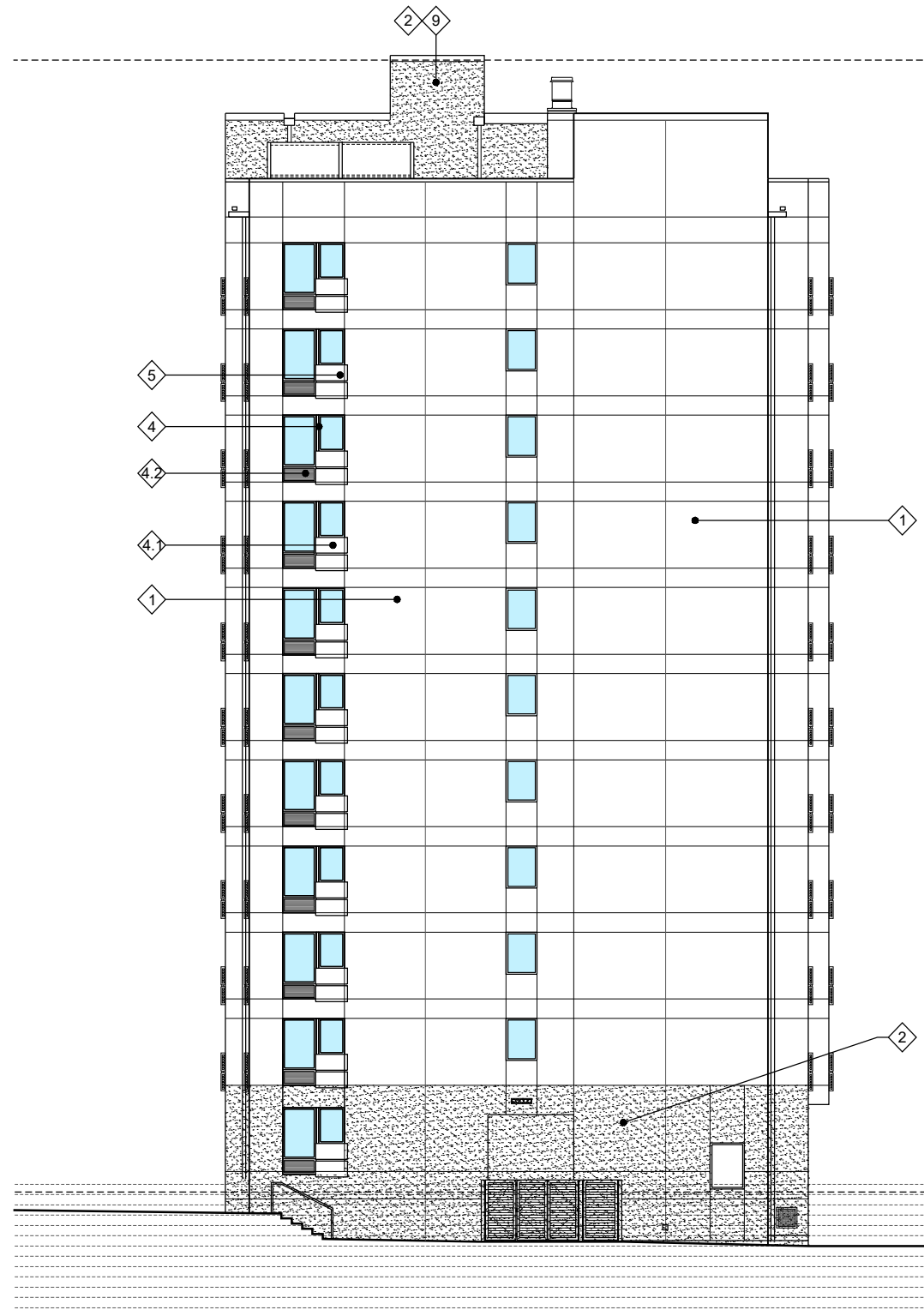
KEYNOTES

- 1 STUCCO - COLOR "LIGHT GRAY"
- 2 STUCCO - COLOR "DARK GRAY"
- 3 WINDOW WALL CURTAIN GLAZING FRAMING COLOR - "BLACK"
- 3.1 WINDOW SPANDREL GLAZING FRAMING COLOR - "BLACK"
- 3.2 WINDOW STOREFRONT GLAZING FRAMING COLOR - "BLACK"
- 4 WINDOW VINYL FRAMING COLOR - "BLACK"
- 4.1 WINDOW VINYL FRAMING COLOR - "BLACK"
- 4.2 LOUVER - "BLACK"
- 5 STEEL BALCONY WITH PUNCHED METAL GUARDRAIL OPENING
- 6 LAMINATED WOOD PANEL
- 7 CONC POST
- 8 PLANTER WITH GREEN WALL
- 9 ELEVATOR PENTHOUSE

OPTION B



1 WEST ELEVATION
SCALE: 1/16" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

KEYNOTES

- 1 STUCCO - COLOR "OFF WHITE"
- 2 STUCCO - COLOR "MEDIUM GRAY"
- 3 WINDOW WALL CURTAIN GLAZING FRAMING COLOR - "BLACK"
- 3.1 WINDOW SPANDREL GLAZING FRAMING COLOR - "BLACK"
- 3.2 WINDOW STOREFRONT GLAZING FRAMING COLOR - "BLACK"
- 4 WINDOW VINYL FRAMING COLOR - "BLACK"
- 4.1 WINDOW VINYL FRAMING COLOR - "BLACK"
- 4.2 LOUVER - "BLACK"
- 5 STEEL BALCONY WITH PUNCHED METAL GUARDRAIL OPENING
- 6 LAMINATED WOOD PANEL
- 7 CONC POST
- 8 PLANTER WITH GREEN WALL
- 9 ELEVATOR PENTHOUSE

Approved
City of Portland
Bureau of Development Services

Planner *[Signature]*
Date 9/15/2022

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	A	B	C	D	E	F
1	ENDORSEMENT	INFO1	INFO2	NAME	ADDRESS/IO ADDRESS	CITYSTATEZIP/ADDRESSEE
2	RETURN SERVICE REQUESTED		1S1E04DA 8700	PORTLAND CITY OF	1120 SW 5TH AVE #1302	PORTLAND OR 97204-1912
3	RETURN SERVICE REQUESTED		1S1E04DB 1000	SMITH DANA S	1242 SW CARDINELL WAY	PORTLAND OR 97201
4	RETURN SERVICE REQUESTED		1S1E04DB 1100	REICHENBACH DANIEL ADAM	1240 SW CARDINELL WAY	PORTLAND OR 97201
5	RETURN SERVICE REQUESTED		1S1E04DB 300	FFQ PROPERTIES LLC	8875 SW HAZELVERN WAY	PORTLAND OR 97223
6	RETURN SERVICE REQUESTED		1S1E04DB 400	MANDEFRO ESSAYAS & JEMBERE MARTHA	2064-2066 SW 10TH AVE	PORTLAND OR 97201
7	RETURN SERVICE REQUESTED		1S1E04DB 500	SAINT JOHN SOCIETY	PO BOX 1004	CORVALLIS OR 97339
8	RETURN SERVICE REQUESTED		1S1E04DB 600	BEAR JOHN H	918 SW CLIFTON ST	PORTLAND OR 97201
9	RETURN SERVICE REQUESTED		1S1E04DB 800	MARTY JOHN & CAMPBELL KAYCE	10110 S RIVERSIDE DR	PORTLAND OR 97219-7969
10	RETURN SERVICE REQUESTED		1S1E04DB 900	OREGON RESIDENTIAL PROPERTIES LLC	2050 BEAVERCREEK RD #101 PMB 337	OREGON CITY OR 97045-4301
11	RETURN SERVICE REQUESTED	1S1E04DB 90000	ASSOCIATION OF UNIT OWNERS OF	CARDINELL CREST CONDO	2076 SW 10TH AVE #2	PORTLAND OR 97201
12	RETURN SERVICE REQUESTED		1S1E04DB 90001	SANDRA G LEAHY TR	2078 SW 10TH AVE #6	PORTLAND OR 97201
13	RETURN SERVICE REQUESTED		1S1E04DB 90002	LILLIAN R CARBONE REV LIV TR	2076 SW 10TH AVE #2	PORTLAND OR 97201
14	RETURN SERVICE REQUESTED		1S1E04DB 90003	SHEPARD MICHAEL W	PO BOX 4017	BEAVERTON OR 97076-4017
15	RETURN SERVICE REQUESTED		1S1E04DB 90004	MUNRO KAREN L	2074 SW 10TH AVE #5	PORTLAND OR 97201
16	RETURN SERVICE REQUESTED		1S1E04DB 90005	YUN JOSEPH Y & BILLINGS-YUN MELANIE	1238 SW CARDINELL WAY #1	PORTLAND OR 97201
17	RETURN SERVICE REQUESTED		1S1E04DC 100	SARGENT CAITLIN A	1244 SW CARDINELL WAY	PORTLAND OR 97201-6761
18	RETURN SERVICE REQUESTED	1S1E04DC 10600	CARDINELL CREST HOMEOWNERS'	ASSOCIATION INC	1242 SW CARDINELL DR	PORTLAND OR 97201
19	RETURN SERVICE REQUESTED		1S1E04DD 8701	THE COLLECTIVE PDX LLC	116 NE 6TH AVE #400	PORTLAND OR 97232
20				CURRENT RESIDENT	2064 SW 10TH AVE	PORTLAND OR 97201
21				CURRENT RESIDENT	2065 SW PARK AVE #B	PORTLAND OR 97201
22				CURRENT RESIDENT	2066 SW 10TH AVE	PORTLAND OR 97201
23				CURRENT RESIDENT	2069 SW PARK AVE #B	PORTLAND OR 97201
24				CURRENT RESIDENT	2073 SW PARK AVE #110	PORTLAND OR 97201
25				CURRENT RESIDENT	2073 SW PARK AVE #111	PORTLAND OR 97201
26				CURRENT RESIDENT	2073 SW PARK AVE #118	PORTLAND OR 97201
27				CURRENT RESIDENT	2073 SW PARK AVE #124	PORTLAND OR 97201
28				CURRENT RESIDENT	2073 SW PARK AVE #125	PORTLAND OR 97201
29				CURRENT RESIDENT	2073 SW PARK AVE #129	PORTLAND OR 97201
30				CURRENT RESIDENT	2073 SW PARK AVE #130	PORTLAND OR 97201
31				CURRENT RESIDENT	2073 SW PARK AVE #207	PORTLAND OR 97201
32				CURRENT RESIDENT	2073 SW PARK AVE #219	PORTLAND OR 97201
33				CURRENT RESIDENT	938 SW CLIFTON ST #B	PORTLAND OR 97201
34				CURRENT RESIDENT	2057 SW PARK AVE	PORTLAND OR 97201
35				CURRENT RESIDENT	2061 SW PARK AVE	PORTLAND OR 97201
36				CURRENT RESIDENT	2069 SW PARK AVE #C	PORTLAND OR 97201
37				CURRENT RESIDENT	2069 SW PARK AVE #D	PORTLAND OR 97201
38				CURRENT RESIDENT	2073 SW PARK AVE #101	PORTLAND OR 97201
39				CURRENT RESIDENT	2073 SW PARK AVE #107	PORTLAND OR 97201
40				CURRENT RESIDENT	2073 SW PARK AVE #108	PORTLAND OR 97201
41				CURRENT RESIDENT	2073 SW PARK AVE #112	PORTLAND OR 97201
42				CURRENT RESIDENT	2073 SW PARK AVE #114	PORTLAND OR 97201
43				CURRENT RESIDENT	2073 SW PARK AVE #116	PORTLAND OR 97201
44				CURRENT RESIDENT	2073 SW PARK AVE #122	PORTLAND OR 97201
45				CURRENT RESIDENT	2073 SW PARK AVE #126	PORTLAND OR 97201
46				CURRENT RESIDENT	2073 SW PARK AVE #203	PORTLAND OR 97201
47				CURRENT RESIDENT	2073 SW PARK AVE #209	PORTLAND OR 97201
48				CURRENT RESIDENT	2073 SW PARK AVE #210	PORTLAND OR 97201
49				CURRENT RESIDENT	2073 SW PARK AVE #217	PORTLAND OR 97201
50				CURRENT RESIDENT	2073 SW PARK AVE #222	PORTLAND OR 97201
51				CURRENT RESIDENT	2073 SW PARK AVE #224	PORTLAND OR 97201
52				CURRENT RESIDENT	2065 SW PARK AVE #A	PORTLAND OR 97201
53				CURRENT RESIDENT	2069 SW PARK AVE #A	PORTLAND OR 97201
54				CURRENT RESIDENT	2073 SW PARK AVE #102	PORTLAND OR 97201
55				CURRENT RESIDENT	2073 SW PARK AVE #104	PORTLAND OR 97201
56				CURRENT RESIDENT	2073 SW PARK AVE #106	PORTLAND OR 97201
57				CURRENT RESIDENT	2073 SW PARK AVE #109	PORTLAND OR 97201
58				CURRENT RESIDENT	2073 SW PARK AVE #113	PORTLAND OR 97201
59				CURRENT RESIDENT	2073 SW PARK AVE #117	PORTLAND OR 97201
60				CURRENT RESIDENT	2073 SW PARK AVE #123	PORTLAND OR 97201
61				CURRENT RESIDENT	2073 SW PARK AVE #127	PORTLAND OR 97201
62				CURRENT RESIDENT	2073 SW PARK AVE #201	PORTLAND OR 97201
63				CURRENT RESIDENT	2073 SW PARK AVE #202	PORTLAND OR 97201
64				CURRENT RESIDENT	2073 SW PARK AVE #204	PORTLAND OR 97201
65				CURRENT RESIDENT	2073 SW PARK AVE #206	PORTLAND OR 97201
66				CURRENT RESIDENT	2073 SW PARK AVE #208	PORTLAND OR 97201

	A	B	C	D	E	F	
67				CURRENT RESIDENT	2073 SW PARK AVE #215	PORTLAND OR 97201	
68				CURRENT RESIDENT	926 SW CLIFTON ST	PORTLAND OR 97201	
69				CURRENT RESIDENT	2055 SW PARK AVE	PORTLAND OR 97201	
70				CURRENT RESIDENT	2073 SW PARK AVE #103	PORTLAND OR 97201	
71				CURRENT RESIDENT	2073 SW PARK AVE #105	PORTLAND OR 97201	
72				CURRENT RESIDENT	2073 SW PARK AVE #115	PORTLAND OR 97201	
73				CURRENT RESIDENT	2073 SW PARK AVE #119	PORTLAND OR 97201	
74				CURRENT RESIDENT	2073 SW PARK AVE #120	PORTLAND OR 97201	
75				CURRENT RESIDENT	2073 SW PARK AVE #121	PORTLAND OR 97201	
76				CURRENT RESIDENT	2073 SW PARK AVE #128	PORTLAND OR 97201	
77				CURRENT RESIDENT	2073 SW PARK AVE #205	PORTLAND OR 97201	
78				CURRENT RESIDENT	2073 SW PARK AVE #211	PORTLAND OR 97201	
79				CURRENT RESIDENT	2073 SW PARK AVE #212	PORTLAND OR 97201	
80				CURRENT RESIDENT	2073 SW PARK AVE #214	PORTLAND OR 97201	
81				CURRENT RESIDENT	2073 SW PARK AVE #216	PORTLAND OR 97201	
82				CURRENT RESIDENT	2073 SW PARK AVE #218	PORTLAND OR 97201	
83				CURRENT RESIDENT	2073 SW PARK AVE #220	PORTLAND OR 97201	
84				CURRENT RESIDENT	2073 SW PARK AVE #221	PORTLAND OR 97201	
85				CURRENT RESIDENT	938 SW CLIFTON ST #A	PORTLAND OR 97201	
86				CURRENT RESIDENT	938 SW CLIFTON ST #C	PORTLAND OR 97201	
87	RETURN SERVICE REQUESTED	OWNER/AGENT	1S1E04DA 8800	PARK AVENUE PSU LLC	RYSTADT ROWEN	5331 S MACADAM AVE STE 258 PMB 208	PORTLAND OR 97239
88	RETURN SERVICE REQUESTED	APPLICANT		TAHRAN ARCHITECTURE & PLANNING LLC	TAHRAN RALPH	13741 KNAUS ROAD	LAKE OSWEGO OR 97034
89	RETURN SERVICE REQUESTED	DEVELOPER		MAIN STREET DEVELOPMENT	ROSEMEYER NATHANIEL	4035 S KELLY ST	PORTLAND OR 97239
90	RETURN SERVICE REQUESTED			NEIGHBORS WEST-NORTHWEST	DARLENE URBAN GARETT	2257 NW RALEIGH ST	PORTLAND OR 97210
91	RETURN SERVICE REQUESTED			PORTLAND DOWNTOWN NEIGHBORHOOD ASSOCIATION	WENDY RAHM	2257 NW RALEIGH ST	PORTLAND OR 97210
92	RETURN SERVICE REQUESTED			SOUTHWEST HILLS RESIDENTIAL LEAGUE	SC/O NWNW	2257 NW RALEIGH ST	PORTLAND OR 97210
93	RETURN SERVICE REQUESTED			LAND USE CONTACT	DOWNTOWN RETAIL COUNCIL	200 SW MARKET ST SUITE 150	PORTLAND OR 97201
94	RETURN SERVICE REQUESTED			LAND USE CONTACT	GOOSE HOLLOW FOOTHILLS LEAGUE	2257 NW RALEIGH ST	PORTLAND OR 97210
95	RETURN SERVICE REQUESTED			LAND USE CONTACT	PIONEER COURTHOUSE SQ	715 SW MORRISON #702	PORTLAND OR 97205
96	RETURN SERVICE REQUESTED			LAND USE CONTACT	WASHINGTON CO - TRANSPORTATION	1400 SW WALNUT ST	HILLSBORO OR 97123
97	RETURN SERVICE REQUESTED			CENTRAL CITY PLAN DISTRICT	CENTRAL CITY CONCERN	232 NW 6TH AVE	PORTLAND OR 97209
98	RETURN SERVICE REQUESTED				DOUG KLOTZ	1908 SE 35TH PLACE	PORTLAND OR 97214
99	RETURN SERVICE REQUESTED			PORTLAND METRO REGIONAL SOLUTIONS	C/O DLCD REGIONAL REP	1600 SW FOURTH AVE #109	PORTLAND OR 97201
100	RETURN SERVICE REQUESTED			LAND USE CONTACT	PORT OF PORTLAND PLANNING	PO BOX 3529	PORTLAND OR 97208
101	RETURN SERVICE REQUESTED			LAND USE CONTACT	TRANSIT DEVELOPMENT	1800 SW FIRST AVE SUITE 300	PORTLAND OR 97201
102	RETURN SERVICE REQUESTED			LAND USE CONTACT	AIA URBAN DESIGN COMMITTEE	403 NW 11TH	PORTLAND OR 97209
103	RETURN SERVICE REQUESTED			LAND USE CONTACT	STATE HISTORIC PRESERVATION OFFICE	725 SUMMER NE #C	SALEM OR 97301
104					PROSPER PORTLAND	129/PROSPER	
105					DAWN KRANTZ	B299/R5000	



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Dan Ryan, Commissioner
Rebecca Esau, Director
Phone: (503) 823-7300
Fax: (503) 823-5630
TTY: (503) 823-6868
www.portland.gov/bds

Date: 8/2/2022
To: Interested Person
From: Tanya Paglia, Land Use Services
503-865-6518/Tanya.Paglia@portlandoregon.gov

NOTICE OF A TYPE II PROPOSAL IN YOUR NEIGHBORHOOD

Development has been proposed in your neighborhood. The proposed development requires a land use review. The proposal, review process, and information on how to respond to this notice are described below. A copy of the site plan and zoning map is attached. I am the staff person handling the case. Please call me if you have questions regarding this proposal. Please contact the applicant if you have questions regarding any future development on the site.

Because we must publish our decision within 28 days, **we need to receive your written comments by 5 p.m. on 8/23/2022. Your comments must be e-mailed to the assigned planner listed above;** please include the Case File Number, LU 22-157148 DZM, in your e-mail. If you do not have access to e-mail, please telephone the planner listed above about submitting comments. Please note that all correspondence received will become part of the public record.

CASE FILE NUMBER: LU 22-157148 DZM – SW PARK APARTMENTS

Applicants: Ralph Tahran | Tahran Architecture & Planning LLC
13741 Knaus Road | Lake Oswego, OR 97034
ralphtahran@comcast.net

Developer: Nathaniel Rosemeyer | Main Street Development
4035 S Kelly St | Portland, OR 97239

Owner/Agent: Rowen Rystadt | Park Ave PSU LLC
5331 SW Macadam Ave #258 Pmb 208 | Portland, OR 97239

Site Address: 2057 SW PARK AVE

Legal Description: BLOCK 234 E 70' OF LOT 1 N 1/2 OF LOT 2, PORTLAND; BLOCK 234 N 1/2 OF LOT 2, PORTLAND

Tax Account No.: R667725410, R667725450

State ID No.: 1S1E04DA 08800, 1S1E04DB 00700

Quarter Section: 3228

Neighborhood: Southwest Hills Residential League, contact at landuse@swhrl.org

Business District: None

District Coalition: Neighbors West/Northwest, contact at Darlene Urban Garrett at darlene@nwnw.org

Plan District: None

Zoning: RM4d, Residential Multi-Dwelling 4 with a Design Overlay
Case Type: DZ, Design Review
Procedure: Type II, an administrative decision with appeal to the Design Commission.

Proposal:

The applicant seeks design review approval for a proposed twelve-story affordable housing apartment building with 98 residential units. The majority of the structure will be prefabricated and the modular units with a stucco panel exterior will be assembled on site. The proposed building will be set into the sloping site with the main entry lobby at existing sidewalk grade on SW Park Avenue with an arcaded entry plaza wrapping the corner of SW Park Avenue and SW Clifton St. The 6,000 SF site located at the southeast corner of SW Clifton St and SW Park Ave is currently developed with two older, two-story single-family homes that will be deconstructed.

Modification requests [PZC 33.825.040]:

1. Reduce the required minimum front building setback (east side setback along SW Park Ave) from the required 5 feet to 0 feet (33.120.220)
2. Reduce the required minimum side building setback for a lot line that is a street lot line (north side setback along SW Clifton St) for buildings that are more than 55 feet tall from the required 5 feet to 0 feet (33.120.220)

Design review is required because the proposal is for exterior alterations in a Design Overlay zone.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33. The relevant criteria are:

- Portland Citywide Design Guidelines

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. This application was submitted on June 24, 2022 and determined to be complete on 7/29/2022.

Decision Making Process

The Bureau of Development Services will make a decision on this proposal. After we consider your comments we will do one of the following:

- Approve the proposal;
- Approve the proposal with conditions; or
- Deny the proposal.

The neighborhood association listed on the first page of this notice may take a position on this application. They may also schedule an open meeting prior to making their recommendation to the Bureau of Development Services. Please contact the person listed as the neighborhood contact to determine the time and date of this meeting.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be extended at the request of the applicant.

If you are interested in viewing information in this file, please contact the planner listed on the front of this notice. The planner can email you documents from the file. A fee would be required for all requests for paper copies of file documents. Additional information about the City of Portland, and city bureaus is available online at <https://www.portland.gov>. A digital

copy of the Portland Zoning Code is available online at <https://www.portlandoregon.gov/zoningcode>.

Appeal Process

If you disagree with the Bureau of Development Services administrative decision, you can appeal the decision to the Design Commission. This review body will hold a public hearing for the appeal. When the decision is mailed, the criteria used to make the decision and information on how to file an appeal will be included. If you do not send any comments, you can still appeal the decision. There is a 14-day deadline to file an appeal beginning on the day the decision is mailed. The reason for the appeal must be specifically defined in order for the review body to respond to the appeal. If an appeal is filed, you will be notified of the time and location of the appeal hearing.

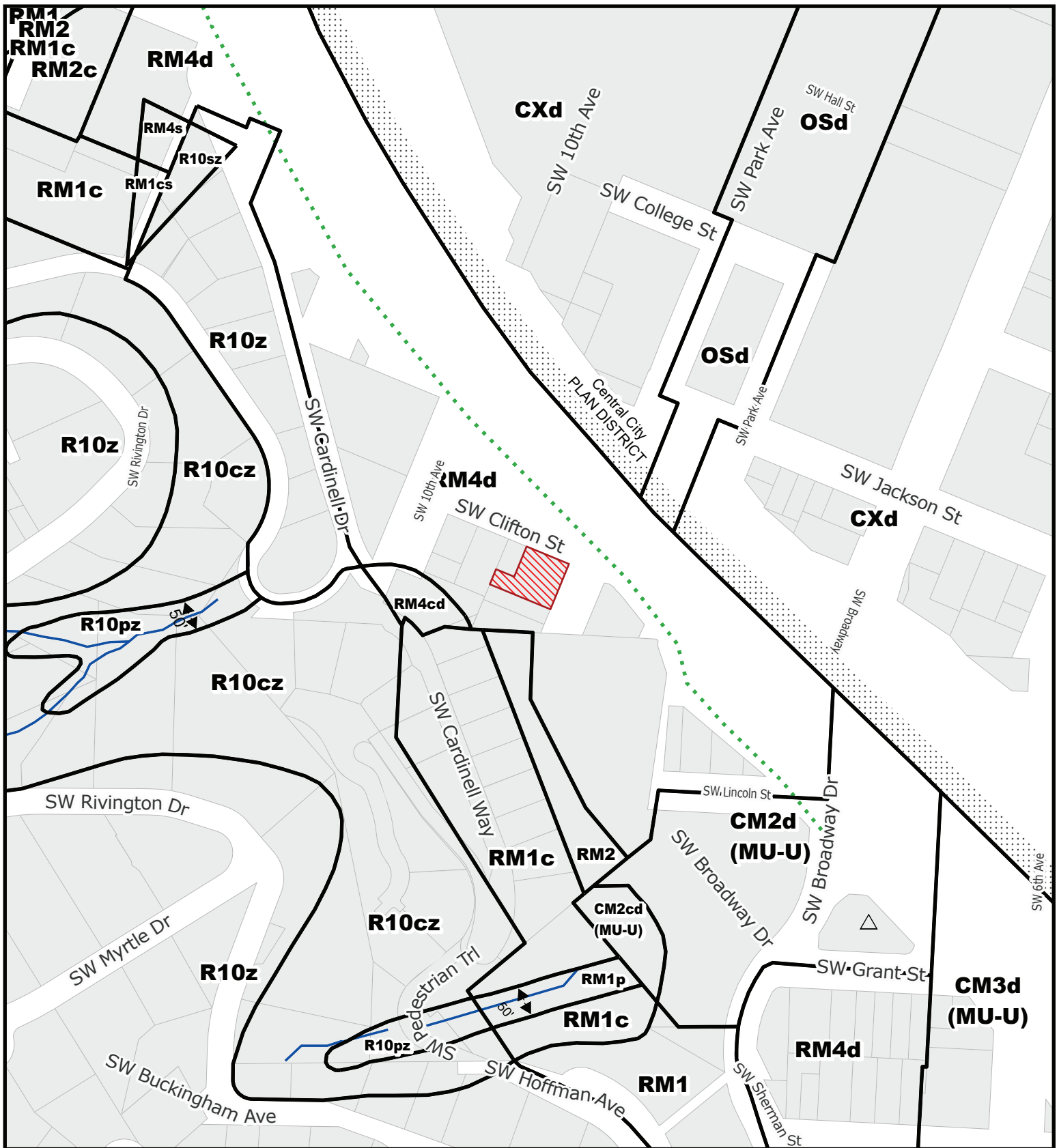
There is a fee charged for appeals. Recognized neighborhood associations may qualify for an appeal fee waiver.

Appeal of the Final City Decision

After an appeal hearing, the review body decision may be appealed to the Oregon Land Use Board of Appeals (LUBA) at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283. The phone number for LUBA is 1-503-373-1265. Issues that may provide the basis for an appeal to LUBA must be raised prior to the comment deadline or prior to the conclusion of the hearing if a local appeal is requested. If you do not raise an issue with enough specificity to give the Bureau of Development Services an opportunity to respond to it, that may also preclude an appeal to LUBA on that issue.

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

Enclosures: Zoning Map; Site Plan; East and North Elevations; West and South Elevations

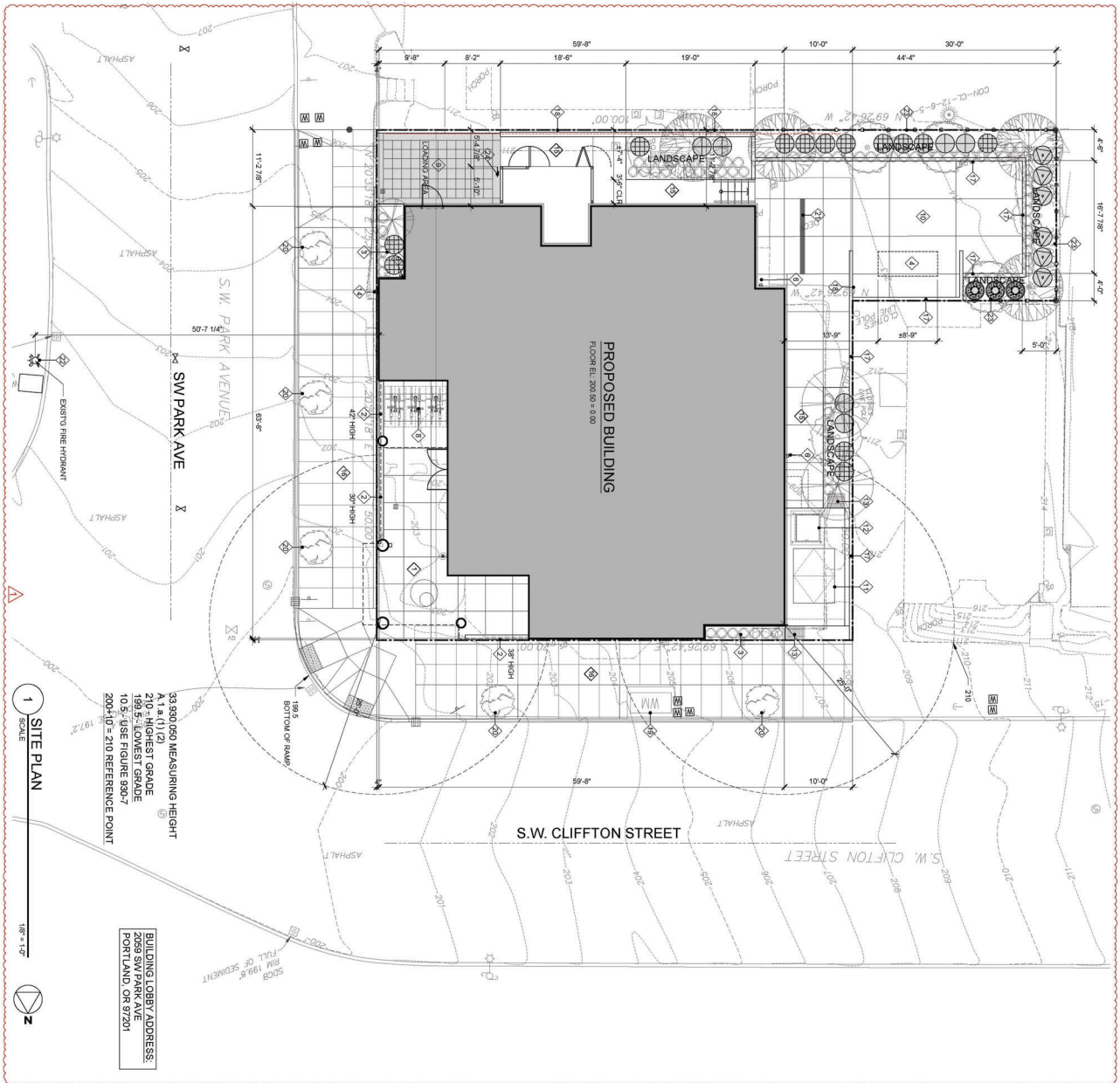


For Zoning Code in effect Post August 1, 2021

ZONING

-  Site
-  Historic Landmark
-  Stream
-  Recreational Trails

File No.	<u>LU 22 - 157148 DZM</u>
1/4 Section	<u>3228</u>
Scale	<u>1 inch = 200 feet</u>
State ID	<u>1S1E04DA 8800</u>
Exhibit	<u>B Jul 29, 2022</u>
	<u>LU 22-157148 DZM D-2</u>



1 SITE PLAN
SCALE: 1/8" = 1'-0"

BUILDING LOBBY ADDRESS:
2059 SW PARK AVE
PORTLAND, OR 97201

33,800.050 MEASURING HEIGHT
1.1 & 1.1 (1/2)
2.1 MEASURING HEIGHT
188.5 LOWEST GRADE
10.5-USE FIGURE 699.7
2004-10 = 210 REFERENCE POINT

2 VICINITY MAP
N.T.S.



- LEGEND**
- ◊ WATER METER SEE CIVIL
 - ◊ TREE WELL SEE CIVIL
 - ◊ CONC/LOW WALL
 - ◊ PLANTER
 - ◊ EMERGENCY GENERATOR
 - ◊ WINDOW WELL WITH 42" HIGH GUARDRAIL
 - ◊ DOWNSPOUT
 - ◊ NOT USED
 - ◊ FLOOR MOUNTED BIKE PARKING (SHORT TERM)
 - ◊ FLOOR AREA WITH COLORED PAVEMENT SEE A1.2
 - ◊ CONC. PAVEMENT (CONCRETE)
 - ◊ PLAZA
 - ◊ VAULT FLOOR
 - ◊ SLEEP ROOM DOOR ACCESS
 - ◊ VENT
 - ◊ FOC CONNECTION
 - ◊ WALKWAY
 - ◊ PUBLIC IMPROVEMENT SEE CIVIL
 - ◊ RETAINING WALL
 - ◊ RETAINING WALL WITH 6'-HIGH CMU FENCE

PROJECT DESCRIPTION
THE PROPOSED PROJECT IS A 12 STORY MASS TIMBER PANEL CONSTRUCTION WITH BASEMENT LOCATED IN 2059 SW PARK AVE PORTLAND, OR 97201.

CONSTRUCTION TYPE: V48 AND V16

STUDIO AIA TYPE B - 36 UNITS
STUDIO AIA TYPE C - 36 UNITS
TOTAL NUMBER OF UNITS: 72 UNITS

THE BUILDING IS APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13.

GENERAL INFORMATION
PROPERTY ID: R246517
COUNTY: MULTNOMAH
STATE ID: 1S1EMDQA 8800
NEW STATE ID: 1S1EMDQA -48800
MAP NUMBER: 8228 QJ D
LAND TYPE: RES - RESIDENTIAL LAND
TOTAL LAND AREA: 6,000.00 SF

SITE INFO
SITE ADDRESS:
2059 SW PARK AVE
PORTLAND, OR 97201
NEIGHBORHOOD:
JURISDICTION: PORTLAND / MULTNOMAH

ZONING
ZONING: R4 - RESIDENTIAL MULTIDWELLING 4
OVERLAY: d - Design
BASE OVERLAY COMBINATION: RM4d
COMP PLAN: MC-U - Multi-Dwelling - Urban Center
COMP PLAN OVERLAY: NONE

LAND INFORMATION
RESIDENTIAL LAND 6,000 SF



PORTLAND FIRE & RESCUE



Jo Ann Hardesty, Commissioner
Sara Boone, Fire Chief
AJ Jackson, Fire Marshal
Prevention Division
1300 SE Gideon Street
Portland, OR, 97202
Phone: (503) 823-3770

LAND USE REVIEW RESPONSE

TO: Tanya Paglia, City of Portland, Land Use Review
FROM: Dawn Krantz, Portland Fire Bureau 503-823-3718
DATE: August 17, 2022
SUBJECT: LU 22-157148 DZM
SITE LOCATION : 2059 SW PARK AVE

The following conditions of approval and informational comments are based on the land use review information provided to the Fire Bureau. Fire Bureau requirements are generated from the 2021 Portland Fire Code. All current Fire Code requirements apply and are required to be met. If these conditions cannot be met, an appeal providing an alternative method is an option for the applicant. If the applicant chooses to appeal a requirement, the appeal must be listed as a condition in the decision. Fire Code Appeals can be obtained at the Fire Bureau web page, www.portlandonline.com.

CONDITIONS OF APPROVAL AT TIME OF DEVELOPMENT

There are no concerns if all applicable Fire Code requirements can be met at the building permit review stage. A review of the building permit has not occurred at this point. A separate building permit is required for this proposal. All applicable Fire Code requirements shall apply at the time of permit review and development.



CITY OF PORTLAND ENVIRONMENTAL SERVICES



1120 SW Fifth Avenue, Suite 613, Portland, Oregon 97204 ■ Mingus Mapps, Commissioner ■ Michael Jordan, Director

Land Use Response

Date: August 25, 2022

To: Tanya Paglia, BDS Land Use Services
503-865-6518, Tanya.Paglia@portlandoregon.gov

From: Emma Kohlsmith, BES Systems Development
971-413-5404, Emma.Kohlsmith@portlandoregon.gov

Case File: LU 22-157148

Location: 2059 SW PARK AVE

R#: R246517, R246519, R246517

Proposal: The applicant seeks design review approval for a proposed twelve-story affordable housing apartment building with 98 residential units. The majority of the structure will be prefabricated and the modular units with a stucco panel exterior will be assembled on site. The proposed building will be set into the sloping site with the main entry lobby at existing sidewalk grade on SW Park Avenue with an arcaded entry plaza wrapping the corner of SW Park Avenue and SW Clifton St. The 6,000 SF site located at the southeast corner of SW Clifton St and SW Park Ave is currently developed with two older, two-story single-family homes that will be deconstructed. Modification requests [PZC 33.825.040]:1. Reduce the required minimum front building setback (east side setback along SW Park Ave) from the required 5 feet to 0 feet (33.120.220)2. Reduce the required minimum side building setback for a lot line that is a street lot line (north side setback along SW Clifton St) for buildings that are more than 55 feet tall from the required 5 feet to 0 feet (33.120.220)Design review is required because the proposal is for exterior alterations in a Design Overlay zone.

The following comments are based on the land use review plans and documents provided to the Bureau of Environmental Services (BES). Some references to Portland City Code (PCC) are included below; the applicant may also refer to the Auditor's Office [Online Charter and Code page](#).

A. RESPONSE SUMMARY

BES does not object to approval of the design review with modifications application. The proposed development will be subject to BES standards and requirements during the permit review process.

B. SANITARY SERVICE AND STORMWATER MANAGEMENT

For BES to recommend approval of the design review application, the applicant must demonstrate that the proposed project will accommodate sanitary disposal and stormwater management facilities that are approvable under PCC 17.32. The comments below relate to this requirement.

1. **Existing Sanitary and Storm Infrastructure:** According to available GIS data, the following sewer infrastructure is located in the vicinity of the project site:
 - a. Public 9-inch VSP combined sewer in SW Park Avenue (BES as-built # unknown).
 - b. Public 24-inch CSP combined sewer in SW Clifton Street (BES as-built #08V-202).
 - c. There is no storm-only sewer within the vicinity of the project site.

Ph: 503-823-7740 Fax: 503-823-6995 ■ www.portlandoregon.gov/bes ■ Using recycled paper ■ An Equal Opportunity Employer

The City of Portland complies with all non-discrimination laws including Title VI (Civil Rights) and Title II (ADA).
To request a translation, accommodation or additional information, please call 503-823-7740, or use City TTY 503-823-6868, or Oregon Relay Service: 711.

LU 22-157148 DZM E-2

2. *Proposed Sanitary Service:* Per the submitted building permit application, sanitary service will be provided by a new lateral to the existing maintenance hole within the frontage of the lot under review in SW Park Avenue.
3. *Proposed Stormwater Management:* BES understands that no changes are proposed to the previously reviewed stormwater management system and no additional impervious area is anticipated with the proposed revision; therefore, no additional information is required for the purpose of this review. The proposed stormwater system will consist of a detention pipe and drywell. Please refer to BES comments for the CO permit for additional submittal requirements, as applicable.

C. CONDITIONS OF APPROVAL

BES has no recommended conditions of approval.

G. ADMINISTRATIVE REVIEW

The applicant may request a modification of a decision presented in this response, as applicable, via an administrative review as outlined in PCC sections 17.06.050, 17.32.150, 17.33.100, 17.34.115, 17.36.110, 17.38.060 and 17.39.120 and in those sections' associated administrative rules. Some portions of this response are not decisions, but guidance related to requirements that this proposal may be subject to during City review of other processes, such as a building permit or public works permit review. While these are not decisions that are ripe to be considered through an administrative review, if the outcome of a future administrative review needs to be anticipated at this time in order to inform the land use action, the administrative review process may be utilized. Some items, such as technical standards, are not reviewable. For guidance on whether a modification can be requested and whether the land use process is the proper time to request it, consult with the BES staff identified above prior to submitting a request.

There is no fee charged for an administrative review, and all BES penalties and late fees will be stayed pending the outcome of the review process, as applicable. To request an administrative review, the applicant must complete the Administrative Review Request Form (located here: www.portlandoregon.gov/bes/68285) and submit it to the Systems Development staff listed above within 20 business days of the mailing date of this response. The applicant should coordinate with the BDS planner to determine whether applying for an administrative review would have an impact on state-mandated land use timelines.



To: Tanya Paglia
From: Chanel Horn, Life Safety Plans Examiner
Date: August 23, 2022
RE: 2059 SW PARK AVE, 22-157148-LU

LIFE SAFETY PLAN REVIEW RESPONSE

The following comments are based on the plans and documents provided to the Life Safety Plan reviewer. They are intended to provide the applicant with preliminary Building Code information that could affect the Land Use Review, Public Records request and/or future Building Permit reviews. The comments may not identify all conflicts between the Land Use proposal and the Building Codes. A complete Life Safety plan review will be provided at the time of Building Permit submittal at which time any additional Building Code issues will be noted. The comments are based on the Oregon Structural Specialty Code (OSSC), the International Existing Building Code (IEBC), the Oregon Mechanical Specialty Code (OMSC), or the Oregon Residential Specialty Code (ORSC).

RESPONSE SUMMARY

- Life Safety Plan Review does not object to the approval of this proposal. The applicant should be aware that several building code requirements may impact the final design of this building. For information regarding future compliance, see the GENERAL LIFE SAFETY COMMENTS below.
Life Safety Plan Review does not object to the approval of this proposal. This approval is conditional on the finalization of the property line adjustment approved through this LUR/PR. If this public record is not finalized, a Covenant Not to Sell the Properties Separately must be established for this project. For information regarding future compliance, see the GENERAL LIFE SAFETY COMMENTS below.
Life Safety Plan Review does not object to the approval of this proposal. Prior to Life Safety approval of the final plat or Land Use proposal, the applicant must address the Building Code issues listed as part of the GENERAL LIFE SAFETY COMMENTS below.
Life Safety Plan Review cannot support approval of the current Land Use proposal. Prior to Life Safety approval of the final plat, the applicant must address the Building Code issues listed as part of the GENERAL LIFE SAFETY COMMENTS below.

Table with 2 columns: Item #, GENERAL LIFE SAFETY COMMENTS. Row 1: 1, Building Permit Under Review or Issued A Building Permit has been applied for and is currently under review. A Life Safety reviewer has been in contact with the applicant. Please refer to correspondence from the assigned Life Safety reviewer for building code-related comments. All questions regarding Building Code issues should be directed to the assigned Life Safety reviewer.



PORTLAND BUREAU OF TRANSPORTATION

1900 SW Fourth Ave., Suite 5000 Portland, OR 97201 503-823-5185
Fax 503-823-7576 TTY 503-823-6868 www.portlandoregon.gov/transportation

Jo Ann Hardesty Commissioner Chris Warner Director

**RESPONSE TO THE BUREAU OF DEVELOPMENT SERVICES
LAND USE REVIEW REQUEST**

LU: 22-157148-000-00-LU Date: August 22, 2022
To: Tanya Paglia, Bureau of Development Services, B299/R5000
From: Tammy Boren-King, B106/800, 503-823-2948, tammy.boren-king@portlandoregon.gov
Applicant: Tahran Architecture & Planning Llc *Ralph Tahran*
TAHRAN ARCHITECTURE & PLANNING LLC
13741 KNAUS ROAD
LAKE OSWEGO, OR 97034

Location: 2059 SW PARK AVE

TYPE OF REQUEST: Type 2 procedure DZM - Design Review w/ Modifications

DESCRIPTION OF PROJECT

The applicant seeks design review approval for a proposed twelve-story affordable housing apartment building with 98 residential units. The majority of the structure will be prefabricated and the modular units with a stucco panel exterior will be assembled on site. The proposed building will be set into the sloping site with the main entry lobby at existing sidewalk grade on SW Park Avenue with an arcaded entry plaza wrapping the corner of SW Park Avenue and SW Clifton St. The 6,000 SF site located at the southeast corner of SW Clifton St and SW Park Ave is currently developed with two older, two-story single-family homes that will be deconstructed. Modification requests [PZC 33.825.040]:1. Reduce the required minimum front building setback (east side setback along SW Park Ave) from the required 5 feet to 0 feet (33.120.220)2.Reduce the required minimum side building setback for a lot line that is a street lot line (north side setback along SW Clifton St) for buildings that are more than 55 feet tall from the required 5 feet to 0 feet (33.120.220)Design review is required because the proposal is for exterior alterations in a Design Overlay zone.

RESPONSE

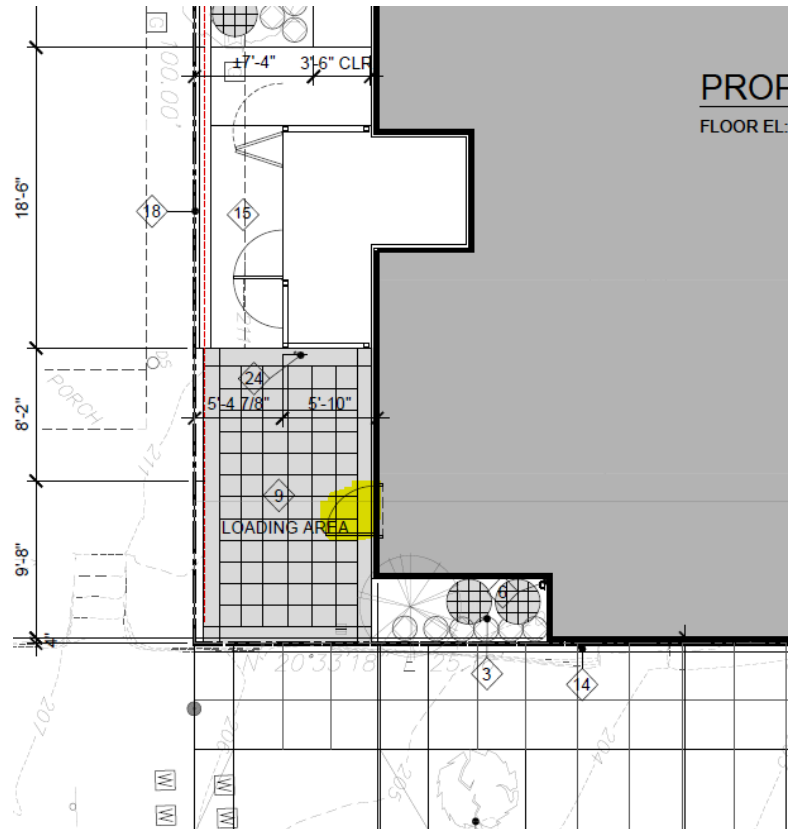
Portland Transportation/Development Review has reviewed the application for its potential impacts regarding the public right-of-way, traffic impacts and conformance with adopted policies, street designations, Title 33, Title 17, and for potential impacts upon transportation services.

Dedication is not required for this site. Both abutting frontages are local service streets for all modes and are outside of a Pedestrian District. As such, the sidewalk corridor requirement is 11-feet on both frontages. Based on City GIS and the previously submitted public works permit (TH1073) there is 11-feet of right-of-way from face of curb to property line on SW Park Ave. and 12-feet on SW Clifton St. Sidewalk reconstruction and ADA compliant curb ramps are required and will trigger a public works permit. Since both frontages currently contain curbs, concept approval of the public works permit is not needed to secure PBOT support for the design review.

There are no transportation related evaluation factors for the design review. PBOT also has no concerns

regarding the proposed setback modifications to allow for property line tight development. The ground floor door swings and utility vault are accommodated on private property. The proposed Juliet balconies appear to meet the encroachment policy allowance for balconies more than 8-ft above grade.

The building will have 98-units of housing, meaning 1 standard B loading space is required. One standard B space is proposed with the associated driveway being more than 25-feet from the intersection as required by TRN 10.40.D.1. Since the site is access via local service street, rearward motion is allowed per 33.266.310.F.1 PBOT staff is concerned that the required width of the loading space does not appear to be met. Per 33.266.D.2, the standard B space must be at least 9-feet wide. The plans dimension a total width of 11.24-feet for the area containing the loading space, but this also is shown as containing the door swing for the egress stair. The 9-ft wide loading space needs to be free from encroachments, such as door swings. There is no dimension provided for the door swing. Based on scaling from the plans, it appears the door swing is approximately 3-feet, meaning the loading space would fall short of the required 9-ft width. As such, the operation of the door, which appears to be an exit from a fire stair, would be compromised whenever a loading vehicle is present. Please verify the actual width of the loading space minus the door swing. If the design meets the minimum 9-ft width, please move the driveway approach south to align with the actual loading space. This will help vehicles park in a manner that does not block the door. If the design does not meet the minimum 9-ft width, please relocate the door swing out of the required loading space.



Transportation System Development Charges (Chapter 17.15)

System Development Charges (SDCs) may be assessed for this development. To receive an estimate of the SDC amount, the applicant is advised to leave a voicemail message to include the case file number, at (503) 823-7002, Option 2. Additional information about PBOT SDCs can be found at:

<https://www.portlandoregon.gov/transportation/46210>.

RECOMMENDATION

PBOT cannot support the requested design review without documentation that the minimum 9-ft width for the required loading space is met. PBOT recommends the applicant submit revised plans with dimensions demonstrating the minimum 9-ft width is met for the required loading space exclusive of the door swing for the egress door.



PORTLAND BUREAU OF TRANSPORTATION

1900 SW Fourth Ave., Suite 5000 Portland, OR 97201 503-823-5185
Fax 503-823-7576 TTY 503-823-6868 www.portlandoregon.gov/transportation

Jo Ann Hardesty Commissioner Chris Warner Director

**REVISED RESPONSE TO THE BUREAU OF DEVELOPMENT SERVICES
LAND USE REVIEW REQUEST**

LU: 22-157148-000-00-LU Date: August 26, 2022
To: Tanya Paglia, Bureau of Development Services, B299/R5000
From: Tammy Boren-King, B106/800, 503-823-2948, tammy.boren-king@portlandoregon.gov
Applicant: Tahrn Architecture & Planning Llc *Ralph Tahrn*
TAHRAN ARCHITECTURE & PLANNING LLC
13741 KNAUS ROAD
LAKE OSWEGO, OR 97034

Location: 2059 SW PARK AVE

TYPE OF REQUEST: Type 2 procedure DZM - Design Review w/ Modifications

DESCRIPTION OF PROJECT

The applicant seeks design review approval for a proposed twelve-story affordable housing apartment building with 98 residential units. The majority of the structure will be prefabricated and the modular units with a stucco panel exterior will be assembled on site. The proposed building will be set into the sloping site with the main entry lobby at existing sidewalk grade on SW Park Avenue with an arcaded entry plaza wrapping the corner of SW Park Avenue and SW Clifton St. The 6,000 SF site located at the southeast corner of SW Clifton St and SW Park Ave is currently developed with two older, two-story single-family homes that will be deconstructed. Modification requests [PZC 33.825.040]:1. Reduce the required minimum front building setback (east side setback along SW Park Ave) from the required 5 feet to 0 feet (33.120.220)2.Reduce the required minimum side building setback for a lot line that is a street lot line (north side setback along SW Clifton St) for buildings that are more than 55 feet tall from the required 5 feet to 0 feet (33.120.220)Design review is required because the proposal is for exterior alterations in a Design Overlay zone.

RESPONSE

Portland Transportation/Development Review has reviewed the application for its potential impacts regarding the public right-of-way, traffic impacts and conformance with adopted policies, street designations, Title 33, Title 17, and for potential impacts upon transportation services.

Dedication is not required for this site. Both abutting frontages are local service streets for all modes and are outside of a Pedestrian District. As such, the sidewalk corridor requirement is 11-feet on both frontages. Based on City GIS and the previously submitted public works permit (TH1073) there is 11-feet of right-of-way from face of curb to property line on SW Park Ave. and 12-feet on SW Clifton St. Sidewalk reconstruction and ADA compliant curb ramps are required and will trigger a public works permit. Since both frontages currently contain curbs, concept approval of the public works permit is not needed to secure PBOT support for the design review.

There are no transportation related evaluation factors for the design review. PBOT also has no concerns

regarding the proposed setback modifications to allow for property line tight development. The ground floor door swings and utility vault are accommodated on private property. The proposed Juliet balconies appear to meet the encroachment policy allowance for balconies more than 8-ft above grade.

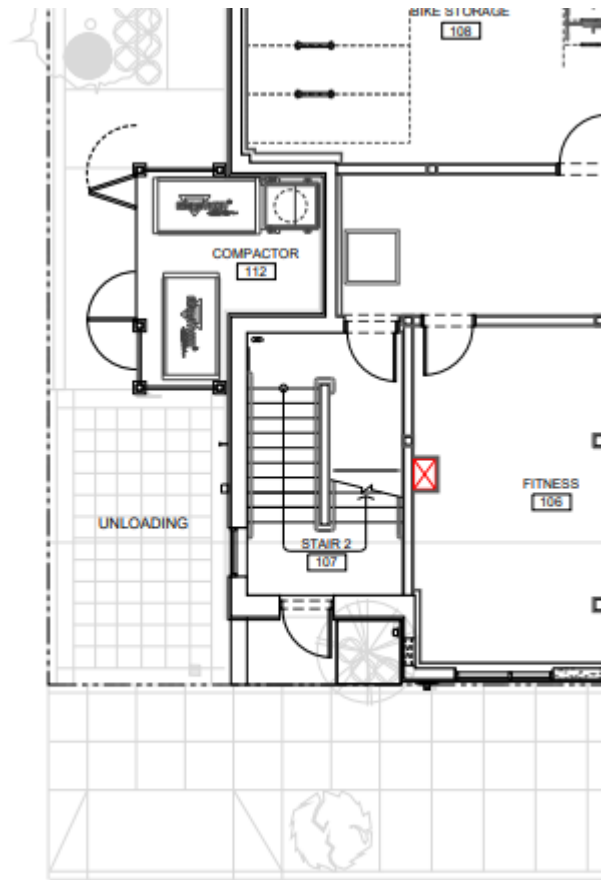
The building will have 98-units of housing, meaning 1 standard B loading space is required. One standard B space is proposed with the associated driveway being more than 25-feet from the intersection as required by TRN 10.40.D.1. Since the site is accessed via a local service street, rearward motion is allowed per 33.266.310.F.1

PBOT's original response had concerns about a door swing that encroached into the loading zone causing questions about the required 9-ft minimum width being met. The applicant emailed staff a revised site plan showing the door swing being relocated to the front of the building. This resolves the PBOT concern.

Transportation System Development Charges (Chapter 17.15)

System Development Charges (SDCs) may be assessed for this development. To receive an estimate of the SDC amount, the applicant is advised to leave a voicemail message to include the case file number, at (503) 823-7002, Option 2. Additional information about PBOT SDCs can be found at:

<https://www.portlandoregon.gov/transportation/46210>.



1 LEVEL 1

RECOMMENDATION

A revised plan has been submitted showing the door swing being relocated out of the loading space. As such, PBOT has no objection to the requested review.



Land Use Review Application

File Number: LU 22-157148 DZ

FOR INTAKE, STAFF USE ONLY

Date Rec 6/24/22 by EW

Type I Type Ix Type II Type IIx Type III Type IV

LU Reviews DZ

[Y] Unincorporated MC

[Y] [N] Flood Hazard Area (LD & PD only)

[Y] [N] Potential Landslide Hazard Area (LD & PD only)

[Y] 100-year Flood Plain [N] DOGAMI

Qtr Sec Map(s) 3228 Zoning RM4d

Plan District None

Historic and/or Design District d overlay

Neighborhood SW Hills Residential League

District Coalition N-W/NW

Business Assoc. None EA 20-161464, CO 21-069762

Related File # LU 20-213946 DZ, EA 19-213946 PC, PJ 19-170595

APPLICANT: Complete all sections below that apply to the proposal. Please print legibly.

Email this application and supporting documents to: LandUseIntake@portlandoregon.gov

Development Site Address or Location 2061, 2055-57 SW Park Ave

Cross Street Clifton St Sq. ft./Acreage 6016

Site tax account number(s)

R 246517	R	R
R	R	R

Adjacent property (in same ownership) tax account number(s)

R 246519	R	R
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Describe project (attach additional page if necessary)

New Construction 98-unit affordable housing building on a 6,016 square foot parcel at 2055-2057 SW Park Avenue. The building is a 12-story structure utilizing mass plywood panels and light gauge steel for a Type IV B building.

Describe proposed stormwater disposal methods

See site plan.

Identify requested land use reviews

Type II LUR

Tier G

- **Design & Historic Reviews** - For new development, provide project valuation.

For renovation, provide exterior alteration value.

AND provide total project valuation.

- **Land Divisions** - Identify number of lots (include lots for existing development).

New street (public or private)?

- **Affordable Housing** - For buildings containing five or more dwelling units, will 50% or more of the units be affordable to households with incomes equal to or less than 60% of the median family income for the county or state, whichever is greater?

\$ 600,000

\$ _____

\$ _____

2

yes no

yes no N/A

continued / over

Applicant Information

- Identify the primary contact person, applicant, property owner and contract purchaser. Include any person that has an interest in your property or anyone you want to be notified. Information provided, including telephone numbers and e-mail addresses, will be included in public notices.
- For all reviews, the applicant must sign the Responsibility Statement.
- For land divisions, all property owners must sign the application.

PRIMARY CONTACT:

Typed Full Name Ralph Tahran I acknowledge this typed name as my signature
 Company/Organization Tahran Planning & Architecture LLC
 Mailing Address 13741 Knaus Rd
 City Lake Oswego State OR Zip Code 97034
 Day Phone 503-539-8802 FAX _____ email ralphthahran@comcast.net

Check all that apply Applicant Owner Other

Typed Full Name Rowen Rystadt I acknowledge this typed name as my signature
 Company/Organization Park Avenue PSU LLC
 Mailing Address 5331 S Macadam Ave Ste 258 PMB 208
 City Portland State OR Zip Code 97239
 Day Phone 503-329-1124 FAX _____ email Rowen@nativeld.com

Check all that apply Applicant Owner Other **Owner's Agent**

Typed Full Name Nathaniel Rosemeyer I acknowledge this typed name as my signature
 Company/Organization Main Street Development
 Mailing Address 4035 S Kelly St
 City Portland State OR Zip Code 97239
 Day Phone 503-206-9214 FAX _____ email Nathaniel@msdpdx.com

Check all that apply Applicant Owner Other **Developer**

Typed Full Name _____ I acknowledge this typed name as my signature
 Company/Organization _____
 Mailing Address _____
 City _____ State _____ Zip Code _____
 Day Phone _____ FAX _____ email _____

Check all that apply Applicant Owner Other

Responsibility Statement As the applicant submitting this application for a land use review, I am responsible for the accuracy of the information submitted. The information being submitted includes a description of the site conditions. I am also responsible for gaining the permission of the owner(s) of the property listed above in order to apply for this review and for reviewing the responsibility statement with them. If the proposal is approved, the decision and any conditions of the approval must be recorded in the County Deed Records for the property. The City of Portland is not liable if any of these actions are taken without the consent of the owner(s) of the property. In order to process this review, City staff may visit the site, photograph the property, or otherwise document the site as part of the review. I understand that the completeness of this application is determined by the Director. By my signature, I indicate my understanding and agreement to the Responsibility Statement.

Name of person submitting this application agrees to the above Responsibility Statement and acknowledges typed name as signature:

Ralph Tahran Date: 4/27/2022

Phone number: 503-539-8802 Email this application and supporting documents to LandUseIntake@portlandoregon.gov | Submittal of locked or password protected documents will delay intake of your application. **2**



City of Portland, Oregon
Bureau of Development Services
Land Use Services
FROM CONCEPT TO CONSTRUCTION

Dan Ryan, Commissioner
Rebecca Esau, Director
Phone: (503) 823-7300
Fax: (503) 823-5630
TTY: (503) 823-6868
www.portland.gov/bds

7/5/2022

Ralph Tahran | Tahran Architecture & Planning LLC
13741 Knaus Road | Lake Oswego, OR 97034

Re: Land Use Review LU 22-157148 DZ – SW Park Apartments

Dear Ralph Tahran:

The Bureau of Development Services received your application for a Design Review located at 2059 SW PARK AVE on June 24, 2022. Your case has been assigned to me, Tanya Paglia. In order to continue to review your application, additional information is needed. Once you submit this information, your application will be considered complete, and I will proceed with a full review of your proposal. Up to this point, your application has been reviewed only to determine if all required information has been submitted. The application has not been fully reviewed to determine if it meets the relevant approval criteria, however some issues you may want to consider are identified in Section II below.

I. Information Necessary to Complete Application

The following information must be submitted before your proposal can be evaluated:

1. **Modification Information.** Please provide information about which Modifications are being requested. Modifications need to be added to proposals before the public notice is sent to avoid a need for renotification later in the review. For each Modification requested, responses to the approval criteria found in 33.825.040 and a fee of \$1,796 are required. Additional reviews will not be accepted unless accompanied by the required fees.

The approval criteria for Modifications considered during Design Review are:

- A. *Better meets design guidelines. The resulting development will better meet the applicable design guidelines;*
- B. *Purpose of the standard. On balance, the proposal will be consistent with the purpose of the standard for which a modification is requested; and*
- C. *Mitigation of impacts. Any impacts resulting from the modifications are mitigated to the extent practical.*

It appears the proposed project may not meet the following standards:

- Setbacks (33.120.220)
 - Required Outdoor and Common Area (33.120.240)
2. **Minimum Setbacks (33.120.220).** The 5' front and side street lot line setback standard is not met by the proposal along the two street frontages. These standards either need to be met or modified.
 3. **Required Outdoor and Common Area (33.120.240).** Required Outdoor Area for 98 units is 3,528 square feet minimum: 98 units x 36 sf (Note: in the previous proposal it was 3,276 SF as there were less units). The roof deck now proposed is not an issue – its size and location are fine to meet the outdoor common area standard. However, the area of the roof deck and interior common areas combined aren't enough to meet the minimum SF area for the number of units provided (3,528 SF). The two areas counted

as “common outdoor area” at the ground level don’t meet the minimum dimensions (must be at least 500 SF and be able to fit a 20’ x 20’ square in it) and one doesn’t meet the access requirement as well. The required outdoor area proposed as outdoor common areas (e.g., the plaza and the arcade) does not meet 20’ x 20’ dimensions. The plaza does not have access via a door that provides access from residential units within 20 feet of the plaza and has encroachments by 6-foot walls at landscaped setbacks and a large ground-mounted generator that make the area less than 20 feet wide/deep thus does not meet the 20’ x 20’ dimensions. Please provide a diagram of the proposed Required Outdoor Area and total sq. ft. area calculation for all proposed indoor common areas and outdoor common areas as part of the DZ submittal.

4. **Additional Drawings.** Please provide the following additional drawings:
 - Roof Plan.
 - Floor Plans for each floor.
 - Updated Elevations. Materials and colors are not clearly noted on submitted plans – they must include color name on the siding panel descriptions in addition to the color codes.
 - Rooftop Screen Design.
5. **Long-term Bike Parking (33.266.200).** The proposal is not currently meeting this standard because the housing unit count has been increased from the previous design. Because there are now 98 units proposed, 108 Long-term bicycle parking spaces is required at 1.1 LT per unit. It appears LT bike parking can be met for 108 LT spaces but more info must be provided on the plans to demonstrate minimum spacing, bike rack design, and location of electrical outlets for e-bikes. The site is in Area B per Map 266-1, so 1.1 LT spaces is required, even with current code, per Table 266-6.
6. **Mechanical Screening (33.120.250.C).** Confirm that all rooftop mechanical equipment meets the screening requirements of this section. Mechanical equipment placed on roofs must be screened in one of the following ways:
 1. A parapet along facades facing the R zone that is as tall as the tallest part of the equipment;
 2. A screen around the equipment that is as tall as the tallest part of the equipment; or
 3. The equipment is set back from roof edges facing the R zone 3 feet for each foot of height of the equipment.

II. Time to Complete Application

The Portland Zoning Code allows you up to 180 days to complete your application. Since the 180-day period began on the day we received the application, the deadline to make your application complete is **Wednesday December 21, 2022.**

III. Determination of a Complete Application

The application will be determined complete when you have submitted:

1. All of the requested information included in Section I, above. If you cannot provide all of the requested information at one time and intend to submit additional information, please include a written statement with each separate submittal indicating that you still intend to provide the additional missing information by the **Wednesday December 21, 2022** deadline, **or**
2. Some of the requested information included in Section I, above, and a written statement that no additional information will be provided; **or**

3. A written statement that none of the requested information included in Section I, above, will be provided.

Please be aware that not submitting the requested information may result in your application being denied. The information is needed to demonstrate the approval criteria are met. Once the application is deemed complete, review of your application can proceed using the information you have provided.

Your application will be approved if it meets the relevant land use review approval criteria. It is your responsibility to document how the approval criteria are met. The items listed above will help provide that documentation.

Voiding of Application

If your application is not complete by **Wednesday December 21, 2022**, it will be voided, and the application fee will not be refunded. The City's land use review procedures are outlined in Chapter 33.730 of the Portland Zoning Code.

Please contact me if you have any questions about this letter. My telephone number is **503-865-6518**, and my e-mail address is Tanya.Paglia@portlandoregon.gov. Requested information noted above should be emailed to me. Please e-mail me for file dropbox instructions if document or drawing file sizes are greater than 5MB. Please label all correspondence and materials you submit with the case number LU 22-157148.

Sincerely,



Tanya Paglia, Planner
Land Use Services Division

cc: Rowen Rystadt | Park Avenue PSU LLC | Rowen@nativeid.com
Application Case File

Date: 3/25/2021
To: Interested Person
From: Tanya Paglia, Land Use Services
503-865-6518 / Tanya.Paglia@portlandoregon.gov

NOTICE OF A TYPE II DECISION ON A PROPOSAL IN YOUR NEIGHBORHOOD

The Bureau of Development Services has **approved** a proposal in your neighborhood. The mailed copy of this document is only a summary of the decision.

The reasons for the decision are included in the version located on the BDS website <http://www.portlandonline.com/bds/index.cfm?c=46429>. Click on the District Coalition then scroll to the relevant Neighborhood, and case number. If you disagree with the decision, you can appeal. Information on how to do so is included at the end of this decision.

CASE FILE NUMBER: LU 20-213946 DZ – NEW 11-STORY AFFORDABLE HOUSING

GENERAL INFORMATION

Applicants: Ralph Tahran | Tahran Architecture & Planning LLC
13741 Knaus Road | Lake Oswego, OR 97034
ralphtahran@comcast.net

Nathaniel Rosemeyer | Main Street Development
4035 S Kelly St | Portland, OR 97239

Representative: Rowen Rystadt | Park Ave Psu LLC
5331 SW Macadam Ave #258 PMB 208 | Portland, OR 97239

Owner: Park Avenue PSU LLC
4035 S Kelly Ave | Portland, OR 97239-4316

Site Address: 2057 SW PARK AVE

Legal Description: BLOCK 234 E 70' OF LOT 1, PORTLAND; BLOCK 234 N 1/2 OF LOT 2, PORTLAND

Tax Account No.: R667725410, R667725450

State ID No.: 1S1E04DA 08800, 1S1E04DB 00700

Quarter Section: 3228

Neighborhood: Southwest Hills Residential League, contact at contact@swhrl.org.

Business District: None

District Coalition: Southwest Neighborhoods Inc., contact at 503-823-4592.

Plan District: None

Zoning: **RM4d**, Residential Multi-Dwelling 4 with a Design Overlay

Case Type: **DZ**, Design Review

Procedure: **Type II**, an administrative decision with appeal to the Design Commission.

Proposal:

The applicant seeks design review approval for a proposed eleven-story affordable housing apartment building with 91 residential units. The majority of the structure will be prefabricated and the modular units with a stucco panel exterior will be assembled on site. The proposed building will be set into the sloping site with the main entry lobby at existing sidewalk grade on SW Park Avenue with an arcaded entry plaza wrapping the corner of SW Park Avenue and SW Clifton St. The 6,016 SF site is currently developed with two older, two-story single-family homes that will be deconstructed. Due to the constrained construction area presented by the location and size of the site, the building is being designed in close collaboration with a modular prefabrication company to be able to build as much of the project off site in a climate-controlled environment. The completed modular units will be trucked to the site, predominately 12 feet by 24 feet long units that will then be crane lifted into place, by a rubber tire crane, and attached to a ledger on the poured in place concrete stair and elevator shafts.

Design review is required because the proposal is for exterior alterations in a Design Overlay zone.

Relevant Approval Criteria:

In order to be approved, this proposal must comply with the approval criteria of Title 33, Portland Zoning Code. The relevant criteria are:

- Community Design Guidelines

ANALYSIS

Site and Vicinity: The site is located at the northeast corner of SW Park Avenue and SW Clifton Street in the Southwest Community Plan Area. While the site is not located in a city plan district, the Central City Plan District is just across U.S. HWY I-405 to the east of the site. The site area is approximately 6,016 SF, smaller than a typical Portland downtown quarter block. Two older, two-story single-family homes currently exist on the site which sits at the end of a dead-end street that includes five 100-plus year-old houses on the west side of the street (including the 2 which will be deconstructed as part of this project). At the end of the street is the Park Avenue Gardens Apartment Complex.

The site is located in a highly diverse context where several very different areas meet. The proposal is located at the base of the West Hills. The proposed project sits on a small segment of Park Ave that dead ends to the southwest of the site due to steep topography that rises almost vertically to the south and west approximately 100 to 150 feet away to enclose this residential pocket. Surrounding development consists of a mix of older single-family homes and smaller multifamily development, as well as the five story Amy Apartments built approximately 150 feet to the west that has been open for about a year.

The site is directly across U.S. HWY I-405 from Portland State University and the North Park Blocks and is accessed via the Park Avenue Bridge. SW Clifton and SW Park Avenue are designated as Local Service Streets. The Park Avenue Bridge across I-405 connects the site and this district to the Green Loop, the North Park Blocks, and several transit connections. The site is close and convenient to several transit options, served by six different Tri-Met bus lines and three light rail lines, closest is 897 feet away at SW 6th and College Street.

Zoning: The RM4 zone is a high density, urban-scale multi-dwelling zone applied near the Central City, and in town centers, station areas, and along civic corridors that are served by frequent transit and are close to commercial services. It is intended to be an intensely urban zone with a high percentage of building coverage and a strong building orientation to the pedestrian environment of streets, with buildings located close to sidewalks with little or no front setback. This is a mid-rise to high-rise zone with buildings of up to seven or more stories. The Design overlay zone is applied to this zone.

The “d” overlay promotes the conservation and enhancement of areas of the City with special historic, architectural or cultural value. New development and exterior modifications to existing development are subject to design review. This is achieved through the creation of design districts and applying the Design Overlay Zone as part of community planning projects, development of design guidelines for each district, and by requiring design review. In addition, design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area.

Land Use History: City records indicate that prior land use reviews include the following:

- LU 90-023814 CU (PC 5574C) – Conditional use approval for a parking facility
- LU 67-004010 DZ (DZ 008-67) – Approval with Conditions for front porch replacement
- LU 61-004004 DZ (DZ 004-61) – Approval for front porch replacement

Agency Review: A “Notice of Proposal in Your Neighborhood” was mailed **December 14, 2020**. The following six Bureaus, Divisions and/or Sections responded with no objections and two of these included comments found in Exhibits E-1 and E-5:

- Life Safety Division of the Bureau of Development Services (Exhibit E-1)
- Fire Bureau (Exhibit E-2)
- Site Development Section of BDS (Exhibit E-3)
- Bureau of Environmental Services Initial Response and Addendum (Exhibit E-4)
- Portland Bureau of Transportation (Exhibit E-5)
- Water Bureau

Neighborhood Review: A Notice of Proposal in Your Neighborhood was mailed on December 14, 2020. Five responses have been received from either the Neighborhood Association or notified property owners in response to the proposal.

1. Craig Koon, SWHRL Land Use chair, 11/16/2020 and 1/4/2021, wrote with questions and concerns about the project.
2. Molly and Shannon Meyer, Park Ave residents, 12/19/2020, wrote with concerns about the project.
3. Kayce and John Marty, neighboring property owners, 1/2/2021, wrote with questions and concerns about the project’s impacts on their abutting property.
4. John Bear, neighbor, 1/4/2021, wrote with questions about the project review process.
5. Craig Koon, SWHRL Land Use chair, 1/4/2021, wrote with Southwest Hills Residential League official comments that expressed concerns about the project.

Staff Response: The findings below address many of the concerns expressed or otherwise discuss how the proposal meets the applicable Design Review approval criteria.

- Design Review approval is based on the approval criteria for land use reviews.
- To review zoning standards, please consult the Portland Zoning Code, Title 33, found here: <https://www.portland.gov/code/33>
- Note in the exhibit list, Exhibit G2, *Decision by Director of Bureau of Development Services Regarding Neighborhood Contact*, which is the Director’s decision that the revised signage satisfied the contact requirement. Other information on neighborhood contact requirements can be found here: <https://www.portland.gov/bds/neighborhood-contact>
- For concerns about construction staging activity concerns they should collaborate with the development team and contact the West District Liaison in the Bureau of Planning and Sustainability (currently Joan Frederiksen, Joan.Frederiksen@portlandoregon.gov).

ZONING CODE APPROVAL CRITERIA

Chapter 33.825 Design Review

Section 33.825.010 Purpose of Design Review

Design review ensures that development conserves and enhances the recognized special design values of a site or area. Design review is used to ensure the conservation, enhancement, and continued vitality of the identified scenic, architectural, and cultural values of each design district or area. Design review ensures that certain types of infill development will be compatible with the neighborhood and enhance the area. Design review is also used in certain cases to review public and private projects to ensure that they are of a high design quality.

Section 33.825.055 Design Review Approval Criteria

A design review application will be approved if the review body finds the applicant to have shown that the proposal complies with the design guidelines for the area.

Findings: The site is designated with design overlay zoning (d), therefore the proposal requires Design Review approval. Because of the site's location, the applicable design guidelines are the Community Design Guidelines.

Community Design Guidelines

The Community Design Guidelines consist of a set of guidelines for design and historic design cases in community planning areas outside of the Central City. These guidelines address the unique and special characteristics of the community plan area and the historic and conservation districts. The Community Design Guidelines focus on three general categories: **(P) Portland Personality**, which establishes Portland's urban design framework; **(E) Pedestrian Emphasis**, which states that Portland is a city for people as well as cars and other movement systems; and **(D) Project Design**, which assures that each development is sensitive to both Portland's urban design framework and the users of the city.

Staff has considered all guidelines and has addressed only those guidelines considered applicable to this project.

P1. Plan Area Character. Enhance the sense of place and identity by incorporating site and building design features that respond to the area's desired characteristics and traditions.

P3. Gateways. Develop or strengthen the transitional role of gateways identified in adopted community and neighborhood plans

D7. Blending into the Neighborhood. Reduce the impact of new development on established neighborhoods by incorporating elements of nearby, quality buildings such as building details, massing, proportions, and materials.

D8. Interest, Quality, and Composition. All parts of a building should be interesting to view, of long lasting quality, and designed to form a cohesive composition.

Findings for P1, P3, D7, and D8: The building will be an 11-story residential structure with modular units utilizing quality and permanent materials. The prefabricated structure will utilize mass plywood panels for the floor and ceiling systems of the modular units. The walls will be light gauge steel framed with a stucco panel exterior.

The proposed 11-story, 91-unit affordable housing building is responding to a diverse context with a location that is adjacent to the Central City Plan District just across I-405 to the east and that is at the base of the west hills. The proposed building will be part of the southern terminus of the Park Blocks and is located in close proximity to the future Green Loop. This project joins the six-mile linear park across the small Park Avenue Bridge that enters the North Park Blocks leg of the Green Loop through Portland State University and on through the Central City.

The site's placement also functions as a bridgehead location, on the south end of the Park Avenue Bridge across I-405 that connects this area with the Central City Plan District and the Portland State University campus. The site is part of a small dead-end location

with steep topography that rises almost vertically to the south and west approximately 100 to 150 feet away to enclose this residential pocket. It is thus a gateway location that must respond to a very liminal context.

The project responds to its diverse context in a number of ways. One such way is the design's acknowledgement of the bridge and Park Blocks by opening towards them with a prominent corner entrance. The proposed building is set into the sloping site to have the main entry lobby at existing sidewalk grade on SW Park Avenue. The two-story cut-out corner entrance with large entry plaza wraps to both of the building's two street frontages and the building lobby and common amenity spaces are located towards the street frontages and entry courtyard providing greater visibility and activity to the street frontages.

Another contextual response is the exterior cladding which is primarily stucco and glass and features a nine-story glass corner that carries up levels three through eleven facing the Park Blocks that will be very visible from I-405. In addition, the building retains a small footprint as is common in this neighborhood. While the sloped grade limits the amount of glazing that can wrap around the building's base, the sidewalk level is primarily devoted to common use spaces and its predominantly glass street frontages offer visibility into the building and its functions to provide life along SW Clifton St and SW Park Ave.

Yet another response to context is the building's deployment of Juliet balconies on all facades. Given the residential nature of the immediate neighborhood, Juliet balconies are featured on every unit to enhance the building's residential sensibility as well as provide indoor/outdoor connection to residents. The balcony railings are a perforated metal panel, powder coated in four colors, to add detail, color and texture to the building skin, making the building elevations lively and not monolithic. Overall, the building enhances the sense of place and identity with a design that serves as a gateway between this enclosed residential pocket and the neighboring Park Blocks, Portland State University, and central city.

Therefore, these guidelines are met.

- E1. The Pedestrian Network.** Create an efficient, pleasant, and safe network of sidewalks and paths for pedestrians that link destination points and nearby residential areas while visually and physically buffering pedestrians from vehicle areas.
- E2. Stopping Places.** New large-scale projects should provide comfortable places along pedestrian circulation routes where people may stop, visit, meet, and rest.
- E3. The Sidewalk Level of Buildings.** Create a sense of enclosure and visual interest to buildings along sidewalks and pedestrian areas by incorporating small scale building design features, creating effective gathering places, and differentiating street level facades.
- E4. Corners that Build Active Intersections.** Create intersections that are active, unified, and have a clear identity through careful scaling detail and location of buildings, outdoor areas, and entrances.
- E5. Light, Wind, and Rain.** Enhance the comfort of pedestrians by locating and designing buildings and outdoor areas to control the adverse effects of sun, shadow, glare, reflection, wind, and rain.
- D1. Outdoor Areas.** When sites are not fully built on, place buildings to create sizable, usable outdoor areas. Design these areas to be accessible, pleasant, and safe. Connect outdoor areas to the circulation system used by pedestrians;
- D2. Main Entrances.** Make the main entrances to houses and buildings prominent, interesting, pedestrian accessible, and transit-oriented.
- D3. Landscape Features.** Enhance site and building design through appropriate placement, scale, and variety of landscape features.
- D5. Crime Prevention.** Use site design and building orientation to reduce the likelihood of crime through the design and placement of windows, entries, active ground level uses, and outdoor areas.

Findings for E1, E2, E3, E4, E5, D1, D2, D3, and D5: The proposed project addresses the pedestrian realm in a variety of ways that will make it a positive addition to the SW Park and Clifton streetscapes and beyond. The building, due to the highly visible corner location, height, and unique patterning, will assist in wayfinding in the area for pedestrians. The vertical glass component at the corner that faces the City and Park Blocks adds to the placemaking quality of the building.

The building concentrates its common use activities at the ground floor and includes significant amounts of windows which provide views into the activity inside as well as views out, creating eyes on the street to reduce the likelihood of criminal activity. The ground floor program includes multiple active uses for building occupants such as a lobby/lounge at the corner flanked by a large amenity room along the Clifton St frontage, and fitness room along the Park Ave frontage. The slope of the site is utilized to keep back of house functions away from the above grade street frontages. Visible from the sidewalk are exposed CLT panels of wood within the lobby that provide interest by expressing some of the technology used in the prefabricated modular unit construction of the building.

The main entrance to the building is located at the corner of the site's two street frontages, with a 12' deep covered entry plaza at grade with the sidewalk wrapping around the corner of Park Avenue and SW Clifton, providing weather protection, a comfortable place to meet and rest, and a strong sense of entrance. The entrance courtyard opens to the corner which orients the building towards the Park Blocks, University, bridge and central city. The covered plaza also allows indoor activity to extend from inside the building to the exterior with the lobby and amenity room both opening onto the plaza. Charred wood panels are applied to the upper covered entry walls to add texture, warmth, color and another residential quality building material to enhance the pedestrian level.

An approximately 1500 square foot outdoor courtyard with bench seating and a large open area for activities is located in the southwest area of the site and is connected by pedestrian paths to Park Avenue and Clifton Streets. The perimeter of the courtyard is landscaped by a variety of plant types and scales. The courtyard will provide a welcome relief to the rear area of the adjoining three properties, now and in the future. At the west end of the building there are 20 units that will provide eyes on the courtyard. Perimeter trees will provide shade and privacy. The loading area character in the southeast corner of the site contributes to a vibrant streetscape as a human-scale piazza with quality paving materials, landscaping and other features that contribute to making it a place appealing to pedestrians and not a space designed exclusively for vehicles.

As a residential building, all floors above the ground level are living spaces. These housing units are highly glazed at their street-facing walls, providing activity and eyes on the street along the street frontages. While all sides of the building include glazing, contributing to their active sensibilities and texture, the west and south elevations have less glazing on to provide privacy for adjoining properties while the street facing east and north elevations feature extensive glazing.

The building also addresses the pedestrian realm with architectural details including scoring to articulate the facades, add horizontality, and break-down the building's mass. Juliet balconies provide additional human-scale as well as a residential sensibility. The Juliet balconies help create lively and active façades by increasing activity and life on the building's exterior and providing an indoor/outdoor connection where active uses can take place and signs of occupancy can take root, enriching the pedestrian experience for people passing by. They provide view opportunities both to and from the building for pedestrians, enhancing the visual connection between the building and neighborhood. The Juliet balconies help in breaking down the building's mass and enrich the facade, adding texture. The patterning of the colorful panels breaks up the façades and creates a visually interesting composition.

Therefore, these guidelines are met.

DEVELOPMENT STANDARDS

Unless specifically required in the approval criteria listed above, this proposal does not have to meet the development standards in order to be approved during this review process. The plans submitted for a building or zoning permit must demonstrate that all development standards of Title 33 can be met, or have received an Adjustment or Modification via a land use review prior to the approval of a building or zoning permit.

CONCLUSIONS

The proposed 11-story building will be a gateway building at the south end of the Park Avenue Bridge connecting the Park Blocks across I-405 to the residential pocket in which the building is located. The proposed building reflects the residential context of its immediate neighborhood while also acknowledging its context as part of the southern terminus of the Park Blocks, at the base of the West Hills, in close proximity to the future Green Loop, and as a bridgehead location. The tall glass corner treatment presents a very strong gateway element to the neighborhood, Park Blocks and the central city. The colorful Juliet balconies signal a residential building that is lively and somewhat playful and inviting. The balconies contribute to active façades, more livable units and add human scale and articulation to the building. The base of the building is devoted to active and public uses and the pedestrian experience of the site includes a prominent corner entry plaza at grade with the sidewalk along SW Clifton St and Park Ave. The design review process exists to promote the conservation, enhancement, and continued vitality of areas of the City with special scenic, architectural, or cultural value. The four new canopies successfully blend high-quality materials within the context of the original building design. The proposal meets the applicable design guidelines and therefore warrants approval.

ADMINISTRATIVE DECISION

Approval of a new eleven-story apartment building with 91 residential units, per the approved site plans, Exhibits C-1 through C-34, signed and dated 3/18/2021, subject to the following conditions:

- A. As part of the building permit application submittal, the following development-related conditions (B through C) must be noted on each of the 4 required site plans or included as a sheet in the numbered set of plans. The sheet on which this information appears must be labeled "ZONING COMPLIANCE PAGE - Case File LU 20-213946 DZ." All requirements must be graphically represented on the site plan, landscape, or other required plan and must be labeled "REQUIRED."
- B. At the time of building permit submittal, a signed Certificate of Compliance form (<https://www.portlandoregon.gov/bds/article/623658>) must be submitted to ensure the permit plans comply with the Design/Historic Resource Review decision and approved exhibits.
- C. No field changes allowed.

Staff Planner: Tanya Paglia



Decision rendered by: _____ **on 3/18/2021**
By authority of the Director of the Bureau of Development Services

Decision mailed: 3/25/2021

About this Decision. This land use decision is **not a permit** for development. Permits may be required prior to any work. Contact the Development Services Center at 503-823-7310 for information about permits.

Procedural Information. The application for this land use review was submitted on November 9, 2020, and was determined to be complete on December 8, 2020.

Zoning Code Section 33.700.080 states that Land Use Review applications are reviewed under the regulations in effect at the time the application was submitted, provided that the application is complete at the time of submittal, or complete within 180 days. Therefore this application was reviewed against the Zoning Code in effect on November 9, 2020.

ORS 227.178 states the City must issue a final decision on Land Use Review applications within 120-days of the application being deemed complete. The 120-day review period may be waived or extended at the request of the applicant. In this case, the applicant requested that the 120-day review period be extended by 51 days. Unless further extended by the applicant, **the 120 days will expire on: 5/28/2021.**

Some of the information contained in this report was provided by the applicant.

As required by Section 33.800.060 of the Portland Zoning Code, the burden of proof is on the applicant to show that the approval criteria are met. The Bureau of Development Services has independently reviewed the information submitted by the applicant and has included this information only where the Bureau of Development Services has determined the information satisfactorily demonstrates compliance with the applicable approval criteria. This report is the decision of the Bureau of Development Services with input from other City and public agencies.

Conditions of Approval. If approved, this project may be subject to a number of specific conditions, listed above. Compliance with the applicable conditions of approval must be documented in all related permit applications. Plans and drawings submitted during the permitting process must illustrate how applicable conditions of approval are met. Any project elements that are specifically required by conditions of approval must be shown on the plans, and labeled as such.

These conditions of approval run with the land, unless modified by future land use reviews. As used in the conditions, the term “applicant” includes the applicant for this land use review, any person undertaking development pursuant to this land use review, the proprietor of the use or development approved by this land use review, and the current owner and future owners of the property subject to this land use review.

Appealing this decision. This decision may be appealed, and if appealed a hearing will be held. The appeal application form can be accessed at <https://www.portlandoregon.gov/bds/45477>. Appeals must be received by 4:30 PM on 4/8/2021. **Towards promoting social distancing during the COVID-19 pandemic, the completed appeal application form must be emailed to LandUseIntake@portlandoregon.gov and to the planner listed on the first page of this decision.** If you do not have access to e-mail, please telephone the planner listed on the front page of this notice about submitting the appeal application. **An appeal fee of \$250 will be charged.** Once the completed appeal application form is received, Bureau of Development Services staff will contact you regarding paying the appeal fee. The appeal fee will be refunded if the appellant prevails. There is no fee for ONI recognized organizations for the appeal of Type II and IIX decisions on property within the organization’s boundaries. The vote to appeal must be in accordance with the organization’s bylaws. Please contact the planner listed on the front page of this decision for assistance in filing the appeal and information on fee waivers. Please see the appeal form for additional information.

If you are interested in viewing information in the file, please contact the planner listed on the front of this decision. The planner can provide some information over the phone. Please note that due to COVID-19 and limited accessibility to paper files, only digital copies of material in

the file are available for viewing. Additional information about the City of Portland, city bureaus, and a digital copy of the Portland Zoning Code is available on the internet at <https://www.portlandoregon.gov/citycode/28197>.

Attending the hearing. If this decision is appealed, a hearing will be scheduled, and you will be notified of the date and time of the hearing. The decision of the Design Commission is final; any further appeal must be made to the Oregon Land Use Board of Appeals (LUBA) within 21 days of the date of mailing the decision, pursuant to ORS 197.620 and 197.830. Contact LUBA at 775 Summer St NE, Suite 330, Salem, Oregon 97301-1283, or phone 1-503-373-1265 for further information.

Failure to raise an issue by the close of the record at or following the final hearing on this case, in person or by letter, may preclude an appeal to the Land Use Board of Appeals (LUBA) on that issue. Also, if you do not raise an issue with enough specificity to give the Design Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision will be recorded with the Multnomah County Recorder.

- *Unless appealed*, the final decision will be recorded after **April 8, 2021** by the Bureau of Development Services.

The applicant, builder, or a representative does not need to record the final decision with the Multnomah County Recorder.

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

- A. Applicant's Submittal
 1. Original plan set – NOT APPROVED/reference only, 11/9/2020
 2. Transportation Demand Management Pre-Approved Plan Agreement Form and Initial Geotechnical Report
 3. Neighborhood Contact Certification
 4. Stormwater Report
 5. Drywell Letter

6. Civil Plans
7. Drywell Report
8. Updated Public Notification Signage - Jan 6, 2021 - Clifton Signage
9. Updated Public Notification Signage - Jan 6, 2021 - SW Park Signage
10. Request for Extension of 120-Day Review Period for 16 days dated 1/26/2021
11. Updated designs - NOT APPROVED/reference only, 1/29/2021
12. Updated designs - NOT APPROVED/reference only, 2/9/2021
13. Request for Extension of 120-Day Review Period for 14 days dated 2/13/2021
14. Living screen options for property line, 2/21/2021
15. Living screen options for property line, 2/21/2021
16. Request for Extension of 120-Day Review Period for 14 days dated 2/26/2021
17. Updated designs - NOT APPROVED/reference only, 3/2/2021
18. Updated plan set - NOT APPROVED/reference only, 3/18/2021
- B. Zoning Map (attached)
- C. Plans/Drawings:
 1. VICINITY MAP (C08)
 2. ORIEL WINDOW- PLAN (C11)
 3. ORIEL WINDOW- BUILDING ELEVATIONS (C12)
 4. SITE PLAN (C13)
 5. AREA CALCULATION (C14)
 6. FAR (C15)
 7. BASEMENT FLOOR PLAN (C16)
 8. Level 1 Plan (C17) (attached)
 9. LEVEL 2 (C18)
 10. LEVEL3 TO 10 (C19)
 11. LEVEL 11 (C20)
 12. ROOF PLAN (C21)
 13. East and North Elevations (C22-R1) (attached)
 14. West and South Elevations (C23-R1) (attached)
 15. Juliet Color Scheme (C23-1)
 16. Building Sections (C24)
 17. Building Sections (C25)
 18. Bicycle Parking (C26)
 19. Typical Unit Plan (C27)
 20. Modular Unit Plan View (C28)
 21. Exterior Details (C31-R1)
 22. Exterior Details (C32)
 23. Exterior Details (C33)
 24. Exterior Details (C34)
 25. Exterior Details (C35-R1)
 26. Stucco Details (C36)
 27. Stucco Details (C37)
 28. Stucco Details (C38)
 29. Landscape Plan Updated (C39)
 30. Landscape Materials (C39a)
 31. South Elevation Fence (C39b)
 32. Plaza Enlargement Plan (C40)
 33. Sideyard/Loading Area Enlargement Plan (C41)
 34. Exterior Lighting Plan (C42)
- D. Notification information:
 1. Mailing list
 2. Mailed notice
- E. Agency Responses:
 1. Life Safety Division of the Bureau of Development Services
 2. Fire Bureau
 3. Site Development Section of BDS
 4. Bureau of Environmental Services Initial Response and Addendum
 5. Portland Bureau of Transportation

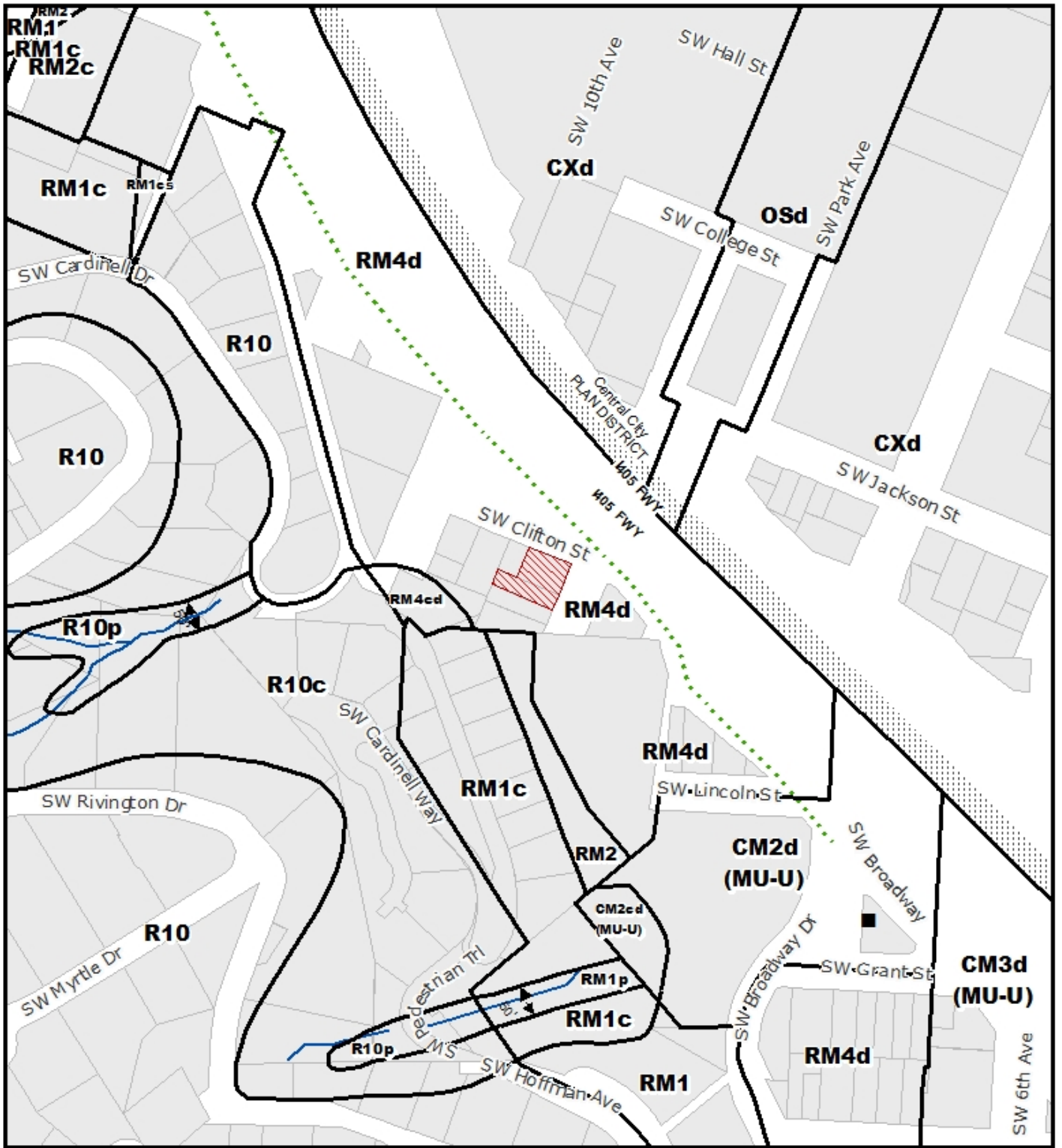
F. Correspondence:

1. Craig Koon, SWHRL Land Use chair, 11/16/2020 and 1/4/2021, wrote with questions and concerns about the project.
2. Molly and Shannon Meyer, Park Ave residents, 12/19/2020, wrote with concerns about the project.
3. Kayce and John Marty, neighboring property owners, 1/2/2021, wrote with questions and concerns about the project's impacts on their abutting property.
4. John Bear, neighbor, 1/4/2021, wrote with questions about the project review process.
5. Craig Koon, SWHRL Land Use chair, 1/4/2021, wrote with Southwest Hills Residential League official comments that expressed concerns about the project.

G. Other:


1. Original LU Application
2. Decision by Director of Bureau of Development Services Regarding Neighborhood Contact

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

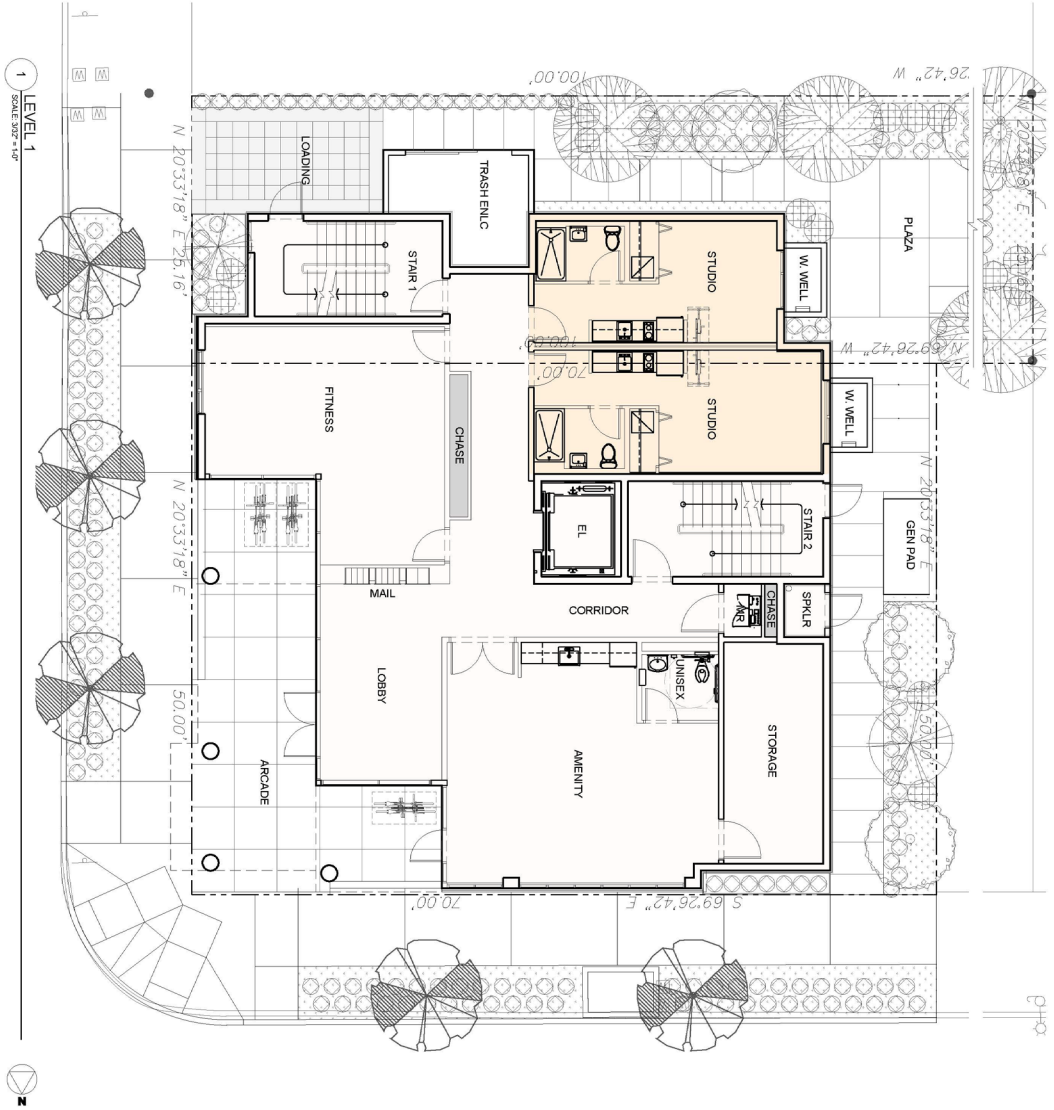


ZONING



-  Site
-  Stream
-  Historic Landmark

File No.	LU 20 - 213946 DZ
1/4 Section	3228
Scale	1 inch = 200 feet
State ID	1S1E04DA 8800
Exhibit	B Nov 12, 2020



TAHRAN ARCHITECTURE & PLANNING LLC | 2057 SW PARK AVE

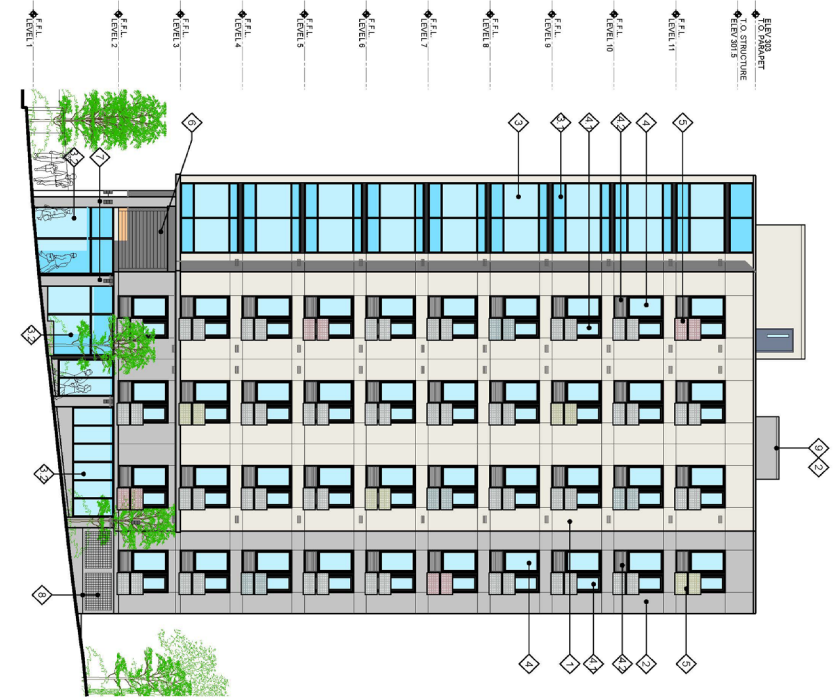
Approved
 City of Portland
 Bureau of Development Services
 Planner *[Signature]*
 Date 3/18/2021
 * This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

Exhibit C8 LU 20-21 3946 DZ

DATE: 11-06-2020



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

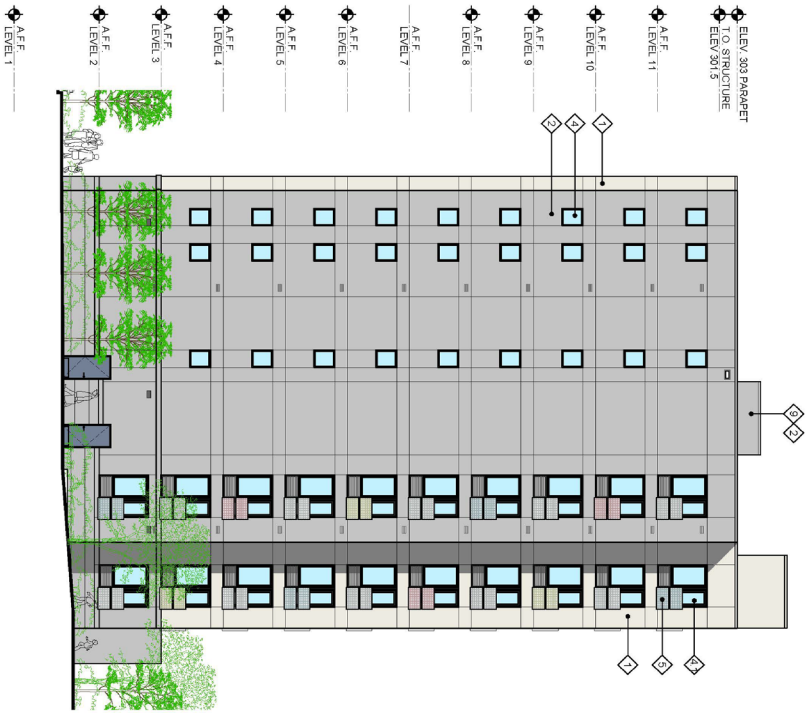
- KERNOTES**
- 1 STUCCO - S10 18003 - 85
 - 2 STUCCO - COLOR MEDIUM GRAY*
 - 3 WINDOW WALL CURTAIN GLAZING FRAMING COLOR - BLACK
 - 4 WINDOW SPANDREL GLAZING FRAMING COLOR - BLACK
 - 5 WINDOW SPANDREL GLAZING FRAMING COLOR - BLACK
 - 6 WINDOW VINYL
 - 7 WINDOW VINYL
 - 8 WINDOW VINYL
 - 9 JULIET WINDOW VINYL FRAMING COLOR - BLACK
 - 10 LOUVER - BLACK
 - 11 STEEL BALCONY WITH PUNCHED METAL GUARDRAIL OPENING
 - 12 LAMINATED WOOD PANEL
 - 13 CONIC POST
 - 14 PLANTER WITH GREEN WALL
 - 15 ELEVATOR PENHOUSE

Approved
 City of Portland
 Bureau of Development Services
 Planner *[Signature]*
 Date 3/18/2021
 *This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

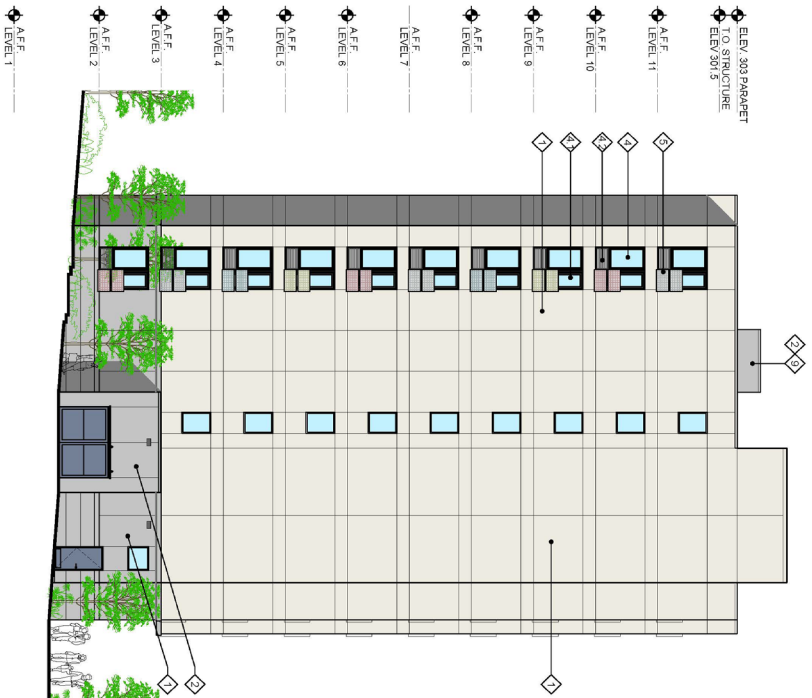
Exhibit C13

LU 20-21 3946 DZ

DATE: 02-08-2021



1 WEST ELEVATION
SCALE 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE 1/8" = 1'-0"

- KEYNOTES**
- 1 STUCCO - STO 18803 - 85
 - 2 STUCCO - COLOR MEDIUM GRAY**
 - 3 WINDOW WALL CURTAIN GLAZING
 - 4 WINDOW WALL CURTAIN GLAZING FRAMING COLOR - BLACK
 - 5 WINDOW STORGEPORT GLAZING FRAMING COLOR - BLACK
 - 6 WINDOW STORGEPORT GLAZING FRAMING COLOR - BLACK
 - 7 WINDOW VINYL
 - 8 JULIET WINDOW VINYL
 - 9 JULIET WINDOW VINYL FRAMING COLOR - BLACK
 - 10 LOUVER - BLACK
 - 11 STEEL BALCONY WITH PUNCHED METAL GUARDRAIL OPENING
 - 12 LAMINATED WOOD PANEL
 - 13 CONIC POST
 - 14 PLANTER WITH GREEN WALL
 - 15 ELEVATOR PENHOUSE

Approved
City of Portland
Bureau of Development Services
Planner *Pamela Taylor*
Date 3/18/2021
*This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

Commission an opportunity to respond to it, that also may preclude an appeal to LUBA on that issue.

Recording the final decision.

If this Land Use Review is approved the final decision will be recorded with the Multnomah County Recorder.

- *Unless appealed*, the final decision will be recorded after **10/5/2022** by the Bureau of Development Services.

The applicant, builder, or a representative does not need to record the final decision with the Multnomah County Recorder.

For further information on your recording documents please call the Bureau of Development Services Land Use Services Division at 503-823-0625.

Expiration of this approval. An approval expires three years from the date the final decision is rendered unless a building permit has been issued, or the approved activity has begun.

Where a site has received approval for multiple developments, and a building permit is not issued for all of the approved development within three years of the date of the final decision, a new land use review will be required before a permit will be issued for the remaining development, subject to the Zoning Code in effect at that time.

Applying for your permits. A building permit, occupancy permit, or development permit may be required before carrying out an approved project. At the time they apply for a permit, permittees must demonstrate compliance with:

- All conditions imposed herein;
- All applicable development standards, unless specifically exempted as part of this land use review;
- All requirements of the building code; and
- All provisions of the Municipal Code of the City of Portland, and all other applicable ordinances, provisions and regulations of the City.

EXHIBITS

NOT ATTACHED UNLESS INDICATED

A. Applicant's Submittal

1. Project narrative
2. Original plan set – NOT APPROVED/reference only, 6/24/2022
3. Neighborhood contact certification
4. Site and key notes – NOT APPROVED/reference only, 6/24/2022
5. Affordable housing developments confirmation letter
6. Land Use fee waiver
7. Updated designs – NOT APPROVED/reference only, 7/27/2022
8. Modification request narrative
9. Updated designs – NOT APPROVED/reference only, 8/1/2022
10. Alternative option narrative

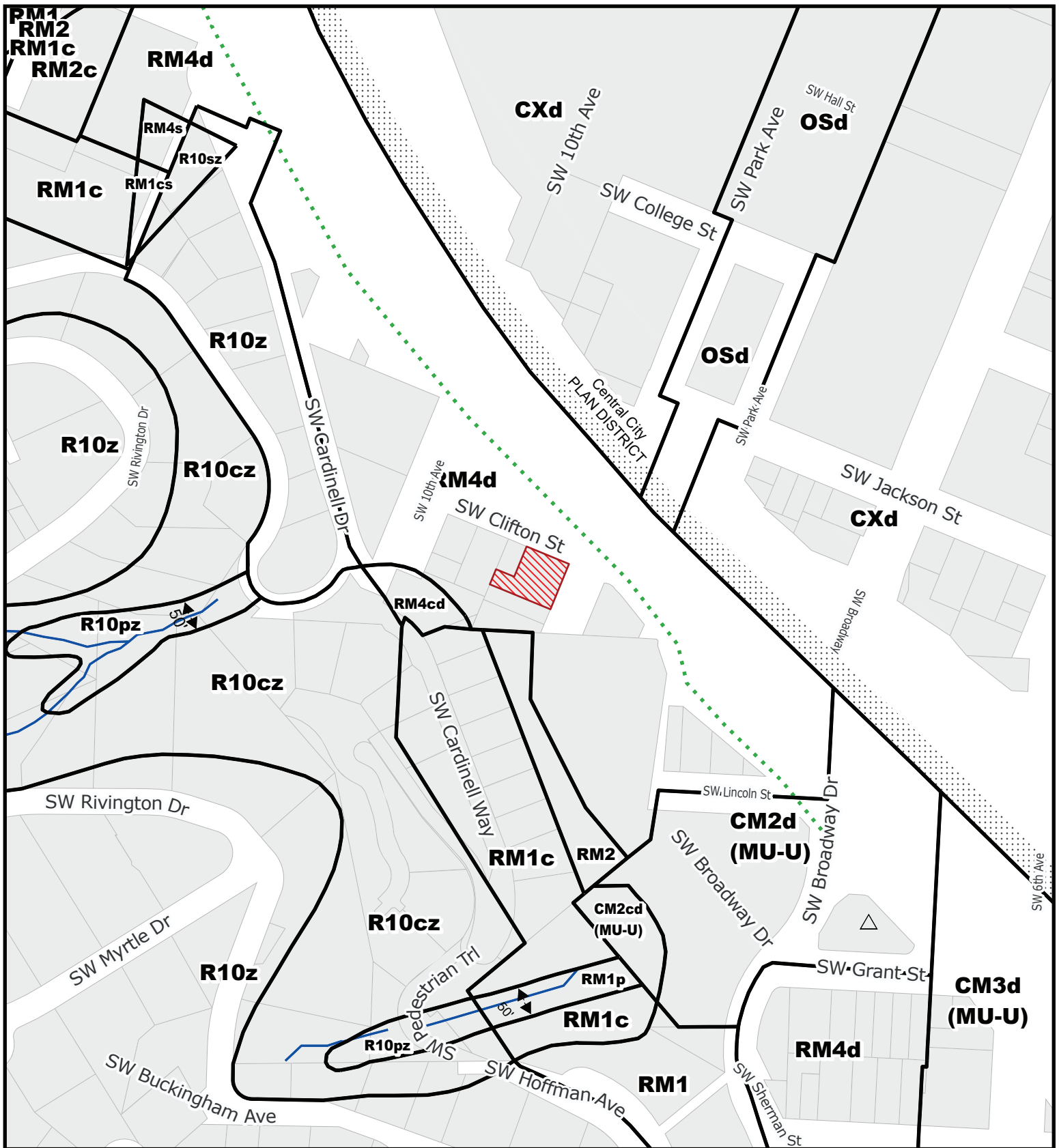
B. Zoning Map (attached)

C. Plans/Drawings:

1. Site plan (attached)
2. Floor plan and zoning overview
3. Basement floor plan
4. First floor plan
5. Second floor plan
6. Third through sixth floor plan
7. Twelfth floor plan
8. Occupied roof plan

9. Roof plan
 10. East and north elevations (attached)
 11. West and south elevations (attached)
 12. Building sections
 13. Building sections
 14. Building sections
 15. Building sections
 16. Building sections
 17. Architectural details
 18. Architectural details
 19. Roof deck plan and elevations
 20. Landscape plan
 21. Alternate option: site plan
 22. Alternate option: basement floor plan
 23. Alternate option: first floor plan
 24. Alternate option: second floor plan
 25. Alternate option: third through sixth floor plan
 26. Alternate option: seventh through eleventh floor plan
 27. Alternate option: twelfth floor plan
 28. Alternate option: roof plan
 29. Alternate option: east and north elevations
 30. Alternate option: west and south elevations
- D. Notification information:
1. Mailing list
 2. Mailed notice
- E. Agency Responses:
1. Fire Bureau
 2. Bureau of Environmental Services
 3. Life Safety Division of the Bureau of Development Services
 - 4&5. Portland Bureau of Transportation – original response and follow-up response
- F. Correspondence: None received
- G. Other:
1. Original LU Application
 2. Incomplete Letter
 3. Previous Type II approval for earlier version of design, LU 20-213946 DZ

The Bureau of Development Services is committed to providing equal access to information and hearings. Please notify us no less than five business days prior to the event if you need special accommodations. Call 503-823-7300 (TTY 503-823-6868).

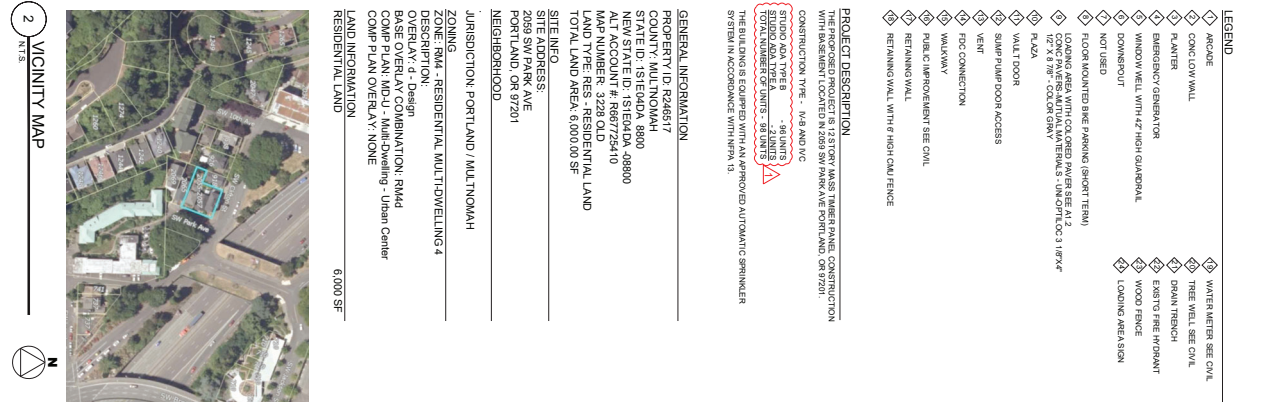
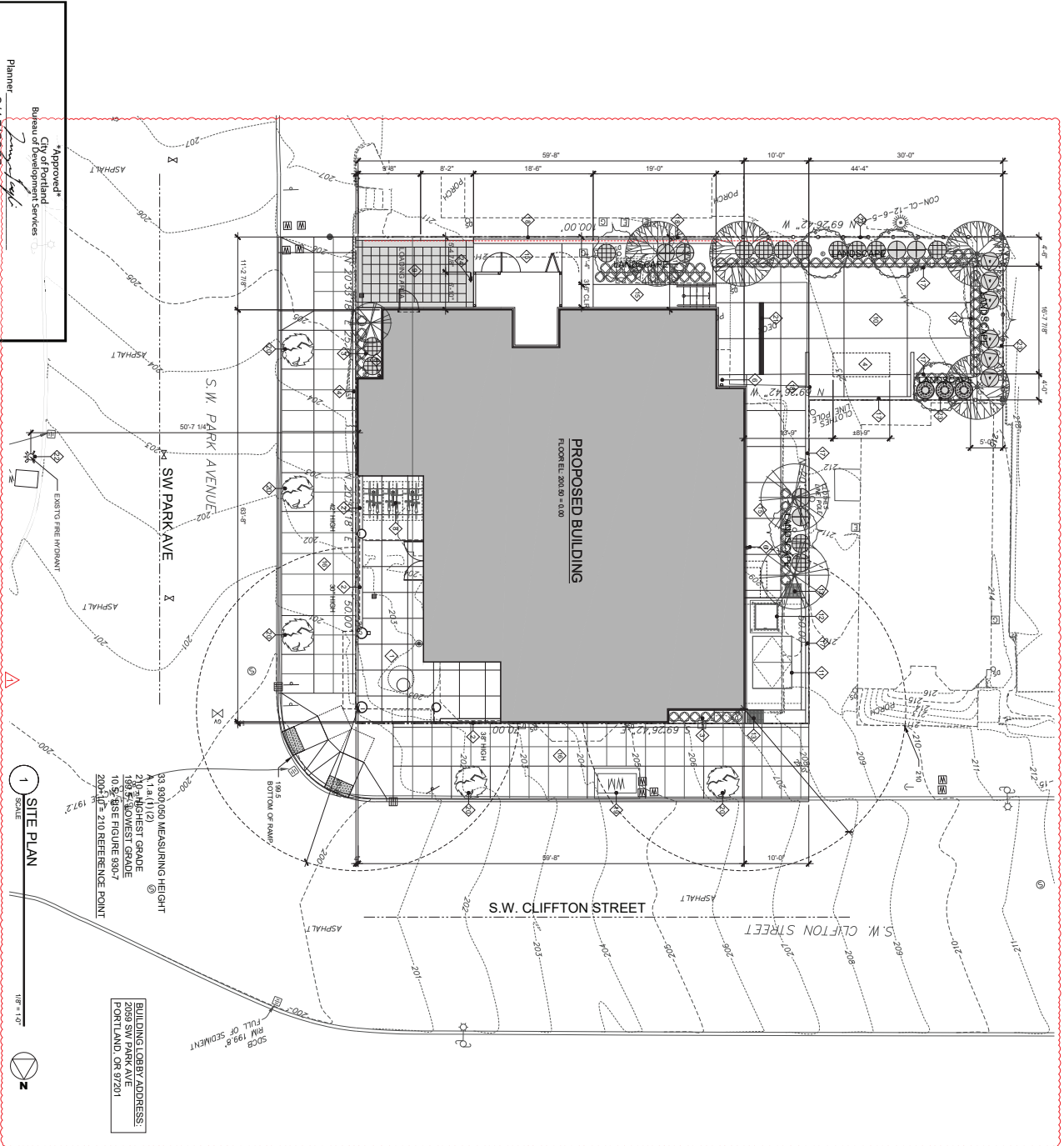


For Zoning Code in effect Post August 1, 2021

ZONING

-  Site
-  Historic Landmark
-  Stream
-  Recreational Trails

File No.	<u>LU 22 - 157148 DZM</u>
1/4 Section	<u>3228</u>
Scale	<u>1 inch = 200 feet</u>
State ID	<u>1S1E04DA 8800</u>
Exhibit	<u>B Jul 29, 2022</u>



LEGEND

- ◇ ROOF
- ◇ CONC/CLW WALL
- ◇ PAINTER
- ◇ EMERGENCY GENERATOR
- ◇ WINDOW WELL WITH 42" HIGH GUARDRAIL
- ◇ DOWNPOUT
- ◇ NOT USED
- ◇ FLOOR MOUNTED BIKE PARKING (SHORT TERM)
- ◇ CONC PAVES MULTIDIRECTIONAL SW - UN-OPT LOCK 18" X 4'
- ◇ CONC PAVES MULTIDIRECTIONAL SW - UN-OPT LOCK 18" X 4'
- ◇ FLOOR
- ◇ VALT FLOOR
- ◇ SWMP RAMP DOOR ACCESS
- ◇ VENT
- ◇ FOG CONNECTION
- ◇ WALKWAY
- ◇ PAVE CLIP/REMOVE/SEE CIVIL
- ◇ RETAINING WALL
- ◇ RETAINING WALL WITH HIGH-CMFL FENCE
- ◇ WATER METERS SEE CIVIL
- ◇ TREE WALL SEE CIVIL
- ◇ DRAIN TRENCH
- ◇ EXIST'G FIRE HYDRANT
- ◇ WOOD FENCE
- ◇ LOADING AREA SIGN

PROJECT DESCRIPTION
THE PROPOSED PROJECT IS 12 STORY MASS TIMBER FRAME CONSTRUCTION WITH BASEMENT LOCATED IN 2059 SW PARK AVE PORTLAND, OR 97201.

CONSTRUCTION TYPE - M4B AND IVC

STUDIO AIA TYPE B - 58 UNITS

TOTAL NUMBER OF UNITS - 60 UNITS

APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13.

GENERAL INFORMATION
PROPERTY ID: R246517
COUNTY: MULTNOMAH
STATE ID: 1S1E04DA 8800
NEW STATE ID: 1S1E04DA 488900
MAP NUMBER: 9226 QJ D
LAND TYPE: RES - RESIDENTIAL LAND
TOTAL LAND AREA: 6,000.00 SF

SITE INFO
SITE ADDRESS:
2059 SW PARK AVE
PORTLAND, OR 97201
NEIGHBORHOOD:
JURISDICTION: PORTLAND / MULTNOMAH

ZONING
ZONING: RM4D - RESIDENTIAL MULTIDWELLING 4
DESCRIPTION:
OVERLAY: d - Design
BASE OVERLAY COMBINATION: RM4D
COMP PLAN: MDCU - Multi-Dwelling - Urban Center
COMP PLAN OVERLAY: NONE
LAND INFORMATION:
RESIDENTIAL LAND 6,000 SF

DESIGNED BY: TAHRAN ARCHITECTURE & PLANNING
DRAWN BY: ISMAIL REZAYAN
NO. DATE: 02.05.22
SCALE: 1/8" = 1'-0"

PROJECT NO.: 2021-012

SHEET CONTENTS
SITE PLAN & KEY NOTES
SHEET NUMBER: A1.1

SW PARK APARTMENTS
2059 SW PARK AVE,
PORTLAND OR. 97201

TAHRAN ARCHITECTURE & PLANNING LLC
333 S. STATE LAKE OSWEGO, OREGON 97034
T (503) 539 8802 | F (503) 697 1985 | e rat@tahrancpa.com

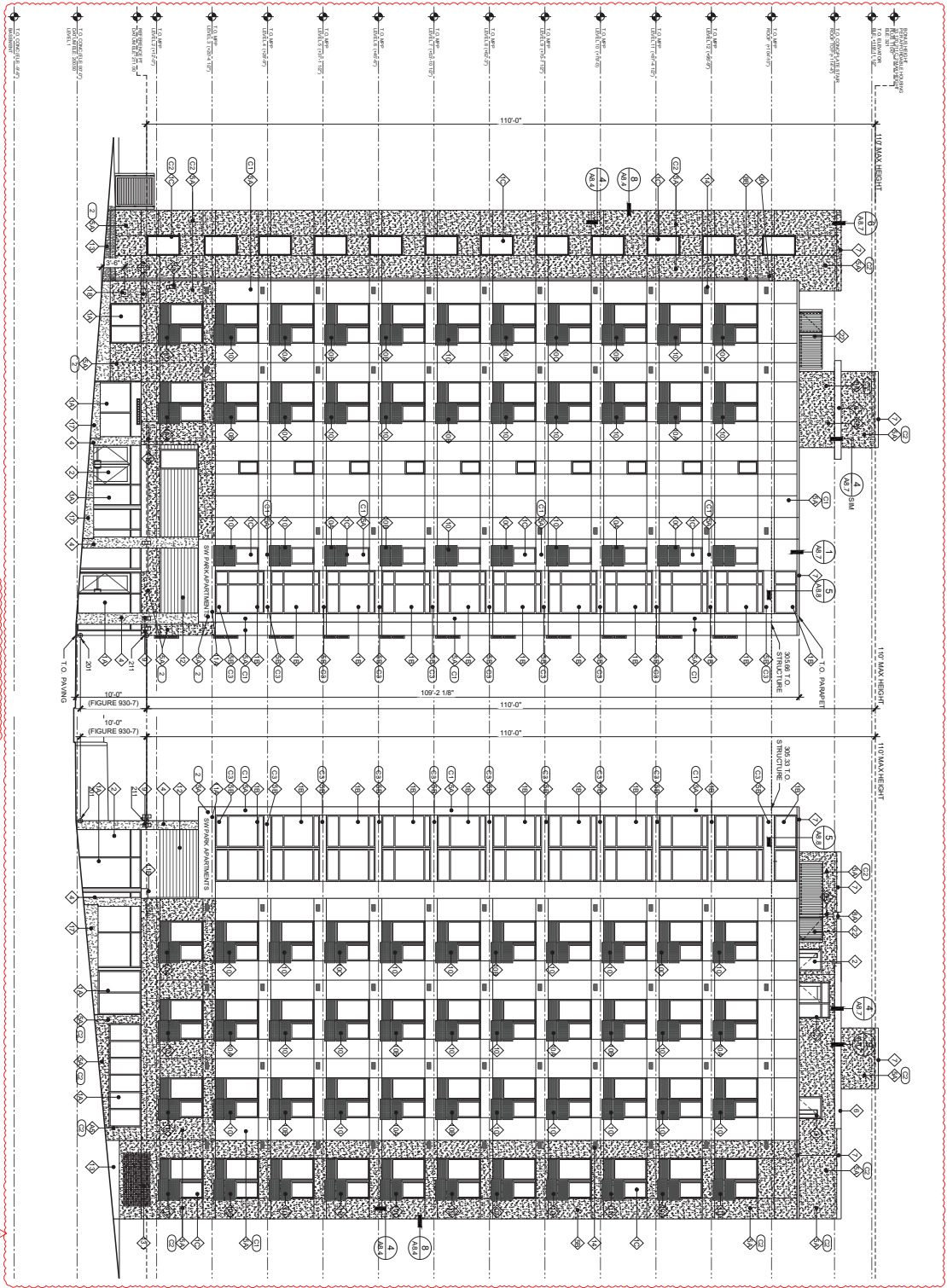
REGISTERED ARCHITECT
2399
STATE OF OREGON

SUBMITTED 02-05-21

Planner: *[Signature]*
Date: 9/15/2022
Approved by: *[Signature]*
City Development Services
Bureau of Development Services

*This approval applies only to the reviews requested and is subject to all conditions of approval. Additional zoning requirements may apply.

LU 22-157148 DZM C-1



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"

2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

33,900,050 MEASURING HEIGHT
 AT 1.4 (1) 2
 2.0' FINISH FLOOR GRADE
 198.5' LOWEST GRADE
 10.5' USE FIGURE 990.7
 2001.10 = 210 REFERENCE POINT

- GENERAL NOTES**
1. ALL KEYNOTES APPLY TO ELEVATIONS & SECTIONS
 2. SEE SHEET A3.1 - WINDOW SCHEDULE
 3. SEE SHEET A3.2 - DOOR SCHEDULE
 4. SEE SHEET A3.3 - WALL PENETRATION DETAILS
 5. SEE SHEET A3.4 - WALL ASSEMBLY
 6. SEE SHEET A3.5 - FLOOR CEILING ROOF ASSEMBLY

- KEY NOTES**
- 1 WINDOW TYPE 1 (BLACK FRAME) SEE SCHEDULE
 - 2 WINDOW TYPE 2 (BLACK FRAME) SEE SCHEDULE
 - 3 WINDOW TYPE 3 (BLACK FRAME) SEE SCHEDULE
 - 4 WINDOW TYPE 4 (BLACK FRAME) SEE SCHEDULE
 - 5 WINDOW TYPE 5 (BLACK FRAME) SEE SCHEDULE
 - 6 WINDOW TYPE 6 (BLACK FRAME) SEE SCHEDULE
 - 7 WINDOW TYPE 7 (BLACK FRAME) SEE SCHEDULE
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 - 99 WINDOW TYPE 99 (BLACK FRAME) SEE SCHEDULE
 - 100 WINDOW TYPE 100 (BLACK FRAME) SEE SCHEDULE

- COLORS**
- 1 STUCCO, STD 1603, A5
 - 2 STUCCO, W/FLAKE, 1603, A5
 - 3 STUCCO, W/FLAKE, 1603, A5
 - 4 STUCCO, W/FLAKE, 1603, A5
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 - 6 STUCCO, W/FLAKE, 1603, A5
 - 7 STUCCO, W/FLAKE, 1603, A5
 - 8 STUCCO, W/FLAKE, 1603, A5
 - 9 STUCCO, W/FLAKE, 1603, A5
 - 10 STUCCO, W/FLAKE, 1603, A5
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 - 80 STUCCO, W/FLAKE, 1603, A5
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 - 89 STUCCO, W/FLAKE, 1603, A5
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 - 98 STUCCO, W/FLAKE, 1603, A5
 - 99 STUCCO, W/FLAKE, 1603, A5
 - 100 STUCCO, W/FLAKE, 1603, A5

GLAZING AREA CALCULATION

GLAZING AREA	PERCENTAGE
WALL AREA	7,020.00 SF
REQUIRED GLAZING 15%	1,053.00 SF
PERCENTAGE	15.00%
WALL AREA	6,588.00 SF
REQUIRED GLAZING 15%	988.20 SF
PERCENTAGE	15.00%

Approved
 City of Portland
 Bureau of Development Services
 Planner: [Signature]
 Date: 9/15/2022
 *This approval applies only to the reviewers requested and is subject to all conditions of approval. Additional zoning requirements may apply.

LU 22-157148 DZM C-10

SHEET CONTENTS

PRGJ NO.	ISSUE	DATE
2021-012	ISSUE	02/05/21
	ISSUE	02/05/21

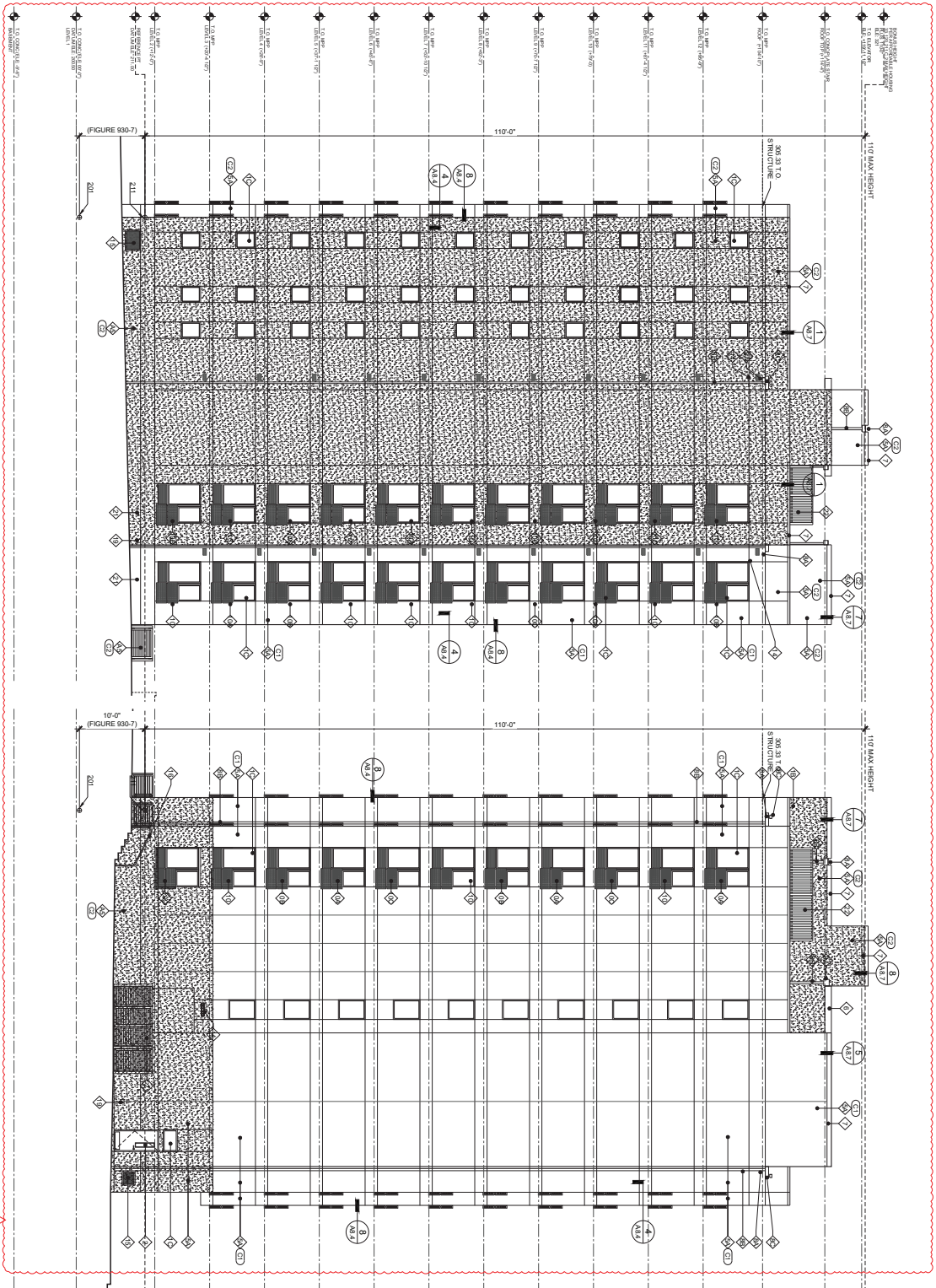
DESIGNED BY: TAJAN TAHRAN
 DRAWN BY: [Signature]
 NO. DATE: [Signature]
 02/05/21

SW PARK APARTMENTS
 2059 SW PARK AVE,
 PORTLAND OR. 97201

TAHRAN ARCHITECTURE & PLANNING LLC
 333 S. STATE LAKE OSWEGO, OREGON 97034
 T (503) 539 8802 | F (503) 697 1985 | e ratph@tahrancpa.com



SUBMITTED 02-05-21



1 WEST ELEVATION
SCALE: 1/8" = 1'-0"

2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

- GENERAL NOTES**
1. ALL NOTES APPLY TO ELEVATIONS / SECTIONS
 2. SEE SHEET A3.1 - WINDOW SCHEDULE
 3. SEE SHEET A3.2 - BLACK FRAME / SEE SCHEDULE
 4. SEE SHEET A3.3 - WALL PENETRATION DETAILS
 5. SEE SHEET A3.4 - WALL ASSEMBLY
 6. SEE SHEET A3.5 - FLOOR CEILING ROOF ASSEMBLY

- KEY NOTES**
- 1 WINDOW TYPE 1 (BLACK FRAME) SEE SCHEDULE
 - 2 WINDOW TYPE 2 (BLACK FRAME) SEE SCHEDULE
 - 3 WINDOW TYPE 3 (BLACK FRAME) SEE SCHEDULE
 - 4 DOOR PER SCHEDULE
 - 5 CONCRETE FLOOR WALL
 - 6 CONCRETE POST
 - 7 STUCCO TYPE 1
 - 8 STUCCO TYPE 2
 - 9 PRE-FINISH METAL FASCIA BOARD (PANT MATCH ADJACENT SIDING)
 - 10 PRE-FINISH METAL FLASHING (PANT MATCH ADJACENT SIDING)
 - 11 SQUARE BUTTER (PANT MATCH ADJACENT SIDING)
 - 12 DOWNSPOUT (PANT MATCH ADJACENT SIDING)
 - 13 OVERFLOW PAINT MATCH ADJACENT SIDING
 - 14 EXTERIOR LIGHTING
 - 15 SIDING PANEL TYPE 1 (COLOR SW 7072)
 - 16 SIDING PANEL TYPE 2 (COLOR SW 7177)
 - 17 SIDING PANEL TYPE 3 (COLOR SW 7153)
 - 18 SIDING PANEL TYPE 4 (COLOR SW 5071)
 - 19 BUILDING SIGNAGE
 - 20 UNPAINTED WOOD PANEL
 - 21 METAL PLANTER
 - 22 4x8 GREEN WALL
 - 23 VENT PAINT MATCH ADJACENT SIDING
 - 24 METAL COVER PAINT MATCH ADJACENT SIDING
 - 25 HANDRAIL SEE DETAIL AN 2
 - 26 CONCRETE WALL FORM BOARD FINISH
 - 27 FFC CONNECTION
 - 28 FFC SINKAGE
 - 29 HOSE BIB
 - 30 4x2 HIGH-GARIBALDI
 - 31 4x2 HIGH-GARIBALDI GUARDRAIL
 - 32 7" HIGH-EQUIPMENT MESH PANEL SCREEN
 - 33 4" DOWN PIPE WITH 1/2" DRAINAGE SAND AND MESH-HIGH FILTER FABRIC

- COLORS**
- (C1) STUCCO, STD 1603, AS
 - (C2) STERLING WILLOWS, N08 23231, 123
 - (C3) SHERWIN WILLIAMS, N08 23231, 123
 - (C4) SHERWIN WILLIAMS, N08 23231, 123
 - (C5) DARK, CHAMELON, BLACK
 - (C6) COX ON MATCH WINDOW FRAME

Approved
City of Portland
Bureau of Development Services
Planner: *[Signature]*
Date: 01/15/2022
This approval represents the City of Portland's approval of the design requested and is subject to all conditions of approval. Additional zoning requirements may apply.

LU 22-157148 DZM C-11

BUILDING ELEVATIONS & KEY NOTES
SHEET NUMBER
A3.2

DESIGNED BY: TAJAN TAHRAN
DRAWN BY: RSD
NO. DATE: 02/05/22
ISSUED BY: RSD
DATE: 02/05/22
PROJECT NO.: 2021-012

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